

**CITY OF LINO LAKES
PLANNING & ZONING BOARD MEETING**

Wednesday, July 13, 2022

6:30 p.m.

Council Chambers

Please be courteous and turn off all electronic devices during the meeting.

AGENDA

1. CALL TO ORDER AND ROLL CALL
2. PLEDGE OF ALLEGIANCE
3. APPROVAL OF AGENDA
4. APPROVAL OF MINUTES: May 11, 2022 & June 22, 2022
5. OPEN MIKE
6. ACTION ITEMS
 - A. Otter Crossing 2nd Addition Final Plat
 - B. Watermark 5th Addition PUD Final Plan/Final Plat
 - C. 6966 and 6970 Lake Drive Lot Combination Variance
 - D. Villas on Vicky PUD Concept Plan Review
7. DISCUSSION ITEMS
 - A. Zoning Ordinance Update-Rural Cluster Development, Kevin Shay, Landform
 - B. Project Updates
8. ADJOURN

Meeting guidelines on reverse side.

City of Lino Lakes Planning & Zoning Board MEETING GUIDELINES

Open Mike – The purpose of a Board Meeting is to accomplish the business of the city. When presenting at a meeting please remember to be respectful, and follow these guidelines:

- Please address the meeting chair.
- State your name and address for the record.
- Please observe a 4-minute limit.
- The topic must relate to city business.
- Open Mike is for items not on the agenda.
- A spokesperson must represent a group of five or more – groups will have 8 minutes.
- The Presiding Officer may limit duplicative presentations.
- Remember, the meeting is to discuss city business only.

Public Hearing - Held as a separate item of business on the agenda. The public hearing segment is your opportunity to tell the Board how you feel about issues scheduled to be heard. Typically, a hearing follows these steps:

- The Presiding Officer (Chair or Vice-Chair) will announce the proposal to be reviewed and ask for the staff report. The presiding Officer shall maintain strict order and etiquette at all meetings.
- Staff will present their report on the proposal.
- Board members will then ask City Staff questions about the proposal.
- The Presiding Officer will then open up the public hearing for anyone present who wishes to comment on the proposal. This is the time for the public to make comments or ask questions about the proposal.
Comments should be limited to four (4) minutes unless further time is granted by the Presiding Officer. All comments should be directed to the Board as a body and not to any individual Board Member or City Staff Member unless permission is granted by the Presiding Officer. No person shall be permitted to enter into any discussion, either directly or through a member of the Board without the permission of the Presiding Officer.
- After everyone in the audience wishing to speak has given his/her comments, the Presiding Officer shall close the public hearing.
- The Board will then discuss the proposal. No further public comments are allowed.
- The Board will then make a recommendation(s) and/or a decision.

When you are called upon for your comments, please step to the microphone at the podium and state your name and address for the record.

Occasionally, the Board may continue a hearing to another meeting before taking action.

Meeting Etiquette

The Planning & Zoning Board must preserve order and decorum while the meeting is in session. A resident shall not, by conversation or otherwise, delay or interrupt the proceedings or the business of the Board, nor disturb any resident or Board Member while speaking or refuse to obey the orders of the Board.

**CITY OF LINO LAKES
PLANNING & ZONING BOARD MINUTES**

| | |
|-------------------------|---|
| DATE: | May 11, 2022 |
| TIME STARTED: | 6:30 P.M. |
| TIME ENDED: | 7:53 P.M. |
| MEMBERS PRESENT: | Paul Tralle (Chair), Isaac Wipperfurth, Nathan Vojtech, Michael Root, Perry Laden, Ken Kennedy, Neil Evenson |
| STAFF PRESENT: | Michael Grochala, Katie Larsen, Kelsey Gelhar, Janele Waterman |

I. CALL TO ORDER AND ROLL CALL:

Chair Tralle called the Lino Lakes Planning and Zoning Board meeting to order at 6:30 p.m. on May 11, 2022.

II. PLEDGE OF ALLEGIANCE

III. APPROVAL OF AGENDA

The agenda was approved as presented.

IV. ELECTION OF CHAIR AND VICE CHAIR

Mr. Root made a MOTION to nominate Mr. Tralle as the Chair of the Planning and Zoning Board. Mr. Laden made a MOTION to nominate Mr. Root as the Vice Chair of the Planning and Zoning Board. Motioned carried 7 – 0.

V. APPROVAL OF MINUTES:

Mr. Vojtech made a MOTION to approve the April 13, 2022 meeting minutes. Motion was supported by Mr. Kennedy. Motion carried 5 – 0. Chair Tralle and Mr. Evenson abstained.

VI. OPEN MIKE

Chair Tralle declared Open Mike at 6:32 p.m.

There was no one present for Open Mike.

Mr. Laden made a MOTION to close Open Mike at 6:32 p.m. Motion was supported by Mr. Evenson. Motion carried 6 – 0. Chair Tralle abstained.

VII. ACTION ITEMS

A. PUBLIC HEARING: Otter Crossing 2nd Addition Preliminary Plat and Tidal Wave Auto Spa Conditional Use Permit

Ms. Larsen, City Planner, presented the staff report.

Tyme Properties, LLC. submitted a land use application for a preliminary plat for Otter Crossing 2nd Addition in order to create two (2) commercial lots. Bowman submitted a separate land use application for a conditional use permit and site plan review for a commercial car wash called Tidal Wave Auto Spa which will be located on Lot 1 of the preliminary plat.

Staff recommended approval of the Otter Crossing 2nd Addition preliminary plat and the Tidal Wave Auto Spa commercial car wash conditional use permit and building plan review subject to conditions listed in the staff report.

John LaPointe, 3708 W. Swann Avenue, Suite 200, Tampa, FL 33609, with Brightwork Real Estate was present to represent Tidal Wave Auto Spa. The Board asked Mr. LaPointe what payment methods would be accepted at the car wash.

Mr. LaPointe stated credit cards and cash would be accepted at the facility. He explained, although they are a membership based car wash, customers will have the option to pay on a per use basis. He also noted the operation will be an automatic tunnel car wash. Additionally, Mr. LaPointe informed the Board Tidal Wave Auto Spa is highly dedicated to the reuse system because the system helps control costs, control water consumption, and it is environmentally friendly. He noted the entire car wash system is built around utilizing the reuse water.

The Board liked the layout of the site and the facility's architecture.

Chair Tralle declared the Public Hearing open at 6:55 p.m.

There was no one present for the public hearing.

Mr. Vojtech made a MOTION to close the Public Hearing at 6:55 p.m. Motion was supported by Mr. Wipperfurth. Motion carried 6 – 0. Chair Tralle abstained.

Mr. Root made a MOTION to recommend approval of the Otter Crossing 2nd Addition preliminary plat and the Tidal Wave Auto Spa commercial car wash conditional use permit and building plan review subject to conditions listed in the staff report. Motion was supported by Mr. Evenson. Motion carried 6 – 0. Chair Tralle abstained.

B. PUBLIC HEARING: Otter Lake Animal Care Center Conditional Use Permit Amendment

Ms. Larsen, City Planner, presented the staff report.

Otter Lake Animal Care Center is located at 6848 Otter Lake Road. Dr. Wayne Scanlan, the applicant, is proposing to construct a 2,850 sq. ft. addition to the existing 4,000 sq. ft. building. The applicant is also proposing to expand the existing parking lot. The current site is approximately 1.51 acres.

Staff recommended approval of the conditional use permit amendment and site plan review for Otter Lake Animal Care Center subject to conditions listed in the staff report.

The Board was fond of the building's architecture.

Chair Tralle declared the Public Hearing open at 7:10 p.m.

There was no one present for the public hearing.

Mr. Wipperfurth made a MOTION to close the Public Hearing at 7:10 p.m. Motion was supported by Mr. Vojtech. Motion carried 6 – 0. Chair Tralle abstained.

Mr. Wipperfurth made a MOTION to recommend approval of the conditional use permit amendment and site plan review for Otter Lake Animal Care Center subject to conditions listed in the staff report. Motion was supported by Mr. Evenson. Motion carried 6 – 0. Chair Tralle abstained.

VIII. DISCUSSION ITEMS

A. Zoning Ordinance Update (Home Occupation Permits)

Ms. Larsen, City Planner, presented the staff report. She requested feedback from the Planning and Zoning Board regarding level c home occupation permits.

The Board recommended editing the level c home occupation permit requirements to only allow such permits on properties zoned rural, future urban development, or rural executive. Within the current zoning ordinance, a conditional use permit is required in order to apply for a level c home occupation permit; the Board recommended replacing the conditional use permit with an interim use permit.

B. Clearwater Creek Business Park Expansion

Mr. Grochala, Community Development Director, presented the staff report. The proposed industrial project would fully develop the 35 acre site north of Clearwater

Creek. He requested feedback from the Planning and Zoning Board regarding changing the land use from commercial to business campus.

Mr. Wipperfurth noted he did not support the street connection of 21st Avenue and Cedar Street. He was concerned delivery trucks would try to exit onto Cedar Street which would increase traffic near the residential neighborhood. He recommended keeping the streets disconnected in order to create more separation between the industrial and residential area. Mr. Wipperfurth also commented it would be nice if a bike trail was constructed along 21st Avenue up to Main Street.

Mr. Grochala stated a trail along 21st Avenue up to Main Street has already been planned. He noted Cedar Street will likely be a future collector road and it will be the location of a future overpass.

Overall, the Board was supportive of the proposed industrial project and they recommended changing the land use from commercial to business campus.

C. Project Updates

Staff provided verbal updates to the Board on current City projects.

IX. ADJOURNMENT

Mr. Laden made a MOTION to adjourn the meeting at 7:53 p.m. Motion was supported by Chair Tralle. Motion carried 7 – 0.

Respectfully submitted,
Janele Waterman, Community Development Administrative Assistant

**CITY OF LINO LAKES
PLANNING & ZONING BOARD WORK SESSION MINUTES**

| | |
|-------------------------|---|
| DATE: | June 22, 2022 |
| TIME STARTED: | 6:05 P.M. |
| TIME ENDED: | 7:49 P.M. |
| MEMBERS PRESENT: | Paul Tralle (Chair), Nathan Vojtech, Michael Root, Perry Laden, Neil Evenson |
| MEMBERS ABSENT: | Isaac Wipperfurth, Ken Kennedy |
| STAFF PRESENT: | Michael Grochala, Katie Larsen, Janele Waterman |

I. DISCUSSION ITEMS

A. Zoning Ordinance Update – Cluster Development and Architectural Design Standards, Landform and City Staff

Ms. Kendra Lindahl, Landform, presented the staff report. She requested feedback from the Planning and Zoning Board regarding the rural cluster ordinance, whether or not to allow the urban cluster option within the future urban development district, and building design requirements for multi-family, commercial, industrial, and institutional uses.

The Board stated they would like to continue the rural clusters discussion at the next meeting. They asked staff to make sure the ordinance is included in the packet. The majority of the Board agreed with staff's recommendation that no clusters be allowed within the future urban development district. Overall, the Board agreed with staff's recommendations regarding building design requirements for multi-family, commercial, industrial, and institutional uses. Regarding commercial, industrial, and institutional uses, Mr. Laden recommended staff include thin brick veneer as an allowed class 1 material option. He also recommended including exterior material flexibility if the applicant is pursuing a different architectural style and if the City approves. Lastly, Mr. Laden recommended staff define top for commercial buildings with flat roofs.

II. ADJOURNMENT

The meeting adjourned at 7:49 p.m.

Respectfully submitted,
Janele Waterman, Community Development Administrative Assistant

DRAFT MINUTES

**PLANNING & ZONING BOARD
AGENDA ITEM 6A**

STAFF ORIGINATOR: Katie Larsen, City Planner

P & Z MEETING DATE: July 13, 2022

REQUEST: Otter Crossing 2nd Addition Final Plat

CASE NUMBER: FP2022-002

APPLICANT: Tyme Properties, LLC
Attn: Paul Schreier
3435 Labore Road Suite 150
Vadnais Heights, MN 55110

OWNER: Same

REVIEW DEADLINE:

| | |
|--------------------------------------|------------------|
| Complete Application Date: | June 13, 2022 |
| 60-Day Review Deadline: | August 12, 2022 |
| 120-Day Review Deadline: | October 11, 2022 |
| Environmental Board Meeting: | NA |
| Park Board Meeting: | NA |
| Planning & Zoning Board Meeting: | July 13, 2022 |
| Tentative City Council Work Session: | August 1, 2022 |
| Tentative City Council Meeting: | August 8, 2022 |

BACKGROUND

The applicant, Tyme Properties, LLC, submitted a land use application for the final plat of Otter Crossing 2nd Addition. The plat creates two (2) commercial lots.

Tidal Wave Auto Spa will be constructed on Lot 1, Block 1. The June 13, 2022 City Council staff report and resolutions detail the site and building plan review and conditional use permit for the car wash. Lot 2 is for future commercial development.

This staff report is based on the following information:

- Otter Crossing 2nd Addition Preliminary Plat & Site Plans prepared by Pioneer Engineering dated June 9, 2022
- Otter Crossing Concept Plan-Area Exhibit prepared by Pioneer Engineering dated April 20, 2021
- Otter Crossing 2nd Addition Final Plat prepared by Pioneer Engineering received on June 22, 2022
- Storm Water Management Plan prepared by Pioneer Engineering revision date June 22, 2021
- Cost Estimate prepared by Pioneer Engineering dated June 9, 2022
- Title Commitment issued by First American Title Insurance Company dated May 25, 2022

Previous Council approvals:

- June 13, 2022: Resolution No. 22-55 Approving Preliminary Plat for Otter Crossing 2nd Addition
- June 13, 2022: Resolution No. 22-56 Approving Conditional Use Permit for Tidal Wave Auto Spa

ANALYSIS

Zoning and Land Use

The parcels within the final plat are zoned GB, General Business.

| | |
|-------------------------------|----------------------|
| Current Zoning | GB, General Business |
| Current Land Use | Vacant Commercial |
| Future Land Use per CP | Commercial |
| Utility Staging Area | 1A=2018-2025 |

Subdivision Ordinance

Conformity with the Comprehensive Plan and Zoning Code

The final plat is consistent with preliminary plat. The preliminary plat is consistent with the comprehensive plan for commercial development and zoning code requirements for GB, General Business as detailed below.

Blocks and Lots

The preliminary plat and final plat contain Lots 1 and 2, Block 1 and Outlot A, Otter Crossing 2nd Addition. Outlot A is for future development, stormwater management facilities and private street. Lots 1 and 2 meet minimum lot size (20,000 sf) and lot width (100 ft) requirements.

| Parcel | Size | Lot Width | Purpose |
|------------------------------|---------------------------------------|------------------|---|
| Lot 1, Block 1 | 1.06 acres | 178 ft | Commercial Car Wash |
| Lot 2, Block 1 | 1.24 acres | 205 ft | Future development |
| Outlot A | 23.53 acres 22.72 acres | NA | Future development, SW facilities, private street |
| Otter Lake Road Right-of-Way | 0.81 acres | NA | Street Right-of-Way |
| TOTAL | 25.83 acres | | |

Since there are no underlying preliminary plat and development plans for Outlot A, it will remain one (1) outlot until time of future development. The outlot will then be preliminary and final platted.

Street right-of-way was dedicated along Otter Lake Road reducing the size of Outlot A from 23.53 to 22.72.

Streets and Alleys

A private street from Otter Lake Road currently exists across the north boundary of Lot 1, Block 1, Otter Crossing 1st Addition. The private street will extend along the north boundary of Lot 1 and 2, Otter Crossing 2nd Addition. A new or amendment to the existing Declaration of Driveway Easement shall be recorded over the private street detailing maintenance responsibilities are the developers. The City is not responsible for maintenance of the private street.

Public street improvements such as a southbound right turn lane from Otter Lake Road onto CSAH 14 (Main Street) and pedestrian crossing were completed with Otter Crossing 1st Addition. No other public street improvements are required for the 2nd Addition.

The private street is proposed at 32ft wide back to back. This is consistent with the existing private street along Lot 1, Otter Crossing 1st Addition.

An additional 60 ft of street right-of-way has been dedicated along Otter Lake Road to the north lot line of Outlot A.

A Declaration of Access Control was recorded with Otter Crossing 1st Addition and remains in place. The Declaration states the private street will have full access to Otter Lake Road, but such full access shall be reduced to right-in, right-out access upon further extension of the Otter Lake Road to the north.

Tyme Properties submitted a revised concept plan the accurately depicts the existing and proposed street and lot layouts.

Easements

Standard drainage and utility easements at least 10 feet wide have been provided on Lot 1 and Lot 2. A drainage and utility easement shall be dedicated over the cul de sac at least 15ft from the curb on the Otter Crossing 2nd Addition final plat.

A drainage and utility easement was recorded over the private street and the stormwater pond facilities on Otter Crossing 1st Addition final plat. Previously recorded highway easements and utility easements along CSAH 14 (Main Street) exist on site.

Public Land Dedication

The City will collect a cash fee of \$2,520 per acre per platted lot in lieu of land dedication for commercial development. These fees will be calculated on the commercial lot areas of Lot 1 and Lot 2.

| Otter Crossing 2nd Addition | |
|--|-------------------|
| Commercial Lot Acres = | 2.3 |
| x Park Dedication Fee = | \$2,520 |
| Subtotal = | \$5,796.00 |
| Negative Balance from 1st Addition Trail Construction Credit = | (\$5,434.30) |
| TOTAL CASH FEE DUE = | \$361.70 |

The negative balance from the 1st Addition trail construction costs is carried over to the 2nd Addition final plat.

Site and Building Plan Review

As noted above, Tidal Wave Auto Spa will be constructed on Lot 1, Block 1. The June 13, 2022 City Council staff report and resolutions detail the site and building plan review and conditional use permit for the car wash. Development of Lot 2 will require full site and building plan review.

Signage

A separate sign permit application shall be submitted prior to signage installation.

Agreements

Stormwater Maintenance Agreement

The stormwater facilities on the site will be privately maintained and a Stormwater Maintenance Declaration will be required.

Development Agreement and Final Plat

A Development Agreement will be prepared by the City as it relates to the final plat and development.

Findings of Fact-Final Plat

The Planning and Zoning Board shall consider the final plat and the Community Development Department shall forward the Planning and Zoning Board recommendations to the City Council. The following requirements shall be met before consideration of the final plat by the Planning and Zoning Board:

1. The final plat shall substantially conform to the approved preliminary plat and phasing plan.

The final plat substantially conforms with the revised preliminary plat.

2. For plats that consist solely of individual single family residential lots, final plat applications for subsequent phases shall not be approved until building permits have been issued for 40% of lots in the preceding phase. This division applies only when the preceding phase consists of 40 or more lots; and

Not applicable. The final plat is for a commercial development.

3. Conditions attached to approval of the preliminary plat shall be substantially fulfilled or secured by the development agreement, as appropriate.

The conditions of the preliminary plat have been substantially fulfilled. Outstanding conditions listed below need to be addressed prior to release of the final plat mylars. Securities will be required with a Development Agreement.

RECOMMENDATION

Staff recommends approval of the Otter Crossing 2nd Addition final plat with the following conditions:

1. The Declaration of Driveway Easement detailing the developer's maintenance responsibilities of the private street and related appurtenances shall be amended and recorded to include the new private street, cul de sac, sidewalk, etc.
2. The stormwater facilities (e.g. stormwater pond and pipe) will be privately owned and maintained as detailed in the Declaration for Maintenance of Stormwater and Declaration of Driveway Easement.

3. The municipal watermain, sanitary sewer and trail will be publicly owned and maintained.
4. The Declaration of Access Control regulates access along Otter Lake Road.

The following items being addressed prior to release of final plat mylars:

1. A Development Agreement shall be approved by the City Council.
2. A draft copy of the amended Declaration of Driveway Easement shall be submitted to the City for review and approval prior to recording.
 - a. An exhibit and legal description detailing the location of the easement shall be drafted and included with the Declaration.
3. Final Plat:
 - a. The drainage and utility easement shall extend 15 ft from the cul de sac curb.

The following items being addressed prior to issuance of a grading permit:

1. City Engineer Letter dated July 6, 2022
2. PDF's of the following executed and recorded documents shall be submitted to the City:
 - a. Development Agreement
 - b. Declaration of Driveway Easement

ATTACHMENTS

1. City Engineer Letter dated July 6, 2022
2. Revised Preliminary Plat
3. Final Plat

Memorandum

To: Katie Larsen, City Planner, City of Lino Lakes

From: Kelsey Gelhar, Engineer, WSB
Diane Hankee, City Engineer, City of Lino Lakes

Date: July 6, 2022

Re: Otter Crossing 2nd Addition
Final Plat and Plan Review
WSB Project Number – 020301-000

WSB has reviewed preliminary plat and site plans for the Otter Crossing 2nd Addition in Lino Lakes, MN, prepared by Pioneer Engineering received on April 6, 2022. These comments are based on the following plan sets and documents:

- Otter Crossing 2nd Addition Preliminary Plat & Site Plans prepared by Pioneer Engineering dated April 1, 2022, revised June 9, 2022.
- Storm Water Management Plan prepared by Pioneer Engineering dated July 6, 2020, revised June 22, 2021
- Stormwater Pollution Prevention Plan prepared by Pioneer Engineering dated March 5, 2021
- Preliminary Geotechnical Exploration Report prepared by Haugo Geotechnical Services dated February 7, 2020, amended March 9, 2021 (submitted with Otter Crossing 1st Addition)

Applicant to respond to these comments in writing on this word document. Any changes to the plans that are not associated with these comments shall be identified by either a summary in the response or in the plans with a revision cloud or note.

Pioneer Engineering response in Red 6/8/2022
WSB 7/6/2022 new comments and responses in blue

Engineering

- **General**

The Otter Crossing 2nd Addition project proposes to extend the sanitary sewer, watermain, storm sewer, and road to the west approximately 325 feet from the end of the Otter Crossing 1st Addition limits. The preliminary plat creates two lots on the south side of the private street, Street A.

Comments:

1. (5/4/2022) The final construction plans shall include a note that references the current version of the City Standard Specifications for Construction. **Note Added (7/6/2022) Applicant to add note to the final Site Plans.**
2. (5/4/2022) Applicant to submit an updated overall concept plan. The submitted plan does not match what is proposed with the 2nd Addition plans and should

detail what the long term plan is for storm water management as it appears that the pond will need to be removed. ~~New Concept Plan has been submitted.~~

3. (5/4/2022) MnDOT updated their curb ramp standard plans in 2021. They are housed on the Accessibility page of the MnDOT website [here](#). ~~New plans added.~~

- **Grading & Stormwater Management**

The Otter Crossing 2nd Addition project will require site grading for the proposed roadway and sidewalk.

The proposed project is within the Rice Creek Watershed District (RCWD). Stormwater BMPs are needed to meet City stormwater requirements. The applicant is proposing to meet City stormwater requirements by utilizing a pond previously constructed with the 1st addition.

Comments:

1. (5/4/2022) Applicant to update grading near the pond as it appears to be encroaching on the high water level. ~~Plans have been updated~~
2. (5/4/2022) Insulation will be required wherever there is less than 2' of vertical separation between storm sewer and watermain or sanitary sewer. This appears to occur with utility connections from Lots 1 and 2 of Block 2 to the south of the proposed road alignment. ~~Plans have been updated~~
3. (5/4/2022) Applicant to update rational method pipe capacity calculations to include additional flows coming from upstream structures. ~~Additional Flows have been included in the rational design~~
4. (5/4/2022) In rational method calculations, applicant to correct the rim elevation of FES-101 into CBMH-203 to reflect elevation of proposed ground. Submitted plans indicate a ground elevation of approx. 917, much greater than the listed rim elevation of 913.79. ~~Rim elevations have been updated~~
5. (5/4/2022) Applicant to specify erosion control to be used at back of curb in the legend of sheet 4.1. ~~Plan has been updated~~
6. (5/4/2022) Applicant to remove the proposed inlet protection from the north side of the west end of Street A unless a catch basin is proposed there. ~~Plan has been updated~~
7. (5/4/2022) Grading shown on sheet 4.1 indicates ponding will occur in the NW corner of Street A, applicant shall revise grading to ensure all water is routed to catch basins. ~~Plan has been updated~~
8. (5/4/2022) The pond HWL should be 912.4 to reflect the elevation reached in the modeled 100-year snowmelt event. ~~Plan has been updated~~
9. (5/4/2022) Erosion control measures must be installed at FES-201 until final stabilization has been achieved. ~~Rip Rap to be installed with FES~~
10. (5/4/2022) Applicant to provide FES sheet piling detail for FES-201 (see City of Lino Lakes Standard detail plate STR-9). ~~Detail plate notes Sheet Piling for 36 inch and larger~~
11. (7/6/2022) Applicant to resize CBMH-204 to 72". The given size of 60" is not constructable for two 18" pipes with 60° and 0.77' invert difference between them.
12. (7/6/2022) Applicant to provide updated basin HWL and outflow rates if hydrologic modeling has changed significantly as a result of increased impervious from the cul-de-sac.

- **Water Supply**

There is currently an existing 8-inch diameter polyvinyl chloride (PVC) water main along Street A. The applicant is proposing to extend the 8" PVC watermain to the west and to provide 6" PVC stubs to Lot 1, Lot 2, and to the north to Outlot A.

Comments:

1. (5/4/2022) Pioneer Engineering design team to work with Bowman design team currently working on the Tidal Wave Auto Spa plans (proposed on Lot 1) to determine what utilities and being installed with each project. The utilities along Street A should be the same in both plan sets. For example, Tidal Wave Auto Spa plans show a fire suppression line connecting to the main as well as the service stub. The Tidal Wave Auto Spa plans can reference the Otter Crossing 2nd Addition plans for utilities installed with this project. **Plans have been coordinated**
2. ~~(5/4/2022) City staff does not want a secondary gate valve to be that close to the existing gate valve at Sta 2+92. Applicant can either remove and replace existing gate valve or test against the existing one. Revised existing valve to be utilized.~~

- **Sanitary Sewer**

There is currently an existing 8-inch diameter polyvinyl chloride (PVC) sanitary sewer along Street A. The applicant is proposing to extend the 8" PVC sanitary sewer to the west and to provide 6" PVC schedule 40 stubs to Lot 1, Lot 2, and to the north to Outlot A. The invert of the stub of the 1st Addition sanitary sewer is approximately 900.37.

Comments:

1. (5/4/2022) See Note 1 under Water Supply. **Plans have been coordinated**

- **Transportation**

Street A is proposed to be 32-ft wide from the back of curb to the back of curb. The proposed bituminous and aggregate section is allowed to deviate from City Standards per geotechnical evaluation provided with Otter Crossing 1st Addition.

The entrance to Lot 1 is proposed at 30-ft wide from the back of curb to the back of curb. No entrance to Lot 2 is proposed at this time. The applicant is proposing a 5-ft wide concrete sidewalk on the south side of Street A, which is consistent with the Otter Crossing 1st Addition plans.

Comments:

1. (5/4/2022) Street A will not be allowed to dead end at the pond. A cul-de-sac is required.
Cul de Sac added to plan
(7/6/2022) Applicant to update cul-de-sac radius to 46' per city standards.

- **Wetlands and Mitigation Plan**

Midwest Natural Resources prepared a Wetland Delineation Report dated September 4, 2019. A Notice of Decision was issued by RCWD on December 12, 2019. The Wetland

Delineation Report was submitted and reviewed with Otter Crossing 1st Addition. The project area is not located within the Lino Lakes Comprehensive Wetland Protection and Management Plan (CWPMP). The applicant is not proposing any wetland impacts with the 2nd Addition plans.

Staff does not have any comments at this time

- **Landscaping**

The applicant is proposing to use seed to restore all disturbed areas. Landscaping will be reviewed by the City's Environmental Coordinator.

Staff does not have any comments at this time.

- **Floodplain**

No floodplain is present on the site. Staff does not have any comments.

- **Drainage and Utility Easements**

Drainage and utility easements are proposed within the site where there is proposed storm sewer and stormwater management facilities, proposed watermain, and proposed sanitary sewer.

Per City Code, the City requires 10-ft wide drainage and utility (D&U) easements along plat boundaries and along lot lines. Drainage and utility easements along lot lines are allowed to be centered on common rear and side lot lines.

Comments:

1. ~~(5/4/2022) Applicant to dedicate 60-ft wide right-of-way from the north end of the existing Otter Lake Road right-of-way to the northern property line with the 2nd Addition plat. Plat Revised~~
2. (7/6/2022) Applicant to revise easement over cul-de-sac. Easement should extend 15' beyond the edge of the cul-de-sac.

- **Development Agreement**

A Development Agreement will be required with the Final Plat.

- **Grading Agreement**

A Grading Agreement is not applicable at this time.

- **Stormwater Maintenance Agreement**

The stormwater pond is privately maintained and a Stormwater Maintenance Declaration was provided with the Otter Crossing 1st Addition plat.

Comments:

1. (5/4/2022) Applicant to amend the Stormwater Maintenance Declaration from Otter Crossing 1st Addition to include changes to the storm facilities. Final declaration must be recorded.

- **Permits Required**

1. City of Lino Lakes Zoning Permit for Grading
2. NPDES General Construction Permit
3. Minnesota Pollution Control Agency
4. Minnesota Department of Health
5. Rice Creek Watershed District Permit

If you or the applicant has any questions regarding these comments, please contact Kelsey Gelhar at (612) 709-4897 or kgelhar@wsbeng.com. You may also contact Diane Hankee at (651) 982-2430 or dhankee@linolakes.us

OTTER CROSSING 2ND ADDITION

CITY OF LINO LAKES
COUNTY OF ANOKA
SEC. 24, T. 31, R. 22

KNOW ALL PERSONS BY THESE PRESENTS: That BLino, LLC, a Minnesota limited liability company, owner of the following described property:

Outlot A, OTTER CROSSING, according to the recorded plat thereof, Anoka County, Minnesota.

Has caused the same to be surveyed and platted as OTTER CROSSING 2ND ADDITION and does hereby dedicate to the public for public use the public way and the drainage and utility easements as shown on this plat. Also dedicating to the County of Anoka the right of access onto County State Aide Highway No. 14 as shown on this plat.

In witness whereof said BLino, LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officer this ____ day of _____, 20____.

BLino, LLC

signature

printed as _____
Title

STATE OF MINNESOTA
COUNTY OF _____

This instrument was acknowledged before me on _____ by _____ as _____ of BLino, LLC, a Minnesota limited liability company, on behalf of the company.

signature

printed
Notary Public, _____, County, Minnesota
My Commission Expires _____

SURVEYOR'S CERTIFICATE

I Peter J. Hawkinson do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this ____ day of _____, 20____.

Peter J. Hawkinson, Licensed Land Surveyor
Minnesota License No. 42299

STATE OF MINNESOTA
COUNTY OF _____

This instrument was acknowledged before me on this ____ day of _____, 20____ by Peter J. Hawkinson.

signature

printed
Notary Public, _____, County, Minnesota
My Commission Expires _____

CITY COUNCIL, CITY OF LINO LAKES, Minnesota

This plat of OTTER CROSSING 2ND ADDITION was approved and accepted by the City Council of the City of Lino Lakes, Minnesota at a regular meeting thereof held this ____ day of _____, 20____, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

City Council, City of Lino Lakes, Minnesota

By: _____
Mayor

By: _____
Clerk

COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, subd. 11, this plat has been reviewed and approved this day of _____, 20____.

By: _____
David M. Zieglmeier
Anoka County Surveyor

COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20____ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this ____ day of _____, 20____.

Property Tax Administrator
By: _____, Deputy

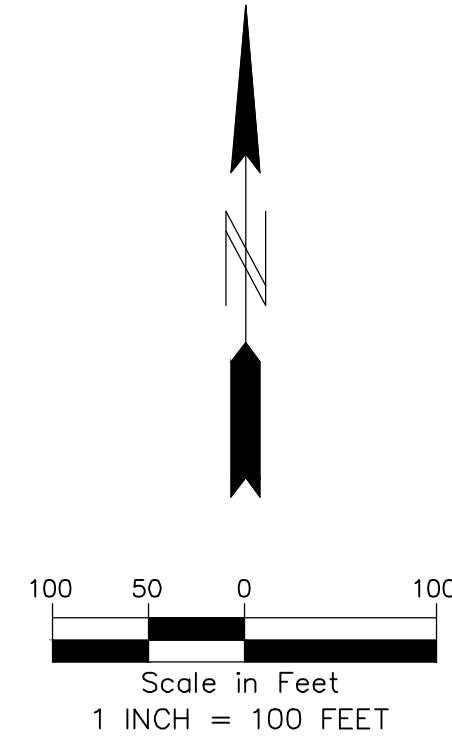
COUNTY RECORDER/REGISTRAR OF TITLES COUNTY OF ANOKA, STATE OF MINNESOTA

I hereby certify that this plat of OTTER CROSSING 2ND ADDITION was filed in the Office of the County Recorder/Registrar of Titles for public record on this ____ day of _____, 20____, at ____ o'clock ____ .M. and was duly recorded as Document Number _____.

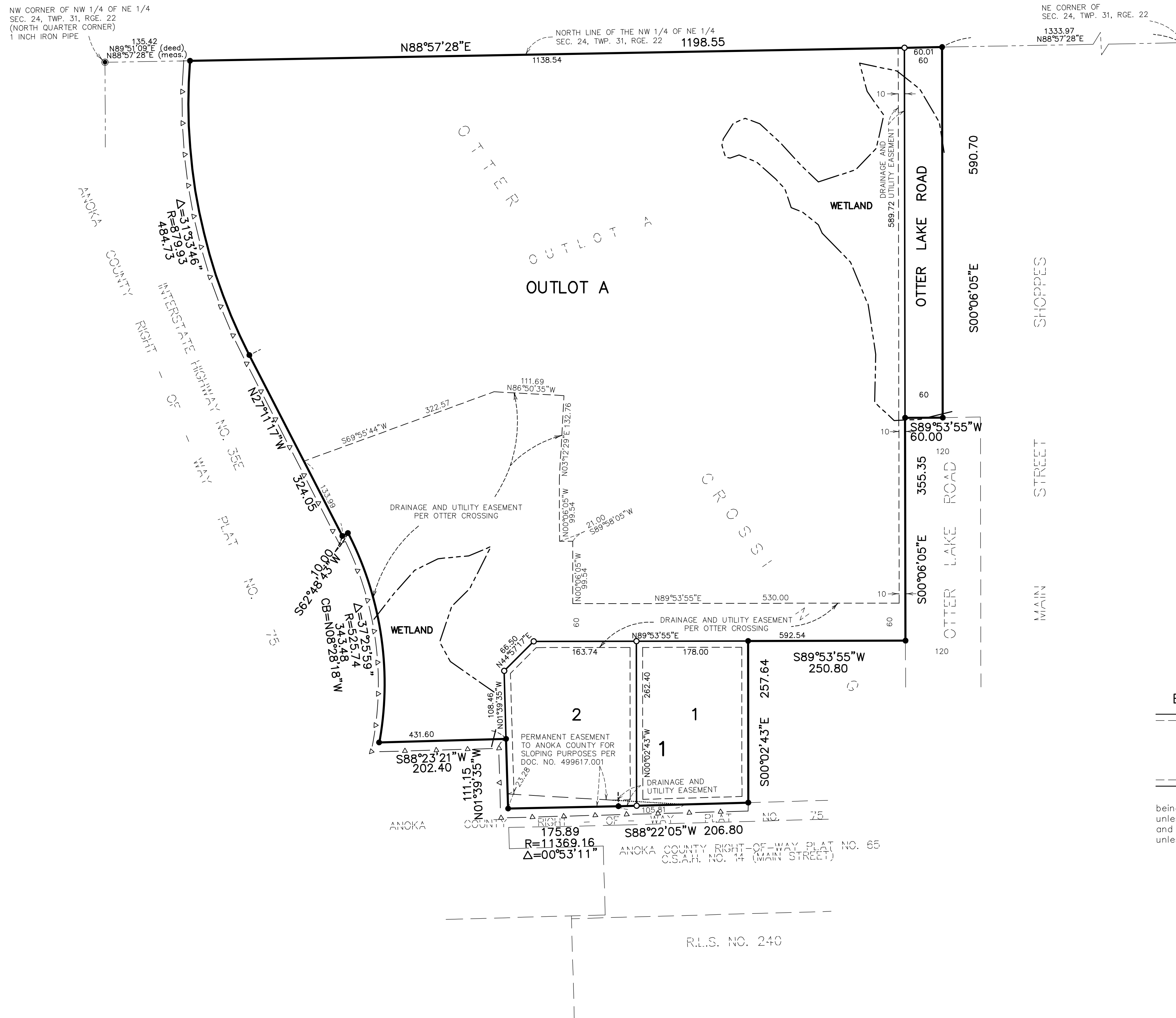
County Recorder/Registrar of Titles
By: _____, Deputy

OTTER CROSSING 2ND ADDITION

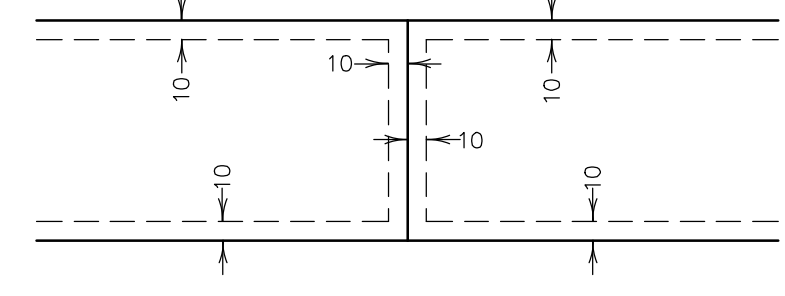
CITY OF LINO LAKES
 COUNTY OF ANOKA
 SEC. 24, T. 31, R. 22



SECTION 24, TWP. 31, RGE. 22
 LOCATION MAP
 NOT TO SCALE



DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



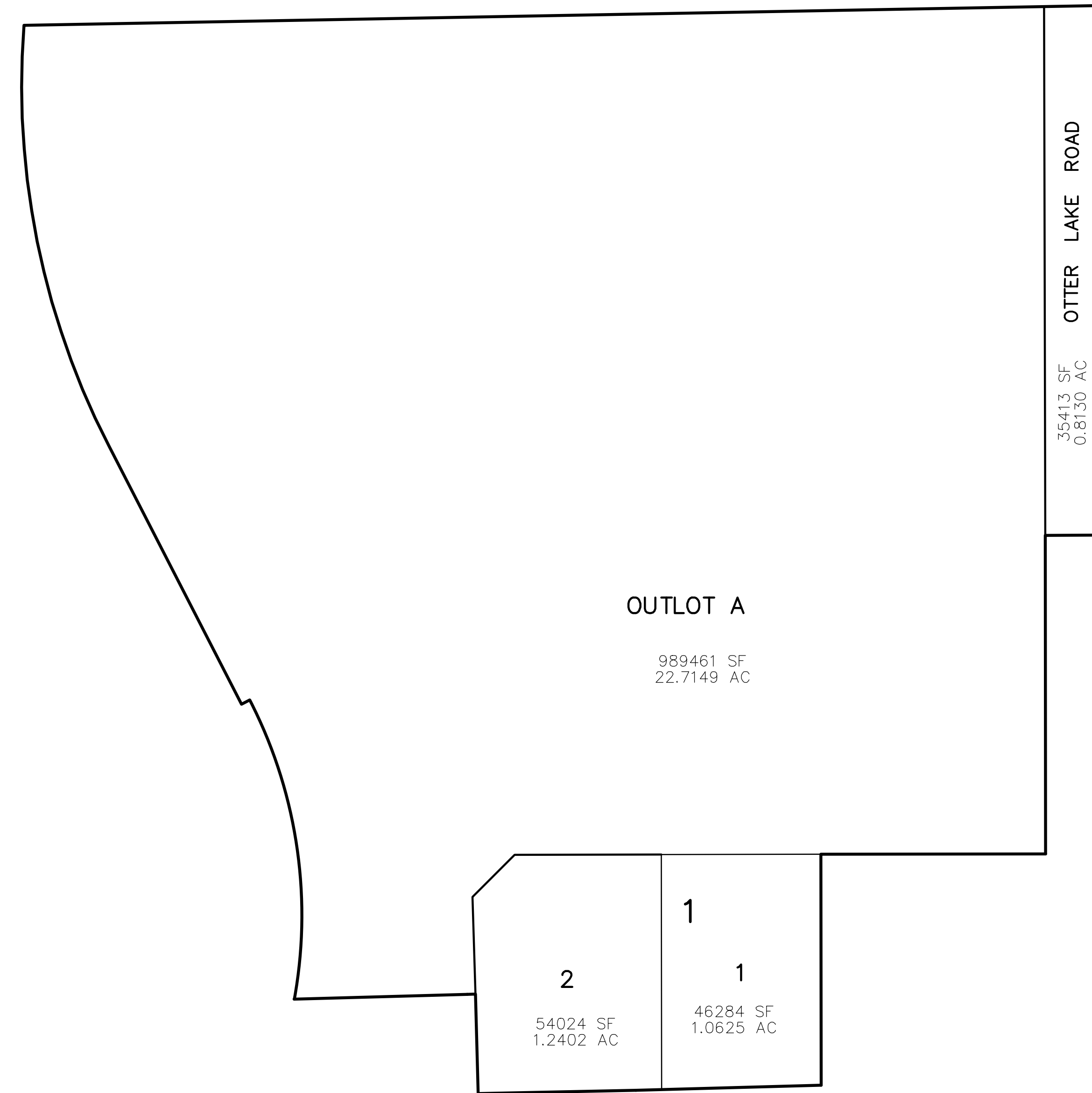
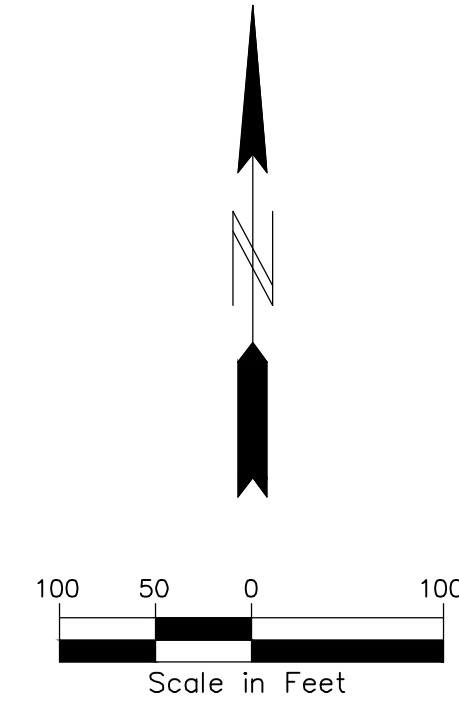
being 10 feet in width, and adjoining lot lines unless otherwise indicated, and 10 feet in width and adjoining street lines and rear lot lines unless otherwise indicated on the plat.

THE ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE NORTH LINE OF THE NW 1/4 OF THE NE 1/4 OF SEC. 24, TWP. 31, RGE. 22, WHICH IS ASSUMED TO HAVE A BEARING OF NORTH 88°57'28\"/>

- DENOTES FOUND CAST IRON MONUMENT
- DENOTES 1/2 INCH BY 14 INCH IRON PIPE MONUMENT SET AND MARKED BY LICENSE NUMBER 42299, OR WILL BE SET WITHIN ONE YEAR OF RECORDING OF THIS PLAT.
- DENOTES FOUND 1/2 INCH IRON PIPE MONUMENT MARKED BY LICENSE NUMBER 42299.
- △— DENOTES RIGHT OF ACCESS DEDICATED TO ANOKA COUNTY
- - - - DENOTES EDGE OF WET LAND

OTTER CROSSING 2ND ADDITION

AREA SKETCH



| AREA SUMMARY | | |
|---------------------|---------------|-------------|
| BLOCK 1 = | 46,284 SF. | 1.0625 AC. |
| TOTAL LOT AREA = | 46,284 SF. | 1.0625 AC. |
| TOTAL OUTLOT AREA = | 1,043,485 SF. | 23.9551 AC. |
| TOTAL R/W AREA = | 35,413 SF. | 0.8130 AC. |
| TOTAL AREA = | 1,125,182 SF. | 25.8306 AC. |

**PLANNING & ZONING BOARD
AGENDA ITEM 6B**

STAFF ORIGINATOR: Katie Larsen, City Planner

P & Z MEETING DATE: July 13, 2022

REQUEST: Watermark 5th Addition PUD Final Plan/Final Plat

CASE NUMBER: PF2022-001
FP2022-001

APPLICANTS: U.S. Home Corporation dba Lennar
Attn: Josh Metzger
16305 36th Avenue N., Suite 600
Plymouth, MN 55446

OWNER: U.S. Home Corporation

REVIEW SCHEDULE:

| | |
|----------------------------------|-----------------|
| Complete Application Date: | June 17, 2022 |
| 60-Day Review Deadline: | August 16, 2022 |
| Environmental Board Meeting: | N/A |
| Park Board Meeting: | N/A |
| Planning & Zoning Board Meeting: | July 13, 2022 |
| City Council Work Session: | August 1, 2022 |
| Tentative City Council Meeting: | August 8, 2022 |

BACKGROUND

Watermark is a 372 acre master planned residential community consisting of 692 single family lots and 172 townhome units totaling 864 housing units. Lennar submitted a Land Use Application for Watermark 5th Addition PUD Final Plan/Final Plat. The plat proposes 97 single family lots and 7 outlots.

Previous Council approvals include:

- June 13, 2016: Resolution No. 16-51 approving PUD Development Stage Plan/Preliminary Plat
- October 9, 2017: Resolution No. 17-95 approving Amendment #1 to Land Use Plan
- December 11, 2017: Resolution No. 17-133 approving Amendment #2 to Architectural Design Standards

- October 14, 2019: Resolution No. 19-131 approving Amendment #3 to Architectural Design Standards

This staff report is based on the following information:

- Cost Estimate Summary prepared by Carlson McCain dated March 8, 2022
- 5th Addition Specification Book prepared by Carlson McCain dated February 11, 2022
- Watermark 5th Addition Final Plat prepared by Carlson McCain
- Sanitary Sewer, Water Main, Storm Sewer and Street Construction Plans prepared by Carlson McCain dated February 11, 2022
- Site Landscape Plan prepared by Carlson McCain dated March 18, 2022
- Grading, Development & Erosion Control Plan prepared by Carlson McCain dated March 19, 2021
- Watermark 5th Addition Home Plans Booklet prepared by Lennar dated May 22, 2022
- Watermark Architectural Standards Matrix

ANALYSIS

PUD Development Stage Plan/Preliminary Plat

The PUD Development Stage Plan approved by Resolution No. 16-51 establishes Watermark’s overall land use plan, street and utility layout, parks and open space plan, architectural design standards, landscaping and lot development standards. These standards are summarized in the PUD Master Plan Booklet and are incorporated as part of the Master Development Agreement. Each phase (i.e. addition) of development shall submit a PUD Final Plan consistent with the PUD Development Stage Plan.

In October 2017, Council approved an amendment to the PUD Development Stage Plan’s overall Land Use Plan. The Land Use Plan established 871 housing units. As the applicant has worked through final plan design to address City and RCWD comments from the preliminary plat, the number of 55’ wide villas was reduced from 127 units to 120 units. The net number of housing units is now 864.

The net density is 3.39 units per acre and is consistent with the 2030 Comprehensive Plan’s required 3.0 to 4.5 units per acre.

| | October 2018 |
|---------------------------|-------------------------|
| Gross Area (acres) | 372.24 |
| Wetlands & Water Bodies | 45.09 |
| Public Parks & Open Space | 66.25 |
| Arterial ROW | 5.46 |
| Other (Undevelopable) | 0.62 |
| Net Area (acres) | 254.82 |
| # of Housing Units | 864 |

| | |
|-----------------------------------|-------------|
| Gross Density (units/acre) | 2.32 |
| Net Density (units/acre) | 3.39 |

Grading and Trunk Utility Improvements

Lennar commenced grading and trunk utility improvements in September 2018. Phase I grading was approximately 140 acres and Phase II grading was approximately 20 acres. Phase III will grade out the balance of the site, approximately 212 acres. The 5th Addition final plat is within the Phase III grading limits.

PUD Final Plan

Watermark 5th Addition creates 97 single family lots and 7 outlots. The PUD Final Plan is consistent with the PUD Development Stage Plan in regards to the land use plan, street and utilities, parks and open space, lot standards and landscaping.

The following housing types and products proposed for the 5th Addition are consistent with the approved Land Use Plan.

| Housing Type | Lot Width | Housing Product | # Lots |
|---------------------|------------------|------------------------|---------------|
| Single Family | 75' | Landmark | 54 |
| Single Family | 55'-60' | Discovery | 43 |
| TOTAL | | | 97 |

Architectural Standards

Resolution No. 17-133 and Resolution No. 19-131 detail architectural design standards for the entire Watermark development. As required, a Watermark 5th Addition Home Plans summary booklet and Architectural Standards Matrix were submitted. The booklet and matrix detail compliance of the housing products with the resolutions in regards to exterior materials and styles, house elevations and garage and porch requirements. There are over 10 different single family house plans with multiple facade and elevation options for a combination of over 90 different housing styles proposed for the 5th Addition.

Color packages and anti-monotony plans will be included with each building permit application to ensure that the homes elevations are varied with a minimum of five different styles and those homes in proximity to each other not look alike in terms of the combination of color of siding, accent and roofing materials. Coventry by Alside vinyl siding with .042" panel thickness is proposed on all the housing units. All houses have minimum 4" window trim on the side and rear elevations to meet resolution requirements to incorporate an architectural feature into those elevations that are visible from 20th Avenue (CSAH 54), 21st Avenue N. and the public park.

In summary, the Watermark 5th Addition single family housing types and products meet the architectural design standards requirements of Resolution No. 17-133 and Resolution No. 19-131.

HOA Clubhouse

Lot 1, Block 3, Watermark 4th Addition was platted for the future construction of the HOA clubhouse. Per the Master Development Agreement, the developer shall construct a private clubhouse for the use of the residents of the Development once final plat approval for 518 lots has been granted by the City. With the approval of the 5th addition final plat, there will be 613 approved lots; therefore, the clubhouse shall be constructed with the approval of the 5th Addition.

Architectural plans for the clubhouse were submitted with the 5th Addition. The one-level clubhouse is 5,140 sf and 20ft in height. Exterior materials consist of asphalt shingles, thin veneer stone base and LP Smartside trim, board & batten and lap siding. Colors are dark and light earth tone greys and browns. The floor plan includes a fitness room, yoga room, kitchen, community room, restroom and mechanical rooms.

The site plan indicates a side yard covered patio, a rear yard patio, retaining wall, 15 parking spaces and sidewalk connections to Watermark Park to the west. The clubhouse setbacks are 56ft front, 27ft rear, 11ft west side and 32ft east side. These are consistent and greater than the required house setbacks of 25ft front and rear and 6.5ft sides. The parking lot front lot line setback is 10ft.

The building orientation shown on the site plan and architectural plan do not match. The architectural plans shall be revised to be consistent. Any exterior mechanical equipment shall be screened.

In conjunction with the public Watermark Park located to the northwest of the HOA clubhouse, City staff and Lennar are working together on a plan to create a shared driveway and add additional parking on the Watermark Park site.

Landscaping

The Watermark 5th Addition Site Landscape Plan has been reviewed by staff and is consistent with the PUD Development Stage Landscaping Plan. The Environmental Coordinator Memo dated July 6, 2022 notes some minor comments such as seed mix types, clear vision areas and planting details.

Subdivision Ordinance

Conformity with the Comprehensive Plan and Zoning Code

The Watermark 5th Addition final plat has been reviewed for compliance with the comprehensive plan, zoning and subdivision ordinance. The proposed final plat meets the performance

standards of the subdivision and zoning ordinance and is consistent with the PUD Development Stage Plan/Preliminary Plat and Final Plan.

Plat Phases

The following summarizes the number of lots platted per addition:

| Addition | # SF Lots | Remaining #SF Lots | # TH Lots | Remaining #TH Lots | Total # Lots Remaining |
|-----------------|------------------|---------------------------|------------------|---------------------------|-------------------------------|
| | | 692 | | 172 | 864 |
| 1 st | 100 | 592 | 93 | 79 | 671 |
| 2 nd | 57 | 535 | 0 | 79 | 614 |
| 3 rd | 96 | 439 | 79 | 0 | 439 |
| 4 th | 91 | 348 | 0 | 0 | 348 |
| 5 th | 97 | 251 | 0 | 0 | 251 |

Blocks and Lots

The final plat creates 97 single family lots and 7 outlots. The following chart summarizes the purpose of the outlot:

| Outlot | Purpose |
|---------------|-----------------------------------|
| A | Pond 500 and Open Space |
| B | Future Development |
| C | Pond 800, Wetland and Open Space |
| D | Future Development |
| E | Pond 1000, Wetland and Open Space |
| F | Future Development |
| G | Trail Corridor |

All outlots will be deeded, owned, and maintained by a Homeowners Association (HOA).

Easements

Standard drainage and utility easements are being dedicated on individual lots and over Outlot A. Outlots C and E shall also have easements dedicated on the final plat.

Street and Utilities

The 5th Addition proposes construction of the following streets which are consistent with the PUD Development Stage Plan:

| Street Name | Right-of-Way Width | Street Width (Back to Back) |
|--|--------------------|-----------------------------|
| Koronis Circle, Norway Lane, Mille Lacs Lane, Forest Lane, Osakis Street | 60 feet | 32 feet |

Watermain, sanitary sewer main, stormwater facilities, streets, sidewalks and trails are being constructed consistent with the PUD Development Stage Plan.

Public Land Dedication and Fees

As approved with Resolution No. 16-51, the City will require the following combination of land dedication and cash in lieu of land dedications:

1. Land dedication for the public and private parks will be credited from the total payment in lieu.
2. Costs for public park improvements and trail construction will be credited from the total payment in lieu.
3. Improvements to the private parks and recreational center will not be credited from the total payment in lieu.

An 8.5 ft wide bituminous trail will be constructed 250 lf over Outlot G from the public park to Norway Lane. A Permanent Trail Easement over Outlot G is required. Trail construction costs will be credited.

Lot 1, Block 3, Watermark 4th Addition was platted for the future construction of the HOA clubhouse. Per the Master Development Agreement, the developer shall construct a private clubhouse for the use of the residents of the Development once final plat approval for 518 lots has been granted by the City. With the approval of the 5th addition final plat, there will be 613 approved lots; therefore, the clubhouse shall be constructed with the approval of the 5th Addition.

The following is a summary of the land dedication and fees:

| Watermark 5th Addition | |
|-------------------------------|---------|
| Total # Units = | 97 |
| x Park Dedication Fee | \$3,160 |

| | |
|---------------------------------------|------------------|
| = Cash in Lieu Value | \$306,520 |
| - Negative Balance from Watermark 4th | (\$39,440) |
| - Trail Construction Costs | (\$7,500) |
| TOTAL CASH FEE DUE = | \$259,580 |

The negative cash balance from Watermark 4th Addition was the result of parkland dedication and trail construction cost credits exceeding the per unit cash in lieu value. The negative is carried over and balanced with 5th Addition.

Plans and specs for Watermark Park are complete and construction is tentatively scheduled for 2023 once public street and infrastructure to the park site are installed. As noted, City staff and Lennar are working together on a revised plan to create a shared driveway and add additional parking on the Watermark Park site

Wetlands

Wetland delineations were approved by RCWD and USACE in 2015. The delineation identified 28 wetlands totaling approximately 20 acres in size. The original approved WCA Sequencing Application proposed wetland impacts, wetland creation, wetland restoration and upland buffer establishment. In April 2018, the developer revised the application to purchase 3.3671 acres of wetland banking credits as the proposed compensatory mitigation action. The wetland fill, impacts and mitigation (wetland bank credits) occurred within the Phase I grading limits and are complete.

In December 2020, the developer submitted another Wetland Replacement Plan to RCWD for the balance of the site. Phase 3 grading impacts 5.9784 acres of wetland which require a 1:1 mitigation. The plan was to buy wetland credits for mitigation; however, viable wetland restoration and creation opportunities exist within Phase 3; therefore, onsite restoration and creation will be used for mitigation. This is consistent with the Parks and Open Space Plan and the establishment of the greenway corridor including wetlands, trails and open space.

To date, wetland mitigation and restoration has been completed on Wetland Restoration Area RA1. Restoration to the other wetlands will occur in conjunction with grading in those impacted areas.

Open Space Easement

Section 7.2 of the Watermark Master Development Agreement states the owner shall provide the City with a perpetual open space easement. The easement protects the parks, open space, wetlands etc. from any land disturbance that is not consistent with the Restoration and Management Plan. Currently, a “blanket” easement is in place that covers all outlots in

Watermark. As each such outlot is further subdivided, the blanket easement area is re-defined with a detailed open space easement.

An Open Space Easement shall be recorded over Outlots A, C, and E, Watermark 5th Addition.

The Watermark 5th Addition Final Landscape Plan details the location of required “Protected Open Space Area” signs.

Development Agreement

Master Development Agreement

A Master Development Agreement was recorded in March 2019. The Agreement covers the entire 372 acre site and details the terms and conditions of City approvals, the Development Plans, the required public and private improvements as part of the first and subsequent phase, the standards for the timing and financing of the improvements, required HOA documents and the terms of payment.

Development Agreement and Planned Unit Development Agreement

The City will also require our standard Development Agreement specific to each phase of development. This agreement further details required improvements and securities. The City Engineer will draft this Agreement and it shall be approved by the City Council.

Homeowner’s Association (HOA)

The City Attorney will review the HOA documents. Any comments shall be addressed prior to release of the mylars.

Title Commitment

The City Attorney reviewed the title commitment and final plat and has no comments.

Stormwater Maintenance Agreement

The stormwater facilities will be covered under the City’s Programmatic Stormwater Management Agreement after they have been installed and accepted by the City.

RECOMMENDATION

Staff recommends approval of the Watermark 5th Addition PUD Final Plan/Final Plat subject to the following conditions:

1. Outlots A, C, and E, Watermark 5th Addition are preserved as permanent Open Space and shall be improved by the Developer in accordance with the approved plans and upon completion and acceptance by the city of such improvements, they shall be owned and

maintained by a Homeowner's Association in accordance with an approved Restoration and Management Plan.

2. The Watermark HOA clubhouse and related site improvements shall be completed and operating prior to Council approval of Watermark 6th Addition PUD Final Plan/Final Plat.
3. Outstanding punch list items from Watermark 1st, 2nd, and 3rd Addition shall be finalized prior to Council approval of Watermark 6th Addition PUD Final Plan/Final Plat.

The following comments shall be addressed prior to release of final plat mylars:

1. The 5th Addition Development Agreement shall be approved by the City Council, executed and recorded against the property.
2. Any staff comments requiring revisions to the final plat shall be addressed.
3. A draft copy of the Open Space Easement over Outlots A, C, and E shall be submitted to the City for review and approval.
4. A draft copy of the Permanent Trail Easement over Outlot G shall be submitted to the City for review and approval.
5. The City Attorney shall review the Homeowner's Association (HOA) documents prior to release of the final plat mylars.
6. Final Plat:
 - a. Drainage and utility easements shall be dedicated over Outlot C and Outlot E.

The following comments shall be addressed prior to issuance of single family building permits within the 5th Addition:

1. All comments from the City Engineer Letter dated July 6, 2022 shall be addressed.
2. All comments from Environmental Coordinator Memo dated July 6, 2022 shall be addressed.
3. Copies of the following executed and recorded documents shall be submitted to the City:
 - a. Development Agreement
 - b. Homeowner's Association
 - c. Open Space Easement
 - d. Permanent Trail Easement
 - e. Deeds for Outlots A, C and E to HOA.

The following comments shall be addressed prior to issuance of the HOA Clubhouse building permit within the 5th Addition:

1. All comments from the City Engineer Letter dated July 6, 2022 shall be addressed.
2. All comments from Environmental Coordinator Memo dated July 6, 2022 shall be addressed.
3. The architectural plans shall be revised to be consistent with the site plan.
4. Any exterior mechanical equipment shall be screened.

ATTACHMENTS

1. City Engineer Memo dated July 6, 2022
2. Environmental Coordinator Memo dated July 6, 2022
3. Watermark Land Use Plan
4. Watermark 5th Addition Final Plat
5. Watermark HOA Clubhouse Floor Plan, Architectural Plan and Site Plan
6. Watermark HOA Architectural Color Rendering

Memorandum

To: Katie Larsen, City Planner, City of Lino Lakes

From: Kelsey Gelhar, Engineer, WSB
Diane Hankee PE, City Engineer, City of Lino Lakes

Date: July 6, 2022

Re: Watermark 5th Addition
Final Plat & Construction Plan Review
020640-000

As requested by City staff, WSB reviewed the Final Plat and Construction Plans for the Watermark 5th Addition in Lino Lakes, MN, prepared by Carlson McCain and dated February 11, 2022. Our comments were made on the following documents:

- Watermark 5th Addition Plat prepared by Carlson McCain, received May 23, 2022.
- Watermark 5th Addition Sanitary Sewer, Water Main, Storm Sewer, and Street Construction Plans prepared by Carlson McCain, dated February 11, 2022, received May 23, 2022.
- Watermark Grading Plans prepared by Carlson McCain, revised February 11, 2022, received May 23, 2022.
- Watermark 5th Addition Landscaping Plans, prepared by Carlson McCain, dated March 18, 2022, received May 23, 2022.

The following review comments should be responded to in writing by the applicant.

Engineering

- **Grading**

The Watermark 5th Addition is part of the Phase 3 grading. The Watermark 5th Addition includes site grading for Norway Lane, Koronis Circle, and the road stubs for Osakis Street and Mille Lacs Lane.

Comments:

1. (7/6/2022) Applicant to review grading and possibly shorten the stub street for Osakis Street. As proposed, Osakis Street drains towards an existing residential lot that is not part of the Watermark development.
2. (7/6/2022) Applicant to call out EOF location and elevation for the low point on Norway Lane east of intersection with Forest Lane.
3. (7/6/2022) Applicant to call out EOF location and elevation for the low point on Norway Lane south of intersection with Osakis Street.

- **Stormwater Management**

Stormwater management for the Watermark 5th Addition has a storm sewer conveyance system, including rear yard drainage systems.

Comments:

1. (7/6/2022) Applicant to adjust street profile on Norway Lane so that the catch basins at Station 21+90 are at the low point. Street profile currently calls out Station 22+00 as the low point.
2. (7/6/2022) Applicant to adjust street profile on Koronis Court so that the catch basins at Station 1+56 are at the low point. Street profile currently calls out Station 1+50 as the low point.
3. (7/6/2022) Applicant to reduce slope between FES and STMH 570 to maximum of 0.9%, current slope of 8.75% results in excessive flow velocity.
4. (7/6/2022) Applicant to review size of STMH 570. As designed a 96" structure would be needed to accommodate incoming pipe sizes and angles. However, this may be alleviated with the slope adjustment described in Comment 5.
5. (7/6/2022) Applicant to revise RCP class for pipes between structures CB 575 to STMH 571. SDR 35 is currently shown.
6. (7/6/2022) Applicant to provide capacity calculations for storm sewer in submittal.
7. (7/6/2022) Pond 500 grading shown in plans dated 2-11-22 has differing stage storage from HydroCAD model in SWMP dated 7-14-21. For example, the NWL of 899 on the grading plan shows an area of 0.85 ac while the same elevation in HydroCAD has area of 0.916 ac. Applicant to revise grading or modeling.
8. (7/6/2022) Wetland 600 grading shown in plans dated 2-11-22 has differing stage storage from HydroCAD model in SWMP dated 7-14-21. For example, the storage at 900 on the grading plan shows an area of 5.47 ac while the same elevation in HydroCAD has area of 6.148 ac. Applicant to revise grading or modeling.
9. (7/6/2022) Pond 800 grading shown in plans dated 2-11-22 has differing stage storage from HydroCAD model in SWMP dated 7-14-21. For example, the NWL of 901 on the grading plan shows an area of 1.11 ac while the same elevation in HydroCAD has area of 1.202 ac. Applicant to revise grading or modeling.
10. (7/6/2022) Applicant to show all water main and sanitary sewer crossings on storm profiles. Insulation will be required wherever there is less than 2' of vertical separation between storm sewer and water main or sanitary sewer. Staff understands that the sanitary sewer is deep and may not be visible in some of the limits of the profile view.
11. (7/6/2022) Please provide the City with updated information if there are changes to plans that result in a change in water quality calculations for the Total Phosphorus and Total Suspended Solids as permitted under RCWD 20-115 (from 4th Addition). These water quality improvements have been tracked in the Northeast Drainage Area CSMP Water Quality improvements.

- **Water Supply**

The proposed water system extension is consistent with preliminary plat. This addition of the development is being served by either 12- inch or 8- inch diameter ductile iron pipe (DIP) water main and 1-inch Type K copper services are being extended to each lot.

Comments:

1. (7/6/2022) Applicant to remove proposed gate valves on Norway Lane at station 20+16 and station 27+90. Staff does not feel the need for three gate valves at these locations.
2. (7/6/2022) The applicant shall space all fire hydrants at a maximum distance of 400 feet.

- **Sanitary Sewer**

The proposed sanitary sewer is consistent with the preliminary plat. This addition of the development is being served by either 8- inch or 10- inch diameter poly-vinyl chloride (PVC) pipe along with 4-inch diameter Schedule 40 PVC service pipe to each lot.

Staff does not have comments at this time.

- **Transportation**

The proposed roadways are consistent with the preliminary plat. The work in this addition includes constructing Koronis Circle and Norway Lane (from north of Osakis Street to Lotus Lane). All of the streets in this addition are proposed to be 32' wide from back-of-curb to back-of-curb.

Comments:

1. (7/6/2022) Applicant to update spelling to "Forest Lane" in the street name signs table.
2. (7/6/2022) Applicant to review street light layout. The City of Lino Lakes typically have installs street lights every 400 to 500 ft, at intersections, and at the end of cul-de-sacs. Applicant to include a light at the cul-de-sac of Koronis Circle.
3. (7/6/2022) Pedestrian ramps at Mille Lacs Lane and Norway Lane are offset. Applicant to revise sidewalk layout so that pedestrian crossings are perpendicular to the street.
4. (7/6/2022) Applicant to update detail GEN-3 as it was updated in 2022. The updated detail does not affect the cul-de-sac design in these plans.
5. (7/6/2022) Applicant to remove details referencing roundabout construction from the plans. Roundabout construction was a part of Watermark 4th Addition.

- **Wetlands and Mitigation Plan**

Wetlands and mitigation plan reviewed during the Preliminary Plat. There are no proposed wetland impacts on the Watermark 5th Addition plat.

- **Landscaping**

The Watermark 5th Addition Site Landscape Plan has been reviewed by staff and the City's Environmental Coordinator. The Environmental Coordinator will provide separate comments.

Comments:

1. (7/6/2022) Trees shall not be placed over utility pipes. Applicant to review boulevard tree locations to make sure they are planted an adequate distance (ideally 10 ft) from water and sanitary services.

- **Floodplain**

The Watermark 5th Addition does not impact the existing floodplain. Applicant is working on FEMA Floodplain Approval associated with Watermark 2nd Addition. Anoka County wants the removal of the floodplain in the Anoka County right-of-way to be included with the modified LOMR.

Comments:

1. (7/6/2022) Applicant is working on adjusting floodplain limits to eliminate the floodplain from Anoka County ROW.

- **Drainage and Utility Easements**

Roadways are proposed within right-of-way and lots include standard drainage and utility easements. Larger drainage and utility easements are provided over surface water management features as required.

Comments:

1. (7/6/2022) Staff has reviewed the proposed easements along the rear yard drainage system for the lots on Norway Lane. Due to the size and depth of the pipes in this stretch, applicant to increase the size of the drainage and utility easement to 15-ft (30-ft total when future lots are platted).
2. (7/6/2022) Applicant to encompass more of 912 contour in drainage and utility easements over Lot 10 Block 2, Lot 11 Block 2, and future lots 874-877. Staff is concerned about drainage in that corner based on similar situations with previous additions and other developments in the city.
3. (7/6/2022) Applicant to update easement widths along the lot line between Lot 26 Block 1 and Lot 27 Block 1 to be 15 ft each (30-ft wide in total). The storm sewer in the area is too deep for a 20-ft wide easement.

- **Development Agreement**

A development agreement will be required with the final plat.

- **Grading Agreement**

Grading agreement not required. Grading securities to be collected through 5th Addition Development Agreement.

- **Stormwater Maintenance Agreement**

The stormwater maintenance for public facilities in the Watermark 5th Addition will be covered under the City's Programmatic Stormwater Management Agreement after the facilities have been installed and accepted by the City. Rear yard sump connections are to be privately maintained.

- **Permits Required**

1. NPDES General Construction Permit
2. City of Lino Lakes Zoning Permit for Construction
3. Minnesota Pollution Control Agency Sanitary Sewer Extension Permit
4. Minnesota Department of Health
5. Rice Creek Watershed District Permit
6. LOMR required for lots within floodplain
7. Army Corp of Engineers Permit - Received for development

If you or the applicant have any questions regarding these comments, please contact Kelsey Gelhar at (612) 709-4897 or kgelhar@wsbeng.com. You may also contact Diane Hankee at (651) 982-2430 or dhankee@linolake.us.



Environmental Memo

To: Katie Larsen

From: Andy Nelson

Date: July 6th, 2022

Re: Environmental Comments/Watermark 5th Addition

Environmental comments from 7/06/22 in black.

1. Increase boulevard tree diversity. Norway Lane currently has two tree species (Honey locust and Swamp white oak) listed for approximately 83 boulevard trees. This should be increased to six species with approximately 14 trees of each species planted together. The maples in Koronis Circle can remain as-is.
2. Remove crabapples at intersections and replace with a single boulevard tree per frontage.
3. Boulevard trees are required at a rate of one per frontage. Block 4, house 1 on Norway Street will need a tree added on the Osakis Street frontage. Block 3, house 6 on Norway Street must have one of the two trees moved from the Norway Street frontage to the Osakis Street frontage.
4. The planting notes (#6) mentions protecting trees and shrubs to dripline. This shall be changed to one foot per diameter inch to meet city specifications. The city tree protection fence detail shall be added to the details section of the Landscape Plan.
5. City Seeding Specifications will apply to areas in which native seed is installed that are not part of the Kjolhaug Wetland Mitigation Plan. This shall be noted in the planting notes and Details section of the Landscape Plan.
6. Redundant perimeter control shall be added in areas in which there is not a 50 foot vegetated buffer between disturbed soil and a surface water or wetland. This pertains to Wetlands 600 and 900.

7. Erosion control blanket used must be a natural net variety to meet city specifications. This should be noted in the details section of the Landscape Plan and the Grading, Development, and Erosion Control Plan.



Environmental Memo

To: Katie Larsen

From: Andy Nelson

Date: July 6th, 2022

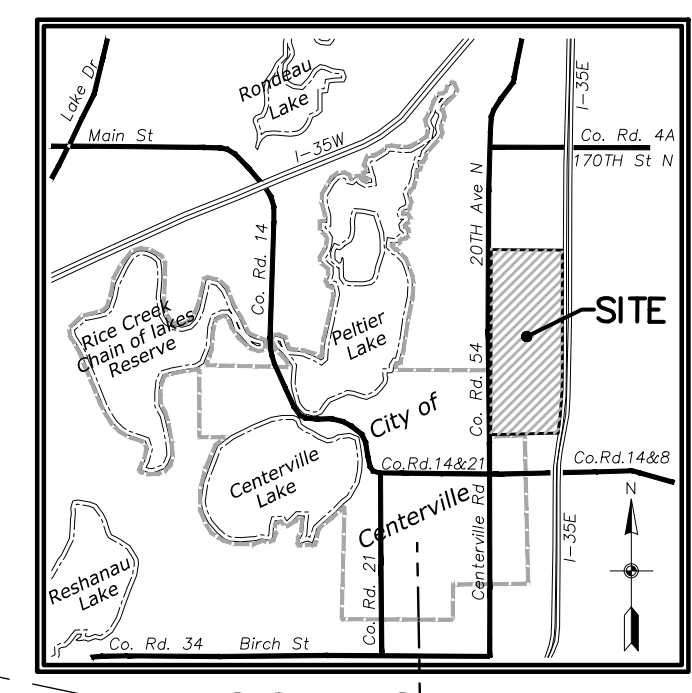
Re: Environmental Comments/Watermark HOA Clubhouse

Environmental comments from 7/06/22 in black.

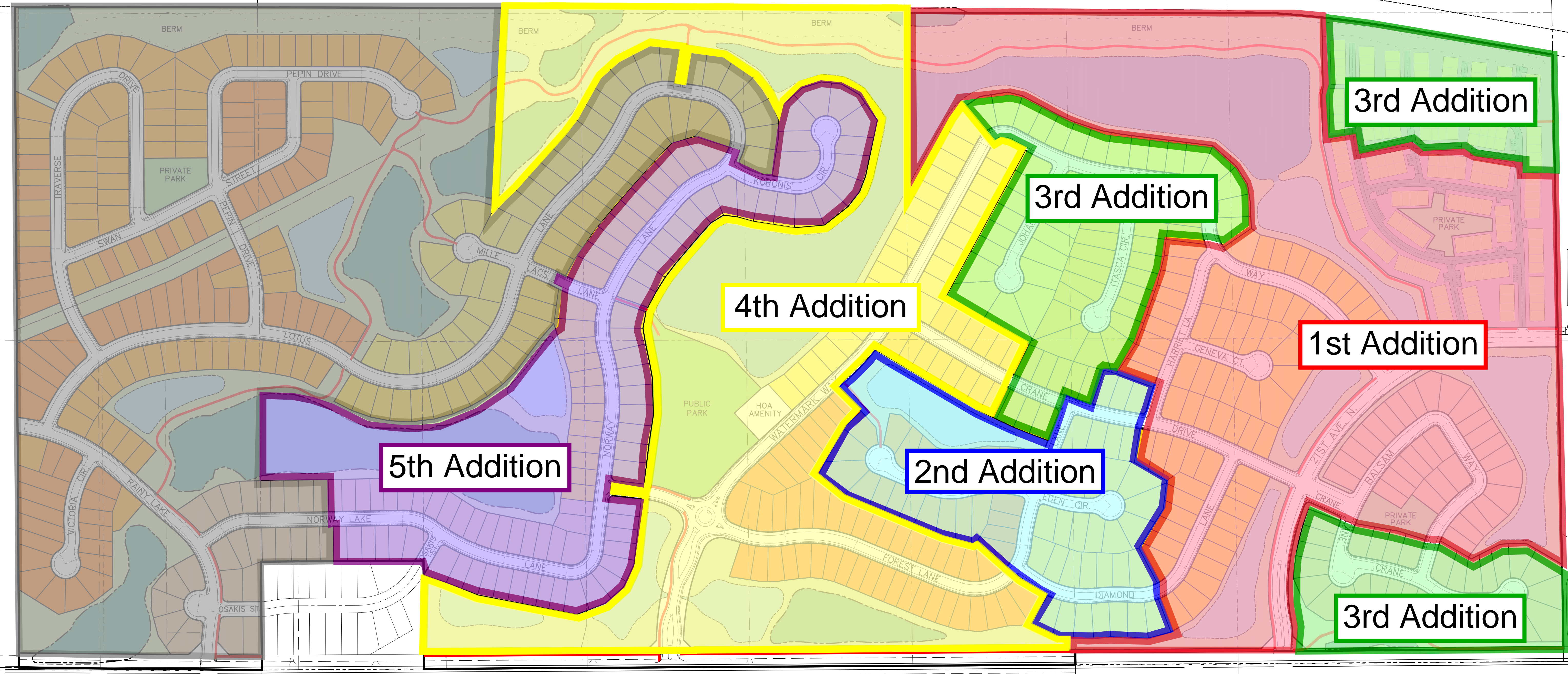
1. A 6 foot buffer and screen will be required for the southeast perimeter adjacent to the residential lot.
2. City tree protection fence detail should be added to the details plate.
3. City specs call for natural net erosion blanket. This should be noted in the landscape specifications and details section.

| Type | Lot Width | Product | # Lots |
|---------------|-----------|-----------|-----------|
| Single Family | 75' | Landmark | 54 |
| Single Family | 55' - 60' | Discovery | 43 |
| TOTAL | | | 97 |

WATERMARK



INTERSTATE HIGHWAY NO. 35E



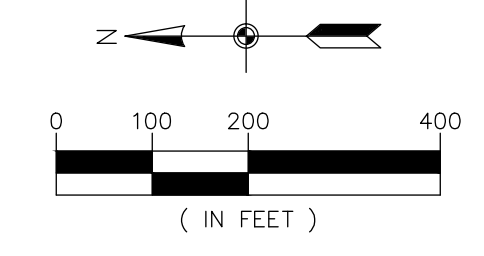
| LEGEND | |
|------------------------------------|------------|
| 65' & 75' SINGLE FAMILY LOTS | 327 |
| 75' LANDMARK LOTS | 126 |
| 65' LANDMARK & DISCOVERY LOTS | 201 |
| 65' LIFESTYLE VILLA LOTS | 114 |
| 55'-60' LIFESTYLE VILLA LOTS | 120 |
| 55'-60' DISCOVERY/DISCOVERY 2+ GAR | 131 |
| 60' DISCOVERY 2+ GAR LOTS | 69 |
| 55' DISCOVERY LOTS | 62 |
| COLONIAL MANOR/PATRIOT UNITS | 172 |
| TOTAL LOTS/UNITS | 864 |
| PUBLIC PARK | |
| PRIVATE PARK | |
| PUBLIC OPEN SPACE | |
| PRIVATE OPEN SPACE | |
| PRIVATE OPEN SPACE RDWY | |
| LAKE (NWL) | |
| STORM PONDS | |
| WETLANDS (REMAINING/MITIGATION) | |

| SITE DATA | |
|-----------------------------------|---------------|
| TOTAL SITE AREA | ±372.24 AC. |
| TOTAL ROW AREA | ±55.20 AC. |
| 20TH AVENUE NORTH | ±5.46 AC. |
| INTERNAL ROW | ±49.74 AC. |
| WATER AREA | ±63.22 AC. |
| WETLANDS(REMAINING/MITIGATION) | ±23.08 AC. |
| LAKE | ±22.01 AC. |
| STORM PONDS | ±18.13 AC. |
| PARK AREA | ±82.71 AC. |
| PUBLIC PARK | ±5.46 AC. |
| PRIVATE PARKS | ±60.79 AC. |
| PRIVATE OPEN SPACE | ±2.76 AC. |
| PRIVATE OPEN SPACE | ±10.02 AC. |
| PRIVATE OPEN SPACE RDWY | ±3.68 AC. |
| TOTAL LOT AREA | ±171.11 AC. |
| SINGLE FAMILY LOT AREA | ±162.21 AC. |
| TOWNHOME LOT AREA | ±8.28 AC. |
| PRIVATE FUTURE AREA-HOA AMENITY | ±0.62 AC. |
| TOTAL NUMBER OF LOTS/UNITS | 866 |
| SINGLE FAMILY/VILLA LOTS | 692 |
| COLONIAL MANOR/PATRIOT UNITS | 172 |
| TOWNHOME COMMON LOT | 1 |
| HOA AMENITY | 1 |
| MINIMUM HOUSE SETBACK DATA: | |
| FRONT | 25 FT. |
| SIDE (55',65',75') | 7.5 FT. |
| SIDE CORNER | 20' or 25 FT. |
| REAR SETBACK | 25 FT. |

SOIL BORINGS
BRAUN INTERTEC
11001 HAMPSHIRE AVE. S.
MINNEAPOLIS, MN 55438
(952)995-2000

WETLANDS
KJOLHAUG ENVIRONMENTAL SERVICES COMPANY
26105 WILD ROSE LANE
SHOREWOOD, MINNESOTA 55331
(952)401-8757

OWNER CONTACT
JOE JABLONSKI
(952)249-3014



3890 Pheasant Ridge Drive NE,
Suite 100
Blaine, MN 55449
Phone: (763) 489-7900
Fax: (763) 489-7959
www.carlsonmccain.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Print Name: Brian J. Krystoflakis, P.E.
Signature: [Signature]
Date: [Date] License #: 25063

Drawn: C#
Designed: BJK
Date: 06/19/17

Revisions:
1. 06/22/17 Revise Legend.
2. 07/10/17 Revise layout.
3. 04/30/18 Revise layout.
4. 06/01/18 Revise layout.
5. 08/27/18 Per City comments.

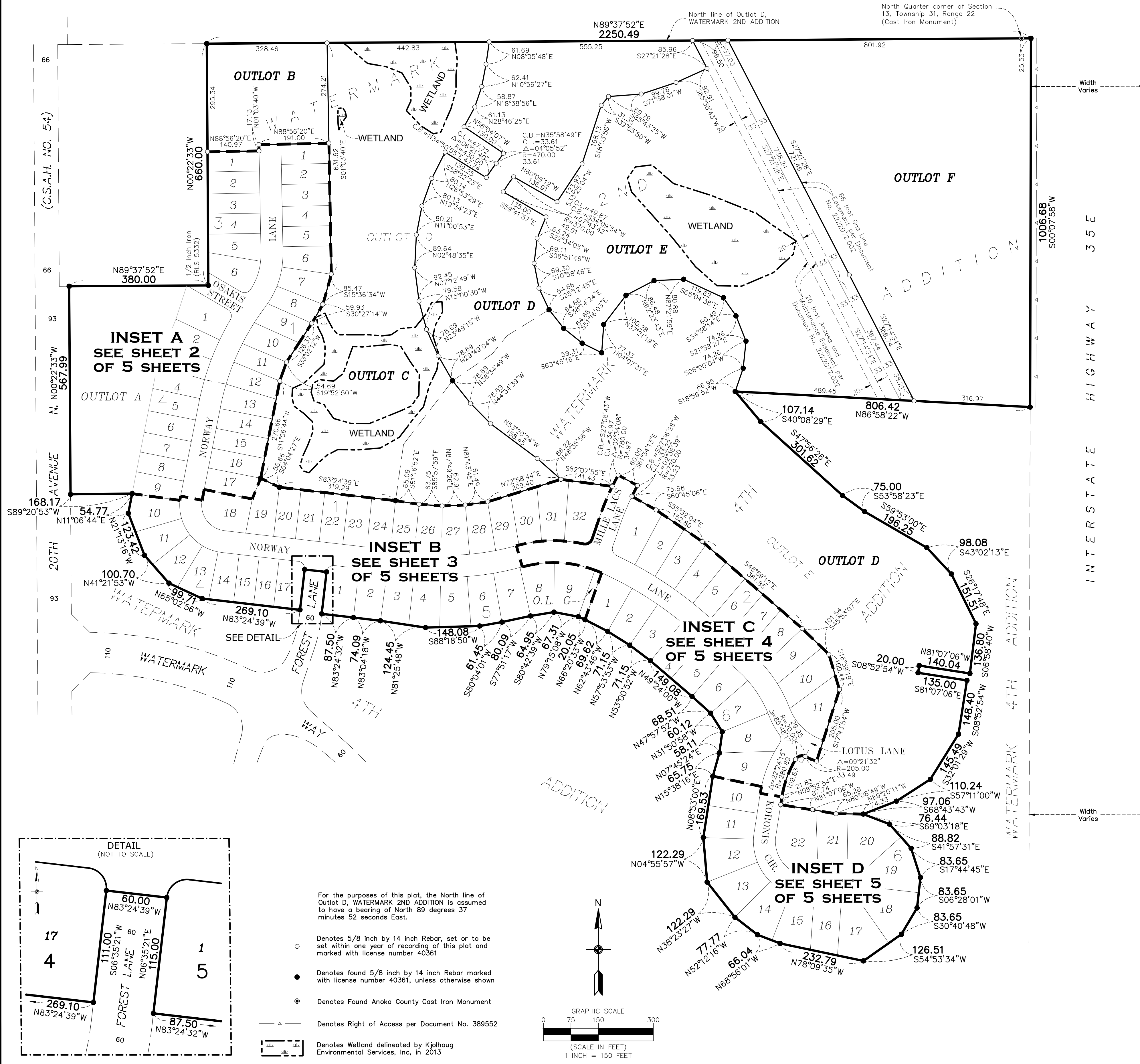
LENNAR
16305 - 36TH Avenue N. Suite 600
Plymouth, Minnesota 55446

WATERMARK
Lino Lakes, Minnesota

LAND USE PLAN

WATERMARK 5TH ADDITION

CITY OF LINO LAKES
COUNTY OF ANOKA
SEC. 13, TWP. 31, RGE. 22



KNOW ALL PERSONS BY THESE PRESENTS: That U.S. Home Corporation, a Delaware corporation, owner of the following described property:
Outlot D, WATERMARK 2ND ADDITION, and Outlot E, WATERMARK 4TH ADDITION, according to the recorded plats thereof, Anoka County, Minnesota.
Has caused the same to be surveyed and platted as WATERMARK 5TH ADDITION and does hereby dedicate to the public for public use the public ways and the drainage and utility easements as shown on this plat.

In witness whereof said U.S. Home Corporation, a Delaware corporation, has caused these presents to be signed by its proper officer this ____ day of _____, 20__.

U.S. HOME CORPORATION

Jon Aune, Division Vice President

STATE OF _____
COUNTY OF _____

This instrument was acknowledged before me on _____ by Jon Aune, Division Vice President of U.S. Home Corporation, a Delaware corporation, on behalf of the corporation.

(Signed)

(Printed)

Notary Public, _____
My commission expires _____

I, Thomas R. Balluff, do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this ____ day of _____, 20__.

Thomas R. Balluff, Licensed Land Surveyor
Minnesota License No. 40361

STATE OF _____
COUNTY OF _____

This instrument was acknowledged before me on _____ by Thomas R. Balluff.

(Signed)

(Printed)

Notary Public, _____
My commission expires _____

CITY COUNCIL, CITY OF LINO LAKES, MINNESOTA

This plat of WATERMARK 5TH ADDITION was approved and accepted by the City Council of the City of Lino Lakes, Minnesota at a regular meeting thereof held this ____ day of _____, 20__, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

CITY COUNCIL, CITY OF LINO LAKES, MINNESOTA

By: _____ Mayor

By: _____ Clerk

COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this ____ day of _____, 20__.

By: _____
David M. Ziegmeier
Anoka County Surveyor

COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20__ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this ____ day of _____, 20__.

Property Tax Administrator

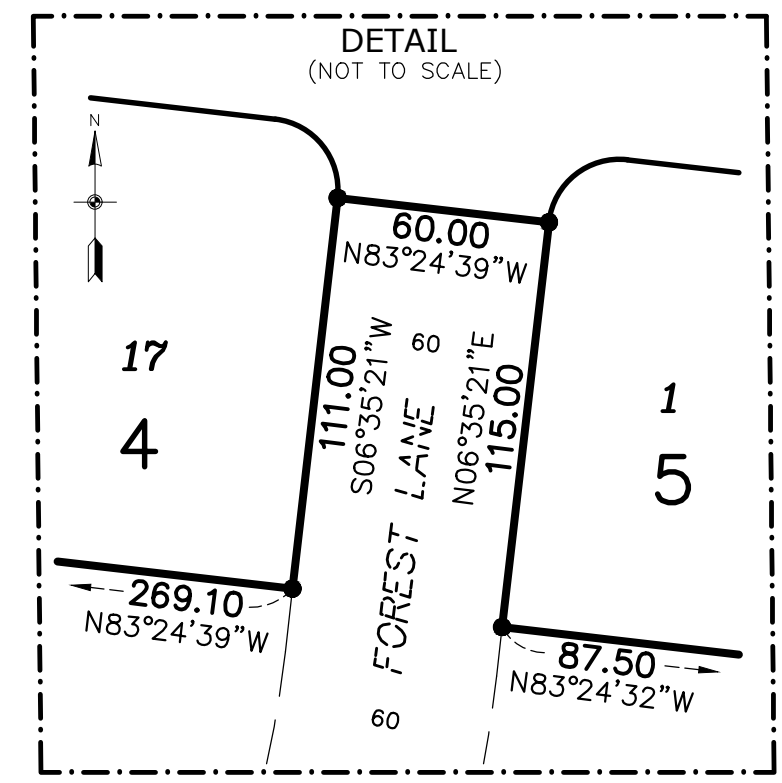
By: _____ Deputy

COUNTY RECORDER/REGISTRAR OF TITLES

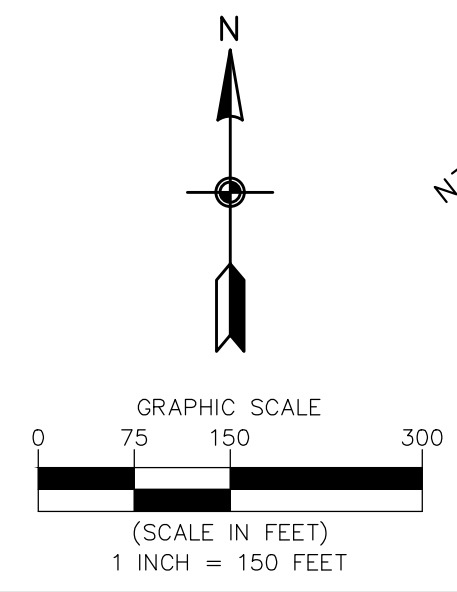
County of Anoka, State of Minnesota
I hereby certify that this plat of WATERMARK 5TH ADDITION was filed in the office of the County Recorder/Registrar of Titles for public record on this ____ day of _____, 20__, at ____ o'clock ____ M., and was duly recorded as Document Number _____.

County Recorder/Registrar of Titles

By: _____ Deputy

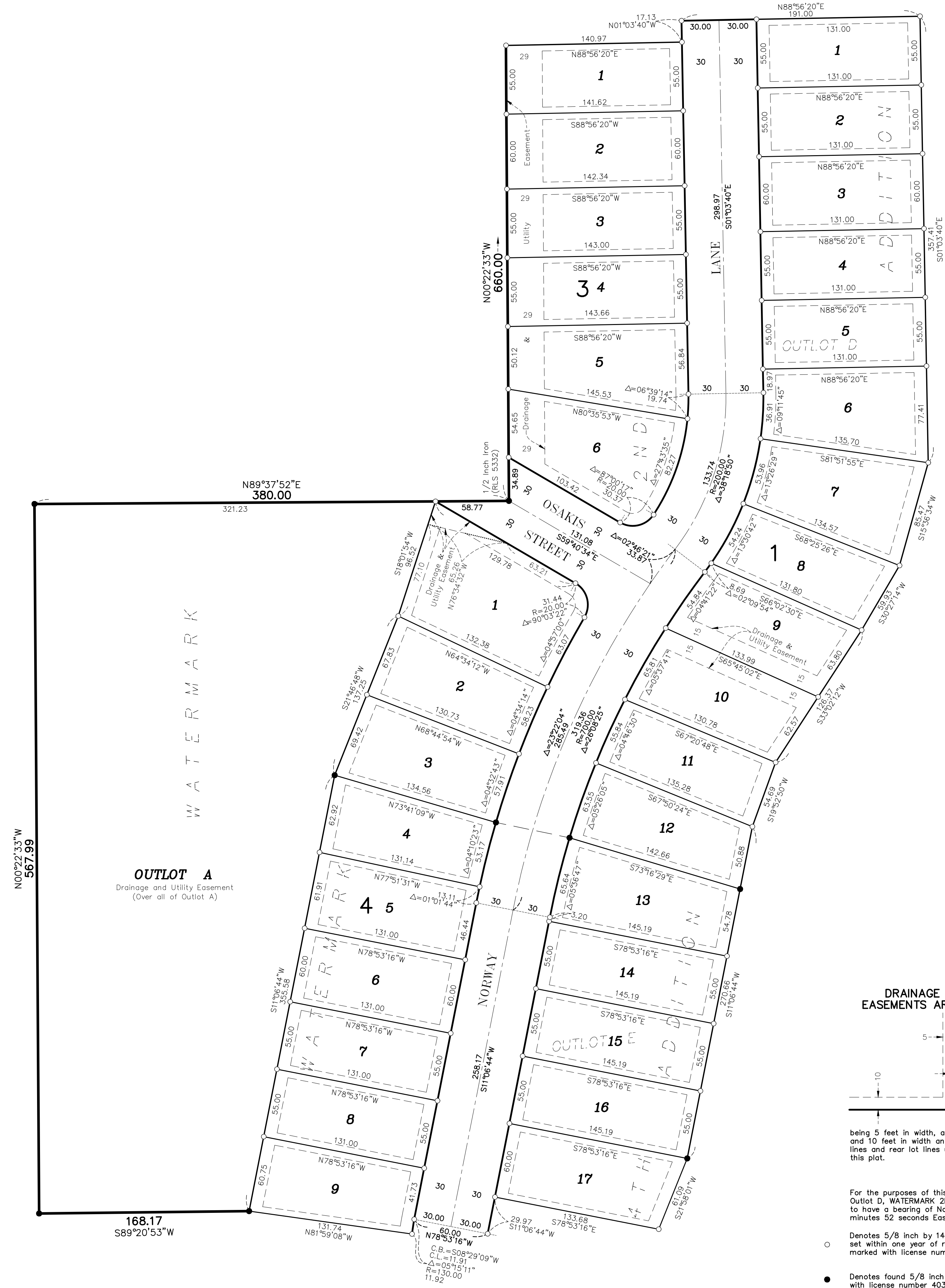


- For the purposes of this plat, the North line of Outlot D, WATERMARK 2ND ADDITION is assumed to have a bearing of North 89 degrees 37 minutes 52 seconds East.
- Denotes 5/8 inch by 14 inch Rebar, set or to be set within one year of recording of this plat and marked with license number 40361
 - Denotes found 5/8 inch by 14 inch Rebar marked with license number 40361, unless otherwise shown
 - ⊙ Denotes Found Anoka County Cast Iron Monument
 - △— Denotes Right of Access per Document No. 389552
 - Wetland delineated by Kjolhaug Environmental Services, Inc. in 2013

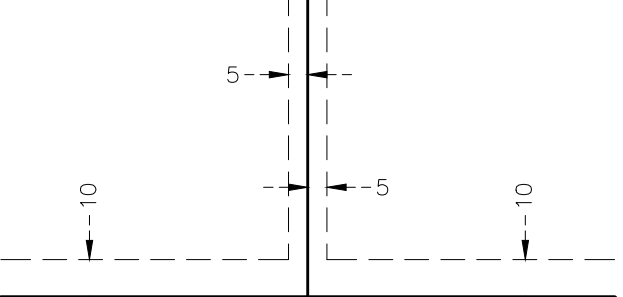


INSET A

WATERMARK
 5TH ADDITION



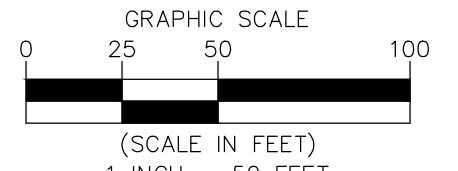
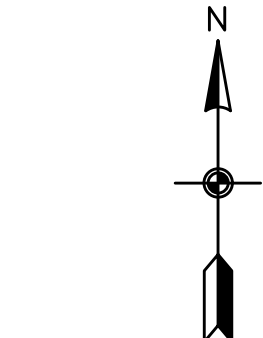
DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



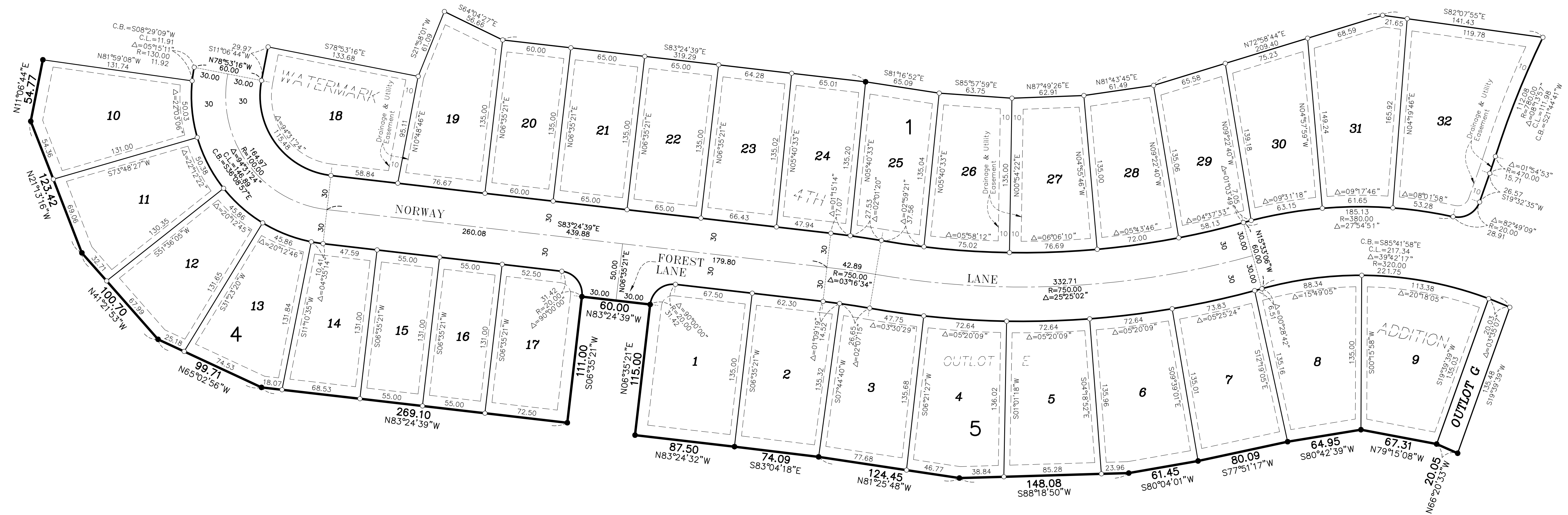
being 5 feet in width, and adjoining side lot lines, and 10 feet in width and adjoining right of way lines and rear lot lines unless otherwise shown on this plat.

For the purposes of this plat, the North line of Outlot D, WATERMARK 2ND ADDITION is assumed to have a bearing of North 89 degrees 37 minutes 52 seconds East.

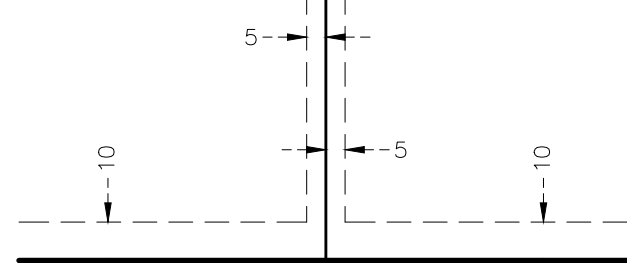
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WATERMARK 5TH ADDITION



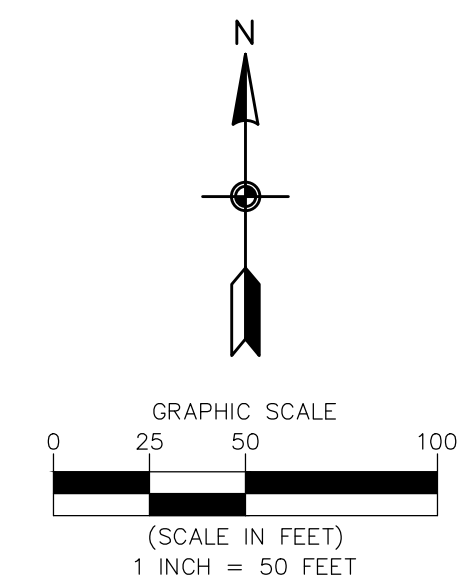
DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



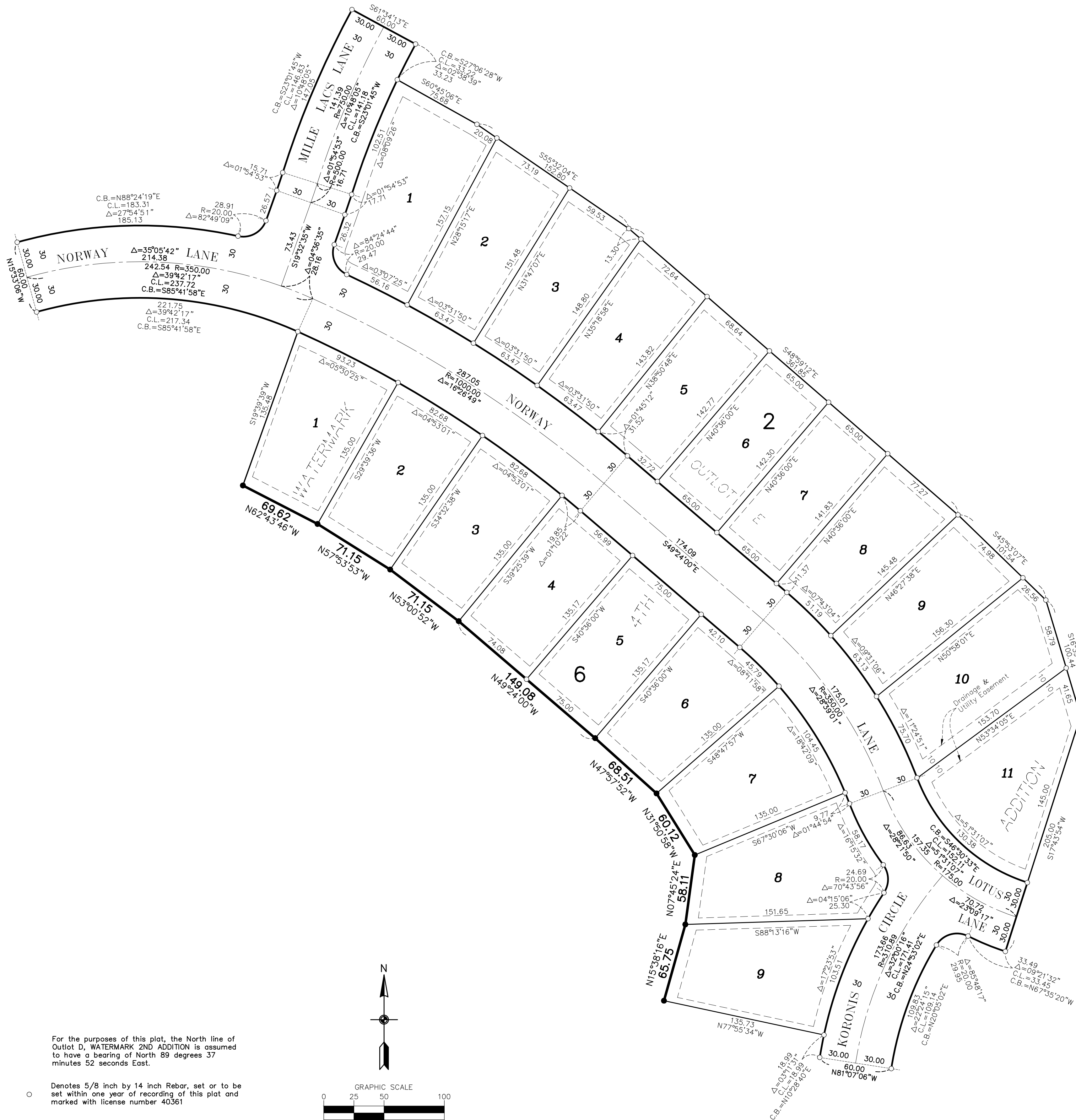
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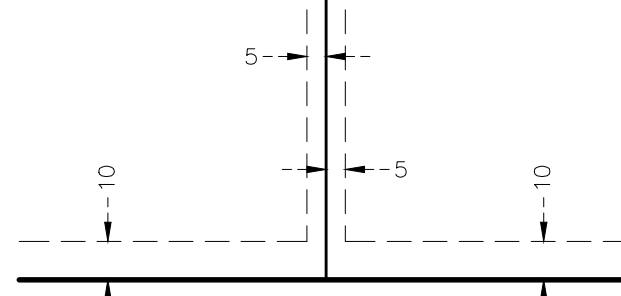
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WATERMARK 5TH ADDITION



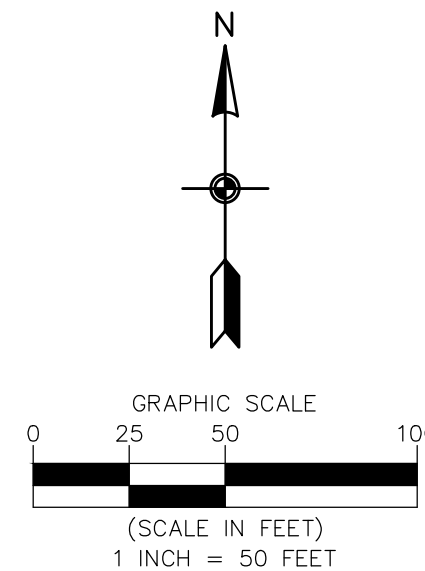
DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



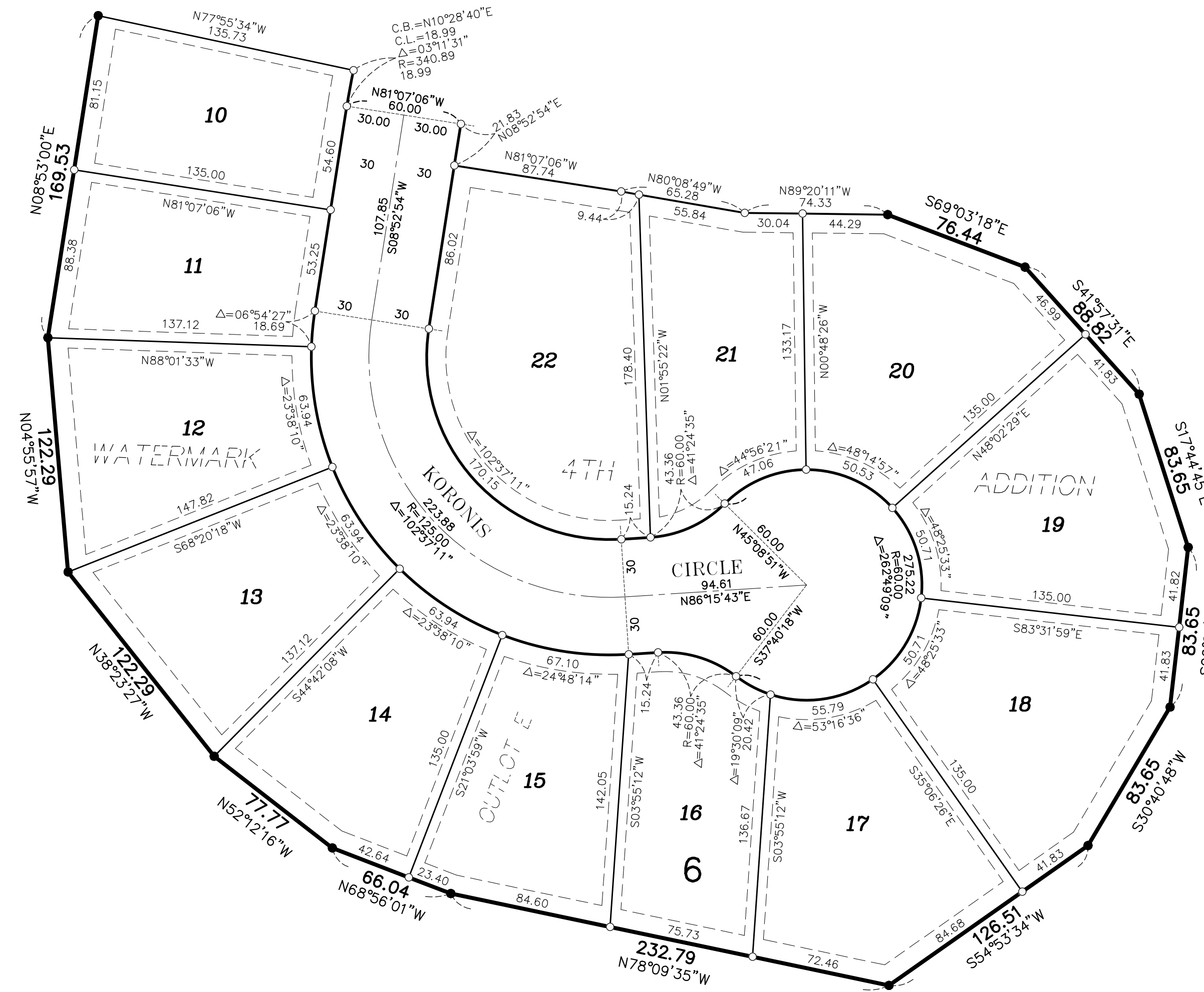
being 5 feet in width, and adjoining side lot lines, and 10 feet in width and adjoining right of way lines and rear lot lines unless otherwise shown on this plat.

For the purposes of this plat, the North line of Outlot D, WATERMARK 2ND ADDITION is assumed to have a bearing of North 89 degrees 37 minutes 52 seconds East.

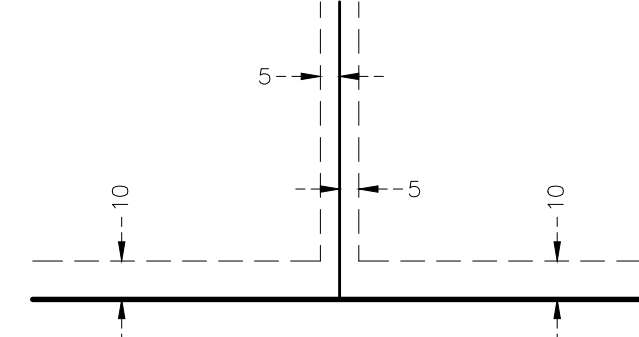
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WATERMARK 5TH ADDITION



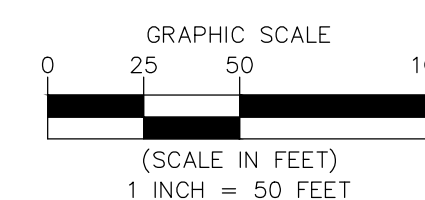
DRAINAGE AND UTILITY
 EASEMENTS ARE SHOWN THUS:



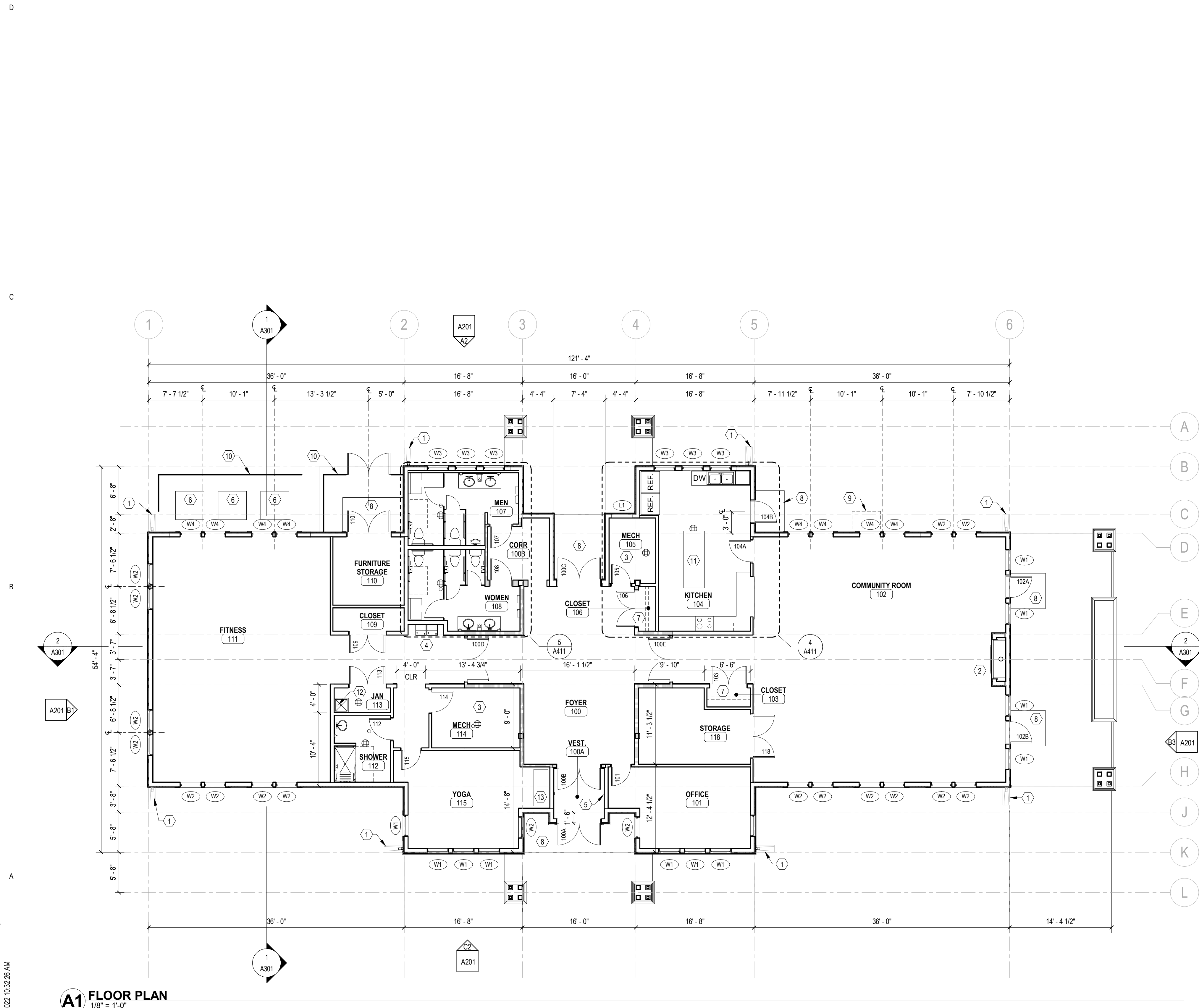
being 5 feet in width, and adjoining side lot lines, and 10 feet in width and adjoining right of way lines and rear lot lines unless otherwise shown on this plat.

For the purposes of this plat, the North line of Outlot D, WATERMARK 2ND ADDITION is assumed to have a bearing of North 89 degrees 37 minutes 52 seconds East.

- Denotes 5/8 inch by 14 inch Rebar, set or to be set within one year of recording of this plat and marked with license number 40361
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BIM 360//220073 Lino Lakes Amenity Center/220073 Lino Lakes Amenities A201.rvt
 5/24/2022 10:32:26 AM



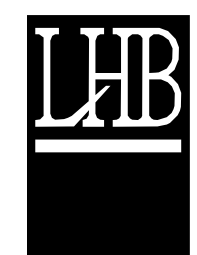
A1 FLOOR PLAN
1/8" = 1'-0"

GENERAL SHEET NOTES

- A. GENERAL NOTES APPLY TO ALL DRAWING SHEETS.
- B. COORDINATE THIS ARCHITECTURAL PLAN WITH PLANS BY ALL OTHER DISCIPLINES IN THE DOCUMENTS, SUCH AS CIVIL, STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, FIRE PROTECTION PLANS, AND OTHERS AS NECESSARY. NOTE: SYMBOLS USED IN PLANS BY OTHER DISCIPLINES MAY DIFFER FROM ARCHITECTURAL SYMBOLS.
- C. REFER TO THE CODE ANALYSIS ON SHEET **XX.XX (VERIFY SHEET NUMBER)** FOR REQUIRED FIRE RATINGS, TYPES AND LOCATIONS OF RATED ASSEMBLIES.
- D. ALL OPENINGS CUT, PENETRATIONS MADE, OR EQUIPMENT INSTALLED IN FIRE RATED ASSEMBLIES SUCH AS WALLS, PARTITIONS, FLOORS, CEILINGS, ETC. SHALL BE RESTORED, SEALED, FIRESTOPPED, OR OTHERWISE CONSTRUCTED TO MAINTAIN THE INTEGRITY AND FIRE RATINGS OF THE ASSEMBLY TO THE FULL SATISFACTION OF THE ARCHITECT, ENGINEER, BUILDING OFFICIAL AND OWNER. THE GENERAL CONTRACTOR SHALL COORDINATE AND BE RESPONSIBLE FOR THIS WORK.
- E. TYPICAL INTERIOR PARTITION IS P4 WALL TYPE UNLESS NOTED OTHERWISE. REFER TO WALL TYPES ON SHEET A511. TYPICAL INTERIOR FURRING PARTITION IS T4 UNLESS NOTED OTHERWISE. REFER TO WALL TYPES ON SHEET A512.
- F. DIMENSIONS OF INTERIOR WALLS ARE TO FACE OF STUD, FACE OF CMU, FACE OF CONCRETE, OR FACE OF EXISTING WALL UNLESS NOTED OTHERWISE.
- G. DIMENSIONS OF EXTERIOR WALLS ARE TO EXTERIOR FACE OF SHEATHING, OR EXTERIOR FACE OF CMU OR CONCRETE UNLESS NOTED OTHERWISE.
- H. AT "ALIGN" NOTE, FINISH FACE OF WALLS TO ALIGN
- I. INSTALL ACOUSTIC BATT INSULATION IN ALL RESTROOM WALLS AND WALLS CONTAINING PLUMBING PIPES.
- J. REFER TO ENLARGED PLANS, WHEN PROVIDED, FOR ADDITIONAL INFORMATION TO SUPPLEMENT THE FLOOR PLANS.
- K. SEE SHEET **XX.XX (VERIFY SHEET NUMBER)** FOR STANDARD AND ACCESSIBLE MOUNTING HEIGHTS OF FIXTURES AND ACCESSORIES.
- L. PROVIDE METAL AND/OR FIRE-RESISTANT WOOD BLOCKING AT ALL WALL MOUNTED FIXTURES, FURNITURE, EQUIPMENT, ACCESSORIES, AND OTHER SPECIALTIES.
- M. OWNER SUPPLIED FURNITURE AND EQUIPMENT SHOWN AS DASHED. NOT IN CONTRACT UNLESS NOTED OTHERWISE.
- N. ALL EXPOSED PIPES, VENTS, AND CONDUIT PENETRATING WALLS, FLOORS, OR CEILINGS SHALL HAVE FINISHED TRIM RINGS (ESCUTCHEONS).
- O. FIRESTOP AROUND MECHANICAL AND ELECTRICAL EQUIPMENT, ETC. WITH UL APPROVED FIRESTOPPING MATERIAL PER CODE AT ALL PENETRATIONS IN NEW AND EXISTING FIRE RATED WALLS OR FLOORS.
- P. ALL NEW AND EXISTING GYPSUM BOARD SURFACES WITHIN THE CONSTRUCTION LIMITS TO RECEIVE PAINT UNLESS NOTED OTHERWISE.
- Q. EXTERIOR LANDINGS, STOOPS, BALCONIES, AND PORCHES SHALL BE LEVEL ACROSS DOORWAYS AND SHALL SLOPE AWAY FROM THE BUILDING AT 1/4" PER FOOT.

KEYED SHEET NOTES

- 1 DOWNSPOUT AND SPLASH BLOCK
- 2 GAS FIREPLACE. BASIS OF DESIGN: HEAT & GLO TRUE 42 ASSEMBLY - DIRECT VENT WITH TIMER CONTROL
- 3 2" RECESSED SLAB. SEE STRUCTURAL
- 4 HIGH - LO DRINKING FOUNTAIN WITH BOTTLE FILLER BY DESIGN/BUILD MECHANICAL
- 5 CABINET UNIT HEATER BY DESIGN/BUILD MECHANICAL
- 6 4" CONCRETE MECHANICAL PAD. COORDINATE DIMENSIOND WITH DESIGN/BUILD MECHANICAL
- 7 COAT ROD AND SHELF
- 8 CONCRETE STOOP. SEE STRUCTURAL. COORDINATE FINAL SIZE WITH JOINT PATTERN
- 9 GAS GRILL BY OWNER. PROVIDE GAS SERVICE CENTERED ON EXTERIOR FACE OF WALL
- 10 VINYL FENCE WITH GATE. SEE PLAN FOR LOCATION. MATCH DEVELOPMENT STANDARD
- 11 KITCHEN ISLAND BY OWNER
- 12 24" x 24" MOP SINK AND MOP HOLDER WITH SHELF
- 13 SHELVING STANDARDS BY OWNER. PROVIDE BLOCKING



**PERFORMANCE
DRIVEN DESIGN.**
LHBcorp.com

701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029

CLIENT:
LENNAR CORPORATION

**16305 36TH AVENUE NORTH,
SUITE 600
PLYMOUTH, MN 55446**

THIS SQUARE APPEARS 1/2"x1/2"
ON FULL SIZE SHEETS

| NO | DATE | ISSUED FOR |
|----|------|------------|
| | | |
| | | |
| | | |
| | | |

| NO | DATE | REVISION |
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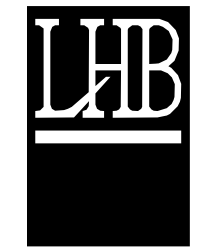
PROJECT NAME:
**WATERMARK AMENITY
CENTER IN LINO LAKES**

**2077 WATERMARK WAY
LINO LAKES, MN 55038**

DRAWING TITLE:
LEVEL 1 FLOOR PLAN

DRAWN BY: Author
CHECKED BY: Checker
PROJ. NO: 220073
DRAWING NO:

A101

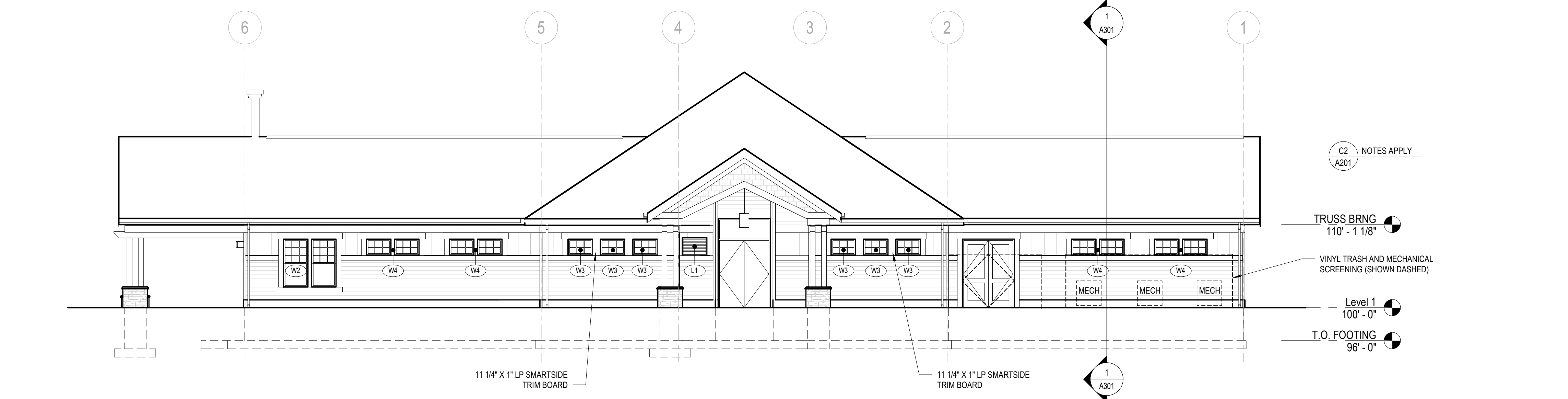
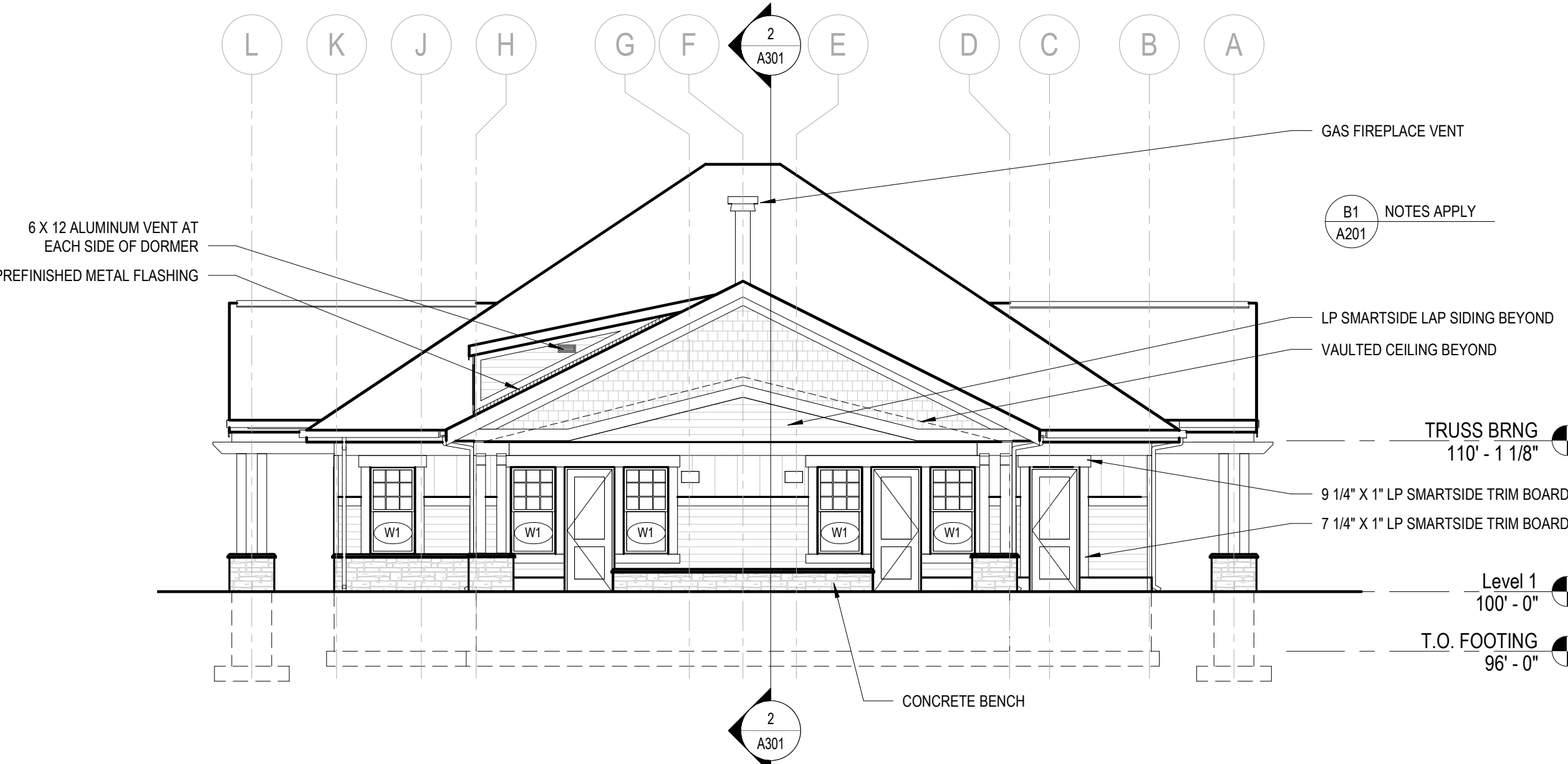
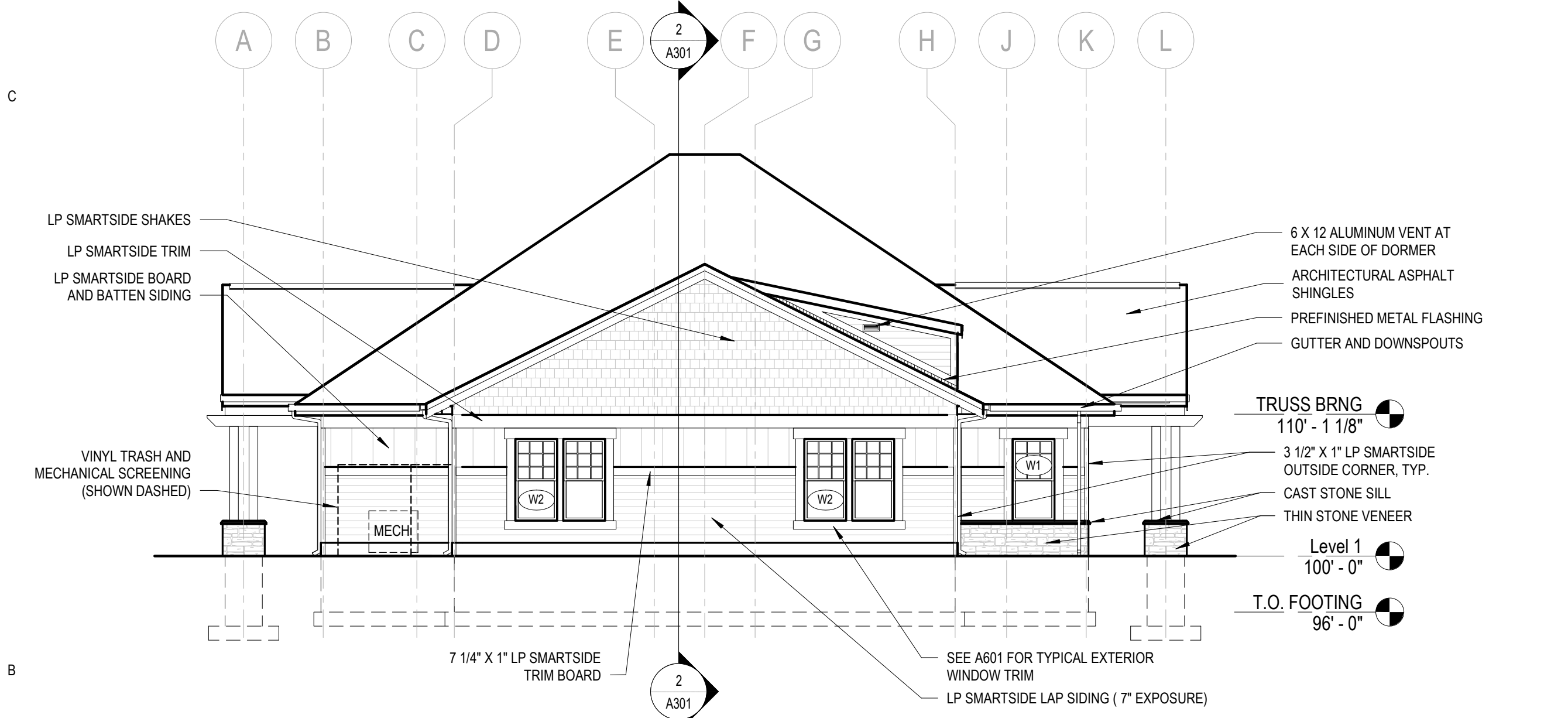
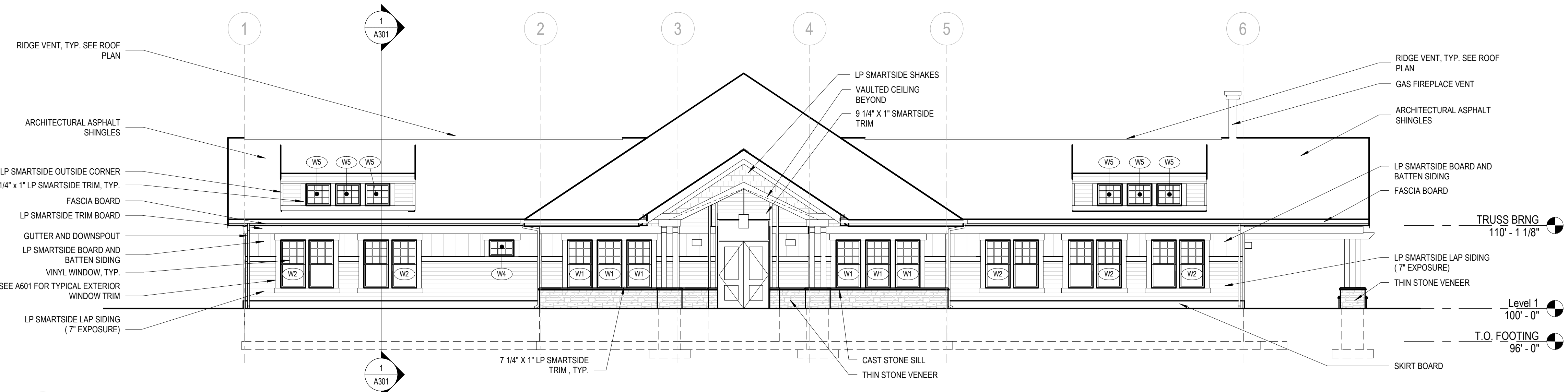


**PERFORMANCE
DRIVEN DESIGN.**
LHBcorp.com

701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029

CLIENT:
LENNAR CORPORATION

**16305 36TH AVENUE NORTH,
SUITE 600
PLYMOUTH, MN 55446**



THIS SQUARE APPEARS 1/2"x1/2" ON FULL SIZE SHEETS

| NO | DATE | ISSUED FOR |
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PRELIMINARY
NOT FOR CONSTRUCTION
05/24/2022

COPYRIGHT 2022 BY LHB, INC. ALL RIGHTS RESERVED.
PROJECT NAME:
**WATERMARK AMENITY
CENTER IN LINO LAKES**
**2077 WATERMARK WAY
LINO LAKES, MN 55038**

DRAWING TITLE:
**EXTERIOR
ELEVATIONS**

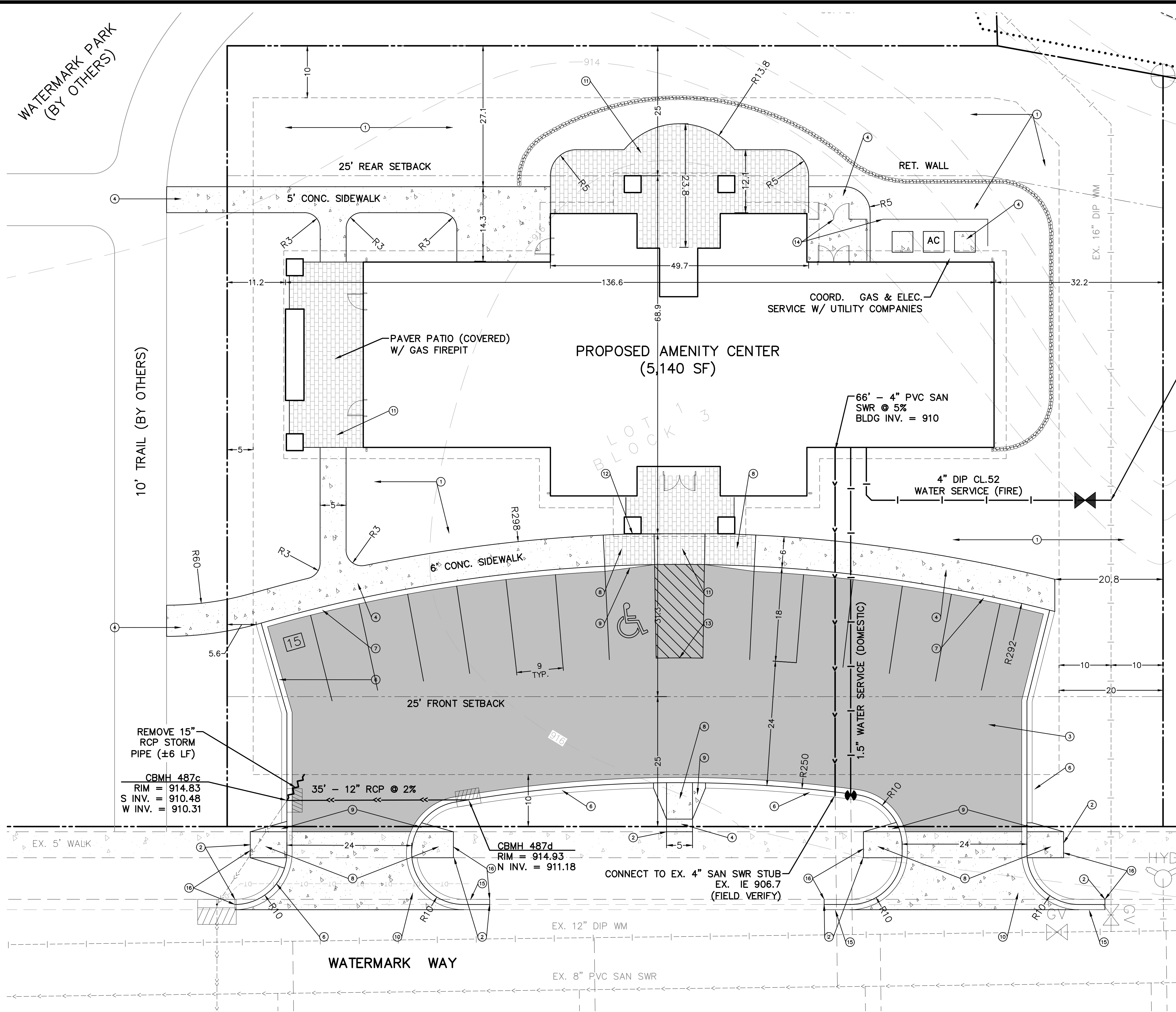
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A201

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WATERMARK PARK
(BY OTHERS)

10' TRAIL (BY OTHERS)



SITE PLAN KEYNOTES

1. LANDSCAPE AREA. SEE LANDSCAPE PLAN.
2. MATCH EXISTING CURB & GUTTER/SIDEWALK/PAVEMENT.
3. BITUMINOUS PAVEMENT - SEE DETAIL.
4. 4" CONCRETE PAVEMENT.
5. SURMOUNTABLE CURB.
6. B612 CURB AND GUTTER.
7. 6" VERTICAL CURB, POUR INTEGRAL W/ SIDEWALK.
8. PEDESTRIAN CURB RAMP (MAX SLOPE 1:12).
9. 2' CURB TAPER.
10. 6" CONCRETE DRIVE APRON.
11. CONCRETE PAVERS - SEE ARCHITECTURAL.
12. HANDICAP PARKING SIGN: R7-8m W/R7-8b (12"x 18") MOUNT ON BUILDING COLUMN.
13. PARKING LOT STRIPING W/ 'NO PARKING' LETTERING
14. PRIVACY FENCING / GATES - SEE ARCHITECTURAL.
15. 5' TRANSITION TO SURMOUNTABLE CURB
16. SAWCUT AND REMOVE SIDEWALK & CONCRETE CURB & GUTTER

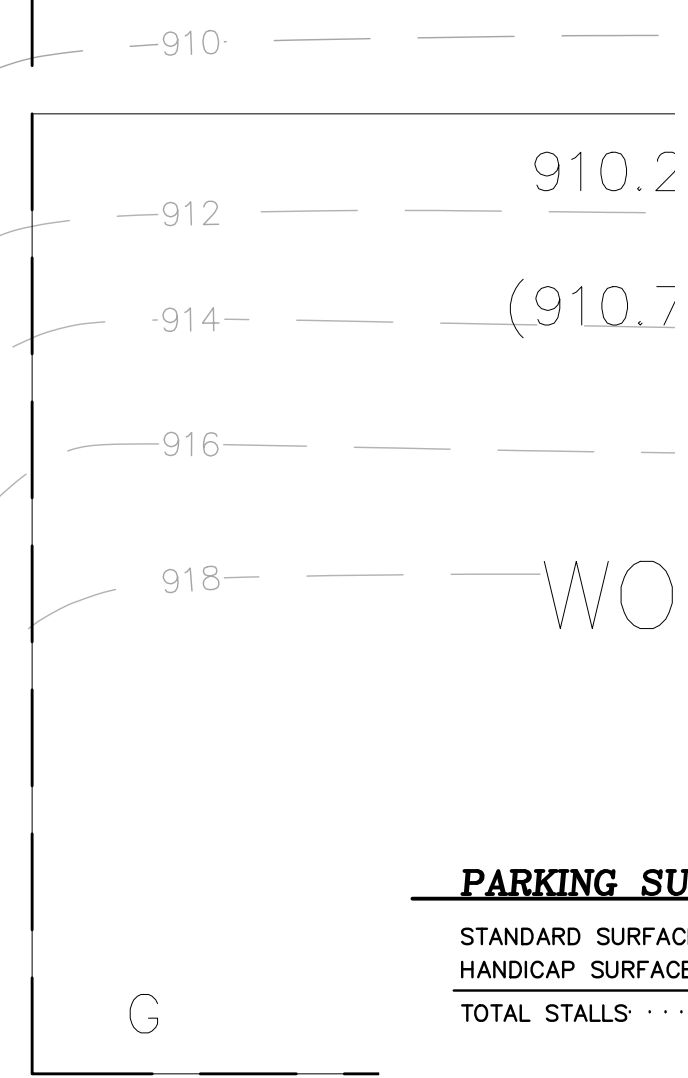
LEGEND

| | EXISTING | PROPOSED |
|-----------------------|----------|----------|
| PROPERTY LINE | --- | --- |
| EASEMENT LINE | --- | --- |
| CURB LINE | --- | --- |
| BITUMINOUS PAVEMENT | --- | --- |
| CONCRETE WALK | --- | --- |
| SANITARY SEWER | --- | --- |
| STORM SEWER | --- | --- |
| WATER MAIN | --- | --- |
| UNDERGROUND ELECTRIC | --- | --- |
| OVERHEAD ELECTRIC | --- | --- |
| MANHOLE / CATCH BASIN | --- | --- |
| HYDRANT | --- | --- |
| GATE VALVE | --- | --- |
| LIGHT POLE | --- | --- |
| ELECTRICAL BOX | --- | --- |
| TELEPHONE BOX | --- | --- |
| SIGN | --- | --- |
| ELECTRICAL METER | --- | --- |
| UTILITY POLE | --- | --- |
| GUY WIRE | --- | --- |
| FENCE LINE | --- | --- |
| 8' PRIVACY FENCE | --- | --- |
| RETAINING WALL | --- | --- |

SITE PLAN NOTES

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 2. ALL BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.
 3. ALL CURB AND GUTTER SHALL BE B618 UNLESS OTHERWISE NOTED.
 4. ALL PEDESTRIAN RAMPS SHALL MEET CURRENT ADA STANDARDS.
 5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO THE START OF SITE WORK. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF DISCREPANCIES AND/OR VARIATIONS FROM THE PLAN.
 6. SAWCUT ALL JOINTS WHERE CURB AND GUTTER IS TO BE REMOVED.
 7. UNLESS OTHERWISE SHOWN ON THIS DRAWING, CONTRACTOR SHALL PROVIDE CONTROL JOINTS, CONSTRUCTION JOINTS AND EXPANSION JOINTS IN SLAB ON GRADE, SIDEWALKS AND DRIVES PER THE FOLLOWING REQUIREMENTS:
 - CONTROL JOINT MAX. SPACING: WALKS-8' O.C. ALL OTHERS-10' O.C.
 - SAW CUT CONTROL JOINTS MINIMUM 1/4 CONCRETE THICKNESS.
 - EXPANSION JOINTS MAX. SPACING: WALKS-24' O.C. *ALL OTHERS-40' O.C.
- *AT ALL POINTS WHERE A CHANGE IN PAVEMENT THICKNESS OCCURS AND/OR WHERE NEW PAVEMENT WILL MATCH EXISTING PAVEMENT, AN EXPANSION JOINT SHALL BE PROVIDED.
- DOWEL ALL EXPANSION JOINTS: 24" O.C. MAX.

CONNECT TO EXISTING 16" WATER MAIN AND PROVIDE 4" GATE VALVE



PARKING SUMMARY

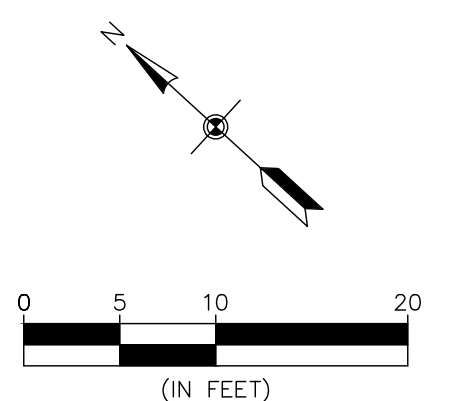
| | |
|-------------------------|----|
| STANDARD SURFACE STALLS | 14 |
| HANDICAP SURFACE STALLS | 1 |
| TOTAL STALLS | 15 |

SITE DATA

| | |
|------------------------|---------------|
| PROPOSED ZONING: | PUD |
| TOTAL AREA: | 26,950 SF |
| HARD SURFACE AREA: | |
| BUILDING: | 5,140 SF 19% |
| PAVEMENT: | 9,811 SF 36% |
| TOTAL: | 14,951 SF 55% |
| PERVIOUS SURFACE AREA: | 11,999 SF 45% |

STORM SEWER SCHEDULE

| STRUCTURE | NEENAH CASTING or EQUAL |
|------------|-------------------------|
| TYPE & No. | SIZE |
| CBMH-100 | 48" DIA. R-3067-VB |
| CBMH-101 | 24" X 36" R-3067-VB |



CALL BEFORE YOU DIG

811

Know what's below.
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CARLSON McCAIN ENGINEERING SURVEYING ENVIRONMENTAL

3890 PHEASANT RIDGE DR NE
SUITE 100
BLAINE, MN 55449
TEL 763.489.7900
FAX 763.489.7959
CARLSONMCCAIN.COM

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Print Name: Brian J. Krystofiak, P.E.
Signature:
Date: 06/16/22 License #: 25063

Drawn: RJR
Designed: RJR
Date: 06/17/22

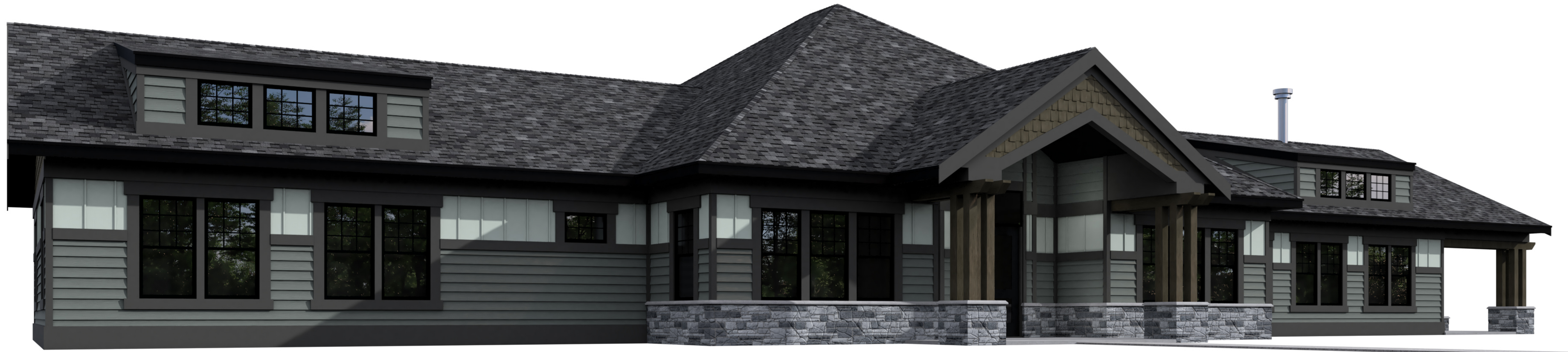
Revisions:
1.

LENNAR
16305 36th Avenue N. - Suite 600
Plymouth, MN 55446

WATERMARK AMENITY CENTER
Lino Lakes, MN

SITE & UTILITY PLAN

C3 of 6



**PLANNING & ZONING BOARD
AGENDA ITEM 6C**

STAFF ORIGINATOR: Katie Larsen, City Planner

P & Z MEETING DATE: July 13, 2022

REQUEST: 6966 and 6970 Lake Drive
Lot Combination Variance

CASE NUMBER: VR2022-001

APPLICANT: Robert & Carol Stanek
6970 Lake Drive
Lino Lakes, MN 55014

OWNER: Same

REVIEW SCHEDULE:

| | |
|--------------------------------------|------------------|
| Complete Application Date: | June 13, 2022 |
| 60-Day Review Deadline: | August 12, 2022 |
| 120-Day Review Deadline: | October 11, 2022 |
| Environmental Board Meeting: | NA |
| Park Board Meeting: | NA |
| Planning & Zoning Board Meeting: | July 13, 2022 |
| Tentative City Council Work Session: | August 1, 2022 |
| Tentative City Council Meeting: | August 8, 2022 |

BACKGROUND

The property owners of 6966 & 6970 Lake Drive, Robert and Carol Stanek, submitted a Land Use Application for a variance from State and City zoning and shoreland requirements to combine the two contiguous (2) nonconforming lots.

ANALYSIS

The Stanek's own the following contiguous lots:

| Address | PID # | Lot Size | Existing Land Use | Year Acquired Per Recorded Deeds |
|-----------------|-------------------|------------|---|----------------------------------|
| 6966 Lake Drive | #19-31-22-41-0006 | 4.00 acres | Vacant Lot w/ Illegal Accessory Structure | 2013 |
| 6970 Lake Drive | #19-31-22-41-0005 | 3.75 acres | Existing House | 1996 |

They live in the house located at 6970 Lake Drive. The illegal accessory structure on 6966 Lake Drive is for their farm animals and remains a zoning code violation to date.

Property History

The City has been working with the Stanek’s since 2014 to bring their two (2) lots into compliance regarding illegal accessory structures, farm animals, and lot combination.

- September 2014: Stanek’s illegally housed farm animals on their R-1, Single Family Residential zoned lots and constructed accessory structures without permits. Staff met with the Stanek’s and explained the code violations as well as the lot combination requirement.
- January 2015: Stanek’s submitted Land Use Application to rezone their two (2) lots from R-1, Single Family Residential to R, Rural to allow for the keeping of farm animals.
- March 2015: Rezoning denied per Council Resolution No #15-21 due to spot zoning.
- August 24, 2015: Seventeen (17) parcels along Lake Drive (including Stanek’s) were rezoned to R, Rural per Ordinance No. 07-15. This allowed Stanek’s to keep farm animals
- October 19, 2015: Staff mailed a letter to the Stanek’s regarding lot combination and building permit requirements. The letter also included the one page Anoka County form to combine the lots.
- November 4, 2015: Staff mailed another letter to Stanek’s as follow up to October 19, 2015 code enforcement letter.
- December 7, 2015 Council Work Session: The lot combination requirement was discussed again with City Council.
- December 11, 2015: Staff emailed Carol Stanek again regarding the lot combination requirement.
- December 14, 2015: Carol Stanek responded to staff email stating “I will have my attorney look at this and get back to you.”
- May 9, 2022: Staff received a call from an individual interested in building a house on 6966 Lake Drive.

- May 10, 2022: 6966 Lake Drive listed on MLS realtor site. Staff mailed and emailed a letter to the Stanek's noting requirement to combine lots and that 6966 Lake Drive cannot be sold or developed separately.
- June 13, 2022: Stanek's submitted land use application for variance from lot combination requirement.

City Zoning Ordinance

The lots are both zoned R, Rural. Per City Code Section 1007.080(2)(a) and (b), the required minimum lot size is ten (10) gross acres and the minimum lot width is 330ft. Both lots are less than 10 acres and are approximately 200 ft wide. Both lots are substandard, unsewered, and non-conforming because they do not meet the minimum lot size or the lot width requirements. The following City ordinances and State Statutes support the lot combination requirement.

- Per City Code Section 1007.001(2) Definitions:

NON-CONFORMING USES. A use or activity which was lawful prior to the adoption, revision or amendment of a zoning ordinance, but which fails, by reason of such adoption, revision or amendment, to conform to the present requirements of the zoning district.

Staff Comment: It should be noted that when the lots were zoned R-1, Single Family Residential they were still non-conforming and substandard because they were not served by public sanitary sewer and water as required in the R-1 district.

- Per City Code Section 1007.041 Non-Conforming Uses and Structures:

(1) *Purpose.* It is the purpose of this section to provide for the regulation of non-conforming buildings, structures and uses and to specify those requirements, circumstances, and conditions under which non-conforming buildings, structures and uses will be operated and maintained. The Zoning Ordinance establishes separate districts, each of which is an appropriate area for the location of uses which are permitted in that district. It is necessary and consistent with the establishment of these districts that non-conforming buildings, structures and uses not be permitted to continue without restriction. Furthermore, it is the intent of this section that all non-conforming uses shall be eventually brought into conformity.

Staff Comment: It is specially stated that the intent of the nonconforming ordinance is that all nonconforming uses shall be eventually brought into conformity. Combining the 2 lots will create one 7.75 acre lot that is 400 ft wide. The new lot will meet lot width requirements and will be closer in conformance of a 10 acre lot.

- Per City Code Section 1007.042(1) Lot of Record:

(a) Any substandard unsewered lot of record existing at the effective date of this Ordinance and held in separate ownership different from the ownership of adjoining lots may be used for the erection of a structure conforming to the use regulations of this Ordinance provided that:

1. The lot was a separate parcel with its own parcel identification number on the date of the adoption of this Ordinance.

2. It can be demonstrated that the lot can accommodate the proposed principal structure, onsite well if the public water system is not available, and an onsite wastewater treatment system including both a primary and secondary drain field area in accordance with MN Stat. 7080 and other applicable requirements.

3. The lot has direct frontage on an improved public street which has been accepted for maintenance by the City of Lino Lakes.

4. All building and site improvements adhere to all required setbacks.

Staff Comment: This zoning section also specifically addresses any substandard unsewered lot held in separate ownership different from the ownership of adjoining lots may be used for the erection of a structure. The vacant lot addressed 6966 Lake Drive is not held in separate ownership from 6970 Lake Drive and cannot be used for the erection of a structure.

City Shoreland Ordinance

Both lots are located within the Shoreland Management Overlay district of Rice Lake which is classified as a natural environment lake. The purpose of requiring the two (2) substandard lots to be combined is to create one (1) parcel that is more in compliance with minimum lot size and lot width requirements.

· Per City Code Chapter 1102: Shoreland Management Overlay:

○ Section 1102.07 Zoning and Water Supply/Sanitary Provisions.

(1) *Lot area and width standards.*

(a) Residential Zoning Districts

a. Lot Area per Unit: Unsewered lot on a Natural Environment Lake is 10 acres

b. Lot Width: Unsewered lot on a Natural Environment Lake is 330ft.

○ Section 1102.08 Nonconformities.

(1) *Construction on nonconforming lots of record.*

(c) If, in a group of two or more contiguous lots under the same ownership, any individual lot does not meet the requirements of § 1102.07(1), the lot must not be considered as a separate parcel of land for the purposes of sale or development. The lot must be combined with the one or more contiguous lots so they equal one or more parcels of land, each meeting the requirements of § 1102.07 of this chapter as much as possible.

Minnesota State Statute

- Per Minnesota State Statute 462.357 Subd.1e. Nonconformities related to shoreland lots:

(f) In a group of two or more contiguous lots of record under a common ownership, an individual lot must be considered as a separate parcel of land for the purpose of sale or development, if it meets the following requirements:

- (1) the lot must be at least 66 percent of the dimensional standard for lot width and lot size for the shoreland classification consistent with Minnesota Rules, chapter 6120;
- (2) the lot must be connected to a public sewer, if available, or must be suitable for the installation of a Type 1 sewage treatment system consistent with Minnesota Rules, chapter 7080, and local government controls;
- (3) impervious surface coverage must not exceed 25 percent of each lot; and
- (4) development of the lot must be consistent with an adopted comprehensive plan.

(g) A lot subject to paragraph (f) not meeting the requirements of paragraph (f) must be combined with the one or more contiguous lots so they equal one or more conforming lots as much as possible.

Minnesota Rules Chapter 6120

Minnesota Rule 6120.3300 Subp.2(D) further discusses the nonconforming lot combination requirement. The rule also establishes minimum statewide shoreland lot size and lot width requirements. The MNDNR minimum unsewered riparian lot size on a natural lake is 80,000sf and the minimum lot width is 200ft.

However, where the requirements of the City ordinance, State Statute, or Rule are more or less restrictive, the more restrictive standards shall apply (Rule 6120.2800 Subpart 1. and City Code 1102.02(6)). In this instance, the City's 10 acre lot size and 330ft lot width are more restrictive and shall apply.

Applicant's Narrative

The property owners submitted the attached narrative. Staff notes the Stanek's have been aware of the lot combination requirement since 2014.

MnDNR Comments

The DNR reviewed the variance land use application and stated the City has standards much stricter than statute for shoreland lot sizes, so they have no comments.

VARIANCE CRITERIA AND FINDINGS OF FACT

Per City Code Section 1007.018(1)(a): No variance shall be granted unless it meets **all** the criteria in paragraphs 1. through 7. below. The City shall make findings regarding compliance with these criteria.

1. The variance shall be in harmony with the general purposes and intent of the ordinance.

The following are the general purposes and intent of the ordinances:

• *City Code Section 1007.041 Non-Conforming Uses and Structures:*

(2) Purpose. It is the purpose of this section to provide for the regulation of non-conforming buildings, structures and uses and to specify those requirements, circumstances, and conditions under which non-conforming buildings, structures and uses will be operated and maintained. The Zoning Ordinance establishes separate districts, each of which is an appropriate area for the location of uses which are permitted in that district. It is necessary and consistent with the establishment of these districts that non-conforming buildings, structures and uses not be permitted to continue without restriction. Furthermore, it is the intent of this section that all non-conforming uses shall be eventually brought into conformity.

• *City Code Section 1007.080 R, Rural District:*

(1) Purpose. This district is designed and intended to aid in guiding development toward fulfillment of the Comprehensive Plan and to serve the following functions:

(b) To help guide development of urban and rural areas along an orderly design to preserve continuity and efficiency of service.

• *Chapter 1102: Shoreland Management Overlay:*

(2) Policies. The uncontrolled use of shorelands of the city affects the public health, safety and general welfare not only by contributing to pollution of public waters, but also by impairing the local tax base. Therefore, it is in the best interests of the public health, safety and welfare to provide for the wise subdivision, use and development of shorelands of public waters. The Legislature of Minnesota has delegated responsibility to local governments of the state to regulate the subdivision, use and development of shorelands of public waters and thus preserve and enhance the quality of surface waters, conserve the economic and natural environmental values of shorelands, and provide for the wise use of waters and related land resources. The responsibility for the management of shoreland areas is hereby recognized by the city.

The variance to waive the requirement to combine the two (2) nonconforming lots and allow the sale and development of a substandard, unsewered, nonconforming lot is not in harmony with the intent of the non-conforming ordinance that all non-conforming uses shall be eventually brought into the conformity. The variance is not in harmony with creating and maintaining

larger rural, unsewered lots to preserve continuity and efficiency of service and development when public water and sanitary sewer are available. The variance is also not in harmony with the intent of the shoreland ordinance and protecting the natural environment.

2. The variance shall be consistent with the comprehensive plan.

Per the 2040 Comprehensive Plan, Chapter 3, Land Use:

Goal 1: Create a unified vision and future for the city, promote a well planned community, prevent fragmented development, address the impacts of development and redevelopment on natural resources, aesthetics and view corridors, and provide balanced land use and connectivity that ensures the integration of both sides of the regional park.

Goal 7: Sustain Lino Lakes' natural resources which make it a desirable place to live. A policy is to protect and preserve the natural resources of the City.

The variance is not consistent with the comprehensive plan. Allowing the sale and development of substandard, unsewered shoreland lot is not consistent with preventing fragmented development and protecting the natural resources.

3. There shall be practical difficulties in complying with the ordinance. "Practical difficulties," as used in connection with the granting of a variance, means that the property owner proposes to use the property in a reasonable manner not permitted by the ordinance. Economic considerations alone do not constitute practical difficulties. Practical difficulties include, but are not limited to, inadequate access to direct sunlight for solar energy systems.

The property owner proposes to use the property in a reasonable manner; however, there is no practical difficulty in complying with the lot combination requirement.

Economic considerations regarding the land sale profits alone does not constitute a practical difficulty.

4. The plight of the landowner shall be due to circumstances unique to the property not created by the landowner.

The plight of the landowner was created by the landowner when they purchased the 6966 Lake Drive lot in 2013. There are no unique circumstances to the property causing the landowner not to be able to comply with the ordinance requirement of combining the two (2) lots.

5. The variance shall not alter the essential character of the locality.

The variance will not alter the essential character of the locality which are a single family homes on substandard, unsewered, nonconforming lots.

6. A variance shall not be granted for any use that is not allowed under the ordinance for property in the zoning district where the subject site is located.

The variance will not be granted for any use that is not allowed under the ordinance for property in the zoning district. The property is zoned R, Rural and allows for the construction of a single family detached dwelling.

7. In accordance with MN Stat. 462.357, Subp. 6, variances shall be granted for earth sheltered construction as defined in MN Stat. 216C.06, Subd. 14, when in harmony with the zoning ordinance.

Not applicable.

RECOMMENDATION

The variance request from the following City ordinances should be denied because not all seven (7) variance criteria are met:

1. City Code Section 1007.042 (1) Lot of Record:
 - (a) Any substandard unsewered lot of record existing at the effective date of this Ordinance and held in separate ownership different from the ownership of adjoining lots may be used for the erection of a structure conforming to the use regulations of this Ordinance.
2. City Code Section 1102.08 Nonconformities:
 - (1) Construction on nonconforming lots of record.
 - (c) If, in a group of two or more contiguous lots under the same ownership, any individual lot does not meet the requirements of § 1102.07(1), the lot must not be considered as a separate parcel of land for the purposes of sale or development. The lot must be combined with the one or more contiguous lots so they equal one or more parcels of land, each meeting the requirements of § 1102.07 of this chapter as much as possible.

If the Board finds all seven (7) variance criteria are met and recommends approval of the variance, staff suggests the following conditions be included in the approval:

1. A Shoreland Buffer Declaration should be recorded against both lots similar to Poehling Addition, Stern Addition, and Lake Amelia Woods Addition.
2. The illegal accessory structure located at 6966 Lake Drive shall be removed prior to the lot being listed for sale.
3. Any farm animals located at 6966 Lake Drive shall be removed prior to the lot being listed for sale.
4. The number of allowed farm animals located on 6970 Lake Drive shall comply with the requirements of the R, Rural zoning district.
 - a. No more than one (1) animal unit per two (2) acres.
 - b. 6970 Lake Drive is 3.75 acres = 1.88 animal units allowed
 - i. For example:

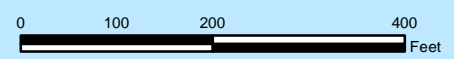
1. One (1) horse = 1 animal unit
2. One 50 pound goat = 0.05 animal units

ATTACHMENTS

1. Site Location & Aerial Map
2. Applicant's Narrative



Site Location & Aerial Map 6966 & 6970 Lake Drive



CRITICAL DATES REFERENCE 6966 & 6970 Lake Drive

1994-11 – Robert Stanek purchased land and house at 6970 Lake Drive

2003-2004 – Alma (Leonard) LeTendre, who lived at 6958 Lake Drive and owned 6966 Lake Drive, sold 6966 to the Jehovah Witness Church (actual date is pending).

2013-07 – Robert & Carol Stanek purchased 6966 Lake Drive from the Jehovah Witness Church

2014-09-23 – Received letter from Lino Lakes Building Official reference city code violations on 6966 Lake Drive for the following items:

- a) Construction of accessory structures (horse shelter) on property requiring city permit
- b) Construction of fence on property requiring city permit
- c) Accessory structures and fence may not be allowed per city requirements

No reference in this letter requiring the two lots be combined per city or county ordinances.

2014-2015 – Petition to Planning Council and City Council requesting land zone change from R-1 Residual (single family) to Rural to “allow for the keeping of farm animals” on the 6966 land for recreational use of horses, goats and chickens. Petition was approved with all land in Subdivision #151 (19.31.22.41 0001-0015) and Seaplane base be rezoned rural with an effective date listed as August 2015.

2015-10-19 – Received letter from City Planner informing us that additional items needed to be addressed in order to bring the property into ordinance compliance:

- a) Lot combination – request that lots 19.31.22.41.0006 be combined with lot 19.31.22.41.005
- b) Construction plans for additional structures
- c) Fence Permit for storage of farm animals
- d) Number of Accessory Structures

2015-10-23 – Initial inspection completed by Lino Lakes Building Official. Construction plans approved.

2015-11-04 – Received follow-up letter from City Planner reference the four items noted on 19 October 2015.

2015-11-20 – Follow up inspection completed by LL Building Official. No specifics on results of inspection.

No additional follow-up was conducted or noted after this period of time from either the Lino Lakes City Planner or Council, or Anoka County personnel reference instruction to combine the two lots.

2022-03 – Started process with local realtor to list and sell the 6966 Lake Drive as a separate lot

2022-04 – Formally listed 6966 Lake Drive as lot available for sale (supposedly City Planner received inquires)

2022-05-09 – Received letter from City Planner informing us that we could not sell 6966 as an individual lot for sale and we had to combine the 6966 lot with 6970 lot as required by letter noted above on 2015.10.19.

2022-06-13 – Submit formal request to City Planner and Planning Council for variance to sell the 6966 lot

**PLANNING & ZONING BOARD
AGENDA ITEM 6D**

STAFF ORIGINATOR: Katie Larsen, City Planner

P & Z MEETING DATE: July 13, 2022

REQUEST: Villas on Vicky PUD Concept Plan Review

CASE NUMBER: PC2022-002

APPLICANT: Ranger Development
Attn: Jon Blattman
4247 117th Ave. NE
Blaine, MN 55449

OWNER: Jeff & Mary Jo Joyer
8174 Lake Drive
Lino Lakes, MN 55014

REVIEW DEADLINE:

| | |
|--------------------------------------|------------------|
| Complete Application Date: | June 14, 2022 |
| 60-Day Review Deadline: | August 13, 2022 |
| 120-Day Review Deadline: | October 12, 2022 |
| Environmental Board Meeting: | June 29, 2022 |
| Park Board Meeting: | NA |
| Planning & Zoning Board Meeting: | July 13, 2022 |
| Tentative City Council Work Session: | August 1, 2022 |
| Tentative City Council Meeting: | August 8, 2022 |

BACKGROUND

The applicant, Ranger Development, submitted a land use application for PUD Concept Plan review. The proposed residential development is located on a 5 acre parcel west of CSAH 23 (Lake Drive) and south of Vicky Lane. The concept plan proposes 23 single family detached townhome villas. The applicant is proposing varying lots sizes, setbacks, and building design standards that would require PUD flexibility.

Future land use applications may include:

- Rezone property from R-1, Single Family Residential to PUD, Planned Unit Development
- PUD Development Stage Plan/Preliminary Plat
- PUD Final Plan/Final Plat

This staff report is based on the following submittals:

- Applicant Narrative-Villas on Vicky
- House Elevations and Floor Plans
- Aerial Resource Map prepared by EG Rud & Sons, Inc. dated May 26, 2022
- Concept Plan prepared by EG Rud & Sons, Inc. dated May 26, 2022

ANALYSIS

Existing Conditions

The 4.91 acre parcel’s existing land use is vacant rural residential. Land cover is long grasses with sparse tree cover on upland soils. There are no wetlands or floodplain on site.

Surrounding Zoning and Land Use

Surrounding land uses include single family homes and commercial (All Season Rental) east of CSASH 23(Lake Drive).

| Direction | Zoning | Existing Land Use | 2040 Future Land Use |
|------------------|--------------------------------|--|--------------------------------------|
| North | R-1, Single Family Residential | Single Family Residential | LDR, Low Density Sewered Residential |
| South | R-1, Single Family Residential | Rural Residential & Vacant Rural Residential | LDR, Low Density Sewered Residential |
| East | GB, General Business | Commercial & Vacant Commercial | Commercial |
| West | R-1, Single Family Residential | Rural Residential | LDR, Low Density Sewered Residential |

Proposal

Per the applicant’s narrative, the intent is to develop 23 housing units that are one and two level with private streets and HOA. Please see the attached applicant’s narrative for a detailed description of the project.

Staff Comment:

1. The narrative and concept plan incorrectly references the 2030 Comprehensive Plan.

Comprehensive Plan and Housing Density

Per the 2040 Comprehensive Plan, the parcel is guided Medium Density Residential which requires 4.0 to 6.0 units per net acre.

| | |
|---------------------------------------|-------------|
| Gross Area (acres) | 4.91 |
| Wetlands & Water Bodies | 0.00 |
| Public Parks & Open Space | 0.00 |
| Arterial ROW | (0.42) |
| Other (Utility Transmission Easement) | 0.00 |
| Other (Wetland Buffer Area) | 0.00 |
| Net Area (acres) | 4.49 |
| # of Units | 23 |
| Gross Density (units/acre) | 4.68 |
| Net Density (units/acre) | 5.12 |

The proposed 5.12 units per net acres is within the medium density range.

Staff Comment:

1. Only the dedicated right-of-way required along CSAH 23 (Lake Drive) can be subtracted as Arterial ROW, not Vicky Lane or the private road.

Planning District #2

The parcel is located in Planning District #2. There are no specific land use requirements for this parcel other than medium density residential. Transportation needs include implementation of the Anoka County Highway access management plan for CSAH 23 (Lake Drive) which includes the realignment of Vicky Lane with Kelly Lane to eliminate the existing offset intersection.

Zoning and Land Use

| | |
|---|---|
| Current Zoning | R-1, Single Family Residential |
| Current Land Use | Vacant Rural Residential |
| Future Land Use per 2040 Comp Plan | Medium Density Residential 4.0-6.0 upa |
| Utility Staging Area | Stage 1A (2018-2025) |

Rezoning

The property is currently zoned R-1, Single Family Residential. The property would need to be rezoned to PUD, Planned Unit Development in order to allow for a variety of lot sizes, lot widths and housing products as proposed in the concept plan.

Zoning Requirements and Standards

Baseline/Conventional Zoning District Requirements

As with any PUD, the City starts with the conventional zoning district as the baseline. Property that is guided medium density residential may be zoned R-2, Two Family Residential or R-3, Medium Density Residential. The following chart provides a comparison of the baseline/conventional zoning district requirements vs. the proposed development.

| | R-2 Single Family Requirements | R-2 Two Family Requirements | R-3 Townhomes | Proposed Villas on Vicky |
|--|---|--|--------------------------|-------------------------------------|
| Min. Lot Size | 7,500sf | 7,500sf | 24,000sf base lot | 5,358sf to 11,066sf |
| Min. Lot Width | 60ft | 50ft | 100ft base lot | 40ft to 53ft |
| Min. Lot Depth | 125ft 135 ft (double frontage) | 125ft 135 ft (double frontage) | NA | 114ft to 120ft |
| Building Setback (feet) | | | | |
| -From Local Streets | 25ft | 25ft | 30ft | 25ft to 33ft from curb |
| -From Collector or Arterial Streets | 40ft | 40ft | 40ft | 40ft |

| | | | | |
|---|------|------|------|-------------------|
| -Rear | | | | |
| --Principal | 25ft | 25ft | 30ft | 25-30ft |
| -Accessory | 5ft | 5ft | 5ft | 5ft |
| -Side | | | | |
| --Principal | 10ft | 10ft | 10ft | 6.5ft |
| --Accessory | 5ft | 5ft | 5ft | None |
| Side or Rear Buffer Adjacent to Collector | 15ft | 15ft | 20ft | Shall be provided |
| Impervious Surface | 50% | 50% | 50% | TBD |

Staff Comments:

1. As proposed, the PUD concept plan is most comparable to the R-2 Single Family requirements. PUD flexibility would be required for lot sizes, lot widths, lot depth, side setbacks and housing products.
2. An additional 10ft of street right-of-way is required along CSAH 23 (Lake Drive).
3. Lot 1, Block 1 will not meet the 40ft setback requirement after additional street right-of-way along CSAH 23 (Lake Drive) is dedicated.
4. Landscape buffer and screening are required along all perimeters of the lot.
5. The impervious surface of the entire development cannot exceed 50%.

PUD, Planned Unit Development Requirements

Property that is guided medium density residential may be also be zoned PUD, Planned Unit Development. The following chart provides a comparison of the PUD requirements vs. the proposed development.

| | PUD Requirements | Proposed Villas on Vicky |
|-----------------------------|-----------------------------|-------------------------------------|
| Private Roadways | 26ft wide | 26ft wide |

| | | |
|----------------------------|-----------------------------------|-------------------|
| Open Space | 50% | 0% |
| Setbacks, Periphery | Front & Side = Baseline Zoning | Varies 25ft-30ft |
| Setback, Front | 25ft back of curb | 25ft back of curb |
| Building Separation | 10ft | 13ft |

Staff Comment:

1. The applicant would need to provide a public benefit in order to be considered for PUD zoning. Examples could be open space, higher architectural & building standards etc.
2. No open space is provided.

Building Design Standards

Per the applicant’s narrative, all homes will be slab on grade with an optional second floor level. All homes come with a dedicated storm room. Homes can range from 1,400sf and up. Garage sizes are 20’2” x 21’7” measured inside wall to wall. Varying building elevations and color are provided. All homes include a 12’ x 12’ patio. The applicant’s narrative includes renderings of the proposed housing products.

Staff Comments:

1. More detailed information will be required to fully analyze each housing product.
2. The building design standards of the R-2 zoning district shall be used as the starting baseline for each housing product in regards to floor area, utility area, garages etc.
3. The houses do not appear to meet the minimum R-2 floor area requirements of 1,010sf less garage area plus additional 100sf for units without basements.
4. The garages do not appear to meet the minimum R-2 requirements in regards to garage forward of house and length of garage wall.
5. The garages do not appear to meet the proposed 22’ x 24’ garage size zoning requirements.
6. The applicant also submitted a house plan with a single car garage which staff does not support.
7. Side yard patio doors exiting into a reduced 6.5ft side setback would not be allowed because there is no room for a sidewalk, patio or deck.

Subdivision Ordinance

Blocks and Lots

The concept plan indicates 23 single family lots of varying sizes. Lots 1-4, Block 2 are double frontage lots and require additional depth. Outlot A is the private drive and Outlot B is for stormwater management.

Staff Comments:

1. An additional 10ft of street right-of-way shall be dedicated along CSAH 23 (Lake Drive) near Lot 1.

Streets and Alleys

Vicky Lane is being realigned with Kelly Lane to eliminate the existing offset intersection and provide more traffic safety along CSAH 23 (Lake Drive). The proposed private drive is 26ft wide back to back.

Staff Comments:

1. Vicky Lane is a public street and shall be 30ft wide back to back.
2. No on-street parking shall be allowed on the private drive.
3. On-street parking on the realigned section of Vicky Lane shall be evaluated by the City.
4. The private drive shall be owned and fully maintained by an HOA.
5. No additional parking spaces are provided on site.
6. A traffic study shall be required.
7. Southbound turn lanes from CSAH 23 (Lake Drive) onto Vicky Lane shall be evaluated.
8. Northbound turn lanes from CSAH 23 (Lake Drive) onto Vicky Lane shall be evaluated in the future in conjunction with reconstruction of CSAH 23.

Easements

Staff Comments:

1. Standard drainage and utility easements at least 10 feet wide shall be provided along all lot lines.
2. Drainage and utility easements shall also be dedicated over stormwater management facilities.

Stormwater Management and Erosion and Sediment Control

The concept plan shows stormwater management in Outlot B and along CSAH 23 (Lake Drive) in the right-of-way.

Staff Comments:

1. The applicant shall comply with Anoka County, RCWD and City stormwater management requirements.
2. Staff has concerns regarding the smaller lots and reduced setbacks in regards to site and yard drainage.

Utilities

Public water, sanitary and storm sewer utilities will be installed within the development. Municipal water and sanitary sewer utilities to serve the development exist along Lake Drive and Vicky Lane.

The site is located in Utility Staging Area 1A (2018-2025) and in Sanitary Sewer District 2 (Sub-district 2B). Flow is collected southward to MCES Meter M211 and Gravity Interceptor 8361 along North Road which passes southwest through Circle Pines.

Parks, Greenways and Trail Plan

Per the City's 2040 Parks, Greenways and Trails Plan, this development is within the Highland Meadow Park service area. Future public trails are proposed along both the west and east side of CSAH 23 (Lake Drive).

Staff Comment:

1. A minimum 20 ft wide trail corridor along CSAH 23 (Lake Drive) shall be provided and graded. The potential ponding area shown on the concept plan can not interfere with the future trail corridor.
2. The City will require cash in lieu of land dedication.

Tree Preservation and Landscaping

A Tree Preservation Plan and Landscape Plan in compliance with Section 1007.043(17), Required Screening, Landscaping and Buffer Yards shall be submitted. Landscape buffer and screening is required around the perimeter of the site. Additional landscaping may be required as a condition of the PUD.

Environmental Review Record

An Environmental Assessment Worksheet (EAW) is not required. The proposed 23 single family detached units are less than the 250 unattached unit threshold.

Wetlands

There are no wetlands on site.

Floodplain

There is no floodplain on site.

Shoreland District

The site is not located within the Shoreland Management Overlay District.

Additional City and Government Agency Review Comments

Anoka County

Anoka County Highway Department provided the following comments via email:

1. Extend the southbound CSAH 23 right turn lane to the new location of Vicky Lane.
2. An additional 10 feet of right way along CSAH 23 as well along with right of access outside of Vicky Lane.

Lino Lakes Public Safety

The Police Division recommends dedicated northbound and southbound turn lanes from Lake Drive onto Vicky Lane.

The Fire Division recommends no parking on the private street. Vicky Lane would need to be wider to allow parking. Hydrant locations will also need to be reviewed.

Environmental Board

The Environmental Board reviewed the PUD concept plan on June 29, 2022. General comments included the need for landscape buffer and screening, opening space, trail and a more diverse mix of native plants.

City Engineer

The City Engineer provided comments in the attached letter dated July 6, 2022.

PUD Development Stage Plan/Preliminary Plat

The City's review and comments on the concept plan's relation to the Comprehensive Plan and development regulations does not grant any rights to the applicant to develop the property as depicted by the concept plan.

A land use application for PUD Development Stage Plan/Preliminary Plat shall be required. The developer should have a neighborhood meeting prior to submittal of a PUD Development Stage Plan/Preliminary Plat.

RECOMMENDATION

Staff has overall concerns regarding the number of single family detached housing products, smaller lots, side yard setbacks and drainage etc. A more compatible housing product for this site could be the R-2 two family or R-3 townhome product. Examples of medium density residential development immediately in the area are the two and three unit products in Highland Meadows East 2nd Addition on Nancy Court or the four unit products in Highland Meadows West on Marilyn Drive and Oak Lane.

Staff is requesting feedback from the Planning & Zoning Board.

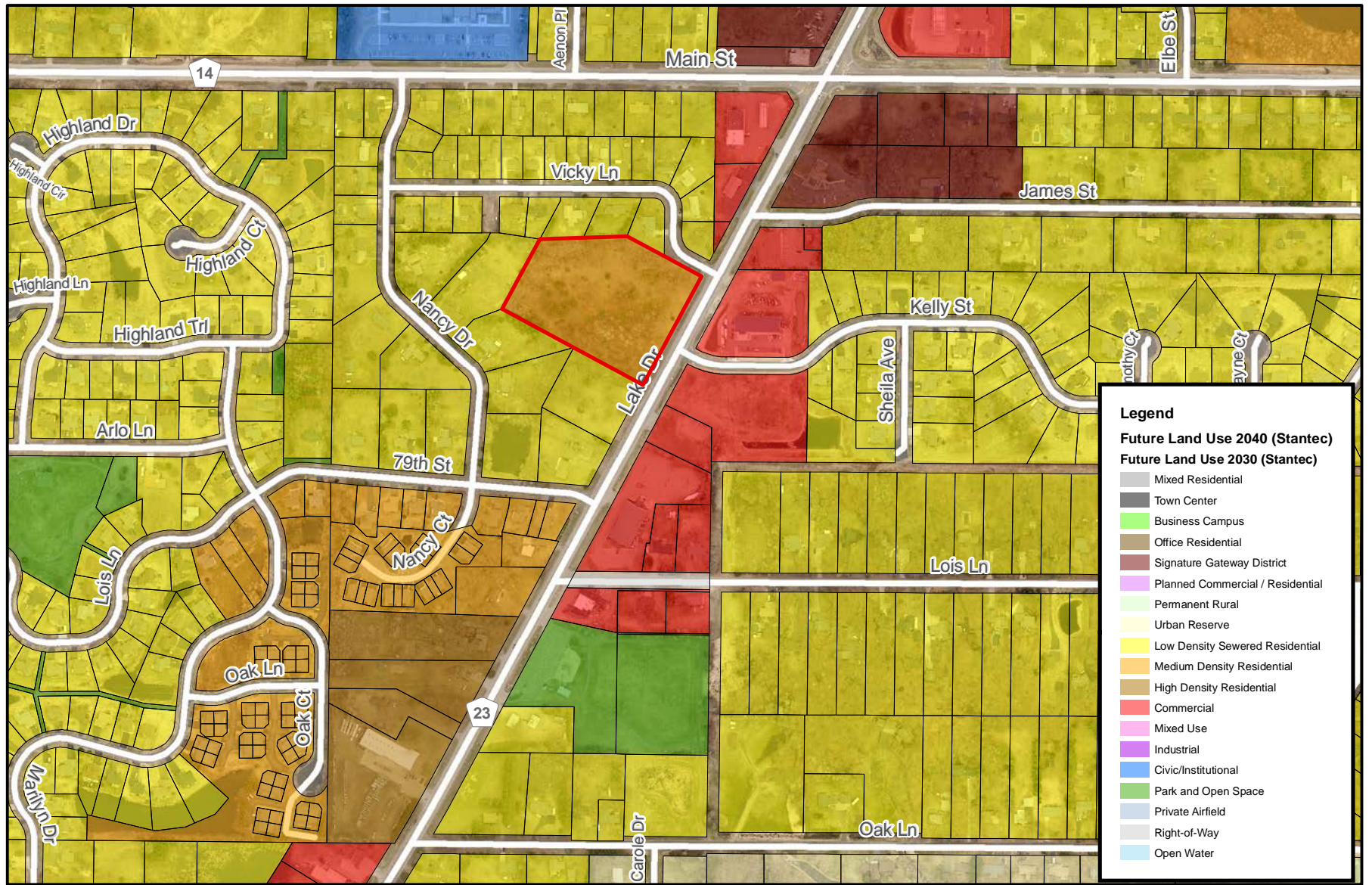
ATTACHMENTS

1. Site Location and Aerial Map
2. 2040 Land Use Map
3. Applicant Narrative
4. House Elevations and Floor Plans
5. Aerial Resource Map
6. Concept Plan
7. City Engineer Memo dated July 6, 2022
8. Environmental Coordinator Memo dated July 5, 2022



Site Location & Aerial Map Villas on Vicky





2040 Land Use Map Villas on Vicky





6/9/2022

Developer

Ranger Development

Jon Blattman
4247 117th Ave. NE
Blaine MN 55449
763.242.8087

hedberghomes@hedberghomes.com

Planning/ Survey

EG Rudd & Sons

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651.361.8200
Fax 651.361.8701
jnapier@egrud.com

Engineering

Plow Engineering

Adam Ginkel P.E.
6776 Lake Drive, Suite 110
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651.361.8210
Fax 651.361.8701
adam@plowe.com

Builder

Hedberg Homes Inc.

4247 117th Ave. NE
Blaine MN 55449
763.242.3706
hedberghome@hedberghome.com

LOCATION

The proposed Villas on Vicky is located on 4.9 acres at the intersection of Lake Drive and Vicky Lane.

BACKGROUND

Ranger Development in conjunction with Hedberg Homes Inc. (builder) has completed similar projects to what Villas on Vicky would be. Our past projects have been in Otsego and four in Blaine in the past seven years.

DESCRIPTION OF PROPOSED DEVELOPMENT

The intent is to develop Villas on Vicky to be twenty-three one and two level, single family residential neighborhood, with private streets and HOA. The propose of this request is to submit, process, and obtain approval for rezoning and a preliminary plat for development.

This type of housing product that is proposed is in much demand and over the years we have listen to what clients are looking for within this type of development.

The property is currently zoned R-1 single family residential; the City of Lino Lake 2030 comprehensive plan shows future land use to "Mixed Use".

Ranger Development is requesting a zoning change to a PUD so we can maximize the land use. The PUD zoning change will allow flexibility and diversity within the proposed to make it economically feasible. As we all know that materials have increased within the last two years and infrastructure materials have escalated also.

The proposed development will have a density of 4.68 units per acre. Lot size will range from 5,358 sq.' to 11,066 sq.'.

Street width is twenty-six feet in width and will accommodate parking on the street for visitors, so no off-street parking shall be needed.

With-in the development construction, Vicky Lane will re-align to match up with Kelly Street on the East side of Lake Drive. We have had a discussion with Anoka County regarding turn lanes. Unofficial comment was that most likely we may need to widen turn lane from Lake Drive onto new Vicky Lane. They did not see any other issues with the concept.

Outlots, setbacks and lot sizes are shown on plans provided with the application.

HOUSE PRODUCT DESIGN

FOUNDATIONS

All homes will be slab on grade "no basements", optional second-floor level can be added if requested.

STORM ROOMS

All homes come with a dedicated storm room, for one to go to during inclement weather conditions.

These rooms have additional wall connections into the concrete floor to help prevent up lift and rooms are shown on house plan.

FOOTAGE SIZE OF THE HOMES

Homes can range from 1400 sq.' and up.

Homes are custom designed to the Clients wishes within the designated house footprint and lot size.

GARAGE SIZES

One of our biggest requests from Clients is for larger garages, in Villas on Vicky we will offer some lots that will accommodate larger garages.

We also want to offer a single car option as we have seen more requests from clients that only have one car and it would be about price point for Clients.

ELEVATIONS

As for the design of homes for the project, we try not to duplicate elevations or colors onto other homes if possible. Our past developments have been designed this way and upon completion of the projects they are visually pleasing.

Roofs throughout the project will have designer shingles.

In pervious projects that we have completed we did not have restrictions on roof pitch, since we do our designs in house, so we control the overlook elevation look, which is the main focus. This worked well by not having roof pitch restriction and provided more options for different front elevations.

PATIOS

All homes include a twelve-by-twelve patio with additional footages optional if the Client so desired.

DRIVEWAYS

Driveways shall be concrete and two feet wider than garage door width.

LANDSCAPE

Each home includes two trees, plantings in front of home. Landscape rock around the perimeter of home.

Each home includes irrigation system that is controlled by the HOA.

OPTIONAL FEATURES

Listed below are some of options that will be available to Clients are as follows:

1. In-floor gas radiant heating where the gas boiler doubles as tankless water heater (*most requested option*) which we believe is the most energy efficient on the market.
2. Gas or electric fireplaces
3. Insulated garages
4. Walk-in showers (wheelchair assessable)
5. Vaulted ceilings
6. Wider hallways and interior doors to accommodate wheelchairs.

HOME EFFICIENCY OR HERS (HOME ENERGY RATING SYTEM) SCORES

With the rising cost that is accruing with natural gas prices we take energy efficiency very seriously. On a HERS score, the lowers the number, better efficiency, in which Minnesota leads the nation in the HERS index of 50.

While a standard new home is awarded a rating of one hundred. A home with a HERS score of 70 is 30% more energy efficient than a standard new home.

Our HERS scores run from in the 30s to 45 which is well under MN State average (50) for new homes.

HOA ASSOCIATION

Villas on Vicky shall be overseen by a HOA, which will enforce the regulations set forth in the HOA documents. This will control what neighbors can do to the exterior of their homes.

Here is a brief list of regulations.

1. The HOA shall provide lawn care and snow removal from driveway, sidewalks, and streets with any snowfall of greater than two inches.
2. All planting that has been provide with the sale of home shall be maintained by Homeowners and not the HOA.
3. HOA will monitor and maintain each homes irrigation system.
4. No parking of vehicles in driveways more than forty-eight hours.
5. No garbage cans stored outside.
6. Any changes to landscaping that has been established with the sale of the home must have the approval of the HOA.
7. No fencing of yard, but small dog kennel fencing maybe approved on an individual base and at the discretion of the HOA, which then the homeowner is responsible for maintaining that portion of yard.



SIDE LOAD ENTRANCE



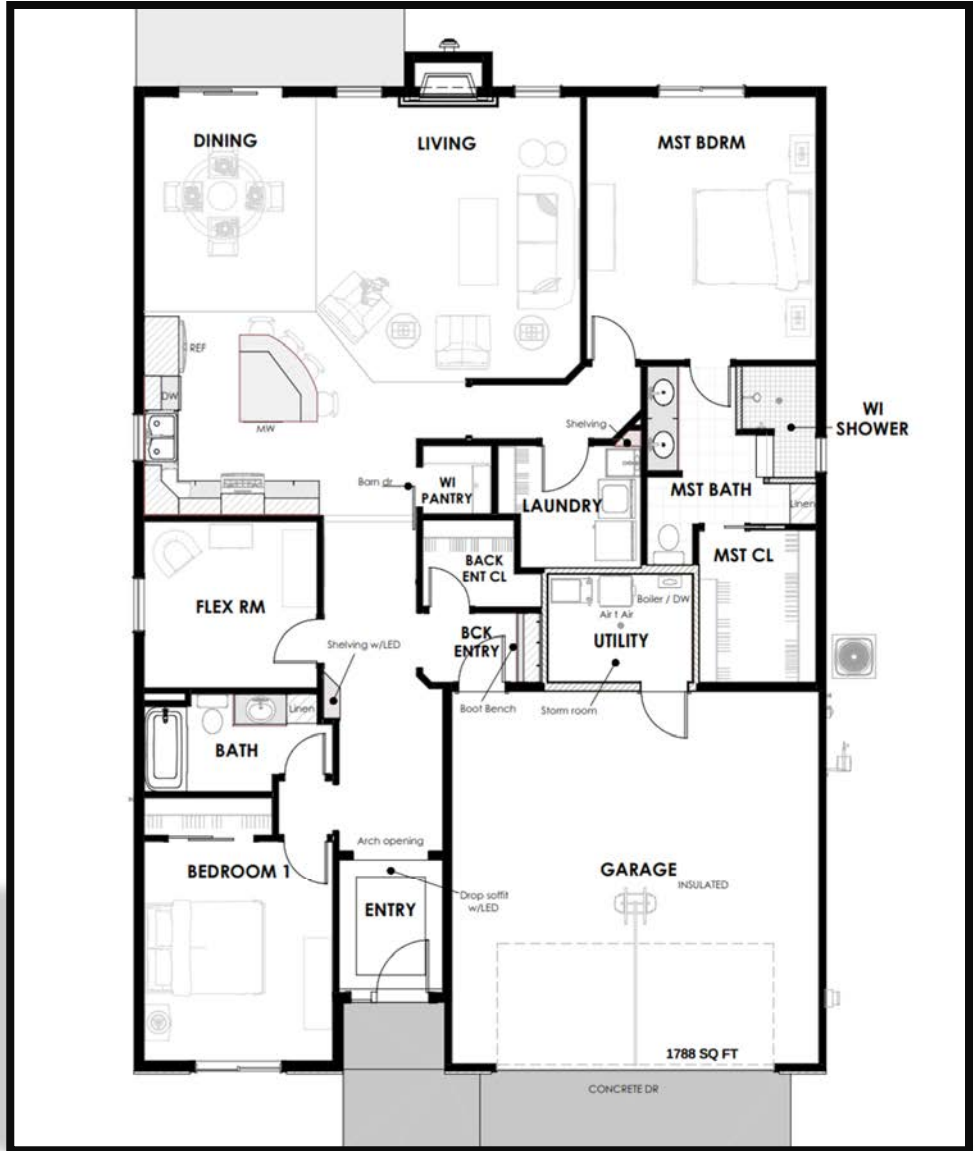
SIDE LOAD ENTRANCE



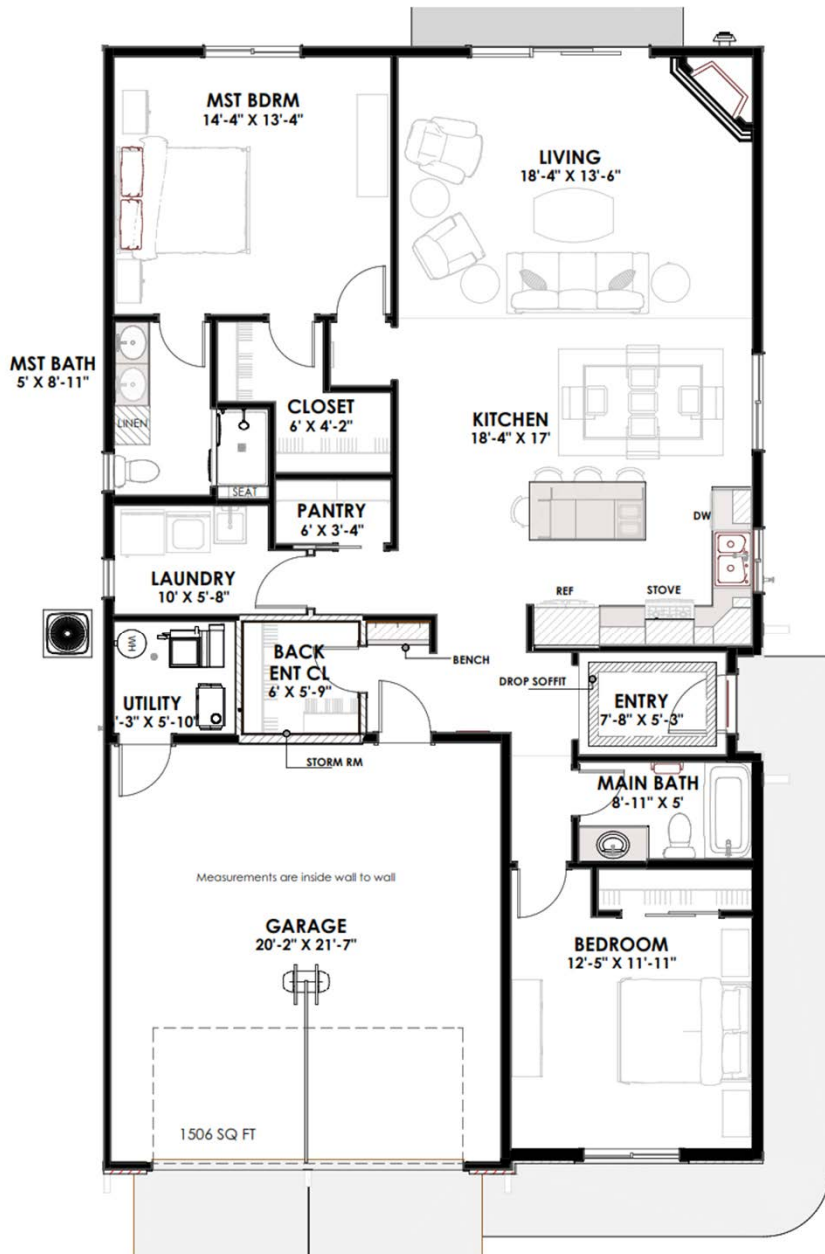


4247 117th Ave. NE Blaine MN 55449

Lic. # 1698 email: hedberghomes@hedberghomes.com



4247 117th Ave. NE Blaine MN 55449 Lic. # 1698 email: hed-



4247 117th Ave. NE Blaine MN 55445

Lic. # 1698 email: hedberghomes@hedberghomes.com



AERIAL RESOURCE MAP

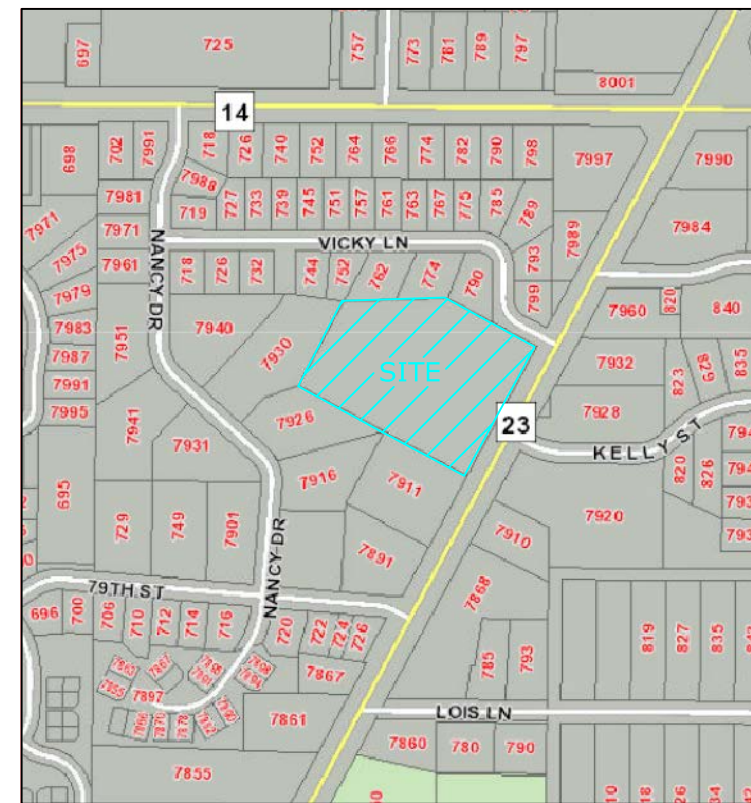
~for~ RANGER DEVELOPMENT

~of~

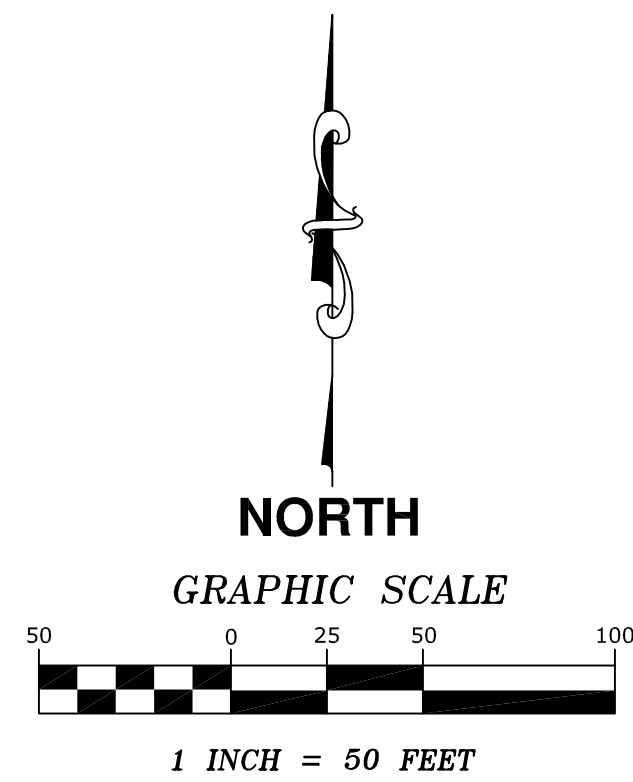


VICINITY MAP

PART OF SEC. 08, TWP. 31, RNG. 22



ANOKA COUNTY, MINNESOTA
(NO SCALE)



PROPERTY DESCRIPTION

[Description per Anoka County Quit Claim Deed Document No. 2233356.001]

That part of Lot 1, AUDITOR'S SUBDIVISION NO. 100 described as follows: Commencing at the northeast corner of Lot 4, AUDITOR'S SUBDIVISION NO. 100; thence in a northwesterly direction, along the north line of said Lot 4, a distance of 560 feet; thence in a northeasterly direction parallel with the westerly right of way line of State Trunk Highway No. 8, a distance of 424.00 feet; thence in a southeasterly direction, parallel with the north line of said Lot 4, a distance of 560 feet, more or less, to said westerly right of way line of State Trunk Highway No. 8, thence in a southwesterly direction along said westerly right of way line, a distance of 424.00 feet to the point of beginning. Excepting that part lying northerly of a line connecting the southeast corner of Lot 3, Block 2, TWILIGHT ACRES to the southeast corner of Lot 2, Block 2, TWILIGHT ACRES. Also excepting Parcel 41, ANOKA COUNTY RIGHT-OF-WAY PLAT NO. 17, all in the Northeast Quarter of Section 8, Township 31, Range 22, Anoka County, Minnesota.

ZONING

CURRENT ZONING IS R-1 - SINGLE FAMILY RESIDENTIAL

CITY OF LINO LAKES 2030 COMPREHENSIVE PLAN

2006 EXISTING LAND USE:
SINGLE FAMILY RESIDENTIAL

FUTURE LAND USE:
MIXED USE

NOTES

- Fee ownership is vested in Jeff & Mary Jo Joyer Parcel ID Number: 08-31-22-11-0001
- Address of the surveyed premises: 79XX lake Drive, Lino Lakes, MN 55014
- Current field work has not been performed by E.G. Rud and Sons, Inc. at this time. Information shown is based on field work from 2017. Geotechnical Soil Borings were staked on 5-23-2022.
- Bearings shown are on Anoka County Datum.
- Surveyed premises shown on this survey map is in Flood Zone X (Areas determined to be outside the 0.2% annual chance floodplain.), according to Flood Insurance Rate Map No. 27003C0355E Community No. 270015C Panel No. 0355 Suffix E by the Federal Emergency Management Agency, effective date December 16, 2015.
- This survey was prepared without the benefit of title work. Additional easements, restrictions and/or encumbrances may exist other than those shown hereon. Survey subject to revision upon receipt of a current title
- Contours shown are from LIDAR Topography.
- 865 L.F. of Proposed Private Street and 367± L.F. of Proposed Public Street.

SOILS LEGEND

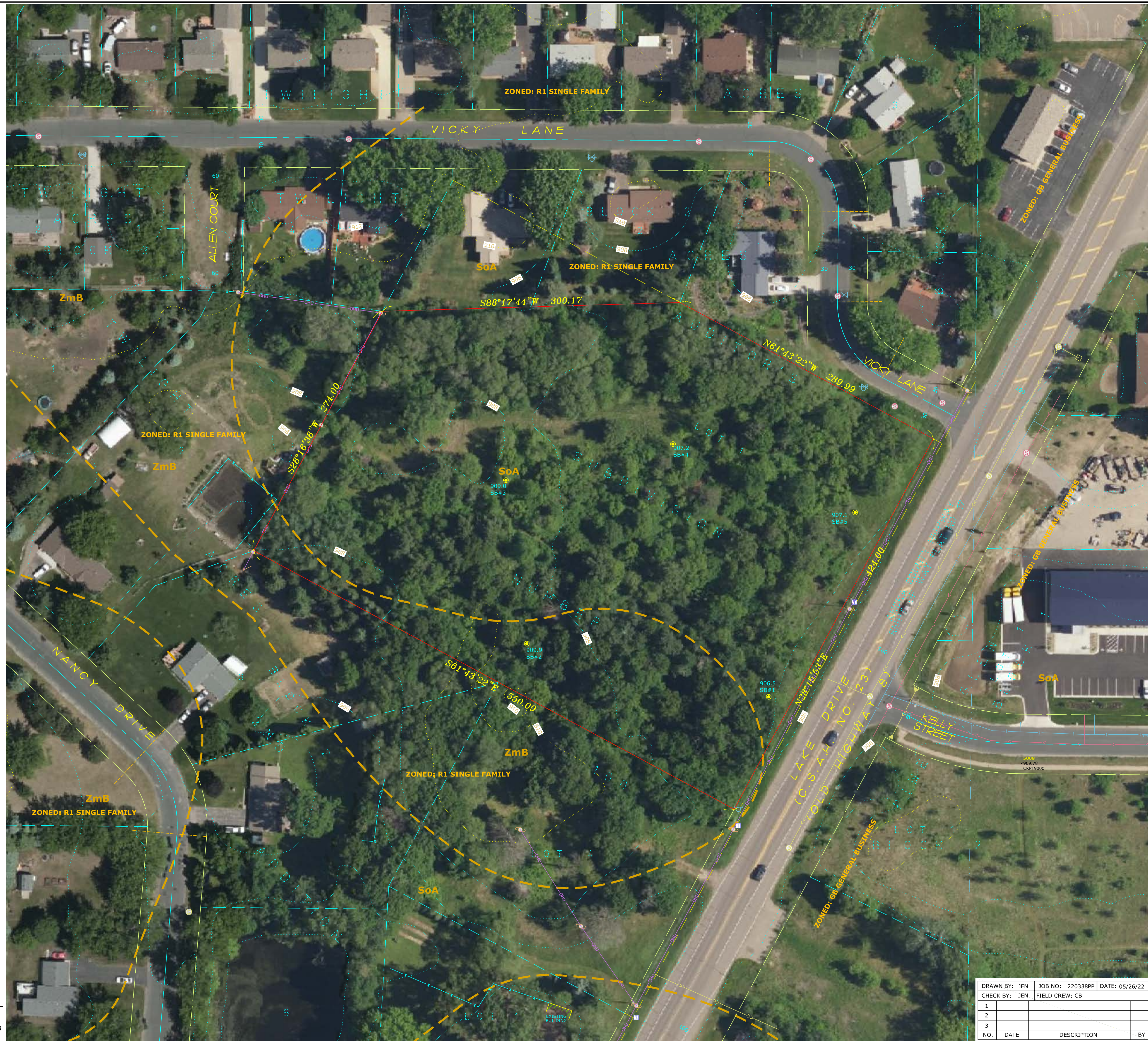
- SoA** DENOTES SODERVILLE FINE SAND 0% TO 3% SLOPES
- ZmB** DENOTES ZIMMERMAN FINE SAND 1% TO 6% SLOPES
- DENOTES SOILS BOUNDARY LINE PER WEB SOIL SURVEY

LEGEND

- DENOTES CATCH BASIN
- DENOTES HYDRANT
- DENOTES LIGHT POLE
- DENOTES POWER POLE
- DENOTES SANITARY SEWER MANHOLE
- DENOTES STORM SEWER APRON
- DENOTES STORM SEWER MANHOLE
- DENOTES EXISTING CONTOURS
- DENOTES OVERHEAD UTILITY
- DENOTES EXISTING SANITARY SEWER
- DENOTES EXISTING STORM SEWER
- DENOTES EXISTING WATER MAIN
- DENOTES STAKED GEO-TECHNICAL BORING LOCATIONS

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

James E. Napier
JAMES E. NAPIER
Date: 05/26/2022 License No. 25343



E. G. RUD & SONS, INC.
EST. 1977
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701

| | | | |
|---------------|------------------|----------------|----|
| DRAWN BY: JEN | JOB NO: 220338PP | DATE: 05/26/22 | |
| CHECK BY: JEN | FIELD CREW: CB | | |
| 1 | | | |
| 2 | | | |
| 3 | | | |
| NO. | DATE | DESCRIPTION | BY |

CONCEPT PLAN

~for~ RANGER DEVELOPMENT
~of~



DEVELOPER

RANGER DEVELOPMENT
4247 117TH AVE NE
BLAINE, MN 55449
ATTN: JON BLATTMAN
Tel. 763.242.8087

BUILDER

HEDBERG HOMES INC.
4247 117TH AVE NE
BLAINE, MN 55449
ATTN: JON BLATTMAN
Tel. 763.242.8087

OWNER

JEFF & MARY JO JOYER
8174 LAKE DRIVE
LINO LAKES
MOBIL 612.750.7270

SURVEYOR

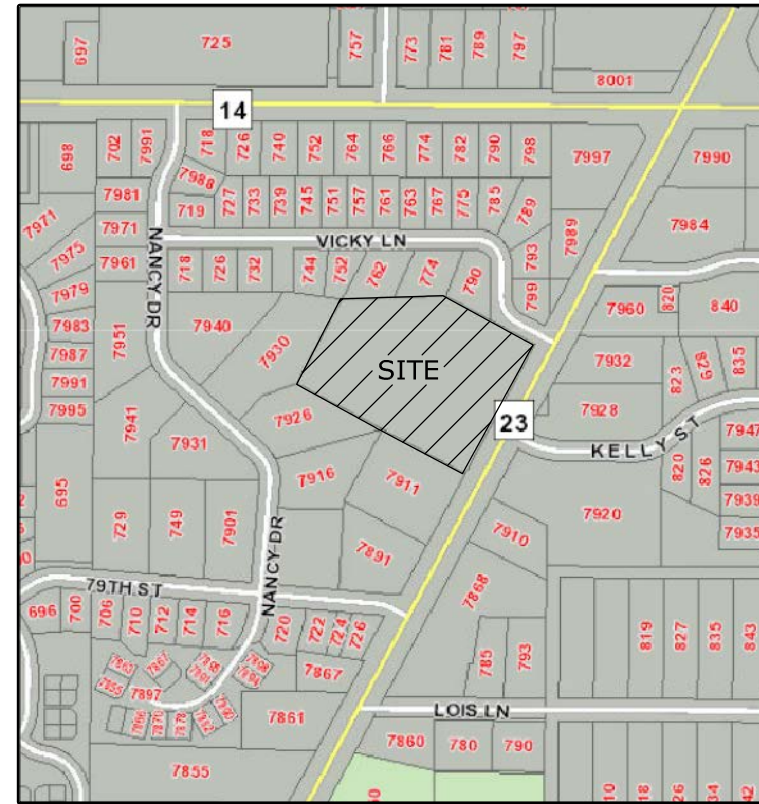
E.G. RUD & SONS, INC.
6776 Lake Drive NE,
Suite 110 Lino Lakes, MN 55014
Tel. 651.361.8200

CIVIL ENGINEER

PLOWE ENGINEERING, INC.
6776 Lake Drive NE,
Suite 110 Lino Lakes, MN 55014
Tel. 651.361.8210

VICINITY MAP

PART OF SEC. 08, TWP. 31, RNG. 22



ANOKA COUNTY, MINNESOTA
(NO SCALE)

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AREA

TOTAL SITE AREA: 4.91 ACRES, MORE OR LESS
PROPOSED LOTS: 23 SINGLE UNIT TOWNHOMES
PROPOSED OUTLOTS: 2
PROPOSED PUBLIC RIGHT OF WAY: 0.42 ACRES
DENSITY: 4.68± UNITS/ ACRE

OUTLOT A IS FOR STREET PURPOSES.
OUTLOT B IS FOR PONDING PURPOSES.

ZONING AND SETBACKS

CURRENT ZONING IS R-1 - SINGLE FAMILY RESIDENTIAL

PROPOSED ZONING IS PUD - PLANNED UNIT DEVELOPMENT

SETBACKS:
C.S.A.H NO. 23 (LAKE DRIVE) 40 FEET
VICKY LANE SIDE STREET 25 FEET
PRIVATE STREET 25 FEET FROM BACK OF CURB LOTS 8 THRU 11, BLK 1, HAVE VARYING FRONT SETBACKS

BETWEEN BUILDINGS 13 FEET (6.5 FROM SIDE LOT LINES)
FROM RESIDENTIAL 30 FEET (25 FEET FOR LOT 10)

CITY OF LINO LAKES 2030 COMPREHENSIVE PLAN

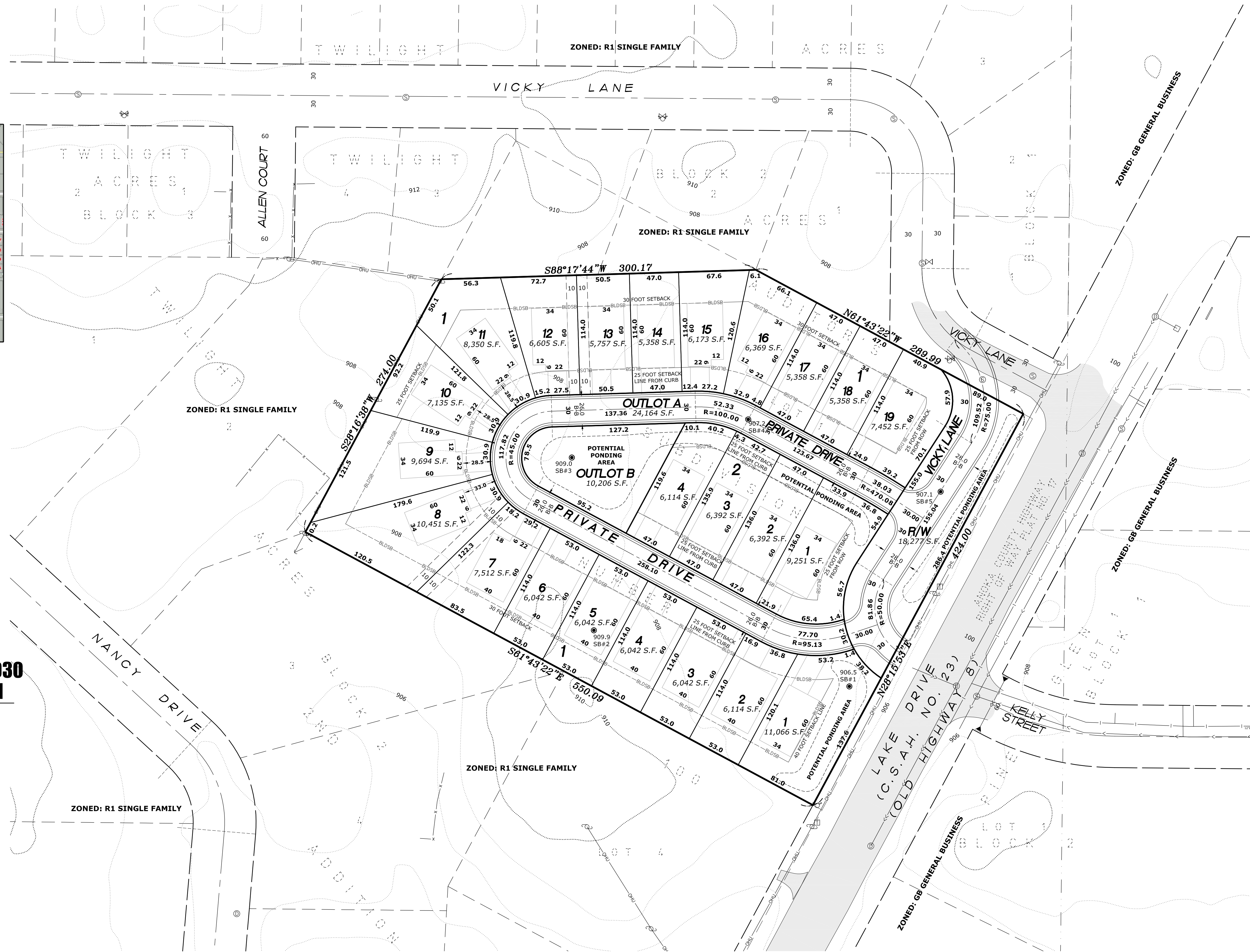
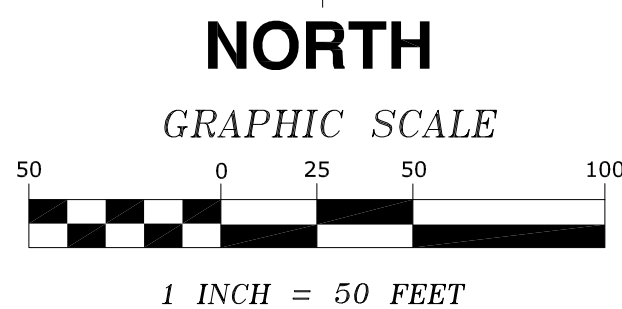
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Tel. (651) 361-8200 Fax (651) 361-8701



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|---------------|------------------|---------------------------------|----|
| DRAWN BY: JEN | JOB NO: 220338PP | DATE: 04/07/22 | |
| CHECK BY: JEN | FIELD CREW: TBD | | |
| 1 | 04/13/22 | REVISE LAYOUT PER DEVELOPER JEN | |
| 2 | 05/26/22 | REVISE FOR CITY SUBMITTAL JEN | |
| 3 | | | |
| NO. | DATE | DESCRIPTION | BY |

Memorandum

To: Katie Larsen, City Planner, City of Lino Lakes

From: Kelsey Gelhar, Engineer, WSB
Diane Hankee, City Engineer, City of Lino Lakes

Date: July 6, 2022

Re: Villas on Vicky Concept Plan
WSB Project No. 020731-000

WSB has reviewed the Villas on Vicky Concept Plan for a 23 unit PUD prepared by E.G. Rud & Sons, Inc. and submitted on June 10, 2022. The site is located on the west side of Lake Drive (CSAH 23), south of the existing Vicky Lane.

Engineering

- **Erosion Control & Grading**

The proposed Villas on Vicky project would require mass site grading for the streets and lots, appurtenant erosion control, and a SWPPP. Engineering staff feels that the lots as proposed are too small to accommodate proper grading and drainage for the proposed homes. The lots are not wide enough for the proposed product type to be constructed and still meet grading standards. Staff is concerned that there will not be enough room on the proposed lots to meet screening and setback requirements and still be able to grade the rear yards to adequately drain.

- **Stormwater Management**

The Villas of Vicky property is relatively flat and appears to drain to a low area near Lake Drive (CSAH 23). There is no known floodplain on the site. An 18" and 21" diameter Anoka County storm sewer line is located on the east side of Lake Drive (CSAH 23). City records indicate that there is a storm sewer pipe stubbed across Lake Drive (CSAH 23) in front of this property. Anoka County should review the preliminary drainage design concurrent to the City's preliminary plat reviews. Anoka County must approve any connection to the Anoka County storm sewer. An engineered model would be required.

The Villas on Vicky concept plan is in the George Watch Resource Management Unit (RMU) according to the City of Lino Lakes 2018 Local Water Management Plan (WMP). George Watch Lake is included in the Minnesota Pollution Control Agency's (MPCA) impaired waters list and is supported by upwelling groundwater. The WMP noted several issues within the George Watch RMU, including altered hydrology. A strategy for mitigating this issue includes possibly reducing the volume of runoff from the site and investigating if infiltration is feasible on the site. A geotechnical report was not provided, though it appears that soil borings were performed based on the "Aerial Resource Map".

Based on the review of the Villas on Vicky Concept Plan the following was concluded:

- The areas identified for storm ponding appear infeasible to construct and insufficient to meet city code and standards. Reconfiguring the ponding areas will impact the layout of the lots and streets.
- The proposed improvements cannot create adverse impacts to neighboring properties by grading to drain towards those lots. Staff feels that steep slopes will be needed to create a

functional rear yard drainage system.

- Ponding areas shall not be within the public right-of-way.

- **Water Supply**

The existing property is identified as a Stage 1A Planned Service Area in the 2040 Comprehensive Plan. There is an existing 8-inch diameter ductile iron pipe (DIP) water main along the south side of Vicky Lane and an existing 12-inch diameter DIP water main along the east side of Lake Drive (CSAH 23).

It is feasible to extend the water main to service the proposed lots. However, the size of the water main will have to be determined and the water main will most likely need to be looped through the site. All proposed units will be required to connect to the City's water system.

- **Sanitary Sewer**

The existing property is identified as a Stage 1A Planned Service Area in the 2040 Comprehensive Plan and is in the 2B sanitary sub-district. There is existing 10-inch diameter polyvinyl chloride (PVC) trunk sanitary sewer along the south side of Vicky Lane and 21-inch diameter PVC trunk sanitary sewer along the east side of Lake Drive (CSAH 23). City records do not indicate the invert elevations of the sanitary sewer manhole closest to the proposed development. Elevations will have to be field verified before design can be completed.

The 2040 Comprehensive Plan does not identify any future trunk lines in this area. The development would have to connect to the existing trunk sanitary lines on Vicky Lane or Lake Drive (CSAH 23). It is feasible to extend sanitary sewer through this development. All proposed units will be required to connect to the City's sanitary sewer system.

- **Transportation**

The Villas on Vicky is located at the southwest corner of the existing Vicky Lane and Lake Drive (CSAH 23) intersection. Vicky Lane is a 2-lane residential street and Lake Drive (CSAH 23) is a county state aid highway. In this area, Lake Drive (CSAH 23) has 2-lanes with a striped center gore and paved shoulders. The concept plan includes realigning the Vicky Lane and Lake Drive (CSAH 23) intersection so that the entrance to Vicky Lane aligns with Kelly Street on the east side of Lake Drive (CSAH 23). This realignment would include curving Vicky Lane so that the proposed portion runs parallel to Lake Drive (CSAH 23) for approximately 200 ft. A private drive is planned to connect to Vicky Lane in two different locations.

Anoka County reviewed the development and they will require that the existing right turn lane on southbound Lake Drive (CSAH 23) be extended to the proposed intersection. Anoka County also reviewed the need for a designated left turn lane on northbound Lake Drive (CSAH 23). A left turn lane will not be required at this time as it would have significant geometric and construction impacts on Lake Drive (CSAH 23) and surrounding streets and properties.

Based on the review of the Villas on Vicky Concept Plan the following was concluded:

- The Concept Plan is generally consistent with the Transportation Section of the City's 2040 Comprehensive Plan.
- A Traffic Impact Study (TIS) should be completed to document the traffic operational and safety impacts of the proposed development.
- City Standard Details state that residential streets included in a PUD must be at least 30-ft wide from back-of-curb to back-of-curb (B-B). The plans currently show a road width of 28-ft B-B.
- Staff does not recommend that the city approve layout of the Vicky Lane and private drive as currently proposed. The southern intersection of the private drive and Vicky

Lane is only about 55 ft from the Vicky Lane/Lake Drive (CSAH 23) intersection and is located on a curve. Staff is concerned about visibility for cars turning left onto the private drive from Vicky Lane and is concerned about stacking on Vicky Lane if vehicles have to wait to turn onto Lake Drive (CSAH 23).

- Staff recommends that more separation be provided between the southern curve of Vicky Lane and the intersection of Vicky Lane and Lake Drive (CSAH 23).
- Turning movements should be provided to make sure that trucks (WB-67) can make the right turn from Lake Drive (CSAH 23) on to Vicky Lane.
- The City's Comprehensive Plan identifies a proposed trail segment adjacent to the proposed development along Lake Drive (CSAH 23). The corridor for the future trail should be included as part of the Concept Plan.

- **Wetlands**

The site does not include any known wetlands.

- **Landscaping**

The landscaping will be reviewed with future submittals.

- **Floodplain**

There is no known floodplain on this site.

- **Drainage and Utility Easements**

Per City Code, the City requires 10-ft wide drainage and utility (D&U) easements along plat boundaries and along lot lines. Drainage and utility easements along lot lines are allowed to be centered on common rear and side lot lines. The right-of-way for local public roadways shall be 60-ft wide.

An additional 10-ft of right-of-way along Lake Drive (CSAH 23) will be required to be dedicated as part of any future plat. Lake Drive (CSAH 23) is designated as an A-Minor Arterial Reliever, which requires 120-ft of right-of-way according to section 302.03 of the city code.

- **Development Agreement**

A Development Agreement will be required with the final platting process.

- **Stormwater Maintenance Agreement**

A Stormwater Maintenance Agreement will be required with the final plat. Public facilities will be covered by the City's Programmatic Maintenance Agreement.

- **Permits Required**

1. NPDES General Construction Permit
2. City of Lino Lakes Zoning Permit for Construction
3. Minnesota Pollution Control Agency Sanitary Sewer Extension Permit
4. Minnesota Department of Health
5. Rice Creek Watershed Permit
6. Anoka County Right-of-Way and Access Permit

If you or the applicant has any questions regarding these comments, please contact Kelsey Gelhar at (612) 709-4897 or kgelhar@wsbeng.com. You may also contact Diane Hankee at (651) 982-2430 or dhankee@linolakes.us.



Environmental Memo

To: Katie Larsen

From: Andy Nelson

Date: July 5th, 2022

Re: Environmental Board Comments/June 29th, 2022 /Villas on Vicky

The Environmental Board, at their June 29th, 2022 meeting, had the following recommendations for Villas on Vicky:

1. There does not seem to be room for required buffer and screen plantings or open space plantings.
2. The project narrative mentions two trees will be planted in each front yard. There should be only one boulevard tree per frontage planted in the right-of-way per property. This is one tree per lot or two trees for corner lots. If there is a second tree planted in the front yards, they should not be located in the right-of-way.
3. A proposed trail appears on this site in the 2040 Comprehensive Plan and should be considered as part of this project.
4. A diverse mix of native plants and plants beneficial to pollinators shall be utilized wherever possible and/or practical. This includes vegetative buffers around stormwater management features and also in required open space and landscape plantings.

**PLANNING & ZONING BOARD
AGENDA ITEM 7A**

STAFF ORIGINATOR: Kendra Lindahl and Kevin Shay, Landform

P & Z MEETING DATE: July 13, 2022

REQUEST: Zoning Ordinance Update (Rural Cluster Development)

CASE NUMBER: N/A

APPLICANTS: City of Lino Lakes

OWNERS: N/A

BACKGROUND

On March 8, 2021, the City Council authorized Landform to update the City’s Zoning Ordinance and Zoning Map. This is one of the steps required to implement the 2040 Comprehensive Plan that was adopted by the City Council on November 9, 2020.

On May 12, 2021, the P&Z Board kicked off this effort with a discussion of Planned Unit Developments (PUD). The P&Z Board had a robust discussion about the purpose and intent of PUDs and provided direction to staff about desired changes to the ordinance.

On June 9, 2021, the P&Z Board reviewed the first draft of the changes to the general provisions section. The P&Z Board provided input to staff about the proposed revisions to the ordinance.

On August 11, 2021, the P&Z Board reviewed the first draft of the Planned Unit Development section of the ordinance. The P&Z Board provided feedback regarding the proposed changes to the ordinance.

On October 4, 2021, staff provided an update on the project at the Council work session.

On October 13, 2021, the P&Z Board reviewed the first draft of the zoning district sections of the ordinance. The P&Z Board provided feedback about the proposed changes and provided input on other potential changes to the ordinance.

On November 10, 2021, the P&Z Board reviewed driveway width, impervious surface area, brew pub locations, garage area, side yard setbacks and porch depth to provide and input and recommendations on changes to the ordinance.

On January 12, 2022, the P&Z Board reviewed the administrative section and provided input on the proposed changes to clean up and refine the section.

On February 9, 2022, the P&Z Board reviewed the new zoning districts, agritourism and liquor uses to provide input and recommendations on changes to the ordinance.

On March 30, 2022, the P&Z Board held a work session to review the draft zoning map changes and provided feedback on the proposed changes.

On April 13, 2022, the P&Z Board received an update on some key items including indoor storage, agritourism, mead, garage size and the urban transition (now called future urban development) district.

On June 22, 2022, the P&Z Board discussed rural clusters, the future urban development district and architecture standards.

ANALYSIS

Rural Clusters

Staff has edited the existing Rural Residential PUD requirements to allow cluster developments as a permitted use on parcels located in the Rural (R) and Rural Executive (R-X) districts, which are guided low density residential on the full build land use map and staged in the post-2040 area on the staging plan. A PUD will not be required under the new language.

The rural cluster ordinance will allow 8 units per 40 acres when utilizing individual septic systems and 12 units per 40 acres when utilizing community septic. Staff is recommending the density bonuses as a tool to provide landowners with additional development opportunities while preserving land for future development with urban services.

Performance standards for the rural cluster ordinance will be adopted as part of the general provisions section to ensure that the rural cluster preserves the higher quality natural resources and can transition effectively to urban services when they become available. The performance standards used for the rural cluster ordinance are very similar to the existing rural planned unit development language found in the zoning ordinance. Some of the language referenced into the draft ordinance is from the conservation subdivision section which is being removed from the subdivision ordinance as part of the update and the standards are being utilized as part of the new rural cluster ordinance.

Staff has drafted a revised purpose statement for the ordinance to communicate the intent of the ordinance. The purpose statement may be modified prior to adoption of the ordinance and the Planning Commission may wish to provide feedback on the purpose.

The standards that have changed from the rural planned unit development include:

- Open space is no longer taken in perpetuity, but is instead held until the subject property gains access to municipal sanitary sewer and water services.
- The density has been increased by four units per 40 acres for both the base density and bonus density.

- Standards have been included for maintenance, management and replacement of community septic systems.
- Open space is now required to include a minimum of 25 percent upland area.
- Residential lots must be large enough to support a primary and secondary septic system. The minimum lot area for lots on community systems is proposed at 20,000 square feet.

The performance standards are included as an attachment to this report in both a clean draft and redline draft version. The ordinance will be a repeal and replace, but the redlines are provided to help the Board understand how the existing rural planned unit development standards will be modified for the new rural cluster ordinance.

Staff is still working on refining the language to be concise and clear and minor changes to the draft ordinance may be included with the final draft of the ordinance for adoption.

SUMMARY

The Board should review the recommendations by staff and provide direction on any other desired changes.

RECOMMENDATION

Provide feedback to staff on the zoning ordinance updates.

ATTACHMENTS

1. Draft Rural Cluster Ordinance
2. Redline Rural Cluster Ordinance
3. Staging Map
4. Full Build Land Use Map
5. Draft Zoning Map

§ 1007.066 RURAL CLUSTER DEVELOPMENT

(1) Purpose. It is the purpose of this section to establish special requirements for a rural cluster development (without City water or sanitary sewer) project to allow limited rural residential development while promoting:

- (a) Preservation of productive land for agricultural use.
- (b) Preservation of wildlife habitat and unique natural resources.
- (c) Reduction of negative impacts on the environment.
- (d) Creation of common open space that provides a unified landscape for the use and enjoyment of the neighborhood community and/or the general public.
- (e) A variety of rural residential lot sizes, configurations, and neighborhoods.
- (f) Orderly and economically viable transition to eventual development with urban services.

(2) Application. A rural cluster development shall only be applied in areas zoned R, Rural or R-X, Rural-Executive that are guided Low Density Residential on the Comprehensive Plan Full Build Out Land Use map.

(3) Open space. A minimum of 50 percent of the gross acreage of the subject property shall be preserved as common open space, recreational space or agricultural use. Of that open space, a minimum of 25 percent shall be upland area.

(a) All designated open space shall be platted as outlot parcels. Public trail corridors shall be dedicated as park land.

(b) Habitable structures. Habitable structures shall not be permitted in any of the designated open spaces. Open and recreational structures may be permitted within open spaces.

(c) Public Open Space Accessibility. Open spaces dedicated to the public shall be accessible to pedestrians at no less than 1,200-foot intervals along public roadways. Where necessary, pedestrian access corridor outlots between private lots shall be at least 20 feet in width.

(4) Ownership and management. Each designated open space designated shall be owned and managed according to the following means, subject to city approval.

(a) Common ownership. Open space may be owned in common by the property owners created through subdivision of the original tract. Management shall be the responsibility of that subdivision's homeowner association. In the case where at least one open space is held in common ownership, a homeowner association shall be established for that subdivision.

Membership in the association by all property owners in the subdivision shall be mandatory. The homeowners association documents or the declaration of covenants, conditions and restrictions shall be submitted as part of the preliminary plat application and shall contain the following information:

1. The legal description of the common lands or facilities;
2. The restrictions placed upon the use and enjoyment of the lands or facilities, including the persons or entities entitled to enforce the restrictions;
3. A mechanism for resolving disputes among the owners or association members;
4. A mechanism to assess and enforce the common expenses for the land or facilities, including upkeep and maintenance expenses, real estate taxes and insurance premiums;
5. The conditions and timing of the transfer of ownership and control of land or facilities to the association or to common ownership.

(b) Natural habitat. Management shall be the responsibility of the homeowner association.

1. Open space may be protected by establishing conservation easements as provided in M.S. § 84.64 through 84.65, as they may be amended from time to time. Unless the document establishing the restrictions specifically provides to the contrary, the city shall have no responsibility for the maintenance or management of the area subject to the restrictions. The form and content of the conservation easement or other instrument establishing the restrictions must be approved by the city prior to the execution and delivery thereof.

2. Stormwater drainage systems located within open spaces or the residential lots shall be covered by utility and drainage easements dedicated on the final plat to the city.

(c) Neighborhood recreational and trail corridor. Recreational open space or trail corridors intended as public parks or public trails shall be dedicated to the city. Management and maintenance of the public recreational areas shall be the responsibility of the city.

(5) Neighborhood Configuration.

(a) In order to establish a cohesive neighborhood unit, residential lots shall be located in a neighborhood cluster. A neighborhood cluster shall include a minimum of four lots or 50 percent of the allowable number of lots on the parcel to be subdivided, whichever is greater. An efficiency of land utilization and community development should be encouraged by maximizing the number of lots in any one cluster development, while adhering to the underlying density and open space requirements of this Ordinance.

(b) A neighborhood cluster shall be oriented toward an identifiable feature which all residential units share in common. Neighborhood identity may be accomplished by one or more of the following features:

1. View Shed. The lots of a neighborhood may be arranged such that a majority of the principal structures will take visual advantage of a field, wetland, woods, lake, stream, or other open space which could be described as a view shed.

2. Physical Amenity. The lots of a neighborhood may be arranged such that a majority of the principal structures will face a green, playground, ball field, rock outcropping, stand of trees, church, school, or other physical feature unique to that particular neighborhood.

3. Streetscape. The lots may be arranged such that the principal structures will face a street space enhanced with landscaping, street trees, boulevards, medians, or other landscaping techniques appropriate to the City's street design standards.

(6) Densities.

(a) Subdivisions served by independent sewage treatment systems shall not exceed eight units per forty 40 acres.

(b) Subdivisions served by a MPCA approved community sewer system shall not exceed 12 units per 40 acres.

(7) The applicant must provide a management (maintenance, replacement and repair) plan for centralized wastewater treatment system as approved by the City. The management plan must be reviewed and approved by the City Council and recorded with the final plat. The plan should clearly identify the following:

(a) The ownership of the centralized wastewater treatment system.

(b) An annual schedule for maintenance, inspection and monitoring of the centralized wastewater treatment system.

(c) Assignment of responsibility for the management of and payment for the centralized wastewater treatment system.

(d) Contingency plan in the event of failure of the centralized wastewater treatment.

(e) Financial guarantees, covering the estimated cost of maintaining and replacing a centralized system.

(f) Provisions describing how the sewage treatment portion of the system will be protected from vehicles, animals, humans and other sources of risk.

(g) The name and license number of the system's designer.

(h) Provision for cost effective future connection of the wastewater treatment system(s) to urban services within one year after such services are provided at the boundary of the development, with sufficient financial guarantees to ensure no added cost to the City.

(i) If financial guarantees for any of the above provisions are part of an association assessment or treasury fund, the City shall be given access to annual audit records, at the expense of the association, to ensure proper funding. If such guarantees are the private responsibility of the developer, the City shall require guarantees from the responsible individual(s).

(8) Residential lots.

(a) Lots served by individual sewage treatment systems (ISTS) shall have a minimum of one acre of buildable land area capable of accommodating the principal dwelling, accessory buildings, and two individual soil treatment systems (drainfields).

(b) Lots served by a MPCA approved community sewage treatment system shall have a minimum lot area of 20,000 square feet of buildable land.

(c) No individual single family lot may exceed five acres in size.

(d) Minimum Lot Width.

1. ISTS Lots. 200 feet.

2. Lots Served by a MPCA Approved Community Sewage System.

i. Interior Lot. 100 feet.

ii. Corner Lot. 125 feet.

1. Setbacks. Setbacks shall be the same as those imposed in the applicable base zoning district.

(e) Residential lots shall be sited in a manner that preserves existing significant tree cover on the site.

(f) The lots of a neighborhood may be arranged so that a majority of the principal structures will take visual advantage of an identifiable feature, building, structure, greenway, wetland, woods, lake, stream or other open space which could be described as a view shed.

(g) The lots may be arranged that the principal structures face a local street enhanced with landscaping, street trees, boulevards, medians or other landscaping techniques appropriate to the city's street design standards.

~~(1) Rural Residential Planned Unit Development Requirements.~~

§ 1007.066 RURAL CLUSTER DEVELOPMENT

~~(a)(1) Purpose.~~ **It is the intent purpose of this section to establish special requirements for the granting of a conditional use permit for a rural cluster development (without City water or sanitary sewer) project to allow limited rural residential conservation subdivision PUD project in order to promote development while promoting:**

~~1.(a)~~ Preservation of productive land for agricultural use.

~~2.(b)~~ Preservation of wildlife habitat and unique natural resources.

~~3.(c)~~ Reduction of negative impacts on the environment.

~~4.(d)~~ Creation of common open space that provides a unified landscape for the use and enjoyment of the neighborhood community and/or the general public.

~~5.(e)~~ A variety of rural residential lot sizes, configurations, and neighborhoods.

~~(f) Orderly and economically viable transition to eventual Application. Rural residential planned unit development with urban services.~~

~~(b)(2) Application. shall A rural cluster development shall only be applied only outside of areas in areas zoned R, Rural or R-X, Rural-Executive that are guided for City water and sanitary sewer (Stage 1 and Stage 2 growth areas) as identified within the Low Density Residential on the Comprehensive Plan Full Build Out Land Use map.~~

~~(c)(1) Densities:~~

~~1. Subdivisions served by independent sewage treatment systems shall not exceed four (4) units per forty (40) acres.~~

~~2. Subdivisions served by a MPCA approved community sewer system shall not exceed eight (8) units per forty (40) acres.~~

~~(d) Open Space Performance Standards.~~

~~1. Open Space Area Regulations.~~

~~a.(3) space. A minimum of fifty (50) percent of land subdivided for development the gross acreage of the subject property shall be dedicated to preserved as common open space, recreational space or agricultural use. Of that open space, a minimum of 25 percent shall be upland area.~~

~~b.(a)~~ All designated open space shall be platted as outlot parcels ~~held as open space in perpetuity.~~ Public trail corridors shall be dedicated as park land.

~~e.~~ ~~Each open space outlot~~Habitable structures. Habitable structures shall not be classified as ~~natural habitat, neighborhood recreation, or trail corridor open space, and shall conform to the type of use, location criteria, and deed restrictions of that classification, as specified~~permitted in ~~Section 1001.099~~any of the ~~Lino Lakes Subdivision Ordinance.~~

~~2. Location Criteria.~~ Open space outlots shall be located on the development site according to the following locational criteria:
designated

~~a. Natural Habitat.~~ The development shall preserve natural habitat in a contiguous, connected configuration. Natural habitat open spaces. Open and recreational structures may include, but are not limited to, fields, wetlands, slopes, bluffs, dense woods, lakes, ponds, streams, shorelands, and other environmentally sensitive areas or desirable view sheds.

~~1. Trail Corridors.~~ The development shall locate trail corridor be permitted within open spaces in strategic places such that larger open space outlots and designated places of destination both on the development tract and adjacent tracts are connected with one another. Trail corridor open spaces may include, but are not limited to, established regional trails, local pathways, paved walkways, and shorelines. Public trail corridors shall be a minimum of twenty (20) feet in width.

~~b.(b) Neighborhood Recreation.~~ The development shall locate neighborhood recreation open spaces such that they are an integral part of the neighborhood of surrounding homesites, at an elevation appropriate to their intended recreational use, defined by coherent boundaries, and accessible to all neighborhood residents. Neighborhood recreation open spaces may include, but are not limited to, greens, commons, playgrounds, ball fields, gardens, or other recreational areas.

~~e.(c)~~ Public Open Space Accessibility. Open spaces dedicated to the public shall be accessible to pedestrians at no less than ~~one thousand two hundred (1,200)~~ foot intervals along public roadways. Where necessary, pedestrian access corridor outlots between private lots shall be at least ~~twenty (20)~~ feet in width.

~~(4) Open Space Ownership and Management.~~ management. Each designated open space ~~are~~designated shall be owned and managed according to the following means, subject to city approval.

~~d.(a) Common ownership.~~ Open space may be owned in accordance with standards in ~~Section 1001.099~~common by the property owners created through subdivision of the ~~Lino Lakes Subdivision Ordinance.~~original tract. Management shall be the responsibility of that subdivision's homeowner association. In the case where at least one open space is held in common ownership, a homeowner association shall be established for that subdivision. Membership in the association by all property owners in the subdivision shall be mandatory. The homeowners association documents or the declaration of covenants, conditions and restrictions

shall be submitted as part of the preliminary plat application and shall contain the following information:

1. The legal description of the common lands or facilities;
2. The restrictions placed upon the use and enjoyment of the lands or facilities, including the persons or entities entitled to enforce the restrictions;
3. A mechanism for resolving disputes among the owners or association members;
4. A mechanism to assess and enforce the common expenses for the land or facilities, including upkeep and maintenance expenses, real estate taxes and insurance premiums;
5. The conditions and timing of the transfer of ownership and control of land or facilities to the association or to common ownership.

(b) Natural habitat. Management shall be the responsibility of the homeowner association.

1. Open space may be protected by establishing conservation easements as provided in M.S. § 84.64 through 84.65, as they may be amended from time to time. Unless the document establishing the restrictions specifically provides to the contrary, the city shall have no responsibility for the maintenance or management of the area subject to the restrictions. The form and content of the conservation easement or other instrument establishing the restrictions must be approved by the city prior to the execution and delivery thereof.

2. Stormwater drainage systems located within open spaces or the residential lots shall be covered by utility and drainage easements dedicated on the final plat to the city.

~~(e) Neighborhood Neighborhood Performance Standards.~~

(c) recreational and trail corridor. Recreational open space or trail corridors intended as public parks or public trails shall be dedicated to the city. Management and maintenance of the public recreational areas shall be the responsibility of the city.

1.(5) Neighborhood Configuration.

~~a.(a)~~ (a) In order to establish a cohesive neighborhood unit, residential lots shall be located in a neighborhood cluster. A neighborhood cluster shall include a minimum of four ~~(4)~~ lots or ~~twenty-five (25)~~ 50 percent of the allowable number of lots on the parcel to be subdivided, whichever is greater. An efficiency of land utilization and community development should be encouraged by maximizing the number of lots in any one cluster development, while adhering to the underlying density and open space requirements of this Ordinance.

~~b.(b)~~ (b) A neighborhood cluster shall be oriented toward an identifiable feature which all residential units share in common. Neighborhood identity may be accomplished by one or more of the following features:

i.1. View Shed. —The lots of a neighborhood may be arranged such that a majority of the ~~principle~~principal structures will take visual advantage of a field, wetland, woods, lake, stream, or other open space which could be described as a view shed.

ii.2. Physical Amenity. —The lots of a neighborhood may be arranged such that a majority of the ~~principle~~principal structures will face a green, playground, ball field, rock outcropping, stand of trees, church, school, or other physical feature unique to that particular neighborhood.

iii.3. Streetscape. —The lots may be arranged such that the ~~principle~~principal structures will face a street space enhanced with landscaping, street trees, boulevards, medians, or other landscaping techniques appropriate to the City’s street design standards.

(6) Densities.

2. Lot Area.

(a) Subdivisions served by independent sewage treatment systems shall not exceed eight units per forty 40 acres.

(b) Subdivisions served by a MPCA approved community sewer system shall not exceed 12 units per 40 acres.

(7) The applicant must provide a management (maintenance, replacement and repair) plan for centralized wastewater treatment system as approved by the City. The management plan must be reviewed and approved by the City Council and recorded with the final plat. The plan should clearly identify the following:

(a) The ownership of the centralized wastewater treatment system.

(b) An annual schedule for maintenance, inspection and monitoring of the centralized wastewater treatment system.

(c) Assignment of responsibility for the management of and payment for the centralized wastewater treatment system.

(d) Contingency plan in the event of failure of the centralized wastewater treatment.

(e) Financial guarantees, covering the estimated cost of maintaining and replacing a centralized system.

(f) Provisions describing how the sewage treatment portion of the system will be protected from vehicles, animals, humans and other sources of risk.

(g) The name and license number of the system's designer.

(h) Provision for cost effective future connection of the wastewater treatment system(s) to urban services within one year after such services are provided at the boundary of the development, with sufficient financial guarantees to ensure no added cost to the City.

(i) If financial guarantees for any of the above provisions are part of an association assessment or treasury fund, the City shall be given access to annual audit records, at the expense of the association, to ensure proper funding. If such guarantees are the private responsibility of the developer, the City shall require guarantees from the responsible individual(s).

(8) Residential lots.

a.(a) Lots served by individual sewage treatment systems (ISTS) shall have a minimum of one (1) acre of buildable land area capable of accommodating the ~~principle~~principal dwelling, accessory buildings, and two (2) individual soil treatment systems (drainfields).

b.(b) Lots served by a MPCA approved community sewage treatment system shall have a minimum lot area of ~~twenty-five thousand (2520,000)~~ square feet of buildable land.

e.(c) No individual single family lot may exceed five (5) acres in size.

3.(d) Minimum Lot Width.

a.1. ISTS Lots. ~~Two hundred (200)~~ feet.

b.2. Lots Served by a MPCA Approved Community Sewage System.

i. Interior Lot. ~~One hundred (100)~~ feet.

ii. Corner Lot. ~~One hundred twenty-five (125)~~ feet.

4.1. Setbacks. Setbacks shall be the same as those imposed in the applicable base zoning district.

~~5. Sewer Management. A report, prepared by a Minnesota Pollution Control Agency licensed designer, on the feasibility of individual sewage treatment systems (ISTS) and water systems on each lot or a community or shared sewage and water system serving the rural subdivision. The report shall follow Minnesota Rules Chapter 7080, as may be amended, and include soil boring analysis and percolation tests to verify report conclusions.~~

~~(e) For any development with a community sewage treatment system, the City shall require documentation that the property association shall be responsible for liability insurance and costs associated with the maintenance and operation of a community sewage treatment system. The City shall also require an agreement that if the association is not maintaining the system or the system is not operating properly, the City can undertake needed repair and~~

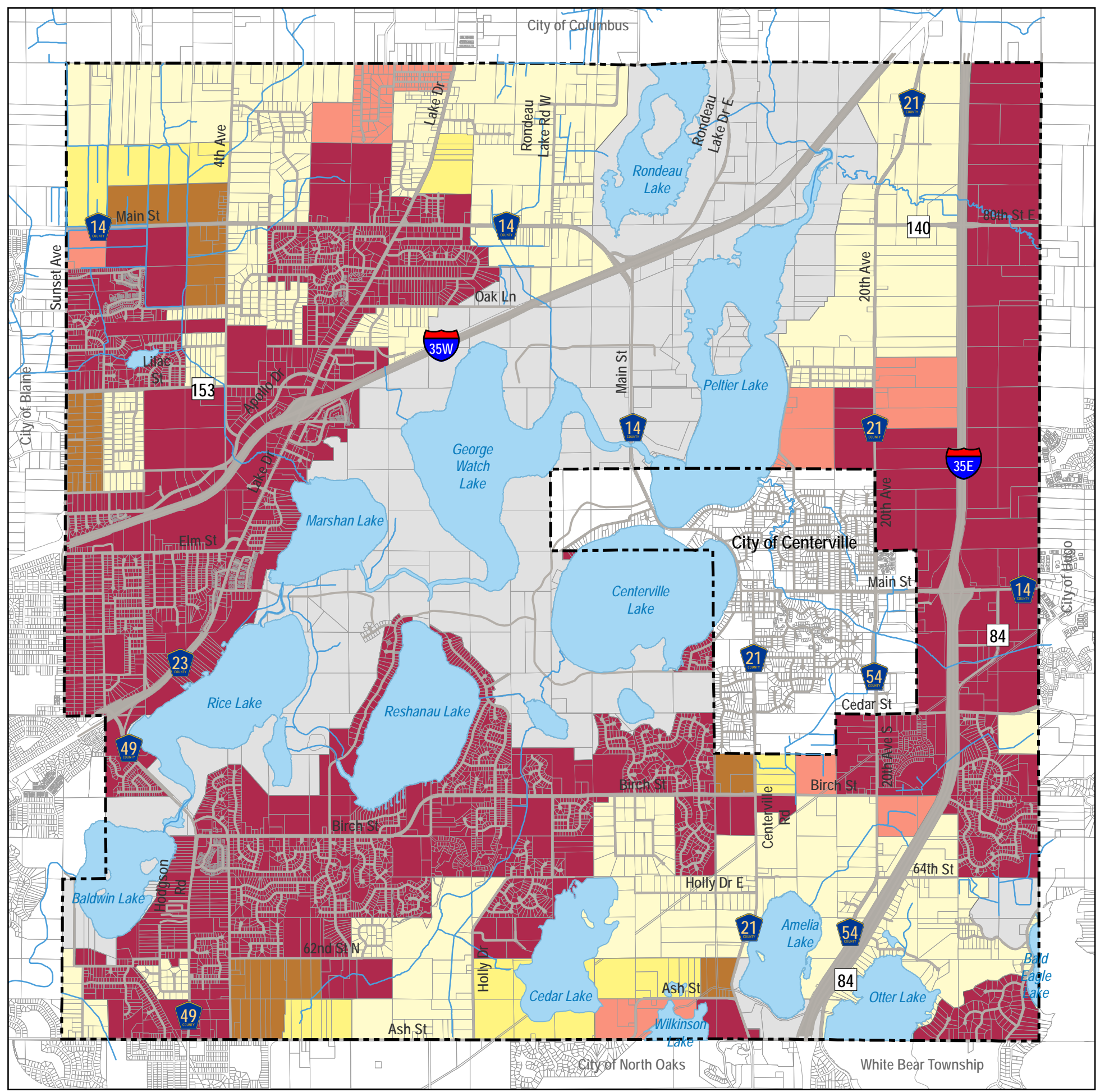
~~maintenance and assess the property owners for the costs of such action.~~ Residential lots shall be sited in a manner that preserves existing significant tree cover on the site.

(f) The lots of a neighborhood may be arranged so that a majority of the principal structures will take visual advantage of an identifiable feature, building, structure, greenway, wetland, woods, lake, stream or other open space which could be described as a view shed.

(g) The lots may be arranged that the principal structures face a local street enhanced with landscaping, street trees, boulevards, medians or other landscaping techniques appropriate to the city's street design standards.



**Figure 3-4
2040 Utility Staging Plan**

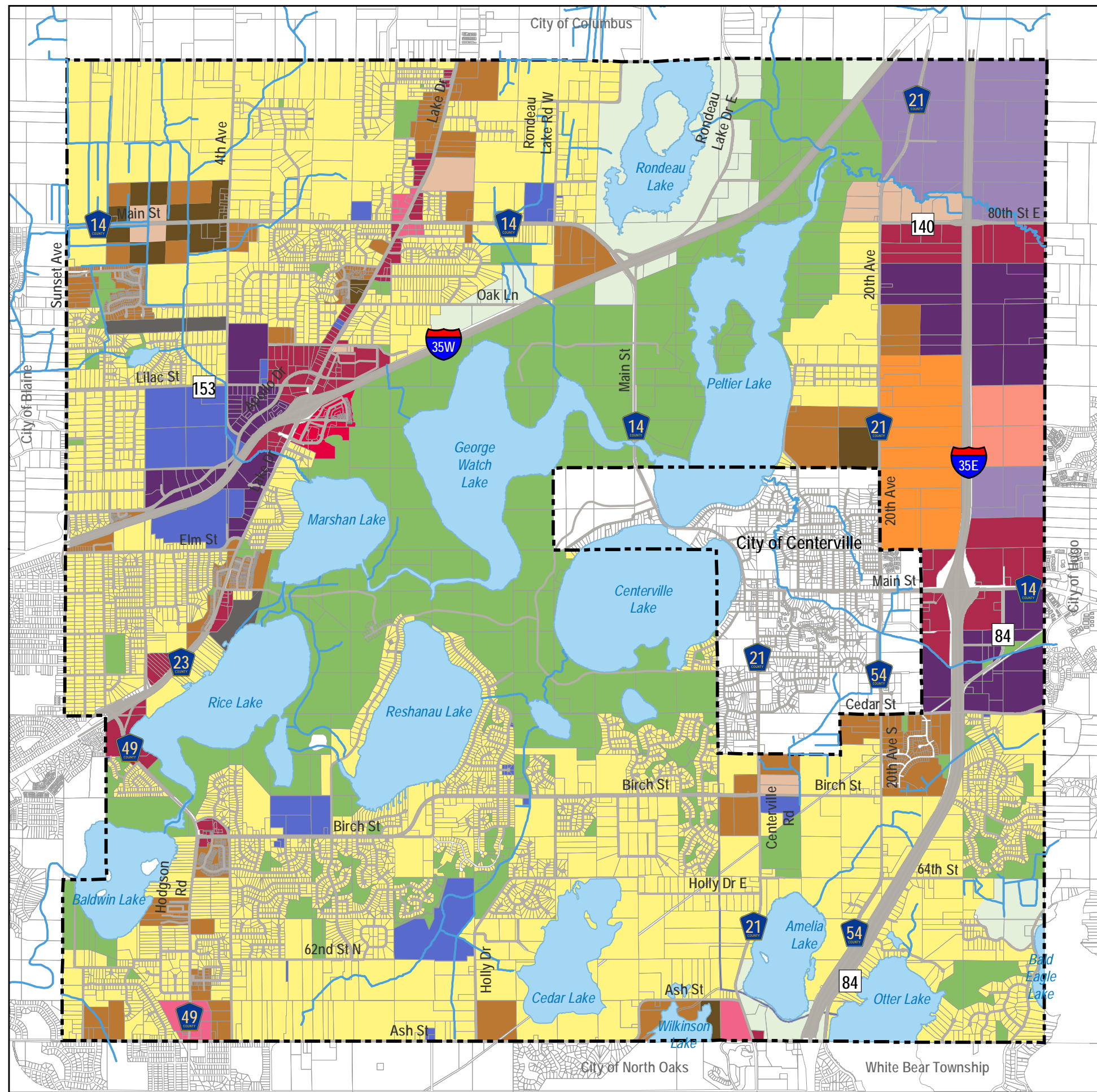


Legend

- Stage 1A Planned Service Area (2018 - 2025)
- Stage 1B Planned Service Area (2025 - 2030)
- Stage 2A Planned Service Area (2030 - 2035)
- Stage 2B Planned Service Area (2035 - 2040)
- Stage 3 Planned Service Area (Post 2040)
- No Service
- Open Water
- Right-of-Way
- Municipal Boundary
- Parcels
- Streams



**Figure 3-1
Full Build Out Land Use**



Legend

| | |
|----------------------------------|-------------------------|
| Permanent Rural | Civic and Institutional |
| Low Density Residential | Parks and Open Space |
| Low Density Mixed Residential | Private Airfield |
| Medium Density Residential | Open Water |
| High Density Residential | Right-of-Way |
| Planned Residential / Commercial | Municipal Boundary |
| Office Residential | Parcels |
| Signature Gateway District | Streams |
| Commercial | |
| Town Center | |
| Business Campus | |
| Industrial | |

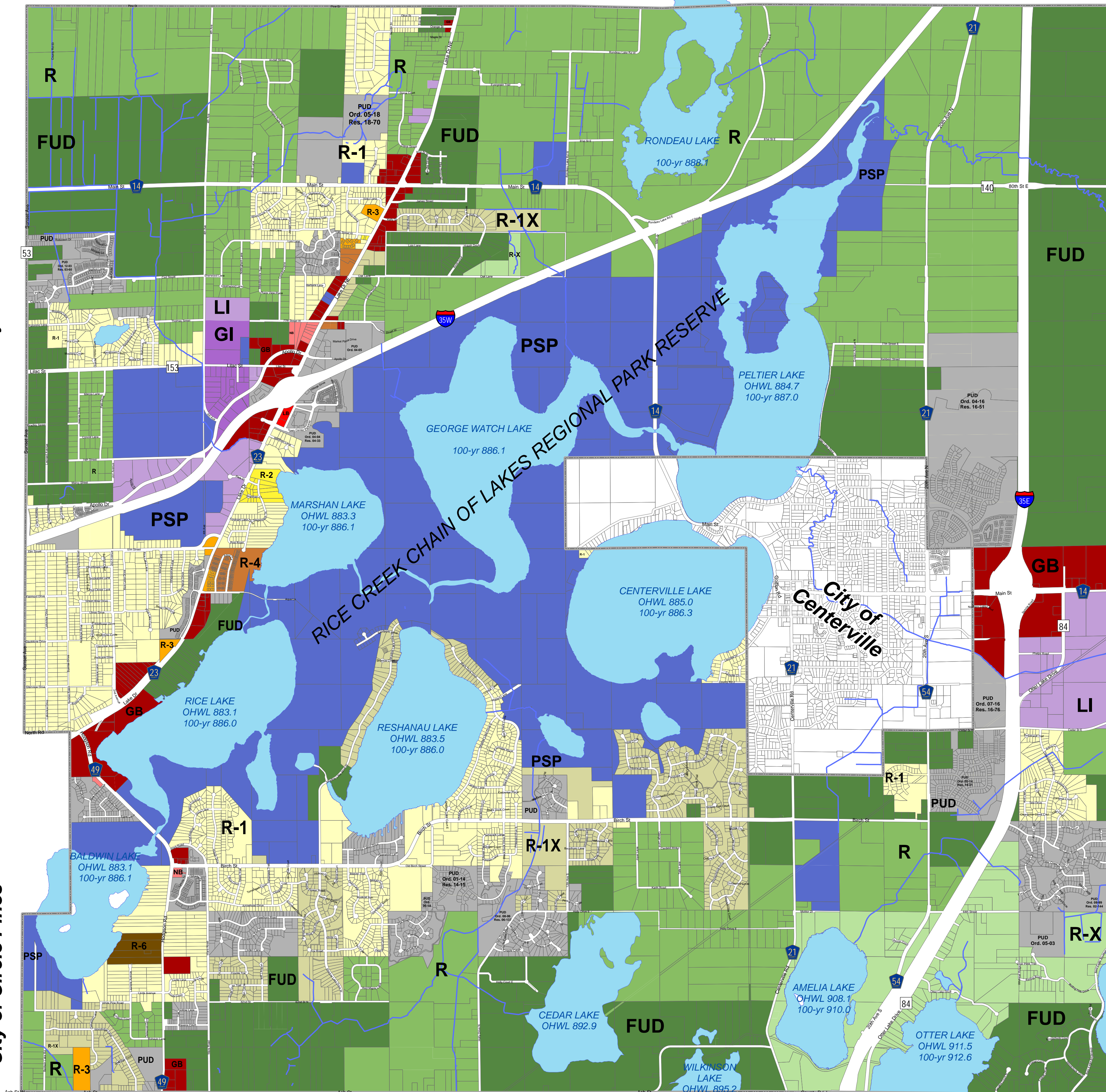


City of Columbus



Zoning District Map

City of Blaine



Legend

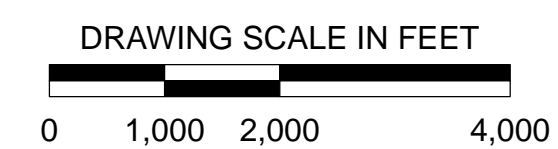
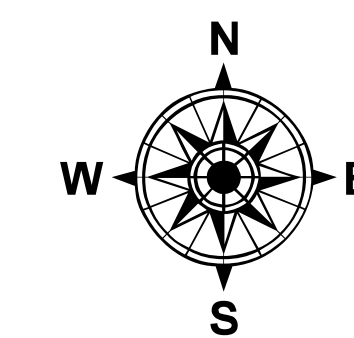
| | | | | | | | |
|--|---------|---------------|-------------------------------|--------------------------------|------------------------------------|---------------------|------------------------------|
| | Parcels | ZONING | | R-3 Medium Density Residential | | GB General Business | |
| | Streams | | FUD Future Urban Development | | R-4 High Density Residential | | LI Light Industrial |
| | | | R Rural | | R-5 Planned Commercial/Residential | | GI General Industrial |
| | | | R-X Rural Executive | | R-6 Manufactured Home Park | | BC Business Campus |
| | | | R-1 Single Family Residential | | NB Neighborhood Business | | PSP Public Semi-Public |
| | | | R-1X Single Family Executive | | LB Limited Business | | PUD Planned Unit Development |
| | | | R-2 Two Family Residential | | | | |

City of Hugo

*Lino Lakes
Community Development
600 Town Center Parkway
Lino Lakes, Minnesota 55014*

Phone (651) 982-2400

*Maps are for illustrative purposes only.
Recent changes may not be included.
Land Use and Zoning Information
should be verified with City Staff.*



City of Shoreview

City of North Oaks

White Bear Township

July 8, 2022 DRAFT
City FUD Edit