



PLANNING & ZONING BOARD AGENDA

Wednesday, March 12th, 2025

Broadcast on Cable TV Channel 16
and northmetrotv.com/lino-lakes-stream

ADVISORY BOARD MEETING, 6:30 P.M. Council Chambers (televised)

1. Call to Order and Roll Call
2. Pledge of Allegiance
3. Public Comment (*sign-in prior to start of meeting per Rules of Decorum*)
4. Setting the Agenda: Addition or Deletion of Agenda Items
5. Approval of Minutes: February 12th, 2025
6. Action Items
 - A. **PUBLIC HEARING** for Otter Crossing South Preliminary Plat and ALDI Site and Building Plan Review
7. Discussion Items
 - A. Main Street Master Plan and AUAR Update
 - B. Renstrom Dental Studio (7455 Village Drive) Exterior Remodel
 - C. Planning & Zoning Board Packet Distribution (discussion only)
 - D. Project Updates (discussion only)

ADJOURNMENT

Meeting guidelines on reverse side.

CITY OF LINO LAKES

ADVISORY BOARD MEETING GUIDELINES

Advisory boards are fact-finding bodies established to aid the City Council in specific areas. The decisions of any board are considered advisory only and all final decisions rest with the City Council. Board meetings shall operate in accordance with the procedures established by the City Council. The following meeting guidelines are derived from the City Council Rules of Decorum.

Members of the Audience – No person in the audience shall engage in disorderly or disruptive conduct such as audible commentary during a meeting, hand clapping, stamping of feet, whistling, using profane language, yelling and similar demonstrations, which conduct disturbs the peace and good order of the meeting.

Public Comment– Comments from the public will be accepted on any matter, whether on the agenda or not. Comments will not be accepted during specific agenda items unless a Public Hearing has been noticed. Please remember to be courteous and respectful and abide by the following guidelines:

- Sign-in prior to the start of the meeting
- Step up to the microphone when recognized by the Presiding Officer (Chair or Vice-Chair)
- State your name and address for the record
- State the subject to be discussed
- Limit comments to 3 minutes
- Address comments to the board as a whole, not any specific member
- No question may be asked of a board member or staff member without the permission of the Presiding Officer (Chair or Vice-Chair)
- Elect a spokesperson for a group of persons who wish to address the board on the same subject

Public Hearing – A public hearing is a separate item of business on the agenda. It gives the public an opportunity to comment on the topic identified. Please remember to be courteous and respectful and abide by the guidelines outlined for public comment (although no sign-in required). Typically, a public hearing proceeds as follows:

1. The Presiding Officer (Chair or Vice-Chair) will announce the agenda item and staff will present their report.
2. Board members have the opportunity to ask staff questions about the item.
3. The Presiding Officer (Chair or Vice-Chair) opens the public hearing and will recognize those who want to speak.
4. The Presiding Officer (Chair or Vice-Chair) shall close the public hearing.
5. The Board will then discuss the item. No further public comments are allowed.
6. The Board will make a recommendation and/or decision.

After a motion has been made or a public hearing has been closed, no member of the public shall address the board from the audience on the matter under consideration. The Presiding Officer (Chair or Vice-Chair) shall maintain strict order and etiquette at all meetings.

CITY OF LINO LAKES
PLANNING & ZONING BOARD MINUTES

| | |
|-------------------------|---|
| DATE: | February 12, 2025 |
| TIME STARTED: | 6:30 P.M. |
| TIME ENDED: | 7:44 P.M. |
| MEMBERS PRESENT: | Isaac Wipperfurth, Neil Evenson, Patrick Kohler Michael Root, Suzy Guthmueller, Perry Laden, |
| MEMBERS ABSENT: | Nathan Vojtech |
| STAFF PRESENT: | Michael Grochala, Katie Larsen, Diane Hankee Julie Whitney |

1. CALL TO ORDER AND ROLL CALL

Chair Root called the Lino Lakes Planning & Zoning Board meeting to order at 6:30 p.m. on February 12, 2025.

2. PLEDGE OF ALLEGIANCE

3. ELECTION OF CHAIR AND VICE CHAIR

Mr. Root was nominated for Chair and Mr. Laden was nominated as Vice Chair. A vote was taken for approval of the nominations and it was a unanimous approval.

4. PUBLIC COMMENT

Mr. Root declared public comment open at 6:32 p.m.

There were no public comments.

Mr. Kohler moved to close public comment. Motion seconded by Mr. Evenson. Public comment was closed at 6:32 p.m.

5. APPROVAL OF AGENDA

The agenda was approved as presented.

DRAFT MINUTES

6. APPROVAL OF MINUTES

Mr. Kohler moved to approve the January 8, 2025 meeting minutes. Motion seconded by Mr. Laden. Mr. Wipperfurth abstained. Motion carried 5 – 0.

7. ACTION ITEMS

A. Public Hearing Continued: Amending Chapter 1007 of City Code (Zoning Ordinance), Relating to Adult Use Cannabis

Mr. Grochala presented the staff report.

The City is considering adoption of requirements related to the regulation of Adult Use Cannabis as provided for under Minnesota Statutes, Chapter 342. To address the new regulations the City is considering two amendments to City Code Chapter 617 Regulation of Cannabis Businesses and Chapter 1007 (Zoning Ordinance) Relating to Cannabis Businesses.

Mr. Kohler pointed out that microbusiness needed to be added to the chart in section 8 and to be included in the delivery. Mr. Grochala said he would add it to the language.

Mr. Root opened the public hearing at 6:50 p.m.

No public comments were made.

Mr. Evenson moved to close the public hearing. Motion seconded by Mr. Kohler. The public hearing was closed at 6:50 p.m.

Mr. Evenson moved to approve the amendments to 1007 with the conditions listed in the staff report. Motion seconded by Mr. Kohler. Motion carried 6 - 0.

B. Burque Estates PUD Concept Plan

Ms. Larsen presented the staff report.

The applicant, Lino Lakes Partners, LLC, is proposing a residential development south of North Pointe, east of CSAH 54 (20th Avenue) and west of I-35E. The development contains three (3) parcels totaling approximately 59 gross acres and 58 housing units. The proposed development is called Burque Estates.

7. DISCUSSION ITEMS

A. Project Updates

Mr. Grochala provided project updates.

Mr. Wipperfurth moved to adjourn the meeting. Motion seconded by Ms. Guthmueller. Meeting adjourned at 07:44 p.m.

Respectfully submitted,
Julie Whitney – Community Development Administrative Assistant

**PLANNING & ZONING BOARD
AGENDA ITEM 6A**

STAFF ORIGINATOR: Katie Larsen, City Planner

MEETING DATE: March 12, 2025

TOPIC: **PUBLIC HEARING** for Otter Crossing South Preliminary Plat and ALDI Site and Building Plan Review

CASE NUMBER: PP2025-003
SPPR2025-002

APPLICANT: TYME Properties, LLC
Attn: Paul Schreier
3435 Labore Road, Ste 150
Vadnais Heights, MN 5510

ISG
Attn: Andrea Rand
7900 International Dr Ste 550
Bloomington, MN 55425

OWNER: CLINO, LLC
3435 Labore Road
Vadnais Heights, MN 5510

REVIEW SCHEDULE:

| | |
|--|-------------------|
| Complete Application Date: | February 10, 2025 |
| 60-Day Deadline: | April 11, 2025 |
| Environmental Board Meeting: | February 26, 2025 |
| Park Board Meeting: | NA |
| Planning & Zoning Board Meeting: | March 12, 2025 |
| City Council Work Session: | April 7, 2025 |
| City Council Meeting (Preliminary Plat & 1 st Reading): | April 14, 2025 |
| City Council Meeting (2 nd Reading): | April 28, 2025 |

INTRODUCTION

The applicant, TYME Properties LLC, is proposing to plat and develop one (1) commercial lot south of CSAH 14 (Main Street), east of I-35E and west of CR 84 (Otter Lake Road).

The applicant, ISG, is proposing the construction of an ALDI's grocery store on the commercial lot.

BACKGROUND

The Land Use Application is for the following:

- Preliminary Plat (Otter Crossing South)
 - 1 commercial lot
- Vacation-Easements
- Site & Building Plan Review (ALDI)

This staff report is based on the following information:

- Preliminary Plat Plan Set prepared by Pioneer Engineering dated October 10, 2025
- Vacation Exhibit prepared by Pioneer Engineering dated February 4, 2025
- Geotechnical Evaluation Reports prepared by Braun Intertec dated April 7, 2006, September 21, 2007 and November 4, 2024
- Wetland Delineation Report prepared by Midwest Natural Resources, Inc. dated December 7, 2022
- Traffic Study prepared by SSTS Traffic Solutions dated February 16, 2024
- Boundary/Easement Exhibit prepared by Pioneer Engineering dated December 6, 2023
- Certificate of Survey prepared by ISG dated January 8, 2025
- ALDI Elevations and Floor Plans prepared by APD Engineering/Architecture dated February 6, 2025
- Narrative prepared by ISG dated February 7, 2025
- Civil Plan Set prepared by ISG dated February 7, 2025

ANALYSIS

Existing Site Conditions

The 28 acre site includes three (3) existing lots. One of the lots was a former bank which has been recently demolished. Per the November 4, 2024 Braun Intertec report, the site currently exists as an agricultural land, predominantly covered with grass and topsoil at the time of our borings. The site features a generally flat to gently undulating topography, with ground elevations ranging from approximately 912 feet at Boring ST-10 to 920 feet at ST-13. The slope rises gently from west to east. Historical aerial imagery indicates that the parcel has primarily

been used for agricultural purposes, with no evidence of structures having been present on the site.

Zoning and Land Use

The site is zoned GB, General Business and is guided commercial per the City's 2040 Comprehensive Plan. A grocery store is a retail business which is a permitted use.

| | |
|---|----------------------|
| Current Zoning | GB, General Business |
| Existing Land Use | Vacant Commercial |
| Future Land Use per 2040 Comp Plan | Commercial |
| Utility Staging Area | 1A=2018-2025 |

Surrounding Zoning and Land Use

| Direction | Zoning | Existing Land Use | Future Land Use |
|------------------|----------------------|---------------------------------|------------------------|
| North | GB, General Business | Commercial | Commercial |
| South | LI, Light Industrial | Industrial Vacant Industrial | Industrial |
| East | LI, Light Industrial | Industrial | Industrial |
| West | GB, General Business | I-35E Vacant Commercial | Commercial |

Subdivision Ordinance

Conformity with the Comprehensive Plan and Zoning Code

The preliminary plat is consistent with the comprehensive plan for commercial development and zoning code requirements for GB, General Business with minor revisions as detailed in this staff report.

Blocks and Lots

The proposed preliminary plat contains the following areas:

| Parcel | Acres | Purpose |
|------------------------------|--------------|----------------|
| Lot 1, Block 1 ^a | 1.31 acres | Grocery Store |
| Lot 1A, Block 1 ^a | 2.50 acres | Grocery Store |

| | | |
|-----------------------|--------------------|-----------------------------|
| Outlot A | 23.34 acres | Future development |
| Outlot B | 2.35 acres | Future development |
| CR 84 (Otter Lake Rd) | 0.25 acres | Dedicated road right-of-way |
| TOTAL | 29.75 acres | |

^a Lot 1 is abstract property and Lot 1A is torrens property. The grocery store will be constructed on both Lots 1 and 1A and it will be treated as one lot.

An additional 10ft of road right-of-way along CR 84 (Otter Lake Road) is being dedicated on the plat as required.

Sheet 7, Master Plan lays out potential future development of the site. This is not a final plan. Future development of the outlots will require preliminary plat and final plat.

Streets and Alleys

CSAH 14 (Main Street) is an A-Minor Arterial Connector county road. An existing right-in only lane will access the site from Main Street. No additional access points or driveways are allowed along this section of Main Street.

CR 84 (Otter Lake Road) is a minor arterial county road.

The north access into the site is 70th Street which is a private street. This will be a temporary full access road until future development of Outlot A. Then this north access will be right-in/right out and full access will be to the south. Document #487862.011 is a 60 ft wide Grant of Permanent Easement over the private street and conveyed to the City for ingress and egress, drainage and utility purposes. This easement will be vacated by separate Council action and drainage and utility easements will be provided on the final plat.

Otter Lake Service Road is a public local road that will provide future access to Outlot A.

There are no public streets being constructed within the development. The internal system will be private streets and drive lanes.

Document #1271202.0 recorded against the property dedicates a 60ft wide public street and utility easement east-west across the property. This easement will be vacated by separate Council action. The City Council will hold the public hearing which is tentatively scheduled for April 14, 2025.

A shared driveway and maintenance agreement will be required for all private streets and/or shared driveways. An access control agreement will be required for the future right-in/right-out only for the north access on Otter Lake Road.

Easements

Standard drainage and utility easements at least 10 feet wide shall be provided on the preliminary plat over Lot 1 and Lot 1A lot lines, Lot 1 and Lot 1A wetland #3 and stormwater management facilities.

Public Land Dedication

The City will collect cash fee in lieu of land dedication for commercial development at the time of final plat.

| Otter Crossing South | |
|---------------------------------|---------|
| 3.81 acres x \$2,600 per acre = | \$9,906 |

Site and Building Plan Review

The attached Site and Building Plan Review Worksheet was completed for the proposed ALDI grocery store to determine zoning code compliance regarding lot sizes, setbacks, architecture, lighting and off-street parking. Comments highlighted in red shall be revised.

Site Plan

The grocery store will be located on Lot 1 and Lot 1A. These lots will be treated as one combined lot. The building is 19,437 sf. The site has shared access with Outlot A and Outlot B. A stormwater basin is proposed on the west side. The parking lot is located to the north and east.

Architectural Plans and Exterior Building Materials

Exterior materials include brick veneer, cultured stone, aluminum composite panels, fiber cement panels, and glazing. Colors are brown, tan, grey, and silver.

The exterior materials, colors, and percentages are compliant with performance standards with minor revisions as noted.

The building height is 28' 10" which is less than that maximum 45 ft allowed.

A loading dock is on the south side of the building. The trash enclosure is located within the loading dock area; however, the enclosure shall be fully screened and construction details are required.

Rooftop mechanical equipment screening is provided.

Grading Plan and Stormwater Management

Per the City Engineer Memo-ALDI dated March 5, 2025:

Stormwater management for the Aldi site consists of constructing a new sedimentation basin on the west side of the site.

| Pre- and Post- Development Discharge Rates (cfs) | | | | |
|--|--------|---------|----------|-----------------|
| Condition | 2-Year | 10-Year | 100-Year | 10-Day Snowmelt |
| Existing | 0.91 | 4.84 | 16.00 | Not required |
| Proposed | 0.82 | 2.69 | 14.07 | Not required |

Additional comments/revisions are noted in the attached City Engineer memo.

Public Utilities

The site will be municipally served by an 8" sanitary sewer main and 8" watermain along 70th Street.

Tree Preservation, Mitigation Standards and Landscaping

The February 26, 2025 Environmental Board staff report details tree preservation, mitigation standards and landscaping. A tree preservation plan was not required for the ALDI site. Future development on the outlots may trigger tree preservation for each additional site. No significant trees are to be impacted with the proposed development. Canopy coverage is met. Revisions are required to the foundation plantings, parking lot screening, and open space areas.

Signage

A separate Sign Permit Application with detailed sign information is required for any permanent or temporary signage. A 40ft tall pylon sign is proposed along Main Street.

Impervious Surface Coverage

The allowed maximum impervious surface coverage per lot in the GB, General Business District is 75%. Sheet C-010 indicates 52% impervious surface coverage for the site which meets requirements.

Traffic Study

A Traffic Study was prepared by SSTS dated February 16, 2024. The study analyzed the following intersections:

- Main St (CSAH 14) & I-35E SB Ramps

- Main St (CSAH 14) & I-35E NB Ramps
- Main St (CSAH 14) & Otter Lake Rd (CR 84)
- Main St/Frenchman Rd/CSAH 8 & Victor Hugo Blvd
- Otter Lake Rd (CR 84) & Gymnastics/Industrial Building Access
- Access Locations for Build Conditions

Trip Generation

The study analyzed a Phase 1 development scenario that included a supermarket, fast food, and retail. The Phase 1 development is expected to generate 1,658 new weekday daily trips. The AM peak is 7:15am to 8:15am and PM peak is 4:15pm to 5:15pm. The table below provides a detailed breakdown of land use, shared trips, and pass-by trips. Pass-by trips occur when motorists already on the highway system stop at the development site prior to continuing their intended route.

| Land Use | Type | Land Use Code | Size | Trips Generated: | | | | |
|--------------------------|--------|---------------|-------------|------------------|------|---------|------|-------------|
| | | | | AM Peak | | PM Peak | | Weekday ADT |
| | | | | Enter | Exit | Enter | Exit | |
| Supermarket | Retail | 850 | 19,500 s.f. | 33 | 23 | 87 | 87 | 1,062 |
| Fast Food - w/Drive Thru | Retail | 934 | 3,000 s.f. | 68 | 66 | 52 | 48 | 1,402 |
| Strip Retail Plaza | Retail | 822 | 9,800 s.f. | 14 | 9 | 32 | 32 | 370 |
| Totals - Gross | | | | 115 | 98 | 171 | 167 | 2,834 |
| | | | | 213 | | 338 | | |
| Shared Trips | | | | 12 | 10 | 17 | 17 | 283 |
| | | | | 21 | | 34 | | |
| Pass-By Trips | | | | 39 | 39 | 53 | 53 | 893 |
| | | | | 78 | | 106 | | |
| Totals - Net* | | | | 64 | 49 | 101 | 98 | 1,658 |
| | | | | 113 | | 199 | | |

- Pass-by trips per land use are per ITE's Trip Generation Manual, 11th Edition.
- A 10% shared trip reduction was applied based on review of ITE's internal capture rates.

Level of Service

Level of Service (LOS) is used to describe the operating conditions and driver delay (measured in seconds) of an intersection. Operations are given letter designations from "A" (best operating conditions) to "F" (worst conditions).

City Code Section 1007.020, Site Plan Review and Section 1001.013(2)(c), Premature Subdivision establishes minimum Level Of Service (LOS) requirements. The ordinance states that if the LOS is A or B, the proposed subdivision shall not the degrade the LOS more than one grade. If the LOS is C or D, it shall not degrade the LOS. Intersections with a LOS of E or F must be improved to ensure a LOS of D or better.

| Intersection | Measure of Effectiveness (Delay in Sec and Queue in Ft) | | | | |
|--|---|---------------|--------------|--------------|--------------|
| | Criteria | 2026 No-Build | | 2026 Build | |
| | | AM Peak Hour | PM Peak Hour | AM Peak Hour | PM Peak Hour |
| Main St (CSAH 14) & I-35E SB Off-Ramp (Signalized) | Overall LOS & Delay | A 6.6 | A 6.5 | A 6.7 | A 6.6 |
| | Worst Movement LOS & Delay | D 36.7 (SBL) | D 40 (SBL) | D 35.5 (SBL) | D 40.5 (SBL) |
| | 95th Percentile Queue | SBL - 121' | SBL - 114' | SBL - 130' | SBL - 124' |
| Main St (CSAH 14) & I-35E NB Ramps (Signalized) | Overall LOS & Delay | A 5.7 | A 8.2 | A 6.0 | A 8.1 |
| | Worst Movement LOS & Delay | C 33 (SBR) | C 20.8 (SBR) | D 35.8 (SBR) | C 21 (SBR) |
| | 95th Percentile Queue | SBR - 133' | SBR - 182' | SBR - 133' | SBR - 180' |
| Main St (CSAH 14) & Otter Lake Rd (Signalized) | Overall LOS & Delay | B 18.2 | C 22.4 | C 20.7 | C 26.2 |
| | Worst Movement LOS & Delay | D 40.7 (NBT) | D 47.4 (NBT) | D 47.2 (SBT) | E 66.4 (WBL) |
| | 95th Percentile Queue | WBT - 342' | WBT - 398' | WBT - 340' | EBT - 317' |
| Main St (CSAH 14) & Victor Hugo Blvd (Signalized) | Overall LOS & Delay | B 17.3 | C 25.0 | B 17.6 | C 27.5 |
| | Worst Movement LOS & Delay | D 43.4 (WBL) | E 49.6 (EBL) | D 42.7 (WBL) | E 60.9 (EBL) |
| | 95th Percentile Queue | WBT - 193' | EBL - 220' | WBT - 187' | EBL - 266' |
| Otter Lake Rd & Gymnastics Access (Side-Street Stop-Controlled) | Overall LOS & Delay | A 0.1 | A 0.8 | A 0.1 | A 0.9 |
| | Worst Movement LOS & Delay | A 0.1 (SBT) | A 6.8 (WBL) | A 1 (SBL) | A 7.3 (WBL) |
| | 95th Percentile Queue | No Queue | WBR - 43' | SBLT - 4' | SBLT - 50' |
| Otter Lake Rd & Existing Access (Side-Street Stop-Controlled) * | Overall LOS & Delay | | | A 1.7 | A 2.4 |
| | Worst Movement LOS & Delay | NA | NA | A 6 (EBL) | A 8.3 (EBL) |
| | 95th Percentile Queue | | | EBLR - 46' | EBLR - 70' |
| Main St (CSAH 14) & Right-In Only Access (Free Right Movements) | Overall LOS & Delay | | | A 2.4 | A 2.1 |
| | Worst Movement LOS & Delay | NA | NA | A 3.6 (WBT) | A 3 (WBT) |
| | 95th Percentile Queue | | | No Queue | EBT - 15' |

- Level of Service reported from an average delay from 10 SimTraffic simulations for overall intersection and worst movement.
- 95th percentile queues are a result from an average of 10 SimTraffic simulations and the longest queue per intersection is reported.

- Overall LOS "D" and individual movement LOS "E" are considered acceptable if queuing is accommodated.

* A dedicated SBL turn lane is assumed with Build conditions on Otter Lake Rd at the access.

The proposed Level of Service does not degrade by more than one (1) LOS; therefore, the traffic generated by the proposed development is within the capabilities of the City.

EQB Environmental Review

The site is within the 2005 I-35E Corridor AUAR environmental review boundary. The AUAR was updated in May 2020. The AUAR identifies this site as commercial in the land use scenarios. The proposed ALDI's grocery store is consistent with commercial development. No further environmental assessment is required.

Wetlands

The preliminary plat includes four (4) wetlands totally approximately 5.94 acres. These wetlands do not appear to be impacted and do not appear to be within the Wetland Management Corridor (WMC). Minimum 10 ft wide drainage and utility easements are required over Wetland 3 on Lot 1 and Lot 1A.

The applicant will need to work with RCWD for Wetland Conservation Act regulations.

Shoreland District

The preliminary plat is not located in the Shoreland District.

Floodplain

There is no FEMA floodplain on site.

Additional City and Government Agency Review Comments

Anoka County Highway Department

Anoka County Highway Department comments are in the attached memo.

Public Safety Comments

The Lino Lakes Fire Division notes the FDC needs to be located in the northeast corner of the building.

The Lino Lakes Police Division reviewed the development and did not have any comments.

Environmental Board

The Environmental Board reviewed the project at their February 26, 2025 meeting and made recommendation with conditions as noted in the attached memo.

Agreements

Stormwater Maintenance Agreement

The stormwater facilities will be privately maintained, and a Declaration for Maintenance of Stormwater Facilities will be required. Both the Rice Creek Watershed District (RCWD) and the City of Lino Lakes shall be parties to the Declaration.

Development Agreement and Final Plat

The applicant shall submit a Land Use Application for final plat after preliminary plat approval. A Development Agreement will then be prepared by the City as part of the final plat application.

Site Improvement Performance Agreement

Site Improvement Performance Agreements will be required for construction of the ALDI grocery store.

Comprehensive Plan

The Otter Crossing South preliminary plat and ALDI grocery store are consistent with the goals and policies of the comprehensive plan regarding land use, housing, economic development, transportation, local water management plan, sanitary sewer, water supply and parks, greenway and trails.

Land Use Plan

The Comprehensive Plan guides this property for commercial use. The preliminary plat and grocery store are consistent with commercial land use.

Housing Plan

The goals and policies of Housing Plan are not negatively impacted by the commercial development.

Economic Development

The commercial development supports the City's economic development plan.

Transportation Plan

Goals of the Transportation Plan are to ensure that street and roads are as safe as possible and to reduce unnecessary traffic. CSAH 14 (Main Street) is an A-Minor Arterial Connector county road. CR 84 (Otter Lake Road) is a minor arterial county road. The exiting road system can accommodate the traffic generated by the commercial development.

Local Water Management Plan

The purpose of the water management program is to protect, preserve, and use natural surface and groundwater storage and retention systems and prevent erosion of soil into surface water systems. The commercial development will construct stormwater management BMP's such as curb, gutter, and stormwater ponds.

Sanitary Sewer Plan

The goal of the sanitary sewer plan is to maintain the city's residents and businesses with an affordable and safe sanitary sewer system. The commercial development will be served by an affordable and safe sanitary sewer system.

Water Supply Plan

A goal of the water supply plan is to provide residents and businesses with affordable potable water that is safe and of high quality for daily consumption and fire demand. The commercial development will be served with a safe and high quality water supply.

Parks, Greenways and Trails

A goal and policy of the parks, greenways and trails plan is to continue to development and fund recreational activities in the City. The City will require cash in lieu of land dedication for the one (1) new commercial lot.

Findings of Fact

Preliminary Plat-Otter Crossing South

Per City Code Section 1001.013, Premature Subdivision:

(1) *General.* Any concept plan, preliminary plat or final plat deemed premature pursuant to the following criteria shall be denied by the City Council.

(2) *Conditions for establishing a premature subdivision.* A subdivision may be deemed premature should any of the following conditions not be met.

(a) *Consistency with the Comprehensive Plan.* Including any of the following:

1. Land use plan;
2. Transportation plan;
3. Utility (sewer and water) plans;
4. Local water management plan;
5. Capital improvement plan; and
6. Growth management policies, including MUSA allocation criteria.

Otter Crossing South preliminary plat is consistent with the goals and policies of the comprehensive plan.

(b) *Consistency with infill policies.* A proposed urban subdivision shall meet the city's infill policies:

1. The urban subdivision must be located within the Metropolitan Urban Service Area (MUSA) or the staged growth area as established by the city's Comprehensive Plan;
2. The cost of utilities and street extensions must be covered by one or more of the following:
 - a. An immediate assessment to the proposed subdivision;
 - b. One hundred percent of the street and utility costs are privately financed by the developer;
 - c. The cost of regional and/or oversized trunk utility lines can be financed with available city trunk funds; and
 - d. The cost and timing of the expenditure of city funds are consistent with the city's capital improvement plan.
3. The cost, operation and maintenance of the utility system are consistent with the normal costs as projected by the water and sewer rate study; and

4. The developer payments will offset additional costs of utility installation or future operation and maintenance.

Otter Crossing South preliminary plat is consistent with infill policies. The development is within the current Utility Staging Area 1A (2018-2025). The cost and timing of the expenditure of city funds are consistent with the city's capital improvement plan. The cost, operation and maintenance of the utility system are consistent with the normal costs projected by the water and sanitary rate study. No future utility costs are proposed.

(c) *Roads or highways to serve the subdivision.* A proposed subdivision shall meet the following requirements for level of service (LOS), as defined by the Highway Capacity Manual:

1. If the existing level of service (LOS) outside of the proposed subdivision is A or B, traffic generated by a proposed subdivision will not degrade the level of service more than one grade;
2. If the existing LOS outside of the proposed subdivision is C, traffic generated by a proposed subdivision will not degrade the level of service below C;
3. If the existing LOS outside of the proposed subdivision is D, traffic generated by a proposed subdivision will not degrade the level of service below D;
4. The existing LOS must be D or better for all streets and intersections providing access to the subdivision. If the existing level of service is E or F, the subdivision developer must provide, as part of the proposed project, improvements needed to ensure a level of service D or better;
5. Existing roads and intersections providing access to the subdivision must have the structural capacity to accommodate projected traffic from the proposed subdivision or the developer will pay to correct any structural deficiencies;
6. The traffic generated from a proposed subdivision shall not require city street improvements that are inconsistent with the Lino Lakes capital improvement plan. However, the city may, at its discretion, consider developer-financed improvements to correct any street deficiencies;
7. The LOS requirements in divisions (2)(c)1. to 4. above do not apply to the I-35W/Lake Drive or I-35E/Main St. interchanges. At city discretion, interchange impacts must be evaluated in conjunction with Anoka County and the Minnesota Department of Transportation, and a plan must be prepared to determine improvements needed to resolve deficiencies. This plan must determine traffic generated by the subdivision project, how this traffic contributes to the total traffic, and the time frame of the improvements. The plan also must examine financing options, including project contribution and cost sharing among other jurisdictions and other properties that contribute to traffic at the interchange; and
8. The city does not relinquish any rights of local determination.

Otter Crossing South preliminary plat meets the requirements for level of service (LOS). Intersections currently operate at an overall Level of Service (LOS) A. Build condition overall LOS will continue to operate at a level A.

The proposed Level of Service does not degrade by more than one (1) LOS; therefore, the development is not considered premature. Existing roads and intersections providing access to the subdivision have the structural capacity to accommodate projected traffic from the proposed subdivision. No street improvements are proposed that are inconsistent with the City's capital improvement plan. The city does not relinquish any rights of local determination.

(d) *Water supply.* A proposed subdivision shall be deemed to have an adequate water supply when:

1. The city water system has adequate wells, storage or pipe capacity to serve the subdivision;
2. The water utility extension is consistent with the Lino Lakes water plan and offers the opportunity for water main looping to serve the urban subdivision;
3. The extension of water mains will provide adequate water pressure for personal use and fire protection; and
4. The rural subdivision can demonstrate that each of the proposed lots can be provided with a potable water supply.

Otter Crossing South preliminary plat will have an adequate water supply.

(e) *Waste disposal systems.* A proposed subdivision shall be served with adequate waste disposal systems when:

1. The urban sewered subdivision is located inside the city's MUSA or is consistent with the MUSA allocation criteria;
2. The city has sufficient MUSA and pipe capacity to serve the subdivision if developed to its maximum density;
3. The subdivision will result in a sewer extension consistent with Lino Lakes sewer plan and capital improvement plan;
4. A rural subdivision can demonstrate that each lot can be served by an adequate sanitary sewer disposal system; and
5. A rural subdivision with a proposed communal sanitary sewer or water system has an effective long range management and maintenance program with proper financing.

Otter Crossing South preliminary plat will be served with an adequate waste disposal system.

Site & Building Plan Review-ALDI

Per City Code Section 1007.020:

(4) *Performance Standards.* Plans which fail to meet the following criteria shall not be approved.

(a) The proposed development application must be consistent with the policies and recommendations of the Lino Lakes Comprehensive Plan.

The proposed grocery store is consistent with commercial land use.

(b) The proposed development application is compatible with present and future land uses of the area.

The proposed grocery store is compatible with present and future land uses of the area.

(c) The proposed development application conforms to performance standards herein and other applicable City Codes.

The proposed grocery store conforms to City Code performance standards with minor revisions as noted in this staff report.

(d) Traffic generated by a proposed development application is within the capabilities of the City when:

1. If the existing level of service (LOS) outside of the proposed development is A or B, traffic generated by a proposed development will not degrade the level of service more than one grade.

2. If the existing LOS outside of the proposed development is C, traffic generated by a proposed development will not degrade the level of service below C.

3. If the existing LOS outside of the proposed development is D, traffic generated by a proposed development will not degrade the level of service below D.

4. The existing LOS must be D or better for all streets and intersections providing access to the proposed development. If the existing level of service is E or F, the developer must provide, as part of the proposed project, improvements needed to ensure a level of service D or better.

5. Existing roads and intersections providing access to the proposed development must have the structural capacity to accommodate projected traffic from the proposed development or the developer will pay to correct any structural deficiencies.

6. The traffic generated from a proposed development shall not require City street improvements that are inconsistent with the Lino Lakes Capital Improvement Plan. However, the City may, at its discretion, consider developer-financed improvements to correct any street deficiencies.

7. The LOS requirements in paragraphs 1. to 4. above do not apply to the I-35W/Lake Drive or I-35E/Main St. interchanges. At City discretion, interchange impacts must be evaluated in conjunction with Anoka County and the Minnesota Dept. of Transportation, and

a plan must be prepared to determine improvements needed to resolve deficiencies. This plan must determine traffic generated by the proposed development project, how this traffic contributes to the total traffic, and the time frame of the improvements. The plan also must examine financing options, including project contribution and cost sharing among other jurisdictions and other properties that contribute to traffic at the interchange.

The proposed grocery store meets Level of Service (LOS) requirements. is within the capabilities of the City. The existing roads and intersections providing access to the proposed development have the structural capacity to accommodate projected traffic from the proposed development. The traffic generated from a proposed development does not require City street improvements that are inconsistent with the Lino Lakes Capital Improvement Plan.

(e) The proposed development shall be served with adequate and safe water supply.

The proposed grocery store will have an adequate and safe water supply.

(f) The proposed development shall be served with an adequate or safe sanitary sewer system.

The proposed grocery store will be served with an adequate waste disposal system.

(g) The proposed development shall not result in the premature expenditures of City funds on capital improvements necessary to accommodate the proposed development.

The proposed grocery store does not require City funds.

(h) Fire prevention and fighting equipment acceptable to the Board of Fire Underwriters and City Council shall be readily available when any activity involving the handling or storage of flammable or explosive materials is carried on.

The proposed grocery store will have fire prevention and fighting equipment readily available.

RECOMMENDATION

Staff recommends approval of the Otter Crossing South preliminary plat subject to following conditions:

1. A declaration stating Lot 1 and Lot 1A, Otter Crossing South shall be maintained together for the purposes of sale and development.
2. A shared access, parking, and maintenance agreement and exhibit shall be recorded.
3. A declaration of access control and exhibit shall be recorded.

4. Document #1271202.0 regarding the permanent easement for public streets and utility purposes shall be vacated contingent upon filing of the final plat.
5. A Quit Claim Deed related to the vacation of Document #1271202.0 shall be recorded.
6. Document #487862.011 regarding the grant of permanent easement for construction purposes shall be vacated contingent upon filing of the final plat.

Staff recommends approval of the ALDI grocery store site & building plan subject to the following conditions:

1. Separate sign permit applications are required for all permanent and temporary signage.
2. A Site Improvement Performance Agreement shall be executed.

The following comments shall be addressed prior to City Council approval of the Otter Crossing preliminary plat:

1. All comments from the City Engineer memos dated March 5, 2025.
2. All comments from the Environmental Coordinator memo dated February 26, 2025.
3. All comments from Anoka County Transportation Division letter dated March 4, 2025.
4. All comments highlighted in red on the Site & Building Plan Review Worksheets.
5. A draft of the Lot 1 and Lot 1A declaration shall be submitted to the City.
6. A draft of the shared access, parking, and maintenance agreement and exhibit shall be submitted to the City.
7. A draft of the access control agreement and exhibit shall be submitted to the City.
8. The City Attorney shall draft the quit claim deed.
9. A draft of the legal description in Word document and exhibit of easement vacations related to Document #1271202.0 and Document #487862.011 shall be submitted to the City.
10. Revision dates shall be included on all applicable plan sheets.
11. Sheet 1, Cover Sheet (Otter Crossing South):
 - a. Remove red line crossing the proposed parking lot unless it has significance, then label.
12. Sheet 5, Neighborhood Land Use Plan:
 - a. Remove red line crossing the site unless it has significance, then label.
13. Sheet 6, Preliminary Plat:
 - a. Add all existing easements and document numbers.
 - b. Add standard lot line drainage and utility easements around Lot1/Lot 1A and the stormwater facility.
 - c. The full 60ft wide drainage and utility easement shall be outside of Outlot B.
 - d. The wetland areas shall include the acreage.
 - e. Minimum 10 ft wide drainage and utility easements required over Wetland 3 on Lot 1 and Lot 1A.
 - f. In the Table,
 - i. The Total Gross Area should equal 29.75 acres, not 29.76.
 - ii. Break out the Outlot A and Outlot B acreage.

- g. Add the 2040 Comprehensive Land Use is commercial.
 - h. Add the Zoning is GB, General Business.
 - i. The scale bar is incorrect.
14. Sheet 7, Master Plan:
- a. Remove red line crossing the site unless it has significance, then label.
15. Sheet C-010, Site Data Sheet (ALDI):
- a. Show parking lot calculations.
 - b. The Setback table and all applicable plan sheets shall be revised accordingly.
 - i. See Site & Building Plan Review Worksheet for correct building and parking lot setbacks.
16. Sheet C-310, Site Plan:
- a. Label all lines on the plan sheet. For example, there are unlabeled lines to the west of the parking lot near the wetland.
 - b. The fence around the stormwater pond shall be omitted.
 - c. The 37 ft wide northerly driveway shall be revised to 36 ft maximum.
 - d. Sidewalk shall be included along the private streets from Main Street and Otter Lake Drive.
 - e. All parking lot and loading dock traffic circulation shall occur within the lot.
 - f. The dock wall along the loading dock shall be a solid wall, not a guard rail.
 - g. The dock wall shall be high enough to screen the trash enclosure.
17. Sheet C-320, Site Utility Plan:
- a. The FDC shall be located in the northeast corner of the building.
18. Sheets C-410 and C-411, Grading Plan:
- a. Add drainage arrows.
19. Sheet A-201, Exterior Elevations:
- a. South Elevation:
 - i. To be counted as a primary material, the product must comprise at least five (5) percent of the exterior wall. Glass is only 1%.
 - ii. Commercial, public, educational and religious buildings shall have a well-defined base, middle and top. The base should appear visually distinct from the middle and top part (cornice) of the building through the use of a change in building materials, color, window shape or size, an intermediate cornice line, sign band, an awning, or similar techniques. A cap shall include the area from the top floor to the roof of the building and shall include a cornice, roof overhang, and change of color or material to differentiate it from the middle section of the building. Flashing shall not be considered a cap
 - b. West Elevation:
 - i. At least 50% of each exterior wall shall be composed of at least three (3) class 1 materials.
 - ii. Commercial, public, educational and religious buildings shall have a well-defined base, middle and top. The base should appear visually distinct from the middle and top part (cornice) of the building through the use of a change in building materials, color, window shape or size, an

intermediate cornice line, sign band, an awning, or similar techniques. A cap shall include the area from the top floor to the roof of the building and shall include a cornice, roof overhang, and change of color or material to differentiate it from the middle section of the building. Flashing shall not be considered a cap

- iii. Any wall facing a public right-of-way shall not have an uninterrupted length exceeding 100 feet without including at least two (2) of the following: change in plane, change in texture or masonry pattern, two (2) class 1 materials, windows in a manner that is impactful to the design, or an equivalent element that subdivides the wall into human scale proportions.

ATTACHMENTS

1. Site Location & Aerial Map
2. Applicant Narrative
3. Otter Crossing South Preliminary Plat Plan Set
4. ALDI Site Plan
5. ALDI Building Elevations
6. City Engineer Memo-Otter Crossing South dated March 5, 2025
7. City Engineer Memo-ALDI dated March 5, 2025
8. Environmental Coordinator Memo dated February 26, 2025
9. Anoka County Highway Department Letter dated March 4, 2025
10. Site and Building Plan Review Worksheet-ALDI



1 in = 300 Ft

Address Labels

 Parcels



February 7, 2025

Katie Larson, AICP
Planner
City of Lino Lakes
600 Town Center Pkwy
Lino Lakes, MN 55014



**RE: Site Plan - Narrative
ALDI – Lino Lakes**

Katie,

ISG is the design firm representing ALDI, and we are submitting a Site Plan application for a proposed ALDI grocery store. The subject property is vacant land in the SE corner of I-35 and Main Street. The property is Parcel 24-31-22-13-0005 that is approximately 27.01 acres. ALDI's site development is in the northwest corner of the 27.01 acres and the ALDI site will be approximately 2.84 acres once the site is platted. The property owner will be submitting the Preliminary and Final Plats that will be associated with this development proposal.

The property is zoned General Business District (GB) and the proposed grocery store use is permitted. ALDI is open 7-days a week from 9 am – 8 pm. On average, there are 4-6 employees at the store each shift. The proposed ALDI building will be approximately 19,437 SF in size. There will be a shared access drive into the site from Main Street for the overall commercial development. ALDI has designed the parking lot circulation and access points to allow for internal connectivity with the future adjacent commercial lots. The site conforms with the setbacks, parking space requirements and includes the required perimeter and interior parking lot landscaping. The ALDI site will be comprised of 1.99 acres (~70%) of impervious surface and 0.85 acres (29%) of greenspace.

The building elevations are comprised of a mix of materials, colors and glazing to add architectural interest to the building façade. The entrance to the building is defined by a tower feature to enhance the building entrance visually. The loading dock and trash are recessed into the grade behind the building away from the street, which will help reduce the presence and visibility of these areas. See the attached chart detailing the building elevation materials and percentages of coverage.

Thank you again for reviewing the attached materials. Please contact me at 952.426.0699 or via email at Andrea.Rand@ISGInc.com with any questions or if there is any additional information we can provide in support of this project.

Thank you again for reviewing the attached materials. Please contact me at 952.426.0699 or via email at Andrea.Rand@ISGInc.com with any questions or if there is any additional information we can provide in support of this project.

Sincerely,

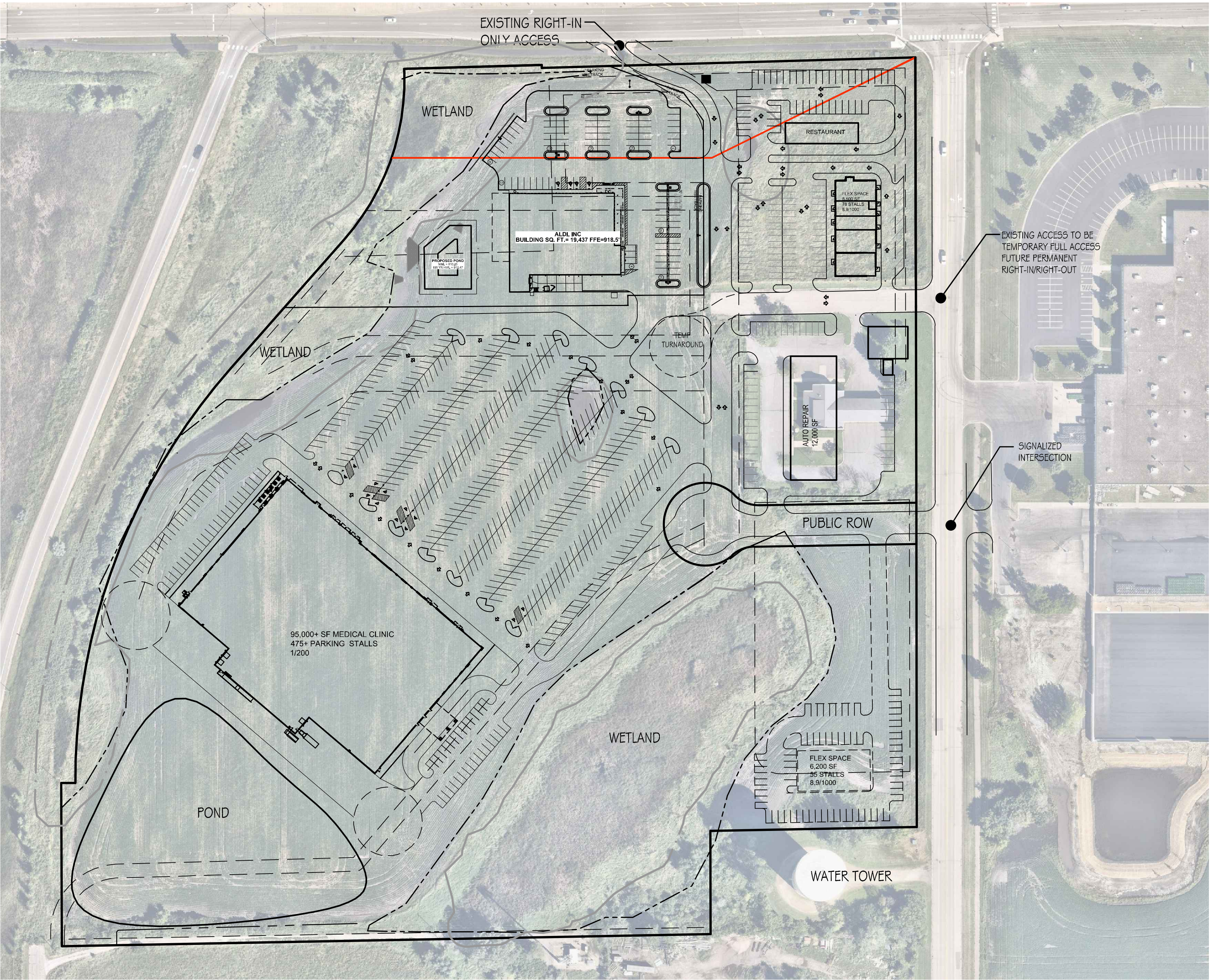
A handwritten signature in black ink, reading "Andrea Rand". The signature is fluid and cursive, with the first name "Andrea" and last name "Rand" clearly distinguishable.

Andrea Rand, AICP
Development Services Coordinator

LEGEND

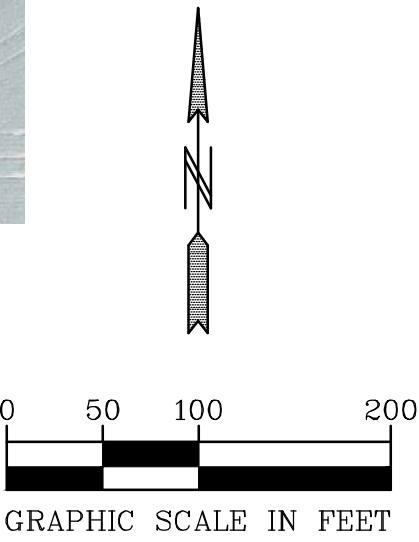
| EXISTING | PROPOSED | FUTURE | DESCRIPTION |
|----------|----------|--------|---|
| | | | SANITARY MANHOLE |
| | | | EXISTING SANITARY SEWER PROPOSED SANITARY SEWER FUTURE SANITARY SEWER |
| | | | HYDRANT |
| | | | GATE VALVE |
| | | | REDUCER |
| | | | EXISTING WATERMAIN PROPOSED WATERMAIN FUTURE WATERMAIN |
| | | | CATCH BASIN |
| | | | BEEHIVE |
| | | | STORM MANHOLE |
| | | | FLARED END SECTION |
| | | | CONTROL STRUCTURE |
| | | | EXISTING STORM SEWER PROPOSED STORM SEWER FUTURE STORM SEWER |
| | | | SURMOUNTABLE CURB & GUTTER |
| | | | B-STYLE CURB & GUTTER |
| | | | RIBBON CURB & GUTTER |
| | | | PHASE LINE |
| | | | EASEMENT LINE |
| | | | EXISTING 2' CONTOUR LINE |
| | | | EXISTING 10' CONTOUR LINE |
| | | | PROPOSED 2' CONTOUR LINE |
| | | | PROPOSED 10' CONTOUR LINE |
| | | | POND OUTLET LINE |
| | | | POND HIGH WATER LINE |
| | | | PROPOSED SPOT ELEVATION |
| | | | EMERGENCY OVERFLOW |
| | | | DELINEATED WETLAND LINE |
| | | | FEMA FLOODPLAIN BOUNDARY |
| | | | STANDARD EROSION CONTROL |
| | | | HEAVY-DUTY EROSION CONTROL |
| | | | TREE FENCE |
| | | | RETAINING WALL |
| | | | CONSERVATION AREA SIGN |
| | | | WETLAND BUFFER SIGN |
| | | | EX. CULVERT |
| | | | EX. OVERHEAD UTILITY LINES |
| | | | EX. UNDERGROUND TELEVISION LINE |
| | | | EX. UNDERGROUND TELEPHONE LINE |
| | | | EX. UNDERGROUND FIBER OPTIC LINE |
| | | | EX. UNDERGROUND ELECTRIC LINE |
| | | | EX. UNDERGROUND GAS LINE |
| | | | EX. FENCE (BARBED WIRE) |
| | | | EX. FENCE (CHAIN LINK) |
| | | | EX. FENCE (WOOD) |
| | | | EX. CAST IRON MONUMENT |
| | | | EX. ELECTRIC BOX |
| | | | EX. FLAG POLE |
| | | | EX. NATURAL GAS METER |
| | | | EX. HAND HOLE |
| | | | EX. FOUND IRON PIPE |
| | | | EX. JUDICIAL LAND MARK |
| | | | EX. LIGHT POLE |
| | | | EX. PK NAIL |
| | | | EX. UTILITY POLE |
| | | | EX. LAWN SPRINKLER VALVE |
| | | | EX. LAWN SPRINKLER HEAD |
| | | | EX. SEMAPHORE |
| | | | EX. SERVICE |
| | | | EX. TELEPHONE BOX |
| | | | EX. TEST HOLE |
| | | | EX. TELEVISION BOX |
| | | | EX. WATER WELL |
| | | | EX. MONITORING WELL |
| | | | EX. MAILBOX |
| | | | EX. CONTROL POINT |
| | | | EX. SPIKE |
| | | | EX. SIGN |
| | | | EX. CLEANOUT |
| | | | EX. SIGNIFICANT TREE |
| | | | EX. TREE LINE |
| | | | EX. GRAVEL SURFACE |
| | | | EX. BITUMINOUS SURFACE |
| | | | EX. CONCRETE SURFACE |
| | | | SELECT BACKFILL MATERIAL |
| | | | GRAVEL CONST. ENTRANCE |

OTTER CROSSING SOUTH
PRELIMINARY PLAT
LINO LAKES, MINNESOTA



- SHEET INDEX
1. COVER SHEET
 - 2-3. EXISTING CONDITIONS PLAN
 4. RESOURCE INVENTORY
 5. NEIGHBORHOOD LAND USE PLAN
 6. PRELIMINARY PLAT
 7. MASTER PLAN

DEVELOPER
PAUL SCHREIER
TYME PROPERTIES
651-307-2123
3435 LABORE ROAD SUITE 150
VADNAIS HEIGHTS, MN 55110



Know what's below.
Call before you dig.

BENCH MARK
TOP NUT HYDRANT IN N.W. QUAD. OF
OTTER LAKE ROAD & PRIVATE DRIVE
370 FT. NORTH OF MAIN STREET
EL=920.47 NVGD88(DATUM)
00-ENG-119015-SHEET-COV9

PIONEERengineering
CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

2422 Enterprise Drive
Mendota Heights, MN 55120

(651) 681-1914
Fax: 681-9488
www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Name Paul J. Schreier
Paul J. Schreier
Reg. No. 19860 Date 02-10-2024

Revisions

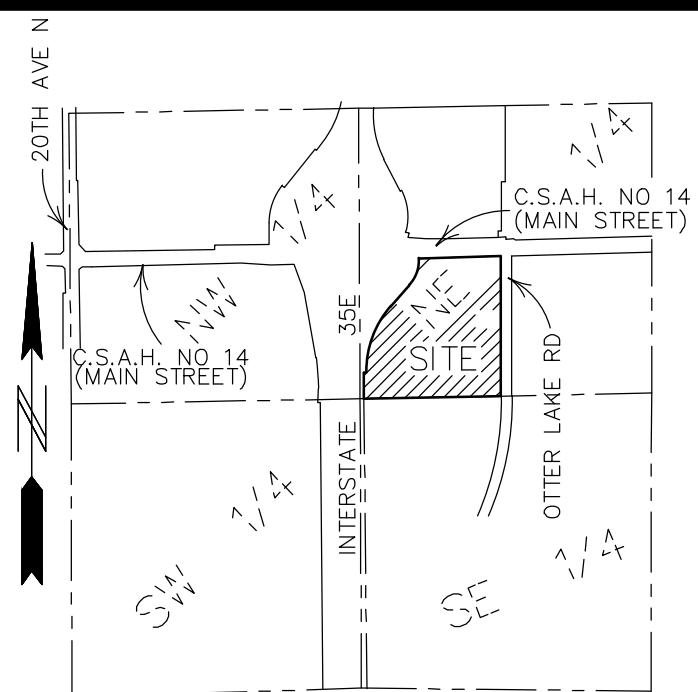
Date 02-10-2025
Designed PJC
Drawn NJK, JLT

COVER SHEET

TYME PROPERTIES
3435 LABORE ROAD SUITE 150
VADNAIS HEIGHTS, MN 55110

OTTER CROSSING SOUTH
LINO LAKES, MINNESOTA

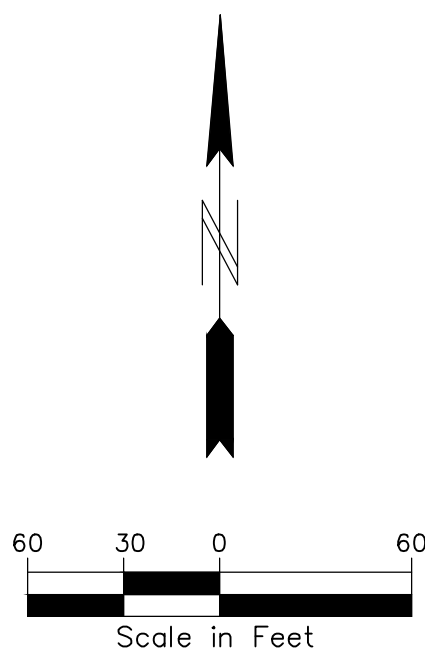
1 OF 7



SECTION 24, TWP. 31, RGE. 22
ANOKA COUNTY, MINNESOTA
LOCATION MAP
NO SCALE

LEGEND

- Denotes concrete
- Denotes gravel
- Denotes bituminous
- Denotes tree line
- Denotes storm sewer line
- Denotes sanitary sewer line
- Denotes water line
- Denotes overhead utility lines
- Denotes underground television line
- Denotes underground telephone line
- Denotes underground fiber optic line
- Denotes underground electric line
- Denotes underground petroleum lines
- Denotes underground gas line
- Denotes fence (barbed wire)
- Denotes fence (chain link)
- Denotes 100 year flood level
- Denotes FEMA flood plain boundary
- Denotes catch basin
- Denotes catch basin beehive
- Denotes flared end section
- Denotes gate valve
- Denotes hydrant
- Denotes service
- Denotes hand hole
- Denotes manhole other than sanitary or storm
- Denotes sanitary or storm manhole
- Denotes utility pole
- Denotes transformer box
- Denotes fiber optic box
- Denotes electric box
- Denotes light pole
- Denotes semaphore
- Denotes telephone box
- Denotes television box
- Denotes cast iron monument
- Denotes found iron pipe
- Denotes pk nail
- Denotes mailbox
- Denotes sign



BENCH MARK
TOP NUT HYDRANT IN N.W. QUAD. OF
OTTER LAKE ROAD & PRIVATE DRIVE
370 FT. NORTH OF MAIN STREET
EL=920.47 NVGD88(DATUM)
EX-SURV-119015-BASE.DWG

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www.pioneereng.com

I hereby certify that this plan was prepared by
me or under my direct supervision and that I
am a duly Licensed Professional Surveyor
under the laws of the State of Minnesota

Name Peter J. Hawkinson
Reg. No. 42299 Date 02-10-2025

Revisions

Date 02-10-2025
Designed PJC
Drawn NJK, JLT

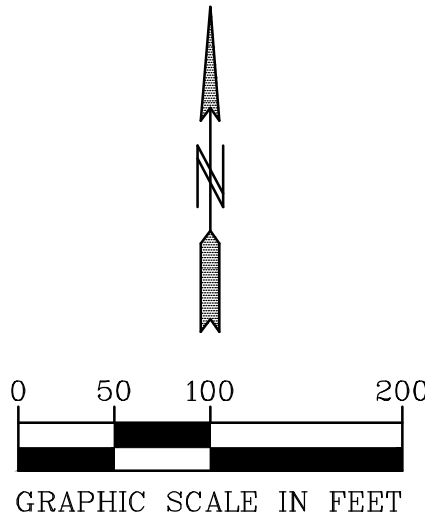
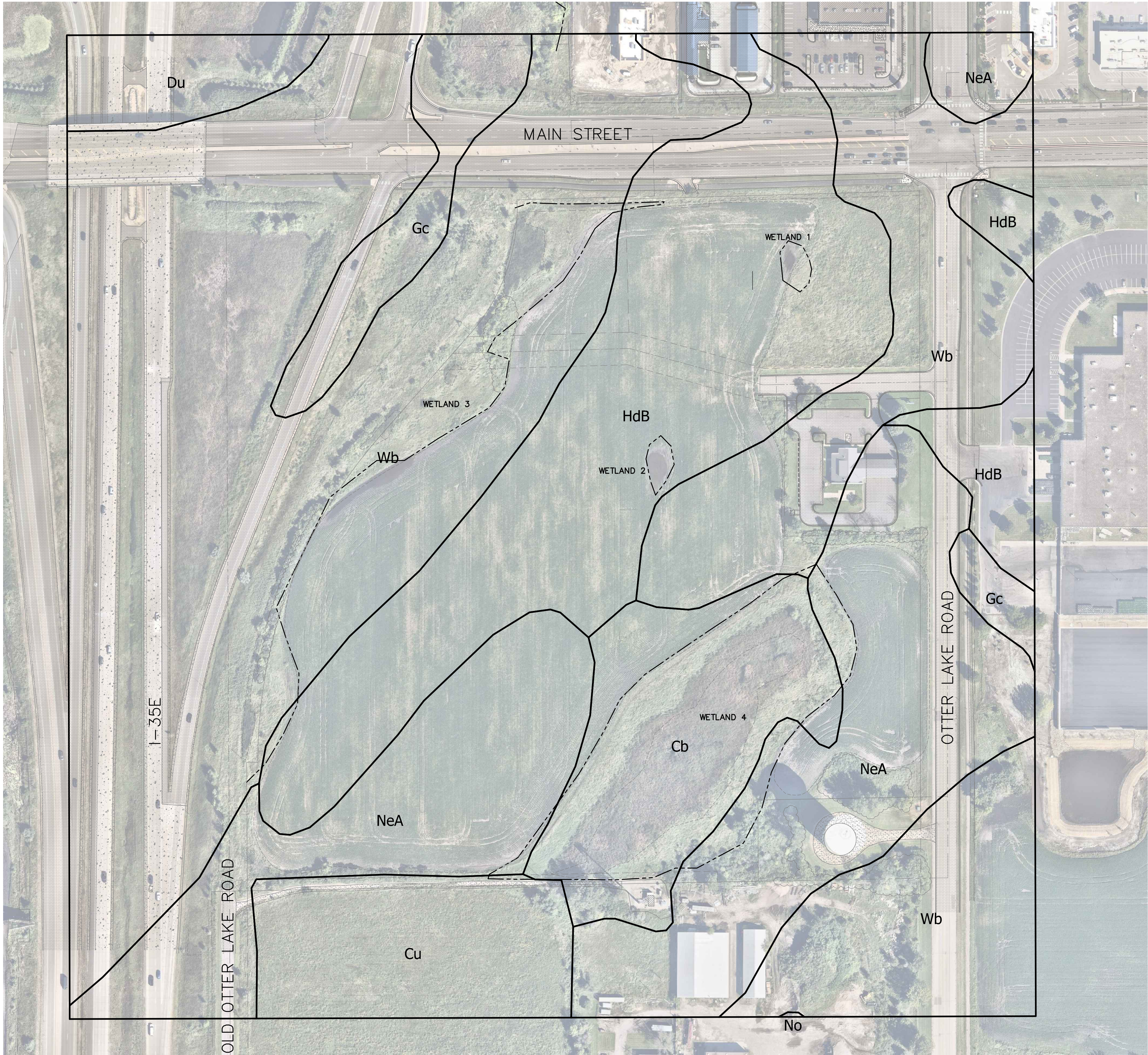
EXISTING CONDITIONS

TYME PROPERTIES
3435 LABORE ROAD SUITE 150
VADNAIS HEIGHTS, MN 55110

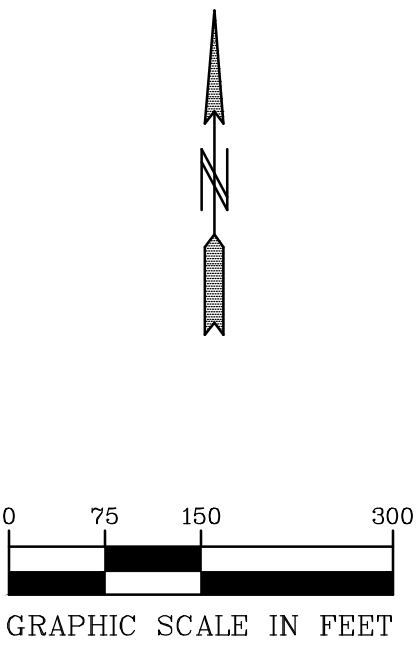
OTTER CROSSING SOUTH
LINO LAKES, MINNESOTA

2 OF 7

| SOIL PROPERTIES | | | |
|-----------------|--|-----------------------|--------------------|
| MAP UNIT SYMBOL | MAP UNIT NAME | HYDROLOGIC SOIL GROUP | HYDRIC SOIL RATING |
| Cb | Cathro muck | B/D | 100 |
| Cu | Cut and fill land | - | 0 |
| Du | Dundas loam | B/D | 95 |
| Gc | Glencoe loam | B/D | 95 |
| HdB | Hayden fine sandy loam 2 to 6 percent slopes | B | 5 |
| NeA | Nessel fine sandy loam 1 to 4 percent slopes | C | 7 |
| No | Nowen sandy loam | B/D | 92 |
| Wb | Webster Loam | B/D | 100 |



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00-ENG-119015-SHEET-RES-INV



PINEERengineering
LANDSCAPE ARCHITECTS

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I hereby certify that this plan was prepared by
me or under my direct supervision and that I
am a duly Licensed Landscape Architect
under the laws of the State of Minnesota

Name
Jennifer L. Thompson
Reg. No. 44763 Date

Revisions

Date 2-10-25
Designed JLT
Drawn JLT

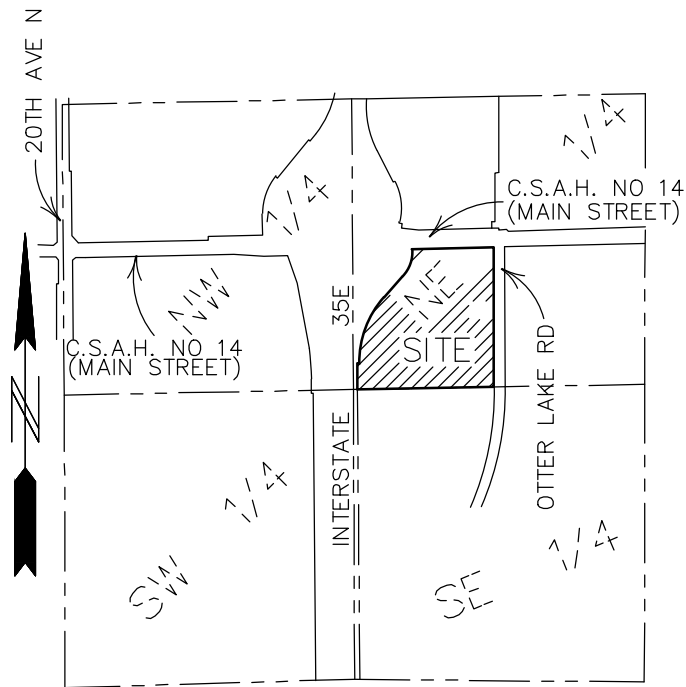
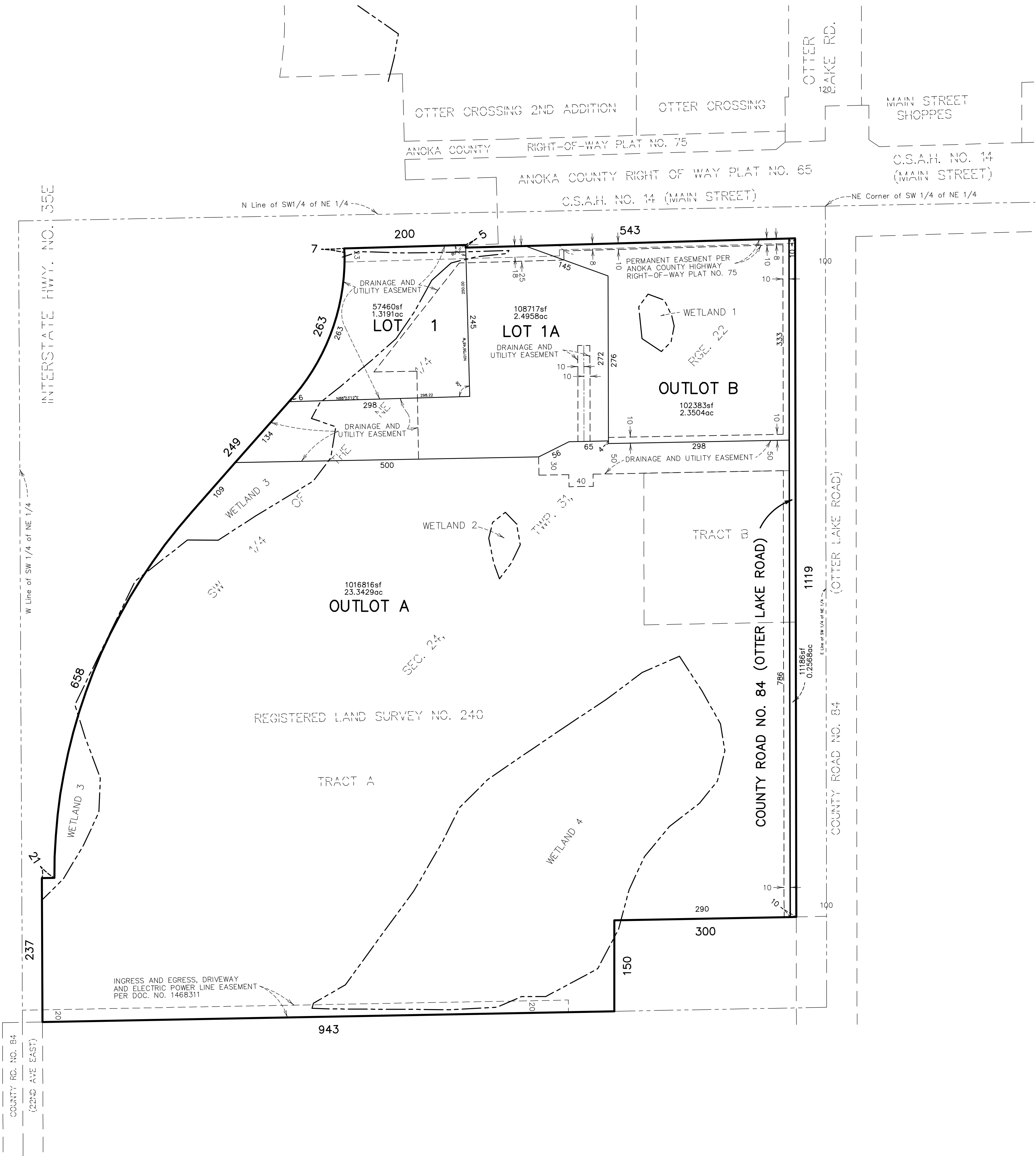
NEIGHBORHOOD LAND USE PLAN

TYME PROPERTIES
3435 LABORE ROAD SUITE 150
VADNAIS HEIGHTS, MN 55110

OTTER CROSSING SOUTH
LINO LAKES, MINNESOTA

5 OF 7

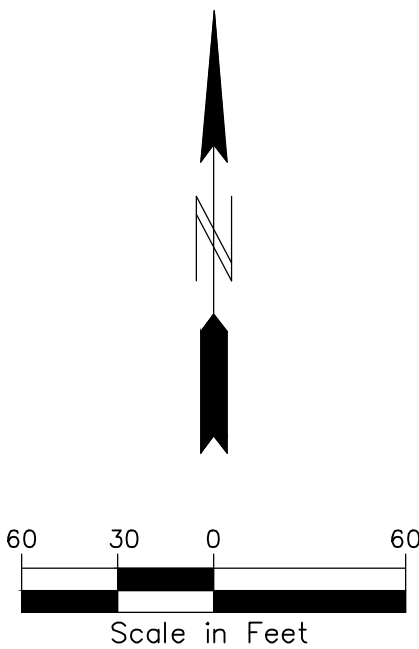
ANOKA COUNTY HIGHWAY RIGHT-OF-WAY PLAT NO. 75



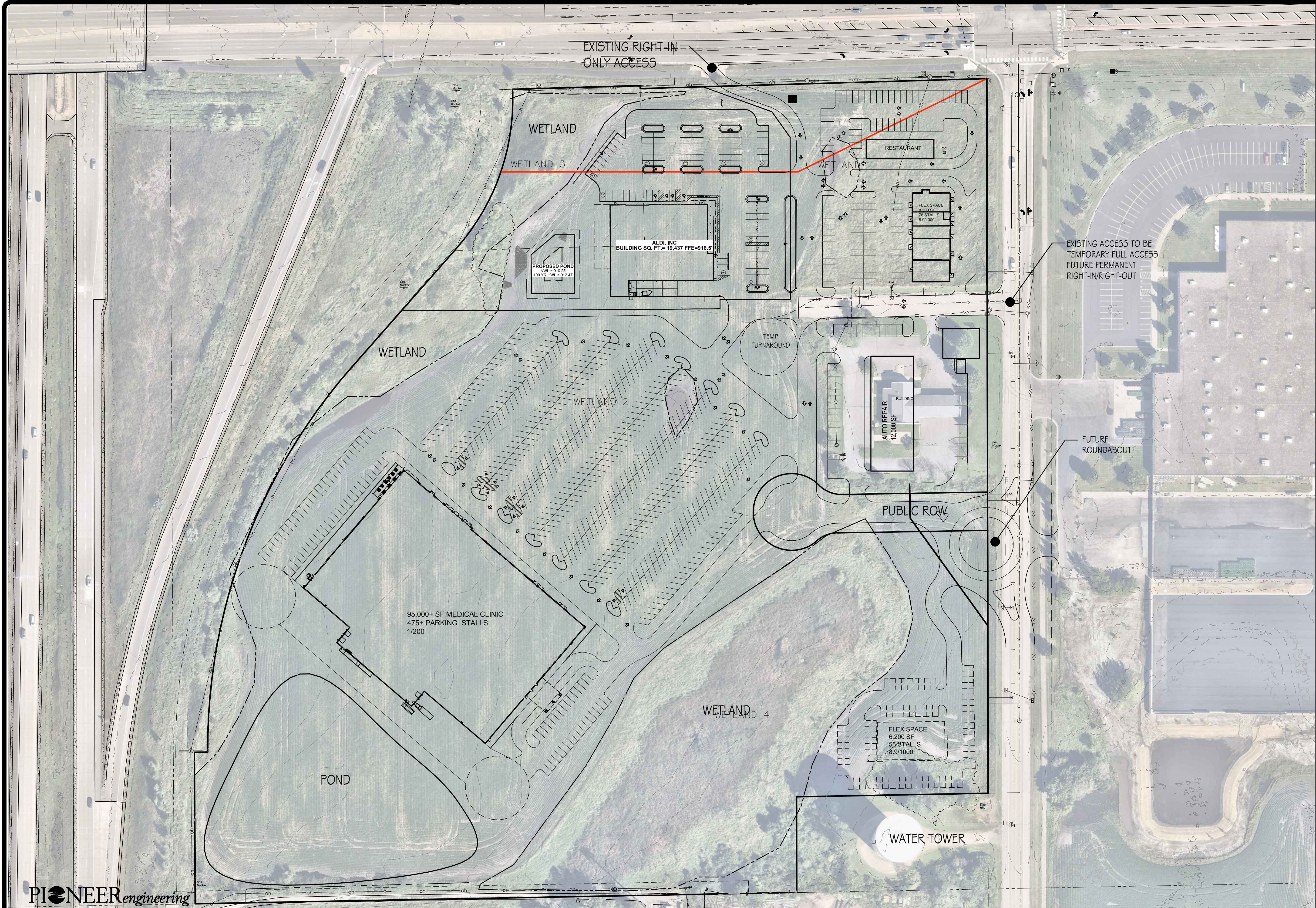
SECTION 24, TWP. 31, RGE. 22
ANOKA COUNTY, MINNESOTA
LOCATION MAP
NO SCALE

Tract A, Registered Land Survey No. 240, Anoka County, Minnesota.
(Torrens)
And
That part of the Southwest Quarter of the Northeast Quarter of Section 24,
Township 31, Range 22, described as follows: Beginning at the point of
intersection of the South line of County State Aid Highway 14 and the Easterly
right-of-way line of Interstate No. 35E; thence East along said South line of
County State Aid Highway No. 14, a distance of 200 feet; thence at a right
angle South 250 feet; thence at a right angle West 298.22 feet to the Easterly
right of way line of Interstate Highway No. 35E; thence Northerly along said
Easterly right-of-way line 273.62 feet to the point of beginning, according to
the United States Government Survey thereof, Anoka County, Minnesota.
(Abstract)
And
Tract B, Registered Land Survey No. 240, Anoka County, Minnesota.
(Torrens)

| | | |
|-------------------------|-------|-------|
| TOTAL GROSS AREA | 29.76 | ACRES |
| LOT 1 AREA | 1.31 | ACRES |
| LOT 1A AREA | 2.50 | ACRES |
| TOTAL LOT AREA | 3.81 | ACRES |
| NUMBER OF LOTS | 2 | |
| NUMBER OF OUTLOTS | 2 | |
| TOTAL OUTLOT AREA | 25.69 | ACRES |
| TOTAL RIGHT OF WAY AREA | 0.25 | ACRES |



BENCH MARK
TOP NUT HYDRANT IN N.W. QUAD. OF
OTTER LAKE ROAD & PRIVATE DRIVE
370 FT. NORTH OF MAIN STREET
EL=920.47 NVGD88(DATUM)
00-SURV-119015-BASE.DWG



2422 Enterprise Drive
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(651) 681-1914
Fax: 681-9488
www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota

Name
Jennifer L. Thompson
Reg. No. 44763 Date 2-10-2025

Revisions

Date 2-10-25
Designed JLT
Drawn JLT

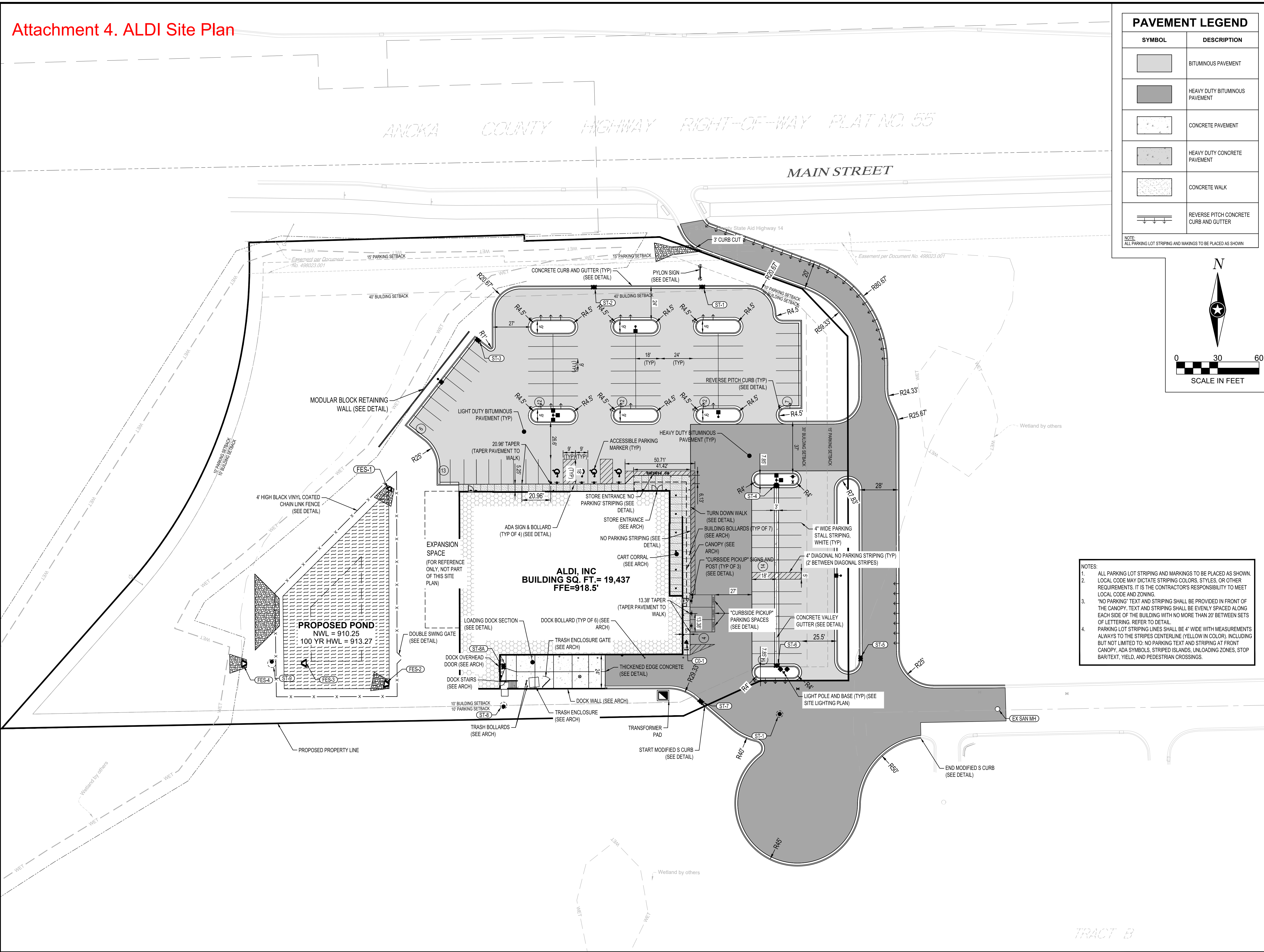
MASTER PLAN

TYNE PROPERTIES
3435 LABORE ROAD SUITE 150
VADNAIS HEIGHTS, MN 55110

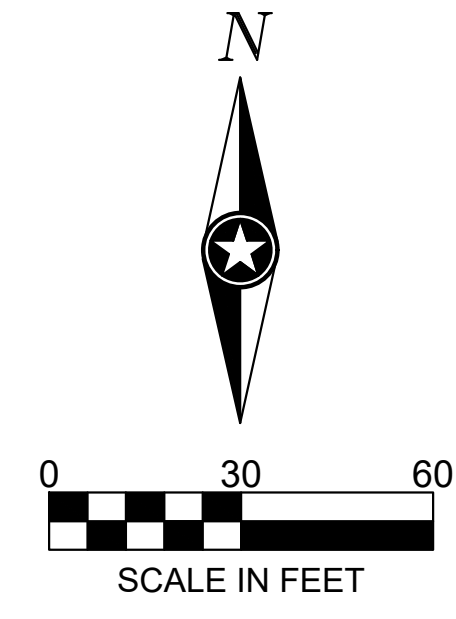
OTTER CROSSING SOUTH
LINO LAKES, MINNESOTA

7 OF 7

Attachment 4. ALDI Site Plan



| PAVEMENT LEGEND | |
|--|--|
| SYMBOL | DESCRIPTION |
| | BITUMINOUS PAVEMENT |
| | HEAVY DUTY BITUMINOUS PAVEMENT |
| | CONCRETE PAVEMENT |
| | HEAVY DUTY CONCRETE PAVEMENT |
| | CONCRETE WALK |
| | REVERSE PITCH CONCRETE CURB AND GUTTER |
| NOTE: ALL PARKING LOT STRIPING AND MAKINGS TO BE PLACED AS SHOWN | |



- NOTES:
- ALL PARKING LOT STRIPING AND MARKINGS TO BE PLACED AS SHOWN. LOCAL CODE MAY DICTATE STRIPING COLORS, STYLES, OR OTHER REQUIREMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MEET LOCAL CODE AND ZONING.
 - 'NO PARKING' TEXT AND STRIPING SHALL BE PROVIDED IN FRONT OF THE CANOPY. TEXT AND STRIPING SHALL BE EVENLY SPACED ALONG EACH SIDE OF THE BUILDING WITH NO MORE THAN 20' BETWEEN SETS OF LETTERING. REFER TO DETAIL.
 - PARKING LOT STRIPING LINES SHALL BE 4" WIDE WITH MEASUREMENTS ALWAYS TO THE STRIPES CENTERLINE (YELLOW IN COLOR). INCLUDING BUT NOT LIMITED TO: NO PARKING TEXT AND STRIPING AT FRONT CANOPY, ADA SYMBOLS, STRIPED ISLANDS, UNLOADING ZONES, STOP BAR/TEXT, YIELD, AND PEDESTRIAN CROSSINGS.

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| Issued: | Date: |
| A CITY SUBMITTAL SET #1 | 02/07/25 |

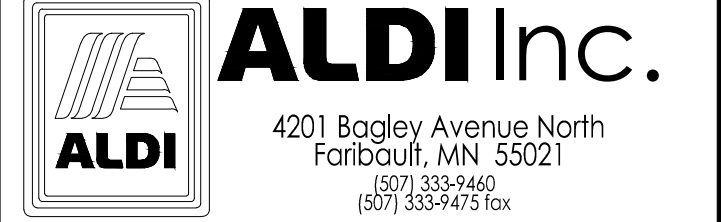
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I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Ryan Anderson
DATE: 02/07/2025 LIC. NO. 55938
SHEET NOT VALID UNLESS THIS TEXT IS COLOR.



MANAGING LOCATION:
BLOOMINGTON OFFICE
7900 INTERNATIONAL DRIVE
SUITE 550
MINNEAPOLIS, MN 55425
PHONE: 952.426.0699



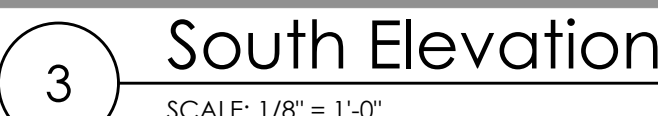
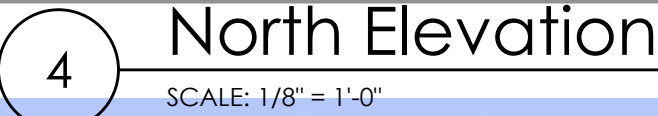
ALDI Inc. Store #: 154
LINO LAKES, MN
OTTER LAKE ROAD
LINO LAKES, MN 55038
ANOKA COUNTY
Project Name & Location:

SITE PLAN

| | |
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| Drawing Name: | ISG Project No. |
| Type: V7.0 ER | 29782 |
| Drawn By: PSH | |
| Designed By: PSH | C-310 |
| Reviewed By: JMF | Drawing No. |

Please note that the colors shown here are a graphical representation to show contrast in materials only. Due to the nature of electronic media, colors may vary depending on computer or printer used.

For review of actual colors, a material sample board should be created on a project specific basis.



| SIGNAGE | | | |
|---------------|----------|------------------|--------|
| DESCRIPTION | QUANTITY | SQ. FT. PER SIGN | TOTALS |
| TOWER SIGN | 2 | 75.1 | 150.2 |
| | | | |
| TOTAL SIGNAGE | | | 150.2 |

SIGNAGE IS SHOWN FOR REFERENCE ONLY AND SHALL BE UNDER SEPARATE PERMIT SUBMITTAL



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P D Engineering and Architecture, PLLC
515 Fishers Run
Victor, NY 14564

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| Issued: | | Date: |
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| A | Issued for Client Review | 02/05/25 |
| B | Issued for Client Review | 02/06/25 |
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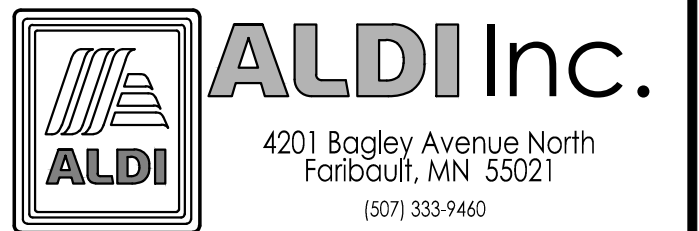
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PROJECT ARCHITECT/ENGINEER

PROJECT LEAD

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.
Print Name
Amanda Speranza-Kelly, AIA
Signature:

| | | |
|-------------------------------|------|----|
| Date: 06/30/26 License# 55367 | Seal | Se |
|-------------------------------|------|----|



ALDI Inc. Store #:154
Lino Lakes MN
Otter Lake Road
Lino Lakes, MN 55038
Anoka County

Project Name & Location:

Exterior Elevations

Drawing Name:

| | | | |
|------------|-----------|-------------|--|
| Prototype: | V7.0 | Project No. | |
| Type: | GROUND UP | 24-0291A | |
| Drawn By: | CB | A-201 | |
| Scale: | As Noted | Drawing No. | |



Memorandum

To: Katie Larsen, Lino Lakes City Planner
From: Diane Hankee PE, Lino Lakes City Engineer
Date: March 5, 2025
Re: Otter Crossing South
Preliminary Plat Review
028173-000

WSB reviewed the Preliminary Plat submittal for the Otter Crossing South site in Lino Lakes, MN, received February 10, 2025. The site is 3.80 acres and located off 70th Avenue and Otter Lake Road. Comments were made on the following documents:

- Otter Crossing South – Preliminary Plat submittal prepared by Pioneer, dated February 10, 2025, received February 10, 2025.
- Traffic Study – Lino C Development prepared by S² Traffic Solutions, February 16, 2024, received February 10, 2025.

The following review comments should be responded to in writing by the applicant.

Engineering

- **General**

The Otter Crossing South commercial development proposes to create a commercial lot and access for the current Aldi site (Lot 1 and Lot 1A) and outlots the remaining area for future commercial development. An overall site plan was provided that laid out a concept of the remaining outlot areas.

- **Grading**

A grading and drainage plan was not provided for the preliminary plat as there was no additional grading proposed outside the scope of the Aldi project.

- **Stormwater Management**

No specific stormwater management calculations were for the Otter Crossing South preliminary plat as there was no additional stormwater management proposed outside the scope of the Aldi site

- **Water Supply**

A specific utility plan was not provided for the preliminary plat however the overall site plan showed the existing 8" watermain stub on 70th Street that would be utilized by the proposed Aldi site. There were no additional utilities proposed outside the scope of the Aldi project. A future watermain stub will need to be provided to the south currently

beyond the temporary cul de sac that will ultimately loop to both Otter Lake Road and The Otter Lake Service Road in the southwest corner of the site.

- **Sanitary Sewer**

A specific utility plan was not provided for the preliminary plat however the master plan showed the existing 8" sanitary stub on 70th Street that would be utilized by the proposed Aldi site. There were no additional utilities proposed outside the scope of the Aldi project. A future sanitary sewer stub will need to be provided to the south currently beyond the temporary cul de sac that will ultimately serve the remaining outlot area to the southwest.

- **Transportation**

The current Otter Crossing South development proposes utilizing and extending the existing accesses from Main Street/ CSAH 14 and Otter Lake Road/ CR84. A traffic study and analysis was conducted for the overall development and redline comments were provided for the submitted study (attached).

Comments:

1. A traffic and queueing analysis should be done specifically for the proposed frontage road and 70th Street intersection. Surrounding accesses should be spaced and meet any requirements of that analysis.
2. The temporary turnaround/cul de sac should be shifted to the south leg of the frontage road and 70th Street intersection.

- **Wetlands and Mitigation Plan**

A wetland delineation was completed for the site and a notice of decision issued on January 18, 2023. Site disturbances are in an upland location and wetland impacts are not proposed with this addition. Future plats may impact delineated wetlands on site and will need to be reviewed at that time.

- **Landscaping**

The City's Environmental Coordinator to review landscaping and provide additional in-depth comments when provided. No landscaping is currently proposed outside the scope of the Aldi project.

- **Floodplain**

No floodplain impacts are proposed on site.

- **Drainage and Utility Easements**

Drainage and utility easements are required for stormwater systems. This includes the area encompassing the 100-yr HWL of any BMPs.

Existing utility (sanitary and water) easements to remain and additional utility easements are to be provided with shared utility mainline extensions (not services).

- **Development Agreement**

A Development Agreement will be required with the final plat.

- **Grading Agreement**

Grading agreement not required at this time.

- **Stormwater Maintenance Agreement**

The stormwater facilities will be privately maintained and a Declaration for Maintenance of Stormwater Facilities will be required. Both the Rice Creek Watershed District (RCWD) and the City of Lino Lakes shall be parties to the Declaration.

- **Permits Required**

1. NPDES General Construction Permit
2. City of Lino Lakes Zoning Permit for construction
3. MDH Watermain Extension
4. MPCA/MCES Sanitary Sewer Main Extension

If you or the applicant have any questions regarding these comments, please contact Kris Keller at (612) 419-3083 or kkeller@wsbeng.com. You may also contact Diane Hanke at (651) 982-2430 or dhanke@linolakes.us.



Memorandum

To: Katie Larsen, Lino Lakes City Planner
From: Diane Hankee PE, Lino Lakes City Engineer
Date: March 5, 2025
Re: Aldi Store #154
Site Plan Review
028170-000

WSB reviewed the Civil plans for the Aldi site in Lino Lakes, MN, received February 10, 2025. The site is 3.80 acres and located off 70th Avenue and Otter Lake Road. Comments were made on the following documents:

- Aldi – Civil Plans prepared by ISG, dated February 6, 2025, received February 10, 2025.
- Aldi – Stormwater Report prepared by ISG, February 7, 2025, received February 10, 2025.
- Aldi – Geotechnical Report prepared by Braun Intertec, dated November 4, 2024, received February 10, 2025.

The following review comments should be responded to in writing by the applicant.

Engineering

- **General**

The Aldi site project proposes to create an approximate ~20,000 SF grocery store which includes the associated parking lot, utilities, and landscaping. The site is located on Lot 1 and Lot 1A of the Otter Crossing South commercial development.

- **Grading**

A grading and drainage plan was provided for the site including paved areas, curb, and retaining walls.

Comments:

1. Provide Emergency Overflow (EOF) elevations for all low points in the parking or green space areas.
 - a. In particular, the EOF for the loading dock low point must be shown in order to verify 1' of freeboard in case ST-8A clogs or fails.
2. Retaining walls greater than 4' require plans to be designed by a structural engineer licensed in the State of Minnesota and submitted to the City for review and to issue a permit prior to construction.

- **Stormwater Management**

Stormwater management for the Aldi site consists of constructing a new sedimentation basin on the west side of the site.

| Pre- and Post- Development Discharge Rates (cfs) | | | | |
|--|--------|---------|----------|-----------------|
| Condition | 2-Year | 10-Year | 100-Year | 10-Day Snowmelt |
| Existing | 0.91 | 4.84 | 16.00 | Not required |
| Proposed | 0.82 | 2.69 | 14.07 | Not required |

Comments:

1. Ensure the HydroCAD modeling and reported discharge rates match, proposed rates differ in this submittal.
2. Roadway impervious flowing to the curb cut on the northern access drive cannot flow to a wetland untreated.
3. How is DA-1 routed to the proposed BMP? Grading seems to indicate it flows directly to a wetland.
4. Grading plan spot elevations indicate DA-1 extends further south down the access road than what the Proposed Drainage Map shows. Show roadway high points on grading plan.
5. Maximum basin slopes below the NWL are 3:1, current plans show 2:1 slopes below the NWL.
6. Rolled erosion blanketing containing natural netting is needed on all proposed 4:1 or steeper slopes, not just pond slopes.
7. Provide pipe elevations at all utility crossings to ensure there are no conflicts.
8. Storm sewer sizing should account for standard PVC diameters, 15" is an uncommon PVC size.
9. Flared end sections are needed on both sides of P-11.
 - a. The upstream end also needs erosion control measures.
10. Pipe P-9 should be lowered so as to fully submerge it below the pond NWL, current design would have the pipe crown above the water surface. An invert of 907.5 or lower is recommended. This pipe can be backsloped into the OCS if needed.

• **Water Supply**

An existing 8" DIP CL 52" watermain stub is supplied to the site along 70th Street N. The site proposes extending the watermain and providing an additional 6" hydrant lead as well as a 6" fire service and 2" domestic service to the building. An additional 8" stub will need to be provided to the south of the future frontage road/70th Street intersection extending beyond the temporary cul de sac.

Comments:

1. Note discrepancies between existing utilities shown on historical plans and 'Existing Site and Removal Plan' sheet.
 - a. Additional main lengths and gate valves not shown
 - b. Verify what will be removed and what is to remain and be protected
2. We recommend that the City Deputy Director of Public Safety-Fire Division review the proposed plan for water supply and hydrant coverage.

- **Sanitary Sewer**

An existing 8" PVC Sanitary Sewer stub is supplied to the site along 70th Street N. The site proposes extending the 8" sanitary sewer to the west to a manhole at the future frontage road/70th Street intersection. An additional 8" stub will need to be provided to the south of the future frontage road/70th Street intersection extending beyond the temporary cul de sac.

Comments:

1. Note discrepancies between existing utilities shown on historical plans and 'Existing Site and Removal Plan' sheet.
 - a. Additional main lengths and services not shown
 - b. Verify what will be removed and what is to remain and be protected

- **Transportation**

The Aldi site proposes accesses off of the existing right in access off Main Street / and off of the 70th Street extension. A temporary cul de sac should be installed at the south leg of the future 70th Street/ frontage road intersection.

Refer to the traffic study presented with the Otter Crossing South Preliminary Plat submittal. Additional comments were provided regarding the study.

Comments:

1. Adjust temporary turnaround/cul de sac such that is on the southern leg of the future frontage road/70th Street intersection (see redline comment on Otter Lake South Master Plan).
2. Revise curb lines as shown on redline plans to eliminate and limit accesses to roadways
3. Provide truck turning templates for 70th St and the main site driveways.

- **Wetlands and Mitigation Plan**

Site disturbances are in an upland location and wetland impacts are not proposed.

- **Landscaping**

The City's Environmental Coordinator to review landscaping and provide additional in-depth comments when provided.

1. It is recommended that tree plantings are deconflicted with drainage structures to avoid future root intrusion. This conflict is present for ST-2 and ST-3.
2. Proposed tree plantings along retaining wall should be moved elsewhere on site to avoid root intrusion which could impact structural stability.

- **Floodplain**

No floodplain impacts are proposed on site.

- **Drainage and Utility Easements**

Drainage and utility easements are required for stormwater systems. This includes the area encompassing the 100-yr HWL of any BMPs.

Existing utility (sanitary and water) easements to remain and additional utility easements are to be provided with shared utility mainline extensions (not services).

- **Development Agreement**

A Development Agreement will not be required but a Site Performance Agreement will be.

- **Grading Agreement**

Grading agreement not required at this time.

- **Stormwater Maintenance Agreement**

The stormwater facilities will be privately maintained, and a Declaration for Maintenance of Stormwater Facilities will be required. Both the Rice Creek Watershed District (RCWD) and the City of Lino Lakes shall be parties to the Declaration.

- **Permits Required**

1. NPDES General Construction Permit
2. City of Lino Lakes Zoning Permit for construction

If you or the applicant have any questions regarding these comments, please contact Kris Keller at (612) 419-3083 or kkeller@wsbeng.com. You may also contact Diane Hankee at (651) 982-2430 or dhankee@linolakes.us.



Environmental Memo

To: Katie Larsen, City Planner
From: Tom Hoffman, Environmental Coordinator
Date: February 26, 2025
Re: Environmental Comments – Otter Crossing South Preliminary Plat and Aldi Concept Plan

Environmental Board had recommended the following at their February 26, 2025 meeting:

1. Provide maintenance access to the stormwater management BMP.
 - a. Remove any trees or landscaping adjacent to storm sewer outlets.
2. Wetland buffers should have a minimum width of 10 feet wide and consist of native vegetation.
3. No wetland impacts are being proposed with this portion of the project and no wetlands are on this parcel. Wetland three adjacent to the site is not being impacted
 - a. Wetlands 1 & 2 are small, isolated wetlands adjacent to the site. With the paving of this site and grading for the lot it could affect hydrology to the wetlands.
 - b. Modeling the hydrology of wetlands 1 & 2 to ensure that the project does not have impacts
 - c. If impacts are shown or expected mitigation of the wetlands will need to be completed with this phase.
4. Engineer to complete review of stormwater management ponding and modeling.
 - a. Each site currently will provide stormwater treatment as it is developed.
 - b. Recommend the possibility of larger stormwater facilities for the entire site that provide treatment for a larger area. Larger basins will reduce maintenance and provide higher treatment.
5. Plans show a 3' curb cut on the entrance coming off Main Street. If a curb cut is proposed for drainage provide a pretreatment structure.
 - a. This area drains directly to an adjacent wetland. Any stormwater being directed to the wetland from impervious will require treatment.

6. Landscaping requirements for the site are currently being met for canopy coverage and tree planting.
 - a. Required 59 trees to meet coverage and planting requirements
 - b. Proposed 62 trees being installed
7. Landscape requirements are not being met for foundation landscape planting and screening.
 - a. Foundation landscape planting is required adjacent to public/private roads. The North, East, and West sides of the building are adjacent to public/private roads and require landscaping.
 - b. Screening between a parking lot and public right of way is required with a height of 30 inches.
8. Currently river rock is being proposed around the stormwater management basin. Provide native planting seed mix around the bmp.
 - a. Native grasses will provide pollinator habitat, roots will prevent soil erosion and will function as a buffer for pretreatment.
9. The site is located within the Lino Lakes East wellhead protection area. Consideration for the vulnerability of the DWSMA should be considered during future proposals.
10. The project will disturb more than an acre of soil and will be required to obtain an NPDES permit. Proof of permit shall be required before construction.
11. A SWPPP shall be required in additional submittals as required by the MPCA meeting sections 5.2-5.26
 - a. Final erosion and sediment control will be reviewed with future submittals
 - b. Redundant perimeter control will be required around all wetlands onsite where a 50' natural buffer cannot be maintained during construction. Redundant perimeter control should be spaced 3-5' apart.



Anoka County
TRANSPORTATION DIVISION
Highway

Julie Whitney
City of Lino Lakes
600 Town Center Pkwy
Lino Lakes, MN 55014

March 4, 2025

RE: Preliminary Plat – Otter Crossing South

Dear Julie,

We have reviewed the Preliminary Plat for Otter Crossing South to be located south of CSAH 14 (Main Street) and west of CR 84 (Otter Lake Road) within the City of Lino Lakes, and I offer the following comments:

- The existing right of way along CSAH 14 is 75 feet south of centerline which should be sufficient for future reconstruction purposes. The existing right of way along CR 84 is 50 feet west of centerline. An additional 10 feet of ROW (for a total of 60 feet) along the property line is required for future reconstruction purposes. In addition to the 10 feet along CR 84, a 10' x 10' chamfer of ROW is required on the corner of CSAH 14 and CR 84 for future reconstruction purposes.
- As proposed, the plat will not introduce any new access points onto CSAH 14 or CR 84 as both have an existing access. The right of access should be dedicated to Anoka County with exception for the 2 existing access points.
- A SB CR 84 right turn lane at 70th Street will need to be constructed in conjunction with this plat and this access has the potential of becoming a right in/right out access in the future.
- Internal site grading shall not commence until the requested ACHD Engineering plan approvals are received and the applicable permits can be issued.
- Any utility relocation in the CSAH 14 or CSAH 84 right of way will be required to be coordinated directly by the city/developer.
- Please note that no plantings or private signs will be permitted within the county right of way and care must be exercised when locating private signs, building, structures, plantings, berms, etc. outside of the county right of way, so as not to create any new sight obstructions for this section of CSAH 14 and CR 84.

Our Passion Is Your Safe Way Home

1440 Bunker Lake Boulevard N.W. ▲ Andover, MN 55304-4005
Office: 763-324-3100 ▲ Fax: 763-324-3020 ▲ www.anokacounty.us/highway

Affirmative Action / Equal Opportunity Employer

The ACHD Engineering Plan Review process will apply to this site. The following items should be submitted to Brandon Ulvenes, Engineer II, Brandon.Ulvenes@anokacountymn.gov (checklist and payment information are available on our website: <https://www.anokacountymn.gov/4072/Development-Review>):

- Construction plans (including right turn lane plans)
- Utility relocation plans
- Traffic Control plans
- Grading and erosion control plans
- Drainage calculations – Note that the post-developed rate/volume of runoff must not exceed the pre-developed rate/volume of runoff for the 10-year critical design storm
- ACHD Design Requirements Checklist
- Engineering plan review fee (estimated at \$250.00)

Following the completion of the ACHD Engineering Plan Review process, the contractor(s) who will be completing any work within the county right of way must begin the ACHD Permit process. One permit for work within the County Right of Way (\$150.00) must be obtained prior to the commencement of any construction. License permit bonding, methods of construction, design details, work zone traffic control, restoration requirements and follow-up inspections are typical elements of the permitting process. Contact Sue Burgmeier via phone at 763.324.3176 or via email at HighwayPermits@anokacountymn.gov for further information and to coordinate the ACHD Permit process.

Thank you for the opportunity to comment. Feel free to contact me if you have any questions regarding this review.

Sincerely,



Logan Keehr, PE
Traffic Engineer II

xc: CSAH 14/Plats+Developments/2025
Jerry Auge, Assistant County Engineer
David Zieglmeier, County Surveyor
Sean Thiel, Traffic Engineering Manager
Sue Burgmeier, Traffic Technician
Brandon Ulvenes, Engineer II

Site & Building Plan Worksheet-ALDI

Setbacks-CSAH 14 (Main St) Street ROW

| |
|--|
| Principal Building-Local or Minor Collector |
| Principal Building-Major Collector or Arterial |
| Parking Lot |

| Required | Proposed |
|----------|----------|
| 30 ft | NA |
| 40 ft | 183 ft |
| 15 ft | 32 ft |

Setbacks-Rear Lot Line (South)

| |
|----------------------|
| Principal Building |
| Accessory Building |
| Parking Lot/Driveway |

| Required | Proposed |
|----------|----------|
| 30 ft | 21 ft |
| 5 ft | NA |
| 10 ft | 133 ft |

Building setback shall be 30ft minimum along rear lot line.

Setbacks-Side Lot Line (East)

| |
|----------------------|
| Principal Building |
| Accessory Building |
| Parking Lot/Driveway |

| Required | Proposed |
|----------|----------|
| 10 ft | 120 ft |
| 10 ft | NA |
| 10 ft | 7 ft |

Parking lot setback shall be 10ft minimum along east lot line.

Setbacks-I-35W Street ROW (West)

| |
|--|
| Principal Building-Local or Minor Collector |
| Principal Building-Major Collector or Arterial |
| Parking Lot |

| Required | Proposed |
|----------|----------|
| 30 ft | NA |
| 40 ft | 256 ft |
| 15 ft | 133 ft |

| |
|-----------------------------|
| From Residential Land Use |
| Between Principal Buildings |

| Required | Proposed |
|----------|----------|
| 35 ft | NA |
| TBD | NA |

| | Required | Proposed |
|--------|-----------|----------|
| Height | 45 ft max | 28' 10" |

Measured to top of steel

Impervious surface restrictions

| | Permitted | Proposed |
|--|-----------|----------|
| | 75% max | 52% |

Sheet C-010

GENERAL PROVISIONS

Building Type and Construction

Commercial

See tabs.

Accessory buildings or structures

Number of structures

| | Required | Proposed |
|----------------------|----------|----------|
| Number of structures | 0 | NA |
| Size | 400 sf | NA |

Size

Refuse and recyclable materials enclosure

No

Need trash enclosure gate detail. Enclosure shall be fully screened.

Outdoor lighting

1.0 ft candle allowance onto right of way

No

For this purpose, private street considered right-of-way. Foot candles exceed 1.0.

0.4 ft candle allowance onto adjacent prop.

OK

Hooded lights

No

The luminaire shall contain a cutoff which directs and cuts off the light at an angle of 90 degrees or less.

| | Required | Proposed |
|---------------------------|------------|----------|
| Light Fixture Pole Height | 30 ft max. | 25 ft |

Light Fixture Location

Street ROW

Side or rear

| | Required | Proposed |
|--------------|----------|----------|
| Street ROW | 10 ft | 8ft |
| Side or rear | 5 ft | 50 ft |

For this purpose, private street considered right-of-way. Light poles shall be 10ft.

| | |
|---------------------------|---------|
| Smoke, Dust, Odors, Noise | Minimal |
| Sewage Disposal (on-site) | NA |
| Waste material | Yes |
| Bulk storage (liquid) | No |
| Radiation emission | No |
| Electrical emission | No |
| Exterior storage | No |

Off-Street Parking

| | Required | Proposed |
|---------------------|----------|----------|
| Angle of parking | 90 | 90 |
| Space Width | 9 ft | 9 ft |
| Space Length | 18 ft | 18 ft |
| Aisle Width One Way | 24 ft | NA |
| Aisle Width Two Way | 24 ft | 24 ft |

| | |
|---|--------|
| Curb cut access 30 feet from intersection | 60+ ft |
| Curb cut access 40 feet from one another | 146 ft |
| Curb cut and driveway 5 feet from side yard | 7 ft |

Typical construction activities.

Typical construction waste material will be property disposed of.

| | Required | Proposed |
|--------------------------|--------------|--------------|
| Curb cut width | 36 feet max. | 37 and 42 ft |
| Driveway grade elevation | 5% | ? |
| Striping 4" wide | 4" | 4" |

| | |
|---|-----|
| Continuous concrete perimeter curb barrier | Yes |
| 6+ spaces shall be landscaped on all sides | No |
| 50+ space parking lots require 100 sf island per 25 spaces | OK |

| | Required | Proposed |
|-------------------------------|----------|----------|
| # space requirements | 87 | 97 |
| # handicap space requirements | 4 | 4 |

Off-Street Loading Spaces

Loading spaces shall be off-street.

| | |
|---|-----|
| Loading spaces shall be located on the same lot as the building or use being served. | Yes |
| Loading spaces shall be at least 50 feet from a residential district. | NA |
| Loading spaces may be located in the front yard if the lot has more than one frontage on a public right-of-way. | NA |

- The loading space shall be located on the frontage that has the least significant impact as determined by the Zoning Administrator.
- Additional landscaping and earth berming shall be required to reduce the visual impact of the loading space as determined by the Zoning Administrator.

These shall be revised.

Show on Sheet C-410.

Landscape screening required between parking lot and public ROW.

97 spaces 388 sf island required 8 islands x 280sf each = 2240 sf

| | Gross | Floor | # Stalls |
|--------------------------------------|-------|-------|-------------|
| Retail: 1 space per 200sf floor area | 19437 | 17493 | 87 required |

Loading spaces shall be of a size determined by the city as necessary to accommodate anticipated truck and service vehicles.

Loading spaces shall be located with appropriate means of vehicular access to a street or public alley in a manner which will least interfere with traffic and allow on-site maneuvering.

Yes

No

Loading spaces and access ways shall be surfaced with a bituminous, concrete, or other material approved by the City Engineer.

Any space allocated as a loading space or maneuvering areas shall not be used for the storage of goods, inoperable vehicles or to be included as a part of the space requirements necessary to meet the off-street parking requirements.

Yes

OK

In connection with any structure which is to be constructed or substantially altered, any which requires the receipt or distribution of materials or merchandise by trucks or similar vehicles, there shall be provided off-street loading space.

OK

Where noise from loading or unloading activity is determined to be an audible nuisance in a residential district per § 1007.047(4) of this chapter, the City Council may limit the hours of operation.

NA

Except in the case of multiple dwellings, all loading spaces shall be screened and landscaped from abutting and surrounding residential uses in compliance with § 1007.049 of this chapter.

NA

Drive aisles and traffic circulation shall occur within lot.

SPECIAL REVIEW REGULATIONS

| | | |
|--|----|--|
| Shoreland District | NA | |
| Floodplain District | NA | |
| Town Center Design & Development Guide | NA | |
| Industrial Park Covenants | NA | |

EAW/AUAR COMPLIANCE

| | | |
|-----------------------------------|-----|---|
| Does an EAW/AUAR exist? | Yes | <u>2005 I-35E Corridor AUAR; updated 2020</u> |
| Is an EAW/AUAR required? | No | |
| Is project in compliance? | Yes | <u>The commercial building is consistent with all 3 AUAR Land Use Scenarios</u> |
| Does EAU/AUAR need to be revised? | No | <u>for commercial development</u> |

ADDITIONAL NOTES

See additional conditions listed in staff reports.

A separate Sign Permit application for all ground and/or building wall signs shall be submitted and approved prior to the construction or installation of any signage.

PLANNING & ZONING BOARD AGENDA ITEM 7A

STAFF ORIGINATOR: Katie Larsen, City Planner

MEETING DATE: March 5, 2025

TOPIC: Main Street Master Plan and AUAR Update

CASE NUMBER: N/A

APPLICANT: N/A

OWNER: N/A

REVIEW SCHEDULE: N/A

INTRODUCTION

Kimley-Horn will present an overview and summary of the March 5, 2025 Joint City Council/Advisory Board Work Session.

BACKGROUND

On July 8, 2024 the City Council adopted Ordinance No. 11-24 establishing a moratorium on residential development around the Main Street corridor between Sunset and 4th Avenue. The purpose of the moratorium is to allow for the completion of a master plan and Alternative Urban Areawide Review (AUAR) for the area.

At the March 5, 2025 Joint City Council/Advisory Board Work Session, the City Council and Advisory Boards reviewed and provided feedback on the three (3) different land use scenarios for the area.

One topic of conversation and confusion is the area guided Planned Residential/Commercial. Within the 980 acre master plan site, approximately 40 acres are guided Planned Residential/Commercial. Per the 2040 Comprehensive Plan:

- *Planning District 2 includes Planned Residential/Commercial areas.*
- *The Robinson Farm and Main Street site is planned to accommodate an 80/20 percent mix of residential and commercial. While allowed in all areas, commercial development will be required in at least one quadrant. To ensure implementation the City may choose to rezone*

land to a compatible neighborhood commercial zoning district upon completion of a corridor plan. A Master Plan for the Main Street Corridor between Sunset Avenue and 4th Avenue should be completed.

Applying the 80/20 percent mix to the 40 acres means there will only be approximately 8 acres of small scale, limited business/commercial development within the master plan.

80% x 40 acres = 32 acres Residential

20% x 40 acres = 8 acres Commercial

The City's R-5, High Density Residential and Business District zoning district is the development standard related to the Planned Residential/Commercial land use.

RECOMMENDATION

Staff is requesting additional input from the Board.

ATTACHMENTS

1. Three (3) Land Use Scenarios

Scenario 1

Comprehensive Plan 'Full Build Out'

Land Use

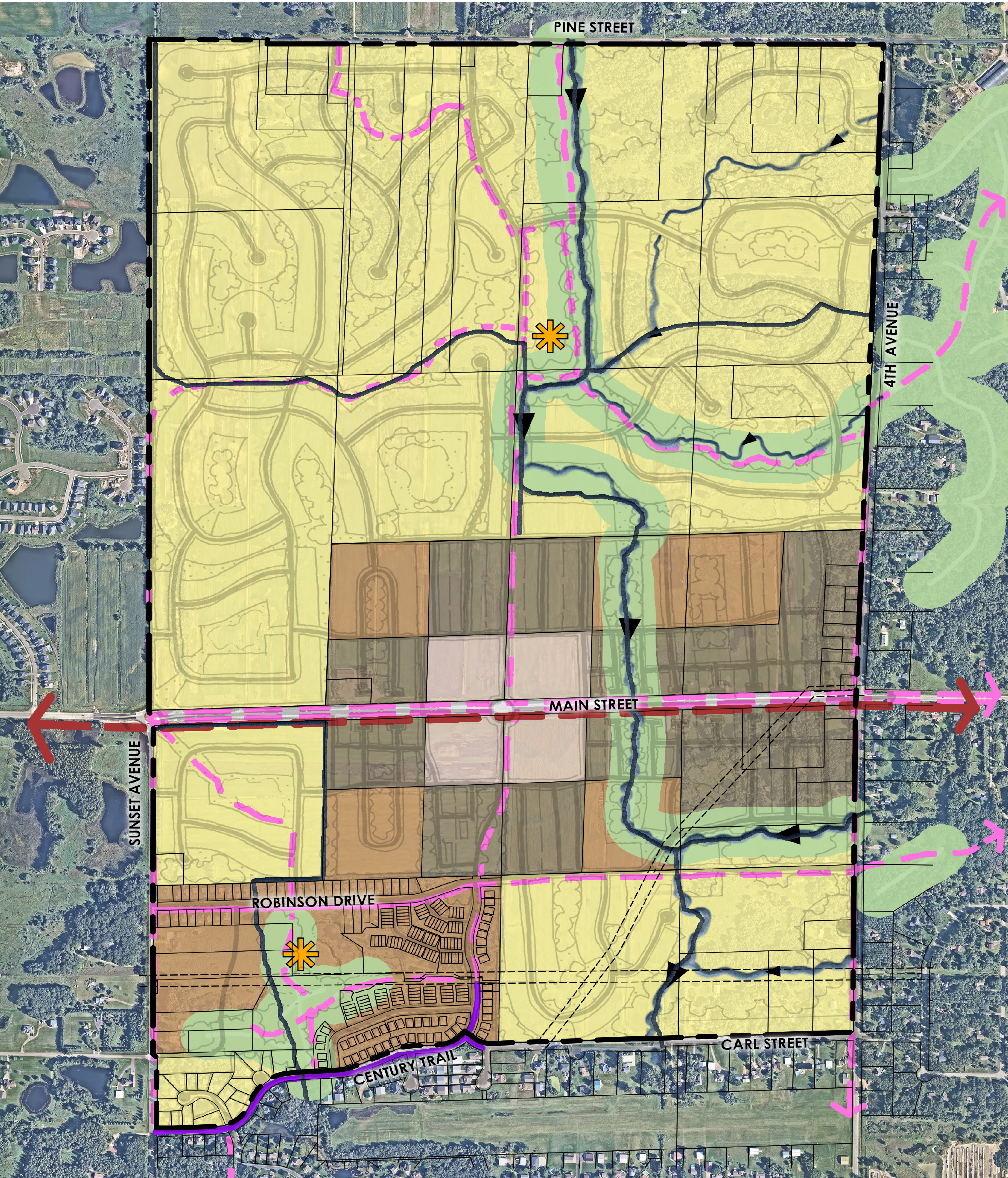
- Low Density Residential
- Medium Density Residential
- High Density Residential
- Residential/Commercial

LEGEND

- Future Neighborhood Park
- Major Drainage Routes
- Minor Drainage Routes
- Existing Asphalt
- Existing Concrete Trail
- Proposed Trails

Proposed On-Street Route

- Existing Regional Trail
- Proposed Regional Trail
- Greenway System
- Natural Resource Enhancement/Conservation Area



Scenario 2

Gateway Village

Land Use

- Low Density Residential
- Medium Density Residential
- High Density Residential
- Residential/Commercial

LEGEND

- Future Neighborhood Park
- Major Drainage Routes
- Minor Drainage Routes
- Existing Asphalt
- Existing Concrete Trail
- Proposed Trails

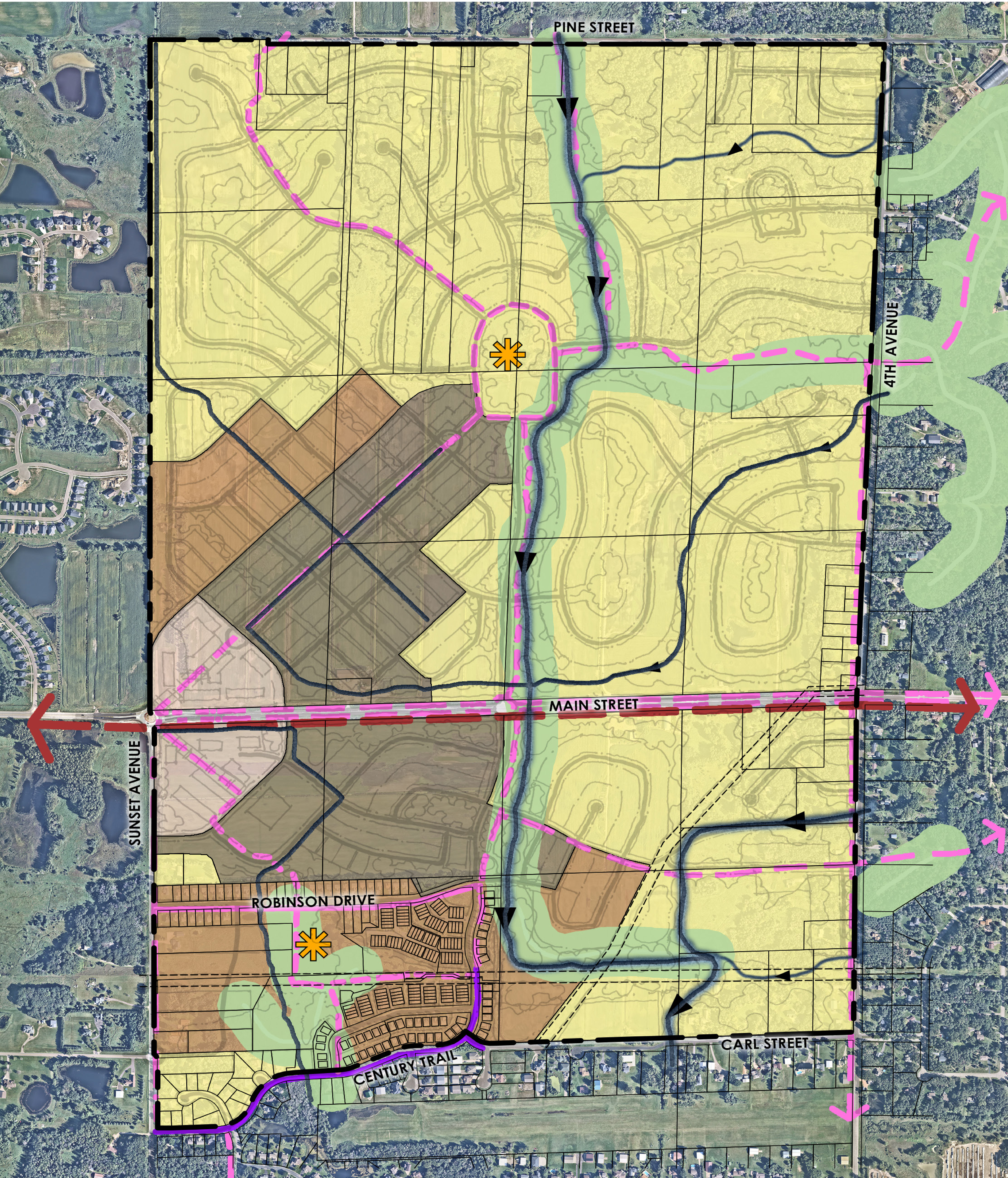
Proposed On-Street Route

Existing Regional Trail

Proposed Regional Trail

Greenway System

Natural Resource Enhancement/Conservation Area



Scenario 3

Preserving Open Space

Land Use

- Low Density Residential
- Medium Density Residential
- High Density Residential
- Residential/Commercial

LEGEND

- Future Neighborhood Park
- Major Drainage Routes
- Minor Drainage Routes
- Existing Asphalt
- Existing Concrete Trail
- Proposed Trails

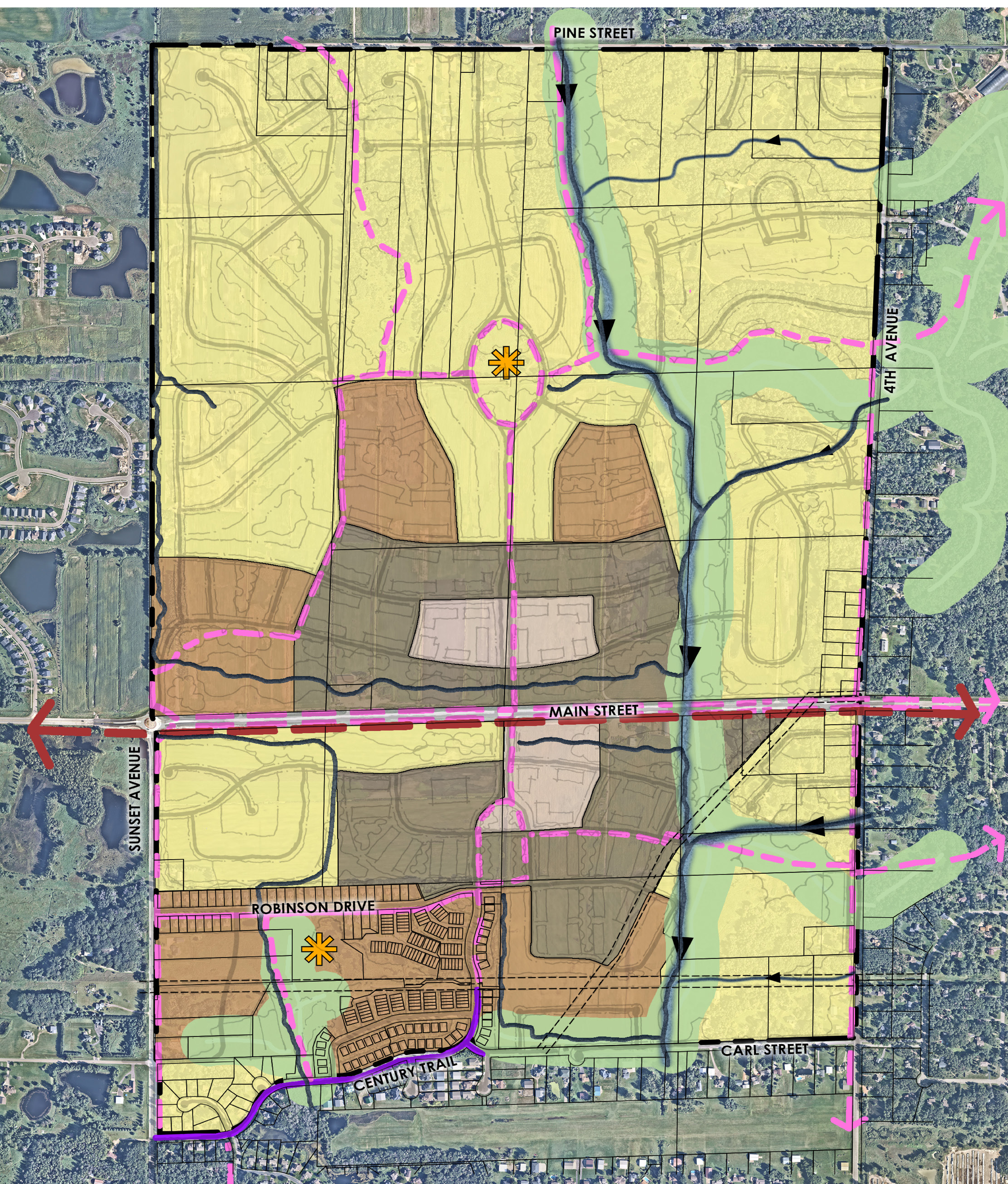
Proposed On-Street Route

Existing Regional Trail

Proposed Regional Trail

Greenway System

Natural Resource Enhancement/Conservation Area



**PLANNING & ZONING BOARD
AGENDA ITEM 7B**

STAFF ORIGINATOR: Katie Larsen, City Planner

MEETING DATE: March 5, 2025

TOPIC: Renstrom Dental Studio (7455 Village Drive) Exterior Remodel

CASE NUMBER: N/A

APPLICANT: N/A

OWNER: N/A

REVIEW SCHEDULE: N/A

INTRODUCTION

Kevin Green of Thielen & Green architects will be presenting a proposed exterior remodel to the Renstrom Dental Studio located at 7455 Village Drive.

BACKGROUND

See attached narrative.

RECOMMENDATION

Staff is requesting input from the Board.

ATTACHMENTS

1. Project Narrative
2. Remodel Design Options



To: Planning & Zoning Board
From: Randi and Scott James
Date: 2/28/2025
Subject: Request for Approval to Remove Metal Canopy During Roof Replacement

Dear Planning & Zoning Board,

We are submitting this request for approval to remove the existing metal canopy on our roof as part of our planned roof replacement project. Removing the canopy will provide significant benefits both financially and structurally.

Justification for Canopy Removal:

Cost Savings: The removal of the metal canopy will result in an over six figure cost savings, reducing the overall project expense. This allows us to allocate resources more effectively for the long-term maintenance of the building.

Roof Longevity: Without the canopy, the new roof will have an extended lifespan, as it will no longer be

Attac



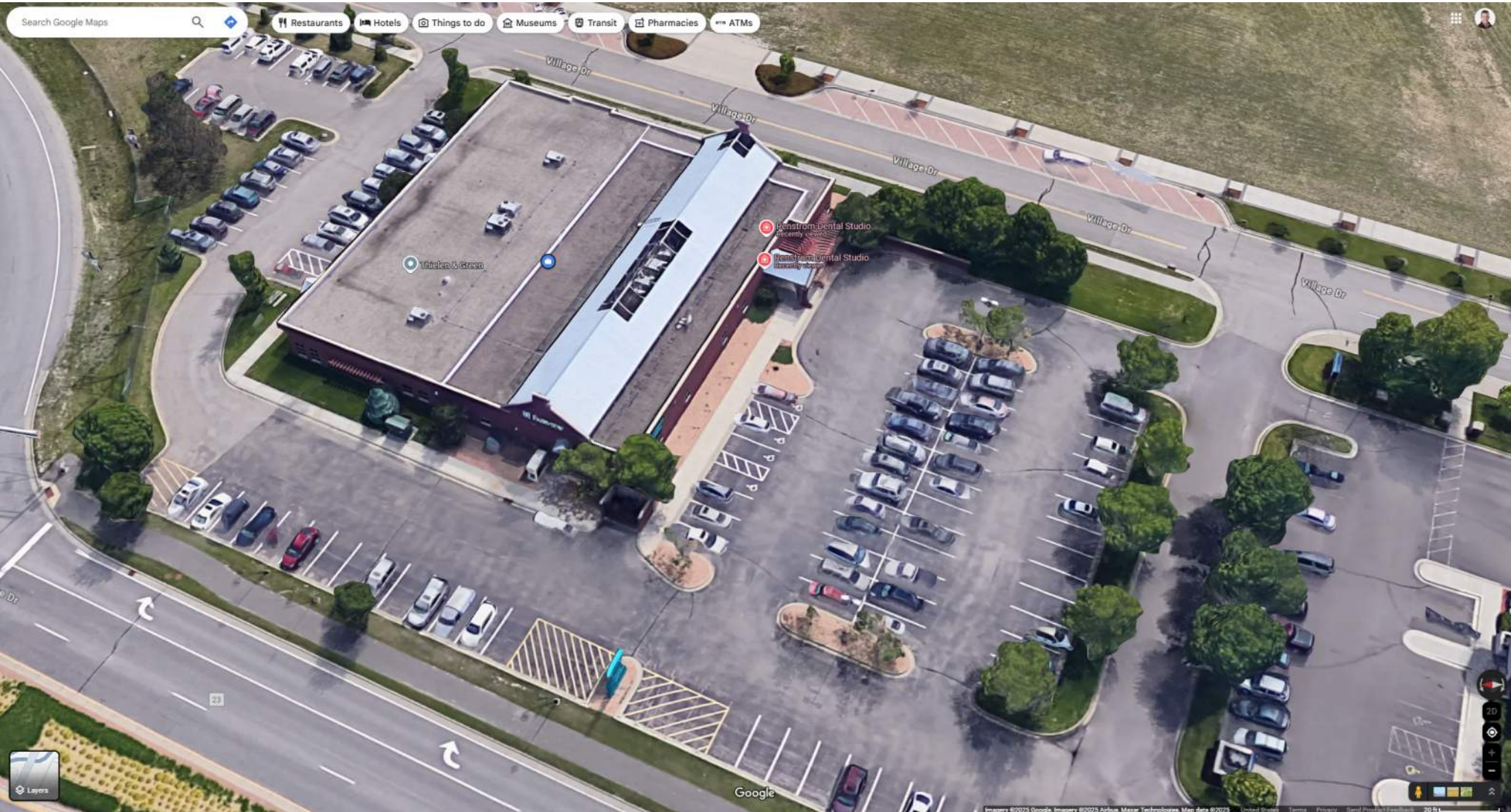
subject to the fastener penetrations causing water intrusion around the canopy's mounting points, ensuring a more secure and durable roofing system.

Since moving to Lino Lakes in May of 2023, we are proud to volunteer our continuing education space to the Centennial Chamber, Chain of Lakes Rotary and Rice Creek Snowmobile Trail Association. We're committed and excited to be a part of this community and look forward to working with you on this project.

Thank you for your time and consideration.

Sincerely,
Randi and Scott James
Renstrom Dental Studio
7455 Village Dr.
Lino Lakes, MN 55014

7455 VILLAGE DR. LINO LAKES, MN 55014
P: 651-407-0491 T: 800-747-1321 W: RENSTROM.COM



GOOGLE STREET VIEW



OPTION 1 - KEEP EXISTING PARAPET (PROVIDE STEEL BRACING BACK TO ROOF DECK)



OPTION 1 - KEEP EXISTING PARAPET (PROVIDE STEEL BRACING BACK TO ROOF DECK)



OPTION 2 - PARTIAL PARAPET REMOVAL (KEEP REMAINDER FOR SIGNAGE)



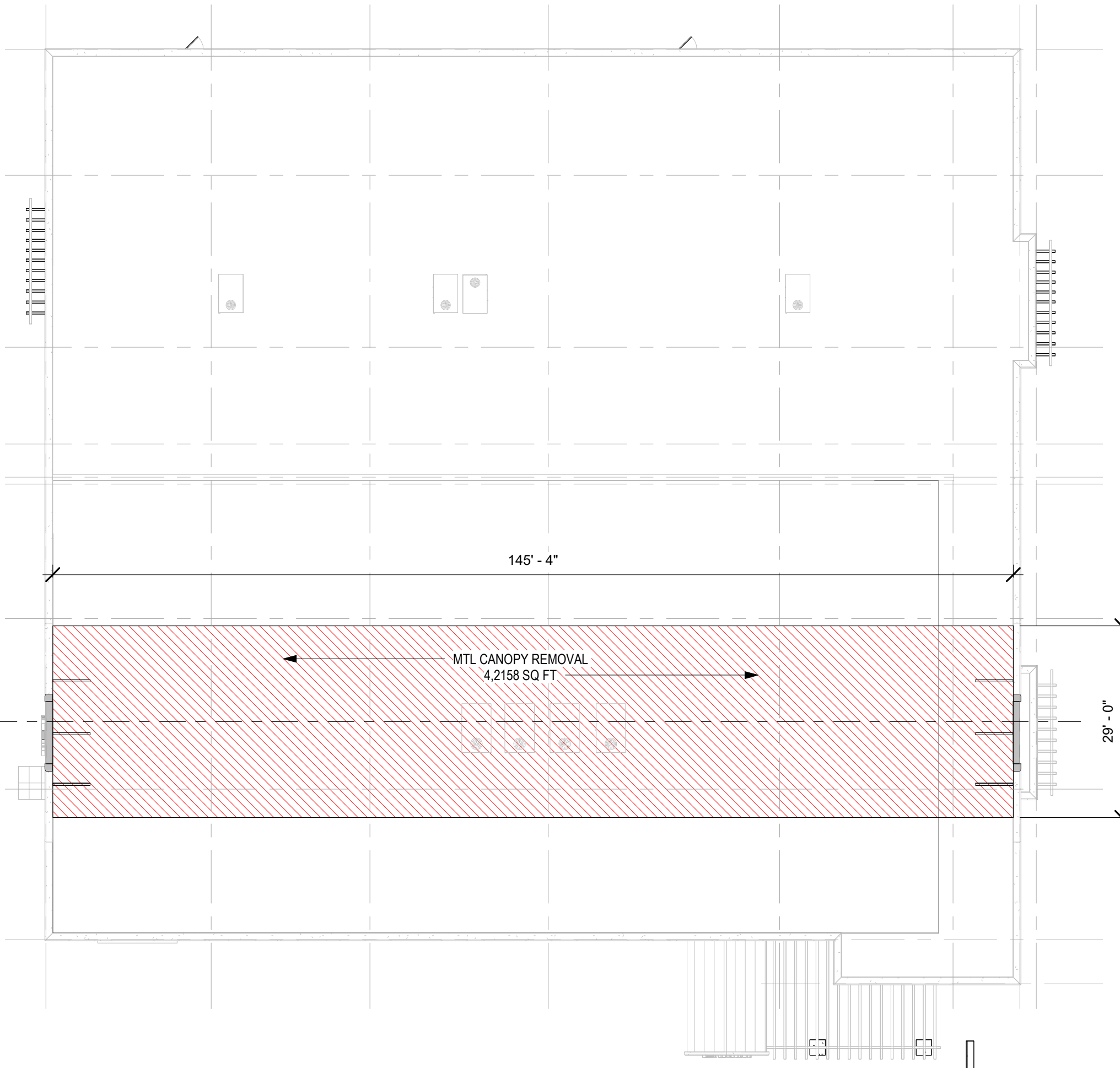
OPTION 2 - PARTIAL PARAPET REMOVAL (KEEP REMAINDER FOR SIGNAGE)



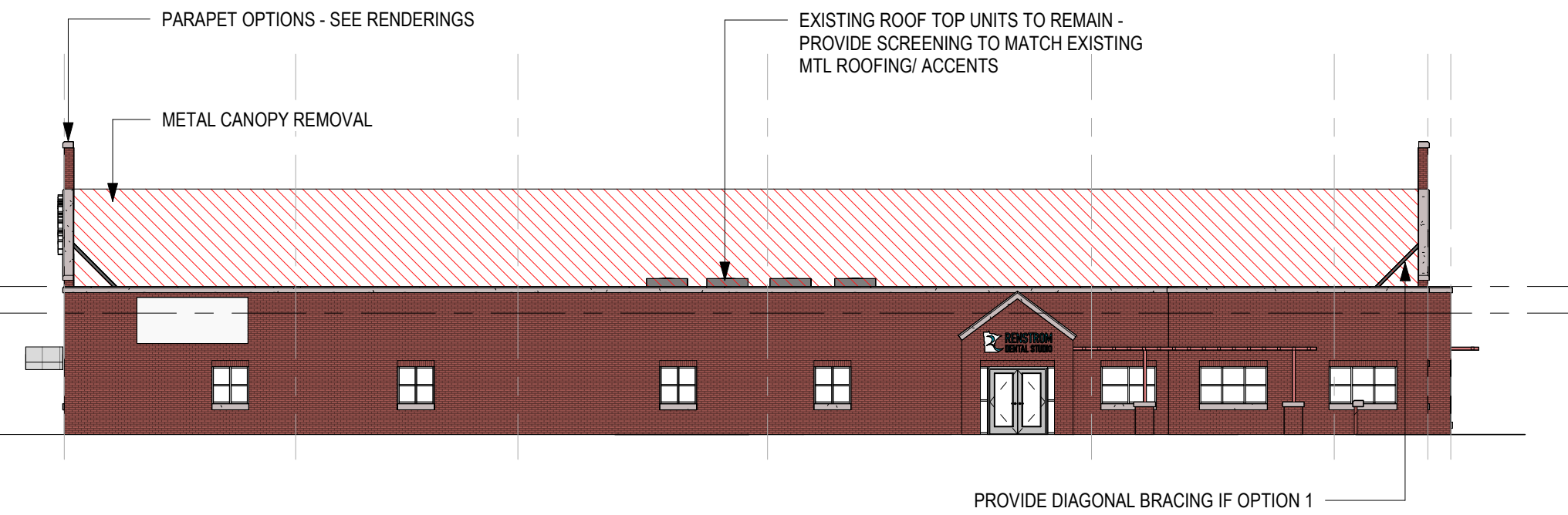
OPTION 3 - COMPLETE PARAPET REMOVAL



OPTION 3 - COMPLETE PARAPET REMOVAL



1 CONCEPTUAL ROOF PLAN
1/16" = 1'-0"



2 CONCEPTUAL ELEVATION @ SOUTH
1/16" = 1'-0"

CITY STAMP AREA

THIELEN & GREEN

7455 VILLAGE DRIVE, SUITE #110
LINO LAKES, MN 55014
763-553-7927
WWW.TANDGARCH.COM

 **RENSTROM
DENTAL STUDIO**

7455 VILLAGE DRIVE
LINO LAKES, MN 55014
651-407-0491
WWW.RENSTROM.COM

**EXTERIOR
REMODEL**

7455 VILLAGE DRIVE
LINO LAKES, MN 55014

| ISSUE | DATE |
|-------------------|------------|
| CONCEPTUAL DESIGN | 11/22/2024 |
| | |
| | |
| | |
| | |

PRELIMINARY
NOT FOR CONSTRUCTION

| REVISION SCHEDULE | | |
|-------------------|-------------|------|
| NO. | DESCRIPTION | DATE |
| | | |
| | | |
| | | |
| | | |

| DESIGN OPTIONS | |
|----------------|----------------------|
| Project Number | 468_2024 |
| Date | 02-24-2025 |
| Drawn By | CAD |
| Checked By | KPG, KMT |
| EX01 | |
| Scale | 1/16" = 1'-0" |