

**CITY OF LINO LAKES
PLANNING & ZONING BOARD MEETING**

Wednesday, December 13, 2017
6:00 PM

****Community Room at Lino Lakes City Hall**
(Please note room change)**

AGENDA

Please be courteous and silence all electronic devices during the meeting.

PLANNING & ZONING BOARD WORK SESSION 6:00 PM

1. COMPREHENSIVE PLAN DISCUSSION
 - A. Land Use Plan Request, Winter Property
 - B. Economic Development
 - C. Community Facilities

PLANNING & ZONING BOARD REGULAR MEETING 7:30 PM

1. CALL TO ORDER AND ROLL CALL
2. APPROVAL OF AGENDA
3. APPROVAL OF MINUTES: November 8, 2017 (To follow in January 2018)
4. OPEN MIKE
5. ACTION ITEMS
 - A. All Seasons Rental/SS Properties Addition (7932 Lake Drive) Final Plat
6. DISCUSSION ITEMS
 - A. Project Updates
7. ADJOURN

Meeting guidelines on reverse side.

City of Lino Lakes Planning & Zoning Board MEETING GUIDELINES

Open Mike – The purpose of a Board Meeting is to accomplish the business of the city. When presenting at a meeting please remember to be respectful, and follow these guidelines:

- Please address the meeting chair.
- State your name and address for the record.
- Please observe a 4-minute limit.
- The topic must relate to city business.
- Open Mike is for items not on the agenda.
- A spokesperson must represent a group of five or more – groups will have 8 minutes.
- The Presiding Officer may limit duplicative presentations.
- Remember, the meeting is to discuss city business only.

Public Hearing - Held as a separate item of business on the agenda. The public hearing segment is your opportunity to tell the Board how you feel about issues scheduled to be heard. Typically, a hearing follows these steps:

- The Presiding Officer (Chair or Vice-Chair) will announce the proposal to be reviewed and ask for the staff report. The presiding Officer shall maintain strict order and etiquette at all meetings.
- Staff will present their report on the proposal.
- Board members will then ask City Staff questions about the proposal.
- The Presiding Officer will then open up the public hearing for anyone present who wishes to comment on the proposal. This is the time for the public to make comments or ask questions about the proposal.
Comments should be limited to four (4) minutes unless further time is granted by the Presiding Officer. All comments should be directed to the Board as a body and not to any individual Board Member or City Staff Member unless permission is granted by the Presiding Officer. No person shall be permitted to enter into any discussion, either directly or through a member of the Board without the permission of the Presiding Officer.
- After everyone in the audience wishing to speak has given his/her comments, the Presiding Officer shall close the public hearing.
- The Board will then discuss the proposal. No further public comments are allowed.
- The Board will then make a recommendation(s) and/or a decision.

When you are called upon for your comments, please step to the microphone at the podium and state your name and address for the record.

Occasionally, the Board may continue a hearing to another meeting before taking action.

Meeting Etiquette

The Planning & Zoning Board must preserve order and decorum while the meeting is in session. A resident shall not, by conversation or otherwise, delay or interrupt the proceedings or the business of the Board, nor disturb any resident or Board Member while speaking or refuse to obey the orders of the Board.

**PLANNING & ZONING BOARD
WORK SESSION AGENDA ITEM 1A**

STAFF ORIGINATOR: Michael Grochala, Community Development Director

P & Z MEETING DATE: December 13, 2017

REQUEST: 2040 Comprehensive Plan Update Discussion:
Land Use Change Request – Winters Property
Chapter 5, Economic Development
Chapter 11, Community Facilities

CASE NUMBER: N/A

APPLICANTS: City of Lino Lakes.

REVIEW SCHEDULE: N/A

BACKGROUND

Landform will be present to discuss the following items:

Land Use Change Request – Winters Property
Chapter 5, Economic Development
Chapter 11, Community Facilities

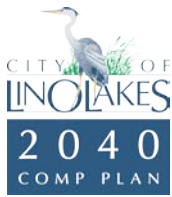
A memorandum and supporting information is attached for the Planning & Zoning Board's Review

RECOMMENDATION

Discussion item only.

ATTACHMENTS

Landform Memorandum, dated December 4, 2017



Lino Lakes 2040 Comprehensive Plan Update

Date: December 4, 2017 for December 13, 2017 Meeting

To: Lino Lakes Planning & Zoning Board

From: Kendra Lindahl, AICP
Landform Professional Services

Subject: Comprehensive Plan Update

On December 13, 2017, the Planning & Zoning Board will have a work session (6:00 pm. to 7:30 p.m.) on the Comprehensive Plan Update. Topics will be:

Land Use Plan Request, Winter Property— A request has been submitted to change the guiding designation of 139 acres on the east side of I-35W from industrial to mixed use. The Board should review the request and make a recommendation for the draft land use plan. Please see the memo and supporting materials, attached.

Economic Development Chapter—This will be Chapter 5 of the City's Comprehensive Plan. We will present an overview. Please see the summary memo, attached.

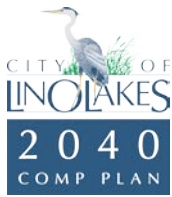
Public Facilities Chapter—This will be Chapter 11 of the Comprehensive Plan. We will present an overview. Please see the summary memo, attached.

Next meeting—December 13 is the last scheduled work session on the Comprehensive Plan until February 14, 2018 when the schedule shows that the Board will receive the draft plan document in advance of the public open house/workshop on March 5, 2018.

Attachments:

- Land Use Plan Request, Winter Property
- Economic Development Plan Overview
- Public Facilities Plan Overview
- Comprehensive Plan Schedule, Updated November 17, 2017





Lino Lakes 2040 Comprehensive Plan Update

Date: December 4, 2017 for December 13, 2017 Meeting

To: Lino Lakes Planning & Zoning Board

From: Anne Hurlburt, Planner
Landform Professional Services

Subject: Land Use Plan Request, Winter Property

Mr. Lester J. Winter has submitted a request that the city consider a change to the draft future land use maps for his 139 acres located east of I-35E. His letter, attached, requests that the area be given a “Mixed Use” classification rather than the current “Industrial” designation. He cites the configuration of wetlands on the property and the abundance of industrial land. He believes that “Mixed Use” would give more options for development. He notes that the land has been assessed for road improvements.

The Planning & Zoning Board should to review Mr. Winter’s request and make a recommendation for the draft land use plan.

Site Information

This request affects four parcels, totaling 139.46 acres including about 47.22 acres of wetlands. Most of the wetlands are in the north/northwestern portion of the property.

Winter Property				
	PID	Gross Acres	Wetland	Net Acres
1	13-31-22-11-0001	39.52	15.61	23.91
2	13-31-22-12-0002	30.39	24.82	5.57
3	13-31-22-13-0002	30.22	0.01	30.21
4	13-31-22-14-0001	39.33	6.79	32.54
		139.46	47.22	92.24

The site is located east of I-35 E and west of 24th Avenue, the border with the City of Hugo. The half mile of street that borders the site is street is currently paved along the southern two-thirds, and gravel along the northern one-third of the frontage. The transportation plan calls for the future extension of Otter Lake Road north from County Road 14 to 80th Street as a new major collector road to serve the industrial area.

The Utility Staging Plan for 2030 shows this area as Stage 2A—utility service to be provided in the first half of the second decade of the 20-year plan. The draft Utility Staging Plan for 2040 changes this designation to Stage 1-A, making the area eligible for utility extensions in the 2018 to 2025-time frame. Water and sewer will be extended to the north from County Road 14, as the land to the south of the site develops and demand warrants.

The adjacent properties to the north and the south in the City of Lino Lakes are currently designated for future industrial use, and are shown in the same classification by the draft 2040 land use plan. All of Lino



Lakes north of Country Road 14 and east of I-35E is designated for commercial, industrial and business campus uses by the draft plan. Hugo is planning for residential uses to the east, across 24th Street (Elmcrest in the City of Hugo.)

The property was assessed for its share of the County Road 14/I-35E interchange project, based on future industrial use and the 2030 Utility Staging Plan classification 2A. The assessments are currently deferred, but are accruing interest.

Analysis

Suitability for Industrial Use—Mr. Winter cites the wetlands on site as a reason to change the future land use. The wetlands will be a constraint for any land use. The city recently completed the Northeast Drainage Area Comprehensive Stormwater Management Plan, which includes this area. The large wetland on the Winter property was identified as a possible location for stormwater storage and wetland banking, and was identified as part of the city's greenway in the 2030 Comprehensive Plan. This will create opportunities for the owner to realize some economic benefit even though this part of the site cannot be developed.

Suitability for Residential Development—The Mixed Use classification would allow higher density residential development on the site, in addition to non-residential uses. This could create land use conflicts with the surrounding industrial area. Because the city is planning for no residential development east of I-35E, it is not planning for neighborhood parks to serve the area. Introducing residential uses to the area, absent a detailed plan for how it would be integrated with the surrounding industrial area and provide for the park needs of the new neighborhood would be premature.

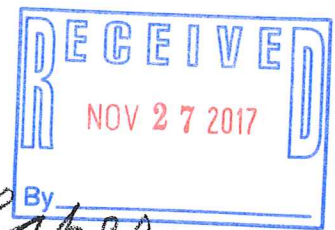
Timing of Development—The main constraint to the development of this property is the lack of public utilities. The city is planning for services as soon as the orderly extension through the area to the south allows. While the city does have considerable land designated for future industrial use, this site is better situated to take advantage of planned infrastructure improvements than much of the land planned for development along the I-35E corridor.

Summary and Recommendation

We recommend that the current Industrial designation be retained. Wetlands will be a constraint for any type of development. Introducing residential development into an area planned for industrial uses may cause conflicts and public service issues that cannot be anticipated without detailed planning, so would be premature at this stage of planning. Changing the land use would not affect the Utility Staging Plan or the need for orderly extension of infrastructure before the land can develop.

Attachments:

1. Letter from Lester J. Winter, November 27, 2017
2. Location Map with Aerial Photo, Winter Property
3. Draft 2040 Land Use Plan Map
4. Draft 2040 Utility Staging Plan Map
5. Future Roadway System Map, 2030 Comprehensive Plan



To; The City of Lino Lakes
From Lester J. Winter
27 Nov 2017

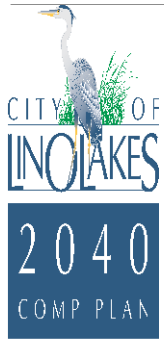
I respectfully request that my property (139 acres) be given a mixed-use classification on the comprehensive plan.

Wetlands on my property are configured such that much of the developable land is divided into smaller parcels rendering them unattractive for industrial development. I believe a mixed-use classification would give more options for development.

Some development analysts advise that there is an abundant supply of industrial land in the area and that it would be decided before less attractive sites would be in demand.

The debt service for the assessments to my property for the 14/35E interchange is diminishing my equity in the property and will in time consume a significant portion of its value.

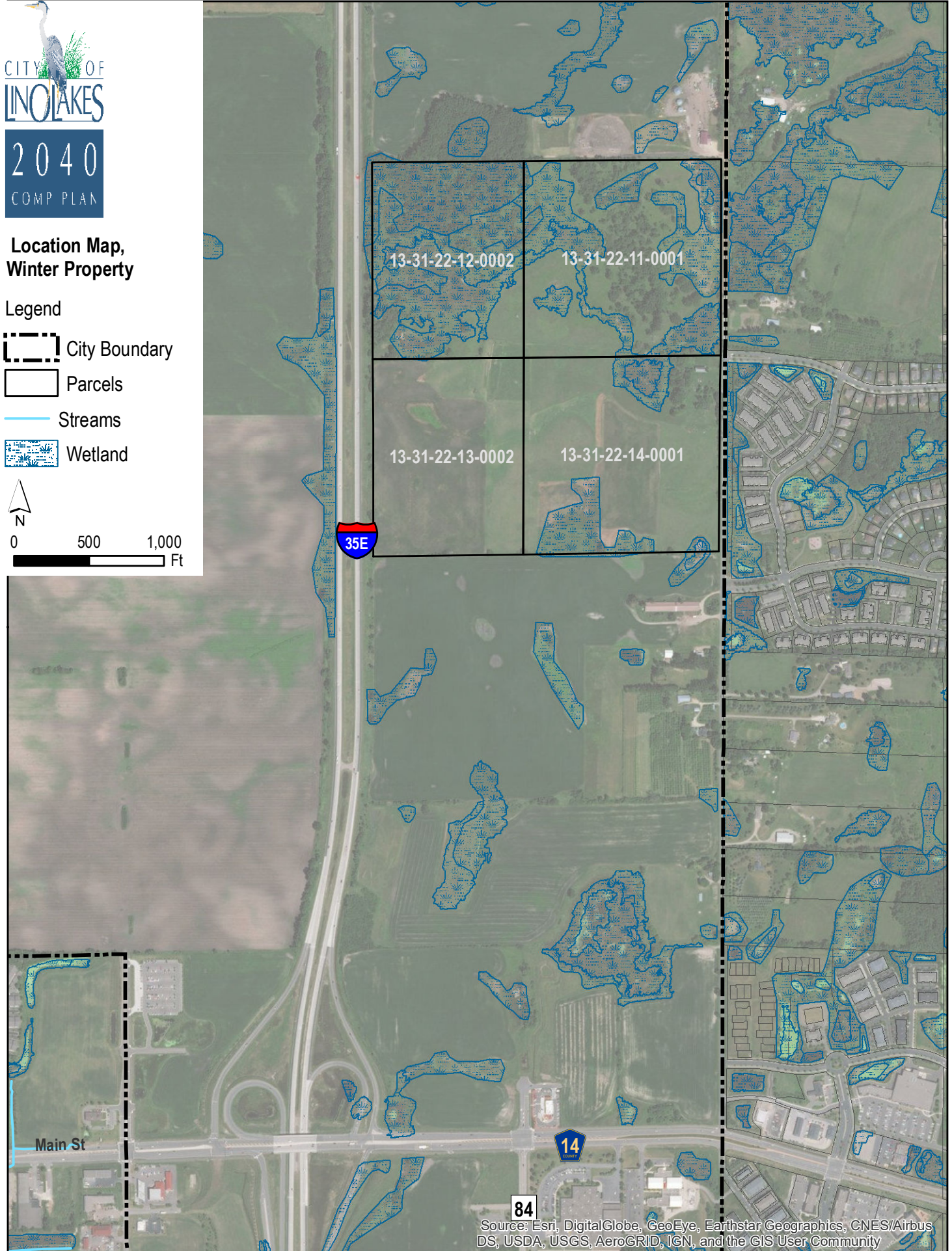
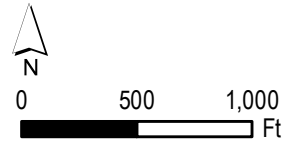
Thank you for considering this request.



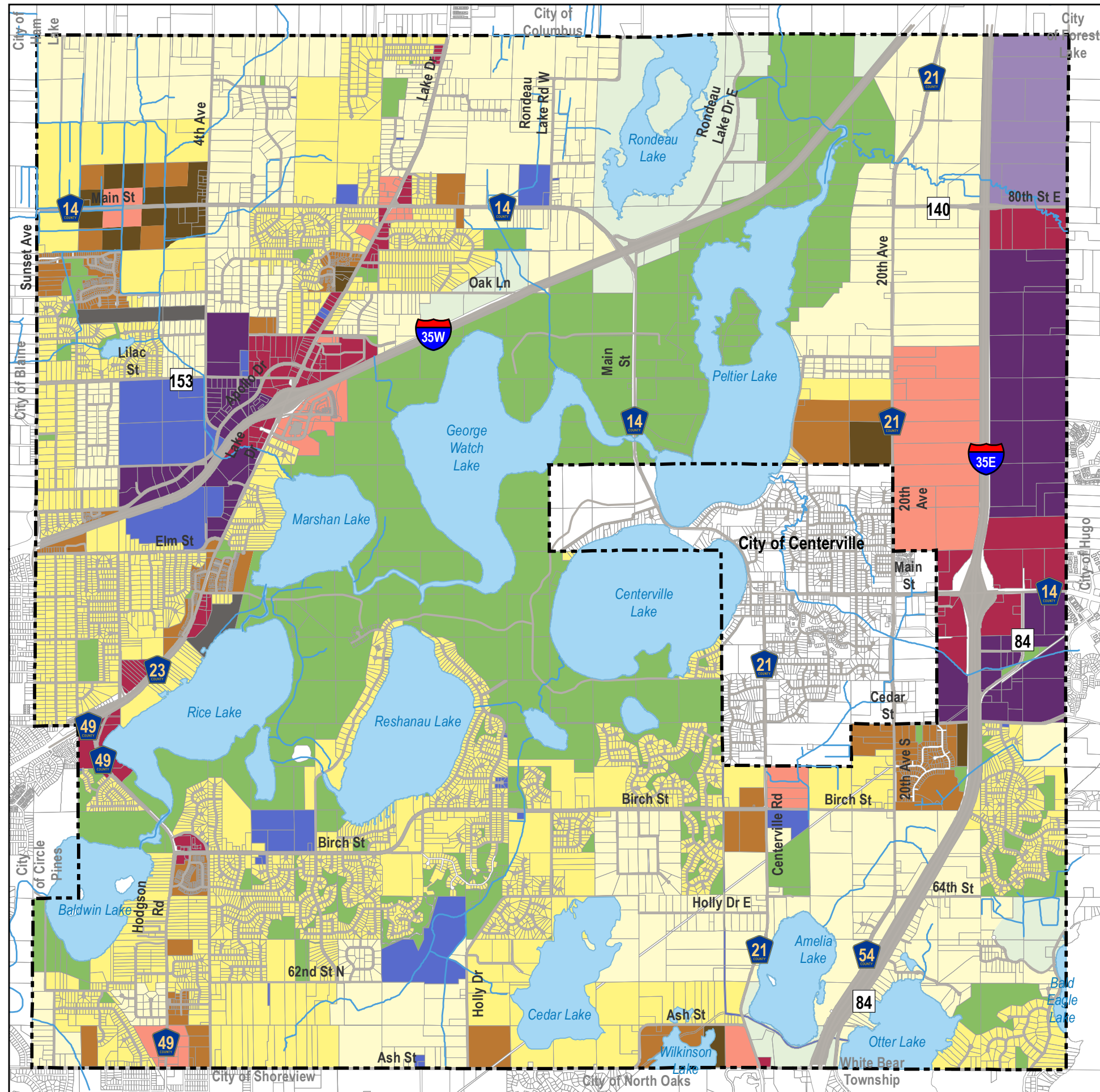
Location Map, Winter Property

Legend

- City Boundary
- Parcels
- Streams
- Wetland



2040 Future Land Use



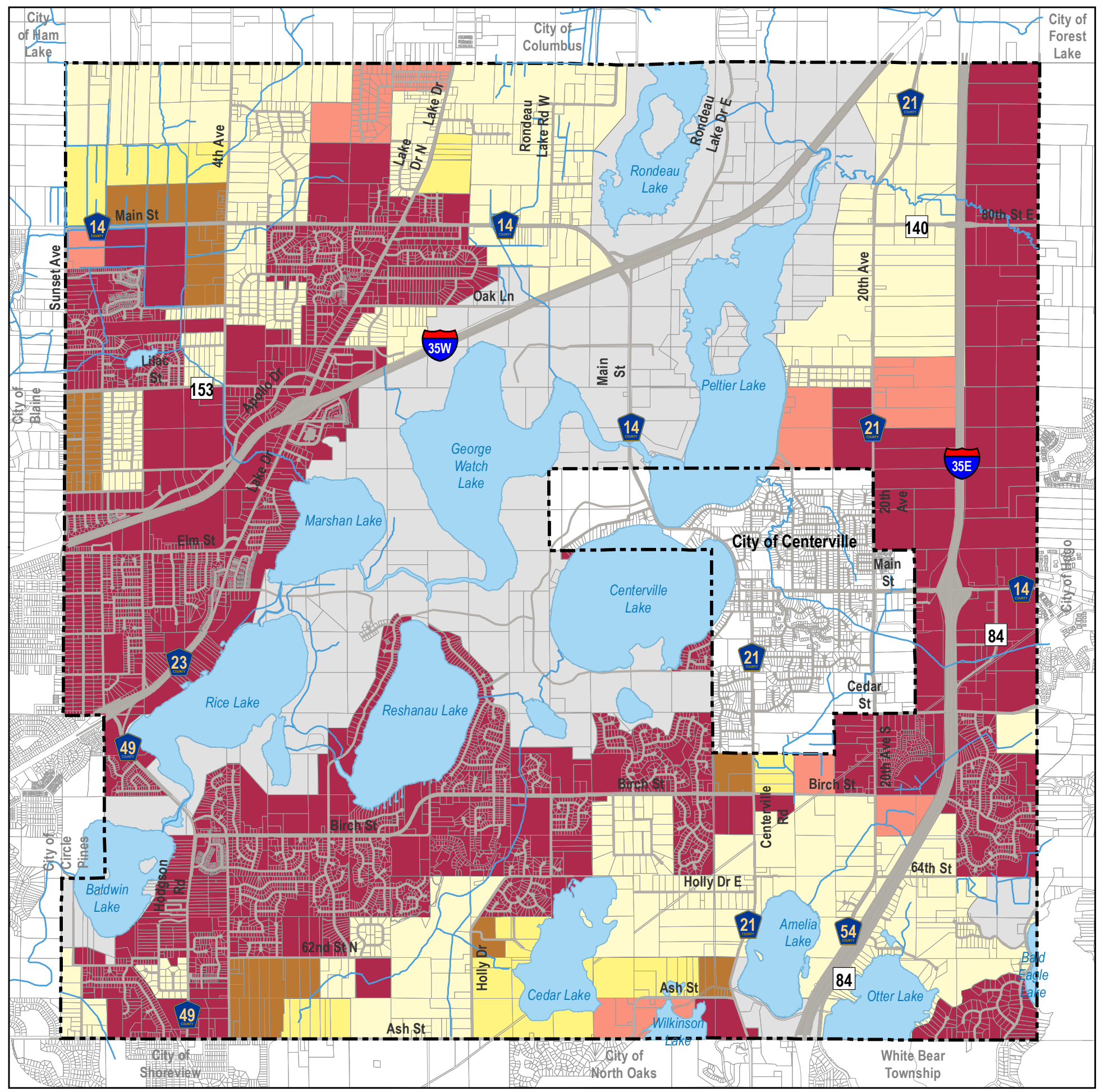
Legend

- Permanent Rural
- Urban Reserve
- Low Density Residential
- Medium Density Residential
- High Density Residential
- Commercial
- Mixed Use
- Business Campus
- Industrial
- Civic and Institutional
- Parks and Open Space
- Private Airfield
- Open Water
- Right-of-Way
- Municipal Boundary
- Parcels
- Streams





2040 Utility Staging Plan

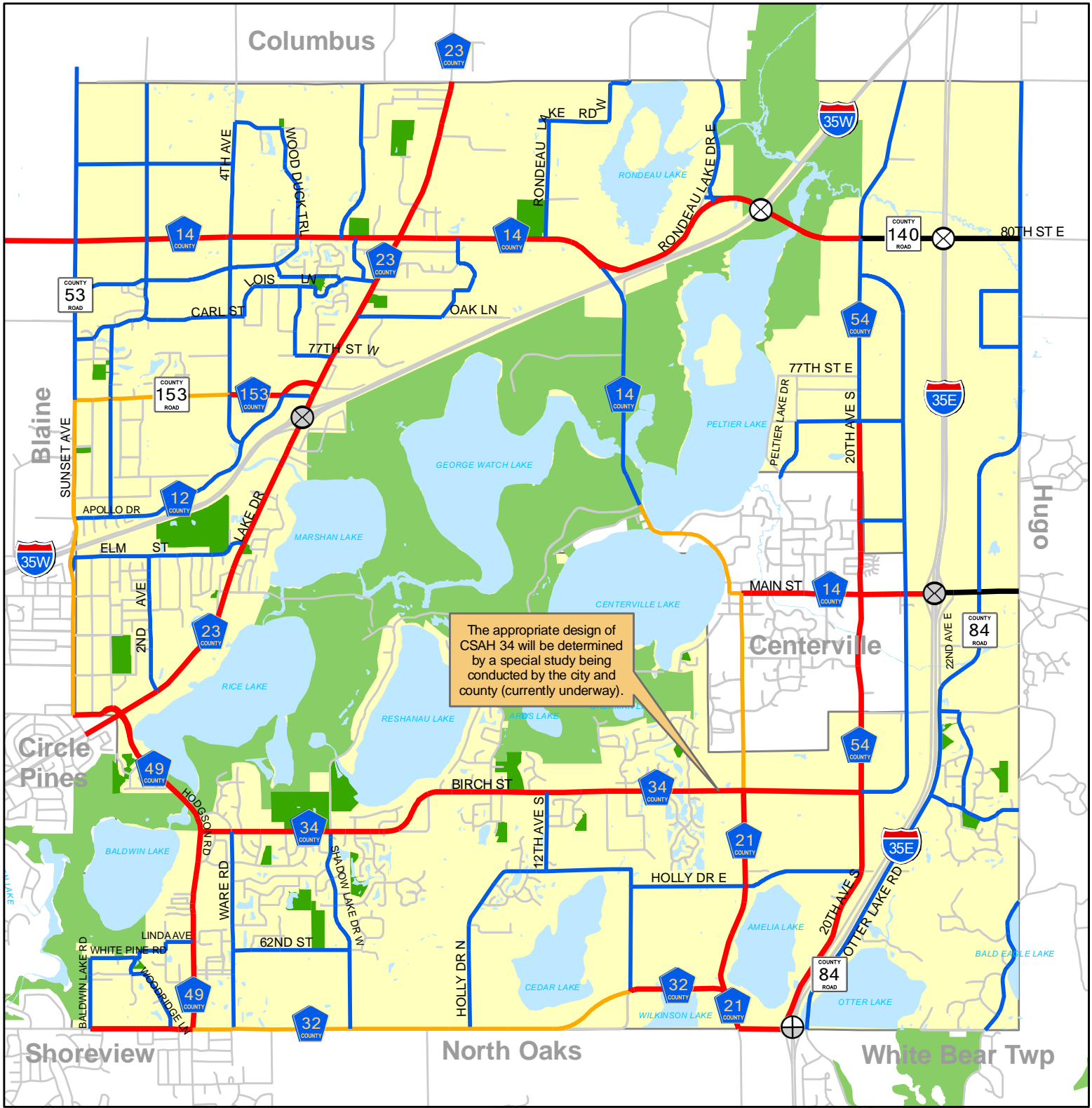


Legend

- Stage 1A Planned Service Area (2018 - 2025)
- Stage 1B Planned Service Area (2025 - 2030)
- Stage 2A Planned Service Area (2030 - 2035)
- Stage 2B Planned Service Area (2035 - 2040)
- Stage 3 Planned Service Area (Post 2040)
- No Service
- Open Water
- Right-of-Way
- Municipal Boundary
- Parcels
- Streams



Date: 11/17/2017



Future Roadway System (Post-2030)

Figure 6-14

City of Lino Lakes 2030 Comprehensive Plan

- ⊗ Existing Full Access Interchange
- ⊕ Existing Partial Access Interchange (Future Full Access)
- ⊗⊕ Future Full Access Interchange

Recommended Lanes*

- Six-Lane Divided
- Four-Lane Divided
- Two-Lane Divided
- Two-Lane

- 🌊 Lakes
- 🌳 School Open Space/ City Parks
- 🌳 County Parks
- ⊕ Lino Lakes City Limits



4,000 0 4,000 Feet

* For Major and Minor Collectors, Minor Arterials and Principal Arterials except I-35W and I-35E. See "Full Build-out System Needs" of the Transportation Plan for further discussion.



July 22, 2009

Date: December 6, 2017 for December 13, 2017 Meeting

To: Lino Lakes Planning & Zoning Board

From: Anne Hurlburt, Planner
Landform Professional Services

Subject: Economic Development Plan Overview

The Economic Development Plan will be Chapter 5 of the Comprehensive Plan. At the December 13th meeting, we provide an overview of this chapter and discuss any issues for updating this part of the plan to 2040.

The plan will include the following major sections:

Goals and Policies—carried over from 2030 Comprehensive Plan with minor changes. The goals are:

1. Expand and diversify the city's tax base by encouraging commercial, industrial and mixed-use development to lessen the tax burden on residential properties.
2. Work with developers to identify innovative strategies for attracting entry level and smaller entrepreneurial businesses to Lino Lakes.
3. Attract and encourage new light industrial, high tech, business and professional services enterprises and maintain and expand existing businesses in Lino Lakes.
4. Promote efficient, planned commercial and industrial expansion within the City's growth areas, accessible to public infrastructure and transportation.
5. Promote Lino Lakes' location within the metropolitan region as an advantage in doing business.

Key Indicators—background information about Lino Lakes employment trends and forecasts and about commuting and travel patterns, both of which reflect and influence the city's economic development. Attached is a draft of this section of the plan. Please note that the tables and graphics will undergo additional formatting for the final document.)

Economic Development Assistance—a review of the city's statutory authority and finance tools that may be used to assist and encourage development.

Economic Development Priorities—incorporating the priorities adopted in 2014:

- Development and implementation of a Business Retention and Expansion Program (BRE)
- Lino Lakes Town Center, located at Interstate 35 and Lake Drive
- Redevelopment of the intersection of Hodgson Road (CSAH 49) & County Road J (Ash Street)
- The Commercial and Industrial Corridor along Interstate 35E and County Road 14

Implementation Strategies—for this chapter (and all others in the plan) will be included in Chapter 12 of the updated plan. Strategies for Economic Development include:

1. Collaborate with business support organizations

2. Develop strategies and programs to attract high tech and high value industrial and business and professional services enterprises that have an emphasis on job creation.
3. Continue to support local business retention and expansion initiatives (BRE).
4. Promote the rehabilitation and redevelopment of existing commercial facilities
5. The Economic Development Advisory Commission (EDAC) will continue to prepare five-year economic development plans and one year action plans.
6. Consider the use of available financial incentives (i.e. TIF/tax abatements/grants, etc.) to attract businesses to relocate or start up in Lino Lakes.
7. Work to actively market Lino Lakes as a great place to live and work.
8. Apply Low Impact Development (LID) and "Green" building techniques to commercial and industrial development.
9. Implement EDAC recommendations for priority economic development sites.

Attachments:

1. Chapter 5, Economic Development (DRAFT) Key Indicators



Chapter 5, Economic Development (DRAFT)

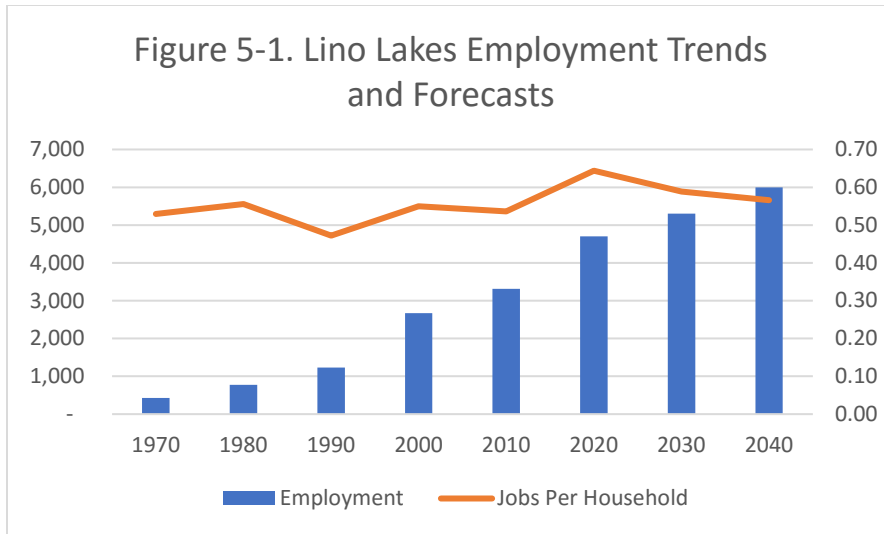
Key Indicators

This section presents data about employment trends and forecasts, and about commuting and travel patterns, both of which reflect and influence the city’s economic development. Information on some of the other factors affecting the local economy is also found in other plan chapters: for example age, education and income (Chapter 2, Community Background); land use and development (Chapter 3, Land Use); and housing affordability (Chapter 4, Housing.)

Employment Trends and Forecasts

Table 5-1 and Figure 5-1 illustrate the historic and projected employment numbers since 1970 and through the 2040 planning period. Lino Lakes has experienced a very consistent residential and commercial growth rate with approximately one local job for every two households. This ratio is consistent with a suburban community that does not have a large or diversified economy, commonly referred to as a “bedroom community”. As the community grows, the trendline shows a slight improvement, which would provide more opportunity for residents to work within the community and provide residents with a greater diversity of goods and services.

Table 5-1. Lino Lakes Employment Trends and Forecasts			
	Employment	Households	Jobs Per Household
1970	430	812	0.53
1980	771	1,388	0.56
1990	1,229	2,603	0.47
2000	2,671	4,857	0.55
2010	3,313	6,174	0.54
2020	4,700	7,300	0.64
2030	5,300	9,000	0.59
2040	6,000	10,600	0.57
Source: Metropolitan Council			



A closer look at employment over the last 16 years (2000 – 2016) shows how the number of establishments (businesses or job locations) has fluctuated along with employment and the average weekly wages of Lino Lakes jobs. Table 5-2 and Figure 5-2 show the effects of the Great Recession of 2007 to 2012. The number of establishments, employment and even wages decreased in 2008 through 2010. The trend in the last several years shows that employment and wages were starting to grow again and now exceed pre-recession levels.

Table 5-2. Lino Lakes Employment and Wages, 2000-2016

Year	Employment	Establishments	Average Weekly Wage
2000	2,641	247	\$ 661
2001	2,740	251	\$ 665
2002	3,103	276	\$ 685
2003	3,095	298	\$ 695
2004	3,188	324	\$ 728
2005	3,868	332	\$ 723
2006	4,014	349	\$ 764
2007	3,922	347	\$ 769
2008	3,672	344	\$ 776
2009	3,587	329	\$ 712
2010	3,353	317	\$ 698
2011	3,440	330	\$ 732
2012	3,561	312	\$ 758
2013	3,800	315	\$ 786
2014	3,946	322	\$ 788
2015	4,144	312	\$ 811
2016	4,245	325	\$ 850

Source: Minnesota Department of Employment and Economic Development (DEED), Quarterly Census of Employment & Wages (Annual)

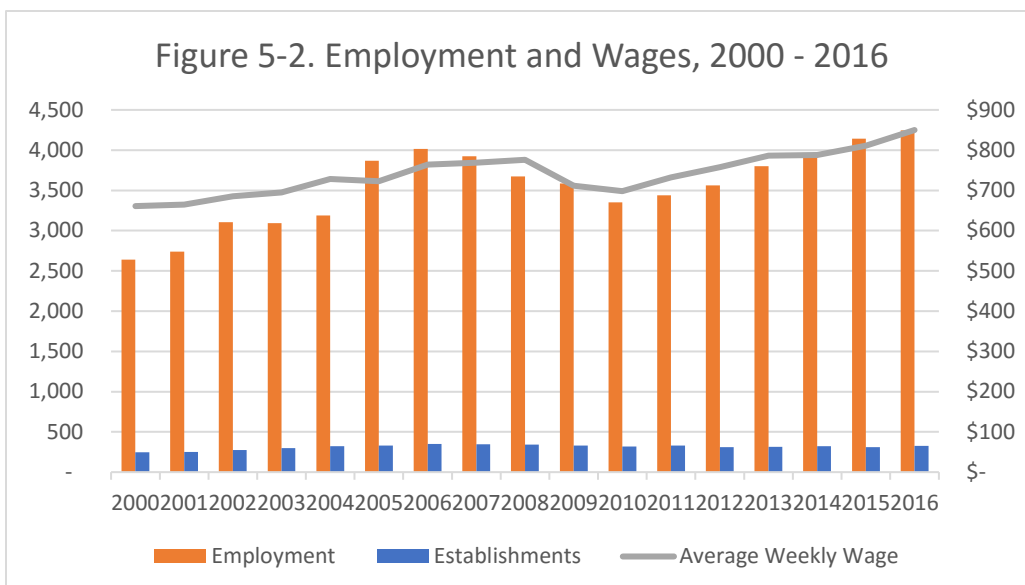
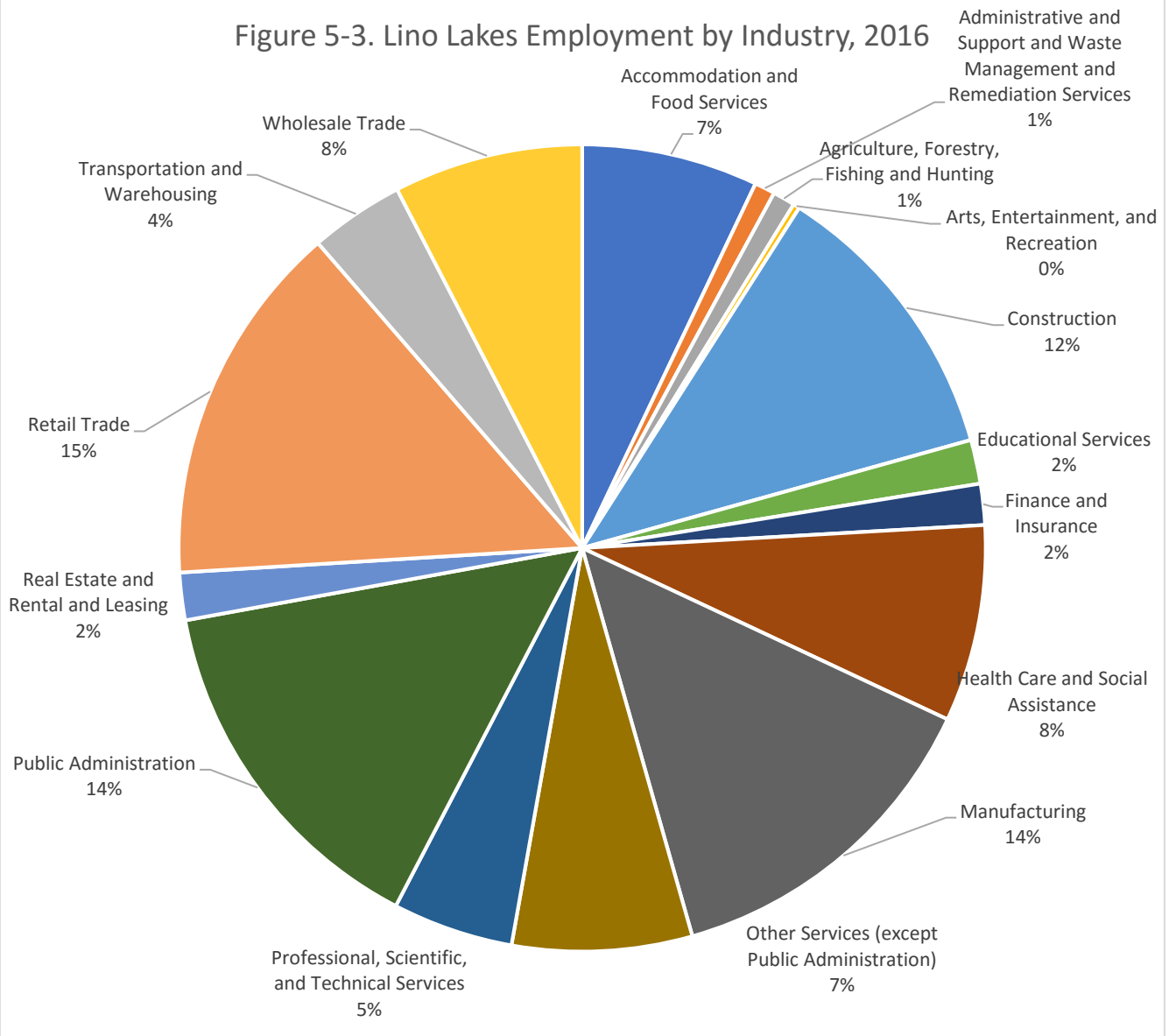


Table 5-3 and Figure 5-3 show employment by industry in 2016, painting a picture of what sectors of the economy provide jobs in Lino Lakes. The table compares Lino Lakes with the Twin Cities Region and the pie chart illustrates employment in Lino Lakes only. Lino Lakes has many of its jobs in the construction, manufacturing, public administration and retail trade industries, at higher percentages than found in the region. Lino Lakes had a significantly lower percentage of jobs than the region in the health care and social service and educational services sectors. This information provides some insight into how employment in Lino Lakes might be impacted by downturns in certain economic sectors (such as manufacturing) or what types of businesses the city may want to encourage to diversify the local economy (such as health care or information.)

Table 5-3. Employment by Industry, 2016				
Industry	Lino Lakes		Twin Cities Region (7-County)	
	Number	%	Number	%
Accommodation and Food Services	301	7%	136,687	8%
Administrative and Support and Waste Management and Remediation Services	35	1%	96,629	6%
Agriculture, Forestry, Fishing and Hunting	38	1%	2,871	0%
Arts, Entertainment, and Recreation	11	0%	32,210	2%
Construction	496	12%	67,603	4%
Educational Services	75	2%	130,676	8%
Finance and Insurance	70	2%	103,801	6%
Health Care and Social Assistance	336	8%	259,652	15%
Information		0%	37,253	2%
Management of Companies and Enterprises		0%	69,709	4%
Manufacturing	580	14%	169,480	10%
Mining		0%	654	0%
Other Services (except Public Administration)	307	7%	56,568	3%
Professional, Scientific, and Technical Services	206	5%	124,928	7%
Public Administration	617	14%	69,398	4%
Real Estate and Rental and Leasing	81	2%	26,558	2%
Retail Trade	622	15%	167,009	10%
Transportation and Warehousing	161	4%	66,658	4%
Utilities		0%	6,151	0%
Wholesale Trade	323	8%	80,389	5%
Total, All Industries	4,259	100%	1,704,883	100%
Source: Minnesota Department of Employment and Economic Development (DEED), Quarterly Census of Employment & Wages (Average of Four Quarters)				

Figure 5-3. Lino Lakes Employment by Industry, 2016



Commuting and Travel Patterns

Because Lino Lakes is part of the larger Twin Cities Metropolitan area, city residents can and do take advantage of employment opportunities throughout the region. Most Lino Lakes residents in the labor force work outside of the city. Similarly, Lino Lakes businesses draw their workers from the wider region.

Transportation is a key factor for business location. On one hand, the city's unique location at the intersection of two major interstate highways (I-35E and I-35W) provides access to and from both Minneapolis and St. Paul downtowns and to the rest of the region, allowing employers to draw workers from the wider region and for Lino Lakes residents to access employment opportunities. Good transportation makes the city attractive to new businesses (and new home buyers.) On the other hand, as commute times increase, and as travel time to major regional attractions (such as the two downtowns and the Mall of America and similarly to the international airport) increase, employers may find the community less attractive. Residents desiring shorter commutes, or alternatives to driving alone, may decide to move or not purchase homes in the city if their commute becomes too difficult or transit options are not available. But if the local economy continues to grow and diversify, more opportunities for local employment should be available to residents, which could have a positive impact on overall commute times and ultimately the quality of life. More local jobs would also increase the daytime population of the city, attracting service and retail businesses available to workers and residents alike and further reducing the need to leave the city.

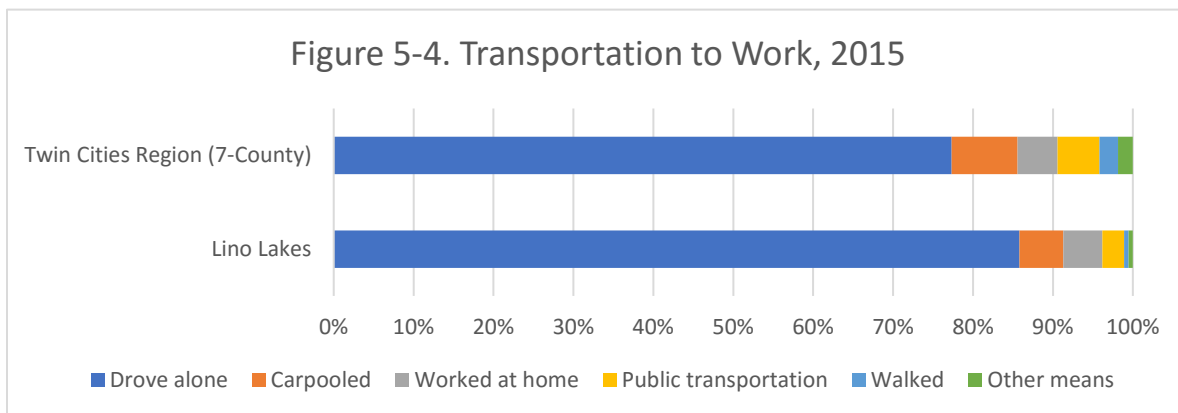
Tables 5-5 and 5-6 show the top ten workplaces of people who live in Lino Lakes (the "Commuteshed") and the top ten residences of people who work in Lino Lakes (the "Laborshed") in 2014. The data illustrates the mobility of Lino Lakes residents; only 4% worked within the city of Lino Lakes. While many of them worked in nearby communities, the greatest numbers commuted to the central cities of Minneapolis or St. Paul. Of the jobs located within Lino Lakes, only 15% were held by Lino Lakes residents. Many of the employees came from nearby communities, but almost half came from "other" locations—residences not in the top ten—indicating that employers draw workers from the wider region. The data in these tables give an approximation of commuting patterns. The Census Bureau counted wage & salary jobs covered by unemployment insurance. Business owners, self-employed persons, some temporary workers, family farmers, military personnel, and others are typically are not covered, and thus not counted.

Table 5-4. Lino Lakes "Commuteshed" (2014)		
<i>Top ten workplaces of people who live in Lino Lakes, 2014</i>		
Workplace	Workers	%
Minneapolis	1,616	16%
St. Paul	1,155	11%
Blaine	960	10%
Lino Lakes	439	4%
Roseville	417	4%
Fridley	387	4%
Maplewood	329	3%
Arden Hills	292	3%
Shoreview	285	3%
White Bear Lake	253	3%
Other	3,963	39%
Total	10,096	100%
Note: Workplaces and residences not in the top 10 are counted in "Other".		

Table 5-5. Lino Lakes "Laborshed" (2014)		
<i>Top ten residences of people who work in Lino Lakes, 2014</i>		
Residence	Workers	%
Lino Lakes	439	15%
Blaine	293	10%
Forest Lake	152	5%
St. Paul	124	4%
Coon Rapids	118	4%
Hugo	107	4%
Minneapolis	91	3%
Ham Lake	83	3%
Circle Pines	78	3%
Columbus	63	2%
Other	1,360	47%
Total	2,908	100%
Source: U.S. Census Bureau Local Employment-Household Dynamics.		

Residents of Lino Lakes use private transportation almost exclusively to reach their employment. Table 5-6 and Figure 5-4 show how Lino Lakes residents traveled to work in 2015, and compares it with the Twin Cities Region. Lino Lakes residents were more likely to drive alone (86% vs 77% in the region) and less likely to have carpooled or used public transportation. About the same percentage worked at home as in the region (5%).

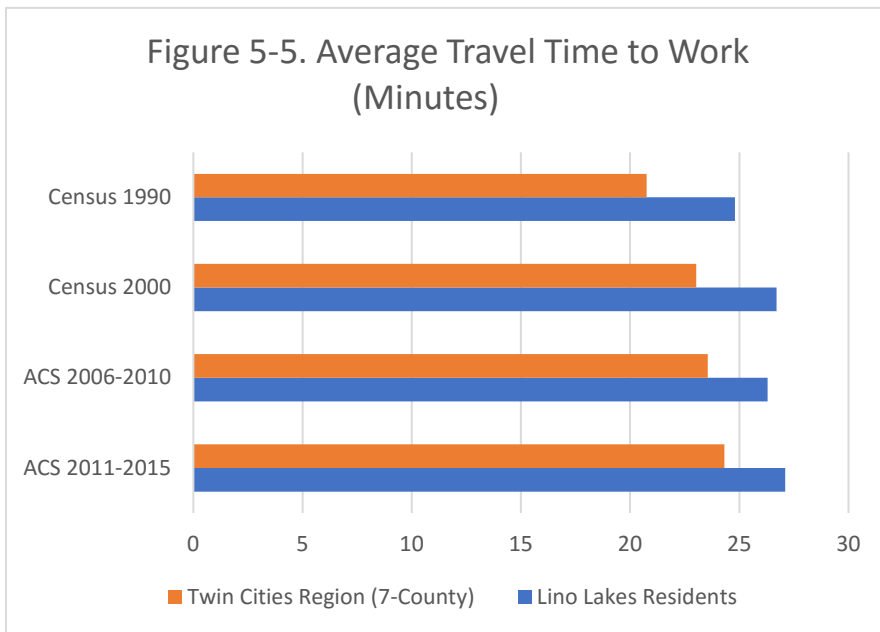
Table 5-6. Transportation to Work, 2015				
	Lino Lakes		Twin Cities Region (7-County)	
	Number	%	Number	%
Drove alone	9,274	86%	1,200,250	77%
Carpooled	591	5%	128,244	8%
Worked at home	530	5%	77,317	5%
Public transportation	291	3%	81,663	5%
Walked	62	1%	36,089	2%
Other means	58	1%	28,541	2%
Total	10,806	100%	1,552,104	100%
Source: American Community Survey 5Yr Summary File 2011-2015				



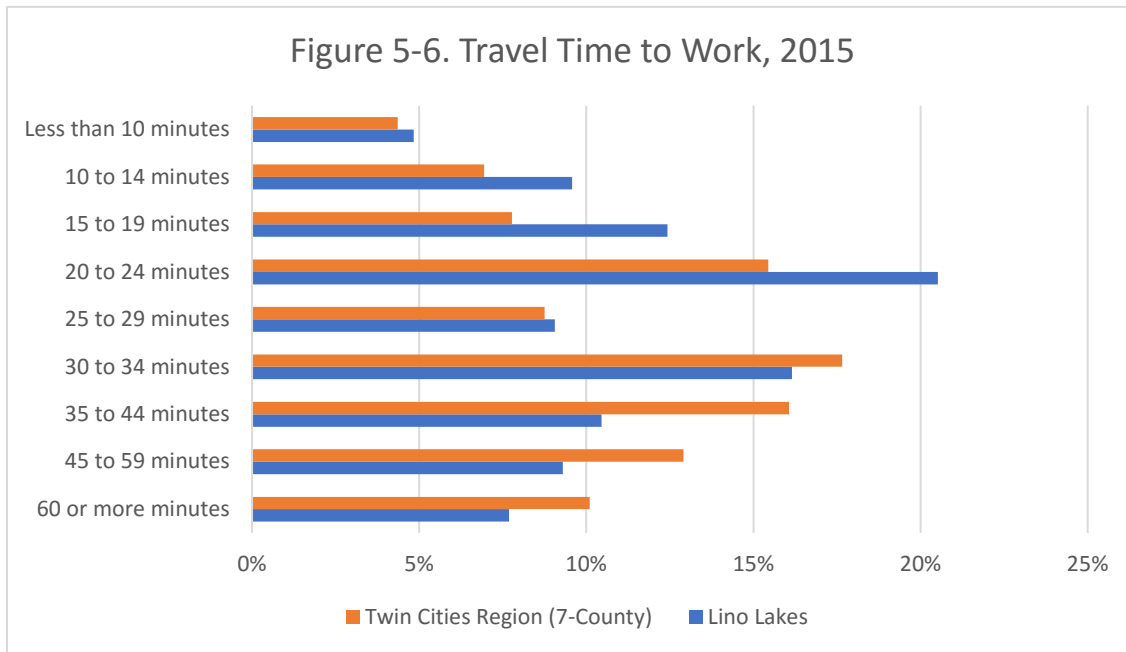
Because most residents must leave the city for employment they spend longer than average times commuting to and from work. Table 5-7 and Figure 5-5 show that commute times have been increasing for Lino Lakes residents (and everyone in the region.) Table 5-8 and Figure 5-6 break down travel time for 2015, showing that Lino Lakes residents were less likely to have shorter than average (25 minutes or less) commute times, and many residents endure commutes of 45 minutes or longer.

	Lino Lakes Residents	Twin Cities Region (7-County)
Census 1990	24.8	20.76
Census 2000	26.7	23.03
ACS 2006-2010	26.3	23.56
ACS 2011-2015	27.1	24.32

Source: U.S. Census Bureau Decennial Census and American Community Survey



	Lino Lakes		Twin Cities Region (7-County)	
	Number	%	Number	%
Less than 10 minutes	790	8%	148,982	10%
10 to 14 minutes	955	9%	190,409	13%
15 to 19 minutes	1,074	10%	236,982	16%
20 to 24 minutes	1,660	16%	260,314	18%
25 to 29 minutes	931	9%	129,001	9%
30 to 34 minutes	2,108	21%	227,705	15%
35 to 44 minutes	1,277	12%	114,723	8%
45 to 59 minutes	984	10%	102,383	7%
60 or more minutes	497	5%	64,288	4%
Total	10,276	100%	1,474,787	100%
American Community Survey 5Yr Summary File 2011-2015				

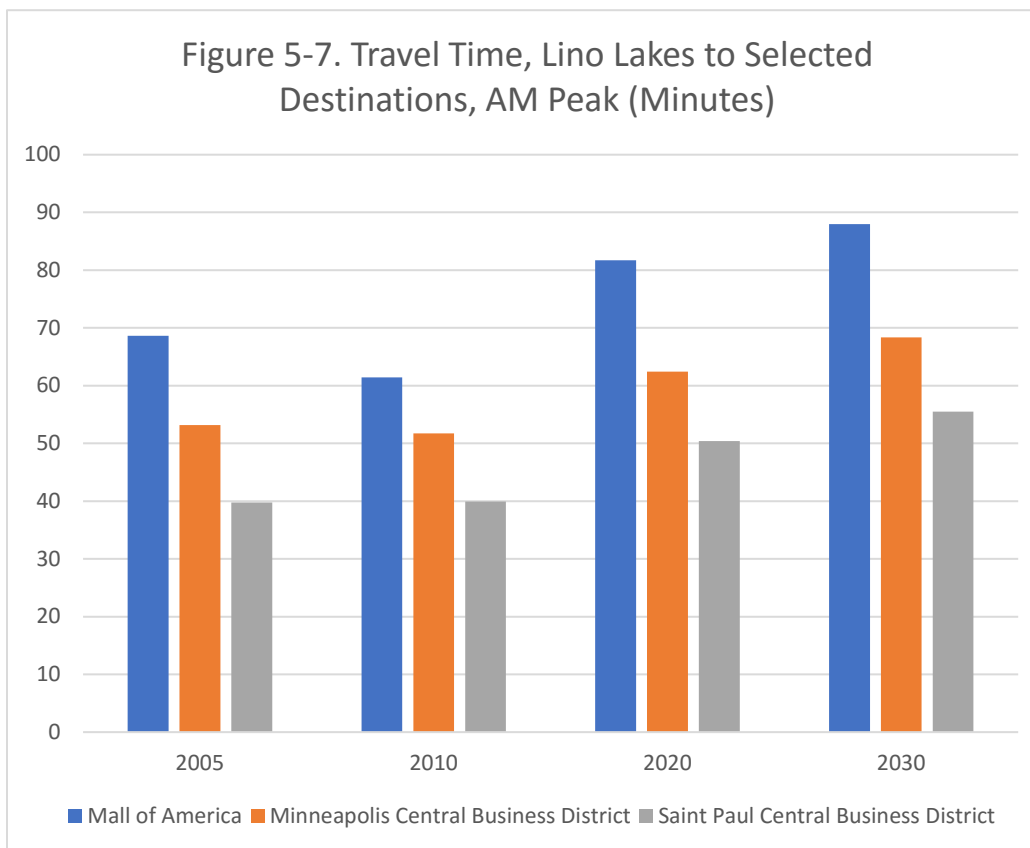


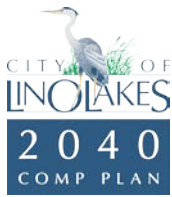
More local job opportunities would reduce the need for Lino Lakes residents to leave the city for employment. As commutes become more difficult, Lino Lakes residents may look for alternatives to driving alone, such as transit or carpooling. Housing close to job opportunities will be more desirable and also reduce the need for long commutes. Balancing employment growth with transportation and housing development will help make Lino Lakes more attractive to businesses and residents alike.

Table 5-9 and Figure 5-7 show travel time from Lino Lakes to selected destinations in the region. Travel times to the Mall of America and the Minneapolis and St. Paul Central Business Districts have increased since 2005 and will continue to get longer between now and 2030.

The Mall of America is included because data for the International Airport is not available but it is nearby the Mall. Travel time to the airport may be important to some businesses, which may be discouraged from locating in Lino Lakes as travel times increase. However, the city’s proximity to general aviation airports (including Anoka County/Blaine) may be seen as an advantage by others.

Table 5-9. Travel Time from Lino Lakes to Selected Destinations				
Destination	2005	2010	2020	2030
AM (6-9)				
Mall of America	68.61	61.42	81.74	87.95
Minneapolis Central Business District	53.16	51.73	62.42	68.35
Saint Paul Central Business District	39.75	39.92	50.38	55.5
PM (3-7)				
Mall of America	69.86	72.11	80.35	82.38
Minneapolis Central Business District	41.61	44.24	48.8	50.78
Saint Paul Central Business District	30.89	31.69	35.06	35.56
Source: Metropolitan Council Travel Demand Forecasting Model, 2010				





Lino Lakes 2040 Comprehensive Plan Update

Date: December 4, 2017 for December 13, 2017 Meeting

To: Lino Lakes Planning & Zoning Board

From: Anne Hurlburt, Planner
Landform Professional Services

Subject: Community Facilities Plan Overview

The Community Facilities Plan will be Chapter 11 of the Comprehensive Plan. At the December 13th meeting, we provide an overview of this chapter and discuss any issues for updating this part of the plan to 2040.

The plan will include the following major sections:

Goals and Policies—carried over from 2030 Comprehensive Plan with minor changes. The goals are:

1. Maintain the first-class education that the children of Lino Lakes are receiving, while also providing opportunities for additional education for adults.
2. Promote the usage, creation, and uniqueness of community facilities, while also soliciting creative funding sources.
3. Maintain quality public facilities and the full complement of city services to the residents of Lino Lakes.

Community Facilities Inventory and Future Needs—a brief description and an updated map of the public facilities in the city, including those owned by the city, school districts, county and state. This section will also include a map of the school district boundaries and describe how the city's forecasted growth may impact the three districts serving Lino Lakes. Please see the attachments or the current plan maps and the draft school district data.

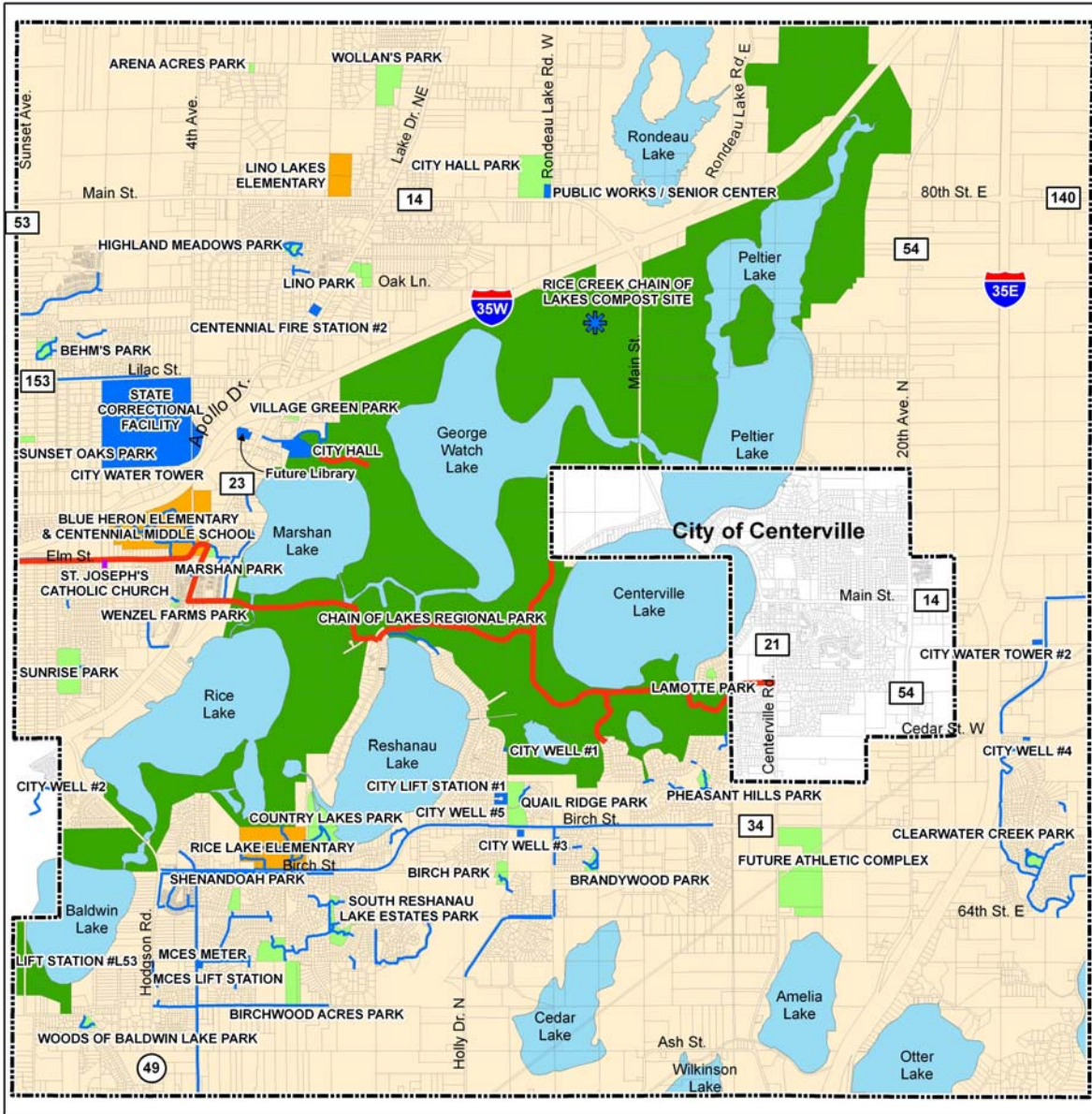
Implementation Strategies—for this chapter (and all others in the plan) will be included in Chapter 12 of the updated plan. Strategies for Community Facilities will focus on the three major goals listed above.

Attachments:

1. 2030 Comprehensive Plan Figure 9-1, Community Facilities Map
2. 2030 Comprehensive Plan Figure 9-2, School Districts Map
3. 2040 Community Facilities Draft, Growth by School District

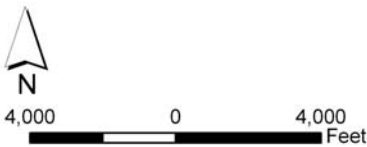


Figure 9-1. Community Facilities



Community Facilities

City of Lino Lakes 2030 Comprehensive Plan



- Municipal Trails
- Regional Trails
- Municipal Boundary
- Municipal Facilities
- Municipal Parks
- Regional Parks
- Schools
- Historic Site
- Open Water
- Other Areas in City

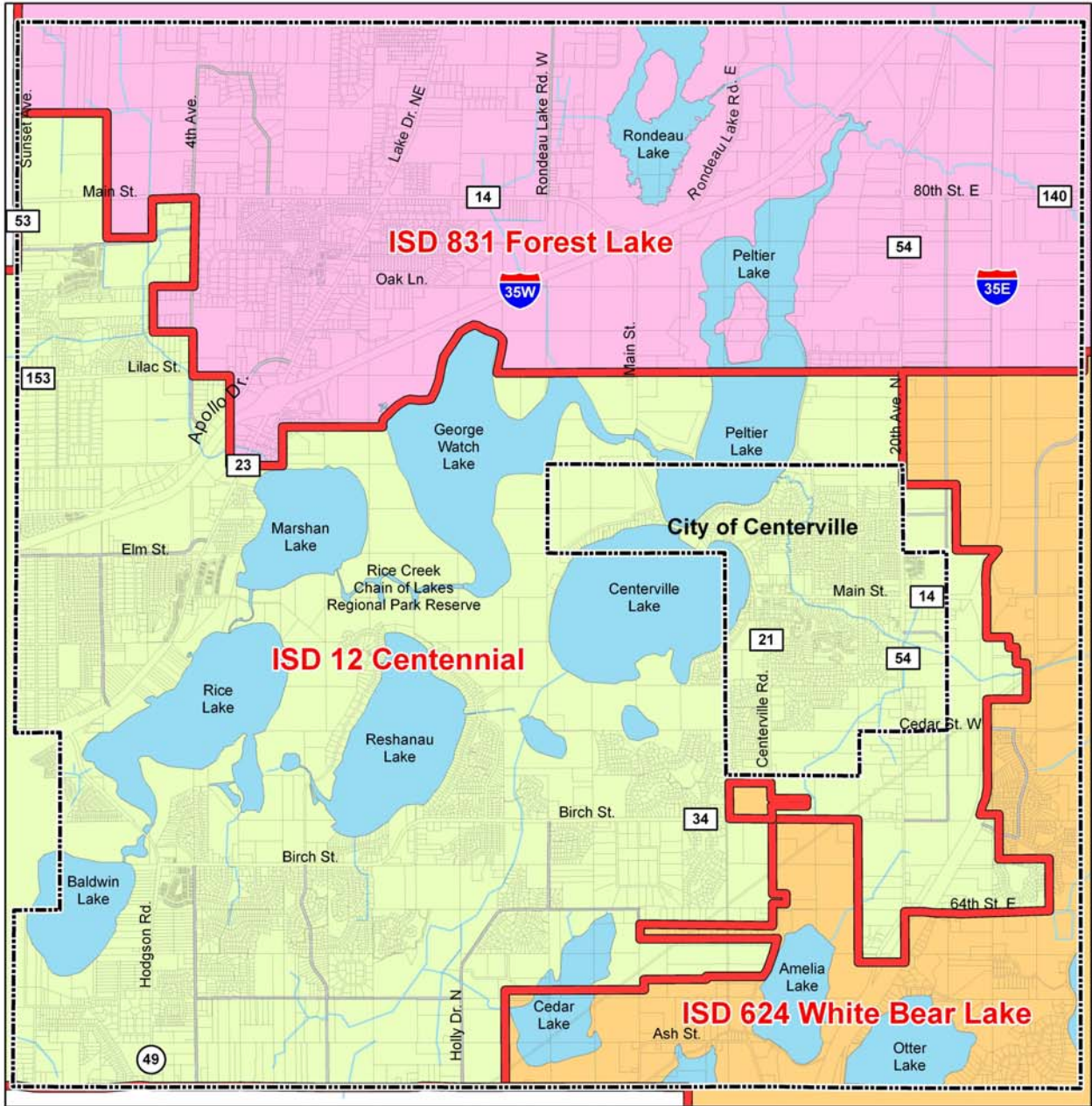


June 11, 2009

Prepared by Bonestroo

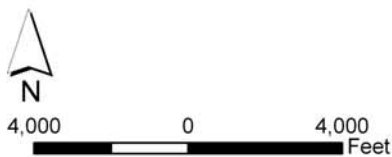
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Figure 9-2. School Districts



School Districts

City of Lino Lakes 2030 Comprehensive Plan



- Municipal Boundary
- ISD 12 Centennial
- ISD 831 Forest Lake
- ISD 624 White Bear Lake
- Open Water



July 31, 2008

Prepared by Bonestroo
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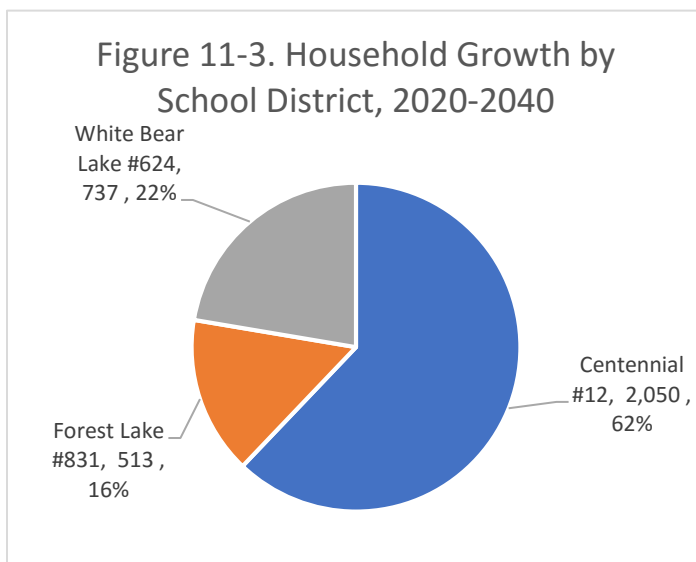
Chapter 11, Community Facilities (DRAFT)

Growth by School District

These projections are based on the Metropolitan Council’s forecasts for Lino Lakes’ growth, allocated by the availability of land for residential development in each district as provided by the Land Use Plan and Utility Staging Plans found in Chapter 3, Land Use. As illustrated by Figure 11-3, about 60 percent of the available land is in the Centennial School District No. 12, so the most growth is expected in that district.

District	2020-2030		2030-2040		Total, 2020-2040	
	Population	Households	Population	Households	Population	Households
Centennial #12	2,793	1,158	2,341	892	5,134	2,050
Forest Lake #831	402	167	909	346	1,310	513
White Bear Lake #624	905	375	951	362	1,856	737
Total Growth Forecast	4,100	1,700	4,200	1,600	8,300	3,300

Source: Metropolitan Council Forecasts and City of Lino Lakes





Get Involved!

Let's talk about the future of Lino Lakes. There are many opportunities to participate in the 2040 Update. All meetings are open to the public. Mark your calendar and join us!

Date	Meeting	Topic
July 10, 2017 (6:30 p.m.)	Park Board	Parks & Trails
July 12, 2017 (6:30 p.m.)	Planning and Zoning Board	Land Use
July 13, 2017 (8:00 a.m.)	Economic Development Advisory Committee	Economic Development
July 26, 2017 (6:30 p.m.)	Environmental Board	Surface Water/ Natural Resources
August 7, 2017 (6:00 p.m.)	City Council Work Session	Land Use
August 9, 2017 (6:00 p.m.)	Planning and Zoning Board	Land Use/ Housing
August 19, 2017	Blue Heron Days	Key Issues
September 13, 2017 (6:00 p.m.)	Planning and Zoning Board	Transportation
September 27, 2017 (6:30 p.m.)	Environmental Board	Surface Water/ Natural Resources
October 2, 2017 (6:00 p.m.)	City Council Work Session	Transportation
October 9, 2017 (6:30 p.m.)	Park Board	Review Draft Park Plan
October 11, 2017 (6:00 p.m.)	Planning and Zoning Board	Water (supply, sewer, surface)
November 6, 2017 (6:00 p.m.)	City Council Work Session	Land Use/ Housing Local Water Management Plan
November 8, 2017 (6:00 p.m.)	Planning and Zoning Board	Parks, Trails & Natural Resources
November 29, 2017 (6:30 p.m.)	Environmental Board	Local Water Management Plan
December 4, 2017 (6:00 p.m.)	City Council Work Session	Parks
December 13, 2017 (6:00 p.m.)	Planning and Zoning Board	Economic Development, Community Facilities





Lino Lakes 2040 Comprehensive Plan Update

Date	Meeting	Topic
January 2, 2018 (6:00 p.m.)	City Council Work Session	Sewer/ Water
January 8, 2018 (6:30 p.m.)	City Council	Local Water Management Plan
February 14, 2018 (6:00 p.m.)	Planning and Zoning Board	Draft Plan
March 5, 2018 (6:00 pm.)	City Council Work Session	Draft Plan
March 6, 2018 (6-8 p.m.)	Open House / Workshop	Draft Plan
April 11, 2018 (6:00 p.m.)	Planning and Zoning Board	Public Hearing
May 7, 2018 (6:00 p.m.)	City Council Work Session	Draft Plan
May 14, 2018 (6:30 p.m.)	City Council	Approve Draft
TBD (October or November, 2018)	City Council	Adopt Final Plan

All meetings are held at Lino Lakes City Hall, unless otherwise noted. Starting times and topics of meetings are subject to change. Meetings may be added or cancelled, please check the website for the latest information.

**Questions? Contact Community Development Director Michael Grochala
at 651-982-2427 or E-mail compplan@ci.lino-lakes.mn.us**

For more information and additional opportunities to engage in the Comprehensive Plan Process visit us online at www.ci.lino-lakes.mn.us



**PLANNING & ZONING BOARD
AGENDA ITEM 5A**

STAFF ORIGINATOR: Katie Larsen, City Planner

P & Z MEETING DATE: December 13, 2017

REQUEST: All Seasons Rental/SS Properties Addition (7932 Lake Drive) Final Plat

CASE NUMBER: FP2017-010

APPLICANT: Scott & Shelly Carlson
7932 Lake Drive
Lino Lakes, MN 55014

OWNER: Same

REVIEW DEADLINE:

Complete Application Date:	November 16, 2017
60-Day Review Deadline:	January 15, 2018
120-Day Review Deadline:	March 16, 2018
Environmental Board Meeting:	N/A
Park Board Meeting:	N/A
Planning & Zoning Board Meeting:	December 13, 2017
Tentative City Council Work Session:	January 2, 2018
Tentative City Council Meeting:	January 8, 2018 (1 st Reading) January 22, 2018 (2 nd Reading)

BACKGROUND

The applicants, Scott and Shelly Carlson, own All Seasons Rental located at 7932 Lake Drive. They have purchased the vacant 1.3 commercial parcel to the south with the intent to construct a new 7,740 s.f. commercial facility.

This Land Use Application is for the following:

- Final Plat
- Drainage and Utility Easement Vacation
 - To be reviewed and approved by the City Council

This staff report is based on the followings information:

- Surveys, civil plans and architectural plans submitted by Jamb Architects and Roshell Engineering, LLC dated November 11, 2017

Previous Council approvals:

- August 14, 2017: Ordinance No. 07-17 Rezoning from R-X, Rural Executive to GB, General Business
- August 14, 2017: Resolution No. 17-80 Approving Preliminary Plat
- August 14, 2017: Resolution No. 17-81 Approving Conditional Use Permits for Commercial Planned Unit Development and Small Engine and Boat Repair

ANALYSIS

Subdivision Ordinance

The development is a combination of 3 parcels. The existing north parcel is unplatted and has a metes and bounds legal description. The vacant south parcel is platted and legally described as Lot 1, Block 1, Pine Glen. The third parcel is a remnant parcel along Lake Drive. The parcels will be combined via plat to provide clear title and dedicate required easements. The name of the plat is SS Properties Addition.

Conformity with the Comprehensive Plan and Zoning Code

The preliminary plat is consistent with the comprehensive plan for commercial development and zoning code requirements for GB, General Business as detailed in the July 12, 2017 Planning & Zoning Staff Report. The final plat substantially conforms to the preliminary plat and therefore, is also consistent with the comprehensive plan.

Blocks and Lots

The proposed final plat contains Lot 1, Block 1, SS Properties Addition. There are no outlots. Lot 1 is 2.19 acres.

Streets and Alleys

The front lot line is along CSAH 23/Lake Drive. The south lot line is along Kelly Street. No street improvements are required.

Easements

Standard drainage and utility easements at least 10 feet wide have been provided along all lot lines. Easements are also provided over both stormwater management facilities.

A recorded 15 foot trail easement (Document #1986693.003) exists along a section of CSAH 23/Lake Drive. A new trail easement has been drafted and will be recorded over the existing easement granting to the City a perpetual easement for trail purposes over and across the Northwesterly 15.00 feet of Lot 1, Block 1, SS Properties Addition.

There are existing drainage and utility easements along the lot lines of Lot 1, Block 1, Pine Glen. These easements will be vacated and dedicated on the final plat of SS Properties Addition. The easement vacation will be processed with the final plat application by the City Council.

Stormwater Management and Erosion and Sediment Control

The existing retention pond on the east side of the site was constructed in 2005 with the Pine Glen development. This pond is being expanded to accommodate the new development. A new infiltration pond is also being constructed on the west side of the site.

Public Utilities

The existing building at 7932 Lake Drive is on private well and septic system. The utility plan notes services to be abandoned at property line. The new facility will be municipally served by an 8" PVC sanitary sewer and a 12" DIP watermain located along Kelly Street.

Public Land Dedication

Commercial park dedication fees for Lot 1, Block 1, Pine Glen were paid in 2005 with that development. No additional park dedication fees are required.

Site & Building Plans

The exterior materials have changed from brick facing and accent units and pre-colored block to precast concrete panels with brick, cultured stone, exposed aggregate and sandblasted smooth exterior finishes. These revised materials are acceptable.

The garage doors on the south (front) and east (side) elevations have been removed. This is acceptable.

Wetlands and Floodplain

There are no wetlands on site.

There are no floodplains located on site.

Anoka County Highway Department

Staff has distributed materials to Anoka County Highway Department and is waiting their comments. The applicant shall submit the final plat to the County for plat review.

Stormwater Maintenance Agreement

A Declaration of Stormwater Maintenance is required and shall include the City of Lino Lakes as a party to the agreement.

Development Agreement

A Development Agreement will be drafted by the City and shall be executed by the Developer.

Title Commitment

The City Attorney is satisfied with the title commitment.

Findings of Fact-Final Plat

The Planning and Zoning Board shall consider the final plat and the Community Development Department shall forward the Planning and Zoning Board recommendations to the City Council. The following requirements shall be met before consideration of the final plat by the Planning and Zoning Board:

1. The final plat shall substantially conform to the approved preliminary plat and phasing plan.

The final plat substantially conforms with the preliminary plat.

2. For plats that consist solely of individual single family residential lots, final plat applications for subsequent phases shall not be approved until building permits have been issued for 40% of lots in the preceding phase. This division applies only when the preceding phase consists of 40 or more lots; and

Not applicable. The final plat is for a commercial development.

3. Conditions attached to approval of the preliminary plat shall be substantially fulfilled or secured by the development agreement, as appropriate.

The conditions of the preliminary plat have been substantially fulfilled. Outstanding conditions listed below need to be addressed prior to release of the final plat mylars. Securities will be required with a Development Agreement.

RECOMMENDATION

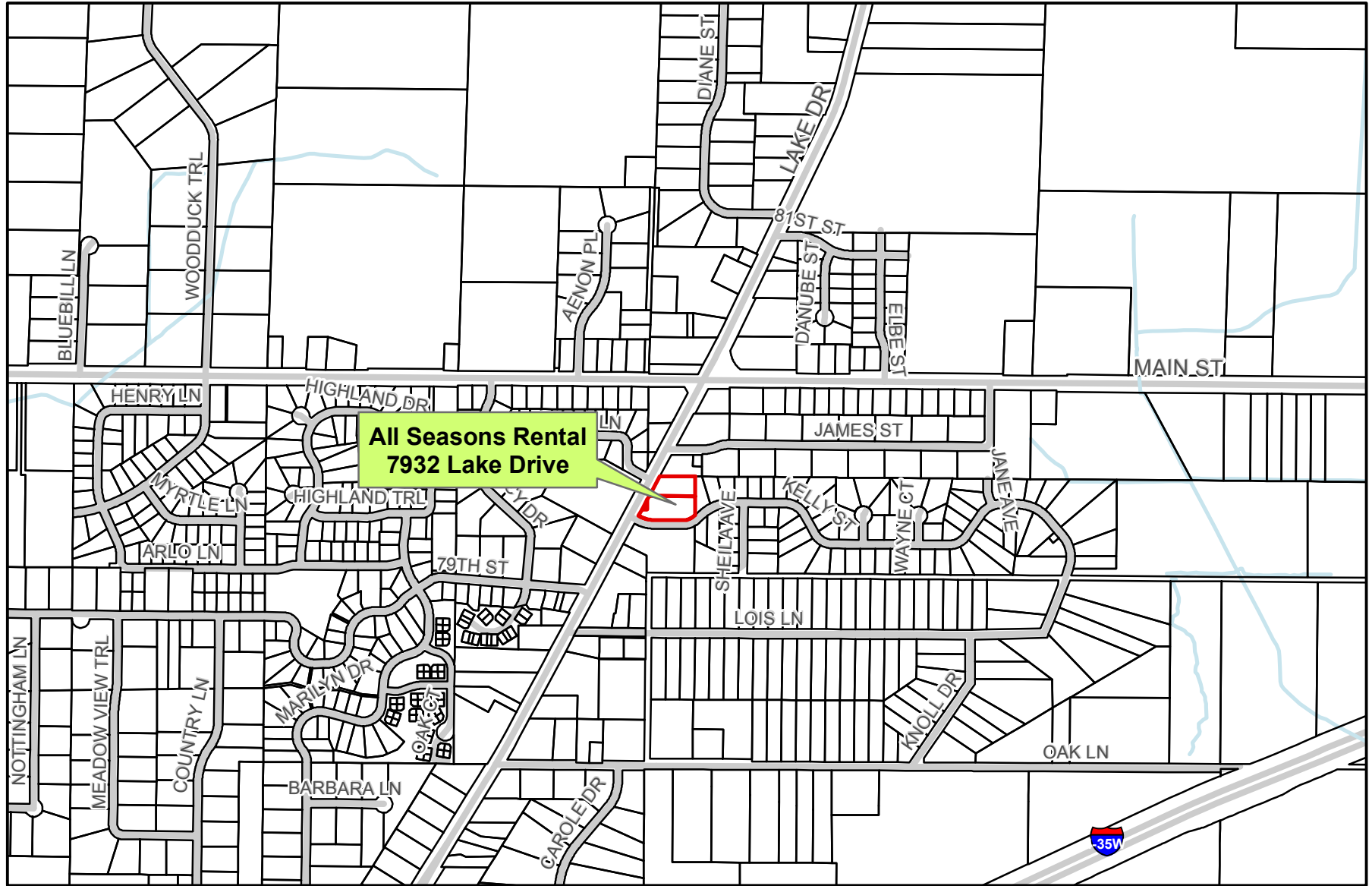
Staff recommends approval of the final plat for All Seasons Rental with the following conditions:

1. All comments from the City Engineer letter dated December 7, 2017 shall be addressed.
2. All comments from the Environmental Coordinator letter dated December 7, 2017 shall be addressed.
3. All plan sheets shall include a scale bar (not just a numerical scale).
4. Light fixture pole details and height shall be submitted.
5. Revisions to Plan Sheet A1.1:
 - a. The 6 foot screen fence on the east side of the site shall be offset by a minimum of 2' at intervals of 75' maximum length per Section 1007.043(17)(f)7.
 - b. All driveways and parking lot areas shall be paved.
 - i. This includes the north portion of the development near the accessory storage building and ready mix operations.
 - ii. Plan shall be revised to clearly reflect paved surface materials.
 - c. Plan sheet shows the accessory storage building as 40 ft x 24 ft (960 sf) but the plan says 1,300 sf and the Menards specifications indicate 40 ft x 26 ft (1,040 sf).
 - i. All plans and specifications shall be revised accordingly.
 - d. Fence details shall indicate what material is being used for 6 foot screen fence.
 - e. Future decorative fence shall be installed with development.
 - i. Omit word "future".
 - f. Material details shall be provided for trash enclosure gate.
 - g. The approved Conditional Use Permit allows for 6 parking stalls on the west side to be used for exterior display. The site plan indicates 8 parking stalls.
 - i. Site plan shall be revised to reflect only 6 parking stalls.
 - h. The existing well shall be properly capped.
6. Sheet CO, Site, Grading and Drainage Plan:
 - a. A separate Demolition Plan sheet shall be created to clearly show all items proposed for removal (gravel, structures, well, driveways etc.).
 - b. Sheet CO (and subsequent sheets) shall then only show proposed new construction.
 - c. Plan shall be revised to clearly show correct proposed ground cover for entire site.
 - i. Plan currently shows existing gravel in the rear yard.
 - d. The size of the accessory structure shall be corrected.
7. Revisions to Sheet A3.1:
 - a. Height of building and accessory storage building and measurements shall be included on plan sheet.
 - b. Plan sheet shall indicate "No roof-top mechanical equipment-infrared internal heating units being utilized".
8. Accessory Storage Building:
 - a. The 40 inch wainscot base shall be brick to match the main building.
9. Revisions to Sheet LS1.1 and LS1.2 Landscape Plan:
 - a. Foundation Landscape:

- i. The data charts on the top and bottom of the plan sheet do not match and shall be revised.
- ii. Foundation trees along the south and west side of the buildings are required per ordinance.
 - 1. Only trees planted within 30 feet of the building shall be considered within the foundation landscape zone.
 - 2. Foundation trees could be planted within parking islands.
 - 3. Plans shall be revised.
- b. Open Area Landscape Standards:
 - i. Sheet LS1.1 shall clearly indicate the area being calculated as open area and the trees and shrubs counted towards compliance.
 - 1. The plan shows hatch marked areas but no legend indicating what this hatched area represents.
 - 2. Only land above the storm water detention pond's normal water level (NWL) shall be included in the open area calculations.
 - ii. Sheet LS2.1 indicates 51 shrubs are required.
 - 1. These shrubs are to be located within the open areas.
 - 2. The 48 foundation landscape shrubs do not count for both foundation and open area landscaping.
 - 3. Plans shall be revised.
- c. Buffer and Screen Standards:
 - i. The berms and landscape screens proposed along both Lake Drive and Kelly Street shall be continuous with no breaks in the berm or landscaping.
 - ii. The plans shall be revised.
- d. The Autumn Blaze Maple proposed at the corner of the east driveway and Kelly Street shall be relocated so it is out of the vision triangle.
- e. An irrigation plan is required for all grass and landscaped areas.
- f. Seed mix details are required for both storm water ponds.
- g. Landscaping shrubs and trees shall be planted between the CSAH 23/Lake Street lot line and fence.

ATTACHMENTS

- 1. Site Location Map
- 2. Aerial Map
- 3. City Engineer letter dated December 7, 2017
- 4. Environmental Coordinator letter dated December 7, 2017
- 5. Revised Plan Set and Architectural Elevations
- 6. Final Plat



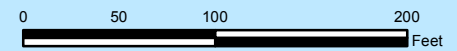
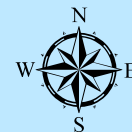
Site Location Map



Date: 7/6/2017



Aerial Map All Seasons Rental



Date: 7/6/2017



Memorandum

To: *Katie Larsen, City Planner*

From: *Diane Hankee PE, City Engineer*

Date: *December 7, 2017*

Re: *All Seasons Rental
Final Plat Plan Review
WSB Project No. 010301-00*

We have reviewed the plan submittal documents dated November 11, 2017 for the All Seasons Rental development in Lino Lakes, MN prepared by Roshell Engineering, LLC. The Original comments are in black and our most recent comments are in green and should be responded to in writing by the applicant.

All plans, specifications, and construction activities shall reference the latest version of the City General Specifications and Standard Detail Plates for Street and Utility Construction dated November 2016, the 2013 CEAM, and the 2016 MnDOT Standard Specifications.

Engineering

- **Site, Grading, Erosion and Sediment Control**

The All Seasons Rental facility is currently located on the northeast corner of the intersection of Lake Drive and Kelly Street. All Seasons Rental proposes the construction of a 7,740 square foot building with an associated parking area. The proposed site development also includes the construction of a separate 1,000 square foot building and reconfiguration of the existing concrete batch plant in the northeast corner of the site. Erosion control measures shown include silt fence along Lake Drive.

Comments:

1. ~~Erosion control BMP's shall in place and properly maintained, including perimeter control (silt fence) and rock construction entrance prior to construction.~~
2. Provide construction entrances at all access points.
 - Only one Rock Constriction Entrance (gravel construction entrance) is called out on the Sediment and Erosion Control Plan. If only one will be constructed,

include a note on the Sediment and Erosion Control Plan that all vehicles leaving the site most leave via the Rock Constriction Entrance.

3. ~~Show location for temporary/permanent erosion control measures on the plans.~~
4. ~~Silt fence required around the entire perimeter of the site.~~
5. Note the seven day stabilization requirement (temp/perm).
 - Include a note on the Sediment and Erosion Control Plan that all disturbed area must be stabilized immediately but not later than seven days of ceasing work.
 - Include a note on the Sediment and Erosion Control Plan for temporary stabilization measures if permanent measures cannot be established.
6. Denote the inspection process/schedule for SWPPP activities as well as the person(s) to ensure the inspections and maintenance activities are being performed.
7. ~~Provide a legend on all sheets for existing and proposed plan features.~~
8. Provide a demolition/removal plan and phasing narrative.
9. ~~Relocate the proposed tree located within the site triangle at the intersection of Kelly Street and Lake Drive. Also, relocate the trees (3) located within the site triangle at the intersection of Kelly Street and the southeasterly site entrance. Trees may not be located on the corner near the intersection of Kelly Street and Lake Drive.~~
10. Proposed trees cannot be located within the infiltration area as they are currently shown.
 - Change tree type to White Oak and move 2-ft further away from trail easement to allow for future trail.
11. ~~Show the existing 15' trail easement along Lake Drive. The infiltration pond cannot encroach on said easement.~~
12. ~~Use City of Lino Lakes Standard Detail plates GEN-16, GEN-17~~
13. ~~Add existing contours and labels to the grading plan~~
14. Extend existing contours a minimum of 100 feet beyond the property lines
15. ~~Include the horizontal and vertical datums used on the survey and on the plans.~~
16. ~~Inlet protection is needed on all proposed catch basins and the two existing catch basins on Kelly Street.~~
17. Please clarify the hatching on the north and northeast side of the site.
 - The Site, Grading, & Drainage Plan indicates that much of the north and northeast sides of the site will be a gravel surface.
 - i. Remove gravel hatching from pond. The expanded pond should not have a gravel bottom
 - ii. Verify that the gravel surface is included in the total impervious area calculation.
18. Berm shown on landscape plan (LS1.1) is not shown on the grading plan.
19. Ensure all BMP and stabilization measures are included in the estimated quantities section.
20. Proposed contours shall be shown at 1-ft intervals. The current Site, Grading, and Drainage Plan has inconsistent contour intervals.
21. On site pedestrian ramps shall conform to ADA standards.
22. Provide a scale bar on sheet A1.1.
23. Ready Mix Operations
 - i. The applicant shall provide a contaminant spill plan and procedures for concrete washout.

- ii. A berm or containment area is required around the concrete washout area. Runoff containing concrete materials shall be prevented from entering the adjacent pond / infiltration areas.
- iii. The area shall be a hard surface.

- **Stormwater Management**

The proposed stormwater management for the All Seasons Rental development consists of the expansion of the existing sediment retention pond on the east side of the site and construction of an infiltration pond on the west side of the site, adjacent to Lake Drive (CSAH 23). The site drainage is split east/west at the front entrance of the proposed building. The easterly drainage area sheet flows to a catchbasin along the easterly curb line and discharges to the expanded storm pond. The westerly drainage area sheet flows to a rain guardian structure along the westerly curb line and discharges to the proposed infiltration pond. Existing surface drainage from Lake Drive is conveyed along a ditch that discharges into a parallel storm sewer system in Lake Drive. **The applicant has received a RCWD CAPROC.**

Comments:

1. ~~City's required minimum diameter storm pipe size is 15". Revise discharge pipe size and flared end section from CB-1. Provide invert elevation for FES.~~
2. ~~Detail the removal of existing storm sewer and construction of STM MH 2 over the existing storm sewer pipe.~~
3. A cross section of the proposed infiltration pond showing depths and materials used is required.
4. ~~Infiltration test upon completion of the infiltration pond construction will be required.~~
5. ~~Provide a drainage and utility easement for the pond expansion area and the infiltration pond area.~~
6. ~~Use City of Lino Lakes Standard Detail plates STR-5, STR-6, STR-7~~
7. Modeling
 - a. ~~Existing and proposed drainage area maps need to be provided~~
 - b. ~~All hydrologic modeling should use the MSE3 24-hour rainfall distribution along with the NOAA Atlas 14 rainfall depths, rather than SCS Type II distribution.~~
 - c. ~~The existing pond should be included in the existing model — please note, this will affect the existing discharge rates.~~
 - d. **HydroCAD needs the stage storage of ponds to be higher in elevation than the peak elevation of the storm event to calculate accurate flow and level information. Please update the pond stage elevations to include more storage and or adjust the outlets to allow the peak elevation to be less than the highest stage storage elevation in the critical rainfall event. Please note, this will affect existing and proposed discharge rates and levels.**
 - e. ~~Please clarify the total site area discrepancies:~~
 - i. ~~The narrative states the total site area is 2.19 acres~~
 - ii. ~~The existing HydroCAD model states the total site area is 2.15 acres~~
 - iii. ~~The proposed HydroCAD model states the total site area is 2.17 acres~~

- f. ~~Create a table demonstrating reduction of discharge rates, in aggregate, for the 2-, 10-, 100-year 24-hour and 100-year 10-day events.~~
- 8. Infiltration basin
 - a. ~~Correct the total impervious area discrepancies:~~
 - i. ~~The narrative states the total impervious area is 1.40 acres~~
 - ii. ~~The proposed HydroCAD model states the total impervious area is 1.45 acres~~
 - b. ~~Verify enough water will reach the infiltration basin as the applicant must infiltrate 1.1 inches over the impervious surface of the site in 48 hours or less.~~
 - i. ~~If the total impervious area of the site is 1.45 acres, the applicant would need to infiltrate 0.133 acre-feet:~~
 - ii. ~~Subcatchment B in the HydroCAD model only generates 0.091 af of runoff in the 2-year event, not enough to meet the required infiltration volume.~~
 - c. ~~Lower the overland flow outlet elevation for the infiltration basin to insure it draws down in 48 hours.~~
 - i. ~~For the infiltration basin to draw down within 48 hours, the basin may only be 1.8 feet deep.~~
 - d. ~~The infiltration basin has sufficient capacity to meet the volume control requirements. The surface area of the infiltration basin is approximate 4,180 square feet.~~
 - e. ~~Include the existing contours of the ditch with labels to better define the grading of the infiltration basin.~~
 - f. ~~Add a defined overland flow section to the 908.0-foot berm.~~
 - i. ~~This will double as an infiltration depth control to insure the pond draws down in 48 hours.~~
 - ii. **Include a cross-section of the overflow outlet on the Site, Grading, & Drainage Plan**
 - g. ~~Include the following notes in the plan for the infiltration basin:~~
 - i. ~~Install all temporary erosion control measures prior to the start of any construction operation that may cause any sedimentation or siltation at the site~~
 - ii. ~~The infiltration may not be used as a temporary sediment basin during constructions.~~
 - iii. ~~If sediment is introduced into the infiltration system during or immediately following excavation, this material must be removed within 24 hours.~~
 - iv. ~~Ensure all critical elevation are correct (including, but not limited, to top of media and inverts of overflows).~~
 - v. ~~Seeding and installation of erosion control blanket shall be completed within 48 of final grading on the infiltration system.~~
 - vi. ~~Do not remove temporary erosion control devices until after contributing drainage area is adequately vegetated.~~
- 9. **The infiltration pond should not be shown as an area that will be sodded on the ground cover version of sheet A1.1.**

- **Water Supply**

The existing All Seasons Rental site is currently served by an on-site well. The proposed All Seasons Rental development is to be served by municipal water. A 12" DIP trunk watermain with an 8" DIP watermain stub was constructed within the Kelly Street right of way as part of the Pine Glen development. A 6" DIP water service extension is proposed.

Comments:

- ~~1. Provide an 8"x6" reducer on the proposed service line.~~
2. The existing well must be properly capped and abandoned. A MDH well sealing record will be required.
- ~~3. The existing water service along Lake Drive must be removed to the trunk watermain. Show bituminous patch/replacement on Lake Drive for service abandonment.~~

- **Sanitary Sewer**

The existing All Seasons Rental site is currently served by an on-site septic system. The proposed All Seasons Rental development is to be served by municipal sanitary sewer. An 8" PVC trunk sanitary sewer line with a 6" PVC sanitary sewer service stub was constructed within the Kelly Street right of way as part of the Pine Glen development. A 6" PVC sanitary service extension with a cleanout is proposed.

Comments:

- ~~1. Sanitary sewer services to be Schedule 40 pipe.~~
- ~~2. The existing septic system must be properly abandoned/removed.~~
- ~~3. The existing sanitary sewer service along Lake Drive must be removed to the trunk sewer main.~~

- **Transportation**

The All Seasons Rental site proposes the creation of two access points on Kelly Street along with the relocation of the existing access drive off of Lake Drive. No additional right of way or public streets are proposed. Due to All Seasons Rental being an existing business at this location, no level of service increase along Lake Drive (CSAH 23) or Kelly Street is anticipated.

Comments:

1. Review and approval by the Anoka County Highway Department of the realigned CSAH 23 access drive for the All Seasons Rental development will be required.
2. The proposed blacktop area of recycle should be hard surface.
3. Submit truck turning movements for on site movements.

- **Floodplain**

Floodplain is not present on the All Seasons Rental development site.

- **Wetlands and Mitigation Plan**

Based on information provided, wetlands are not present on the All Seasons Rental development site. The National Wetlands Inventory, however, shows the existing storm pond on the east side of the site to be a wetland (PEM1C).

1. Expansion of the existing storm pond does not negatively impact the existing wetland.

- **Drainage and Utility Easements**

The All Seasons Rental development identifies the drainage and utility easements as recorded in the plat of Pine Glen.

- ~~1. Provide a drainage and utility easement for the easterly pond expansion area.~~
 - a. Show all easements on the Site, Grading, and Drainage Plan. The OHW for the pond needs to be 5-ft from the east property line.
- ~~2. Applicant to provide contour data along Lake Drive to verify existing drainage area of Lake Drive (see comment 8.e). The proposed infiltration pond may need to be contained within a drainage and utility easement.~~
3. A 15-ft trail easement along the west property line has been provided.

- **Development Agreement**

The All Seasons Rental development will require a development agreement.

- **Grading Agreement**

A grading agreement is not applicable at this time.

- **Stormwater Maintenance Agreement**

A Declaration of Stormwater Maintenance is required and shall include the City of Lino Lakes as a party to the agreement.

- **Permits Required**

The following permits shall be obtained prior to the issuance of a grading permit.

Comments:

1. NPDES Construction General Permit
2. Rice Creek Watershed for Erosion and Sediment Control
3. City of Lino Lakes Zoning Permit for Grading
4. Anoka County Highway Department

Ms. Katie Larsen
December 7, 2017
Page 7

If you or the applicant has any questions regarding these comments, please contact Diane Hanke at (651) 982-2430 or diane.hanke@ci.lino-lakes.mn.us.



Memo

To: Katie Larsen
From: Marty Asleson
Date: December 7, 2017
Re: Environmental Board Comments, All Seasons Rental

The following comments and recommendations apply to review by the Environmental Board on July 26, 2017:

1. The soil boring from the approximate location of the pond shows a soil fill that that is unsuitable for infiltration going down to the 904.0 elevation, or 4.5 feet down. The pond is proposed to be excavated to a 906 elevation. The difference is 2 feet of unconsolidated, possibly low or no infiltration soils. The report notes that the on-site silt based soils are relatively impervious and are conducive to the development of zones of perched water at varying elevations and locations across the project site.

Infiltration tests must be done to show that the 2 feet under the pond will adequately infiltrate, or the pond should be excavated out to the native soils and filled back in with native soils. "Adequately" as defined in the Minnesota Stormwater Manual, means that "A natural or constructed impoundment that captures, temporarily stores and infiltrates the design volume of water into the surrounding naturally permeable soil over several days".

December 7, 2017; Re-Comment on Infiltration Pond: The response given on this issue by Rochell Engineering in their November 9th, 2017 letter states the "Pond will be excavated down to 903, and sand loosely placed back to elevation 906.0."

This is fine for filtration in the first 2.5 feet of the bottom of the pond. However; this does not answer the question of whether the pond will infiltrate. Adequate infiltration is defined above in the August 8th Staff Comments. Soil survey information from Anoka County indicates or notes that existing subsoils may consist of relatively impervious silty soils that are conducive to perched water tables.

Only soil borings can verify the presence of adequately infiltrating soils on this site. I have not seen any soil borings done to confirm this. There are several “infiltration ponds” designed in Lino Lakes that do not infiltrate, because subsoils were not adequately identified. The pond on this site should be treated as NURP and adequate size given to volume control, if it is found it will not infiltrate.

Need soil borings taken in the bottom of the pond verifying infiltration will occur.

2. There is a concrete batch plant existing on the site. The batch plant will be programmed into the new site development. Concrete spillage and wash-out is considered a pollutant by the State of Minnesota. The owner will submit design plans for concrete devices to collect concrete mix spillage at the beginning of the process, and concrete washout collection at the end of the process.

December 7th, 2017 concerning concrete spill containment asks for a plan detail. As of December 7th, no such detail has been received.

3. A stormwater maintenance agreement must be initiated with the City of Lino Lakes.

December 7th, 2017 have not seen a stormwater maintenance agreement.

4. Relocate the proposed tree located within the site triangle at the intersection of Kelly Street and Lake Drive. Also, relocate the trees (3) located within the site triangle at the intersection of Kelly Street and the southeasterly site entrance. Proposed trees cannot be located within the infiltration area.

5. All proposed sod areas must be irrigated.

December 7th, 2017 and site development plan A1.1 dated 11.10.17 shows sodded areas over everything not impervious on the western 3/4th of the project; yet there is a rain garden infiltration pond located in this area. Rain Garden infiltration pond needs to be designed according to the RCWD or City infiltration pond planting design standards.

The ponding area on the east side of the project has a #500 “see” mix in the table. It is not known if this means 500 lbs., or some kind of a mix named #500 that we are unaware of.

Both ponds need more detailed plans to include specific ground cover proposed.. All trees should be placed on the site development plan as well.

An irrigation plan must be submitted for all sodded areas.

6. An NPDES permit is needed for the project. All requirements for Erosion and sediment control required in the permit must be submitted before the project breaks ground. Requirements include silt fence perimeter control, rock entrance and inlet protection; as well as construction site monitoring requirements (Certified individual and contact information for inspector for stormwater must be accepted with the City before construction).

December 7th, 2017, certification requirements still apply.

GENERAL NOTES:

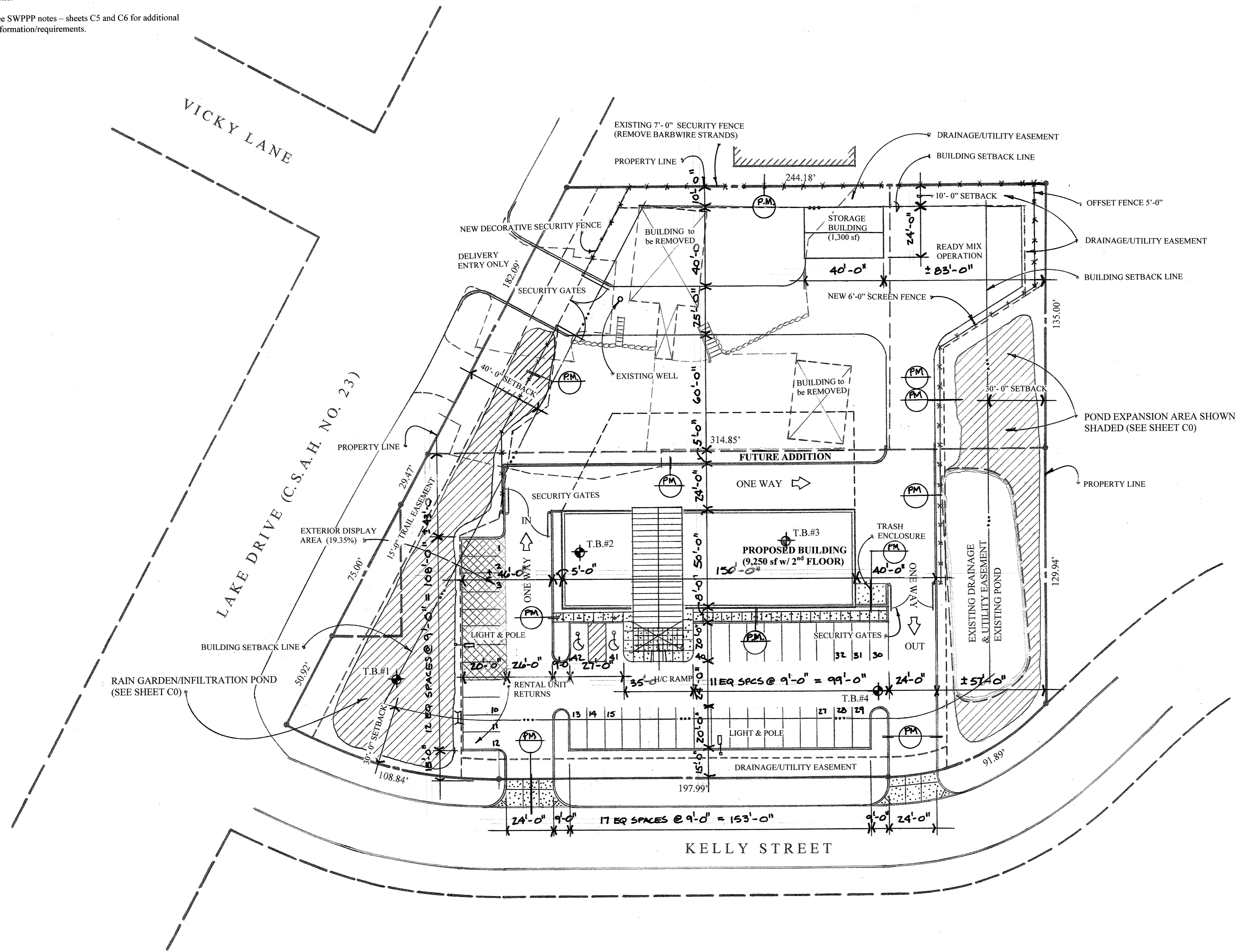
- See Site Survey (Sheet C); Utility Plan (Sheet C1); Drainage & Grading Plan (Sheet C0) and Erosion Control Plan (Sheet C), for additional information not transferred.
- All Contractors bidding this project shall visit the site to review conditions which may effect the work of their trade.
- See project manual for P.M./Details, abbreviations, material indications and reference symbols.
- Take care to protect all existing construction which is to remain intact, including utilities and services to the building.
- The premises shall be maintained free from unsafe or hazardous conditions in accordance with the provisions of the IBC chapter 33 – safeguards during construction.
- All refuse matter shall be removed & disposed off-site in a legal and proper manner. All waste materials shall be stored and removed in a manner which prevents injury or damage to persons and adjoining properties.
- The soil bearing capacity is 3500 PSF, see geotechnical report #17.61938.100 dated 4/14/17 & prepared by NTI (Northern Technologies, LLC); if unsuitable soil conditions are found which may effect the footing design, contact the Architect and/or Engineer immediately.
- Contact Gopher State for U.G. utility locates.
- Field verify all field conditions & elevations indicated. Advise Architect/Engineer of all conditions that do not conform to the documents.
- Subcut all driveways, parking lots and sidewalks as Specified. Provide subgrade required for base mat'ls.
- Remove/relocate trees onsite as directed by Owner. Protect existing trees which are to remain.
- Report all variations between details and the actual existing field conditions to the Architect/Engineer prior to proceeding with the work.
- New drive and parking lot areas shall be bid as base Bid and shall include the installation of two (2) lifts of bituminous.

The new paving section shall consist of 8" compacted class V granular base, 1-1/2" plant mixed bituminous base course at all standard duty drive areas & 2-1/2" base course on all heavy duty drive areas w/ an oil tack coat and 1-1/2" plant mixed bituminous wear course over the entire parking lot & drive area.

The drive area in the north half of the existing lot is proposed to be recycled bituminous millings. Provide an add alternate for black-top in lieu of recycled.
- Paving contractor to provide 4" wide painted parking guidelines, including handicap logos: color to be blue, striping to be white and paint shall be compatible w/ bituminous substrate.
- Provide handicap parking signs (2) "Van Accessible" on steel channel post centered upon each handicap accessible parking spot. Provide all other traffic signage indicated on the Site Plan (Sheet A1.1), mounted on "Armo" channel posts. Locate as indicated on the Site Plan.
- Concrete curb and gutter shall be bid as the base bid Where indicated at parking lot and drive edges. Furnish all site concrete, pads, slabs, sidewalks, etc. with broom finished air entrained concrete; the 2'-6" grids shown at the entry area shall be exposed aggregate w/ clear sealer finish.
- Provide handicap access meeting State of Minnesota and Federal ADA requirements from the point of the handicap parking entrance into and throughout the Main Building Entry.
- All building signage shall be arranged for & furnished by the Owner.
- Contact Gopher State for Underground Utility locates prior to starting construction.
- Field verify all conditions on site which may effect the construction sequencing.
- The existing well is to remain active and used as the main water source for concrete mixing plant and the underground sprinkler system for landscaped areas. Verify with the Owner.
- The demolition of the existing site structures shall be scheduled to occur after completion of new facility and relocation of the existing business.

- Concrete Contractor shall pour 4" concrete sidewalks with air entrained concrete with light broom finish.

Concrete at main entry to be 4" air entrained concrete with exposed aggregate finish and 2'-6" x 2'-6" grid pattern.
- Concrete Contractor shall pour 6" concrete aprons w/ 6x6 – 10/10 WWM on 8" compacted class V base.
- 12" rain garden F & I by Earthwork Contractor in conjunction with the construction of the infiltration pond.
- See SWPPP notes – sheets C5 and C6 for additional Information/requirements.



SITE DEVELOPMENT PLAN

1" = 30'-0"



INFILTRATION POND NOTES:

- Contact Rice Creek Watershed District Inspector for Preconstruction meeting prior to the start of grading operations.
- All erosion control measures must be installed prior to commencement of grading operations and be maintained until all areas altered on the site have been restored.
- Prior to grading, place orange construction safety fence along the perimeter of the infiltration pond area to prevent compaction of the soils. Contractor to keep heavy equipment out of the infiltration ponding areas as much as is practical.
- Do not over excavate infiltration areas for borrow fill.
- Final grading of infiltration pond areas should not occur until the contributing drainage area is constructed and stabilized. The seeding/restoration/planting of the infiltration ponding area shall be completed within 24 – 48 hours of the final grading.
- Install silt sacks in all catch basins which are located within the disturbed areas unless noted otherwise.

CERTIFICATE OF SURVEY - RESOURCE INVENTORY

~of~ SS PROPERTIES ADDITION
~for~ ALL SEASONS RENTAL
7932 LAKE DRIVE,
LINO LAKES, MN 55014
651-717-2942

PROPERTY DESCRIPTION

PARCEL A:
That part of the North 135.00 feet of the west 248.50 feet of the South Half of the Northwest Quarter of the Northwest Quarter of Section 9, Township 31, Range 22, Anoka County, Minnesota, lying easterly of State Trunk Highway No. 8, except that part taken for road, according to the United States Government Survey thereof, Anoka County, Minnesota.

AND

PARCEL B:

The North 135.00 feet of the east 80 feet of the west 328.50 feet of the South Half of the Northwest Quarter of the Northwest Quarter, Section 9, Township 31, Range 22, Anoka County, Minnesota.

AND

Lot 1, Block 1, PINE GLEN, Anoka County, Minnesota.

AND

All that part of Lot 5 AUDITOR'S SUBDIVISION NO. 100, Anoka County, Minnesota, described as follows:

Beginning at the most Northerly corner of said Lot 5; thence Southerly on the East line of said Lot 5, 88.62 feet; thence Westerly at right angles, 46.34 feet, more or less, to the Northwesterly line of said Lot 5 (being the Southeastery right of way line of old Highway 8, now County State Aid Highway No. 23); thence Northeasterly along said Northwesterly line to the point of beginning, except Parcel 39, Anoka County Highway Right-of-Way Plat No. 17, Anoka County, Minnesota.

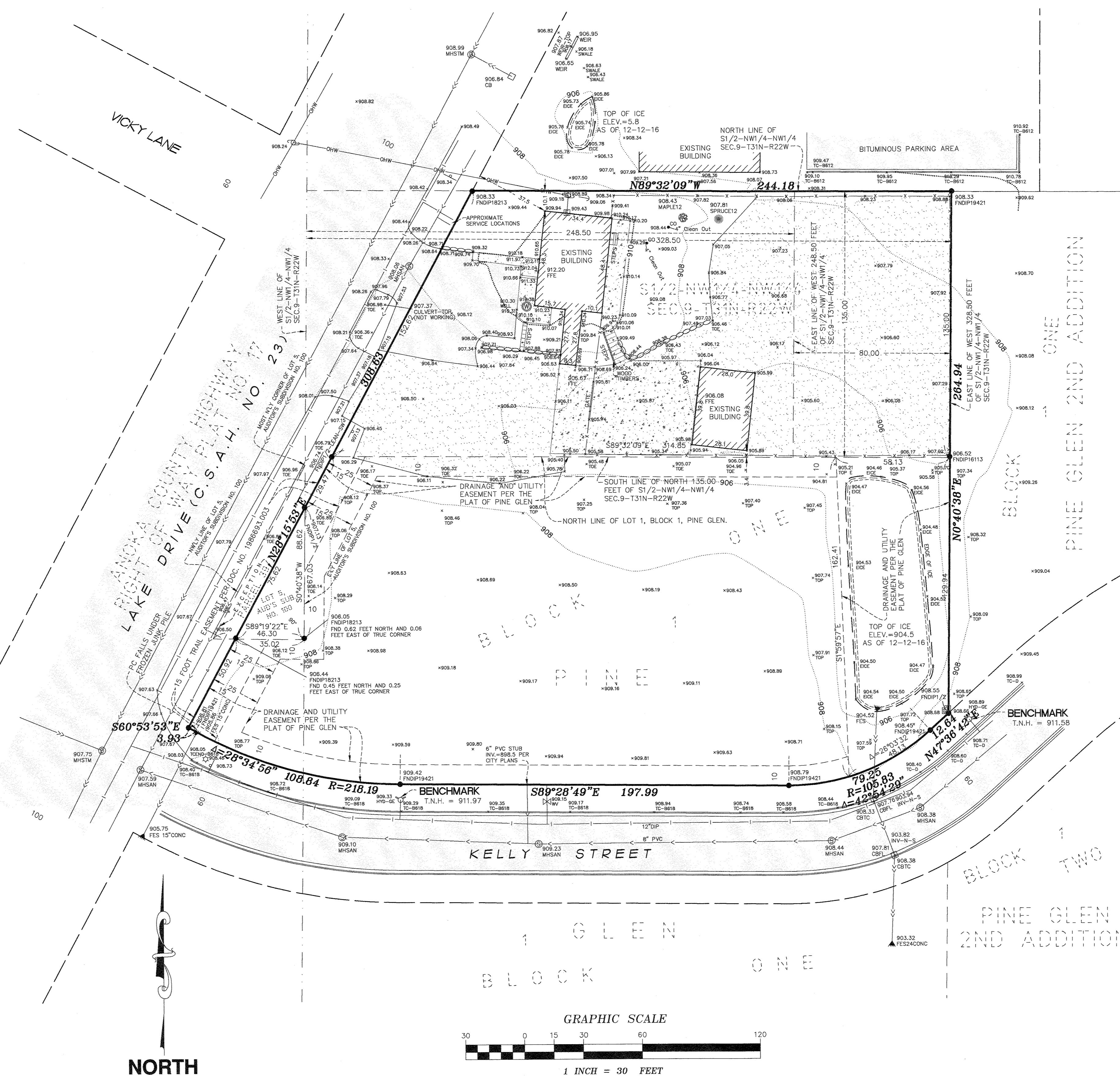
NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. on 12/13/16.
- Property Address: 7928 and 7932 Lake Drive, Lino Lakes, MN 55014.
- Bearings shown are on Anoka County Coordinate System.
- Curb shots are taken at the top and back of curb.
- This survey was prepared without the benefit of title work. Additional easements, restrictions and/or encumbrances may exist other than those shown hereon. Survey subject to revision upon receipt of a current title commitment or an attorney's title opinion.
- Due to field work being completed during the winter season there may be improvements in addition to those shown that were not visible due to snow and ice conditions characteristic of Minnesota winters.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

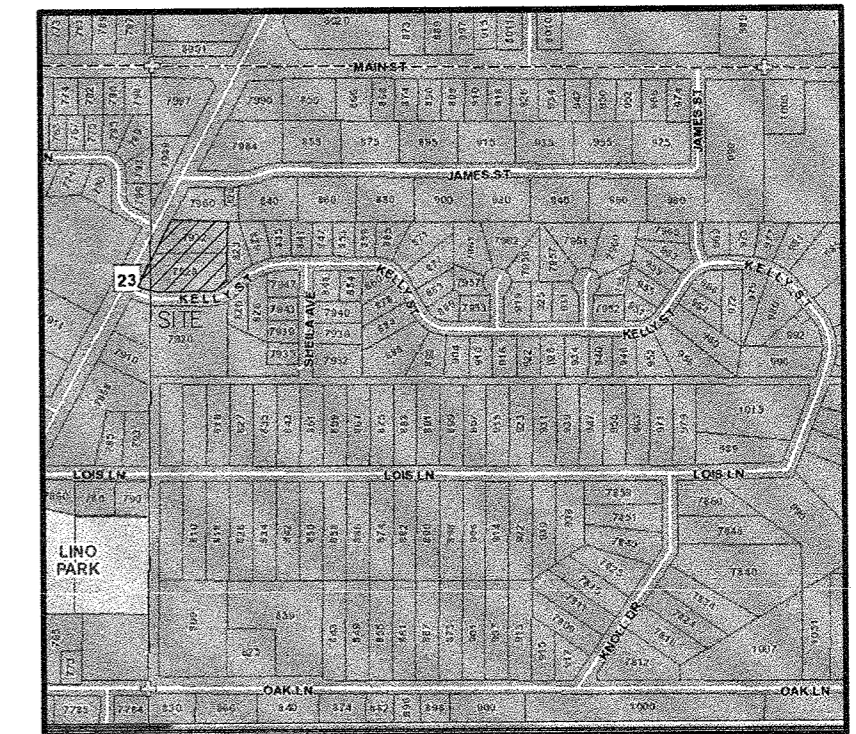
BLR
BLAKE L. RIVARD
Date: 4-12-17 License No. 19421

E.G. RUD & SONS, INC.
EST. 1977
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701



VICINITY MAP

PART OF SEC. 9, TWP. 31, RNG. 22



ANOKA COUNTY, MINNESOTA
(NO SCALE)

LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES CATCH BASIN
- DENOTES CABLE PEDESTAL
- DENOTES ELECTRICAL BOX
- DENOTES EXISTING SPOT ELEVATION
- DENOTES GUY WIRE
- DENOTES HYDRANT
- DENOTES LIGHT POLE
- DENOTES POWER POLE
- DENOTES SANITARY SEWER MANHOLE
- DENOTES SIGN
- DENOTES STORM SEWER APRON
- DENOTES STORM SEWER MANHOLE
- DENOTES TELEPHONE PEDESTAL
- DENOTES WATER VALVE
- DENOTES WELL
- DENOTES WOVEN WIRE FENCE
- DENOTES RETAINING WALL
- DENOTES EXISTING CONTOURS
- DENOTES EXISTING SANITARY SEWER
- DENOTES EXISTING STORM SEWER
- DENOTES EXISTING WATER MAIN
- DENOTES OVERHEAD WIRE
- DENOTES EXISTING RESTRICTED ACCESS DEDICATED TO ANOKA COUNTY
- DENOTES BITUMINOUS SURFACE
- DENOTES CONCRETE SURFACE
- DENOTES GRAVEL SURFACE

TREE DETAIL

- DENOTES ELEVATION
- DENOTES TREE QUANTITY
- DENOTES TREE SIZE IN INCHES
- DENOTES TREE TYPE

AREA

TOTAL SITE AREA: 95,330 S.F. OR 2.19 ACRES, MORE OR LESS

ZONING AND SETBACKS

CURRENT ZONING IS R-X - RURAL EXECUTIVE AND GB - GENERAL BUSINESS
PROPOSED ZONING IS ALL GB - GENERAL BUSINESS

BUILDING SETBACKS:	
C.S.A.H. NO. 23 (LAKE DRIVE)	40 FEET
KELLY STREET	30 FEET
REAR YARD	30 FEET
SIDE YARD	10 FEET
FROM RESIDENTIAL	35 FEET

PARKING SETBACKS:	
FROM STREET	15 FEET
REAR YARD	10 FEET
SIDE YARD	10 FEET

CITY OF LINO LAKES 2030 COMPREHENSIVE PLAN

2006 EXISTING LAND USE:
GENERAL BUSINESS
FUTURE LAND USE:
GENERAL BUSINESS

NO.	DATE	DESCRIPTION	BY
1	04/07/17	Added property	JEN
2	04/12/17	Added info	JEN
3			

Jamb architects
 P.O. Box 310 Forest Lake, Minnesota 55025
 (612) 670-0358

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.
 Date: _____ Reg. No. _____

ALL SEASONS RENTAL
 NEW OPERATIONS/HEADQUARTER FACILITY
 7932 LAKE DRIVE - LINO LAKES, MN. 55014

Project No. 01610
Date: 11/10/17
Revisions:

Sheet No. CS1

16961PP

PRELIMINARY PLAT

~of~ SS PROPERTIES ADDITION
 ~for~ ALL SEASONS RENTAL
 7932 LAKE DRIVE,
 LINO LAKES, MN 55014
 651-717-2942

ARCHITECT

JERRY ANDERSON
 JAMB ARCHITECTS
 P.O. BOX 310
 FOREST LAKE, MN 55025
 651-717-2942

CIVIL ENGINEER

BRENT ROSHELL, PE
 ROCHELL ENGINEERING, LLC
 6192 267TH COURT
 WYOMING, MN 55092
 763-286-0521

CITY ACTION REQUIRED

- Vacate all Drainage and Utility Easements as dedicated on Lot 1, Block 1, PINE GLEN, Anoka County, Minnesota. (New Easements to be dedicated on proposed plat.)
- Rezone portion of existing lot from Rural Executive to General Business.

PROPERTY DESCRIPTION

All that part of Lot 5 AUDITOR'S SUBDIVISION NO. 100, Anoka County, Minnesota, described as follows:

Beginning at the most Northerly corner of said Lot 5; thence Southerly on the East line of said Lot 5, 88.62 feet; thence Westerly at right angles, 46.34 feet, more or less, to the Northwesterly line of said Lot 5 (being the Southeasterly right of way line of old Highway 8, now County State Aid Highway No. 23); thence Northeasterly along said Northwesterly line to the point of beginning, except Parcel 39, Anoka County Highway Right-of-Way Plat No. 17, Anoka County, Minnesota.

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AND

Lot 1, Block 1, PINE GLEN, Anoka County, Minnesota.

NOTES

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- Due to field work being completed during the winter season there may be improvements in addition to those shown that were not visible due to snow and ice conditions characteristic of Minnesota winters.
- Site plan layout provided by Rosnell Engineering, LLC on 4-12-17.

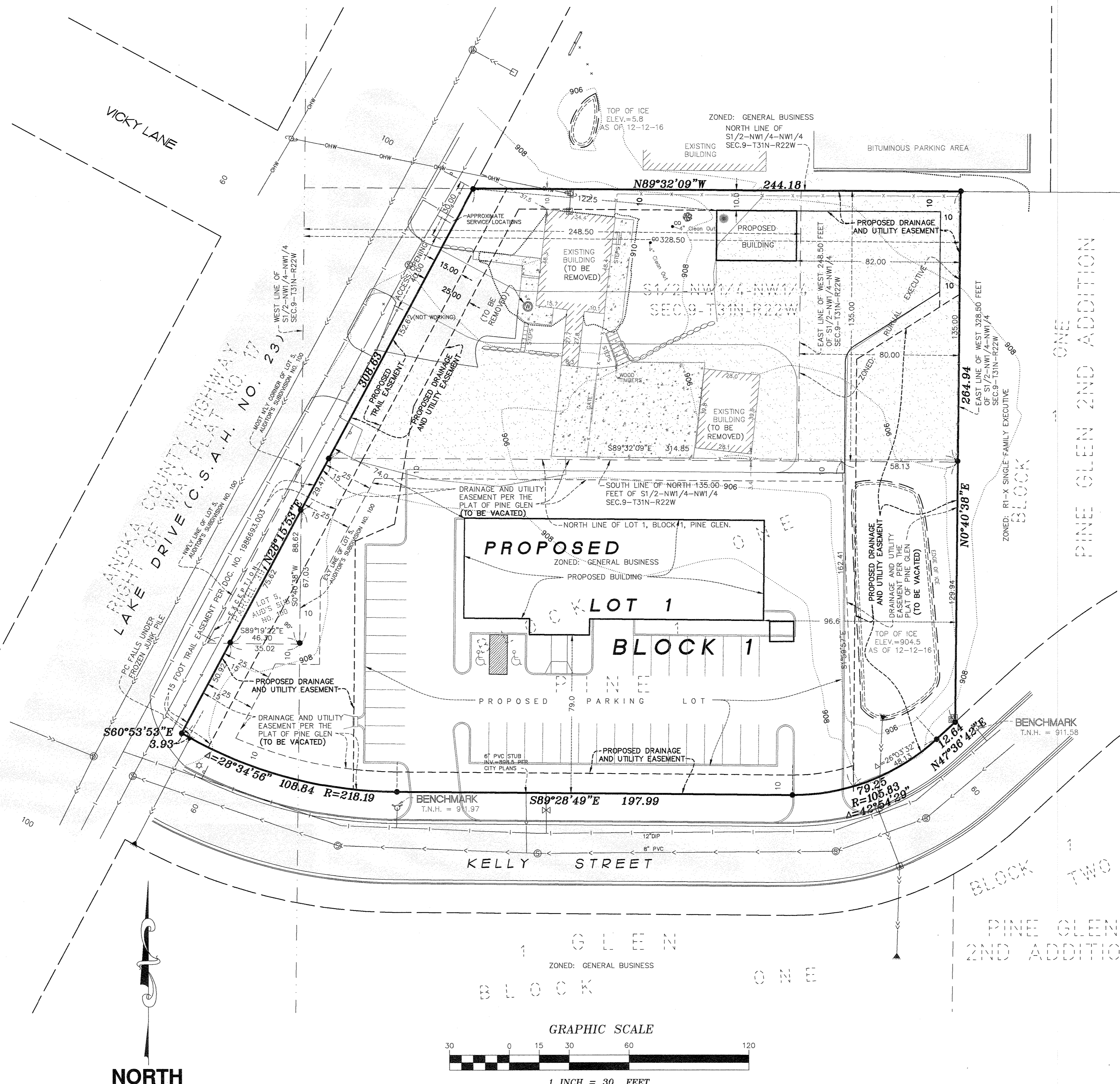
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

BLR
 BLAKE L. RIVARD

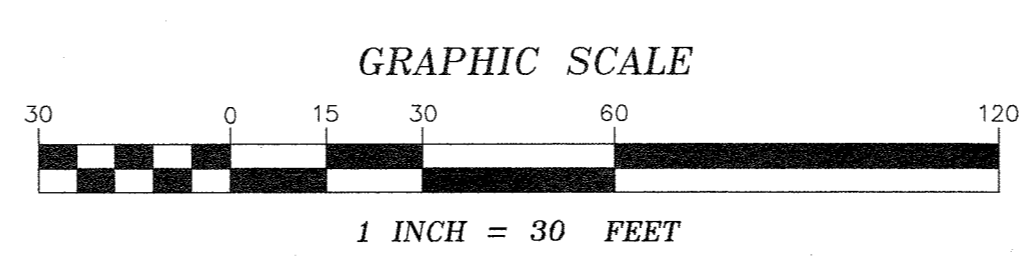
Date: 6-02-17 License No. 19421

E.G. RUD & SONS, INC.
 EST. 1977 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
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 Tel. (651) 361-8200 Fax (651) 361-8701

www.egrud.com

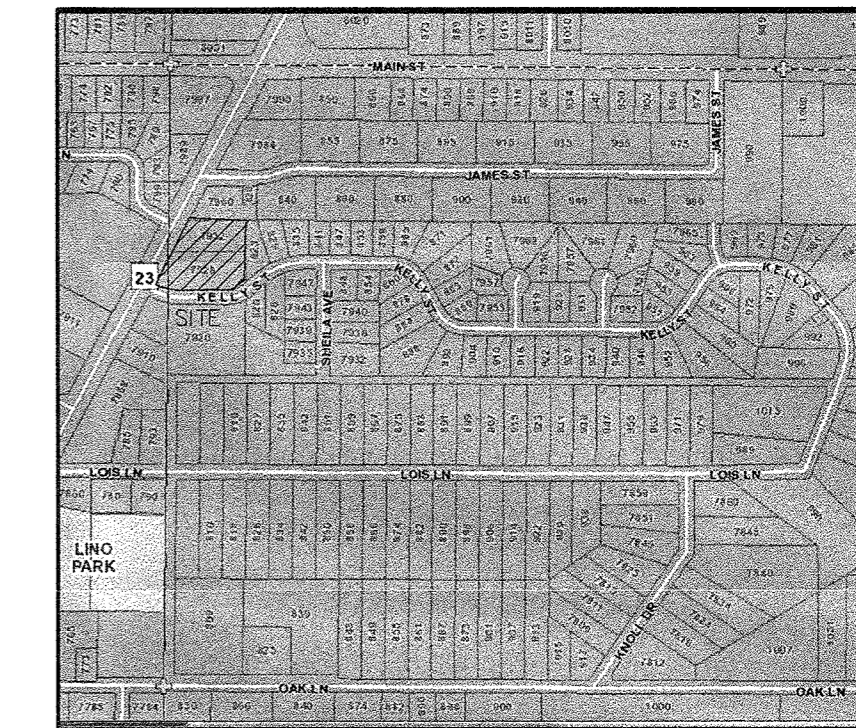


NORTH



VICINITY MAP

PART OF SEC. 9, TWP. 31, RING. 22



ANOKA COUNTY, MINNESOTA
 (NO SCALE)

LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES CATCH BASIN
- DENOTES CABLE PEDESTAL
- DENOTES ELECTRICAL BOX
- DENOTES GUY WIRE
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- DENOTES EXISTING RESTRICTED ACCESS DEDICATED TO ANOKA COUNTY
- DENOTES PROPOSED RESTRICTED ACCESS TO BE DEDICATED TO ANOKA COUNTY
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- DENOTES GRAVEL SURFACE

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- DENOTES TREE SIZE IN INCHES
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FROM RESIDENTIAL	35 FEET

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CITY OF LINO LAKES 2030 COMPREHENSIVE PLAN

2006 EXISTING LAND USE:
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 FUTURE LAND USE:
 GENERAL BUSINESS

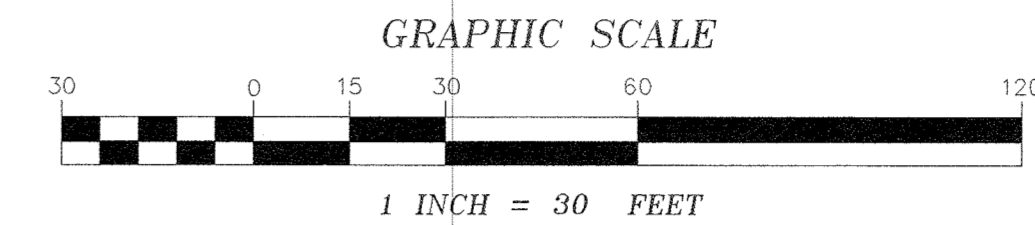
DRAWN BY: JEN	JOB NO: 16961PP	DATE: 04/12/17	
CHECK BY: BLR	SCANNED		
1	06/02/17	Rev. per new layout & grading JEN	
2			
3			
NO.	DATE	DESCRIPTION	BY

16961PP

Jamb architects
 P.O. Box 310 Forest Lake, Minnesota 55025
 (612) 670-0358
 I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.
 Reg. No. _____ Date: _____
ALL SEASONS RENTAL
 NEW OPERATIONS/HEADQUARTER FACILITY
 7932 LAKE DRIVE - LINO LAKES, MN. 55014
 Project No. 01610
 Date: 11/10/17
 Revisions:
 Sheet No. CS2

SKETCH AND DESCRIPTION

~for~ ALL SEASONS RENTALS
 ~of~ SS PROPERTIES ADDITION
 PROPOSED DRAINAGE AND
 UTILITY EASEMENT VACATION



NORTH LEGEND

- DENOTES IRON MONUMENT FOUND
- ▨ DENOTES PROPOSED DRAINAGE AND UTILITY EASEMENT VACATION

NOTES

- Bearings shown are on Anoka County Coordinate System.

PROPOSED DRAINAGE AND UTILITY EASEMENT VACATION DESCRIPTION

All of the drainage and utility easements of Lot 1, Block 1, PINE GLEN, Anoka County, Minnesota, as dedicated in the plat thereof.

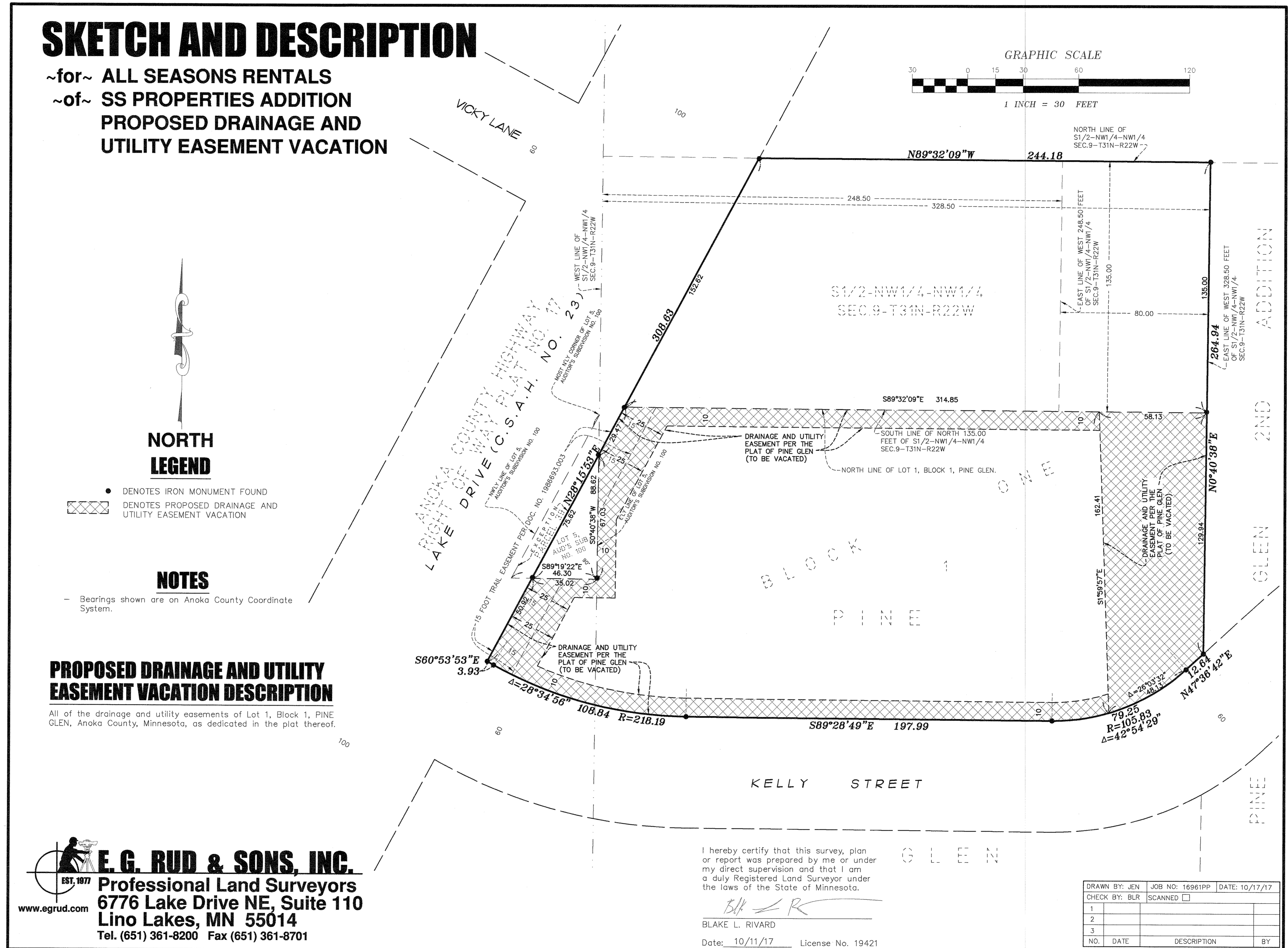
E.G. RUD & SONS, INC.
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 www.egrud.com

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

BLR
 BLAKE L. RIVARD
 Date: 10/11/17 License No. 19421

DRAWN BY: JEN	JOB NO: 16961PP	DATE: 10/17/17
CHECK BY: BLR	SCANNED <input type="checkbox"/>	
1		
2		
3		
NO.	DATE	DESCRIPTION
		BY

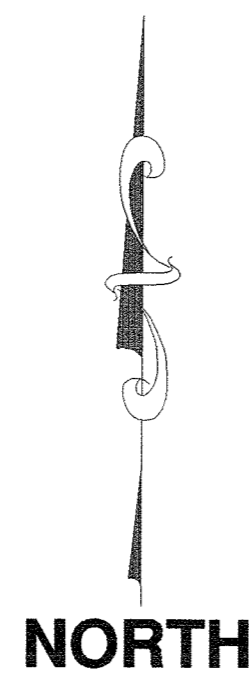
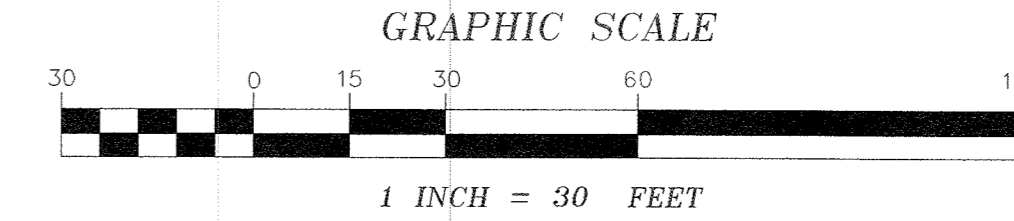
16961PP



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 Date: _____ Reg. No. _____

SKETCH AND DESCRIPTION

~for~ ALL SEASONS RENTALS
 ~of~ SS PROPERTIES ADDITION
PROPOSED TRAIL EASEMENT



LEGEND

- DENOTES IRON MONUMENT FOUND
- △ DENOTES RESTRICTED ACCESS TO BE DEDICATED IN THE PLAT OF SS PROPERTIES ADDITION
- DENOTES PROPOSED TRAIL EASEMENT (4,689 S.F.±)

NOTES

- Bearings shown are on Anoka County Coordinate System.
- The plat of SS PROPERTIES ADDITION was not of record at this survey.

E.G. RUD & SONS, INC.
 EST. 1977
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701
 www.egrud.com

PROPOSED TRAIL EASEMENT DESCRIPTION

A perpetual easement for trail purposes over and across the northwesterly 15.00 feet of Lot 1, Block 1, SS PROPERTIES ADDITION, Anoka County Minnesota.

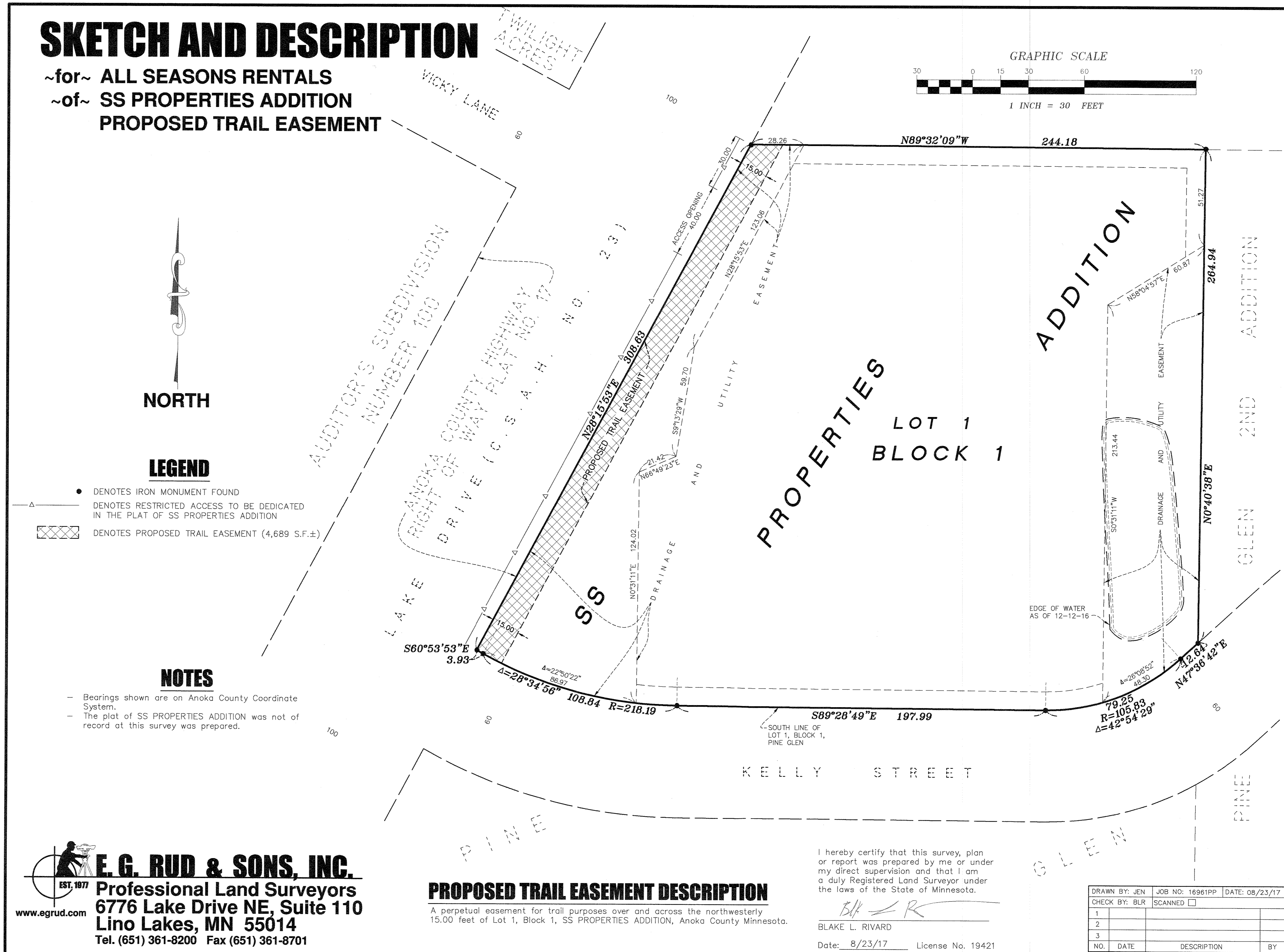
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

BLAKE L. RIVARD

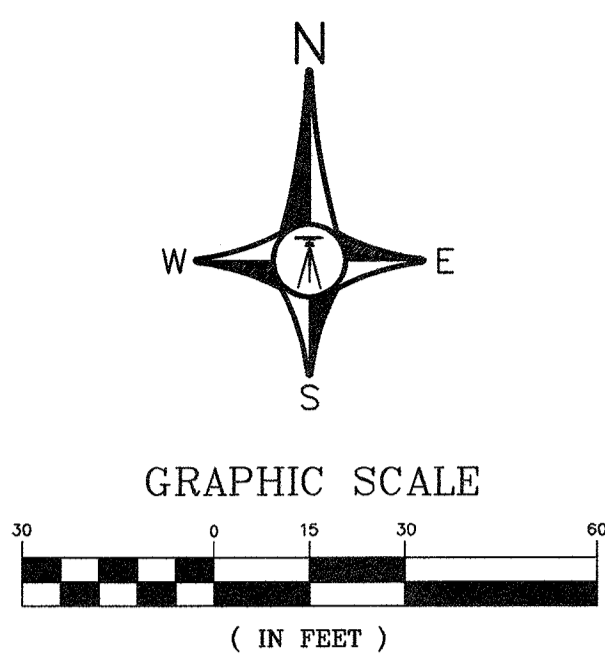
Date: 8/23/17 License No. 19421

DRAWN BY: JEN	JOB NO: 16961PP	DATE: 08/23/17
CHECK BY: BLR	SCANNED <input type="checkbox"/>	
1		
2		
3		
NO.	DATE	DESCRIPTION
BY		

16961PP



I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.
 Date: _____ Reg. No. _____



LEGEND

- DENOTES CATCH BASIN
- DENOTES CABLE PEDESTAL
- DENOTES ELECTRICAL BOX
- x 902.36 DENOTES EXISTING SPOT ELEVATION
- DENOTES GUY WIRE
- DENOTES HYDRANT
- DENOTES LIGHT POLE
- DENOTES POWER POLE
- DENOTES SANITARY SEWER MANHOLE
- DENOTES SIGN
- DENOTES STORM SEWER APRON
- DENOTES STORM SEWER MANHOLE
- DENOTES TELEPHONE PEDESTAL
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- DENOTES WELL
- DENOTES WOVEN WIRE FENCE
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- DENOTES EXISTING CONTOURS
- DENOTES EXISTING SANITARY SEWER
- DENOTES EXISTING STORM SEWER
- DENOTES EXISTING WATER MAIN
- DENOTES OVERHEAD WIRE
- DENOTES EXISTING RESTRICTED ACCESS DEDICATED TO ANOKA COUNTY
- DENOTES BITUMINOUS SURFACE
- DENOTES CONCRETE SURFACE
- DENOTES GRAVEL SURFACE
- DENOTES EX TREE TYPE
- x 908.9 DENOTES PROPOSED SPOT ELEVATION
- 908 DENOTES PROPOSED CONTOUR
- DENOTES PROPOSED STORM SEWER

INFILTRATION POND NOTES

INSTALL ALL TEMPORARY EROSION CONTROL MEASURES PRIOR TO THE START OF ANY CONSTRUCTION OPERATION THAT MAY CAUSE ANY SEDIMENTATION OR SILTATION AT THE SITE.

THE INFILTRATION BASIN SHALL NOT BE USED AS A TEMPORARY SEDIMENTATION BASIN.

SEDIMENT INTRODUCED INTO THE INFILTRATION BASIN DURING OR IMMEDIATELY FOLLOWING CONSTRUCTION MUST BE REMOVED WITHIN 24 HOURS.

INFILTRATION POND SHALL BE EXCAVATED BY USE OF BACKHOE WITH A TOOTHED BUCKET.

EXCAVATE POND TO ELEVATION 903.5. PLACE CLEAN SAND IN LOOSE LIFTS TO ELEVATION 906.

BOTTOM OF POND SHALL NOT BE COMPACTED

NO TOPSOIL TO BE PLACED IN INFILTRATION POND

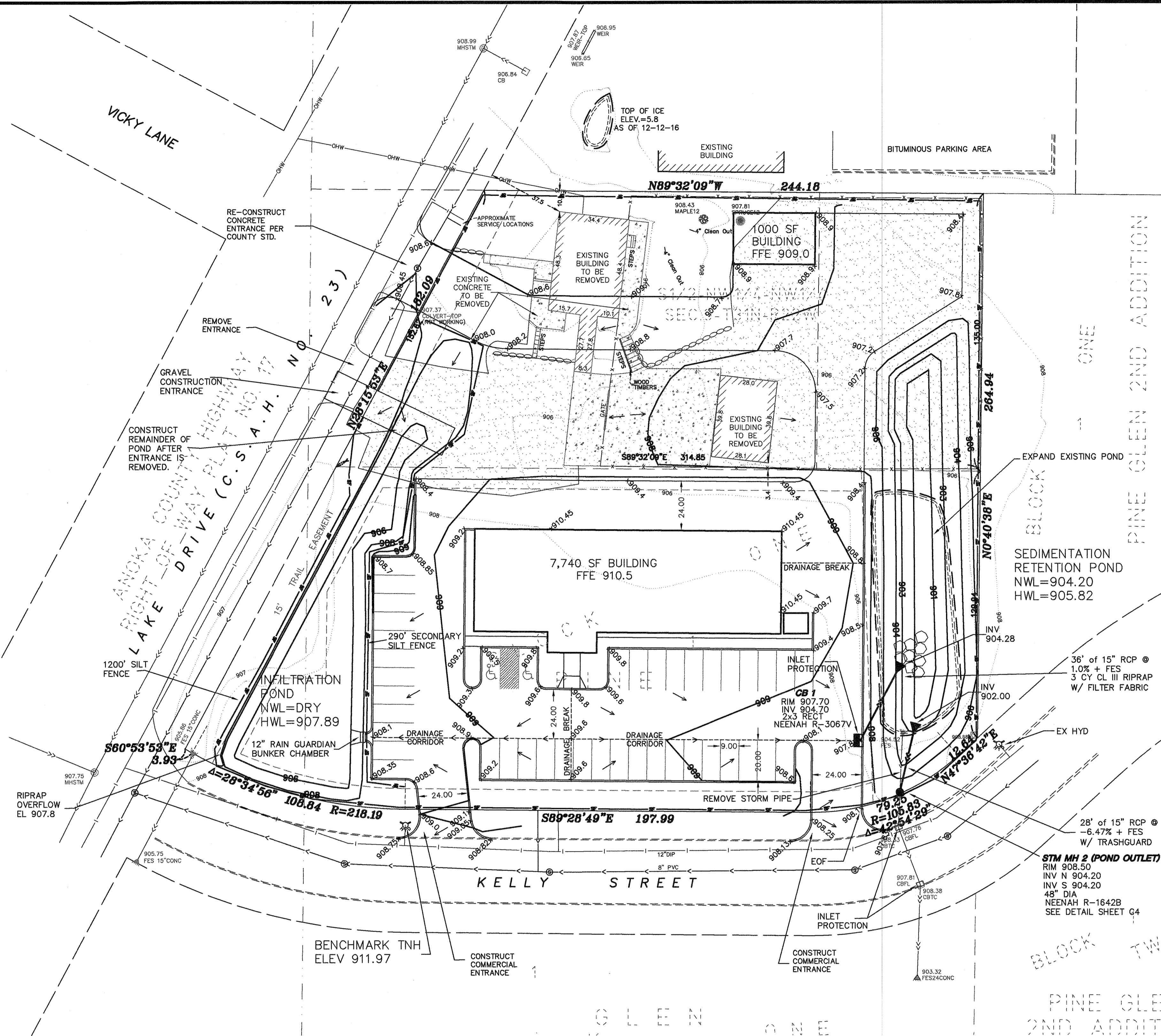
VERIFY POND GRADING AND INFILTRATION RATE (TEST REQUIRED) IS CORRECT BEFORE TURF ESTABLISHMENT COMMENCES.

PONDS TO BE SEEDDED WITH MnDOT SEED MIX 33-262 (44 lb/ac) AND EROSION CONTROL BLANKET INSTALLED WITHIN 48 HOURS OF POND COMPLETION

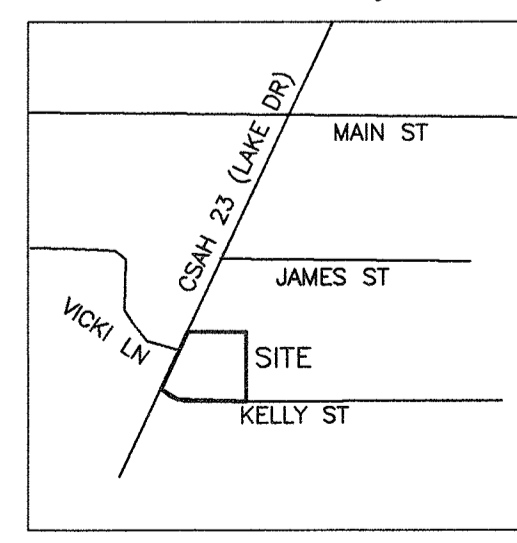
PLACE SILT FENCE (SECONDARY) IMMEDIATELY AFTER GRADING COMPLETION

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ALL CONSTRUCTION MATERIALS, MEANS, AND METHODS OF INSTALLATION SHALL COMPLY WITH THE CURRENT VERSION OF THE CITY GENERAL SPECIFICATIONS AND STANDARD PLATES FOR STREET AND UTILITY CONSTRUCTION DATED NOVEMBER 2016, THE 2013 CITY ENGINEERS ASSOCIATION OF MINNESOTA SPECIFICATIONS, AND THE 2016 MnDOT STANDARD SPECIFICATIONS.



VICINITY MAP
S1/2 NW1/4 NW1/4
Section 9, T.31, R.22
Anoka County



OWNER:
ALL SEASONS RENTAL
7932 Lake Drive
Lino Lakes, Minnesota 55014
Phone: (651) 717-2942

INDEX

C0	SITE, GRADING & DRAINAGE PLAN
C1	UTILITY PLAN
C2	SEDIMENT & EROSION CONTROL PLAN
C3	DETAILS
C4	DETAILS
C5	STORM WATER POLLUTION PREVENTION PLAN
C6	STORM WATER POLLUTION PREVENTION PLAN

REVISIONS

DATE	BY	DESCRIPTION
3/4/17	BR	ADJUST POND ENTRANCE
3/9/17	BR	SEDIMENT CONTROL SHEET
3/9/17	BR	ADD UTILITY SHEET
1/18/17	BR	INFL POND NOTES

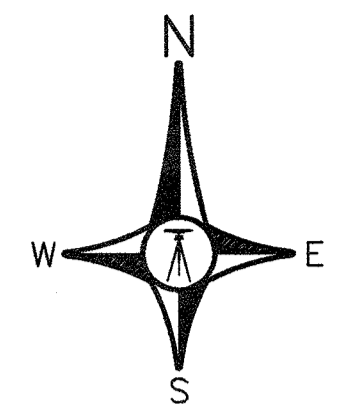
RECORD DRAWING

ROSELL ENGINEERING, LLC
6192 267 TH CT WYOMING, MN 55092
PHONE: 763.286.0521

ALL SEASONS RENTAL
SITE, GRADING, & DRAINAGE PLAN
LINO LAKES, MINNESOTA

DESIGNED BY: *[Signature]*
DATE: 4/29/17
REG. NO. 24019
GREAT ROSELL

DATE: 3/9/17
SCALE: AS SHOWN
PROJECT: ALL SEASONS RENTAL
SHEET: C0



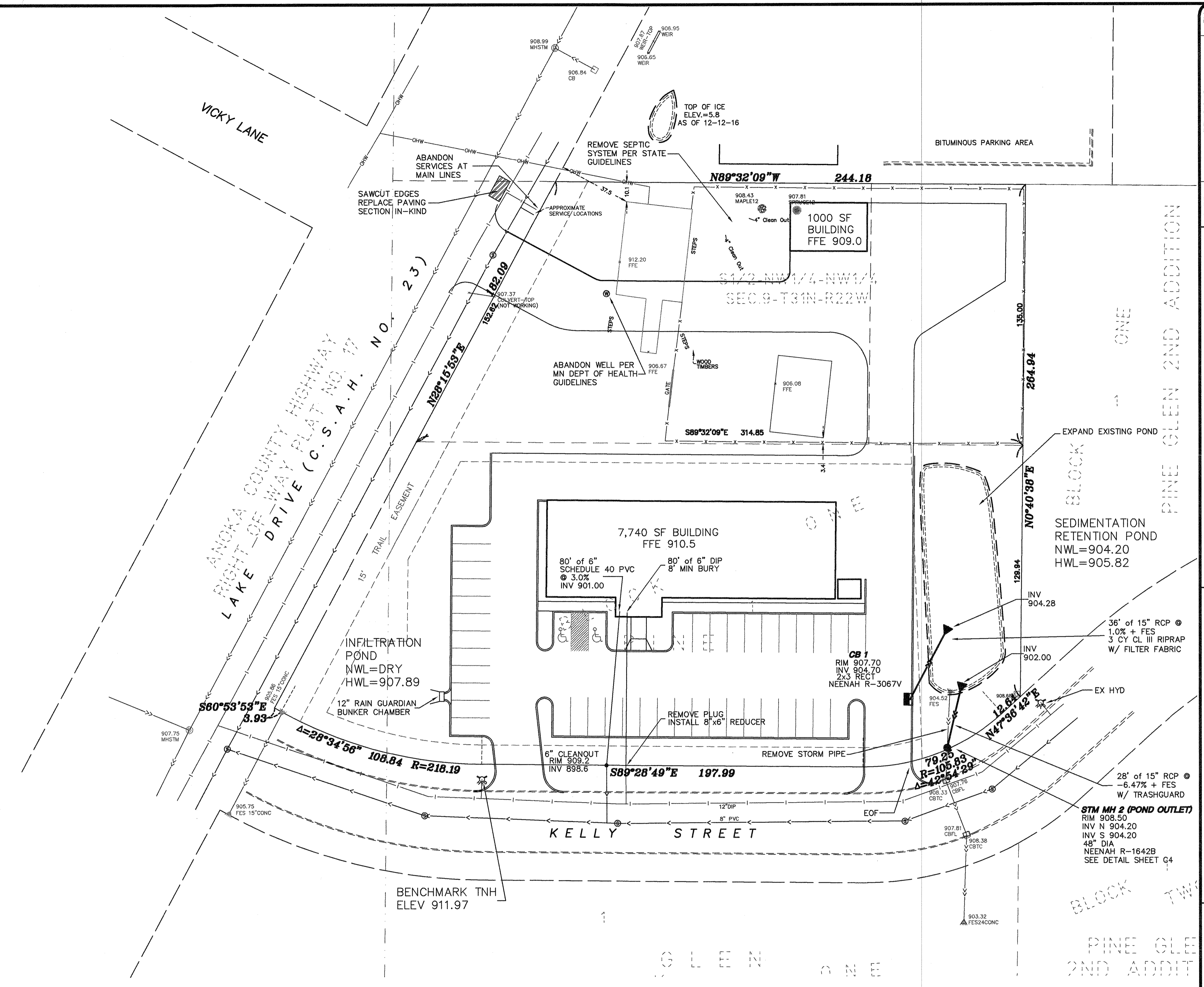
GRAPHIC SCALE



(IN FEET)

LEGEND

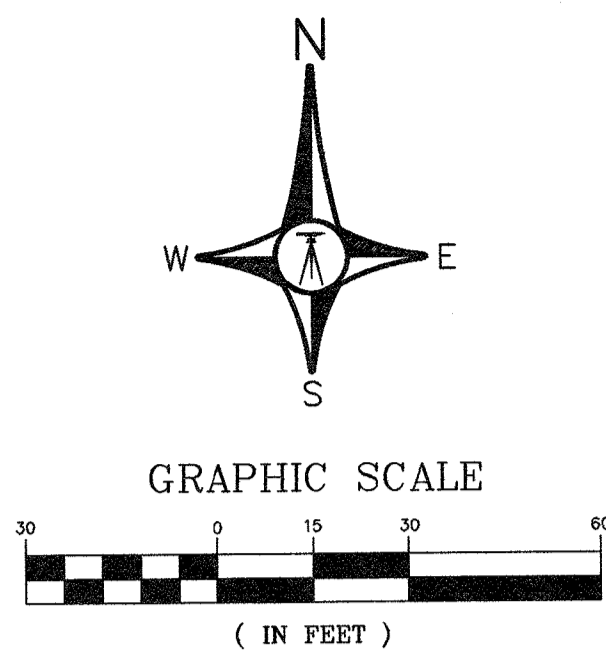
- DENOTES CATCH BASIN
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- DENOTES EXISTING RESTRICTED ACCESS DEDICATED TO ANOKA COUNTY
- DENOTES EX TREE TYPE
- DENOTES PROPOSED STORM SEWER



ALL CONSTRUCTION MATERIALS, MEANS, AND METHODS OF INSTALLATION SHALL COMPLY WITH THE CURRENT VERSION OF THE CITY GENERAL SPECIFICATIONS AND STANDARD PLATES FOR STREET AND UTILITY CONSTRUCTION DATED NOVEMBER 2016, THE 2013 CITY ENGINEERS ASSOCIATION OF MINNESOTA SPECIFICATIONS, AND THE 2016 MnDOT STANDARD SPECIFICATIONS.

HORIZONTAL DATUM - ANOKA COUNTY
VERTICAL DATUM - NAVD 88

	DATE	BY	REVISIONS	RECORD DRAWING
	6/7/17	BR	ADD UTILITY SHEET	
	11/9/17	BR	ADD REDUCER	
<p>ROSELL ENGINEERING, LLC 6192 267 TH CT WYOMING, MN 55092 PHONE: 763.286.0521</p>				
<p>ALL SEASONS RENTAL UTILITY PLAN LINO LAKES, MINNESOTA</p>				
<p>UTILITY PLAN LINO LAKES, MINNESOTA</p>				
<p>DATE: 4/19/17 REG. NO. 24019 APPROVED: <i>Brent Rosell</i> BRENT ROSSELL</p>				
DATE	3/21/17	AS SHOWN		
PROJECT				
CHECKED				
APPROVED				
C1				



LEGEND

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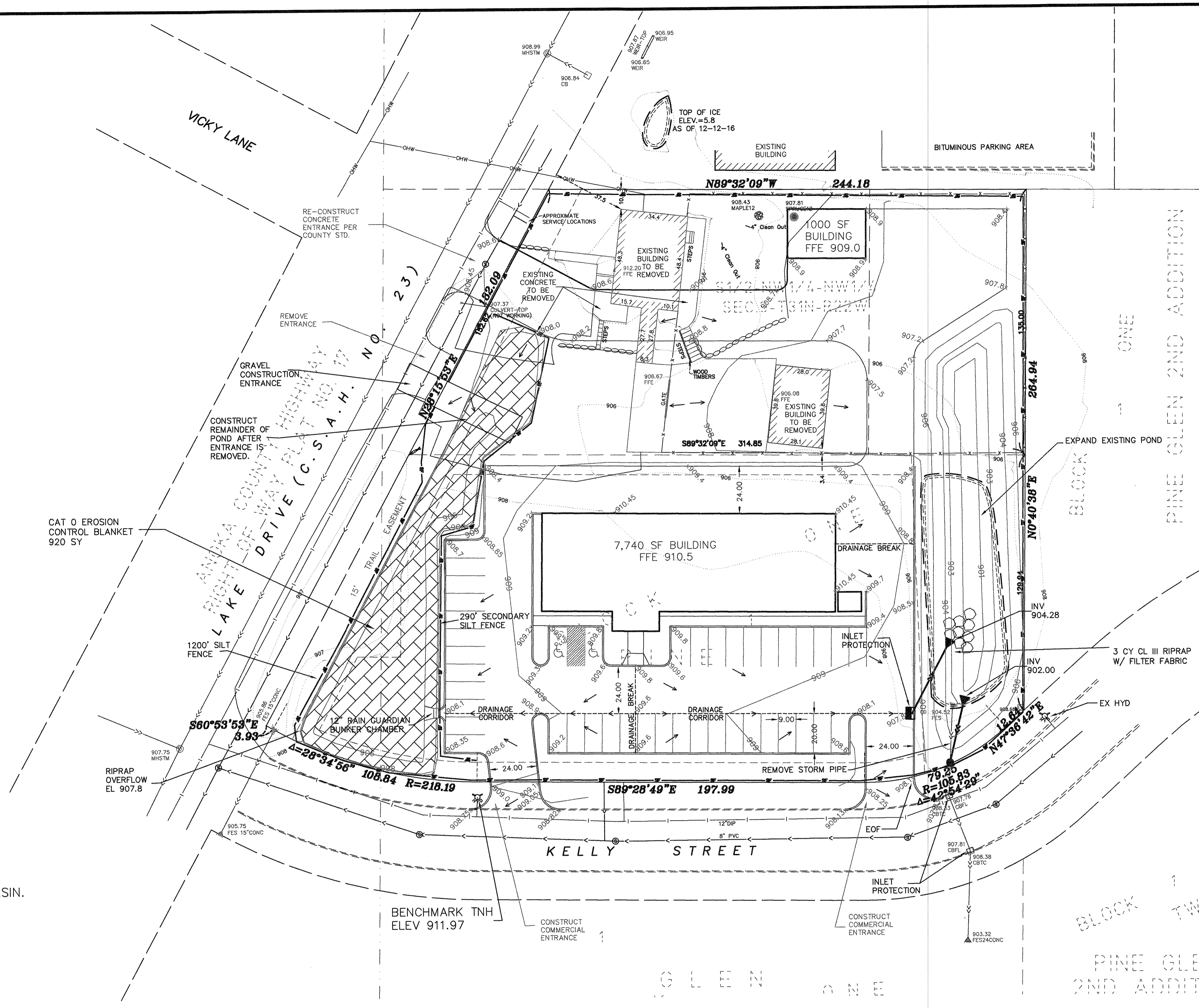
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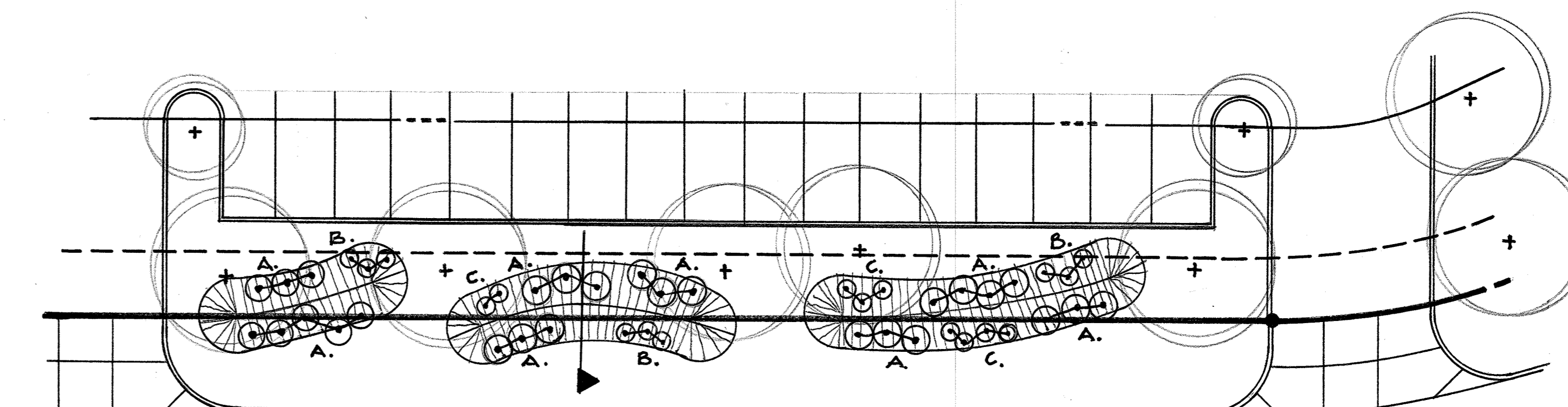
HORIZONTAL DATUM - ANOKA COUNTY
VERTICAL DATUM - NAVD 88

	DATE	11/9/17	REVISIONS	ADDED SHEET	BY	BR
				RECORD DRAWING		
<p>ROSHLE ENGINEERING, LLC 6192 267 TH CT WYOMING, MN 55092 PHONE: 763.286.0521</p>						
<p>ALL SEASONS RENTAL SEDIMENT & EROSION CONTROL PLAN LINO LAKES, MINNESOTA</p>						
<p>I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA. DATE: 11/9/17 REC. NO. 24012 <i>Brent Roszell</i> BRENT ROSZELL</p>						
DATE	11/9/17	SCALE	AS SHOWN	CHECKED	BY	APPROVED
C2						

Landscape Schedule			
Code	Quantity	Plant Material (Botanical name)	Plant Size
A.	(24)	Sea Green Juniper – Juniperus Chinensis 'Sea Green'	2 gal. potted
B.	(5)	Goldflame Spirea – Spirea Bumalda 'Goldflame'	2 gal. potted
C.	(10)	Spirea (Little Princess) – Spirea Japonica	2 gal. potted
D.	(10)	Euonymus (Burning Bush) – Euonymus Alata	5 gal. potted
E.	(13)	Daylily- Stella de Oro Reblooming – Hemerocallis	1 gal. potted
F.	(2)	Thornless Cockspar Hawthorn – Crataegus Crus – Galu Var. Inermis	1 1/2" o B & B
G.	(4)	Common Hackberry – Celtis Occidentalis –	2" o B & B
H.	(2)	Skyline Honey Locust – Gleditsia Triacanthos – 'Skyline'	2" o B & B
I.	(4)	Flowering Crab Apple – Malus 'Donald Wyman'	2" o B & B
J.	(1)	River Birch (clump form) – Betula Nigra	10'-0" Hgt.
K.	(6)	Autumn Blaze Maple – Acer Freemanii - 'Autumn Blaze'	2" o B & B
L.	(10)	Black Hills Spruce – Picea Glauca 'Densata'	7'-9" B & B
M.	(63)	Sedum (Dragon's Blood) – Spurium	1 qt. potted

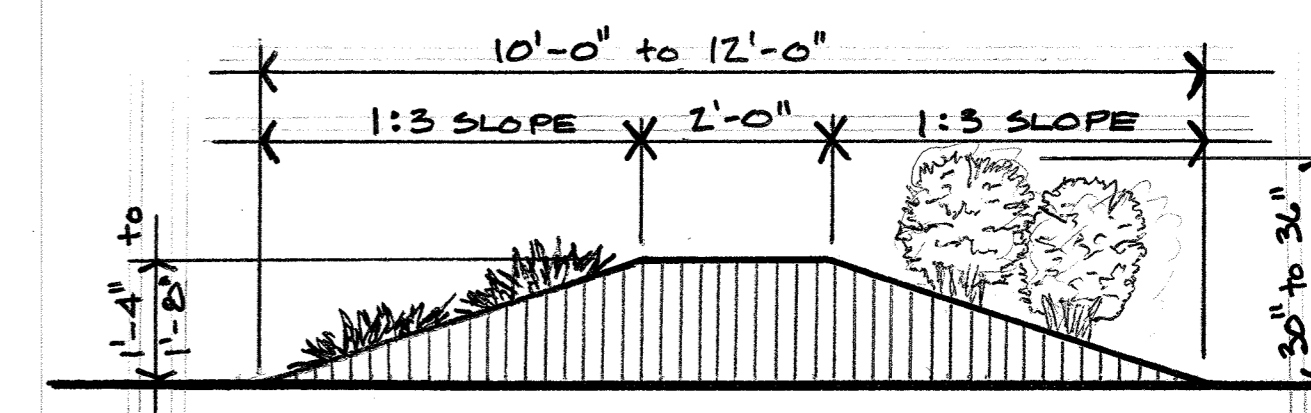
GENERAL NOTES:

- Plant materials shall be guaranteed for a period of one (1) year – one time replacement.
- All planting beds for shrubbery shall be bordered with "Minnesota Valley" black polyvinyl grass edging properly staked in place at 4'-0" o.c. Beds shall receive 4" min. pea rock mulch on 6 mil poly weed mat.
- Contact Gopher State for U. G. utility locates prior to starting Construction.
- Install new weed mat and mulch in all new planting areas as required.
- Remove existing plants which are indicated to be removed and dispose off-site in a legal manner.
- Landscaping Contractor shall be responsible for providing a shop drawing illustrating an irrigation plan and specification as part of the scope of work when bidding. These plans shall be approved by the City of Lino Lakes prior to the work being commenced.
- Landscaping Contractor shall sod all areas of the site within 48 hrs of completion of finish grade. Coordinate w/ the Earthwork Contractor as required. stake/stabilize sod as required in the area of slopes. See grading plan for add'l information not given.



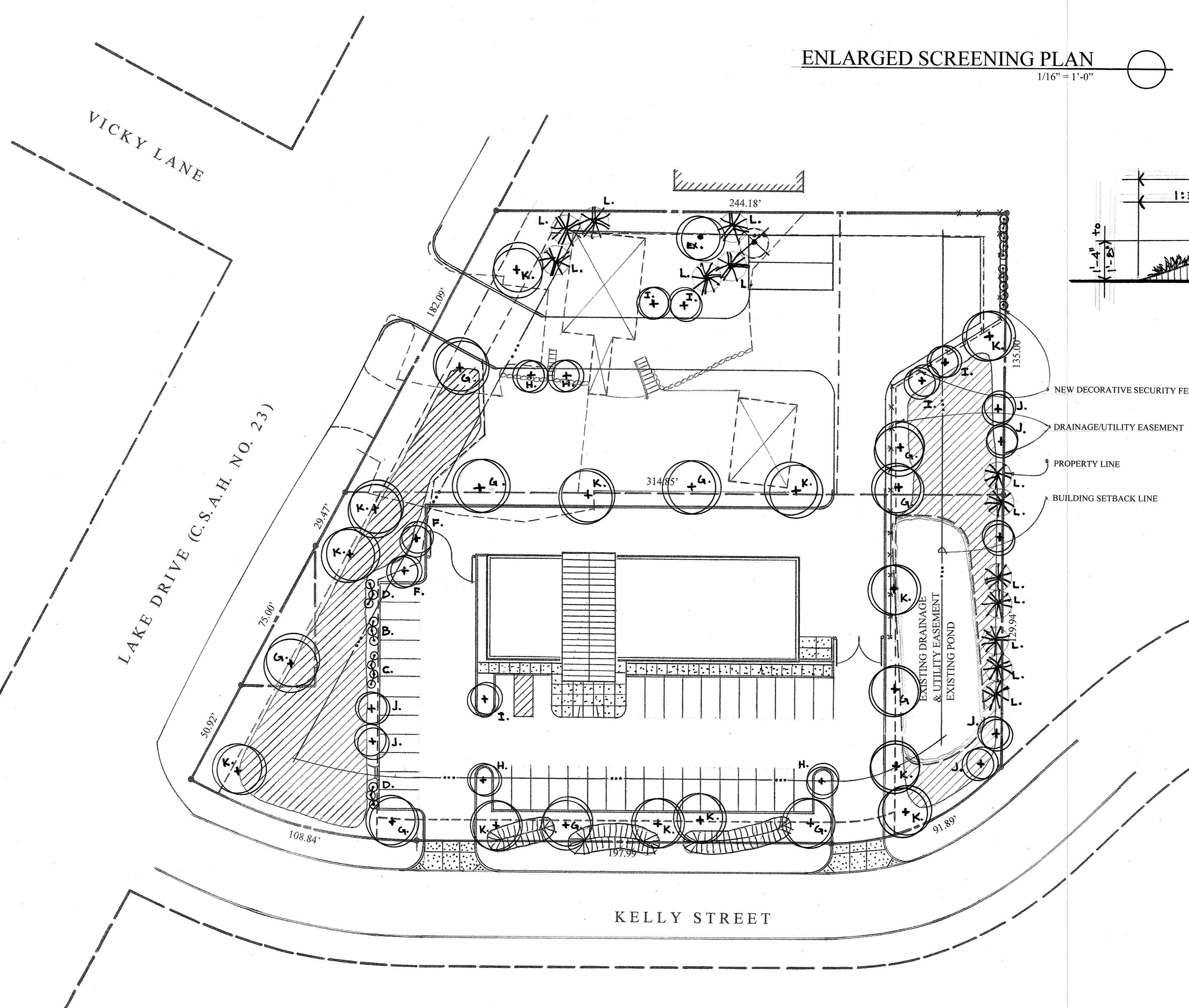
ENLARGED SCREENING PLAN

1/16" = 1'-0"



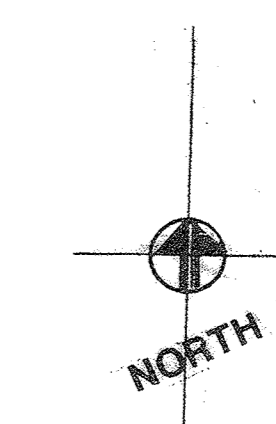
SECTION @ BERM

1/2" = 1'-0"



LANDSCAPING PLAN

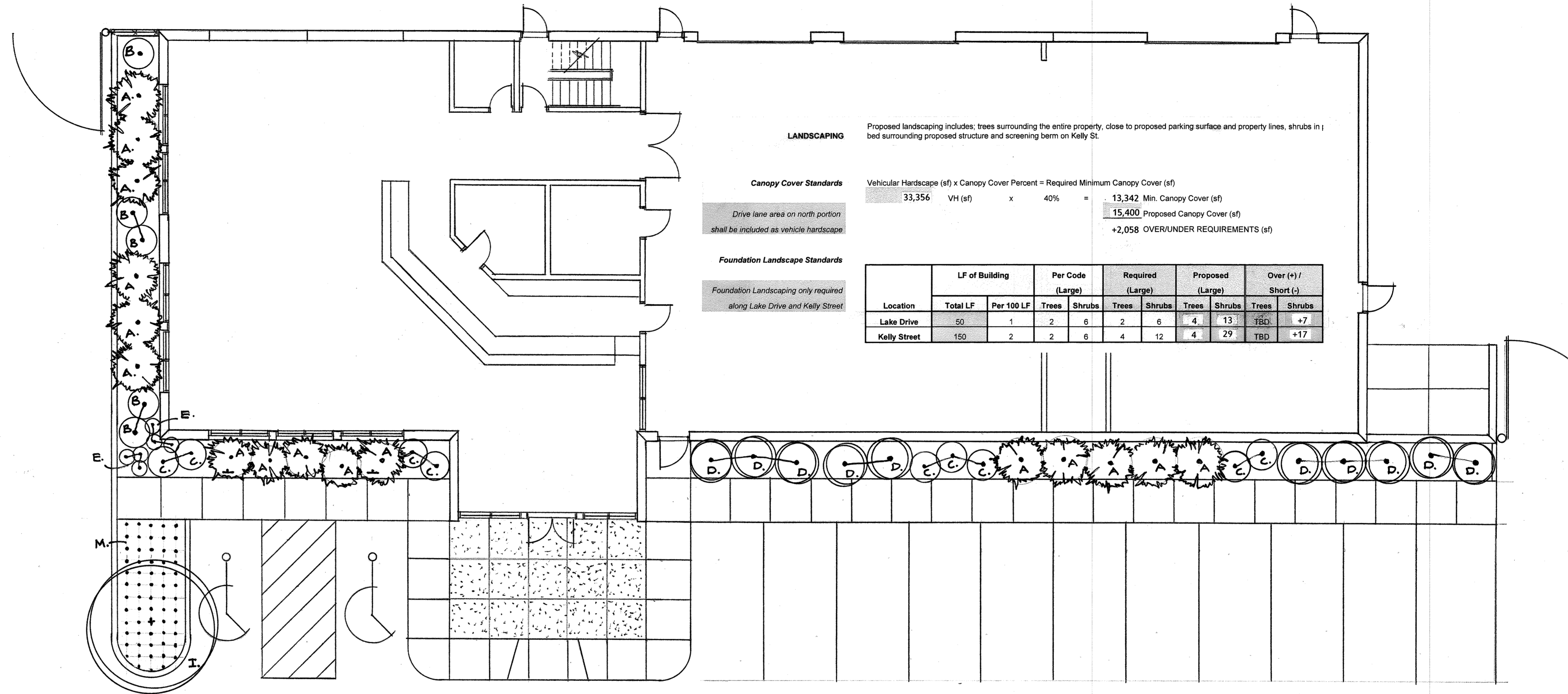
1" = 30'-0"



I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly registered professional landscape architect in the State of Minnesota.
JAMES W. ANDERSON
Reg. No. 13489

Project No. 01610
Date: 11/10/17
Revisions:

Landscape Schedule			
Code	Quantity	Plant Material (Botanical name)	Plant Size
A.	(24)	Sea Green Juniper – Juniperus Chinesis ‘Sea Green’	2 gal. potted
B.	(5)	Goldflame Spirea – Spirea Bumalda ‘Goldflame’	2 gal. potted
C.	(10)	Spirea (Little Princess) – Spirea Japonica	2 gal. potted
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LANDSCAPING Proposed landscaping includes; trees surrounding the entire property, close to proposed parking surface and property lines, shrubs in 1 bed surrounding proposed structure and screening berm on Kelly St.

Canopy Cover Standards Vehicular Hardscape (sf) x Canopy Cover Percent = Required Minimum Canopy Cover (sf)
 33,356 VH (sf) x 40% = 13,342 Min. Canopy Cover (sf)
 15,400 Proposed Canopy Cover (sf)
 +2,058 OVER/UNDER REQUIREMENTS (sf)

Foundation Landscape Standards Foundation Landscaping only required along Lake Drive and Kelly Street.

Location	LF of Building		Per Code (Large)		Required (Large)		Proposed (Large)		Over (+) / Short (-)	
	Total LF	Per 100 LF	Trees	Shrubs	Trees	Shrubs	Trees	Shrubs	Trees	Shrubs
Lake Drive	50	1	2	6	2	6	4	13	TBD	+7
Kelly Street	150	2	2	6	4	12	4	29	TBD	+17

GENERAL NOTES:

- Plant materials shall be guaranteed for a period of one (1) year – one time replacement.
- All planting beds for shrubbery shall be bordered with “Minnesota Valley” black polyvinyl grass edging properly staked in place at 4'-0" o.c. Beds shall receive 4" min. pea rock mulch on 6 mil poly weed mat.
- Contact Gopher State for U. G. utility locates prior to starting Construction.
- Install new weed mat and mulch in all new planting areas as required.
- Remove existing plants which are indicated to be removed and dispose off-site in a legal manner.
- Landscape Contractor shall be responsible for providing a shop drawing illustrating an irrigation plan and specification as part of the scope of work when bidding. These plans shall be approved by the City of Lino Lakes prior to the work being commenced.
- Landscape Contractor shall sod all areas of the site within 48 hrs of completion of finish grade. Coordinate w/ the Earthwork Contractor as required. Stake/stabilize sod as required in the area of slopes. See grading plan for add'l information not given.

Planting Location	Interior parking lot islands	0' < 7' of VH	7'-12' from VH	TOTAL VALUE (SF)
Assigned Canopy Coverage Value	100%	50%	25%	
SF of Canopy Coverage Assigned to each tree				
a. Large Tree	950	600	300	
ENTER # OF TREES	0	19	0	
Value=	0	11,400	0	11,400
b. Large Tree in island of 3 or more trees	1,250			
ENTER # OF TREES	0	0	0	
Value=	0	0	0	0
c. Medium Tree	500	250	125	
ENTER # OF TREES	3	10	0	
Value=	1,500	2,500	0	4,000
d. Existing Tree (6"-12" dbh)	1,900	950	NA	
ENTER # OF TREES	0	0	NA	
Value=	0	0	NA	0
e. Existing Tree (12+" dbh)	2,850	1,425	NA	
ENTER # OF TREES	0	0	NA	
Value=	0	0	NA	0
TOTAL CANOPY COVERAGE =				15,400

Foundation Landscape

Location	LF of Building		Per Code (Large)		Required (Large)		Proposed (Large)		Over (+) / Short (-)	
	Total LF	Per 100 LF	Trees	Shrubs	Trees	Shrubs	Trees	Shrubs	Trees	Shrubs
Lake Drive	50	1	2	6	2	6	4	29	2	+23
Kelly Street	150	2	2	6	4	12	4	13	0	+1

Proposed

FRONT (XXXX)	Small	Medium	Large	TOTAL LARGE
Trees	0	1	3	
Equates to # Large Trees	0	1	3	4
Shrubs	9	9	20	
Equates to # Large Shrubs	3	6	20	29

Substitute:
 1 Large Tree = 1.5 Medium or 2 Small Trees
 1 Large Shrub = 1.5 Medium or 3 Small Shrubs

Public/Private Drive	Small	Medium	Large	TOTAL LARGE
Trees	0	4	0	
Equates to # Large Trees	0	4	0	4
Shrubs	6	5	6	
Equates to # Large Shrubs	2	3	6	11

LANDSCAPING PLAN

1/8" = 1'-0"



Open Areas Landscape Standards

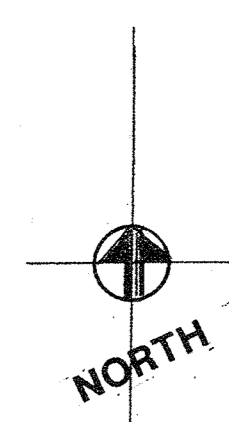
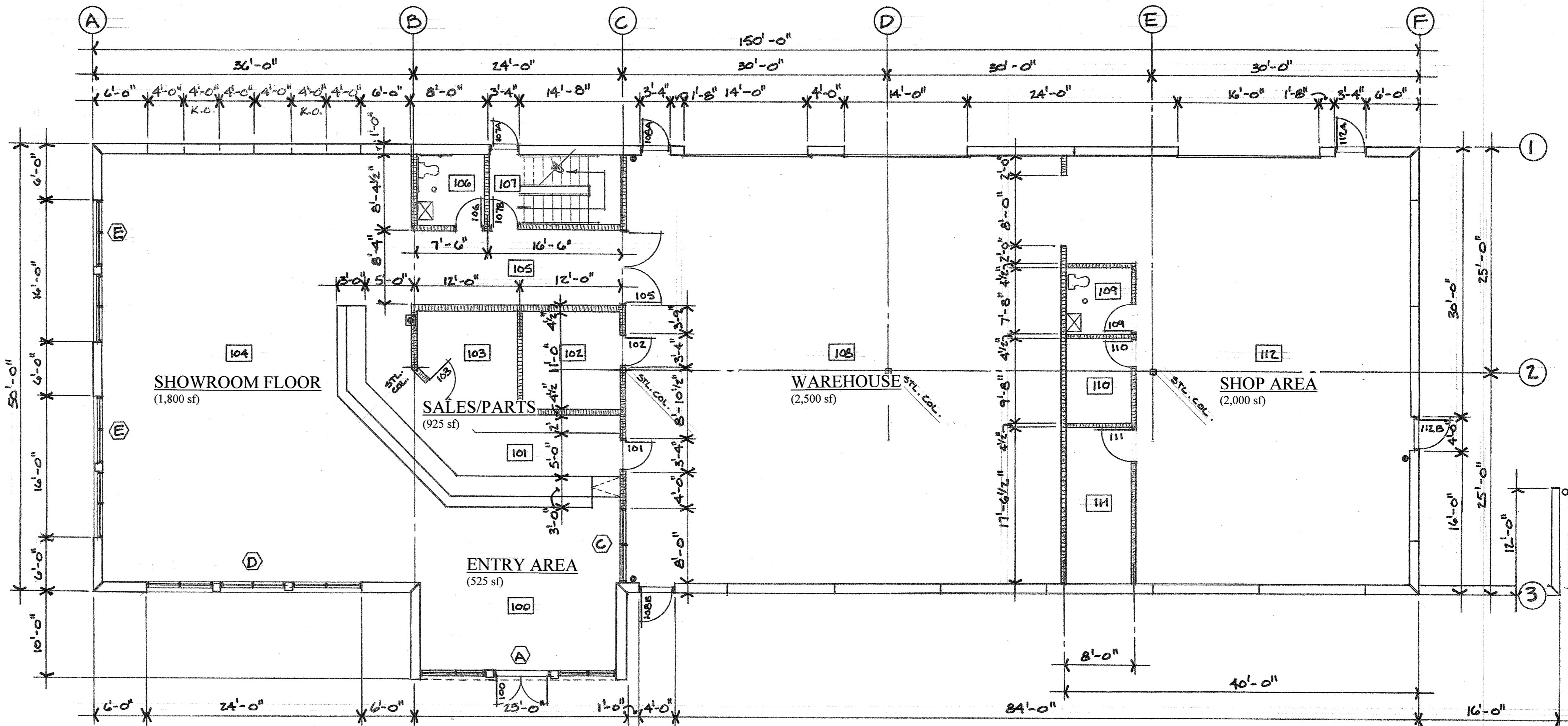
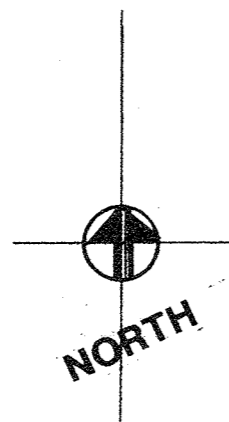
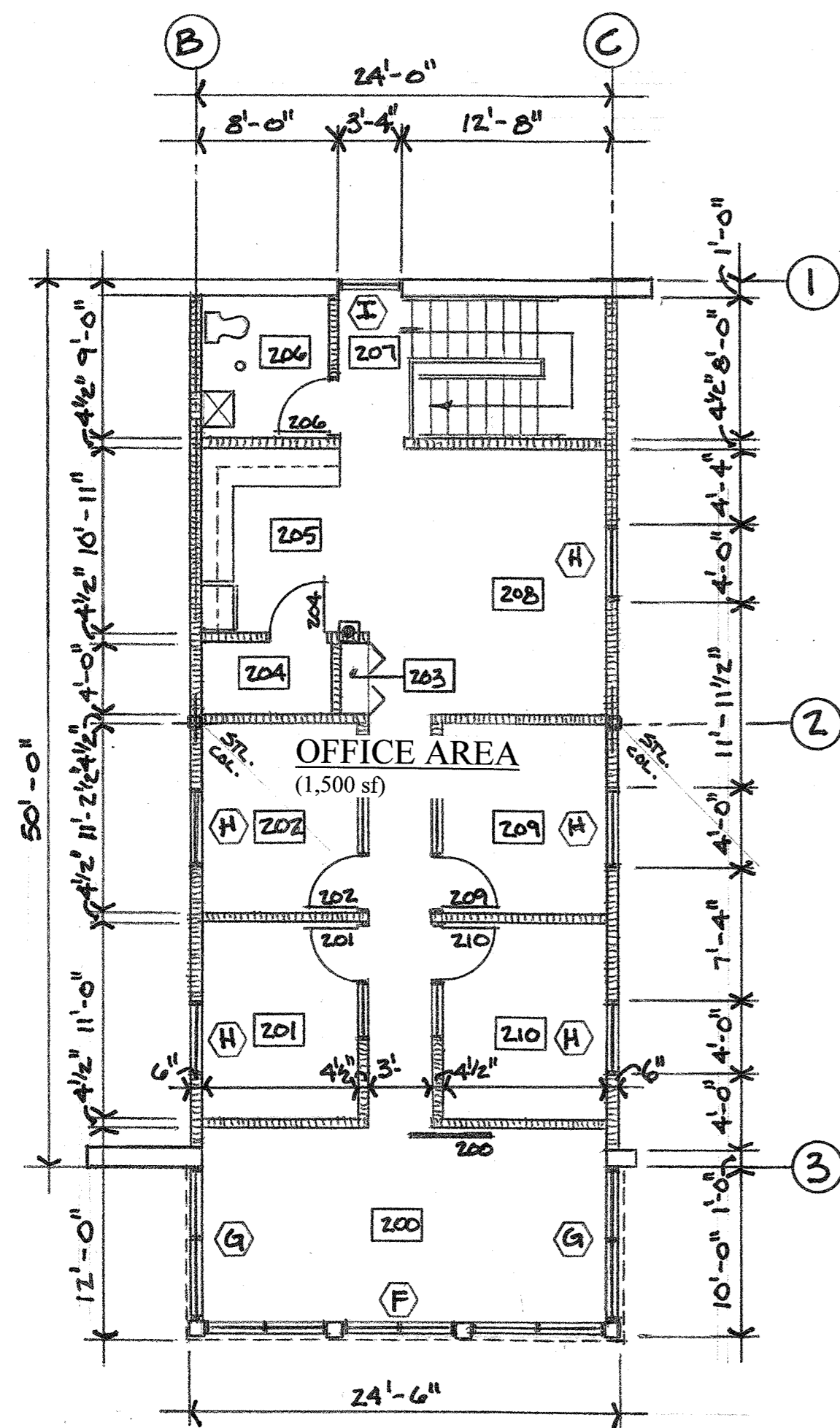
Open Area	Per Code (Large)	Required (Large)		Proposed (Large)	
		Trees	Shrubs	Trees	Shrubs
Total SF	Per 2,000 SF	Trees	Shrubs	Trees	Shrubs
33,830	17	1	3	17	51
		17	48		

Buffer and Screen Standards

Required	Proposed Height and Material
30' height	A landscape buffer is required along Lake Drive.
6 feet	N/A
6 feet	6 ft screening fence without 50% shrub cover on exterior
6 feet	7 ft screening wall
8 feet	N/A
Required	
Required	Details and cross sections of landscape berms shall be provided.
Required	Revised fence details shall be provided.
Yes	6 ft fence of wood board
NA	Boulevard trees are not applicable to commercial properties
OK	Required

Boulevard Tree Standards

Irrigation

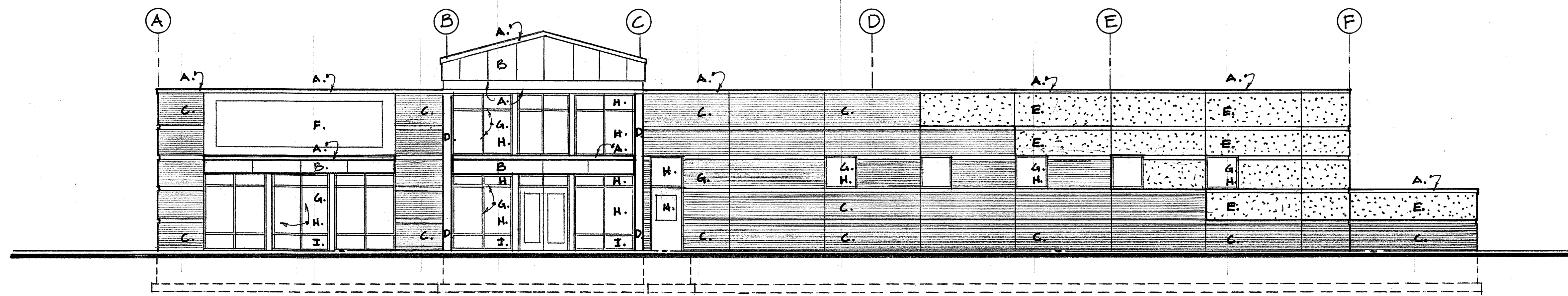


I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly registered Architect in the State of Minnesota.
Date: 11/10/17
JERRY W. ANDERSON Reg. No. 13628

ALL SEASONS RENTAL
NEW OPERATIONS/HEADQUARTER FACILITY
7932 LAKE DRIVE - LINO LAKES, MN. 55014

Project No. 01610
Date: 11/10/17
Revisions:

Sheet No. A2.1

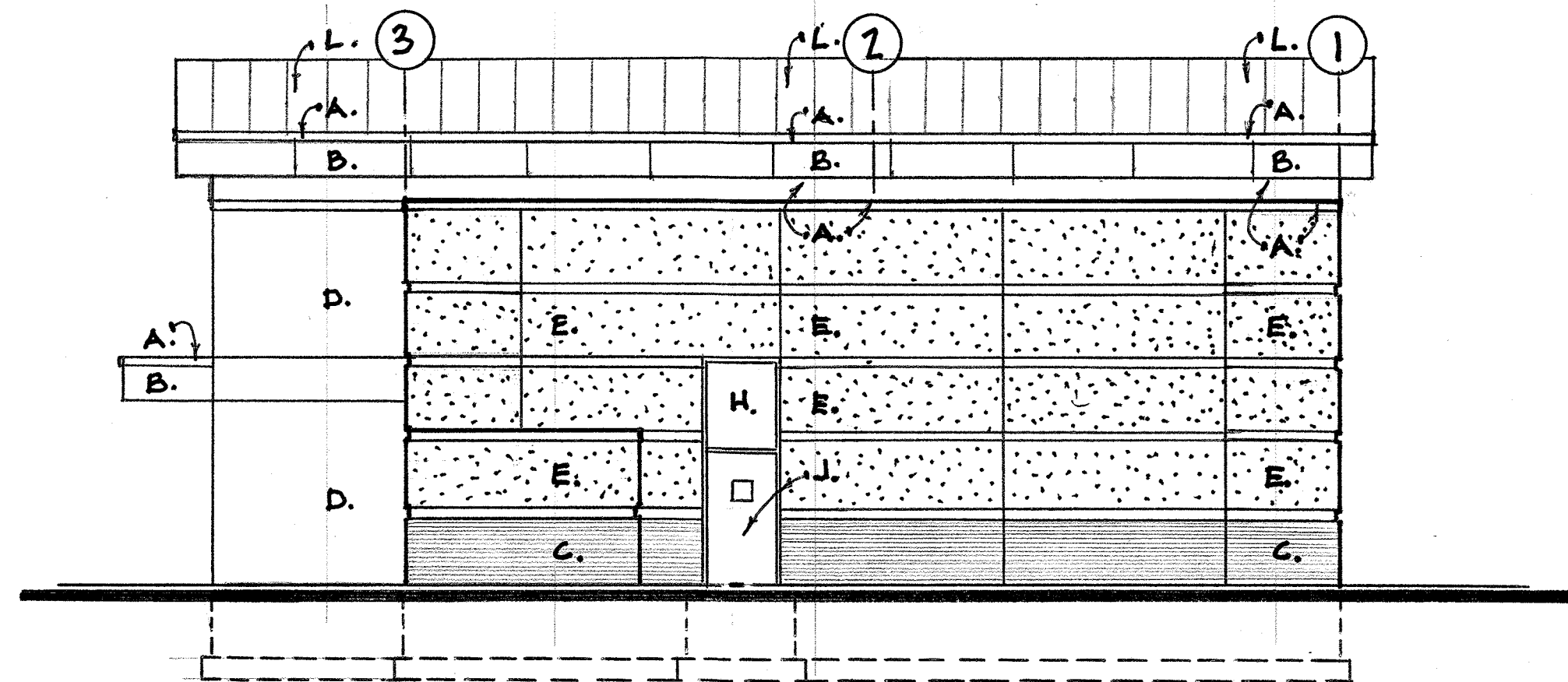


SOUTH ELEVATION
1/8" = 1'-0" (1/AZ.1)

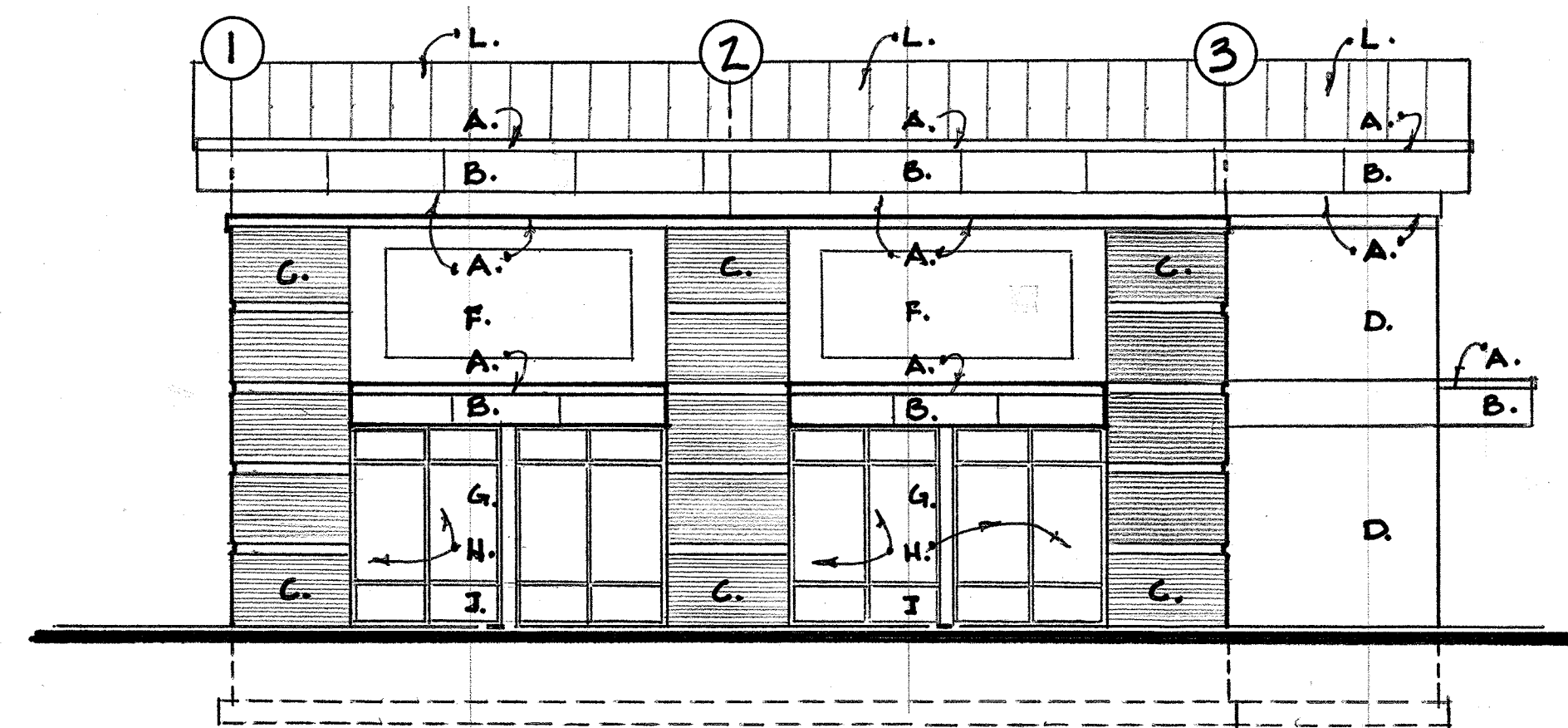
EXTERIOR FINISH SCHEDULE:

- A. Prefinished metal flashing and keepers (clear anodized alum.)
- B. Prefinished metal panels (clear anodized alum.)
- C. Precast Concrete Panels (Brick)
- D. Precast Concrete Panels (Cultured Stone)
- E. Precast Concrete Panels (Exposed Aggregate)
- F. Precast Concrete Panels (Sandblasted smooth)
- G. Prefinished aluminum doors & window frames (clear anodized alum.)
- H. 1" clear insulating glass
- I. 1" clear insulated spandrel glass to match "H"
- J. Hollow metal doors and frames (painted)
- K. 2" Insulated Metal O.H. Door (painted)
- L. Prefinished Standing Seam Metal Roofing (to match A, B & G)

* Verify all colors, textures, finishes and material selections with Owner prior to application



EAST ELEVATION
1/8" = 1'-0" (Z/AZ.1)



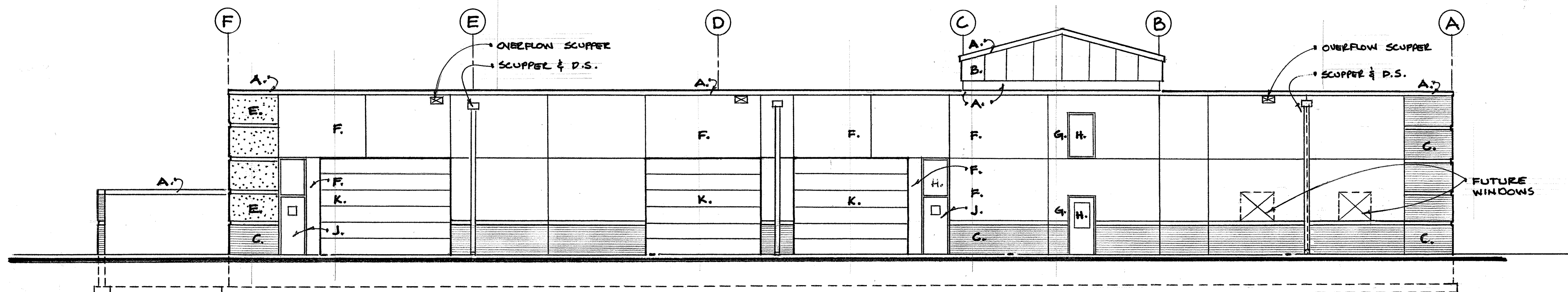
WEST ELEVATION
1/8" = 1'-0" (3/AZ.1)

EXTERIOR FINISH MATERIALS

Mat'l	East	South	West	North
*Stone	11.9%	0.6%	13.1%	---
*Brick	11.9%	43.7%	21.2%	14.6%
*Exp. Agg.	45.7%	17.0%	---	3.0%
*Smooth	---	6.0%	15.2%	56.0%
Glass	1.2%	24.3%	19.0%	1.5%
H.M.	1.6%	---	---	2.0%
**Sht Mtl	27.6%	8.4%	31.4%	22.8%

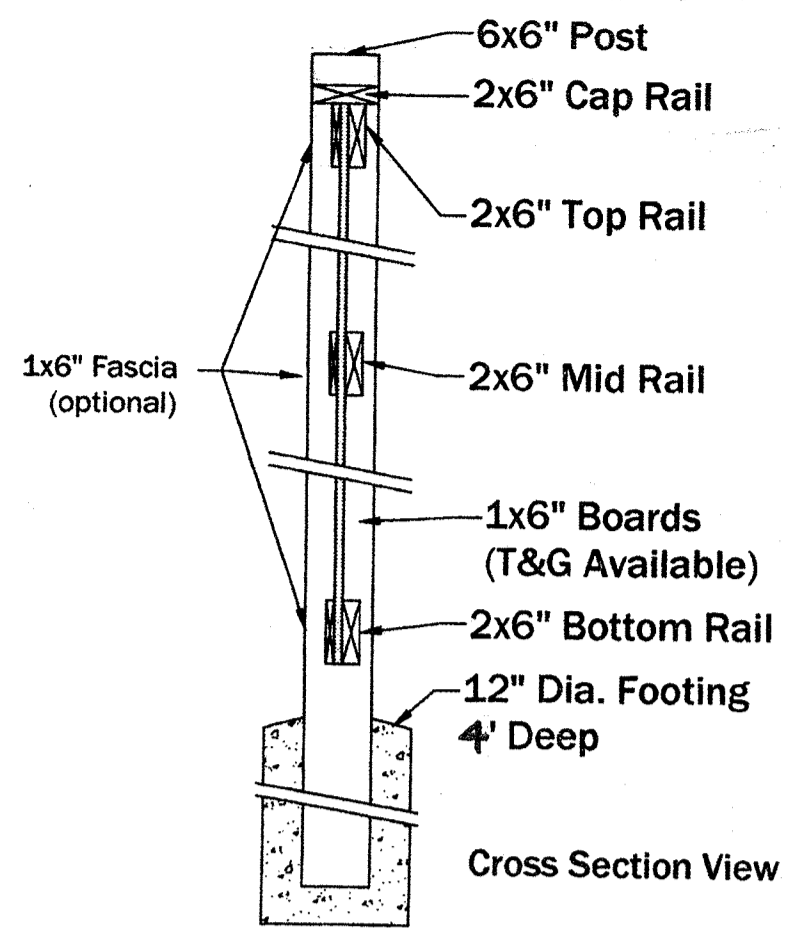
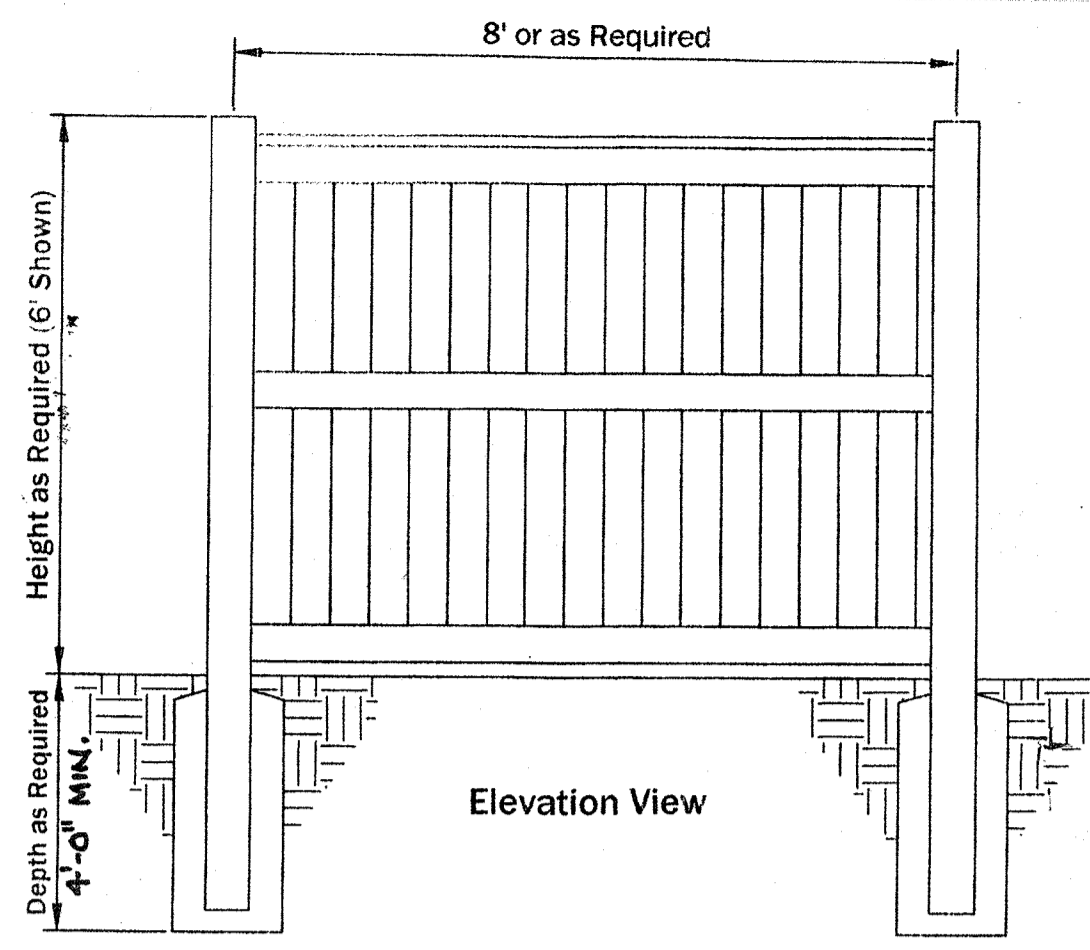
*Precast Concrete Panels

**Includes sheet metal trim, fascia, standing seam roofing & metal garage doors



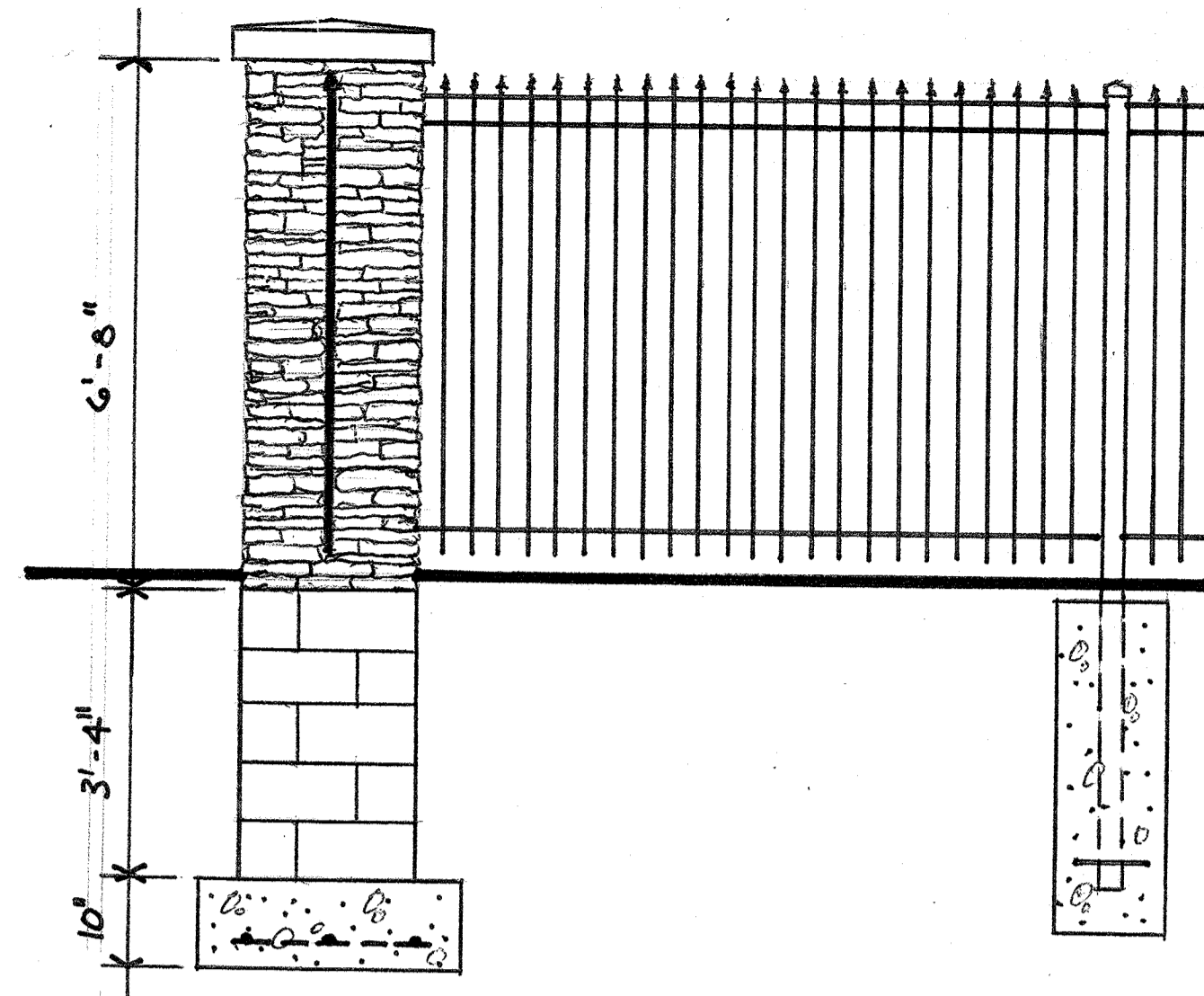
NORTH ELEVATION
1/8" = 1'-0" (4/AZ.1)

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Registered Architect in the State of Minnesota.
WILLIAM J. ANDERSON
Architect
Reg. No. 13628



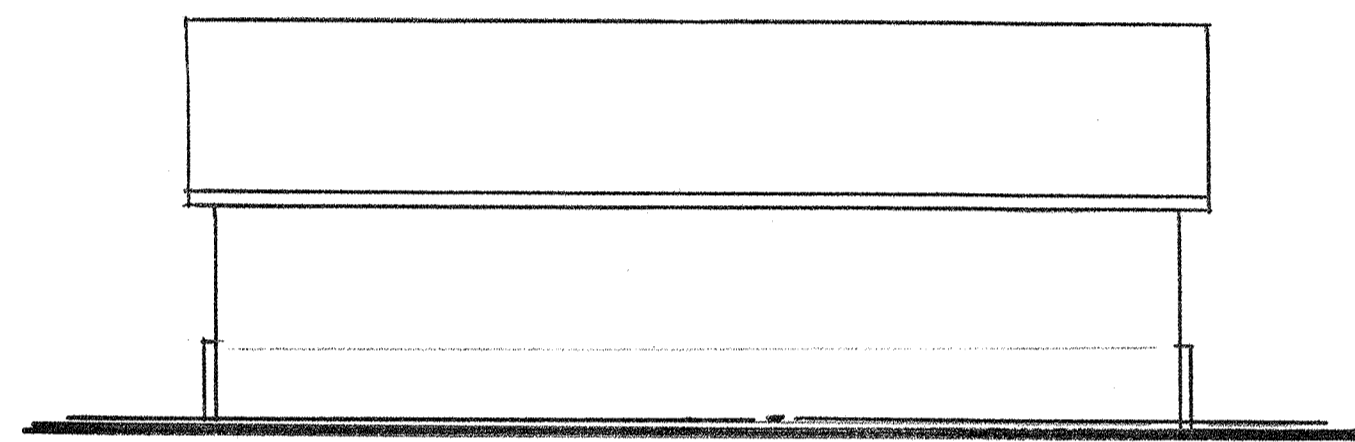
SCREEN FENCE

1/2" = 1'-0"



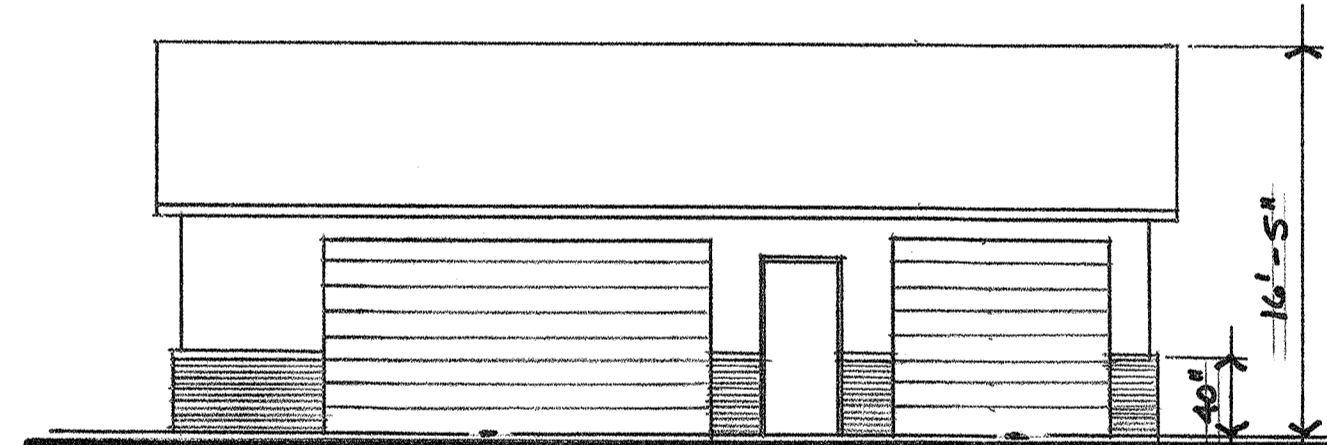
FUTURE DECORATIVE FENCE

1/2" = 1'-0"



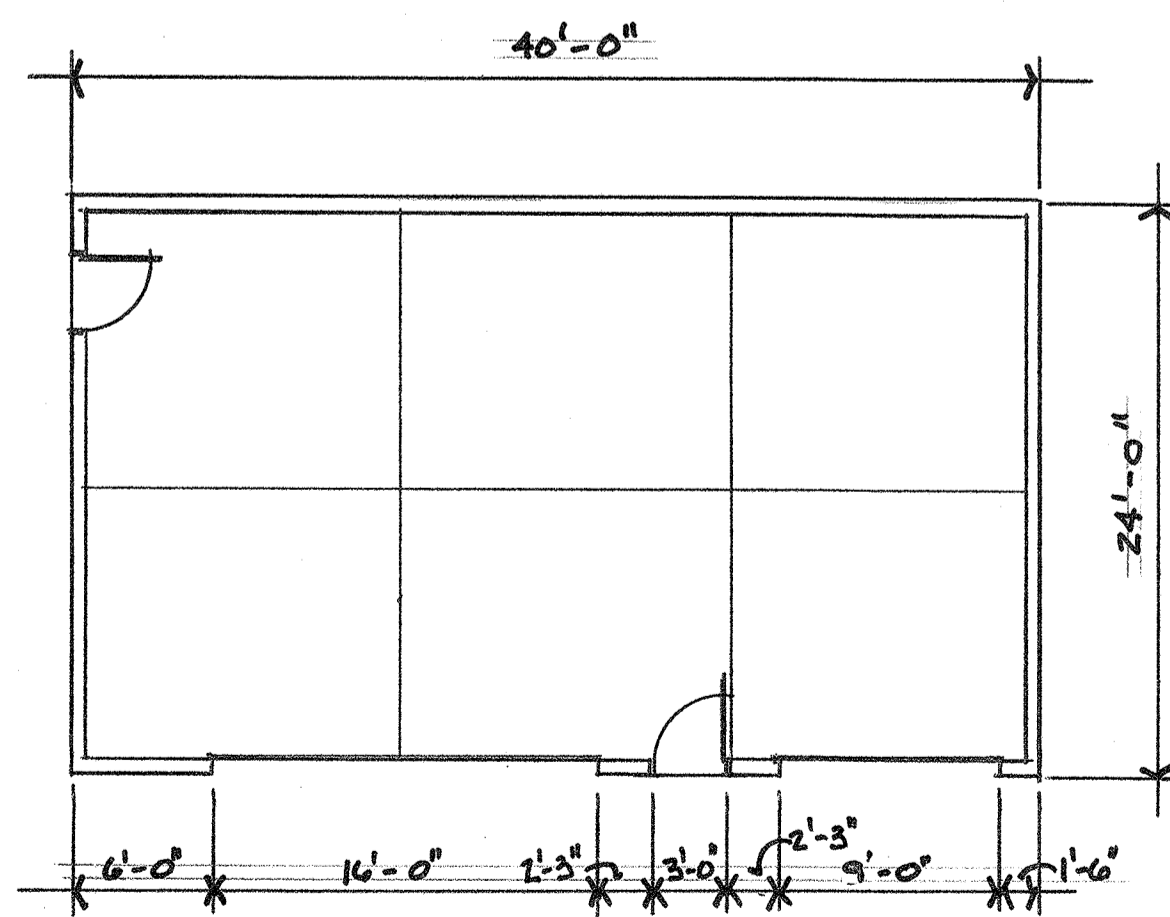
NORTH ELEVATION

1/8" = 1'-0"



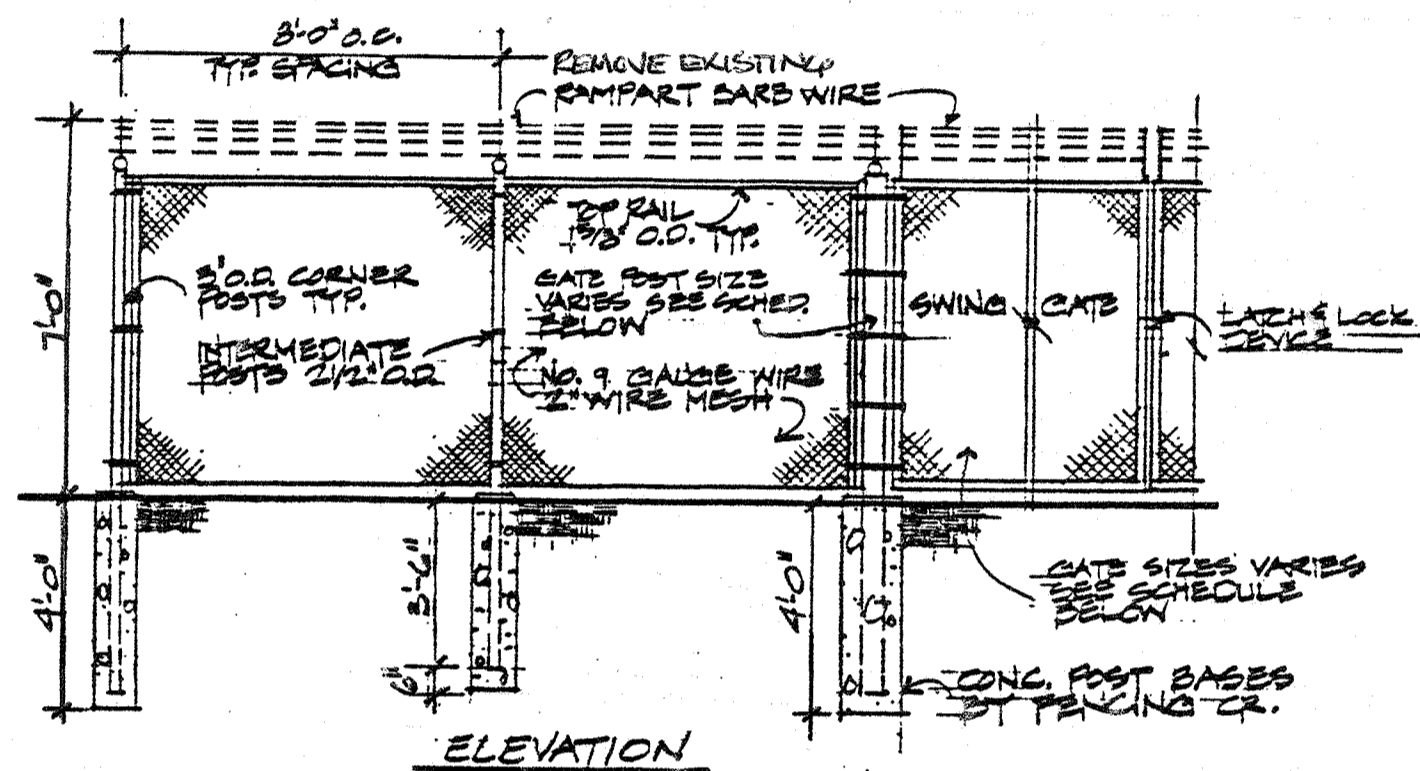
SOUTH ELEVATION

1/8" = 1'-0"



FLOOR PLAN

1/8" = 1'-0"



SWING GATE	GATE POST
24" DEL. GATE	4" DEL. POST
30" DEL. GATE	4" DEL. POST
40" DEL. GATE	4" DEL. POST
54" DEL. GATE	4" DEL. POST

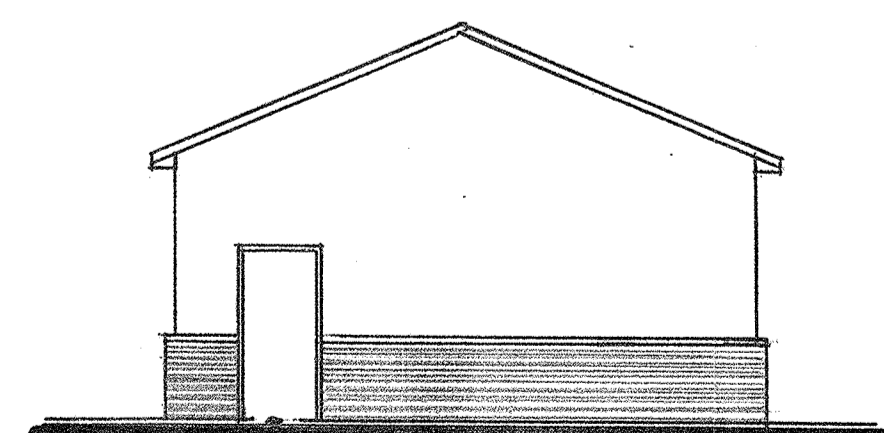
SECURITY FENCE

(NEW/EXISTING) 1/4" = 1'-0"

NOTE: CONTRACTOR TO PROVIDE EXP. BLESSES AND DIAGONAL BRACING AS REQUIRED. SEE SITE PLAN FOR GATE LOCAT.

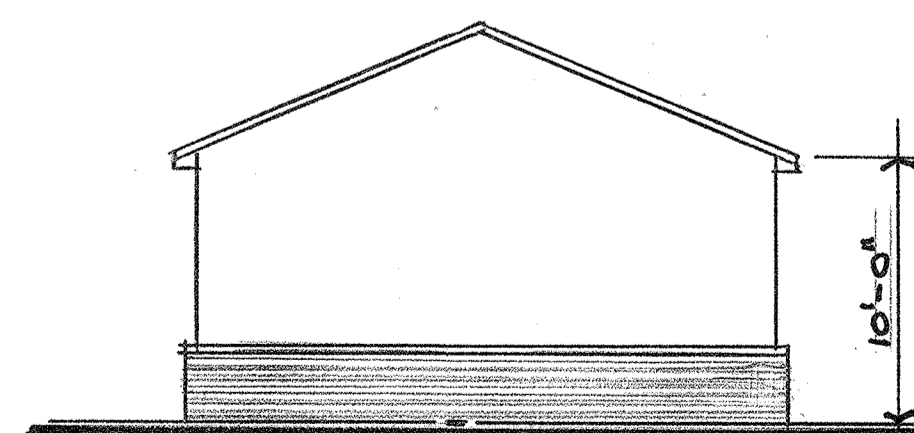
- Items Selected:
- Gable roof w/ 12 pitch, Standard Trusses 2' O.C.
 - Truss Design Location Zip Code: 55014
 - 2x6 Wall Framing Material
 - 24" Wide X 40" Deep X 10' High
 - Falmouth Gray 8 1/4" Text. Fiber Cmnt Lap Siding
 - Greccian Stone Smart Trim Outside Corners, 25yr.
 - 7/16" OSB Wall Sheathing
 - Block-It Housewrap
 - 12" gable/12" eave overhangs
 - 7/16" OSB Roof Sheathing
 - Lifetime Hidden Fastener Panel Roofing
 - Twilight Black
 - Burnished Slate Steel Roof Trim
 - Lifetime Hidden Fastener Panel Profile Vent
 - Burnished Slate Steel Soffit & Fascia
 - Burnished Slate Steel Roof Edge
 - Steel Overhead Door Jamb, 25yr.

- Options Selected:
- The options you have selected are:
- 2 - Vinyl (Gable Vents)
 - 40' Wainscot
 - => Eave: Tumbled Holland, Tan
 - => Eave: Tumbled Holland Cap, Tan
 - => Gable: Tumbled Holland, Tan
 - => Gable: Tumbled Holland Cap, Tan
 - => Gable: Tumbled Holland, Tan
 - => Gable: Tumbled Holland Cap, Tan
 - => Gable: Tumbled Holland, Tan
 - => Gable: Tumbled Holland Cap, Tan
 - 1 - 36x80 Service Door - CP1 Flush Steel RS
 - 1 - 8x8 Overhead Door - Insulated Ribbed
 - 1 - 36x80 Service Door - CP1 Flush Steel LS
 - 1 - 16x8 Overhead Door - Insulated Ribbed



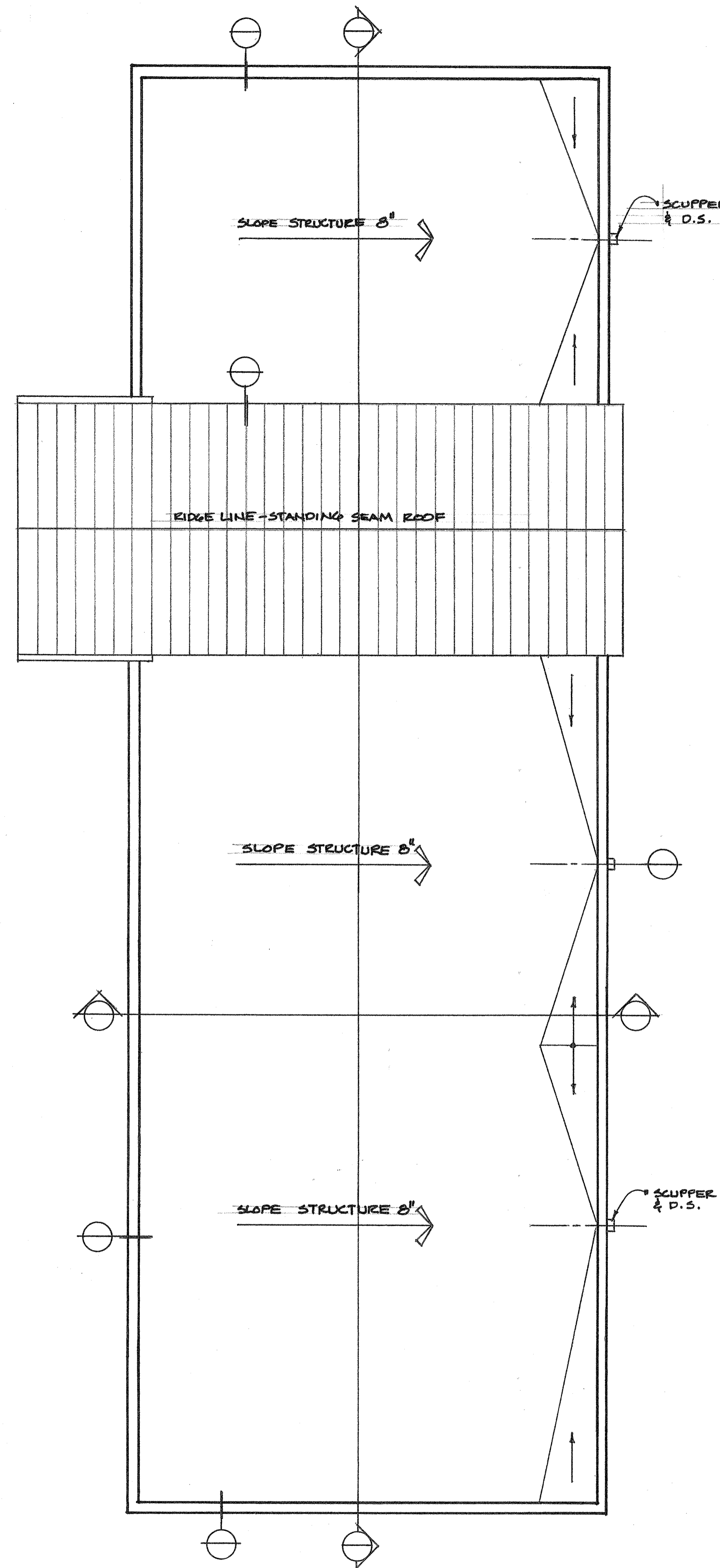
WEST ELEVATION

1/8" = 1'-0"



EAST ELEVATION

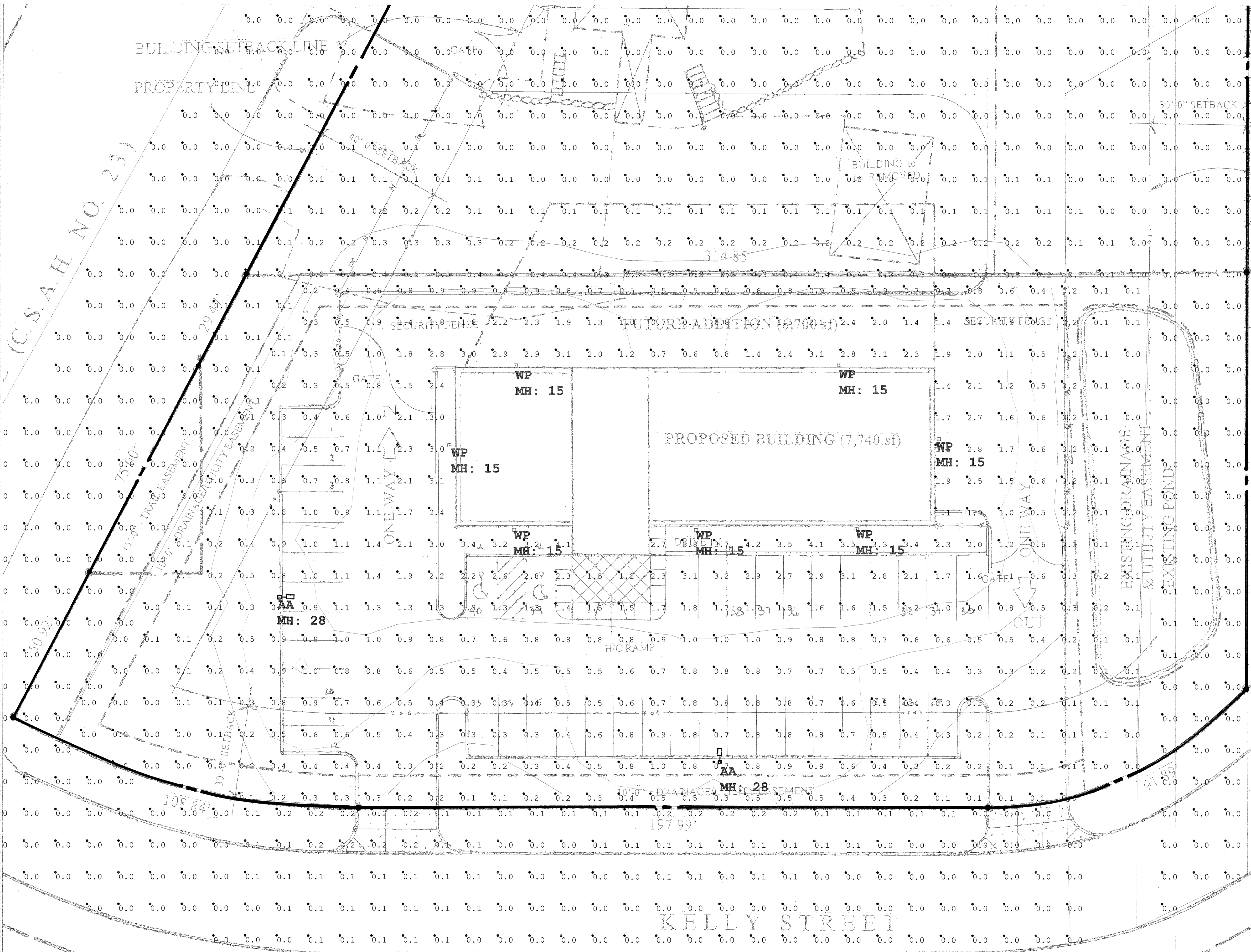
1/8" = 1'-0"



ROOF PLAN

1/8" = 1'-0"

ACCESSORY STORAGE BUILDING



Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Beyond Property Line Planar	Illuminance	Fc	0.04	0.5	0.0	N.A.	N.A.
Ground Planar	Illuminance	Fc	0.90	4.2	0.0	N.A.	N.A.

Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Lumens
AA	2	AA	SINGLE	0.910	PRV-A15-D-UNV-T3-BZ	6192
WP	7	WP	SINGLE	0.910	PRV-A15-D-UNV-T3-BZ-WM	6192

All Seasons Rental

Drawn By: Dan Budke
 Checked By:
 Date: 11/1/2017

#	Date	Comments

Revisions



I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly registered and that I am a member of the State of Minnesota.
 Date: _____ Reg. No. _____

ALL SEASONS RENTAL
 NEW OPERATIONS/HEADQUARTER FACILITY
 7932 LAKE DRIVE - LINO LAKES, MN. 55014

KNOW ALL PERSONS BY THESE PRESENTS: That Scott & Shelley Properties, LLC, a Minnesota Limited Liability Company, owner of the following described property:

All that part of Lot 5 AUDITOR'S SUBDIVISION NO. 100, Anoka County, Minnesota, described as follows:

Beginning at the most Northerly corner of said Lot 5; thence Southerly on the East line of said Lot 5, 88.62 feet; thence Westerly at right angles, 46.34 feet, more or less, to the Northwesterly line of said Lot 5 (being the Southeastery right of way line of old Highway 8, now County State Aid Highway No. 23); thence Northeasterly along said Northwesterly line to the point of beginning, except Parcel 39, Anoka County Highway Right-of-Way Plat No. 17, Anoka County, Minnesota.

AND

That part of the North 135.00 feet of the west 248.50 feet of the South Half of the Northwest Quarter of the Northwest Quarter of Section 9, Township 31, Range 22, Anoka County, Minnesota, lying easterly of State Trunk Highway No. 8, except that part taken for road, according to the United States Government Survey thereof, Anoka County, Minnesota.

AND

The North 135.00 feet of the east 80 feet of the west 328.50 feet of the South Half of the Northwest Quarter of the Northwest Quarter, Section 9, Township 31, Range 22, Anoka County, Minnesota.

AND

Lot 1, Block 1, PINE GLEN, Anoka County, Minnesota.

Has caused the same to be surveyed and platted as SS PROPERTIES ADDITION and does hereby dedicate to the public for public use the public way and the drainage and utility easements as shown by this plat. Also dedicating to the County of Anoka the right of access onto County State Aid Highway No. 23 as shown on this plat.

In witness whereof said Scott & Shelley Properties, LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officer this _____ day of _____, 20____.

SCOTT & SHELLEY PROPERTIES, LLC

Scott S. Carlson, Chief Manager

STATE OF MINNESOTA

COUNTY OF _____
This instrument was acknowledged before me this _____ day of _____, 20____ by Scott S. Carlson, as Chief Manager of Scott & Shelley Properties, LLC, a Minnesota limited liability company on behalf of the company.

Notary Public, _____ County, Minnesota
My Commission Expires _____

I, Blake L. Rivard do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 20____.

Blake L. Rivard, Licensed Land Surveyor
Minnesota License No. 19421

STATE OF MINNESOTA

COUNTY OF _____
This instrument was acknowledged before me this _____ day of _____, 20____ by Blake L. Rivard.

Notary Public, _____ County, Minnesota
My Commission Expires _____

City Council, City of Lino Lakes, Minnesota

This plat of SS PROPERTIES ADDITION was approved and accepted by the City Council of the City of Lino Lakes, Minnesota at a regular meeting thereof held this _____ day of _____, 20____ and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

City Council, City of Lino Lakes, Minnesota

_____, as Mayor _____, as City Clerk

County Surveyor

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this day of _____, 20____.

Larry D. Holm
Anoka County Surveyor

County Auditor/Treasurer

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20____ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this day of _____, 20____.

Property Tax Administrator

By _____, Deputy

County Recorder/Registrar of Titles
County of Anoka, State of Minnesota

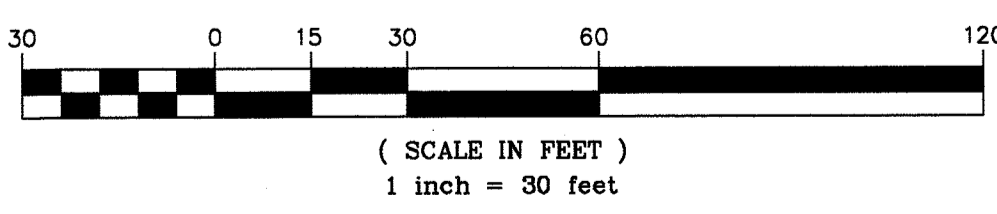
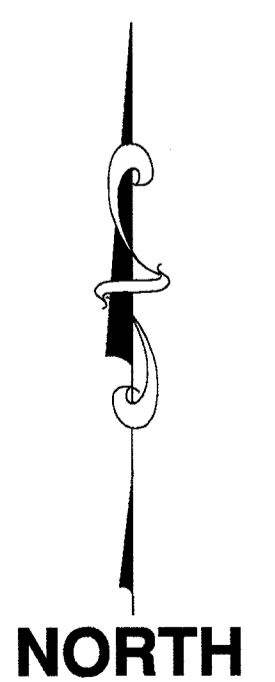
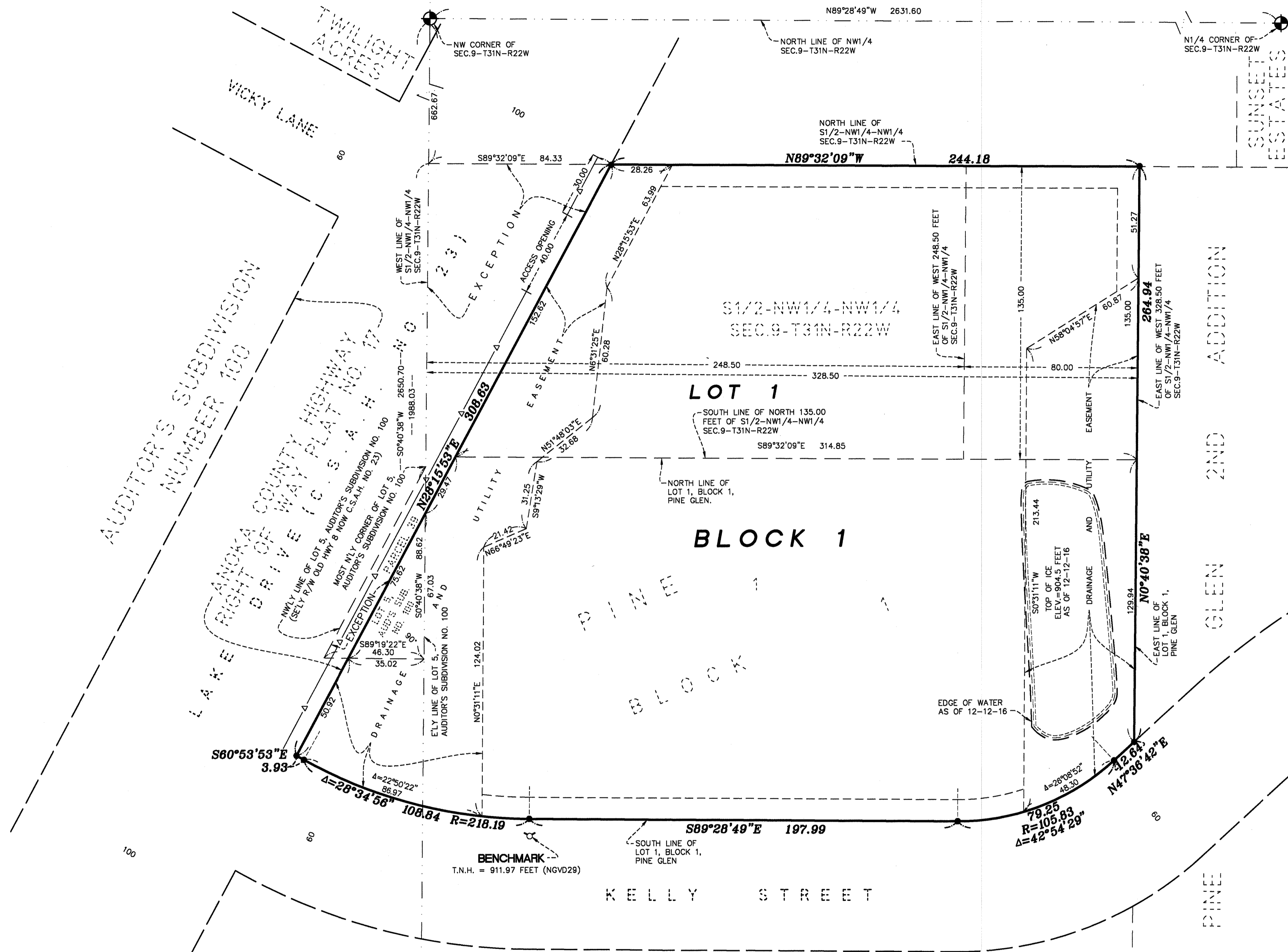
I hereby certify that this plat of SS PROPERTIES ADDITION was filed in the office of the County Recorder/Registrar of Titles for public record on this _____ day of _____, 20____ at _____ o'clock _____ M., and was duly recorded as Document Number _____.

County Recorder/Registrar of Titles

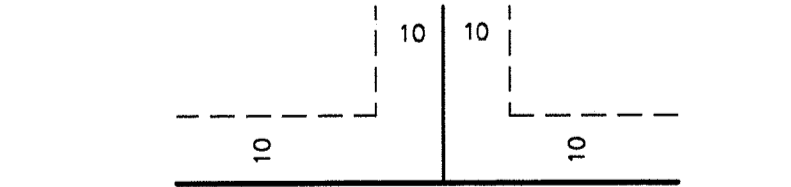
By _____, Deputy

SS PROPERTIES ADDITION

CITY OF LINO LAKES
COUNTY OF ANOKA
SEC. 9, T31N, R22W



(NOT TO SCALE)
DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



BEING 10 FEET IN WIDTH AND ADJOINING RIGHT OF WAY LINES, SIDE AND REAR LOT LINES, UNLESS OTHERWISE SHOWN ON THIS PLAT.

- DENOTES ANOKA COUNTY CAST IRON MONUMENT
 - DENOTES FOUND IRON MONUMENT, UNLESS OTHERWISE SHOWN.
 - △ DENOTES RIGHT OF ACCESS DEDICATED TO ANOKA COUNTY
- FOR THE PURPOSES OF THIS PLAT THE SOUTH LINE OF LOT 1, BLOCK 1, PINE GLEN IS ASSUMED TO HAVE A BEARING OF SOUTH 89 DEGREES 28 MINUTES 49 SECONDS EAST.

E. G. RUD & SONS, INC.
EST. 1877 Professional Land Surveyors

PRELIMINARY COPY
UNRECORDED AS OF 11-09-17

Jamb architects
 P.O. Box 310 Forest Lake, Minnesota 55025
 (612) 670-0358
 I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
 Date: _____ Reg. No. _____
ALL SEASONS RENTAL
 NEW OPERATIONS/HEADQUARTER FACILITY
 7932 LAKE DRIVE - LINO LAKES, MN. 55014
 Project No. 01610
 Date: 11/10/17
 Revisions:
 Sheet No. CS3