

Mayor:
Lee Hunt
Councilmembers:
Steve DeLapp
Susan Dunn
Dean Johnston
Chuck Siedow

Lake Elmo City Council

Tuesday

April 20, 2004

3800 Laverne Avenue No.
Lake Elmo, MN 55042
777-5510 777-9615 (fax)

Please read:

Since the City Council does not have time to discuss every point presented, it may appear that decisions are preconceived. However, staff provides background information to the City Council on each agenda item in advance; and decisions are based on this information and experience. In addition, some items may have been discussed at previous council meetings.

If you are aware of information that has not been discussed, please fill out a "Request to Appear Before the City Council" form; or, if you came late, raise your hand to be recognized. Comments that are pertinent are appreciated. Items may be continued to a future meeting if additional time is needed before a decision can be made.

Agenda

City Council Meeting Convenes 7:00 PM

Pledge of Allegiance

1. Agenda

2. Minutes

April 6, 2004

3. PUBLIC INQUIRIES/INFORMATIONAL:

A. Audit Report : Steve McDonald, Abdo, Eick and Meyers

Public Inquiries/Informational is an opportunity for citizens to bring the Council's attention any items not currently on the agenda. In addressing the Council, please state your name and address for the record, and a brief summary of the specific item being addressed to the Council. To allow adequate time for each person wishing to address the Council, we ask that individuals limit their comments to three (3) minutes. Written documents may be distributed to the Council prior to the meeting or as bench copies, to allow a more timely presentation.

4. CONSENT AGENDA

A. Resolution No. 2004-041: Approving Claims

Those items listed under the Consent Calendar are considered to be routine by the City Council and will be enacted by one motion under a Consent Calendar format. There will be no separate discussion of these items unless a Council member so requests, in which event, the item will be removed from the general order of business and considered separately in its normal sequence on the agenda.

5. FINANCE:

A. Monthly Operations Report

6. NEW BUSINESS

A.

7. MAINTENANCE/PARK/FIRE/BUILDING:

A. Parks Dept. – MN Orienteering Club

B. Building Dept Update: Jim McNamara

C. Fire Dept: Grass Rig Tires

<p>8. <u>CITY ENGINEER'S REPORT:</u> A. Update on VFW Ball field Lights B. Resolution No. 2004-032:Accept Bids for 2004 Overlay Project</p>	<p>Tom Prew</p>
<p>9. <u>PLANNING, LAND USE & ZONING:</u> A. Resolution No. 2004-027:Zoning Variance, 11094 35th Street - Eisele B. Resolution No. 2004-033:OP Development Stage Plan /CUP/Preliminary Plat:Whistling Valley 2nd Addition C. Resolution No. 2004-034:PUD Final Plan Amendment: United Properties Directional Sign D. Interpretation and Process – Accessory Building Exterior Color</p>	<p>C. Dillerud</p>
<p>10. <u>CITY ATTORNEY'S REPORT:</u> A. Manning Trail Resolution</p>	
<p>11. <u>CITY ADMINISTRATOR'S REPORT:</u> A. Lake Jane Landfill - Groundwater B. Met Council Update C. City Council E-mail Boxes</p> <p>12. <u>NEW BUSINESS</u></p>	
<p>13. <u>CITY COUNCIL REPORTS:</u> A. Mayor Hunt B. Council Member DeLapp C. Council Member Dunn D. Council Member Johnston E. Council Member Siedow</p>	
<p><u>April 26, Tuesday, 7 p.m. City Council and Fire Department Workshop – Lake Elmo City Hall</u></p>	<p><u>Environmental Commission Meeting, Wednesday, April 21, 7 p.m., Lake Elmo City Hall</u> BOARD OF REVIEW: May 5, 4-6 p.m.</p>

LAKE ELMO CITY COUNCIL MINUTES

APRIL 6, 2004

1. AGENDA
2. MINUTES: March 16, 2004 (Postponed)
3. PUBLIC INQUIRIES/INFORMATIONAL:
 - A. Public Inquiries
 - B. City Administrator
4. CONSENT AGENDA:
 - A. New Tractor Purchase
 - B. Resolution No. 2004-028 Garage Location Waiver, Bill/Pat Hagberg, 3060 Lake Elmo Avenue
 - C. Resolution No. 2004-030 Approving Claims
5. FINANCE:
 - A. Clean Up Day
 - B. Resolution No. 2004-029 Water Fund Rate Recommendation
6. NEW BUSINESS:
7. MAINTENANCE/PARK/FIRE/BUILDING:
 - A. Parks Dept.
 - (1) Seasonal Help
 - (2) VFW Ball Field Lights
 - B. Update on Fire Dept. Activities: Chief Malmquist (Not In Attendance)
 - C. Building Department Vehicle Purchase
8. CITY ENGINEER'S REPORT:
 - A. Received Quotes for 34th Street Lift Station
9. PLANNING, LAND USE & ZONING:
 - A. Resolution No. 2004-026 Site Plan Amendment and Temporary Office -- Hiner Development
 - B. Resolution No. 2004-027 Zoning Variance, Eisele, 11094 35th Street
 - C. Amendment of Zoning Ordinance Fence Standards
 - D. Cimarron CDBG Project -- Vendor Selection
 - E. Ordinance No. 97-127 Old Village Development Moratorium
 - F. Water Service and Fire Sprinklers -- Prairie Ridge Office Park
10. CITY ATTORNEY'S REPORT:
11. CITY ADMINISTRATOR'S REPORT:
 - A. Seminar Attendance -- City Planner
 - B. Countywide Assessment
 - C. Employee Benefits Progress
 - D. Brookfield II Building
 - E. Met Council Issues
12. CITY COUNCIL REPORTS:
 - A. Council Workshop on Strategic Planning
 - B. Building Size

Mayor Hunt called the meeting to order at 7 p.m. in the Council chambers. PRESENT: Siedow, Dunn, Hunt, Johnston, DeLapp, City Engineer Prew, City Attorney Filla, Building Official Jim McNamara, Acting Finance Director Tom Bouthilet and Acting City Administrator/Planner Dillerud.

1. AGENDA

ADD: Update on Benefits Program, Set workshop date for Fire Dept. 9C. Negotiation with Chad Simich, Update on status of city hall purchase.

Move 11C. City Admin recruitment under Public Informational as Item B., Update on council workshop working together on strategic planning, Updates on Met Council and discussion on potential workshop with attorneys under City Administrator's Report.

M/S/P Siedow/Johnston -- to approve the April 6, 2004 City Council agenda, as amended. (Motion passed 5-0).

2. MINUTES: March 16, 2004 (Postponed)

Mayor Hunt indicated he would prepare the draft minutes of the April 3, 2004 City Administrator Interviews.

3. PUBLIC INQUIRIES/INFORMATIONAL:

A. Public Inquiries

Gloria Knoblauch explained that out of the 21 houses located on 31st Street, since 1972 nine people have died of cancer and two are in remission. She reported that she has not researched it fully, but believed it was more than a coincidence that the number of cancer related deaths was so large. She questioned if the plume of contamination from the Lake Jane Landfill was affecting the water in this neighborhood served by private wells. The Council suggested Ms. Knoblauch contact Jim Kelly, MN Health Dept.; and, that the residents in her neighborhood should have their water tested. The Council asked that an MPCA representative be invited to the April 20th Council meeting for an update on the recent evaluation of the Lake Jane Landfill.

B. City Administrator

Mayor Hunt announced that the Council interviewed three candidates April 3rd and council made a selection and announced that Martin J. Rafferty will start on May 10, 2004 as City Administrator. A draft of the contract had been reviewed by all council members.

M/S/P DeLapp/Johnston - to authorize the Mayor to sign the approved contract with Martin J. Rafferty as Lake Elmo's City Administrator with a start date of May 10, 2004. (Motion passed 5-0).

4. CONSENT AGENDA:

A. New Tractor Purchase

The Acting Finance Director reported that on October 7, 2003, the City Council approved the purchase of a new tractor with mowers, snow plow and lettering for the total amount of \$47,337.52. The approved amount was based on the former Public Works Director providing the labor to install the plow. However, for warranty and liability considerations it was determined his work had to be completed by the factory. The total cost of the tractor (without lettering) is \$48,319.84. The estimated cost for the lettering as provide in the original bid was \$532.50. The new revised total price of \$48,852.34 is still under the \$50,000 Capital Budget for this purchase.

M/S/P DeLapp/Dunn - to approve the revised tractor purchase price for a total amount of \$48,852.34. (Motion passed 5-0)

B. Resolution No. 2004-028 Garage Location Waiver - Bill/Pat Hagberg, 3060 Lake Elmo Avenue

Bill and Pat Hagberg propose replacement of an existing garage with a new 3-car detached garage on this lake front site in the R-1 zoning district. The proposed garage would be located nearer the front lot line than the house, as is the present garage. Section 300.13, Subd, 3C of the City Code provides that the Council must approve any application to construct a detached garage in the R-1 District that would be closer to the property line than the principal structure.

Staff recommended approval of the application since the proposed garage would be located nearly 250 feet from the street, and would replace a garage now essentially in the same location.

M/S/P DeLapp/Dunn - to adopt Resolution No. 2004-028, A Resolution approving the location of a detached garage nearer the front property line than the principal structure at 3060 Lake Elmo Avenue, per plans staff-dated March 15, 2004. (Motion passed 5-0)

C. Resolution No. 2004-030 A Resolution Approving Claims

M/S/P DeLapp/Dunn - to approve Resolution No. 2004-030, to approve Claim Numbers 193, 194, DD124 through DD132, 25337 through 25372 that were used for Staff/Fire payroll dated March 18, 2004 and Claim Numbers 195, 196, DD133 through DD138, 25374 through 25380 that were used for staff payroll dated April 1, 2004 and Claim Numbers 25381 through 25433 dated April 6, 2004 in the total amount of \$140,758. (Motion passed 5-0).

5. FINANCE:

A. Clean Up Day, May 22, 2004, 8:00 a.m. to Noon

The Acting Finance Director indicated that due to increased labor costs and removal services, consideration should be given to increase the rates. He reported that in past years, the City was able to offset some of these expenses through the Washington County Recycle Grant Program, but due to a reduction in funding and limitations on how the grant money is used; the City's portion of the expense will increase. A Clean Up Day flyer was provided with the recommended rates.

M/S/P Dunn/Johnston - to approve the 2004 Clean Up Day Rates as recommended by the Acting Finance Director. (Motion passed 5-0).

B. Water Fund Rate Recommendations

The Acting Finance Director provided a copy of the 2004 proposed Water Enterprise Fund Budget and Water Rate schedule. He noted that the budget based on his forecast of the volume of water that will be sold in 2004 indicates a possible \$14,925 shortfall in the operating portion of the Water Enterprise Fund - with the recommended increase included in the operating revenue.

M/S/P DeLapp/Dunn - to adopt Resolution No. 2004-029 approving the 2004 Water Enterprise Fund Budget and Water Rate Structure for the Old Village and the Lake Jane Area. (Motion passed 5-0).

6. NEW BUSINESS:

7. MAINTENANCE/PARK/FIRE/BUILDING:

A. Parks Dept.

(1) Seasonal Help

Staff recommended the rehiring of four returning seasonal employees: John Eder, Michael Wagner, William Leary and Virgil Niemann at \$10.50/hour. The Parks Superintendent indicated at a later time he may be hiring a college student.

M/S/P DeLapp/Dunn - to authorize the hiring of John Eder, Michael Wagner, William Leary and Virgil Niemann as Parks/Public Works "seasonal employees" at \$10.50 per hour pay rate. (Motion passed 5-0).

(2) VFW Ball Field Lights

Parks Superintendent Bouthilet reported that, at their March 15, 2004 meeting, the Parks Commission recommended the City Council re-address the lighting at the VFW ball field. The consensus of the Commission was that lighting the field would still be a valuable asset and does not conflict with the current "Old Village" concept plan. Bouthilet reported that this purchase would be on the State Cooperative Purchasing Venture. Parks Chair Bob Schumacher explained the commission has done its homework

on this. He noted that the lights will only be used when the field is in use and won't turn on automatically. He advised the Council that, by adding the lights, the use of the field could double, since two games could be played in the evening time.

Council member Siedow asked Todd Bruchu, Lake Elmo Baseball, if he contacted the entire park's surrounding neighbors to see if any had an objection to lighting the field. Mr. Bruchu responded they did not receive any objections. The lights are high school standard, and the lights will be contained on the site, and not spill out onto the neighborhood.

The Assistant Administrator explained the City's Capital Improvement Program would need to be amended because the light project was not included in the 2004 CIP.

Council member DeLapp stated he thinks the City needs to do a lighting project, but we need to do other things as well, such as adding additional trails.

M/S/P Johnston/DeLapp - to proceed ahead with the 2003 proposal to purchase and install lighting at the VFW ball field at an estimated cost of \$138,846 to come from the Park Dedication Fund; and, to modify the 2004 Capital Improvements Program to include the lighting project. (Motion passed 5-0).

B. Update on Fire Dept. Activities: Chief Malmquist (Not In Attendance)

The Acting Administrator reported that at the February 17 meeting, the Council asked that a workshop be scheduled with the Fire Department. He reminded the Council that the Council wanted to get feedback as far as appointed Fire officers versus elected fire officers. Attorney Filla stated he has concluded the intent of the Fire Department bylaws is to have officers in place; and, if new ones are not elected, those serving would continue to serve until some other process was in place or elections held.

M/S/P Siedow/Johnston - to direct the staff to look at the week of April 26th with the availability of a large number of firefighters attending, for a Council and Fire Department workshop. (Motion passed 5-0.)

C. Building Department Vehicle Purchase

The Acting Administrator reported that the Building Official Jim McNamara and the Maintenance Advisory Committee had analyzed the options available for this purchase. He reported that, at its meeting March 31, the MAC adopted a recommendation to the Council to purchase a 2004 Chevrolet Colorado FWD extended cab pick-up under the State Contract for \$15,500 plus tax, delivery, and safety/identification items for a total cost of \$16,200. He advised the Council that the 2004 CIP budgeted \$20,000 for this purchase.

The Acting Administrator recommended that the City dispose of the Inspection Department Ford Victoria by sale to the highest bidder---first offering internally to staff,

with NASDA "wholesale" the minimum bid (reserve). If no internal bidders, at or above the reserve appear, the vehicle would be offered to the Public on the same basis.

M/S/P Siedow/Dunn - to approve the recommendation of the Maintenance Advisory Committee for City purchase of a 2004 Chevrolet Colorado pick-up on the State Purchasing Contract from Hinckley Chevrolet for a purchase price of \$15,500 plus tax and delivery, and lettering. Further, that the Ford Victoria be sold by the City to the highest bidder. (Motion passed 4-1: DeLapp: The cost is incredibly low, but preferred purchase of a smaller car with better gas mileage.)

8. CITY ENGINEER'S REPORT:

A. Receive quotes for 34th Street Lift Station Repair

In his memo dated April 1, 2004, the City Engineer reported he received four quotes for the 34th Street Lift Station Repair project. This project was included in the City's 2004 CIP for an estimated cost of \$10,000.

M/S/P Dunn/Johnston - to award the contract for the 34th Street Lift Station Repair to Meyer Contracting in the amount of \$18,700.00, per the City Engineer's memo dated April 1, 2004. (Motion passed 5-0).

9. PLANNING, LAND USE & ZONING:

A. Site Plan Amendment and Temporary Office - Hiner Development

The City Planner reported that, at its meeting of March 29, 2004, the Planning Commission recommended approval of an amendment to the Mulligan Master Site Plan; and, also recommended that Hiner Development be granted permission to place a portable structure on the site during the 2004 season.

The City Planner reported the site plan amendment rearranges the location of structures on the site; and, adjusts the sizes/uses of those structures. The request for a temporary structure is to enable the otherwise essentially complete facility to open for business while the permanent structures are under construction.

M/S/P Johnston/Siedow - to adopt Resolution No. 2004-026 approving amendments to the Hiner Development Site Plan, per plans staff-dated March 25, 2004, as recommended by the Planning Commission. (Motion passed 5-0.)

M/S/P Johnston/Siedow - to approve the location of a temporary structure on the Mulligan Masters site per plans staff-dated March 25, 2004, and subject to the condition that the temporary structure be removed by October 31, 2004. (Motion passed 5-0).

B. Zoning Variance - Eisele, 11094 35th Street N

The City Planner reported that, at its meeting of March 29, 2004, the Planning Commission held a public hearing and recommended approval of the variance application

to construct a garage that would encroach on both front and side yard required setbacks. The Planning Commission recommendation was subject to three conditions; 1.) That the garage structure be reduced in size and/or its location be adjusted to result in not less than a 6 foot setback to the side set back , and not less than a 20 foot front setback. This condition would reduce the width of the garage from 32 feet to 28 feet; and reduce the depth of the garage from 24/26 feet to 22/24 feet. As an alternative, the increased side setback could be accomplished by sliding the garage northerly 2 feet. The Planner advised the Council that the Commission did not specify garage dimensions, but rather maximum setback variances. He also noted that the Commission recommended a slight modification to the staff-recommended condition regarding a 5 foot driveway setback.

Council member DeLapp provided a site plan providing for straightening of the south wall to the garage wall with align with the house wall.

Mr. Eisele verbally agreed with the DeLapp modification and also agreed to submit new drawings.

M/S/P DeLapp/Siedow - to modify the Resolution No. 2004-027 to align the south garage wall as discussed. (Motion passed 5-0).

M/S/P Johnston/Siedow – to postpone this agenda until the April 20 Council meeting subject to new drawings with proposed modifications submitted by Mr. Eisele. (Motion passed 5-0.)

C. Amendment of Zoning Ordinance Fence Standards

The City Planner reported that the Council has been provided a final draft of the new fence standards section of the City Code, as recommended by the Planning Commission after several hours of discussion.

Council member Johnston handed out his changes to the fence ordinance and a fence drawing.

Council member Siedow stated that he felt that one size fence doesn't fit all the lots, but that questions as to what is a large lot or a small lot, what is a short fence or a tall fence required answers. Siedow said he thought chain link fences should be allowed by right, and not as Special Exceptions.

Council member DeLapp thought that the City should be more specific with the covenants for a new development, as to how fences are regulated.

In response to Council Member Siedow's question, Attorney Filla advised that the City does have the right to make property owners replace a non-conforming fence.

M/S/P DeLapp/Johnston – to direct the staff to set up a workshop to discuss the fence ordinance and invite the Planning Commission either from 6 to 7 before the Commission meeting, or recess the planning Commission meeting early, and then hold the workshop. (Motion passed 5-0).

Council member Johnston explained that Mr. Simich had previously said he would be willing to work out a solution to his non-conforming fence with the City, and he would like staff to proceed with that direction.

M/S/ Johnston/Siedow – to authorize the City Attorney to negotiate resolution of the fence non-conformance issue involving Mr. Simich.

The Acting Administrator stated he needed to know how he should be negotiating. Councilmember Johnston said we can only support the existing code. It was the consensus of the Council – on a question from the Acting City Administrator – that the negotiating team will comprise of the appropriate City staff, city attorney, homeowner Chad Simich, a Homeowners Association officer, if they want to be involved; and, City Council member if they should chose.

M/S/P – to amend the motion to authorize negotiation of a resolution of the non-conformance fence issue involving Chad Simich by a negotiating team comprised of the appropriate City staff, City Attorney Filla, homeowner Chad Simich, a Homeowners Association officer if they want to be involved; and, a City Council member if he/she should chose. (Motion passed 5-0).

Chad Simich asked the Council to address his fence issue exclusively, and consider grandfathering other fences in Carriage Station that are nonconforming.

D. Cimarron CDBG Project – Vendor Selection

The City Planner reported the Council has previously approved the recommendations of the Community Improvement Commission regarding a gas line service inspection program for Cimarron that would be partially funded by the Cimarron component of the 2000-2003 CDBG grants (\$10,000); and, also funded by the 2003 CDBG Lake Elmo allocation (\$48,000). The Commission's goal by this program is to detect any problems with gas service line installations to the individual Cimarron manufactured housing units that could prove hazardous to the unit and neighboring units.

He reported that City staff solicited potential vendors in February, 2004 by a Request for Proposals. Two inspection firms responded to the RFP, and the Commission selected the proposal of Mobile Home Improvement Service as the most responsive to the program design, and in the best overall interests of the City. He advised that Staff has met with the firm to structure a slightly revised strategy for the inspection program that has been recommended by the Community Improvement Commission.

M/S/P Johnston/DeLapp - to authorize the Acting City Administrator to execute a letter agreement with Mobile Home Improvement Service for gas service line inspection in Cimarron at a two-level cost:

1. Initial Inspections - \$45 per unit per the proposal dated March 30, 2004.
2. Complete Inspections - \$165 per unit per the proposal staff dated March 30, 2004.
(Motion passed 5-0).

E. Old Village Development Moratorium

Planner Dillerud provided drafts of the Community Water System Plan and the Traffic Plan completed by TKDA. Dillerud reported there are no major issues that appeared in the Water Supply or Traffic Reports beyond the need for elevated water storage and the need for traffic signal improvements to Highway 5 at three locations. He advised the Council that the Surface Water report by TKDA has not been completed.

The Planner stated that the present Old Village Development Moratorium will expire prior to the next City Council meeting. He noted that Staff has not been contacted in recent months by any land owners or developers regarding a desire to immediately proceed with projects within the Moratorium area, but there had been prior interest on behalf of the three of the property owners (Hutchinson, Abbott, and Lynsky). A draft ordinance that would extend the Moratorium, with the length of the extension unspecified was provided for Council review.

M/S/P Dunn/Johnston – to adopt Ordinance No. 97-127, Extending the Old Village Moratorium for 60 days. (Motion passed 4-1; Siedow: He does not believe in moratoriums.)

Mr. Sreaton stated he doesn't have a problem with the Moratorium extension; but, that he has questions as to how transfer of development rights would work.

F. Water Service and Fire Sprinklers – Prairie Ridge Office Park

The City Planner reported that the proposal from Oakdale is to agree to extend the Lake Jane System service area as we have requested, but only if the Master Agreement is also amended to substitute Oakdale's commercial water rates charged to the Lake Jane system for the residential rates called for in the present agreement. The Acting Finance Director projects that an annual increased cost to the City by this proposed rate structure could amount to \$10,000. The City Planner recommended discussion with Oakdale regarding including Prairie Ridge Office Park on the Lake Jane system be terminated; and, that Prairie Ridge proceed with private water wells. The Planner suggested that the Prairie Ridge buildings should have fire protection sprinklers. He reported that the applicants now object to that improvement based on the much higher cost for the sprinklers served by private wells than if served by Public water – as had been assumed would be the case. He reported that he had spoken with the applicants today; and, suggested the applicant be required to install a dry sprinkling system until such time there is public water service may become available to the site on better terms.

Council member DeLapp responded that the applicant concurred they would put a fully functional sprinkler system in the buildings.

Mayor Hunt asked the City Engineer if the developers could also place the pipe in the ground in anticipation of water coming in. The City Engineer said it isn't a wise investment for pipe to sit unused for as much as the 10 years that may be involved in this case.

Peter Tacheney said the State doesn't know the city has adopted the new sprinkler code because the City has not sent their ordinances to the state.

M/S/P Dunn/Siedow – that since City water is not made available to this site as previously assumed, a dry stand pipe sprinkling system may be used by the applicant for the Prairie Ridge Office Park. (Motion passed 5-0.)

M/S/P DeLapp/Johnston – To request the Mayor to inquire of Oakdale's elected leaders if the Master Water Agreement with Lake Elmo can be amended in keeping with the original Lake Elmo proposal in a reasonable amount of time. (Motion passed 5-0).

10. CITY ATTORNEY'S REPORT:

Attorney Filla reported that the property owner on Hidden Bay will meet the Phase 1 improvements. The improvement stage deadline is August 15. If the property owner does not meet the deadline, the City can get a judgment.

11. CITY ADMINISTRATOR'S REPORT

A. Seminar Attendance – City Planner

The City Planner requested attendance at Land Use Management Seminar at the UW, Madison on May 3-5, 2004 with an anticipated cost of about \$1,000. He reported that the Planning Department 2004 budget is \$2,500 for Conferences and Training, and he will not be attending the APA National Conference this year.

M/S/P DeLapp/Johnston – to approve the attendance of the City Planner at the Land Use Management Seminar at UW, Madison, May 3-5, 2004 at a cost of approximately \$1,000. (Motion passed 5-0).

B. Assessment Services

Kevin Corbid, Washington County Director, reported that the Washington County Board of Commissioners has placed the issue of countywide assessment on its priority list for 2004. He provided a memo outlining the process, the reasons behind the possible change, and the financial impacts. He reported that there are 9 cities in Washington County that now have contract local assessors.

Council member Dunn voiced concern with the loss of local government control of the assessment function and the assessor.

Mayor Hunt had a concern with how future budget cuts the county may have and how it would affect assessment services.

Council member Siedow stated that he would like to know what the financial implications of a countywide assessment might be to the taxpayer in Lake Elmo.

No Council action was taken. The Acting Administrator agreed that this matter will be added to a future agenda for discussion once the financial implications have been received from the County

C. Employee Benefits Progress

The Acting Administrator reported the Council approved an enhanced pay plan with the promise of a modified benefit plan. He advised that the staff continues to have difficulties with benefit plan modifications because the City employee group is too small to qualify for the benefits flexibility required for a cafeteria plan.

M/S/P DeLapp/Dunn - to direct the staff to proceed with efforts to get modified the employee benefits in place through the second quarter, with City contributions to insurance premiums for employees to remain as present through that period. (Motion passed 5-0.)

D. Brookfield II Building

The Acting Administrator reported the City ordered and has received an appraisal of the property after the City Attorney and the Acting Administrator initially met with the owners several weeks ago where the prospective sellers requested the City's appraisal before potential asking price would be suggested. He reported that the Brookfield II owners have submitted the City's appraisal to their appraiser; and, the City does not expect to hear back from the sellers until April 15. He also reported that Staff has continued to talk with the owner of Lake Elmo Chrysler as a potential alternative purchase option should the Brookfield II asking price exceed the City's appraisal. He noted that the City already has a complete value appraisal on Lake Elmo Chrysler.

E. Met Council Issues

Mayor Hunt suggested a workshop with the City's attorney to discuss strategy used at Supreme Court and the possibility of a settlement. If possible, this workshop could be held at the end of the Code Enforcement Workshop, 5:30 or 6 p.m., on April 13th – depending on the availability of the attorney.

M/S/P Johnston/DeLapp – to hold a workshop on Met Council litigation with Attorney Knowlin, if available, at 5:30 or 6 p.m. on April 13. (Motion passed 5-0).

12. CITY COUNCIL REPORTS:

A. Council Workshop on Strategic Planning

Mayor Hunt announced that the first half hour of the meeting would be discussion on working together and would include the new employee and then the remainder of the workshop would be discussion on strategic planning.

B. Building Size

Council member DeLapp asked the City to check into the legality of limiting house size. He noted that the State requires a minimum of 900 sq.ft. house, but no maximum. He suggested that one possible way to limit house size is to specify in a development approval what amount of homes of various sized's a development would have. He suggested that the Council would need to define what they want staff to do in this regard. This will be a future agenda item.

Council member Dunn reported that the signal lights on Highway 36 and CSAH are in process of being installed.

Council member Johnston reported that he has submitted his name for nomination to the AMM Board of Directors. He also reported that the City can have more than one member on each committee; and, he suggested that Mr. Dillerud serve on the Metropolitan Government committee, if he is willing. He encouraged like-minded cities to also appoint members to that committee.

The Mayor Adjourned the meeting at 10 p.m.

Respectfully by Sharon Lumby, Deputy Clerk

Resolution No. 2004-026 Amendments to the Hinder Development Site Plan

Resolution No. 2004-027 Zoning Variance Eisele (Postponed until April 20, 2004)

Resolution No. 2004-028 Garage Location, Bill/Pat Hagberg

Resolution No. 2004-029 2004 Water Enterprise Fund Budget and Water Rate Structure

Resolution No. 2004-030 Approving Claims

Ordinance No. 97-127 Extending the Old Village Moratorium for 60 days

Lake Elmo
City Council
04-20-2004

Agenda Section: Public Inquiries/Information

No . 3A

Agenda Item: 2003 Annual Financial Report

Background Information for April 20, 2004:

Attached, please find the City of Lake Elmo 2003 Annual Financial Report. Steve McDonald from Abdo, Eick & Meyers will present the report and respond to any inquiries. After reviewing the report, Chuck Dillerud and I have concluded that we are in agreement with the figures and findings. It should be noted however that the management letter indicates a reportable condition as Segregations of Duties. This clause has appeared in past audits as well and staff has taken measures to mitigate this situation by redirecting responsibilities of some of the accounting functions. The Office Assistant handles most of the cash receipts, the Deputy Clerk performs the daily banking deposits and the Acting Finance Director performs the reconciliation. I have recently learned that this condition is not uncommon among small cities throughout the State and continued efforts are contemplated to remedy this situation.

Action Items:

1. Motion to accept the 2003 Annual Financial Report.

Person responsible:

Tom Bouthilet

Attachments:

1. 2003 Annual Financial Report

**CITY OF LAKE ELMO
WASHINGTON COUNTY, MINNESOTA**

**RESOLUTION NO. 2004-041
RESOLUTION APPROVING CLAIMS**

BE IT RESOLVED THAT Claim Number 197 was used for Mn Department of Revenue Sales & Use Tax.

BE IT FURTHER RESOLVED that Claim Numbers 198, 199, DD139 through DD147, 25434 through 25468 were used for staff payroll dated April 15, 2004 and Claim Numbers 25469 through 25504 dated April 20, 2004 in the total amount of \$99,759.60 are hereby approved.

ADOPTED, by the Lake Elmo City Council on the 20th day of April, 2004.

Lee Hunt
Mayor

ATTEST:

Charles E. Dillerud
Acting City Administrator

Accounts Payable Computer Check Proof List

User: administrator

Printed: 04/15/2004 - 4:32 PM



Invoice No	Description	Amount	Payment Date	Acct Number	Reference
Vendor: ARAM 629-5446498	Aramark Linen City Hall Check Total:	42.78 42.78	04/20/2004	Check Sequence: 1 101-410-1940-44010	ACH Enabled: No
Vendor: ASPENMI 55018 55141	Aspen Mills, Inc. Fire Department-Uniforms Tags Fire Department-Uniforms Tags Check Total:	148.86 156.00 304.86	04/20/2004 04/20/2004	Check Sequence: 2 101-420-2220-44170 101-420-2220-44170	ACH Enabled: No
Vendor: BATTYPPL 32-81284	Batteries Plus Woodbury 3 - Auto Batteries Check Total:	210.22 210.22	04/20/2004	Check Sequence: 3 101-450-5200-42210	ACH Enabled: No
Vendor: BOUTHHTOM Claim	ThomasBouthillet New Trailer Registration Check Total:	326.98 326.98	04/20/2004	Check Sequence: 4 101-430-3100-44300	ACH Enabled: No
Vendor: Brimeyer 159D	The Brimeyer Group Inc. Administrator Search Check Total:	5,855.84 5,855.84	04/20/2004	Check Sequence: 5 101-410-1110-44300	ACH Enabled: No
Vendor: BUBERL 19090	Buberl Recycling & Compost Inc Snow Flowing - March 6th Check Total:	750.00 750.00	04/20/2004	Check Sequence: 6 101-430-3100-43150	ACH Enabled: No
Vendor: COPYIMAG 46387	Copy Images, Inc. Copier Maint. March 2004	255.60	04/20/2004	Check Sequence: 7 101-410-1940-44040	ACH Enabled: No

	Check Total:	255.60			
Vendor:FARMERS 141352 141372	Farmers Union Co-Op Oil Fuel-Fire Dept. Fuel - Building Inspections Check Total:	27.25 25.00 52.25	04/20/2004 04/20/2004	Check Sequence: 8 101-420-2220-42120 101-420-2400-42120	ACH Enabled: No
Vendor:GENESIS 1419 1429	Next Genesis Productions License, Archview Web Access Training Software & Security - Computers Check Total:	2,000.00 600.00 2,600.00	04/20/2004 04/20/2004	Check Sequence: 9 410-480-8000-45700 410-480-8000-45700	ACH Enabled: No
Vendor:Gorman OR8025	GORMANS RESTAURANT Candidate Interviews Check Total:	47.98 47.98	04/20/2004	Check Sequence: 10 101-410-1110-44300	ACH Enabled: No
Vendor:HAGBERGS	Hagbergs Country Market Supplies-City Hall Check Total:	19.31 19.31	04/20/2004	Check Sequence: 11 101-410-1320-44300	ACH Enabled: No
Vendor:HUMANE	Humane Society Companion Animal Impound Fees- 1st qtr 2004 Check Total:	1,003.50 1,003.50	04/20/2004	Check Sequence: 12 101-420-2700-43150	ACH Enabled: No
Vendor:IAFC	IAFC Membership Annual Membership Dues Check Total:	195.00 195.00	04/20/2004	Check Sequence: 13 101-420-2220-44330	ACH Enabled: No
Vendor:LEOIL B01203 S01203 S01208	Lake Elmo Oil, Inc. Fuel-Public Works Fuel-Fire Dept. Fuel - Parks Check Total:	2,510.12 90.69 59.63 2,660.44	04/20/2004 04/20/2004 04/20/2004	Check Sequence: 14 101-430-3100-42120 101-420-2220-42120 101-450-5200-42120	ACH Enabled: No
Vendor:MALMQ	GregMalmquist Cell Phone Per Diem Jan - March Check Total:	150.00 150.00	04/20/2004	Check Sequence: 15 101-420-2220-43210	ACH Enabled: No

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
Vendor: MILLEREX 9336	Miller Excavating, Inc. Grade Gravel Roads Check Total:	392.50 392.50	04/20/2004	Check Sequence: 16 101-430-3100-44030	ACH Enabled: No
Vendor: Natl Wat 1170246 1170246	National Waterworks Meter Main Line Clamps Check Total:	122.48 289.46 411.94	04/20/2004 04/20/2004	Check Sequence: 17 601-494-9400-42300 601-494-9400-42270	ACH Enabled: No
Vendor: NOAMWET 3758	North American Wetland Enginee PERS Wastewater Study Check Total:	250.00 250.00	04/20/2004	Check Sequence: 18 101-410-1910-43060	ACH Enabled: No
Vendor: NORTH00 09796331	Northern Tool & Equipment Misc. Supplies Check Total:	32.39 32.39	04/20/2004	Check Sequence: 19 101-430-3100-42400	ACH Enabled: No
Vendor: OAKDALE 1000039700 1000046000	City of Oakdale Water-North Water-South Check Total:	1,151.00 1,177.22 2,328.22	04/20/2004 04/20/2004	Check Sequence: 20 601-494-9400-43820 601-494-9400-43820	ACH Enabled: No
Vendor: ONECALL 4030485	Gopher State One-Call/One Call Concepts, Inc Line Locates-March 2004 Check Total:	23.00 23.00	04/20/2004	Check Sequence: 21 101-430-3100-441300	ACH Enabled: No
Vendor: PELNAR	KathiPelnar Animal Control Services-March Check Total:	378.97 378.97	04/20/2004	Check Sequence: 22 101-420-2700-43150	ACH Enabled: No
Vendor: PETERSO 11135M 11135M 11135M 11140M 11150M 11155M	Peterson Fram & Bergman Check Total:	2,589.92 33.00 99.00 4,762.74 286.00 692.76 8,463.42	04/20/2004 04/20/2004 04/20/2004 04/20/2004 04/20/2004 04/20/2004	Check Sequence: 23 101-410-1610-43040 406-480-8000-43040 101-410-1940-43020 101-410-1610-43045 803-490-9070-43040 101-410-1610-43040	ACH Enabled: No

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
Vendor:PRESS	StevenPress Cable Operator Check Total:	80.00 80.00	04/20/2004	Check Sequence: 24 101-410-1320-44300	ACH Enabled: No
Vendor:REED 2558229	Reed Business Information 2004 Overlay Ad Check Total:	122.24 122.24	04/20/2004	Check Sequence: 25 101-410-1320-43510	ACH Enabled: No
Vendor:Rivertwn 50035963	River Town Newspaper Parks-Part Time Seasonal Ad Check Total:	33.00 33.00	04/20/2004	Check Sequence: 26 101-410-1320-43510	ACH Enabled: No
Vendor:RUD	DianePrince-Rud Cleaning-City Hall Cleaning-Fire Hall Check Total:	240.00 240.00 480.00	04/20/2004 04/20/2004	Check Sequence: 27 101-410-1940-44010 101-410-1940-44010	ACH Enabled: No
Vendor:SAATELLIT 24180607	Satellite Shelters, Inc. Satellite Office Rental-April Check Total:	319.50 319.50	04/20/2004	Check Sequence: 28 101-420-2400-44120	ACH Enabled: No
Vendor:STILLGAZ 00003204 00003216 00003218	Stillwater Gazette Legal Publish-Overlay Legal Publish-Development Ord. Publish Check Total:	84.00 50.40 31.50 165.90	04/20/2004 04/20/2004 04/20/2004	Check Sequence: 29 101-410-1320-43510 101-410-1320-43510 101-410-1320-43510	ACH Enabled: No
Vendor:TASCH 32521	T.A. Schifsky & Sons Winter Asphalt Mix Check Total:	69.01 69.01	04/20/2004	Check Sequence: 30 101-430-3100-42240	ACH Enabled: No
Vendor:TKDA 066701 066702 066703 066703 066703 066703 066703	TKDA, Inc. Well and Booster Pump Facility 50th Street Overlay	1,687.65 202.96 608.85 717.83 1,425.46 50.74 304.43	04/20/2004 04/20/2004 04/20/2004 04/20/2004 04/20/2004 04/20/2004 04/20/2004	Check Sequence: 31 410-480-8000-43030 409-480-8000-43030 602-495-9450-43030 402-480-8000-43040 101-410-1930-43030 410-480-8000-43030 803-490-9070-43030	ACH Enabled: No

066703	507.38	04/20/2004	601-494-9400-43030	
066703	202.95	04/20/2004	603-496-9500-43030	
066703	1,116.23	04/20/2004	406-480-8000-43030	
066704	200.00	04/20/2004	101-410-1930-43030	
066711	2,314.33	04/20/2004	402-480-8000-43030	
066713	2,969.60	04/20/2004	409-480-8000-43030	
066726	258.65	04/20/2004	101-410-1930-43030	
066733	253.70	04/20/2004	603-496-9500-43030	
066734	299.00	04/20/2004	603-496-9500-43030	
066740	1,781.52	04/20/2004	311-470-7000-45300	
066741	5,712.10	04/20/2004	311-470-7000-45300	
066743	1,516.93	04/20/2004	101-410-1910-43012	
066764	4,326.73	04/20/2004	101-410-1910-43060	
066776	1,281.54	04/20/2004	409-480-8000-45300	
066777	1,777.77	04/20/2004	409-480-8000-43030	
066778	723.49	04/20/2004	409-480-8000-43030	
	30,239.84			

ACH Enabled: No

Check Sequence: 32
601-494-9400-43030

Twin City Water Clinic, Inc.
Water Analysis-March 04
Check Total:

Vendor: TWINCIT
125

ACH Enabled: No

Check Sequence: 33
101-410-1320-44300
101-410-1320-44300
602-495-9450-44370

Visa
4426720102009785-Annual Fee
Annual Fee 426720102009777
Training-Schaffel
Check Total:

Vendor: VISA

ACH Enabled: No

Check Sequence: 34
101-430-3100-44170

Wear Guard
Uniforms-Public Works
Check Total:

Vendor: WEARGUA
53453019-1

ACH Enabled: No

Check Sequence: 35
101-410-1110-44300

WILDWOOD LODGE
Reception for Admin candidates
Check Total:

Vendor: WILDWOOD
100416

ACH Enabled: No

Check Sequence: 36
101-450-5200-43810
101-430-3100-43810
101-430-3160-43810
101-410-1940-43810

Xcel Energy

Vendor: XCEL
0044445749089
0084044646088
0176825022088
0417949252088

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
0446544592088		20.80	04/20/2004	101-430-3160-43810	
0573240678088		227.11	04/20/2004	101-450-5200-43810	
0592147254089		7.39	04/20/2004	101-450-5200-43810	
0614943270088		28.09	04/20/2004	101-430-3160-43810	
0777146175088		7.41	04/20/2004	101-420-2220-43810	
1278842757089		430.28	04/20/2004	601-494-9400-43810	
1427822590089		45.32	04/20/2004	602-495-9450-43810	
1577643354088		389.12	04/20/2004	101-450-5200-43810	
1957348187088		14.40	04/20/2004	602-495-9450-43810	
2045967139090		504.06	04/20/2004	601-494-9400-43810	
2175049940088		182.37	04/20/2004	101-450-5200-43810	
2332806007092		1,356.43	04/20/2004	101-430-3160-43810	
	Check Total:	4,340.25			

Total for Check Run: 63,050.80
Total Number of Checks: 36

Suite 300
50 East Fifth Street
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PETERSON,
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Federal Tax ID #41-0991098

CITY OF LAKE ELMO
3800 LAVERNE AVENUE NORTH
LAKE ELMO MN 55042

Page: 1
03/31/2004
ACCOUNT NO: 11155M

	FEEES	EXPENSES	ADVANCES	BALANCE
11155-030003 LAKE ELMO VS. BODZIAK	30.00	0.00	0.00	\$30.00
11155-030004 LAKE ELMO VS. HILYAR	356.50	2.46	303.80	\$662.76
	<u>386.50</u>	<u>2.46</u>	<u>303.80</u>	<u>\$692.76</u>

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Page: 1
03/31/2004
11150M

CITY OF LAKE ELMO
3800 LAVERNE AVENUE NORTH
LAKE ELMO MN 55042

ACCOUNT NO:

	FEEES	EXPENSES	ADVANCES	BALANCE
11150-030005 PRAIRIE RIDGE OFFICE PARK PUD	77.00	0.00	0.00	\$77.00
11150-040004 WHISTLING VALLEY SECOND ADDITION	209.00	0.00	0.00	\$209.00
	<u>286.00</u>	<u>0.00</u>	<u>0.00</u>	<u>\$286.00</u>

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CITY OF LAKE ELMO
3800 Laverne Avenue North
Lake Elmo MN 55042

Page: 1
03/31/2004
ACCOUNT NO: 11140M

	FEEES	EXPENSES	ADVANCES	BALANCE
11140-030001 Misc Prosecutions	2,695.50	45.80	0.00	\$2,741.30
11140-030002 Tewinkel, Edwin Khomson Domestic Assault	0.00	0.00	0.00	\$0.00
11140-030004 Haider, Heather Lynn Gross Mis-false info to police, no MN DL, no license plate light	0.00	0.00	0.00	\$0.00
11140-030023 Hobbs, Candace Ann DAS, inattentive driving	0.00	0.00	0.00	\$0.00
11140-030046 Jarosch, Katherine L. 2nd degree DUI	0.00	0.00	0.00	\$0.00
11140-030066 Brama, Angela Ann 3rd degree DUI, 3rd degree .10	30.00	0.00	0.00	\$30.00
11140-030118 Toth, Bernard driving after suspension, no MN DL	0.00	0.00	0.00	\$0.00
11140-030147 Gibson, Nicole Nina 4th degree DUI	97.50	0.00	0.00	\$97.50

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CITY OF LAKE ELMO

Page: 2
03/31/2004
11140M

ACCOUNT NO:

	FEES	EXPENSES	ADVANCES	BALANCE
11140-030149 Bond, Nathan Tyler assault	0.00	0.00	0.00	\$0.00
11140-030160 Sullivan, Ricky Lee GM-false info to police	0.00	0.00	0.00	\$0.00
11140-030170 Kuehn, James	255.00	0.00	0.00	\$255.00
11140-030171 Wright Jr. David L. interfere with 911 call, 5th degree assault	0.00	0.00	0.00	\$0.00
11140-030187 Schmidt. Robert M. reckless driving	45.00	0.00	0.00	\$45.00
11140-030188 Hoff, Violet disorderly conduct	0.00	0.00	0.00	\$0.00
11140-030191 Olson, Douglas Emmanuel domestic assault	30.00	0.00	0.00	\$30.00
11140-030197 Lijewski, Andrew DUI	442.50	0.00	0.00	\$442.50
11140-030218 Lemmenes, Daniel James 3rd degree DUI	0.00	0.00	0.00	\$0.00

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CITY OF LAKE ELMO

Page: 3
03/31/2004
11140M

ACCOUNT NO:

	FEES	EXPENSES	ADVANCES	BALANCE
11140-030220 Ramsey, Clayton Scott DAC, no insurance, no proof of insurance, fail to display current registration	0.00	0.00	0.00	\$0.00
11140-030223 Hanson, Mark Steven fail to display current regist. no proof of insurance	0.00	0.00	0.00	\$0.00
11140-030229 Aulwes, Jeffrey Driving after revocation	0.00	0.00	0.00	\$0.00
11140-030234 Saldwar, Jony Uriel Avila DAS, no child restraint	0.00	0.00	0.00	\$0.00
11140-030239 Lheureux, Richard Louis GM-false info to police, no ins.	5.00	0.00	0.00	\$5.00
11140-030240 Dennis, Jeffrey Richard GM-false info to police	0.00	0.00	0.00	\$0.00
11140-040001 Huseby, Ryan Allen no mn dl, no proof of ins.	0.00	0.00	0.00	\$0.00
11140-040004 Hyland, Myles Joel revoked plated, small amount of marijuana in motor vehicle	0.00	0.00	0.00	\$0.00
11140-040006 Warnock, Gregory Scott 5th degree domestic assault	45.00	0.00	0.00	\$45.00

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CITY OF LAKE ELMO

ACCOUNT NO:

	FEEES	EXPENSES	ADVANCES	BALANCE
11140-040010 Brown, Deborah DAS	0.00	0.00	0.00	\$0.00
11140-040020 Foster, Daniel Stephen no proof of insurance, no dl in possession	0.00	0.00	0.00	\$0.00
11140-040023 Lheureux, Richard Louis GM-false info to police	5.00	1.61	0.00	\$6.61
11140-040025 Flaig, Matthew James DAR	0.00	0.00	0.00	\$0.00
11140-040026 Matrinez, Edgar Arturo speed 83/65	0.00	0.00	0.00	\$0.00
11140-040027 Albor, Ricardo S. no proof insurance, fail to trans- fer title	0.00	0.00	0.00	\$0.00
11140-040030 Dalbec, Evelyn Jean trespassing	0.00	0.00	0.00	\$0.00
11140-040031 Niedermayer, Scott DAR	5.00	1.61	0.00	\$6.61
11140-040032 Langseth, Cindy Lee domestic assault	10.00	1.61	0.00	\$11.61

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CITY OF LAKE ELMO

ACCOUNT NO:

	FEES	EXPENSES	ADVANCES	BALANCE
11140-040040 Pishko, Michele Marie littering on highway	5.00	0.00	0.00	\$5.00
11140-040041 Ensrud, Scott David DAC, no insurance, possession of drug paraphenilia	15.00	0.00	0.00	\$15.00
11140-040042 Greeley, Randy Cooper DAR	10.00	1.61	0.00	\$11.61
11140-040043 Hallis, Joanne Marie DAS, revoked plates	5.00	0.00	0.00	\$5.00
11140-040044 Vasquez, Roberto no insurance, speed	5.00	0.00	0.00	\$5.00
11140-040045 Taylor, Lindsey Miranda 3rd degree DUI, speed, possession of drug paraphenilia, small amt of marijuana	67.50	0.00	0.00	\$67.50
11140-040046 Hahne, Jamew Newton GM-false info to police	67.50	0.00	0.00	\$67.50
11140-040047 Rowland, Jane Ellen GM-school bus arm violation	67.50	0.00	0.00	\$67.50
11140-040048 Carlton, Brandon Jeremy DAR	5.00	0.00	0.00	\$5.00

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Page: 6
03/31/2004
11140M

CITY OF LAKE ELMO

ACCOUNT NO:

	FEEES	EXPENSES	ADVANCES	BALANCE
11140-040049 Cabalier, Bradley speed 67/50, no DL	5.00	0.00	0.00	\$5.00
11140-040050 White, Jonathan James domestic assault	15.00	0.00	30.00	\$45.00
11140-040051 Post, Daniel Christopher DAS	5.00	0.00	0.00	\$5.00
11140-040052 Simonton, William James Christian 3rd degree DUI	112.50	0.00	0.00	\$112.50
11140-040053 Feely, Eric Patrick DAS	5.00	0.00	0.00	\$5.00
11140-040054 Garcia, Ignacio No MN DL	5.00	0.00	0.00	\$5.00
11140-040055 Poppo, Christopher Michael inattentive driving	5.00	0.00	0.00	\$5.00
11140-040056 Law, Richard L.	5.00	0.00	0.00	\$5.00
11140-040057 Schultz, Joshua 3rd degree DUI, test refusal	67.50	0.00	0.00	\$67.50
11140-040058 Vang, Cheng Johnny school bus arm violation	5.00	0.00	0.00	\$5.00

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CITY OF LAKE ELMO

ACCOUNT NO:

	FEES	EXPENSES	ADVANCES	BALANCE
11140-040059 Olafson, James J. DOC	10.00	0.00	0.00	\$10.00
11140-040060 Luger, Tyson DAR, no insurance	15.00	0.00	0.00	\$15.00
11140-040061 Fuentes-Moncada, Luis E. GM-DAC-IPS	60.00	0.00	0.00	\$60.00
11140-040062 Schmidt, Lance Nicholas Theft by check	92.50	0.00	0.00	\$92.50
11140-040063 Garland, Jason Lee 3rd degree DUI	67.50	0.00	0.00	\$67.50
11140-040064 Culbertson, Kirby theft by check	70.00	0.00	0.00	\$70.00
11140-040065 Mackey, Paul Joseph GM-DAC, Gm-false info to police	52.50	0.00	0.00	\$52.50
11140-040066 Jensen, Chyenne V. DAS	5.00	0.00	0.00	\$5.00
11140-040067 Ampey, Paul Frederick DAS	5.00	0.00	0.00	\$5.00
11140-040068 Skelton, Robert Gerard DAS	5.00	0.00	0.00	\$5.00

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CITY OF LAKE ELMO

Page: 8
03/31/2004
ACCOUNT NO: 11140M

	FEEES	EXPENSES	ADVANCES	BALANCE
11140-040069 Lange, George Sahlman GM-school bus arm violation	35.00	0.00	0.00	\$35.00
11140-040070 Isaacson, Joshua B. assault, domestic assault	35.00	0.00	0.00	\$35.00
11140-040071 Billing, Nicholas E. assault	35.00	0.00	0.00	\$35.00
11140-040072 Conterras, Luis Enrique Tapia no insurance, open bottle	5.00	0.00	0.00	\$5.00
11140-040073 Vasil, Eric Jay no MN DL, no insurance	5.00	0.00	0.00	\$5.00
11140-040074 Friedrich, Andrea Mary 4th degree DUI, unsafe change of course	10.00	0.00	0.00	\$10.00
11140-040075 King, Brandon John DAR	5.00	0.00	0.00	\$5.00
11140-040076 Hulbert, Martin J. DAR	5.00	0.00	0.00	\$5.00
11140-040077 O'Brien, Darby Mitchell Sr. DAR, no proof of insurance	5.00	0.00	0.00	\$5.00

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Federal Tax ID #41-0991098

CITY OF LAKE ELMO

Page: 9
03/31/2004
11140M

ACCOUNT NO:

	FEE'S	EXPENSES	ADVANCES	BALANCE
11140-040078 Schmidt, Lance Nicholas theft by check	5.00	0.00	0.00	\$5.00
11140-040079 Haley, Daniel Lee DAR	10.00	0.00	0.00	\$10.00
	<u>4,680.50</u>	<u>52.24</u>	<u>30.00</u>	<u>\$4,762.74</u>

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Suite 300
50 East Fifth Street
St. Paul, MN 55101-1197

PETERSON
FRAMBERGMAN
PROFESSIONAL ASSOCIATION

(651) 291-8955
(651) 228-1753 facsimile
Federal Tax ID #41-0991098

Page: 1
03/31/2004
11135M

CITY OF LAKE ELMO
3800 Laverne Avenue North
Lake Elmo MN 55042

ACCOUNT NO:

	FEEES	EXPENSES	ADVANCES	BALANCE
11135-000008 Comp. Plan Update 2000-2020	99.00	0.00	0.00	\$99.00
11135-030008 SIMICH FENCE	264.00	1.61	0.00	\$265.61
11135-030009 CONROY SEWER	33.00	0.00	0.00	\$33.00
11135-040001 PURCHASE OF BROOKFIELD BUILDING	88.00	0.00	0.00	\$88.00
11135-040003 MANNING TRAIL ANNEXATION	209.00	0.00	0.00	\$209.00
11135-040004 NORTHERN NATURAL GAS - PIPELINE	341.00	9.74	0.00	\$350.74
11135-920001 Administration	1,674.00	2.57	0.00	\$1,676.57
	<u>2,708.00</u>	<u>13.92</u>	<u>0.00</u>	<u>\$2,721.92</u>

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Page: 1

03/31/2004

CITY OF LAKE ELMO
3800 Laverne Avenue North
Lake Elmo MN 55042

ACCOUNT NO: 11135-000008M
STATEMENT NO: 19

Comp. Plan Update 2000-2020

	HOURS	
03/29/04 JPF Review Supreme Ct brief; tele Nowlin.	0.90	99.00
Jerome P. Filla	0.90	99.00
FOR CURRENT SERVICES RENDERED	0.90	99.00
TOTAL CURRENT WORK		99.00
BALANCE DUE		<u>99.00</u>

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Page: 1

03/31/2004

CITY OF LAKE ELMO
3800 LAVERNE AVENUE NORTH
LAKE ELMO MN 55042

ACCOUNT NO: 11135-030008M
STATEMENT NO: 3

SIMICH FENCE

	HOURS	
03/10/04 JPF Legal research re: estoppel; city records; tele bldg insp; corr adm re: city financial exposure.	1.80	198.00
03/11/04 JPF Telephone conference with adm re: status; revise corr.	0.30	33.00
03/31/04 JPF Review adm memo; reply.	0.30	33.00
Jerome P. Filla	2.40	264.00
FOR CURRENT SERVICES RENDERED	2.40	264.00
Fax Charge - Local		1.50
TOTAL EXPENSES THRU 03/31/04		1.50
SALES TAX ON EXPENSES		0.11
TOTAL CURRENT WORK		265.61
BALANCE DUE		<u>\$265.61</u>

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CITY OF LAKE ELMO
3800 LAVERNE AVENUE NORTH
LAKE ELMO MN 55042

Page: 1
03/31/2004
ACCOUNT NO: 11135-030009M
STATEMENT NO: 5

CONROY SEWER

	HOURS	
03/31/04 JPF Telephone conference with Atty Pecchia re: status.	0.30	33.00
Jerome P. Filla	0.30	33.00
FOR CURRENT SERVICES RENDERED	0.30	33.00
TOTAL CURRENT WORK		33.00
BALANCE DUE		<u>\$33.00</u>

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CITY OF LAKE ELMO
3800 LAVERNE AVENUE NORTH
LAKE ELMO MN 55042

Page: 1
03/31/2004
ACCOUNT NO: 11135-040001M
STATEMENT NO: 3

PURCHASE OF BROOKFIELD BUILDING

	HOURS	
03/05/04 JPF Review Renne appraisal of Brookfield Bldg.	0.80	88.00
Jerome P. Filla	0.80	88.00
FOR CURRENT SERVICES RENDERED	0.80	88.00
TOTAL CURRENT WORK		88.00
BALANCE DUE		<u>\$88.00</u>

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CITY OF LAKE ELMO
3800 LAVERNE AVENUE NORTH
LAKE ELMO MN 55042

Page: 1
03/31/2004
ACCOUNT NO: 1.1135-040003M
STATEMENT NO: 1

MANNING TRAIL ANNEXATION

	HOURS	
03/15/04 JPF Telephone conference with Bd of Bdry Adj re: Manning Ave r/w.	0.30	33.00
03/30/04 JPF Draft joint resolution for city and township; tele Dept of adm; corr TKDA.	1.10	121.00
03/31/04 JPF Revise JT resol; corr to Muni Bd.	0.50	55.00
Jerome P. Filla	1.90	209.00
FOR CURRENT SERVICES RENDERED	1.90	209.00
TOTAL CURRENT WORK		209.00
BALANCE DUE		<u>\$209.00</u>

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Page: 1
03/31/2004
ACCOUNT NO: 11.135-040004M
STATEMENT NO: 1

NORTHERN NATURAL GAS - PIPELINE

	HOURS	
03/11/04 JPF Telephone conference with adm and Atty Moe re: NN Gas Tank and bldg.	0.40	44.00
JPF Legal research re: preemption pf federal regs over state-local regs for natural gas dep lines.	1.30	143.00
03/14/04 JPF Letter to adm re: fed preemption.	0.40	44.00
Jerome P. Filla	2.10	231.00
03/26/04 JMM Telephone conference with Chuck; call and draft letter to Pete Moe; related matters; complete letter & review of case.	1.00	110.00
John Michael Miller	1.00	110.00
FOR CURRENT SERVICES RENDERED	3.10	341.00
Photocopies		4.60
Fax Charge - Local		4.50
TOTAL EXPENSES THRU 03/31/04		9.10
SALES TAX ON EXPENSES		0.64
TOTAL CURRENT WORK		350.74
BALANCE DUE		\$350.74

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CITY OF LAKE ELMO
3800 Laverne Avenue North
Lake Elmo MN 55042

Page: 1
03/31/2004
ACCOUNT NO: 11135-920001M
STATEMENT NO: 147

Administration

	HOURS	
03/01/04 JPF Telephone conference with clerk re: council agenda; rev Simich fence; prairie office; prairie hamlet waste hazard; annex regs; prep for meeting.	0.90	99.00
JPF Attend council meeting.	2.10	231.00
03/03/04 JPF Telephone conference with Fin Dir; atty Atcheson re: Bonin work comp claim; and re: request on Sachs case.	0.40	44.00
03/04/04 JPF Telephone conference with atty Moe, bldg insp., eng re: proposed N. Natural Gas Tank and structure fields of St. Croix.	0.40	44.00
03/09/04 JPF Telephone conference with T. Botholet re: surface water utility billing.	0.30	33.00
JPF Letter to auditor re: pending litigation.	0.60	57.00
03/11/04 JPF Telephone conference with Adm re: utility inspection mfg Hm Park; rev regs; clerk re: waste water treatment systems location; rev city regs.	0.80	88.00
03/14/04 JPF Review council agenda; PC agenda; Minn regs re: agenda items.	0.60	66.00
JPF Review proposed land dev ordinance.	4.10	451.00
JPF Legal research re: regs re: destruction of public records.	0.40	44.00
03/15/04 JPF Telephone conference with adm, clerk re: council agenda items; retention of public records; bldg inspec re: same.	0.60	66.00
03/16/04 JPF Prepare for and attend council meeting.	3.10	341.00
JPF Legal research re: records retention; destruction.	0.60	66.00

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CITY OF LAKE ELMO

Page: 2

03/31/2004

ACCOUNT NO: 11135-920001M

STATEMENT NO: 147

Administration

	HOURS	
03/17/04 JPF Telephone conference with T. Bouthlet re: personal records; release stds.	0.40	44.00
Jerome P. Filla	15.30	1,674.00
John Michael Miller	0.40	0.00
FOR CURRENT SERVICES RENDERED	15.70	1,674.00
Photocopies		0.90
Fax Charge - Local		1.50
TOTAL EXPENSES THRU 03/31/04		2.40
SALES TAX ON EXPENSES		0.17
TOTAL CURRENT WORK		1,676.57
BALANCE DUE		<u>\$1,676.57</u>

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Monthly Operating Review

51

As of 4/15/2004 (Periods 1-4)

Description	2004		2004 Balance	Comments
	Budget	Per Range Amt		
Mayor & Council				
Part-time Salaries	\$12,100.00	\$0.00	\$12,100.00	
FICA Contributions	\$750.00	\$139.50	\$610.50	
Medicare Contributions	\$176.00	\$32.61	\$143.39	
Travel Expense	\$450.00	\$0.00	\$450.00	
Miscellaneous	\$4,000.00	\$13,012.43	-\$9,012.43	Administrator Search-Brimeyer Group - \$ 12,684
Dues & Subscriptions	\$5,500.00	\$2,477.00	\$3,023.00	Assoc. of Metro. Municipalities Dues - \$ 2422.00, Human Rights - \$ 55.00
Conferences & Training	\$5,000.00	\$0.00	\$5,000.00	
Sub Total	\$27,976.00	\$15,661.54	\$12,314.46	
Administration				
Full-time Salaries	\$124,020.00	\$31,256.67	\$92,763.33	
PERA Contributions	\$6,858.00	\$1,212.22	\$5,645.78	
FICA Contributions	\$7,689.00	\$1,805.07	\$5,883.93	
Medicare Contributions	\$1,798.00	\$422.22	\$1,375.78	
Health/Dental Insurance	\$21,834.00	\$4,057.35	\$17,776.65	
Workers Compensation	\$1,688.00	\$0.00	\$1,688.00	
Office Supplies	\$7,000.00	\$1,224.78	\$5,775.22	
Printed Forms	\$800.00	\$0.00	\$800.00	
Newsletter/Website	\$14,000.00	\$2,252.77	\$11,747.23	
Postage	\$9,500.00	\$2,664.44	\$6,835.56	
Travel Expense	\$1,500.00	\$108.00	\$1,392.00	
Legal Publishing	\$6,000.00	\$937.88	\$5,062.12	
Insurance	\$27,360.00	\$29,581.00	-\$2,221.00	Annual Premiums Paid
Miscellaneous	\$6,000.00	\$2,284.20	\$3,715.80	
Dues & Subscriptions	\$1,500.00	\$1,200.00	\$300.00	
Books	\$500.00	\$0.00	\$500.00	
Conferences & Training	\$2,500.00	\$20.00	\$2,480.00	
Transfer Out	\$70,500.00	\$0.00	\$70,500.00	
Sub Total	\$311,047.00	\$79,026.60	\$232,020.40	
Elections				
Part-time Salaries	\$7,000.00	\$0.00	\$7,000.00	
Office Supplies	\$100.00	\$0.00	\$100.00	
Printed Forms	\$300.00	\$0.00	\$300.00	
Travel Expense	\$50.00	\$0.00	\$50.00	
Miscellaneous	\$800.00	\$340.00	\$460.00	
Sub Total	\$8,250.00	\$340.00	\$7,910.00	

Description	2004 Budget	2004 Per Range Amt	2004 Balance	Comments
Finance				
Full-time Salaries	\$41,432.00	\$6,815.56	\$34,616.44	
PERA Contributions	\$2,569.00	\$352.78	\$2,216.22	
FICA Contributions	\$2,291.00	\$422.81	\$1,868.19	
Medicare Contributions	\$601.00	\$98.87	\$502.13	
Health/Dental Insurance	\$7,318.00	\$691.34	\$6,626.66	
Office Supplies	\$800.00	\$0.00	\$800.00	
Printed Forms	\$1,000.00	\$0.00	\$1,000.00	
Software Support	\$4,000.00	\$350.00	\$3,650.00	
Hardware Support	\$2,000.00	\$0.00	\$2,000.00	
Software Programs	\$3,000.00	\$500.00	\$2,500.00	
Travel Expense	\$1,000.00	\$4.00	\$996.00	
Miscellaneous	\$200.00	\$70.00	\$130.00	
Books	\$200.00	\$0.00	\$200.00	
Conferences & Training	\$1,000.00	\$20.00	\$980.00	
Sub Total	\$67,411.00	\$9,325.36	\$58,085.64	
Accounting Services	\$24,000.00	\$12,590.28	\$11,409.72	2003 Annual City Audit
Assessing Services	\$35,000.00	\$5,100.00	\$29,900.00	
Legal Services				
City Attorney - Civil	\$15,000.00	\$8,602.46	\$6,397.54	
Civil Attorney - Criminal	\$45,000.00	\$10,157.45	\$34,842.55	
Sub Total	\$60,000.00	\$18,759.91	\$41,240.09	
Planning & Zoning				
Full-time Salaries	\$75,586.00	\$20,031.54	\$55,554.46	
PERA Contributions	\$4,180.00	\$1,508.19	\$2,671.81	
FICA Contributions	\$4,686.00	\$1,251.20	\$3,434.80	
Medicare Contributions	\$1,096.00	\$292.61	\$803.39	
Health/Dental Insurance	\$11,686.00	\$2,297.27	\$9,388.73	
Workers Compensation	\$847.00	\$0.00	\$847.00	
Office Supplies	\$500.00	\$36.75	\$463.25	
Printed Forms	\$500.00	\$0.00	\$500.00	
Zoning Ordinance Dev - CDBG	\$0.00	\$4,347.31	-\$4,347.31	Expense will be offset by Revenue Funds
Cimarron Study - CDBG	\$10,000.00	\$0.00	\$10,000.00	
Comprehensive Planning	\$10,000.00	\$0.00	\$10,000.00	
Engineering Services	\$2,500.00	\$7,138.50	-\$4,638.50	Account Code Misclassification - Total Expense S/B in Old Village Tax Abatement
Legal Services	\$1,000.00	\$0.00	\$1,000.00	
Old Village Tax Abatement	\$73,148.00	\$13,365.75	\$59,782.25	
Travel Expense	\$2,000.00	\$148.00	\$1,852.00	
Miscellaneous	\$200.00	\$0.00	\$200.00	
Dues & Subscriptions	\$500.00	\$115.00	\$385.00	
Books	\$200.00	\$0.00	\$200.00	
Conferences & Training	\$2,500.00	\$595.00	\$1,905.00	
Sub Total	\$201,129.00	\$51,127.12	\$150,001.88	

Description	2004 Budget	2004 Per Range Amt	2004 Balance	Comments
Engineering Services	\$26,000.00	\$3,483.07	\$22,516.93	
Attorney Fees	\$100,000.00	\$23,955.77	\$76,044.23	
Gov't Buildings				
Cleaning Supplies	\$500.00	\$26.92	\$473.08	
Building Repair Supplies	\$500.00	\$85.62	\$414.38	
Telephone	\$6,500.00	\$1,041.24	\$5,458.76	
Electric Utility	\$5,000.00	\$1,749.63	\$3,250.37	
Refuse	\$2,040.00	\$287.67	\$1,752.33	
Repairs/Maint Contractual Bldg	\$8,000.00	\$3,344.06	\$4,655.94	
Repairs/Maint Contractual Eqpt	\$6,000.00	\$1,622.28	\$4,377.72	
Miscellaneous	\$400.00	\$155.91	\$244.09	
Sub Total	\$28,940.00	\$8,313.33	\$20,626.67	
Law Enforcement				
Law Enforcement Contract	\$322,000.00	\$157,791.08	\$164,208.92	
Transfer Out	\$15,000.00	\$0.00	\$15,000.00	
Sub Total	\$337,000.00	\$157,791.08	\$179,208.92	
Fire				
Full-time Salaries	\$17,434.00	\$2,723.90	\$14,710.10	
Part-time Salaries	\$93,850.00	\$43,746.34	\$50,103.66	Includes 2003 Annual Officer & Pager Compensation Pay
PERA Contributions	\$964.00	\$147.61	\$816.39	
FICA Contributions	\$5,583.00	\$2,881.11	\$2,701.89	
Medicare Contributions	\$1,306.00	\$673.85	\$632.15	
Health/Dental Insurance	\$3,127.00	\$345.73	\$2,781.27	
Workers Compensation	\$2,469.00	\$0.00	\$2,469.00	
Office Supplies	\$1,500.00	\$0.00	\$1,500.00	
Printed Forms	\$750.00	\$0.00	\$750.00	
EMS Supplies	\$2,000.00	\$0.00	\$2,000.00	
Fire Prevention	\$4,000.00	\$0.00	\$4,000.00	
Fuel	\$4,500.00	\$412.02	\$4,087.98	
Equipment Parts	\$0.00	\$282.02	-\$282.02	Misc Parts purchased direct i.e. lights
Building Repair Supplies	\$1,000.00	\$13.61	\$986.39	
Small Tools & Equipment	\$1,200.00	\$0.00	\$1,200.00	
Physicals	\$2,000.00	\$2,123.00	-\$123.00	
Telephone	\$4,600.00	\$791.36	\$3,808.64	
Radio	\$7,500.00	\$97.40	\$7,402.60	
Travel Expense	\$2,000.00	\$798.90	\$1,201.10	
Vehicle Insurance	\$11,792.00	\$12,908.00	-\$1,116.00	Annual Premiums Paid
Electric Utility	\$4,400.00	\$2,456.06	\$1,943.94	
Repairs/Maint Contractual Bldg	\$7,000.00	\$1,560.00	\$5,440.00	
Repairs/Maint Contractual Eqpt	\$23,000.00	\$1,078.60	\$21,921.40	

Description	2004		2004		2004		Comments
	Budget	Per Range Amt	Per Range Amt	Balance	Balance		
Rentals - Building	\$1,080.00		\$270.00	\$810.00			
Uniforms	\$9,500.00		\$1,940.03	\$7,559.97			
Miscellaneous	\$1,300.00		\$105.08	\$1,194.92			
Dues & Subscriptions	\$2,300.00		\$513.45	\$1,786.55			
Books	\$200.00		\$0.00	\$200.00			
Conferences & Training	\$15,000.00		\$3,130.00	\$11,870.00			
Pension Contribution	\$41,000.00		\$0.00	\$41,000.00			
Fire State Aid	\$25,000.00		\$0.00	\$25,000.00			
Equipment	\$10,000.00		\$233.85	\$9,766.15			
Transfer Out	\$60,000.00		\$0.00	\$60,000.00			
Sub Total	\$367,355.00		\$79,231.92	\$288,123.08			
Building Department							
Full-time Salaries	\$113,365.00		\$32,594.06	\$80,770.94			
PERA Contributions	\$6,292.00		\$1,652.08	\$4,639.92			
FICA Contributions	\$7,029.00		\$2,025.78	\$5,003.22			
Medicare Contributions	\$1,644.00		\$473.78	\$1,170.22			
Health/Dental Insurance	\$23,588.00		\$5,310.04	\$18,277.96			
Workers Compensation	\$616.00		\$0.00	\$616.00			
Office Supplies	\$1,000.00		\$370.62	\$629.38			
Printed Forms	\$1,500.00		\$0.00	\$1,500.00			
Fuel	\$3,000.00		\$102.13	\$2,897.87			
Engineer Serv Utility Permits	\$3,000.00		\$0.00	\$3,000.00			
Plan Review Charges	\$5,000.00		\$0.00	\$5,000.00			
Surcharge Payments	\$13,500.00		\$0.00	\$13,500.00			
Telephone	\$0.00		\$424.33	-\$424.33			Cell Phones
Travel Expense	\$1,000.00		\$80.00	\$920.00			
Insurance	\$877.00		\$872.00	\$5.00			
Repairs/Maint Contractual Eqpt	\$500.00		\$468.28	\$31.72			
Rentals - Building	\$4,000.00		\$1,278.00	\$2,722.00			
Uniforms	\$600.00		\$87.16	\$512.84			
Miscellaneous	\$200.00		\$29.00	\$171.00			
Dues & Subscriptions	\$300.00		\$405.00	-\$105.00			
Books	\$300.00		\$0.00	\$300.00			
Conferences & Training	\$2,500.00		\$275.00	\$2,225.00			
Transfer Out	\$5,000.00		\$0.00	\$5,000.00			
Sub Total	\$194,811.00		\$46,447.26	\$148,363.74			
Civil Defense	\$9,000.00		\$0.00	\$9,000.00			
Animal Control							
Printed Forms	\$500.00		\$0.00	\$500.00			
Contract Services	\$5,600.00		\$1,851.80	\$3,748.20			
Impounding	\$6,000.00		\$0.00	\$6,000.00			
Miscellaneous	\$400.00		\$0.00	\$400.00			
Sub Total	\$12,500.00		\$1,851.80	\$10,648.20			

Description	2004 Budget	2004 Per Range Amt	2004 Balance	Comments
Public Works				
Full-time Salaries	\$106,087.00	\$27,298.97	\$78,788.03	
Part-time Salaries	\$0.00	\$900.00	-\$900.00	
PERA Contributions	\$5,867.00	\$1,404.98	\$4,462.02	
FICA Contributions	\$6,577.00	\$1,748.33	\$4,828.67	
Medicare Contributions	\$1,538.00	\$408.88	\$1,129.12	
Health/Dental Insurance	\$24,607.00	\$3,710.60	\$20,896.40	
Workers Compensation	\$3,773.00	\$0.00	\$3,773.00	
Office Supplies	\$300.00	\$0.00	\$300.00	
Fuel	\$8,500.00	\$4,406.60	\$4,093.40	
Shop Materials	\$2,500.00	\$534.56	\$1,965.44	
Equipment Parts	\$10,000.00	\$1,713.94	\$8,286.06	
Building Repair Supplies	\$1,000.00	\$532.87	\$467.13	
Street Maintenance Materials	\$22,500.00	\$168.21	\$22,331.79	
Landscaping Materials	\$2,500.00	\$0.00	\$2,500.00	
Sign Repair Materials	\$4,000.00	\$376.21	\$3,623.79	
Sand/Salt	\$20,000.00	\$4,808.16	\$15,191.84	
Small Tools & Minor Equipment	\$1,500.00	\$389.52	\$1,110.48	
Engineering Services	\$2,000.00	\$0.00	\$2,000.00	
Contract Services	\$22,500.00	\$6,490.00	\$16,010.00	
Telephone	\$3,750.00	\$557.10	\$3,192.90	
Radio	\$200.00	\$0.00	\$200.00	
Travel Expense	\$500.00	\$0.00	\$500.00	
Insurance	\$11,265.00	\$13,603.00	-\$2,338.00	Annual Premiums Paid
Electric Utility	\$6,500.00	\$1,871.04	\$4,628.96	
Refuse	\$250.00	\$287.67	-\$37.67	
Repairs/Maint Contractual Bldg	\$2,000.00	\$412.00	\$1,588.00	
Repairs/Maint Imp Not Bldgs	\$1,500.00	\$1,551.94	-\$51.94	Account Code Misclassification-S/B \$1049 to Water 392.00 to Contract Services
Repairs/Maint Contractual Eqpt	\$4,500.00	\$3,410.93	\$1,089.07	Springs Replaced - Public Works Truck - \$1935.00
Rentals - Buildings	\$1,500.00	\$0.00	\$1,500.00	
Uniforms	\$900.00	\$695.62	\$204.38	
Miscellaneous	\$2,000.00	\$677.91	\$1,322.09	
Dues & Subscriptions	\$500.00	\$0.00	\$500.00	
Conferences & Training	\$500.00	\$0.00	\$500.00	
Clean-up Days	\$9,500.00	\$50.00	\$9,450.00	
Other Equipment	\$12,250.00	\$0.00	\$12,250.00	
Transfer Out	\$78,693.00	\$0.00	\$78,693.00	
Sub Total	\$382,057.00	\$78,009.04	\$304,047.96	
Street Lighting	\$16,800.00	\$4,959.80	\$11,840.20	

Description	2004		2004		2004 Balance	Comments
	Budget	Per Range Amt	Per Range Amt	Balance		
Sanitation						
Recycling Supplies	\$6,000.00		\$0.00		\$6,000.00	
Newsletter	\$5,000.00		\$0.00		\$5,000.00	
Miscellaneous	\$7,100.00		\$0.00		\$7,100.00	
Sub Total	\$18,100.00		\$0.00		\$18,100.00	
Parks						
Full-time Salaries	\$58,215.00		\$13,380.16		\$44,834.84	
Part-time Salaries	\$23,550.00		\$2,653.44		\$20,896.56	
PERA Contributions	\$3,219.00		\$836.41		\$2,382.59	
FICA Contributions	\$5,069.00		\$995.32		\$4,073.68	
Medicare Contributions	\$1,186.00		\$232.82		\$953.18	
Health/Dental Insurance	\$9,916.00		\$1,306.41		\$8,609.59	
Workers Compensation	\$2,819.00		\$0.00		\$2,819.00	
Office Supplies	\$250.00		\$0.00		\$250.00	
Fuel	\$2,200.00		\$147.77		\$2,052.23	
Shop Materials	\$1,000.00		\$105.96		\$894.04	
Chemicals	\$500.00		\$0.00		\$500.00	
Equipment Parts	\$4,000.00		\$536.77		\$3,463.23	
Building Repair Supplies	\$1,000.00		\$38.51		\$961.49	
Landscaping Materials	\$10,000.00		\$0.00		\$10,000.00	
Small Tools & Minor Equipment	\$1,000.00		\$6.16		\$993.84	
Telephone	\$1,500.00		\$292.24		\$1,207.76	
Travel Expense	\$0.00		\$20.00		-\$20.00	
Insurance	\$2,900.00		\$3,084.00		-\$184.00	Annual Premiums Paid
Electric Utility	\$6,050.00		\$2,290.63		\$3,759.37	
Refuse	\$2,400.00		\$551.88		\$1,848.12	
Repairs/Maint Contractual Bldg	\$2,000.00		\$799.00		\$1,201.00	
Repairs/Maint Imp Not Bldgs	\$5,000.00		\$0.00		\$5,000.00	
Repairs/Maint Contractual Eqpt	\$1,000.00		\$6.38		\$993.62	
Rentals - Buildings	\$2,500.00		\$210.78		\$2,289.22	
Uniforms	\$400.00		\$52.37		\$347.63	
Miscellaneous	\$100.00		\$128.00		-\$28.00	
Dues & Subscriptions	\$100.00		\$0.00		\$100.00	
Conferences & Training	\$400.00		\$0.00		\$400.00	
Transfer Out	\$16,500.00		\$0.00		\$16,500.00	
Sub Total	\$164,774.00		\$27,675.01		\$137,098.99	
General Fund Totals	\$2,392,150.00		\$623,648.89		\$1,768,501.11	

Description	2004		2004		2004 Balance	Comments
	Budget	Per Range Amt	Per Range Amt	Balance		
Water Enterprise Operating						
Full-time Salaries	\$61,939.00	\$19,098.87	\$19,098.87	\$42,840.13		
PERA Contributions	\$3,425.00	\$993.24	\$993.24	\$2,431.76		
FICA Contributions	\$3,840.00	\$1,186.11	\$1,186.11	\$2,653.89		
Medicare Contributions	\$898.00	\$277.36	\$277.36	\$620.64		
Health\Dental Insurance	\$9,171.00	\$2,235.83	\$2,235.83	\$6,935.17		
Workers Compensation	\$890.00	\$0.00	\$0.00	\$890.00		
Office Supplies	\$100.00	\$0.00	\$0.00	\$100.00		
Printed Forms	\$1,050.00	\$133.13	\$133.13	\$916.87		
Chemicals	\$2,000.00	\$0.00	\$0.00	\$2,000.00		
Utility System Maintenance	\$1,200.00	\$831.37	\$831.37	\$368.63		Water Main Clamps
Water Meters & Supplies	\$16,000.00	\$122.48	\$122.48	\$15,877.52		
Small Tools & Minor Equipment	\$197.00	\$0.00	\$0.00	\$197.00		
Engineering Services	\$2,500.00	\$2,142.81	\$2,142.81	\$357.19		
Software Support	\$4,000.00	\$379.00	\$379.00	\$3,621.00		
Telephone	\$2,000.00	\$320.33	\$320.33	\$1,679.67		
Postage	\$650.00	\$0.00	\$0.00	\$650.00		
Travel Expense	\$600.00	\$32.00	\$32.00	\$568.00		
Insurance	\$2,380.00	\$2,985.00	\$2,985.00	-\$605.00		
Electric Utility	\$12,000.00	\$2,908.41	\$2,908.41	\$9,091.59		
Water Utility	\$35,000.00	\$15,151.32	\$15,151.32	\$19,848.68		
Repairs\Maint Imp Not Bldgs	\$1,000.00	\$448.00	\$448.00	\$552.00		
Miscellaneous	\$5,000.00	\$623.00	\$623.00	\$4,377.00		
Conferences & Training	\$500.00	\$110.00	\$110.00	\$390.00		
Other Equipment	\$1,800.00	\$0.00	\$0.00	\$1,800.00		
Sub-Total	\$168,140.00	\$49,978.26	\$49,978.26	\$118,161.74		
Sewer Enterprise Operating						
Full-time Salaries	\$17,594.00	\$4,251.98	\$4,251.98	\$13,342.02		
PERA Contributions	\$973.00	\$221.00	\$221.00	\$752.00		
FICA Contributions	\$1,091.00	\$264.15	\$264.15	\$826.85		
Medicare Contributions	\$255.00	\$61.80	\$61.80	\$193.20		
Health\Dental Insurance	\$2,375.00	\$459.17	\$459.17	\$1,915.83		
Workers Compensation	\$328.00	\$0.00	\$0.00	\$328.00		
Utility System Maint Supplies	\$524.00	\$0.00	\$0.00	\$524.00		
Small Tools & Minor Equipment	\$200.00	\$0.00	\$0.00	\$200.00		
Engineering Services	\$1,500.00	\$710.33	\$710.33	\$789.67		
Telephone	\$1,150.00	\$350.35	\$350.35	\$799.65		
Travel Expense	\$0.00	\$8.00	\$8.00	-\$8.00		
Electric Utility	\$1,225.00	\$652.85	\$652.85	\$572.15		
Repairs\Maint Imp Not Bldgs	\$1,000.00	\$1,052.49	\$1,052.49	-\$52.49		
Conferences & Training	\$0.00	\$60.00	\$60.00	-\$60.00		
Sub-Total	\$28,215.00	\$8,092.12	\$8,092.12	\$20,122.88		

Description	2004	2004	2004	2004	Comments
	Budget	Per Range Amt	Balance		
Surface Water Utility Operating					
Full-time Salaries	\$24,751.00	\$0.00	\$24,751.00		
PERA Contributions	\$1,369.00	\$0.00	\$1,369.00		
FICA Contributions	\$1,535.00	\$0.00	\$1,535.00		Preparation to set-up new enterprise fund-to be transferred to Capital Account
Medicare Contributions	\$359.00	\$0.00	\$359.00		
Health/Dental Insurance	\$4,771.00	\$0.00	\$4,771.00		
Workers' Compensation	\$340.00	\$0.00	\$340.00		
Office Supplies	\$500.00	\$0.00	\$500.00		
Utility System Maint Supplies	\$2,162.00	\$0.00	\$2,162.00		
Small Tools & Minor Equipment	\$1,000.00	\$0.00	\$1,000.00		
Engineering Services	\$4,500.00	\$7,130.15	-\$2,630.15		
Erosion Control	\$2,100.00	\$0.00	\$2,100.00		
Software Support	\$1,000.00	\$4,050.00	-\$3,050.00		New Enterprise Accounting Set-up
Postage	\$1,576.00	\$0.00	\$1,576.00		
Contract Services	\$2,000.00	\$0.00	\$2,000.00		
Repairs/Maint Not Bidg	\$2,000.00	\$0.00	\$2,000.00		
Miscellaneous Expenses	\$0.00	\$348.26	-\$348.26		
Transfer Out	\$30,315.00	\$0.00	\$30,315.00		
Sub-Total	\$80,278.00	\$11,528.41	\$68,749.59		
Total Operating Enterprise	\$276,633.00	\$69,598.79	\$207,034.21		
Grand Total	\$2,668,783.00	\$693,247.68	\$1,975,535.32		

Summary Building Report

March 2004			Year to Date		
	Permits Issued	Valuation		Permits Issued	Valuation
New Residential	1	\$846,000.00	New Residential	2	1,082,500
New Commercial	0	\$0.00	New Commercial	0	0
Other Residential	15	\$208,305.00	Other Residential	38	471,929
Other Commercial	3	\$43,000.00	Other Commercial	13	391,783
Total	19	\$1,097,305.00	Total	53	1,946,212

Total Building Fees Collected \$12,777.53

Total Building Fees Collected \$27,565.92

Summary Plumbing Report

Summary Plumbing Report

Plumbing	6	\$44,001.00	Plumbing	19	126,301
Total Plumbing Fees Collected		\$453.00	Total Plumbing Fees Collected		\$1,413.75

Summary HVAC Report

Summary HVAC Report

HVAC	8	\$33,655.00	HVAC	29	124,400
Total HVAC Fees Collected		\$554.00	Total HVAC Fees Collected		\$1,868.25

Summary Grand Total Fees \$13,784.53

Summary Grand Total Fees \$30,847.92

Surcharge Fee Paid to State \$546.60
 SAC Fees Paid to Met Council
 WAC Fees Paid to Oakdale
 Misc. Expenses

Surcharge Fee Paid to State 976.2
 SAC Fees Paid to Met Council 0
 WAC Fees Paid to Oakdale 0
 Misc. Expenses 0

Total Fees Retained \$13,237.93

Total Fees Retained \$29,871.72

Credit Fees to Bldg \$13,237.93
 Credit Fees to Water
 Credit Fees to Sewer

Credit Fees to Bldg 29,871.72
 Credit Fees to Water 0.00
 Credit Fees to Sewer 0.00

City of Lake Elmo
Building Department

Building Permit Fees

March 01, 2004 Through March 31, 2004

Date	Permit #	Permit Fee	Surcharge	Plan Review	Other	Investigation	SAC Fee	Sewer Fee	WAC Fee	Meter	Sales Tax
3/2/2004	3954	\$0.00	\$0.00	\$0.00	\$75.50	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
3/3/2004	3955	\$75.00	\$0.50	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
3/4/2004	3956	\$50.00	\$0.50	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
3/4/2004	3957	\$79.40	\$1.10	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
3/4/2004	3959	\$97.25	\$1.69	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
3/9/2004	3962	\$111.25	\$2.50	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
3/9/2004	3963	\$923.75	\$45.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
3/10/2004	3964	\$125.25	\$3.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
3/10/2004	3965	\$4,877.25	\$423.00	\$3,170.21	\$126.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
3/11/2004	3966	\$195.25	\$5.25	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
3/11/2004	3967	\$321.25	\$10.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
3/16/2004	3968	\$181.25	\$5.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
3/16/2004	3969	\$321.25	\$10.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
3/17/2004	3971	\$462.45	\$16.00	\$300.27	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
3/25/2004	3975	\$442.25	\$15.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
3/29/2004	3976	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
3/30/2004	3977	\$44.85	\$0.56	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
3/30/2004	3980	\$251.25	\$7.50	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00

City of Lake Elmo
 Building Department

Building Permit Fees

March 01, 2004 Through March 31, 2004

Date	Permit #	Permit Fee	Surcharge	Plan Review	Other	Investigation	SAC Fee	Sewer Fee	WAC Fee	Meter	Sales Tax
Totals:		\$8,558.95	\$546.60	\$3,470.48	\$201.50	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Grand Total of Building Related Fees Collected:											\$12,777.53

Building Permit Detail Summary

March 01, 2004 Through March 31, 2004

Occupancy B							
Class Of Work:							
Permit #	Description of Work	Date Issued	Use of Building	Valuation			
3954	Sign	3/22/2004	Commercial	500			
Totals for Class Of Work:		Number of Permits = 1		Sum of Valuation =	500		
Class Of Work: Remodel							
Permit #	Description of Work	Date Issued	Use of Building	Valuation			
3971	Remodel	3/17/2004	Office Building	32,000			
Totals for Class Of Work:		Number of Permits = 1		Sum of Valuation =	32,000		
Class Of Work: B							
Occupancy M							
Class Of Work: Remodel							
Permit #	Description of Work	Date Issued	Use of Building	Valuation			
3966	Sliding	3/11/2004	Commercial	10,500			
Totals for Class Of Work:		Number of Permits = 1		Sum of Valuation =	10,500		
Totals for Occupancy: M		Number of Permits = 1		Sum of Valuation =	10,500		
Occupancy U-1							

Class Of Work: Remodel

Permit #	Description of Work	Date Issued	Use of Building	Valuation
3957	Fireplace	3/4/2004	Single Family Dwelling	2,200
3959	Fireplace	3/4/2004	Single Family Dwelling	3,380
Totals for Class Of Work: Remodel				Sum of Permits = 2
				Sum of Valuation = 5,580

Occupancy R-3

Class Of Work: Add

Permit #	Description of Work	Date Issued	Use of Building	Valuation
3976	heating	3/29/2004	Single Family Dwelling	
3975	addition & remodel	3/25/2004	Single Family Dwelling	30,000
3980	swimming pool	3/30/2004	Single Family Dwelling	15,000
Totals for Class Of Work: Add				Number of Permits = 3
				Sum of Valuation = 45,000

Class Of Work: Remodel

Permit #	Description of Work	Date Issued	Use of Building	Valuation
3977	Roof Replacement	3/30/2004	Single Family Dwelling	1,125
3968	Basement finish	3/16/2004	Single Family Dwelling	10,000
3967	Remodel	3/11/2004	Single Family Dwelling	20,000
3956	Fireplace	3/4/2004	Single Family Dwelling	1,600
3963	Remodel	3/9/2004	Single Family Dwelling	90,000
Totals for Class Of Work: Remodel				Number of Permits = 5
				Sum of Valuation = 122,725

Class Of Work: New

Permit # Description of Work

3955 mobile home setup

3/3/2004

Single Family Dwelling

4,000

3965 New House

3/10/2004

Single Family Dwelling

846,000

Totals for Class Of Work: New

Number of Permits = 2

Sum of Valuation = 850,000

Class Of Work: Remodel

Number of Permits = 10

Sum of Valuation = 1,017,725

Occupancy R-1

Class Of Work: Remodel

Permit # Description of Work

3962 Remodel

3/9/2004

Single Family Dwelling

5,000

Totals for Class Of Work: Remodel

Number of Permits = 1

Sum of Valuation = 5,000

Class Of Work: Remodel

Number of Permits = 1

Sum of Valuation = 5,000

Occupancy A-3

Class Of Work: Remodel

Permit # Description of Work

3969 Remodel

3/16/2004

Accessory Building

20,000

Totals for Class Of Work: Remodel

Number of Permits = 1

Sum of Valuation = 20,000

Class Of Work: Repair

Permit # Description of Work

3964 repair

3/10/2004

Church

6,000

Totals for Class Of Work: Repair

Number of Permits = 1

Sum of Valuation = 6,000

Totals for Occupancy: A-3

Number of Permits = 2

Sum of Valuation =

26,000

Grand Total for All Permits Issued:

Number of Permits 18

Total Valuation = 1,097,305

Building Permit Detail Summary

Occupancy B

Class Of Work: Remodel

Permit #	Description of Work	Date Issued	Use of Building	Valuation
3971	Remodel	3/17/2004	Office Building	32,000
Totals for Class Of Work: Remodel				Number of Permits = 1
				Sum of Valuation = 32,000

Occupancy M

Class Of Work: Remodel

Permit #	Description of Work	Date Issued	Use of Building	Valuation
3966	Sliding	3/11/2004	Commercial	10,500
Totals for Class Of Work: Remodel				Number of Permits = 1
				Sum of Valuation = 10,500

Occupancy U-1

Class Of Work: Remodel

Permit #	Description of Work	Date Issued	Use of Building	Valuation
Totals for Occupancy: M				Sum of Valuation = 10,500
Occupancy U-1				

Class Of Work: Remodel

Permit #	Description of Work	Date Issued	Use of Building	Valuation
3959	Fireplace	3/4/2004	Single Family Dwelling	3,380
3957	Fireplace	3/4/2004	Single Family Dwelling	2,200
Totals for Class Of Work: Remodel				Sum of Valuation = 5,580

Totals for Occupancy: U-1**Number of Permits = 2****Sum of Valuation = 5,580****Occupancy R-3****Class Of Work: Add**

Permit #	Description of Work	Date Issued	Use of Building	Valuation
3980	swimming pool	3/30/2004	Single Family Dwelling	15,000
3976	heating	3/29/2004	Single Family Dwelling	
3975	addition & remodel	3/25/2004	Single Family Dwelling	30,000
Totals for Class Of Work: Add				Sum of Valuation = 45,000

Class Of Work: Remodel

Permit #	Description of Work	Date Issued	Use of Building	Valuation
3977	Roof Replacement	3/30/2004	Single Family Dwelling	1,125
3968	Basement finish	3/16/2004	Single Family Dwelling	10,000
3967	Remodel	3/11/2004	Single Family Dwelling	20,000
3963	Remodel	3/9/2004	Single Family Dwelling	90,000
3956	Fireplace	3/4/2004	Single Family Dwelling	1,600
Totals for Class Of Work: Remodel				Sum of Valuation = 122,725

Class Of Work: New

Permit #	Description of Work	Date Issued	Use of Building	Valuation
3965	New House	3/10/2004	Single Family Dwelling	846,000
3955	mobile home setup	3/3/2004	Single Family Dwelling	4,000

Totals for Class Of Work: New Number of Permits = 2 Sum of Valuation = 850,000

Totals for Occupancy: R-3 Number of Permits = 10 Sum of Valuation = 1,017,725

Occupancy R-1

Class Of Work: Remodel

Permit #	Description of Work	Date Issued	Use of Building	Valuation
3962	Remodel	3/9/2004	Single Family Dwelling	5,000

Totals for Class Of Work: Remodel Number of Permits = 1 Sum of Valuation = 5,000

Totals for Occupancy: R-1 Number of Permits = 1 Sum of Valuation = 5,000

Grand Total for All Permits Issued: Number of Permits 15 Total Valuation = 1,070,805

*City of Lake Elmo
Building Department*

Plumbing Permit Detail Summary

March 01, 2004 Through March 31, 2004

<i>Permit #</i>	<i>Description of Work</i>	<i>Date Issued</i>	<i>Valuation</i>
3958	alter resd plmg	3/4/2004	3,001
3965	New Residential	3/10/2004	30,000
3967	alter resd plmg	3/11/2004	4,000
3972	commercial plumbing alter	3/19/2004	1,000
3974	alter resd plmg	3/25/2004	3,000
3978	alter resd plmg	3/30/2004	3,000

<i>Number of Permits 6</i>	<i>Total Valuation = 44,001</i>
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*City of Lake Elmo
Building Department*

Plumbing Permit Fees

March 01, 2004 Through March 31, 2004

<i>Date</i>	<i>Permit #</i>	<i>Permit Fee</i>	<i>Surcharge</i>
3/4/2004	3958	\$50.00	\$0.50
3/10/2004	3965	\$100.00	\$0.50
3/11/2004	3967	\$50.00	\$0.50
3/19/2004	3972	\$150.00	\$0.50
3/25/2004	3974	\$50.00	\$0.50
3/30/2004	3978	\$50.00	\$0.50
Totals:		\$450.00	\$3.00

Grand Total of Plumbing Fees Collected: \$453.00

*City of Lake Elmo
Building Department*

HVAC Permit Detail Summary

March 01, 2004 Through March 31, 2004

<i>Permit #</i>	<i>Description of Work</i>	<i>Date Issued</i>	<i>Valuation</i>
3960	Gasline	3/4/2004	200
3961	Gasline	3/4/2004	200
3965	HVAC-residential	3/10/2004	15,000
3967	alter resd hvac	3/11/2004	1,300
3970	replace furnace	3/17/2004	2,000
3973	alter commercial	3/19/2004	8,255
3975	alter resd hvac	3/25/2004	2,500
3979	alter resd hvac	3/30/2004	4,200

Number of Permits 8

Total Valuation = 33,655

*City of Lake Elmo
Building Department
HVAC Permit Fees*

March 01, 2004 Through March 31, 2004

<i>Date</i>	<i>Permit #</i>	<i>Permit Fee</i>	<i>Surcharge</i>
3/4/2004	3960	\$50.00	\$0.50
3/4/2004	3961	\$50.00	\$0.50
3/10/2004	3965	\$100.00	\$0.50
3/11/2004	3967	\$50.00	\$0.50
3/17/2004	3970	\$50.00	\$0.50
3/19/2004	3973	\$150.00	\$0.50
3/25/2004	3975	\$50.00	\$0.50
3/30/2004	3979	\$50.00	\$0.50
Totals:		\$550.00	\$4.00

Grand Total of HVAC Fees Collected: \$554.00

Lake Elmo
City Council
April 20, 2004

Agenda Section: Maintenance/Park/Fire/Building

No. 7C

Agenda Item: Grass Rig Tire Modification

Background Information for April 20, 2004:

Fire Chief Malmquist has reported that the new grass rig chassis has been delivered under the State Contract with tires that are not suitable for the off-road use this vehicle will encounter – both in terms of traction and floatation. He has recommended that more off-road suited tires be installed, which will increase the cost to the City for the vehicle over that which has been approved by the Council.

It appears that two options may be available: 1.) Trade the tires with a local tire dealer at a net cost of \$703.92, or; 2.) Purchase another set of tires under the State Contract at an estimated cost of \$550 (and keep the tires now on the chassis as spare inventory). As of this writing, it is unclear as to what load range tire will be required, and if that load range will be available under the State Contract. That will not make a difference with Option #1, but may preclude Option #2.

I agree that appropriate tires should be installed on this vehicle if it is to fully serve the purpose for which it is intended – grass fires, which are seldom limited to roadway access. I recommend the Council authorize an increase in the total cost of the grass rig by not to exceed \$702.92, with the understanding that if the State Contract tires can be purchased at the proper load range at a lower cost, that is the option the Fire Chief will use instead.

Action items:

Motion to authorize an increase in the total cost of the grass rig by not to exceed \$702.92, with the understanding that if the State Contract tires can be purchased at the proper load range at a lower cost, that is the option the Fire Chief will use instead.

Person responsible:

Fire Chief/Acting Administrator


Attachments:

None

Time Allocated:

<p>Lake Elmo City Council April 20, 2004</p>	<p>Agenda Section: CITY ENGINEER'S REPORT</p>	<p><u>No 8A.</u></p>
<p>Agenda Item: Update on VFW Ball Field Lights</p>		
<p>Background Information for April 20, 2004: The City Engineer contacted the vendors and has listed the revised costs in his memo dated April 14, 2004. The City Engineer requests Council authorization to enter into a purchase agreement with MUSCO lighting for installation of the poles, accept the quote from Arcade Electric for the electrical wiring and cabinet work and authorize City staff to acquire an easement from the Hagbergs for a utility easement.</p>		
<p>Action Items: Motion: _____, Second _____, to authorize City staff to enter into a purchase agreement with MUSCO lighting for installation of the poles. And To accept the quote from Arcade Electric for the electrical wiring and cabinet work. And To authorize City staff to acquire an easement from the Hagbergs for a utility easement.</p>	<p>Person responsible: T.Prew</p>	
<p>Attachments: Letter from Tom Prew dated April 14, 2004</p>		

KDA

• ARCHITECTS • PLANNERS

1500 Piper Jaffray Plaza
444 Cedar Street
Saint Paul, MN 55101-2140

(651) 292-4400
(651) 292-0083 Fax
www.tkda.com

034

FW Ball Field Lighting Project which we initially received
ted the vendors and have listed below the revised costs.

completed in 6 weeks.

year maintenance contract (City of Rogers)	\$ 88,000.00
fixture wiring	\$ 5,720.00
	\$ 28,927.00
	\$ 8,998.00
on	<u>\$ 10,000.00</u>
ost	\$141,645.00
light spill control	\$ 7,542.00

ed

staff to enter into purchase agreement with MUSCO lighting for
the poles.
from Arcade Electric for the electrical wiring and cabinet work.
staff to acquire easement from the Hagbergs for a utility easement.

**CITY OF LAKE ELMO
WASHINGTON COUNTY, MINNESOTA**

RESOLUTION NO. 2004- 032

A RESOLUTION AWARDING THE BID FOR THE 2004 OVERLAY PROJECT

WHEREAS, pursuant to an advertisement for bids for the 2004 Overlay Project, bids were received, opened and tabulated according to law, and the following bids were received complying with the advertisement:

<u>Contractor</u>	<u>Base Bid</u>	<u>Alternate Bid</u>	<u>Total Bid</u>
Tower Asphalt	\$62,800	\$14,250	\$77,050
T.A. Schifsky & Sons, Inc.	\$64,705	\$26,640	\$85,345
Hardrives, Inc.	\$64,955	\$21,600	\$86,555
North Valley, Inc.	\$71,475	\$22,605	\$94,080
Engineer's Estimate	\$62,950	\$12,000	\$74,950

AND WHEREAS, Tower Asphalt, Inc. is the lowest responsible bidder.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF LAKE ELMO, MINNESOTA:

1. The mayor and clerk are hereby authorized and directed to enter into a contract with Tower, Asphalt, Inc. in the name of the City of Lake Elmo for the 2004 Overlay Project, according to the plans and specifications therefore approved by the City Council and on file in the office of the city clerk.
2. The city clerk is hereby authorized and directed to return forthwith to all bidders the deposits made with their bids, except that the deposits of the successful bidder and the next lowest bidder shall be retained until a contract has been signed.

ADOPTED, by the Lake Elmo City Council this 20th day of April, 2004.

Lee Hunt, Mayor

ATTEST:

Charles E. Dillerud, City Administrator

<p>Lake Elmo City Council April 20, 2004</p>	<p>Agenda Section: CITY ENGINEER'S REPORT</p>	<p><u>No 8B.</u></p>
<p><u>Agenda Item:</u> Resolution No. 2004-032 - Award Bid for the 2004 Overlay Project</p>		
<p><u>Background Information for April 20, 2004:</u> The City Engineer received four bids for the 2004 Overlay Project. A complete tabulation of bids is enclosed in his memo dated, April 14, 2004.</p> <p>The City Engineer recommends awarding the contract to the lowest bidder, Tower Asphalt, Inc., for their base bid of \$62,800. The Council will have to make a decision if its wishes to include the landscaped cul-de-sac islands. Tom Prew recommends holding a neighborhood meeting before the Council decides on the alternate bid. If that is the case, he would ask the contractor to delay starting the project.</p>		
<p><u>Action Items:</u> Motion: , Second , to adopt Resolution No. 2004-032, A Resolution Awarding the bid for the 2004 Overlay Project. And To direct the City Engineer to hold a neighborhood meeting before the Council decides on the alternate bid for the proposed cul-de-sac islands.</p>	<p><u>Person responsible:</u> T.Prew</p>	
<p><u>Attachments:</u> Letter from Tom Prew dated April 14, 2004 Resolution 2004-032</p>		

TKDA

ENGINEERS • ARCHITECTS • PLANNERS

1500 Piper Jaffray Plaza
444 Cedar Street
Saint Paul, MN 55101-2140

(651) 292-4400
(651) 292-0083 Fax
www.tkda.com

April 14, 2004

Honorable Mayor and City Council
City of Lake Elmo, Minnesota

Re: 2004 Overlays
City of Lake Elmo, Minnesota
TKDA Commission No. 12996-02

Dear Mayor and City Council:

Bids for the referenced project were received on April 15, 2004, with the following results. A complete Tabulation of Bids is enclosed for your information.

Contractor	Base Bid	Alternate Bid	Total Bid
Tower Asphalt, Inc.	\$62,800	\$14,250	\$77,050
T.A. Schifsky & Sons, Inc.	\$64,705	\$26,640	\$85,345
Hardrives, Inc.	\$64,955	\$21,600	\$86,555
North Valley, Inc.	\$71,475	\$22,605	\$94,080
Engineer's Estimate	\$62,950	\$12,000	\$74,950

The alternate bid is for the proposed cul-de-sac islands. Based on the low bid, the actual net cost, after deducting for the bituminous that would not be needed if the islands were constructed is \$11,475.00, or \$3,825.00 each. This does not include plantings.

City Council Action Requested

1. Award the Contract to the lowest bidder, Tower Asphalt, Inc., for their base bid of \$62,800.
2. Decided if you wish to include the cul-de-sac islands. You may wish to hold a neighborhood meeting before deciding on this alternate bid. If this is the case, I would ask the Contractor to delay starting the Project.

Sincerely,



Thomas D. Prew, P.E.
Project Manager

TDP:art
Enclosure

TABULATION OF BIDS

2004 OVERLAYS
CITY OF LAKE ELMO, MINNESOTA
TKDA COMMISSION NO. 12899-02

BIDS OPENED: APRIL 14, 2004, AT 1:00 PM



T.A. SCHIFSKY & SONS, INC.

TOWER ASPHALT, INC.

ENGINEER'S ESTIMATE

ENGINEER'S ESTIMATE

ENGINEER'S ESTIMATE

ENGINEER'S ESTIMATE

ITEM NO.	DESCRIPTION	QUANTITY	UNIT	ENGINEER'S ESTIMATE UNIT PRICE	ENGINEER'S ESTIMATE TOTAL AMOUNT	TOWER ASPHALT, INC. UNIT PRICE	TOWER ASPHALT, INC. TOTAL AMOUNT	T.A. SCHIFSKY & SONS, INC. UNIT PRICE	T.A. SCHIFSKY & SONS, INC. TOTAL AMOUNT
2004 OVERLAYS									
1	MOBILIZATION	1	LS	\$ 4,000.00	\$ 4,000.00	\$ 3,000.00	\$ 3,000.00	\$ 750.00	\$ 750.00
2	REPAIR CATCH BASIN/REPLACE CASTING	7	EA	\$ 800.00	\$ 5,600.00	\$ 1,250.00	\$ 8,750.00	\$ 1,250.00	\$ 8,750.00
3	4" THICK BITUMINOUS PATCH MIXTURE LVNW35030B	50	SY	\$ 25.00	\$ 1,250.00	\$ 25.00	\$ 1,250.00	\$ 16.50	\$ 825.00
4	BITUMINOUS WEARING/LEVELING COURSE MIXTURE LVWE45030A	1,600	TN	\$ 32.00	\$ 51,200.00	\$ 30.75	\$ 49,200.00	\$ 33.50	\$ 53,600.00
5	BITUMINOUS MATERIAL FOR TACK COAT	600	GAL	\$ 1.50	\$ 900.00	\$ 1.00	\$ 600.00	\$ 1.30	\$ 780.00
	BASE BID AMOUNT				\$ 62,950.00		\$ 62,950.00		\$ 64,705.00
	ADD ALTERNATE								
1	EXCAVATE CENTER OF CUL-DE-SAC AND INSTALL CURB AND TOPSOIL AS DETAILED	3	EA	\$ 4,000.00	\$ 12,000.00	\$ 4,750.00	\$ 14,250.00	\$ 6,880.00	\$ 20,640.00
	ADD ALTERNATE AMOUNT				\$ 12,000.00		\$ 14,250.00		\$ 20,640.00
	BASE BID				\$ 62,950.00		\$ 62,950.00		\$ 64,705.00
	ADD ALTERNATE BID				\$ 12,000.00		\$ 14,250.00		\$ 20,640.00
	TOTAL BID AMOUNT (BASE PLUS ADD ALTERNATE)				\$ 74,950.00		\$ 77,050.00		\$ 85,345.00

ITEM NO.	DESCRIPTION	QUANTITY	UNIT	HARDRIVES, INC. UNIT PRICE	HARDRIVES, INC. TOTAL AMOUNT	NORTH VALLEY, INC. UNIT PRICE	NORTH VALLEY, INC. TOTAL AMOUNT
2004 OVERLAYS							
1	MOBILIZATION	1	LS	\$ 1,500.00	\$ 1,500.00	\$ 2,500.00	\$ 2,500.00
2	REPAIR CATCH BASIN/REPLACE CASTING	7	EA	\$ 640.00	\$ 4,480.00	\$ 1,305.00	\$ 9,135.00
3	4" THICK BITUMINOUS PATCH MIXTURE LVNW35030B	50	SY	\$ 19.50	\$ 975.00	\$ 22.00	\$ 1,100.00
4	BITUMINOUS WEARING/LEVELING COURSE MIXTURE LVWE45030B	1,600	TN	\$ 35.80	\$ 57,280.00	\$ 36.15	\$ 57,840.00
5	BITUMINOUS MATERIAL FOR TACK COAT	600	GAL	\$ 1.20	\$ 720.00	\$ 1.50	\$ 900.00
	BASE BID AMOUNT				\$ 64,955.00		\$ 71,475.00
	ADD ALTERNATE						
1	EXCAVATE CENTER OF CUL-DE-SAC AND INSTALL CURB AND TOPSOIL AS DETAILED	3	EA	\$ 7,200.00	\$ 21,600.00	\$ 7,555.00	\$ 22,605.00
	ADD ALTERNATE AMOUNT				\$ 21,600.00		\$ 22,605.00
	BASE BID				\$ 64,955.00		\$ 71,475.00
	ADD ALTERNATE BID				\$ 21,600.00		\$ 22,605.00
	TOTAL BID AMOUNT (BASE PLUS ADD ALTERNATE)				\$ 86,555.00		\$ 94,080.00

TOTAL P. 03

Lake Elmo City Council April 20, 2004	Agenda Section: Planning, Land Use & Zoning	<u>No.</u> 9A
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Agenda Item: Zoning Variances – 11094 35th Street

Background Information for April 20, 2004:

On April 6 the Council tabled this application for side and front yard variances to enable the construction of a garage. The Council asked to have the applicant secure a new survey of the site depicting the proposed garage re-oriented to line up with the south wall of the house rather than setting the garage at an angle to reduce the amount of set back variance. The purpose of the request was to determine exactly what the resulting set back would be; and, to thereby be able to specify the actual amount of the set back variance being considered.

The applicant has submitted a revised survey depicting the proposed garage reduced in width from 32 feet to 28 feet; reduced in length from 24/26 feet to 22/24 feet; and, the with the rear of the garage in line with the south wall of the house. This arrangement impacts both set back variances. The side set back (south) becomes a minimum of 3 feet – but increases from there. The front set back (east) becomes a minimum of 18 feet – but increases from there. It appears that the intent of the Planning Commission recommendations regarding garage size; and, the Council intent regarding garage orientation are met with this new design. A Resolution, modified to reflect this survey, is attached for Council consideration. The fence no longer appears on the survey, but the driveway configuration is unchanged. So, the fence condition is removed, but the driveway set back condition is retained.

<p><u>Action items:</u></p> <p>Motion to adopt Resolution #2004 - ⁰⁰⁷, approving side and front set back variances for construction of a garage at 11094 35th Street per plans staff dated April 16, 2004.</p>	<p><u>Person responsible:</u></p> <p>City Planner</p>
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<p><u>Attachments:</u></p> <ol style="list-style-type: none"> 1. Draft Resolution #2004 - ⁰⁰⁷ Approving Variances 2. Draft Council Minutes of April 6, 2004 3. Location Map 4. April 16 Plan 5. <u>Previous Plan</u> 	<p><u>Time Allocated:</u></p>
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CITY OF LAKE ELMO
WASHINGTON COUNTY, MINNESOTA

RESOLUTION NO. 2004-027

A RESOLUTION APPROVING ZONING VARIANCES FOR
JON AND SHELLIE EISELE LOCATED AT 11094 35TH STREET NORTH

WHEREAS, Jon and Shellie Eisele, 11094 35th Street, have made application for a zoning variance from side and front setbacks to construct a two-stall garage.

WHEREAS, at its March 29th meeting, the Planning Commission reviewed and recommended approval of the side yard and front yard setback variances at 11094 35th Street, per the graphics staff dated March 25, 2004 based on the following findings:

1. The property cannot be put to reasonable use without granting the variance requested. Reasonable use must be defined in the context of contemporary housing standards and design. The proposed garage addition is in keeping with both.
2. The variance requested results from circumstances unique to properties where principal structures were constructed prior to adoption of current zoning regulations; and the circumstances of the variance were not solely created by the applicant.
3. Granting of the variance will not change the essential character of the neighborhood.

WHEREAS, at its April 6th meeting, the Lake Elmo City Council reviewed the zoning variance from side and front setbacks to construct a two-stall garage requested by Jon and Shellie Eisele, located at 11094 35th Street and postponed action until new drawings are submitted at the April 20th Council meeting.

NOW, THEREFORE, BE IT RESOLVED, that the Lake Elmo City Council approves the variances for side yard setback and front yard setback for Jon and Shellie Eisele at 11094 35th Street North, per the graphics staff-dated April 16, 2004, subject to the following conditions:

1. No driveway or turning area shall be located closer than five feet from any property line where adequate easement width permits.
2. The minimum side yard set back shall be no less than 3 feet; and, the minimum front yard set back shall be no less than 18 feet.

ADOPTED BY THE Lake Elmo City Council the 20th day of April, 2004.

Lee Hunt, Mayor

ATTEST:

Charles E. Dillerud, Acting City Administrator

EiseleVariance

with NASDA "wholesale" the minimum bid (reserve). If no internal bidders, at or above the reserve appear, the vehicle would be offered to the Public on the same basis.

M/S/P Siedow/Dunn - to approve the recommendation of the Maintenance Advisory Committee for City purchase of a 2004 Chevrolet Colorado pick-up on the State Purchasing Contract from Hipckley Chevrolet for a purchase price of \$15,500 plus tax and delivery, and lettering. Further, that the Ford Victoria be sold by the City to the highest bidder. (Motion passed 4-1: DeLapp: The cost is incredibly low, but preferred purchase of a smaller car with better gas mileage.)

8. CITY ENGINEER'S REPORT:

A. Receive quotes for 34th Street Lift Station Repair

In his memo dated April 1, 2004, the City Engineer reported he received four quotes for the 34th Street Lift Station Repair project. This project was included in the City's 2004 CIP for an estimated cost of \$10,000.

M/S/P Dunn/Johnston - to award the contract for the 34th Street Lift Station Repair to Meyer Contracting in the amount of \$18,700.00, per the City Engineer's memo dated April 1, 2004. (Motion passed 5-0).

9. PLANNING, LAND USE & ZONING:

A. Site Plan Amendment and Temporary Office – Hiner Development

The City Planner reported that, at its meeting of March 29, 2004, the Planning Commission recommended approval of an amendment to the Mulligan Master Site Plan; and, also recommended that Hiner Development be granted permission to place a portable structure on the site during the 2004 season.

The City Planner reported the site plan amendment rearranges the location of structures on the site; and, adjusts the sizes/uses of those structures. The request for a temporary structure is to enable the otherwise essentially complete facility to open for business while the permanent structures are under construction.

M/S/P Johnston/Siedow - to adopt Resolution No. 2004-026 approving amendments to the Hiner Development Site Plan, per plans staff-dated March 25, 2004, as recommended by the Planning Commission. (Motion passed 5-0.)

M/S/P Johnston/Siedow – to approve the location of a temporary structure on the Mulligan Masters site per plans staff-dated March 25, 2004, and subject to the condition that the temporary structure be removed by October 31, 2004. (Motion passed 5-0).

B. Zoning Variance – Eisele, 11094 35th Street N

The City Planner reported that, at its meeting of March 29, 2004, the Planning Commission held a public hearing and recommended approval of the variance application

to construct a garage that would encroach on both front and side yard required setbacks. The Planning Commission recommendation was subject to three conditions; 1.) That the garage structure be reduced in size and/or its location be adjusted to result in not less than a 6 foot setback to the side set back , and not less than a 20 foot front setback. This condition would reduce the width of the garage from 32 feet to 28 feet; and reduce the depth of the garage from 24/26 feet to 22/24 feet. As an alternative, the increased side setback could be accomplished by sliding the garage northerly 2 feet. The Planner advised the Council that the Commission did not specify garage dimensions, but rather maximum setback variances. He also noted that the Commission recommended a slight modification to the staff-recommended condition regarding a 5 foot driveway setback.

Council member DeLapp provided a site plan providing for straightening of the south wall to the garage wall with align with the house wall.

Mr. Eisele verbally agreed with the DeLapp modification and also agreed to submit new drawings.

M/S/P DeLapp/Siedow - to modify the Resolution No. 2004-027 to align the south garage wall as discussed. (Motion passed 5-0).

M/S/P Johnston/Siedow – to postpone this agenda until the April 20 Council meeting subject to new drawings with proposed modifications submitted by Mr. Eisele. (Motion passed 5-0.)

C. Amendment of Zoning Ordinance Fence Standards

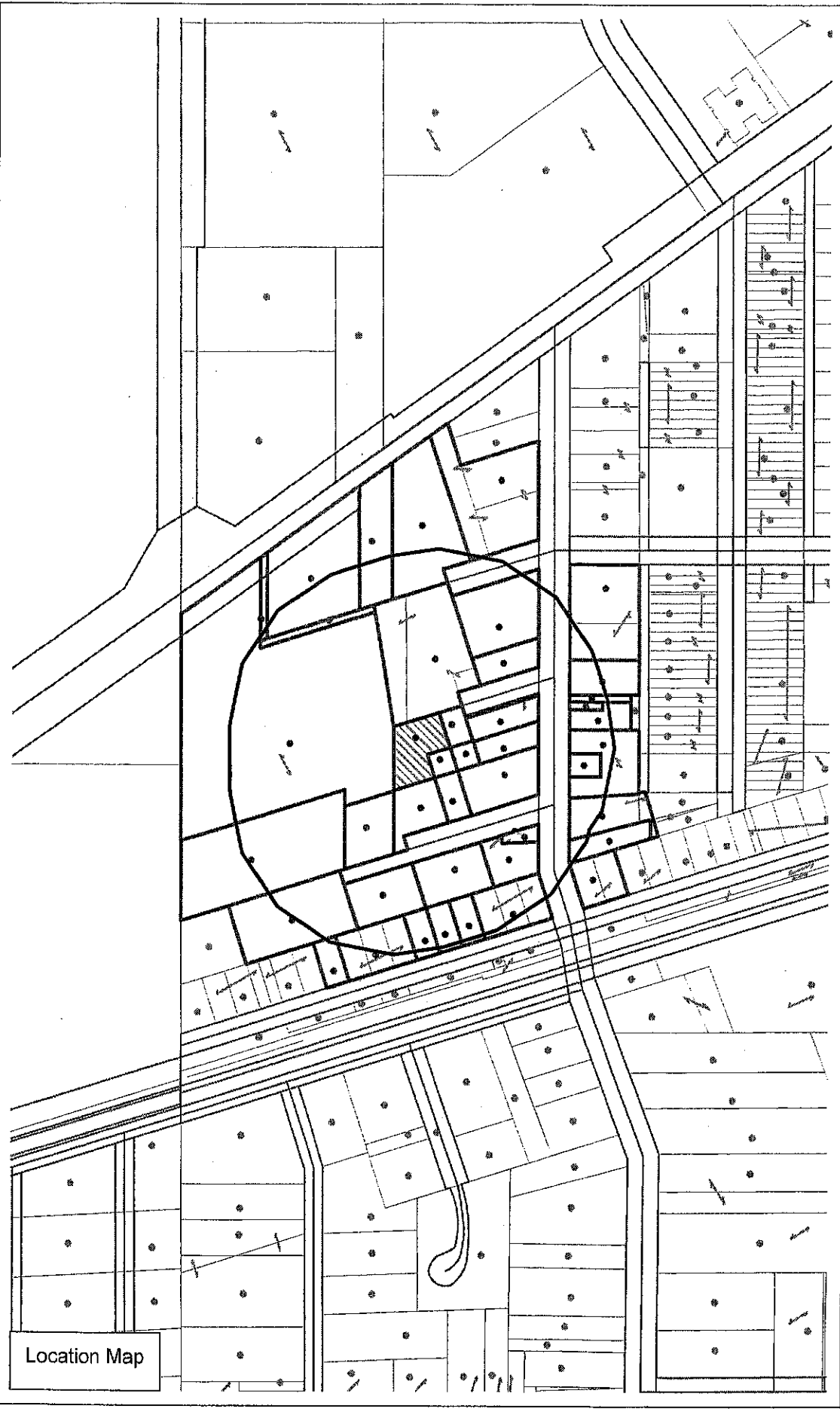
The City Planner reported that the Council has been provided a final draft of the new fence standards section of the City Code, as recommended by the Planning Commission after several hours of discussion.

Council member Johnston handed out his changes to the fence ordinance and a fence drawing.

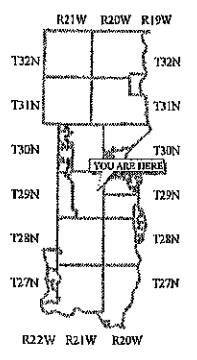
Council member Siedow stated that he felt that one size fence doesn't fit all the lots, but that questions as to what is a large lot or a small lot, what is a short fence or a tall fence required answers. Siedow said he thought chain link fences should be allowed by right, and not as Special Exceptions.

Council member DeLapp thought that the City should be more specific with the covenants for a new development, as to how fences are regulated.

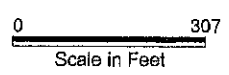
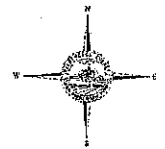
In response to Council Member Siedow's question, Attorney Filla advised that the City does have the right to make property owners replace a non-conforming fence.



Location Map



Vicinity Map



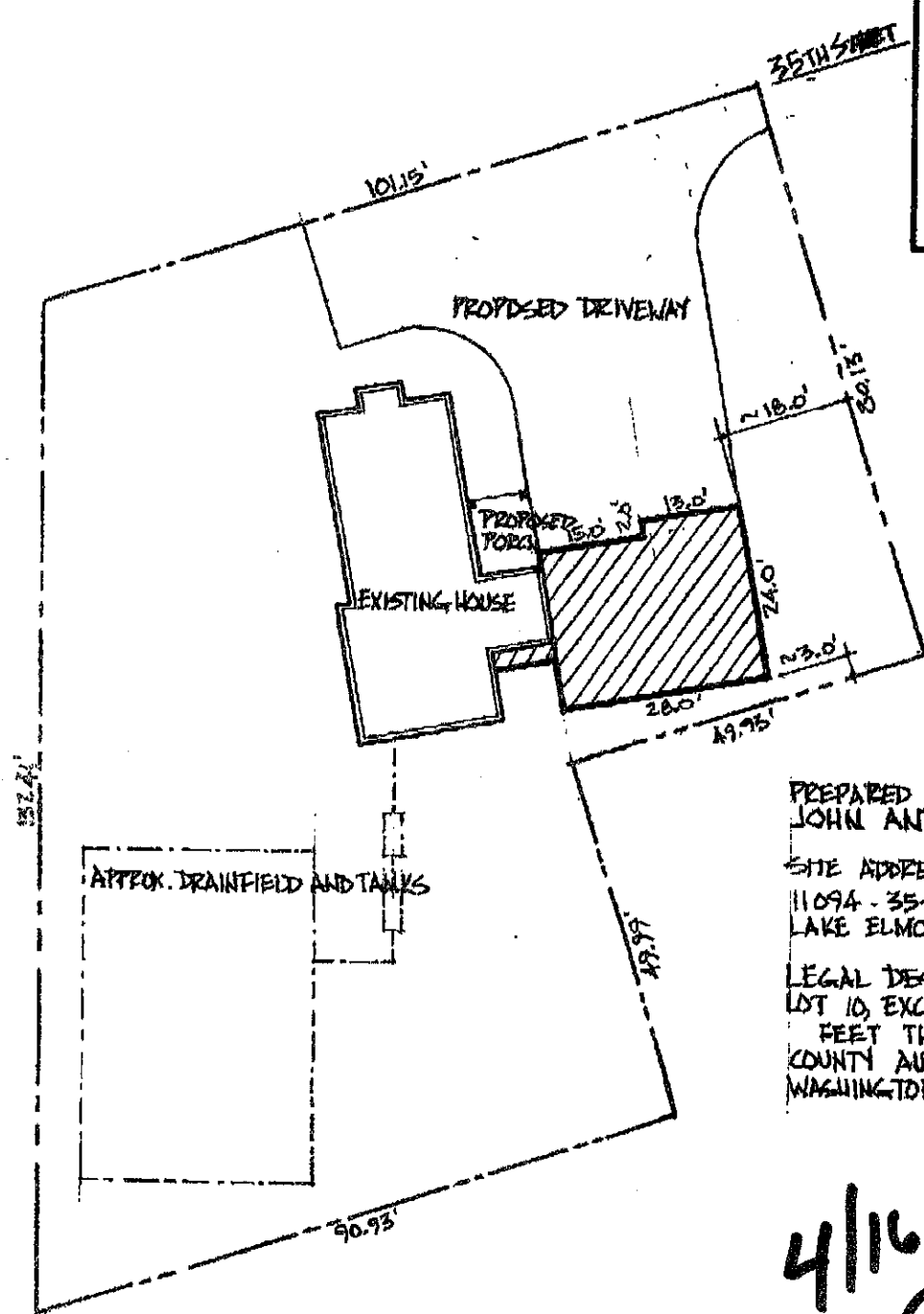
This drawing is the result of a compilation and reproduction of land records as they appear in various Washington County offices. The drawing should be used for reference purposes only. Washington County is not responsible for any inaccuracies.

Source: Washington County Surveyor's Office, Plats (851) 430-6075

Parcel data based on AS/200 information current through January 31, 2004

Map printed: March 16, 2004

PROPOSED PORCH	90
PROPOSED ADDITION	797
PROPOSED DRIVEWAY	207
TOTAL COVERAGE	390
LOT SIZE	13,200
PERCENT OF COVERAGE	2.9



PREPARED FOR:
 JOHN AND SHELLEY ISLEY
 SITE ADDRESS:
 11094 - 35TH STREET
 LAKE ELMO, MN 55042
 LEGAL DESCRIPTION:
 LOT 10, EXCEPT THE EASTERN 50
 FEET THEREOF
 COUNTY AUDITORS PLAT #8
 WASHINGTON COUNTY, MINNESOTA

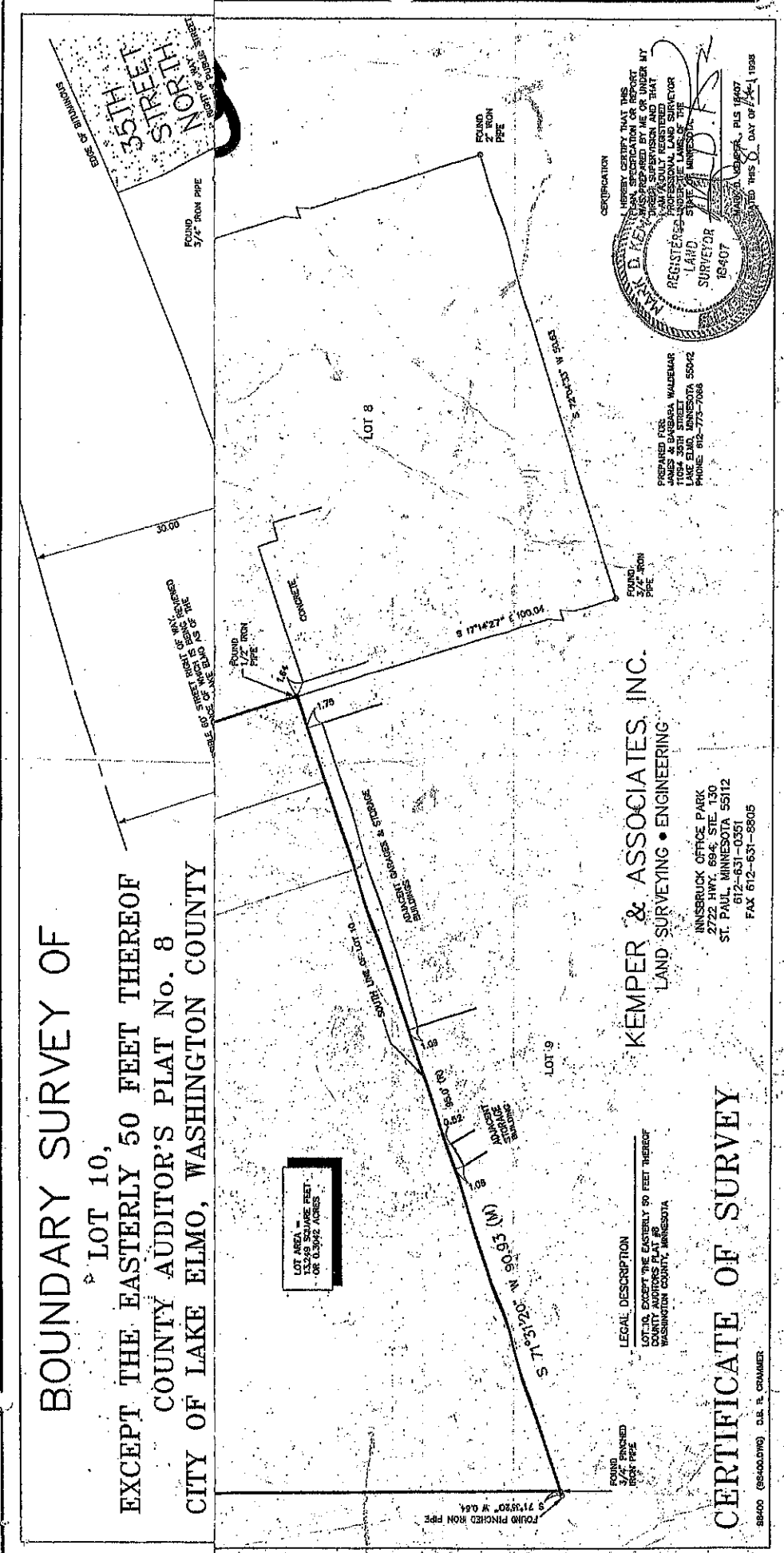
4/16/04
 [Signature]

SITE PLAN
 SCALE 1" = 20.0'
 0 10 20 30 40

RECEIVED
MAR 16 2004

**BOUNDARY SURVEY OF
LOT 10,
EXCEPT THE EASTERLY 50 FEET THEREOF
COUNTY AUDITOR'S PLAT No. 8
CITY OF LAKE ELMO, WASHINGTON COUNTY**

LOT AREA =
13269 SQUARE FEET
OR 0.3062 ACRES



MARVIN D. KEMPER
REGISTERED
LAND
SURVEYOR
19407

MINNESOTA
I HEREBY CERTIFY THAT THIS SURVEY HAS BEEN PREPARED BY ME OR UNDER MY CLOSE SUPERVISION AND THAT I AM A FULLY REGISTERED SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

WITNESSED THIS 8 DAY OF FEBRUARY 1998

PREPARED FOR:
MRS. WALDEMAR
11084 35TH STREET
LAKE ELMO, MINNESOTA 55042
PHONE: 612-775-7068

KEMPER & ASSOCIATES, INC.
LAND SURVEYING • ENGINEERING

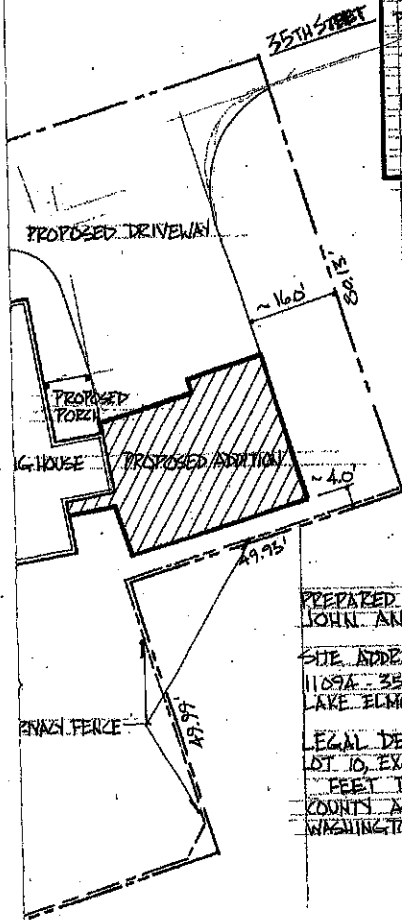
MINNESOTA OFFICE: PARK
2722 HWY. 694, STE. 130
ST. PAUL, MINNESOTA 55112
612-631-0351
FAX: 612-631-8805

CERTIFICATE OF SURVEY

88400 (85-600.010) D.S. & C.M.A.M.E.R.

RECEIVED
MAR 16 2004

LOT COVERAGE	
EXISTING HOUSE	952 SF
PROPOSED PORCH	90 SF
PROPOSED ADDITION	192 SF
PROPOSED DRIVEWAY	2072 SF
TOTAL COVERAGE	3906 SF
LOT SIZE	15,215 SF
PERCENT OF COVERAGE	29.16 %



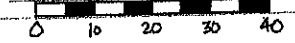
PREPARED FOR:
JOHN AND SHELLEY ISLEY

SITE ADDRESS:
1109A - 35TH STREET
LAKE ELMO, MN 55042

LEGAL DESCRIPTION:
LOT 10, EXCEPT THE EASTERN 50
FEET THEREOF
COUNTY AUDITORS' PLAT #25
WASHINGTON COUNTY, MINNESOTA

SITE PLAN

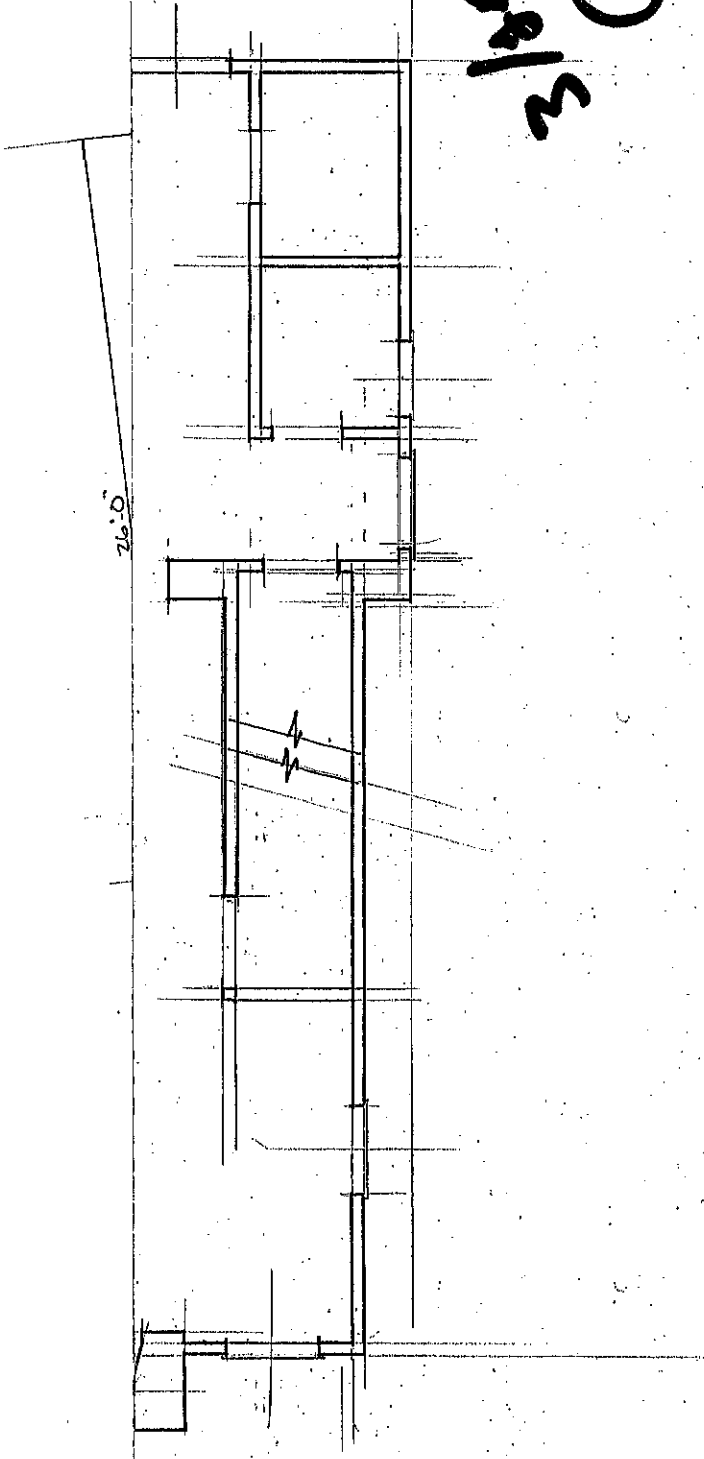
SCALE 1" = 20.0'



TODD OFSTUN Owner / Design Specialist C.O. DESIGN Drafting & Home Design 10891 424 2478 Fax (763) 424-3078	DESIGNED FOR: JOHN AND SHELLEY ISLEY	SETS/REVISIONS DATE PRELIM 3-15-04
	DATE: _____ DRAWN: _____ CHECKED: _____ DESIGN NO: 76024609 SHEET: 1 OF 3	

RECEIVED
MAR 16 2004

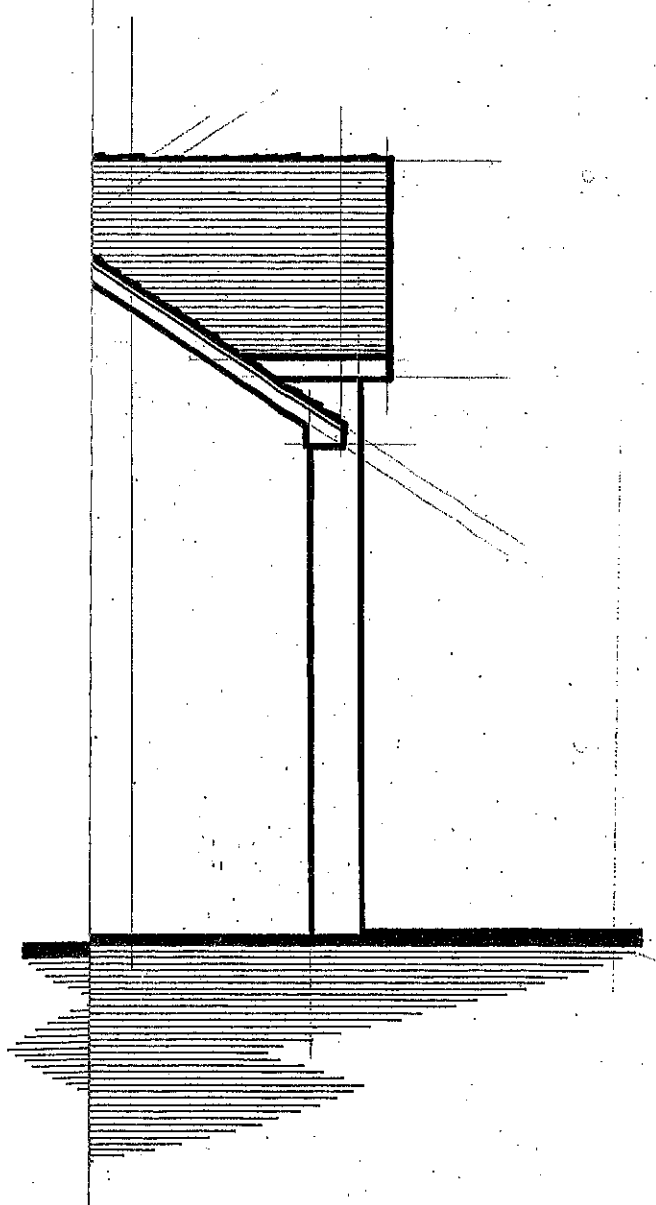
Handwritten: 3/15/04
Signature: [Signature]



TODD OFSTUN Owner / Design Specialist	DESIGNED FOR:	SETS/REVISIONS	DATE
	<u>JON AND SHELLEY ISLEY</u>	PRELIM	3-15-04
C.O. DESIGN Interior & Home Design	DATE:	DRAWN:	CHECKED:
	DESIGN NO: <u>720 24009</u>	SHEET: <u>3</u> OF <u>3</u>	
(763) 424-3676 fax (763) 424-2878			

RECEIVED
MAY 16 2004

Handwritten: Kolsals



YODD OFSTHUN
Interior / Design Specialist
O. DESIGN
Interior & Home Design
(703) 424-2676
Fax (703) 424-2578

DESIGNED FOR:
JON AND SHELLEY ISLEY

DATE	DRAWN	CHECKED

DESIGN NO:
TLO 2A009

SHEET
2 OF 3

SETS/REVISIONS	DATE
PRELIM.	3-15-04

<p>Lake Elmo City Council April 20, 2004</p>	<p>Agenda Section: Planning, Land Use & Zoning</p>	<p>No. 9B</p>
<p>Agenda Item: OP Development Stage Plan/CUP and Preliminary Plat – Whistling Valley 2nd Addition</p>		
<p><u>Background Information for April 20, 2004:</u></p> <p>At its meeting April 12, 2004 the Planning Commission conducted the required Public Hearing, and adopted a unanimous recommendation for approval of the Development Stage/CUP and Preliminary Plat of this OP project to create 18 building lots on a site of 45 acres. The approval recommendation is subject to the usual condition regarding compliance with Engineer and Attorney requirements – and those recommendations of “outside” agencies found by the City to be necessary and reasonable; and, second condition requires a slight enlargement of one of the lots to meet the ¾ acre minimum lot area requirement.</p> <p>A third condition relates to the as yet unresolved issue of if and where the private trails within the development would interface with the Regional Park. The County (Parks Department) previously (at the Concept Plan Stage) denied access directly into the park for a trail proposed to go north from the development. The developer has now proposed the a private trail from the development extend east to Keats Avenue through what the Concept Plan had proposed as an “emergency access” to the plat (also denied by the County – Transportation Department - but is no longer necessary anyway), and directly have park access by way of the existing County trail east of Keats. The County Transportation again objects, due to the high vehicular speed at this point on Keats.</p> <p>The Commission recommends this Stage move forward, but that the trail access location be worked out with the County prior to Final Plat submission. The County staff has recently indicated to City staff that a resolution of the issue should be attainable once their Parks and Transportation people come to an internal agreement.</p>		
<p><u>Action items:</u></p> <p>Motion to adopt Resolution # 2004 - approving the OP Development Stage Plan, Conditional Use Permit, and Preliminary Plat of Whistling Valley 2nd Addition per plans Staff dated April 6, 2004, based on the Findings and Conditions of said Resolution.</p>	<p><u>Person responsible:</u></p> <p>City Planner</p>	
<p><u>Attachments:</u></p> <ol style="list-style-type: none"> 1. Draft Resolution #2004 - , Approving Development Stage Plan, CUP, and Preliminary Plat 2. Draft Planning Commission Minutes of April 12, 2004 3. Planning Staff Report of April 6, 2004 4. Resolution #2004-012 Approving Concept Plan 5. Location Map 6. Applicant’s Graphics 	<p><u>Time Allocated:</u></p>	

**CITY OF LAKE ELMO
WASHINGTON COUNTY, MINNESOTA**

RESOLUTION NO. 2004-

**A RESOLUTION APPROVING THE OP DEVELOPMENT STAGE PLAN,
CONDITONAL USE PERMIT, AND PRELIMINARY PLAT OF
WHISTLING VALLEY 2ND ADDITION**

WHEREAS, Dave Sorenson of Bald Eagle Development and Elizabeth Minor have made application for an OP Development Stage Plan, Conditional Use Permit, and Preliminary Plat to create eighteen residential building lots and three outlots on a parcel of 45.03 acres. The property is generally located northwesterly of Keats Avenue and 10th Street, southerly and adjacent to Lake Elmo Park Reserve, and easterly of WHISTLING VALLEY, and is legally described as follows:

That part of the East One-half of the Southeast Quarter of Section 27, Township 29, Range 21, Washington County, Minnesota, being further described as follows:
Commencing at the East Quarter corner of said Section 27, thence South 0 degrees 42 minutes 48 seconds East (basis of bearings is the Washington County Coordinate System, South Zone) along the East line of said Section 27 a distance of 1318.00 feet; thence South 89 degrees 11 minutes 43 seconds West 33.00 feet to the point of beginning; thence South 0 degrees 42 minutes 48 seconds East parallel with said East Line 598.00 feet; thence South 89 degrees 11 minutes 49 seconds West 660.00 feet; thence South 0 degrees 42 minutes 48 seconds East 660.00 feet, more or less, to a point distant 60 feet northerly of the South line of said Section 27; thence South 89 degrees 11 minutes 49 seconds West along a line 60.00 feet northerly of and parallel with the South line of said Section 27 a distance of 247.09 feet; thence North 0 degrees 48 minutes 11 seconds West 10.00 feet; thence South 89 degrees 11 minutes 49 seconds West along a line 70.00 feet Northerly of and parallel with said South line a distance of 378.33 feet to its intersection with the West line of the said East One-half of the Southeast Quarter of Section 27; thence along said West line North 0 degrees 42 minutes 43 seconds West 1908.76 feet; thence North 89 degrees 11 minutes 40 seconds East 1185.33 feet, more or less, to a point 133 feet Westerly of the East line of said Section 27; thence South 0 degrees 42 minutes 48 seconds East along a line of 133.00 feet Westerly of and parallel with said East line a distance of 660.82 feet; thence North 89 degrees 11 minutes 43 seconds East 100.00 feet, more or less, to the point of beginning.

WHEREAS, at its April 12, 2004 meeting, the Planning Commission reviewed and unanimously recommended approval of this application to plat a 45.03 acre parcel as a residential development of 18 building lots and three outlots.

WHEREAS, the Preliminary Plat of WHISTLING VALLEY 2ND ADDITION was presented to the City Council at its April 20, 2004 City Council Meeting where the following Findings were made:

1. The OP Development Stage Plan is consistent with the Lake Elmo Comprehensive Plan and the approved OP Concept Plan.

2. The OP Development Stage Plan complies with the documentation requirements and standards of the OP Ordinance, except as noted.
3. The Preliminary Plat complies with the documentation requirements and standards of Section 400 of the City Code (Subdivision).

NOW, THEREFORE, BE IT RESOLVED, that the City Council for the City of Lake Elmo does hereby approve and accept the OP Development Stage Plan, Conditional Use Permit, and Preliminary Plat of WHISTLING VALLEY 2ND ADDITION, per plans that staff dated April 15, 2004, and April 6, 2004, as the same on file with the City Administrator, based on the following Conditions:

1. The Plat/Plan shall be modified to increase the area of Lot 3, Block 1 to not less than .75 acres.
2. Compliance with the recommendations of the City Engineer, City Attorney, and those of the Valley Branch Watershed District and Washington County that are found by the City to be reasonable and proper.
3. The applicant shall secure agreement from Washington County regarding any private trail access to County right-of-way, prior to submission of the Final Plat.

ADOPTED, by the Lake Elmo City Council on the 20th day of April 2004.

Lee Hunt, Mayor

ATTEST:

Charles E. Dillerud, Acting City Administrator

**City of Lake Elmo
Planning Commission Meeting Minutes
April 12, 2004**

Chairman Helwig called to order the meeting of the Lake Elmo Parks Commission at 7:00 p.m. Commissioners present: Johnson, Van Pelt, Sessing, Pelletier, Ptacek, Bunn, and Berg. STAFF PRESENT: Chuck Dillerud, City Planner and Kimberly Schaffel, Recording Secretary.

Pledge of Allegiance

Agenda

M/S/P Berg/Johnson, To accept the Agenda as presented. **VOTE: 8:0.**

Minutes

M/S/P Ptacek/Sessing, To accept the Minutes of March 22, 2004 as amended. Change 3RD to last paragraph of page two to read, "...Needs to be in tune with the scale of the neighborhood." **VOTE: 7:0:1 (Bunn: Abstain).**

PUBLIC HEARING – WHISTLING VALLEY 2ND ADDITION

The Planner introduced the application for this OP Development Stage Plan, Preliminary Plat and Conditional Use Permit. He said that OP Projects come to the city in three stages: first is Concept which addresses the basics of the plan, second stage is this one with much greater detail, and information is submitted to outside reviewing agencies for comment as well as to the city engineer and city attorney, and the third and final stage will go directly to the City Council.

The Planner said the site is 45 acres of undeveloped land, and this plat is an extension of another approved project. This project would be 18 single family lots, and half of buildable land will be preserved as permanent open space.

The Planner said that at the Concept Stage, the developer responded to all conditions of the Planning Commission by the time the Concept reached the City Council one week later. The road was changed to connect to the other adjoining plat. Emergency access was indicated as going out to the Keats Avenue entrance to the Lake Elmo Park Reserve, and that was rejected by the county. The length of the trail system now exceeds the road length requirement in the OP standards. The lot owner at the southeast corner had expressed concern about activities on their parcel creating a problem to their new neighbors. The developer responded by volunteering a screening plan with a berm.

The Planner said this Development Stage Plan and the plat meets the Concept Plan requirements. He noted that one proposed lot is 1,300 feet below the ¾ acre minimum lot size, but he said he believes it can be adjusted. He reported that the staff report did not include many outside agency comments since some of those agencies did not respond until after the staff report was drafted.

The Planner reported that the City Engineer and Washington County have responded. The Planner said that the County's response was a bit confusing so he called Joe Lux asking what was meant. He advised the Commission that the second bullet of the County's letter indicated the County does not want to have direct access from this plat into the Regional Park. He observed that the developer relocated the trail access to Keats Avenue in the Development Stage Plan, but that the County does not like that arrangement either. The County has suggested that from a traffic perspective, speed is faster at the proposed point of access than farther north

toward the park.

The Planner suggested that access might be made from the northeast corner of the plat in the outlot, if access is on a right angle going to Keats, and not into the park. The trail location going east toward Keats is to be determined.

The Planner pointed out that the street section as proposed is 24 feet from curb to curb, the maximum allowable, and only 22 feet wide along the preserved open space. He stated that staff recommends approval of the OP Development Stage/Conditional Use Permit and Preliminary Plat based on three findings in the staff report:

1. The OP Development Stage Plan is consistent with the Lake Elmo Comprehensive Plan and the approved OP Concept Plan.
2. The OP Development Stage Plan complies with the documentation requirements and standards of the OP Ordinance, except as noted.
3. The Preliminary Plat complies with the documentation requirements and standards of Section 400 of the City Code (Subdivision),

and approval should be subject to two conditions

1. The area of the lot that is currently too small should be increased to a $\frac{3}{4}$ acre minimum size.
2. Compliance with recommendations of the City Attorney, City Engineer, Valley Branch Watershed District, and Washington County (if the city deems those recommendations as reasonable and proper).

The Planner suggested that the commission may wish to point out that the trail location is to be specified at a later date.

Commissioner Bunn asked if the county has articulated a trail policy about not having direct access in the Park Reserve. The Planner answered that the County had recently set Policy in that regard. The Policy generally calls for only a minimum number of access points to the Regional Park, and that they are all public trail accesses. The County is awaiting the city's Trails System Plan to address the preferred points of access to the Park by City trails.

Dave Sorenson, Anderson-Sorenson Homes, Bald Eagle Development

Mr. Sorenson said he tried to work with County Parks about the trail issue. The developer prefers any solution closer to the Park than going down 10th Street. He would be open to a system that might have a gate or whatever is required to deter the entry into the park by vehicles.

He said the undersized lot won't be a problem to fix.

Chairman Helwig asked if the wetland on the undersized lot is deep. The developer's engineer replied that it is a seasonally wet depression.

Bob Close, Landscape Architect

The road extension suggestions by the Planning Commission at the Concept Stage make for better circulation on the trail for residents.

Commissioner Helwig asked if any of the private trails go to 10th Street. Mr. Close said no, they just go to Goose Lake.

William McCully, Rehbein Company

In response to a comment by the city engineer to the preliminary sewer plan, Mr. McCully explained that the sanitary sewer is placed where shown because they ran out of depth of cover, which is why they are cutting the corner of a lot. They will abide by setbacks from a residence to the sewer line but prefer not to lose the depth.

Commissioner Bunn asked how much depth is lost by maintaining the setback. Mr. McCully said the resulting sewer line then becomes about five feet deep, and they prefer to have more depth.

THE CHAIR OPENED THE PUBLIC HEARING AT 7:26 P.M.**Jim Kaufhold**

Mr. Kaufhold spoke as a representative for his son, the owner of the lot being surrounded by this development. He asked if the county would let his son put a road out to 10th Street. He asked if the developer would allow his son road access if they wanted to develop their parcel.

The Planner said that on a 10-acre site, the County would probably allow no more than one point of access to 10th Street, and no access to Keats Avenue. The current driveway access is permitted, and that won't be lost to the owner in the future.

Mr. Kaufhold asked what if his family created two lots in the back. Could he get access across the outlot? The Planner said that the right-of-way does not extend to the east property line of the plat so there would be no access.

William McCully said there is common space between the road and the Kaufhold Parcel.

THE CHAIR CLOSED THE PUBLIC HEARING AT 7:31 P.M.

Commissioner Ptacek said that, if the county permits only one point of access, Mr. Kaufhold might be able to relocate his present access farther west. The Planner said that the closer the driveway gets to the west property line, the safer the situation would be as to spacing access to 10th Street. The Planner offered to provide The Kaufhold with the name and number of the County Engineer to confirm access questions to 10th Street.

Commissioner Ptacek said he would be uncomfortable asking the developer to provide right-of-way in this case.

M/S/P Ptacek/Van Pelt, To recommend approval of the Open Space Development Stage Plan, Conditional Use Permit and Preliminary Plat of WHISTLING VALLEY 2nd ADDITION per plans staff dated April 5, 2004, based on Findings and Conditions specified, and with the additional condition that a satisfactory resolution of the trail connection to Keats Avenue be found. VOTE: 8:0.

The Planner said this item will come before the City Council at its April 20, 2004 meeting.

CITY COUNCIL UPDATE

The Planner said the Eisele Variance request came before the council. They asked the applicant

**LAKE ELMO PLANNING COMMISSION
STAFF REPORT**

Date: April 6, 2004 for the Meeting of April 12, 2004

Applicant: Bald Eagle Development/Miner

Location: Northwest Quadrant of Keats Avenue and 10th Street North (CSAH 10)

Requested Action: OP Development Stage Plan/CUP/Preliminary Plat

Land Use Plan Guiding: RAD

Existing Zoning: AG (Agricultural)

Site History and Existing Conditions:

This now vacant site of 45 acres is primarily open prairie/agricultural in character, with rolling terrain and about 35 feet of elevation from a low point at the northeast corner to a high point at the west center of the site. The resulting slopes in excess of 25% are minimal - .23 acres. Tree cover is found along 10th Street North as a planted evergreen grove; and in small natural groves at the east and west site peripheries. Two small Jurisdictional wetlands are located in upland areas of the south center of the site.

This site was the subject of several companion City Planning and Zoning actions in 1997 related to a proposed horse boarding use. A Conditional Use Permit was approved for that use by Resolution #97-5 on February 18, 1997, subject to a long list of conditions. In a companion action the City Council also approved rezoning of the site from OP (a district that no longer exists) to AG to accommodate the CUP action. There was also a companion application for a Minor Subdivision of the site that was considered by the Planning Commission, but later withdrawn prior to Council consideration.

No activity had commenced responsive to the approved CUP by late 2000. The property owner was advised that the CUP had expired in 1998 since no action had been taken to exercise those rights. At the property owner's request, the City Council renewed the CUP on November 8, 2000. There was no activity on the site responsive to that renewal by November, 1998 either, so the CUP again expired, and has not been renewed. There is no reason to assume that the 1997 zoning action to AG has expired, however.

On February 3, 2004 the City Council approved an OP concept plan for the site featuring 18 single family home sites on the 45 acres. A 4/5 variance from OP standards was also approved to allow an 85 foot OP Buffer on the extreme southwest lot. There were no specific conditions to the approval other than the usual compliance with the City Engineer's recommendations. The applicant modified the OP Concept Plan - based on the January 26 Planning Commission recommendations - prior to the February 3 City Council meeting.

Discussion and Analysis:

The applicant's OP Development Stage Plan/CUP submissions essentially mirror the approved Concept Plan, and continue to comply with the quantitative standards of the OP ordinance with

respect to lot count and Preserved Open Space. Additional OP standards now addressed at the Development Stage include specific trail length and trees count/landscaping, both of which are compliant – with the tree count well in excess of both OP and Chapter 400 standards. Specific Plan modifications from the Concept Plan that the Commission reviewed in January include the following:

1. The north street loop is now extended westerly to meet the existing street in Whistling Valley I.
2. The length of internal trails proposed now exceeds the OP standards. Also, the trail alignment has been modified to outlet to Keats Avenue (in the former “future street” outlet) rather than directly to the Regional Park.
3. A specific plan has been proposed to berm/landscape the south east property line in response to the concerns raised by the adjoining property owner at the Concept Plan Hearing.
4. The intersection island street configuration proposed by the Concept Plan at the southeast connection with Whistling Valley I. has been redesigned as a conventional 3 legged intersection.

The Development Stage Plan/Preliminary Plat proposes a lot (Lot 3, Block 1) that is smaller in area than the .75 acre OP standard. Increasing that lot size by about 1,300 square feet by adjusting the north lot line with the adjacent outlot should be easily accomplished by the developer to avoid a variance situation.

Subject to the recommendations of the City Engineer and outside review agencies, it appears that the Preliminary Plat complies with the subdivision standards of Section 400. Only DNR has responded (with no objections or recommendations) as of the date of this report.

The street section proposed fronting homes is 24 feet curb back-to-curb back except at the short one way segment near 10th Street. The street section crossing the Preserved Open Space is 22 feet paved with rural section (no curbs) over most of the segment – more in keeping with the surroundings than an urban section street.

Findings and Recommendations:

The OP provisions of the zoning ordinance do not specify mandatory Findings at the Development Stage. We recommend, however, that the following Findings be made with respect to the OP Development Stage Plan/CUP and the Preliminary Plat of Whistling Valley 2nd Addition:


1. The OP Development Stage Plan is consistent with the Lake Elmo Comprehensive Plan and the approved OP Concept Plan.
2. The OP Development Stage Plan complies with the documentation requirements and standards of the OP Ordinance, except as noted.
3. The Preliminary Plat complies with the documentation requirements and standards of Section 400 of the City Code (Subdivision).

Based on the foregoing Findings, staff recommends approval of the OP Development Stage Plan/CUP/Preliminary Plat of Whistling Valley 2nd Addition per plans staff-dated April 6, 2004, subject to the following conditions:

1. The Plat/Plan shall be modified to increase the area of Lot 3, Block 1 to not less than .75 acres.
2. Compliance with the recommendations of the City Engineer, City Attorney and those of the Valley Branch Watershed District and Washington County found by the City to be reasonable and proper.

Planning Commission Actions Requested:

Motion to recommend approval of the OP Development Stage Plan/CUP and Preliminary Plat of Whistling Valley 2nd Addition per plans staff dated April 6, 2004, based on the Findings, and subject to the conditions specified by the Planning Staff Report of April 6, 2004.



Charles E. Dillerud, City Planner

Attachments:

1. Location Map
2. Resolution 2004-12, Approving OP Concept Plan
3. Approved Concept Plan Graphic
4. Applicant's Documentation

CITY OF LAKE ELMO
WASHINGTON COUNTY, MINNESOTA

RESOLUTION NO. 2004-012

A RESOLUTION APPROVING THE OPEN SPACE CONCEPT PLAN
FOR WHISTLING VALLEY SECOND ADDITION

WHEREAS, Bald Eagle Development and David Sorenson have made application for an OP Concept Plan for Whistling Valley Second Addition to create 18 single family building sites on a parcel of 45 acres east of, and adjacent to, the Whistling Valley OP approved by the City in 2003.

WHEREAS, at its January 26, 2004 meeting, the Lake Elmo Planning Commission conducted a Public Hearing and reviewed and recommended approval of this application based on the following findings:


1. The Concept Plan is consistent with the goals, objectives and policies of the Comprehensive Plan.
2. The Concept Plan is consistent with the purpose of the Open Space Preservation Ordinance.
3. The Concept Plan, except as noted by the January 22, 2004, Planning Staff Report, complies with the development standards of the Open Space Ordinance.

WHEREAS, the Concept Plan of Whistling Valley Second Addition was presented to the City Council at this February 3, 2004 City Council Meeting.


NOW, THEREFORE, BE IT RESOLVED, that the Lake Elmo City Council does hereby approve and accept the Open Space Concept Plan of Whistling Valley Second Addition, per plans staff dated February 3, 2004 based on the recommendation of the Planning Commission as to the Findings and subject to the following condition:

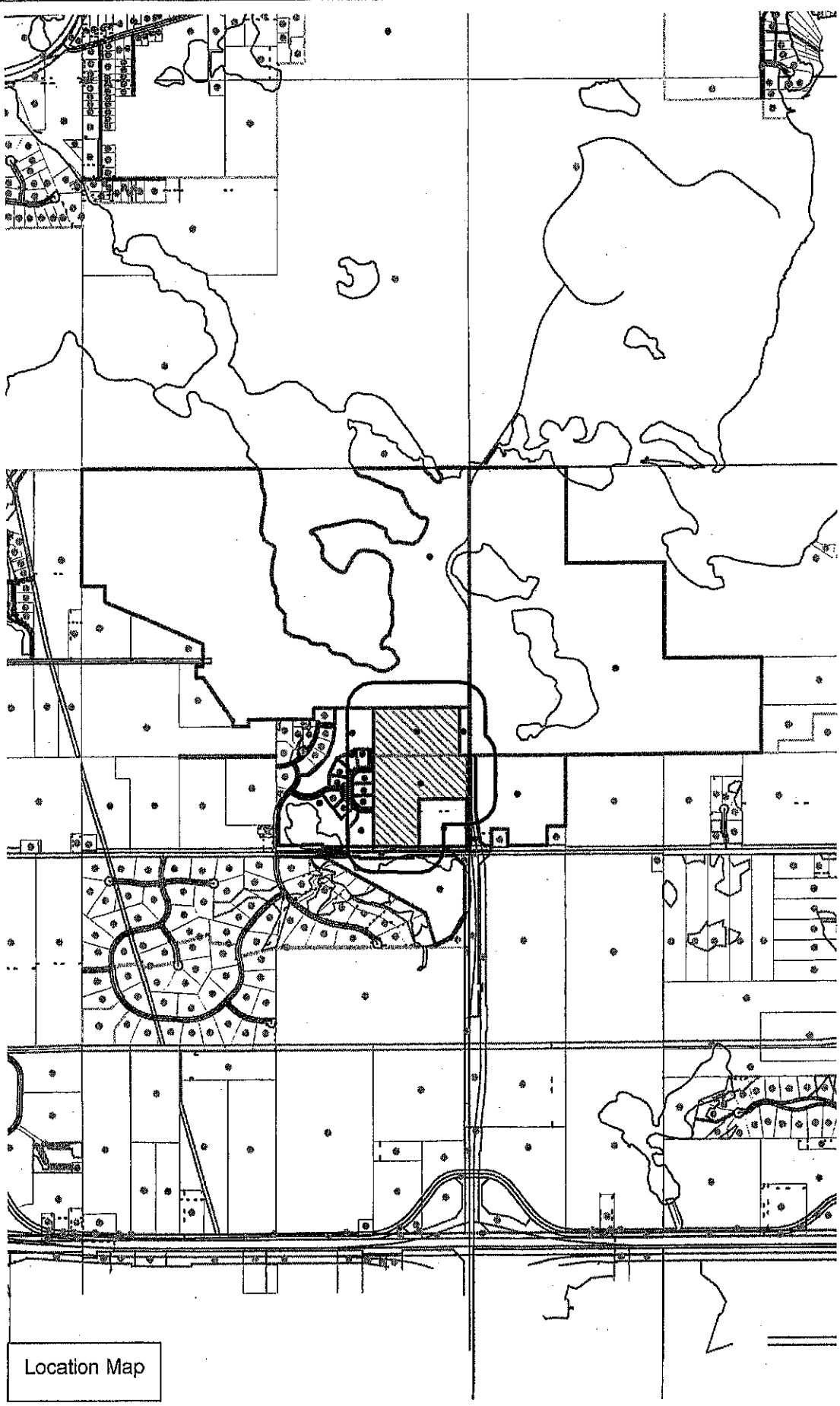
1. Approval by the City Council of a 4/5 OP Variance to permit an 85 foot OP Buffer for proposed Lot 1, Block 1 (extreme Southwest lot).

ADOPTED, by the Lake Elmo City Council this 3rd day of February, 2004.

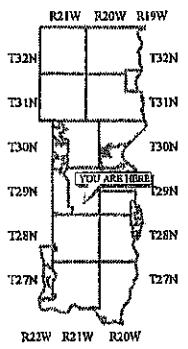

Lee Hunt, Mayor

ATTEST:

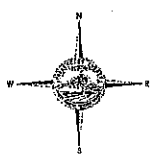

Charles E. Dillerud, Acting City Administrator



Location Map



Vicinity Map



This drawing is the result of a compilation and reproduction of land records as they appear in various Washington County offices. The drawing should be used for reference purposes only. Washington County is not responsible for any inaccuracies.

Source: Washington County Surveyors Office. Phone (509) 433-0873

Platrol data based on A6600 information current through November 30, 2003

Map printed: January 12, 2004

CITY OF LAKE ELMO
WASHINGTON COUNTY, MINNESOTA

RESOLUTION NO. 2004-012

A RESOLUTION APPROVING THE OPEN SPACE CONCEPT PLAN
FOR WHISTLING VALLEY SECOND ADDITION

WHEREAS, Bald Eagle Development and David Sorenson have made application for an OP Concept Plan for Whistling Valley Second Addition to create 18 single family building sites on a parcel of 45 acres east of, and adjacent to, the Whistling Valley OP approved by the City in 2003.

WHEREAS, at its January 26, 2004 meeting, the Lake Elmo Planning Commission conducted a Public Hearing and reviewed and recommended approval of this application based on the following findings:


1. The Concept Plan is consistent with the goals, objectives and policies of the Comprehensive Plan.
2. The Concept Plan is consistent with the purpose of the Open Space Preservation Ordinance.
3. The Concept Plan, except as noted by the January 22, 2004, Planning Staff Report, complies with the development standards of the Open Space Ordinance.

WHEREAS, the Concept Plan of Whistling Valley Second Addition was presented to the City Council at this February 3, 2004 City Council Meeting.


NOW, THEREFORE, BE IT RESOLVED, that the Lake Elmo City Council does hereby approve and accept the Open Space Concept Plan of Whistling Valley Second Addition, per plans staff dated February 3, 2004 based on the recommendation of the Planning Commission as to the Findings and subject to the following condition:

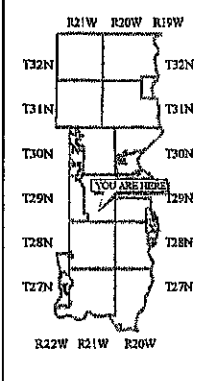
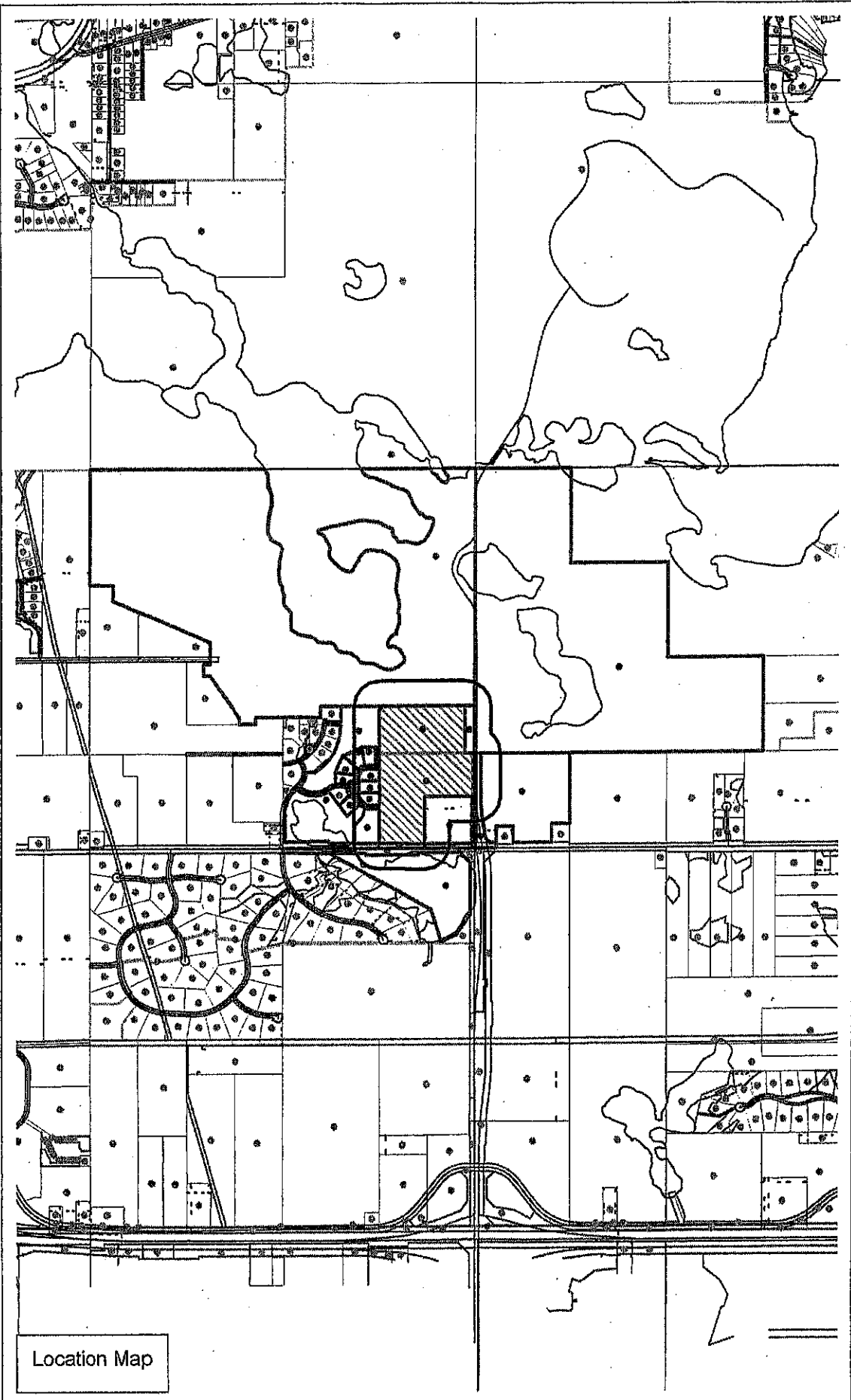
1. Approval by the City Council of a 4/5 OP Variance to permit an 85 foot OP Buffer for proposed Lot 1, Block 1 (extreme Southwest lot).

ADOPTED, by the Lake Elmo City Council this 3rd day of February, 2004.

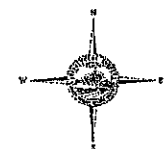

Lee Hunt, Mayor

ATTEST:


Charles E. Dillerud, Acting City Administrator



Vicinity Map



Location Map

This drawing is the result of a compilation and reproduction of land records as they appear in various Washington County files. The drawing should be used for reference purposes only. Washington County is not responsible for any inaccuracies.

Source: Washington County Surveyor's Office, Phone (654) 430-8875

Parcel data based on A8-000 information current through: November 30, 2003
Map printed: January 12, 2004

Lake Elmo City Council April 20, 2004	Agenda Section: Planning, Land Use & Zoning	<u>No.</u> 9C
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Agenda Item: PUD Final Plan Amendment – United Properties

Background Information for April 20, 2004:

In mid-March Nordquist Sign Company applied for a permit to install a permanent “directional sign” along Hudson Blvd. to replace the High Pointe Health temporary sign that has been located there for several years. The replacement sign would be sized to accommodate four directional messages. The sign would be 27 inches wide and 60 inches in height, and not be illuminated. The sign design/appearance would be in keeping with the other Eagle Pointe Business Park signage.

Since this sign was not a component of the Eagle Pointe PUD Master Sign Plan, and would otherwise not be a permitted sign, United Properties has requested an amendment to the Eagle Pointe PUD Final Plan (the Master Sign Plan portion) to include this sign. We believe this would both constitute an improvement in appearances (over the old temporary High Pointe directional); and, provide a measure of traffic safety by advising the motorists of who is where along a busy stretch of roadway.

Staff recommends approval of the requested PUD Final Plan amendment, subject to the condition that the sign be located at least 15 feet from any property line or public street right-of-way line.

<p><u>Action items:</u></p> <p>Motion to approve Resolution #2004 - , approving a Final PUD Plan amendment of the Eagle Pointe Business Park to permit a directional sign per plans staff dated April 15, 2004.</p>	<p><u>Person responsible:</u></p>  <p>City Planner</p>
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<p><u>Attachments:</u></p> <ol style="list-style-type: none"> 1. Draft Resolution #2004 - , Approving PUD Plan Amendment 2. Applicant’s Graphics 	<p><u>Time Allocated:</u></p>
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CITY OF LAKE ELMO
WASHINGTON COUNTY, MINNESOTA

RESOLUTION NO. 2004-

A RESOLUTION AMENDING THE EAGLE POINT BUSINESS PARK
PUD FINAL PLAN

WHEREAS, the Nordquist Sign Company has applied for a permit to install a permanent "directional sign" along Hudson Boulevard, to replace the High Pointe Health Temporary sign that has been located there for several years.

WHEREAS, since this sign was not a component of the Eagle Point PUD Master Sign Plan, United Properties has requested an amendment to the Eagle Point PUD Final Plan to include the sign.

WHEREAS, at its April 20, 2004 meeting, the City Council reviewed the amendment to the Eagle Point Business Park PUD Final Plan to permit a directional sign to be located on the south side of Hudson Boulevard,

NOW, THEREFORE, BE IT RESOLVED that the Lake Elmo City Council approves the amendment to the Eagle Point Business Park PUD Final Plan to permit a directional sign to be located on the south side of Hudson Boulevard, per plans staff dated April 15, 2004, as an addition to the Eagle Point Business Park Master Sign Plan, subject to the following condition:

1. The sign be set back not less than 15 feet from any property line and public street right-of-way.

ADOPTED, by the Lake Elmo City Council on the 20th day of April, 2004.

Lee Hunt, Mayor

ATTEST:

Charles E. Dillerud, City Administrator

Resol EPBlvd Sign

10, MW

High Pointe
Health Campus

High Pointe

Hudson Blvd

Eagle Valley

Eagle Pointe

Proposed
Sign
Location

4/15/04
CED

Hotel

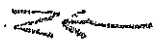
Machine
Shed

Eagle Pointe
Park

I-94

Inwood Rd

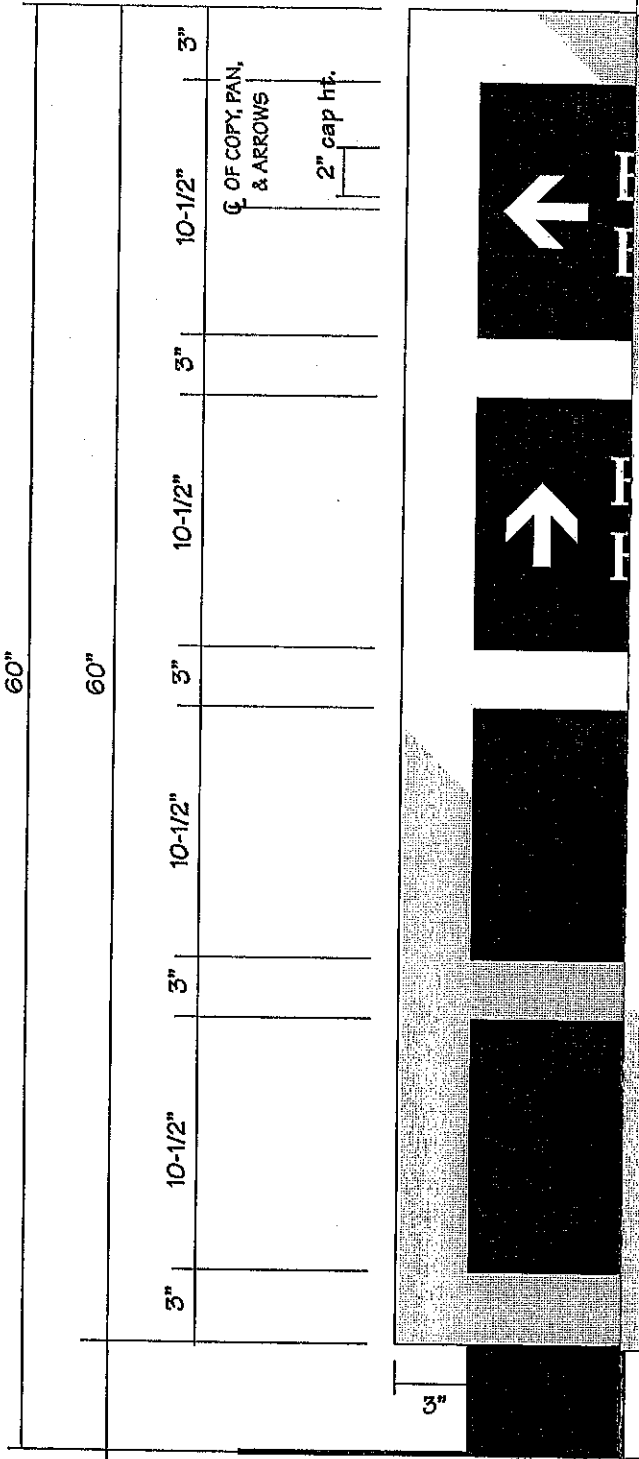
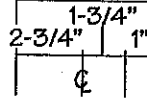
Radio Dr



AND INSTALL

LUMINATED DIRECTIONAL

ECT EMBED



☒ OF COPY, PAN,
& ARROWS

2" cap ht.

60"

60"

3"

10-1/2"

10-1/2"

10-1/2"

10-1/2"

3"

3"

42"

1
1.1

ELEVATION:

SCALE: 1-1/2" = 1'-0"

This Drawing is the property of

Nordquist

312 WEST LAKE STREET
MINNEAPOLIS, MN 55408
612-823-7291

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Quote # N/A

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Salesperson: GS

Drawn By: AB

Date: 08/07/03

Rev: 03/18/04 CH

Rev: _____

Rev: _____

Rev: _____

**FRAUENSHUH
COMPANIES**



Architectural / Graphic

FRAUENSHUH
03-291

Page
1.1

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Quote # N/A

Previous Dwg. # _____

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Salesperson: GS

Drawn By: AB

Date: 08/07/03

Rev: _____

Rev: _____

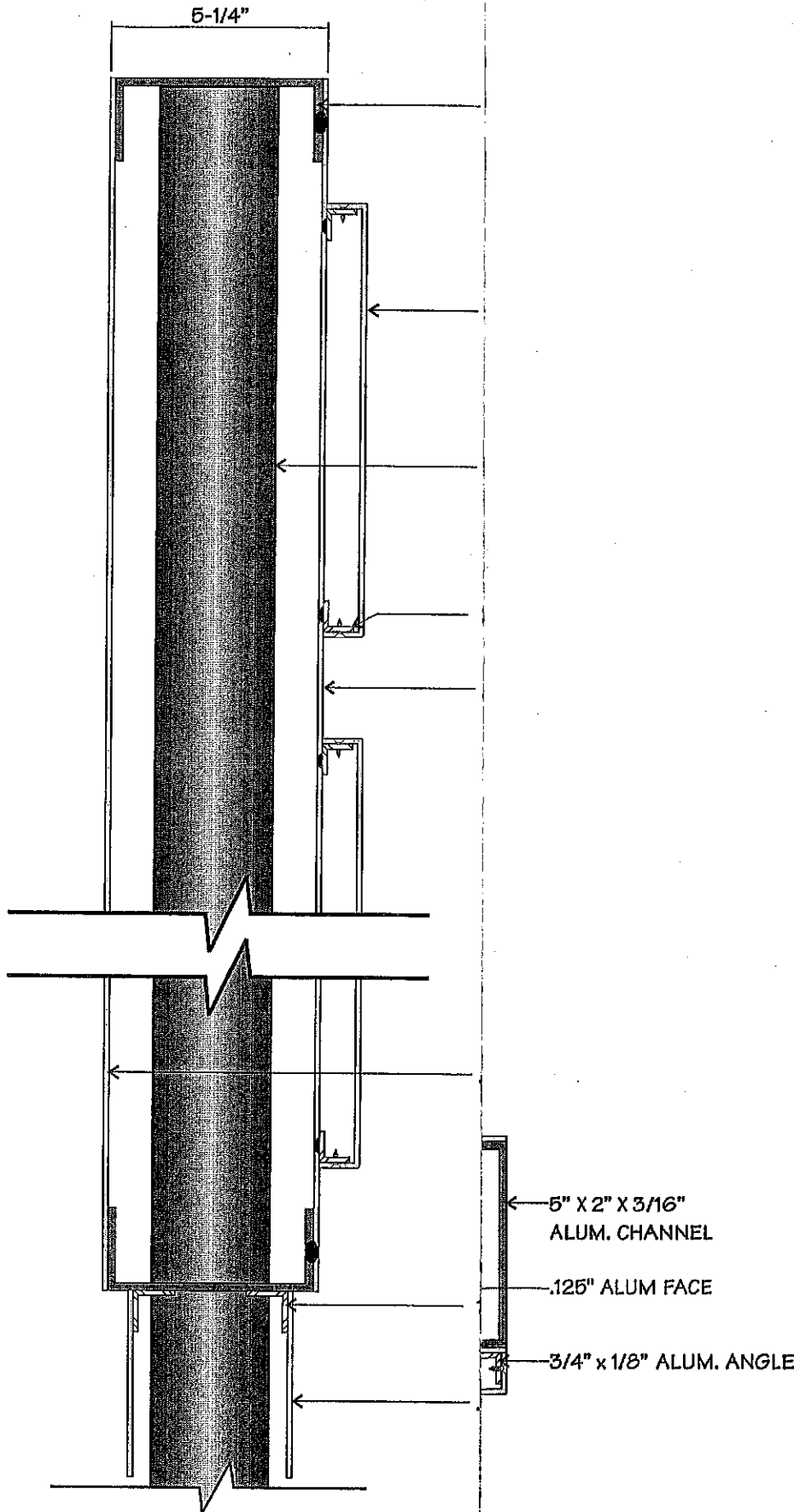
Rev: _____

Rev: _____

FRAUENSHUH COMPANIES



SECTION



1
1.2 VERTICAL SECTION:

SCALE: 3" = 1'-0"

FRAUENSHUH
03-291

Page
12

OAK
MARSH
COMMERCIAL

4TH
STREET

MNDOT R/W PLAT NO. 82 - 47

INWOOD AVENUE NORTH

N 1/4 CORNER OF SEC.
T.29, R.21
FOUND WASH. CO. C.I.M.

MNDOT R/
82-31

FOUND IRON
RLS #15480

FOUND 1/2" OPEN
IRON MONUMENT

(C. S. A. H. 13)

N35°51'43"E 361.76

N46°56'26"E

N46°44'26"E

N42°13'17"E
144.98

DRAINAGE AND
UTILITY EASEMENT

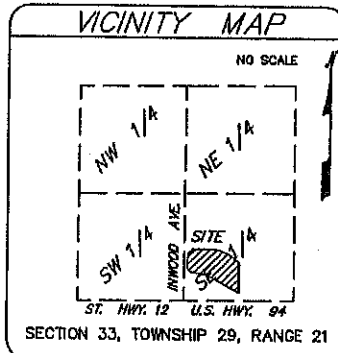
5281.76

N01°40'S E

W. LINE OF THE E.
1/2 OF SEC. 33,
TWP. 29, R. 21

MNDOT

SW CORNER OF THE SE 1/4
OF SEC. 33, T.29, R.21
COORDINATE POSITION
NO MONUMENT FOUND



Orientation of this bearing system is based on the
Washington County Coordinate system. (NAD83)

- Denotes set, 1/2 inch by 16 inch iron pipe
with plastic cap inscribed RLS 15480.
- Denotes found, 1/2 inch iron pipe with
plastic cap inscribed RLS 8612, unless
otherwise noted.
- Denotes access control per Minnesota
Department of Transportation Right of Way
Plat 82-31.



1 INCH = 100 FEET

nde Land Surveying, LLC.

Lake Elmo City Council April 20, 2004	Agenda Section: Planning, Land Use, & Zoning	<u>No.</u> 9D
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Agenda Item: Interpretation and Process – Accessory Building Exterior Color

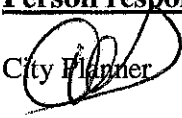
Background Information for April 20, 2004:

A resident has approached staff regarding the exterior color of an accessory building that has been completed, but is not as yet painted. The accessory structure has some of the architectural features of a barn, and the resident desires to paint the accessory structure red to complete the “barn theme”. Section 300.13, Subd.3, Para. 2 and 3 of the Zoning Ordinance clearly requires non-farm accessory structures to be of a “similar color” or “match” that of the principal structure on the site, or the exterior color be of “an earthen tone”. A light gray principal structure (which is the case here) with a red accessory structure does not meet that standard. The resident has invoked the “Rural Character” theme often used by the City as an argument in support of a red barn – regardless of the color of the principal structure.

Staff has advised the property owner that relief from that Code provision could only be provided by either an amendment to the zoning ordinance, or a zoning ordinance variance. Both processes would require a Hearing by the Planning Commission, and approval by the City Council. Of course, the City would need to address the “hardship” in the case of a variance – which may be a tough call with a situation such as this. Also, the variance process requires a \$620 application fee – even if approved, a pretty expensive paint job.

If it is the Council’s desire to consider this matter, I do not recommend it be addressed with a variance action – regardless of cost. I see no way that even the slightest hardship could be claimed in this case. If, however, the Council sees merit in the resident’s argument for a red pseudo-barn without a red house, some manner of zoning ordinance amendment could probably be crafted to that end. If the Council originates the request for such an amendment to be considered on the basis of potential applicability to more than this instant case, no application fee would be chargeable.

Council direction in this manner is requested.

<p><u>Action items:</u> Should the Council determine that an amendment to the zoning ordinance may be appropriate to deal with the color of “Rural Character” styled accessory structures, a Motion to direct staff to bring the amendment proposal to the Planning Commission for Hearing and Recommendation.</p>	<p><u>Person responsible:</u>  City Planner</p>
---	--

<p><u>Attachments:</u> 1. Section 300.13, Sub. 2 of the City Code (Zoning Ordinance)</p>	<p><u>Time Allocated:</u></p>
---	--------------------------------------

- B. No cellar, garage, recreational vehicle or trailer, basement with unfinished exterior structure above, or accessory building shall be used at anytime as a dwelling unit.
- C. All principal buildings hereafter erected on unplatted land shall be so placed as to avoid obstruction of future street or utility extensions and shall be so placed as to permit reasonably anticipated future subdivisions and land use.
- D. All principal buildings shall meet or exceed the minimum standard of the Minnesota State Building Code, the Minnesota State Uniform Fire Code, the Minnesota Department of Health, the Minnesota Pollution Control Agency, and the City's on-site sewage treatment ordinance.

Subd. 3. Accessory Buildings and Structures.

- A. **Types of Accessory Buildings** - storage or tool sheds; detached residential garage; detached rural storage building; detached domesticated farm animal buildings; agricultural farm buildings. The accessory buildings are defined as follows:

1. **Storage or Tool Shed.** A one story accessory building of less than one hundred sixty (160) square feet gross area with a maximum roof height of twelve (12) feet and exterior colors or materials matching the principal structure or utilizing earthen tones. No door or other access opening in the storage or tool shed shall exceed twenty-eight (28) square feet in area.

2. **Detached Residential Garage.** A one-story accessory building used or intended for the storage of motor driven passenger vehicles regulated in Section 300.13, Subd. 4. with a maximum roof height of twenty (20) feet. No door or other access opening shall exceed fourteen (14) feet in height. The exterior color, design, and materials shall be similar to the principal structure.

3. **Detached Rural Storage Building.** A one story accessory building used or intended for the storage of hobby tools, garden equipment, workshop equipment, etc. Exterior materials shall match the principal structure in exterior color or be of an earthen tone. The gross area of the building shall not exceed one thousand (1,000) square feet in gross area on a parcel of between two (2) and ten (10) acres and not more than two thousand (2,000) square feet in gross area on a parcel of greater than ten (10) acres.

4. **Detached Domesticated Farm Animal Building.** A one story accessory building used or intended for the shelter of domestic farm animals and/or related feed or other farm animal supportive materials. The building shall require a Minnesota Pollution Control Agency feedlot permit and site and building plan approval and shall not exceed 2,000 square feet in gross area for a parcel between ten (10) and twenty (20) acres and not more than one-thousand (1000) square feet in gross area on a parcel of less than ten (10) acres.

5. **Agricultural Farm Building.** An accessory building used or intended for use on an active commercial food producing farm operation of more than twenty (20) acres. A Minnesota Pollution Control Agency permit may be required.

CITY OF LAKE ELMO RESOLUTION NO. _____

WEST LAKELAND TOWNSHIP RESOLUTION NO. _____

JOINT RESOLUTION FOR ORDERLY ANNEXATION

IN THE MATTER OF THE JOINT RESOLUTION OF THE CITY OF LAKE ELMO AND THE TOWNSHIP OF WEST LAKELAND DESIGNATING AN UNINCORPORATED AREA AS IN NEED OF ORDERLY ANNEXATION AND CONFERRING JURISDICTION OVER SAID AREA TO THE DEPARTMENT OF ADMINISTRATION PURSUANT TO M.S. 414.0325

WHEREAS, the following 3.7 acre portion of the Township of West Lakeland ("**West Lakeland**"), which is illustrated on Exhibit A attached, abuts the City of Lake Elmo ("**Lake Elmo**"), and primarily includes the right-of-way for Manning Trail:

An area bounded by the west section line of Section 19, Township 29, Range 20, Washington County, Minnesota; by the west line of Downs Lake 2nd Addition; by the north line of the south half of the south half of said Section 19; by the centerline of C.S.A.H. 15; and by a line lying 400 feet north of and parallel to the north line of the south half of the south half of said Section 19 ("**Annexation Area**"); and

WHEREAS, the annexation of the Annexation Area would allow Lake Elmo to connect an existing municipal state aid road to an existing county state aid highway thereby allowing the Lake Elmo to become eligible for state aid reimbursement for ongoing maintenance and future street improvement work on Manning Trail; and

WHEREAS, Lake Elmo and West Lakeland agree that the Annexation Area is in need of orderly annexation; and

WHEREAS, Lake Elmo and West Lakeland agree that no alteration of the boundaries of the Annexation Area is appropriate;

NOW, THEREFORE, BE IT RESOLVED that Lake Elmo and West Lakeland agree that no consideration by the Department of Administration is necessary, and further agree that upon receipt of this Resolution, passed and adopted by each party, the Department of Administration may review and comment, but shall, within thirty (30) days, order the annexation of the Annexation Area in accordance with the terms of this joint resolution.

Approved by the City of Lake Elmo on the ____ day of _____, 2004

CITY OF LAKE ELMO

Lee Hunt, Mayor

ATTEST:

Charles Dillerud, Acting City Administrator

STATE OF MINNESOTA)
) ss.
COUNTY OF _____)

On this ____ day of _____, 2004, before me, a notary public within and for said county, personally appeared Lee Hunt and Charles Dillerud, to me known to be respectively the Mayor and Acting City Administrator of the City of Lake Elmo, and they executed the foregoing instrument and acknowledged that they executed the same by authority of and on behalf of City of Lake Elmo.

Notary Public

Approved by the Township of West Lakeland this ____ day of _____, 2004.

TOWNSHIP OF WEST LAKELAND

By: _____
John McPherson, Town Board Chairman

ATTEST:

Susan Agrimson, Town Clerk


STATE OF MINNESOTA)
) ss.
COUNTY OF _____)

On this ____ day of _____, 2004, before me, a notary public within and for said county, personally appeared _____ and _____, to me known to be respectively the Town Board Chairman and Town Board Clerk of the Township of West Lakeland, and they executed the foregoing instrument and acknowledged that they executed the same by authority of and on behalf of Township of West Lakeland.

Notary Public

THIS INSTRUMENT WAS DRAFTED BY:
PETERSON, FRAM & BERGMAN, P.A. (JPF)
50 East Fifth St., #300
St. Paul, MN 55101
(651) 291-8955

F:\users\Janice\Jerry\LE\Manning Trail Resolution-3.doc

Lake Elmo City Council April 20, 2004	Agenda Section: City Administrator's Report	<u>No.</u> 11A
<u>Agenda Item:</u> Lake Jane Landfill – Ground Water		
<u>Background Information for April 20, 2004:</u>		
<p>On April 6 a resident living south of the former Lake Jane Landfill expressed concern to the Council regarding possible contamination of well water of residences south of the landfill. She noted what she considers to be more than coincidental high number of cancer related deaths in the neighborhood. The Council directed staff to invite a State PCA representative to attend the April 20 Council meeting to report on a “re-evaluation” of the Lake Jane Landfill.</p>		
<p>My contact with the “Closed Land Fill” division of PCA on April 12 did not result in a response until April 15. Ron Schwartz of PCA has now called to advise as follows:</p>		
<ol style="list-style-type: none"> 1. He is not aware of any “re-evaluation” of the Lake Jane Landfill. PCA is considering a different system for disposing of the water being pumped from the landfill, however. 2. PCA will pull samples from its monitoring wells south of the landfill the week of April 19, and have those samples tested. The tests will be of the broad band type (the expensive analysis – well beyond what a property owner would normally get), including testing complex compounds. 3. If the monitoring well tests detect any suspicious levels of potentially harmful compounds, PCA will itself conduct broad band water tests on the private wells south of the landfill at PCA expense. 		
<p>Given the foregoing, no PCA representative will be attending the April 20 Council meeting.</p>		
<u>Action items:</u>	<u>Person responsible:</u>	
None Required.	Acting City Administrator 	
<u>Attachments:</u>	<u>Time Allocated:</u>	
None		

Lake Elmo City Council April 20, 2004	Agenda Section: City Administrator's Report	<u>No.</u> 11B
<u>Agenda Item:</u> Comprehensive Plan – Metropolitan Council		
<u>Background Information for April 20, 2004:</u> The Council discussed the on-going litigation between the City and the Metropolitan Council with its attorney Dick Nowlin at an Executive Session on April 13. A Member of the City Council has properly requested this matter be placed on the Regular Meeting Agenda of April 20 for possible continued discussion.		
<u>Action items:</u> None Requested	<u>Person responsible:</u> Acting City Administrator	
<u>Attachments:</u> None	<u>Time Allocated:</u>	

Lake Elmo
City Council
April 20, 2004

Agenda Section: City Administrators Report

No. 11C

Agenda Item: City Council Email Boxes

Background Information for April 20, 2004:

A resident recently criticized the City for no longer publishing (on the Web site) or giving out the personal Email addresses of City Council Members. Quite aside from the SPAM aspects of a widely disseminated electronic address, I see that most Council Members have provided City Hall their addresses at their employers. I can surely appreciate not wishing to fill one's employer mail box with City business.

A solution to this that is used by many cities is to set up individual City Hall E-Mail Boxes for each City Council Member – the same as each City employee now has. Those are the (only) addresses made available to the Public. The cost of doing this is minimal - \$50 per Member for the software license, and \$50 of labor to install.

This may be a solution that serves all best. Staff requests any Council direction in this regard.

Action items:

Motion directing Staff to set up City Hall E-Mail Boxes for each member of the city Council.

Person responsible:

Acting City Administrator 

Attachments:

Time Allocated:



City of Lake Elmo

651/777-5510

3800 Laverne Avenue North / Lake Elmo, MN 55042

CITY OF LAKE ELMO

ENVIRONMENTAL COMMISSION MEETING

WEDNESDAY, APRIL 21, 2004

7:00 P.M.

Lake Elmo City Hall
3800 Laverne Avenue North
Lake Elmo, MN 55042

1. AGENDA
2. PUBLIC HEARING: City's Storm Water Pollution Prevention Program: City Engineer Tom Prew
3. Presentation of Single-Sort Residential Recycling: Gary Boyum, Waste Management
4. Other
5. Adjourn

CITY OF LAKE ELMO PUBLIC NOTICE

NOTICE IS HEREBY GIVEN that the Lake Elmo Environmental Commission will hold an informational public hearing regarding the City's Storm Water Pollution Prevention Program at the City Hall on April 21, 2004. This hearing will be held at 7:00 p.m. or as soon thereafter as the matter can be reached on the agenda. The agenda for the informational public hearing will include:

1. A Presentation about implementation of the City's Surface Water Pollution Prevention Program in 2003,
2. Affording interested persons an opportunity to make oral statements concerning the Storm Water Pollution Prevention Program,
3. Consideration of relevant written materials that interested persons submit concerning the Storm Water Pollution Prevention Programs; and,
4. Consideration of public input in making adjustments to the 2004 implementation plan for the Storm Water Pollution Prevention Program.

This meeting will be held in the City Hall, 3800 LaVerne Avenue North, Lake Elmo, Minnesota.

This meeting is open to the public. If you have any questions, or need special accommodations, please call 651-777-5510.

Charles E. Dillerud
Acting City Administrator

Single Sort Advantages

- Cart size gives homeowners more than 700 annual gallons of recycling capacity
- Less wear and tear on streets — less truck traffic
- Easy systems — everything co-mingled in one container
- Every other week service decreases challenges of snowplowing or street cleaning around carts
- Less possibility of recycling blowing out of bins — carts are covered
- Commodity is dry — lids on carts
- Participation rate vastly improved — ease of process (75 to 90% participation)
- Better, more reliable service with lower driver turnover
- 60 gallon cart has the same foot print as recycling bin, except for height

Currently Over 140,000 Homes On This Program Including Homes In:*

Bloomington, MN
Brooklyn Center, MN
Brooklyn Park, MN
Burnsville, MN
Coon Rapids, MN
Crystal, MN
Eagan, MN
Eden Prairie, MN
Hopkins, MN
Hastings, MN
New Hope, MN
Richfield, MN
Robbinsdale, MN
Savage, MN

*Complete list available upon request

The Heart of our system is:

- Our 118,000 square foot recyclery at 1800 Broadway N.E., Minneapolis, MN.
- State-of-the-art new sorting equipment allows us to sort the commodities rather than the home owner.
- More Than 94% Recovery Rate.*
- Consistent product quality has resulted in consistent markets for material.

* Report available upon request.

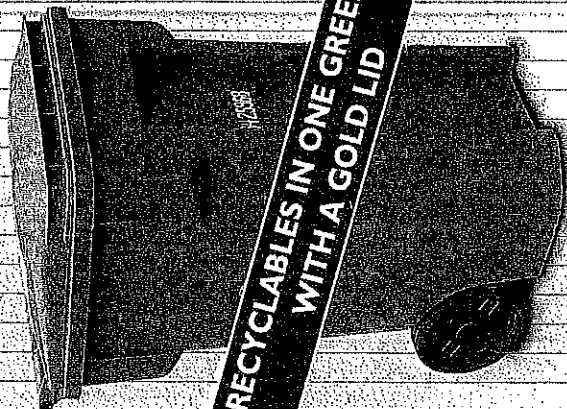
For more information or for a tour of our recyclery please contact:

952-890-1100

WMA
WASTE MANAGEMENT



Single-Sort Residential Recycling



ALL RECYCLABLES IN ONE GREEN CART WITH A GOLD LID

WMA
WASTE MANAGEMENT

952-890-1100

SINGLE-SORT RESIDENTIAL RECYCLING

WHAT TO INCLUDE

CANS & PLASTIC



- Aluminum cans
- Tin cans



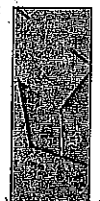
- Plastic milk & water jugs
- Mixed plastic bottles & Containers with neck
- Glass bottles & jars
- Pickle jars
- Juice Bottles
- Jelly jars
- Any color glass, bottle or jar

GLASS



- Loose newspaper
- Paper board
- Cereal boxes (no liner)
- Cake boxes
- Chip Boxes
- Cardboard
- Magazines
- Office paper and junk mail
- Corrugated boxes
- Brown grocery bags
- Glossy paper

PAPER



- Stationery & envelopes
- Binder paper
- Notebook paper - any color
- Adhesive backed or sticky paper

- Remove caps
- Rinse

REMEMBER flattening your materials saves space and energy!

NO PLASTIC BAGS OR STYROFOAM

- Remove bottle caps and jar lids and place in green & gold container.

No need to remove labels!

PLEASE HELP!

FLATTEN CARDBOARD & PAPERBOARD BOXES

Cardboard sections must be no larger than 2 feet by 2 feet to fit into our green & gold cart. We appreciate your help.

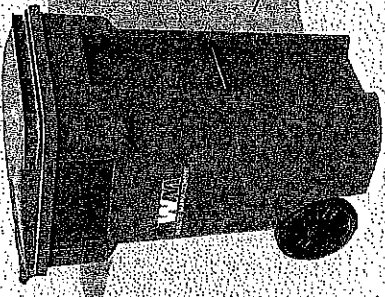
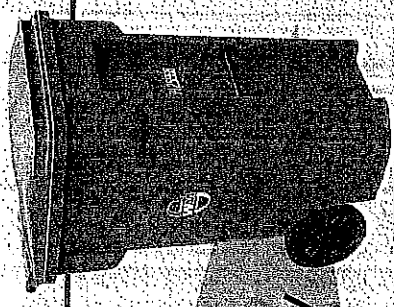
HOW TO PREPARE

GREEN CART WITH GOLD LID

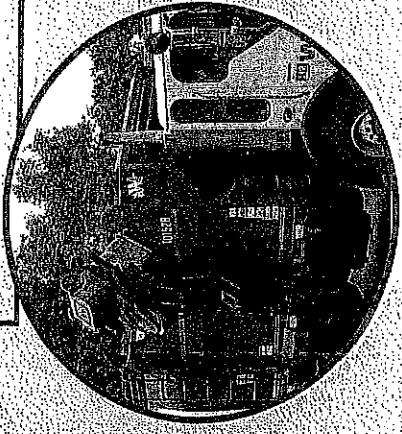
For recyclables only

GREEN CONTAINER

For household garbage only

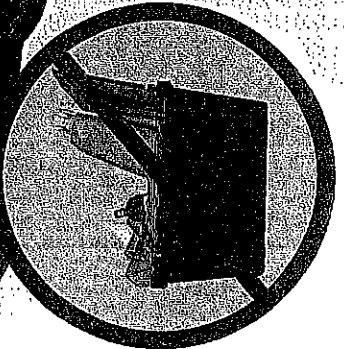
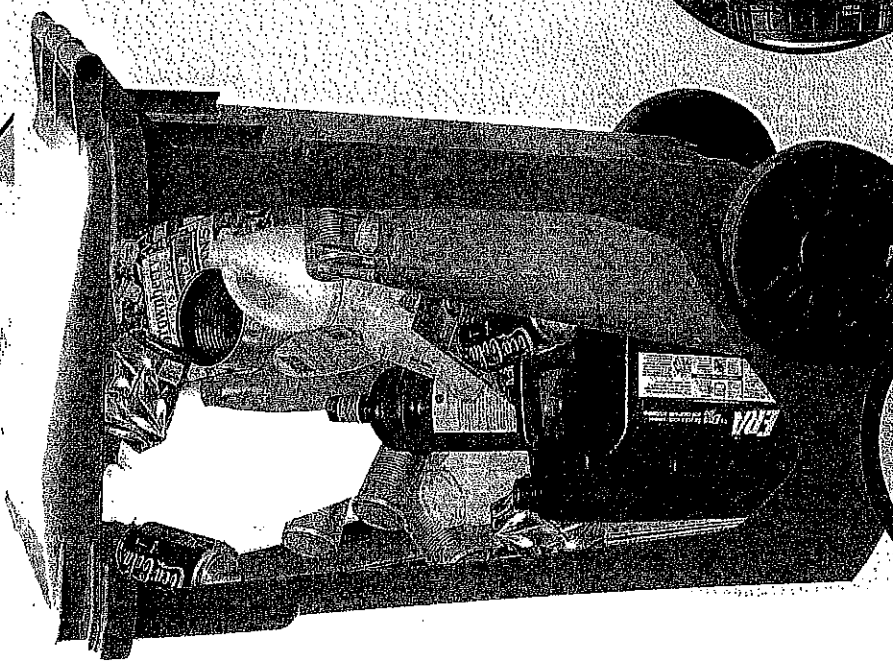


Please place items in this station for pickup

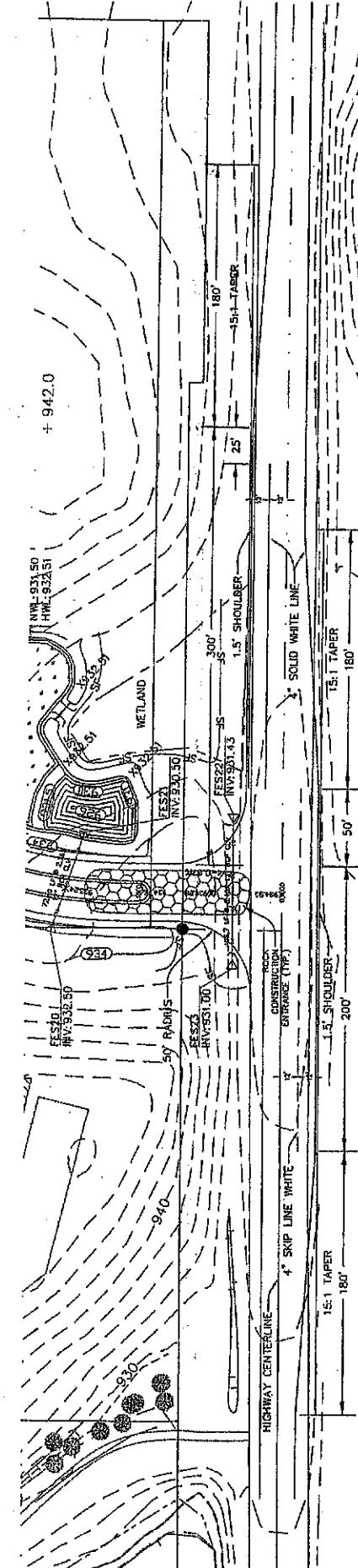
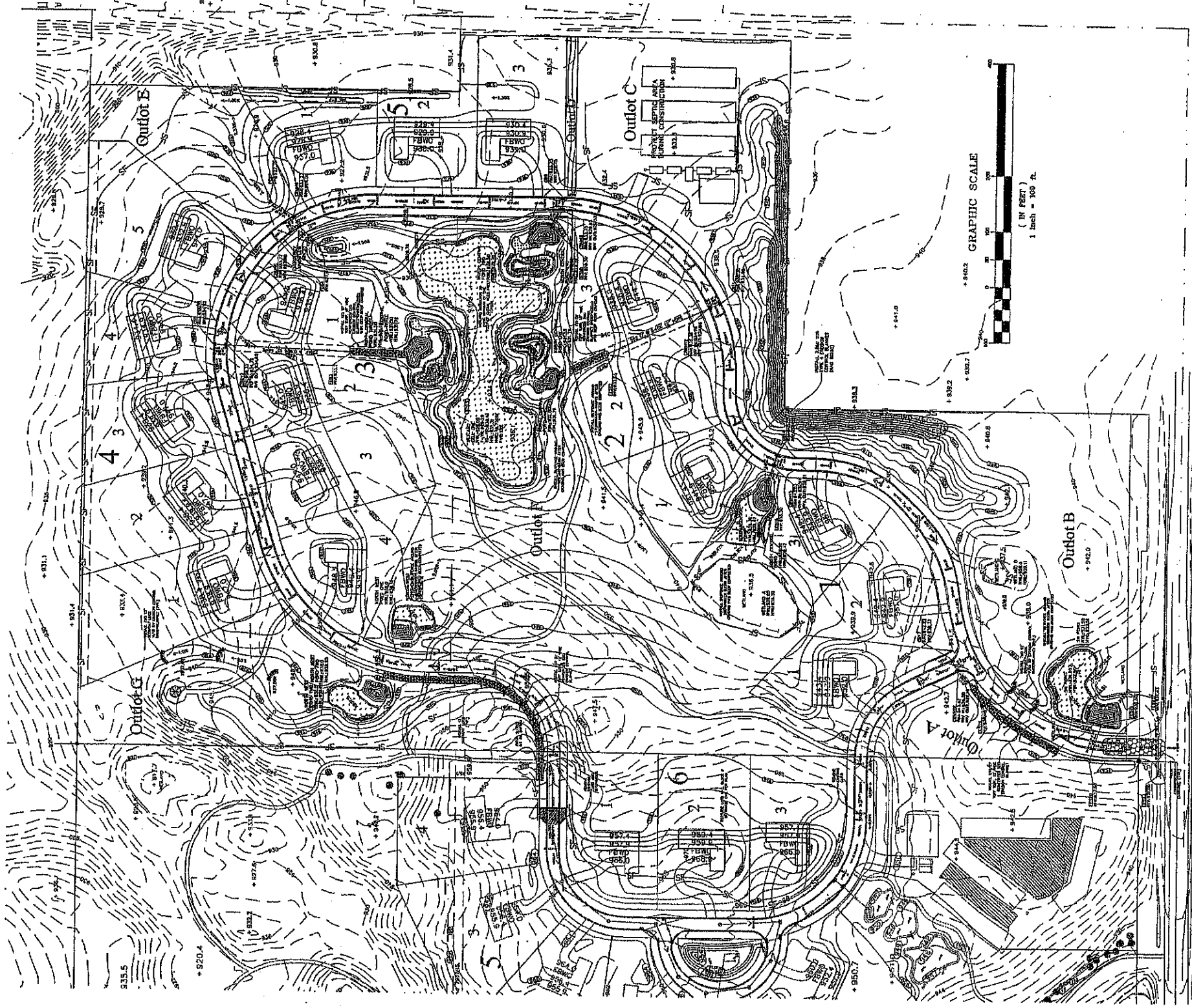


No more separating when you recycle. You simply put all your recyclable materials into the same green can...and we do the separating for you.

Complete, easy-to-read, recycling instructions printed on top of the lid of every green can.



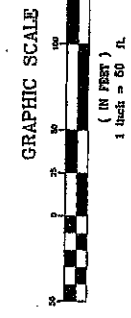
PRELIMINARY STORMWATER POLLUTION PREVENTION PLAN AND GRADING PLAN



TYPICAL COUNTY SECTION
 1.5" WEAR COARSE-2331 MOD.
 2" BASE COARSE-2331
 6" CLV AGGREGATE BASE

4:1 SIDE SLOPES MAX.

TYPICAL WASHINGTON COUNTY TURN AND BYPASS LANE



RECEIVED
 MAR 29 2004

Hilkey Co.

ANDERSON SCHENCK
 455 White Iron Parkway
 Suite 100
 White Bear Lake, MN 55118
 Fax: 651.402.7032
 Concrete Drive Systems

REHBEIN
 111
 10000 Highway 101
 White Bear Lake, MN 55118
 Fax: 651.402.7032
 Concrete Drive Systems

CHESBROUGH
 209 Park Ave. N., Suite 610
 White Bear Lake, MN 55118
 Phone: 651.222-5754
 Fax: 651.222-1017
 www.chesbrough.com
 Concrete Box Curb

North American Wetland Engineering, P.A.
 20 North Lakeshore
 White Bear Lake, MN 55118
 Phone: 651.222-3000
 Fax: 651.222-3000
 Email: naewet@naewet.com
 Concrete Curb One

Whistling Valley
 Lake Elmo, Minnesota

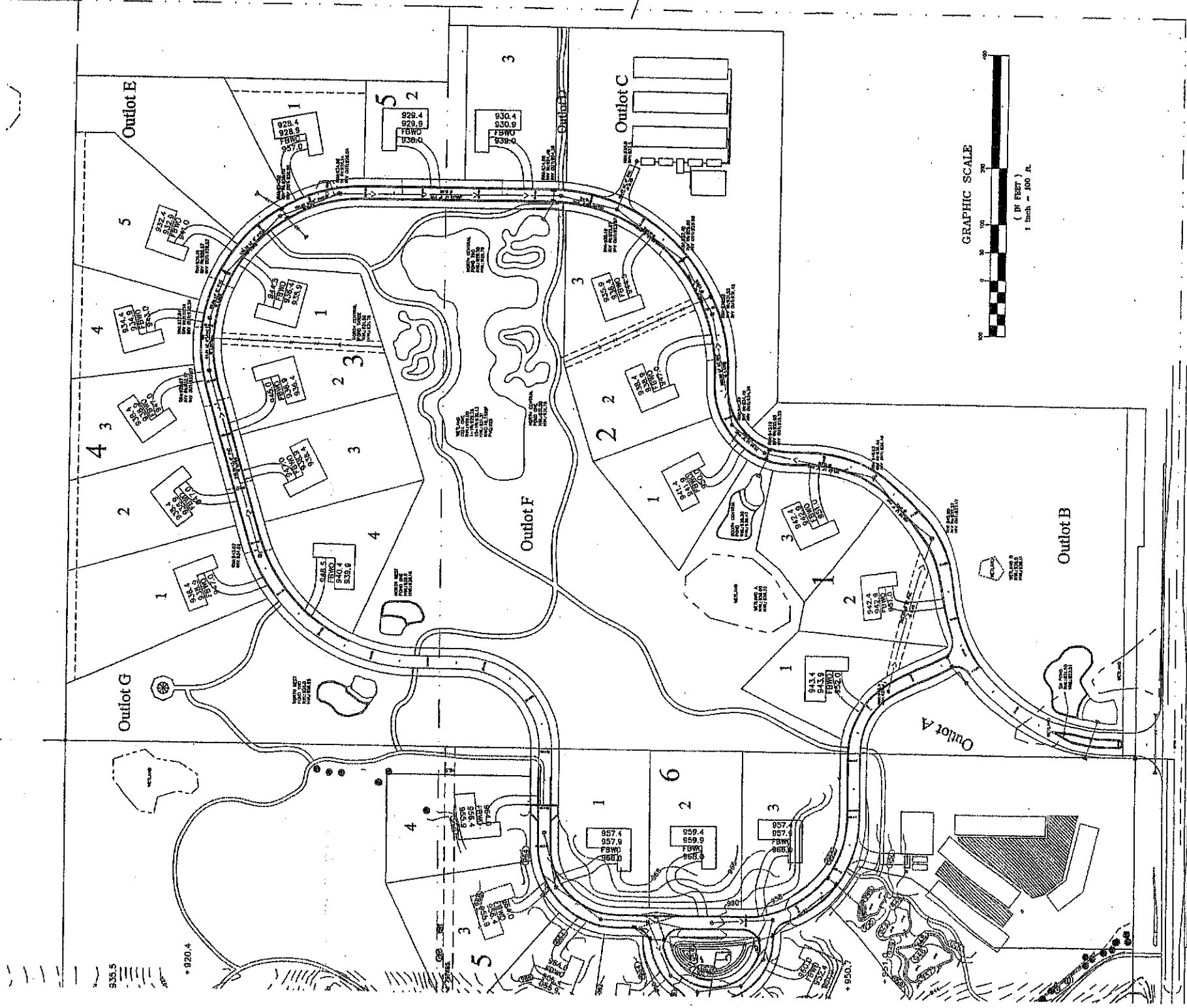
No.	Date	Description
1	3/24/04	Preliminary Plan Submittal

Project # 03520
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATIONS AND NOTICES AS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MINNESOTA.

NAME: William A.T. McChesley
 LICENSE # 2313E
 DATE:

SHEET NAME
C1

PRELIMINARY UTILITY PLAN



LEGEND

PROPOSED 8" SDR 35 PVC SANITARY SEWER (TYP.)

PROPOSED STORM SEWER 12" (UND)

SEPTIC TANKS

HOMES TO HAVE INDIVIDUAL WELLS FOR DOMESTIC WATER SUPPLY

4/6/04
1000

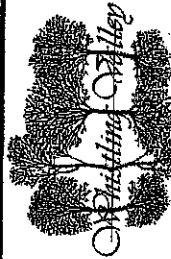
RECEIVED
MAR 29 2004

ANDERSON SORRENSEN
S.P.A.
147 1/2 N. Hwy. Parkway
White Bear Lake, MN 55120
Ph: 651.439.2800
Contract: Drive Station

REHBEIN
141
Engineering: William McChy
Surveying: Tim Nyman

COLEMAN ENGINEERING
272 East 4th St. Suite 610
Shore Park, MN 55071
Ph: 651.223.7077
www.ColemanEng.com
Contract: Sub. One

North American
Waldland Engineering, P.A.
20 North Lake Street
Shore Park, MN 55075
Phone: 651.235.5200
Fax: 651.235.5800
Email: Waldland@naworld.com
Contract: Outlot One



Lake Elmo, Minnesota

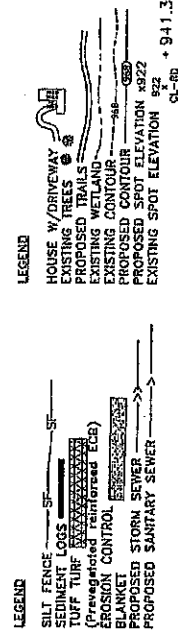
No.	Date	Description
1.	1.26.04	Preliminary Plan Submittal

Project # - 0359D
I hereby certify that this plan, specification and contract documents were prepared by me or under my direct supervision and that I am a duly licensed professional engineer with the State of Minnesota.
NAME: Nelson A.T. Hutchy
DATE: LICENSE # 23138

SHEET NAME

C2

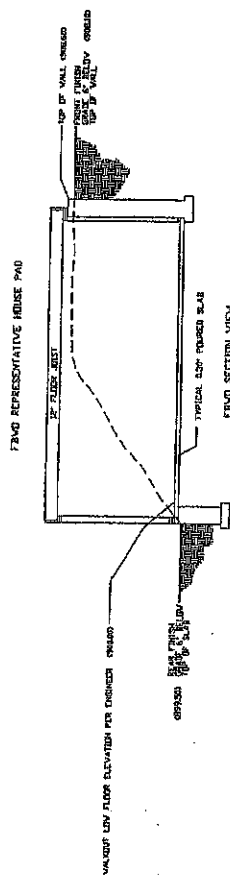
NOTES AND DETAILS



TYPICAL WALKOUT (FBWD) WITH A 13.5 COURSE BASEMENT WITH 12" FULL BLOCK OR POURED WALL

908.10
FBWD
900.00
899.50

FRONT FINISH GRADE ELEVATION
WALKOUT - LOW FLOOR ELEVATION
REAR FINISH GRADE ELEVATION

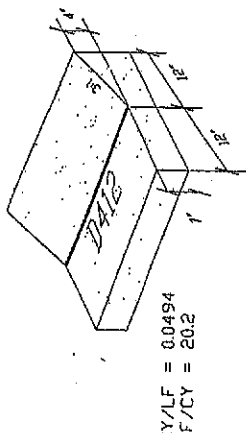


- SPREADING NOTES AND SCHEDULE**
- SILT FENCE TO BE INSTALLED DOWNHILL FROM GRADING ACTIVITY AS SHOWN ON THE GRADING PLANS
 - SEEDING LOGS TO BE PLACED AS SHOWN ON PLANS
 - SOME TREES AND DEAD FALLEN TREES TO BE REMOVED
 - BEGIN STRIPPING TOPSOIL IN ROAD AND HOUSE PAD AREAS
 - SETEWORK SHALL BEGIN ONCE SILT FENCE IS INSTALLED
 - MAINTAIN EXISTING ROCK CONSTRUCTION ENTRANCE OFF 10 FT AVE. N.
 - SEED AND MULCH DISTURBED AREAS WITHIN TWO WEEKS OF FINAL DISTURBANCE
1. "NO MOW" LAWN MIX, COMPOSED OF SIX SLOW GROWING SPECIES, FOR A 4 FT. WIDE STRIP ALONG ALL ROADSIDES. SEED AT A RATE OF 5 LBS. PER 1000 SQ. FT.
2. DEER RESISTANT SHORT PRAIRIE SEED MIX FOR ALL R.O.W. NOT SEEDED WITH TUFF TUBE AND ALL DISTURBED AREAS ON PRIVATE LOTS AND IN THE COMMUNITY OPEN SPACE. SEED AT A RATE OF 10 LBS. PER ACRE.
3. CLOUDBURST RESTORATION SEED AT A RATE OF 10 LBS. PER ACRE. SUPPLIED BY PRAIRIE NURSERY.
4. SEPTIC PRAIRIE MIX FOR SEPTIC OUTLET AREAS. SEED AT A RATE OF 10 LBS. PER ACRE. IF IT IS NOT RECEIVING TOPSOIL OVER THE SAND AND GRAVEL BACKFILL, IF TOPSOIL IS BEING USED, USE THE SHORT PRAIRIE MIX. SEED AT A RATE OF 10 LBS. PER ACRE.
5. STORMWATER BASINS TO BE VEGETATED WITH A NATIVE MESSIC/TRANSITIONAL MIX FROM ONE FOOT ABOVE THE HIGH WATER LEVEL TO THE NORMAL WATER LEVEL AND VEGETATED WITH A NATIVE WET MIX FROM THE NORMAL WATER LEVEL TO ONE FOOT BELOW IT.
- ** ANNUAL RYE NURSERY CROP SHOULD BE USED ON ALL SEEDED AREAS AT A RATE OF 5 LBS PER ACRE (SPRING) OR 15 LBS PER ACRE (FALL).

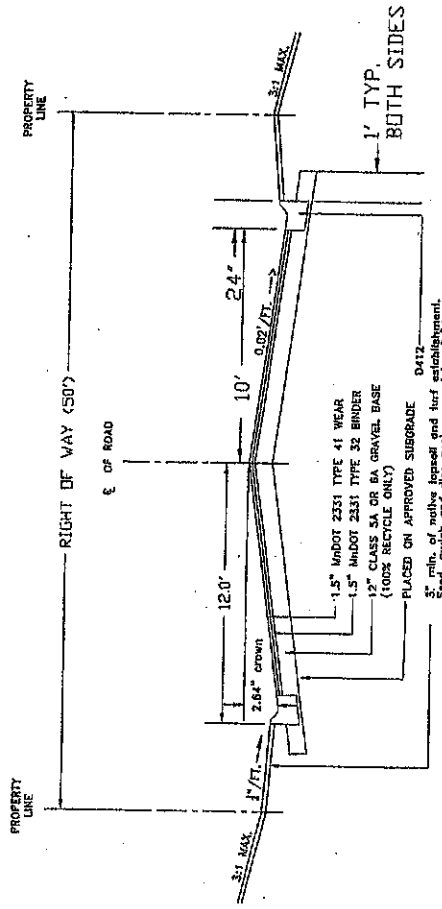
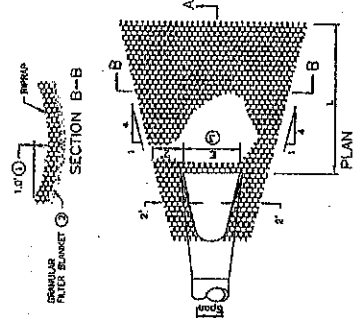
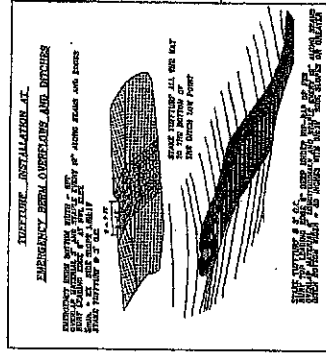
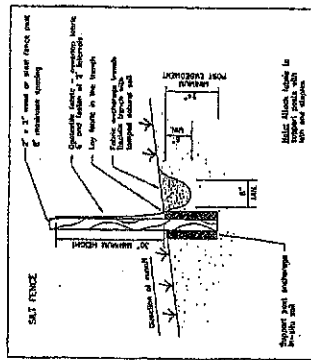
- CREATED WETLAND SEEDING PLAN:
- WETLANDS TO BE LINED WITH A MINIMUM OF 12" OF CLEAN, WEED-FREE TOPSOIL.
 - THE SEEDING OF THE NEW WETLAND AREAS WILL OCCUR FOLLOWING CONSTRUCTION. A NATIVE SEED MIX OF LOCAL POLYFLORA SPECIES WILL BE USED. THE SEED MIX WILL CLOSELY MATCH THE SEED MIX LISTED ON THE APPLICATION, GIVEN SEED AVAILABILITY.
 - THE SITE WILL BE EXCAVATED TO CREATE VARIABLE BOTTOM CONTOURS, IRREGULAR EDGES, AND SLOPE SLOPES NOT STEEPER THAN 5:1. WITHIN 72 HOURS OF COMPLETION OF FINAL GRADING, THE SITE SHALL BE SEED. SEEDING CAN BE ACCOMPLISHED BY EITHER BROADCAST SEEDING OR DRILLING. BROADCAST SEEDING IS PARTICULARLY RECOMMENDED FOR THE BROADCAST SEEDING UNLESS THE WEATHER IS HOT AND DRY OR THE SOIL MOISTURE CONTENT IS LOW AT THE TIME OF SEEDING. THE SEEDING AREAS SHALL BE HARROWED OR RAKED FOLLOWING SEEDING. THE AREAS SHALL THEN BE PACKED WITH A CULTIPACKER. IF THE DRILL METHOD IS USED, PRIMAQUE TYPE SEED DRILL CONTAINING A MINIMUM OF TWO SEED BOXES, ONE FOR FINE SEED AND THE OTHER FOR LARGE AND PLUFFY SEED WILL BE USED. THE FINAL PLANTING DEPTH SHALL BE 1 TO 2 INCHES. ALL SEEDING SHALL BE DONE AT A RIGHT ANGLE TO THE WETLAND BOUNDARY. SEEDING RATE SHALL BE 15 POUNDS PER ACRE FOR GRASSES, AND 2 POUNDS PER ACRE FOR WILDFLOWERS. IF DRILLED, THE RATE WILL BE 10 POUNDS PER ACRE FOR GRASSES AND 1 POUND PER ACRE FOR WILDFLOWERS. SEEDING SHOULD OCCUR EITHER APRIL 15-JULY 20, OR SEPTEMBER 20-OCTOBER 20. WETLANDS MAY ALSO BE PLANTED WITH ROOT STOCK, LIVE CUTTINGS, SHRUBS, ECO-PATCHES AND TREES; SPECIFIC NATIVE SPECIES TO BE DETERMINED.
 - ***SEE WETLAND PERMIT APPLICATION FOR SPECIFIED SEED MIXES AND WETLAND MONITORING COMPONENTS.
 - PHOTO CONTROL POINTS SHALL BE THE WEIR STRUCTURES AND ROCK OVERLAYS (SEE PLANS FOR LOCATION AND ELEVATION)
 - CONTACT PEOPLE: WILLIAM MCCULLY, P.E. (GLENN REHBEIN COMPANIES (763) 784-0857)
 - A RECOMMENDED WEIR HYDROLOGIST-POLLARS GROUP (952)465-0220 WETLAND LOCATED IN SECTION 27, TOWNSHIP 24N, RANGE 21W, WASHINGTON COUNTY DRABNS NORTH TO EAGLE POINT LAKE
 - NFDES PERMIT NEEDS TO BE OBTAINED FOR THE WORK
 - ACCESS AND INSPECTION SHALL BE DONE FROM THE ADJACENT ROADS
 - CONSTRUCTION ASSISTANCE SHALL BE RECEIVED FROM PUBLIC WORKS DEPARTMENT
 - CONSERVATION ASSISTANCE SHALL BE RECEIVED FROM CONSERVATION
 - ESTABLISH A ZERO MAINTENANCE ZONE CONSERVATION BUFFER WHICH SHALL BE SIGNED EVERY 500 FEET
 - TECHNICAL EVALUATION PANEL SHALL REVIEW WETLAND DELINEATION WITH APPLICANT REPRESENTATIVE AND MONITORING CONSULTANT AFTER 1 GROWING SEASON OR WHEN WETLAND CHARACTERISTICS ARE EVIDENT.

- CONTRACTOR TO USE RCP STORM SEWER IN R.O.W. AND H-12 HDPE PIPE IN GREEN SPACES.
- FILL MATERIAL FOR ROAD SUBGRADE SHALL BE APPROVED BY CITY ENGINEER.
- SEE NAME SOIL REPORT FOR SOIL INFORMATION
- CALL GOPHER STATE ONE FOR UTILITY LOCATIONS PRIOR TO ANY WORK 1-800-252-1166
- INTENT TO BALANCE EARTHWORKS ON SITE.
- CONTACT WILLIAM MCCULLY, P.E. AT (763) 784-0857

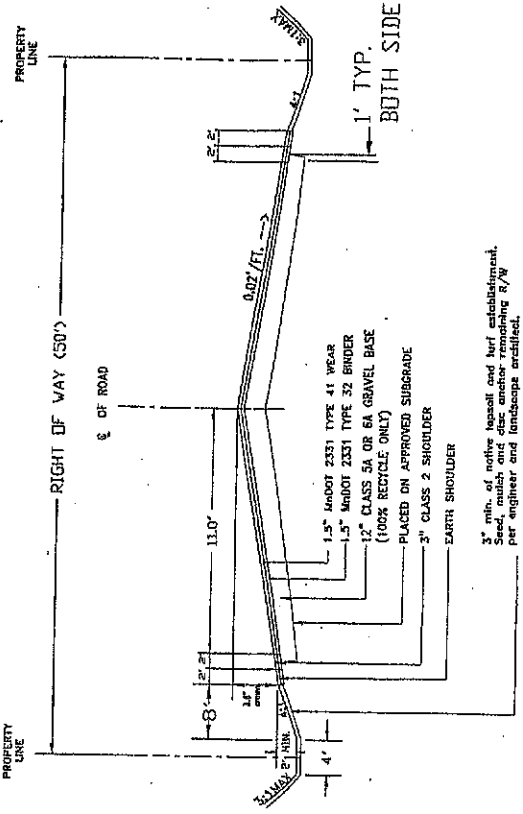
D412 CURB TYPICAL



CY/LF = 0.0494
LF/CY = 20.2



TYPICAL URBAN STREET SECTION FL-22'-FL



TYPICAL RURAL STREET SECTION EOP-22'-EOP

TABLE OF QUANTITIES
RIPRAP AT INLET-CURBS OR BOXES OF EQUIVALENT SPAN WIDTH

CLASS	CLASS I 12" Depth (100% Recycle)	CLASS II 18" Depth (100% Recycle)	CLASS III 24" Depth (100% Recycle)	CLASS IV 30" Depth (100% Recycle)
Qty	19	28	28	28
Volume (cu yd)	1.9	2.8	2.8	2.8
Weight (lbs)	14,280	21,420	21,420	21,420

TABLE OF QUANTITIES
RIPRAP AT OUTLETS

CLASS	CLASS I 12" Depth (100% Recycle)	CLASS II 18" Depth (100% Recycle)	CLASS III 24" Depth (100% Recycle)	CLASS IV 30" Depth (100% Recycle)
Qty	19	28	28	28
Volume (cu yd)	1.9	2.8	2.8	2.8
Weight (lbs)	14,280	21,420	21,420	21,420

RECEIVED
4/6/04
MAR 29 2004

RIPRAP AT OUTLETS

ANDERSON SPRENSON
275 East 4th St, Suite 610
Shull Park, MN 55101
Phone: (612) 322-1017
www.andersonsprenson.com
Customer: Bob Ober

GLENN REHBEIN
275 East 4th St, Suite 610
Shull Park, MN 55101
Phone: (612) 322-1017
www.andersonsprenson.com
Customer: Bob Ober

North American Wetland Engineering, P.A.
20 North Lake Street
Shull Park, MN 55101
Phone: (612) 322-1017
www.nawetland.com
Customer: Chris Ober

Project # 03520
1. Riprap carry out box, P.A. received 10/10/03
2. Riprap carry out box, P.A. received 10/10/03
3. Riprap carry out box, P.A. received 10/10/03
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100. Riprap carry out box, P.A. received 10/10/03

SHEET NAME
C3

PRELIMINARY WETLAND REPLACEMENT PLAN

WETLAND IMPACT SUMMARY
FILL: 8,572SF

ONSITE MITIGATION
NWC: 47,000SF (1.08AC)
PVC: WETLAND BUFFER 47,000SF (1.08AC)

CREATED WETLAND SEEDING PLAN
WETLANDS TO BE LINED WITH A MINIMUM OF 12" OF CLEAN, WEED-FREE TOPSOIL.

THE SEEDING OF THE NEW WETLAND AREAS WILL OCCUR FOLLOWING CONSTRUCTION. A NATIVE SEED MIX OF LOCAL GENOTYPE WILL BE USED AND WILL CLOSELY MATCH THE SEED MIX LISTED ON THE APPLICATION, GIVEN SEED AVAILABILITY.

THE SITE WILL BE EXCAVATED TO CREATE VARIABLE BOTTOM CONTOURS, IRREGULAR EDGES, AND SIDE SLOPES NOT STEEPER THAN 5:1. WITHIN 72 HOURS OF COMPLETION OF FINAL GRADING THE SITE SHALL BE SEEDED. SEEDING CAN BE ACCOMPLISHED BY EITHER BROADCASTING OR DRILLING. BROADCAST SEEDING IS PARTICULARLY RECOMMENDED FOR THE WETLAND SEED MIXTURE UNLESS THE WEATHER IS HOT AND DRY OR THE SOIL MOISTURE CONTENT IS LOW AT THE TIME OF SEEDING. THE SEEDED AREAS SHALL BE HARROWED OR RAKED FOLLOWING SEEDING. THE AREAS SHALL THEN BE PACKED WITH A CULTIPACKER. IF THE DRILL METHOD IS USED, A TRUAX-TYPE SEED DRILL CONTAINING A MINIMUM OF TWO SEED BOXES, ONE FOR FINE SEED AND THE OTHER FOR LARGE AND FLUFFY SEED WILL BE USED. THE FINAL PLANTING DEPTH SHALL BE $\frac{1}{2}$ TO $\frac{3}{4}$ INCHES. ALL SEEDING SHALL BE DONE AT A RIGHT ANGLE TO SURFACE DRAINAGE. IF BROADCAST, THE RATE WILL BE A RATE OF 15 POUNDS PER ACRE FOR GRASSES, AND 2 POUNDS PER ACRE FOR WILDFLOWERS. IF DRILLED, THE RATE WILL BE 10 POUNDS PER ACRE FOR GRASSES AND 1 POUND PER ACRE FOR WILDFLOWERS. SEEDING SHOULD OCCUR EITHER APRIL 15-JULY 20, OR SEPTEMBER 20-OCTOBER 20. WETLANDS MAY ALSO BE PLANTED WITH ROOT STOCK, LIVE CUTTINGS, SHRUBS, ECO-PATCHES AND TREES; SPECIFIC NATIVE SPECIES TO BE DETERMINED.

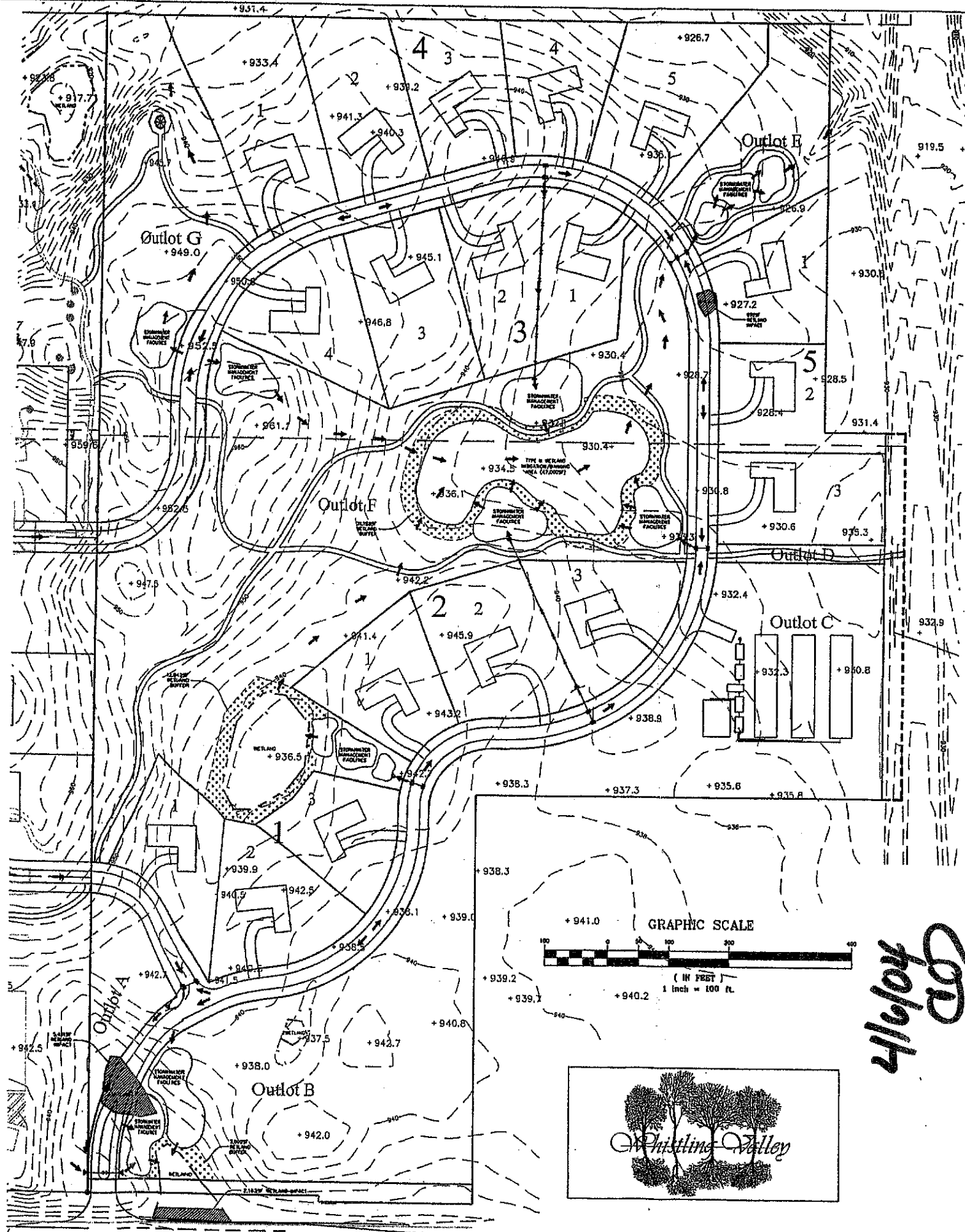
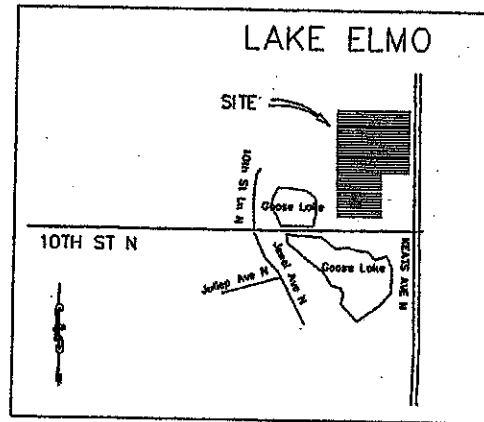
***SEE WETLAND PERMIT APPLICATION FOR SPECIFIED SEED MIXES AND WETLAND MONITORING COMPONENTS.

PHOTO CONTROL POINTS SHALL BE THE WEIR STRUCTURES AND ROCK OVERFLOWS (SEE PLANS FOR LOCATION AND ELEVATION)
CONTACT PEOPLE: WILLIAM McCULLY, P.E.-GLENN REHBEIN COMPANIES (763) 784-0657
ANTHONY KASTER, HYDROLOGIST-POLARIS GROUP (952)465-0220

A RECOMMENDED WETLAND MAINTENANCE SCHEDULE TO BE DETERMINED.
WETLAND LOCATED IN SECTION 27, TOWNSHIP 29, RANGE 21W, WASHINGTON COUNTY DRAINS NORTH TO EAGLE POINT LAKE

NPDES PERMIT NEEDS TO BE OBTAINED FOR THE WORK
ACCESS AND INSPECTION SHALL BE DONE FROM THE ADJACENT ROADS
NO FINANCIAL ASSISTANCE SHALL BE RECEIVED FROM PUBLIC CONSERVATION PROGRAMS IN ORDER TO DO THIS WORK
ESTABLISH A ZERO MAINTENANCE ZONE CONSERVATION BUFFER WHICH SHALL BE SIGNED EVERY 300 FEET

TECHNICAL EVALUATION PANEL SHALL REVIEW WETLAND DELINEATION WITH APPLICANT REPRESENTATIVE AND MONITORING CONSULTANT AFTER 1. GROWING SEASON OR WHEN WETLAND CHARACTERISTICS ARE EVIDENT.



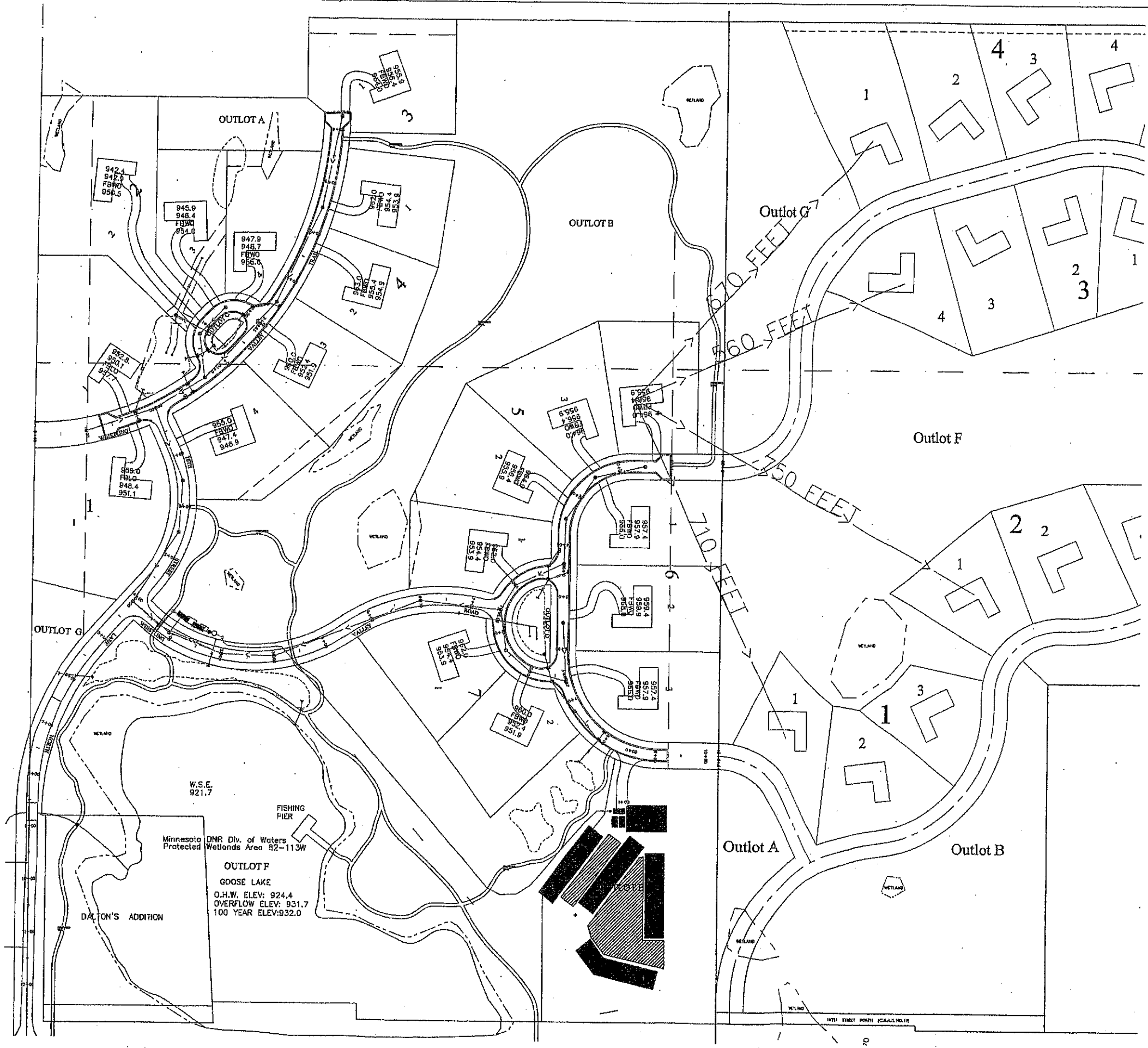
REVISIONS	BY

I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA
W.A.T. McCULLY
DATE: _____ REG. NO. 23138

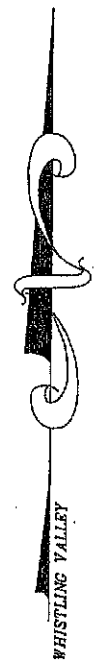
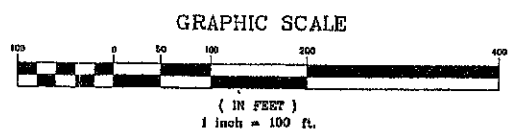
RECEIVED
MAY 29 2004
GLENN REHBEIN COMPANIES
8801 WINDY ST. S.E.
MINNEAPOLIS, MN 55425
TEL: (763) 784-0657
FAX: (763) 784-0657

PRELIMINARY WETLAND REPLACEMENT PLAN
WHISTLING VALLEY PHASE TWO
ANDERSON-SORENSEN HOMES, INC.
LAKE ELMO, MINNESOTA

DRAWN DRL
CHECKED WATM
DATE 03/11/04
VERTICAL SCALE N.A.
HORIZ. SCALE 1" = 100'
JOB NO. 03520
SHEET 1
OF 1 SHEETS



W.S.E. 921.7
 Minnesota DNR Div. of Waters
 Protected Wetlands Area 82-113W
OUTLOT F
 GOOSE LAKE
 O.H.W. ELEV: 924.4
 OVERFLOW ELEV: 931.7
 100 YEAR ELEV: 932.0



4/6/04
FD

RECEIVED
 MAR 29 2004

REVISIONS	BY

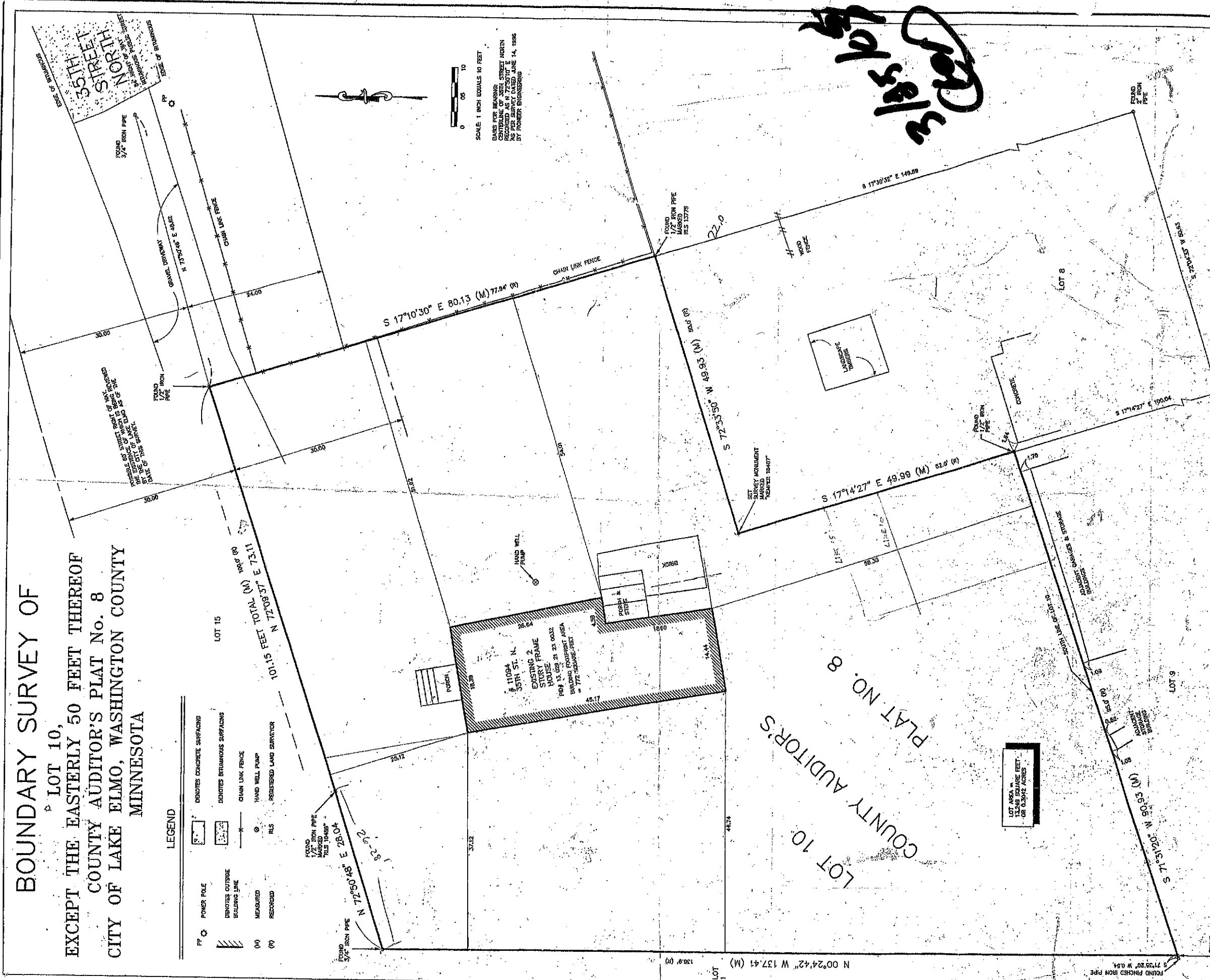
I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA
 W.A.T. McCULLY
 DATE: _____ REG. NO. 25135

GLENN **REHBEIN** COMPANIES
 1111
1057 AVENUE OF THE SUN
 BEAVER, MN 55005
 TEL: (612) 784-9857
 FAX: (612) 784-9871

LOT 4, BLOCK 5 PROXIMITY MAP
WHISTLING VALLEY
 ANDERSON-SORENSEN HOMES, INC.
 LAKE ELMO, MINNESOTA

DRAWN	DRL
CHECKED	W.A.T.M.
DATE	01/21/04
VERTICAL SCALE	HORIZ. N.A.
JOB NO.	02519
SHEET	1
OF	1 SHEETS

RECEIVED
MAR 16 2004



BOUNDARY SURVEY OF
LOT 10,
EXCEPT THE EASTERLY 50 FEET THEREOF
COUNTY AUDITOR'S PLAT No. 8
CITY OF LAKE ELMO, WASHINGTON COUNTY
MINNESOTA

- LEGEND**
- PT. ○ POWER POLE
 - ▨ DENOTES OUTSIDE BUILDING LINE
 - MEASURED
 - (M) RECORDED
 - ▭ DENOTES CONCRETE SURFACING
 - ▨ DENOTES BITUMINOUS SURFACING
 - CHAIN LINK FENCE
 - HAND WELL PUMP
 - RLS REGISTERED LAND SURVEYOR



SCALE 1 INCH EQUALS 10 FEET
 BASE FOR BEARINGS
 MEASURED AS IN 72°50'17" E
 AS PER SURVEY DATED JUNE 14, 1988
 BY PIONEER ENGINEERING

POSSIBLE 60' STREET FRONT OF N.W. CORNER
 OF SECTION 10, T12N, R10E, S10
 BY THE CITY SURVEYOR
 TAKE OF THIS SURVEY

LOT 10
 COUNTY AUDITOR'S
 PLAT NO. 8



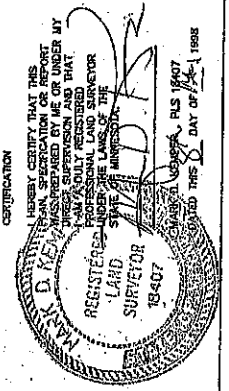
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 (Circular stamp)

LOT AREA: 0.3442 ACRES
 (0.3442 ACRES)

LEGAL DESCRIPTION
 LOT 10, EXCEPT THE EASTERLY 50 FEET THEREOF
 CITY OF LAKE ELMO, WASHINGTON COUNTY, MINNESOTA

KEMPER & ASSOCIATES, INC.
 LAND SURVEYING • ENGINEERING

CERTIFICATE OF SURVEY



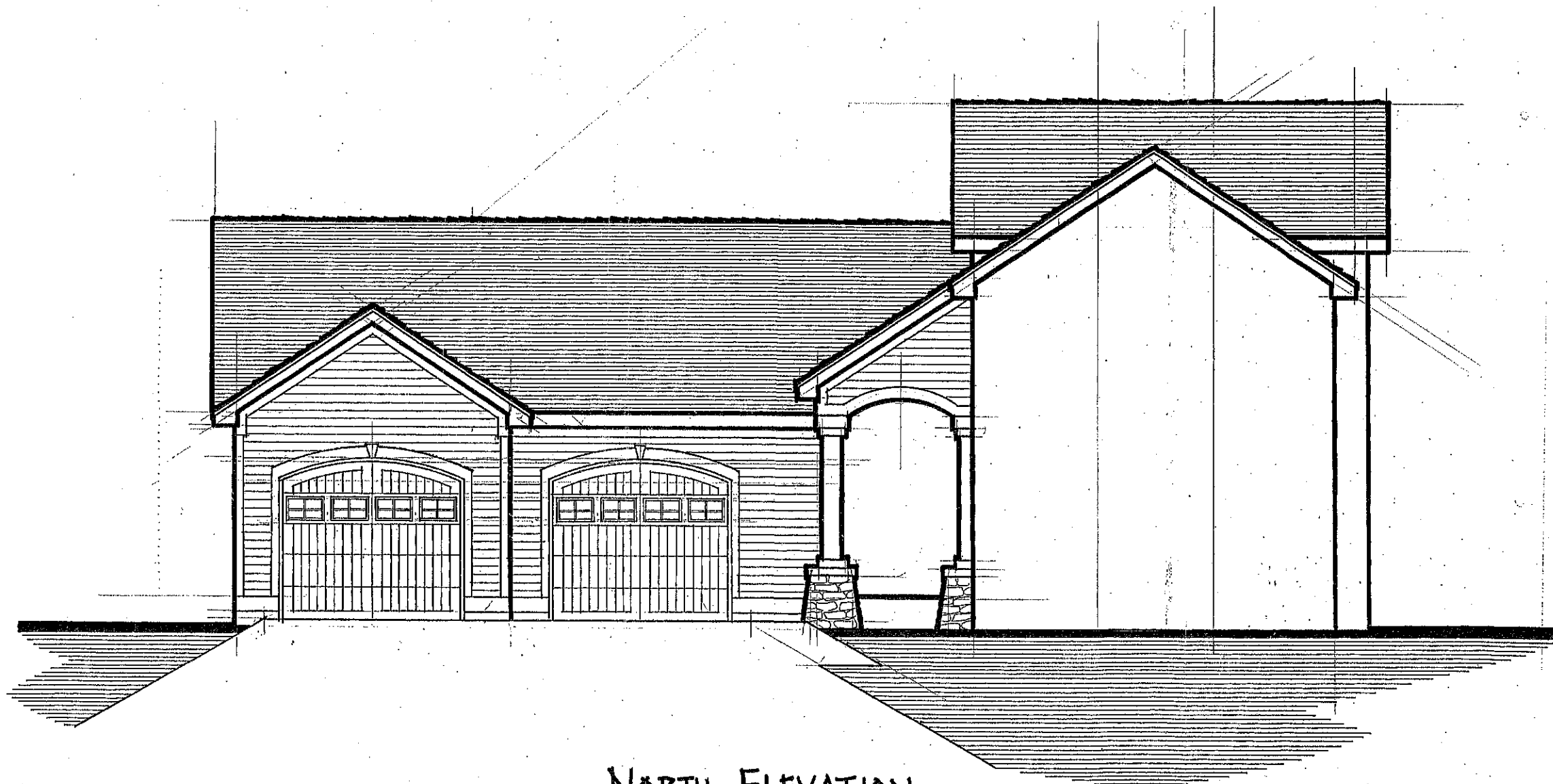
PREPARED FOR:
 JAMES & BARBARA WALDEMAR
 11004 35TH STREET
 LAKE ELMO, MINNESOTA 55042
 PHONE: 612-779-7000

INNSBRUCK OFFICE PARK
 2722 HWY. 69-4, STE. 130
 ST. PAUL, MINNESOTA 55112
 612-631-0351
 FAX 612-631-8805


98400 (88400.DWG) D.B. R. CRAMER

RECEIVED
MAR 16 2004

Jon Isley
3/15/04

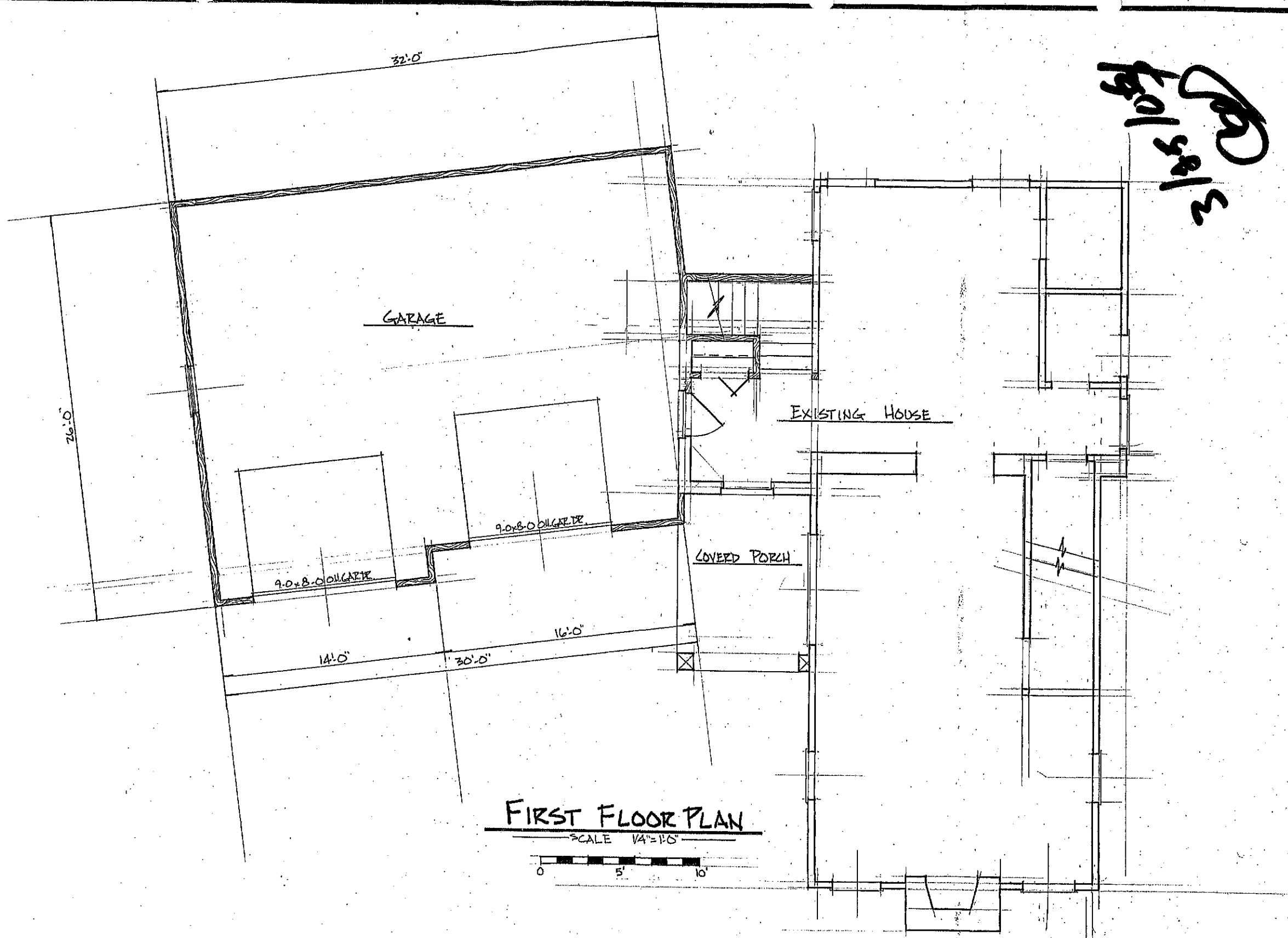


NORTH ELEVATION
SCALE 1/4" = 1'-0"

 T.C.O. DESIGN Drafting & Home Design 3250 Thomas Avenue North Brooklyn Park, MN 55444 (763) 424-5876 Fax (763) 424-5878 dedication to excellence	DESIGNED FOR: JON AND SHELLEY ISLEY	SETS/REVISIONS/DATE PRELIM. 3.15.04
	DATE: _____ DRAWN: _____ CHECKED: _____ DESIGN NO: TLO 24009 SHEET: 2 OF 3	

RECEIVED
MAY 16 2004

Handwritten signature and date:
3/15/04



FIRST FLOOR PLAN

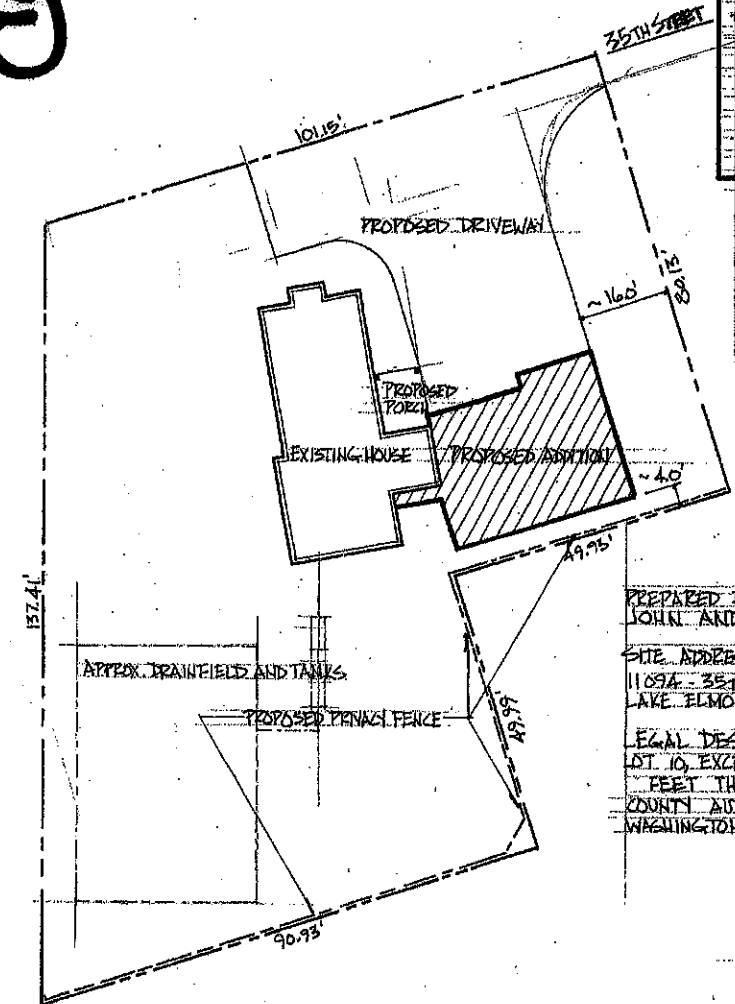
SCALE 1/4" = 1'-0"
0 5' 10'

 T.C.O. DESIGN Drafting & Home Design 8300 Thomas Avenue North Brooklyn Park, MN 55444 (763) 424-3678 fax (763) 424-3679 dedication to excellence	DESIGNED FOR:	SETS/REVISIONS/DATE
	JON AND SHELLEY ISLEY	PRELIM 3-15-04
	DATE: _____ DRAWN: _____ CHECKED: _____	
	DESIGN NO: TCO 24009 SHEET: 3 OF 3	

RECEIVED
MAR 16 2004

Handwritten: 5/15/04
JLD

LOT COVERAGE	
EXISTING HOUSE	952 SF
PROPOSED PORCH	90 SF
PROPOSED ADDITION	792 SF
PROPOSED DRIVEWAY	2072 SF
TOTAL COVERAGE	3904 SF
LOT SIZE	13,215 SF
PERCENT OF COVERAGE	29.6%

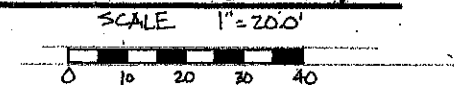


PREPARED FOR
JOHN AND SHELLEY ISLEY

SITE ADDRESS:
11094 35TH STREET
LAKE ELMO, MN 55042

EQUAL DESCRIPTION:
LOT 10, EXCEPT THE EASTERN 50
FEET THEREOF
COUNTY AUDITORS PLAT #25
WASHINGTON COUNTY, MINNESOTA

SITE PLAN



<p>T.C.O. DESIGN Drafting & Home Design</p> <p>8230 Thomas Avenue North Brooklyn Park, MN 55444</p> <p>(763) 424-3676 fax (763) 424-3678</p> <p><small>dedication to excellence</small></p>	<p>DESIGNED FOR: JOHN AND SHELLEY ISLEY</p>	<table border="1"> <thead> <tr> <th>SETS/REVISIONS</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>PRELIM</td> <td>3-15-04</td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	SETS/REVISIONS	DATE	PRELIM	3-15-04						
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PRELIM	3-15-04											
<p>DATE: DRAWN: CHECKED:</p> <p>DESIGN NO: TLO24009</p>	<p>SHEET: 1 OF 3</p>											

REV. 1 - ADDED "E" TO "POINTE"

FURNISH AND INSTALL

S/F NON-ILLUMINATED DIRECTIONAL

INSTALL: DIRECT EMBED

This Drawing is the property of

Nordquist

312 WEST LAKE STREET
MINNEAPOLIS, MN 55408
612-823-7291

Drawing Check _____

Quote # N/A

Previous Dwg. # _____

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Salesperson: GS

Drawn By: AB

Date: 08/07/03

Rev: 03/18/04 CH

Rev: _____

Rev: _____

Rev: _____

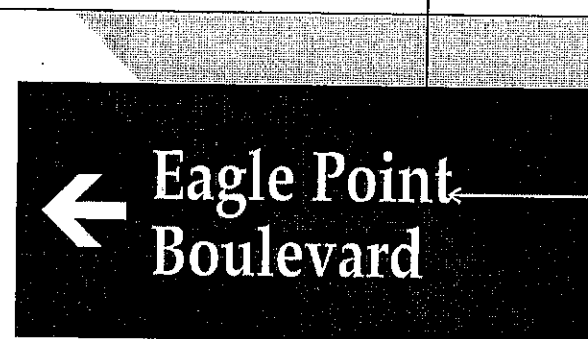
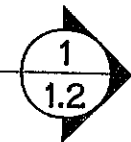
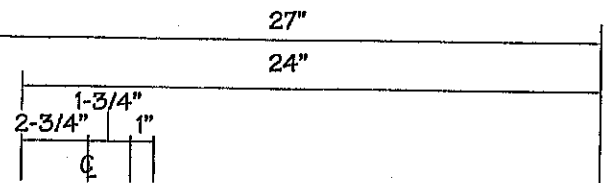
**FRAUENSHUH
COMPANIES**



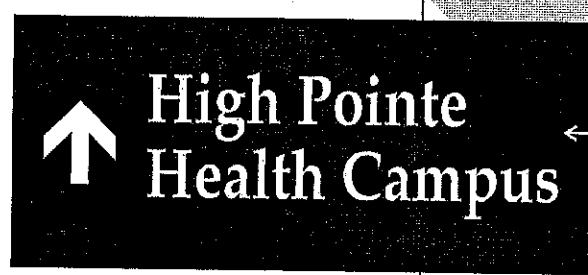
Architectural / Graphic

FRAUENSHUH
03-291

Page
1.1

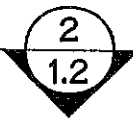


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FONT: PALATINO BOLD CONDENSED 93%
WITH 90% LINE SPACING

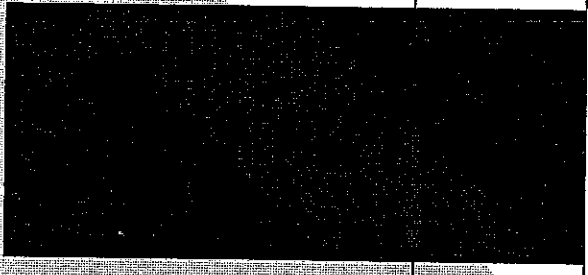
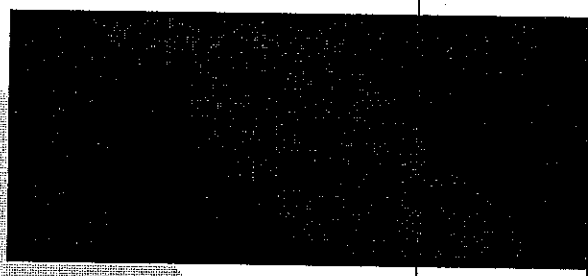


ALUMINUM CABINET PTD. M.A.P.N-202 WHITE
WITH A MATTE FINISH

REMOVABLE TENANT PANS
PTD. TO MATCH PMS 2767 NAVY BLUE T.B.V.

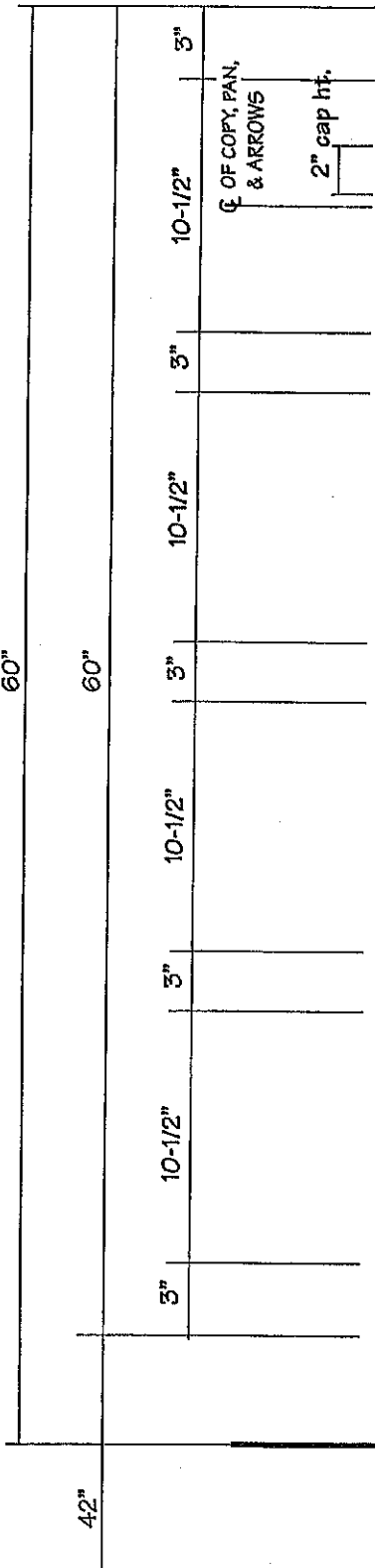
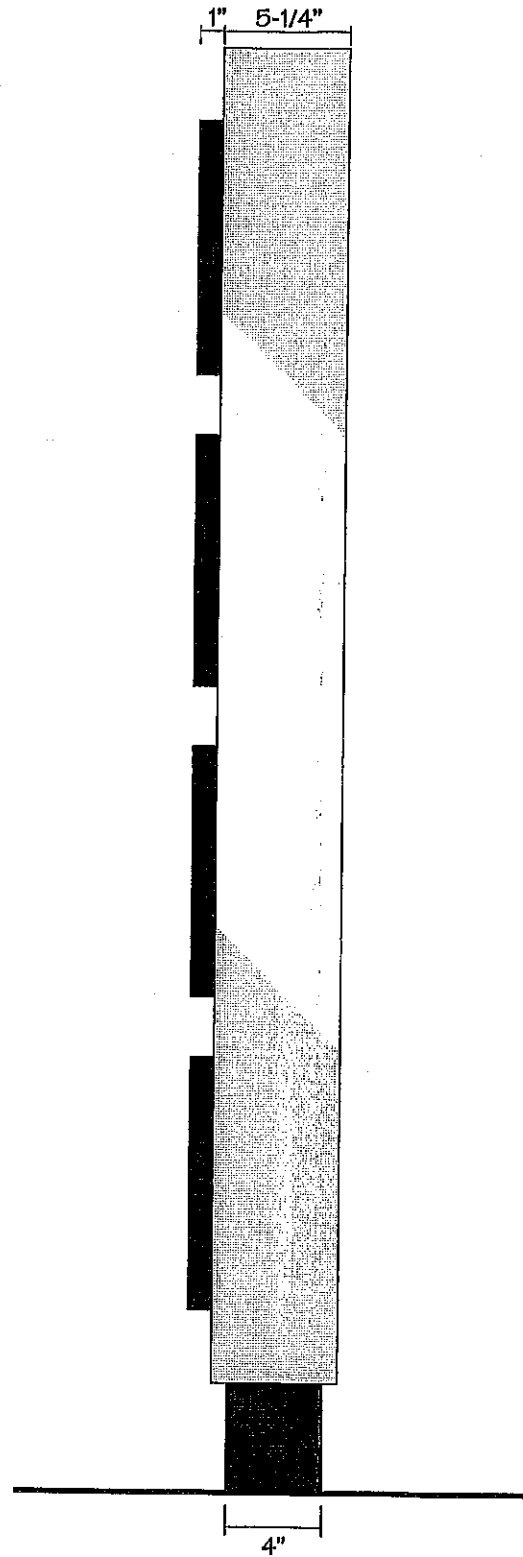


4/15/04
CD



ALUMINUM POLE COVER
PTD. TO MATCH PMS 2767 NAVY BLUE T.B.V.

12" DIAMETER FOOTING



1 ELEVATION:
1.1

2 SIDE VIEW:
1.1

SCALE: 1-1/2" = 1'-0"

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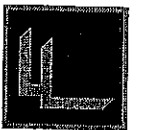
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Rev: _____

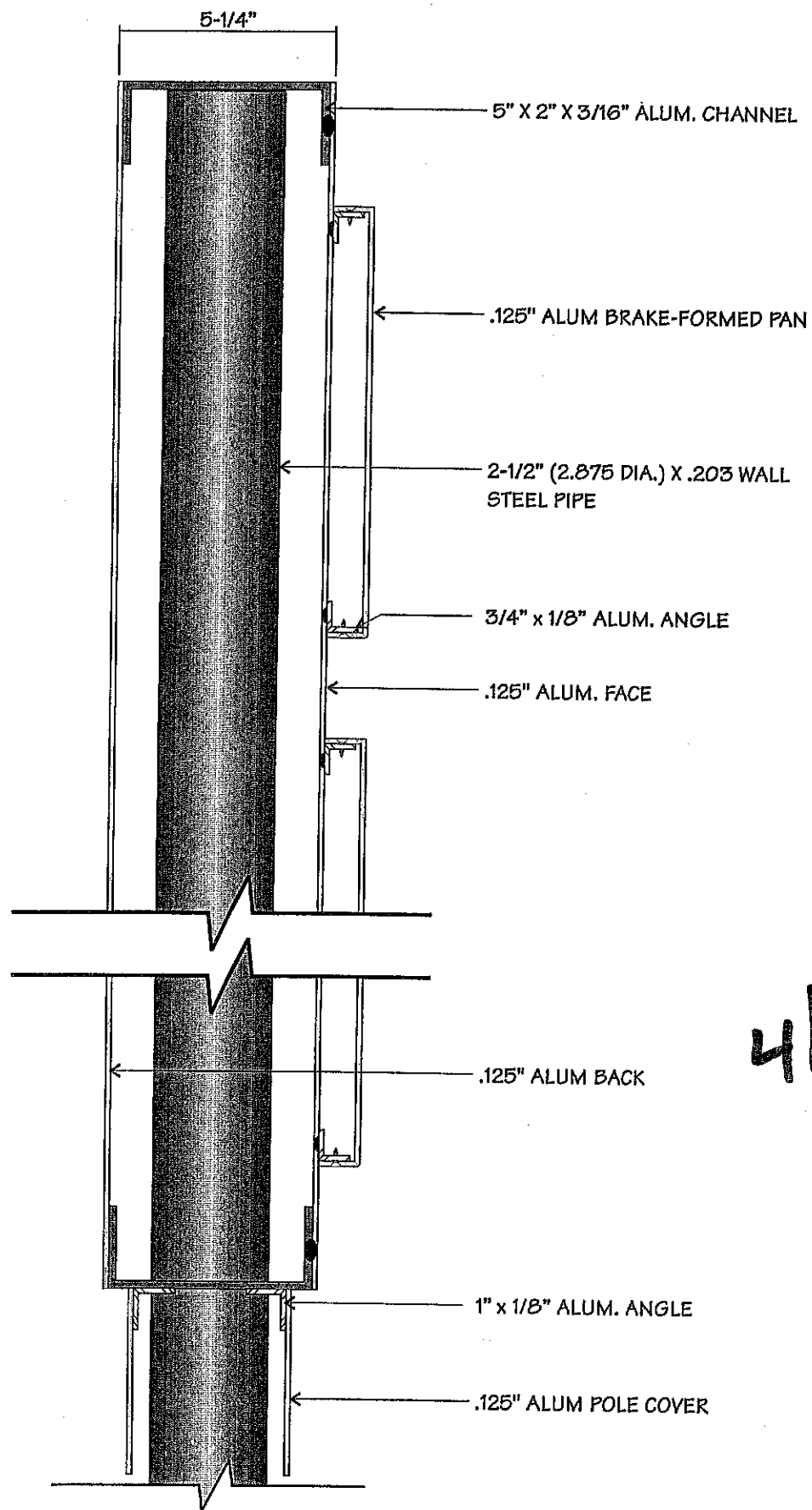
**FRAUENSHUH
COMPANIES**



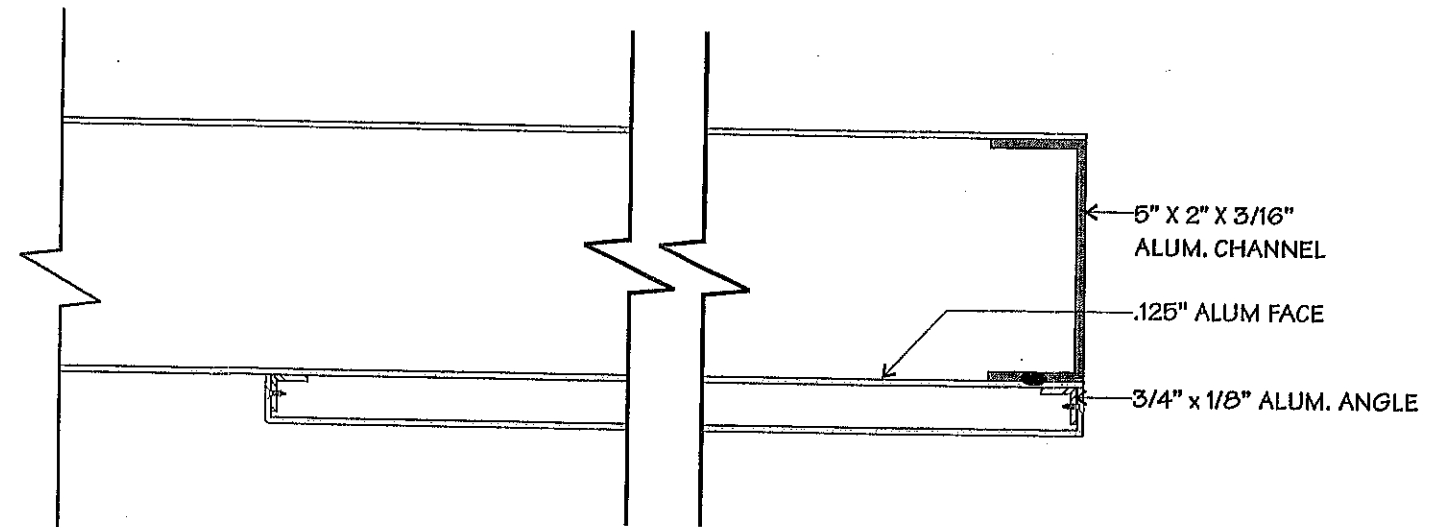
SECTION

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*4/15/04
GSD*



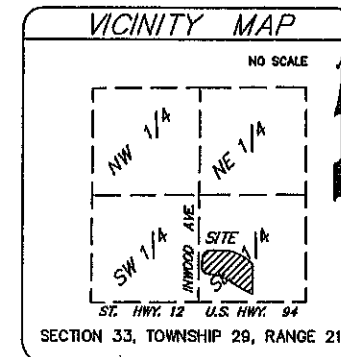
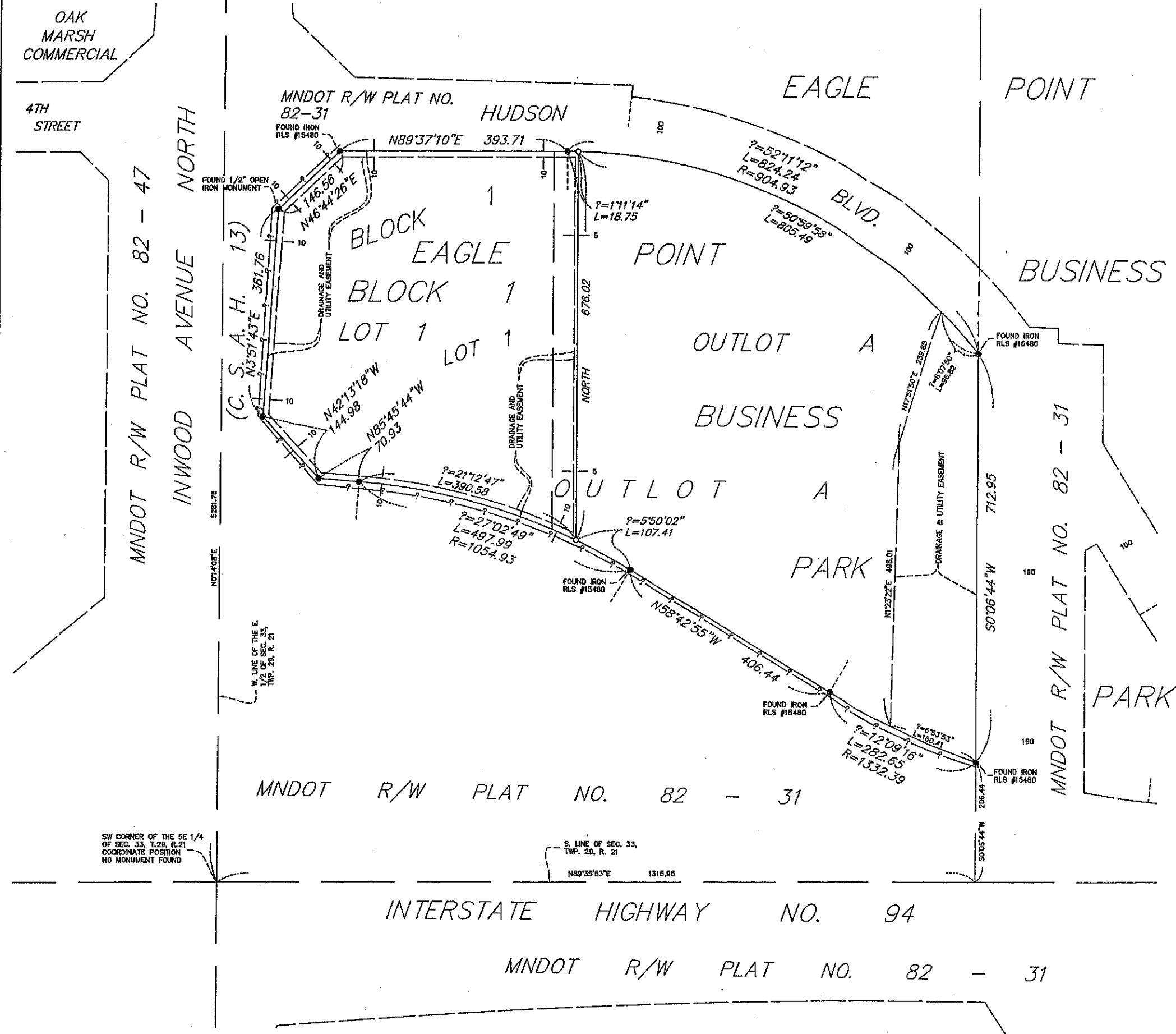
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1.2

SCALE: 3" = 1'-0"

2 HORIZONTAL SECTION:
1.2

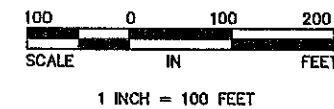
SCALE: 3" = 1'-0"

HOA ADDITION



Orientation of this bearing system is based on the Washington County Coordinate system. (NAD83)

- Denotes set, 1/2 inch by 16 inch iron pipe with plastic cap inscribed RLS 15480.
- Denotes found, 1/2 inch iron pipe with plastic cap inscribed RLS 8612, unless otherwise noted.
- ?-? Denotes access control per Minnesota Department of Transportation Right of Way Plat 82-31.



Sunde Land Surveying, LLC.