

**CITY OF LINO LAKES  
PLANNING & ZONING BOARD MEETING**

Wednesday, December 14, 2016

6:30 p.m.

Council Chambers

*Please be courteous and turn off all electronic devices during the meeting.*

**AGENDA**

1. CALL TO ORDER AND ROLL CALL
2. APPROVAL OF AGENDA
3. APPROVAL OF MINUTES: November 9, 2016
4. OPEN MIKE
5. ACTION ITEMS
  - A. **PUBLIC HEARING:** Century Farm North 7<sup>th</sup> Addition Preliminary Plat and PUD Final Plan/Final Plat
6. DISCUSSION ITEMS
  - A. Project Updates
7. ADJOURN

Meeting guidelines on reverse side.

## **City of Lino Lakes Planning & Zoning Board MEETING GUIDELINES**

**Open Mike** – The purpose of a Board Meeting is to accomplish the business of the city. When presenting at a meeting please remember to be respectful, and follow these guidelines:

- Please address the meeting chair.
- State your name and address for the record.
- Please observe a 4-minute limit.
- The topic must relate to city business.
- Open Mike is for items not on the agenda.
- A spokesperson must represent a group of five or more – groups will have 8 minutes.
- The Presiding Officer may limit duplicative presentations.
- Remember, the meeting is to discuss city business only.

**Public Hearing** - Held as a separate item of business on the agenda. The public hearing segment is your opportunity to tell the Board how you feel about issues scheduled to be heard. Typically, a hearing follows these steps:

- The Presiding Officer (Chair or Vice-Chair) will announce the proposal to be reviewed and ask for the staff report. The presiding Officer shall maintain strict order and etiquette at all meetings.
- Staff will present their report on the proposal.
- Board members will then ask City Staff questions about the proposal.
- The Presiding Officer will then open up the public hearing for anyone present who wishes to comment on the proposal. This is the time for the public to make comments or ask questions about the proposal.  
Comments should be limited to four (4) minutes unless further time is granted by the Presiding Officer. All comments should be directed to the Board as a body and not to any individual Board Member or City Staff Member unless permission is granted by the Presiding Officer. No person shall be permitted to enter into any discussion, either directly or through a member of the Board without the permission of the Presiding Officer.
- After everyone in the audience wishing to speak has given his/her comments, the Presiding Officer shall close the public hearing.
- The Board will then discuss the proposal. No further public comments are allowed.
- The Board will then make a recommendation(s) and/or a decision.

When you are called upon for your comments, please step to the microphone at the podium and state your name and address for the record.

Occasionally, the Board may continue a hearing to another meeting before taking action.

### Meeting Etiquette

The Planning & Zoning Board must preserve order and decorum while the meeting is in session. A resident shall not, by conversation or otherwise, delay or interrupt the proceedings or the business of the Board, nor disturb any resident or Board Member while speaking or refuse to obey the orders of the Board.

**CITY OF LINO LAKES  
PLANNING & ZONING BOARD MINUTES**

<b>DATE</b>	<b>: November 09, 2016</b>
<b>TIME STARTED</b>	<b>: 6:30 P.M.</b>
<b>TIME ENDED</b>	<b>: 6:56 P.M.</b>
<b>MEMBERS PRESENT</b>	<b>: Dale Stoesz, Lou Masonick, Perry Laden, Paul Tralle (Chair), Neil Evenson, Michael Root</b>
<b>MEMBERS ABSENT</b>	<b>: None</b>
<b>STAFF PRESENT</b>	<b>: Katie Larsen</b>

**I. CALL TO ORDER AND ROLL CALL:**

Chair Tralle called the Lino Lakes Planning and Zoning Board meeting to order at 6:30 p.m. on November 09, 2016.

**II. APPROVAL OF AGENDA**

The Agenda was approved as presented.

**III. APPROVAL OF MINUTES:**

October 12, 2016

Mr. Masonick made a MOTION to approve the October 12, 2016 Meeting Minutes. Motion was supported by Mr. Stoesz. Motion carried 5 - 0. (Tralle abstained)

**IV. OPEN MIKE**

Chair Tralle declared Open Mike at 6:33 p.m.

There was no one present for Open Mike.

Mr. Masonick made a MOTION to close Open Mike at 6:34p.m. Motion was supported by Mr. Stoesz. Motion carried 5 - 0. (Tralle abstained)

## V. ACTION ITEMS

### A. Variance for 1558 Meadowview Court for a Porch Addition

Katie Larsen, City Planner, presented the staff report. Staff recommended approval of the variance for 1558 Meadowview Court for a Porch Addition.

Jason Hempel, J. Hempel Services, LLC, submitted a Land Use Application on behalf of the property owner, Mary Meuwissen, for a variance for a porch addition. J. Hempel Services, LLC is constructing a screen covered porch and deck for the property owner. The porch encroaches 1.29 feet (15.48 inches) into the rear yard setback. The property address is 1558 Meadowview Court.

Staff addressed questions of the board including:

Mr. Stoesz asked if the adjacent property owners were given notice of the variance request. Staff commented the City is not required to send notices or to conduct a public hearing.

Mr. Laden addressed the reasons for 30' setbacks. Staff commented setbacks are in place for density purposes, sunlight, air circulation and other environmental effects. Mr. Laden also asked if the original porch encroached on setbacks, and staff commented, it did not, the purposed porch footprint is being expanded.

Mr. Evenson asked about the definition of a detached accessory structure. Staff commented an accessory structure could be a building such as a shed, garage or porch, but must not exceed a maximum square footage.

The property owner, Mary Meuwissen, 1558 Meadowview Court addressed the board concerning the misunderstanding of setbacks, backyard versus the side yard.

The contractor, Jason Hempel with J. Hempel Services, LLC, 12330 Lindstrom Lane Lindstrom, MN and 30225 Ridgewood Avenue Shafer, MN took questions from the board.

Mr. Laden questioned why this issue happened in the first place. Mr. Hempel replied, confusion of side yard versus backyard setbacks. Also a previous survey was conducted which was being used as a reference but not to their knowledge was not to scale.

Mr. Masonick made a MOTION to recommend approval of the Variance for 1558 Meadowview Court for a Porch Addition.

Motion was supported by Mr. Evenson.

Mr. Laden commented a survey should be required before a permit is issued, so instances like this do not happen. Staff commented, there was a previous survey completed, but it wasn't to scale.

Motion carried 5 - 0. (Tralle abstained)

Chair Tralle expressed his concerns that the applicant was required to go through such an expensive process for such a small setback deviation.

## **VI. DISCUSSION ITEMS**

A. Katie Larsen provided updates on various city projects.

## **VII. ADJOURNMENT**

Mr. Laden made a MOTION to adjourn the meeting at 6:56 p.m. Motion was supported by Mr. Evenson. Motion carried 5 - 0. (Tralle abstained)

Respectfully submitted,

Alex McKenzie  
Community Development Intern

**PLANNING & ZONING BOARD  
AGENDA ITEM 5A**

STAFF ORIGINATOR: Katie Larsen, City Planner

P & Z MEETING DATE: December 14, 2016

REQUEST: **PUBLIC HEARING**  
Century Farm North 7<sup>th</sup> Addition  
1. Preliminary Plat  
2. PUD Final Plan/Final Plat

CASE NUMBER: PP2016-006  
PF 2016-003  
FP 2016-006

APPLICANT: Lino Lakes Townhomes, LLC  
6750 Stillwater Boulevard North  
Stillwater, MN 55082

OWNER: Gary M. Uhde  
3157 Berwick Knoll  
Brooklyn Park, MN 55443

REVIEW DEADLINE:

Complete Application Date:	November 14, 2016
Environmental Board Meeting:	November 30, 2016
Park Board Meeting:	TBD
Planning & Zoning Board Meeting:	December 14, 2016
Council Work Session Meeting:	January 02, 2017
Council Meeting:	January 09, 2017
60-Day Review Date:	January 13, 2017
120-Day Review Date:	March 14, 2017

**BACKGROUND**

Century Farm North is a residential Planned Unit Development (PUD) in northwest Lino Lakes and was approved in 2003. It includes a mix of housing styles including typical single family lots, single family airpark lots with hangars, single family detached townhomes (individual house lots located within a commonly owned yard lot) and attached townhomes.

The proposed Century Farm North 7<sup>th</sup> Addition is the final plat of the development. The project consists of 12 townhomes (2 buildings with 6 units each) and is consistent with the approved original 2003 PUD. The 1.2 acre parcel is legally described as Outlot C, Century Farm North 6<sup>th</sup> Addition and is located at the intersection of Morgan Lane and Robinson Drive.

The current Land Use Application is for consideration of the following:

- Preliminary Plat
- PUD Final Plan/Final Plat

The following staff report is based on the following plan set:

- Civil plans prepared by Erickson Civil dated November 14, 2016 and received by the City on November 14, 2016
- House plans and elevations prepared by Avalon Homes dated 2006 and received by the City on November 14, 2016

## **ANALYSIS**

### **Revisions to PUD Development Stage Plan/Preliminary Plat**

On April 28, 2003, the City Council passed Resolution No. 03-60 approving the PUD Development Stage Plan/Preliminary Plat for the entire development of Century Farm North. The subject site is shown as a townhome development.

On July 28, 2014, the City Council passed Resolution No. 14-43 amending the PUD Development Stage Plan/Preliminary Plat to include a 0.991 acre parcel located at 7880 Sunset Avenue and realign Robinson Drive. The amended preliminary plat shows the subject site (Outlot C, Century Farm North 6<sup>th</sup> Addition) as a vacant parcel. There was some interest by the developer to construct single family homes on the outlot; however, this was not approved. To avoid any confusion between the 2003 preliminary plat and the amended 2014 preliminary plat, staff required a revised preliminary plat be submitted with this application that is consistent with the original 2003 approval.

The proposed Century Farm North 7<sup>th</sup> Addition is consistent with the original approved 2003 PUD Development Stage/Preliminary Plat.

### **Lot Summary**

The Lot Summary reflects changes from the approved original PUD Development Stage Plan/Preliminary Plat, final plats and amendments. The final plat for Century Farm North 7<sup>th</sup> Addition consists of 12 townhome units.

Phase	Single Family Lots		Air Park		Single Family Detached Townhomes		Attached Townhomes		TOTAL	
	Original	Proposed	Original	Proposed	Original	Proposed	Original	Proposed	Original	Proposed
1 <sup>st</sup>	30	26	9	8	16	16	-	-	55	50
2 <sup>nd</sup>	1	-	-	-	22	23	42	42	65	65
3 <sup>rd</sup>	-	-	9	14	9	9	34	34	52	57
4 <sup>th</sup>	-	-	-	-	1	1	38	38	39	39
5 <sup>th</sup>	5	-	-	-	-	5	-	-	5	5
6 <sup>th</sup>	11	29	-	-	10	-	-	-	21	29
7 <sup>th</sup>	-	-	-	-	-	-	12	12	12	12
<b>TOTAL</b>	<b>47</b>	<b>58</b>	<b>18</b>	<b>22</b>	<b>58</b>	<b>54</b>	<b>126</b>	<b>126</b>	<b>249</b>	<b>257</b>
Difference		+8		+4		-4		0		+8

### Density Calculations

	<b>Acres</b>
<b>Gross Property Area</b>	<b>95.63</b>
Wetland	12.72
Arterial (CR 53) ROW	1.28
Park Dedication	13.32
<b>Net Property Area</b>	<b>68.31</b>
# Units	257
<b>Density</b>	<b>3.76 units/acre</b>

The density calculations are based on the entire amended preliminary plat for Century Farm North. At the time the original PUD was approved in 2003, the City's Comprehensive Plan for medium density residential development allowed for 3 to 6 dwelling units per acre and the original density was 2.93 units per acre. Although the current Comprehensive Plan for medium density requires 4.0 to 5.9 dwelling units per acre, the developer has the right to develop at a density consistent with the original PUD.



The proposed Century Farm North 7<sup>th</sup> Addition does not increase or decrease the density of the development.

## **PUD Final Plan/Final Plat**

### **Subdivision Ordinance**

#### *Conformity with the Comprehensive Plan and Zoning Code*

The PUD Final Plan/Final Plat has been reviewed for compliance with the comprehensive plan, zoning and subdivision ordinance. The proposed development is not considered premature, is consistent with the PUD Development Stage Plan/Preliminary Plat and meets the performance standards of the subdivision and zoning ordinance as discussed below.

#### *Blocks and Lots*

The final plat creates 12 lots and 1 outlot. Outlot A is the common area of the townhome development. External lot widths are 29 feet wide. Internal lot widths are 24 feet. Lot depth is 88 feet. The front elevation/garage setback is 20 feet from the property line. The rear elevation setback varies from 31.51 to 47.29 feet.

#### *Easements*

A drainage and utility easement is dedicated over all of Outlot A. An existing drainage and utility easement bisects the northwest corner of the site.

#### *Stormwater Management*

Stormwater is being directed into the existing stormwater ponds to the south and west of the development. The applicant shall verify with RCWD that the stormwater pond for the proposed development is covered under the existing system's permit.

#### *Street and Utilities*

The applicant will install public 8" water main and 8" sanitary sewer along Morgan Lane. The two water and sewer services stubbed in from Robinson Drive shall be removed. Morgan Lane will be extended and connected to Robinson Drive. Morgan Lane is a private road maintained by the homeowner's association. It is 24 feet back to back with bituminous surface. Concrete sidewalk 5 feet in width extends throughout the development.

### *Public Land Dedication and Fees*

The original Century Farm North fulfilled the public land dedication requirements for the entire development through parkland dedication and trail construction. No addition park dedication fees are required.

### **Zoning**

Century Farm North 7<sup>th</sup> Addition is zoned PUD, Planned Unit Development as approved by the City Council with Ordinance No. 12-03. The proposed townhome development is compliant with the PUD ordinance.

### ***Townhome Building Design Standards***

The submitted townhome elevations are for the “Lamberton” model. Each 1,681 square foot unit is two-stories with a double garage and concrete patio. These models are constructed throughout the development and most recently on the lots immediately to the east and south of Century Farm North 7<sup>th</sup> Addition (7873-7893 Gotland Lane and 122-128 Morgan Lane). The applicant, Lino Lakes Townhomes, LLC, is also the same developer and Nottingham Construction, LLC is the same builder.

Resolution No. 03-60 approved the original Development Stage Plan/Preliminary Plat. Condition #4 of the resolution stated:

*4. The submitted townhome housing types and building elevations be modified to specify finish materials and be subject to City approval. Side walls facing public streets shall include windows or other architectural features to avoid the appearance of a blank wall.*

The proposed townhome side elevations facing public streets include windows and shakes and are therefore compliant with this requirement.

In addition, the townhomes shall comply with the following City’s zoning ordinance Section 1007.043(2)(b)2:

(d) *Exterior Building Finish: The exterior of townhome dwelling units shall include a variation in building materials which are to be distributed throughout the building facades and coordinated into the architectural design of the structure to create an architecturally balanced appearance. In addition, townhome dwelling structures shall comply with the following requirements:*

i. *A minimum of twenty-five (25) percent of the combined area of all building facades of a structure shall have an exterior finish of brick, stucco and/or natural or artificial stone.*

ii. *Except for brick, stucco, and/or natural or artificial stone, no single building facade shall have more than seventy-five (75) percent of one type of exterior finish.*

iii. *For the purpose of this section, the area of the building facade shall not include area devoted to windows, entrance doors, garage doors, or roof areas.*

Comments:

1. The proposed elevations include a combination of horizontal vinyl siding, vertical vinyl siding, vinyl shake siding and frieze board.
2. The building facades shown on the submitted hard copies do not meet the 25% exterior finish requirement and the plans shall be revised.
3. The architectural plans shall include the % of exterior materials for each elevation.
4. A color and material palette shall be provided.
5. The homeowner's association documents shall be amended to include this plat.

### **Landscaping Plan**

According to the Century Farm North Master Landscape Plan dated January 20, 2003, 47 understory trees, 29 overstory trees and 8 boulevard trees are required. This includes landscape requirements for both Century Farm 7<sup>th</sup> Addition and Century Farm North 4<sup>th</sup> Addition. The applicant, Lino Lakes Townhomes, LLC, is constructing the townhomes on both the 4<sup>th</sup> and 7<sup>th</sup> Addition.

Comments:

1. Sheet L1, Landscape Plan is not consistent with the approved Master Landscape Plan and shall be revised.
2. Add a note on the Landscape Plan that open area (Outlot A) shall be sodded.
3. An irrigation plan shall be submitted.

### **Comprehensive Plan**

The PUD Final Plan/Final Plat is in compliance with the Comprehensive Plan in terms of the Resource Management System, Land Use Plan, Housing Plan, and Transportation Plan.

### **Development Agreement**

A Development Agreement shall be drafted by the City, executed by the City and the developer and recorded by the developer.

### **Maintenance Agreement-Stormwater Management Facilities**

The applicant shall confirm with RCWD if a Maintenance Agreement is required.

## **RECOMMENDATION**

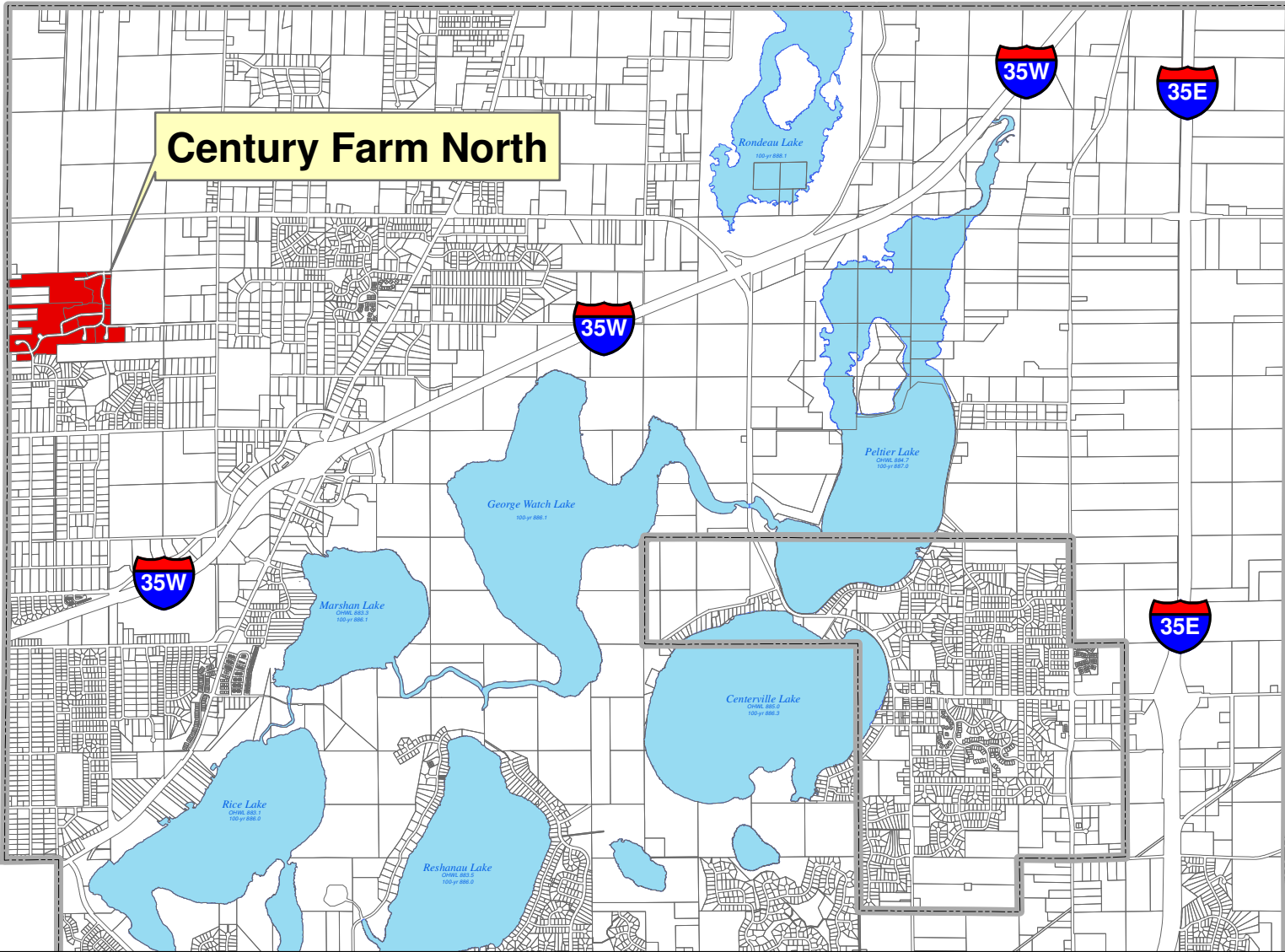
Staff recommends approval of the Preliminary Plat and PUD Final Plan/Final Plat for Century Farm North 7<sup>th</sup> Addition with the following conditions:

4. All comments from the City Engineer letter dated December 8, 2016 shall be addressed.
5. All comments from the Environmental Coordinator letter dated December 7, 2016 shall be addressed.
6. An executed Development Agreement is required.
7. A Rice Creek Watershed District permit is required.
8. All plan sheets shall be revised to Century Farm North 7<sup>th</sup> Addition (not Farms).
9. A separate plan sheet titled Preliminary Plat shall be submitted in accordance with requirements listed on the Preliminary Plat Application Checklist.
10. Townhome Elevations:
  - a. The building facades do not meet the 25% exterior finish requirement and the plans shall be revised.
  - b. The architectural plans shall include the % of exterior materials for each elevation.
  - c. A color and material palette shall be provided.
  - d. A PDF of the elevations shall be provided.
11. The homeowner's association documents shall be amended to include this plat.
12. Title Commitment and Final Plat:
  - a. The title commitment shall be updated to show Lino Lakes Townhomes, LLC as the owner of the property to match the final plat.
13. Sheet C4, Site Layout Plan:
  - a. The plan shall be revised to show sidewalk extending from Units 1-6, Block 2 to the sidewalk to the east.
  - b. Sidewalk shall also be extended from the townhome units on Gotland Lane to the sidewalk.
14. Sheet C7, Street Plan & Profile:
  - a. The plan sheet shall be renamed Sanitary Sewer & Watermain Plan.
15. Sheet L1, Landscape Plan:
  - a. Sheet L1, Landscape Plan is not consistent with the approved Master Landscape Plan and shall be revised.
  - b. Add a note on the Landscape Plan that open area (Outlot A) shall be sodded.
  - c. An irrigation plan shall be submitted.

## **ATTACHMENTS**

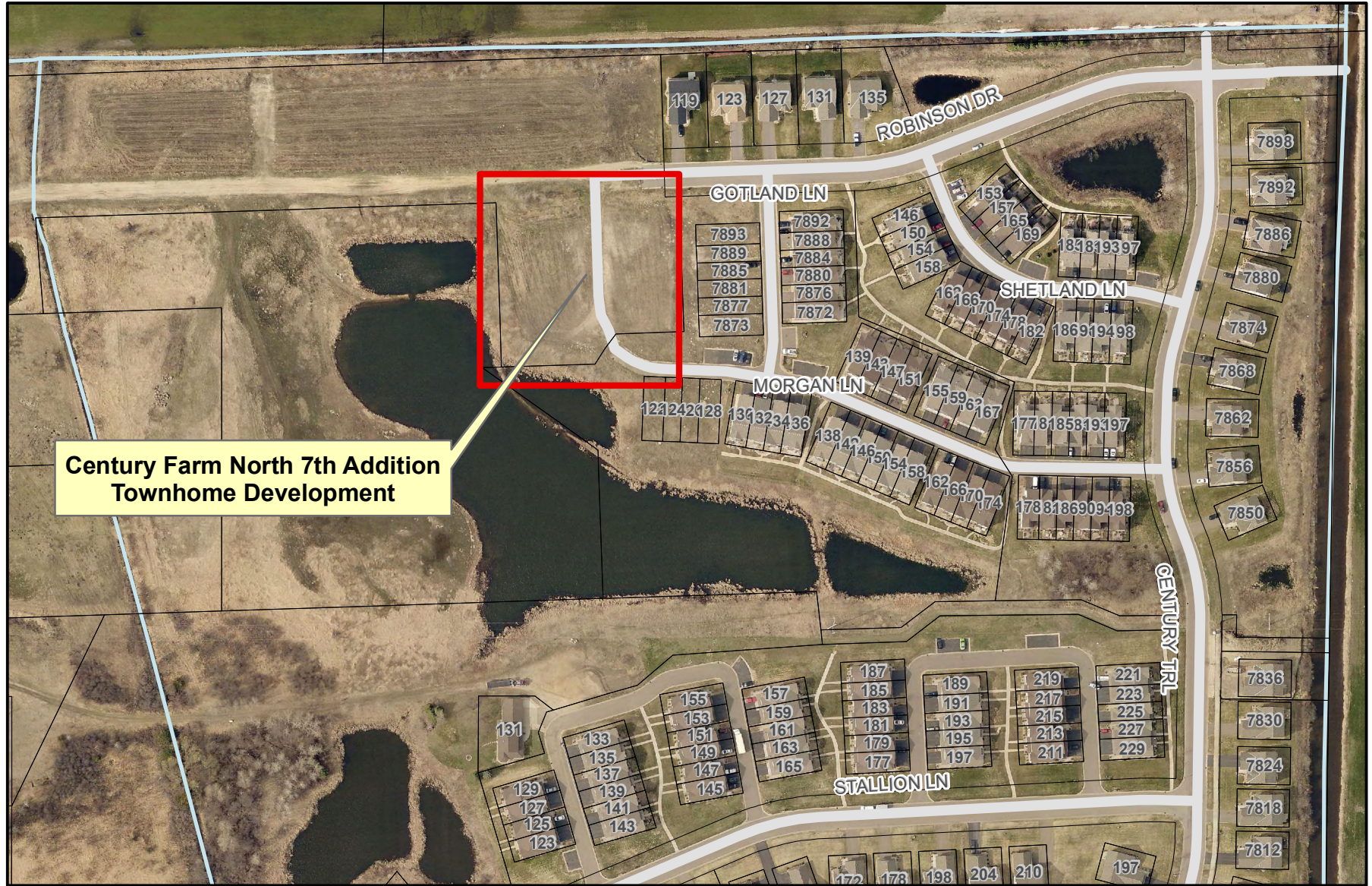
1. Site Location Map
2. Aerial Map
3. City Engineer letter dated December 8, 2016
4. Environmental Coordinator letter dated December 7, 2016

5. Civil plans prepared by Erickson Civil dated November 14, 2016 and received by the City on November 14, 2016
6. Color Photos of Townhome Elevations
7. Original 2003 Century Farm North Preliminary Plat
8. Amended 2014 Century Farm North Preliminary Plat
9. Final plat-Century Farm North 7<sup>th</sup> Addition



# Site Location Map





Century Farm North 7th Addition  
Townhome Development



# Aerial Map





*Memorandum*

**To:** *Katie Larsen, City Planner*

**From:** *Diane Hankee PE, City Engineer*

**Date:** *December 8, 2016*

**Re:** *Century Farms North 7<sup>th</sup> Addition  
Plan Review  
WSB Project No. 2988-200*

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We have reviewed the Construction Plans dated November 14, 2016 for Century Farms North 7<sup>th</sup> Addition in Lino Lakes, MN prepared by Erickson Civil, Inc. The following are our review comments that should be responded to in writing by the applicant.

The plans and specification shall reference the City's 2016 General Specifications and Standard Detail Plates for Street and Utility Construction, the 2013 CEAM, and the 2016 MnDOT Standard Specifications.

**GRADING, EROSION AND SEDIMENT CONTROL**

1. The applicant shall verify that the SWPPP was developed by a certified professional and include the certification cards.
2. The applicant shall label the receiving waters and denote the project discharge point(s).
3. The applicant shall label required buffer distances from surface waters/wetlands. If buffer distance cannot be maintained, call out that with a note on the plan sheet and provide redundant perimeter control BMPs. Area to the SW of the project.
4. The applicant shall label stormwater direction of flow arrows pre-construction.
5. The applicant shall list the soil types associated within the project boundary.
6. Show locations for temporary/permanent erosion control measures and the estimated quantities for all BMPs. Describe the temporary cover measures if permanent can not be installed within 7 days. Locations of temporary and permanent measures needed. List the seed mix that will be installed with the blanket/mulch measures and list the estimated quantities.



7. Show locations for stockpiles and BMP measures for stockpile management.
8. Denote the inspection process/schedule for SWPPP activities as well as the person(s) to ensure the inspections and maintenance activities are being performed.
9. The contour lines shall be extended 100 feet beyond the plat. This is specifically needed to review the sidewalk grades.
10. The existing drainage and utility easements shall be shown and labeled on the grading plans.
11. The sidewalk grade at the south east corner (near the existing catch basin) is 10% and shall be reduced.
12. The stormwater ponds need to be labeled with NWL, HWL, and pond bottom elevations.
13. The applicant needs to label the EOF locations for the ponds/wetlands.
14. The applicant needs to include the standard detail plates for Lino Lakes.
15. Note 4 "Grading and Erosion Control" can be removed.

### **STORMWATER MANAGEMENT**

1. The applicant shall verify with RCWD that the stormwater from the proposed development is covered under the existing system's permit.

### **FLOODPLAIN**

1. No comments.

### **WETLANDS**

1. No comments.

### **ENVIRONMENTAL**

1. No comments.

### **TRANSPORTATION**

1. At the match point with Robinson Drive, the curb and gutter and roadway removals shall be shown on the plans. This should also include the area where the sewer and water services are being removed.
2. The low point in the roadway at st 0+17 shall have storm sewer or be eliminated.

3. The proposed sidewalk shall be 8 to 10 feet from the existing storm sewer.
4. The ADA ramps shall be constructed per MnDOT standard plates.

### **WATER SYSTEM**

1. The existing water services off Robinson Drive shall be removed.

### **SANITARY SEWER SYSTEM**

1. The existing sanitary sewer services off Robinson Drive shall be removed and capped at the watermain.

### **STORM SEWER SYSTEM**

1. The existing storm sewer in the southeast corner shall be extended approximately 100 feet north to an open grate catch basin. The grade is very flat and this will help prevent standing water.

### **DEVELOPMENT AGREEMENT**

1. A Development Agreement is required.

### **PERMITS**

1. NPDES Construction General Permit
2. Rice Creek Watershed Permit - verify
3. MN Department of Health – Watermain Permit
4. MPCA – Sanitary Sewer Extension Permit

If you or the applicant has any questions regarding these comments, please contact Diane Hankee at (651) 982-2430 or [diane.hankee@ci.lino-lakes.mn.us](mailto:diane.hankee@ci.lino-lakes.mn.us).



## Memo

To: Katie Larsen  
From: Marty Asleson  
Date: December 7<sup>th</sup>, 2016  
Re: Century Farms North 7<sup>th</sup> Addition

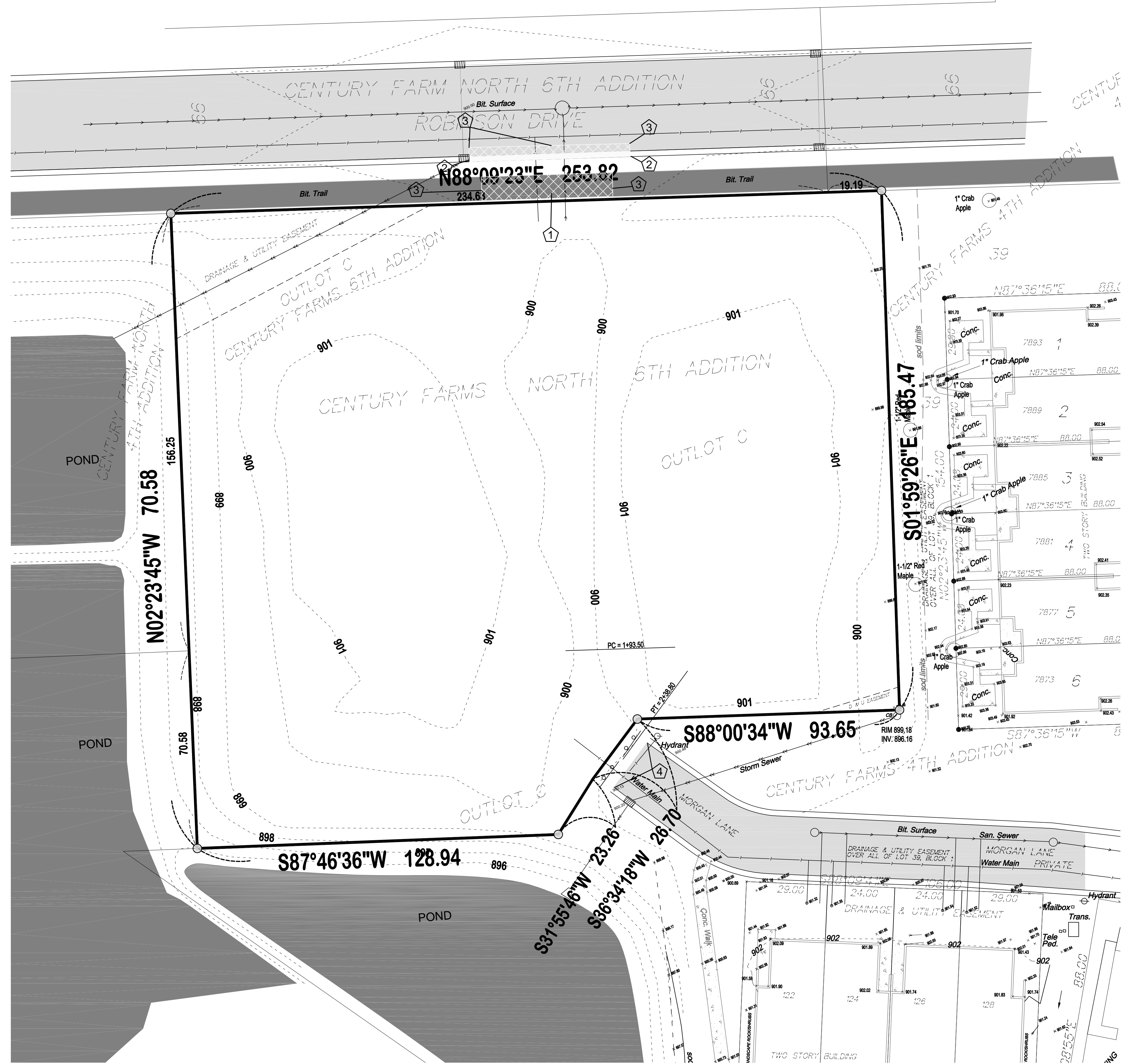
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The following recommendations and comments concerning Century Farms 7<sup>th</sup> Addition are from the Environmental Board meeting November 30, 2016:

- In the plant landscape pallet, something else should be used in place of the Showy Mountain Ash because of disease concern
- Irrigation must be required with sodded areas.
- A construction stormwater permit is required for this project. I have contacted Mr. Udhe to find out the status of this permit for Century Farms 7<sup>th</sup> Addition. Status must be documented before construction. The name, phone number, and certification of the SWPPP responsible person must be received by the city before construction begins. A weekly and post-rainfall inspection report must be received by email or other method or work will be stopped. A follow-up correction to all discrepancies must also be sent to the City on a weekly basis. Failure to recognize discrepancies and make corrections will result in a stop work order for reevaluation of knowledge and tasks needed for NPDES compliance.
- Perimeter control and rock entrance must be installed prior to any work being done.
- The location of the SWPPP must be onsite.
- There should be some foundation plantings. These must be reviewed by Environmental before approval
- Ensure by our existing ordinance that moisture sensors are used with outdoor irrigation systems.



FLOT  
RY FARM NO. 4  
4TH ADDITION



GRAPHIC SCALE

**Legend**

- PROPERTY BOUNDARY
- EXISTING 2-FT CONTOUR
- EXISTING BIT. SURFACE
- EXISTING CURB REMOVAL

**Keyed Notes**

- REMOVE EXISTING BIT. SURFACE
- REMOVE EXISTING CURB TO NEAREST JOINT
- SAW CUT BIT. PRIOR TO REMOVAL
- SAW CUT BIT. PRIOR TO PAVING NEW ROADWAY

**Notes**

1) PRIOR TO ANY ACTIVITY ON THE SITE, PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCE SHALL BE INSTALLED PER THE EROSION PLAN.

DRAWING PHASE:	OWNER REVIEW
	✓ AGENCY REVIEW
	BID DOCUMENT
	FOR CONSTRUCTION
	AS-BUILT DOCUMENT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
  
TODD A. ERICKSON, PE  
40418  
LICENSE NO.  
11/14/2016  
DATE:

OWNER/DEVELOPER  
**NOTTINGHAM CONSTRUCTION**  
6750 Stillwater Blvd.  
Stillwater, Minnesota 55082

PROJECT TITLE  
**CENTURY FARMS NORTH 7TH PUD / PRELIMINARY LINO LAKES, MINNESOTA**

NO.	REVISION DESCRIPTION	DATE

JOB NO. 16-129

SHEET TITLE  
EXISTING CONDITIONS

SHEET NO.  
**C3**  
SHEET 3 OF 9

DRAWING PHASE:	
<input type="checkbox"/>	OWNER REVIEW
<input checked="" type="checkbox"/>	AGENCY REVIEW
<input type="checkbox"/>	BID DOCUMENT
<input type="checkbox"/>	FOR CONSTRUCTION
<input type="checkbox"/>	AS-BUILT DOCUMENT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Todd A. Erickson*  
TODD A. ERICKSON, PE

40418

LICENSE NO.

11/14/2016

DATE:

OWNER/DEVELOPER  
**NOTTINGHAM CONSTRUCTION**  
6750 Stillwater Blvd.  
Stillwater, Minnesota 55082

PROJECT TITLE  
**CENTURY FARMS NORTH 7TH PUD / PRELIMINARY LINO LAKES, MINNESOTA**

NO.	REVISION DESCRIPTION	DATE

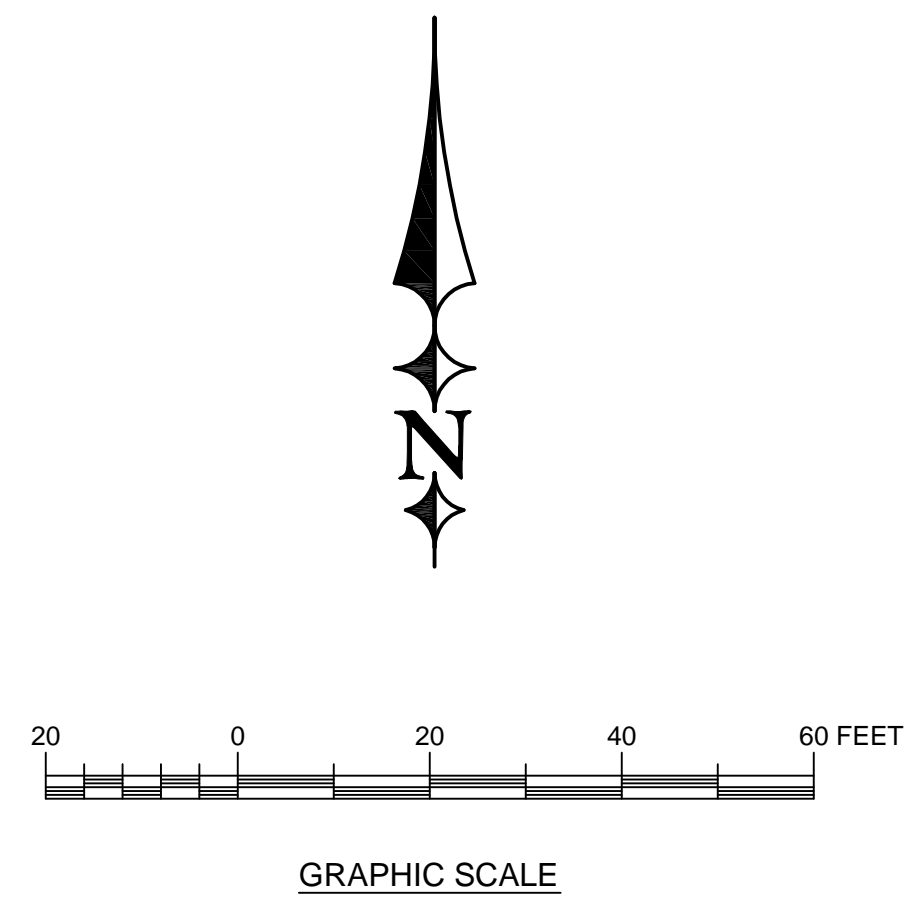
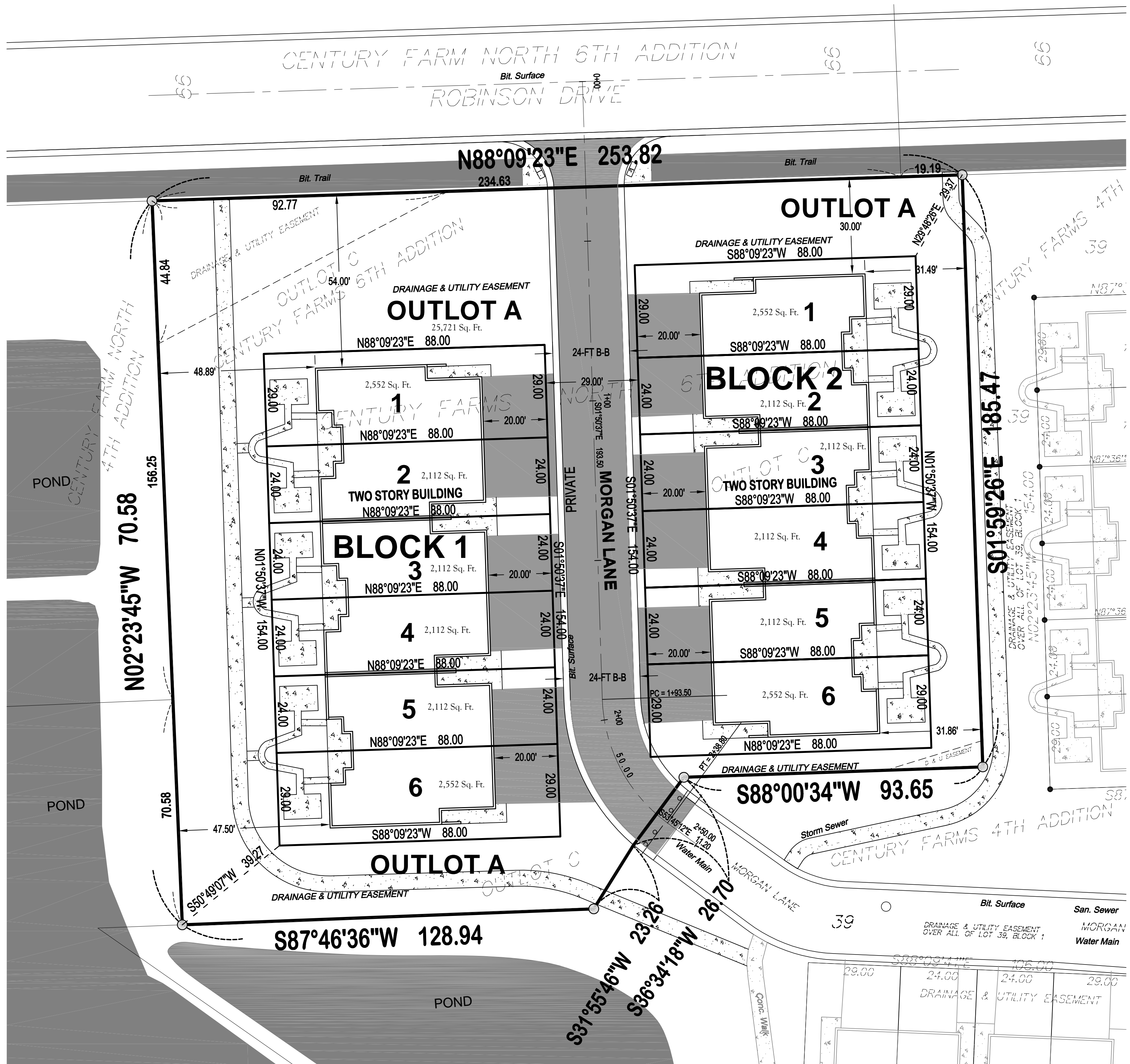
JOB NO. 16-129

SHEET TITLE  
**SITE LAYOUT PLAN**

SHEET NO.

**C4**

SHEET 4 OF 9

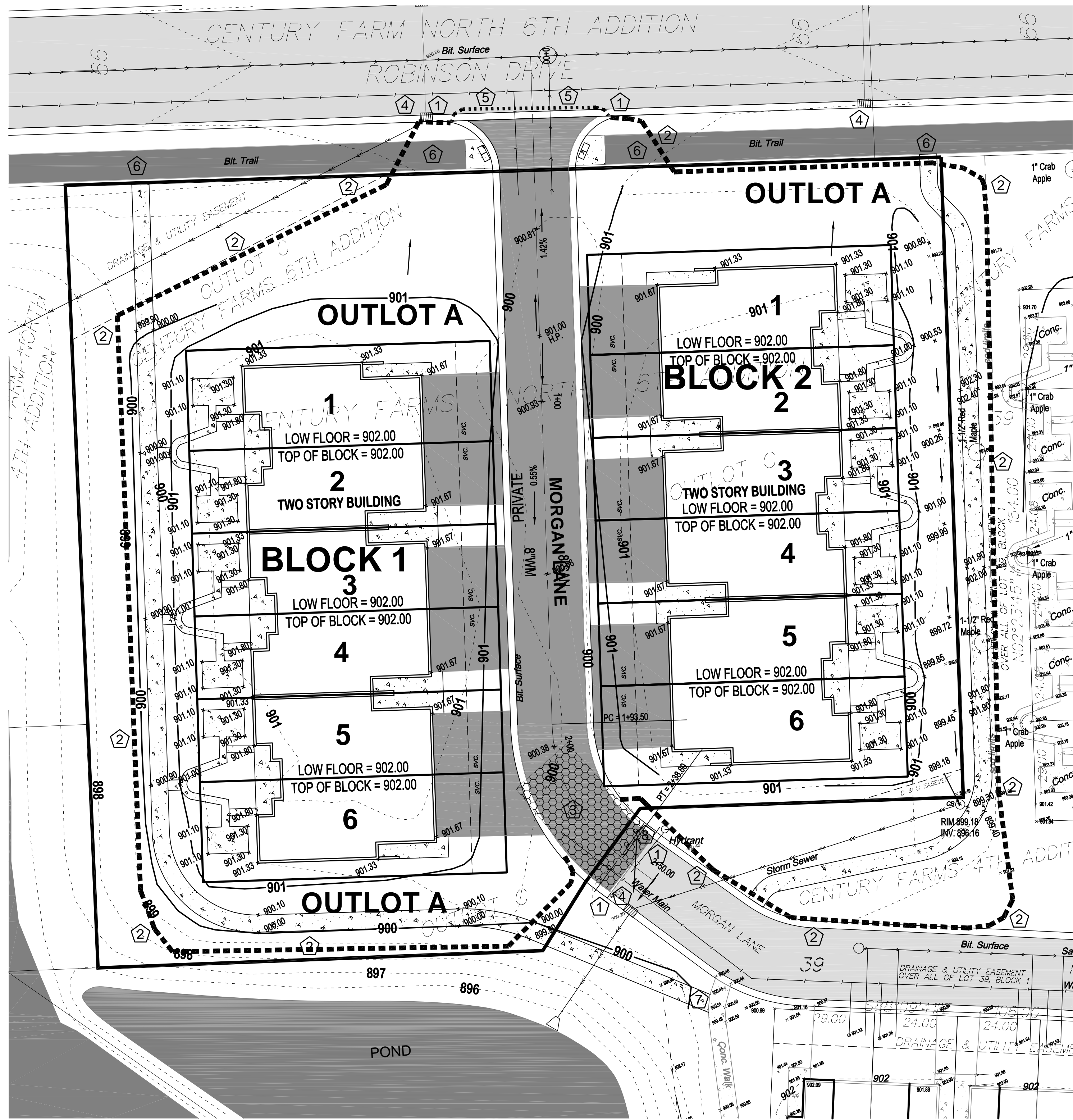


**Legend**

— PROPERTY BOUNDARY

**Notes**

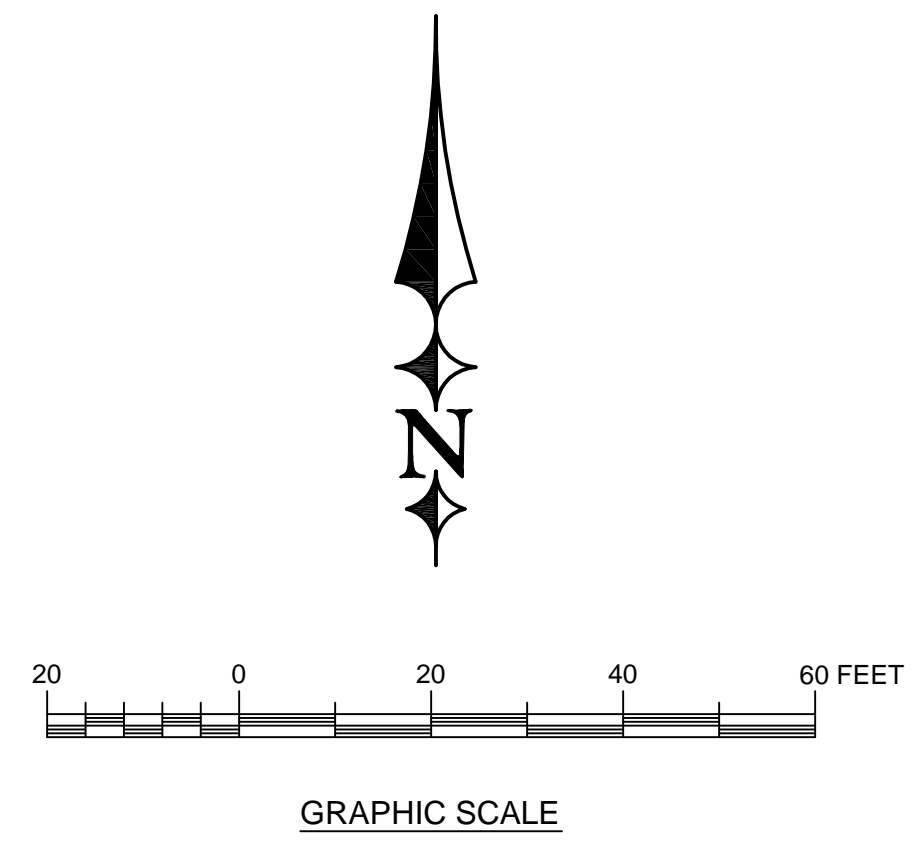
TOTAL PROPERTY AREA = 62,825 Sq. Ft.



DRAWING PHASE:
OWNER REVIEW
✓ AGENCY REVIEW
BID DOCUMENT
FOR CONSTRUCTION
AS-BUILT DOCUMENT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Todd A. Erickson*  
 TODD A. ERICKSON, PE  
 40418  
 LICENSE NO.  
 11/14/2016  
 DATE:



**LEGEND**

- PROPERTY BOUNDARY
- 902 --- EXISTING 1-FT CONTOUR INTERVAL
- 901 --- PROPOSED 1-FT CONTOUR INTERVAL
- - - - - HEAVY DUTY SILT FENCE
- ..... INSTALL DITCH CHECK (MNDOT SPEC. 9" BIO LOG)
- [Pattern] ROCK CONSTRUCTION ENTRANCE

**Keyed Notes**

- ① MATCH TO EXISTING CURB ELEVATIONS
- ② INSTALL HEAVY DUTY SILT FENCING
- ③ INSTALL ROCK CONSTRUCTION ENTRANCE
- ④ INSTALL INLET PROTECTION (INFRA SAFE OR EQUAL)
- ⑤ INSTALL MNDOT SPEC. 3897 8" FILTER LOG, TYPE COMPOST, STAKING NOT REQUIRED.
- ⑥ MATCH EXISTING PATH ELEVATIONS
- ⑦ MATCH EXISTING SIDEWALK ELEVATION
- ⑧ CURB TIPS OUT AND FLOW IS TO EXISTING CB.

**GRADING AND EROSION CONTROL NOTES:**

- 1) SPOT ELEVATIONS ARE ALL GUTTER LINE OR FINISHED ELEVATION UNLESS NOTED OTHERWISE.
- 2) ELEVATIONS/CONTOURS SHOWN AS FINISHED GRADE ELEVATIONS.
- 3) REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
- 4) WASHINGTON COUNTY PERMIT REQUIRED FOR GRADING AND ACCESS TO COUNTY RIGHT OF WAY.
- 5) DO NOT SPREAD TOPSOIL WHILE IT IS FROZEN OR MUDDY OR WHEN THE SUBGRADE IS WET OR FROZEN. CORRECT ANY IRREGULARITIES IN THE SURFACE THAT RESULT FROM TOPSOIL SPREADING OR OTHER OPERATIONS TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. BERMING OR DOUBLE LAYERING OF BIO LOG MAY BE REQUIRED TO CONTAIN RUNOFF IF SILT FENCING CANNOT BE INSTALLED PROPERLY DURING FROZEN CONDITIONS.
- 6) CONTRACTOR SHALL SCHEDULE SOILS TESTING FOR EACH STRUCTURAL FILL AREA, PAD AND STREET AREA.
- 7) PRIOR TO ROUGH GRADING, INSTALL FIBER ROLLS AND SILT FENCE IN LOCATIONS SHOWN OR AS DIRECTED BY THE ENGINEER OR CITY STAFF.
- 8) AS EACH AREA OUTSIDE OF THE STREET IS GRADED, PROVIDE 6" OF NATIVE TOPSOIL, SEED AND MULCH ANCHORED WITH A STRAIGHT DISC WITHIN 48 HOURS OF FINE GRADING.
- 9) SLOPES 3:1 AND GREATER SHALL BE STABILIZED WITH FIBER BLANKET
- 10) MAINTAIN AND REPAIR FIBER ROLL AND SILT FENCE (INCLUDING REMOVAL OF ACCUMULATED SILT WITHIN 24 HOURS UPON DETECTION OR NOTIFICATION) UNTIL VEGETATION IS 70% ESTABLISHED.
- 11) CONTRACTOR TO INSPECT AND DOCUMENT EROSION CONTROL A MINIMUM OF ONCE EVERY SEVEN DAYS AND WITHIN 24 HOURS OF ANY RAIN EVENT GREATER THAN 1/2 INCH IN 24 HOURS AND WITHIN SEVEN DAYS AFTER THAT EVENT.
- 12) FIBER ROLL AND SILT FENCE FOUND DAMAGED MUST BE REPAIRED OR REPLACED WITHIN 24 HOURS UPON DISCOVERY. REMOVAL OF FIBER ROLL AND SILT FENCE REQUIRED AFTER SITE IS STABILIZED (AT DIRECTION OF ENGINEER).
- 13) ALL PUBLIC STREETS SHALL BE KEPT FREE OF SEDIMENT AND DEBRIS. ANY SEDIMENT OR DEBRIS DETECTED MUST BE REMOVED WITHIN 24 HOURS OR AS DIRECTED BY CITY.
- 14) ALL EXPOSED SOIL SHALL BE STABILIZED AS SOON AS POSSIBLE, BUT NO LATER THAN 14 DAYS AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED.
- 15) ALL PROPOSED AND EXISTING CATCH BASINS WITHIN PROJECT AREA SHALL BE PROVIDED INLET PROTECTION. REGULAR CLEANING OF PROTECTION SHALL OCCUR AND SHALL BE INCLUDED IN THE UNIT PRICE OF INLET PROTECTION.
- 16) ANY DEBRIS FOUND OR UNEARTHED ON THE SITE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR DISPOSAL AND PAID FOR AT THE UNIT PRICE PER CU. YD. OF DEBRIS REMOVAL.
- 17) ON-SITE BURY OF TREES SHALL BE STRICTLY PROHIBITED. TREES MAY BE BURNED WITH PROPER PERMITTING AND APPROVAL FROM CITY.
- 18) ALL PIPE OUTFALLS SHALL BE PROTECTED WITH RIPRAP PER CITY DETAIL.
- 19) ALL AREAS OUTSIDE OF STREET AND SIDEWALK SHALL BE UNCOMPACTED TO A DEPTH OF 18" PRIOR TO SEEDING.
- 20) ALL CITY STANDARD NOTES SHALL BE FOLLOWED.

TOPSOIL: 4" MINIMUM DEPTH

**ENGINEERED/STRUCTURAL FILL REQUIREMENTS**

- 1) CONTRACTOR SHALL REMOVE TOPSOIL AND ANY ORGANIC MATERIAL AS DIRECTED BY ENGINEER IN ALL AREAS OF ENGINEERED/STRUCTURAL FILL.
- 2) ANY ENGINEERED/STRUCTURAL FILL MATERIAL SHALL BE COMPACTED IN 8-INCH LIFTS TO A DENSITY OF 98% STANDARD PROCTOR DENSITY.
- 3) GRANULAR BACKFILL SHALL BE COMPLETELY FREE OF ORGANIC MATERIAL & MAY NOT CONTAIN ANY ROCKS LARGER THAN 3" IN DIAMETER.
- 4) GRADES SHALL NOT VARY MORE THAN 0.1' FROM GRADING ELEVATIONS SHOWN ON PLANS.
- 5) TESTING OF PAD AREA SHALL BE COORDINATED BY CONTRACTOR AND TESTING RESULTS SHALL BE DELIVERED TO ENGINEER AND OWNER. COST OF TESTING IS BY OWNER.
- 6) TESTING OF ENGINEERED/STRUCTURAL FILL IN ROAD AREAS SHALL BE COORDINATED BY CONTRACTOR AND TESTING RESULTS SHALL BE DELIVERED TO OWNER, ENGINEER AND CITY.
- 7) ANY FAILED COMPACTION SHALL BE REMOVED AND RECOMPACTED AT NO ADDITIONAL EXPENSE TO THE OWNER, EXCEPT FOR TESTING.

**Hydroseeding Specifications**

All seeding shall be placed utilizing MnDOT Spec. 2575.3 for Hydroseeding.

Use a hydro-seeder capable of continuous agitation action to uniformly distribute the seed over the area. Add a 50 lb 3884.2.C, --Type Hydraulic Mulch, as a tracer for each 500 gal of water in the hydro-seeder tank. Use flood type nozzles and Manufacturer's recommended water volume. Once the seed has been added to the tank mixture a one hour time limit is set for spreading the mixture on the soil. Once the one hour is passed the excess mixture must be discarded. Perform hydro-seeding separate from placing Hydraulic Erosion Control Products (hydro-mulching).

Apply hydraulic mulch and tackifier with hydraulic spray equipment in a water-slurry mixture. The dry material targeted application rate is 2500 lb per acre. Use the water to bale ratio as recommended by the manufacturer. Increase the application rate and percent tackifier to roughened soils for complete coverage. The Engineer may inspect the tank loading and spray application, to verify that the applied materials meet the manufacturer recommendations and the soil is 100 percent covered.

**SWPPP SEQUENCING**

- 1) OBTAIN MPCA PERMIT MINIMUM 7 DAYS PRIOR TO STARTING TREE CLEARING ACTIVITIES.
- 2) INSTALL ROCK CONSTRUCTION ENTRANCE AS SHOWN IN DETAILS.
- 3) INSTALL SILT FENCING AS SHOWN ON PLAN
- 4) INSTALL BIO LOG AS SHOWN ON PLAN
- 5) INSTALL INFRA SAFE CATCH BASIN INLET PROTECTION.
- 6) INSTALL SWPPP MAILBOX WITH A COPY OF THE PLANS, SWPPP AND EROSION CONTROL LOGS.
- 7) NOTIFY CITY FOR INSPECTION OF PERIMETER EROSION CONTROL MEASURES PRIOR TO STARTING CONSTRUCTION (3 BUSINESS DAY NOTIFICATION REQUIRED).
- 8) STOCKPILE TOPSOIL AND INSTALL PERIMETER BIO LOG SURROUNDING STOCKPILE IN LOCATION SHOWN
- 9) SEED TOPSOIL STOCKPILE WITH MINIMUM 20 LBS PER ACRE OATS.
- 10) INSTALL MPCA APPROVED CONCRETE CLEANOUT STATION PRIOR TO CONCRETE USE ON SITE.
- 11) CONDUCT GRADING OPERATIONS.
- 12) COMPLETE GRADING AND INSTALL TREES (WHERE FINAL GRADED), TOPSOIL, AND HYDROSEED AREA OF DISTURBANCE.
- 13) INSTALL ROCK BASE FOR ROADWAY, CONCRETE CURB AND GUTTER AND SIDEWALK.
- 14) INSTALL BOULEVARD TREES.
- 15) HYDROSEED OR SEED AND BLANKET DISTURBED AREAS ALONG STREET.
- 16) PAVE TRAIL AND STREET.
- 17) CLEAN OUT AND MAINTAIN ANY SEDIMENT FROM SILT FENCING, BIO LOGS AND INLET PROTECTION.

ANY DEWATERING FROM THE SITE WILL REQUIRE THE WATER BE FILTERED THROUGH A 'DANDY BAG' OR EQUAL.

**NPDES PERMIT INFO:**

TOTAL DISTURBED AREA	= 1.2 ACRES (REQUIRES NPDES PERMIT)
EXISTING IMPERVIOUSNESS	= 0.0 ACRES
NEW IMPERVIOUSNESS	= 0.66

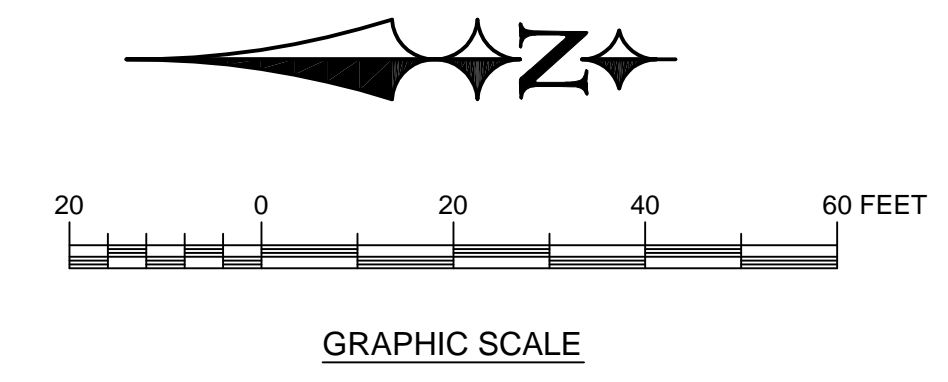
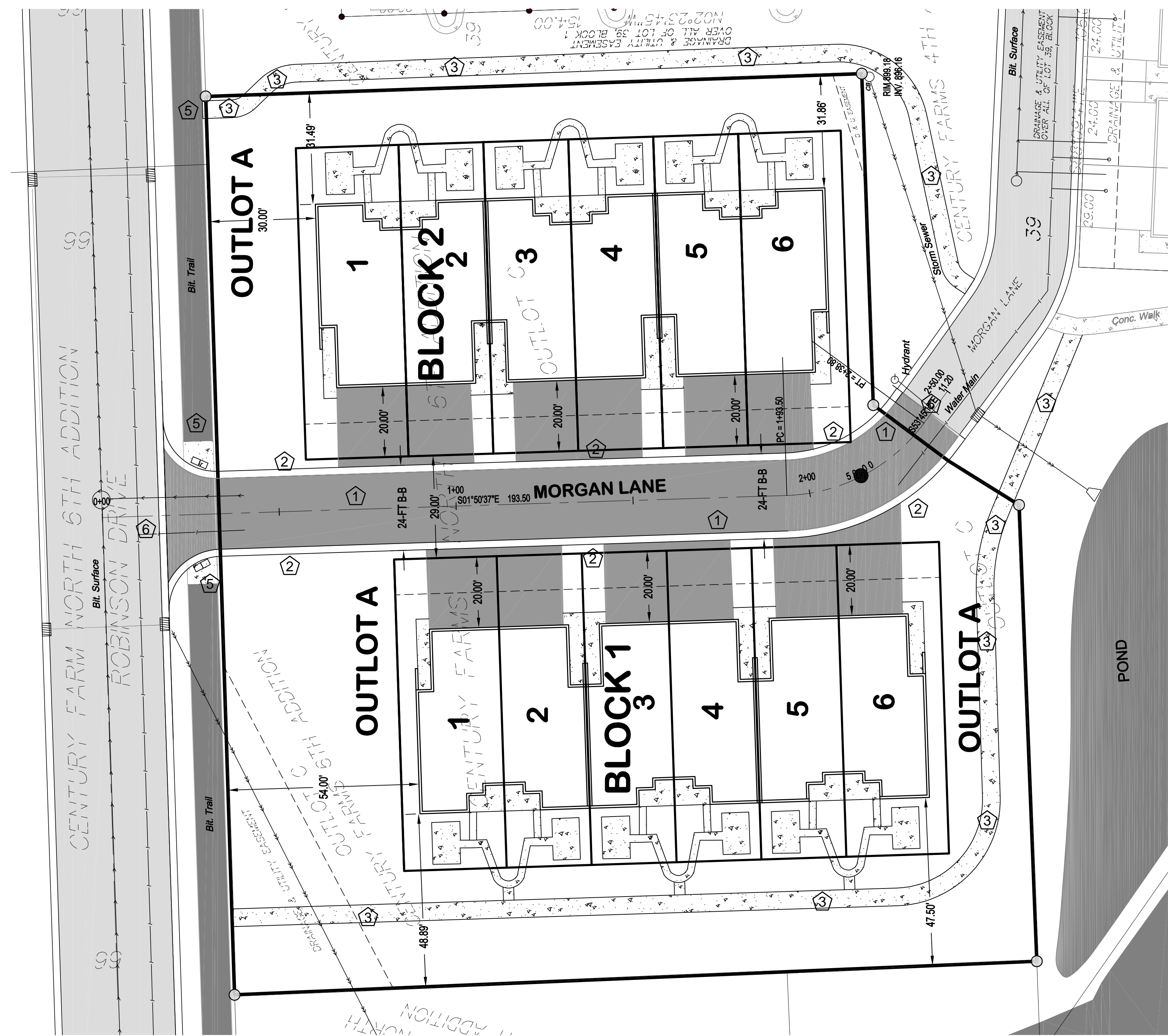
OWNER/DEVELOPER  
**NOTTINGHAM CONSTRUCTION**  
 6750 Stillwater Blvd.  
 Stillwater, Minnesota 55082

PROJECT TITLE  
**CENTURY FARMS NORTH 7TH  
 PUD / PRELIMINARY  
 LINO LAKES, MINNESOTA**

NO.	REVISION DESCRIPTION	DATE

JOB NO. 16-129

SHEET TITLE  
**GRADING &  
 EROSION  
 CONTROL PLAN**



**Legend**

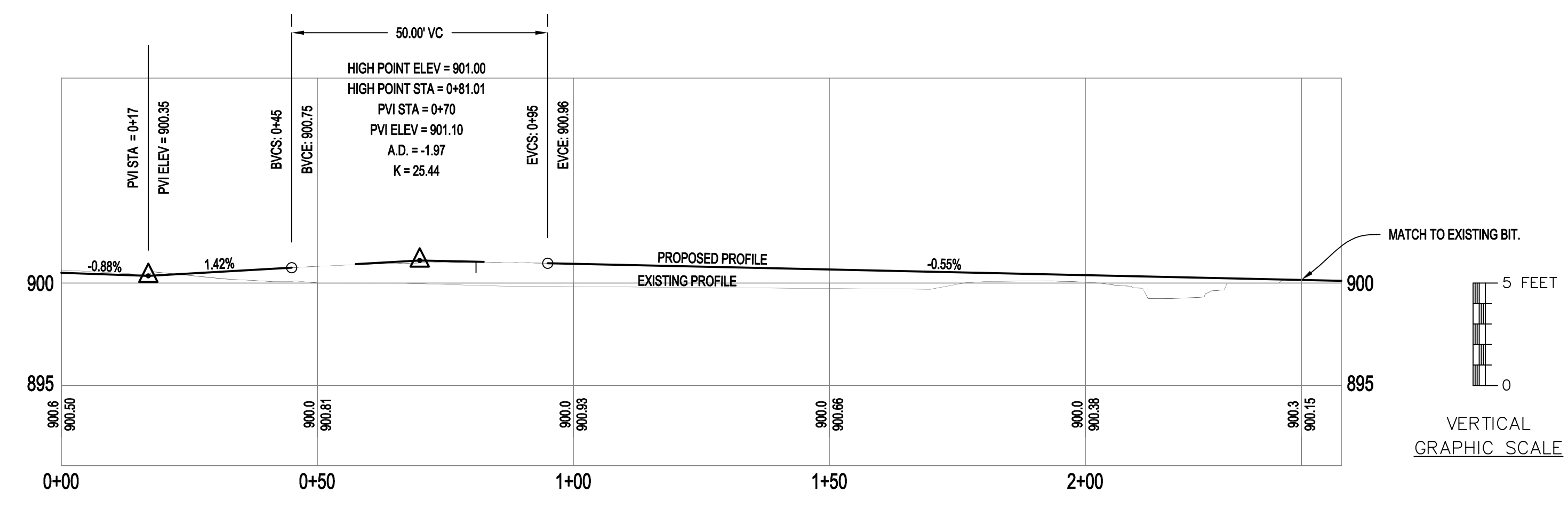
- PROPOSED BITUMINOUS PAVEMENT

**Layout Notes**

- 1) ALL RADII TO BACK OF CURB
- 2) ALL DIMENSIONS TO THE BACK OF CURB UNLESS NOTED OTHERWISE.

**Keyed Notes**

- ① INSTALL BITUMINOUS PAVEMENT PER DETAIL
- ② INSTALL D412 CONCRETE CURB AND GUTTER
- ③ INSTALL 4" THICK 5-FT WIDE CONCRETE SIDEWALK
- ④ INSTALL ADA RAMP ACCESS
- ⑤ REPAIR PATH AS REQUIRED
- ⑥ REPAIR STREET AS REQUIRED



**ERICKSON CIVIL**  
 333 North Main Street, Suite 201  
 Stillwater, Minnesota 55082  
 Phone (612) 309-3804  
 www.ericksoncivilsite.com

DRAWING PHASE:
OWNER REVIEW
✓ AGENCY REVIEW
BID DOCUMENT
FOR CONSTRUCTION
AS-BUILT DOCUMENT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
 TODD A. ERICKSON, PE  
 LICENSE NO. 40418  
 DATE: 11/14/2016

OWNER/DEVELOPER  
**NOTTINGHAM CONSTRUCTION**  
 6750 Stillwater Blvd.  
 Stillwater, Minnesota 55082

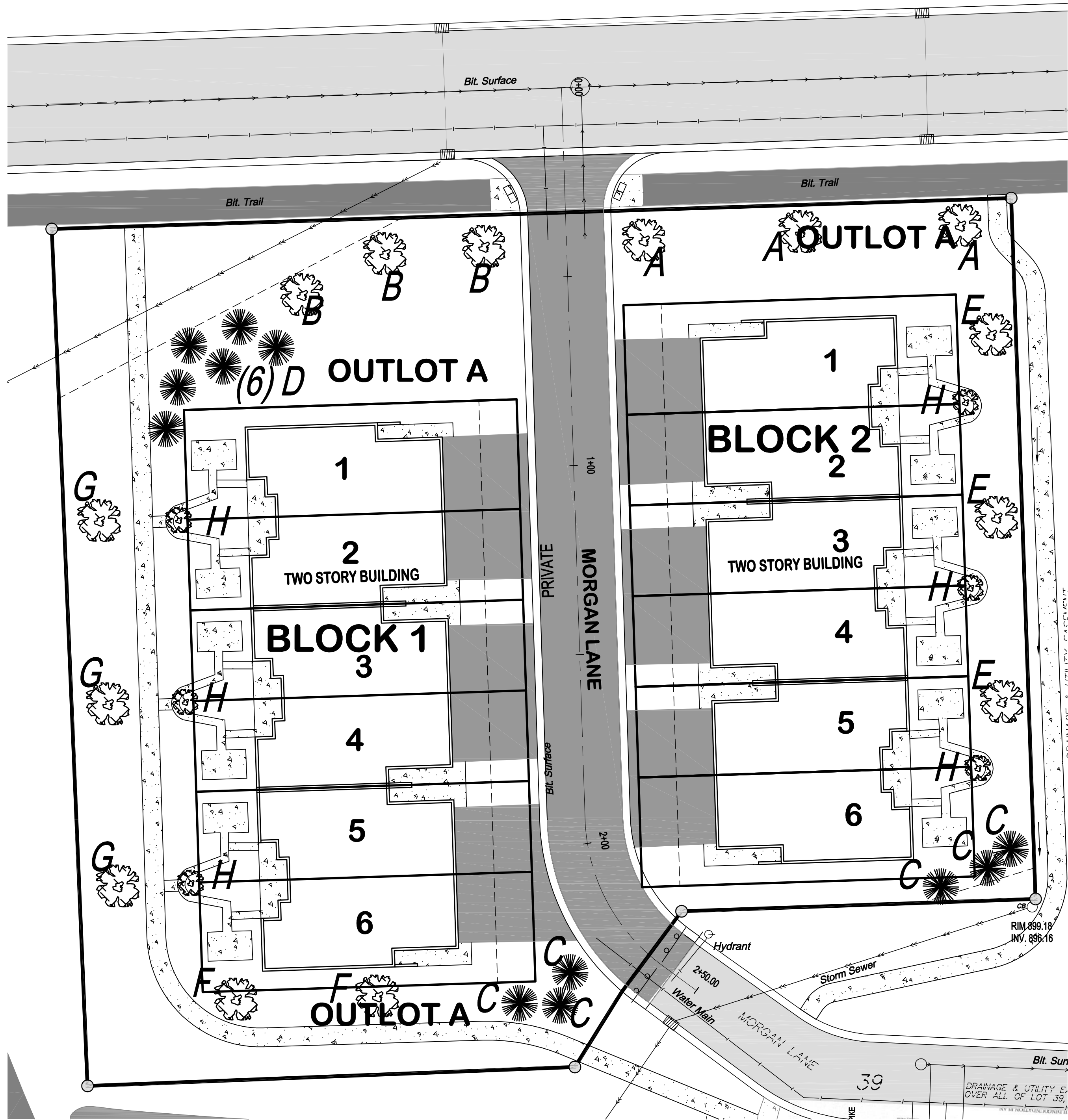
PROJECT TITLE  
**CENTURY FARMS NORTH 7TH PUD / PRELIMINARY LINO LAKES, MINNESOTA**

NO.	REVISION DESCRIPTION	DATE

JOB NO. 16-129  
 SHEET TITLE  
**STREET PLAN & PROFILE**  
 SHEET NO.  
**C6**  
 SHEET 6 OF 9







**TREE PLANTING SCHEDULE**

	Plant Name	Latin Name	Quantity	Size	Type
A	Red Maple	<i>Acer Rubrum</i>	3	1-1/2" DIA.	B&B
B	Northern Pin Oak	<i>Quercus ellipsoidalis</i>	3	1-1/2" DIA.	B&B
C	White Cedar	<i>Thuja occidentalis</i>	6	6-FT	B&B
D	White Spruce	<i>Picea glauca</i>	6	8-FT	B&B
E	Black Walnut	<i>Juglans nigra</i>	3	1-1/2" DIA.	B&B
F	Showy Mountain Ash	<i>Sorbus decora</i>	2	1-1/2" DIA.	B&B
G	River Birch Clump	<i>Betula nigra</i>	2	8-FT CLUMP	B&B
H	Prairie Fire Crab Apple	<i>Malus sp. 'Prairiefire'</i>	6	1-1/2" Dia.	B&B

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 Phone (612) 309-3804  
 www.ericksoncivilsite.com

DRAWING PHASE:

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<input checked="" type="checkbox"/>	AGENCY REVIEW
<input type="checkbox"/>	BID DOCUMENT
<input type="checkbox"/>	FOR CONSTRUCTION
<input type="checkbox"/>	AS-BUILT DOCUMENT

11/14/2016  
 DATE:

OWNER/DEVELOPER  
**NOTTINGHAM CONSTRUCTION**  
 6750 Stillwater Blvd.  
 Stillwater, Minnesota 55082

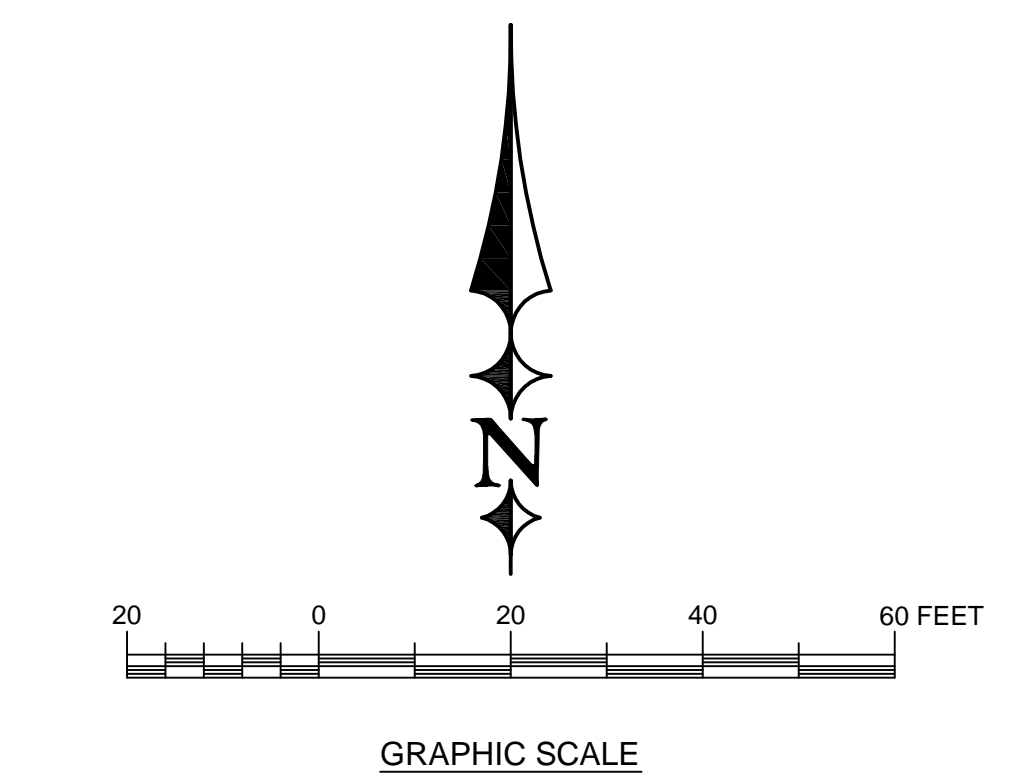
PROJECT TITLE  
**CENTURY FARMS NORTH 7TH  
 PUD / PRELIMINARY  
 LINO LAKES, MINNESOTA**

NO.	REVISION DESCRIPTION	DATE

JOB NO. 16-129

SHEET TITLE  
**LANDSCAPE PLAN**

SHEET NO.  
**L1**  
 SHEET 1 OF 1

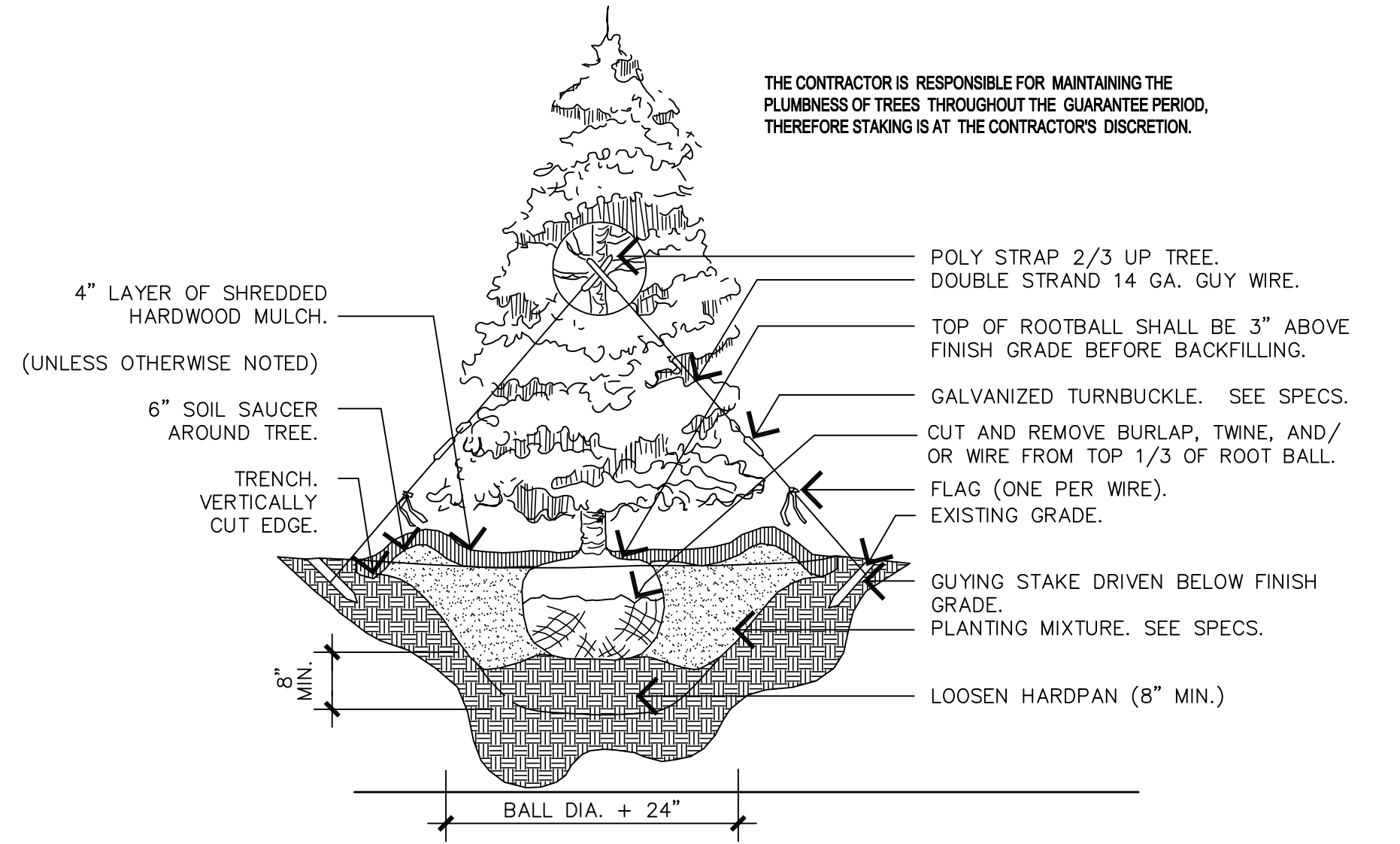


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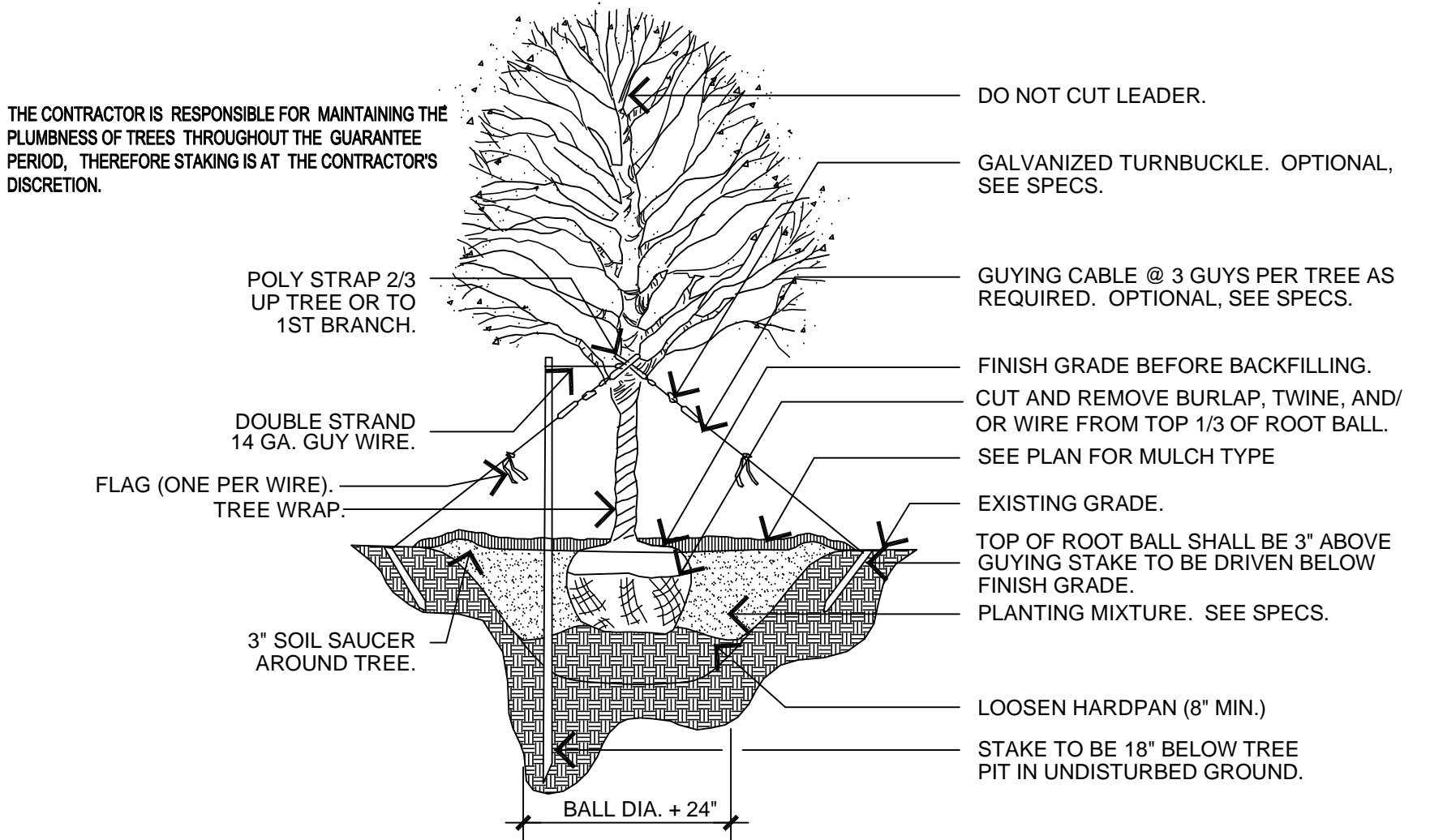
- EXTERIOR PROPERTY BOUNDARY
- NOTES PROPOSED DECIDUOUS TREE
- NOTES PROPOSED CONIFEROUS TREE

**Notes**

- 1) INSTALLING CONTRACTOR SHALL WARRANTY EACH TREE FOR A PERIOD OF TWO YEARS.



**CONIFEROUS TREE PLANTING**



**DECIDUOUS TREE PLANTING**

Rear Elevation



Front Elevation



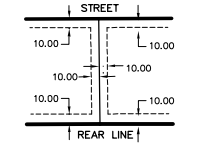
INTERSECTION DESIGN SHALL MEET ANOKA COUNTY DESIGN CRITERIA

INTERSECTION DESIGN SHALL MEET ANOKA COUNTY DESIGN CRITERIA

NUMBER OF LOTS	SINGLE FAMILY	AIR PARK	DETACHED SINGLE FAMILY	TOWNHOUSE	TOTAL UNITS
CENTURY FARM NORTH 1ST ADDITION	30	9	17		56
CENTURY FARM NORTH 2ND ADDITION			23	42	65
CENTURY FARM NORTH 3RD ADDITION		9	9	34	52
CENTURY FARM NORTH 4TH ADDITION			5	38	43
CENTURY FARM NORTH 5TH ADDITION			5	38	43
<b>TOTAL LOTS</b>	<b>30</b>	<b>9</b>	<b>75</b>	<b>126</b>	<b>= 249</b>

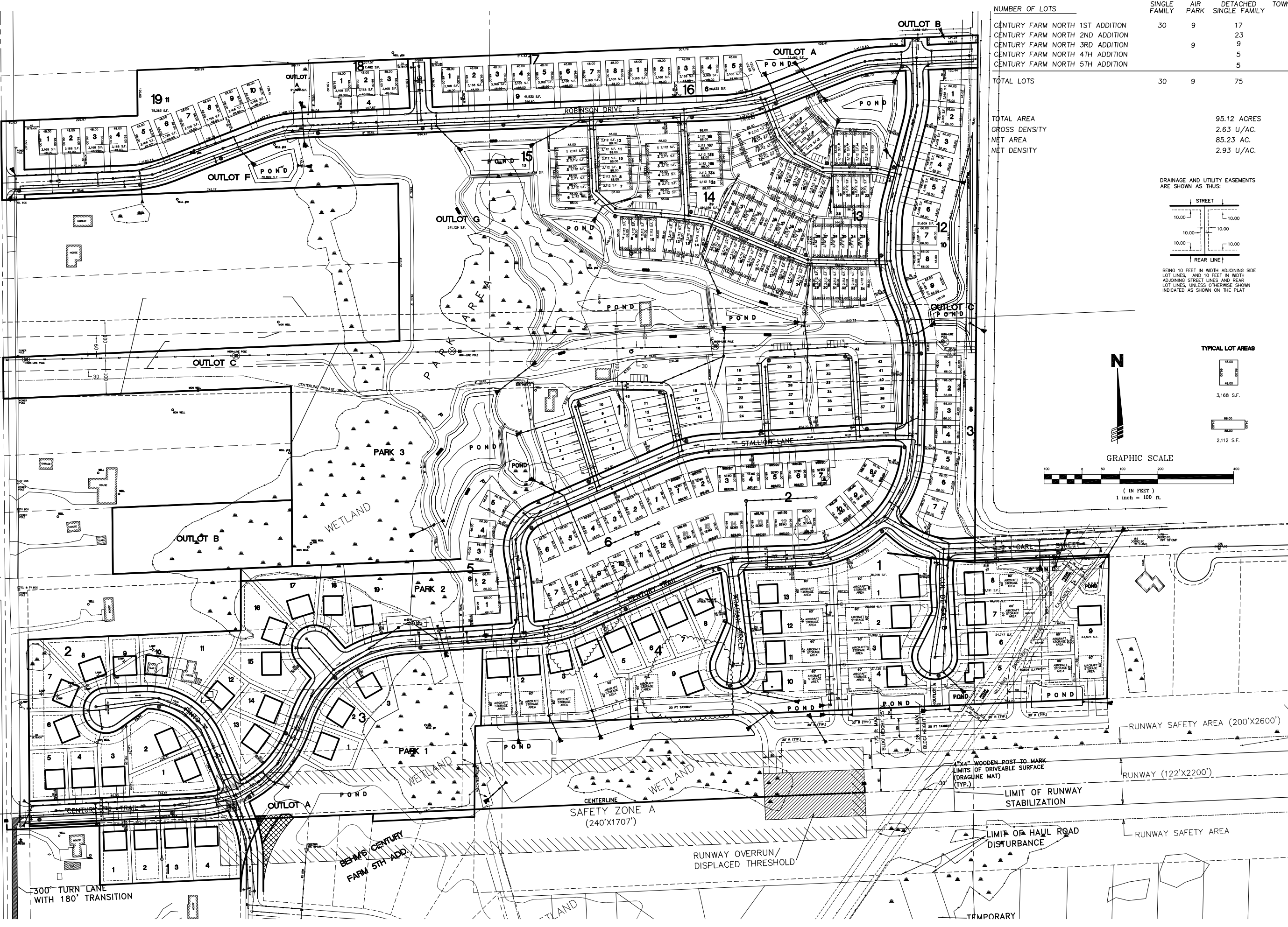
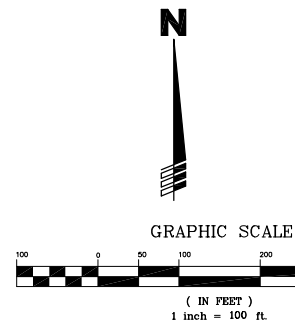
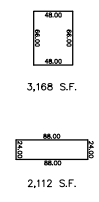
TOTAL AREA 95.12 ACRES  
 GROSS AREA 2.63 U/AC.  
 NET AREA 85.23 AC.  
 NET DENSITY 2.93 U/AC.

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN AS THUS:



BEING 10 FEET IN WIDTH ADJOINING SIDE LOT LINES, AND 10 FEET IN WIDTH ADJOINING STREET LINES AND REAR LOT LINES, UNLESS OTHERWISE SHOWN INDICATED AS SHOWN ON THE PLAT

TYPICAL LOT AREAS



DATE: 7/09/02  
 SCALE: 1"=100'  
 PROJECT: 912-001  
 CHECKED: [Signature]  
 APPROVED: [Signature]

PRELIMINARY PLAT  
 CENTURY FARM NORTH 1ST ADD.  
 THRU  
 CENTURY FARM NORTH 6TH ADD.  
 LINO LAKES, MINNESOTA

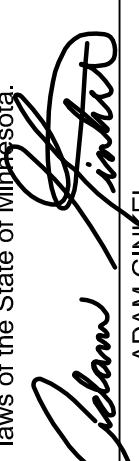
OWNER/DEVELOPER  
 CENTURY FARM NORTH  
 DEVELOPMENT, INC.  
 3157 BERWICK KNOLL  
 BROOKLYN PARK, MN 55443

1440 ACCADES ST. SUITE 250  
 SAINT PAUL, MN 55106  
 Phone: 651-766-0112  
 Fax: 651-776-0206  
 E-mail: info@impresso.com

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE	REVISIONS	TAG	DATE
10/24/02	ADD PHASE LINES	GSD	
11/04/02	REVISED LOT AREAS	GSD	
11/20/02	REVISED LOT NOS. 5TH ADD.	GSD	
11/19/02	ELIMINATE 7TH ADD/NEW BLOCKS	GSD	
12/20/02	REVISE POINTS INTERSECTION	GSD	
2/20/03	REVISE FOR CITY COMMENTS	GSD	
3/28/03	REVISE FOR CITY COMMENTS	GSD	
6/19/03	FINAL PRELIM. PLAT SUBMIT.	TAG	

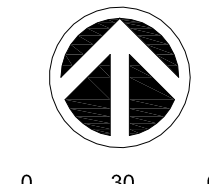
DATE	REVISION DESCRIPTION
4-8-14	ROW COMMENTS
4-25-14	CITY REVIEW #1
2-9-15	FINAL PLAT SUBMITTAL
4-1-16	FINAL PLAT SUBMITTAL
6-7-16	FINAL PLANS

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
  
 ADAM GIVVEL  
 LIC. NO. 43983  
 DATE: 06.07.2016

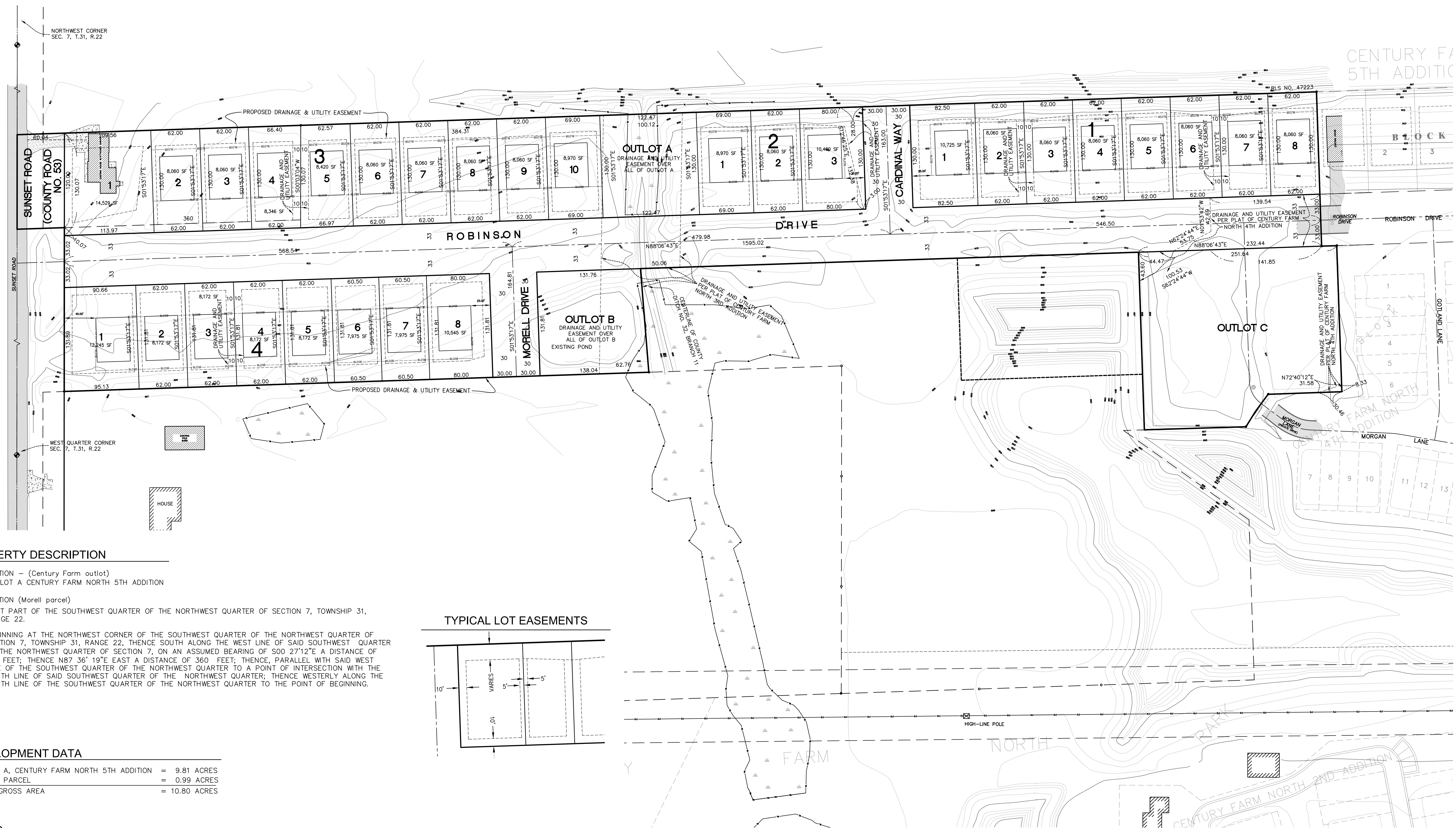
**CENTURY FARM NORTH - PUD / PRELIMINARY PLAT AMENDMENT - 6TH ADDITION**  
 LINO LAKES, MN  
 PRELIMINARY PLAT

PREPARED FOR:  
 CENTURY FARM NORTH DEVELOPMENT, INC.

  
 SITE PLANNING & ENGINEERING  
**Plow ENGINEERING, INC.**  
 6776 LAKE DRIVE  
 SUITE 110  
 LINO LAKES, MN 55014  
 PHONE: (651) 261-8210  
 FAX: (651) 361-8701

**NORTH**  
  
 0 30 60  
 1 INCH = 60 FEET





**PROPERTY DESCRIPTION**

DESCRIPTION - (Century Farm outlet)  
 OUTLOT A CENTURY FARM NORTH 5TH ADDITION  
  
 DESCRIPTION (Morell parcel)  
 THAT PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 7, TOWNSHIP 31, RANGE 22.  
  
 BEGINNING AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 7, TOWNSHIP 31, RANGE 22, THENCE SOUTH ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 7, ON AN ASSUMED BEARING OF S00 27'12"E A DISTANCE OF 120 FEET; THENCE N87 36' 19"E EAST A DISTANCE OF 360 FEET; THENCE, PARALLEL WITH SAID WEST LINE OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER TO A POINT OF INTERSECTION WITH THE NORTH LINE OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER; THENCE WESTERLY ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER TO THE POINT OF BEGINNING.

**DEVELOPMENT DATA**

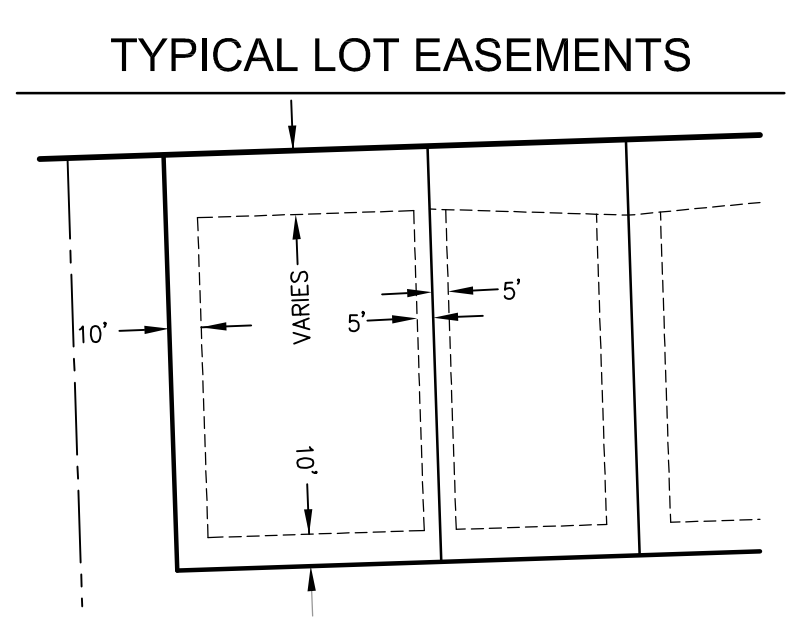
OUTLOT A, CENTURY FARM NORTH 5TH ADDITION	= 9.81 ACRES
MORELL PARCEL	= 0.99 ACRES
TOTAL GROSS AREA	= 10.80 ACRES

**NOTES**

PROPOSED PLAT ZONING PUD  
 EXISTING PLAT ZONING R & PUD  
  
 MINIMUM LOT DEPTH 125 FEET  
 MINIMUM LOT WIDTH 60 FEET  
 MINIMUM LOT AREA 7,500 S.F.  
  
 BUILDING SETBACKS  
 STREET (LOCAL) = 25 FEET  
 STREET (COLLECTOR) = 40 FEET  
 REAR = 25 FEET  
 SIDE (PRINCIPAL) = 10 FEET  
 SIDE (ACCESSORY) = 5 FEET

**DENSITY CALCULATIONS - AMENDED PRELIMINARY PLAT FOR CENTURY FARM NORTH**

	ACRES
GROSS PROPERTY AREA	95.63
WETLAND	12.72
ARTERIAL (CR 53) ROW	1.28
PARK DEDICATION	13.32
NET PROPERTY AREA	68.31
# UNITS	257
DENSITY	3.76 UNITS/ACRE



  
 Know what's below.  
 Call before you dig.

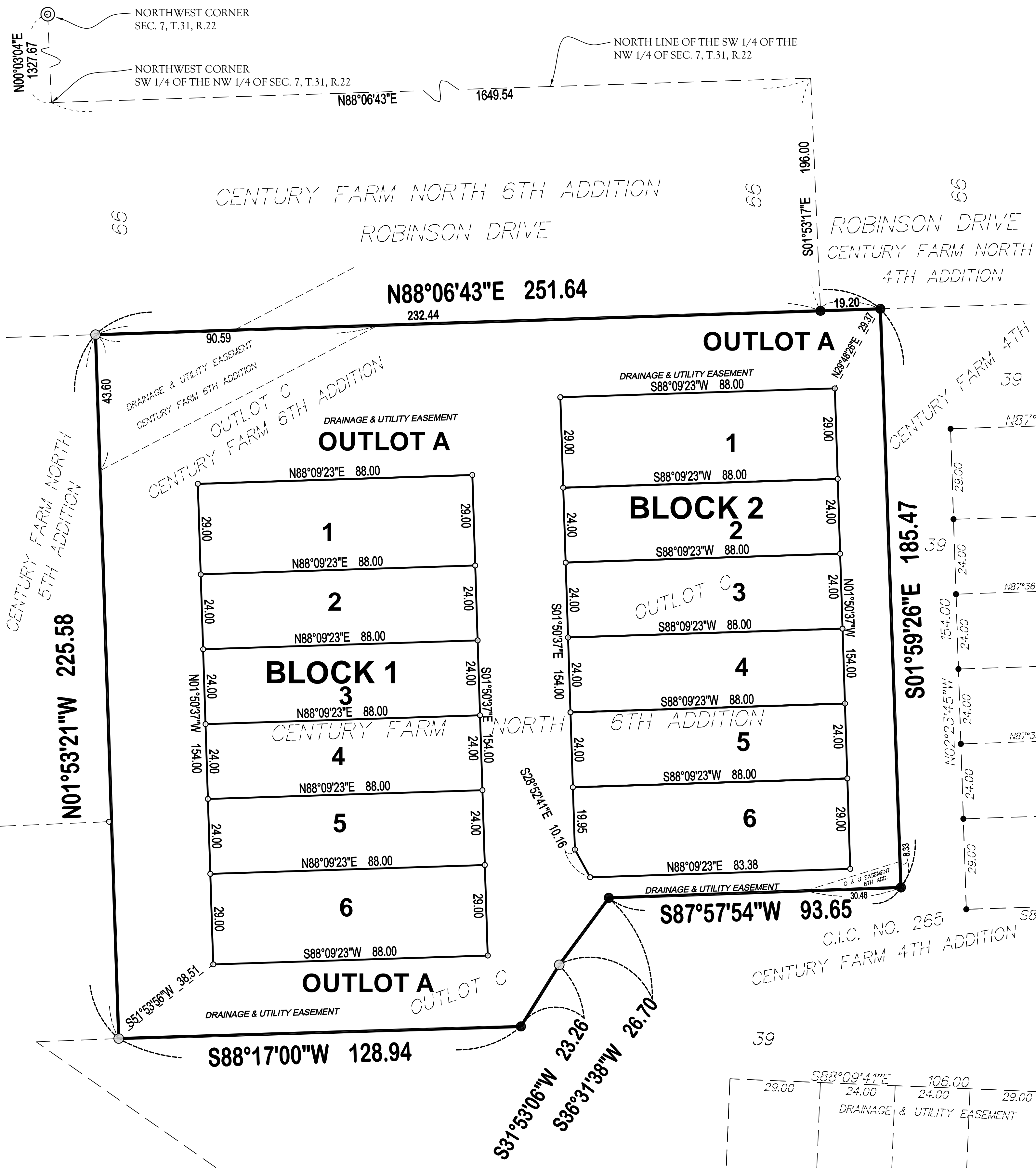
**PRELIMINARY PLAT CENTURY FARM NORTH - 6TH ADDITION**

# CENTURY FARM NORTH 7TH ADDITION

**ERICKSON CIVIL**

333 North Main Street, Suite 201  
Stillwater, Minnesota 55082  
Phone (612) 309-3804

www.ericksoncivilsite.com

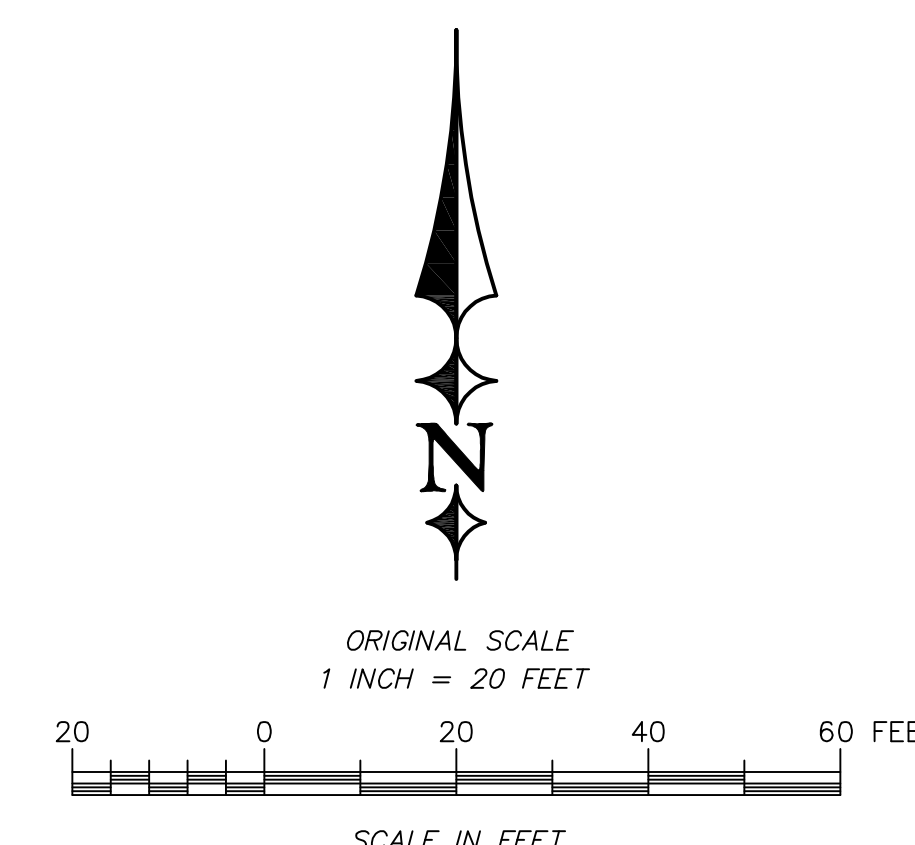


### LEGEND

- DENOTES FOUND 1/2 INCH IRON PIPE MARKED BY RLS NO. 41578
- DENOTES FOUND 1/2 INCH IRON PIPE MARKED BY RLS NO. 17765
- ⊙ DENOTES ANOKA COUNTY CAST IRON MONUMENT
- DENOTES SET 1/2 INCH IRON PIPE MARKED BY A PLASTIC CAP INSCRIBED "RLS 10938"

### NOTES

1) ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE RECORDED PLAT OF CENTURY FARMS 6TH ADDITION.



### Owners Certificate

KNOW ALL MEN BY THESE PRESENTS: That LINO LAKES TOWNHOMES, LLC, a limited liability company under the laws of the State of Minnesota, owner of the following described property, situated in the City of Lino Lakes, County of Anoka, State of Minnesota:

OUTLOT C, CENTURY FARM 6TH ADDITION, Anoka County, Minnesota.

Has caused the same to be surveyed and platted as CENTURY FARM NORTH 7TH ADDITION and does hereby dedicate or donate to the public for public use forever the drainage and utility easements as shown on this plat.

In witness whereof said LINO LAKES TOWNHOMES, LLC, a limited liability company under the laws of the State of Minnesota, has caused these presents to be signed by its proper officer this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

Signed: LINO LAKES TOWNHOMES, LLC

Name and Title \_\_\_\_\_

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2016, by \_\_\_\_\_, of LINO LAKES TOWNHOMES, LLC, a limited liability company under the laws of the State of Minnesota, on behalf of the company.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Print Name

Notary Public, \_\_\_\_\_  
My Commission Expires \_\_\_\_\_

### Surveyors Certificate

I, Paul A. Johnson, Licensed Land Surveyor, do hereby certify that I have surveyed or directly supervised the survey of the property described on this plat; prepared this plat or directly supervised the preparation of this plat; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been correctly set; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of the surveyor's certification are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

Paul A. Johnson, Land Surveyor  
Minnesota License No. 10938

STATE OF MINNESOTA  
COUNTY OF WASHINGTON

The foregoing Surveyor's Certificate was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2016, by Paul A. Johnson, Land Surveyor.

Todd A. Erickson  
Notary Public, Minnesota  
My Commission expires January 31, 2019

### City of Lino Lakes

We do hereby certify that on the \_\_\_\_\_ day of \_\_\_\_\_, 2016, the City Council of the City of Lino Lakes, Minnesota, approved this plat. Also, the conditions of Minnesota Statutes, Section 505.03, Subd. 2, have been fulfilled.

\_\_\_\_\_  
Mayor Clerk

### Department of Property Records and Revenue

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 2016 on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Property Records and Revenue

By \_\_\_\_\_  
Deputy

### County Surveyor

Pursuant to Minnesota Statutes, Section 383A.42, this plat is approved this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

Larry Holium, RLS  
Anoka County Surveyor

### County Recorder

County of Ramsey, State of Minnesota  
I hereby certify that this plat of CENTURY FARM NORTH 7TH ADDITION was filed in the office of the County Recorder for the public record on this \_\_\_\_\_ day of \_\_\_\_\_, 2016, at \_\_\_\_\_ o'clock \_\_\_\_\_ M. and was duly filed in Book \_\_\_\_\_ of Plats, Page \_\_\_\_\_, as Document Number \_\_\_\_\_.

\_\_\_\_\_  
Deputy County Recorder