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The City That Soars!

REQUEST FOR COUNCIL ACTION

Meeting Date	June 12, 2019
Agenda Item	Presentation C1
Attachment	N/A
Submitted By	Sack Thongvanh, City Administrator

Item	Ramsey County Sheriff's Office Requests
Description	<p>The Sheriff's Office conducts an annual reconciliation every year and the City of Falcon Heights is expected to receive a little over \$40,000.</p> <p>As a result, the Contract Cities have received three requests that totaled \$24,331.74. Representatives from the Sheriff's Office will be in attendance to make the requests and respond to questions.</p>
Budget Impact	The City is expected to receive an estimated \$40,000 from the annual reconciliation of 2018.
Attachment(s)	<ul style="list-style-type: none"> • Requests <ol style="list-style-type: none"> 1. Automatic External Defibrillators 2. Body Cameras 3. Ballistic Tactical Shields
Action(s) Requested	Staff is looking for direction on the requests that will be voted on during the June 20 th Contract Cities meeting.

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Ramsey County Sheriff's Office

Bob Fletcher, Sheriff

Public Safety Services Division

1411 Paul Kirkwold Drive • Arden Hills, Minnesota 55112

Phone: 651-266-7300 • Fax: 651-266-7306

www.RamseyCountySheriff.us

April 18, 2019

Contract City Managers,

The Automatic External Defibrillators (AEDs) in the contract city squads of the Ramsey County Sheriff's Office are outdated or near end-of-life. The deputies are often the first on-scene for medical calls and depend on these life-saving devices for the residents of the contract cities.

The Ramsey County Sheriff's Office is requesting the seven contract cities fund replacement of 20 AEDs.

Below is the expenditure estimate for each contract city based on the equipment formula:

City	Formula	Cost to City
Arden Hills	13.77%	\$5,728.32
Falcon Heights	14.63%	\$6,086.08
Little Canada	13.76%	\$5,724.16
North Oaks	8.48%	\$3,527.68
Shoreview	25.61%	\$10,653.76
Vadnais Heights	12.48%	\$5,191.68
White Bear Township	11.27%	\$4,688.32
	100.00%	\$41,600.00

Respectfully,

Jeff Ramacher, Undersheriff
Ramsey County Sheriff's Office
Public Safety Services Division
1411 Paul Kirkwold Drive
Arden Hills, MN 55112

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April 18, 2019

Contract City Managers,

The Ramsey County Sheriff's Office is targeting implementation of body cameras and squad cameras for July 2019. The Sheriff's Office is requesting the contract cities fund \$100,164 for 2019.

There will be 100 body cameras and 40 squad cameras allocated for the Public Safety Services Division. The contract cities fund 56 sworn deputies in this division. Additionally, there are 21 marked squads that service the contract cities.

The total expenditure estimates for implementation of the body cameras and squad cameras for 2019 are listed below:

Cost Centers	Sum of Contract Cities Total	Sum of PSSD Total
Capital Improvement	\$ 5,600.00	\$ 10,000.00
Equipment	\$ 104,527.95	\$ 194,164.00
Ongoing support	\$ 100,164.00	\$ 217,260.00
Personnel	\$ 29,407.82	\$ 339,942.50
Grand Total	\$ 239,699.77	\$ 761,366.50

The Sheriff's Office recognizes this was not a planned expense for contract cities. The Sheriff's Office is requesting the contract cities fund only the ongoing support which includes the license fees, data usage, and CAD integration fee for 2019. Below is the expenditure estimate for each contract city based on the equipment formula:

City	Formula	Cost to City
Arden Hills	13.77%	\$13,792.58
Falcon Heights	14.63%	\$14,653.99
Little Canada	13.76%	\$13,782.57
North Oaks	8.48%	\$8,493.91
Shoreview	25.61%	\$25,652.00
Vadnais Heights	12.48%	\$12,500.47
White Bear Township	11.27%	\$11,288.48
	100.00%	\$100,164.00

Respectfully,

Jeff Ramacher, Undersheriff
 Ramsey County Sheriff's Office
 Public Safety Services Division
 1411 Paul Kirkwold Drive
 Arden Hills, MN 55112

Sum of Contract Cities Total	Sum of PSSD Total
\$ 164,463.94	\$ 694,139.00

Row Labels	Sum of Contract Cities Total	Sum of PSSD Total
Capital Improvement	0	0
Equipment	20404.65	0
Ongoing support	97728	217260
Personnel	46331.288	476879
Grand Total	164463.938	694139

Row Labels	Sum of Contract Cities Total	Sum of PSSD Total
Capital Improvement	0	0
Capital Improvement-Network Drops and Power Drops	0	0
Equipment	20404.65	0
6-bay docking station	0	0
Additional dongles	104.65	0
Body Camera	0	0
Cradle Point 5-1 antenna	1890	0
Cradle Point router, per vehicle	6160	0
CradlePoint NetCloud + Cradle Care, per vehicle	3850	0
Squad Camera	0	0
System Installation	8400	0
Ongoing support	97728	217260
Additional Basic Licenses	1080	1800
Additional Pro Licenses	1404	2340
CAD Integration Fee	10080	18000
Unlimited License Fee	70644	168720
Verizon	14520	26400
Personnel	46331.288	476879
Commander	19782.3584	156506
Investigative Assistant	11481.4176	181668
IS LAN Support Specialist 2	15067.512	119205
System Installer (3 day)	0	18000
Training	0	1500
Grand Total	164463.938	694139

Sum of Contract Cities Total	Sum of PSSD Total	
239699.7733	761366.5	
Sum of Contract Cities Total	Sum of PSSD Total	
Capital Improvement	10000	
Equipment	194164	
Ongoing support	217260	
Personnel	339942.5	
Grand Total	761366.5	
Row Labels	Sum of Contract Cities Total	Sum of PSSD Total
Capital Improvement	5600	10000
Equipment	104527.95	194164
Ongoing support	100164	217260
Personnel	29407.82325	339942.5
Grand Total	239699.7733	761366.5
Row Labels	Sum of Contract Cities Total	Sum of PSSD Total
Capital Improvement	5600	10000
Equipment	104527.95	194164
6-bay docking station	15370	27666
Additional dongles	313.95	598
Body Camera	27944	49900
Cradle Point 5-1 antenna	5670	10800
Cradle Point router, per vehicle	18480	35200
CradlePoint NetCloud + Cradle Care, per vehicle	11550	22000
Squad Camera	0	0
System Installation	25200	48000
Ongoing support	100164	217260
Additional Basic Licenses	1080	1800
Additional Pro Licenses	1404	2340
CAD Integration Fee	10080	18000
Unlimited License Fee	73740	168720
Verizon	13860	26400
Personnel	29407.82325	339942.5
Commander	10775.4381	156506
Investigative Assistant	6253.9209	90834
IS LAN Support Specialist 2	8207.26425	59602.5
System Installer (3 day)	2275.2	18000
Training	1896	15000
Grand Total	239699.7733	761366.5

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Ramsey County Sheriff's Office

Bob Fletcher, Sheriff

Public Safety Services Division

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April 18, 2019

Contract City Managers,

There have been incidents in the last few years throughout the country in which heavily armed individuals have committed violent acts against retail establishments, places of worship and schools. Law enforcement personnel have found themselves underequipped to adequately respond to these incidents. The Ramsey County Sheriff's Office wants our deputies to be properly equipped to facilitate a rapid response and neutralize any threat within our contract cities should an incident occur.

The Ramsey County Sheriff's Office proposes the purchase of ballistic tactical shields to provide protection to deputies when encountering a threat or providing security for critical infrastructures.

The Sheriff's Office is requesting the seven contract cities fund the purchase of 8 ballistic shields.

Below is the expenditure estimate for each contract city based on the equipment formula:

City	Formula	Cost to City
Arden Hills	13.77%	\$3,380.54
Falcon Heights	14.63%	\$3,591.67
Little Canada	13.76%	\$3,378.08
North Oaks	8.48%	\$2,081.84
Shoreview	25.61%	\$6,287.26
Vadnais Heights	12.48%	\$3,063.84
White Bear Township	11.27%	\$2,766.79
	100.00%	\$24,550.00

Respectfully,

Jeff Ramacher, Undersheriff
Ramsey County Sheriff's Office
Public Safety Services Division
1411 Paul Kirkwold Drive
Arden Hills, MN 55112

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CITY OF FALCON HEIGHTS
Regular Meeting of the City Council
City Hall
2077 West Larpenteur Avenue

AGENDA
May 22, 2019 at 7:00 P.M.

- A. CALL TO ORDER:
- B. ROLL CALL: Vacant ___ LEEHY_X__ HARRIS_X__
MIAZGA_X__ GUSTAFSON_X__

STAFF PRESENT: THONGVANH_X__

- C. PRESENTATION
1. Year End 2018 Annual Audit Report

Matt Meyer (KDV)

Everything on the report is accurate and a real picture of the city results for the public. The general fund budget revenue is \$2.4 million, expenditures are \$2.4 million, net transfers out is \$48 thousand, and no change in fund balance. The actual revenue came at \$2.5 million and is \$88 thousand higher than anticipated for miscellaneous and reimbursements. The expenditures are \$2.3 million, which is \$94 thousand under the budget. This is from all the departments (public works, parks and rec, public safety, general government, etc.). The net transfers out were made as budgeted and there was a \$183 thousand increase in the fund balance.

The City of Falcon Heights general fund balance has grown gradually over the last five years. As a result, the city's fund balance has improved, and the cash balance was a little over \$2 million at the end of 2018. There was a sign of change in operations, which means actual revenue went up 21.5%, and spending went up 19.5%.

The general fund revenue is broken down into six categories. They are general property taxes (60%), licenses and permits (3%), intergovernmental revenue (28%), charges for service (3%), fines and forfeitures (2%), and miscellaneous (4%). In 2017, general property taxes were 56%, and intergovernmental revenue was 32%. The spending increased by 19.5%, which are public safety (58%), public works (10%), parks and recreations (3%), and general government (29%). In 2017, public safety was at 50% of the budget and the spending on public safety increased up to 58%. This was due to the change of police contract from St. Anthony to Ramsey County.

The sanitary sewer fund revenue is \$945,893, total expense is \$708,321, depreciation is \$12,620, operating income with depreciation is \$237,572, and operating income without depreciation is \$250,192. The storm drainage fund remains healthy even though there is some increase. The revenue is \$169,172, expense is \$156,170, depreciation is \$50,677, operating income with depreciation is \$13,002, and operating income without depreciation is \$63,679.

Mayor Gustafson

The audit reports are available on the City's website under City Government. Thank you, Roland, and his intern for putting everything together for the auditors.

Council Member Harris, Approved 4-0

- D. APPROVAL OF MINUTES:
1. May 8, 2019 City Council Meeting Minutes
 - Sent the errors to City Administrator.

Mayor Gustafson Moved, Approved 4-0

E. PUBLIC HEARINGS:

F. CONSENT AGENDA:

1. General Disbursements through: 5/16/19 \$173,909.26
Payroll through: 5/15/19 \$19,718.64
2. 6-Month Performance Evaluation for Justin Markon, Community Development Coordinator
3. City Hall Summer Hours
4. Increase Petty Cash for Parks and Recreation Programs

City Administrator Thongvanh

I want to thank Justin for being an excellent employee and a great team player. He is dedicated to providing resources to city staff, residents, and councils. Justin brings in many great ideas for the City, Planning Commission and the Environment Commission.

Council Member Harris wants to thank Justin for being an excellent staff liaison to the Planning Commission. Justin is very knowledgeable, goes beyond by providing much information and resources, and is well experienced in this field. I am very impressed with him and happy to have Justin in our City.

Council Member Leehy Moved, Approved 4-0

G: POLICY ITEMS:

1. Conduit Bonding - Amber Union (1667 Snelling Ave-Formally TIES Building)

City Administrator Thongvanh

The City received a request from Buhl Investors for the issuance of Conduit Revenue Bonds for a multifamily housing development. The building will turn into a 106-unit multifamily housing facility. In order to submit an application to Minnesota Management and Budget (MMB) for volume cap allocation, the City must adopt an inducement resolution. The resolution will allow the Borrower to reimburse itself out of Bond proceeds for the cost incurred before the issuance of the Bonds.

Pete Deanovic, Buhl Investors

The inducement is tied to the timing of the bonding, the council's approval when it occurs; and when those bonds can be issued. Unfortunately, we did not get the USDA, nor did any group in Minnesota receive it. It is an exciting opportunity for us to move forward with a plan that can maximize taxable dollars to the city by bringing housing and parking lot. This will allow the city and the developer to have some flexibility. The city will still hold the full authority to review the plans, determine how you feel, and what fits with the community.

Daniel Burns, Briggs and Morgan

The issuance of the Bonds will not affect the Issuer's credit rating on bonds it issues for municipal purposes. It also does not apply on the \$10 billion bank qualification limit and is not payable from or charged upon any of the Issuer's funds. No bondholder will have the right to compel the city, the issuer of its taxing powers. The bonds will not constitute a charge lien or encumbrance legal equitable upon any property of the issue. This places the city in a unique role as the conduit issuer.

Council Member Miazga Moved, Approved 4-0

2. State Bonding Application for Falcon Heights Community Park

City Administrator Thongvanh

Council Member Miazga and I have been working on this bond for the past few months. The Community Park building needs major repairs. Many residents and guests have expressed this concern since 2014. We also have been working with the U of M to get a letter of support for the Community Park. Once we get the letter from the U of M, then I will submit the application. Community Park is the central gathering point for most city events, community functions, and a social gathering point for many in the community.

Council Member Miazga Approved 4-0

H. INFORMATION/ANNOUNCEMENTS:

Council Member Miazga

- Environment Commission met on Monday, May 13, and they are continuing to do great work for the city.

Council Member Leehy

- Cultivating a Caring Community part 1 is tomorrow from 7pm - 8:30pm. It will be at City Hall. The guest speaker is Ron Rabinovitz, "Letters from Jackie" who was a pen pal to professional baseball player Jackie Robinson. The next event will be on July 6, and it will focus on "Healing and Understanding." Our guest speakers are Hawa Samatar, Valerie Castile, and John Thompson. It will be from 6:30 - 8:00pm at City Hall. July 6 is also our second annual Restoration Day.
- Park and Recreation Commission is meeting on Monday, June 11 at 6:30pm. Our Garden-in-a-Box is getting off to a good start. City staff picked up the boxes and placed them around the city. If anyone wants to volunteer and help, please contact City Hall.

Council Member Harris

- Planning Commission is meeting on Tuesday, May 28 at 7:00pm. We will also have a public hearing regarding 1667 Snelling Ave N and zoning.

City Administrator Thongvanh

- Curtiss Field basketball court continues to be delayed because the ground is not dry enough.
- The street sweeping will start again, and the city will send updates.
- The Garden-in-a-Box will be at city hall, Curtis field, Falcon Heights Town Square, Falcon Heights Elementary school.
- We will have a ribbon cutting at Falcon Heights Elementary School at 9 am for the mural project. Minnesota Chambers of Commerce will provide the ribbon and CTV will record it.
- Larpenteur Avenue will close next week. Ramsey County crews will be replacing the concrete in all four lanes of Larpenteur Avenue from Malvern Street in Lauderdale to Snelling Avenue. The work is expected to begin on May 28. The Hendrickson apartment building will start connecting underground utilities from May 31 to June 3. Both eastbound lanes of Larpenteur Avenue between Fairview Avenue and Fry Street will close beginning at 6:00 p.m. on Friday, May 31. The signed detour will use Fairview Avenue to County Road B to Snelling Avenue.
- The city provides fire inspection to rental housing of 1-4 units but does not inspect businesses and multi-family rental dwellings such as Larpenteur Manor. This year, we sent a letter informing businesses and multi-family rental dwellings what we are looking at beginning these inspections in the future. I will bring this item to our next workshop and will look at the details. The purpose of the fire inspection is to make sure our residents and guests feel safe.
- Amanda and Nalisha are working on a communication plan, which includes social media, website, policy, programs, and services. In addition, Amanda created a dashboard on the city website. It will show the council priorities for this year. She is still currently working on it and hopes to have it up on Tuesday. We will announce it on our E-newsletter and social media.

Mayor Gustafson

- Community Engagement Commission met on Monday, May 20. We had many great discussions.
- Spring Together is on Saturday, June 8 from 11am - 2pm at Curtiss Field. It is a potluck event and encourages everyone to bring a dish to share. The city will provide cookies, water, plates, utensils, activities, and a bounce house. Ramsey County Sheriff's Office and Falcon Heights Fire Department will also be at Spring Together.
- Cultivating a Caring Community part 3 will be "Grey Area of Thinking". Ellie Krug will be the guest speaker.

I. COMMUNITY FORUM:

J. ADJOURNMENT: 8:28 P.M.

Randall Gustafson, Mayor

Dated this 22nd day of May, 2019

Sack Thongvanh, City Administrator

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The City That Soars!

REQUEST FOR COUNCIL ACTION

Meeting Date	June 12, 2019
Agenda Item	Consent F1
Attachment	General Disbursements and Payroll
Submitted By	Roland Olson, Finance Director

Item	General Disbursements and Payroll
Description	General Disbursements through: 6/06/19 \$326,249.30 Payroll through: 5/31/19 \$19,138.26
Budget Impact	The general disbursements and payroll are consistent with the budget.
Attachment(s)	<ul style="list-style-type: none"> • General Disbursements and Payroll
Action(s) Requested	Staff recommends that the Falcon Heights City Council approve general disbursements and payroll.

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PACKET: 01966 MAY 16 PAYAABLES

VENDOR SET: 01 City of Falcon Heights

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----		GROSS	P.O. #		
LAST DATE	BANK CODE	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION

01-00285 APPLIED ECOLOGICAL SERVICES

I-52389		PRESCRIBED BURN	1,285.00		
5/16/2019	APBNK	DUE: 5/16/2019 DISC: 5/16/2019		1099: N	
		PRESCRIBED BURN END OF PRIOR		602 4602-81910-000	VEGETATION MGMT 580.00
		PRESCRIBED BURN COMM PARK		101 4141-87120-000	FACILITIES & GROUND MAIN 705.00
		=== VENDOR TOTALS ===	1,285.00		

01-05412 NGUYEN, JIMNY

I-201905167147		REC SPORTS REFUND	75.00		
5/16/2019	APBNK	DUE: 5/16/2019 DISC: 5/16/2019		1099: N	
		REC SPORTS REFUND		201 34310-000	RECREATION FEES 75.00
		=== VENDOR TOTALS ===	75.00		

01-06038 OLSON, JACK

I-201905167149		REC SPORTS REFUND	80.00		
5/16/2019	APBNK	DUE: 5/16/2019 DISC: 5/16/2019		1099: N	
		REC SPORTS REFUND		201 34310-000	RECREATION FEES 80.00
		=== VENDOR TOTALS ===	80.00		

01-06030 OLSON, ROLAND

I-201905167150		MILEAGE REIMB	65.42		
5/16/2019	APBNK	DUE: 5/16/2019 DISC: 5/16/2019		1099: N	
		MILEAGE REIMB		101 4113-86010-000	MILEAGE 65.42
		=== VENDOR TOTALS ===	65.42		

01-06301 SAMS CLUB MC/SYNCB

I-201905167151		FACE BOOK ADS/NAME TAGS/TABLE	644.38		
5/16/2019	APBNK	DUE: 5/16/2019 DISC: 5/16/2019		1099: N	
		TABLE RUNNERS		101 4112-70100-000	SUPPLIES 93.13
		FACE BOOK ADS		101 4112-70100-000	SUPPLIES 386.48
		MAPS FOR SANITARY SEWER SYSTEM		601 4601-70100-000	SUPPLIES 117.00
		NAME TAGS AND NOTARY STAMP		101 4112-70100-000	SUPPLIES 35.40
		COMM GARDEN EVENT FOR PARTICPA		203 4203-70100-000	SUPPLIES 12.37
		=== VENDOR TOTALS ===	644.38		

VENDOR SET: 01 City of Falcon Heights

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

POST DATE	BANK CODE	DESCRIPTION	GROSS DISCOUNT	P.O. # G/L ACCOUNT	ACCOUNT NAME	DISTRIBUTION
=====						
01-06530	THAKUR, PREETANJALI					

I-201905167148		REC SPORTS REFUND	55.50			
5/16/2019	APBNK	DUE: 5/16/2019 DISC: 5/16/2019		1099: N		
		REC SPORTS REFUND		201 34310-000	RECREATION FEES	55.50
=== VENDOR TOTALS ===			55.50			

01-06628 SACK THONGVANH

I-201905167152		JAN TO FEB CELL REIMB	120.00			
5/16/2019	APBNK	DUE: 5/16/2019 DISC: 5/16/2019		1099: N		
		JAN TO FEB CELL REIMB		101 4131-85015-000	CELL PHONE	60.00
		JAN TO FEB CELL REIMB		601 4601-85015-000	CELL PHONE	60.00
=== VENDOR TOTALS ===			120.00			
=== PACKET TOTALS ===			2,325.30			

PACKET: 01969 MAY 22 PAYABALES

VENDOR SET: 01 City of Falcon Heights

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----		GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME----- DISTRIBUTION

01-00265 AMERICAN ENVIRONMENTAL LLC

I-1289		SANITARY SEWER JETTING/CLEAN	75,170.61		
5/21/2019	APBNK	DUE: 5/21/2019 DISC: 5/21/2019		1099: N	
		SANITARY SEWER JETTING/CLEAN		601 4601-87100-000	TELEVISIONS AND JETTING 75,170.61
=== VENDOR TOTALS ===			75,170.61		

01-00250 AMERIPRIDE SERVICES

I-104470964		LAUNDRY SVCS	57.65		
5/21/2019	APBNK	DUE: 5/21/2019 DISC: 5/21/2019		1099: N	
		LAUNDRY SVCS		101 4124-82011-000	LINEN CLEANING 57.65
=== VENDOR TOTALS ===			57.65		

01-00287 ANDERSON, ASHLEY

I-201905217154		REC SPORTS REFUND	45.00		
5/21/2019	APBNK	DUE: 5/21/2019 DISC: 5/21/2019		1099: N	
		REC SPORTS REFUND		201 34310-000	RECREATION FEES 45.00
=== VENDOR TOTALS ===			45.00		

01-02200 BURTON, JAMIE

I-201905217155		REFUND REC SPORTS CLASS	36.00		
5/21/2019	APBNK	DUE: 5/21/2019 DISC: 5/21/2019		1099: N	
		REFUND REC SPORTS CLASS		201 34310-000	RECREATION FEES 36.00
=== VENDOR TOTALS ===			36.00		

01-03103 CANON FINANCIAL SERVICES

I-20104784		COPIER CHRG MAY 1 TO MAY 31	122.39		
5/21/2019	APBNK	DUE: 5/21/2019 DISC: 5/21/2019		1099: N	
		COPIER CHRG MAY 1 TO MAY 31		101 4131-87010-000	CITY HALL MAINTENANCE 122.39
=== VENDOR TOTALS ===			122.39		

01-03089 CASH

I-201905217153		REC PETTY CASH ACCT/MISC EXP	359.47		
5/21/2019	APBNK	DUE: 5/21/2019 DISC: 5/21/2019		1099: N	
		REC SPORTS PETTY CASH ACCT		101 10200-000	PETTY CASH 250.00
		ICE SCRAPER		101 4131-70110-000	SUPPLIES 20.33
		BACKGROUND CKS		201 4201-70100-000	SUPPLIES 45.00
		FOLDERES		601 4601-70100-000	SUPPLIES 21.76
		COMPUTER CARD`		101 4112-70100-000	SUPPLIES 18.25
		INCLUSION EVENT SUPPLIES		210 4210-70100-000	SUPPLIES 4.13
=== VENDOR TOTALS ===			359.47		

PACKET: 01969 MAY 22 PAYABALES
VENDOR SET: 01 City of Falcon Heights
SEQUENCE : ALPHABETIC
DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----
GROSS P.O. #
POST DATE BANK CODE -----DESCRIPTION----- DISCOUNT G/L ACCOUNT -----ACCOUNT NAME----- DISTRIBUTION

01-03110 CENTURY LINK

I-201905217158 LANDLINE MAY 7 TO JUNE 8 63.17
5/21/2019 APBNK DUE: 5/21/2019 DISC: 5/21/2019 1099: N
LANDLINE MAY 7 TO JUNE 8 101 4141-85011-000 TELEPHONE - LANDLINE 63.17
=== VENDOR TOTALS === 63.17

01-06290 CITY OF ROSEVILLE

I-0226124 MARCH ENGINEERING 1,249.12
5/23/2019 APBNK DUE: 5/23/2019 DISC: 5/23/2019 1099: N
MARCH ENGINEERING 101 4133-80100-000 ENGINEERING SERVICES 811.04
CLEVELAND ENGINEERING 419 4419-92056-000 CLEVELAND 438.08
I-0226128 SEWER LINING PROJ/ENGINEERING 173,567.05
5/21/2019 APBNK DUE: 5/21/2019 DISC: 5/21/2019 1099: N
SEWER LINING PROJECT 2019 601 4601-92800-000 NORTHOME/NE SEWER LIHNIN 170,776.75
GENERAL ENGINEERING` 101 4133-80100-000 ENGINEERING SERVICES 2,352.22
CLEVELAND ENG 419 4419-92056-000 CLEVELAND 438.08
=== VENDOR TOTALS === 174,816.17

01 06 DATA PRACTICES OFFICE

I-540109 DO'S DON'TS OF GOVT CLASS 225.00
5/21/2019 APBNK DUE: 5/21/2019 DISC: 5/21/2019 1099: N
DO'S DON'TS OF GOVT CLASS 101 4111-86100-000 CONFERENCES/EDUCATION/TR 225.00
=== VENDOR TOTALS === 225.00

01-04000 EHLERS AND ASSOCIATES

I-80065 TIF CTY GASB 77 INFO 428.75
5/21/2019 APBNK DUE: 5/21/2019 DISC: 5/21/2019 1099: N
TIF CTY GASB 77 INFO/AUDITORS 414 4414-81900-000 OTHER PROFESSIONAL SERVI 428.75
=== VENDOR TOTALS === 428.75

01-04570 JOSEPH, KATRINA E.

I-0088 APR PROSECUTIONS 2,500.00
5/21/2019 APBNK DUE: 5/21/2019 DISC: 5/21/2019 1099: Y
APR PROSECUTIONS 101 4123-80200-000 LEGAL FEES 2,500.00
=== VENDOR TOTALS === 2,500.00

PACKET: 01969 MAY 22 PAYABALES
 VENDOR SET: 01 City of Falcon Heights
 SEQUENCE : ALPHABETIC
 DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
=====						
01-05555		MEDICS TRAINING				
I-10370		EMT;/EMR TNG MAR 21ST	550.00			
5/23/2019	APBNK	DUE: 5/23/2019 DISC: 5/23/2019		1099: N		
		EMT;/EMR TNG MAR 21ST		101 4124-86020-000	TRAINING	550.00
		=== VENDOR TOTALS ===	550.00			
=====						
01-05582		MENARDS				
I-201905217161		SEEDS/SOIL/SWEEPER PARTS	180.17			
5/21/2019	APBNK	DUE: 5/21/2019 DISC: 5/21/2019		1099: N		
		15A ARMORED PLUG		101 4124-70100-000	SUPPLIES	2.98
		SEEDS FOR GARDEN PLOT		201 4201-70100-000	SUPPLIES	18.12
		HOSES/ WATERING WANDS		203 4203-70100-000	SUPPLIES	110.14
		SWEEPER REPAIR PARTS		602 4602-87000-000	REPAIR EQUIP/CATCH BASIN	48.93
		=== VENDOR TOTALS ===	180.17			
=====						
01-05973		NORTH SUBURBAN ACCESS CORPORAT				
I-2019-059		WEBSTREAMING/CABLE CASTING	345.10			
5/21/2019	APBNK	DUE: 5/21/2019 DISC: 5/21/2019		1099: N		
		WEBSTREAMING/CABLE CASTING		101 4116-85060-000	WEB SITE	165.56
		PRODUCTION/CABLE CASTING		101 4116-85050-000	CABLE TV	179.54
		=== VENDOR TOTALS ===	345.10			
=====						
01-05676		OFFICE DEPOT				
I-310978459001		REC SPORTS&REC TO GO SUPPLIES	68.27			
5/23/2019	APBNK	DUE: 5/23/2019 DISC: 5/23/2019		1099: N		
		REC SPORTS&REC TO GO SUPPLIES		201 4201-70100-000	SUPPLIES	68.27
I-312811600001		TONER CARTRIDGE	90.37			
5/21/2019	APBNK	DUE: 5/21/2019 DISC: 5/21/2019		1099: N		
		TONER CARTRIDGE		101 4131-70110-000	SUPPLIES	90.37
		=== VENDOR TOTALS ===	158.64			
=====						
01-06030		OLSON,ROLAND				
I-201905237163		FLEX PYMT	59.57			
5/23/2019	APBNK	DUE: 5/23/2019 DISC: 5/23/2019		1099: N		
		FLEX PYMT		101 21712-000	MEDICAL FLEX SAVINGS PAY	49.44
		FLEX PYMT		601 21712-000	MEDICAL FLEX SAVINGS PAY	8.94
		FLEX PYMT		602 21712-000	MEDICAL FLEX SAVINGS PAY	1.19
		=== VENDOR TOTALS ===	59.57			

PACKET: 01969 MAY 22 PAYABLES

VENDOR SET: 01 City of Falcon Heights

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----		GROSS	P.O. #			
DATE	BANK CODE	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----		DISTRIBUTION

01-06279 REYNOLDS,MARIAH

I-201905217156		REFUND REC SPORTS CLASS	39.00			
5/21/2019	APBNK	DUE: 5/21/2019 DISC: 5/21/2019		1099: N		
		REFUND REC SPORTS CLASS		201 34310-000	RECREATION FEES	39.00
=== VENDOR TOTALS ===			39.00			

01-00935 ST PAUL REGIONAL WATER SERVICE

I-201905217159		WATER FOR JETTING SS SYSTEM	904.25			
5/21/2019	APBNK	DUE: 5/21/2019 DISC: 5/21/2019		1099: N		
		WATER FOR JETTING SS SYSTEM		601 4601-87100-000	TELEVISIONING AND JETTING	904.25
=== VENDOR TOTALS ===			904.25			

01-06581 TRI-STATE BOBCAT INC

I-A57478		BOBCAT PARTS	189.95			
5/21/2019	APBNK	DUE: 5/21/2019 DISC: 5/21/2019		1099: N		
		BOBCAT PARTS		101 4132-70120-000	SUPPLIES	189.95
=== VENDOR TOTALS ===			189.95			

01-05870 XCEL ENERGY

I-201905217157		GAZEBO /SNELLING ELECT	29.98			
5/21/2019	APBNK	DUE: 5/21/2019 DISC: 5/21/2019		1099: N		
		GAZEBO ELECT		101 4141-85020-000	ELECTRIC/GAS	15.16
		SNELLING ELECT		209 4209-85020-000	STREET LIGHTING POWER	14.82
=== VENDOR TOTALS ===			29.98			

01-07194 ZARNOTH BRUSH WORKS

I-0175295-IN		BRUSHES FOR SWEEPER	574.00			
5/21/2019	APBNK	DUE: 5/21/2019 DISC: 5/21/2019		1099: N		
		BRUSHES FOR SWEEPER		602 4602-83025-000	SWEEPER PARTS/SUPPLIES	574.00
=== VENDOR TOTALS ===			574.00			
=== PACKET TOTALS ===			256,854.87			

PACKET: 01972 May 30 payables

VENDOR SET: 01 City of Falcon Heights

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
BT DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION

01-00255 AMERICAN OFFICE PRODUCTS

I-5488		BUSINESS CARDS	77.00			
5/30/2019	APBNK	DUE: 5/30/2019 DISC: 5/30/2019		1099: N		
		BUSINESS CARDS		101 4111-70100-000	SUPPLIES	77.00
=== VENDOR TOTALS ===			77.00			

01-00250 AMERIPRIDE SERVICES

I-104482934		LAUNDRY SVCS	55.65			
5/30/2019	APBNK	DUE: 5/30/2019 DISC: 5/30/2019		1099: N		
		LAUNDRY SVCS		101 4124-82011-000	LINEN CLEANING	55.65
=== VENDOR TOTALS ===			55.65			

01-00900 BEISSWENGER'S

I-428469		TORO IDLER ARM;BUSHINGS/BELT	222.98			
5/30/2019	APBNK	DUE: 5/30/2019 DISC: 5/30/2019		1099: N		
		TORO IDLER ARM;BUSHINGS/BELT C		101 4141-87120-000	FACILITIES & GROUND MAIN	222.98
=== VENDOR TOTALS ===			222.98			

01-05422 BP

I-201905307166		FUEL	1,249.23			
5/30/2019	APBNK	DUE: 5/30/2019 DISC: 5/30/2019		1099: N		
		FUEL TRKS MOWERS, BOBCAT		101 4132-74000-000	MOTOR FUEL & LUBRICANTS	712.75
		FUEL FIRE TRK		101 4124-74000-000	MOTOR FUEL & LUBRICANTS	50.00
		SWEEPER FUEL		602 4602-74000-000	FUEL & LUBRICANTS	486.48
=== VENDOR TOTALS ===			1,249.23			

01-03300 DISCOUNT STEEL, INC

I-4463226		PLATE CASTER	69.40			
5/30/2019	APBNK	DUE: 5/30/2019 DISC: 5/30/2019		1099: N		
		XXXXPLATE CASTER		101 4131-70110-000	SUPPLIES	69.40
=== VENDOR TOTALS ===			69.40			

01-05377 KAISER, SHANNON

I-201905307164		PARK RENTAL REFUND	125.00			
5/30/2019	APBNK	DUE: 5/30/2019 DISC: 5/30/2019		1099: N		
		PARK RENTAL REFUND		101 34101-000	CITY FACILITY RENTAL	125.00
=== VENDOR TOTALS ===			125.00			

PACKET: 01972 May 30 payables

VENDOR SET: 01 City of Falcon Heights

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
BT DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
=====						
01-05518	MARVEL SEWER AND DRAIN					
I-201905307168		REFUND S-19-06 SEWER PERMIT	51.86			
5/30/2019	APBNK	DUE: 5/30/2019 DISC: 5/30/2019		1099: N		
		REFUND S-19-06 SEWER PERMIT		101 32230-000	PLUMBING PERMITS	51.86
		=== VENDOR TOTALS ===	51.86			
=====						
01-05582	MENARDS					
I-201905307169		WOOD SUPPLIES FOR PLANTERS	105.38			
5/30/2019	APBNK	DUE: 5/30/2019 DISC: 5/30/2019		1099: N		
		WOOD SUPPLIES FOR PLANTERS		101 4141-87120-000	FACILITIES & GROUND MAIN	105.38
		=== VENDOR TOTALS ===	105.38			
=====						
01-05670	METRO PRODUCTS INC					
I-143514		9 VOLT BATTERIES, TY WRAPS	91.95			
5/30/2019	APBNK	DUE: 5/30/2019 DISC: 5/30/2019		1099: N		
		9 VOLT BATTERIES, TY WRAPS		101 4131-70110-000	SUPPLIES	91.95
I-43663		FLAT WASHERS/DRILL BIT	12.58			
5/30/2019	APBNK	DUE: 5/30/2019 DISC: 5/30/2019		1099: N		
		FLAT WASHERS/DRILL BIT		101 4131-70110-000	SUPPLIES	12.58
		=== VENDOR TOTALS ===	104.53			
=====						
01-05263	MID CITY SERVICES- INDUSTRIAL					
I-103969		FLOOR MATS	41.32			
5/30/2019	APBNK	DUE: 5/30/2019 DISC: 5/30/2019		1099: N		
		FLOOR MATS		101 4131-70110-000	SUPPLIES	41.32
		=== VENDOR TOTALS ===	41.32			
=====						
01-05843	MN NCPERS LIFE INSURANCE					
I-201905307170		JUNE LIFE INS	48.00			
5/30/2019	APBNK	DUE: 5/30/2019 DISC: 5/30/2019		1099: N		
		JUNE LIFE INS		101 21709-000	OTHER PAYABLE	24.64
		JUNE LIFE INS		204 21709-000	OTHER PAYABLE	1.60
		JUNE LIFE INS		601 21709-000	OTHER PAYABLE	15.52
		JUNE LIFE INS		602 21709-000	OTHER PAYABLE	6.24
		=== VENDOR TOTALS ===	48.00			

PACKET: 01972 May 30 payables
VENDOR SET: 01 City of Falcon Heights
SEQUENCE : ALPHABETIC
DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
=====						
01-05427		NANDKUMAR, NALISHA				

I-201905307165		MILEAGE AND PHONE REIMB	58.86			
5/30/2019	APBNK	DUE: 5/30/2019 DISC: 5/30/2019		1099: N		
		MILEAGE AND PHONE REIMB		101 4112-86010-000	MILEAGE & PARKING	33.92
		REC SPORTS MILEAGE REIMB		201 4201-86010-000	MILEAGE	24.94
=== VENDOR TOTALS ===			58.86			

=====						
01-04304		RONEY, CLARE				
I-201905307171		REFUND REC SPORTS CLASS	52.00			
5/30/2019	APBNK	DUE: 5/30/2019 DISC: 5/30/2019		1099: N		
		REFUND REC SPORTS CLASS		201 34310-000	RECREATION FEES	52.00
=== VENDOR TOTALS ===			52.00			

=====						
01-00935		ST PAUL REGIONAL WATER SERVICE				
I-201905307167		WATER AND SEWER	712.91			
5/30/2019	APBNK	DUE: 5/30/2019 DISC: 5/30/2019		1099: N		
		WATER		101 4141-85040-000	WATER	389.45
		SEWER		101 4141-85070-000	SEWER	238.46
		WATER		101 4131-85040-000	WATER	64.76
		SEWER		101 4131-85070-000	SEWER	20.24
=== VENDOR TOTALS ===			712.91			
=== PACKET TOTALS ===			2,974.12			

PACKET: 01974 JUNE 6 PAYABLES

VENDOR SET: 01 City of Falcon Heights

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
=====						
01-00087	AMANDA LOR					

I-201906067183		MILEAGE AND TELEPHONE REIMB	52.60			
6/06/2019	APBNK	DUE: 6/06/2019 DISC: 6/06/2019		1099: N		
		MILEAGE REIMB		101 4112-86010-000	MILEAGE & PARKING	12.60
		CELL PHONE REIMB		101 4131-85015-000	CELL PHONE	40.00
		=== VENDOR TOTALS ===	52.60			
=====						
01-00284	AWARDS BY HAMMOND					

I-M6214		NAME PLATE	16.50			
6/05/2019	APBNK	DUE: 6/05/2019 DISC: 6/05/2019		1099: N		
		NAME PLATE		101 4141-70100-000	SUPPLIES	16.50
		=== VENDOR TOTALS ===	16.50			
=====						
01-00875	BHE COMMUNITY SOLAR, LLC					

I-9575286		APR CITY HALL SOLAR ELECT	739.40			
6/05/2019	APBNK	DUE: 6/05/2019 DISC: 6/05/2019		1099: N		
		APR CITY HALL SOLAR ELECT		101 4131-85025-000	SOLAR ELECTRIC	739.40
		=== VENDOR TOTALS ===	739.40			
=====						
01-03001	CAMPBELL KNUTSON					

I-201906057180		MAY GENERAL LEGALS	338.00			
6/05/2019	APBNK	DUE: 6/05/2019 DISC: 6/05/2019		1099: Y		
		MAY GENERAL LEGALS		101 4114-80200-000	LEGAL FEES	338.00
		=== VENDOR TOTALS ===	338.00			
=====						
01-03198	CELLUTION SOFTWARE					

I-201906057173		FIXED ASSET SOFTWARE UPDATE	195.00			
6/05/2019	APBNK	DUE: 6/05/2019 DISC: 6/05/2019		1099: N		
		FIXED ASSET SOFTWARE UPDATE		101 4113-80600-000	SOFTWARE MAINTENANCE	195.00
		=== VENDOR TOTALS ===	195.00			
=====						
01-06290	CITY OF ROSEVILLE					

I-226170		NETWORK SWITCH REPLACEMENTS	4,703.50			
6/05/2019	APBNK	DUE: 6/05/2019 DISC: 6/05/2019		1099: N		
		NETWORK SWITCH REPLACEMENTS		401 4401-90100-000	FURNITURE & EQUIPMENT	4,703.50
		=== VENDOR TOTALS ===	4,703.50			

PACKET: 01974 JUNE 6 PAYABLES

VENDOR SET: 01 City of Falcon Heights

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
=====						
01-02200	FEE, CAROL					
I-201906057172		REFUND REC SPORTS CLASS	36.00			
6/05/2019	APBNK	DUE: 6/05/2019 DISC: 6/05/2019		1099: N		
		REFUND REC SPORTS CLASS		201 34310-000	RECREATION FEES	36.00
		=== VENDOR TOTALS ===	36.00			
=====						
01-05378	FERGUSON ENTERPRISES LLC					
I-274591		WATER LINE REPAIR PARTS	315.49			
6/05/2019	APBNK	DUE: 6/05/2019 DISC: 6/05/2019		1099: N		
		WATER LINE REPAIR PARTS		101 4141-70100-000	SUPPLIES	315.49
		=== VENDOR TOTALS ===	315.49			
=====						
01-05119	GFOA					
I-201906067182		2018 CAFR APPLICATION FEE	460.00			
6/06/2019	APBNK	DUE: 6/06/2019 DISC: 6/06/2019		1099: N		
		2018 CAFR APPLICATION FEE		101 4113-89000-000	MISCELLANEOUS	460.00
		=== VENDOR TOTALS ===	460.00			
=====						
01-05718	GOODPOINT TECHNOLOGY, INC					
I-3934		2019 3 YR PAVEMENT ANAYLYSIS	3,000.00			
6/05/2019	APBNK	DUE: 6/05/2019 DISC: 6/05/2019		1099: N		
		2019 3 YR PAVEMENT ANAYLYSIS		419 4419-83010-000	PAVEMENT MANAGEMENT	3,000.00
		=== VENDOR TOTALS ===	3,000.00			
=====						
01-05115	GOPHER STATE ONE CALL					
I-9050383		MAY LOCATES	149.85			
6/05/2019	APBNK	DUE: 6/05/2019 DISC: 6/05/2019		1099: N		
		MAY LOCATES		601 4601-88030-000	LOCATES	149.85
		=== VENDOR TOTALS ===	149.85			
=====						
01-05153	HOME DEPOT CRC/GECF					
I-201906057174		WOOD FOR PLANTERS	105.38			
6/05/2019	APBNK	DUE: 6/05/2019 DISC: 6/05/2019		1099: N		
		WOOD FOR PLANTERS		101 4141-70100-000	SUPPLIES	105.38
		=== VENDOR TOTALS ===	105.38			

PACKET: 01974 JUNE 6 PAYABLES

VENDOR SET: 01 City of Falcon Heights

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
=====						
01-05235	JAN-PRO CLEANING SYSTEMS					
I-85167		MAY JANITORIAL SVC	205.00			
6/05/2019	APBNK	DUE: 6/05/2019 DISC: 6/05/2019		1099: N		
		MAY JANITORIAL SVC		101 4131-87010-000	CITY HALL MAINTENANCE	205.00
		=== VENDOR TOTALS ===	205.00			
=====						
01-04570	JOSEPH, KATRINA E.					
I-0089		MAY PROSECUTIONS	2,500.00			
6/06/2019	APBNK	DUE: 6/06/2019 DISC: 6/06/2019		1099: Y		
		MAY PROSECUTIONS		101 4123-80200-000	LEGAL FEES	2,500.00
		=== VENDOR TOTALS ===	2,500.00			
=====						
01-05509	LEAGUE OF MN CITIES					
I-204040		ANNUAL LMC CONF	480.00			
6/06/2019	APBNK	DUE: 6/06/2019 DISC: 6/06/2019		1099: N		
		ANNUAL LMC CONF		101 4111-86130-000	MEETINGS	480.00
		=== VENDOR TOTALS ===	480.00			
=====						
01-07272	LILLIE SUBURBAN NEWSPAPER					
I-201906057179		ORDINANCE/1667 SNELLING/.SEWE	56.26			
6/05/2019	APBNK	DUE: 6/05/2019 DISC: 6/05/2019		1099: N		
		ORDINANCE/1667 SNELLING/.SEWER		101 4111-70410-000	LEGAL NOTICES	56.26
		=== VENDOR TOTALS ===	56.26			
=====						
01-05418	JUSTIN MARKON					
I-201906057175		MILEAGE AND CELL PHONE REIMB	35.37			
6/05/2019	APBNK	DUE: 6/05/2019 DISC: 6/05/2019		1099: N		
		MILEAGE REIMB		101 4117-86010-000	MILEAGE	15.37
		CELL PHONE REIMB		101 4131-85015-000	CELL PHONE	20.00
		=== VENDOR TOTALS ===	35.37			
=====						
01-05665	METROPOLITAN COUNCIL					
I-1096915		JULY SANITARY SEWER TREATMENT	41,362.51			
6/06/2019	APBNK	DUE: 6/06/2019 DISC: 6/06/2019		1099: N		
		JULY SANITARY SEWER TREATMENT		601 4601-85070-000	SAC CHARGES AND SS CHARG	41,362.51
		=== VENDOR TOTALS ===	41,362.51			

PACKET: 01974 JUNE 6 PAYABLES

VENDOR SET: 01 City of Falcon Heights

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----
 POST DATE BANK CODE -----DESCRIPTION----- GROSS P.O. #
 DISCOUNT G/L ACCOUNT -----ACCOUNT NAME----- DISTRIBUTION

01-05263 MID CITY SERVICES- INDUSTRIAL

I-105265 FLOOR MATS 41.32
 6/05/2019 APBNK DUE: 6/05/2019 DISC: 6/05/2019 1099: N
 FLOOR MATS 101 4131-70110-000 SUPPLIES 41.32
 === VENDOR TOTALS === 41.32

01-07263 NEXTEL COMMUNICATIONS, INC

I-610189225-191 APR 15 TO MAY 14 101.15
 6/05/2019 APBNK DUE: 6/05/2019 DISC: 6/05/2019 1099: N
 APR 15 TO MAY 14 101 4131-85015-000 CELL PHONE 101.15
 === VENDOR TOTALS === 101.15

01-06038 OLSON , JENN

I-201906057178 REC SPORTS REFUND 80.00
 6/05/2019 APBNK DUE: 6/05/2019 DISC: 6/05/2019 1099: N
 REC SPORTS REFUND 201 34310-000 RECREATION FEES 80.00
 === VENDOR TOTALS === 80.00

01-06053 OREILLY AUTO PARTS

I-201906057177 OIL FILTERS/OIL/WIPER BLADE 72.91
 6/05/2019 APBNK DUE: 6/05/2019 DISC: 6/05/2019 1099: N
 OIL FILTERS/OIL/WIPER BLADE 101 4132-70120-000 SUPPLIES 72.91
 === VENDOR TOTALS === 72.91

01-06185 RAMSEY COUNTY

I-PRRRV001148 VOTING SYSTEM 2,141.00
 6/05/2019 APBNK DUE: 6/05/2019 DISC: 6/05/2019 1099: N
 VOTING SYSTEM 101 4115-80300-000 ELECTION CONTRACT 2,141.00
 === VENDOR TOTALS === 2,141.00

01-05374 TENNIS SANITATION LLC

I-2388677 MAY RECYCLING 6,249.75
 6/05/2019 APBNK DUE: 6/05/2019 DISC: 6/05/2019 1099: N
 MAY RECYCLING 206 4206-82030-000 RECYCLING CONTRACTS 6,249.75
 I-2388678 MAY RAMSEY CTY SWMT/CEC 66.50
 6/05/2019 APBNK DUE: 6/05/2019 DISC: 6/05/2019 1099: N
 MAY RAMSEY CTY SWMT/CEC 101 4131-87010-000 CITY HALL MAINTENANCE 66.50
 === VENDOR TOTALS === 6,316.25

PACKET: 01974 JUNE 6 PAYABLES

VENDOR SET: 01 City of Falcon Heights

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----		GROSS	P.O. #		
POST DATE	BANK CODE	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
=====					
01-05737	VERIZON WIRELESS				
I-90830965222	VERIZON WIRELESS	80.04			
6/06/2019	APBNK		1099: N		
	DUE: 6/06/2019 DISC: 6/06/2019				
	cell phone apr 27 to may 26`		101 4124-85015-000	CELL PHONE	80.04
I-9830831146	CELL PHONE FIRE INSPECTOR	59.73			
6/05/2019	APBNK		1099: N		
	DUE: 6/05/2019 DISC: 6/05/2019				
	CELL PHONE FIRE INSPECTOR		101 4117-85015-000	CELL PHONE	59.73
	=== VENDOR TOTALS ===	139.77			
=====					
01-08011	WINGE, DONALD				
I-201906057176	REPAIR CONCRETE ISSUES	451.75			
6/05/2019	APBNK		1099: N		
	DUE: 6/05/2019 DISC: 6/05/2019				
	REPAIR CONCRETE ISSUES		419 4419-92000-000	OTHER IMPROVEMENTS	451.75
	=== VENDOR TOTALS ===	451.75			
	=== PACKET TOTALS ===	64,095.01			

EMP #	NAME	AMOUNT
016	PAMELA M HARRIS	277.05
01-0022	RANDALL C GUSTAFSON	393.07
01-0023	MELANIE M LEEHY	262.05
01-0024	MARK J MIAZGA	262.05
01-1005	SACK THONGVANH	3,289.54
01-1020	AMANDA P LOR	1,360.28
01-1022	NALISHA NANDKUMAR	1,402.69
01-1136	ROLAND O OLSON	2,615.45
01-1021	JUSTIN M MARKON	1,839.35
01-0095	MICHAEL J POESCHL	294.00
01-0097	PATRICK GAFFNEY	128.61
01-0105	ANTON M FEHRENBACH	358.44
01-0123	BRYAN R SULLIVAN	92.35
01-0124	MICHAEL D KRUSE	126.51
01-1030	TIMOTHY J PITTMAN	2,094.07
01-1033	DAVE TRETSEVEN	1,681.32
01-1143	COLIN B CALLAHAN	1,639.77
01-2257	BENJAMIN T STEINER	298.38
01-2254	KELLY M HART	58.41
01-2259	ABIGAIL T PROULX	453.16
01-2261	GRACE AN	55.87

TOTAL PRINTED: 21 18,982.42

5-23-2019 8:41 AM PAYROLL CHECK REGISTER
PAYROLL NO: 01 City of Falcon Heights

PAGE: 1
PAYROLL DATE: 5/23/2019

EMP NO	EMPLOYEE NAME	TYPE	CHECK DATE	CHECK AMOUNT	CHECK NO.
00	KURHAJETZ, CLEMENT	R	5/23/2019	105.05	088583
2260	KLOOS, LEO	R	5/23/2019	50.79	088584

5-23-2019 8:41 AM PAYROLL CHECK REGISTER
PAYROLL NO: 01 City of Falcon Heights

PAGE: 2
PAYROLL DATE: 5/23/2019

*** REGISTER TOTALS ***

REGULAR CHECKS:	2	155.84
DIRECT DEPOSIT REGULAR CHECKS:	21	18,982.42
MANUAL CHECKS:		
PRINTED MANUAL CHECKS:		
DIRECT DEPOSIT MANUAL CHECKS:		
VOIDED CHECKS:		
NON CHECKS:		
TOTAL CHECKS:	23	19,138.26

*** NO ERRORS FOUND ***

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The City That Soars!

REQUEST FOR COUNCIL ACTION

Meeting Date	June 12, 2019
Agenda Item	Consent F2
Attachment	N/A
Submitted By	Amanda Lor, Administrative Coordinator

Item	Approval of City License(s)
Description	<p>The following individuals have applied for a <u>Tree Trimming License</u> for 2019. Staff has received the necessary documents for licensure.</p> <ol style="list-style-type: none"> 1. A Tree Service, Inc.
Budget Impact	N/A
Attachment(s)	N/A
Action(s) Requested	Staff recommends that the Falcon Heights City Council approve the 2019 City License Applications contingent on background checks as required by each permit.

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The City That Soars!

REQUEST FOR COUNCIL ACTION

Meeting Date	June 12, 2019
Agenda Item	Consent F3
Attachment	N/A
Submitted By	Nalisha Nandkumar, Assistant to the City Administrator

Item	Donations for 2019 Parks Program Fund
Description	At the beginning of each year, Falcon Heights' and surrounding businesses provide donations to support the upcoming year's Park and Recreation Fund and Special Events. There are three levels at which the business can donate- Gold (\$200 - \$500) Silver (\$100-\$199) and Bronze (\$50-\$99). The Parks and Recreation department uses the money from the local businesses to assist in purchasing the events entertainment, supplies and any other event and programming related costs. Each donation is recognized by the city as appropriate.
Budget Impact	To date, a total of \$1,430 has been donated to the Parks and Recreation Programming Fund and Special Events Fund. These donations help offset the cost of Parks Programming and Special Events.
Attachment(s)	NA
Action(s) Requested	Motion to accept the following donations for 2019 special events from the following businesses: Gold Level (\$200-250): Dick's Sporting Goods (\$250 Certificate) Silver Level (\$100 - \$199): Bronze Level (\$50-\$99):

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The City That Soars!

REQUEST FOR COUNCIL ACTION

Meeting Date	June 12, 2019
Agenda Item	Consent F4
Attachment	Resolution
Submitted By	Amanda Lor, Administrative Coordinator

Item	Proclamation Recognizing June as Immigrant Heritage Month
Description	<p>June is a time to celebrate diversity and immigrants' shared American heritage. This will be the sixth annual Immigrant Heritage Month (IHM). IHM celebrates our country's heritage – stories of individuals, families, and communities who have contributed to the unique social fabric of our county.</p> <p>One of the remarkable about America is that nearly all of our families originally came from someplace else. Immigration is part of the DNA of this great nation. It's a source of our strength and something we all can take pride in.</p>
Budget Impact	N/A
Attachment(s)	<ul style="list-style-type: none"> Resolution 19-20 Proclamation Recognizing June as Immigrant Heritage Month
Action(s) Requested	Staff recommends approval of attached resolution to recognize June as Immigrant Heritage Month.

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**CITY OF FALCON HEIGHTS
COUNCIL RESOLUTION**

June 12, 2019

No. 19-20

Proclamation

RESOLUTION RECOGNIZING JUNE AS IMMIGRANT HERITAGE MONTH

WHEREAS, generations of immigrants from every corner of the globe have built our country's economy and created the unique character of our nation; and

WHEREAS, immigrants continue to grow businesses, innovate, strengthen our economy, and create American jobs in Minnesota; and

WHEREAS, immigrants have provided the United States with unique social and cultural influence, fundamentally enriching the extraordinary character of our nations; and

WHEREAS, immigrants have been tireless leaders not only in securing their own rights and access to equal opportunity, but have also campaigned to create a fairer and more just society for all Americans; and

WHEREAS, despite these countless contributions, the role of immigrants in building and enriching our nation has frequently been overlooked and undervalued throughout our history and continuing to the present day.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF Falcon Heights, Minnesota formally designates the month of June as Immigrant Heritage Month.

Moved by:

Approved by: _____

Randall Gustafson
Mayor

Vacant
GUSTAFSON
HARRIS
LEEHY
MIAZGA

_____ In Favor
_____ Against

Attested by: _____

Sack Thongvanh
City Administrator

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The City That Soars!

REQUEST FOR CITY COUNCIL ACTION

Meeting Date	June 12, 2019
Agenda Item	Policy G1
Attachment(s)	See below
Submitted By	Justin Markon, Community Development Coordinator

Item	Consider Rezoning Property Located at 1667 Snelling Ave N (Amber Union) from B-3 to PUD
Description	<p>The property located at 1667 Snelling Ave N is a prominent piece of the Falcon Heights community, having been built in the late 1940s and 1950s. Since its inception, the building has been used primarily for offices for various groups, most recently for Technology and Information Educational Services (TIES). The building was sold in April 2019 to Buhl GTA, LP. Buhl and its Principal, Pete Deanovic have brought forward a proposal for the redevelopment of the property.</p> <p><u>Current Status</u></p> <p>There are two buildings on the parcel, the three-story main building and two-story garage/conference center (annex). Both buildings also have a basement. As stated above, the primary use has been office space. There is also an extensive amount of mechanical equipment in the rear of the main building.</p> <p><u>Proposed Use</u></p> <p>Buhl GTA is proposing to redevelop the property into a mixed-use consisting of 106 apartments across all floors of both buildings plus a small retail space on the first floor of the annex. The 2040 Comprehensive Plan notes that “The City will consider housing-only redevelopment in the southwest quadrant [of Snelling and Larpenteur] as long as it is compatible with the transit-oriented, urban character of the other three quadrants, preserves the historic building and provides a significant share of the City’s housing needs projected by 2040.”</p> <p><u>Parking</u></p> <p>The proposal includes 114 parking spaces, which would consist of the existing parking lot behind the main building, east side of property, and the first row on the west side of the annex. Other existing parking is available in the western half of the corner, which is also owned by Buhl GTA. They have said they may be willing to designate more parking for the apartments but would like to keep as much space as possible available for future development.</p>

	<p>The proposed site plan shows the easternmost row of parking encroaching on the City's right of way into Snelling Drive. The City believes it would be appropriate to create an encroachment agreement, which would allow parking in the City's right of way, retain access to underground utilities, and leave maintenance and snow removal to Buhl.</p> <p><u>Planning Commission</u></p> <p>The Planning Commission held a Public Hearing to consider the rezoning during their regular meeting on May 28, 2019. During the meeting, approximately twenty residents offered comments related to the project. Many of those comments were focused on the desire to have ample parking on site so that apartment residents do not park on Hollywood Ct. Others were concerned about access around the Snelling/Larpenteur corner. Staff believe that the parking spaces shown on the site development plans along with the proof of parking on the western half of the project is adequate. Additionally, the site plans were sent to both Ramsey County and MnDOT regarding the proposed redevelopment, and neither agency commented on parking or access concerns.</p> <p>The Planning Commission recommended approval of the rezoning with two conditions: details for a security plan and consideration of not expanding the eastern parking lot. A security plan is included in the site development plans. While the eastern parking lot is shown with three rows of parking, two islands near the building with landscaping will be included and will have trees planted in them. Staff feel these efforts are adequate.</p> <p>The complete staff report is available with the Planning Commission meeting packet from May 28, 2019.</p>
Budget Impact	No impact
Attachment(s)	<ul style="list-style-type: none"> • Planning Application with Site Development Plans dated 05/06/2019 • Fire Marshall's letter • Ordinance 19- Adding Section 113-211 Amber Union PUD • Amber Union Site Map
Action(s) Requested	City Staff recommend approving the rezoning of the property located at 1667 Snelling Ave N from B-3 to PUD.



City of Falcon Heights Planning Application

FOR INTERNAL USE:

Date received: _____

Receipt: _____

Action Requested By:

Name of Property Owner Buhl GTA, LP

Phone (h) _____ (w) 612-968-3728

Address of Property Owner 5100 Eden Avenue, Suite 317, Edina, MN 55346

Name of Applicant (if different) _____

Address _____ Phone _____

Property Involved:

Address 1667 Snelling Ave

Legal Description N 1/2 OF NE 1/4 OF NE 1/4 OF NE 1/4 (SUBJ TO HWY & RD) IN SEC 21 TN 29 RN 23

Property Identification Number (PIN) 212923110030

Present Use of Property (check one):

- | | |
|---|---|
| <input type="checkbox"/> Single Family Dwelling | <input checked="" type="checkbox"/> Business/Commercial |
| <input type="checkbox"/> Duplex/Two Family Dwelling | <input type="checkbox"/> Government/Institutional |
| <input type="checkbox"/> Multi Family Complex | <input type="checkbox"/> Vacant Land |

Action Requested (NON-REFUNDABLE):

- | | |
|---|---|
| <input type="checkbox"/> Variance (\$500.00) | <input type="checkbox"/> Lot Split (\$250.00) |
| <input type="checkbox"/> Conditional Use Permit (\$500.00) | <input checked="" type="checkbox"/> Site Plan Review (\$100.00) |
| <input checked="" type="checkbox"/> Rezoning, Zoning Amendment (\$500.00) | <input type="checkbox"/> Subdivision (Fee on request) |
| <input type="checkbox"/> Comprehensive Plan Amendment (\$550.00) | <input type="checkbox"/> Other (Please Specify) _____ |

The above Application Fees do not include any additional fees that might be required, including legal, engineering, consulting and additional City services. Applicants should meet with City Staff prior to submitting application to discuss applicable ordinances, required attachments, timelines and fees.

Credit card charges will incur a 3.1% + \$0.30 convenience fee.

Brief Summary of Request (applicant may submit letter to Planning Commission with details of request):

Rezoning of the property at 1667 Snelling from zone B-3 to PUD.

I certify that all statements on this application are true and correct:

Signature of Property Owner (required)

Signature of Applicant (if applicable)

Planning Commission meeting: _____ City Council meeting: _____ Approved ___ Denied ___

Amber Union - Workforce Housing Apartments

Preliminary Rezoning Narrative

May 8th, 2019

Introduction & Background

Buhl GTA LP is pleased to submit the following rezoning request for the buildings located at the Southwest corner of Snelling Avenue and Larpenteur Avenue. The Subject Site is comprised of approximately 3.73 acres (note this does not include west parking lot) of land with two existing buildings totaling 171,098 square feet located at 1667 Snelling Ave N in Falcon Heights. The Site is bordered to the north by Larpenteur Ave W and to the east by Snelling Ave N. Buhl GTA, LP is proposing to redevelop the two existing buildings to low income residential housing that will provide dwelling accommodations for families at or below 60% Average Median Income (AMI). The Developer believes the proposed project to be an ideal addition for the future direction of the Larpenteur corridor by providing higher density, transit-oriented affordable housing while reusing the architecturally unique former Harvest States building.

By the numbers, the Amber Union project includes:

- \$45,000,000 of new development
- 106 new units of affordable rental housing
- 3.7 acres added to the City's tax base
- 2,260SF of new commercial/retail space
- 35 new surface parking stalls
- Over \$170,000/yr in taxes created

In order to realize this ambitious project, Buhl GTA, LP have assembled a best-in-class team of design professionals and consultants. This group has extensive experience in workforce housing and includes Mohagen Hansen Architects, BKBM Engineers, Damon Farber Landscape Architecture, PVN (historic preservation consultant), and Kimley Horn. Collectively we feel this group is well positioned to execute on the overall plan.

Due to the historic tenant of the Farmers Union Grain Terminal Association and unique design features of the building, the Developer will utilize Federal and State historic tax credits, which will assist in restoring this notable art-deco building. In a nod to this history, the building is planned to be named "Amber Union" which leans into the extensive agricultural history detailed below. "Amber" harkens from "amber waves of grain" refrain in America the Beautiful which references red spring wheat, a product that the original owner/developer Grain Terminal Association was known for harvesting in the upper Midwest. "Union" speaks toward the history as a farmers union but also the union of people in this newly restored project. This exciting project aims to bring that history to life and bring people together for personal growth.

Building Configuration and Design

The existing buildings located onsite are planned for restoration, with the existing building footprint remaining relatively unchanged and facades untouched. The GTA Headquarters consists of two buildings: the main office building constructed in 1947 with a 1957 addition, and a lab-garage building constructed in 1947. Both the main building and lab-garage building retain their Bedford limestone cladding which will be restored under the rezoning.

The main building is located at the hard corner of Snelling and Larpenteur and V-shaped. The property totals approximately 124,000 SF, spread across a basement, three floors of office each measuring approximately 30,000 SF and a 4,000 SF penthouse. The restoration will retain the historic terrazzo floors, executive penthouse wood paneling, community kitchen and basement auditorium.

The lab-garage building totals approximately 50,000 SF. The garage is located at the first and lower levels of the lab-garage building, one level of which has been closed for safety reasons. The top floor is configured as an event center space and was remodeled in 2013 to corporate office standards. This building has glass block windows which will be replaced with large casement windows (or historical equivalent).

Existing Land Use and Zoning Classification

As referenced in the City's Comprehensive Plan, the Subject Property is located within the central commercial core, the Snelling/Larpenteur business district, and was most recently owned by a non-profit corporation which excludes 6.3 acres from the City's tax base. The previous owner and occupant of the Subject Property is Sourcewell Technology, previously known as Technology and Information Educational Services or TIES.

The building was originally built as the Farmers Union Grain Terminal Association Headquarters but is now commonly known as the TIES building after the non-profit's ownership and occupancy of the property from 2000 until 2019. TIES owned and occupied the property for general office use and special training events. Collectively, the campus has been historically accessed from two locations, the first being a turn off into the west parking lot from Larpenteur Ave W and the second being from the Snelling Dr frontage road accessed from the Snelling Ave and Hoyt Ave intersection to the southeast of the property.

The existing zoning of the Subject Property is Snelling/Larpenteur Business District, which is consistent with the location of the building on the southwest quadrant of Snelling and Larpenteur. However, the building does not currently provide any retail sales or services that serve the surrounding neighborhoods' and community's needs as the district was designed for. As described above, the Subject Property has been occupied by a non-profit and will be vacant in the coming months.

Our Team is proposing to rezone the Subject property from B3-Snelling/Larpenteur Business District to a Planned Unit Development ("PUD") to accommodate this revised use.

Surrounding Area Zoning

The land uses in the surrounding 1,000-foot radius can be separated into three general areas/uses as detailed below:

- North Larpenteur Ave: This portion of the city is predominantly zoned with two designations: (1) B3 - Snelling/Larpenteur Business District and (2) R1 - Single Family housing. Single family housing represents the majority of this area while commercial businesses are generally located directly on the Larpenteur Ave and Snelling intersection or one block away. The commercial buildings in this area tend to be comprised of retail strip centers such as Falcon Crossing which contain restaurants and other businesses that provide neighborhood goods and services. In addition to the B3 and R1 zoning designation, a smaller portion of parcels are zoned as R2 – Two family housing and R4 – Medium Density Multiple Family and townhouses along the north side of Larpenteur.
- Southeast Quadrant of Larpenteur and Snelling intersection: This portion of the city is similar to the area north of Larpenteur in that it is also zoned mostly R1 – Single family housing with the exception of the parcels located directly on the Larpenteur and Snelling intersection. PUD – Planned Unit Development zoned land is located immediately at the intersection and represents a significant portion of the City’s existing affordable housing. Falcon Heights Town Square was built in 2003 and provides a mix of commercial and residential space, including owner-occupied townhomes, senior apartments and affordable housing. The final aspect of this quadrant of the Larpenteur and Snelling intersection is the Curtiss Field Park along Snelling designated as P1- Public Land.
- Southwest Quadrant of Larpenteur and Snelling intersection: The Subject Property is located directly on the Snelling and Larpenteur intersection in this portion of the city. This quadrant consists of a mix of zoning designations but is mostly classified as P1/R1 – Public Land. Approximately 270 acres in this portion of the city contains the Minnesota State Fair Grounds and associated parking lots which accounts for the majority of this area. There is a cluster of R1 – Single Family housing directly to the south of the subject property along Snelling Avenue and four R4 – Medium Density housing parcels to the west of the subject property along the south side of Larpenteur including Larpenteur Manor Apartments and Fairfield Apartments. The parking lot, also owned by Buhl GTA, LP is designated as R5M – High Density Residential Mixed Use but is not included as part of the proposed redevelopment.

We believe that the proposed project, with the requested rezoning, aligns with the City’s Comprehensive Plan that cites a need for more affordable housing, additional taxable land base in the Falcon Heights central commercial core and retail space that provides goods and services to the district.

Proposed Timing and Phasing

Approving the requested rezoning provides an opportunity for the City to continue its efforts in developing the central commercial core and bringing affordable, transit-oriented housing community directly to the epicenter of the Larpenteur and Snelling corridors. This site is uniquely positioned to benefit from the joint efforts of the city and metro transit in bringing bus rapid transit to the front door of the property.

Based on our preliminary review of the market and evaluation of the building, we believe we can deliver 106 affordable housing units within the two existing historic buildings on the site. The project will be

completed in a single phase with construction commencing in January 2020. The addition of the 106 units are designed in accordance with requirements of both Low-Income Housing Tax Credit and Historic Tax Credit design frameworks. Approximately 80% of the total units are designed as 2 or more-bedroom units and 35% of those units are designed as 3 or more-bedroom units. The larger unit sizes provide the ability to house more families which brings more density and residents to the district.

The proposed project includes expanded parking for the site in between the east elevation of the building and Snelling Ave. The total proposed parking count for the building totals 119, including 11 ADA stalls. This allows the project to provide a parking stall per unit, and expands available parking next to the Bus Rapid Transit stop for additional use.

Additionally, the proposed plan makes material improvements to the landscaping and grounds to facilitate community gathering and outdoor functions. The Property is designed to utilize existing access points, with an interior courtyard improved with grill stations, outdoor patios and greenspace. These improvement will all be made in connection with the overall project construction and aim toward continued beautification of the site.

Compatibility with Surrounding Area and Impact to City

The proposed project is consistent with the City's future plans which promotes the Larpenteur Corridor as the "Axis of Redevelopment". The proposed project would help achieve the goals and objectives as stated within the City Comprehensive plan by bringing an increased sense of community directly to the central commercial core of the city, contributing to the City's affordable housing needs and bringing 3.3 acres of previously tax-exempt land onto the City's tax basis. One of the most desirable aspects of the project is the intended re-use of the historic Grain Terminal Association building. Due to its unique architecture, the building has served as an important landmark and monument in the city for over 70 years. In addition, by working with the existing footprint, the development does not affect the open landscapes of the City, cited as the most important aspect of the Larpenteur Corridor redevelopment plan.

With respect to adjacent land use and zoning designation, the project is similar height to adjacent uses directly across Snelling Ave. and the proposed plan doesn't aim to change the building façade along any Snelling or Larpenteur in a material way. Similar to Falcon Heights Town Square, the proposed Amber Union project provides medium-density affordable housing with a retail component on the ground floor. Guided land uses for properties located directly on the intersection of Snelling and Larpenteur are business oriented and include some form of commercial retail component which our development contemplates. The project team believes that surrounding retail uses are complimentary to establishing a vibrant livable community. The increase in residents and families immediately adjacent to these uses will provide additional customers and patrons for neighboring restaurants and businesses and contribute to a sense of community and connectedness in the central core.

Rezoning Impact to Subject Property

Rezoning the site to Planned Unit Development (PUD) creates the ability for the site to meet today's market demand for affordable housing on such a unique site. The requested zoning designation also improves the livability and vibrancy of the primary redevelopment corridor in the city of Falcon Heights.

Buhl GTA LP has been in pursuit of replacement tenants for 9 months. The highlight of these efforts was the selection of the building as a semi-finalist for the USDA relocation out of Washington DC. In early May 2019 the USDA notified Buhl GTA LP and two other Minnesota based locations that the Twin Cities did not make the final cut. Apart from this activity, the leasing representatives have not been successful in finding replacement tenants to fill the building at competitive market rental rates. In comparison to similar office buildings, this location has struggled with the travel time to interstates, the lack of surrounding office space and financial viability of market rates relative to required infrastructure improvements. The project works well for government and education related uses but we do not have anything actionable at this time. In a marketplace that sees shrinking office demand with mobile working and hoteling, these trends are not all that surprising. Alternative uses have expressed the most immediate interest, namely multiple charter school uses. However, ownership aims to bring this project into tax contributing status and long-term charter uses undermine those efforts.

Buhl GTA LP , and the collaborating team, is interested in developing the site to improve long term housing vitality in Falcon Heights and restore this beautiful building into a tax paying fixture at this prominent corner. Through the proposed redevelopment, the project aims to address existing shortcomings and enhance current benefits as follows:

- Existing façade is restored rather than torn down and replaced
- Garden level allows for functional uses at grade, whereas alternative uses would be less inclined to make productive use of these purposefully built places
- Takes the blighted parking garage and restores it to functioning tax producing space
- Addresses the housing gaps that exist throughout the metropolitan area by adding workforce housing for families
- Benefits by the city infrastructure improvements with the bus rapid transit stop out front and proximity to Como Park just a short bike away.

Current vacancy rates at nearly 0% in affordable housing suggests greater opportunities exist in this converted use than in a more traditional office marketplace which currently struggles with overall metro vacancy rates of +18%. The ability to provide affordable workforce housing will play a significant role in meeting market demand and driving commerce for the subject Property.

Building Reconfiguration

The building is configured to make use of the historic design features and working in collaboration with the national Parks service which governs historic restorations. These plans result in mostly interior and site improvements with relatively limited façade changes.

Stormwater Management

The project aims to utilize open areas to accommodate storm functionality. While this system has not yet been designed fully, it will aim to build on the surrounding landscape improvements and utilize rain gardens as means of managing runoff.

Landscaping

The project provides for substantial landscaping and streetscape improvements throughout the land area. We have strived to integrate sustainable design principles into our landscape design. This practice includes utilizing diverse plant species, disease and drought resistant native and naturalized plant material, along with the reduction of stormwater run-off through the use of a water efficient irrigation and reduced impervious surface.

Building History

The GTA began operations with one terminal elevator (the St. Paul elevator constructed by the Equity Cooperative Exchange in 1917), and two branch offices in Duluth and Great Falls.

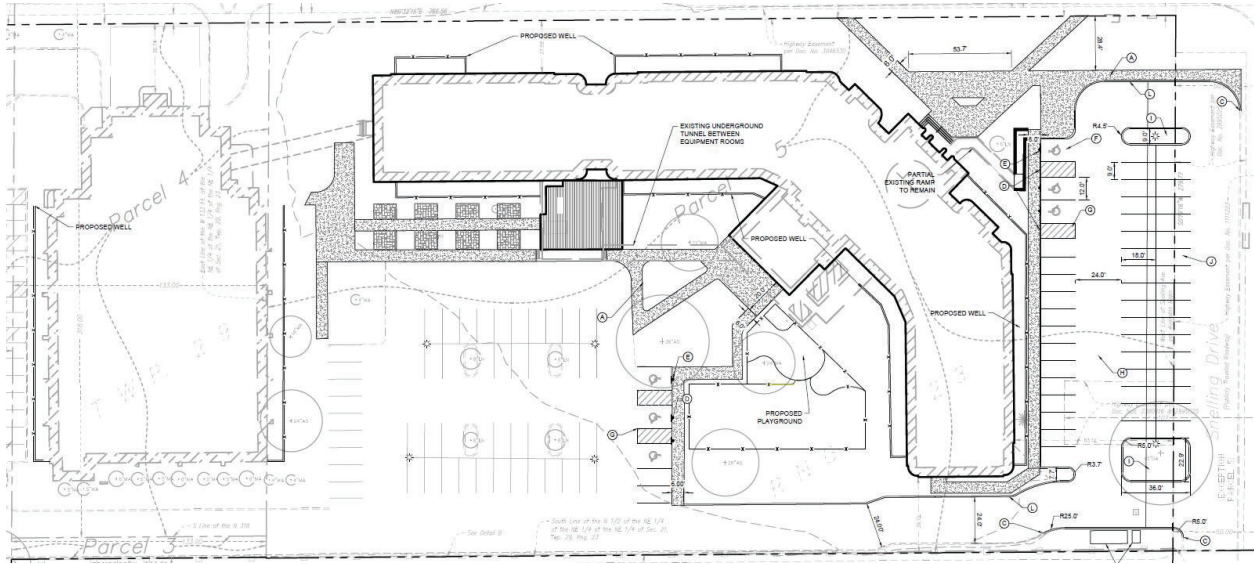
In contrast to earlier terminal marketing associations, the organization was allowed entrance to the Minneapolis Chamber of Commerce, enabling it to trade grain directly with buyers at the regional grain exchange.

The GTA Headquarters is an excellent late example of Moderne-style architecture and is eligible for the National Register of Historic Places under architectural significance – character we aim to maintain. Construction on the new GTA office building began in December of 1945; construction on the second building to serve as a garage and laboratory began the following May. Rising demand for flaxseed in the autumn of 1946, combined with the removal of the federal government’s ceiling price for the crop in October, allowed the GTA to finance its new headquarters with nearly two million dollars of profits from the sale of flaxseed that year, leading to its nickname, “The House that Flax Built.” The headquarters was dedicated on December 11, 1946 to coincide with the ninth annual GTA stockholder’s meeting. The first of over 350 GTA employees moved in on January 6, 1947, though construction of some interior spaces continued after this date.

The construction of this large headquarters complex, just nine years after the GTA’s establishment in 1938, was an impressive feat. However, as one of the organization’s 1947 publications noted, the cooperative itself was a product of “the work and effort of thousands of farmers over a period of nearly 50 years.” In a sense, the GTA represented a capstone achievement in the evolution of Midwestern grain marketing cooperatives, and the architecture of its new headquarters communicated its status as a leader in farmer-driven cooperative progress.

From the postwar era through the early 1980s, the GTA continued to increase its profits and expand its scope of activities, directing these operations from its Falcon Heights headquarters. By the mid-1950s, the GTA sold wheat, durum, rye, barley, oats, corn, flaxseed, and soybeans in 39 states. A c. 1955 publication stated that the GTA was “the largest cooperative grain marketing organization in the United States.” In 1976, the GTA was one of the ten largest farm cooperatives in the United States. This success was reflected in its ratio of earnings to assets, which were essentially the same as those of the private firm Cargill. In 1983, the GTA merged with the North Pacific Grain Growers to establish Harvest States Cooperatives, which continued to occupy the GTA Headquarters. In 1998, Harvest States merged with Cenex (formerly known as the Farmers Union Central Exchange, the purchasing cooperative formed by the FUTA) to create Cenex Harvest States Cooperatives. The following year, Harvest States employees left 1667 Snelling Avenue North for Since 2000, the building has been occupied by Technology and Information Educational Services, or TIES (now known as Sourcewell), a school technology collaborative.

Exhibit A
Project Site Plan



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K:\TWC_LDEV\Mohagen_Hansen\GTA Building\3 Design\CAD\Plan\Sheet\03-COVER SHEET.dwg, June 05, 2019 - 3:53pm
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which they were prepared. Release of and/or reuse of any part of this document without authorization and substitution by Kimley-Horn and Associates, Inc. shall be the responsibility of Kimley-Horn and Associates, Inc.

SITE DEVELOPMENT PLANS FOR GTA BUILDING

S21, T29N, R23W FALCON HEIGHTS, RAMSEY COUNTY, MN

PROJECT TEAM:

ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.



PREPARED BY: DAN L. ELENBAAS, PE
767 EUSTIS STREET, SUITE 100
ST. PAUL, MN 55114
TELEPHONE (651) 645-4197

LANDSCAPE ARCHITECT



DAN HENNING
LANDSCAPE ARCHITECTS
401 2nd Avenue North, Suite 410
Minneapolis, MN 55401
p 612.332.7522
CONTACT: KEVIN HENN

OWNER / DEVELOPER
BUHL GTA, LP

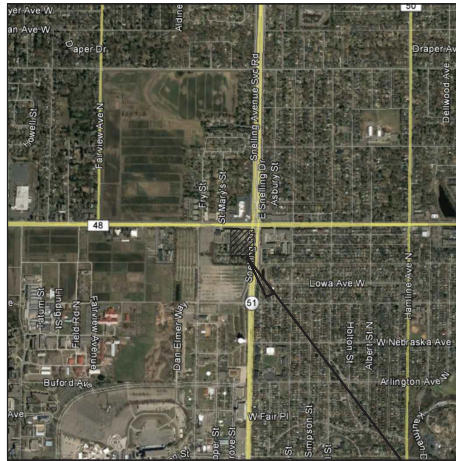


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CONTACT: PETER DEANOVIC

ARCHITECT



1000 Twelve Oaks
Center Dr.
Suite 200
Wayzata MN 55391
Tel 952.426.7400
Fax 952.426.7440
CONTACT: TODD NOVAK



**VICINITY
N.T.S.**



NOTES:

1. CONTRACTOR SHALL CONFIRM THAT THE EXISTING CONDITIONS FOR THE SITE MATCH WHAT IS SHOWN ON THE DRAWINGS INCLUDED PRIOR TO CONSTRUCTION.
2. IF REPRODUCED, THE SCALES SHOWN ON THESE PLANS ARE BASED ON A Previous paper size (34.00 x 22.00 Inches) SHEET.
3. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICES COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
4. ALL GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.

DRAWING INDEX	
SHEET NO.	SHEET TITLE
C000	COVER SHEET
C100	GENERAL NOTES
C200	DEMO PLAN
C300	EROSION AND SEDIMENT CONTROL PLAN
C400	SITE PLAN
C500	GRADING PLAN
C501	STORM SEWER PLAN
C600	UTILITY PLAN
C701	CIVIL DETAILS
C702	CIVIL DETAILS
L003	TREE PROTECTION PLAN
L010	MATERIAL AND PLANTING SCHEDULES
L100	LANDSCAPE PLAN
L200	LANDSCAPE ENLARGEMENT PLANS
L500	LANDSCAPE DETAILS
A200	FLOOR PLANS - OVERALL BASEMENT
A201	FLOOR PLANS - OVERALL FIRST FLOOR
A202	FLOOR PLANS - OVERALL SECOND FLOOR
A203	FLOOR PLANS - OVERALL THIRD FLOOR
A204	FLOOR PLANS - OVERALL FOURTH FLOOR
A300	EXTERIOR BUILDING ELEVATIONS
A301	EXTERIOR BUILDING ELEVATIONS
A302	EXTERIOR BUILDING ELEVATIONS
A303	EXTERIOR BUILDING ELEVATIONS



NO.	REVISIONS	DATE	BY
1		05/09/2019	JPB
2		05/09/2019	JPB

Kimley-Horn
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MINN. PROJECT NO.	DATE	SCALE	AS SHOWN	DESIGNED BY	DRAWN BY	CHECKED BY	DLE	DATE	U.C. NO.	4884
	5/6/2019			JPB	JPB	JPB				

COVER SHEET

GTA BUILDING
PREPARED FOR
MOHAGEN
HANSEN
FALCON HEIGHTS
MN

SHEET NUMBER
C000

PRELIMINARY - NOT FOR CONSTRUCTION

This document, together with the proposals and designs prepared hereon, shall remain the property of the engineer, and shall not be used for any other purpose, and shall not be made available to any other person without the written consent of the engineer. Plans and specifications are subject to change without notice.

GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE MN DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" (LATEST EDITION) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK, AND, UNLESS OTHERWISE NOTED, ALL WORK SHALL CONFORM TO AND BE APPLICABLE TO THESE STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
3. THE EXISTING SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS QUALITY LEVEL "D" UNLESS OTHERWISE NOTED. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF SOURCE 8002 ENTITLED STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF SUBSURFACE QUALITY DATA BY THE FEA. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHOVE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF NECESSARY PRIOR TO COMMENCING WORK.
6. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
7. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER. AMENDMENTS TO THE DRAWINGS SHALL BE PROVIDED BY THE OWNER. CORRECTIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
8. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER DIRECTLY FROM THE TESTING AGENCY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF MN PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
10. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS AS NECESSARY.
11. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
13. SHOULD CONTRACTOR ENCOUNTER ANY DEBRIS LANDFILL SOIL, STRUCTURES NOT IDENTIFIED IN THE DOCUMENTS, OR OTHER SOURCE OF POTENTIAL CONTAMINATION, THEY SHALL IMMEDIATELY CONTACT THE ENGINEER AND OWNER.

EROSION CONTROL MAINTENANCE

1. ALL MEASURES STATION ON THE EROSION AND SEDIMENT CONTROL PLANS AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION AS REQUIRED BY ALL JURISDICTIONS UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A CERTIFIED PERSON AT LEAST EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETRIORATION.
- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED. FOR MAINTENANCE REQUIREMENTS REFER TO THE STANDARD SPECIFICATIONS.
- SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-THIRD THE HEIGHT OF THE SILT FENCE.
- THE CONSTRUCTION ENTRANCE(S) SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCE(S) WITH SAND.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
- ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

TYPICAL OWNER/ENGINEER OBSERVATIONS

CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER 48 HOURS IN ADVANCE OF THE FOLLOWING ACTIVITIES:

- PRE-CONSTRUCTION MEETING, SUBGRADE PREPARATION, BASE INSTALLATION
- ASPHALT INSTALLATION, UNDERGROUND PIPING AND UTILITIES INSTALLATION
- INSTALLATION OF STRUCTURES, CHECK VALVES, HYDRANTS, METERS, ETC.; SIDEWALK INSTALLATION, CONNECTIONS TO WATER AND SEWER MAINS, TESTS OF UTILITIES

EROSION CONTROL NOTES

1. THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF MN ANNUAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. BEST MANAGEMENT PRACTICES (BMPs) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.
4. SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ON A PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ALL FINES IMPOSED FOR DISCHARGING SEDIMENT ONTO PUBLIC AREAS SHALL BE PAID BY THE CONTRACTOR.
5. TEMPORARY SEEDING OR OTHER APPROVED METHODS OF STABILIZATION SHALL BE INITIATED WITHIN 7 DAYS OF THE LAST DISTURBANCE ON ANY AREA OF THE SITE.
6. THE CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
7. CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON EACH CONCRETE TRUCK AVAILABLE TO CONTAIN AND CLEAR OIL, GREASE, SPILLS AND LEAKS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
12. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN SHALL BE INITIATED AS SOON AS IS PRACTICABLE.
13. ALL STAGING AREAS, STOCKPILES, SPILLS, ETC. SHALL BE LOCATED SUCH THAT THEY WILL NOT ADVERSELY AFFECT STORM WATER QUALITY. OTHERWISE, COVERING OR ENCLOSING THESE AREAS WITH SOME PROTECTIVE MEASURE WILL BE NECESSARY.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR RE-ESTABLISHING ANY EROSION CONTROL DEVICE WHICH THEY DISTURB. EACH CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES THAT MAY LEAD TO UNAUTHORIZED DISCHARGE OR STORM WATER POLLUTION, SEDIMENTATION, OR OTHER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE (BUT ARE NOT LIMITED TO) EXCESS CONCRETE DUMPING OR CONCRETE RESIDUE, PAINTS, SOLVENTS, GREASES, FUEL AND LUBRICANT OIL, PESTICIDES, AND ANY SOLID WASTE MATERIALS.
15. EROSION CONTROL DEVICES SHOWN ON THESE PLANS SHALL BE INSTALLED PRIOR TO THE START OF LAND-DISTURBING ACTIVITIES ON THE PROJECT.
16. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THIS PROJECT. CHANGES ARE TO BE APPROVED BEFORE CONSTRUCTION BY THE DESIGN ENGINEER AND THE CITY OF FALCON HEIGHTS ENGINEERING DIVISION.
17. IF THE EROSION CONTROL PLAN AS APPROVED CANNOT CONTROL EROSION AND OFF-SITE SEDIMENTATION FROM THE PROJECT, THE EROSION CONTROL PLAN WILL HAVE TO BE REVISED AND/OR ADDITIONAL EROSION CONTROL DEVICES WILL BE REQUIRED ON SITE. ANY REVISIONS TO THE EROSION CONTROL PLAN MADE BY THE CONTRACTOR MUST BE APPROVED BY THE ENGINEER.

PAVING AND STRIPING NOTES

1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTIONS RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR MN/DOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
2. ALL SIGNS, PAVEMENT MARKINGS, AND CLEAR TRAFFIC CONTROL DEVICES SHALL CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND CITY STANDARDS.
3. CONTRACTOR SHALL FURNISH ALL PAVEMENT MARKINGS FOR FIRE LANES, ROADWAYS, LANES, PARKING STALLS, ACCESSIBLE PARKING SYMBOLS, ACCESSIBLE AISLES, STOP BARS AND SIGNS, AND MISCELLANEOUS STRIPING WITHIN THE PARKING LOT AS SHOWN ON THE PLANS.
4. ALL EXPANSION JOINTS SHALL EXTEND THROUGH THE CURB.
5. THE MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS SHALL BE 2 FEET.
6. ALL JOINTS, INCLUDING EXPANSION JOINTS WITH REMOVABLE TACK STRIPS, SHALL BE SEALED WITH JOINT SEALANT.
7. THE MATERIALS AND PROPERTIES OF ALL CONCRETE SHALL MEET THE APPLICABLE REQUIREMENTS IN THE A.C.I. AMERICAN CONCRETE INSTITUTE MANUAL OF CONCRETE PRACTICE.
8. CONTRACTOR SHALL APPLY A SECOND COATING OVER ALL PAVEMENT MARKINGS PRIOR TO ACCEPTANCE BY OWNER FOLLOWED BY A COAT OF GLASS BEADS AS APPLICABLE PER THE PROJECT DOCUMENTS.
9. ANY EXISTING PAVEMENT, CURBS AND/OR SIDEWALKS DAMAGED OR REMOVED WILL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE TO THE SATISFACTION OF THE ENGINEER AND OWNER.
10. BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY SUITABLE ACCESSIBLE ROUTES (PER ADA). GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STANDARDS. MINIMUM CLEARANCE SHALL BE 80 INCHES. SIDEWALK RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2%, IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 3%. IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1.5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA COMPLIANCE ISSUES.
11. MAXIMUM JOINT SPACING IS TWICE THE DEPTH OF THE CONCRETE PAVEMENT IN FEET.

GRADING AND DRAINAGE NOTES

1. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
2. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL ADJUST BMPs AS NECESSARY AND RECORDING OCCURS IN PAVED AREAS AND SHALL NOTIFY ENGINEER IF ANY GRADING STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
3. CONTRACTOR SHALL ENSURE THERE IS POSITIVE DRAINAGE FROM THE PROPOSED BUILDINGS SO THAT SURFACE RUNOFF WILL DRAIN BY GRAVITY TO NEW OR EXISTING DRAINAGE OUTLETS. CONTRACTOR SHALL ENSURE NO FLOWING OCCURS IN PAVED AREAS AND SHALL NOTIFY ENGINEER IF ANY GRADING SURFACES ARE FOUND IN THE EXISTING AND PROPOSED GRADES PRIOR TO PLACEMENT OF PAVEMENT OR UTILITIES.
4. CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES THAT ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION. EXISTING CASTINGS AND STRUCTURES TO REMAIN SHALL BE ADJUSTED TO MATCH THE PROPOSED FINISHED GRADES.
5. BACKFILL FOR UTILITY LINES SHALL BE PLACED PER DETAILS, STANDARDS, AND SPECIFICATIONS SO THAT THE UTILITY WILL BE STABLE. WHERE UTILITY LINES CROSS THE PARKING LOT, THE TOP 6 INCHES SHALL BE COMPACTED SIMILARLY TO THE REMAINDER OF THE LOT. UTILITY DITCHES SHALL BE USUALLY INSPECTED DURING THE EXCAVATION PROCESS TO ENSURE THAT UNSERVICEABLE FILL IS NOT USED.
6. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF 4" OF TOPSOIL AT COMPLETION OF WORK. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SOODED.
7. AFTER PLACEMENT OF SUBGRADE AND PRIOR TO PLACEMENT OF PAVEMENT, CONTRACTOR SHALL TEST AND OBSERVE PAVED AREAS FOR EVIDENCE OF PONDING. ALL AREAS SHALL ADEQUATELY DRAIN TOWARDS THE INTENDED STRUCTURE TO CONVEY STORM RUNOFF. CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER AND ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED.
8. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT FULL DEPTH FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
9. THE CONTRACTOR SHALL INSTALL PROTECTION OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
10. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
11. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO MN/DOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
12. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SOODED OR SEEDED AS SPECIFIED IN THE PLANS. FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE SOODED OR SEEDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
14. SOIL, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION AND RUNOFF DISCHARGES.
15. THE CONTRACTOR SHALL ENSURE THAT LANDSCAPE ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO TAKE CARE TO REMOVE ANY UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
16. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS AND MN/DOT SPECIFICATIONS.
17. ALL CONCRETE/ASPHALT SHALL BE INSTALLED PER GEOTECH REPORT, CITY OF FALCON HEIGHTS AND MN/DOT SPECIFICATIONS.
18. SPOOT ELEVATIONS ARE TO FLOWLINE OF CURB UNLESS OTHERWISE NOTED.
19. LIMITS OF CONSTRUCTION ARE TO THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED ON PLAN.
20. IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS.
21. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION WITHOUT COMPENSATION.
22. BLENDED NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
23. ALL PROPOSED GRADES ONSITE SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED ON THE PLANS. ANY SLOPES STEEPER THAN 4:1 REQUIRE EROSION AND SEDIMENT CONTROL BLANKET.
24. ADHERE TO ALL TERMS AND CONDITIONS AS NECESSARY IN THE GENERAL N.P.D.E.S. PERMIT AND STORMWATER POLLUTION PREVENTION PLAN FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
25. ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS CURVE.
26. CONTRACTOR SHALL ENSURE MINIMUM GRADES ARE MET WITHIN PAVED AREAS: 1.2% FOR ASPHALT PAVING AND 0.6% FOR CONCRETE PAVING.

3RD PARTY TEST REPORTS REQ'D

TEST REPORTS REQUIRED FOR CLOSE OUT INCLUDE, BUT ARE NOT LIMITED TO:


- DENSITY TEST REPORTS
- BACTERIOLOGICAL TESTS OF WATER SYSTEM
- PRESSURE TEST OF WATER-SEWER
- FRET TESTS ON SEWER SYSTEM AND GREASE TRAPS
- ANY OTHER TESTING REQUIRED BY THE AGENCY/MUNICIPALITY

WATER STORM SEWER & SANITARY SEWER NOTES

1. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES, GRAVITY SEWER LINES, AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
2. ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR UTILITY LOCATION AND COORDINATION IN ACCORDANCE WITH THE NOTES CONTAINED IN THE GENERAL CONSTRUCTION SECTION OF THIS SHEET.
3. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
4. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATER TIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. WALLS SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
5. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY D.I. PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNSUITABLE FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
6. WATER FOR FIRE FIGHTING SHALL BE MADE AVAILABLE FOR USE BY THE CONTRACTOR PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
7. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
8. UNDERGROUND LINES SHALL BE SURVEYED BY A STATE OF MN PROFESSIONAL LAND SURVEYOR PRIOR TO BACK FILLING.
9. CONTRACTOR SHALL PERFORM AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A MANHOLE TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.
10. CONTRACTOR SHALL PROVIDE FOR A MINIMUM HORIZONTAL CLEARANCE OF 10' AND A VERTICAL CLEARANCE OF 18" BETWEEN WATER AND SANITARY SEWER MANHOLES AND LINES.
11. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE. THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
12. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUDED TO ASSURE CONNECTION AT STRUCTURE IS WATER TIGHT UNLESS OTHERWISE STATED BY CITY AND STATE DESIGN STANDARDS AND SPECIFICATIONS.
13. UNLESS OTHERWISE STATED IN CITY AND STATE DESIGN STANDARDS AND SPECIFICATIONS, ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RINGS & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER". EXISTING CASTINGS AND STRUCTURES WITHIN PROJECT LIMITS SHALL BE ADJUSTED TO MEET THESE CONDITIONS AND THE PROPOSED FINISHED GRADE.
14. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION THEN THE CONTRACTOR SHALL SUPPLY AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
15. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
16. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR FROM INTERIOR TO INVERT OUT.
17. ROOF DRAINS SHALL BE CONNECTED TO STORM SEWER BY PREFABRICATED WYES OR AT STORM STRUCTURES. ROOF DRAINS AND TRUCK WELLS DRAIN SHALL RUN AT A MINIMUM 1% SLOPE UNLESS NOTED OTHERWISE, AND THE IN AT THE CENTERLINE OF THE STORM MAN.
18. ALL ROOF AND SANITARY SEWER DRAINS SHALL BE INSULATED IF 7" OF COVER CANNOT BE PROVIDED.
19. THE CONTRACTOR SHALL PROTECT EXISTING UNDERGROUND UTILITIES AND APPURTENANCES THAT ARE TO REMAIN FROM DAMAGE DURING CONSTRUCTION OPERATIONS.
20. THE LOCATION OF EXISTING UTILITIES, STORM DRAINAGE STRUCTURES AND OTHER ABOVE AND BELOW-GRADE IMPROVEMENTS ARE APPROXIMATE AS SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, SIZE AND INVERT ELEVATIONS OF EACH PRIOR TO THE START OF CONSTRUCTION.
21. A MINIMUM OF 5' SEPARATION IS REQUIRED BETWEEN UTILITIES AND TREES UNLESS A ROOT BARRIER IS INSTALLED.
22. GAS, PHONE AND ELECTRIC SERVICES SHOWN FOR INFORMATIONAL PURPOSES ONLY. DRY UTILITY COMPANIES MAY ALTER THE DESIGN LAYOUT DURING THEIR REVIEW. CONTRACTOR TO COORDINATE FINAL DESIGN AND INSTALLATION WITH UTILITY COMPANIES.
23. COORDINATE UTILITY INSTALLATION WITH IRRIGATION DESIGN AND INSTALLATION.
24. ALL DIMENSIONS ARE TO FLOW LINE OF CURB UNLESS OTHERWISE NOTED. PERMETER WALL DIMENSIONS ARE TO INSIDE WALL FACE. REFERENCE ARCHITECTURAL PLANS FOR EXACT WALL WIDTH AND SPECIFICATIONS.
25. REFERENCE ARCHITECTURAL PLANS (BY OTHERS) FOR EXACT BUILDING DIMENSIONS, AND MATERIALS SPECIFICATIONS.
26. REFERENCE M.E.P. PLANS (BY OTHERS) FOR MECHANICAL EQUIPMENT DIMENSIONS AND SPECIFICATIONS.
27. CONTRACTOR SHALL REFERENCE STRUCTURAL PLANS (BY OTHERS) FOR MECHANICAL EQUIPMENT DIMENSIONS AND PAD PREPARATION SPECIFICATIONS.
28. CONTRACTOR SHALL REFERENCE M.E.P. PLANS (BY OTHERS) FOR LIGHT POLE WIRING.

CITY SUBMITTAL		05/09/2019		JPR	
CITY SUBMITTAL		06/03/2019		JPR	
NO		NO		REVISONS	
NO		NO		DATE	
NO		NO		BY	

PRELIMINARY - NOT FOR CONSTRUCTION

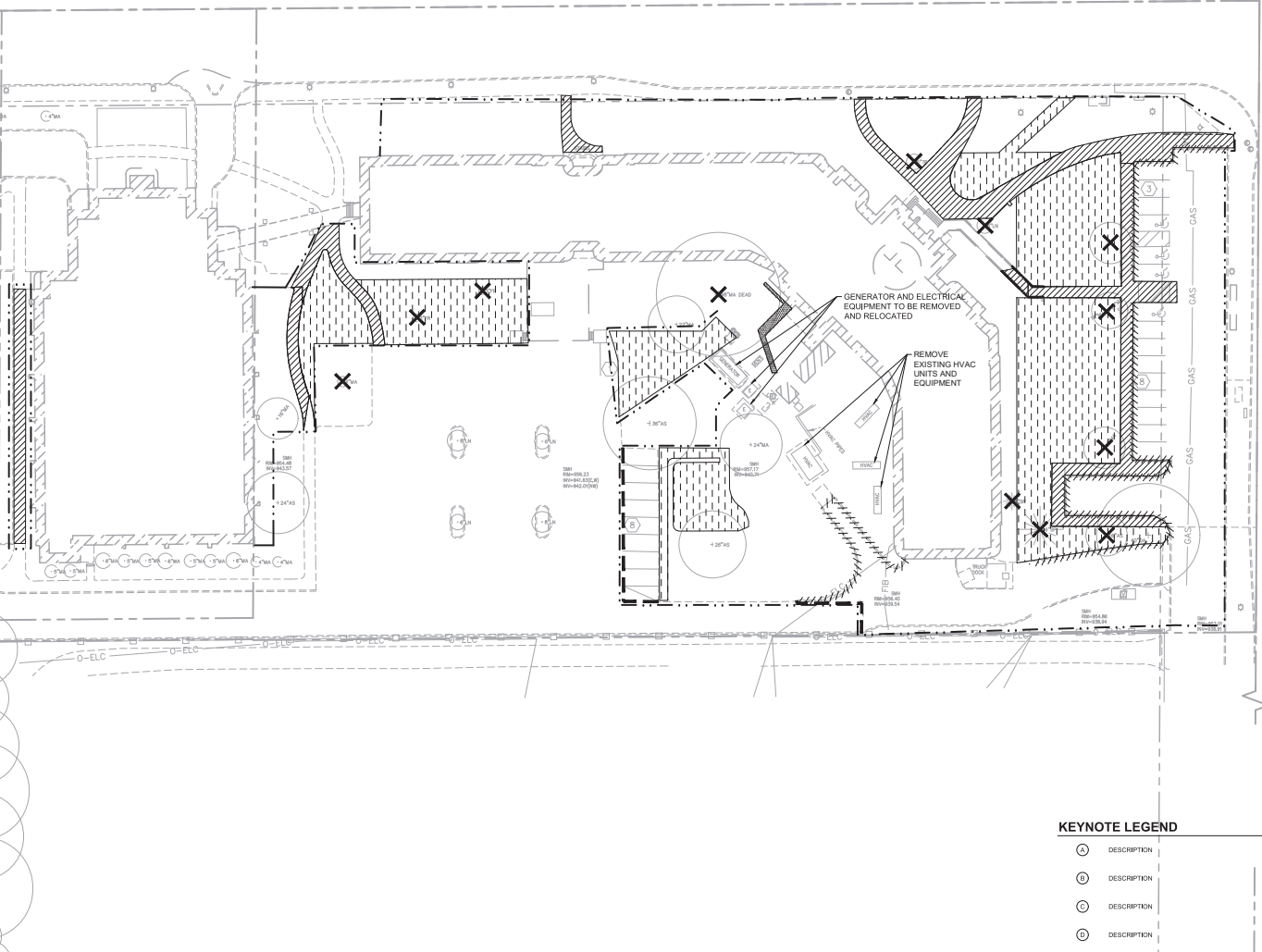


Kimley-Horn

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 PHONE: (616)464-1929
 WWW.KIMLEY-HORN.COM

GENERAL NOTES

GTA BUILDING PREPARED FOR MOHAGEN HANSEN FALCON HEIGHTS	SHEET NUMBER C100
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KEYNOTE LEGEND

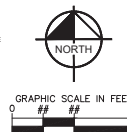
(A)	DESCRIPTION
(B)	DESCRIPTION
(C)	DESCRIPTION
(D)	DESCRIPTION

DEMOLITION PLAN NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PAVE WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS ON THE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACT MATERIAL FOR THE PROJECT DOCUMENTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING OF THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. CONTRACTOR SHALL PROVIDE COPIES OF THE PERMIT AND RECEIPTS OF DISPOSAL OF MATERIALS TO THE OWNER AND OWNERS REPRESENTATIVE.
3. THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO ADJACENT PROPERTIES AT ALL TIMES. UTILITY SERVICES SHALL NOT BE INTERRUPTED WITHOUT APPROVAL FROM THE CONSTRUCTION MANAGER AND COORDINATOR WITH THE ADJACENT PROPERTIES AND/OR THE CITY.
4. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
5. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR LOCATIONS OF EXISTING UTILITIES WITHIN ALL AREAS OF PROPOSED WORK.
6. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION OR AS ANY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.
7. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSFER OF SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
8. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. MAINTENANCE OF TRAFFIC CONTROL SHALL BE COORDINATED IN ACCORDANCE WITH FALCON HEIGHTS, <CITY>-COUNTY AND MDOT.
9. CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL NOTIFY ALL PROPERTIES IF ACCESS WILL BE INTERRUPTED OR ALTERED AT ANY TIME DURING CONSTRUCTION.
10. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
11. CONTRACTOR MAY LIMIT SAW CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGES IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
12. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE CITY WATER DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE THROUGHOUT THE SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY OF FALCON HEIGHTS DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
13. REFER TO SURVEY FOR ALL EXISTING INVERT AND RIM ELEVATIONS.
14. ALL UTILITIES SHOWN ARE EXISTING UTILITIES.
15. IN THE EVENT A WELL IS FOUND, THE CONTRACTOR SHALL CONTACT THE ENGINEER AND OWNER IMMEDIATELY. ALL WELLS SHALL BE SEALED BY A LICENSED WELL CONTRACTOR IN ACCORDANCE WITH ALL STATE OF MN REQUIREMENTS.
16. IN THE EVENT THAT UNKNOWN CONTAINERS OR TANKS ARE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE OWNER AND/OR OWNERS REPRESENTATIVE IMMEDIATELY. ALL CONTAINERS SHALL BE DISPOSED OF AT A PERMITTED LANDFILL PER THE PROJECT DOCUMENTS.
17. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY EXISTING DRAINPILE IS ENCOUNTERED ON SITE. NO ACTIVE DRAINPILE SHALL BE REMOVED WITHOUT APPROVAL FROM THE ENGINEER.

LEGEND

	PROPERTY LINE
	REMOVE BITUMINOUS SURFACE
	REMOVE CONCRETE SURFACE
	REMOVE BUILDING
	CLEARING & GRUBBING
	FULL DEPTH SAWCUT
	REMOVE TREE
	REMOVE CONCRETE CURB & GUTTER
	REMOVE UTILITY LINES
	FILL & ABANDON UTILITY LINES
	LIMITS OF CONSTRUCTION
	EXISTING OVERHEAD POWER LINE
	EXISTING CHAINLINK FENCE
	EXISTING J BARRIER
	EXISTING RETAINING WALL
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING WATERMAIN
	EXISTING GAS MAIN
	EXISTING UNDERGROUND TELEPHONE
	EXISTING UNDERGROUND CABLE
	EXISTING CONTOUR
	EXISTING CURB & GUTTER
	EXISTING SIGN
	EXISTING FLARED END SECTION
	EXISTING STORM MANHOLE
	EXISTING STORM CATCHBASIN
	EXISTING GAS METER
	EXISTING POST INDICATOR VALVE
	EXISTING WELL
	EXISTING AUTOMATIC SPRINKLER
	EXISTING ROOF DRAIN
	EXISTING GATE VALVE
	EXISTING HYDRANT
	EXISTING METAL COVER
	EXISTING ELECTRICAL METER
	EXISTING AIR CONDITIONER
	EXISTING TELEPHONE MANHOLE
	EXISTING CABLE BOX
	EXISTING GUY WIRE
	EXISTING POWER POLE
	EXISTING LIGHT POLE
	EXISTING TREE
	EXISTING TREE LINE



PRELIMINARY - NOT FOR CONSTRUCTION

<p>GTA BUILDING PREPARED FOR MOHAGEN HANSEN FALCON HEIGHTS, MN</p>	<p>DEMO PLAN</p>	<p>DATE: 05/09/2019 JPB</p>		<p>NO. _____</p>	<p>BY _____</p>
		<p>DATE: 05/09/2019 JPB</p>			
<p>DATE: 05/09/2019</p>	<p>DATE: 05/09/2019</p>	<p>NO. _____</p>	<p>NO. _____</p>	<p>NO. _____</p>	<p>NO. _____</p>
<p>DATE: 05/09/2019</p>	<p>DATE: 05/09/2019</p>	<p>NO. _____</p>	<p>NO. _____</p>	<p>NO. _____</p>	<p>NO. _____</p>
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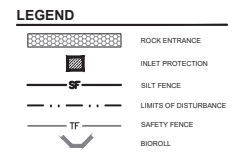
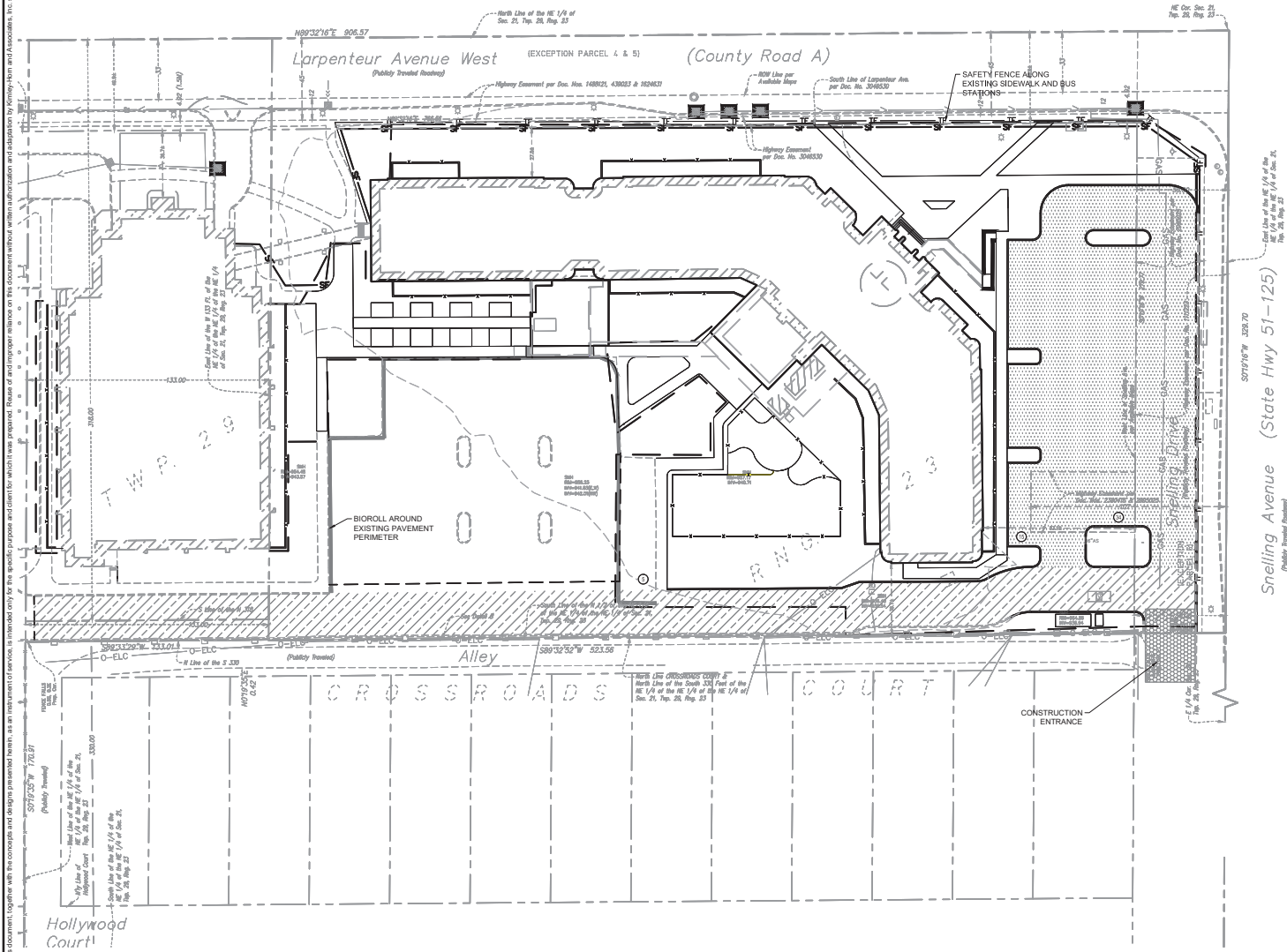
Kimley-Horn
201 KIMLEY-HORN ASSOCIATES, INC.
707 EUBANK STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: (612) 464-1199
WWW.KIMLEY-HORN.COM

THIS PLAN AND SPECIFICATIONS WERE PREPARED BY THE ENGINEER AND CONTRACTOR AND ARE NOT TO BE USED FOR ANY OTHER PROJECT OR UNDER THE LANDS OF THE STATE OF MINNESOTA.
DATE: 05/09/2019, U.S. NO. 4884

MHA PROJECT NO. _____
DATE: 05/09/2019
SCALE: AS SHOWN
DRAWN BY: JPB
CHECKED BY: _____
DATE: 05/09/2019, U.S. NO. 4884

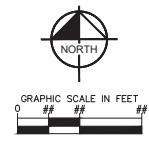
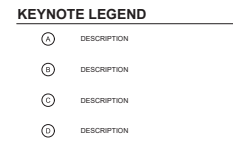
SHEET NUMBER
C200

This document together with the conditions and designs hereon, is an integral part of the contract documents for the project. It is the responsibility of the contractor to verify the accuracy of the information shown on this document before construction and to advise the architect immediately in writing of any discrepancies. The architect shall not be responsible for any errors or omissions on this document.



- EROSION CONTROL PLAN NOTES**
- ALL PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL CONSTRUCT DRAINAGE BASINS PRIOR TO SITE GRADING.
 - THE CONTRACTOR SHALL INSTALL CATCH BASIN EROSION CONTROL MEASURES.
 - WITHIN TWO WEEKS (14 DAYS) OF SITE GRADING, ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOIL OR ROCK BASE. REFER TO LANDSCAPE PLANS FOR MATERIALS.
 - ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CITY, STATE AND WATERHEALTH DISTRICT PERMITS.
 - THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES, INCLUDING THE REMOVAL OF SILT IN FRONT OF SILT FENCES DURING THE DURATION OF THE CONSTRUCTION.
 - ANY EXCESS SEDIMENT IN PROPOSED BASINS SHALL BE REMOVED BY THE CONTRACTOR.
 - REMOVAL ALL EROSION CONTROL MEASURES AFTER VEGETATION IS ESTABLISHED.
 - THE CONTRACTOR SHALL REMOVE ALL SOILS AND SEDIMENT TRACKED ONTO EXISTING STREETS AND PAVED AREAS AND SHALL SWEEP ADJACENT STREETS AS NECESSARY IN ACCORDANCE WITH CITY REQUIREMENTS.
 - IF BLOWING DUST BECOMES A NUISANCE, THE CONTRACTOR SHALL APPLY WATER FROM A TANK TRUCK TO ALL CONSTRUCTION AREAS.

- SEQUENCE OF CONSTRUCTION:**
- UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAYDOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINING SOILS AND WASTE CONTAINERS, ETC. IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
- BMP AND EROSION CONTROL INSTALLATION SEQUENCE SHALL BE AS FOLLOWS:
- INSTALL INLET PROTECTION AT EXISTING STORMWATER CULVERTS.
 - CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE (1). CONCRETE WASHOUT PIT (1) AND INSTALL SILT FENCE.
 - PREPARE TEMPORARY PARKING AND STORAGE AREA.
 - CONSTRUCT AND STABILIZE DIVERSIONS AND TEMPORARY SEDIMENT TRAPS.
 - PERFORM CLEARING AND GRUBBING OF THE SITE. PERFORM MASS GRADING. ROUGH GRADE TO ESTABLISH PROPOSED DRAINAGE PATTERNS.
 - START CONSTRUCTION OF THE BUILDING PAIS AND STRUCTURES.
 - TEMPORARILY SEED WITH PURE LIVE SEED. THROUGHOUT CONSTRUCTION, DISTURBED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE OR AS REQUIRED BY PERMITS AND CITY OF FALCON HEIGHTS GRADING PERMIT.
 - INSTALL UTILITIES, UNDERGROUNDS, STORM SEWERS, UNDERGROUND SYSTEM, CURBS AND GUTTERS.
 - INSTALL APPROPRIATE INLET PROTECTION AT ALL STORM SEWER STRUCTURES AS EACH INLET STRUCTURE IS INSTALLED.
 - PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
 - PREPARE SITE FOR PAVING.
 - PAVE SITE AND INSTALL STRIPING.
 - INSTALL APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES.
 - INSTALL APPROPRIATE GRASSING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS OBTAIN CONCURRENCE WITH THE CIVIL ENGINEERING CONSULTANT THAT THE SITE HAS BEEN FULLY STABILIZED THEN.
 - REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF BMPs.



EROSION AND SEDIMENT CONTROL PLAN

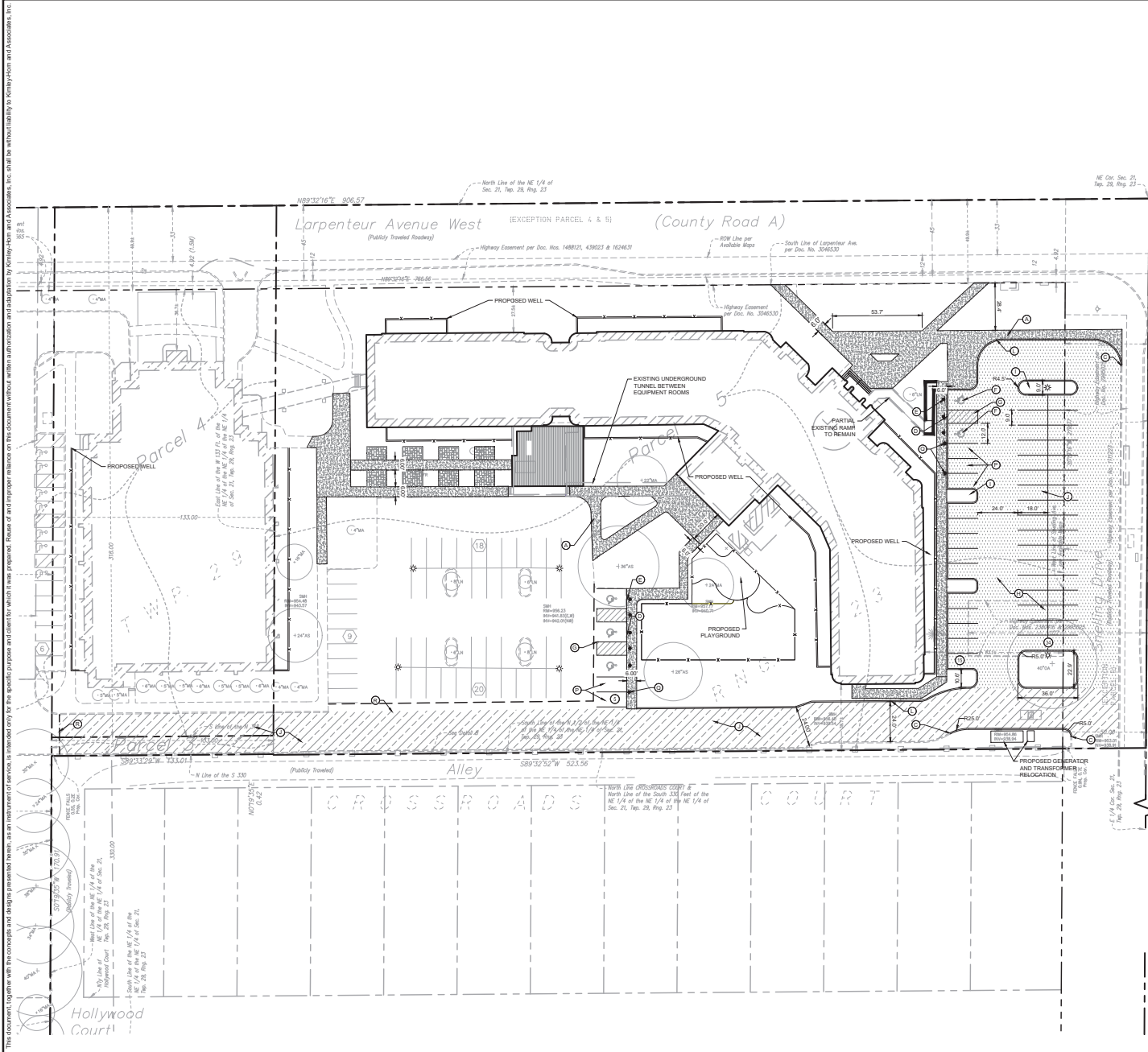
PRELIMINARY - NOT FOR CONSTRUCTION

GTA BUILDING
PREPARED FOR
MOHAGEN HANSEN
FALCON HEIGHTS, MN

SHEET NUMBER
C300

CITY SUBMITTAL	05/09/2019	JPB	DATE	BY	
CITY SUBMITTAL	05/09/2019	JPB	REVISIONS		
2019 KIMLEY-HORN ASSOCIATES, INC. 717 FORT STREET, SUITE 100, ST. PAUL, MN 55114 PHONE: 651-454-1197 WWW.KIMLEY-HORN.COM					
DATE: 6/5/2019 D.L.E.					

This document, together with the associated bid budgets and related sheets, is an offer of service, submitted only for the specific purpose and client for which it was prepared. Plans of and temporary reliance on this document without authorization and substitution by Kimmley-Horn and Associates, Inc. shall be the responsibility of the City of St. Paul.



LEGEND

[Symbol]	PROPERTY LINE
[Symbol]	PROPOSED FENCE
[Symbol]	SETBACK LINE
[Symbol]	RETAINING WALL
[Symbol]	PROPOSED CURB AND GUTTER
[Symbol]	PROPOSED HEAVY DUTY ASPHALT
[Symbol]	PROPOSED STANDARD DUTY ASPHALT
[Symbol]	PROPOSED CONCRETE PAVEMENT
[Symbol]	PROPOSED STORMWATER MANAGEMENT AREA
[Symbol]	PROPOSED CONCRETE SIDEWALK

PROPERTY SUMMARY

GTA BUILDING	
TOTAL PROPERTY AREA	171,751 SF (3.94 AC)
EXISTING IMPERVIOUS	52,954 SF (1.22 AC)
EXISTING PERVIOUS	73,076 SF (1.68 AC)
PROPOSED IMPERVIOUS AREA	63,954 SF (1.47 AC)
PROPOSED PERVIOUS AREA	60,711 SF (1.39 AC)

ZONING SUMMARY	
EXISTING ZONING	B-3
PROPOSED ZONING	PUD
PARKING SETBACKS	N/A
BUILDING SETBACKS	N/A

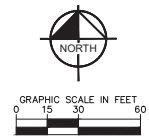
BUILDING DATA SUMMARY

AREAS	
EXISTING BUILDING AREA	45,721 SF (1.05 AC)
PROPOSED BUILDING AREA	47,086 SF (1.08 AC)

PARKING	
EXISTING PARKING	84 (INCLUDES 11 ADA STALLS)
PROPOSED PARKING	114 (INCLUDES 12 ADA STALLS)

KEYNOTE LEGEND

(A)	CONCRETE SIDEWALK
(B)	EXISTING PIPE BOLLARD
(C)	MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER
(D)	ACCESSIBLE CURB RAMP
(E)	ACCESSIBLE PARKING SIGN
(F)	ACCESSIBLE PARKING
(G)	AREA STRIPED WITH 4" SYSL @ 45° 2' O.C.
(H)	STANDARD DUTY ASPHALT PAVEMENT
(I)	LANDSCAPE AREA - SEE LANDSCAPE PLANS
(J)	MILL AND OVERLAY RESTRIPPED AREAS
(K)	HEAVY DUTY CONCRETE PAVEMENT
(L)	8612 CURB & GUTTER (TYP.)
(M)	TRANSITION CURB
(N)	FLAT CURB
(O)	COMMERCIAL DRIVEWAY APRON
(P)	EV STALL
(Q)	EV CHARGING STATION
(R)	SAWCUT LINE

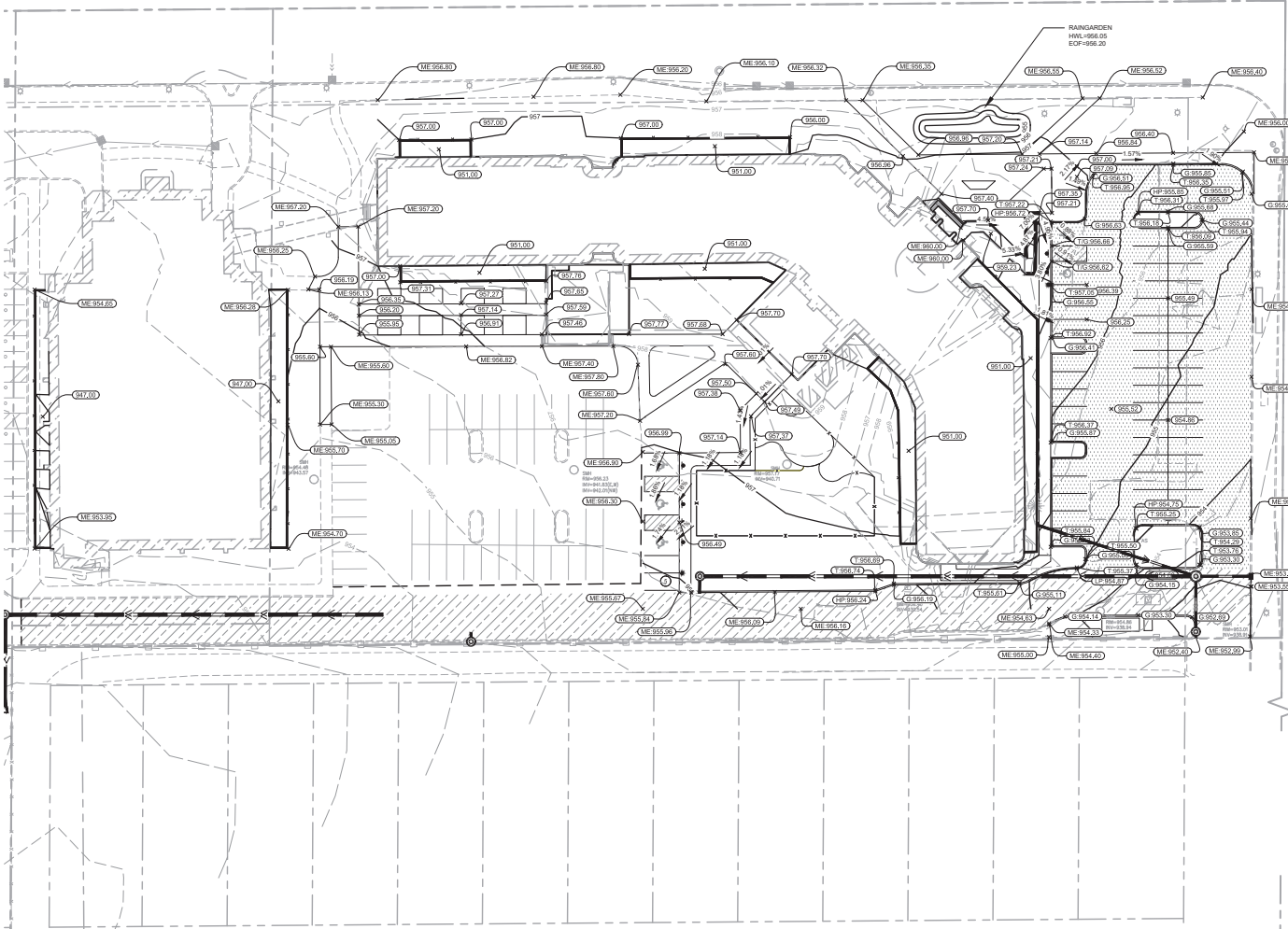


CITY SUBMITTAL	05/09/2019 JPB	Kimley-Horn	© 2019 KIMLEY-HORN ASSOCIATES, INC. 707 ELBERT STREET, SUITE 100, ST. PAUL, MN 55114 PHONE: 651-454-1197 WWW.KIMLEY-HORN.COM	REVISIONS	DATE	BY
CITY SUBMITTAL	05/09/2019 JPB			NO		

KIM PROJECT	GTA BUILDING	DATE	5/6/2019	SCALE	AS SHOWN	DRAWN BY	JPB	CHECKED BY	DLE
THESE PLANS AND SPECIFICATIONS WERE PREPARED BY KIMLEY-HORN ASSOCIATES, INC. UNDER THE CLOSE PERSONAL SUPERVISION AND CONTROL OF THE PROFESSIONAL ENGINEER AND ARCHITECT INDICATED HEREON. THE PRACTICE OF PROFESSIONAL ENGINEERING AND ARCHITECTURE IS LIMITED TO THE STATE OF MINNESOTA.									
								DATE: 6/5/2019	LIC. NO.: 48814

SITE PLAN	PRELIMINARY - NOT FOR CONSTRUCTION
GTA BUILDING PREPARED FOR MOHAGEN HANSEN FALCON HEIGHTS	MINN.
SHEET NUMBER C400	

This document, together with the conditions and designs hereon, is intended only for the specific purpose and project for which it was prepared. It shall be void if used for any other purpose or if used in conjunction with any other drawings or specifications. It shall be the responsibility of the City of Falcon Heights and Associates, Inc. to verify the accuracy of the information and data provided.



- ### LEGEND
- PROPERTY LINE
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED STORM MANHOLE (SOLID CASTING)
 - PROPOSED STORM MANHOLE (ROUND INLET CASTING)
 - PROPOSED STORM MANHOLE/ CATCH BASIN (CURB INLET CASTING)
 - PROPOSED STORM SEWER CLEANOUT
 - PROPOSED FLARED END SECTION
 - PROPOSED RIPRAP
 - PROPOSED STORM SEWER
 - PROPOSED STORM SEWER
 - PROPOSED SPOT ELEVATION
 - PROPOSED HIGH POINT ELEVATION
 - PROPOSED LOW POINT ELEVATION
 - PROPOSED GUTTER ELEVATION
 - PROPOSED TOP OF CURB ELEVATION
 - PROPOSED FLUSH PAVEMENT ELEVATION
 - MATCH EXISTING ELEVATION
 - PROPOSED EMERGENCY OVERTLOW
 - PROPOSED DRAINAGE DIRECTION
 - PROPOSED ADA SLOPE

- ### GRADING PLAN NOTES
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF FALCON HEIGHTS, SPECIFICATIONS AND SCHEDULES FOR UTILITIES LOCATIONS.
 2. CONTRACTOR TO CALL Gopher State Call One @ 1-866-362-1169 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
 3. STORM SEWER PIPE SHALL BE AS FOLLOWS:
 RCP PER ASTM C-76
 HOPE OF 1/2" PER AASHTO M-252
 PVC PER ASTM D-3034
 STORM SEWER FITTINGS SHALL BE AS FOLLOWS:
 RCP PER ASTM C-312, JOINTS PER ASTM C-361, C-390, AND C-443
 HOPE PER ASTM 3212
 PVC PER ASTM D-3034, JOINTS PER ASTM D-3212
 4. CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OR EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
 5. SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN FINISHING SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
 6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
 7. CONTRACTOR SHALL EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS.
 8. GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE STREET READY FOR SUBBASE.
 9. ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNDESIRABLE MATERIALS SHALL BE REMOVED FROM THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
 10. REFER TO THE UTILITY PLAN FOR SANITARY SEWER MAIN, WATER MAIN SERVICE LAYOUT AND ELEVATIONS AND CASTING STRUCTURE NOTATION.
 11. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES TO PROVIDE POSITIVE DRAINAGE.
 12. INSTALL A MINIMUM OF 4" CLASS 5+ AGGREGATE BASE UNDER CURB AND GUTTER AND CONCRETE SIDEWALKS.
 13. UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DISTURBED AREAS ON SITE. ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH A MINIMUM OF 4" OF TOPSOIL.
 14. ALL SPOT ELEVATIONS/CONTOURS ARE TO GUTTER/ FLOW LINE UNLESS OTHERWISE NOTED.
 15. GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATENATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2%. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 2%. IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA COMPLIANCE ISSUES.
 16. MAINTAIN A MINIMUM OF 0.5% GUTTER SLOPE TOWARDS LOW POINTS.
 17. CONTRACTOR TO PROVIDE 3" INSULATION BY 6" WIDE CENTERED ON STORM PIPE IF LESS THAN 4" OF COVER IN PAVEMENT AREAS AND LESS THAN 3" OF COVER IN LANDSCAPE AREAS.
 18. ROOF DRAIN INVERT CONNECTIONS AT THE BUILDING SHALL BE AT ELEVATION $\leq \text{ROOF DRAIN INVERT}$ OR LOWER UNLESS NOTED OTHERWISE. REFERENCE MEP PLANS FOR ROOF DRAIN CONNECTION.
 19. ALL STORM SEWER CONNECTIONS SHALL BE GASKETED AND WATER TIGHT INCLUDING MANHOLE CONNECTIONS.
 20. ALL STORM SEWER PIPE SHALL BE AIR TESTED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
 21. MAINTAIN A MINIMUM OF 1.25% SLOPE IN BITUMINOUS PAVEMENT AREAS, 0.5% SLOPE IN CONCRETE PAVEMENT AREAS.
 22. CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "FALL CURB" WHERE PAVEMENT DRAINS TOWARD GUTTER, AND "OUTFALL" CURB WHERE PAVEMENT DRAINS AWAY FROM GUTTER.

05/09/2019 JPB
05/09/2019 JPB

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NO. REVISIONS
DATE BY

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PHONE: (612) 464-4197
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DATE: 05/09/2019
SCALE: AS SHOWN
DRAWN BY: JPB
CHECKED BY: JPB

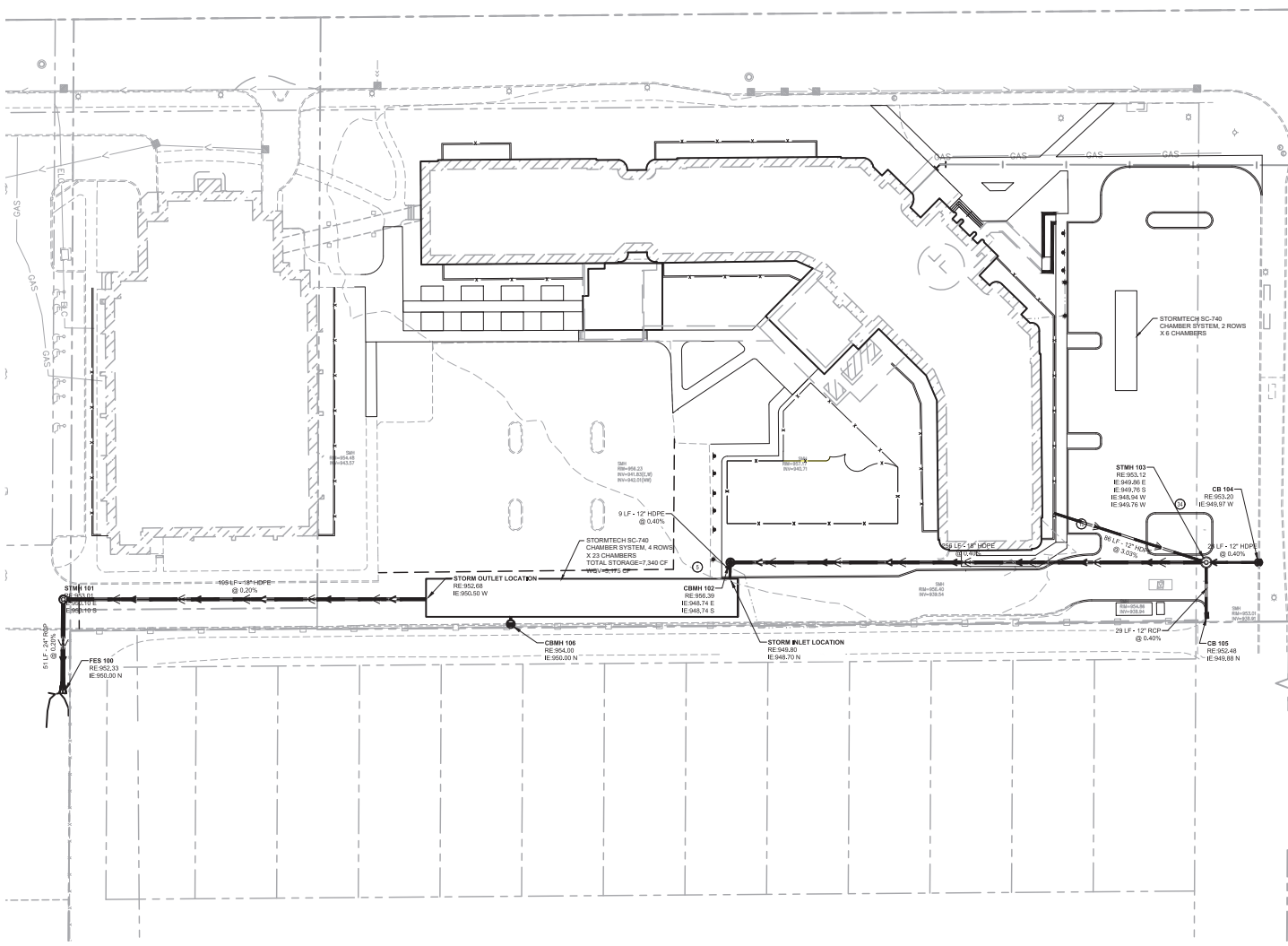
GRADING PLAN

PRELIMINARY - NOT FOR CONSTRUCTION

GTA BUILDING
PREPARED FOR
MOHAGEN
HANSEN
FALCON HEIGHTS, MN

SHEET NUMBER
C500

This document, together with the concepts and designs presented herein, is an integral part of the contract documents and shall be read in conjunction with the specifications and conditions of contract. It is the responsibility of the contractor to verify the accuracy of all information and to obtain any necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.



LEGEND

- PROPERTY LINE
- PROPOSED STORM MANHOLE (SOLID CASTING)
- PROPOSED STORM MANHOLE (ROUND INLET CASTING)
- PROPOSED STORM MANHOLE/ CATCH BASIN (CURB INLET CASTING)
- PROPOSED STORM SEWER CLEANOUT
- PROPOSED FLARED END SECTION
- PROPOSED STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED WATERMAIN
- PROPOSED SANITARY SEWER

GRADING PLAN NOTES

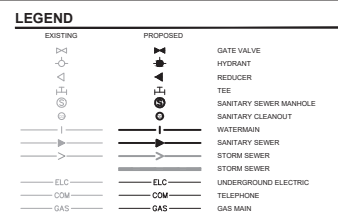
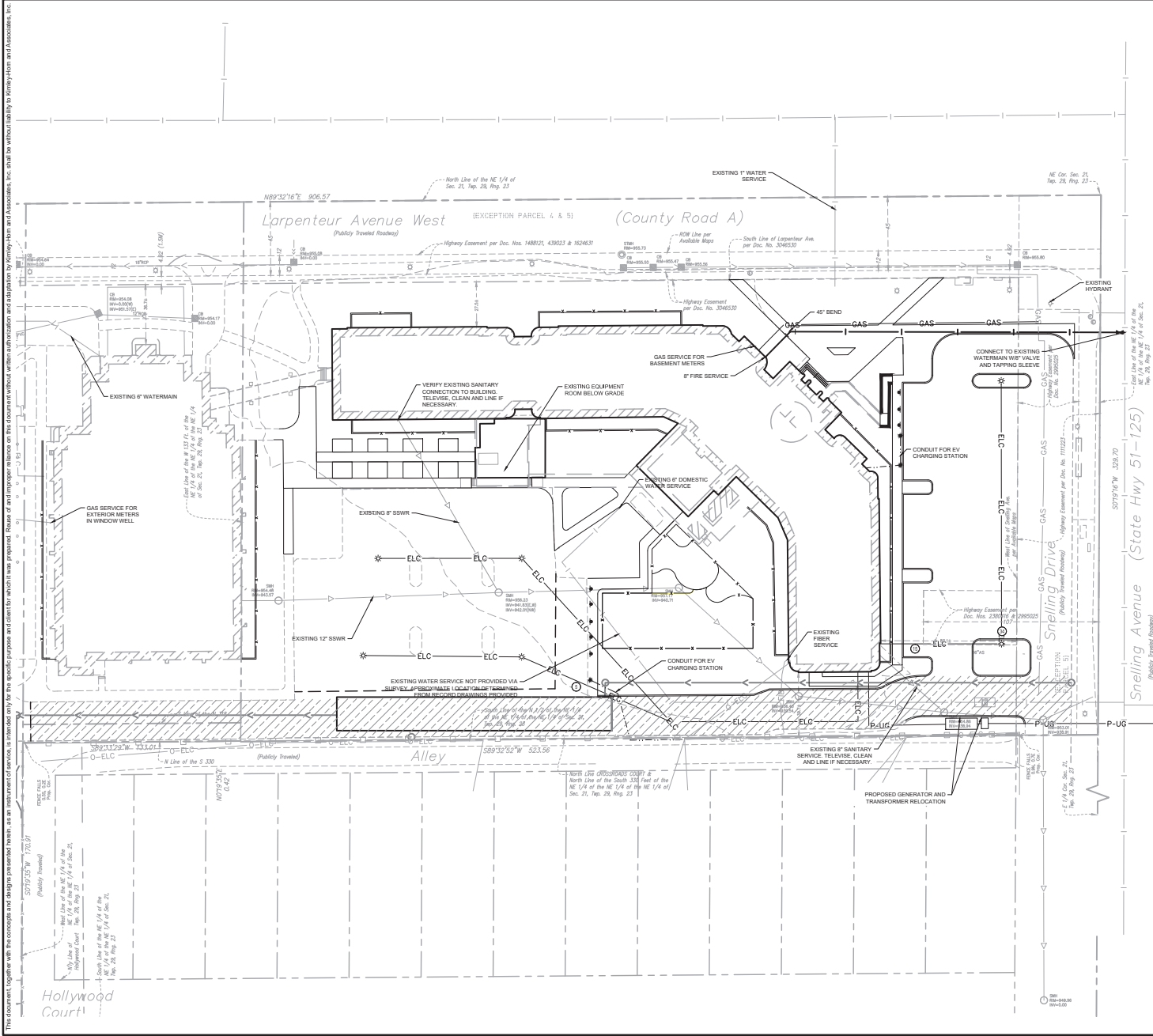
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF FALCON HEIGHTS SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
2. CONTRACTOR TO CALL GOPHER STATE CALL ONE @ 1-800-251-1989 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
3. STORM SEWER PIPE SHALL BE AS FOLLOWS:
RCP PER ASTM C-76
HOPE: 12" PER AASHTO M-352
HOPE: 12" OR GREATER PER ASTM F-2306
PVC PER ASTM D-3034
STORM SEWER FITTINGS SHALL BE AS FOLLOWS:
RCP PER ASTM C-76, JOINTS PER ASTM C-341, C-390, AND C-443
HOPE PER ASTM 3122
PVC PER ASTM D-3034, JOINTS PER ASTM D-3212
4. CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OR EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
5. SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP PREVENT ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL. CONTRACTOR SHALL EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS.
7. GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE STREET READY FOR SUBBASE.
8. ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNDESIRABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
9. REFER TO THE UTILITY PLAN FOR SANITARY SEWER MAIN, WATER MAIN SERVICE LAYOUT AND ELEVATIONS AND CASTING / STRUCTURE NOTATION.
10. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES TO PROVIDE POSITIVE DRAINAGE.
11. INSTALL A MINIMUM OF 4" CLASS 5+ AGGREGATE BASE UNDER CURB AND GUTTER AND CONCRETE SIDEWALKS.
12. UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DISTURBED AREAS ON SITE. ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH A MINIMUM OF 4" OF TOPSOIL.
13. ALL SPOT ELEVATIONS/CONTOURS ARE TO GUTTER / FLOW LINE UNLESS OTHERWISE NOTED.
14. GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE NATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2%. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. IN NO CASE SHALL ACCESSIBLE PAVING STALLS OR RAILS EXCEED 2% (1.5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A. COMPLIANCE ISSUES.
15. MAINTAIN A MINIMUM OF 0.5% GUTTER SLOPE TOWARDS LOW POINTS.
16. CONTRACTOR TO PROVIDE 3" INSULATION BY 6" WIDE CENTERED ON STORM PIPE IF LESS THAN 4" OF COVER IN PAVEMENT AREAS AND LESS THAN 3" OF COVER IN LANDSCAPE AREAS.
17. ROOF DRAIN INLET CONNECTIONS AT THE BUILDING SHALL BE AT ELEVATION <XXXX.XXX> OR LOWER UNLESS NOTED OTHERWISE. REFERENCE MEP PLANS FOR ROOF DRAIN CONNECTION.
18. ALL STORM SEWER CONNECTIONS SHALL BE GASKETED AND WATER TIGHT INCLUDING MANHOLE CONNECTIONS.
19. ALL STORM SEWER PIPE SHALL BE AIR TESTED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
20. CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "IN-FALL CURB" WHERE PAVEMENT DRAINS TOWARD GUTTER, AND "OUT-FALL CURB" WHERE PAVEMENT DRAINS AWAY FROM GUTTER.
21. MAINTAIN A MINIMUM OF 1.25% SLOPE IN BITUMINOUS PAVEMENT AREAS, 0.5% SLOPE IN CONCRETE PAVEMENT AREAS.
22. CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "IN-FALL CURB" WHERE PAVEMENT DRAINS TOWARD GUTTER, AND "OUT-FALL CURB" WHERE PAVEMENT DRAINS AWAY FROM GUTTER.

KEYNOTE LEGEND

- ① CORE DRILL AND CONNECT TO EXISTING STRUCTURE
- ② CONNECT TO EXISTING STORM SERVICE
- ③ CONSTRUCT MANHOLE OVER EXISTING STORM SEWER
- ④ ADJUST EXISTING CASTING TO NEW RIM ELEVATION
- ⑤ ROOF DRAIN CONNECTION
- ⑥ REPLACE INLET WITH SOLID CASTING
- ⑦ - NOT USED -

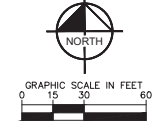


GTA BUILDING PREPARED FOR MOHAGEN HANSEN	STORM SEWER PLAN	PRELIMINARY - NOT FOR CONSTRUCTION	FALCON HEIGHTS MN	SHEET NUMBER C501	
KIMLEY-HORN © 2019 KIMLEY-HORN ASSOCIATES, INC. 707 ELBERT STREET, SUITE 100, ST. PAUL, MN 55114 PHONE: 651-454-4197 WWW.KIMLEY-HORN.COM	DATE: 6/5/2019 DRAWN BY: JPB CHECKED BY: JPB	DATE: 6/5/2019 SCALE: AS SHOWN REVISIONS: JPB	DATE: 6/5/2019 SCALE: AS SHOWN REVISIONS: JPB	DATE: 6/5/2019 SCALE: AS SHOWN REVISIONS: JPB	DATE: 6/5/2019 SCALE: AS SHOWN REVISIONS: JPB



- UTILITY PLAN NOTES**
1. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
 2. SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
8" PVC SDR35 PER ASTM D-3034, FOR PIPES LESS THAN 12" DEEP
8" PVC SDR35 PER ASTM D-3034, FOR PIPES MORE THAN 12" DEEP
8" PVC SCHEDULE 40 PER ASTM D-2004 DUCTILE IRON PIPE PER AWWA C150
 3. WATER LINES SHALL BE AS FOLLOWS:
8" AND LARGER: PVC C-900 PER ASTM D 2241 CLASS 200 UNDER COUNTY ROADS; OTHERWISE CLASS 150
4" AND LARGER DUCTILE IRON PIPE PER AWWA C100
SMALLER THAN 4" PIPING SHALL BE COPPER TUBE TYPE "C" PER ANSI B32.2 OR PVC 200 S.D.R. 11 PER ASTM D1784 AND D2241.
 4. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
 5. ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH RESTRAINTS SUCH AS THRUST BLOCKING, WITH STAINLESS STEEL OR COBALT BLUE BOLTS, OR AS INDICATED IN THE CITY SPECIFICATIONS AND PROJECT DOCUMENTS.
 6. ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE OR STRUCTURE).
 7. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 7'-6" COVER ON ALL WATER LINES.
 8. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES, OR ANY OBSTRUCTION (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE SCH. 40 OR C900 WITH MECHANICAL JOINTS AT LEAST 10 FEET ON EITHER SIDE OF THE CENTER LINE OF THE CROSSING. THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE FASTENERS AS REQUIRED TO PROVIDE A MINIMUM OF 18" VERTICAL SEPARATION, MEETING REQUIREMENTS OF ANSI A31.10 OR ANSI Z11.1 (AWWA C-151) (CLASS 90).
 9. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
 10. TOPS OF MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATIONS IN GREEN AREAS, WITH WATER TIGHT LIDS.
 11. ALL CONCRETE FOR ENCASUREMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
 12. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
 13. REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
 14. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY OF FALCON HEIGHTS AND/OR STATE OF MN WITH REGARD TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
 15. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 16. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES.
 17. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
 18. CONTRACTOR SHALL REFERENCE ARCH / MEP PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
 19. BACKFLOW DEVICES (DCCV AND PRZ ASSEMBLIES), AND METERS ARE LOCATED IN THE INTERIOR OF THE BUILDING. REF. ARCH / MEP PLANS.
 20. ALL ONSITE WATERMANS AND SANITARY SEWERS SHALL BE PRIVATELY OWNED AND MAINTAINED.
 21. ALL WATERMAN SUBOUTS SHALL BE MECHANICALLY RESTRAINED WITH REACTION BLOCKING.

- KEYNOTE LEGEND**
- (1) CONNECT TO EXISTING WATERMAN STUB WITH GATE VALVE
 - (2) WET TAP EXISTING WATERMAN WITH GATE VALVE
 - (3) 6" DOMESTIC WATER SERVICE
 - (4) 8" FIRE SERVICE
 - (5) CORE DRILL AND CONNECT TO EXISTING STRUCTURE
 - (6) CONNECT TO EXISTING SANITARY SERVICE
 - (7) CONSTRUCT MANHOLE OVER EXISTING SANITARY SEWER
 - (8) SANITARY SEWER SERVICE
 - (9) ADJUST EXISTING CASTING TO NEW RIM ELEVATION



PRELIMINARY - NOT FOR CONSTRUCTION

GTA BUILDING
PREPARED FOR
MOHAGEN HANSEN
FALCON HEIGHTS, MN

UTILITY PLAN

SHEET NUMBER
C600

CITY SUBMITTAL	DATE	BY
CITY SUBMITTAL	05/09/2019	JPB
CITY SUBMITTAL	06/05/2019	JPB

Kimley-Horn
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DATE: 05/09/2019	SCALE: AS SHOWN	FILED BY: JPB	DATE: 06/05/2019
PROJECT: GTA BUILDING	SCALE: AS SHOWN	FILED BY: JPB	DATE: 06/05/2019
DRAWN BY: JPB	SCALE: AS SHOWN	FILED BY: JPB	DATE: 06/05/2019
CHECKED BY: DLE	SCALE: AS SHOWN	FILED BY: JPB	DATE: 06/05/2019

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 This document, together with the concepts and designs thereon, is prepared for the specific purpose and client for which it was prepared. Release of any temporary reliance on this document without written authorization and substitution by Kimley-Horn and Associates, Inc. shall be the responsibility of the City of Roseville and Associates, Inc.

CITY OF ROSEVILLE
ENGINEERING DEPARTMENT
2015 VICTORIA STREET RECONSTRUCTION PROJECT

TRAVEL WITH CAUTION

CONTRACTOR
ADDRESS
TEL. NO.

City of Roseville
2680 Civic Center Drive
651-792-7003

TO BE FILLED OUT WITH
LOW BIDDER INFORMATION

3' X 9'

1 SIGN AT INTERSECTION OF LAURENTEUR AVENUE AND VICTORIA STREET
1 SIGN AT INTERSECTION OF COUNTY ROAD 9 AND VICTORIA STREET

DESIGN	DATE: 3-08-07	ROSEVILLE ENGINEERING DEPARTMENT	PLATE NUMBER
DRAWN			
REVISIONS			
CONSTRUCTION SIGN			M-2

CONSTRUCTION SIGN.dwg

NOTES:

- GRADING OF THE INFILTRATION AREAS SHALL BE ACCOMPLISHED USING LOW IMPACT EARTH MOVING EQUIPMENT TO PREVENT COMPACTION OF THE UNDERLYING SOILS.
- SEED OR SOD INFILTRATION AREAS AS DIRECTED BY THE ENGINEER. IF SEEDING, COVER SEED WITH 5150 IN BLANKET.

ADD STEEL EDGING TO PERIMETER OF RAIN GARDEN IF PLANTING ARE PROPOSED

1600T SPEC 3877 BEDDING MATERIAL, 50% MEDIUM CONSISTING OF 70% SAND AND 30% COMPOST

COARSE WASHED SAND OR AS NOTED ON PLAN

DESIGN	DATE:	ROSEVILLE ENGINEERING DEPARTMENT	PLATE NUMBER
DRAWN	02/15		
REVISIONS			
RAIN GARDEN DETAIL			ST-11

RAIN GARDEN DETAIL.dwg

PLAN

SECTION THRU WALK

SECTION AA CURB RETURN

HALF PLAN PERSPECTIVE

NOTES:

- SEE ROSEVILLE MANUAL, CHAPTER 6 FOR GEOMETRIC DESIGN OF ENTRANCES.
- WHERE THE MAX ALLOWABLE ENTRANCE GRADIENT WOULD BE EXCEEDED, DUE TO THE POSITION OF EXISTING WALK, THE WALK SHALL BE REMOVED AND REPLACED ON THE PAVEMENT WAMPED TO PROVIDE THE REQUIRED ENTRANCE SLOPE.
- SEE PLAN FOR PLACEMENT OF WALK AND DIMENSIONS FOR CONSTRUCTION OF DRIVEWAYS.
- NO DEVIATION SHALL BE MADE IN CURB AND GUTTER FOR ENTRANCES.
- EXPANSION JOINT: 7' PERFORMED JOINT FILLER MATERIAL (AS REQUIRED BY THE REQUIRED "MINI" CONCRETE) AREAS ARE POURED SEPARATELY.
- 3" EXPANSION JOINTS AT 30' INTERVALS (MAXIMUM INTERVALS).
- MATCH WALK FACE DRIVEWAY THICKNESS (MIN.)
- WITHOUT SIDEWALK, PAKE ONLY TO THE END OF CURB RETURN WHEN ENTRANCE IS INDICATED OR CONSTRUCTION IS NOT NEEDED BEYOND THIS POINT.
- PAID FOR AS CONCRETE DRIVEWAY PAVEMENT.
- CONTRACTOR JOINT FORMS OR GAMES.
- EXPANSION JOINT NOT REQUIRED IF ADJACENT SECTIONS.
- SEE ROSEVILLE MANUAL, SECTION 17.1 SEE SECTION A.A.
- SEE PLAN FOR PLACEMENT OF PED. CURB RAMP.
- FORM CONSTRUCTION JOINT AS NEEDED TO PRODUCE APPROXIMATELY SQUARE PANELS (MAXIMUM WIDTH 10' BETWEEN JOINTS).
- THE MINIMUM CONTINUOUS AND UNOBTSTRUCTED CLEAR WIDTH OF A PEDESTRIAN ACCESS ROUTE SHALL BE 4'-0".
- SEE PLAN FOR PROPOSED CROSS SLOPE OF THE PEDESTRIAN ACCESS ROUTE. SLOPE MAY NOT EXCEED 0.02% AS NOTED.

DESIGN	DATE: 3-08-07	ROSEVILLE ENGINEERING DEPARTMENT	PLATE NUMBER
DRAWN			
REVISIONS			
DRIVEWAYS, SIDEWALKS AND TRAILS			P-1

DRIVEWAYS, SIDEWALKS AND TRAILS.dwg

PIPE BEDDING

DESIGN	DATE:	ROSEVILLE ENGINEERING DEPARTMENT	PLATE NUMBER
DRAWN			
REVISIONS			
PIPE BEDDING			BED-1

PIPE BEDDING.dwg

CONCRETE SIDEWALK JOINT PATTERN

NOTES:

- NO GREATER THAN 2% CROSS SLOPE IN DIRECTION OF POSITIVE DRAINAGE FLOW IN ALL WALKS UNLESS OTHERWISE NOTED.
- FINISH AND JOINT CONSTRUCTION SHALL BE AS DESCRIBED IN THE MINNESOTA CONCRETE FLATWORK SPECIFICATIONS FOR LOCAL GOVERNMENT AGENCIES.

DESIGN	DATE: 3-08-07	ROSEVILLE ENGINEERING DEPARTMENT	PLATE NUMBER
DRAWN			
REVISIONS			
CONCRETE SIDEWALK JOINT PATTERN			P-3

CONCRETE SIDEWALK JOINT PATTERN.dwg

WATER MAIN SERVICE CONNECTION

NOTES:

- SEE SPECS FOR SIZE & TYPE OF MATERIALS.
- MAINTAIN 18" VERTICAL & 24" HORIZONTAL SEPERATION BETWEEN SEWER & WATER SERVICE LINES.

DESIGN	DATE:	ROSEVILLE ENGINEERING DEPARTMENT	PLATE NUMBER
DRAWN			
REVISIONS			
WATER MAIN SERVICE CONNECTION			W-2

WATER MAIN SERVICE CONNECTION.dwg

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CITY SUBMITTAL	05/09/2019	JPB	REVISIONS	

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717 ELBERT STREET, SUITE 100, ST. PAUL, MN 55114
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PROJECT: GTA BUILDING SHEET: C5-GRADING DATE: 5/2/2019 SCALE: AS SHOWN DRAWN BY: JPB CHECKED BY: JPB	DATE: 05/09/19 U.S. NO.: 4484 DLE
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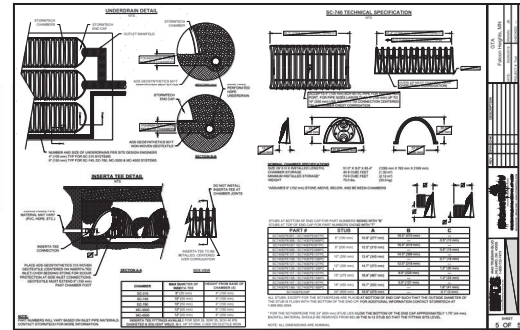
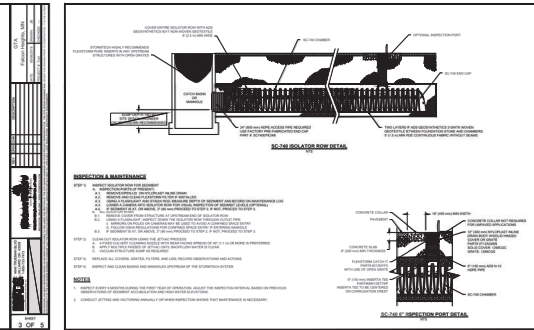
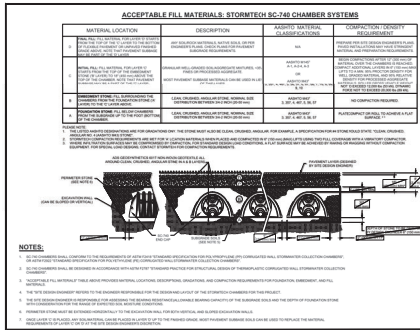
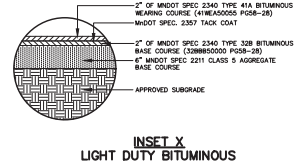
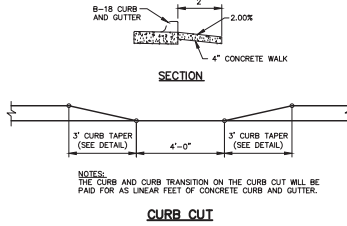
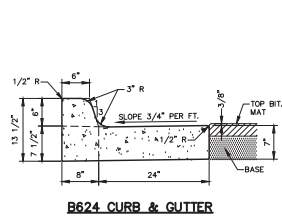
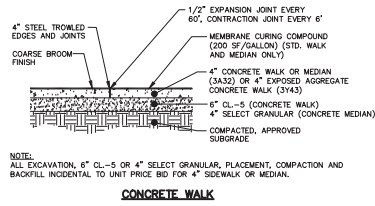
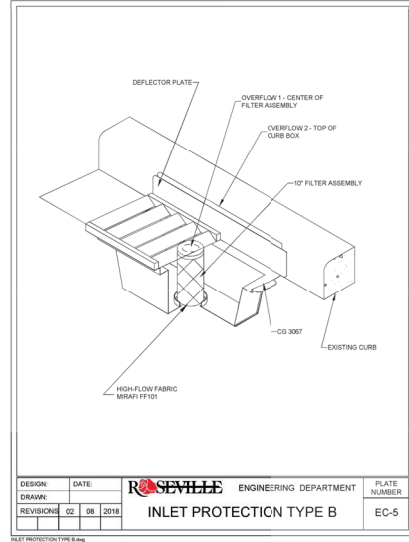
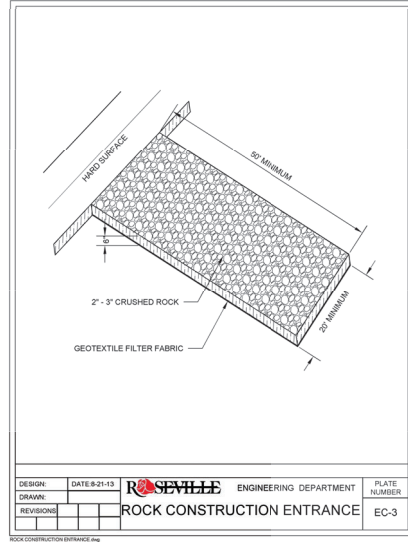
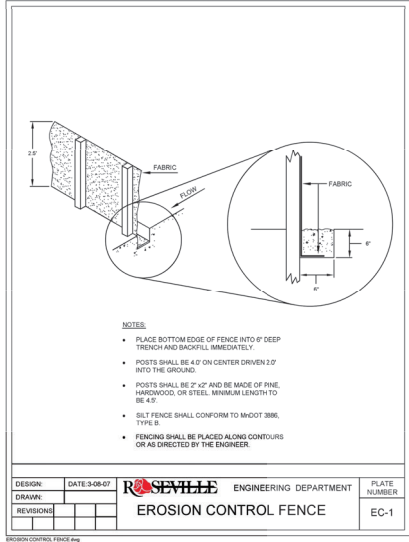
CIVIL DETAILS

GTA BUILDING
PREPARED FOR
MOHAGEN
HANSEN
FALCON HEIGHTS, MN

SHEET NUMBER	C701
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PRELIMINARY - NOT FOR CONSTRUCTION

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PRELIMINARY - NOT FOR CONSTRUCTION
 GTA BUILDING
 PREPARED FOR MOHAGEN HANSEN
 FALCON HEIGHTS
 SHEET NUMBER C702
 CIVIL DETAILS
 KIMLEY HORN
 201 KIMLEY HORN ASSOCIATES, INC.
 707 E. FULTON STREET, SUITE 100, ST. PAUL, MN 55114
 PHONE: (612) 464-4197
 WWW.KIMLEYHORN.COM
 DATE: 05/06/2019
 CITY SUBMITTAL: 05/06/2019 JPB
 DATE: 05/06/2019 JPB
 REVISIONS: NO
 DATE: BY

NOT FOR
CONSTRUCTION

CITY SUBMITTAL

FARMERS UNION
RESIDENTIAL
ST. PAUL, MN

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Name _____
Registration# _____

Signature _____ Date _____

Date 05/06/2019

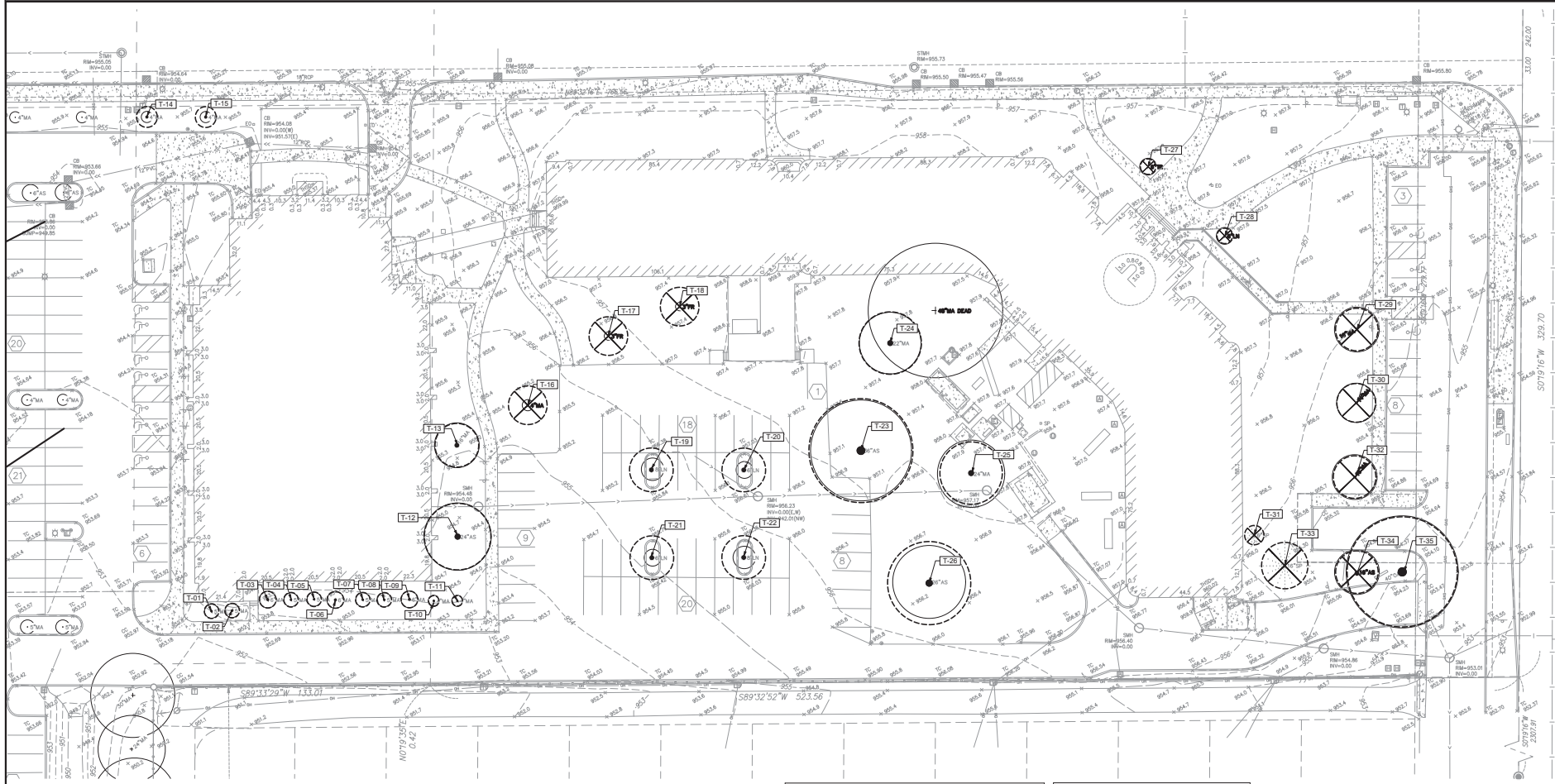
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CITY SUBMITTAL 05/06/2019

REVISION _____



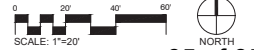
EXISTING CONDITIONS & SITE REMOVAL NOTES

- EXISTING SITE INFORMATION WAS PROVIDED BY OTHERS. ACTUAL FIELD CONDITIONS MAY VARY. FIELD VERIFY UTILITY LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
- THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON-SITE LOCATIONS OF EXISTING UTILITIES. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT EXISTING UTILITIES OR STRUCTURES LOCATED AT THE WORK SITE.
- CONTRACTOR TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION BY CALLING GOPHER STATE ONE-CALL AT 651-454-0002 (METRO) OR 1-800-252-1186 (OUT-STATE).
- THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY UTILITY COMPANY'S FORCES AND FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING FEES AND CHARGES.
- ALWAYS VERIFY BENCHMARK ELEVATIONS BETWEEN TWO BENCHMARKS.
- REMOVAL ITEMS BECOME THE PROPERTY OF THE CONTRACTOR UNLESS SPECIFIED OTHERWISE. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING DEBRIS FROM THE SITE AND DISPOSING OF THE DEBRIS IN A LAWFUL MANNER PER LOCAL GOVERNING AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.

- PRIOR TO DEMOLITION EROSION CONTROL DEVICES ARE TO BE INSTALLED WHERE NECESSARY AND OBTAIN AN NPDES STORM WATER PERMIT. REFER TO CIVIL FOR EROSION CONTROL.
- DAMAGE TO REMAINING EXISTING CONDITIONS WILL BE REPLACED AT CONTRACTOR'S EXPENSE AND SHALL BE EQUAL TO OR EXCEED THE QUALITY OF CONSTRUCTION PRIOR TO DAMAGE.
- CONCRETE PAVEMENT, SIDEWALKS, CURBS AND GUTTER, AND OTHER POURED CONCRETE ITEMS ARE TO BE REMOVED TO AN EXISTING EXPANSION OR CONTRACTION JOINT.
- CONTRACTOR SHALL LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS. IF DAMAGE IS INCURRED ON THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR AT NO ADDITIONAL COST TO THE OWNER. BITUMINOUS PAVEMENT REMOVALS ARE TO BE MADE WITH A VERTICAL SAW CUT OR TO A NEAT MILLED EDGE.
- CONTRACTOR SHALL PRESERVE VEGETATION NOT TO BE REMOVED BY CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR RE-SEEDING OR SODDING AREAS DISTURBED BY CONSTRUCTION.
- LOCATION AND ELEVATIONS OF IMPROVEMENTS TO BE MET (OR AVOIDED) SHALL BE CONFIRMED BY THE CONTRACTOR THROUGH FIELD EXPLORATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REPORT TO THE LANDSCAPE ARCHITECT DISCREPANCIES BETWEEN THEIR MEASUREMENTS AND THESE PLANS. CONTRACTOR SHALL ALSO MAKE EXPLORATION EXCAVATIONS AND LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES. CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND OTHER EXISTING LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
- EXISTING UTILITIES TO REMAIN IN PLACE UNLESS SPECIFICALLY MARKED ON THIS SHEET.

TREE		
SYMBOL	DESCRIPTION	QTY
	DEMO	11
	PRESERVE	24

TREE ID SCHEDULE			
CODE	SPECIES	CAL/SIZE	STATUS
T-01	MAPLE	5"	PRESERVE
T-02	MAPLE	5"	PRESERVE
T-03	MAPLE	6"	PRESERVE
T-04	MAPLE	5"	PRESERVE
T-05	MAPLE	5"	PRESERVE
T-06	MAPLE	5"	PRESERVE
T-07	MAPLE	5"	PRESERVE
T-08	MAPLE	5"	PRESERVE
T-09	MAPLE	6"	PRESERVE
T-10	MAPLE	4"	PRESERVE
T-11	MAPLE	4"	PRESERVE
T-12	ASH	24"	PRESERVE
T-13	MAPLE	4"	PRESERVE
T-14	MAPLE	4"	PRESERVE
T-15	MAPLE	4"	PRESERVE
T-16	MAPLE	4"	DEMO
T-17	FR	6"	DEMO
T-18	FR	6"	DEMO
T-19	LINDEN	8"	PRESERVE
T-20	LINDEN	8"	PRESERVE
T-21	LINDEN	8"	PRESERVE
T-22	LINDEN	8"	PRESERVE
T-23	ASH	36"	PRESERVE
T-24	MAPLE	22"	PRESERVE
T-25	MAPLE	24"	PRESERVE
T-26	ASH	26"	PRESERVE
T-27	TBD	6"	DEMO
T-28	LINDEN	8"	DEMO
T-29	MAPLE	16"	DEMO
T-30	MAPLE	11"	DEMO
T-31	EVERGREEN	8"	DEMO
T-32	MAPLE	16"	DEMO
T-33	SPURCE	16"	DEMO
T-34	ASH	16"	DEMO
T-35	OAK	40"	PRESERVE



SITE AND LANDSCAPE NOTES

SITE PREPARATION NOTES

- CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.
- CONTRACTOR SHALL VERIFY PLAN LAYOUT AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN OR INTENT OF THE LAYOUT.
- CONTRACTOR SHALL ASSURE COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK AND MATERIALS SUPPLIED.
- CONTRACTOR SHALL PROTECT EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION OPERATIONS. DAMAGE TO SAME SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION BEGINS (MINIMUM 10' CLEARANCE).
- CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.
- UNDERGROUND UTILITIES SHALL BE INSTALLED SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF EXISTING TREES TO REMAIN.
- EXISTING CONTOURS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER ELEMENTS ARE BASED UPON INFORMATION SUPPLIED TO THE LANDSCAPE ARCHITECT BY OTHERS. CONTRACTOR SHALL VERIFY DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.
- HORIZONTAL AND VERTICAL ALIGNMENT OF PROPOSED WALKS, TRAILS OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. CHANGES IN ALIGNMENT AND GRADES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO IMPLEMENTATION.
- CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR ONGOING MAINTENANCE OF NEWLY INSTALLED MATERIALS UNTIL TIME OF SUBSTANTIAL COMPLETION. REPAIR OF ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO SUBSTANTIAL COMPLETION SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- EXISTING TREES OR SIGNIFICANT SHRUB MASSINGS FOUND ON SITE SHALL BE PROTECTED AND SAVED UNLESS NOTED TO BE REMOVED OR ARE LOCATED IN AN AREA TO BE GRADED. QUESTIONS REGARDING EXISTING PLANT MATERIAL SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO REMOVAL.
- EXISTING TREES TO REMAIN, UPON DIRECTION OF LANDSCAPE ARCHITECT, SHALL BE FERTILIZED AND PRUNED TO REMOVE DEAD WOOD, DAMAGED AND RUBBING BRANCHES.
- CONTRACTOR SHALL PREPARE AND SUBMIT A WRITTEN REQUEST FOR THE SUBSTANTIAL COMPLETION INSPECTION OF LANDSCAPE AND SITE IMPROVEMENTS PRIOR TO SUBMITTING FINAL PAY REQUEST.
- CONTRACTOR SHALL PREPARE AND SUBMIT REPRODUCIBLE AS-BUILT DRAWING(S) OF LANDSCAPE INSTALLATION, IRRIGATION AND SITE IMPROVEMENTS UPON COMPLETION OF CONSTRUCTION INSTALLATION AND PRIOR TO SUBSTANTIAL COMPLETION.
- SYMBOLS ON PLAN DRAWING TAKE PRECEDENCE OVER SCHEDULES IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS AND DETAILS TAKE PRECEDENCE OVER NOTES.

SOIL TESTING

- CONTRACTOR SHALL OBTAIN A SOIL SAMPLE(S) FROM PROJECT SITE AND/OR SALVAGED TOPSOIL STOCKPILE AND SUBMIT TO INDEPENDENT TESTING AGENCY. ANALYSIS AND RECOMMENDATIONS FOR (INCLUDING BUT NOT LIMITED TO) MACRONUTRIENTS, MICRONUTRIENTS, COMPOSITION AND SOLUBLE SALTS SHALL BE PROVIDED.
- CONTRACTOR SHALL PROVIDE TWO SERIES OF TESTS: FIRST, PRIOR TO CONSTRUCTION; SECOND, AFTER SOIL IS AMENDED, PRIOR TO PLANTING.
- CONTRACTOR SHALL PROVIDE ANALYSIS RESULTS AND RECOMMENDATIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO SOIL AMENDMENT AND PRIOR TO PLANTING.

GRADING

- ROUGH GRADING AND FINISHED GRADING TO BE DONE BY OTHERS EXCEPT WHERE NOTED.
- GRADING LIMITS ARE DEFINED AS THE JUNCTURE OF PROPOSED GRADE WITH EXISTING GRADE UNLESS NOTED OTHERWISE.
- GRADING LIMITS AND LIMITS OF WORK SHOWN ON PLAN ARE ONLY APPROXIMATE AND MAY BE ADJUSTED IN FIELD BY LANDSCAPE ARCHITECT. WORK OUTSIDE OF THESE LIMITS WILL BE DONE AT LANDSCAPE CONTRACTORS EXPENSE UNLESS DIRECTED BY LANDSCAPE ARCHITECT OR OWNER IN WRITING.

- FILL/CUT AS NECESSARY TO PROVIDE A 1% MINIMUM GRADE AWAY FROM BUILDINGS WITHIN LIMITS OF CONSTRUCTION.
- SALVAGE TOPSOIL FROM THE EARTHWORK AREAS AS APPROPRIATE OR AS INDICATED ON PLANS AND STOCKPILE FOR REUSE.
- MAINTAIN A UNIFORM GRADE BETWEEN CONTOURS IN AREAS TO BE GRADED UNLESS NOTED OTHERWISE.
- ELEVATIONS, IF SHOWN ARE FINISHED ELEVATIONS. SPOT ELEVATIONS TAKE PRECEDENCE OVER CONTOURS.
- ADD EROSION CONTROL MEASURES IF GRADES GREATER THAN 3:1 OR IF CONDITIONS WARRANT. REFER TO MNDOT SPECIFICATIONS FOR EROSION CONTROL.
- CONTRACTOR SHALL CONTACT PUBLIC UTILITIES FOR LOCATION OF UNDERGROUND UTILITIES, CONDUITS, TRENCHES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. LANDSCAPE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE IF DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL PROVIDE PROPER EROSION CONTROL MEASURES AS REQUIRED TO ENSURE THAT EROSION IS KEPT TO AN ABSOLUTE MINIMUM.
- PROVIDE TEMPORARY COVERING FOR CATCH BASINS AND MAN HOLES UNTIL FINISHED GRADING IS COMPLETE.
- CONTRACTOR SHALL CONSTRUCT DRAINAGE BASINS AS NEEDED.
- PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. REFER TO STATE SPECIFICATIONS FOR AGGREGATE BASE AND SILT FENCE.
- CONTRACTOR SHALL INSTALL CATCH BASIN EROSION CONTROL MEASURES PER LOCAL POLLUTION CONTROL AGENCY AND SPECIFICATIONS.
- WITHIN TWO WEEKS OF FINISHED SITE GRADING, DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOD, MULCH OR ROCK BASE.
- CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES, INCLUDING THE REMOVAL OF ACCUMULATED SILT IN FRONT OF SILT FENCES AND EXCESS SEDIMENT CHANGES IN PROPOSED CATCH BASINS, FOR THE DURATION OF CONSTRUCTION.
- CONTRACTOR SHALL REMOVE EROSION CONTROL MEASURES AFTER VEGETATION IS ESTABLISHED AND DISPOSE OF OFF SITE.
- CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ALLOWED TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN PLANTING AREAS.

PLANTING

- SPRING PLANT MATERIAL INSTALLATION IS FROM APRIL 15 TO JUNE 15.
- FALL CONIFEROUS PLANTING IS ACCEPTABLE FROM AUGUST 21 TO SEPTEMBER 30.
- FALL DECIDUOUS PLANTING IS ACCEPTABLE FROM AUGUST 15 UNTIL NOVEMBER 15.
- ADJUSTMENTS TO PLANTING DATES MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
- STAKE PROPOSED PLANTING LOCATIONS PER PLAN FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALL.
- PLANT MATERIAL SHALL COMPLY WITH THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1, UNLESS NOTED OTHERWISE. DECIDUOUS SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED HEIGHT. ORNAMENTAL TREES SHALL HAVE NO Y CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3 FEET ABOVE THE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 6' ABOVE PAVED SURFACE.
- INSTALL PLANT MATERIAL AFTER FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- INSTALL PLANT MATERIALS PER PLANTING DETAILS.
- SUBSTITUTION REQUESTS FOR PLANT MATERIAL TYPE & SIZE SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR CONSIDERATION PRIOR TO BIDDING. SUBSTITUTIONS AFTER BIDDING MUST BE APPROVED BY LANDSCAPE ARCHITECT AND ARE SUBJECT TO CONTRACT ADJUSTMENTS.
- ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. LANDSCAPE ARCHITECT MUST BE NOTIFIED PRIOR TO ADJUSTMENT OF PLANTS.
- FERTILIZE PLANT MATERIALS IN ACCORDANCE WITH SOIL TEST RECOMMENDATIONS. FERTILIZE PLANT MATERIAL UPON INSTALLATION WITH DRIED BONE MEAL AND OTHER APPROVED FERTILIZER MIXED IN WITH THE PLANTING SOIL (PER THE MANUFACTURER'S INSTRUCTIONS) OR TREAT FOR SUMMER AND FALL INSTALLATION WITH AN APPLICATION OF GRANULAR 10-0-5 OF 12 OZ. PER 2.5" CALIPER TREE AND 6 OZ. PER SHRUB WITH AN ADDITIONAL APPLICATION OF 10-0-10 THE FOLLOWING SPRING IN THE TREE SAUCER.
- INSTALL 18" DEPTH OF PLANTING SOIL IN AREAS RECEIVING GROUND COVER, PERENNIALS, AND ANNUALS. PLANTING SOIL SHALL CONSIST OF MIDDOT 387-B MODIFIED TO CONTAIN A MAXIMUM OF 30% SAND, A PH OF 7.1 MAX. OR AS OTHERWISE SPECIFIED IN THE PROJECT SPECIFICATIONS MANUAL.
- TREE WRAPPING MATERIAL SHALL BE PAPER APPLIED FROM TRUNK FLARE TO FIRST BRANCH. WRAP SMOOTH-BARKED DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO DECEMBER 1 AND REMOVE

WRAPPING AFTER MAY 1.] [DO NOT WRAP TREES.]

- APPLY PRE-EMERGENT HERBICIDE (PREEN OR APPROVED EQUAL) ANNUAL, PERENNIAL, AND SHRUB BEDS FOLLOWED BY SHREDDED HARDWOOD MULCH. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING USE OF HERBICIDES.

MULCHING

- INSTALL 4" DEEP FINELY SHREDDED HARDWOOD MULCH RINGS AT CONIFEROUS & DECIDUOUS TREES WITH NO MULCH IN DIRECT CONTACT WITH TREE TRUNK.
- INSTALL 3" DEEP FINELY SHREDDED HARDWOOD MULCH RINGS AT SHRUB PLANTING AREAS WITH NO MULCH IN DIRECT CONTACT WITH SHRUB STEMS.
- INSTALL 3" DEEP FINELY SHREDDED MULCH IN PERENNIAL PLANTING BEDS. REMOVE ALL MULCH FROM STEMS OF PERENNIALS. PLANT STEMS SHOULD NOT BE IN DIRECT CONTACT WITH MULCH.

WATERING

- PLANTED MATERIALS SHALL BE WATERED BY TEMPORARY MEANS UNTIL PLANTS ARE ESTABLISHED.
- TEMPORARY WATERING MEANS, METHODS, AND SCHEDULING SHALL BE THE CONTRACTOR'S RESPONSIBILITY. REMOVE TEMPORARY WATERING EQUIPMENT UPON PLANT ESTABLISHMENT.

WARRANTY

- WARRANTY NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.

TURF NOTES

- SOD AREAS DISTURBED DUE TO GRADING UNLESS NOTED OTHERWISE.
- WHERE SOD ABUTS PAVED SURFACES, FINISHED GRADE OF SODS SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
- SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, SOD SHALL BE STAKED SECURELY (WITH WOODEN STAKES; NO METAL STAKES ARE ALLOWED).
- UNLESS NOTED OTHERWISE, THE APPROPRIATE DATES FOR SPRING SEED & SOD PLACEMENT IS FROM THE TIME GROUND HAS THAWED TO JUNE 15.
- FALL SODDING IS ACCEPTABLE FROM AUGUST 15 TO NOVEMBER 1. FALL SEEDING IS ACCEPTABLE FROM AUGUST 15 TO SEPTEMBER 15. ADJUSTMENTS TO SOD/SEED PLANTING DATES MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
- NO SOD NETTING ALLOWED ON SITE.

IRRIGATION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN IRRIGATION LAYOUT PLAN AND SPECIFICATION THAT MEETS THE REQUIREMENTS OF THE PROVIDED PERFORMANCE SPECIFICATION AS PART OF THE SCOPE OF WORK. SUBMIT LAYOUT PLAN AND SPECIFICATIONS FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO ORDER AND/OR CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT SODDED/SEEDED AND PLANTED AREAS ARE IRRIGATED PROPERLY, INCLUDING THOSE AREAS DIRECTLY AROUND AND ABUTTING BUILDING FOUNDATION.
- CONTRACTOR SHALL FIELD VERIFY WATER SUPPLY, VOLUME, PRESSURE AND LOCATION FOR SYSTEM TAP PRIOR TO SYSTEM DESIGN.
- [CONTRACTOR SHALL FIELD VERIFY AND INSPECT EXISTING IRRIGATION SYSTEM LAYOUT, EQUIPMENT, CONDITION AND OPERABILITY PRIOR TO SYSTEM DESIGN.]
- CONTRACTOR SHALL CONFIRM COMPLETE LIMITS OF IRRIGATION WITH LANDSCAPE ARCHITECT PRIOR TO SUPPLYING SHOP DRAWINGS.
- CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT FOR INSPECTION AND APPROVAL OF AREAS RECEIVING DRIP IRRIGATION PRIOR TO INSTALLATION OF MULCH.
- CONTRACTOR SHALL PROVIDE THE OWNER AND LANDSCAPE ARCHITECT WITH AS-BUILT DRAWINGS, DETAILED SYSTEM OPERATION INSTRUCTIONS AND AN IRRIGATION SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND PLANTED MATERIAL GROWTH REQUIREMENTS.

REFERENCE NOTES SCHEDULE

SYMBOL	DECKING DESCRIPTION	QTY	DETAIL
[DK-01]	DECK	1,657 SF	
SYMBOL	FENCE & GUARDRAIL DESCRIPTION	QTY	DETAIL
[FE-01]	DECORATIVE GUARD RAIL	794 LF	
[FE-02]	PLAYGROUND FENCE	610 LF	
SYMBOL	PAVING DESCRIPTION	QTY	DETAIL
[P-01]	CONCRETE SIDEWALK		
[P-02]	UNIT PAVERS	3,399 SF	
[P-03]	PIP RUBBER SURFACE - GRAY BLEND	840 SF	
SYMBOL	PLAY EQUIPMENT DESCRIPTION	QTY	DETAIL
[PE-01]	LONG CLIMBING STRUCTURE		
[PE-02]	LOG STEPPERS		
SYMBOL	SITE FURNITURE DESCRIPTION	QTY	DETAIL
[SF-01]	BIKE RACKS	4	
[SF-02]	FRIDGE	2	
[SF-04]	GRILL	2	
[SF-04C]	CHAIR TYPE 3	16	
[SF-05A]	TABLE TYPE 1	5	
[SF-05E]	TABLE TYPE 5	6	
[SF-06]	BENCH TYPE 1	7	
[SF-09]	PLANTER	1	

CONCEPT PLANT SCHEDULE

[E]	EVERGREEN	4		
	PNUS NIGRA / AUSTRIAN BLACK PINE		12'	HEIGHT
	PNUS PONDEROSA / PONDEROSA PINE		12'	HEIGHT
	PNUS RESINOSA / RED PINE		12'	HEIGHT
[D]	DECIDUOUS TREE	30		
	QLEDDTSA TRICANTHOS (NERNIS) / THORNLESS COMMON HONEYLOCUST		3'	CAL
	QUERCUS MACROCARPA / URBAN PINNACLE / URBAN PINNACLE OAK		3'	CAL
	QUERCUS X WAREI 'NADLER' / KINDRED SPIRIT OAK		3'	CAL
	TILIA AMERICANA 'BOULEVARD' / BOULEVARD LINDEN		3'	CAL
[O]	ORNAMENTAL GRASS	749		
	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS		#1	
	MISCANTHUS SINENSIS 'PURPURESCENS' / FLAME GRASS		#1	
	SPOROBOULUS HETEROLEPIS / PRAIRIE DROPSPEED		#1	
[S]	DECIDUOUS SHRUB	513		
	DIERVILLA LONGERA / DWARF BUSH HONEYSUCKLE		#5	
	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC		#5	
	SPIRAEA X BUMALDA 'GOLD'FLAME' / GOLD'FLAME SPIREA		#5	
	TRILIX OCCIDENTALIS 'BOB'ADAM' / MR. BOWLING BALL 'ARBORVITAE		#5	
[P]	PERENNIAL	403		
	ASTILBE X X 'VISIONS IN WHITE' / VISIONS IN WHITE ASTILBE		#1	
	LIATRIS SPICATA 'ALBA' / SPIKE BLAZING-STAR		#1	
	NEPETA X FASSENI 'WALKERS LOW' / WALKERS LOW CATMINT		#1	



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 Minneapolis, MN 55401
 p 612.332.7522

NOT FOR CONSTRUCTION

CITY SUBMITTAL

FARMERS LADEN RESIDENTIAL ST. PAUL, MN

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Name _____
 Registration# _____
 Signature _____ Date _____
 Date 05/06/2019
 DF/ Project # _____
 Scale AS NOTED
 Drawn/Checked KH
 CITY SUBMITTAL 05/06/2019

REVISION	

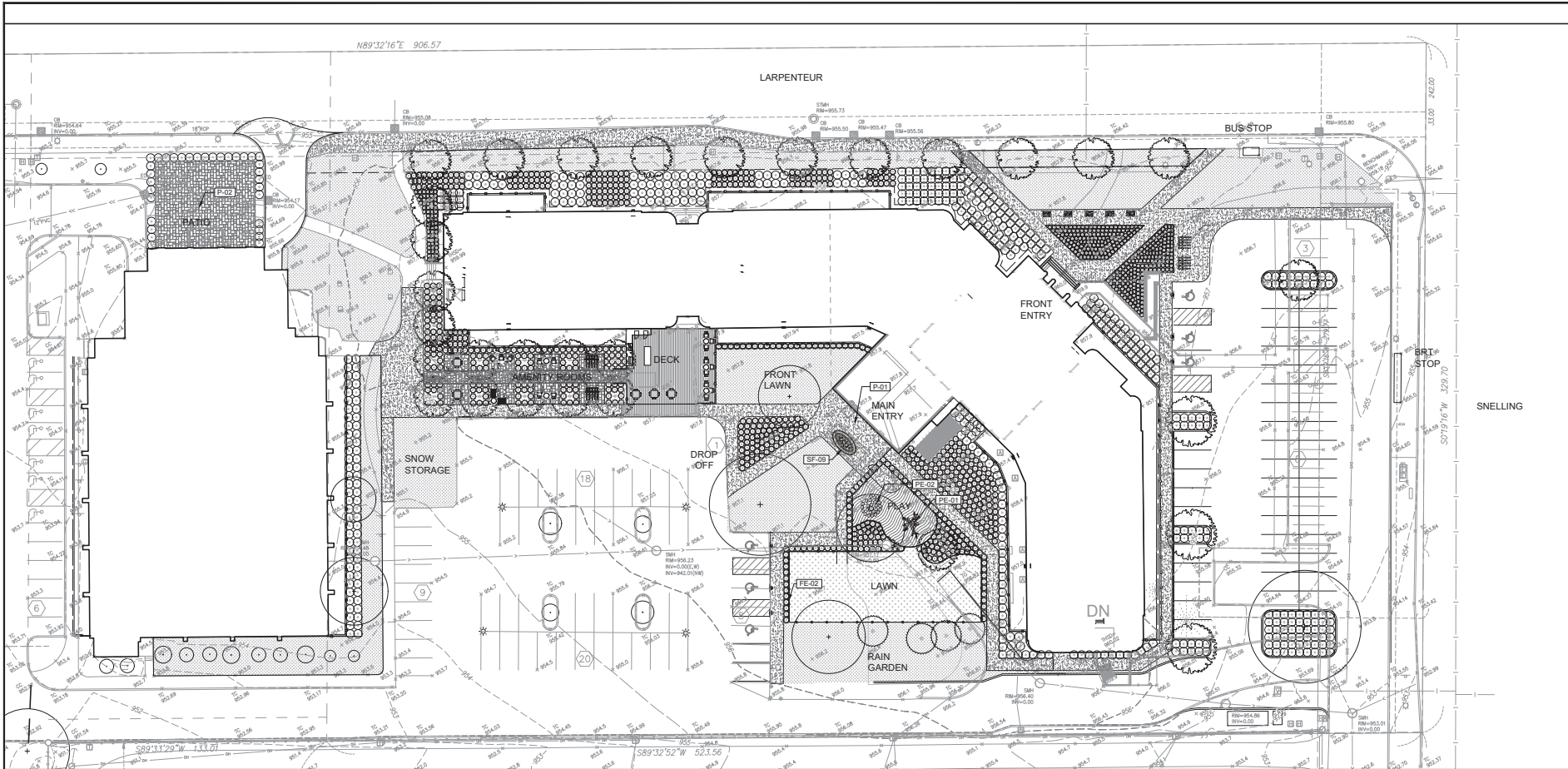
MATERIAL AND PLANTING SCHEDULES

L010

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 CONSTRUCTION

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 - THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY UTILITY COMPANY'S FORCES AND FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING FEES AND CHARGES.
 - ALWAYS VERIFY BENCHMARK ELEVATIONS BETWEEN TWO BENCHMARKS.
 - REMOVAL ITEMS BECOME THE PROPERTY OF THE CONTRACTOR UNLESS SPECIFIED OTHERWISE. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING DEBRIS FROM THE SITE AND DISPOSING OF THE DEBRIS IN A LAWFUL MANNER PER LOCAL GOVERNING AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.

- PRIOR TO DEMOLITION, EROSION CONTROL DEVICES ARE TO BE INSTALLED WHERE NECESSARY AND OBTAIN AN MPDES STORM WATER PERMIT. REFER TO CIVIL FOR EROSION CONTROL.
- DAMAGE TO REMAINING EXISTING CONDITIONS WILL BE REPLACED AT CONTRACTOR'S EXPENSE AND SHALL BE EQUAL TO OR EXCEED THE QUALITY OF CONSTRUCTION PRIOR TO DAMAGE.
- CONCRETE PAVEMENT, SIDEWALKS, CURBS AND GUTTER, AND OTHER POURED CONCRETE ITEMS ARE TO BE REMOVED TO AN EXISTING EXPANSION OR CONTRACTION JOINT.
- CONTRACTOR SHALL LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS. IF DAMAGE IS INCURRED ON THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR AT NO ADDITIONAL COST TO THE OWNER. BITUMINOUS PAVEMENT REMOVALS ARE TO BE MADE WITH A VERTICAL SAW CUT OR TO A NEAT MILLED EDGE.
- CONTRACTOR SHALL PRESERVE VEGETATION NOT TO BE REMOVED BY CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR RE-SEEDING OR SODDING AREAS DISTURBED BY CONSTRUCTION.
- LOCATION AND ELEVATIONS OF IMPROVEMENTS TO BE MET (OR AVOIDED) SHALL BE CONFIRMED BY THE CONTRACTOR THROUGH FIELD EXPLORATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REPORT TO THE LANDSCAPE ARCHITECT DISCREPANCIES BETWEEN THEIR MEASUREMENTS AND THESE PLANS. CONTRACTOR SHALL ALSO MAKE EXPLORATION EXCAVATIONS AND LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES. CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND OTHER EXISTING LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
- EXISTING UTILITIES TO REMAIN IN PLACE UNLESS SPECIFICALLY MARKED ON THIS SHEET.

CONCEPT PLANT SCHEDULE

●	EVERGREEN	4	12' HEIGHT
	PRINUS NIGRA / AUSTRIAN BLACK PINE	12'	HEIGHT
	PRINUS PONDEROSA / PONDEROSA PINE PRINUS RESINOSA / RED PINE	12'	HEIGHT
○	DECIDUOUS TREE	30	3" CAL.
	LELIDITSA TRACANTHOS INERMIS / THORNLESS COMMON HONEYLOCUST	3"	CAL.
	QUERCUS MACROCARPA / URBAN PINNACLE	3"	CAL.
	QUERCUS X WAREI 'NABLEY' / KINDRED SPIRIT OAK TILIA AMERICANA 'BOULEVARD' / BOULEVARD LINDEN	3"	CAL.
●	ORNAMENTAL GRASS	749	#1
	CALAMAGRISTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	#1	
	MISCANTHUS SINENSIS 'PURPURESCENS' / FLAME GRASS	#1	
	SPOROBOLUS HETEROLEPIS / PRAIRIE DROPSPEED	#1	
○	DECIDUOUS SHRUB	513	#5
	DIERVILLA LONICERA / DWARF BUSH HONEYSUCKLE	#5	
	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	#5	
	SPIRAEA X BUNALDA 'GOLDFLAME' / GOLDFLAME SPIREA	#5	
	THUJA OCCIDENTALIS 'BOBAZAM' / MR. BOWLING BALL™ ARBORVITAE	#5	
○	PERENNIAL	403	#1
	ASTILBE 'X' 'VISIONS IN WHITE' / VISIONS IN WHITE ASTILBE	#1	
	LIATRIS SPICATA 'ALBA' / SPIKE BLAZING-STAR NEPETA X FASSENII 'WALKERS LOW' / WALKERS LOW CATMINT	#1	

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
DK-01	DECK	1,657 SF	
SYMBOL	FENCE & GUARDRAIL DESCRIPTION	QTY	DETAIL
FE-01	DECORATIVE GUARD RAIL	794 LF	
FE-02	PLAYGROUND FENCE	610 LF	
SYMBOL	PAVING DESCRIPTION	QTY	DETAIL
PF-01	CONCRETE SIDEWALK		
PF-02	UNIT PAVERS	3,399 SF	
PF-03	PIP RUBBER SURFACE - GRAY BLEND	840 SF	
SYMBOL	PLAY EQUIPMENT DESCRIPTION	QTY	DETAIL
PE-01	LONG CLIMBING STRUCTURE		
PE-02	LOG STEPPERS		
SYMBOL	SITE FURNITURE DESCRIPTION	QTY	DETAIL
SF-01	BIKE RACKS	4	
SF-02	FRIDGE	2	
SF-04	GRILL	2	
SF-04C	CHAIR TYPE 3	16	
SF-05A	TABLE TYPE 1	5	
SF-05E	TABLE TYPE 5	6	
SF-06	BENCH TYPE 1	7	
SF-08	PLANTER	1	

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Name _____
 Registration# _____

Signature _____ Date _____

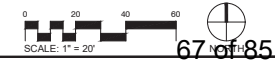
DF / Project # _____

Scale AS NOTED

Drawn/Checked KH

CITY SUBMITTAL 05-06-2019

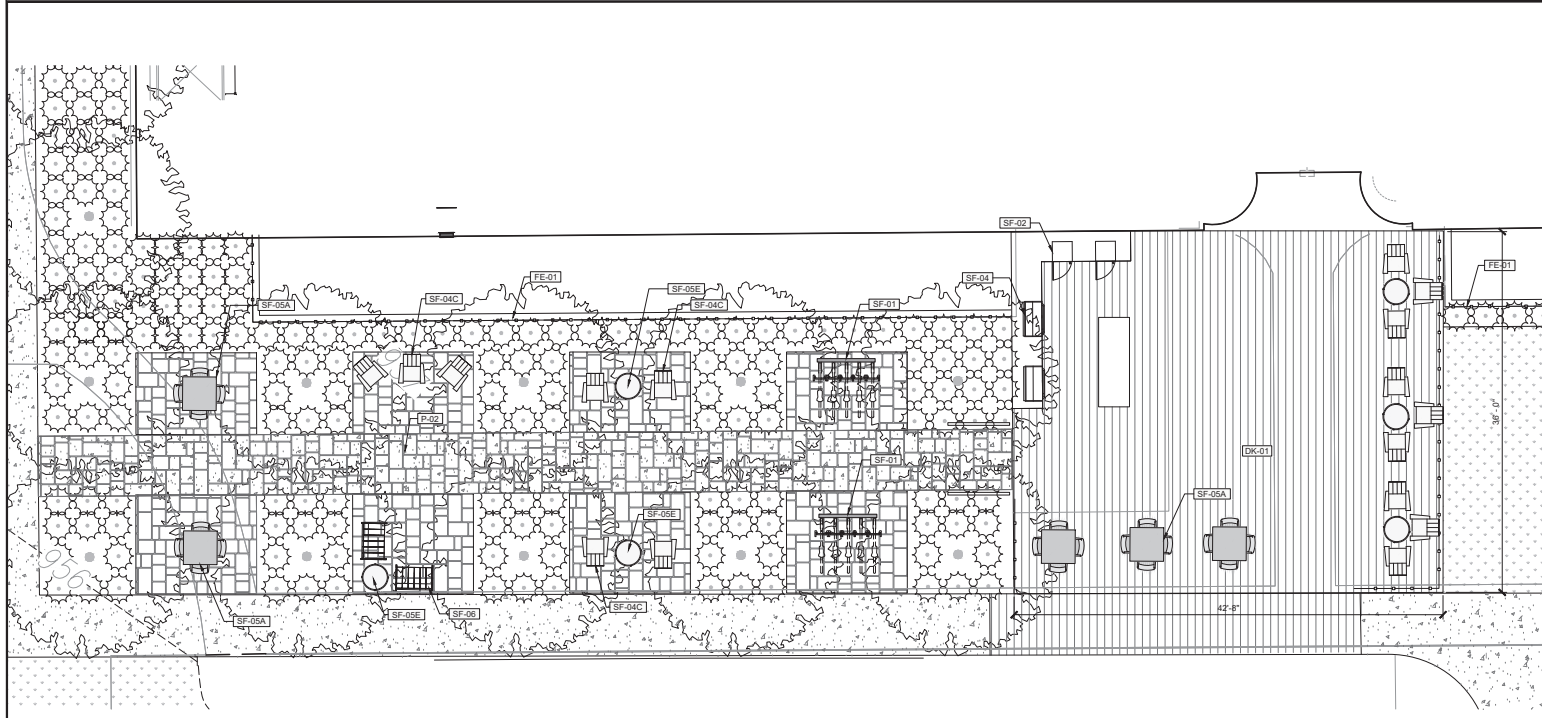
REVISION _____



LANDSCAPE
 PLAN
L100

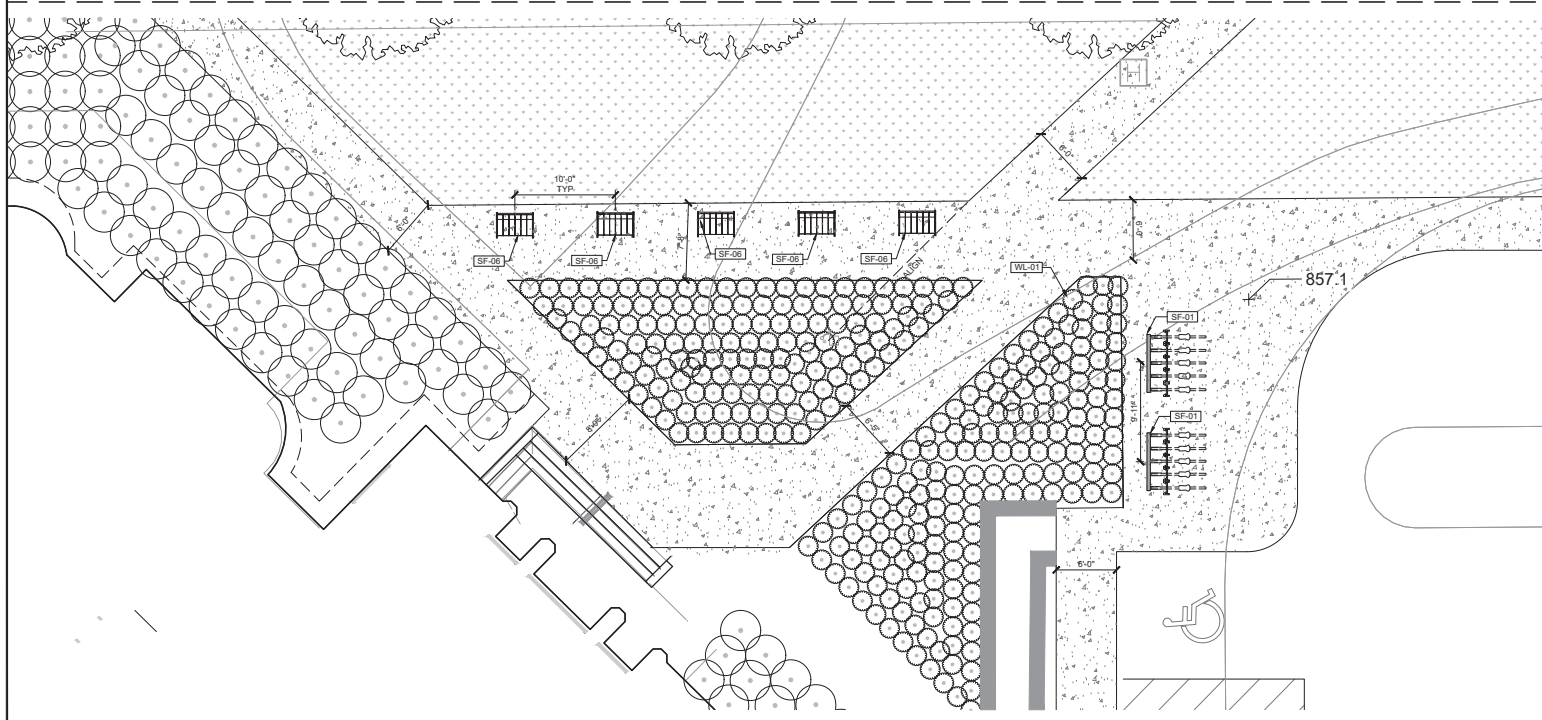
NOT FOR
CONSTRUCTION

CITY SUBMITTAL



AMMENITY SPACE LEGEND

SYMBOL	DECKING DESCRIPTION	QTY
DK-01	DECK	1,657 SF
SYMBOL	FENCE & GUARDRAIL DESCRIPTION	QTY
FE-01	DECORATIVE GUARD RAIL	137 LF
SYMBOL	PAVING DESCRIPTION	QTY
P-01	CONCRETE SIDEWALK	
P-02	UNIT PAVERS	1,444 SF
SYMBOL	SITE FURNITURE DESCRIPTION	QTY
SF-01	BIKE RACKS	2
SF-02	FRIDGE	2
SF-04	GRILL	2
SF-04C	CHAIR TYPE 3	16
SF-05A	TABLE TYPE 1	5
SF-05E	TABLE TYPE 5	6
SF-06	BENCH TYPE 1	2



FRONT ENTRY LEGEND

SYMBOL	PAVING DESCRIPTION	QTY
P-01	CONCRETE SIDEWALK	
SYMBOL	SITE FURNITURE DESCRIPTION	QTY
SF-01	BIKE RACKS	2
SF-06	BENCH TYPE 1	5

FARMERS UNION
RESIDENTIAL
ST. PAUL, MN

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Name _____
Registration# _____

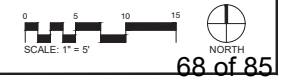
Signature _____ Date _____

Date 05/06/2019
DF/ Project # _____
Scale AS NOTED
Drawn/Checked KH
CITY SUBMITTAL 05/06/2019

REVISION _____

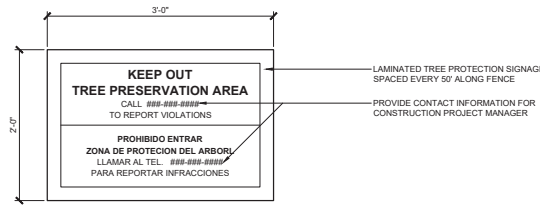
LANDSCAPE ENLARGEMENT PLANS

L200

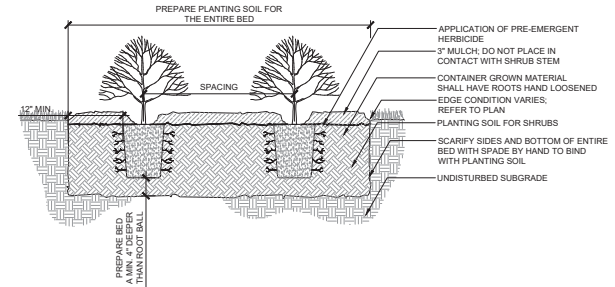


NOT FOR
 CONSTRUCTION

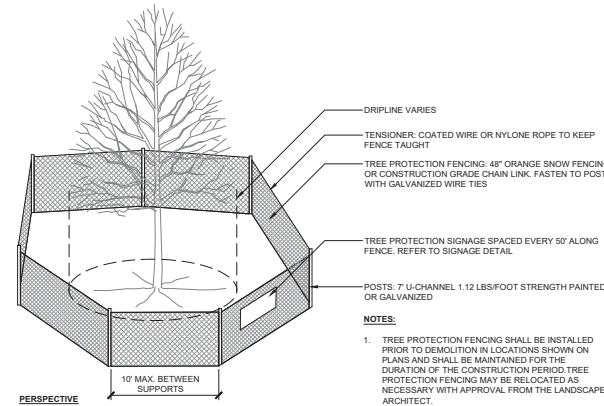
CITY SUBMITTAL



6 DETAIL - TREE PROTECTION SIGNAGE
 1 1/2" = 1'-0" P-18 289-69

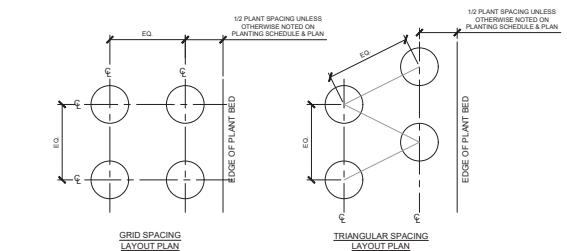


3 DETAIL - SHRUB PLANTING
 1" = 1'-0" P-18 289-62

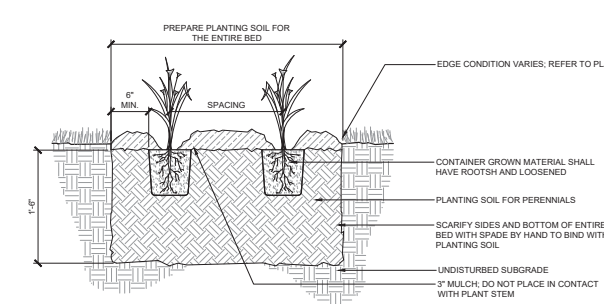


- NOTES:**
- TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO DEMOLITION IN LOCATIONS SHOWN ON PLANS AND SHALL BE MAINTAINED FOR THE DURATION OF THE CONSTRUCTION PERIOD. TREE PROTECTION FENCING MAY BE RELOCATED AS NECESSARY WITH APPROVAL FROM THE LANDSCAPE ARCHITECT.
 - CONTRACTOR SHALL NOT STORE MATERIALS, EQUIPMENT OR PARK VEHICLES IN TREE PROTECTION ZONES. THE FENCE SHALL PREVENT TRAFFIC MOVEMENT AND THE PLACEMENT OF TEMPORARY FACILITIES, EQUIPMENT, STOCKPILES AND SUPPLIES FROM HARMING VEGETATION WITHIN THE LIMITS OF PROTECTION.
 - PLACE 4" DEPTH ORGANIC WOOD MULCH WITHIN TREE PROTECTION FENCING FOR MOISTURE PRESERVATION
 - PLACE TREE PROTECTION WITHIN DRIPLINE WHEN FULL DRIPLINE PROTECTION IS NOT FEASIBLE DUE TO EXISTING PAVEMENT OR OTHER OBSTACLES.
 - WHERE TREE PROTECTION OCCURS WITHIN DRIPLINE OF TREE, WRAP TRUNK W/ 2x4x8 BOARDS SECURED TIGHTLY AROUND TRUNK WITH STRAP BINDINGS.
 - NO PRUNING SHALL BE PERFORMED EXCEPT WHERE APPROVED BY APPROVED LANDSCAPE ARCHITECT AND PERFORMED BY ISA CERTIFIED ARBORIST.
 - WHERE WORK OCCURS WITHIN DRIPLINE OF TREE, ROOT PRUNING TO BE PERFORMED BY ISA CERTIFIED ARBORIST PRIOR TO EXCAVATION OR TRENCHING.

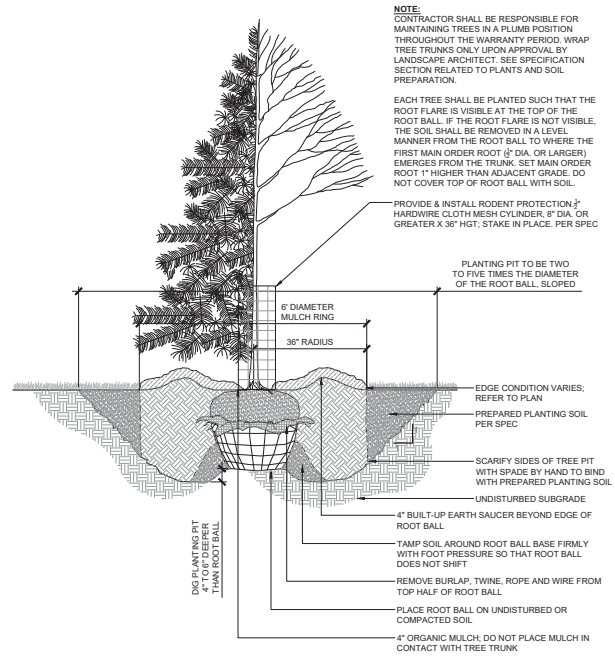
5 DETAIL - TREE PROTECTION
 1 1/2" = 1'-0" P-18 289-19



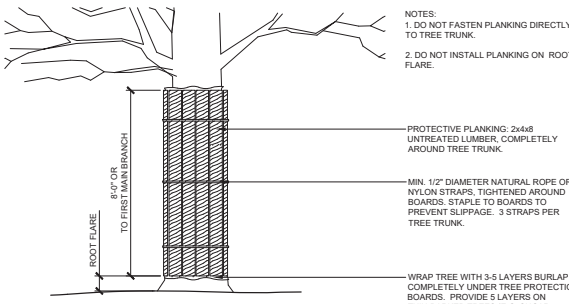
2 DETAIL - PLANT SPACING
 3/4" = 1'-0" P-18 289-03



4 DETAIL - PERENNIAL PLANTING
 1 1/2" = 1'-0" P-18 289-04



1 DETAIL - TREE PLANTING
 3/4" = 1'-0" P-18 289-01



7 DETAIL - TRUNK PROTECTION
 1" = 1'-0" P-18 289-71

FARMERS UNION
 RESIDENTIAL
 ST. PAUL, MN

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Name _____
 Registration# _____
 Signature _____ Date _____

Date 05/06/2019
 DF/Project # _____
 Scale AS NOTED
 Drawn/Checked KH
 CITY SUBMITTAL 05/06/2019

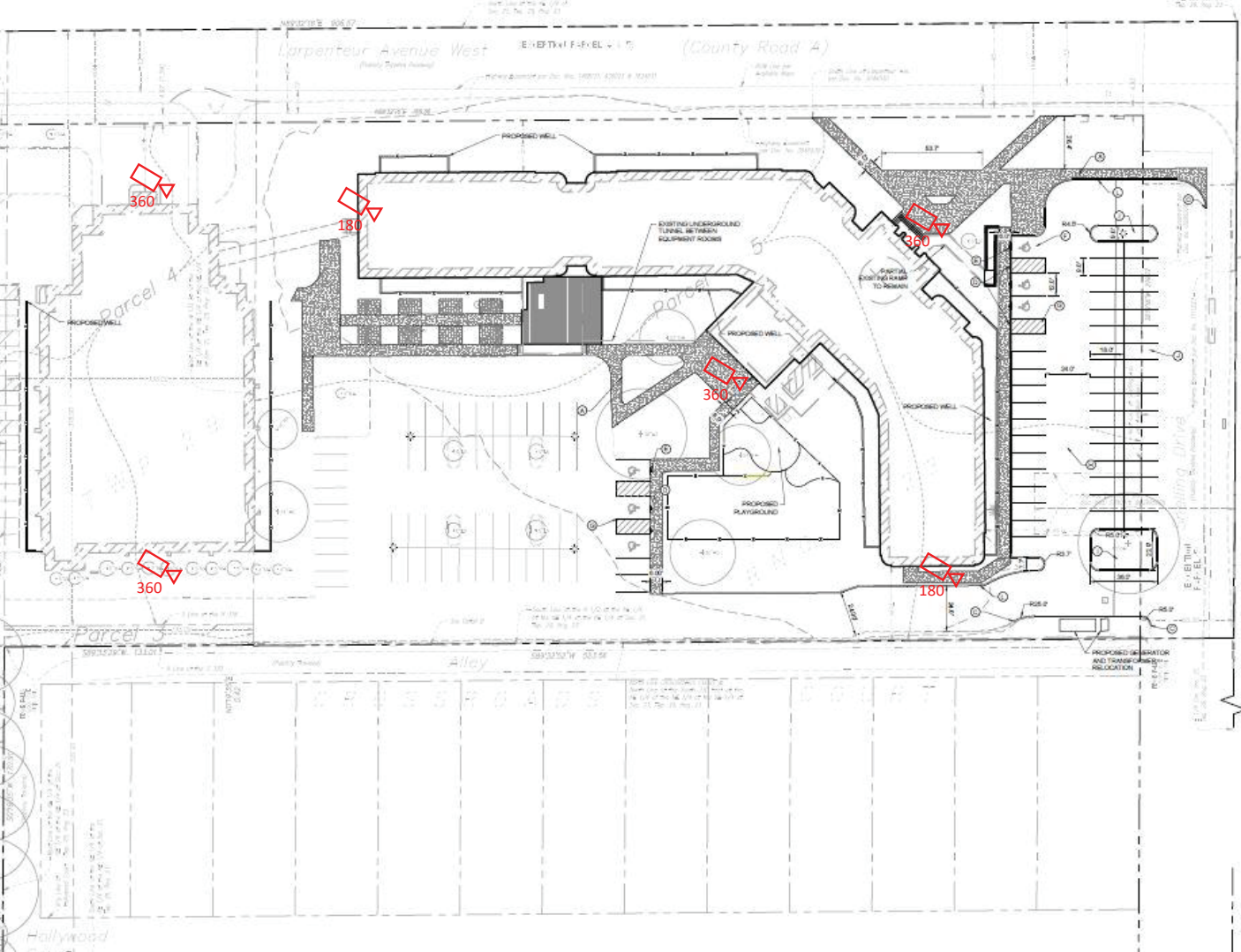
REVISION _____

LANDSCAPE
 DETAILS

L500

This document, together with the conceptual architectural presentation, is intended for the specific project and site for which it was prepared. It is not to be used for any other project or site without the prior written consent of the engineer. The engineer shall not be responsible for the accuracy of the information provided by the client or any other third party. The engineer shall not be responsible for the accuracy of the information provided by the client or any other third party.

-  Hikvision 180 Degree Camera
2- Cat6
-  Hikvision 360 Degree Camera
2- Cat6



LEGEND

	PROPERTY LINE
	PROPOSED FENCE
	SETBACK LINE
	RETAINING WALL
	PROPOSED CURB AND GUTTER
	PROPOSED HEAVY DUTY ASPHALT
	PROPOSED STANDARD DUTY ASPHALT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED STORMWATER MANAGEMENT AREA
	PROPOSED CONCRETE SIDEWALK

PROPERTY SUMMARY

GTA BUILDING	
TOTAL PROPERTY AREA	171,791 SF (3.94 AC)
EXISTING IMPERVIOUS	52,954 SF (1.22 AC)
EXISTING PERVIOUS	73,078 SF (1.68 AC)
PROPOSED IMPERVIOUS AREA	63,954 SF (1.47 AC)
PROPOSED PERVIOUS AREA	60,111 SF (1.36 AC)

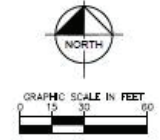
ZONING SUMMARY	
EXISTING ZONING	S-3
PROPOSED ZONING	PUD
PARKING SETBACKS	N/A
BUILDING SETBACKS	N/A

BUILDING DATA SUMMARY

AREAS	
EXISTING BUILDING AREA	48,721 SF (1.09 AC)
PROPOSED BUILDING AREA	47,096 SF (1.06 AC)

PARKING	
EXISTING PARKING	84 (INCLUDES 11 ADA STALLS)
PROPOSED PARKING	119 (INCLUDES 11 ADA STALLS)

- KEYNOTE LEGEND**
- (A) CONCRETE SIDEWALK
 - (B) EXISTING PIPE BOLLARD
 - (C) MATCH EXISTING EDGE OF PAVEMENT CURB & GUTTER
 - (D) ACCESSIBLE CURB RAMP
 - (E) ACCESSIBLE PARKING SIGN
 - (F) ACCESSIBLE PARKING
 - (G) AREA STRIPPED WITH 4" SYSL @ 40' 2" O.C.
 - (H) STANDARD DUTY ASPHALT PAVEMENT
 - (I) LANDSCAPE AREA - SEE LANDSCAPE PLANS
 - (J) MILL AND OVERLAY RESTRIPTED AREAS
 - (K) HEAVY DUTY CONCRETE PAVEMENT
 - (L) 8" C&G (TYP.)
 - (M) TRANSITION CURB
 - (N) FLAT CURB
 - (O) COMMERCIAL DRIVEWAY APRON



PRELIMINARY - NOT FOR CONSTRUCTION

SITE PLAN

GTA BUILDING
PREPARED FOR
**MOHAGEN
HANSEN**
FALCON HEIGHTS, MN

SHEET NUMBER
C.400

Kimley»Horn
© 2016 KIMLEY-HORN AND ASSOCIATES, P.C.
REGISTERED PROFESSIONAL ENGINEERS AND ARCHITECTS
MINNESOTA
WWW.KIMLEY-HORN.COM

NO. PROJECT	150888034
DATE	05/20/16
DRAWN BY	JKL
CHECKED BY	JKL
DESIGNED BY	JKL
PROJECT NO.	150888034
CITY	MINNAPOLIS, MN
DATE	05/20/16

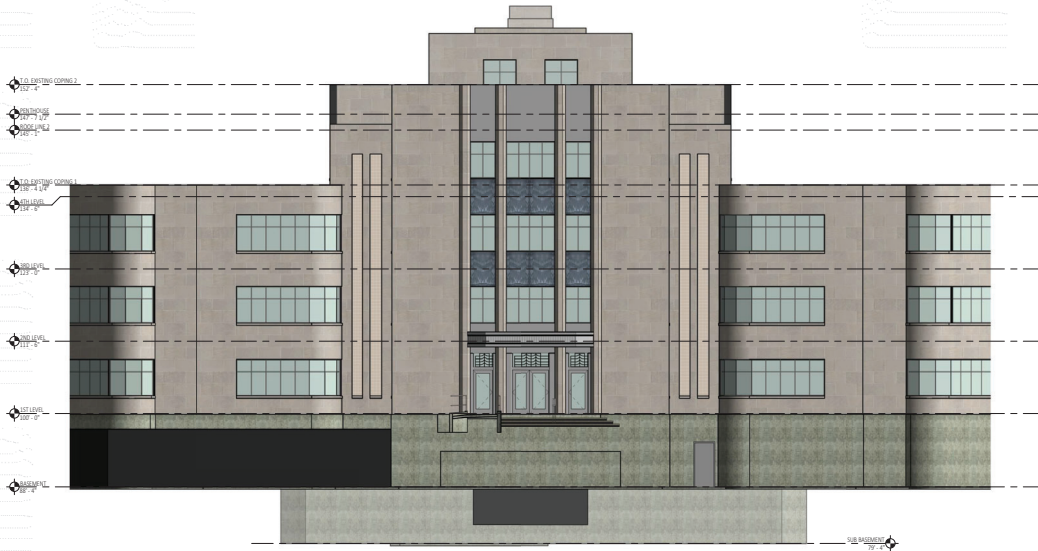
ELEVATION KEYNOTES
TAG KEYNOTE

- GENERAL ELEVATION NOTES**
- CONTRACTOR TO WALK BUILDING WITH OWNER AND ENVELOPE CONSULTANT TO DETERMINE EXTENT OF EXTERIOR REPAIR WORK.
 - CLEAN EXTERIOR STONE AT ALL ELEVATIONS.
 - PROVIDE TUCK POINTING AT ALL DAMAGED MASONRY JOINTS.
 - REPAIR ALL DAMAGED CAULKING/SEALANT AT WINDOWS, DOORS, TRANSOMS, ETC.

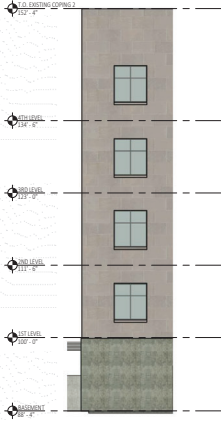


GRAIN TERMINAL ASSOCIATION RENOVATION

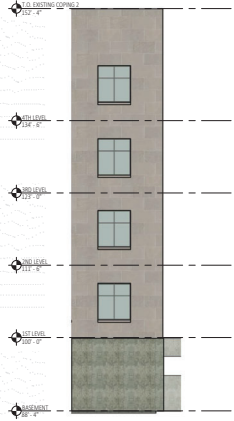
FARMERS UNION GRAIN TERMINAL ASSOCIATION HEADQUARTERS
 1667 SNELLING AVENUE NORTH
 FALCON HEIGHTS, MN 55108



1 NORTHEAST ELEVATION - FRONT ENTRY
A300 1/8" = 1'-0"



2 NORTHWEST ELEVATION - FRONT ENTRY
A300 1/8" = 1'-0"



3 SOUTHWEST ELEVATION - FRONT ENTRY
A300 1/8" = 1'-0"



4 SOUTHWEST ELEVATION - INSIDE CORNER
A300 1/8" = 1'-0"



5 SOUTH ELEVATION - END
A300 1/8" = 1'-0"

PROJECT NAME: GRAIN TERMINAL ASSOCIATION RENOVATION
ARCHITECT: M.H. HANSEN ARCHITECT
REGISTRATION NUMBER: 48912
ISSUE RECORD
DRAWING INFORMATION
SHEET DESCRIPTION: EXTERIOR BUILDING ELEVATIONS
PHASE: CITY SUBMITTAL

M.H. HANSEN ARCHITECT
1000 Twine Oaks Center
Suite 200
Wagoner MN 55391
Tel: 952-425-7400
Fax: 952-425-7440

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

1000 NOVAH, AIA
REGISTRATION NUMBER: 48912

THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RIGHTS INCLUDING COPYRIGHTS OF THE ATTACHED DOCUMENTS.

NO.	DESCRIPTION	DATE

PROJECT NUMBER: 1000-0701
 DRAWN BY: Author
 CHECKED BY: Clerk
 DATE: 09/28/2018
 COMPUTER DIRECTORY:
 K:\Users\GTA.Blg_200806.Dwg

EXTERIOR BUILDING ELEVATIONS

CITY SUBMITTAL

A300

C:\Users\gthansen\Documents\1000_0701\1667_Snell\1667_Snell.dwg, 9/28/2018, 9:28:06 AM, gthansen@mhahansen.com

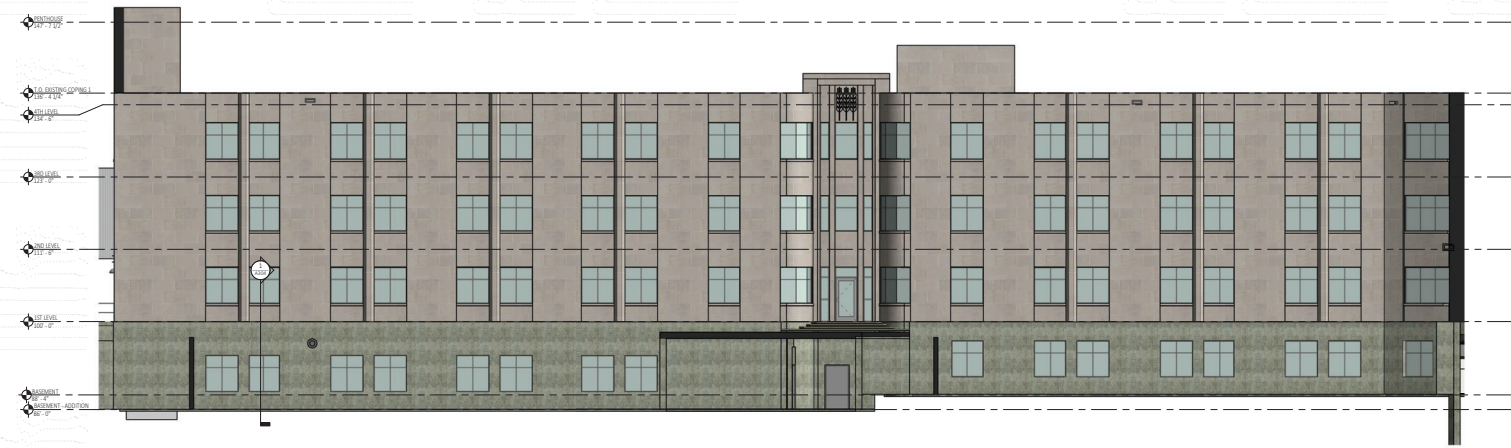
ELEVATION KEYNOTES
TAG | KEYNOTE

- GENERAL ELEVATION NOTES**
1. CONTRACTOR TO WALK BUILDING WITH OWNER AND ENVELOPE CONSULTANT TO DETERMINE EXTENT OF EXTERIOR REPAIR WORK.
 2. CLEAN EXTERIOR STONE AT ALL ELEVATIONS.
 3. PROVIDE TUCK-POINTING AT ALL DAMAGED MASONRY JOINTS.
 4. REPAIR ALL DAMAGED CAULKING/SEALANT AT WINDOWS, DOORS, TRANSOMS, ETC.

BUHL INVESTORS

GRAIN TERMINAL ASSOCIATION RENOVATION

FARMERS UNION GRAIN TERMINAL ASSOCIATION HEADQUARTERS
1667 SNEILING AVENUE
NORTH FALCON HEIGHTS, MN
55108



1 SOUTH ELEVATION
A301 | 1/8" = 1'-0"



2 NORTH ELEVATION
A301 | 1/8" = 1'-0"

PROJECT NAME
PROJECT NUMBER
ARCHITECT
REGISTRATION
ISSUE RECORD
DRAWING INFORMATION
SHEET DESCRIPTION
PHASE

MH
MHAGEN HANSEN
ARCHITECTS

1000 Twelve Oaks Center
Suite 200
Wagoner, MN 55391
Tel: 952-425-7400
Fax: 952-425-7440

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

TOOD MOVAL, AIA
REGISTRATION NUMBER: 48932

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NO.	DESCRIPTION	DATE

PROJECT NUMBER: 1000-001
DRAWN BY: Author
CHECKED BY: Checker
DATE: 05/08/2018
COMPUTER DIRECTOR: K:\proj\GTA_Bldg_1000\000_Dwg

EXTERIOR BUILDING ELEVATIONS

CITY SUBMITTAL

A301

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FALCON HEIGHTS FIRE DEPARTMENT

2077 W. LARPEN TEUR AVENUE FALCON HEIGHTS, MN 55113-5594 PHONE (651) 792-7635 FAX (651) 792-7610

May 21, 2019

Michael Poeschl

City of Falcon Heights, Fire Marshal

RE: 1667 Snelling Avenue, TIES Re-development; Buhl GTA, LP

I have reviewed the submitted plans for the Amber Union Workforce Housing Apartments to include the main building and Lab/Garage to be developed into 106 living units. The preliminary plans appear correct, noting the absence of a Fire Protection Plan at this time. The building developer has stated that the plans for a Full Fire Protection system with sufficient water supply, access, and fully sprinkled building will be available before construction scheduled to begin January 2020.

I can recommend that this project continue pursuant to the Fire Protection Plan per the building owner/developer.

Respectfully,

Michael Poeschl

City of Falcon Heights, Fire Marshal

HOME OF THE MINNESOTA STATE FAIR AND THE U OF M ST. PAUL CAMPUS



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ORDINANCE NO. 19-05

**CITY OF FALCON HEIGHTS
RAMSEY COUNTY, MINNESOTA**

**AN ORDINANCE ADDING SECTION 113-211
TO THE FALCON HEIGHTS CITY CODE**

THE CITY COUNCIL OF FALCON HEIGHTS ORDAINS:

SECTION 1 Section 113-211 of the Falcon Heights City Code is added as follows.

113-210 – Amber Union Planned Unit Development

- (a) *Legal Description.* The legal description of this PUD is the North Half of the Northeast Quarter of the Northeast Quarter of the Northeast Quarter, in Section 21, Township 29, Range 23, Ramsey County, Minnesota, except that part taken for Snelling and Larpenteur Avenues.
- (b) *Purpose.* The purpose of the Amber Union Planned Unit Development is to provide for the mixed uses of multi-family apartments and a retail space.
- (c) *Permitted Uses and Zoning Regulations.* The R5-M mixed use high density residential district regulations shall apply to the Property subject to the following modifications:
 - (1) Permitted uses: One principal structure consisting of 111,640 square feet and 67 apartment units and one principal structure consisting of 59,195 square feet, 39 apartment units, and one retail space.
 - (2) No conditional uses
 - (3) No interim uses
 - (4) Setbacks as depicted in the Site Plan dated May 6, 2019 prepared by Kimley Horn and Mohagen Hansen.
- (d) *Development Plan.* The PUD must be maintained in accordance with the following development plan, which is on file with the City and which is incorporated herein by reference.
 - (1) The following plans prepared by Buhl GTA, LP and their contractors/partners with up to five percent variance as approved by the City Administrator:
 - a. Site Development Plans, dated May 6, 2019 prepared by Kimley Horn and Mohagen Hansen including:
 - 1. Demo Plan
 - 2. Erosion and Sediment Control Plan
 - 3. Site Plan
 - 4. Grading Plan
 - 5. Storm Sewer Plan
 - 6. Utility Plan

- 7. Security Plan
 - b. Landscaping Plans, dated May 6, 2019 prepared by Damon Farber
 - 1. Tree Protection Plan
 - 2. Landscape Plan
 - c. Floor Plans, dated May 6, 2019 prepared by Mohagen Hansen

SECTION 2 This ordinance shall be effective upon its passage and a summary published in the official newspaper.

ADOPTED this 12th day of June, 2019, by the City Council of the City of Falcon Heights, Minnesota.

Moved by:

Approved by: _____
 Randall Gustafson
 Mayor

GUSTAFSON
 HARRIS
 LEEHY
 MIAZGA

___ In Favor
 ___ Against

Attested by: _____
 Sack Thongvanh
 City Administrator



Warners' Stellan Appliance

Dino's Gyros: Falcon Heights, MN

STOUT'S PUB & GRILL

Merwin Liquors Falcon Heights

Jimmy John's

LaPenteur Ave W

Pizza Hut

LaPenteur Ave W

Amber Union Site

California Ave W

Hollywood Ct

Idaho Ave W

Idaho Ave W