City of Lino Lakes
Environmental Board Meeting

Wednesday, February 6, 2019
6:30 PM

AGENDA

1. Call to Order
2. Approval of Agenda
3. Approval of Minutes
4. Open Mike
5. Action Items
   A. Lyngblomsten Senior Living Community/PUD /Mixed Use/Preliminary Plat Review
6. Discussion Items
   A. 2019 Goals
   B. Recycling Updates
   C. Other Updates: Heron Rookery Maintenance Date, Earth Day, 4-20-2019
7. Adjourn

CITY OF LINO LAKES
ENVIRONMENTAL BOARD MINUTES Template

DATE	**:**	November 28, 2018
TIME STARTED	**:**	6:32 P.M.
TIME ENDED	**:**	8:24 P.M.
MEMBER PRESENT	**:**	Steve Heiskary (chair), Paula Andrzejewski, Liz Kaufenberg, Nancy Klebba, John Sullivan
MEMBERS ABSENT	**:**	Alex Schwartz, Shawn Holmes
STAFF PRESENT	**:**	Marty Asleson, Sayard Schultz

I. CALL TO ORDER AND ROLL CALL:

Mr. Heiskary called the Lino Lakes Environmental Board meeting to order at 6:32 p.m. on November 28, 2018.

II. APROVAL OF AGENDA

Mr. Heiskary made a MOTION to approve the Agenda with the added discussion items. Ms. Andrzejewski seconded the motion.

III. APPROVAL OF MINUTES:

Mr. Sullivan made a MOTION to approve the September 26, 2018 Meeting Minutes Ms. Klebba supported motion**.** Motion carried 5-0.

IV. OPEN MIKE

Mr. Heiskary declared Open Mike at 6:34p.m.
Open Mike closed at 6:35p.m.

V. ACTION ITEMS

A. No Action Items

VI. DISCUSSION ITEMS

A. Rice Creek Watershed, Matt Kocian, Carp Study/Management in the Rice Creek Watershed District

I. Matt Kocian presented a PowerPoint on the status of the Common Carp in the Rice Creek Watershed District.

II. Common Carp - an invasive species that has lived in Minnesota for approximately 400 years.

III. These carp are considered eco-engineers because they uproot aquatic vegetation. This action releases Nitrogen and Phosphorus (N&P) in the atmosphere. In addition, a high-density carp population impacts water quality. The threshold for population density is 100lbs / 1 acre.

- A need for the study: 35,000 carp were taken out of Long Lake by a professional angler. This very high number of carp highlights the gravity of the carp density problem.

IV. The Carp Study

- The area of the carp study consisted of two separate water systems. Long lake system and the Lino Chain of Lakes system. These two areas are connected by the Rice Creek.
- This study sought to answer (4) questions about carp management:
  1) Methods to measure carp in the systems
     - Electro-fishing
     - Netting
  2) Carp Migration
     - They researched daily and seasonal migration via radio receivers.
     - Findings:
       - Carp aggregate in the winter into large groups then break apart into smaller groups and travel to deeper water with more oxygen. These deeper areas are considered their winter home.
       - In the summer time, Carp move out of winter homes and spread out among the lakes.
     - This type of migration patterns are called *Partial Migration*
     - Carp spawn in the Chain of Lakes system. This area is considered a Carp Nursery in the summer.

  3) How often do juvenile carp recruit

     - Recruitment in fisheries refers to the point of time that juvenile fish join the adult population.

- The study used Passive Integrated Transponder (PIT tags) to determine this time. PIT tags help scientists track individual organisms by providing a reliable lifetime 'barcode' for an individual animal.

4) How should we manage the carp:

- Standard for determining good management: effective, efficient, and reliable.
- Use population modeling to predict what type of management solutions.
- Management Solutions:
  - The removal of 50% of adult carp population (*not reliable)*
  - Suppression of juvenile carp (*not effective or efficient)*
  - Baited boxes and netting (using corn). This was used to remove adult carp. (*Effective & reliable; somewhat efficient)*.
  - Low-Voltage Barrier/Guidance System:
    - Removes carp and suppresses recruitment.
    - New system PROCOM NEPTUN
    - This system is mobile, also cheap to employ
    - System repels or guides carp. Debris in water is also able to pass through the electrodes system.
    - Applying the management standards to this system:
      - ✓ Effective- Yes
      - ✓ Efficient- Yes
      - ✓ Reliable- so far it has been reliable. The true test will be if the system can remove 50% of adult carp per year and suppress 50% of juveniles per year.

V. Question from the Board and Environmental Coordinator on Study:

- Marty Asleson: How will the Low-Voltage Barrier/Guidance System affect canoeist and the ability for them to portage to different lakes?
  Answer: The interaction between a canoeist and the system is more likely to result in the system's materials being damage and not the injury of the individual.
- Marty Asleson: Do you run the system barriers 24/7?
  Answer: No, the system is only on a few months out of the year. There are also signs posted informing the public if the system is on or off.
- Marty Asleson: Is TDL factored into your management plan?
  Answer: Yes
- John Sullivan: What is the quality of the water flowing into the north side of Peltier Lake?
  Answer: No good. There needs to be improve quality of the two tributaries that flow into Peltier.

B. 2018 Goals Review/Discuss Goals for 2019

- Mr. Heiskary: Suggest that the Environmental Board members be more visible to the public. Such as more community events.
- Mr. Asleson: Work with the Met Council
- Schedule site visits to wetland bank easements and invite the residents to share their thoughts and learn more about these easements. Environmental Board members could send out flyers announcing these upcoming gatherings.
- Circulate more educational material for frequently throughout the year.
- Look at pass meeting notes for information pertaining to goals. Use this information to develop future goals.
    - **i.** Or keep a running Goal Journal throughout the year where ideas can be readily pulled from to create the upcoming year's set goals.

C. Recycling Updates on Waste Abatement Goal

- The first half of the year (January - June), Lino Lakes diverted **1,046 tons** of recyclables and organic material from the landfill.

- We are currently in the 2nd half of the year (July - December), the City has diverted **1,843 tons** of recyclables and organic material from the landfill.

- **Current Outlook:** *All tonnage data has been not submitted to the City by the various vendors*
    - **Counting Yardwaste towards overall diversion goal: 1,046 + 797 = 1,843 tons**
        - **315 tons** short of goal
    - **Without Yardwaste tonnage counted towards goal: 1,046 + 547 = 1,593 tons**
        - **565 tons** short of goal
    - Tonnage not yet captured during this 2nd half of the year (yardwaste included) is projected to be approximately **320 tons**.
    - With this projected additional tonnage, Lino Lakes could exceed its goal by 5 tons.

VII. ADJOURNMENT

Mr. Sullivan made a MOTION to adjourn the meeting at 8:24 p.m.
Ms. Andrzejewski supported motion. Motion carried 5-0

Respectfully submitted,
Sayard Schultz
City Recycling Intern

ENVIRONMENTAL BOARD
AGENDA ITEM 5A

STAFF ORIGINATOR:	Marty Asleson, Environmental Coordinator
MEETING DATE:	February 6, 2019
REQUEST:	Preliminary Plat/Lyngblomsten/Senior Living Community/PUD/ Mixed Use/ Preliminary Plat Review
APPLICANT:	Lyngblomsten 1415 Almond Avenue St Paul MN 55108
OWNER:	R.L.Co., LLC 7241 Ohms Lane, Suite 275 Edina, Minnesota 55439
PROJECT TIMELINE:	Entitlements 03/30/2019 Close on Land Acquisition 04/15/2019 Permit Application 09/01/2019 Construction Commencement 11/01/2019 Construction Completion 02/01/2021

PROPOSED DEVELOPMENT

The proposed project application is for preliminary plat review. Concept plans for Lyngblomsten was discussed at the February 28th, 2018, and June 21st, 2018 Environmental Board meetings. The property is zoned General Business.

This project proposal is located North and East of the corner of Hodgson Road and County Road J. The corner is 2+ acres of vacant land with two older structures to the north that house an insurance business and a liquor store. Immediately north of those buildings is a 17.18 acre site that is mostly wooded with an old single family house located on the property.

Property on the East side of Hodgson road consists mostly of parking lots and used automobile sale lots. There is a landscape business to the north of the used car lots.

Lyngblomsten proposes to purchase the 17.18 acres on the northwest quadrant of the property owned by R.L. CO., LLC located at 6075 Hodgson Road., along with the insurance and liquor store buildings for the purpose of developing a senior living community and facilitating the development of a stand-alone restaurant. The plan is to create a "continuum-of-care" campus offering up to a total of 198 units comprised of a mix of independent living, assisted living, and memory care/enhanced care suiters/skill nursing care plus complementary campus amenities and 20 stand-alone senior living townhomes.

Land/Environmental issues have not changed. The building configurations and locations have changed, or have been defined better per this application

At this time the application proposes to build townhomes to the north and west of the main building. According to narrative provided by the developer, these town homes are setback from the adjacent single family homes and existing wetlands and will preserve a significant amount of the sites mature trees, and minimize wetland impact.

SITE EVALUATION

Surface Water and Wetlands

Water runs to a constructed pond. The Watershed's requirement is that the proposed rates of runoff cannot exceed 80% of the existing runoff rates, and the site must provide water quality treatment for 1.1 inches of runoff from the new and reconstructed impervious areas. City Engineers must verify the requirements.

The soils in this pond do not infiltrate, at least at a higher rate. Silt formation in the soils slow it down enough to not classify it as infiltration pond. Water leaving the pond goes to a pipe going across private property easement. The pipes need to be joined at the intersection. The Watershed's requirement is that the proposed rates of runoff cannot exceed 80% of the existing runoff rates, and the site must provide water quality treatment for 1.1 inches of runoff from the new and reconstructed impervious areas. It appears that the developer is proposing to use stormwater for irrigation purposes as part of the volume mitigation.

A wetland exists on the northwest side of the project. This wetland is not in a wetland corridor, therefore a 50 foot buffer is not needed; however the city is asking for a 25 foot buffer around this wetland. City standard wetland buffer signs must be placed on the perimeter of this buffer.

The banks and perimeter of the pond is proposed to be seeded with a prairie pond mix. The mix is a high growth plant mix. Recommend a lower growth planting with enhancement forbes.

The pond would need a maintenance agreement signed. We would also require a plan for the establishment and management of the native prairie for a 5 year period, and managed by a company that is knowledgeable in the establishment and maintenance of native prairie. Usually a plan requires a fire at the end of 3-5 years. There are alternatives to this that do not work as well. If fire is in the plan than trees in the pond should be able to tolerate fire. For the most part this is Oaks.

Some other species of tree should be substituted for the proposed Aspen in the pond. They will also not survive fire, but will eventually take over the entire pond by root regeneration of new trees. That becomes a pond maintenance issue 10 years down the road and will also shade out the shade intolerant native prairie plants.

Soils

Sandy site soils that are layered with silt formations are present on the site.

Land Cover

The land was previously disturbed, non-native grasses with naturally seeded trees, some of them native, some not. There is wetland on the NW side of the project. There are no significant native plants in this wetland.

Tree Preservation

Basic use area trees will be removed as per code standard. Trees and shrubs on the western edge will be left in place and protected from construction. Screening is necessary on the western property line and Northern property line. A tree inventory was completed. Trees to be saved must have a tree preservation plan completed. The plan must show what trees and orange barrier fence around the tree dripline perimeters.

Significant Resources

There are no signature features on this site that would indicate rare plants or animals. There are no NHIS data for this site. It is possible Blanding's Turtle travel through this area, so for Blanding's turtle or any other turtles it is recommended that surmountable curb design be used.

Flood Plain

There is no floodplain on the site.

Stormwater Pollution Prevention Plan

The project will need to have an NPDES/Construction Stormwater permit, and full SWPPP submitted. The applicant must provide the name and the certification of their Construction Stormwater permit inspector, as well as the phone number of the inspector or a means of contact.

The project is within a one mile radius of Baldwin Lake and they have identified this in their plan. The project has plan to monitor discharge water quality, and remediate any issues that for turbid waters. The plan shows required rock construction entrances. The plan identifies perimeter control and catch basin protection. Cover to meet NPDES requirements include the use of temporary seeding, sediment control blankets, stormwater treatment basins, temporary sediment basins, rock dams and rip rap use and sediment logs. The permit holder of the Construction Stormwater Permit, must submit the required weekly site inspection report to the city immediately after each inspection. All corrective action documentation must be emailed to the City upon completion.

Although the developer discusses Concrete washout in the SWPPP, the developer must identify a concrete washout area on the plan.

Wellhead protection and Drinking water Service Management Area

The site is not in a Drinking Water Service Management Area.

Landscape Plan

Boulevard trees are required and escrow money must be obtained for these trees.

A buffer and screening plan should would need to be submitted for the NE corner area, and between the individual townhomes and the property. The NE area has a storm pipe designed under the surface on the property line, so this area should have a fence at least as far as the pipe is installed to the west. The remaining lots could also be fence or landscape materials. The west side of the project has a 50-foot buffer that will be tree-protected, and plantings in the pond to afford screening.

There are two irrigation plans. One excludes the native areas (L1), and the other includes it in CO.04. The developer intends to irrigate with stormwater so reuse of stormwater in the native areas would be ok. Natives need supplemental irrigation to get started, but don't need it after, and if fluorinated water is applied to established native plantings the plants are stressed and replaced with non-native plants. Therefore, the use of stormwater should be inconsequential to the plants after establishment. This is also a great BMP, and way to control volume loss on the site.

There is a wide diversity of plant materials proposed for this site. A few of them are marginally hardy (like boxwood), but it will be interesting to see how they go through a winter here. The plants are under guarantee for a year. Plants on the County road right of way need to be moved back. There are some trees located on the road entry off of Hodgson Road that are located on County Road ROW. In addition, for siting purposes, the City requires that trees and shrubs be located at least 30 feet from a corner.

As stated in the pond discussion, aspen trees must be substituted out to some other species that will not spread through root growth, and perhaps tolerate fire.

A recommendation from the June 21st Environmental Board meeting stated that "Since this is an assisted living and memory care facility area, the use of trails and flower garden plantings should be planned for this development. A small handicap accessible community garden area would also be desirable in this area for programming open space landscaping. Raised garden beds are accessible to disabled residents and would also be a desirable element to consider". The developers have considered this and positioned a community garden in the NW corner of the project.

All trees planted on the Eastern site boundary must be in compliance with the pole energy company's policy for tree clearance distances at tree mature heights.

All shrub and Sod areas are irrigated. Tall Prairie is scheduled in for the pond, wetland restoration and surrounding area of the community garden. The existing wetland vegetation is non-native vegetation with invasive Garlic Mustard.

Lighting

Lighting appears to conform to the no property line spill rule, and fixtures are of the low-profile, downward focused cut-off type lens.

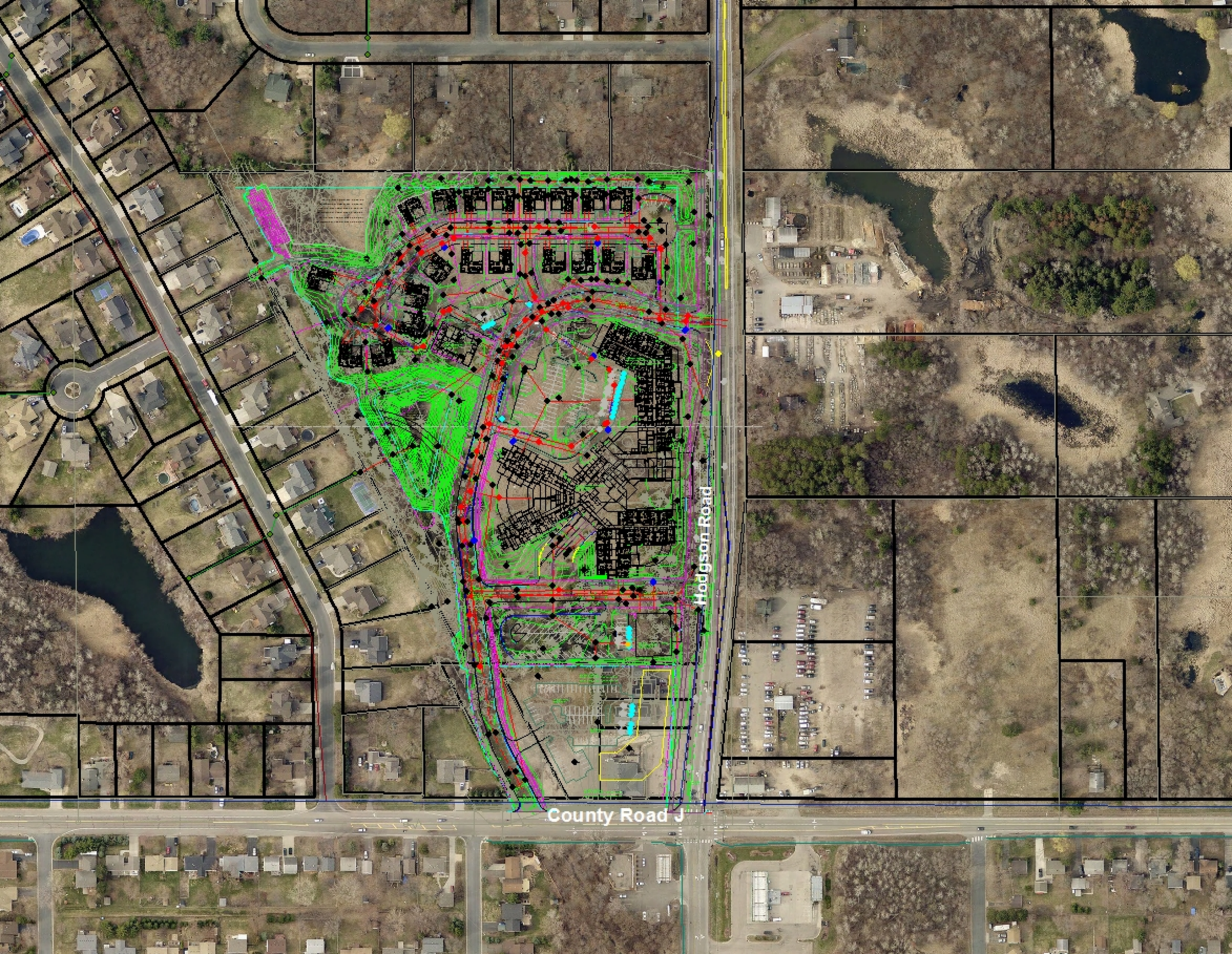
RECOMMENDATION

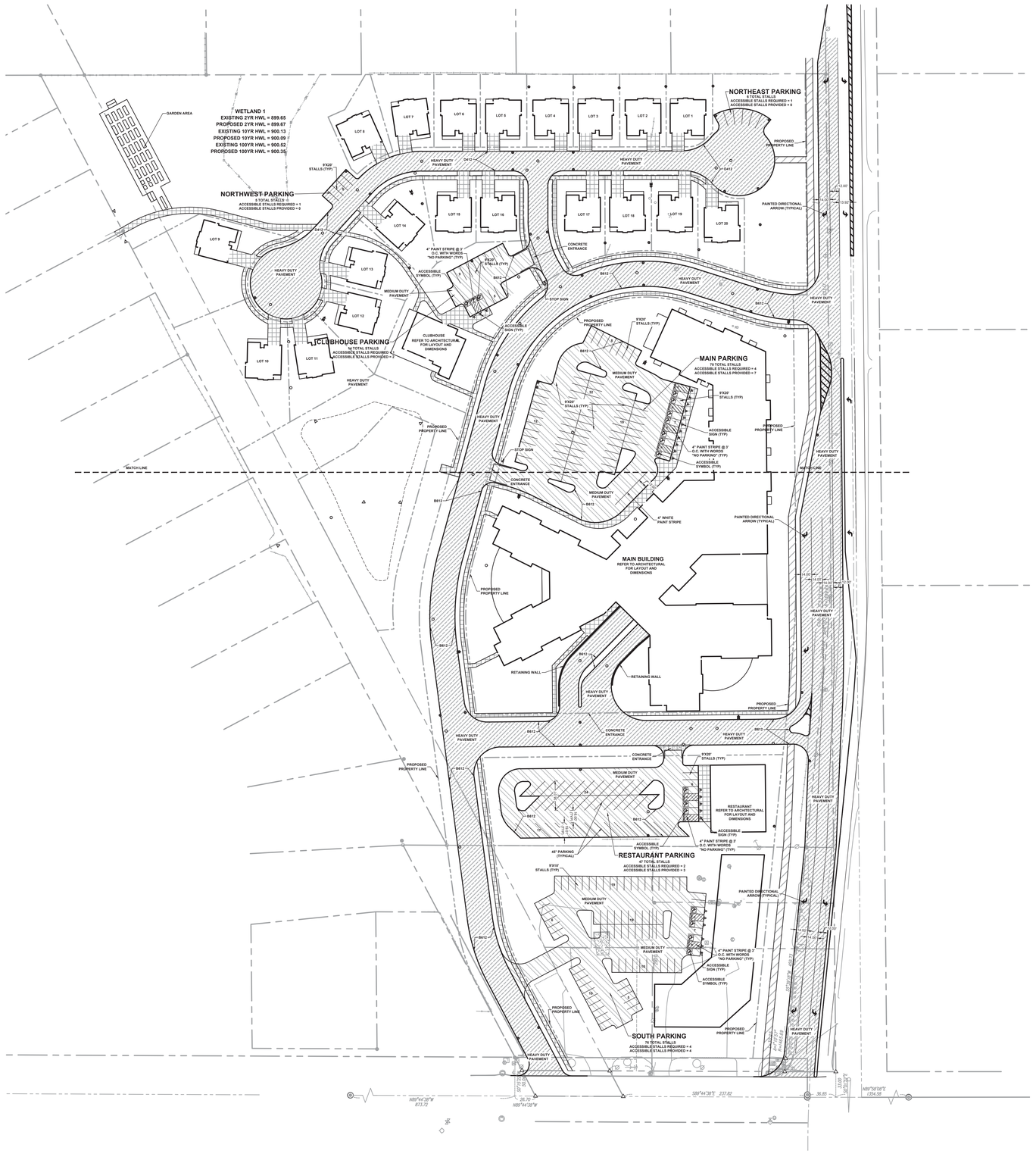
Approve staff and Environmental Board recommendations. Forward on to Planning and Zoning Board and City Council.

ATTACHMENTS

1. Lyngblomsten Location Map
2. Overall Site Plan
3. Site Plan North
4. Site Plan South
5. Site Plan-Arch Plan Set
6. Grading and Drainage
7. Erosion
8. NE Green Planting Plan

9. Tree Preservation
10. Landscape Site Layout Plan
11. Proposed Irrigation
12. Irrigated Areas
13. Boulevard Tree Planting
14. Main Building N Planting
15. Main Building South Planting
16. TC and MC Planting Plans
17. SN Planting Plan
18. Clubhouse Planting Plan
19. SW Green Planting Plan
20. East Townhomes Planting Plan
21. West Townhome Planting Plan
22. Photometric/Light Fixtures
23. Wetland Buffer


Hodgson Road
County Road J



NOTES:

1. REFER TO SHEET C1.21, SITE PLAN NORTH, FOR NOTES.
2. REFER TO SHEET C1.31, GRADING AND DRAINAGE PLAN NORTH, FOR GENERAL NOTES.

SITE STATISTICS:

NORTHEAST PARKING
- TOTAL STALLS = 6
- ACCESSIBLE STALLS REQUIRED = 1
- ACCESSIBLE STALLS PROVIDED = 0

NORTHWEST PARKING
- TOTAL STALLS = 5
- ACCESSIBLE STALLS REQUIRED = 1
- ACCESSIBLE STALLS PROVIDED = 0

CLUBHOUSE PARKING
- TOTAL STALLS = 14
- ACCESSIBLE STALLS REQUIRED = 1
- ACCESSIBLE STALLS PROVIDED = 2

RESTAURANT PARKING
- TOTAL STALLS = 47
- ACCESSIBLE STALLS REQUIRED = 2
- ACCESSIBLE STALLS PROVIDED = 3

SOUTH PARKING
- TOTAL STALLS = 76
- ACCESSIBLE STALLS REQUIRED = 4
- ACCESSIBLE STALLS PROVIDED = 4

MAIN PARKING
- TOTAL STALLS = 78
- ACCESSIBLE STALLS REQUIRED = 4
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SIGNAGE KEY NOTES

A — STOP — MnMUTCD R1-1 (30"x30")

B — DO NOT ENTER — MnMUTCD R5-1 (30"x30")

C — VISITOR PARKING — SIMILAR TO MnMUTCD R7-5 (12"x18")

LEGEND

- REFERENCE KEY TO SITE DETAILS — DETAIL I.D NUMBER (TOP) — DETAIL SHEET NUMBER (BOTTOM)
- PROPOSED CONCRETE WALK
- PROPOSED CONCRETE SLAB
- PROPOSED LIGHT DUTY BITUMINOUS PAVEMENT
- PROPOSED MEDIUM DUTY BITUMINOUS PAVEMENT
- PROPOSED HEAVY DUTY BITUMINOUS PAVEMENT
- PROPOSED TRAFFIC CONTROL SIGN
- SIGNAGE KEY NOTE
- PROPOSED BOLLARD
- PAINTED ACCESSIBLE SYMBOL
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- PROPOSED FLARED END SECTION (FES)
- PROPOSED HYDRANT (HYD)
- PROPOSED GATE VALVE (GV)
- PROPOSED POST INDICATOR VALVE (PIV)
- PROPOSED FLAGPOLE - REFER TO ARCHITECTURAL PLANS
- PROPOSED BUILDING STOOP - REFER TO ARCHITECTURAL PLANS
- PROPOSED LIGHT POLE - REFER TO ELECTRICAL PLANS
- PROPERTY LINE

0 30 60

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I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed **PROFESSIONAL ENGINEER** under the laws of the State of **MINNESOTA**

DAVID A. REY
Registration Number **40180** Date **XXXX**

Revisions		
Description	Date	Num.

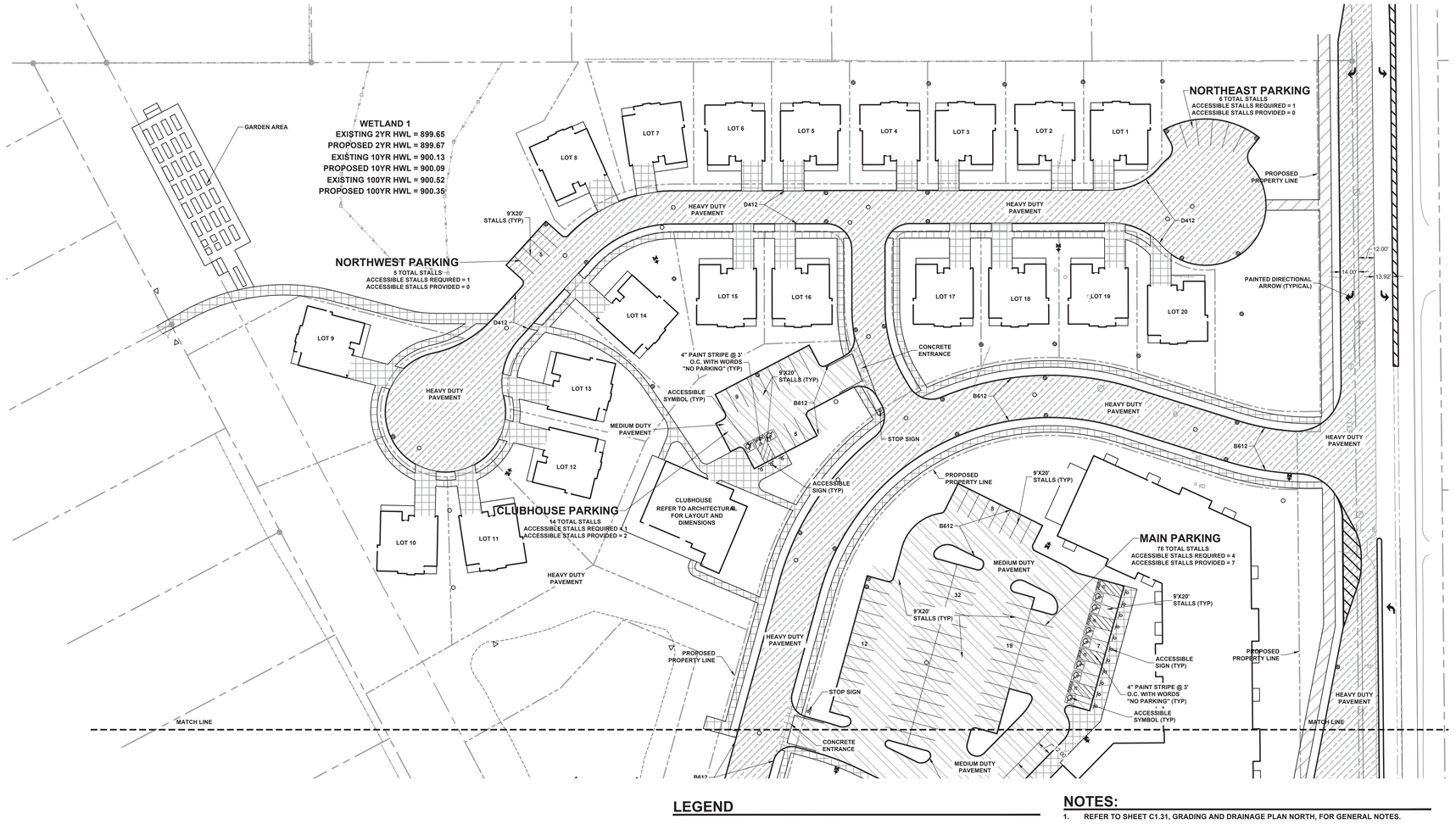
Comm: XXX
Date: XXXX
Drawn: BJD
Check: DAR

North

SITE PLAN OVERALL

Scale: **1" = 60'**

C1.20



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- PROPERTY LINE

NOTES:

1. REFER TO SHEET C1.31, GRADING AND DRAINAGE PLAN NORTH, FOR GENERAL NOTES.
2. CHECK ALL PLAN AND DETAIL DIMENSIONS AND VERIFY SAME BEFORE FIELD LAYOUT.
3. SIGNAGE SHALL GENERALLY BE INSTALLED 18" BEHIND THE BACK OF CURB.
4. ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD WHICH ARE NOT DESIGNATED TO BE PAVED SHALL RECEIVE AT LEAST 6" OF TOPSOIL AND SHALL BE SODDED OR SEEDED.
5. WHERE NEW SOD MEETS EXISTING TURF, EXISTING TURF EDGE SHALL BE CUT TO ALLOW FOR A CONSISTENT, UNIFORM STRAIGHT EDGE. JAGGED OR UNEVEN EDGES WILL NOT BE ACCEPTABLE. REMOVE TOPSOIL AT JOINT BETWEEN EXISTING AND NEW AS REQUIRED TO ALLOW NEW SOD SURFACE TO BE FLUSH WITH EXISTING.
6. FAILURE OF TURF DEVELOPMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, THE CONTRACTOR SHALL RE-SOD OR RE-SEED ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.

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DAVID A. REY
Registration Number 40180 Date C1.21

Revisions		
Description	Date	Num

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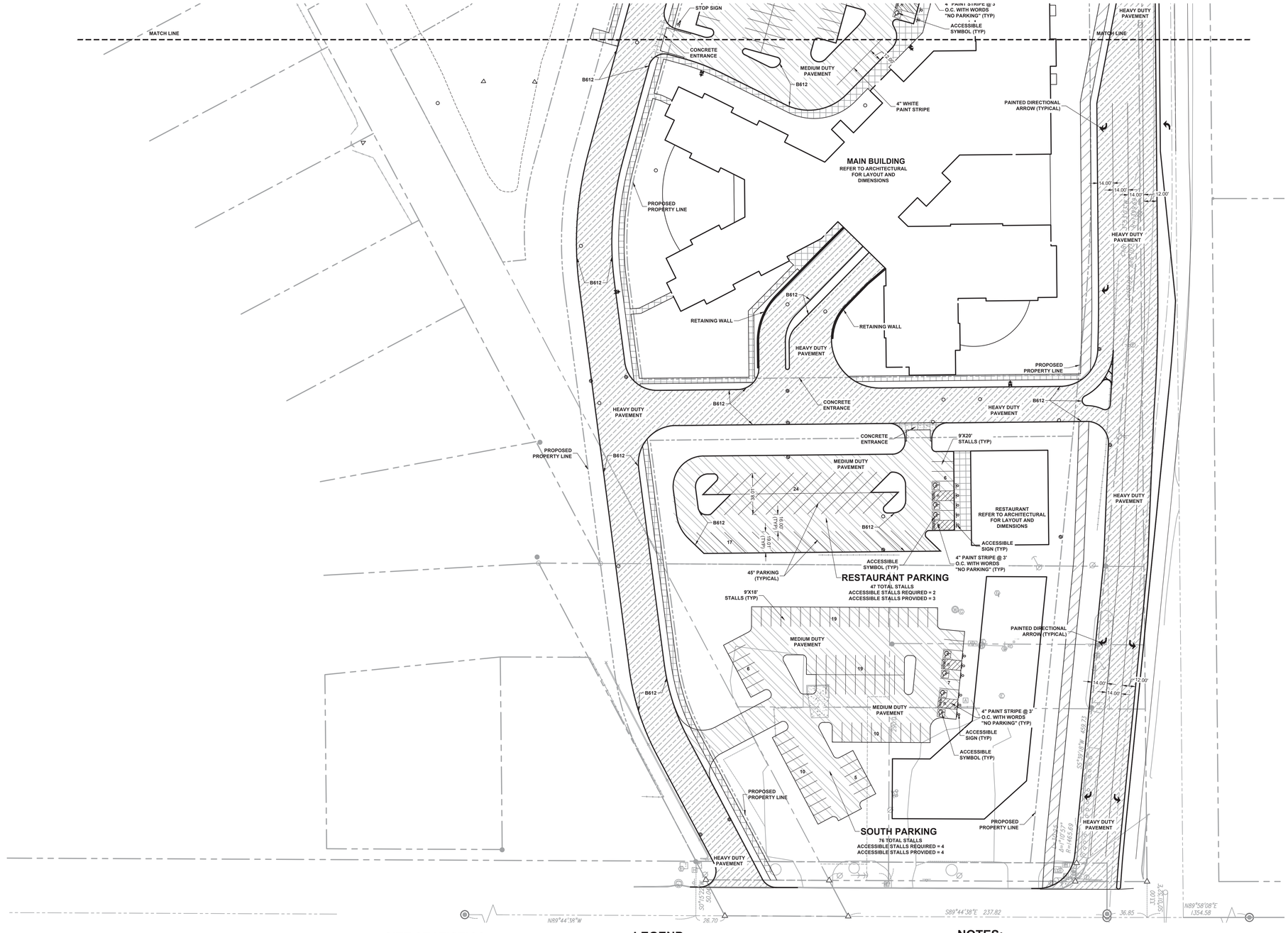
Drawn: BJD
Check: DAR

North

SITE PLAN NORTH

Scale: 1" = 40'

C1.21



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1475 COGGON FALLETT ROAD SUITE 200 MINNEAPOLIS, MN 55441
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I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA

DAVID A. REY
Registration Number 40180 Date XXXX

Revisions		
Description	Date	Num

Comm: XXX
Date: XXXX
Drawn: BJD
Check: DAR

North

SITE PLAN SOUTH

Scale: 1" = 40'

C1.22

MN

UNIT COUNT

IL: 4-STORY
100 UNITS

AL: 3-STORY
50 UNITS

SNF: 2-STORY
48 UNITS

DETACHED TOWNHOMES:
20 UNITS

PARKING SUMMARY
UNDERGROUND:102
CLUB HOUSE: 17
MAIN BUILDING: 83
RESTURANT: 47
TOWNHOME DRIVE:40
ON STREET: 11

TOTAL: 300

LYNGBLOMSTEN SENIOR COMMUNITIES
Hodgson Road,
Lino Lakes, MN 55014

Lyngblomsten
1415 Almond Ave W, St Paul, MN 55108

WOLD ARCHITECTS AND ENGINEERS
332 Minnesota Street, Suite W2000
Saint Paul, MN 55101
woldac.com | 651 227 7773

Revisions		
Description	Date	Num

Comm: 186024
Date: 01-14-2019
Drawn: G. Berens
Check: P. Schmelzer

North

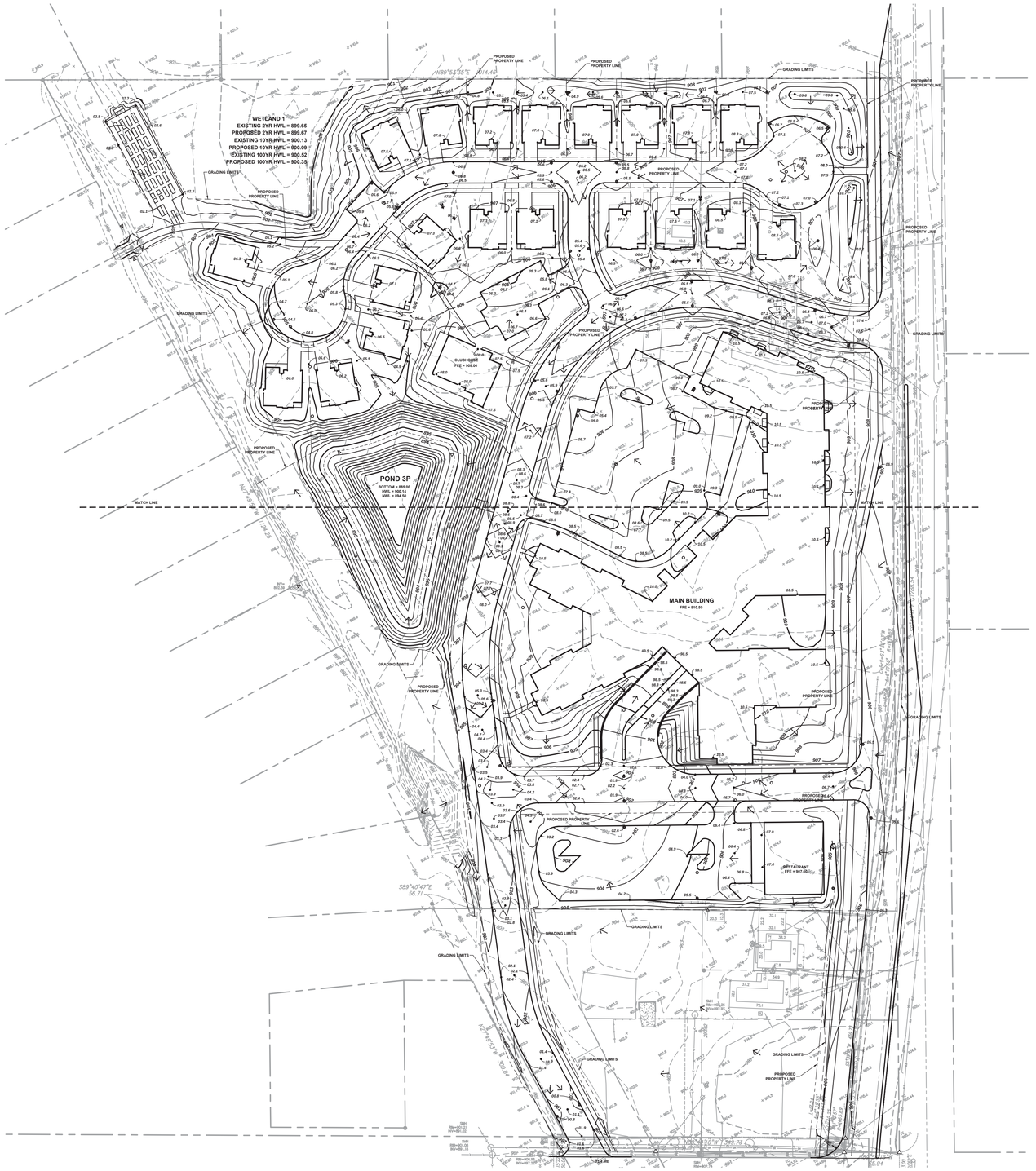
SITE PLAN

Scale: As Indicated

A2

A

F1 SITE PLAN
1" = 50'-0"
0 25' 50' 100'



NOTES

1. REFER TO SHEET C1.31, GRADING AND DRAINAGE PLAN NORTH, FOR GENERAL NOTES.

BENCHMARKS (FIELD VERIFY BEFORE USING)

BENCHMARK: MNDOT MONUMENT LOCATED AT THE SOUTHEAST QUADRANT OF SUNSET AVENUE OVER 35W
Elevation = 929.283 (NGVD29)

SITE BENCHMARK: TOP NUT OF HYDRANT LOCATED AT THE SOUTHWEST QUADRANT OF ASH STREET AND HODGSON ROAD.
Elevation = 906.81 (NGVD29)

SITE BENCHMARK: TOP NUT OF HYDRANT LOCATED AT THE SOUTHEAST QUANDRANT OF ASH STREET AND HODGSON ROAD.
Elevation = 903.48 (NGVD29)

SITE BENCHMARK: THRESHOLD ELEVATION ON EAST SIDE OF BUILDING LOCATED AT 6011 HODGSON ROAD.
Elevation = 905.36 (NGVD29)

GEOTECHNICAL TABLE

REFER TO SPEC 31 00 00 EARTHWORK AND UNIT PRICES
NOTE: DEPTHS LISTED IN TABLE BELOW DO NOT INCLUDE REMOVAL OF SUITABLE SOIL REQUIRED TO MEET PROPOSED GRADES.

Boring	Estimated Cut (FT)
G-6	9.50
G-7	7

LEGEND

- REFERENCE KEY TO SITE DETAILS — DETAIL I.D NUMBER (TOP) — DETAIL SHEET NUMBER (BOTTOM)
- 908 — EXISTING CONTOUR
- 909.9 — EXISTING SPOT ELEVATION
- 955 — PROPOSED CONTOUR
- 54.6 — PROPOSED SPOT ELEVATION — ME = MATCH EXISTING
- PROPOSED GRADING LIMITS
- PROPOSED SAND SUBBASE AT FROST FOOTED STOOPS
- SB-1 — APPROXIMATE SOIL BORING LOCATION
- PROPOSED MANHOLE (MH)
- PROPOSED CATCH BASIN (CB)
- PROPOSED FLARED END SECTION (FES)
- PROPOSED HYDRANT (HYD)
- PROPOSED GATE VALVE (GV)
- PROPOSED POST INDICATOR VALVE (PIV)
- PROPOSED BUILDING STOOP - REFER TO ARCHITECTURAL PLANS
- PROPERTY LINE

0 30 60

LYNGBLOMSTEN SENIOR COMMUNITIES

HODGSON ROAD
LINO LAKES, MN 55014

LYNGBLOMSTEN

1415 ALMOND AVE W
ST. PAUL, MN 55108

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332 Minnesota Street, Suite W2000
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ANDERSON - JOHNSON ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE • SITE PLANNING • CIVIL ENGINEERING
1475 COOPER ILLETT ROAD • SUITE 200 • EAGAN, MINNESOTA 55122
FAX (763) 544-0525 PH (763) 544-7329

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DAVID A. REY
Registration Number 40180 Date XXXX

Revisions		
Description	Date	Num

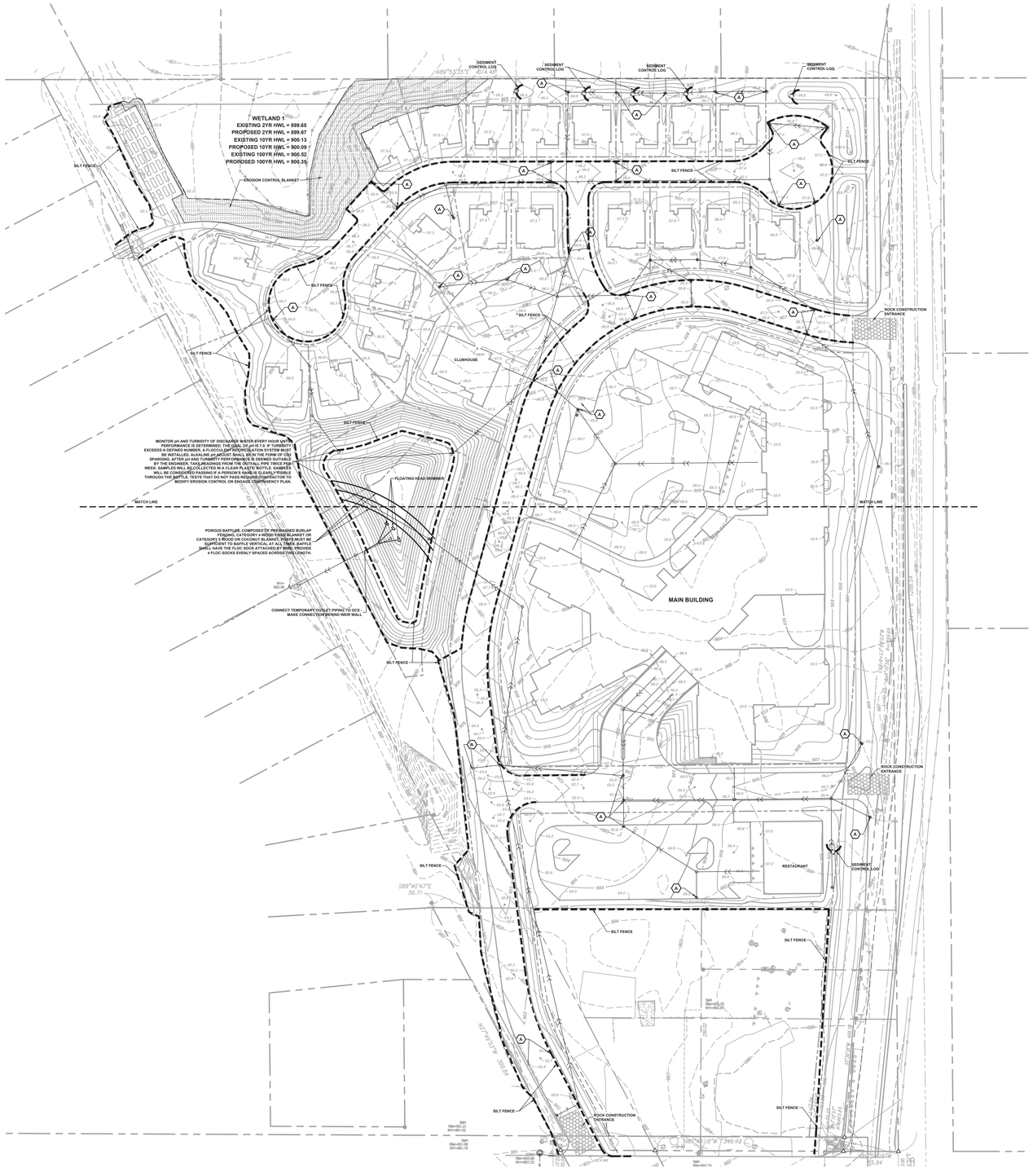
Comm: XXX
Date: XXXX
Drawn: BJD
Check: DAR

North

GRADING AND DRAINAGE PLAN OVERALL

Scale: 1" = 60'

C1.30



NOTES

1. REFER TO SHEET C1.31, GRADING AND DRAINAGE PLAN NORTH, FOR GENERAL NOTES.
2. REFER TO SHEET C1.51, EROSION PREVENTION AND SEDIMENT CONTROL PLAN NORTH, FOR NOTES.

APPROXIMATE EROSION CONTROL DEVICE QUANTITIES

SILT FENCE = 7091 L.F.

SEDIMENT CONTROL LOG = 141 L.F.

ROCK CONSTRUCTION ENTRANCE = 75 C.Y.

EROSION CONTROL BLANKET = 2242 S.Y.

SEDIMENT CONTROL DEVICE AT STORM SEWER INLET = 44

LEGEND

- REFERENCE KEY TO SITE DETAILS — DETAIL I.D NUMBER (TOP) / DETAIL SHEET NUMBER (BOTTOM)
- EXISTING CONTOUR (908)
- PROPOSED CONTOUR (955)
- PROPOSED SPOT ELEVATION — ME = MATCH EXISTING (54.6)
- PROPOSED GRADING LIMITS
- PROPOSED STORM SEWER
- PROPOSED MANHOLE (MH)
- PROPOSED CATCH BASIN (CB)
- PROPOSED FLARED END SECTION (FES)
- PROPOSED SILT FENCE
- PROPOSED SEDIMENT CONTROL LOG
- PROPOSED ROCK CONSTRUCTION ENTRANCE
- PROPOSED EROSION CONTROL BLANKET
- SEDIMENT CONTROL DEVICE AT STORM SEWER INLET
- PROPOSED BUILDING STOOP - REFER TO ARCHITECTURAL PLANS
- PROPERTY LINE

0 30 60

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DAVID A. REY
Registration Number **40180** Date **XXXX**

Revisions		
Description	Date	Num

Comm: XXX
Date: XXXX
Drawn: BJD
Check: DAR

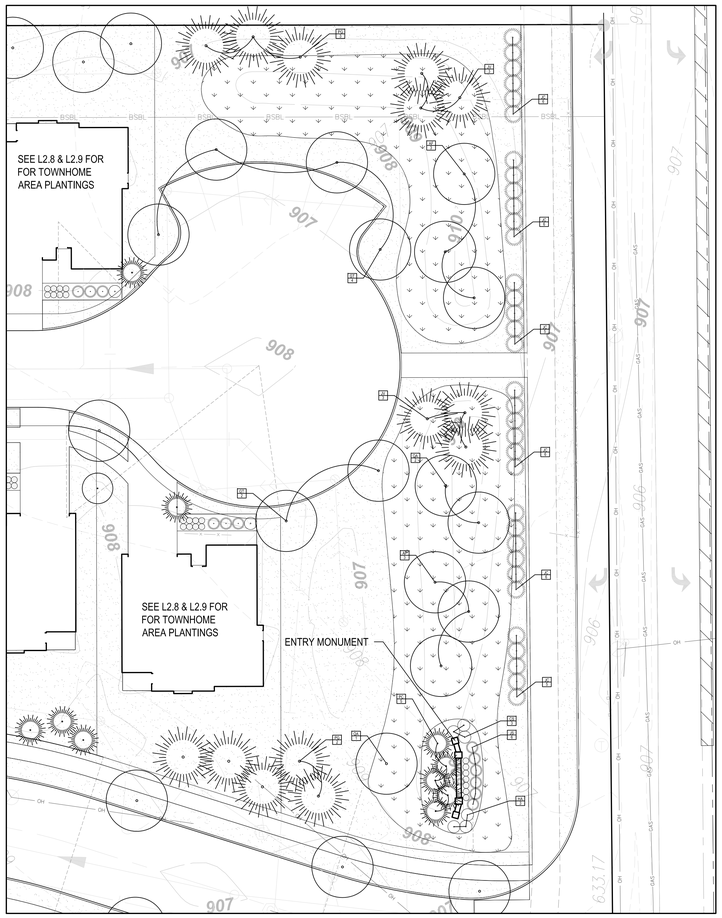
North

EROSION PREVENTION AND SEDIMENT CONTROL PLAN OVERALL

Scale: 1" = 60'

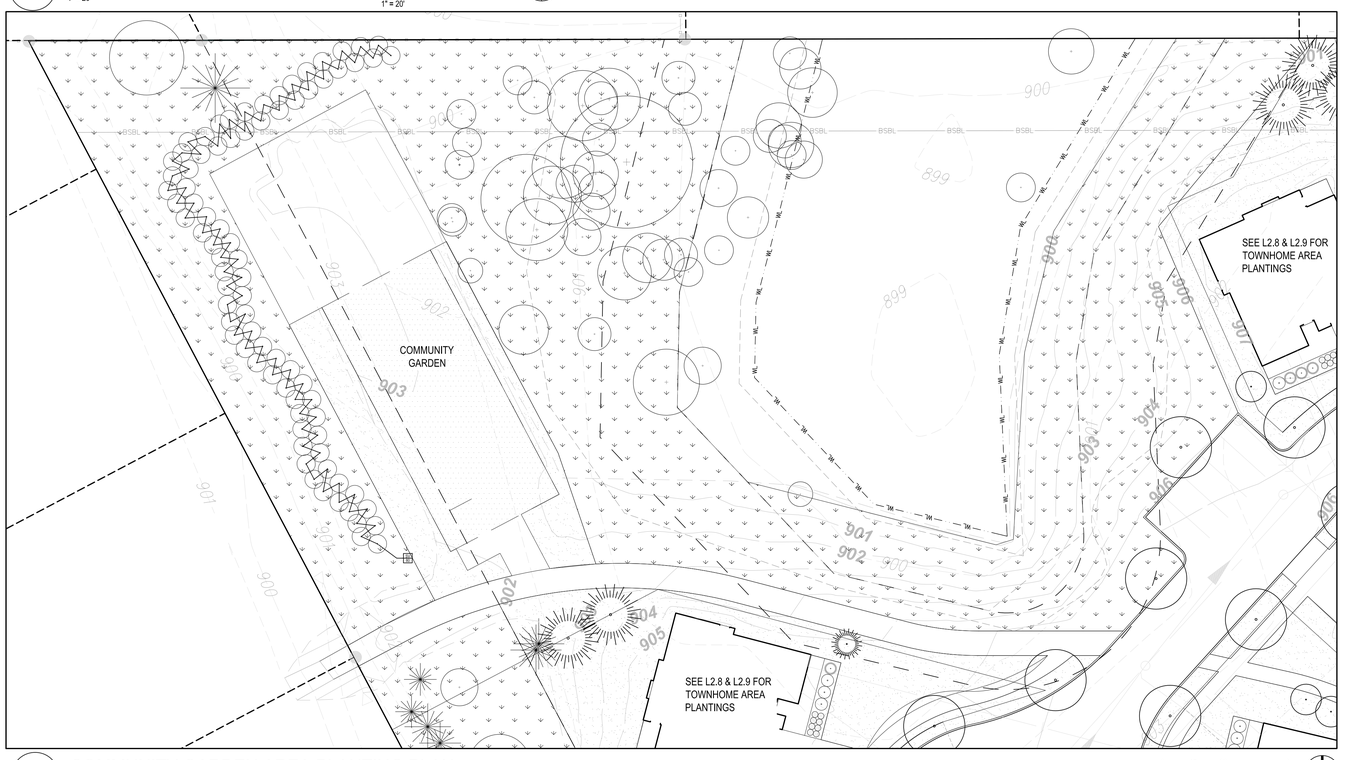
C1.50

MN



1 NE GREENSPACE PLANTING PLAN
1" = 20'

0 10 20 40
1" = 20'



2 COMMUNITY GARDEN AREA PLANTING PLAN
1" = 20'

0 10 20 40
1" = 20'

A

L2.6 PLANTING PLAN NOTES

1. REFER TO THE GENERAL NOTES.
2. SEE ARCHITECTURAL AND ELECTRICAL DRAWINGS FOR LIGHTING SELECTIONS AND ELECTRICAL INFORMATION.
3. SEE CIVIL FOR GRADING INFORMATION.
4. SEE SHEET L300 FOR PLANTING NOTES AND DETAILS
5. SEE SPECIFICATIONS FOR SOILS AND INSTALLATION REQUIREMENTS.
6. SEE CIVIL EXISTING CONDITIONS PLAN FOR BENCHMARKS AND BOUNDARY INFORMATION.
7. SEE ARCHITECTURAL DRAWINGS FOR BUILDING INFORMATION.
8. DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS ARE TO BE USED FOR ALL LAYOUT WORK. IF A NECESSARY DIMENSION IS NOT SHOWN CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND REQUEST THE INFORMATION PRIOR TO RELATED WORK.
9. AT THE DISCRETION OF THE LANDSCAPE ARCHITECT, ELECTRONIC FILES OR COORDINATES WILL BE PROVIDED TO THE CONTRACTOR FOR SITE LAYOUT/STAKING.
10. FIELD VERIFY ALL MEASUREMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES WITH SITE CONDITIONS.
11. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT OF ANY LAYOUT DISCREPANCIES.

PLANT SCHEDULE - L2.6

TAG	QTY	COMMON NAME	BOTANICAL NAME	SIZE	NOTES
TREES					
AF	6	SIENNA GLEN MAPLE	ACER X FREEMANII 'AUTUMN GLEN'	3" B+B	STRAIGHT LEADER
GT	6	SKYLINE HONEYLOCUST	GLEDITSIA TRIACANTHOS VAR INERMIS 'SKYCOLE'	3" B+B	STRAIGHT LEADER
JV	6	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	6' B+B	
PG	5	BLACK HILLS SPRUCE	PICEA GLAUCA VAR. DENSATA	6' B+B	
PC	5	PRAIRIE STATESMAN SWISS STONE PINE	PINUS CEMBRA 'HERMAN'	6' B+B	STRAIGHT LEADER
SHRUBS					
CS	3	ARCTIC FIRE DOGWOOD	CORNUS STOLONIFERA 'FARROW'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
HA	3	ANNABELLE HYDRANGEA	HYDRANGEA ARBORESCENS 'ANNABELLE'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
JC	34	SEA GREEN JUNIPER	JUNIPERUS CHINENSIS 'SEA GREEN'	#5 CONT.	SPACING PER PLAN.
JS	6	ARCADIA JUNIPER	JUNIPERUS SABINA 'ARCADIA'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
SV	80	COMMON WHITE LILAC	SYRINGA VULGARIS VAR. ALBA	#5 CONT.	SPACING PER PLAN.

L2.6 SOD / SEEDING NOTES:

TOTAL SODDED AREA FOR NE GREENSPACE:	9,647 SF
TOTAL SEEDED AREA FOR NE GREENSPACE:	10,248 SF
TOTAL SODDED AREA FOR COMMUNITY GARDENS:	2,239 SF
TOTAL SEEDED AREA FOR COMMUNITY GARDENS:	33,972 SF

AREAS TO BE SODDED

AREAS TO BE SEEDED W/ MNDOT 35-241 - MESIC PRAIRIE SEED MIX

OPEN SPACE PLANTINGS - NE GREENSPACE	
NE GREENSPACE OPEN SPACE	19,895 SF
TREES REQUIRED (LARGE)	10
SHRUBS REQUIRED (LARGE)	30
TREES PROVIDED: 23 LARGE + 5 MEDIUM	**26 LG.**
SHRUBS PROVIDED: 34 LARGE + 12 MEDIUM	**42 LG.**

OPEN SPACE PLANTINGS - COMMUNITY GARDEN	
OPEN SPACE	54,073 SF
TREES REQUIRED (LARGE)	27
SHRUBS REQUIRED (LARGE)	80
TREES PROVIDED: 127 LG (PRESERVED EQUIVALENTS)	**127 LG.**
SHRUBS PROVIDED:	**80 LG.**

Lyngblomsten Senior Communities

Hodgson Road,
Lino Lakes, MN 55014

Lyngblomsten
1415 Almond Ave W, St Paul, MN 55108

Wold

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COLBERG|TEWS
landscape architecture
3101 East Franklin Avenue | Minneapolis MN 55406
colbergtews.com

Revisions		
Description	Date	Num
PUD Submittal	10/08/2018	
PUD Resubmittal	01/14/2019	

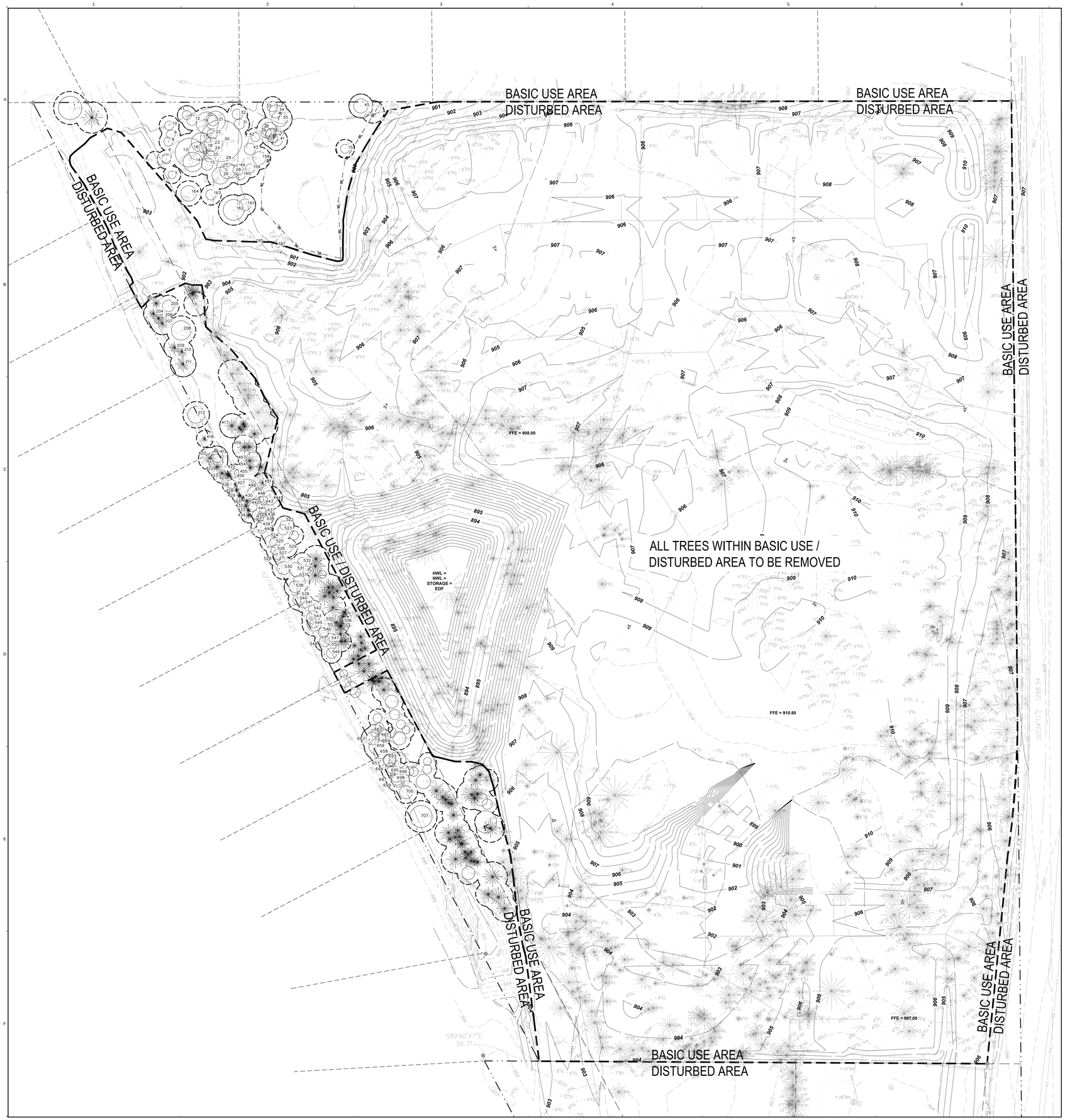
Comm: 186024
Date: 01/14/2019
Drawn:
Check:

North

NE Greenspace & Community Garden Area Planting Plans

Scale: SEE DRAWING

L2.6



MN

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L0.1 TREE PRESERVATION PLAN NOTES

1. REFER TO THE GENERAL NOTES.
2. SEE CIVIL FOR GRADING INFORMATION.
3. SEE SHEET L200 FOR PLANTING NOTES AND DETAILS
4. SEE CIVIL EXISTING CONDITIONS PLAN FOR BENCHMARKS AND BOUNDARY INFORMATION.
5. SEE ARCHITECTURAL DRAWINGS FOR BUILDING INFORMATION.
6. THIS TREE PRESERVATION PLAN IS BASED ON A SITE AND TREE SURVEY PROVIDED TO THE LANDSCAPE ARCHITECT BY OTHERS. SEE SURVEY AND TREE SURVEY FOR ORIGINAL INFORMATION, TREE INVENTORY, AND BENCHMARKS.
7. ALL ROOT PROTECTION ZONES (5' OUTSIDE DRIPLINE) OF PRESERVED TREES MUST BE PROTECTED WITH MIN. 4' HT. ORANGE SNOW FENCE WITH POSTS MAX. 6' O.C. PRIOR TO AND THROUGHOUT CONSTRUCTION.
8. STAGING, STORAGE OF MATERIALS, PARKING OF VEHICLES, FOOT TRAFFIC, CONSTRUCTION OR OTHER ACCESS ROUTES, AND ANY FORM OF DISTURBANCE OR ACTIVITIES THAT MAY CAUSE COMPACTION ARE PROHIBITED WITHIN ROOT PROTECTION ZONES AT ALL TIMES.
9. DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS ARE TO BE USED FOR ALL LAYOUT WORK. IF A NECESSARY DIMENSION IS NOT SHOWN CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND REQUEST THE INFORMATION PRIOR TO RELATED WORK.
10. AT THE DISCRETION OF THE LANDSCAPE ARCHITECT, ELECTRONIC FILES OR COORDINATES WILL BE PROVIDED TO THE CONTRACTOR FOR SITE LAYOUT/STAKING.
11. FIELD VERIFY ALL MEASUREMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES WITH SITE CONDITIONS.
12. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT OF ANY LAYOUT DISCREPANCIES.

PRESERVED TREES

Tree #	Species	DBH	Condition	Stems
1	Oak, red	18.0	Good	1
2	Pine, red	15.0	Good	1
5	Aspen	6.0	Good	1
6	Aspen	6.5	Fair	1
7	Aspen	7.0	Good	1
8	Aspen	6.5	Good	1
9	Aspen	7.0	Good	1
10	Aspen	7.0	Good	1
11	Aspen	6.5	Good	1
12	Oak, red	7.5	Good	1
13	Oak, red	21.5	Good	1
14	Aspen	15.0	Fair	2
15	Aspen	8.5	Good	1
16	Oak, red	14.0	Good	1
17	Oak, red	15.0	Good	1
18	Aspen	8.5	Good	1
19	Oak, red	17.0	Good	1
20	Oak, red	7.5	Good	1
21	Oak, red	15.0	Good	1
22	Oak, red	8.0	Good	1
23	Oak, red	11.0	Good	2
24	Aspen	8.5	Good	1
25	Aspen	8.5	Good	1
26	Aspen	12.5	Fair	1
27	Aspen	12.0	Good	1
28	Aspen	10.0	Fair	1
29	Oak, red	16.5	Good	1
30	Oak, red	31.5	Good	2
31	Aspen	8.0	Fair	1
32	Aspen	8.0	Good	1
33	Aspen	7.5	Good	1
34	Aspen	10.0	Good	1
35	Aspen	11.5	Good	1
36	Aspen	10.5	Good	1
37	Aspen	11.0	Good	1
38	Aspen	8.0	Good	1
39	Aspen	7.5	Good	1
40	Aspen	7.0	Fair	1
41	Aspen	8.5	Fair	1
42	Aspen	8.5	Good	1
43	Aspen	8.5	Good	1
44	Aspen	8.0	Good	1
45	Aspen	10.5	Fair	1
46	Aspen	10.0	Fair	1
47	Aspen	13.5	Good	1
157	Aspen	7.0	Good	1
158	Aspen	9.5	Good	1
159	Aspen	7.0	Good	1
160	Aspen	6.5	Good	1
161	Aspen	8.5	Good	1
162	Elm, America	16.0	Good	1
163	Aspen	8.0	Fair	1
164	Oak, red	11.5	Good	1
175	Pine, red	10.5	Good	1
203	Spruce, blue	7.0	Good	1
204	Spruce, white	6.5	Fair	1
205	Elm, Siberian	8.5	Good	1
206	Spruce, white	10.0	Fair	2
207	Spruce, white	9.0	Good	1
208	Elm, Siberian	14.5	Good	1
209	Spruce, white	7.5	Good	1
210	Fir, balsam	9.0	Good	1
211	Pine, red	10.5	Good	1
212	Willow	12.5	Good	1
213	Pine, red	16.0	Good	1
214	Pine, red	13.5	Good	1
215	Pine, red	13.5	Good	1
216	Pine, red	14.5	Good	1
217	Pine, red	14.0	Good	1
218	Pine, jack	10.5	Good	1
225	Aspen	7.5	Good	1
410	Pine, jack	12.0	Fair	1
411	Pine, jack	15.0	Fair	1
412	Pine, jack	9.0	Good	1
413	Pine, jack	6.5	Good	1
414	Pine, jack	6.5	Good	1
415	Pine, jack	7.5	Good	1
416	Pine, jack	3.0	Fair	1
417	Pine, jack	9.5	Good	1
418	Pine, white	4.5	Good	1
419	Cherry, black	8.5	Good	1
420	Pine, red	8.5	Good	1
421	Boxelder	10.5	Good	1
422	Pine, red	7.0	Good	1
423	Pine, red	6.5	Good	1
424	Pine, red	6.0	Good	1
425	Pine, red	6.0	Good	1
426	Aspen	7.0	Good	1
427	Pine, red	4.0	Fair	1
428	Pine, red	4.0	Fair	1
429	Pine, red	3.5	Fair	1
430	Pine, red	3.0	Good	1
431	Pine, red	5.0	Good	1
432	Pine, red	5.0	Good	1
433	Pine, red	4.0	Good	1
434	Pine, red	4.5	Good	1
435	Aspen	7.5	Good	1
436	Aspen	6.0	Good	1
437	Aspen	6.0	Good	1
438	Aspen	8.0	Good	1
439	Aspen	8.0	Good	1
440	Aspen	8.5	Good	1
441	Aspen	14.0	Fair	2
442	Aspen	8.0	Good	1
443	Birch, paper	6.5	Good	1
444	Aspen	10.5	Good	1
448	Aspen	7.0	Good	1
449	Aspen	17.0	Good	2
450	Aspen	9.5	Good	1
451	Pine, jack	7.0	Good	1
454	Pine, jack	5.5	Fair	1
455	Aspen	6.0	Good	1
456	Aspen	7.0	Good	1
457	Pine, jack	8.5	Good	1
459	Pine, jack	10.0	Good	1
521	Aspen	7.0	Good	1
522	Aspen	6.5	Good	1
523	Aspen	8.0	Good	1
524	Aspen	8.5	Good	1
525	Aspen	8.0	Good	1
526	Aspen	8.0	Good	1
527	Aspen	8.0	Good	1
528	Aspen	6.0	Good	1
529	Aspen	6.5	Good	1
530	Aspen	9.5	Good	1
531	Oak, red	11.0	Good	1
532	Aspen	7.0	Good	1
533	Pine, jack	12.0	Good	1
534	Pine, jack	12.5	Good	1
535	Cherry, blac	6.0	Good	1
536	Pine, jack	14.0	Good	1
537	Aspen	8.5	Good	1
538	Aspen	9.0	Good	1
539	Aspen	6.0	Good	1
540	Aspen	9.0	Good	1
541	Aspen	6.5	Good	1
542	Aspen	7.0	Good	1
543	Aspen	9.5	Fair	1
545	Aspen	11.0	Good	1
546	Aspen	8.0	Good	1
547	Aspen	8.6	Good	1
548	Aspen	8.0	Good	1
549	Aspen	7.5	Good	1
550	Pine, jack	14.5	Good	1
553	Pine, jack	8.5	Good	1
554	Pine, jack	10.0	Good	1
555	Pine, jack	12.0	Good	1
559	Pine, jack	10.5	Good	1
562	Pine, jack	11.5	Good	1
563	Pine, jack	8.0	Good	1
564	Pine, jack	7.5	Good	1
565	Pine, jack	13.0	Good	1
566	Pine, jack	11.5	Fair	1
567	Pine, jack	11.0	Good	1
568	Pine, jack	8.0	Good	1
569	Pine, red	6.0	Good	1
570	Pine, red	12.5	Good	1
646	Pine, jack	11.0	Fair	1
647	Pine, jack	13.5	Good	1
648	Pine, jack	10.0	Good	1
649	Elm, Siberia	10.0	Fair	1
650	Pine, jack	13.0	Good	1
651	Pine, jack	6.0	Fair	1
652	Pine, jack	12.0	Fair	1
653	Boxelder	11.0	Fair	1
654	Aspen	6.5	Good	1
655	Aspen	6.5	Good	1
664	Aspen	7.0	Good	1
665	Aspen	6.5	Good	1
657	Aspen	10.0	Good	1
658	Aspen	10.0	Good	1
659	Aspen	12.0	Good	1
660	Aspen	8.0	Good	1
661	Aspen	6.0	Good	1
662	Aspen	6.0	Good	1
663	Aspen	9.5	Good	1
686	Pine, jack	10.0	Good	1
687	Aspen	9.5	Fair	1
689	Aspen	6.5	Good	1
690	Aspen	6.0	Fair	1
691	Aspen	8.0	Good	1
692	Aspen	9.5	Good	1
693	Aspen	8.5	Good	1
694	Aspen	8.0	Good	1
695	Aspen	6.5	Fair	1
696	Aspen	8.0	Good	1
697	Aspen	8.5	Good	1
698	Aspen	10.0	Good	1
699	Aspen	10.0	Good	1
700	Aspen	9.5	Good	1
701	Pine, jack	11.0	Good	1
702	Pine, jack	12.5	Good	1
703	Pine, jack	10.0	Good	1
704	Pine, jack	8.5	Good	1
705	Pine, jack	10.0	Good	1
706	Pine, jack	8.5	Good	1
707	Aspen	17.0	Fair	1
708	Pine, jack	10.0	Good	1
709	Pine, jack	10.0	Good	1
710	Pine, jack	12.0	Fair	1
711	Pine, jack	9.5	Good	1
712	Pine, jack	9.0	Fair	1
713	Pine, jack	5.0	Fair	1
714	Pine, jack	10.5	Fair	1
715	Pine, jack	9.0	Good	1
716	Pine, jack	7.5	Fair	1
717	Pine, jack	11.0	Good	1
718	Pine, jack	6.5	Fair	1
719	Pine, jack	6.5	Good	1
720	Pine, jack	14.0	Good	1
857	Aspen	6.0	Good	1
858	Aspen	6.5	Good	1
867	Pine, jack	11.0	Good	1
868	Pine, jack	5.5	Good	1
901	Boxelder	8.0	Fair	1
902	Boxelder	10.0	Fair	1
903	Pine, white	11.0	Good	1
904	Pine, jack	9.5	Good	1
905	Pine, jack	13.5	Good	1
906	Boxelder	17.0	Fair	1
907	Pine, jack	13.0	Good	1
908	Pine, jack	7.5	Good	1

Lyngblomsten Senior Communities

Hodgson Road,
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1415 Almond Ave W, St Paul, MN 55108

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332 Minnesota Street, Suite W2000
Saint Paul, MN 55101

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Revisions		
Description	Date	Num
PUD Submittal	10/08/2018	
PUD Resubmittal	01/14/2019	

Comm: 186024
Date: 01/14/2019
Drawn:
Check:

North

Tree Preservation Plan

Scale: 1" - 40'

L0.1

1 SITE PLAN
1" = 40'

L1.0 LAYOUT PLAN NOTES

1. REFER TO THE GENERAL NOTES.
2. SEE ARCHITECTURAL AND ELECTRICAL DRAWINGS FOR LIGHTING SELECTIONS AND ELECTRICAL INFORMATION.
3. SEE CIVIL FOR GRADING INFORMATION.
4. SEE SHEET L200 FOR PLANTING NOTES AND DETAILS
5. SEE SPECIFICATIONS FOR SOILS AND INSTALLATION REQUIREMENTS.
6. SEE CIVIL EXISTING CONDITIONS PLAN FOR BENCHMARKS AND BOUNDARY INFORMATION.
7. SEE ARCHITECTURAL DRAWINGS FOR BUILDING INFORMATION.
8. DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS ARE TO BE USED FOR ALL LAYOUT WORK. IF A NECESSARY DIMENSION IS NOT SHOWN CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND REQUEST THE INFORMATION PRIOR TO RELATED WORK.
9. AT THE DISCRETION OF THE LANDSCAPE ARCHITECT, ELECTRONIC FILES OR COORDINATES WILL BE PROVIDED TO THE CONTRACTOR FOR SITE LAYOUT/STAKING.
10. FIELD VERIFY ALL MEASUREMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES WITH SITE CONDITIONS.
11. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT OF ANY LAYOUT DISCREPANCIES.

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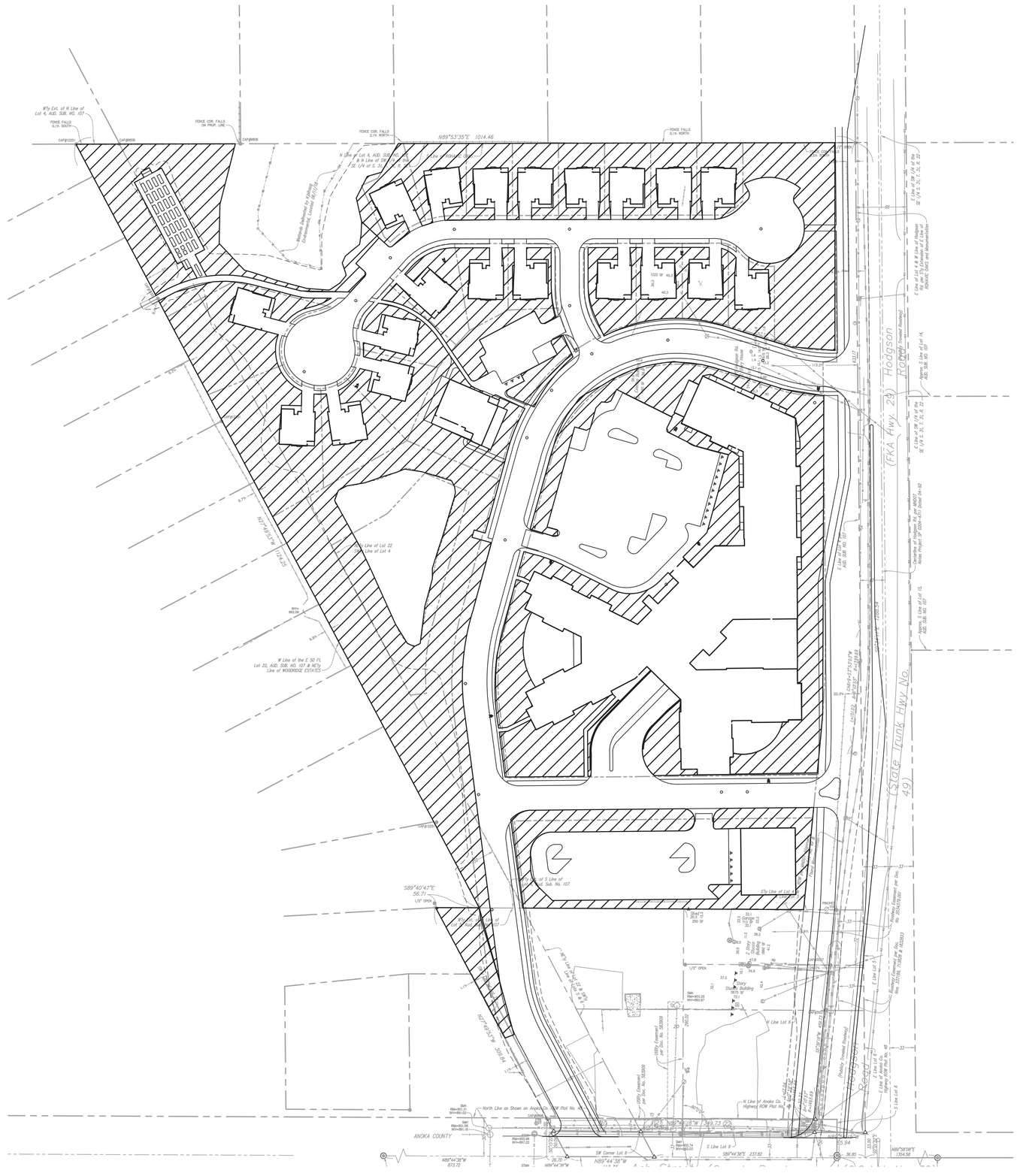
Drawn:
Check:

North

Site Layout Plan

Scale: 1" - 40'

L1.0



LEGEND

PROPOSED IRRIGATION SURFACE = 6.98 ACRES

LYNGBLOMSTEN SENIOR COMMUNITIES

HODGSON ROAD
LINO LAKES, MN 55014

LYNGBLOMSTEN

1415 ALMOND AVE W
ST. PAUL, MN 55108

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Saint Paul, MN 55101

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ANDERSON - JOHNSON ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE • *SITE PLANNING* • *CIVIL ENGINEERING*
1715 COLDEN VALLEY ROAD • SUITE 200 • MINNEAPOLIS, MN 55427
FAX (763) 544-8535 PH (763) 544-7529

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed **PROFESSIONAL ENGINEER** under the laws of the State of **MINNESOTA**

DAVID A. REY
Registration Number **40180** Date

Revisions		
Description	Date	Num

Comm: XXX
Date: XXXX
Drawn: BJD
Check: DAR

North

PROPOSED IRRIGATION MAP

Scale: 1" = 60'

C0.04

MN

A

1 IRRIGATED AREAS PLAN
1" = 40'

L1.1 IRRIGATION PLAN NOTES

1. REFER TO THE GENERAL NOTES.
2. SEE ARCHITECTURAL AND ELECTRICAL DRAWINGS FOR LIGHTING SELECTIONS AND ELECTRICAL INFORMATION.
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6. SEE CIVIL EXISTING CONDITIONS PLAN FOR BENCHMARKS AND BOUNDARY INFORMATION.
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11. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT OF ANY LAYOUT DISCREPANCIES.

KEY

AREAS TO BE IRRIGATED

IRRIGATION NOTES

1. ALL SHRUB AND PERENNIAL BEDS SHALL BE IRRIGATED WITH DRIP IRRIGATION
2. ALL TURF AREAS SHALL BE IRRIGATED WITH SPRAY HEADS OR ROTORS

Lyngblomsten Senior Communities

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Drawn:
Check:

North

Irrigated Areas Plan

Scale: 1" - 40'

L1.1

MN

A

1 BOULEVARD TREE PLANTING PLAN
1" = 20'

L2.0 PLANTING PLAN NOTES

1. REFER TO THE GENERAL NOTES.
2. SEE ARCHITECTURAL AND ELECTRICAL DRAWINGS FOR LIGHTING SELECTIONS AND ELECTRICAL INFORMATION.
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PLANT SCHEDULE - L2.0

TAG	QTY	COMMON NAME	BOTANICAL NAME	SIZE	NOTES
TREES					
AF	21	SIENNA GLEN MAPLE	ACER X FREEMANII 'AUTUMN GLEN'	3" B+B	STRAIGHT LEADER
GD	7	ESPRESSO KENTUCKY COFFEETREE	GYMNOCLADUS DIOICUS 'ESPRESSO - JFS'	3" B+B	STRAIGHT LEADER
QE	19	NORTHERN PIN OAK	QUERCUS ELLIPSOIDALIS	3" B+B	STRAIGHT LEADER

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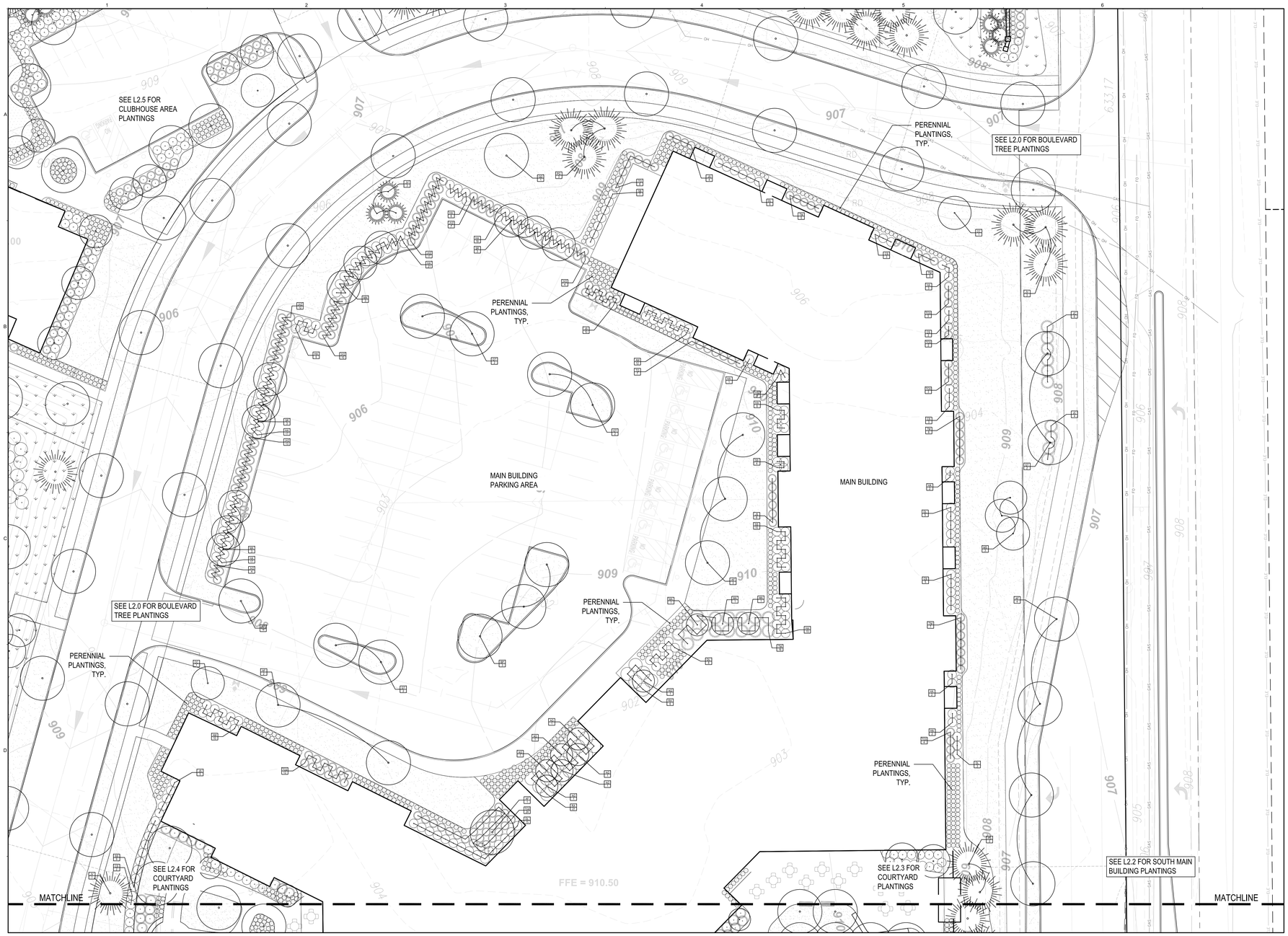
Comm: 186024
Date: 01/14/2019
Drawn:
Check:
North

Boulevard Tree Planting Plan

Scale: 1" - 40'

L2.0



1 MAIN BUILDING NORTH PLANTING PLAN
1" = 20'

L2.1 PLANTING PLAN NOTES

1. REFER TO THE GENERAL NOTES.
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PLANT SCHEDULE - L2.1

TAG	QTY	COMMON NAME	BOTANICAL NAME	SIZE	NOTES
TREES					
AF	11	SIENNA GLEN MAPLE	ACER X FREEMANII 'AUTUMN GLEN'	3" B+B	STRAIGHT LEADER
AG	7	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	8' CLUMP	CLUMP FORM
BP	3	WHITESPIRE BIRCH	BETULA PLATYPHYLLA 'WHITESPIRE'	2.5" B+B	STRAIGHT LEADER
CC	2	THORNLESS COCKSPUR HAWTHORN	CRETAEGUS CRUS GALLI VAR. INERMIS	1.5" B+B	TREE FORM
GD	1	ESPRESSO KENTUCKY COFFEETREE	GYMNOCLADUS DIOICUS 'ESPRESSO - JFS'	3" B+B	STRAIGHT LEADER
GT	8	SKYLINE HONEYLOCUST	GLEDITSIA TRIACANTHOS VAR INERMIS 'SKYCOLE'	3" B+B	STRAIGHT LEADER
JV	7	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	6' B+B	
MA	9	ADAMS CRABAPPLE	MALUS 'ADAMS'	1.5" B+B	TREE FORM
MA2	3	SPRING SNOW CRABAPPLE	MALUS 'SPRING SNOW'	1.5" B+B	TREE FORM
PG	5	BLACK HILLS SPRUCE	PICEA GLAUCA VAR. DENSATA	6' B+B	
SR	6	IVORY SILK TREE LILAC	SYRINGA RETICULATA 'IVORY SILK'	2" B+B	TREE FORM
SHRUBS					
AM	22	IROQUOIS BEAUTY CHOKEBERRY	ARONIA MELANOCARPA 'MORTON'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
CS	15	ARCTIC FIRE DOGWOOD	CORNUS STOLONIFERA 'FARROW'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
DL	41	DWARF BUSH HONEYSUCKLE	DIERVILLA LONICERA	#5 CONT.	SPACING PER PLAN, 4' O.C. TYP.
HA	119	ANNABELLE HYDRANGEA	HYDRANGEA ARBORESCENS 'ANNABELLE'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
JC	10	SEA GREEN JUNIPER	JUNIPERUS CHINENSIS 'SEA GREEN'	#5 CONT.	SPACING PER PLAN.
JS	29	ARCADIA JUNIPER	JUNIPERUS SABINA 'ARCADIA'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
JS2	0	BLUE ARROW JUNIPER	JUNIPERUS SCOPULORUM 'BLUE ARROW'	#20 CONT	SPACING PER PLAN, 4' O.C. TYP.
JV2	67	GREY OWL JUNIPER	JUNIPERUS VIRGINIANA 'GREY OWL'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
PF	0	ABBOTSWOOD POTENTILLA	POTENTILLA FRUTICOSA 'ABBOTSWOOD'	#5 CONT.	SPACING PER PLAN, 4' O.C. TYP.
RA	25	GRO LOW SUMAC	RHUS AROMATICA 'GRO-LOW'	#5 CONT.	SPACING PER PLAN, 4' O.C. TYP.
SS	23	ASH LEAF SPIREA	SORBARIA SORBIFOLIA	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
SB	7	GOLDFLAME SPIREA	SPIREAEA X BUMALDA 'GOLDFLAME'	#5 CONT.	SPACING PER PLAN, 4' O.C. TYP.
TM	37	TAUNTON YEW	TAXUS X MEDIA 'TAUNTONII'	#5 CONT.	SPACING PER PLAN, 4' O.C. TYP.
TO	15	MR. BOWLING BALL ARBORVITAE	THUJA OCCIDENTALIS 'BOBAZAM'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
TO2	36	GOLDEN GLOBE ARBORVITAE	THUJA OCCIDENTALIS 'GOLDEN GLOBE'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
TO3	12	RUSHMORE ARBORVITAE	THUJA OCCIDENTALIS 'RUSHMORE'	#20 CONT	SPACING PER PLAN, 4' O.C. TYP.

L2.1 SOD / SEEDING NOTES:

TOTAL SODDED AREA FOR MAIN BUILDING PARCEL (L2.1+2.2 COMBINED): 44,981 SF

AREAS TO BE SODDED

CANOPY COVERAGE CALCULATIONS	
MAIN PARKING LOT	42,956 SF
CANOPY COVERAGE REQUIRED	17,182 SF
ISLAND W/ 3 LARGE TREES	3,600 SF
7 LG ISLAND TREES	6,650 SF
2 LG. TREES WITHIN 7'	1,200 SF
12 MED. TREES WITHIN 7'	6,000 SF
TOTAL CANOPY COVERAGE PROVIDED	**17,450 SF**

TOTAL FOUNDATION PLANTINGS - MAIN BUILDING (L2.1+L2.2 COMBINED)	
MAIN BUILDING FOUNDATION- FRONT AND STREET FACING	1,981 LF
TREES REQUIRED (LARGE)	40
SHRUBS REQUIRED (LARGE)	119
TREES PROVIDED: 45 LG + 23 MED + 7 SM	**63 LG.**
SHRUBS PROVIDED: 455 MED. x .67=	**304 LG.**

TOTAL OPEN SPACE PLANTINGS - MAIN BUILDING (L2.1+L2.2 COMBINED)	
MAIN BUILDING OPEN SPACE	45,374
TREES REQUIRED (LARGE)	23
SHRUBS REQUIRED (LARGE)	68
TREES PROVIDED: 23 LG + 3 MED	**25 LG.**
SHRUBS PROVIDED: 131 MED X .67=	**87 LG.**

Lyngblomsten Senior Communities

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Revisions		
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Drawn:
Check:
North

Main Building North Planting Plan

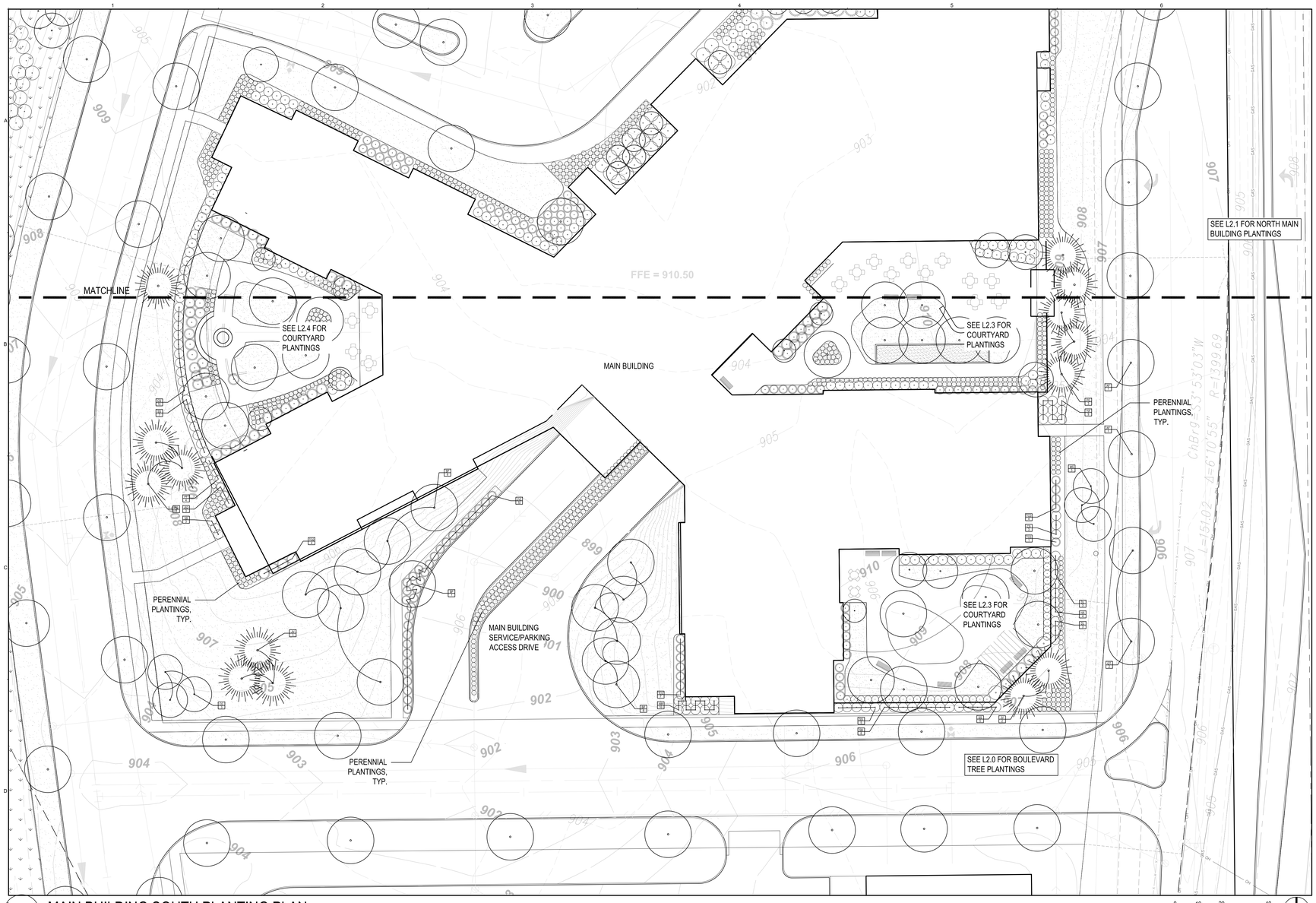
Scale: 1" - 20'

L2.1

MN

A

MN



1 MAIN BUILDING SOUTH PLANTING PLAN
1" = 20'

0 10 20 40
1" = 20'

L2.2 PLANTING PLAN NOTES

1. REFER TO THE GENERAL NOTES.
2. SEE ARCHITECTURAL AND ELECTRICAL DRAWINGS FOR LIGHTING SELECTIONS AND ELECTRICAL INFORMATION.
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PLANT SCHEDULE - L2.2

TAG	QTY	COMMON NAME	BOTANICAL NAME	SIZE	NOTES
TREES					
AF	2	SIENNA GLEN MAPLE	ACER X FREEMANII 'AUTUMN GLEN'	3" B+B	STRAIGHT LEADER
AG	0	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	8' CLUMP	CLUMP FORM
BP	13	WHITESPIRE BIRCH	BETULA PLATYPHYLLA 'WHITESPIRE'	2.5" B+B	STRAIGHT LEADER
CC	3	THORNLESS COCKSPUR HAWTHORN	CRETAEGUS CRUS GALLI VAR. INERMIS	1.5" B+B	TREE FORM
GT	2	SKYLINE HONEYLOCUST	GLEDITSIA TRIACANTHOS VAR INERMIS 'SKYCOLE'	3" B+B	STRAIGHT LEADER
JV	5	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	6' B+B	
MA2	3	SPRING SNOW CRABAPPLE	MALUS 'SPRING SNOW'	1.5" B+B	TREE FORM
PG	6	BLACK HILLS SPRUCE	PICEA GLAUCA VAR. DENSATA	6' B+B	
SHRUBS					
AM	10	IROQUOIS BEAUTY CHOKEBERRY	ARONIA MELANOCARPA 'MORTON'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
CS	13	ARCTIC FIRE DOGWOOD	CORNUS STOLONIFERA 'FARROW'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
DL	6	DWARF BUSH HONEYSUCKLE	DIERVILLA LONICERA	#5 CONT.	SPACING PER PLAN, 4' O.C. TYP.
HA	13	ANNABELLE HYDRANGEA	HYDRANGEA ARBORESCENS 'ANNABELLE'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
JC	0	SEA GREEN JUNIPER	JUNIPERUS CHINENSIS 'SEA GREEN'	#5 CONT.	SPACING PER PLAN.
JS	0	ARCADIA JUNIPER	JUNIPERUS SABINA 'ARCADIA'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
JS2	3	BLUE ARROW JUNIPER	JUNIPERUS SCOPULORUM 'BLUE ARROW'	#20 CONT	SPACING PER PLAN, 4' O.C. TYP.
JV2	32	GREY OWL JUNIPER	JUNIPERUS VIRGINIANA 'GREY OWL'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
PF	4	ABBOTSWOOD POTENTILLA	POTENTILLA FRUTICOSA 'ABBOTSWOOD'	#5 CONT.	SPACING PER PLAN, 4' O.C. TYP.
SS	17	ASH LEAF SPIREA	SORBARIA SORBIFOLIA	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
SB	11	GOLDFLAME SPIREA	SPIREAEA X BUMALDA 'GOLDFLAME'	#5 CONT.	SPACING PER PLAN, 4' O.C. TYP.
TO2	11	GOLDEN GLOBE ARBORVITAE	THUJA OCCIDENTALIS 'GOLDEN GLOBE'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
TO3	5	RUSHMORE ARBORVITAE	THUJA OCCIDENTALIS 'RUSHMORE'	#20 CONT	SPACING PER PLAN, 4' O.C. TYP.

L2.1 SOD / SEEDING NOTES:

TOTAL SODDED AREA FOR MAIN BUILDING PARCEL (L2.1+2.2 COMBINED): 44,981 SF

AREAS TO BE SODDED

CANOPY COVERAGE CALCULATIONS	
MAIN PARKING LOT	42,956 SF
CANOPY COVERAGE REQUIRED	17,182 SF
ISLAND W/ 3 LARGE TREES	3,600 SF
7 LG ISLAND TREES	6,650 SF
2 LG. TREES WITHIN 7'	1,200 SF
12 MED. TREES WITHIN 7'	6,000 SF
TOTAL CANOPY COVERAGE PROVIDED	**17,450 SF**

TOTAL FOUNDATION PLANTINGS - MAIN BUILDING (L2.1+L2.2 COMBINED)	
MAIN BUILDING FOUNDATION- FRONT AND STREET FACING	1,981 LF
TREES REQUIRED (LARGE)	40
SHRUBS REQUIRED (LARGE)	119
TREES PROVIDED: 45 LG + 23 MED + 7 SM	**63 LG.**
SHRUBS PROVIDED: 455 MED. x .67=	**304 LG.**

TOTAL OPEN SPACE PLANTINGS - MAIN BUILDING (L2.1+L2.2 COMBINED)	
MAIN BUILDING OPEN SPACE	45,374
TREES REQUIRED (LARGE)	23
SHRUBS REQUIRED (LARGE)	68
TREES PROVIDED: 23 LG + 3 MED	**25 LG.**
SHRUBS PROVIDED: 131 MED X .67=	**87 LG.**

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Revisions		
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Comm: 186024
Date: 01/14/2019
Drawn:
Check:

North

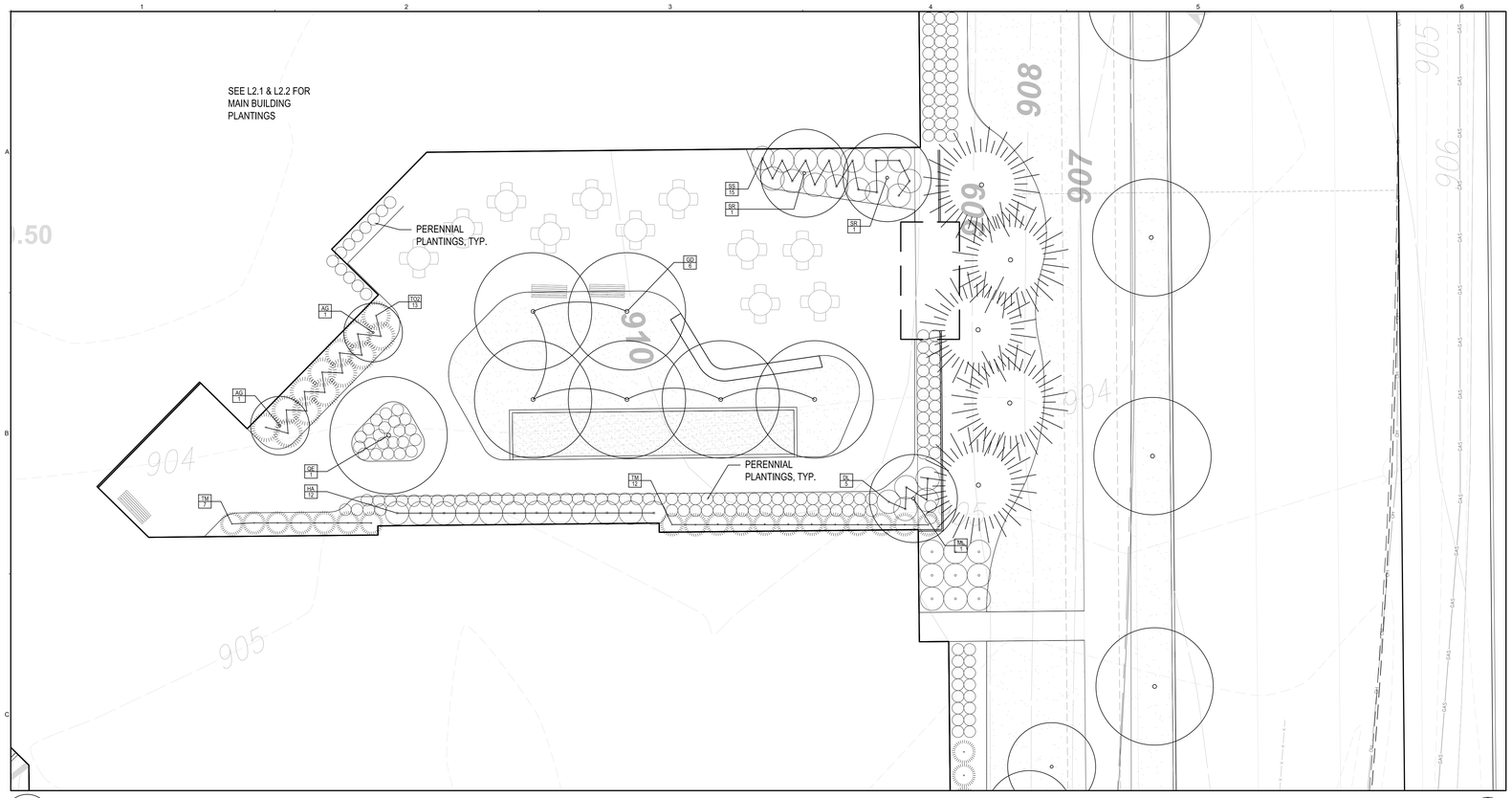
Main Building South Planting Plan

Scale: 1" - 20'

L2.2

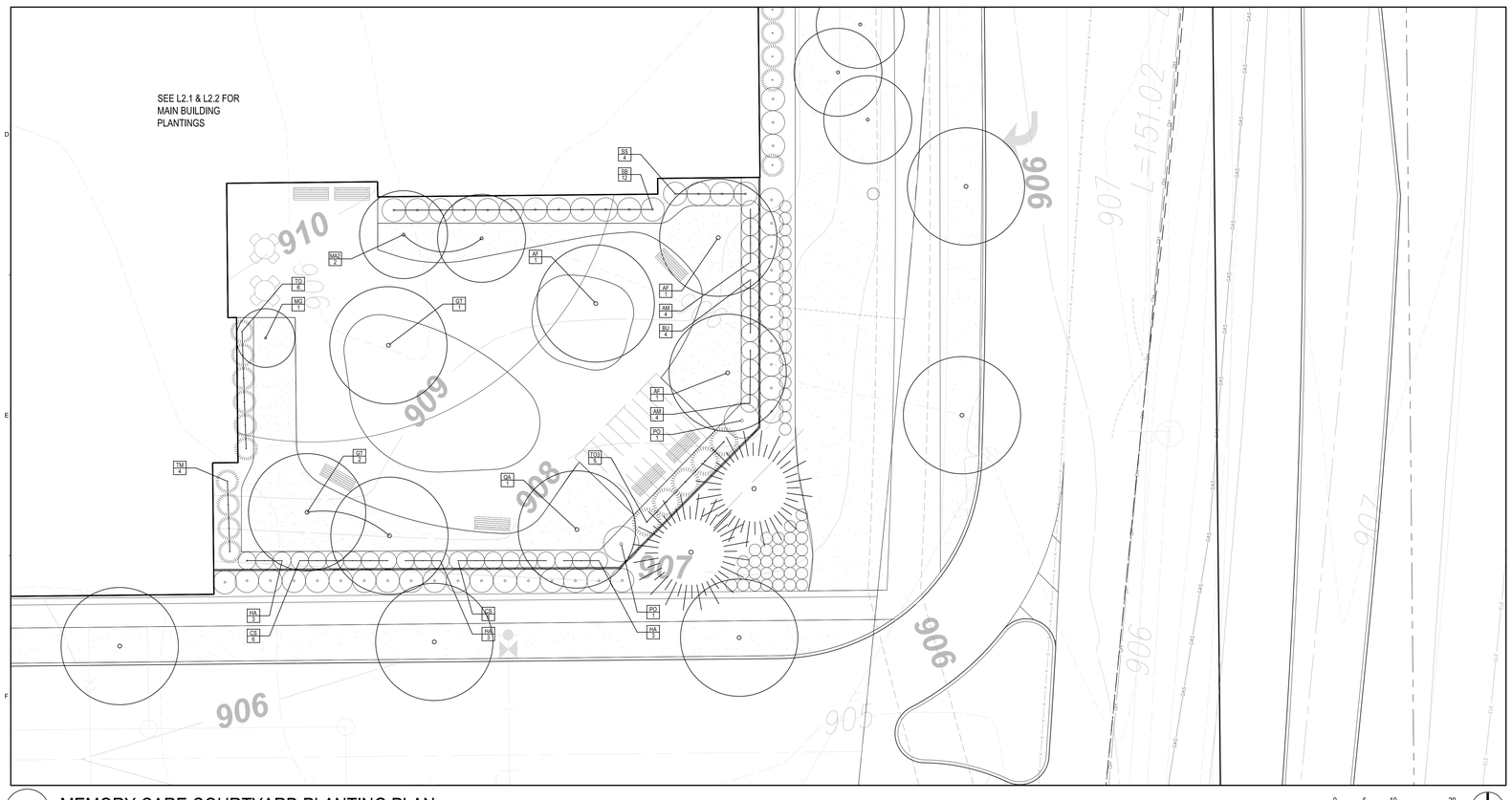
A

MN



1 TOWN SQUARE COURTYARD PLANTING PLAN
1" = 10'

0 5 10 20
1" = 10'



2 MEMORY CARE COURTYARD PLANTING PLAN
1" = 10'

0 5 10 20
1" = 10'

A

L2.3 PLANTING PLAN NOTES

1. REFER TO THE GENERAL NOTES.
2. SEE ARCHITECTURAL AND ELECTRICAL DRAWINGS FOR LIGHTING SELECTIONS AND ELECTRICAL INFORMATION.
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9. AT THE DISCRETION OF THE LANDSCAPE ARCHITECT, ELECTRONIC FILES OR COORDINATES WILL BE PROVIDED TO THE CONTRACTOR FOR SITE LAYOUT/STAKING.
10. FIELD VERIFY ALL MEASUREMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES WITH SITE CONDITIONS.
11. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT OF ANY LAYOUT DISCREPANCIES.

PLANT SCHEDULE - L2.3

TAG	QTY	COMMON NAME	BOTANICAL NAME	SIZE	NOTES
TREES					
AF	3	SIENNA GLEN MAPLE	ACER X FREEMANII 'AUTUMN GLEN'	3" B+B	STRAIGHT LEADER
AG	2	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	8' CLUMP	CLUMP FORM
GD	6	ESPRESSO KENTUCKY COFFEETREE	GYMNOCLADUS DIOICUS 'ESPRESSO - JFS'	3" B+B	STRAIGHT LEADER
GT	3	SKYLINE HONEYLOCUST	GLEDITSIA TRIACANTHOS VAR INERMIS 'SKYCOLE'	3" B+B	STRAIGHT LEADER
ML	2	LEONARD MESSEL MAGNOLIA	MAGNOLIA X LOEBNERI 'LEONARD MESSEL'	#10 CLUMP	CLUMP FORM
MA2	2	SPRING SNOW CRABAPPLE	MALUS 'SPRING SNOW'	1.5" B+B	TREE FORM
QA	1	WHITE OAK	QUERCUS ALBA	3" B+B	STRAIGHT LEADER
QE	1	NORTHERN PIN OAK	QUERCUS ELLIPSOIDALIS	3" B+B	STRAIGHT LEADER
SR	2	IVORY SILK TREE LILAC	SYRINGA RETICULATA 'IVORY SILK'	2" B+B	TREE FORM
SHRUBS					
AM	8	IROQUOIS BEAUTY CHOKEBERRY	ARONIA MELANOCARPA 'MORTON'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
BU	4	CHICAGOLAND GREEN BOXWOOD	BUXUS 'GLENCOE'	#5 CONT.	SPACING PER PLAN, 4' O.C. TYP.
CS	12	ARCTIC FIRE DOGWOOD	CORNUS STOLONIFERA 'FARROW'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
DL	5	DWARF BUSH HONEYSUCKLE	DIERVILLA LONICERA	#5 CONT.	SPACING PER PLAN, 4' O.C. TYP.
HA	21	ANNABELLE HYDRANGEA	HYDRANGEA ARBORESCENS 'ANNABELLE'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
PO	2	SUMMER WINE NINEBARK	PHYSOCARPUS OPULIFOLIUS 'SEWARD'	#5 CONT.	SPACING PER PLAN, 4' O.C. TYP.
SS	19	ASH LEAF SPIREA	SORBARIA SORBIFOLIA	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
SB	12	GOLDFLAME SPIREA	SPIREAEA X BUMALDA 'GOLDFLAME'	#5 CONT.	SPACING PER PLAN, 4' O.C. TYP.
TM	23	TAUNTON YEW	TAXUS X MEDIA 'TAUNTONII'	#5 CONT.	SPACING PER PLAN, 4' O.C. TYP.
TO	6	MR. BOWLING BALL ARBORVITAE	THUJA OCCIDENTALIS 'BOBAZAM'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
TO2	13	GOLDEN GLOBE ARBORVITAE	THUJA OCCIDENTALIS 'GOLDEN GLOBE'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
TO3	5	RUSHMORE ARBORVITAE	THUJA OCCIDENTALIS 'RUSHMORE'	#20 CONT	SPACING PER PLAN, 4' O.C. TYP.

Lyngblomsten Senior Communities

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Revisions		
Description	Date	Num
PUD Submittal	10/08/2018	
PUD Resubmittal	01/14/2019	

Comm: 186024
Date: 01/14/2019
Drawn:
Check:

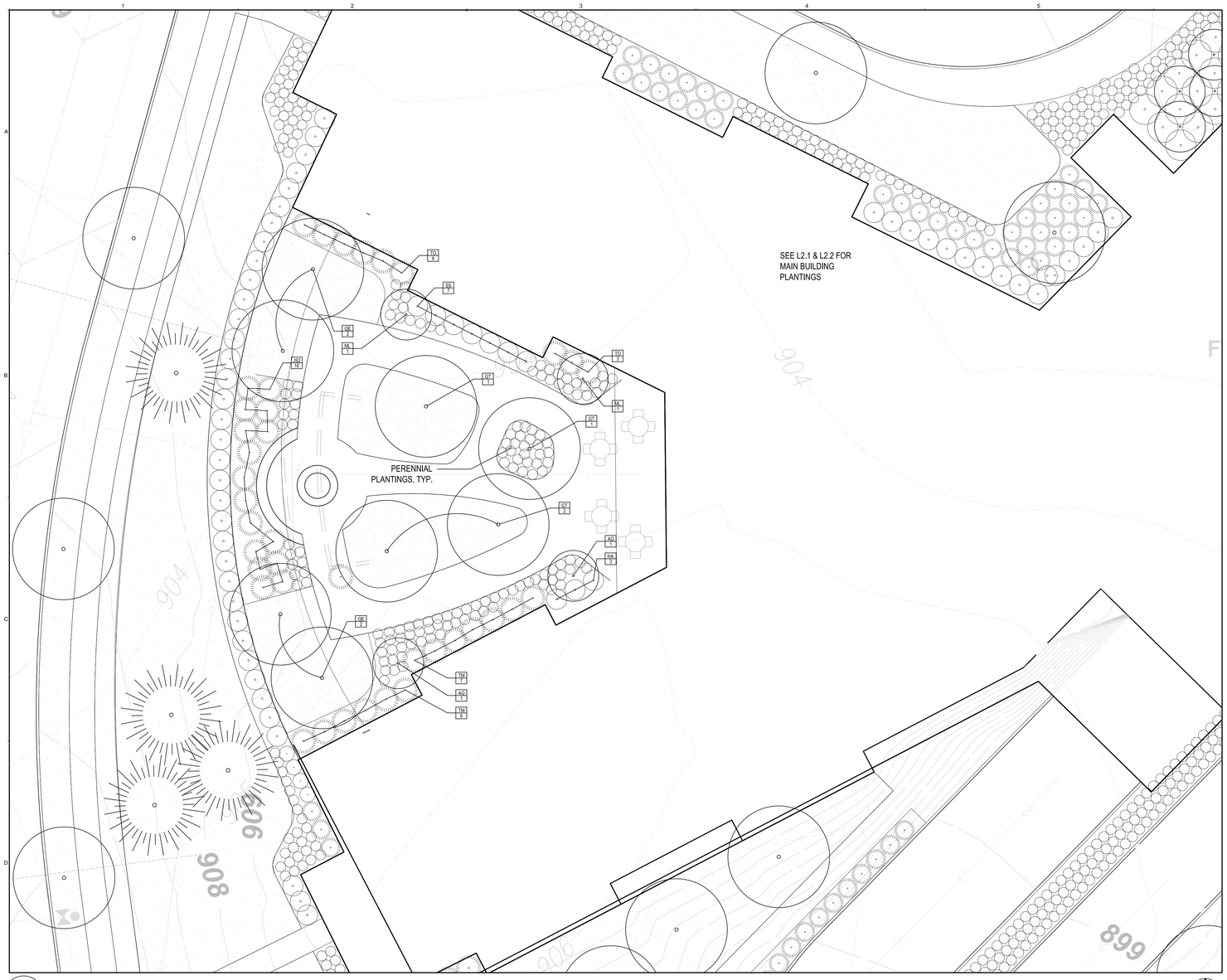
North

Town Center and Memory Care Courtyards Planting Plans

Scale: 1" - 10'

L2.3

MN



1 SKILLED NURSING COURTYARD PLANTING PLAN
1" = 10'

0 5 10 20
1" = 10'

PLANT SCHEDULE - L2.4

TAG	QTY	COMMON NAME	BOTANICAL NAME	SIZE	NOTES
TREES					
AG	2	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	8' CLUMP	CLUMP FORM
GT	4	SKYLINE HONEYLOCUST	GLEDITSIA TRIACANTHOS VAR INERMIS 'SKYCOLE'	3" B+B	STRAIGHT LEADER
ML	2	LEONARD MESSEL MAGNOLIA	MAGNOLIA X LOEBNERI 'LEONARD MESSEL'	#10 CLUMP	CLUMP FORM
QE	4	NORTHERN PIN OAK	QUERCUS ELLIPSOIDALIS	3" B+B	STRAIGHT LEADER
SHRUBS					
HA	3	ANNABELLE HYDRANGEA	HYDRANGEA ARBORESCENS 'ANNABELLE'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
JS2	16	BLUE ARROW JUNIPER	JUNIPERUS SCOPULORUM 'BLUE ARROW'	#20 CONT	SPACING PER PLAN, 4' O.C. TYP.
SS	7	ASH LEAF SPIREA	SORBARIA SORBIFOLIA	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
TM	13	TAUNTON YEW	TAXUS X MEDIA 'TAUNTONII'	#5 CONT.	SPACING PER PLAN, 4' O.C. TYP.
TO	9	MR. BOWLING BALL ARBORVITAE	THUJA OCCIDENTALIS 'BOBAZAM'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.

A

L2.4 PLANTING PLAN NOTES

1. REFER TO THE GENERAL NOTES.
2. SEE ARCHITECTURAL AND ELECTRICAL DRAWINGS FOR LIGHTING SELECTIONS AND ELECTRICAL INFORMATION.
3. SEE CIVIL FOR GRADING INFORMATION.
4. SEE SHEET L300 FOR PLANTING NOTES AND DETAILS
5. SEE SPECIFICATIONS FOR SOILS AND INSTALLATION REQUIREMENTS.
6. SEE CIVIL EXISTING CONDITIONS PLAN FOR BENCHMARKS AND BOUNDARY INFORMATION.
7. SEE ARCHITECTURAL DRAWINGS FOR BUILDING INFORMATION.
8. DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS ARE TO BE USED FOR ALL LAYOUT WORK. IF A NECESSARY DIMENSION IS NOT SHOWN CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND REQUEST THE INFORMATION PRIOR TO RELATED WORK.
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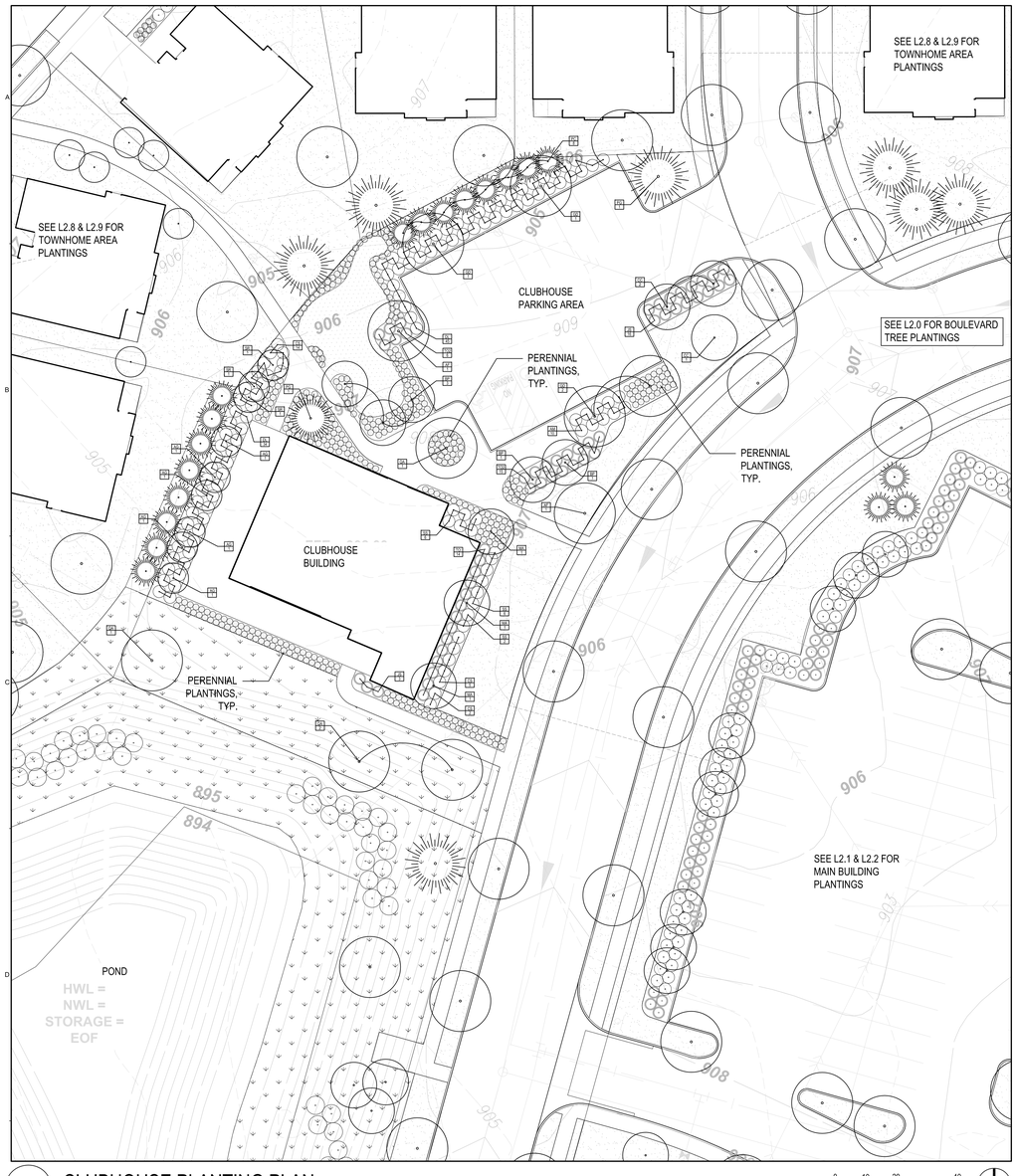
Skilled Nursing Courtyard Planting Plan

Scale: 1" - 10'

L2.4



1 CLUBHOUSE PLANTING PLAN
1" = 20'

0 10 20 40
1" = 20'

PLANT SCHEDULE - L2.5

TAG	QTY	COMMON NAME	BOTANICAL NAME	SIZE	NOTES
TREES					
AF	2	SIENNA GLEN MAPLE	ACER X FREEMANII 'AUTUMN GLEN'	3" B+B	STRAIGHT LEADER
AG	6	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLANCE'	6' B+B	CLUMP FORM
BP	5	WHITESPIRE BIRCH	BETULA PLATYPHYLLA 'WHITESPIRE'	2.5" B+B	STRAIGHT LEADER
CC	3	THORNLESS COCKSPUR HAWTHORN	CRETAEGUS CRUS GALLI VAR. INERMIS	1.5" B+B	TREE FORM
GD	4	ESPRESSO KENTUCKY COFFEETREE	GYMNOCLADUS DIOICUS 'ESPRESSO - JFS'	3" B+B	STRAIGHT LEADER
MA	3	ADAMS CRABAPPLE	MALUS 'ADAMS'	1.5" B+B	TREE FORM
PC	8	CHALET SWISS STONE PINE	PINUS CEMBRA 'CHALET'	6' B+B	
PG	2	BLACK HILLS SPRUCE	PICEA GLAUCA VAR. DENSATA	6' B+B	
QA	4	WHITE OAK	QUERCUS ALBA	3" B+B	STRAIGHT LEADER
SR	3	IVORY SILK TREE LILAC	SYRINGA RETICULATA 'IVORY SILK'	2" B+B	TREE FORM
SHRUBS					
AM	10	IROQUOIS BEAUTY CHOKEBERRY	ARONIA MELANOCARPA 'MORTON'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
CS	21	ARCTIC FIRE DOGWOOD	CORNUS STOLONIFERA 'FARROW'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
DL	79	DWARF BUSH HONEYSUCKLE	DIERVILLA LONICERA	#5 CONT.	SPACING PER PLAN, 4' O.C. TYP.
JS	19	ARCADIA JUNIPER	JUNIPERUS SABINA 'ARCADIA'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
SS	14	ASH LEAF SPIREA	SORBARIA SORBIFOLIA	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
TO	14	MR. BOWLING BALL ARBORVITAE	THUJA OCCIDENTALIS 'BOBAZAM'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
TO2	21	GOLDEN GLOBE ARBORVITAE	THUJA OCCIDENTALIS 'GOLDEN GLOBE'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.

L2.5 SOD / SEEDING NOTES:

TOTAL SODDED AREA FOR CLUBHOUSE: 4,738 SF
TOTAL SEEDED AREA FOR CLUBHOUSE: 3,262 SF

AREAS TO BE SODDED

AREAS TO BE SEEDED W/ MNDOT 34-261 - RIPARIAN SEED MIX

CANOPY COVERAGE CALCULATIONS	
CLUBHOUSE PARKING LOT	5,866 SF
CANOPY COVERAGE REQUIRED	2,346 SF
6 LG TREES WITHIN 7'	3,600 SF
2 MED. TREES WITHIN 7'	500 SF
TREES WITHIN 7-12' 0 LG. 0 MED.	000 SF
TOTAL CANOPY COVERAGE PROVIDED	**3,600 SF**

TOTAL FOUNDATION PLANTINGS - CLUBHOUSE	
LF FOUNDATION- FRONT AND STREET FACING	73 LF
TREES REQUIRED (LARGE)	1
SHRUBS REQUIRED (LARGE)	4
TREES PROVIDED: 12 MED.	**8 LG.**
SHRUBS PROVIDED: 84 MEDIUM	**56 LG.**

OPEN SPACE PLANTINGS - CLUBHOUSE	
CLUBHOUSE OPEN SPACE	11,525 SF
TREES REQUIRED (LARGE)	6
SHRUBS REQUIRED (LARGE)	17
TREES PROVIDED: 10 LG. + 9 MED.	**16 LG.**
SHRUBS PROVIDED: 51 MEDIUM	**34 LG.**

L2.5 PLANTING PLAN NOTES

1. REFER TO THE GENERAL NOTES.
2. SEE ARCHITECTURAL AND ELECTRICAL DRAWINGS FOR LIGHTING SELECTIONS AND ELECTRICAL INFORMATION.
3. SEE CIVIL FOR GRADING INFORMATION.
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5. SEE SPECIFICATIONS FOR SOILS AND INSTALLATION REQUIREMENTS.
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Date: 01/14/2019
Drawn:
Check:

North

Clubhouse Planting Plan

Scale: 1" - 20'

L2.5

MN

A

MN

1 SW GREENSPACE PLANTING PLAN
1" = 20'

0 10 20 40
1" = 20'

A

L2.7 PLANTING PLAN NOTES

1. REFER TO THE GENERAL NOTES.
2. SEE ARCHITECTURAL AND ELECTRICAL DRAWINGS FOR LIGHTING SELECTIONS AND ELECTRICAL INFORMATION.
3. SEE CIVIL FOR GRADING INFORMATION.
4. SEE SHEET L300 FOR PLANTING NOTES AND DETAILS
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PLANT SCHEDULE - L2.7

TAG	QTY	COMMON NAME	BOTANICAL NAME	SIZE	NOTES
TREES					
JV	8	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	6' B+B	
PT	6	QUAKING ASPEN	POPULUS TREMULOIDES	2" B+B	
QA	4	WHITE OAK	QUERCUS ALBA	3" B+B	STRAIGHT LEADER
SHRUBS					
CS	44	ISANTI DOGWOOD	CORNUS SERICEA 'ISANTI'	#5 CONT	SPACING PER PLAN, 6' O.C. TYP.
RG	40	SMOOTH SUMAC	RHUS GLABRA	#5 CONT.	SPACING PER PLAN, 6' O.C. TYP.

L2.7 SOD / SEEDING NOTES:

TOTAL SODDED AREA FOR SW GREENSPACE:	0 SF
TOTAL SEEDED AREA FOR SW GREENSPACE:	56,678 SF

AREAS TO BE SODDED

AREAS TO BE SEEDED W/ MNDOT 35-241 - MESIC PRAIRIE SEED MIX

OPEN SPACE PLANTINGS - SW GREENSPACE	
OPEN SPACE	56,142 SF
TREES REQUIRED (LARGE)	28
SHRUBS REQUIRED (LARGE)	84
TREES PROVIDED: 187 LG (PRESERVED) + 14 LG	**36 LG.**
SHRUBS PROVIDED:	**29 LG.**

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Date: 01/14/2019
Drawn:
Check:

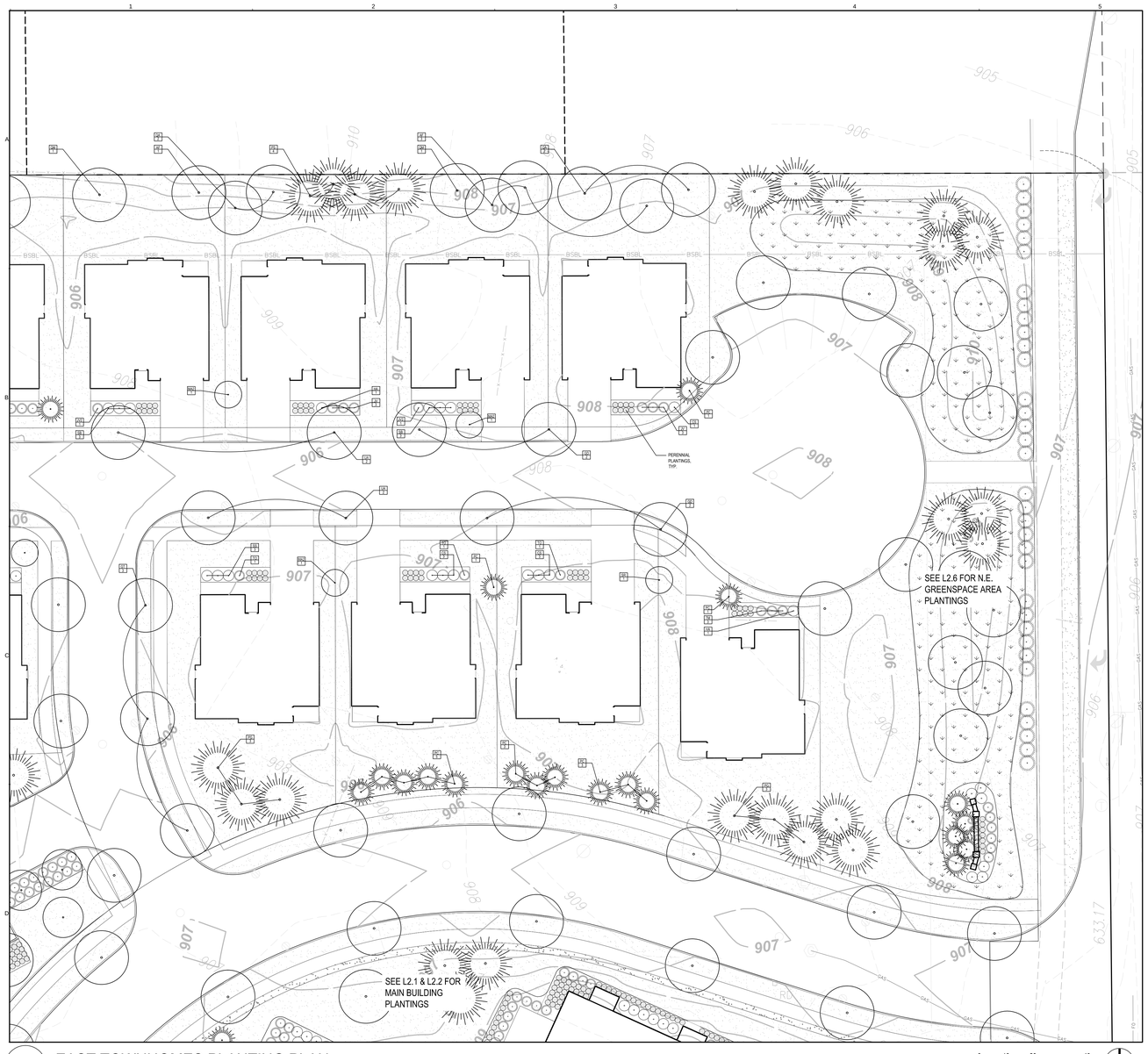
North

SW Greenspace Planting Plan

Scale: SEE DRAWING

L2.7

MN



1 EAST TOWNHOMES PLANTING PLAN
1" = 20'

0 10 20 40
1" = 20'

A

PLANT SCHEDULE - L2.8

TAG	QTY	COMMON NAME	BOTANICAL NAME	SIZE	NOTES
TREES					
AF	4	SIENNA GLEN MAPLE	ACER X FREEMANII 'AUTUMN GLEN'	3" B+B	STRAIGHT LEADER
GD	4	ESPRESSO KENTUCKY COFFEETREE	GYMNOCLADUS DIOICUS 'ESPRESSO-JTF'	3" B+B	
GT	3	SKYLINE HONEYLOCUST	GLEDITSIA TRIACANTHOS VAR INERMIS 'SKYCOLE'	3" B+B	STRAIGHT LEADER
MA2	3	SPRING SNOW CRABAPPLE	MALUS 'SPRING SNOW'	1.5" B+B	TREE FORM
PG	6	BLACK HILLS SPRUCE	PICEA GLAUCA VAR. DENSATA	6' B+B	
PC	14	PRAIRIE STATESMAN SWISS STONE PINE	PINUS CEMBRA 'HERMAN'	6' B+B	STRAIGHT LEADER
PS	4	WHITE PINE	PINUS STROBUS	6' B+B	STRAIGHT LEADER
QA	4	WHITE OAK	QUERCUS ALBA	3" B+B	STRAIGHT LEADER
QM	2	BUR OAK	QUERCUS MACROCARPA	3" B+B	STRAIGHT LEADER
SR	1	IVORY SILK TREE LILAC	SYRINGA RETICULATA 'IVORY SILK'	2" B+B	TREE FORM
UA	4	VALLEY FORGE ELM	ULMUS AMERICANA 'VALLEY FORGE'	3" B+B	DISEASE RESISTANT
SHRUBS					
CS	7	ARCTIC FIRE DOGWOOD	CORNUS STOLONIFERA 'FARROW'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
HA	2	ANNABELLE HYDRANGEA	HYDRANGEA ARBORESCENS 'ANNABELLE'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
JS	6	ARCADIA JUNIPER	JUNIPERUS SABINA 'ARCADIA'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
JV2	2	GREY OWL JUNIPER	JUNIPERUS VIRGINIANA 'GREY OWL'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
SS	3	ASH LEAF SPIREA	SORBARIA SORBIFOLIA	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
SB	6	GOLDFLAME SPIREA	SPIREAEA X BUMALDA 'GOLDFLAME'	#5 CONT.	SPACING PER PLAN, 4' O.C. TYP.
TM	3	TAUNTON YEW	TAXUS X MEDIA 'TAUNTONII'	#5 CONT.	SPACING PER PLAN, 4' O.C. TYP.
TO	3	MR. BOWLING BALL ARBORVITAE	THUJA OCCIDENTALIS 'BOBAZAM'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.

CANOPY COVERAGE CALCULATIONS	
NORTH PARKING SPACES	1,399 SF
CANOPY COVERAGE REQUIRED	560 SF
2 LG TREES WITHIN 7'	1,200 SF
TOTAL CANOPY COVERAGE PROVIDED	**1,200 SF**

L2.8 SOD / SEEDING NOTES:

TOTAL SODDED AREA FOR EAST TOWNHOMES: 36,208 SF

AREAS TO BE SODDED

L2.8 PLANTING PLAN NOTES

1. REFER TO THE GENERAL NOTES.
2. SEE ARCHITECTURAL AND ELECTRICAL DRAWINGS FOR LIGHTING SELECTIONS AND ELECTRICAL INFORMATION.
3. SEE CIVIL FOR GRADING INFORMATION.
4. SEE SHEET L300 FOR PLANTING NOTES AND DETAILS
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6. SEE CIVIL EXISTING CONDITIONS PLAN FOR BENCHMARKS AND BOUNDARY INFORMATION.
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North

East Townhomes Planting Plan

Scale: SEE DRAWING

L2.8

1 WEST TOWNHOMES PLANTING PLAN
1" = 20'

0 10 20 40
1" = 20'

L2.9 PLANTING PLAN NOTES

1. REFER TO THE GENERAL NOTES.
2. SEE ARCHITECTURAL AND ELECTRICAL DRAWINGS FOR LIGHTING SELECTIONS AND ELECTRICAL INFORMATION.
3. SEE CIVIL FOR GRADING INFORMATION.
4. SEE SHEET L300 FOR PLANTING NOTES AND DETAILS
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PLANT SCHEDULE - L2.9

TAG	QTY	COMMON NAME	BOTANICAL NAME	SIZE	NOTES
TREES					
AF	3	SIENNA GLEN MAPLE	ACER X FREEMANII 'AUTUMN GLEN'	3" B+B	STRAIGHT LEADER
AL	5	ALLEGHENY SERVICEBERRY	AMELANCHIER LAEVIS	1.5" B+B	TREE FORM MULTISTEM
CC	3	THORNLESS COCKSPUR HAWTHORN	CRETAEGUS CRUS GALLI VAR. INERMIS	1.5" B+B	TREE FORM
GD	8	ESPRESSO KENTUCKY COFFEETREE	GYMNOCLADUS DIOICUS 'ESPRESSO-JFS'	3" B+B	
GT	11	SKYLINE HONEYLOCUST	GLEDITSIA TRIACANTHOS VAR. INERMIS 'SKYCOLE'	3" B+B	
MA	2	ADAMS CRABAPPLE	MALUS 'ADAMS'	1.5" B+B	TREE FORM
MA2	5	SPRING SNOW CRABAPPLE	MALUS 'SPRING SNOW'	1.5" B+B	TREE FORM
PC	4	PRAIRIE STATESMAN SWISS STONE PINE	PINUS CEMBRA 'HERMAN'	6' B+B	STRAIGHT LEADER
PG	2	BLACK HILLS SPRUCE	PICEA GLAUCA 'DENSATA'	6' B+B	
PR	4	RED PINE	PINUS RESINOSA	6' B+B	
PS	3	WHITE PINE	PINUS STROBUS	6' B+B	
QA	6	WHITE OAK	QUERCUS ALBA	2.5" B+B	
QE	4	NORTHERN PIN OAK	QUERCUS ELLIPSOIDALIS	2.5" B+B	DO NOT USE QUERCUS PALUSTRIS
QM	3	BUR OAK	QUERCUS MACROCARPA	2.5" B+B	
SR	1	IVORY SILK TREE LILAC	SYRINGA RETICULATA 'IVORY SILK'	2" B+B	TREE FORM
UA	2	VALLEY FORGE ELM	ULMUS AMERICANA 'VALLEY FORGE'	3" B+B	DISEASE RESISTANT
SHRUBS					
AM	3	IRIQUOIS BEAUTY CHOKEBERRY	ARONIA MELANOCARPA 'MORTON'	#5 CONT.	SPACING PER PLAN, 4' O.C. TYP.
CS	7	ARCTIC FIRE DOGWOOD	CORNUS STOLONIFERA 'FARROW'	#5 CONT.	SPACING PER PLAN, 4' O.C. TYP.
DL	3	DWARF BUSH HONEYSUCKLE	DIERVILLA LONICERA	#5 CONT.	SPACING PER PLAN, 4' O.C. TYP.
HA	7	ANNABELLE HYDRANGEA	HYDRANGEA ARBORESCENS 'ANNABELLE'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
JS	8	ARCADIA JUNIPER	JUNIPERUS SABINA 'ARCADIA'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
JV2	4	GREY OWL JUNIPER	JUNIPERUS VIRGINIANA 'GREY OWL'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
SB	4	GOLDFLAME SPIREA	SPIREAEA X BUMALDA 'GOLDFLAME'	#5 CONT.	SPACING PER PLAN, 4' O.C. TYP.
TM	8	TAUNTON YEW	TAXUS X MEDIA 'TAUNTONII'	#5 CONT.	SPACING PER PLAN, 4' O.C. TYP.
TO	1	MR. BOWLING BALL ARBORVITAE	THUJA OCCIDENTALIS 'BOBAZAM'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.
TO2	2	GOLDEN GLOBE ARBORVITAE	THUJA OCCIDENTALIS 'GOLDEN GLOBE'	#5 CONT	SPACING PER PLAN, 4' O.C. TYP.

L2.9 SOD / SEEDING NOTES:

TOTAL SODDED AREA FOR WEST TOWNHOMES:	39,576 SF
TOTAL SEEDED AREA FOR WEST TOWNHOMES:	21,361 SF

AREAS TO BE SODDED

AREAS TO BE SEEDED W/ MNDOT 35-241 - MESIC PRAIRIE SEED MIX

CANOPY COVERAGE CALCULATIONS	
WEST TOWNHOME PARKING SPACES	929 SF
CANOPY COVERAGE REQUIRED	372 SF
1 LG TREES WITHIN 7'	600 SF
TOTAL CANOPY COVERAGE PROVIDED	**600 SF**

Lyngblomsten Senior Communities

Hodgson Road,
Lino Lakes, MN 55014

Lyngblomsten
1415 Almond Ave W, St Paul, MN 55108

Wold

WOLD ARCHITECTS AND ENGINEERS
332 Minnesota Street, Suite W2000
Saint Paul, MN 55101
woldae.com | 651 227 7773

COLBERG|TEWS
landscape architecture
3101 East Franklin Avenue | Minneapolis MN 55406
colbergtews.com

Revisions		
Description	Date	Num
PUD Submittal	10/08/2018	
PUD Resubmittal	01/14/2019	

Comm: 186024
Date: 01/14/2019
Drawn:
Check:

North

West Townhomes Planting Plan

Scale: 1" - 20'

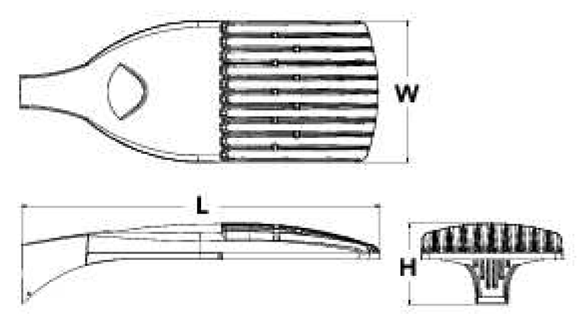
L2.9

A4H, B5

D-Series Size 1
LED Area Luminaire

Specifications

EPA:	1.01 ft² (0.09 m²)
Length:	33" (83.8 cm)
Width:	13" (33.0 cm)
Height:	7-1/2" (19.0 cm)
Weight (max):	27 lbs (12.2 kg)



Catalog Number	
Notes	
Type	

A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability1
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background¹

To learn more about A+, visit www.acuitybrands.com/aplus.

1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: Link to Roam; Link to DTL DLL

A+ Capable options indicated by this color background.

Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA DDBXD

DSX1 LED

Series	LEDs	Color temperature	Distribution	Voltage	Mounting
DSX1 LED	Forward optics: P1, P2, P3, P4, P5, P6, P7, P8, P9; Rotated optics: P10¹, P11¹, P12¹, P13¹	30K 3000K; 40K 4000K; 50K 5000K; AMBPC Amber phosphor converted²	T1S Type I short; T2S Type II short; T2M Type II medium; T3S Type III short; T3M Type III medium; T4M Type IV medium; TFTM Forward throw medium; T5VS Type V very short; T5S Type V short; T5M Type V medium; T5W Type V wide; BLC Backlight control²³; LCCO Left corner cutoff²³; RCCO Right corner cutoff²³	MVOLT⁴⁵; 120⁶; 208⁵⁶; 240⁵⁶; 277⁶; 347⁵⁶⁷; 480⁵⁶⁷	Shipped included: SPA Square pole mounting; RPA Round pole mounting; WBA Wall bracket; SPUMBA Square pole universal mounting adaptor⁸; RPUMBA Round pole universal mounting adaptor⁸; Shipped separately: KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish)⁹

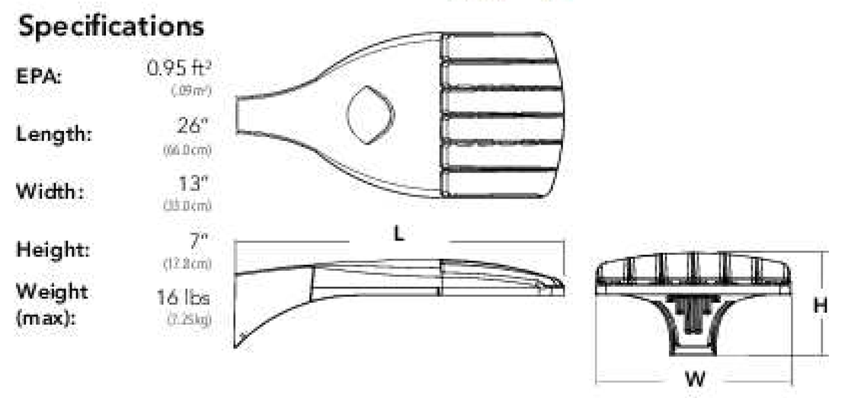
Control options		Other options	Finish (required)
Shipped installed: NLTAIR2 nLight AIR generation 2 enabled¹⁰; PER NEMA twist-lock receptacle only (controls ordered separate)¹¹; PER5 Five-wire receptacle only (controls ordered separate)¹¹¹²; PER7 Seven-wire receptacle only (controls ordered separate)¹¹¹²; DMG 0-10V dimming extend out back of housing for external control (leads exit fixture); DS Dual switching¹³¹⁴; PIR Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc¹⁵¹⁶; PIRH Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc¹⁵¹⁶; PIRHN Network, Bi-Level motion/ambient sensor¹⁷; PIR1FC3V Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc¹⁵¹⁶	PIRH1FC3V Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc¹⁵¹⁶; BL30 Bi-level switched dimming, 30%¹⁴¹⁸; BL50 Bi-level switched dimming, 50%¹⁴¹⁸; PNMTDD3 Part night, dim till dawn¹⁹; PNMT5D3 Part night, dim 5 hrs¹⁹; PNMT6D3 Part night, dim 6 hrs¹⁹; PNMT7D3 Part night, dim 7 hrs¹⁹; FAO Field adjustable output²⁰	Shipped installed: HS House-side shield²¹; SF Single fuse (120, 277, 347V)⁶; DF Double fuse (208, 240, 480V)⁶; L90 Left rotated optics¹; R90 Right rotated optics¹; Shipped separately: BS Bird spikes²²; EGS External glare shield²²	DDBXD Dark bronze; DBLXD Black; DNAXD Natural aluminum; DWHXD White; DDBTXD Textured dark bronze; DBLBXD Textured black; DNATXD Textured natural aluminum; DWHGXD Textured white

C4H, D3H, D4H

D-Series Size 0
LED Area Luminaire

Specifications

EPA:	0.95 ft² (.09 m²)
Length:	26" (66.0 cm)
Width:	13" (33.0 cm)
Height:	7" (17.8 cm)
Weight (max):	16 lbs (7.25 kg)



Catalog Number	
Notes	
Type	

A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability1
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background¹

To learn more about A+, visit www.acuitybrands.com/aplus.

1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: Link to Roam; Link to DTL DLL

A+ Capable options indicated by this color background.

Ordering Information

EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA DDBXD

DSX0 LED

Series	LEDs	Color temperature	Distribution	Voltage	Mounting
DSX0 LED	Forward optics: P1, P2, P3, P4, P5, P6, P7; Rotated optics: P10¹, P11¹, P12¹, P13¹	30K 3000K; 40K 4000K; 50K 5000K; AMBPC Amber phosphor converted²	T1S Type I short; T2S Type II short; T2M Type II medium; T3S Type III short; T3M Type III medium; T4M Type IV medium; TFTM Forward throw medium; T5VS Type V very short; T5S Type V short; T5M Type V medium; T5W Type V wide; BLC Backlight control²³; LCCO Left corner cutoff²³; RCCO Right corner cutoff²³	MVOLT⁴⁵; 120⁶; 208⁵⁶; 240⁵⁶; 277⁶; 347⁵⁶⁷; 480⁵⁶⁷	Shipped included: SPA Square pole mounting; RPA Round pole mounting; WBA Wall bracket; SPUMBA Square pole universal mounting adaptor⁸; RPUMBA Round pole universal mounting adaptor⁸; Shipped separately: KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish)⁹

Control options		Other options	Finish (required)
Shipped installed: NLTAIR2 nLight AIR generation 2 enabled¹⁰; PER NEMA twist-lock receptacle only (control ordered separate)¹¹; PER5 Five-wire receptacle only (control ordered separate)¹¹¹²; PER7 Seven-wire receptacle only (control ordered separate)¹¹¹²; DMG 0-10V dimming extend out back of housing for external control (control ordered separate); PIR Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc¹³¹⁴; PIRH Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc¹³¹⁴; PIRHN Network, Bi-Level motion/ambient sensor¹⁵; PIR1FC3V Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc¹³¹⁴	PIRH1FC3V Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc¹³¹⁴; BL30 Bi-level switched dimming, 30%¹⁶¹⁷; BL50 Bi-level switched dimming, 50%¹⁶¹⁷; PNMTDD3 Part night, dim till dawn¹⁸; PNMT5D3 Part night, dim 5 hrs¹⁸; PNMT6D3 Part night, dim 6 hrs¹⁸; PNMT7D3 Part night, dim 7 hrs¹⁸; FAO Field adjustable output¹⁹	Shipped installed: HS House-side shield²⁰; SF Single fuse (120, 277, 347V)⁶; DF Double fuse (208, 240, 480V)⁶; L90 Left rotated optics¹; R90 Right rotated optics¹; DDL Diffused drop lens²⁰; Shipped separately: BS Bird spikes²¹; EGS External glare shield²¹	DDBXD Dark bronze; DBLXD Black; DNAXD Natural aluminum; DWHXD White; DDBTXD Textured dark bronze; DBLBXD Textured black; DNATXD Textured natural aluminum; DWHGXD Textured white

DD1

LITHONIA LIGHTING®

Catalog Number	
Notes	
Type	

FEATURES & SPECIFICATIONS

INTENDED USE — Typical applications include corridors, lobbies, conference rooms and private offices.

CONSTRUCTION — Galvanized steel mounting/plaster frame; galvanized steel junction box with bottom-hinged access covers and spring latches. Reflectors are retained by torsion springs.

Vertically adjustable mounting brackets with commercial bar hangers provide 3-3/4" total adjustment. Two combination ½"-3/4" and four ½" knockouts for straight-through conduit runs. Capacity: 8 (4 in, 4 out). No. 12 AWG conductors, rated for 90°C.

Accommodates 12"-24" joist spacing.

Passive cooling thermal management for 25°C standard; high ambient (40°C) option available. Light engine and drivers are accessible from above or below ceiling.

Max ceiling thickness 1-1/2".

OPTICS — LEDs are binned to a 3-step SDCM; 80 CRI minimum.

LED light source concealed with diffusing optical lens.

General illumination lighting with 1.0 S/MH and 55° cutoff to source and source image.

Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors.

ELECTRICAL — Multi-volt (120-277V, 50/60Hz) 0-10V dimming drivers mounted to junction box, 10% or 1% minimum dimming level available.

0-10V dimming fixture requires two (2) additional low-voltage wire to be pulled.

70% lumen maintenance at 50,000 hours.

LISTINGS — Certified to US and Canadian safety standards. Damp location standard (wet location, covered ceiling optional). ENERGY STAR® certified product.

WARRANTY — 5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.

LDN6

6" OPEN and WALLWASH LED
Non-IC
New Construction Downlight

A+ Capable options indicated by this color background.

ORDERING INFORMATION Lead times will vary depending on options selected. Consult with your sales representative.

Example: LDN6 35/15 LO6AR LSS MVOLT EZ10

LDN6

Series	Color temperature	Lumens¹	Aperture/Trim Color	Finish	Voltage
LDN6 6" round	27/ 2700K; 30/ 3000K; 35/ 3500K; 40/ 4000K; 50/ 5000K	05 500 lumens; 10 1000 lumens; 15 1500 lumens; 20 2000 lumens; 25 2500 lumens; 30 3000 lumens; 40 4000 lumens; 50 5000 lumens	LO6 Downlight; LW6 Wallwash; AR Clear; WR² White; BR² Black	LSS Semi-specular; LD Matte diffuse; LS Specular	MVOLT Multi-volt; 120 120V; 277 277V; 347³ 347V

Driver	Options	
GZ10 0-10V driver dims to 10%	SF⁴ Single fuse	N80⁸ nLight™ Lumen Compensation
GZ1 0-10V driver dims to 1%	TRW⁵ White painted flange	NPS80EZ⁷ nLight® dimming pack controls 0-10V eldoLED drivers (EZ10, EZ1).
EZ10 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 10%	TRBL⁵ Black painted flange	NPS80EZER⁷ nLight® dimming pack controls 0-10V eldoLED drivers (EZ10, EZ1). ER controls fixtures on emergency circuit.
EZ1 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 1%	EL⁶ Emergency battery pack with integral test switch	HAO¹¹ High ambient option
	ELR Emergency battery pack with remote test switch	CP¹² Chicago Plenum
	ELSD Emergency battery pack with self-diagnostics, integral test switch	WL Wet Location, specify for exterior use applications
	ELRSD Emergency battery pack with self-diagnostics, remote test switch	RRL__ RELOC®-ready luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Refer to RRL for complete nomenclature. Available only in RRLA, RRLB, RRLAE, and RRLC12S.
	E10WCP Emergency battery pack, 10W Constant Power, CA Title 20 compliant with integral test switch	
	E10WCPR Emergency battery pack, 10W Constant Power, CA Title 20 compliant with remote test switch	
	NPP16D⁷ nLight® network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1).	NLTAIR2⁹¹⁰ nLight® Air enabled
	NPP16DER⁷ nLight® network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1). ER controls fixtures on emergency circuit.	NLTAIRER2⁹¹⁰ nLight® AIR Dimming Pack Wireless Controls. Controls fixtures on emergency circuit
		USPOM US point of manufacture

Accessories: *Order as separate catalog number.*

EACISSM 375	Compact interruptible emergency AC power system
EACISSM 125	Compact interruptible emergency AC power system
GRA68 JZ	Oversized trim ring with 8" outside diameter¹
SCA6	Sloped ceiling adapter. Refer to TECH-SCA for more options.

Notes

1. Overall height varies based on lumen package; refer to dimensional chart on page 3.
2. Not available with finishes.
3. Not available with emergency options.
4. Must specify voltage 120V or 277V.
5. Available with clear (AR) reflector only.
6. Add "SD" for self-diagnostic option (i.e. ELSD).
7. Specify voltage. ER for use with generator supply EM power. Will require an emergency hot feed and normal hot feed.
8. Fixture begins at 80% light level. Must be specified with NPS80EZ or NPS80EZ ER. Only available with EZ10 and EZ1 drivers.
9. Not available with CP, NPS80EZ, NPS80EZER, NPP16D, NPP16DER or N80 options.
10. NLTAIR2 and NLTAIRER2 not recommended for metal ceiling installations.
11. Fixture height is 6.5" for all lumen packages with HAO.
12. Must specify voltage for 3000lm. 5000lm with marked spacing 24 L x 24 W x 14 H.

Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A4H	4	Lithonia Lighting	DSX1 LED P3 40K TFTM MVOLT HS	DSX1 LED P3 40K TFTM MVOLT with houseside shield	LED	1	DSX1_LED_P3_40K_TFTM_MVOLT_HS.ies	9818	0.85	102
	B5	5	Lithonia Lighting	DSX1 LED P2 40K T5M MVOLT	DSX1 LED P2 40K T5M MVOLT	LED	1	DSX1_LED_P2_40K_T5M_MVOLT.ies	9235	0.85	70
	C4H	2	Lithonia Lighting	DSX0 LED P3 40K T4M MVOLT HS	DSX0 LED P3 40K T4M MVOLT with houseside shield	LED	1	DSX0_LED_P3_40K_T4M_MVOLT_HS.ies	6417	0.85	71
	D3H	0	Lithonia Lighting	DSX0 LED P1 50K T3M MVOLT HS	DSX0 LED P1 50K T3M MVOLT with houseside shield	LED	1	DSX0_LED_P1_50K_T3M_MVOLT_HS.ies	3755	0.85	38
	D4H	7	Lithonia Lighting	DSX0 LED P1 40K TFTM MVOLT HS	DSX0 LED P1 40K TFTM MVOLT with houseside shield	LED	1	DSX0_LED_P1_40K_TFTM_MVOLT_HS.ies	3678	0.85	38
	DD1	34	Lithonia Lighting	LDN6 27/15 LO6AR LSS	6IN LDN, 2700K, 1500LM, 80CRI, CLEAR, SEMI-SPECULAR REFLECTOR	LED	1	LDN6_27_15_LO6AR_LSS.ies	1449	0.85	20.48
	R1	23	B-K Lighting Inc	BWM-LED-L12-SD12	Decorative white metal housing with baffles, reflector and diffuse lens.	White LED array	1	LED-L12-SD12-11609588.18.ies	504	0.85	9.88179
	W1	12	Lithonia Lighting	DSXW1 LED 20C 700 40K T4M MVOLT HS	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T4M OPTIC, 4000K, @ 700mA WITH HOUSE-SIDE SHIELDS.	LED	1	DSXW1_LED_20C_700_40K_T4M_MVOLT_HS.ies	4086	0.85	45.7
	W2	13	Lithonia Lighting	WST LED P1 40K VF MVOLT	WST LED, Performance package 1, 4000 K, visual comfort forward throw, MVOLT	LED	1	WST_LED_P1_40K_VF_MVOLT.ies	1639	0.85	12
	W3	5	Lithonia Lighting	OLWX1 LED 13W 40K DDB	13W 4000K LED WALL PACK	LED	1	OLWX1_LED_13W_40K_DDB.ies	1260	0.85	14

R1

BEACON WALL MOUNT (BWM)

PROJECT:	
TYPE:	
CATALOG NUMBER:	BWM LED
SOURCE:	LED - Power of 'L' Technology - Line Voltage - 120V only
NOTES:	

CATALOG NUMBER LOGIC

Example - BWM - SD10 - LED - L10 - BZW - A - - - CRW

Material
- Blank - Aluminum
- C - Copper

Series
- BWM - Beacon Wall Mount

Style
- SD10 - 10 Inch disk
- SD12 - 12 Inch Shade
- SD15 - 15 Inch Shade

Source
- LED - 'L' Technology *(Line Voltage - 120V only)*

LED Type
- L10 - 10WLED/2700K
- L11 - 10WLED/3000K
- L12 - 10WLED/4000K
- L13 - 10WLED/2200K-3500K Warm Dim
- L15 - 20WLED/2700K
- L16 - 20WLED/3000K
- L17 - 20WLED/4000K
- L18 - 20WLED/2200K-3500K Warm Dim

Finish
- NAT - Natural*
- BP - Brown Patina*
- GP - Green Patina*
- NIC - Nickel Plate*
- BZW - Bronze Wrinkle

*See Powder Coat Finish Chart to the right for additional choices. *Not available with Aluminum. For Aluminum fixtures, specify Standard or Premium Powder Coat.*

Powder Coat Standard Finish

Powder Coat Color	Satin	Wrinkle
Bronze	BZP	BZW
Black	BLP	BLW
White (Gloss)	WHP	WHW
Aluminum	SAP	—
Verde	—	VER

Powder Coat Premium Finish

ABP	Antique Brass Powder	CMG	Cascade Mountain Granite	RMG	Rocky Mountain Granite
AMG	Aleutian Mountain Granite	CRI	Cracked Ice	SDS	Sonoran Desert Sandstone
AQW	Antique White	CRM	Cream	SMG	Sierra Mountain Granite
BCM	Black Chrome	HUG	Hunter Green	TXF	Textured Forest
BGE	Beige	MDS	Mojave Desert Sandstone	WCP	Weathered Copper
BPP	Brown Patina Powder	NBP	Natural Brass Powder	WIR	Weathered Iron
CAP	Clear Anodized Powder	OCP	Old Copper		Also available in RAL Finishes. See submittal SUB-1439-00

Rings
- A - Aluminum *(Finish to match Fixture.)*
- B - Brass *(Finish to match Fixture.)*
- S - Stainless Steel *(Stainless Steel Rings are provided in Natural (NAT) regardless of Finish.)*

Accessories *(Select one.)*
- DT - Dark Top *(Eliminates glow in upper window. Material and Finish to match Fixture.)*
- MSH - Mesh Screen *(Material and Finish to match Fixture.)*

Option
- CLR - Clear Coat Protection *For use with Natural (NAT) finish only. For use with Copper Fixture only.*

Canopy
- CRW - 5" Round Canopy
- CQW - 5" Square Canopy
- CTW - 3"x5" Rectangular Canopy

LM79 DATA

TEKA LED #	LUMENS (Delivered)	CCT	INPUT WATTS (Typ.)	CR (Typ.)	BUG Rating
L10	433	2700	10	90	B0-U3-G1
L11	459	3000	10	90	B0-U3-G1
L12	504	4000	10	90	B0-U3-G1
L13	494	2200-3500 warm dim	10	90	B0-U3-G1
L15	824	2700	20	90	B0-U3-G1
L16	871	3000	20	90	B0-U3-G1
L17	959	4000	20	90	B0-U3-G1
L18	940	2200-3500 warm dim	20	90	B0-U3-G1

L70 DATA

Minimum Rated Life (hrs.) 70% of initial lumens (L70)
50,000
50,000
50,000
50,000
50,000
50,000
50,000
50,000

TEKA ILLUMINATION	40429 Brickyard Drive • Madera, CA 93636 • USA 559.438.5800 • FAX 559.438.5900 www.tekaillumination.com • info@tekaillumination.com	SUBMITTAL DATE 05-15-2018	DRAWING NUMBER SUB-2574-00

W1

D-Series Size 1
LED Wall Luminaire

Catalog Number	
Notes	
Type	

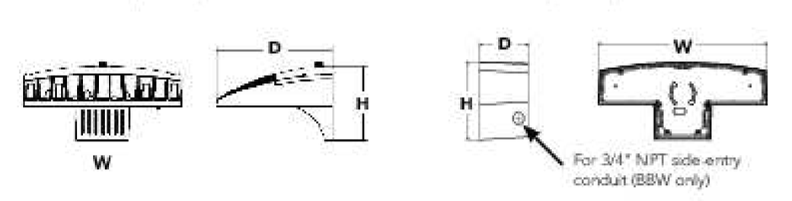
Specifications

Luminaire

Width:	13-3/4" (34.9 cm)	Weight:	12 lbs (5.4 kg)
Depth:	10" (25.4 cm)		
Height:	6-3/8" (16.2 cm)		

Back Box (BBW, ELCW)

Width:	13-3/4" (34.9 cm)	BBW Weight:	5 lbs (2.3 kg)
Depth:	4" (10.2 cm)	ELCW Weight:	10 lbs (4.5 kg)
Height:	6-3/8" (16.2 cm)		



Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information

EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DDBTXD

DSXW1 LED

Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options
DSXW1 LED	10C 10 LEDs (one engine); 20C 20 LEDs (two engines)	350 350 mA; 530 530 mA; 700 700 mA; 1000 1000 mA (1 A)	30K 3000K; 40K 4000K; 50K 5000K; AMBPC Amber phosphor converted	T2S Type II Short; T2M Type II Medium; T3S Type III Short; T3M Type III Medium; T4M Type IV Medium; TFTM Forward Throw Medium; ASYDF Asymmetric diffuse	MVOLT¹; 120¹; 208¹; 240¹; 277¹; 347³; 480³	Shipped included: (blank) Surface mounting bracket; BBW Surface-mounted back box (for conduit entry)³	Shipped installed: PE Photoelectric cell, button type⁴; DMG 0-10V dimming driver (no controls); PIR 180° motion/ambient light sensor, <15' mtg ht⁵; PIRH 180° motion/ambient light sensor, 15-30' mtg ht⁵; PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc⁵; PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc⁵; ELCW Emergency battery backup (includes external component enclosure)⁶

Other Options		Finish (required)		
Shipped installed: SF Single fuse (120, 277 or 347V)⁷; DF Double fuse (208, 240 or 480V)⁷; HS House-side shield⁸; SPD Separate surge protection⁹	Shipped separately⁸: BSW Bird-deterrent spikes; WG Wire guard; VG Vandal guard; DDL Diffused drop lens	DDBXD Dark bronze; DBLXD Black; DNAXD Natural aluminum; DWHXD White	DSSXD Sandstone; DDBTXD Textured dark bronze; DBLBXD Textured black; DNATXD Textured natural aluminum	DWHGXD Textured white; DSSTXD Textured sandstone

Accessories
Ordered and shipped separately.

DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXW1WG U	Wire guard accessory
DSXW1VG U	Vandal guard accessory

NOTES

1. MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options), or photocontrol (PE option).
2. Only available with 20C, 700mA or 1000mA. Not available with PIR or PIRH.
3. Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.
4. Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
5. PIR and PIR1FC3V specifies the Sensor Switch SBGR-10-ODP control; PIRH specifies the Sensor Switch SBGR-6-ODP control; see Motion Sensor Guide for details. Includes ambient light sensor. Not available with "PE" option (button type photocell). Dimming driver standard. Not available with 20 LED/1000 mA configuration (DSXW1 LED 20C 1000).
6. Cold weather (-20C) rated. Not compatible with conduit entry applications. Not available with BBW mounting option. Not available with fusing. Not available with 347 or 480 voltage options. Emergency components located in back box housing. Emergency mode IES files located on product page at www.lithonia.com
7. Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option. Not available with ELCW.
8. Also available as a separate accessory; see Accessories information.
9. See the electrical section on page 3 for more details.

W2

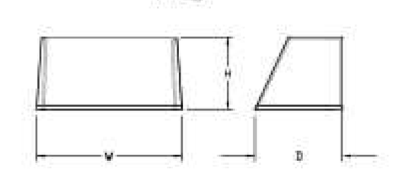
WST LED
Architectural Wall Sconce

Catalog Number	
Notes	
Type	

Specifications

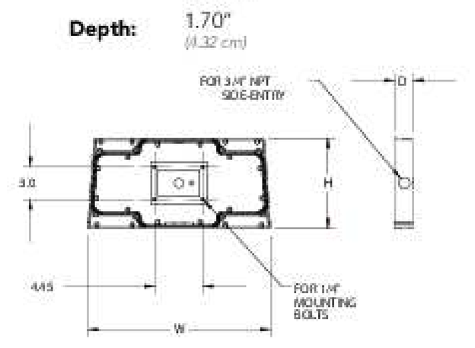
Luminaire

Height:	8-1/2" (21.59 cm)
Width:	17" (43.18 cm)
Depth:	10-3/16" (25.9 cm)
Weight:	20 lbs (9.1 kg)



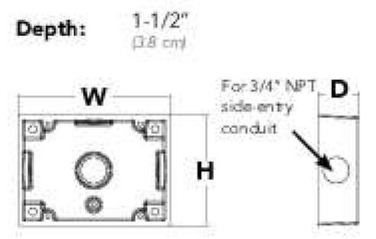
Optional Back Box (PBBW)

Height:	8.49" (21.56 cm)
Width:	17.01" (43.21 cm)
Depth:	1.70" (4.32 cm)



Optional Back Box (BBW)

Height:	4" (10.2 cm)
Width:	5-1/2" (14.0 cm)
Depth:	1-1/2" (3.8 cm)



A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability1
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background¹

To learn more about A+, visit www.acuitybrands.com/aplus.

See ordering tree for details.

A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: Link to Roam; Link to DTL DLL

W3

OLWX LED Wall Luminaire

Ordering Information

EXAMPLE: OLWX2 LED 150W 50K DDB

OLWX1 LED & OLWX2 LED

Series	Performance Package	Color temperature	Voltage	Control Options	Finish
OLWX1 LED	13W; 20W; 40W	40K 4000K¹; 50K 5000K	(blank) MVOLT²; 120 120V³; 347 347V	(blank) none; PE 120V Button Photocell¹³	DDB Dark bronze
OLWX2 LED	90W; 150W				

Flood Light Accessories	
OLWX1TS	Slipfitter – size 1
OLWX1YK	Yoke – size 1
OLWX1THK	Knuckle – size 1
OLWX2TS	Slipfitter – size 2
OLWX2YK	Yoke – size 2

Notes

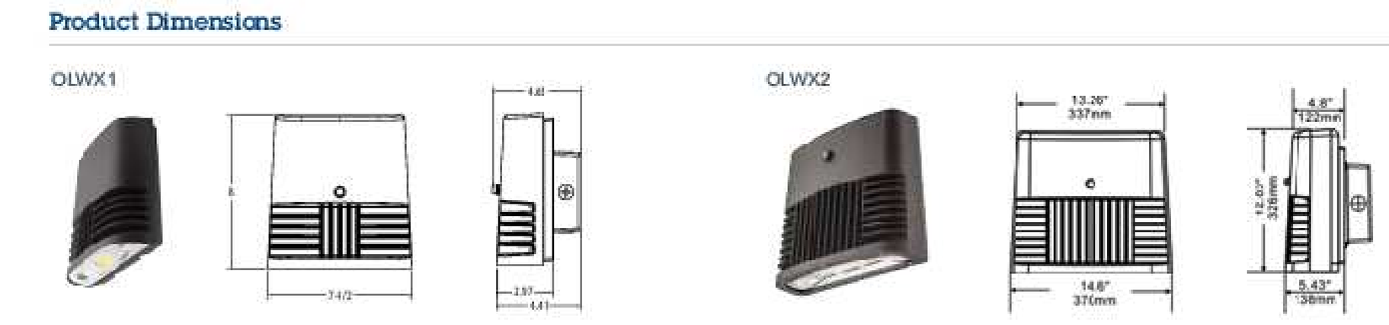
1. Not available with 347V option
2. MVOLT driver operates on any line voltage from 120-277V (50/60 Hz)
3. Specify 120V when ordering with photocell (PE option)

Wall Mounting Options

Flood Mounting Options

** Flood mounting accessories sold separately. Top Visor and Vandal Guard included with purchase of any flood mount accessory.

Product Dimensions



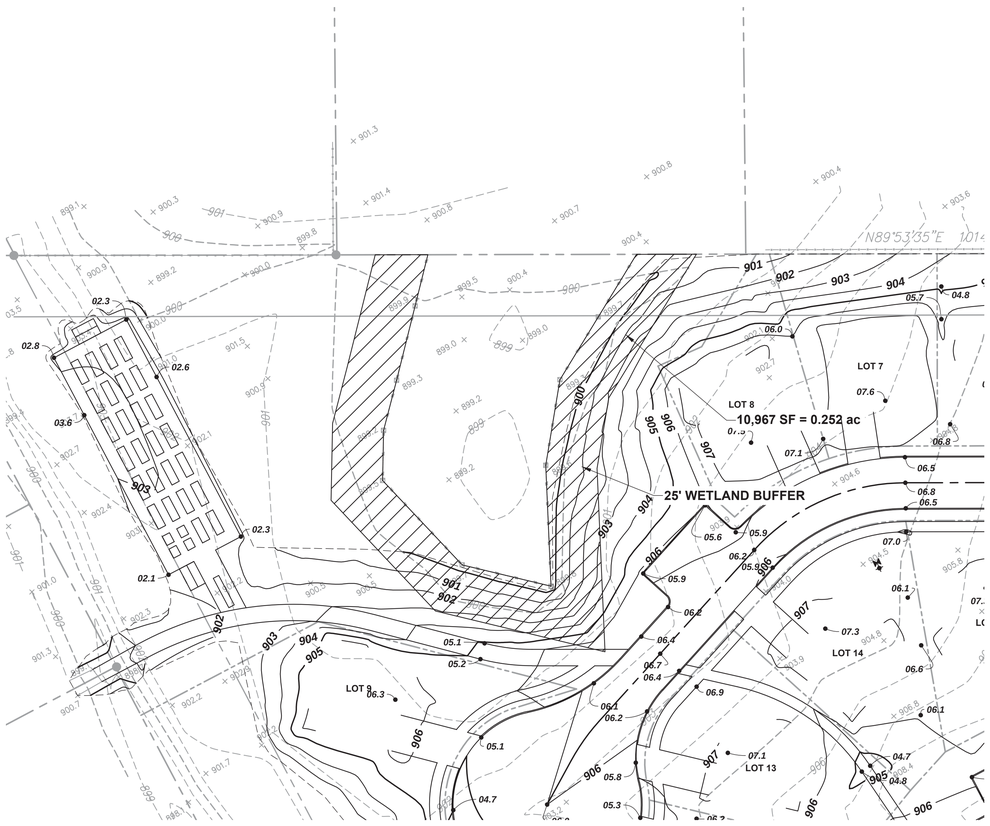
Learn more about our LED floodlighting solutions at www.lithonia.com

AcuityBrands.

VISUAL

Prelimiary Site Photometrics

Designer
RH
Date
10/5/2018
Scale
Not to Scale
Drawing No.
E2
Summary
Lighting Cutsheets



WETLAND BUFFER AREA
SCALE: 1" = 30'

0 15 30

LYNGBLOMSTEN SENIOR COMMUNITIES
HODGSON ROAD
LINO LAKES, MN 55014

LYNGBLOMSTEN

1415 ALMOND AVE W
ST. PAUL, MN 55108

WOLD ARCHITECTS AND ENGINEERS
332 Minnesota Street, Suite W2000
Saint Paul, MN 55101

woldae.com | 651.227.7773

ANDERSON - JOHNSON ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE • *SITE PLANNING* • *CIVIL ENGINEERING*
7171 GOLDEN VALLEY ROAD SUITE 200 MINNEAPOLIS, MN 55427
FAX (763) 544-0501 PH (763) 544-7129

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed **PROFESSIONAL ENGINEER** under the laws of the State of **MINNESOTA**

DAVID A. REY
Registration Number **40180** Date

Revisions		
Description	Date	Num

Commr: XXX
Date: XXXX
Drawn: BJD
Check: DAR

North

WETLAND BUFFER MAP

Scale: 1" = 30'

C0.00

Memorandum

To: **Environmental Board**

From: **Marty Asleson**

Date: **February 6, 2019**

Re: **Item 6B, 2019 Environmental Board Goals**

At the November 28th Environmental Board meeting, we reviewed the 2018 goals and discussed the goals for 2019. The following comments were made:

Minutes:

- Suggestion was made to be more visible to the public; such as more community events
- Schedule site visits to wetland banking and conservation easement areas, and invite residents to share their thoughts and learn more about these easements
- Circulate educational material more frequently throughout the year
- Look at past meeting notes pertaining to goals. Use this information to develop future goals and/or keep a running journal throughout the year where ideas can be readily pulled from to create the upcoming years set goals.

My Recollection:

Consolidate some of the built points from 2018 Goals, and reorder.

Lino Lakes Environmental Board 2019 Goals
Draft

1. Review new development and construction plan applications for Environmental quality, and encourage a conservation development approach in these reviews. The City Comprehensive Plan reflects citizen's 2040 vision for Lino Lakes and the values expressed in the Resource Management System portion should be used in the review of development proposals.

2. Promote environmental stewardship and conservation opportunities with Lino Lakes' citizens through outreach and participation in city-sponsored events.

3. Implement public education activities to promote water conservation and protection... Continue to evaluate wetland bank opportunities to support natural resource restoration and protection. Support quality surface water management and water conservation projects. Collaborate with Rice Creek Watershed District, Vadnais Lakes Area Water Management Organization, and city staff to promote development and practices that renew, preserve, and restore surface water including lakes, stream and wetlands.

4. Partner with Anoka County Recycling Resource Solutions to meet or exceed our city recycling goal of 50 % (2,158 tons) of our municipal solid waste. Maintain or expand organics program. Find innovative ways to promote and expand recycling in the City.

5. Evaluate at least 3 past Environmental Board development projects to help inform future Environmental Board recommendations.

6. Support the Community Garden site in conjunction with the Parks Department. Assist with garden modifications that may be needed because of the 2017 land sale.

7. Continue implementation of the Lino Lakes EAB Plan. Update the plan as needed based on the 2017 identification of EAB in Lino Lakes, experience gained during implementation, and rapidity of the spread of EAB throughout the City's forests. Offer residents opportunities for tree purchasing and possibly tree treatment. Obtain interns and train them in Ash Tree Treatment. Continue treating a third of our City boulevard trees.

8. Continue to monitor the Heron rookery in Peltier Lake and to support the protection of resources in that area. Update Council on these matters. Recruit volunteers, as needed, to help with rookery maintenance and monitoring.

9. Support the maintenance of established conservation easement areas where funding is available. Conduct education as needed for homeowners near or adjacent to these easements.

10. Support EAB management and tree planting opportunities for residents.