

**CITY OF LINO LAKES
PLANNING & ZONING BOARD MEETING**

Wednesday, March 08, 2017

6:30 p.m.

Council Chambers

Please be courteous and turn off all electronic devices during the meeting.

AGENDA

1. CALL TO ORDER AND ROLL CALL
2. APPROVAL OF AGENDA
3. APPROVAL OF MINUTES: February 8, 2017
4. OPEN MIKE
5. ACTION ITEMS
 - A. **PUBLIC HEARING:** Conditional Use Permit for Home Occupation Permit
Level C (180 Pine Street)
 - B. Erickson Estates Final Plat
6. DISCUSSION ITEMS
 - A. Project Updates
7. ADJOURN

Meeting guidelines on reverse side.

City of Lino Lakes Planning & Zoning Board MEETING GUIDELINES

Open Mike – The purpose of a Board Meeting is to accomplish the business of the city. When presenting at a meeting please remember to be respectful, and follow these guidelines:

- Please address the meeting chair.
- State your name and address for the record.
- Please observe a 4-minute limit.
- The topic must relate to city business.
- Open Mike is for items not on the agenda.
- A spokesperson must represent a group of five or more – groups will have 8 minutes.
- The Presiding Officer may limit duplicative presentations.
- Remember, the meeting is to discuss city business only.

Public Hearing - Held as a separate item of business on the agenda. The public hearing segment is your opportunity to tell the Board how you feel about issues scheduled to be heard. Typically, a hearing follows these steps:

- The Presiding Officer (Chair or Vice-Chair) will announce the proposal to be reviewed and ask for the staff report. The presiding Officer shall maintain strict order and etiquette at all meetings.
- Staff will present their report on the proposal.
- Board members will then ask City Staff questions about the proposal.
- The Presiding Officer will then open up the public hearing for anyone present who wishes to comment on the proposal. This is the time for the public to make comments or ask questions about the proposal.
Comments should be limited to four (4) minutes unless further time is granted by the Presiding Officer. All comments should be directed to the Board as a body and not to any individual Board Member or City Staff Member unless permission is granted by the Presiding Officer. No person shall be permitted to enter into any discussion, either directly or through a member of the Board without the permission of the Presiding Officer.
- After everyone in the audience wishing to speak has given his/her comments, the Presiding Officer shall close the public hearing.
- The Board will then discuss the proposal. No further public comments are allowed.
- The Board will then make a recommendation(s) and/or a decision.

When you are called upon for your comments, please step to the microphone at the podium and state your name and address for the record.

Occasionally, the Board may continue a hearing to another meeting before taking action.

Meeting Etiquette

The Planning & Zoning Board must preserve order and decorum while the meeting is in session. A resident shall not, by conversation or otherwise, delay or interrupt the proceedings or the business of the Board, nor disturb any resident or Board Member while speaking or refuse to obey the orders of the Board.

**CITY OF LINO LAKES
PLANNING & ZONING BOARD MINUTES**

DATE	: February 08, 2017
TIME STARTED	: 6:30 P.M.
TIME ENDED	: 7:24 P.M.
MEMBERS PRESENT	: Dale Stoesz, Perry Laden, Lou Masonick, Neil Evenson, Michael Root, Jeremy Stimpson
MEMBERS ABSENT	: Paul Tralle (Chair)
STAFF PRESENT	: Katie Larsen, Michael Grochala, Diane Hankee

I. CALL TO ORDER AND ROLL CALL:

Vice Chair Root called the Lino Lakes Planning and Zoning Board meeting to order at 6:30 p.m. on February 08, 2017.

II. APPROVAL OF AGENDA

The Agenda was approved as presented.

III. SWEARING IN OF BOARD MEMBERS

The Board Members signed their Oaths of Office.

IV. APPROVAL OF MINUTES:

Mr. Stoesz made a MOTION to approve the January 11, 2017 Meeting Minutes. Motion was supported by Mr. Laden. Motion carried 5 - 0. (Stimpson abstained.)

V. OPEN MIKE

Vice Chair Root declared Open Mike at 6:32 p.m.

There was no one present for Open Mike.

Mr. Masonick made a MOTION to close Open Mike at 6:34 p.m. Motion was supported by Mr. Evenson. Motion carried 6- 0.

VI. RE-ELECTION OF CHAIR & VICE CHAIR

Mr. Laden nominated Mr. Tralle for Chair Position. Motion carried.

Mr. Evenson nominated Mr. Root for Vice Chair Position. Motion carried.

VII. ACTION ITEMS

A. PUBLIC HEARING to consider Bald Eagle Erectors, Conditional Use Permit for Open and Outdoor Storage

Ms. Larsen presented the staff report. The applicant, Bald Eagle Erectors owns the 5.45 acre parcel located at 7309 Lake Drive. The request is for a conditional use permit to bring the property into conformance with the open and outside storage requirements of the, LI, Light Industrial zoning district. The applicant primarily leases the site to Mobile Mini, a company that leases construction trailers and outside storage bins which are stored on site. The applicant is proposing to pave a portion of their property

Staff addressed questions of the board.

Mr. Stoesz asked about turn lanes, and if they are needed. Ms. Larsen stated there currently is not, and staff is not requiring any roadway improvements. Mr. Stoesz also commented about future building improvements and expansion, regarding maximum size allowed on site. Ms. Larsen stated the site is allowed a maximum of 75% impervious surface cover.

Mr. Laden asked about height restrictions. Mr. Stimpson also expressed similar concerns. Ms. Larsen stated the existing Land Use Agreement allows for the storage containers to be stacked 2 high. To be consistent, the Board recommended a maximum height for all exterior storage and equipment of 17 feet.

Mr. Stimpson asked staff if there was any concern about the bituminous pavement and long term viability. Staff explained the pavement is thicker than standard driveway and parking lot and will be able to handle the capacity of the storage containers.

Mr. Root asked about the privacy fence and the matching the existing wood fence. Ms. Larsen explained the current fence is chain link, and is not allowed in open and outdoor storage areas, it must provide screening and be 8 feet high like the fence in the front of the property. The applicant will be required to submit a separate fence permit.

Mr. Stoesz asked if the surrounding property owners were informed of the improvements being made to the site. Ms. Larsen explained that public hearing notices were mailed to surrounding property owners and published in the Quad Newspaper.

Mr. Laden asked if lighting is proposed on site and if it should be addressed in the CUP. Ms. Larsen states there is no new lighting proposed or existing, and if any new lighting were proposed in the future, staff could administratively approve lighting by reviewing a photometric plan that meets the City's ordinance.

Rose Lorsung from Recreate Real Estate, LLC was present. Rose explained the existing fence is relatively new, and wish they would have caught the open and outdoor storage requirement before the fence was installed. The height restriction should be discussed in the case of selling the property in the future, since the property is zoned light industrial, the height restriction could create issues for attracting future tenants.

Mr. Laden asked how the open area is proposed to be used. Rose explained it will not be used for any purpose at this time other than open area to meet pervious surface cover. Mr. Laden also asked if the storage area will be fenced or the entire property. Rose commented they will look into a cost benefit analysis.

Mr. Masonick asked about the landscaping near the ponding area. Rose explained there are trees and bushes that meet the landscaping ordinance including seeding.

Mr. Stoesz asked how the stormwater will be directed toward the pond. Mark Jay, 4411 Morningside Avenue, Vadnais Heights spoke on the issue. Mr. Jay explained the lot will be graded from the south to the north, and the slope will drain toward the pond. No curb and gutter is planned.

Vice Chair Root declared the Public Hearing open at 7:02 p.m.

There was no one present to speak.

Mr. Stoesz made a MOTION to close the Public Hearing at 7:03 p.m. Motion was supported by Mr. Stimpson. Motion carried 6-0.

Mr. Evenson had a question regarding the open area. Ms. Larsen explained it is being proposed as untouched and left as is, and bollards or signs will be placed so storage is not placed out of the designated storage area. Mr. Grochala expressed concerns with the open area not having any planned vegetation, because it will grow weeds and other unaesthetic vegetation. Irrigation would not be required. The area should be maintained grass or natural seeding, Mr. Laden agreed.

Mr. Laden discussed height of storage containers because of the site being near residential and school property. Outdoor storage would not typically be the desired use in this area so a height restriction should be put into place. Mr. Grochala explained the different approaches that could be taken.

Mr. Stimpson expressed concern of having the maximum height of storage taller than the fence requirement, which is not sufficient, and recommends a 17 feet maximum height. Mr. Grochala agreed with Mr. Stimpson on the 17 feet maximum height.

Mr. Root asked what the standard height of the outdoor storage was when this property was developed. Mr. Grochala explained there wasn't a specific height in the past, so the City has mitigated this with the requirement of an 8 foot fence and screening.

Mr. Laden would like to see the 8 foot privacy fence around the entire property.

Mr. Stimpson asked staff if they have any concerns regarding the environmental board comments. Mr. Grochala stated he has had internal conversations with the Environmental Coordinator, and the concerns have been resolved.

Mr. Laden made a MOTION to recommend approval of Bald Eagle Erectors, Conditional Use Permit for Open and Outdoor with the conditions noted in the staff report. The Board also recommended a maximum height for all exterior storage and equipment of seventeen (17) feet.

Motion was supported by Mr. Masonick.

Motion carried 6 - 0.

VIII. DISCUSSION ITEMS

A. Project Updates

Mr. Grochala presented project updates.

IX. ADJOURNMENT

Mr. Laden made a MOTION to adjourn the meeting at 7:24 p.m. Motion was supported by Mr. Evenson. Motion carried 6 - 0.

Respectfully submitted,

Alex McKenzie
Community Development Intern

**PLANNING & ZONING BOARD
AGENDA ITEM 5A**

STAFF ORIGINATOR: Katie Larsen, City Planner

P & Z MEETING DATE: March 08, 2017

REQUEST: **PUBLIC HEARING**
Conditional Use Permit for
Home Occupation Permit Level C (180 Pine Street)

CASE NUMBER: CU2017-002

APPLICANT: Stephen Witzel
dba: Mobile Maintenance
925 Evergreen Trail
Lino Lakes, MN 55014

OWNER: Alfred Vieira Estate
14467 186th Avenue NW
Elk River, MN 55330

REVIEW DEADLINE:

Complete Application Date:	February 13, 2017
60-Day Review Deadline:	April 14, 2017
120-Day Review Deadline:	June 13, 2017
Environmental Board Meeting:	NA
Park Board Meeting:	NA
Planning & Zoning Board Meeting:	March 08, 2017
City Council Work Session:	April 03, 2017
City Council Meeting:	April 10, 2017

BACKGROUND

The applicant, Stephen Witzel, submitted a Land Use Application for a conditional use permit for a Home Occupation Permit Level C to be located at 180 Pine Street. Mr. Witzel owns Mobile Maintenance, Inc, a handyman service that specializes in the repair and service on manufactured home on the lots where they are located. Mr. Witzel currently resides at 925 Evergreen Trail in Lino Lakes and is considering moving to 180 Pine Street.

ANALYSIS

Zoning and Land Use

The parcel is zoned R-Rural and allows for a Home Occupation Permit Level C with a conditional use permit.

Current Zoning	R, Rural
Current Land Use	Rural Residential
Future Land Use per CP	Urban Reserve
Utility Staging Area	Post 2030

Surrounding Zoning and Land Use

Direction	Zoning	Current Land Use	Future Land Use
North (City of Columbus)	Residential	Rural Residential	2030 Rural Residential
East	R, Rural	Rural Residential	Urban Reserve
South	R, Rural	Rural Residential	Urban Reserve
West	R, Rural	Rural Residential	Urban Reserve

Section 1007.047 regulates Home Occupation Permits. A Level C entails a more intense home occupancy use of the property in regards to the number of on-site employees, customers and traffic and requires a conditional use permit. The ordinance details requirements under (6) General Provisions and (9) Home Occupation Level C. These requirements must be in compliance at all times. See Attachment #4 for a full copy of the ordinance. The applicant has acknowledged these requirements in his submitted narrative. It should be noted that although the applicant uses the word “intend” in many of the responses, the requirements must be met at all times.

Site Plan Review

Site Plan

The applicant submitted an aerial map indicating the locations of the existing house and accessory structures. The home occupation will operate out of the smaller accessory structure noted as office/storage. A small office and restroom are proposed to be constructed. A parking area will be located to the north of the office/storage accessory structure. A trash dumpster is proposed to the west of the structure.

Per the applicant's narrative:

"Mobile Maintenance, Inc. is a handyman service that specializes in the repair and service on manufactured homes on the lots where they are located.

The daily activities would typically include employees coming to office to pick up workorders, load materials, go to the jobsite, provide repair services, and return to site to drop off workorders and pick up assignments for next day. Because no repairs to the homes are done at the office, there is typically no equipment used onsite. The materials that would be stored in the accessory structures would typically be furnace parts, plumbing parts, some lumbar, and other parts associated with the repair of manufactured homes. We do not usually store materials outside. There is typically one employee in the office onsite during the day with other employees coming to the site to pick up their assignments and leaving. We occasionally have customers who want to purchase parts from the office but this is likely one per day, and typically less than that. Personal vehicle trips per day is less than 10. The number of deliveries and/or pickups is typically trash twice per week and material delivery on Thursdays. Although we are open for business 7 days a week, there are rarely employees at the office on weekends. If we have a dumpster onsite, it would probably be approximately 4 yards, behind the house, between two pole barns, where it cannot be seen from Pine Street. We can build a fence around it if necessary, but it cannot be seen from surrounding properties anyway. The parking area is adjacent to the building as shown on the site plan provided. It is approximately 50 ft wide by 20 ft. There is an existing, natural berm between Pine Street and the parking area in addition to a large tree and several other trees between Pine Street and the area that we plan to use for parking. There could be shrubs, or fencing to further screen the parking area from Pine Street if needed. There are several other areas that could be used for parking but we do not plan to have that many vehicles there anyway. We understand that we would need hard surface, or class 5, in the parking area. The office space would be in one of the existing accessory structures and would be approximately 12x20ft and have an ADA bathroom and a 10x10 break area. The interior finish would be sheetrock and all improvements would be inspected and be up to local code. ”.

See Attachment #5 for applicant's full narrative.

Comments:

1. The parking area shall be gravel surfaced.
2. No exterior trash dumpsters shall be allowed.
3. No more than one (1) trash hauler per week for both residential and commercial purposes shall be allowed.
4. No exterior storage of commercial or personal items/materials shall be allowed at any time.
 - a. The parcel is 29 acres and there is no limit to the number of size of accessory structures that could be constructed on site to store items/materials.

5. A building permit is required for the office and restroom improvements.
6. Hours of operation shall be limited to Monday through Friday, 7 a.m. to 7 p.m.
7. All work and the use of power tools and/or equipment shall be performed inside the home occupation accessory structure with the garage doors closed.

Grading Plan and Stormwater Management

No grading plan or stormwater management is required.

Public Utilities

The site is served by private well and septic system. The septic system shall be designed and sized to accommodate the proposed office restroom.

Landscaping and Tree Preservation Plan

Landscaping and tree preservation is not required for the home occupation.

Wetlands

Wetlands are located on portions of the parcel but are not impacted by the accessory structures or home occupation. The applicant shall be cognizant of the existence of the wetlands on site.

Floodplain

The 2015 DFIRM indicates Zone A floodplain on the parcel. The existing house and accessory structures do not appear to be impacted by the floodplain.

Architectural Plans and Exterior Building Materials

A building permit is required for the office/restroom improvements.

Signage

Per Chapter 1010: Signs, one sign with a maximum size of 6 square feet placed at least 10 feet from the property line is allowed without a permit.

Site Improvement Performance Agreement

A Site Improvement Performance Agreement is not required.

Conditional Use Permit-Findings of Fact

The property is zoned R, Rural and allows for a Home Occupation Level C with a conditional use permit.

The Planning and Zoning Board shall recommend a conditional use permit and the Council shall order the issuance of such permit only if it finds the following criteria have been met:

1. The proposed development application has been found to be consistent with the policies and recommendations of the Lino Lakes Comprehensive Plan including:

- a. Land Use Plan.

The 29 acre parcel is guided Urban Reserve and zoned R, Rural. A Home Occupation Level C is allowed with a conditional use permit.

- b. Transportation Plan.

Pine Street is a major collector road. It is an unimproved, gravel road west of 4th Avenue. There are approximately 230 ADT (23 households x 10 trips per day) along this gravel section. The distance from 4th Avenue to the subject site driveway is approximately 2,700 feet. Per the City Engineer, gravel roads are not efficient or cost effective when trips start to exceed 200 ADT.

The proposed home occupation will increase personal traffic (employees and customers), heavy trash collection and delivery vehicles.

The existing gravel road does not have structural design to accommodate the added traffic proposed by the home occupation.

- c. Utility (Sewer and Water) Plans.

The parcel is served by private well and septic system. The City's utility plans are not impacted.

- d. Local Water Management Plan.

The City's Local Surface Water Management Plan (LSWMP) is incorporated into Chapter 2: Resource Management System Plan of the City's Comprehensive Plan. The goal of the LSWMP is to improve of the quality of surface waters by delivering good quality stormwater runoff to lakes and wetlands.

The proposed home occupation will occur in an existing accessory structure on a 29 acre parcel. Stormwater runoff will not increase and surface water (wetlands) will not be impacted.

- e. Capital Improvement Plan.

The proposed home occupation will increase traffic along a gravel portion of Pine Street. This will potentially increase City capital expenditures not part of the City's

Capital Improvement Plan if road improvements or increased maintenance is required.

f. Policy Plan.

The proposed home occupation is consistent with the comprehensive plan (i.e. Policy Plan) in regards to land use, utility plans and local water management plan.

The proposed home occupation is not consistent with the comprehensive plan in regards to the transportation or capital improvements plan.

g. Natural Environment Plan.

The City's Natural Environment Plan is incorporated into Chapter 2: Resource Management System Plan of the City's Comprehensive Plan. One goal of the Plan is to identify, protect and preserve the desirable natural areas and ecological and aquatic resources of the community.

The City's greenway corridor exists along the parcel. The proposed home occupation will occur in an existing accessory structure and will not impact the City's Parks, Natural Open Space/Greenway and Trail System.

2. The proposed development application is compatible with present and future land uses of the area.

The proposed home occupation is not compatible with present and future land uses of the area in regards to increased personal vehicles (employee and customer), garbage haulers and delivery traffic on the gravel road.

Although the surrounding land uses are rural residential, the adjacent parcels are not standard 10 acre parcels (172 Pine Street is 0.4 acres and 234 Pine Street is 2.33 acres). Three (3) residential homes (166, 172 and 234 Pine Street) are also within 400 feet of the proposed accessory structure home occupation.

3. The proposed development application conforms to performance standards herein and other applicable City Codes.

The proposed home occupation conforms to the performance standards of the City Code.

4. Traffic generated by a proposed development application is within the capabilities of the City when:

- a. If the existing level of service (LOS) outside of the proposed subdivision is A or B, traffic generated by a proposed subdivision will not degrade the level of service more than one grade.

- b. If the existing LOS outside of the proposed subdivision is C, traffic generated by a proposed subdivision will not degrade the level of service below C.
- c. If the existing LOS outside of the proposed subdivision is D, traffic generated by a proposed subdivision will not degrade the level of service below D.
- d. The existing LOS must be D or better for all streets and intersections providing access to the subdivision. If the existing level of service is E or F, the subdivision developer must provide, as part of the proposed project, improvements needed to ensure a level of service D or better.
- e. Existing roads and intersections providing access to the subdivision must have the structural capacity to accommodate projected traffic from the proposed subdivision or the developer will pay to correct any structural deficiencies.
- f. The traffic generated from a proposed subdivision shall not require City street improvements that are inconsistent with the Lino Lakes Capital Improvement Plan. However, the City may, at its discretion, consider developer-financed improvements to correct any street deficiencies.
- g. The LOS requirements in paragraphs a. to d. above do not apply to the I-35W/Lake Drive or I-35E/Main St. interchanges. At City discretion, interchange impacts must be evaluated in conjunction with Anoka County and the Minnesota Dept. of Transportation, and a plan must be prepared to determine improvements needed to resolve deficiencies. This plan must determine traffic generated by the subdivision project, how this traffic contributes to the total traffic, and the time frame of the improvements. The plan also must examine financing options, including project contribution and cost sharing among other jurisdictions and other properties, that contribute to traffic at the interchange.
- h. The City does not relinquish any rights of local determination.

Pine Street is a major collector road. It is an unimproved, gravel road west of 4th Avenue. There are approximately 230 ADT (23 households x 10 trips per day) along this gravel section. The distance from 4th Avenue to the subject site driveway is approximately 2,700 feet. Per the City Engineer, gravel roads are not efficient or cost effective when trips start to exceed 200 ADT.

The proposed home occupation will increase personal traffic (employees and customers), heavy trash collection and delivery vehicles.

The existing gravel road does not have structural design to accommodate the added traffic proposed by the home occupation.

5. The proposed development shall be served with adequate and safe water supply.

The site is served by private well. The proposed home occupation and office/restroom can be served by the well.

6. The proposed development shall be served with an adequate and safe sanitary sewer system.

The site is currently served by a private septic system. The septic system shall be designed and sized to accommodate the proposed restroom.

7. The proposed development shall not result in the premature expenditures of City funds on capital improvements necessary to accommodate the proposed development.

The proposed home occupation will increase traffic along a gravel portion of Pine Street. This will potentially increase City capital expenditures not part of the City's Capital Improvement Plan if road improvements or increased maintenance is required.

8. The proposed development will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare because of excessive production of traffic, noise, smoke, fumes, glare, or odors.

The proposed home occupation will involve uses and activities detrimental to persons or property. Traffic will increase on a gravel road. The applicant states that "typically" no equipment is used onsite. Any equipment used on site will generate excessive noise. Three (3) residential homes (166, 172 and 234 Pine Street) within 400 feet of the proposed accessory structure home occupation would be affected.

9. The proposed development will not result in the destruction, loss, or damage of a natural, scenic or historic feature of major importance.

The natural features (wetlands) will not be impacted. There are no other known natural, scenic or historic features on the existing site.

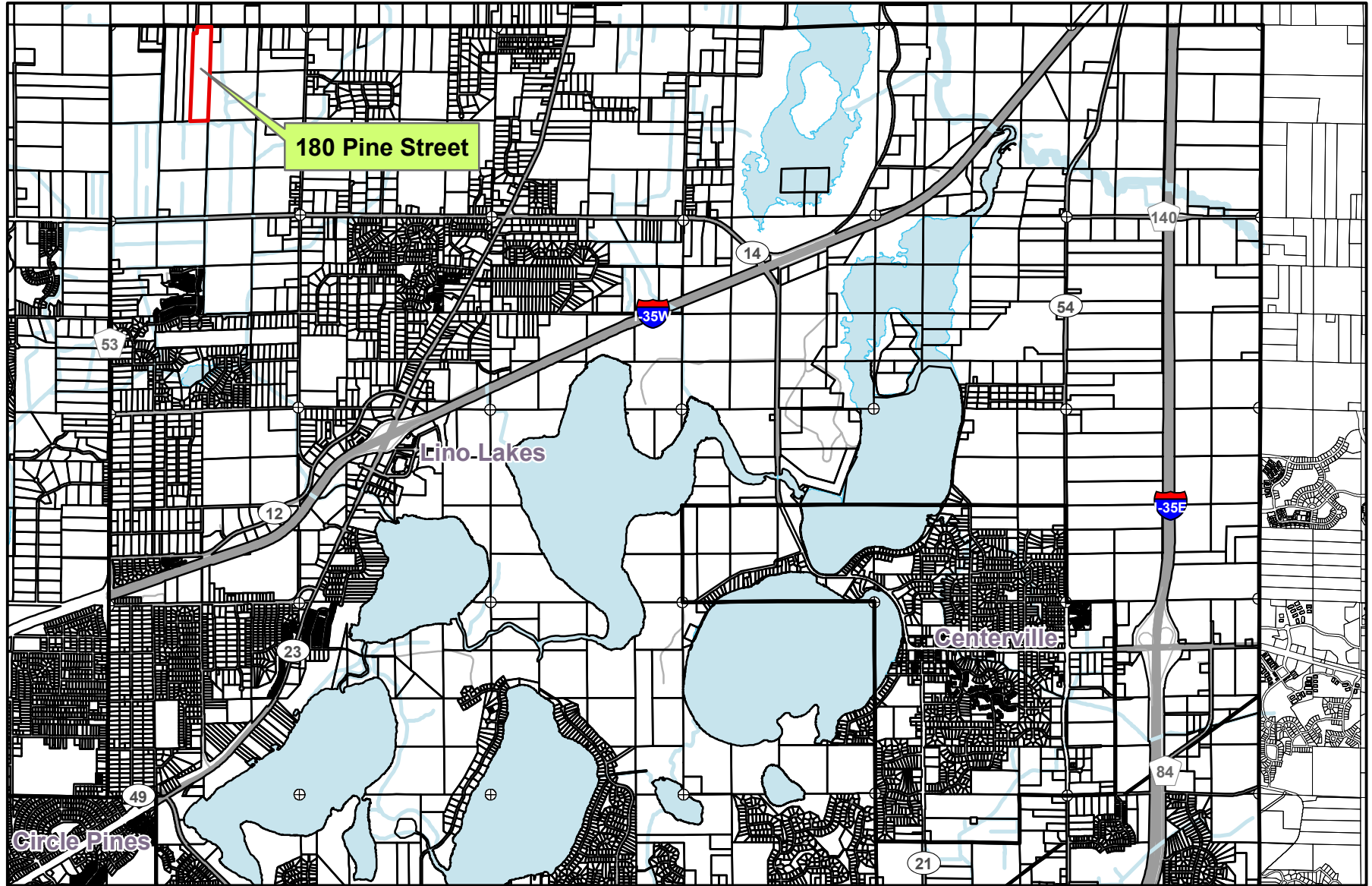
RECOMMENDATION

Staff recommends denial of the Home Occupation Level C Conditional Use Permit at 180 Pine Street due to reasons listed in the Findings of Fact.

ATTACHMENTS

1. Site Location Map
2. Aerial Map
3. Site Plan

4. Section 1007.047 Home Occupation Permit Ordinance
5. Applicant Narrative

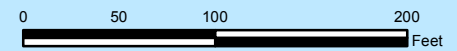


Site Location Map





Aerial Map 180 Pine Street



Anoka County, MN



ADDRESS	180 170 PINE ST NE	CITY	LINO LAKES
STATE	MN	PROPERTY ID	06-31-22-21-0001
ZIP CODE	55014	Shape.STArea	06-31-22-21-0001



Disclaimer: Map and parcel data are believed to be accurate, but accuracy is not guaranteed. This is not a legal document and should not be substituted for a title search, appraisal, survey, or for zoning verification.

Map Scale
1 inch = 200 feet

Existing 1 - 44' x 36' Proposed office/storage
 Existing 2 - 49' x 87' Airplane Hanger
 Existing 3 - House
 Proposed (P) - Parking 50' x 20'
 Proposed (T) - Trash Dumpster

§1007.047 HOME OCCUPATION PERMITS.

(1) *Purpose.* The purpose of this section is to provide a means by which home occupations can be conducted as an accessory use to a residential dwelling unit, as a use that is clearly incidental and secondary to a residential use on the same premises, without jeopardizing the health, safety and general welfare of the surrounding neighborhood or the inhabitants of the home occupation site, and without jeopardizing the residential character of the neighborhood.

(2) *Application.* Subject to the non-conforming use provision of this section, all occupations conducted in the home shall comply with the provisions of this section, with the exception of the following:

(a) Permitted agricultural/farm related uses in the R and R-X Districts (and when found to be in conformance with all other provisions of this Ordinance) need not meet the provisions of this subdivision.

(b) The limited seasonal sale of products grown solely on the site by the residents of the homestead shall be exempt from the provisions of this subdivision.

(c) Daycare when licensed by the state and/or county

(d) Any other use listed as a Permitted, Conditional, or Interim use within the corresponding zoning district.

(e) Any use allowed by an existing Conditional or Interim Use Permit.

(3) *Procedure.*

(a) Home Occupation Level A does not require an application, review, or permit so long as the business complies with the general provisions listed in subsection (6) below, and the requirements of the Home Occupation Level A listed in subsection (7) below.

(b) Home Occupation Level B requires the following procedure:

1. Application for a Home Occupation Level B shall be filed by the property owner or designated agent on forms to be provided by the City, and shall be accompanied by:

a. A non-refundable fee as established by City Council ordinance; and

b. Site and Building Plans as necessary to prove compliance with the general provisions of subsection (6) below, and the requirements of the Home Occupation Level B listed in subsection (8) below.

2. The Zoning Administrator shall review the application and shall determine whether the proposal is in compliance with all applicable evaluation criteria, codes, ordinances,

and applicable performance standards set forth in the Ordinance. The Zoning Administrator shall notify the applicant, in writing, of any incomplete application within fifteen (15) business days of the date of submission.

(c) Home Occupation Level C requires obtaining a Conditional Use Permit. The procedure for a Conditional Use Permit is described in §1007.016.

(4) *Violations.* After two (2) founded nuisances, or code violation complaints have been made and verified with written notices to the home occupation, a public hearing may be called to consider additional conditions, limitations, or revocation of the home occupation within sixty (60) days of the last complaint. Home Occupation Level C, which requires a Conditional Use Permit, shall be subject to the Revocation clause included in §1007.016.

(5) *Expiration.*

(a) Upon issuance, a Home Occupation Level B permit shall continue to be valid unless one or all of the following occur:

1. The business owner relocates to another residential address; permits are not transferable to another person or property.
2. The type of businesses occurring on the site changes significantly.
3. If the permit is revoked by the City per section (4) above.

(b) A Home Occupation Level C, approved as part of a Conditional Use Permit application, shall comply with §1007.016 of the ordinance.

(6) *Requirements - General Provisions.* All home occupations shall comply with the following general provisions and according to definition, the applicable requirement provisions.

(a) *General Provisions.*

1. The home occupation shall be operated by an occupant of the dwelling.
2. Any home occupation shall be clearly incidental and secondary to the residential use of the premises, and shall not change the residential character thereof.
3. All home occupations must comply with all provisions of the City Nuisance Ordinance and shall result in no incompatibility or disturbance to the surrounding residential uses.
4. No home occupation shall require internal or external alterations or involve construction features not customarily found in residential dwellings except where required to comply with local and state fire and police recommendations.

5. The home occupation shall meet all applicable fire and building codes, and applicable permits must be obtained prior to any construction activities.

6. No exterior evidence of the presence of the home occupation on the premises, except any signage allowed by the sign code and any vehicles allowed by §1007.044 (11).

7. Personal vehicles not exceeding a gross weight rating of eleven thousand seventy-five (11,075) pounds used in the home occupation may be parked on the site.

8. Any vehicle with a gross weight rating in excess of eleven thousand seventy-five (11,075) pounds is subject to §1007.044 (11) of this Ordinance.

9. The number of on-site parking spaces shall not be reduced to less than two.

10. In no case shall the permitted home occupation cause to create the need for an additional driveway access to the property.

11. When applicable, all state licensing requirements are satisfactorily met.

12. The applicant shall demonstrate, in a manner found acceptable to the City Engineer that such use is within the capabilities of the property's sewage treatment system or the city's utility system.

13. There shall be no use or outdoor storage of any toxic chemicals or hazardous materials of any type or in any amount not normally found in a residential structure.

14. No motor vehicle repair, paint or body work; commercial preparation of food for service on the premise; business related to or involving explosives, ammunition or weapons; or ambulance or related emergency services shall be permitted as a Home Occupation.

(7) *Requirements – Home Occupation Level A.* All residential dwelling units are eligible for a Home Occupation Level A. In addition to the general provisions outlined in subsection (6) above, businesses must also comply with the following provisions specific to the Home Occupation Level A.

(a) *Requirements.*

1. Permitted home occupation shall be confined to the private dwelling unit, and shall not be conducted in any accessory structure on the premise, including an attached garage.

2. No customers or employees who do not reside at the dwelling may be permitted on the property.

3. If the home occupation will require a delivery service, such as UPS, no more than ten delivery/pickup trips per week shall be permitted.
4. The home occupation may not occupy more than 10% of the structure.
5. All off-street parking generated by the home occupation shall be confined to the driveway.
6. The operation of any wholesale or retail business is prohibited, unless it is conducted entirely by mail or by occasional home invitation.

(8) *Requirements – Home Occupation Level B.* All residential dwelling units are eligible for a Home Occupation Level B. In addition to the general provisions outlined in subsection (6) above, businesses must also comply with the following provisions specific to the Home Occupation Level B.

(a) *Requirements.*

1. Permitted home occupation may be conducted in an accessory structure provided that the use can comply with life safety requirements.
2. A limit of two customers or employees who do not reside at the dwelling may be permitted on the property at one time.
3. Areas accessible to customers or employees shall comply with all applicable life safety codes.
4. Vehicle trips generated by the business shall not exceed 20 in any twenty four hour period.
5. If the home occupation will require a delivery service, such as UPS, no more than ten delivery/pickup trips per week shall be permitted.
6. If the home occupation is to occupy more than 10% of the dwelling, additional building and fire code issues may need to be addressed.
7. All off-street parking generated by the home occupation shall be provided on a hard surface in or adjacent to the driveway.
8. Personal Service Businesses shall be limited to allow the servicing a single customer at a time.
9. Between the hours of 7 PM and 7 AM no customers or employees who do not reside on the site may be at the site and no business operations occurring outside of the main

dwelling are permitted. For the purpose of this section, an attached garage does not count as part of the main dwelling.

- a. The operation of any wholesale or retail business is prohibited, unless:
- b. It is conducted entirely by mail or occasional home invitation;
- c. It is exclusively the sale of products produced on-site; or
- d. It is clearly incidental to a service provided on the site.

(9) *Requirements – Home Occupation Level C.* All properties developed with a dwelling, that are either over 1 acre in size; or zoned Rural, Rural Business Reserve, or Rural Executive; or front on an arterial roadway are eligible to apply for a Conditional Use Permit to allow a Home Occupation Level C. In addition to the general provisions outlined in subsection (6) above, businesses must also comply with the following provisions specific to the Home Occupation Level C.

(a) *Requirements.*

1. Permitted home occupation may be conducted in an accessory structure provided that the use can comply with life safety requirements.
2. A limit of five customers or employees who do not reside at the dwelling may be permitted on the property at one time.
3. Areas accessible to customers or employees shall comply with all applicable life safety codes.
4. Vehicle trips generated by the business shall not exceed 40 in any twenty four hour period.
5. If the home occupation will require a delivery service, such as UPS, no more than fifteen delivery/pickup trips per week shall be permitted.
6. If the home occupation is to occupy more than 10% of the dwelling, additional building and fire code issues may need to be addressed.
7. All off-street parking generated by the home occupation shall be provided on a hard surface in or adjacent to the driveway.
8. Personal Service Businesses shall be limited to allow the servicing of only two customers at a time.

9. Between the hours of 9 PM and 7 AM no customers or employees who do not reside on the site may be at the site and no business operations occurring outside of the main dwelling are permitted. For the purpose of this section, an attached garage does not count as part of the main dwelling.

10. The limited operation of any wholesale or retail business is allowed.

(10) *Additional Limitations and/or Restrictions.*

(a) So as to maintain compatibility with the residential character of the neighborhood and to protect the health, safety and general welfare of the public, the City may impose additional limitations or requirements as it deems necessary.

(b) The City may impose the posting of a security in order to insure compliance with any condition imposed.

(11) *Inspection.* The City of Lino Lakes hereby reserves the right, upon approval of any home occupation permit or Conditional Use Permit for a Home Occupation Level C, to inspect the premises in which the occupation is being conducted to insure compliance with the provisions of this section or any conditions additionally imposed.

(12) *Penalty.* Violation of the home occupation performance standards shall be subject to the enforcement and penalty provisions of §1007.023 of this Ordinance.

February 8, 2017

Katie Larsen, City Planner

City of Lino Lakes

600 Town Center Parkway

Lino Lakes, MN 55014

Dear Ms. Larsen:

This is in response to your request for a written narrative addressing the conditional use permit for home occupancy level C for 180 Pine Street.

With regard to Section 107.047 Home Occupation Permit Level C:

6- Requirements General Provisions

6(a) 1. Business Owner and/or Employee will occupy property

6(a) 2. Business does not intend to substantially change the rural/ residential character of the property.

6(a)3. Business does not intend to create a nuisance or disturb the surrounding residential properties.

6(a) 4. Business does not intend to change the existing look of the property and will only make alterations required by city building code.

6(a) 5. Business intends to meet fire and building codes as required and agrees to acquire building permits as needed.

6(a) 6. Business does not intend for there to be any exterior evidence of home occupation on premises.

6(a) 7. Business does not intend that vehicles exceeding 11,075 pounds used in the home occupation will be parked on the site.

6(a) 8. Does not apply.

6(a) 9. Business does not intend to reduce the number of onsite parking spaces to less than 2.

6(a) 10. Business will not create a need for additional driveway access to the property.

6(a) 11. Business will not require any specific state licensing.

6(a)12. Business owner intends to put in new properly sized sewage treatment system to meet increased capacity needed for additional bathroom.

6(a) 13. Business owner has not intent to store or use hazardous materials not normally found in a residential structure.

6(a) 14. Business owner is not in the motor vehicle repair, paint or bodywork business. Business owner does not prepare food. Business owner does not deal in explosives, ammunitions or weapons. Business owner does not operate an ambulance or related emergency service.

9 (a) Requirements- Home Occupation Level C

1. Business is to be conducted in an existing accessory structure on the property that will meet life/safety requirements.
2. Business owner understands that a limit of 5 employees who do not live on the property are allowed to be on the premises at one time.
3. Business owner understands that all areas accessible to employees or customers shall comply with all applicable safety codes.
4. Business owner understands that vehicle trips generated by the business shall not exceed 40 in any twenty four hour period.
5. Business owner understands that any delivery service needed for home occupation shall be limited to no more than 15 delivery/ pickup trips per week.
6. Home occupation is to be operated in a separate, existing structure on the premises.
7. Business owner understands that all off-street parking generated by home occupation shall be provided a hard surface in or adjacent to the driveway.
8. Business is not a personal service business.
9. Business owner understands that between the hours of 9 PM and 7 AM no customers or employees who do not reside onsite may be at the site, and no business operations occurring outside of the main dwelling are permitted.
10. Business owner understands that limited operation of any wholesale or retail business is allowed.

DESCRIPTION OF BUSINESS:

Mobile Maintenance, Inc. is a handyman service that specializes in the repair and service on manufactured homes on the lots where they are located.

The daily activities would typically include employees coming to office to pick up workorders, load materials, go to the jobsite, provide repair services, and return to site to drop off workorders and pick up assignments for next day. Because no repairs to the homes are done at the office, there is typically no equipment used onsite. The materials that would be stored in the accessory structures would typically be furnace parts, plumbing parts, some lumbar, and other parts associated with the repair of manufactured homes. We do not usually store materials outside. There is typically one employee in the office onsite during the day with other employees coming to the site to pick up their assignments and leaving. We occasionally have customers who want to purchase parts from the office but this is likely one per day, and typically less than that. Personal vehicle trips per day is less than 10.

The number of deliveries and/or pickups is typically trash twice per week and material delivery on Thursdays. Although we are open for business 7 days a week, there are rarely employees at the office on weekends. If we have a dumpster onsite, it would probably be approximately 4 yards, behind the house, between two pole barns, where it cannot be seen from Pine Street. We can build a fence around it if necessary, but it cannot be seen from surrounding properties anyway. The parking area is adjacent to the building as shown on the site plan provided. It is approximately 50 ft wide by 20 ft. There is an existing, natural berm between Pine Street and the parking area in addition to a large tree and several other trees between Pine Street and the area that we plan to use for parking. There could be shrubs, or fencing to further screen the parking area from Pine Street if needed. There are several other areas that could be used for parking but we do not plan to have that many vehicles there anyway. We understand that we would need hard surface, or class 5, in the parking area. The office space would be in one of the existing accessory structures and would be approximately 12x20ft and have an ADA bathroom and a 10x10 break area. The interior finish would be sheetrock and all improvements would be inspected and be up to local code.

Please understand that all of our plans are tentative and may change once we figure out exactly where things will fit and flow.

Sincerely,

Stephen K. Witzel

**PLANNING & ZONING BOARD
AGENDA ITEM 5B**

STAFF ORIGINATOR: Katie Larsen, City Planner

P & Z MEETING DATE: March 8, 2017

REQUEST: Erickson Estates Final Plat

CASE NUMBER: FP2017-001

APPLICANT: Joan and David Erickson
63 White Pine Road
Lino Lakes, MN 55014

REVIEW DEADLINE:

Complete Application Date:	February 15, 2017
60-Day Review Deadline:	April 16, 2017
Environmental Board Meeting:	NA
Park Board Meeting:	NA
Planning & Zoning Board Meeting:	March 8, 2017
Tentative City Council Work Session:	March 27, 2017
Tentative City Council Meeting:	March 27, 2017

BACKGROUND

The applicant has submitted a land use application for Final Plat. The proposed development is a 2 lot single family residential subdivision located at the northwest quadrant of White Pine Road and Baldwin Lake Road. The development contains one 4.38 gross acre parcel and is called Erickson Estates.

This staff report is based on the following submitted information:

- Revised Preliminary Plat and Civil Plan Set prepared by Loucks dated 02/15/17
- Final Plat prepared by Loucks dated 02/15/17
- Conservation Easement Draft
- WMC Buffer Declaration Draft

Previous Council Actions:

- February 13, 2017: Council Resolution No. 17-11 Approving Comprehensive Plan Amendment
- February 13, 2017: Council First Reading of Ordinance No. 01-17 Rezoning Property from R, Rural to R-1X, Single Family Executive
- February 13, 2017: Council Resolution No. 17-12 Approving Preliminary Plat
- February 27, 2017: Council Second Reading of Ordinance No. 01-17 Rezoning Property from R, Rural to R-1X, Single Family Executive

ANALYSIS

Revisions to Preliminary Plat

Resolution No. 17-12 approved the preliminary plat with conditions required prior to approval of the final plat. The conditions have been satisfied unless otherwise noted in this report.

Subdivision Ordinance

Conformity with the Comprehensive Plan and Zoning Code

The Erickson Estates final plat is consistent with the Comprehensive Plan in terms of the Resource Management System, Land Use Plan, Housing Plan, and Transportation Plan.

The property was rezoned to R-1X, Single Family Executive Residential by Ordinance No. 01-17. The proposed development is not considered premature and meets the performance standards of the subdivision and zoning ordinance.

Density and Land Area Calculations

The following chart implements Met Council’s formula for calculating net density.

Gross Area (acres)	4.38
Wetlands & Water Bodies	0.46
Public Parks & Open Space	0.00
Arterial ROW	0.00
Other (Wetland Buffer Conservation Easement)	0.32
Net Area (acres)	3.60
# of Units	2

Gross Density (units/acre)	0.46
Net Density (units/acre)	0.56

Erickson Estates meets the land use goals of low density residential development by creating a 2 lot subdivision with one lot containing the existing home and the second lot intended for the construction of another single family residential home connected to municipal utilities. Although low density residential development allows for 1.6 to 3.9 units per net acre, the proposed 0.46 units per gross acre is more consistent with low density residential development connected to municipal services than urban reserve at 1 unit per 10 acres on private well and septic.

Blocks and Lots

The final plat for Erickson Estates creates Lot 1 and Lot 2, Block 1. There are no outlots. The dedicated right-of-way is 0.83 acres.

Lot Area	Lot 1	Lot 2
Gross Lot Area	2.30 acres	1.25 acres
Wetland & Conservation Easement	0.38 acres	0.40 acres
Net Lot Area	1.92 acres	0.85 acres

It should be noted that due to the proposed angle of the house on Lot 2, any future driveway access to the rear yard is limited.

Streets

A 60 foot wide Highway Easement (shown on the final plat as Road Easement Per Book 269, Page 189) was conveyed to Anoka County for roadway purposes in 1952. This easement exists along the south and west boundary of the subject property and also continues south along Baldwin Lake Road. This Easement will remain in place. It should be noted there is a 10 foot gap between the road easement and property line along the south boundary.

White Pine Road and Baldwin Lake Road are classified as minor collector roads and can adequately handle capacity for one more single family home.

No street improvements are required.

Right-of-way along White Pine Road has been dedicated on the plat. Along the south property line, the right-of-way covers the Road Easement and 10 foot gap. Along the west property line, the right-of-way covers the west 30 feet.

Easements

Standard drainage and utility easements at least 10 feet wide have provided along all lot lines. A 10 foot wide drainage and utility easement is being dedicated over the smaller south wetland area. A Conservation Easement and WMC Buffer Declaration as required by RCWD are being recorded over the wetland management corridor along the north wetland complex.

Storm Water Management and Erosion and Sediment Control

Per the submitted Grading, Drainage & Utility Plan Sheet 2, drainage appears to occur on site. No stormwater management facilities are proposed. The City Engineer’s comment letter dated March 2, 2017 notes some grading revisions are required.

Utilities

Sanitary Sewer

An 8” PVC sanitary sewer main along White Pine Road serves both Lots 1 and 2. A sanitary service is already stubbed in for Lot 2 and 55 White Pine Road. Future development to the west of Lot 1 may require a small lift station due to the depth of the existing sanitary sewer main.

Watermain

A 6” DIP watermain along White Pine Road and Baldwin Lake Road serves both Lots 1 and 2. A water service is already stubbed in for Lot 2 and 55 White Pine Road.

Public Land Dedication

The Park, Natural Open Space, Greenways and Trail System Plan does not indicate a future neighborhood park within the area. The City is requiring cash in lieu of land dedication for the new lot. Fees will be based on the 2016 fee schedule.

Erickson Estates	
1 lot x \$2,500 =	\$2,500

Tree Preservation

The goal of tree preservation is to minimize unnecessary loss of habitat, biodiversity and forest resource and to replace removed trees in areas where tree cover is most critical. The Grading, Drainage & Utility Plan, Sheet 2 identifies the basic use area (BUA), tree protection area and tree removal. The BUA is not located within any environmentally sensitive areas (ESA). Currently, there are 16 trees proposed for removal. Since these

trees are located within the BUA and are outside of the ESA, no tree mitigation is required.

Landscaping

No boulevard trees or open space landscaping are required

Wetlands

A Wetland Delineation Report was prepared by Kjolhaug Environmental Services Company, Inc. on September 20, 2016. A WCA Notice of Decision for Application Number 16-121R was issued by RCWD on October 4, 2016.

The site is located within in the RCWD Wetland Management Corridor (WMC). A Conservation Easement and WMC Buffer Declaration covering an average 50 foot wide wetland buffer along the north wetland will be recorded.

Floodplain

The DFIRM indicates a Zone AE floodplain along the northern portion of the subject site with a base flood elevation of 887. There are no floodplain impacts proposed.

Shoreland Management Overlay

The site is located in a Shoreland Management Overlay district. Baldwin Lake is a classified as a Recreational Lake and has an 883.1 OWHL elevation. A setback of 150 feet from the OHWL is required for all primary and accessory structures. Impervious surface coverage of 30% applies to all lots within the overlay district.

The 150 foot setback from the OHWL does not encroach onto Lot 1 or Lot 2 of the proposed development so is not an issue. Impervious surface coverage will be reviewed with the building permit but given the large size parcels, impervious coverage should not be an issue.

Development Agreement

A Development Agreement shall be drafted by the City, executed by the City and the developer and recorded by the developer.

Title Commitment

The City Attorney reviewed the title commitment and final plat and notes that consents are required by US Bank.

Stormwater Maintenance Agreement

No stormwater management facilities are being constructed therefore, no Stormwater Maintenance Agreement is required.

Findings of Fact

Per Section 1007.057(1), the Planning and Zoning Board shall consider the final plat and the Community Development Department shall forward the Planning and Zoning Board recommendations to the City Council. The following requirements shall be met before consideration of the final plat by the Planning and Zoning Board:

(a) The final plat shall substantially conform to the approved preliminary plat and phasing plan;

The final plat substantially conforms to the approved preliminary plat.

(b) For plats that consist solely of individual single family residential lots, final plat applications for subsequent phases shall not be approved until building permits have been issued for 40% of lots in the preceding phase. This division applies only when the preceding phase consists of 40 or more lots; and

The 2 lot subdivision will be completed in one (1) phase.

(c) Conditions attached to approval of the preliminary plat shall be substantially fulfilled or secured by the development agreement, as appropriate.

Resolution No. 17-12 approved the preliminary plat with conditions required prior to approval of the Final Plat. The conditions have been satisfied unless otherwise noted in this report. A Development Agreement shall be required.

RECOMMENDATION

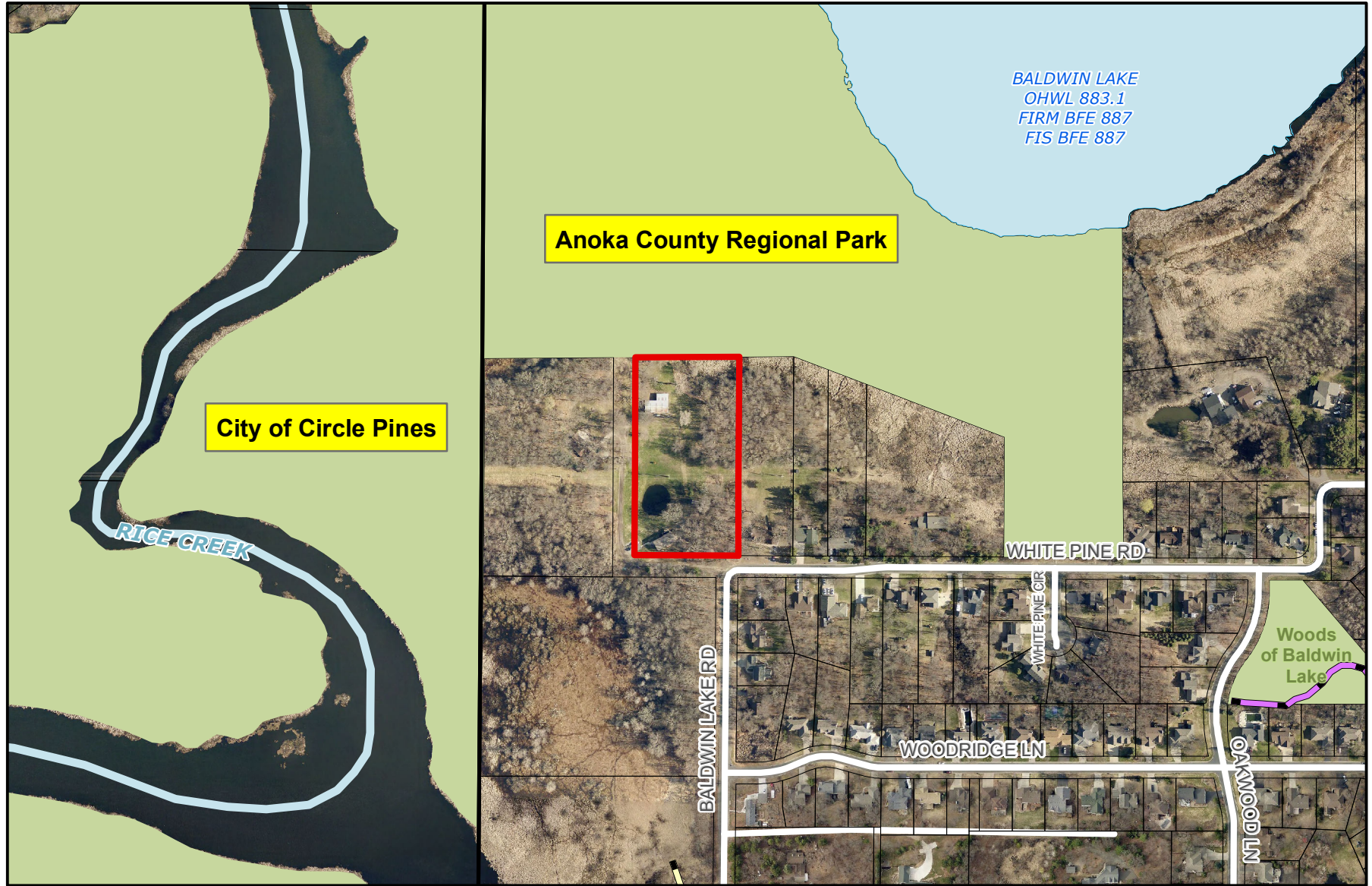
Staff recommends approval of the Erickson Estates final plat subject to the following conditions:

1. A Development Agreement shall be drafted by the City, executed by the City and the developer and recorded by the developer.
2. Easement (Conservation Easement):
 - a. The document shall be in favor of both RCWD and City of Lino Lakes, a political subdivision of the State of Minnesota.
 - b. The legal description shall describe the actual boundary of the easement.
3. Declaration (WMC Buffer Declaration):
 - a. The document shall be in favor of both RCWD and City of Lino Lakes, a political subdivision of the State of Minnesota.
4. Comments from the City Engineer Letter dated March 2, 2017 shall be addressed.

5. Comments from the Environmental Coordinator letter dated March 2, 2017 shall be addressed.
6. Sheet 1, Preliminary Plat:
 - a. Please note on the preliminary plat that the angle of the proposed house on Lot 2 limits any future driveway access to the rear yard.
7. Final Plat:
 - a. The Planning Commission signature block shall be removed.
 - b. White Pine Rd shall be spelled out Road.
 - c. The delineated wetland boundary shall be shown.
 - d. Consents are required by US Bank.

ATTACHMENTS

1. Site Location Map
2. City Engineer Letter dated March 2, 2017
3. Environmental Coordinator Letter dated March 2, 2017
4. Revised Final Plans
5. Final Plat



Site Location Map

63 White Pine Road





Memorandum

To: *Katie Larsen, City Planner*

From: *Diane Hankee PE, City Engineer*

Date: *March 2, 2017*

Re: *Erickson Estates Preliminary Plat
Plan Review
WSB Project No. 2988-430*

We have reviewed the Final Plat documents submitted on February 15, 2017 for Erickson Estates, Lino Lakes, MN prepared by Loucks and Associates. The following are our review comments that should be responded to in writing by the applicant.

GRADING, EROSION AND SEDIMENT CONTROL

1. The City's maximum allowable yard slope is 1:3 for maintenance. The grading plan has yard slopes exceeding this requirement. The applicant shall submit a revised plan meeting this requirement.
2. The east side yard drainage has been contained on site. The west side yard drainage also needs be contained on site or a drainage and utility easement will be required across Lot 1. The applicant shall submit a revised plan meeting this requirement.

STORMWATER MANAGEMENT

1. No additional comments.

FLOODPLAIN

1. No additional comments.

WETLANDS

1. A WMC Buffer Declaration and Conservation Easement have been submitted for RCWD review.

ENVIRONMENTAL

1. No additional comments.

TRANSPORTATION

1. No additional comments.

WATER SYSTEM

1. No additional comments.

SANITARY SEWER SYSTEM

1. No additional comments.

STORM SEWER SYSTEM

1. No additional comments.

DEVELOPMENT AGREEMENT

1. Required with the final plat.

PERMITS

1. Rice Creek Watershed CAPROC has been received.

If you or the applicant has any questions regarding these comments, please contact Diane Hankee at (651) 982-2430 or diane.hankee@ci.lino-lakes.mn.us.



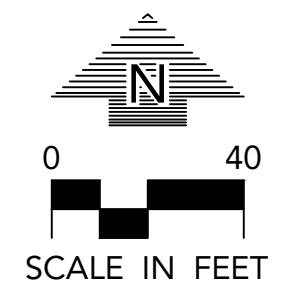
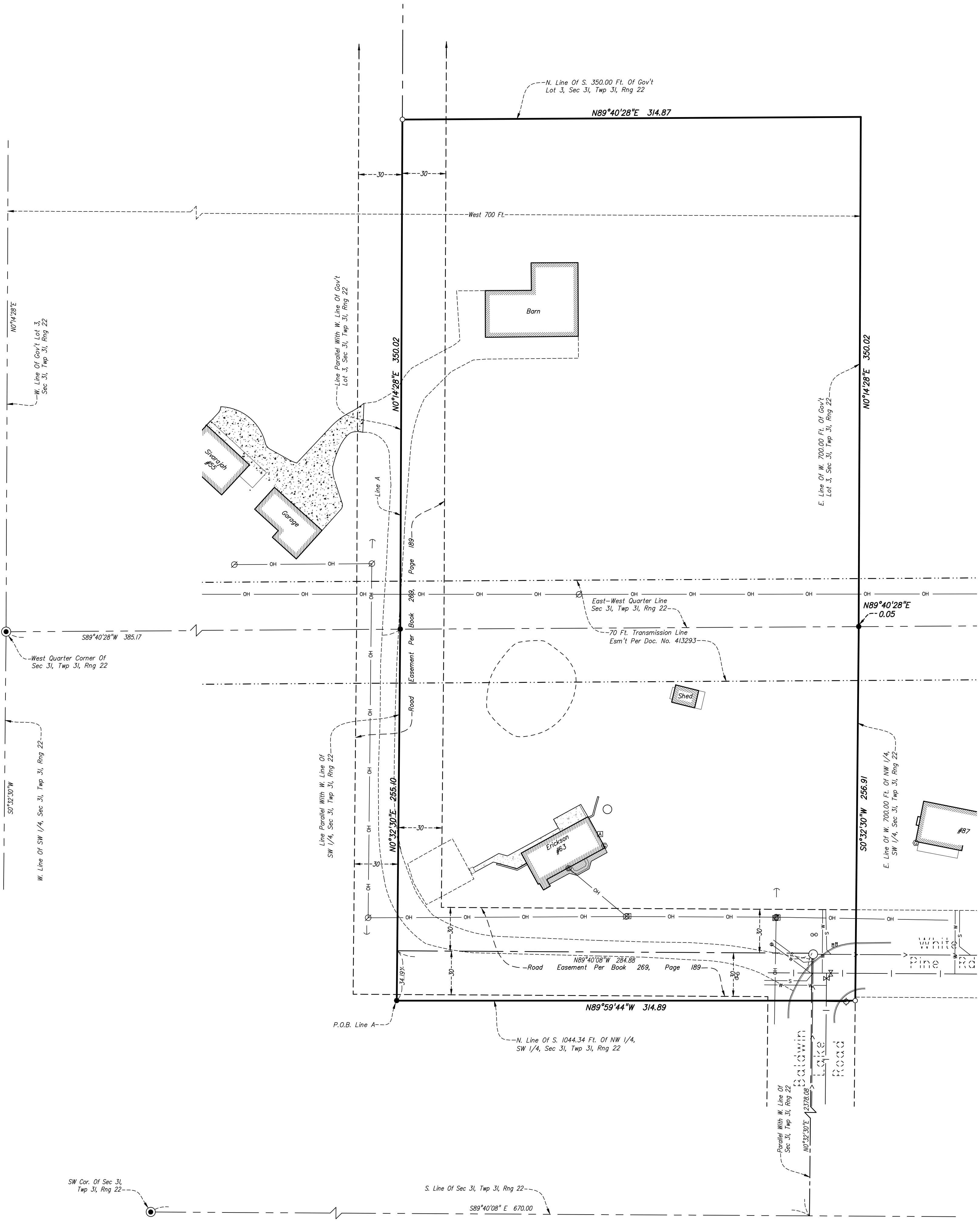
Memo

To: Katie Larsen
From: Marty Asleson
Date: March 2, 2017
Re: Erickson Estates Final Comments

The only thing I can see that's left is the City of Lino Lakes should also be named in the Conservation Easement Document for Erickson Estates.

Everything else appears to be alright.

Plotted: 02/15/2017 8:40 AM W:\2015\15615\CADD\DATA\SURVEYS\15615-MASTER



- DENOTES 1/2 INCH X 14 INCH IRON MONUMENT SET, MARKED "RLS 16099"
- △ DENOTES "PK NAIL" SET
- DENOTES IRON MONUMENT FOUND
- ⦿ DENOTES FOUND CAST IRON MONUMENT

SURVEY LEGEND

○	SANITARY MANHOLE	—>—	SANITARY SEWER
⊙	WELL	— —	WATERMAIN
⊕	HYDRANT	—S—	SANITARY SEWER SERVICE
⊗	GATE VALVE	—W—	WATER SERVICE
⊙	POWER POLE	—CTV—	UNDERGROUND CABLE TV
⊕	GUY WIRE	—ELE—	UNDERGROUND ELECTRIC
⊕	SIGN	—G—	UNDERGROUND GAS
⊕	A/C UNIT	—TEL—	UNDERGROUND TELEPHONE
⊕	CABLE TV PEDESTAL	—OH—	OVERHEAD UTILITY
⊕	TELEPHONE PEDESTAL	—	RETAINING WALL
⊕	ELECTRIC METER	—	CONCRETE CURB
⊕	GAS METER	▨	CONCRETE
⊕	MAILBOX	▩	PAVERS

LEGAL DESCRIPTION:

That part of the following described property which lies East of Line A described herein:
 The South 350.00 feet of the west 700.00 feet of Government Lot 3, and that part of the west 700.00 feet of the Northwest Quarter of the Southwest Quarter which lies North of the south 1044.34 feet thereof, all in Section 31, Township 31, Range 22, Anoka County, Minnesota.

Line A
 Commencing at a point on the South line of Section 31, Township 31, Range 22, Anoka County, Minnesota, distant 670.00 feet East of the Southwest corner of said Section 31, thence North and parallel with the West line of said Section 31 a distance of 2378.08 feet; thence West and parallel with the south line of said Section 31 a distance of 284.88 feet; thence South and parallel with said West line a distance of 34.19 feet to a point on the North line of the South 1044.34 feet of the Northwest Quarter of the Southwest Quarter of said Section 31, which is the point of beginning of Line A to be described; thence North parallel with the West line of the southwest Quarter of said Section 31 to a point on the East and West Quarter line of said Section 31; thence North parallel with the west line of Government Lot 3 of said Section 31 to a point on the North line of the South 350.00 feet of said Government Lot 3 and there terminating.

Abstract Property

ERICKSON ESTATES

LINO LAKES, MN

Dave & Joan Erickson

63 White Pine Road
 Lino Lakes, MN 55014

LOUCKS

PLANNING
 CIVIL ENGINEERING
 LAND SURVEYING
 LANDSCAPE ARCHITECTURE
 ENVIRONMENTAL

7200 Hemlock Lane, Suite 300
 Maple Grove, MN 55369
 763.424.5505
 www.loucksinc.com

CADD QUALIFICATION

CADD files prepared by the Consultant for this project are instruments of the Consultant professional services for use solely with respect to this project. These CADD files shall not be used on other projects, for additions to this project, or for completion of this project by others without written approval by the Consultant. With the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for information and reference only. All intentional or unintentional revisions, additions, or deletions to these CADD files shall be made at the full risk of that party making such revisions, additions or deletions and that party shall hold harmless and indemnify the Consultant from any & all responsibilities, claims, and liabilities.

SUBMITTAL/REVISIONS

02/15/17 CITY SUBMITTAL

PROFESSIONAL SIGNATURE

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Paul J. McGinley
 License No. Paul J. McGinley - TLS 16099
 Date 2/15/17

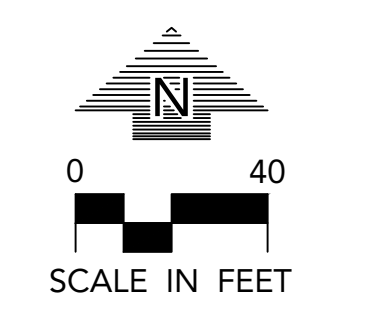
QUALITY CONTROL

Loucks Project No. 15-615
 Project Lead PJM
 Drawn By SFM
 Checked By PJM
 Field Crew DP/BH

VICINITY MAP

CERTIFICATE OF SURVEY

1 of 1



BENCHMARK:
IN BRIDGE RAILING IN SE. COR. OF CO. RD. J
(85TH AVE. NE) BRIDGE NO. 02571 OVER
I-35W, 0.5 MILE N. OF JUNCTION OF I-35W
& TRUNK HWY 10, 20 FT S. OF CO. RD. J,
7.0 FT. N. OF BRIDGE RAILING
ELEV=933.76 FT. (NGVD'29)

- DENOTES 1/2 INCH X 1/4 INCH IRON MONUMENT SET, MARKED "RLS 16099"
- △ DENOTES "PK NAIL" SET
- DENOTES IRON MONUMENT FOUND
- ⊙ DENOTES FOUND CAST IRON MONUMENT

DENOTES WETLAND AS DELINEATED BY KUJLHAUG ENVIRONMENTAL SERVICES COMPANY AND LOCATED BY LOUCKS ON AUG. 2, 2016

SURVEY LEGEND

AS ASH	○ SANITARY MANHOLE	—>— SANITARY SEWER
BO BOXELDER	⊗ WELL	— — WATERMAIN
EL ELM	◊ HYDRANT	—S— SANITARY SEWER SERVICE
IR IRONWOOD	× GATE VALVE	—W— WATER SERVICE
MA MAPLE	⊗ POWER POLE	—CTV— UNDERGROUND CABLE TV
OA OAK	← GUY WIRE	—ELE— UNDERGROUND ELECTRIC
PI PINE	⊙ SIGN	—GAS— UNDERGROUND GAS
TR TREE (GEN)	+ SPOT ELEVATION	—TEL— UNDERGROUND TELEPHONE
TC TOP OF CURB	⊠ A/C UNIT	—OH— OVERHEAD UTILITY
TW TOP OF WALL	⊠ CABLE TV PEDESTAL	—RE— RETAINING WALL
THSD ELEV @ THRESHOLD	⊠ TELEPHONE PEDESTAL	—CON— CONCRETE CURB
CONIFEROUS TREE	⊗ ELECTRIC METER	—CON— CONCRETE
DECIDUOUS TREE	⊗ GAS METER	—PAV— PAVERS
	⊠ MAILBOX	—672— CONTOUR

LEGAL DESCRIPTION:

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Abstract Property

FLOOD ZONE DESIGNATION:

This property is contained in Zone AE (Base Flood Elevations Determined) and (Zone X (areas determined to be outside the 0.2% annual chance floodplain) per Flood Insurance Rate Map 27003C0344E, Community Panel No. 270015 0344 E, effective date of December 16, 2015.

ERICKSON ESTATES

LINO LAKES, MN

Dave & Joan Erickson

63 White Pine Road
Lino Lakes, MN 55014

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SUBMITTAL/REVISIONS

2/15/17 CITY SUBMITTAL

PROFESSIONAL SIGNATURE

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Paul J. McKinley
Paul J. McKinley - TLS

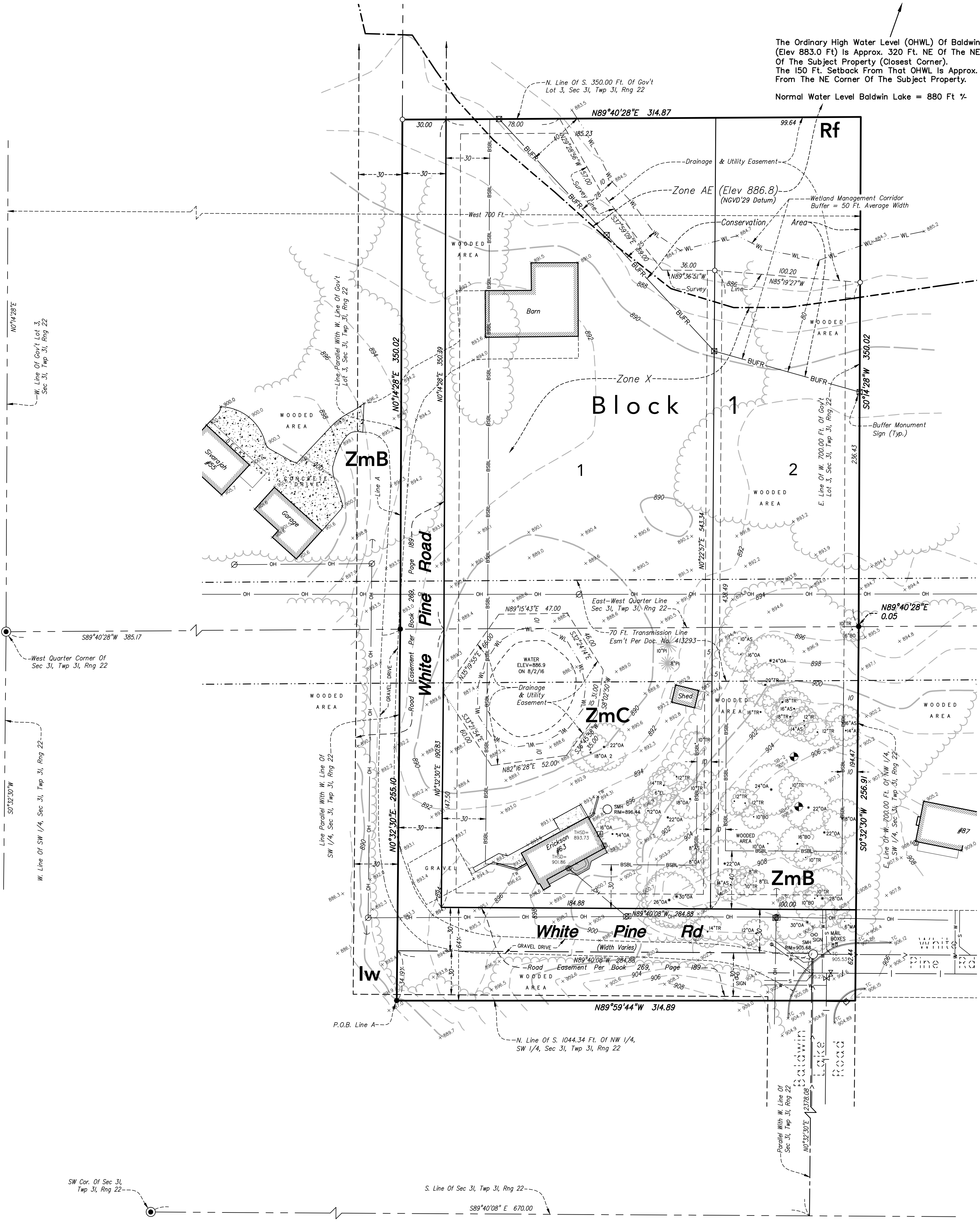
License No. 16099
Date 2/15/17

QUALITY CONTROL

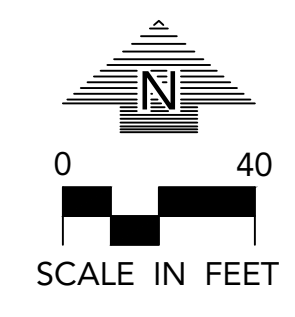
Loucks Project No. 15-615
Project Lead PJM
Drawn By SFM
Checked By PJM
Field Crew DP/BH

VICINITY MAP

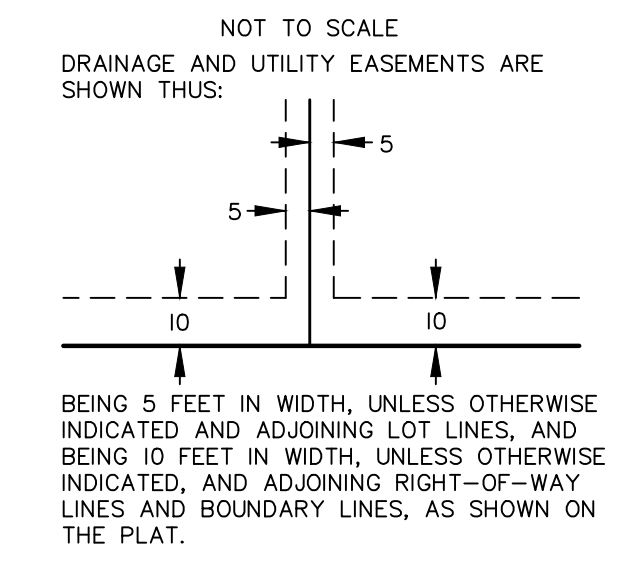
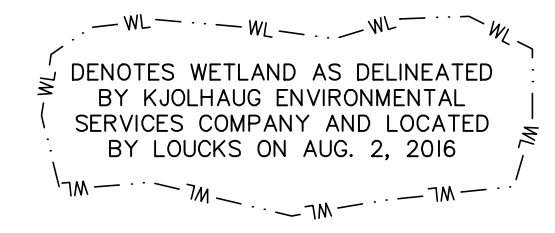
RESOURCE INVENTORY / EXISTING CONDITIONS PLAN



The Ordinary High Water Level (OHWL) Of Baldwin Lake (Elev 883.0 Ft) Is Approx. 320 Ft. NE Of The NE Corner Of The Subject Property (Closest Corner). The 150 Ft. Setback From That OHWL Is Approx. 150 Ft. From The NE Corner Of The Subject Property. Normal Water Level Baldwin Lake = 880 Ft +/-



- DENOTES 1/2 INCH X 14 INCH IRON MONUMENT SET, MARKED "RLS 16099"
△ DENOTES "PK NAIL" SET
● DENOTES IRON MONUMENT FOUND
⊙ DENOTES FOUND CAST IRON MONUMENT



BENCHMARK: IN BRIDGE RAILING IN SE COR. OF CO. RD J (85TH AVE. NE) BRIDGE NO. 02571 OVER I-35W, 0.5 MILE N. OF JUNCTION OF I-35W & TRUNK HWY 10, 20 FT S. OF CO. RD. J, 7.0 FT. N. OF BRIDGE RAILING. ELEV=933.76 FT. (NGVD 29)

SURVEY LEGEND

Table with 3 columns: Symbol, Description, and Symbol. Includes items like ASH, BOXELDER, ELM, IRONWOOD, MAPLE, OAK, PINE, TREE (GEN), TOP OF CURB, TOP OF WALL, THSD, CONIFEROUS TREE, DECIDUOUS TREE, SANITARY MANHOLE, WELL, HYDRANT, GATE VALVE, POWER POLE, GUY WIRE, SIGN, SPOT ELEVATION, A/C UNIT, CABLE TV PEDESTAL, TELEPHONE PEDESTAL, ELECTRIC METER, GAS METER, MAILBOX, SANITARY SEWER, WATERMAIN, SANITARY SEWER SERVICE, WATER SERVICE, UNDERGROUND CABLE TV, UNDERGROUND ELECTRIC, UNDERGROUND GAS, UNDERGROUND TELEPHONE, OVERHEAD UTILITY, RETAINING WALL, CONCRETE CURB, CONCRETE, PAVERS, CONTOUR, BUILDING SETBACK, WETLAND BUFFER SETBACK.

PRELIMINARY PLAT GENERAL NOTES

SURVEYOR: Loucks 7200 Hemlock Lane, Suite 300 Maple Grove, MN 55330 763-424-5505
OWNER/DEVELOPER: Dave & Joan Erickson 63 White Pine Road Lino Lakes, MN 55014 651-373-3467
LEGAL DESCRIPTION: That part of the following described property which lies East of Line A described herein: The South 350.00 feet of the west 700.00 feet of Government Lot 3, and that part of the west 700.00 feet of the Northwest Quarter of the Southwest Quarter which lies North of the south 1044.34 feet thereof, all in Section 31, Township 31, Range 22, Anoka County, Minnesota.

Abstract Property
DATE OF PREPARATION: February 2017
EXISTING ZONING: Zone (R) Rural
CURRENT LAND USE: Residential (Urban Reserve)
PROPOSED ZONING: Zone (R-1X) Single Family Executive Residential
PROPOSED LAND USE: Residential (Low Density Residential)
AREAS: Proposed Lot 1 = 100,173 +/- Sq.Ft. or 2.30 +/- Acres
Proposed Lot 2 = 54,466 +/- Sq.Ft. or 1.25 +/- Acres
R.O.W. Dedication = 36,175 +/- Sq.Ft. or 0.83 +/- Acres
Total Plat Area = 190,814 +/- Sq.Ft. or 4.38 +/- Acres

BUILDABLE ACREAGE: Lot 1: Gross: 100,173 +/- SF or 2.30 +/- Ac. Wetlands & Conservation: 16,628 +/- SF or 0.38 +/- Ac. Net: 83,545 +/- SF or 1.92 +/- Ac. Lot 2: Gross: 54,466 +/- SF or 1.25 +/- Ac. Wetlands & Conservation: 17,431 +/- SF or 0.40 +/- Ac. Net: 37,035 +/- SF or 0.85 +/- Ac.
PROPOSED BUILDING SETBACKS: Front = 30 Feet and 40 Feet Side = 10 Feet Rear = 30 Feet

FLOOD ZONE DESIGNATION: This property is contained in Zone AE (Base Flood Elevations Determined) and (Zone X (areas determined to be outside the 0.2% annual chance floodplain) per Flood Insurance Rate Map 27003C0344E, Community Panel No. 270015 0344 E, effective date of December 16, 2015.

ERICKSON ESTATES LINO LAKES, MN Dave & Joan Erickson 63 White Pine Road Lino Lakes, MN 55014

LOUCKS PLANNING CIVIL ENGINEERING LAND SURVEYING LANDSCAPE ARCHITECTURE ENVIRONMENTAL 7200 Hemlock Lane, Suite 300 Maple Grove, MN 55369 763.424.5505 www.loucksinc.com

CADD QUALIFICATION CADD files prepared by the Consultant for this project are instruments of the Consultant professional services for use solely with respect to this project. These CADD files shall not be used on other projects, for additions to this project, or for completion of this project by others without written approval by the Consultant. With the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for information and reference only. All intentional or unintentional revisions, additions, or deletions to these CADD files shall be made at the full risk of that party making such revisions, additions or deletions and that party shall hold harmless and indemnify the Consultant from any & all responsibilities, claims, and liabilities.

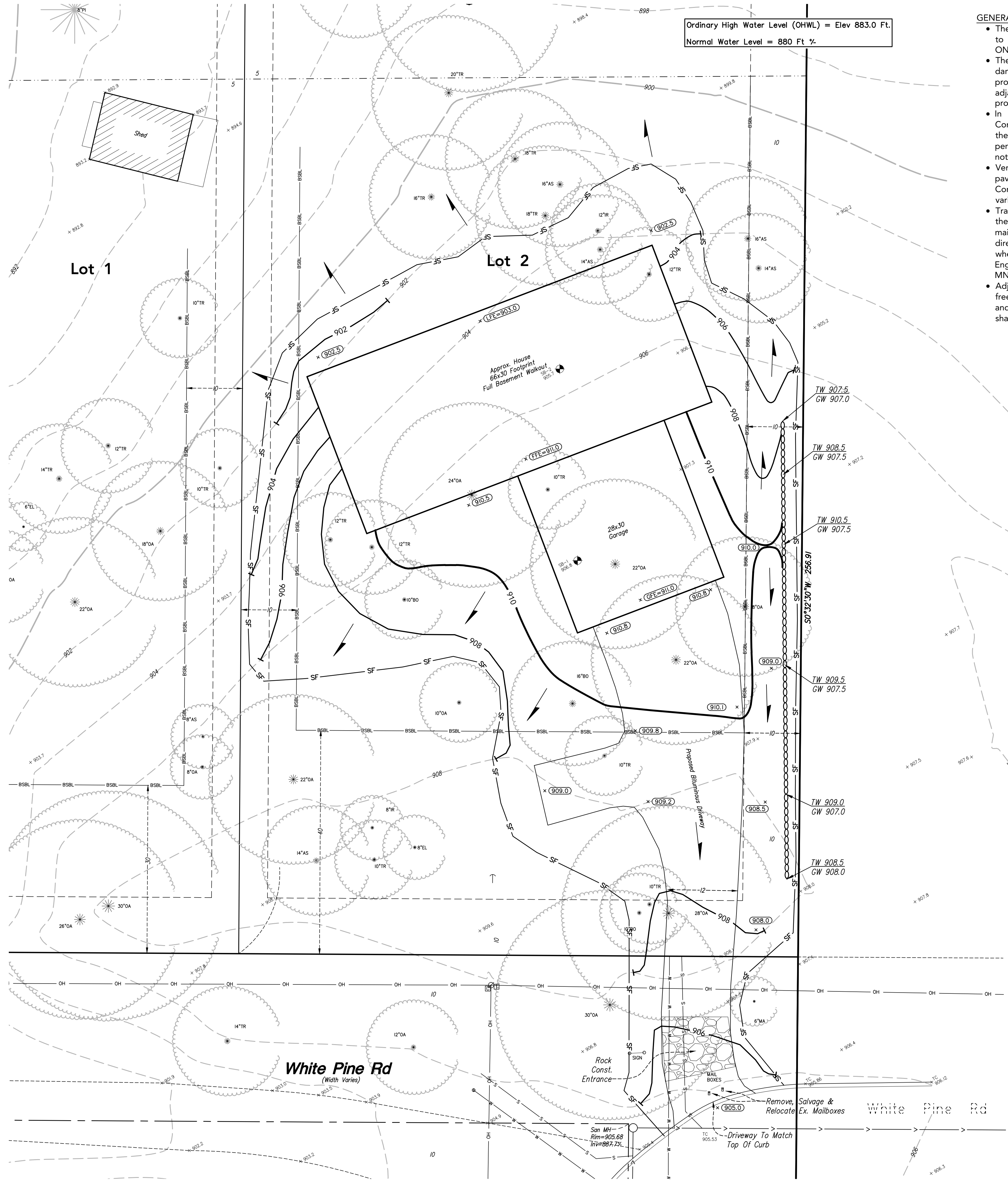
SUBMITTAL/REVISIONS 2/15/17 CITY SUBMITTAL

PROFESSIONAL SIGNATURE I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota. Paul J. McGinley - RLS

License No. 16099 Date 2/15/17

QUALITY CONTROL Loucks Project No. 15-615 Project Lead PJM Drawn By SFM Checked By PJM Field Crew DP/BH VICINITY MAP

PRELIMINARY PLAT 1 of 1



GENERAL SITE WORK NOTES

- The Contractor shall verify the location of all underground utilities prior to beginning any construction activities by calling GOPHER STATE ONE-CALL (1-612-454-0002 Metro Area, 1-800-252-1166 Out State).
- The Contractor shall take all precautions necessary to avoid property damage to adjacent properties during the construction phase of this project. The Contractor will be held responsible for any damages to adjacent properties occurring during the construction phase of this project.
- In accordance with generally accepted construction practices the Contractor will be solely and completely responsible for conditions on the job site including safety of all persons and property during the performance of the work. This requirement will apply continuously and not be limited to normal working hours.
- Verify horizontal location and elevation where a connection to existing pavement, structure, pipe or other site feature is to be made. The Contractor shall immediately notify the Engineer of any discrepancies or variations from the plans.
- Traffic control shall be provided as necessary and shall be incidental to the project. The Contractor shall be responsible for providing and maintaining traffic control devices such as barricades, warning signs, directional signs, flagmen and lights to control the movement of traffic where necessary. Placement of these devices shall be approved by the Engineer prior to placement. All traffic control devices shall conform to MN Manual on Uniform Traffic Control Devices, latest edition.
- Adjacent streets, alleys and parking areas must be swept to keep them free of tracked soil and sediment. Contractor must monitor conditions and sweep as needed or within 24 hours of notice by the City. Sweeping shall be by a mechanical pick-up type sweeper.

SITE REMOVAL NOTES

- The Contractor shall clear & grub as shown on plans. This includes the removal of trees, brush, stumps, roots and other plant life as noted. All removals shall be disposed of off-site in a manner meeting all applicable regulations.
- All removal items shall become the property of the Contractor unless specified otherwise and shall be disposed of off-site in a manner meeting all applicable regulations.
- The Contractor shall be responsible for the removal and replacement of all signs, mailboxes, etc.
- Any damage to items not noted to be removed shall be the responsibility of the Contractor and shall be repaired or replaced to original condition with no additional compensation.

GRADING & EROSION CONTROL NOTES

- The Contractor along with the Owner shall obtain all necessary permits and approvals from governing authorities, including any City permits and the Watershed District permit.
- Install erosion control and tree protection measures before beginning site grading activities. Some erosion controls such as bale checks may be installed as grading occurs in specific areas. Maintain erosion controls throughout the grading process and remove when turf has been established.
- The area to be disturbed shall be minimized and turf shall be established within the time required.
- All construction entrances shall be surfaced with crushed rock, as detailed.
- Contractor shall strip, stockpile and re-spread existing on-site topsoil to provide a uniform thickness on all disturbed areas to be sodded or seeded.
- Grades shown are finished grades.
- Final grading tolerances are +/- 0.2 feet of finish grades.
- Slopes at 3:1 or steeper, and/or where indicated on the plan shall be seeded and have a wood fiber blanket installed or may be hydroseeded with tackifier mulch.
- All spot elevations represent finished surface grades at gutter line, face of building or edge of pavement unless noted otherwise.

PROPOSED LEGEND

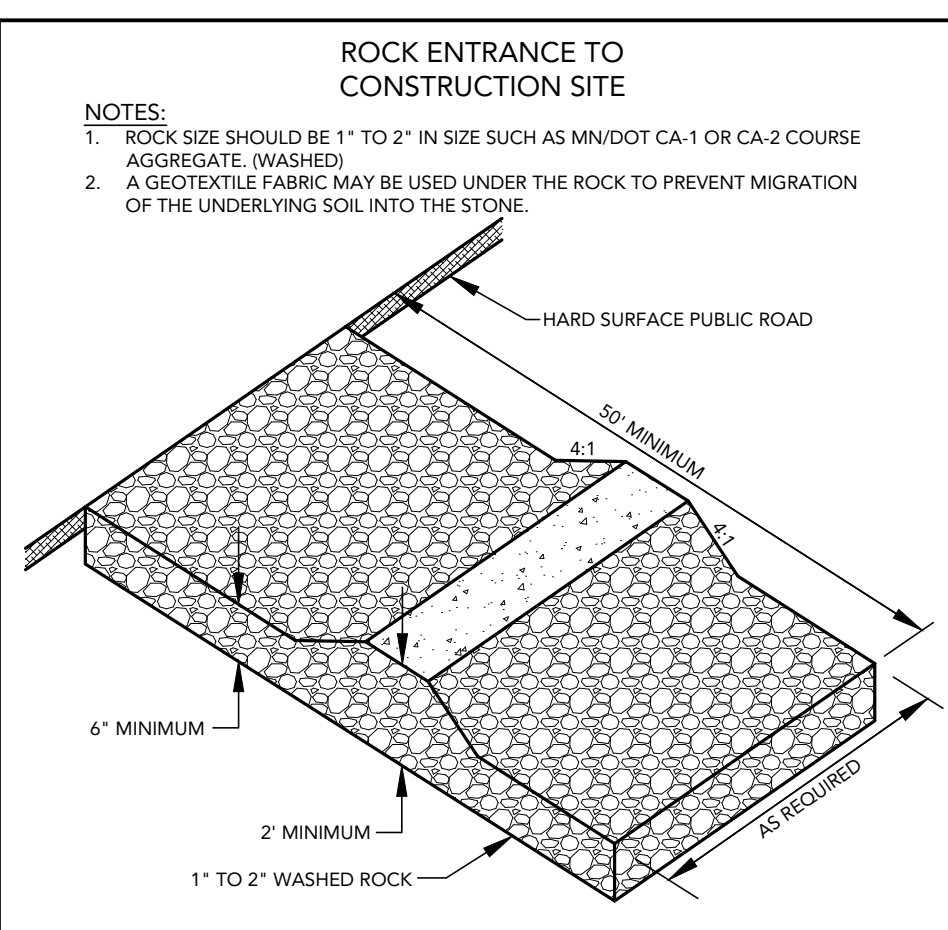
- 908.8 SPOT ELEVATION
- FFE FIRST FLOOR ELEVATION
- GFE GARAGE FLOOR ELEVATION
- LFE LOWEST FLOOR ELEVATION
- 908 CONTOUR
- SF SILT FENCE
- RETAINING WALL
- DRAINAGE ARROWS



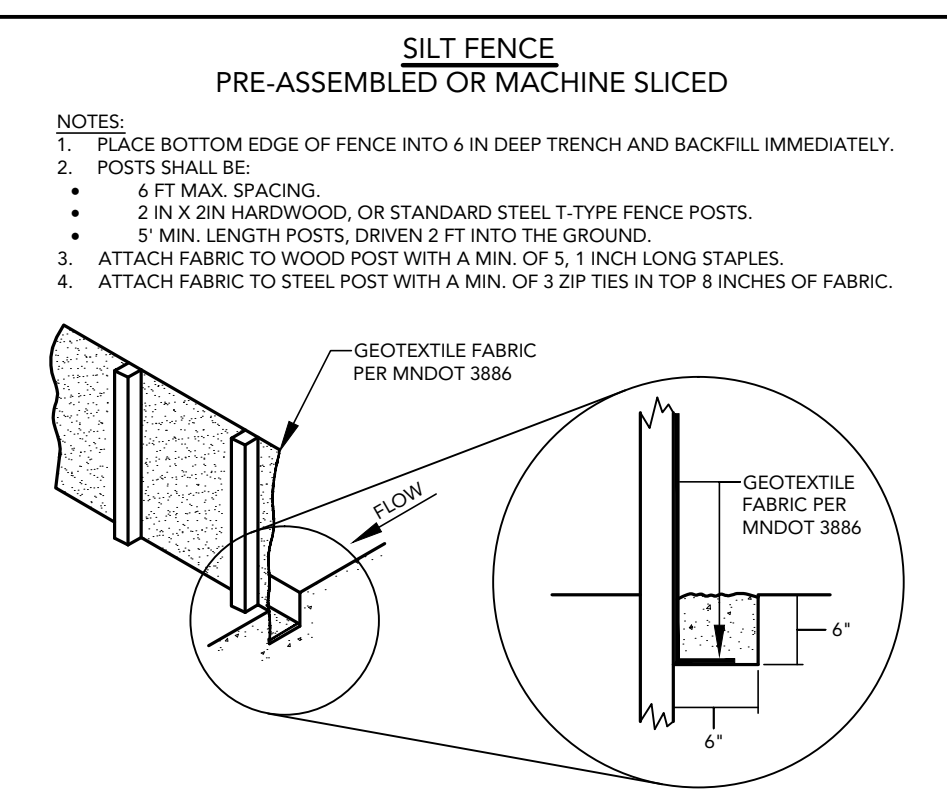
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IN BRIDGE RAILING IN SE COR. OF CO. RD. J
(85TH AVE. NE) BRIDGE NO. 02571 OVER
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& TRUNK HWY 10, 20 FT. S. OF CO. RD. J,
7.0 FT. N. OF BRIDGE RAILING
ELEV=933.76 FT. (NGVD'29)

EXISTING SURVEY LEGEND

- | | | |
|-----------------------|----------------------|-----------------------------|
| AS ASH | ○ SANITARY MANHOLE | —>— SANITARY SEWER |
| BO BOXELDER | ⊗ WELL | — — WATERMAIN |
| EL ELM | ⊕ HYDRANT | —S— SANITARY SEWER SERVICE |
| IR IRONWOOD | ⊗ GATE VALVE | —W— WATER SERVICE |
| MA MAPLE | ⊗ POWER POLE | —CTV— UNDERGROUND CABLE TV |
| OA OAK | ← GUY WIRE | —ELE— UNDERGROUND ELECTRIC |
| PI PINE | ⊕ SIGN | —GAS— UNDERGROUND GAS |
| TR TREE (GEN) | ⊕ SPOT ELEVATION | —TEL— UNDERGROUND TELEPHONE |
| TC TOP OF CURB | ⊕ A/C UNIT | —OH— OVERHEAD UTILITY |
| TW TOP OF WALL | ⊕ CABLE TV PEDESTAL | —RETAINING WALL |
| THSD ELEV @ THRESHOLD | ⊕ TELEPHONE PEDESTAL | —CONCRETE CURB |
| CONIFEROUS TREE | ⊕ ELECTRIC METER | —PAVERS |
| DECIDUOUS TREE | ⊕ GAS METER | —g72 CONTOUR |
| | ⊕ MAILBOX | —BSBL BUILDING SETBACK |



DISTURBED AREA:
Area Within Silt Fence Boundary = 9,322 +/- Sq.Ft. or 0.21 +/- Acres
Proposed New Impervious Area = 4,206 +/- Sq.Ft. or 0.10 +/- Acres



ERICKSON ESTATES

LINO LAKES, MN

Dave & Joan Erickson

63 White Pine Road
Lino Lakes, MN 55014

LOUCKS

PLANNING
CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE
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7200 Hemlock Lane, Suite 300
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SUBMITTAL/REVISIONS

2/15/17 CITY SUBMITTAL

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

W. McLaughlin - PE 20383

QUALITY CONTROL

Loucks Project No. 15-615
Project Lead PJM
Drawn By SFM
Checked By TWM
Review Date 2/13/17

PRELIMINARY GRADING, DRAINAGE & EROSION CONTROL

1 of 1



SCALE IN FEET

BENCHMARK:
IN BRIDGE RAILING IN SE COR. OF CO. RD J
(85TH AVE. NE) BRIDGE NO. 02571 OVER
1-35W, 0.5 MILE N. OF JUNCTION OF 1-35W
& TRUNK HWY 10, 20 FT S. OF CO. RD. J,
7.0 FT. N. OF BRIDGE RAILING
ELEV=933.76 FT. (NGVD'29)

PROPOSED LEGEND

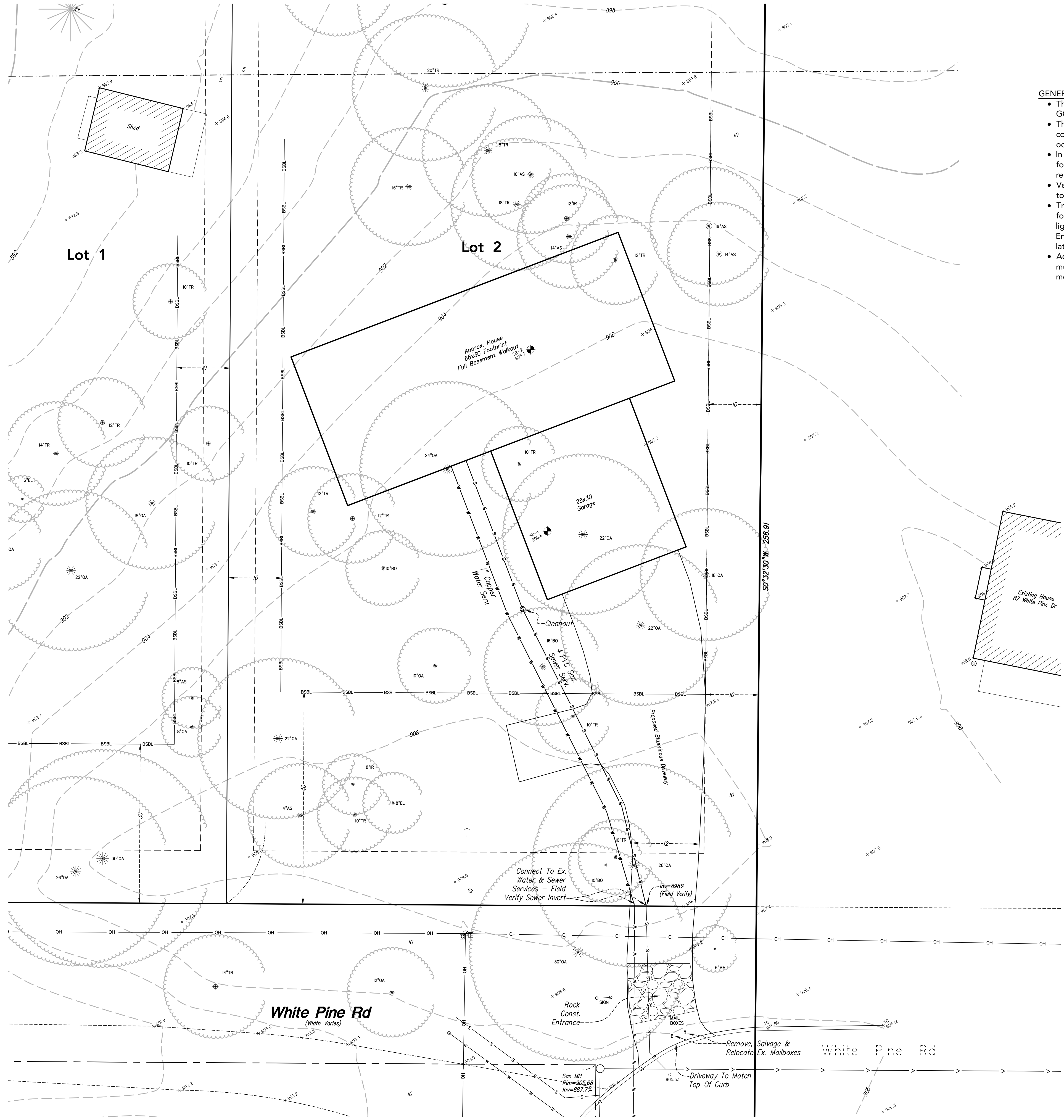
- S — SAN. SEWER SERVICE
- W — WATER SERVICE
- ⊕ SAN. SEWER CLEANOUT

EXISTING SURVEY LEGEND

- | | | |
|-----------------------|----------------------|-------------------------------|
| AS ASH | ○ SANITARY MANHOLE | — S — SANITARY SEWER |
| BO BOXELDER | ⊕ WELL | — I — WATERMAIN |
| EL ELM | ⊕ HYDRANT | — S — SANITARY SEWER SERVICE |
| IR IRONWOOD | ⊕ GATE VALVE | — W — WATER SERVICE |
| MA MAPLE | ⊕ POWER POLE | — CTV — UNDERGROUND CABLE TV |
| OA OAK | — GUY WIRE | — ELE — UNDERGROUND ELECTRIC |
| PI PINE | ⊕ SIGN | — GAS — UNDERGROUND GAS |
| TR TREE (GEN) | ⊕ SPOT ELEVATION | — TEL — UNDERGROUND TELEPHONE |
| TC TOP OF CURB | ⊕ A/C UNIT | — OH — OVERHEAD UTILITY |
| TW TOP OF WALL | ⊕ CABLE TV PEDESTAL | — RETAINING WALL |
| THSD ELEV @ THRESHOLD | ⊕ TELEPHONE PEDESTAL | — CONCRETE CURB |
| CONIFEROUS TREE | ⊕ ELECTRIC METER | — CONCRETE |
| DECIDUOUS TREE | ⊕ GAS METER | — PAVERS |
| | ⊕ MAILBOX | — CONTOUR |

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SUBMITTAL/REVISIONS

2/15/17 CITY SUBMITTAL

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Licens. No. 20383
Date

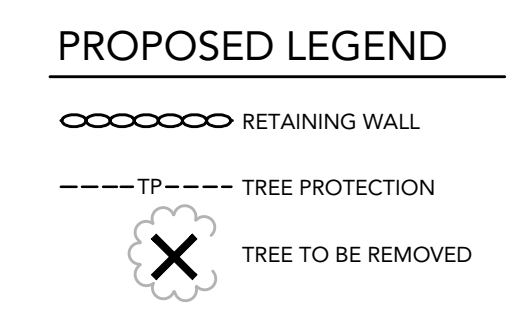
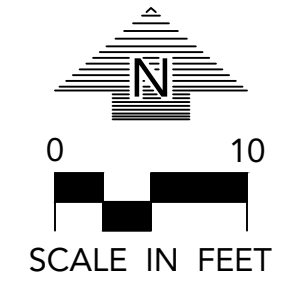
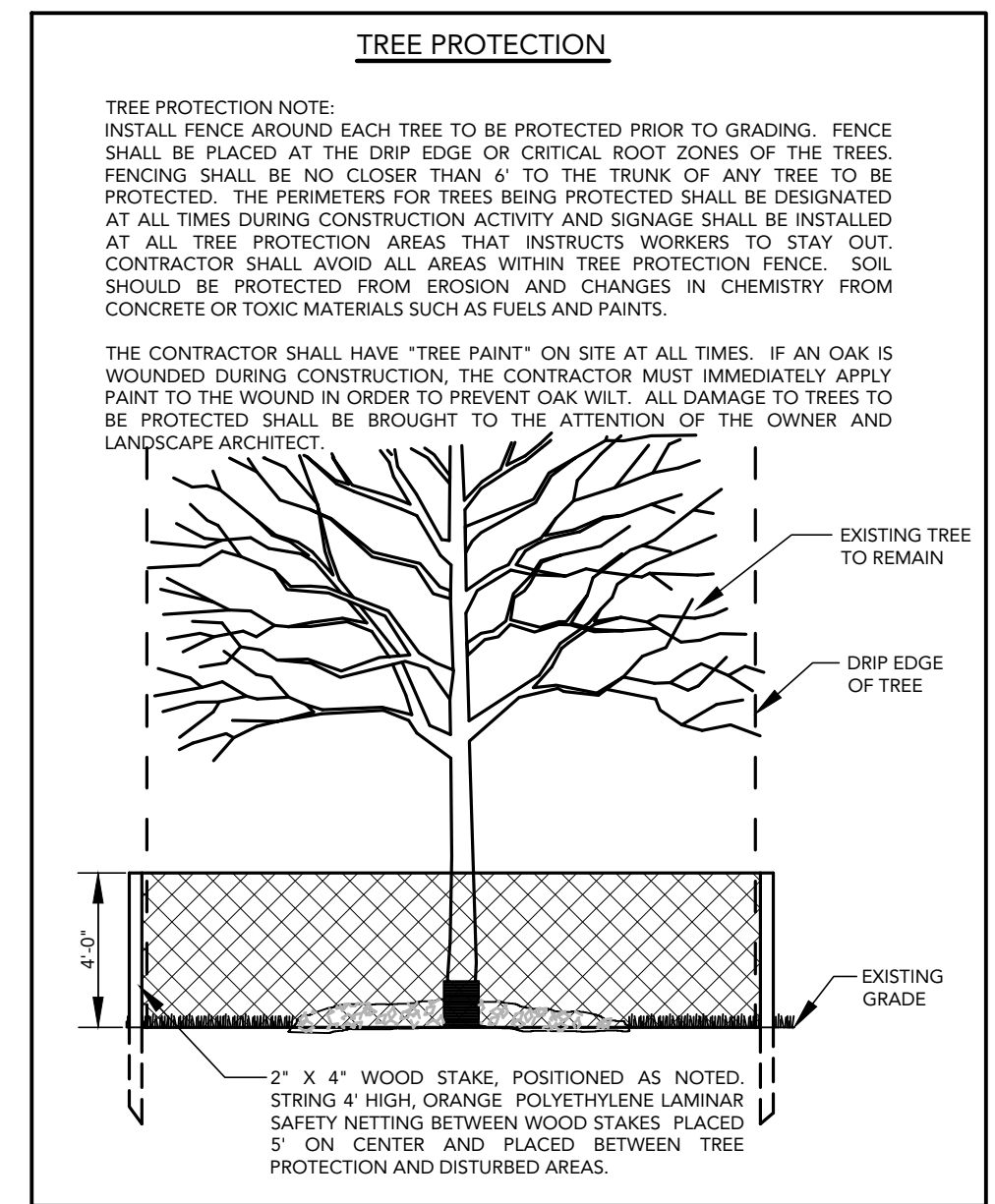
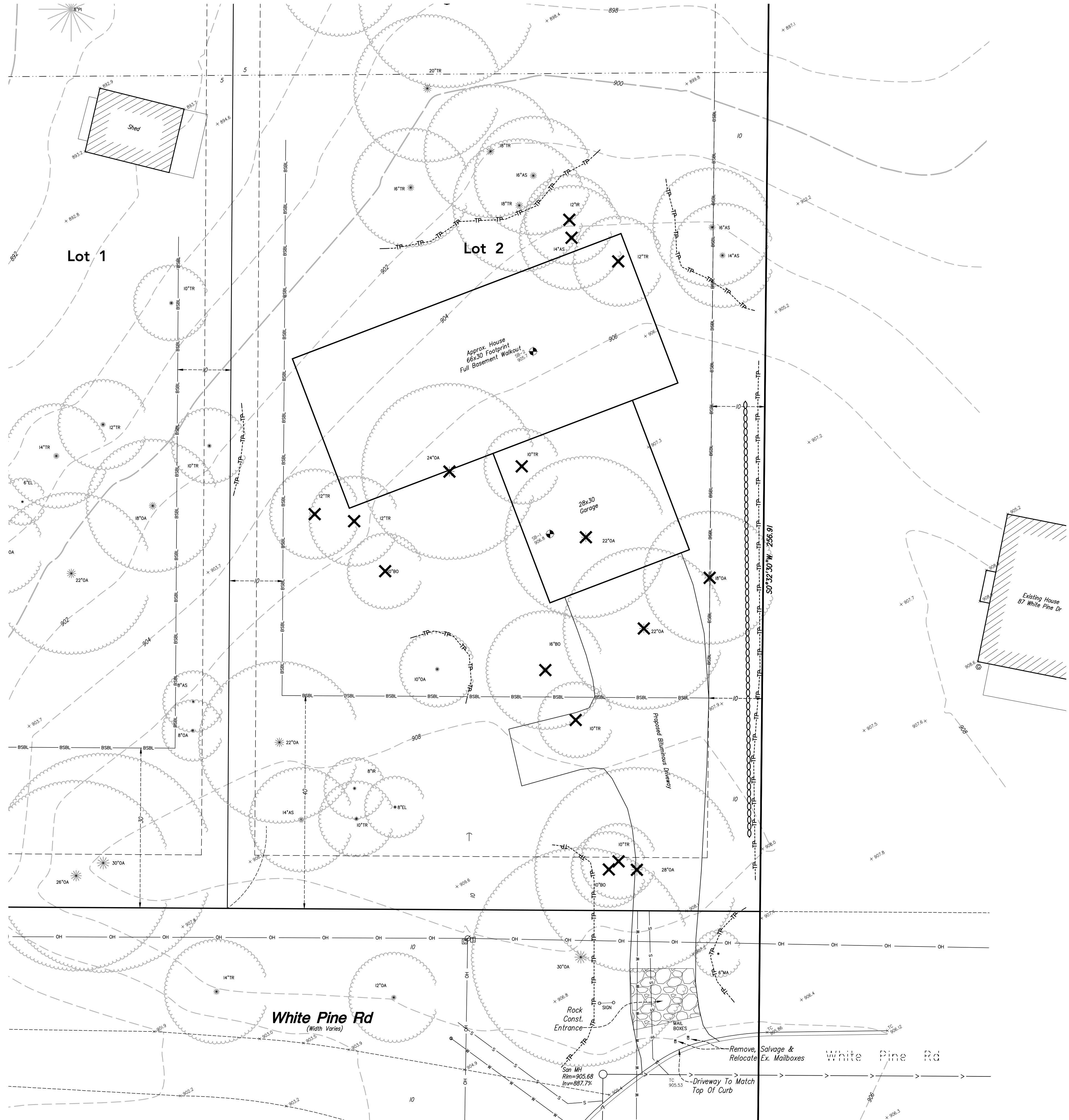
QUALITY CONTROL

Loucks Project No. 15-615
Project Lead PJM
Drawn By SFM
Checked By TWM
Review Date 2/13/17

SHEET INDEX

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Plotted: 02/15/2017 9:0 AM W:\2015\15615\CADD\DATA\SURVEYS\15615-MASTER



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**ERICKSON
ESTATES**

LINO LAKES, MN

Dave & Joan Erickson

63 White Pine Road
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SUBMITTAL/REVISIONS

2/15/17	CITY SUBMITTAL
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PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Licens. No. 20383
Date 12/8/16

QUALITY CONTROL

Loucks Project No. 15-615	Project Lead PJM
Drawn By SFM	Checked By TWM
Review Date 2/13/17	

SHEET INDEX

**PRELIMINARY
TREE
PRESERVATION
& MITIGATION
PLAN**

1 of 1

ERICKSON ESTATES

City Of Lino Lakes
County Of Anoka
Sec 31, Twp 31, Rng 22

KNOW ALL PERSONS BY THESE PRESENTS: That David E. Erickson and Joan R. Erickson, husband and wife, owner of the following described property:

That part of the following described property which lies East of Line A described herein:

The South 350.00 feet of the west 700.00 feet of Government Lot 3, and that part of the west 700.00 feet of the Northwest Quarter which lies North of the south 1044.34 feet thereof, all in Section 31, Township 31, Range 22, Anoka County, Minnesota.

Line A
Commencing at a point on the South line of Section 31, Township 31, Range 22, Anoka county, Minnesota, distant 670.00 feet East of the Southwest corner of said Section 31, thence North and parallel with the West line of said Section 31 a distance of 2378.08 feet; thence West and parallel with the south line of said Section 31 a distance of 284.88 feet; thence South and parallel with said West line a distance of 34.19 feet to a point on the North line of the South 1044.34 feet of the Northwest Quarter of the Southwest Quarter of said Section 31, which is the point of beginning of Line A to be described; thence North parallel with the West line of the southwest Quarter of said Section 31 to a point on the East and West Quarter line of said Section 31; thence North parallel with the west line of Government Lot 3 of said Section 31 to a point on the North line of the South 350.00 feet of said Government Lot 3 and there terminating.

Have caused the same to be surveyed and platted as ERICKSON ESTATES and do hereby dedicate to the public for public use the public ways and the drainage and utility easements as shown on this plat.

In witness whereof said David E. Erickson and Joan R. Erickson, husband and wife, have hereunto set their hands this _____ day of _____, 201__.

David E. Erickson

Joan R. Erickson

STATE OF _____
COUNTY OF _____

This instrument was acknowledged before me this _____ day of _____, 201__ by Dave Erickson and Joan Erickson.

Notary Public, _____ County, _____
My Commission expires _____

SURVEYOR CERTIFICATE

I Paul J. McGinley do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 201__

Paul J. McGinley, Licensed Land Surveyor
Minnesota License No. 16099

STATE OF MINNESOTA
COUNTY OF HENNEPIN

This instrument was acknowledged before me this _____ day of _____, 201__ by Paul J. McGinley.

Notary Public, Hennepin County, Minnesota
My Commission expires January 31, 2020

CITY COUNCIL, CITY OF LINO LAKES, MINNESOTA

Approved by the Council of the City of Lino Lakes, this _____ day of _____, 201__.

City Council, City of Lino Lakes, Minnesota

Signed _____, Mayor

_____, City Clerk

PLANNING COMMISSION, CITY OF LINO LAKES, MINNESOTA

Approved by the Planning Commission of the City of Lino Lakes of Minnesota, this _____ day of _____, 201__.

Planning Commission, City of Lino Lakes, Minnesota

By _____, Chairman

By _____, Secretary

COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this _____ day of _____, 201__.

Larry D. Hoium, Anoka County Surveyor

COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 201__ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this _____ day of _____, 201__.

By _____, Property Tax Administrator

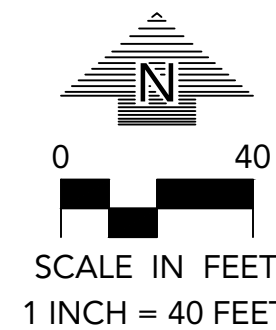
By _____, Deputy

COUNTY RECORDER
COUNTY OF ANOKA, STATE OF MINNESOTA

I hereby certify that this plat of ERICKSON ESTATES was filed in the office of the County Recorder for public record on this _____ day of _____, 201__, at _____ o'clock ____M. and was duly recorded in Book _____ Page _____, as Document Number _____.

By _____, County Recorder

By _____, Deputy

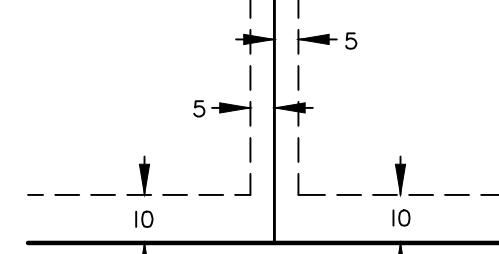


FOR THE PURPOSES OF THIS PLAT, THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SEC 31, TWP 31, RNG 22 HAS AN ASSUMED BEARING OF SOUTH 89°40'08" EAST

BENCHMARK:
IN BRIDGE RAILING IN SE COR. OF CO. RD J (85TH AVE. NE) BRIDGE NO. 02571 OVER I-35W, 0.5 MILE N. OF JUNCTION OF I-35W & TRUNK HWY 10, 20 FT. S. OF CO. RD. J, 7.0 FT. N. OF BRIDGE RAILING ELEV=933.76 FT. (NGVD'29)

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- △ DENOTES "PK NAIL" SET
- DENOTES IRON MONUMENT FOUND
- ⊙ DENOTES FOUND CAST IRON MONUMENT

NOT TO SCALE
DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



BEING 5 FEET IN WIDTH, UNLESS OTHERWISE INDICATED AND ADJOINING LOT LINES, AND BEING 10 FEET IN WIDTH, UNLESS OTHERWISE INDICATED, AND ADJOINING RIGHT-OF-WAY LINES AND BOUNDARY LINES, AS SHOWN ON THE PLAT.

