



Total Parcel Area = 98.47 acres

SOUTH LINE OF THE NE QUARTER SECTION 13
NORTH LINE OF THE SE QUARTER SECTION 13

PROTECTION ZONE

Manning Avenue North

Lake Elmo Airport 21D

MATCH LINE 2

MATCH LINE 2

NE1/4 - SE1/4

Minimum 100-foot
Connecticut environmental
buffer zone adjacent
to Lake Elmo. See Sec. 10-207b.

EXISTING 2" PVI
REV. 0718

EXISTING 2" PVI
REV. 0134

T29N. R21W

REMOVE EXISTING PROTECTION FENCING

SOUTH PROPERTY LINE

EXISTING PROTECTION FENCING

ERICKSON CIVIL
333 North Main Street, Suite 201
Silverdale, Minnesota 55052
Phone (612) 209-2804
www.ericksoncivil.com

DRAWING PHASE:
OWNER REVIEW
AGENCY REVIEW
BID DOCUMENT
FOR CONSTRUCTION
AS-BUILT DOCUMENT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

[Signature]
ERICKSON CIVIL, PE
40418
LICENSE NO.
06/12/2014
DATE

100 0 100 200 300 FEET
GRAPHIC SCALE

LEGEND

- PROPERTY BOUNDARY
- EXISTING 2-FT CONTOUR
- TREE/BRUSH REMOVAL AREA = 1.16 ACRES

PARCEL INFO

- 1) PARCEL COMPRISES OF THE FOLLOWING PID NUMBERS: 13.029.21.14.0002, 13.029.21.41.0001, 13.029.21.42.0001
- 2) EXISTING ZONING: RT -RURAL TRANSITIONAL ZONING
- 3) COMPREHENSIVE PLAN: VILLAGE URBAN LOW DENSITY RESIDENTIAL (1.5 - 2.8 UNITS PER ACRE)
- 4) PROPOSED ZONING: LDR URBAN LOW DENSITY RESIDENTIAL

NOTES

- 1) PROPERTY LINES PROVIDED BY FFE, INC. SURVEY. AERIAL PHOTO PROVIDED BY WASHINGTON COUNTY FOR THIS PROJECT. CONTOURS PROVIDED BY OUR LIDAR DATA. ERICKSON CIVIL OFFERS NO GUARANTEE AS TO THE ACCURACY OF INFORMATION PROVIDED BY OTHERS.
- 2) 2011 AERIAL PHOTO.

EASTON VILLAGE, LLC
2140 COUNTY ROAD 42 WEST
BURNSVILLE, MN 55337

**EASTON VILLAGE
PRELIMINARY PLAT
LAKE ELMO, MINNESOTA**

NO.	REVISION	DESCRIPTION	DATE

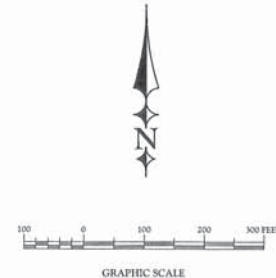
JOB NO. 13-114
DRAWN BY: TAE, JSR
CHECKED BY: TAE

SHEET TITLE
EXISTING
CONDITIONS

SHEET NO.
C2

SHEET 2 OF 37

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LEGEND

- PROPERTY BOUNDARY
- - - - - EXISTING 2-FT CONTOUR
- > EXISTING DRAINAGE DIRECTION ARROW

PARCEL INFO

- 1) PARCEL COMPRISES OF THE FOLLOWING PID NUMBERS: 13.023.21.14.002, 13.023.21.41.001, 13.023.21.42.001
- 2) EXISTING ZONING: RT - RURAL TRANSITIONAL ZONING
- 3) COMPREHENSIVE PLAN: VILLAGE URBAN LOW DENSITY RESIDENTIAL (13 - 25 UNITS PER ACRE)
- 4) PROPOSED ZONING: LDR URBAN LOW DENSITY RESIDENTIAL

NOTES

- 1) PROPERTY LINES PROVIDED BY FFE, INC. SURVEY. AERIAL PHOTO PROVIDED BY WASHINGTON COUNTY FOR THIS PROJECT. CONTOURS PROVIDED BY DNR LGAR DATA. ERICKSON CIVIL OFFERS NO GUARANTEE AS TO THE ACCURACY OF INFORMATION PROVIDED BY OTHERS.
- 2) 2011 AERIAL PHOTO.

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 www.ericksoncivil.com

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 [Signature]
 TERRY R. ERICKSON, P.E.
 40418
 LICENSE NO.
 06/12/2014
 DATE:

EASTON VILLAGE, LLC
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

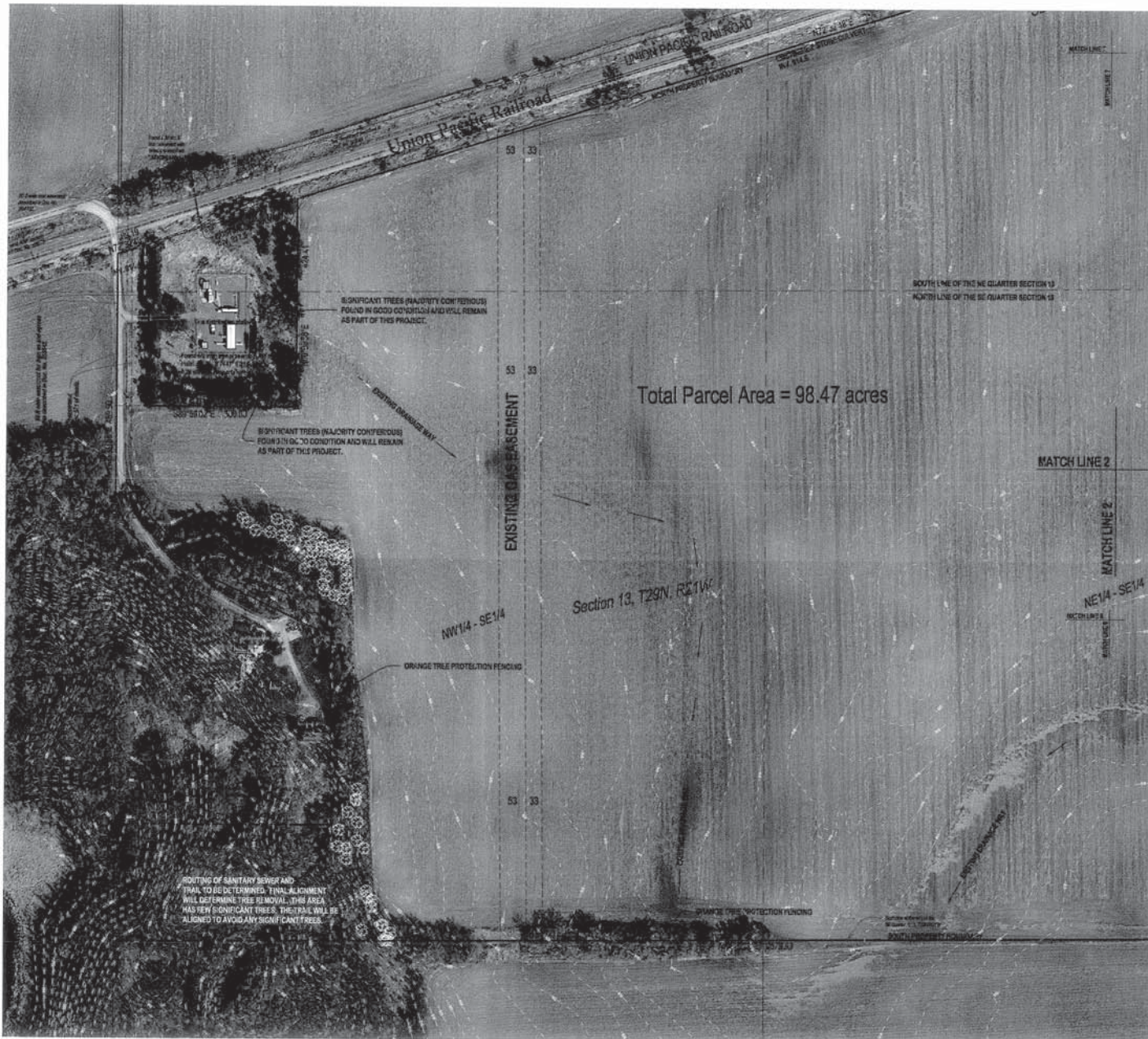
**EASTON VILLAGE
 PRELIMINARY PLAT
 LAKE ELMO, MINNESOTA**

NO.	REVISION	DESCRIPTION	DATE

JOB NO. 13-114
 DRAWN BY: TAE, JSR
 CHECKED BY: TAE

SHEET TITLE
EXISTING CONDITIONS

SHEET NO.
C3
 SHEET 3 OF 37



Total Parcel Area = 98.47 acres

ERICKSON CIVIL
 333 North Main Street, Suite 301
 Stillwater, Minnesota 55082
 Phone (612) 209-2604
 www.ericksoncivil.com

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 DESIGN REVIEW
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 AS-BUILT DOCUMENT

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TAE Erickson, P.E.
 TAE Erickson, P.E.
 40418
 LICENSE NO. 06/12/2014
 DATE

LEGEND

- PROPERTY BOUNDARY
- EXISTING 2-FT CONTOUR
- TREE/BRUSH REMOVAL AREA = 1.16 ACRES
- SIGNIFICANT DECIDUOUS TREE SCHEDULED FOR REMOVAL WITH 0
- SIGNIFICANT CONIFEROUS TREE SCHEDULED FOR REMOVAL WITH 0
- ORANGE TREE PROTECTIVE FENCING

- PARCEL INFO**
- 1) PARCEL COMPRISES OF THE FOLLOWING PFD NUMBERS: 13,029.21, 14,002, 13,029.21-41,001, 13,029.21-42,001
 - 2) EXISTING ZONING: RT - RURAL TRANSITIONAL ZONING
 - 3) COMPREHENSIVE PLAN: VILLAGE URBAN LOW DENSITY RESIDENTIAL (L3 - 2.5 UNITS PER ACRE)
 - 4) PROPOSED ZONING: LDR URBAN LOW DENSITY RESIDENTIAL

- NOTES**
- 1) PROPERTY LINES PROVIDED BY FFE, INC. SURVEY, AERIAL PHOTO PROVIDED BY WASHINGTON COUNTY FOR THIS PROJECT. CONTOURS PROVIDED BY ONE LEAN DATA. ERICKSON/CIVIL OFFERS NO GUARANTEE AS TO THE ACCURACY OF INFORMATION PROVIDED BY OTHERS.
 - 2) 2014 AERIAL PHOTO.

TREE REMOVAL SCHEDULE

TREE ID	TYPE / SIZE (DIA.)	TREE ID	TYPE / SIZE (DIA.)
1009	ELM 12	1064	ELM 6
1010	BOX ELDER 6	1065	ELM 14
1011	ELM 12	1066	ELM DBL 16
1012	ELM 14	1067	ELM 6
1013	ELM 14	1068	ELM 22
1014	ELM 18 DEAD	1069	ELM 8
1015	ELM 20 POOR	1070	ELM 22
1016	ELM 16	1071	ELM 16
1017	ELM 6	1072	ELM DBL 30 22
1018	ELM 20	1073	ELM DBL 30 22
1019	ELM 30	1074	ELM 30 POOR
1020	ELM 18	1075	ELM 30 POOR
1021	ELM 20	1076	OAK 6
1022	ELM 20	1077	ELM DBL 14
1023	ELM 22	1078	BLACK CHERRY 10'
1024	ASH 6	1079	BLACK CHERRY 6
1025	BLACK CHERRY 6	1080	WHITE OAK 16
1026	ELM 6	1081	WHITE OAK 24
1027	ELM 24	1082	WHITE OAK 24
1028	ELM DBL 14	1083	BLACK CHERRY 8
1029	ELM 6	1084	POPLAR 10
1030	ELM 12	1085	POPLAR 8
1031	ELM 6	1086	ELM 6
1032	ELM 16	1087	ELM 6
1033	BOX ELDER 30		
1034	BOX ELDER 24		
1035	ELM 6		
1036	BOX ELDER 6		
1037	WHITE SPRUCE 14		
1038	DEAD 18		
1039	BOX ELDER 30		
1040	BOX ELDER 8		
1041	ELM 14		
1042	ELM 24		
1043	ELM 16 POOR		
1044	ELM 20		
1045	ELM 22		
1046	BOX ELDER 10		
1047	ELM 20		
1048	ELM 20		
1049	ELM 20		
1050	ELM 20		

SIGNIFICANT TREES TO BE REMOVED:
 1025 6" ASH
 1026 6" BLACK CHERRY
 1038 14" WHITE SPRUCE
 1076 8" OAK

NOTE:
 MOST ELM TREES WERE FOUND IN POOR DESAISED CONDITION AND THE AREA HAS EXPERIENCED A BLOWDOWN OF NUMBER OF EXISTING TREES.

EASTON VILLAGE LLC
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

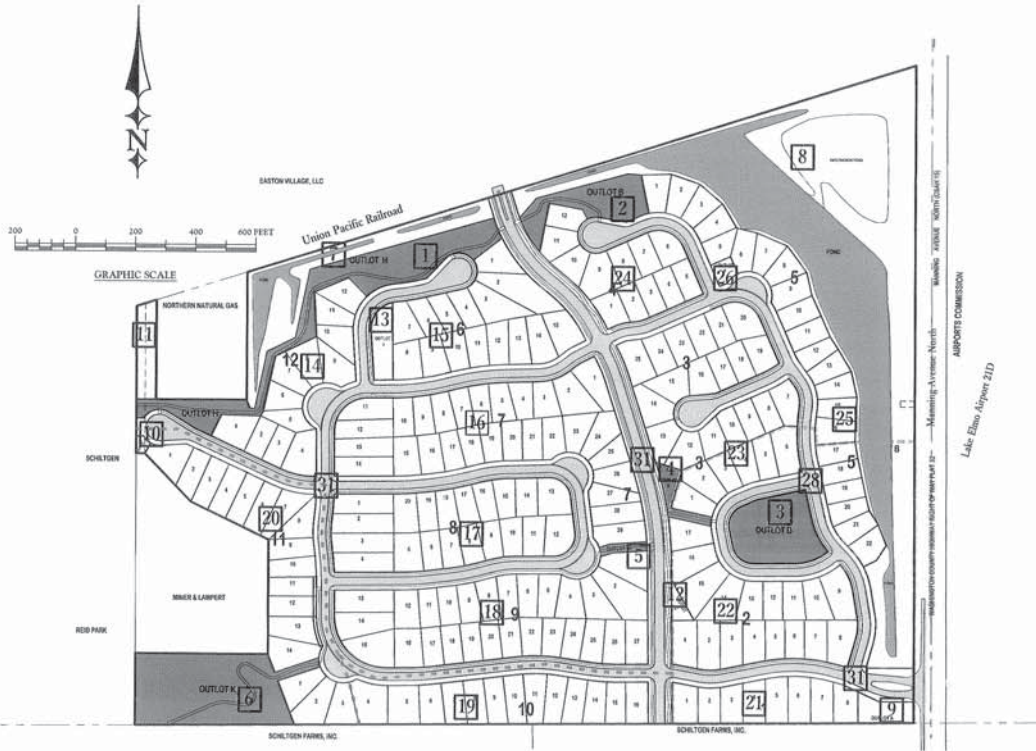
EASTON VILLAGE
 PRELIMINARY PLAN
 LAKE ELMO, MINNESOTA

NO.	REVISION	DESCRIPTION	DATE

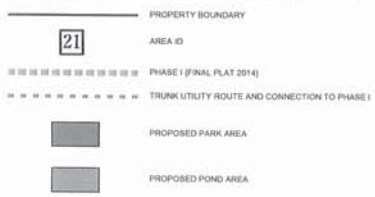
JOB NO. 13-114
 DRAWN BY: TAE, JSR
 CHECKED BY: TAE

SHEET TITLE
 EXISTING CONDITIONS

SHEET NO.
C4
 SHEET 4 OF 37



LEGEND



PARCEL INFO

- 1) PARCEL COMPRISES OF THE FOLLOWING P.D. NUMBERS: 13,229,21.14,2002, 13,029,21.41,0001, 13,229,21.42,0001
- 2) EXISTING ZONING: R1 - RURAL TRANSITIONAL ZONING
- 3) COMPREHENSIVE PLAN: VILLAGE URBAN LOW DENSITY RESIDENTIAL (1.5 - 2.5 UNITS PER ACRE)
- 4) PROPOSED ZONING: LDR URBAN LOW DENSITY RESIDENTIAL

OUTLOT TABLE:

NAME	USE	OWNERSHIP	SIZE (ACRES)
OUTLOT A	OPEN SPACE / POND	CITY	0.33
OUTLOT B	OPEN SPACE / PARK / POND	CITY	19.18
OUTLOT C	OPEN SPACE	CITY	0.11
OUTLOT D	PARK	CITY	1.36
OUTLOT E	PARK	CITY	0.26
OUTLOT F	OPEN SPACE	CITY	0.12
OUTLOT G	PARK	CITY	0.11
OUTLOT H	OPEN SPACE / PARK / POND	CITY	2.75
OUTLOT I	OPEN SPACE	CITY	0.32
OUTLOT J	OPEN SPACE	CITY	6.63
OUTLOT K	PARK	CITY	3.75

DEVELOPMENT STANDARDS

FRONT SETBACK	25'
GARAGE SIDE SETBACK	5'
SIDE SETBACK (CORNER LOTS)	10'
HOUSE SIDE SETBACK	10'
REAR SETBACK	25'
TYPICAL LOT WIDTH	80'
TYPICAL LOT DEPTH	100'
SIDE YARD EASEMENT	5'
FRONT AND REAR EASEMENT	10'
MINIMUM LOT SIZE	8,000 SQ. FT.
AVERAGE LOT SIZE	10,000 SQ. FT.
MIN. BASEMENT ELEVATION ABOVE 100 YEAR HWL	2'

* UNLESS SHOWN ON PRELIMINARY LAYOUT
NOTE: DRAINAGE AND UTILITY EASEMENTS SHOWN FOR 100-YEAR HWL OF PONING AREAS

AREA CALCULATION:

Area ID	Block or Outlot	Square Feet	Acres
Park Area 1	Part of Outlot H	108,010	2.48
Park Area 2	Part of Outlot B	43,632	1.00
Park Area 3	Outlot D	59,197	1.36
Park Area 4	Outlot E	11,182	0.26
Park Area 5	Outlot G	4,733	0.11
Park Area 6	Outlot K	119,877	2.75
Subtotal			7.96
Open Space 7	Part of Outlot H	98,912	2.27
Open Space 8	Part of Outlot B	690,320	15.16
Open Space 9	Outlot A	14,335	0.33
Open Space 10	Outlot J	2,170	0.05
Open Space 11	Part of Outlot H	21,095	0.48
Open Space 12	Outlot C	4,958	0.11
Open Space 13	Outlot I	16,072	0.37
Open Space 26	Outlot F	5,170	0.12
Subtotal			18.90
Lot Area 14	Block 12	125,010	2.87
Lot Area 15	Block 6	171,270	3.93
Lot Area 16	Block 7	293,499	6.74
Lot Area 17	Block 8	205,881	4.73
Lot Area 18	Block 9	289,229	6.64
Lot Area 19	Block 10	179,240	4.11
Lot Area 20	Block 11	157,802	3.62
Lot Area 21	Block 1	84,723	1.94
Lot Area 22	Block 2	197,817	4.54
Lot Area 23	Block 3	254,250	5.84
Lot Area 24	Block 4	115,708	2.66
Lot Area 25	Block 5	201,905	4.64
Subtotal			52.25
Right of Way Area 31		843,567	19.37
Subtotal			19.37
Park Area			7.96
Open Space			18.90
Lot Area			52.25
RIGHT OF WAY			19.37
RUNWAY PROTECTION ZONE			4.77
STEEP SLOPE AREAS			2.65
TOTAL PROPERTY AREA			98.47
TOTAL PROPOSED LOTS			217
PERCENT OF OPEN SPACE/PARK			27.3%
GROSS DENSITY			2.20
NET DENSITY*			2.38

* (Net Density = Lots / (Total Area - Steep Slopes - Runway Protection Zone))

ERICKSON CIVIL
 333 North Main Street, Suite 203
 Burnsville, Minnesota 55301
 Phone: (612) 295-3884
 www.ericksoncivil.com

DRAWING PHASE:
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 AGENCY REVIEW
 RECORD DOCUMENT
 FOR CONSTRUCTION
 AS-BUILT DOCUMENT

ENGINEER CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 1600 A. ERICKSON, PE
 40418
 LICENSE NO.
 07/03/2014
 DATE

EASTON VILLAGE, LLC
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

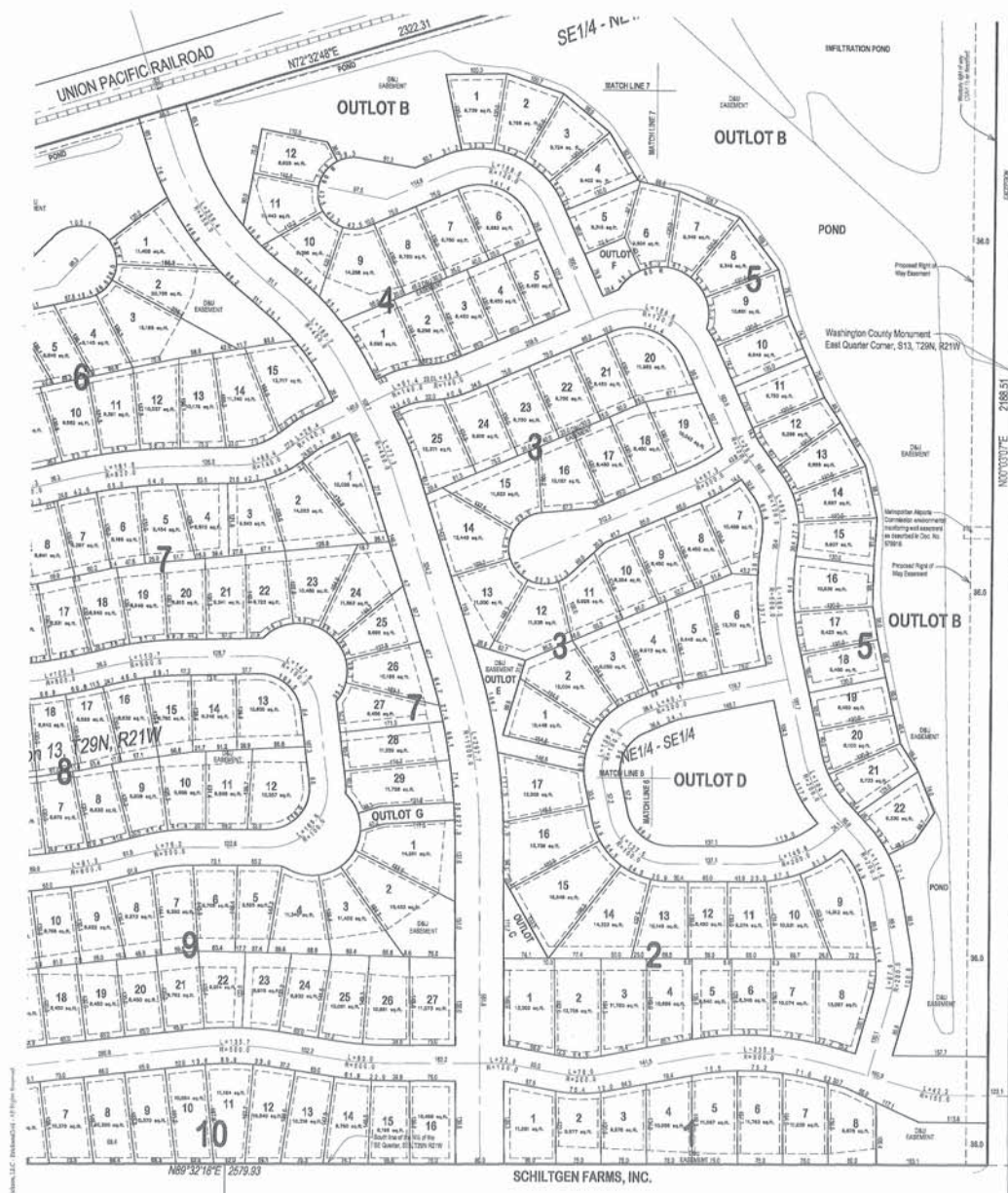
EASTON VILLAGE PRELIMINARY PLAT LAKE ELMO, MINNESOTA

DATE: _____
 REVIEWED BY: _____
 DATE: _____
 DATE: _____
 DATE: _____
 DATE: _____

DATE: 13-114
 DRAWN BY: TAE, JSR
 CHECKED BY: TAE

SHEET TITLE
 PRELIMINARY SITE PLAN

SHEET NO.
C5
 SHEET 5 OF 37



WASHINGTON COUNTY HIGHWAY RIGHT-OF-WAY PLAT 32
MANNING AVENUE NORTH
2188.51
N007037E

AIRPORTS COMMISSION

Lake Elmo Airport 21D

SCHILTGEN FARMS, INC.



LEGEND

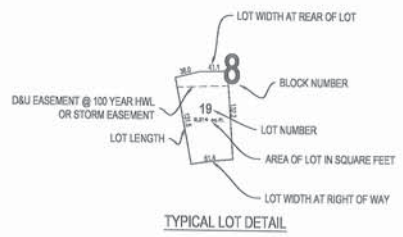
— PROPERTY BOUNDARY

DEVELOPMENT STANDARDS

- FRONT SETBACK 25'
 - GARAGE SIDE SETBACK 5'
 - SIDE SETBACK (CORNER LOTS) 15'
 - HOUSE SIDE SETBACK 12'
 - REAR SETBACK 20'
 - TYPICAL LOT WIDTH 88'
 - TYPICAL LOT DEPTH 135'
 - SIDE YARD EASEMENT 9'
 - FRONT AND REAR EASEMENT 12'
 - MINIMUM LOT SIZE 6,100 SQ. FT.
 - AVERAGE LOT SIZE 12,800 SQ. FT.
 - MIN. BASEMENT ELEVATION ABOVE 100 YEAR HWL 2'
- * UNLESS SHOWN ON PRELIMINARY LAYOUT
NOTE: DRAINAGE AND UTILITY EASEMENTS SHOWN FOR 100-YEAR HWL OF PONDING AREAS

NOTES

- 1) BOUNDARY BASED ON SURVEY BY FFE, INC.
- 2) BEARRIDS ARE BASED ON THE WASHINGTON COUNTY COORDINATE MADS SYSTEM.



TYPICAL LOT DETAIL



PROPOSED TYPICAL EASEMENT DETAIL

NOTE: EASEMENTS GREATER THAN THE TYPICAL WIDTH SHOWN ABOVE WILL BE DEPICTED ON THE PLAN FOR STORM POND 100-YEAR HWL AND FOR ADDITIONAL WIDTH FOR ACCESS TO PIPES AND PONDING. SEE DETAIL ABOVE FOR DEPICTION OF THIS TYPE OF EASEMENT.

ERICKSON CIVIL
233 North Main Street, Suite 201
St. Cloud, Minnesota 56302
Phone (822) 388-3804
www.ericsoncivil.com

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1600 A. ERICKSON, PE
40418
LICENSE NO.
06/12/2014
DATE

EASTON VILLAGE, LLC
2140 COUNTY ROAD 42 WEST
BURNSVILLE, MN 55337

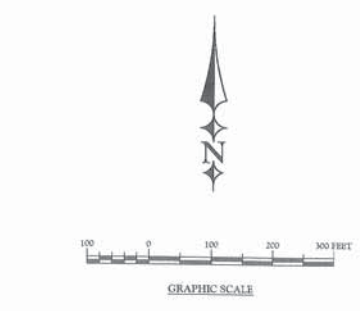
**EASTON VILLAGE
PRELIMINARY PLAT
LAKE ELMO, MINNESOTA**

PROJECT TITLE
DATE
REVISION DESCRIPTION
NO.

JOB NO. 13-114
DRAWN BY TAE, JSR
CHECKED BY TAE

SHEET TITLE
PRELIMINARY SITE PLAN

SHEET NO.
C6
SHEET 6 OF 97



LEGEND

— PROPERTY BOUNDARY

DEVELOPMENT STANDARDS

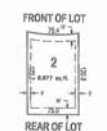
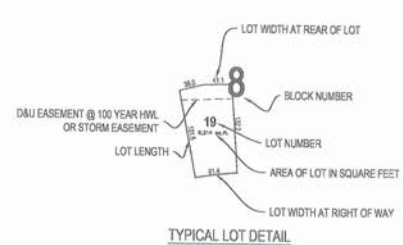
FRONT SETBACK	20'
GARAGE SIDE SETBACK	5'
SIDE SETBACK (CORNER LOTS)	15'
HOUSE SIDE SETBACK	15'
REAR SETBACK	20'
TYPICAL LOT WIDTH	66'
TYPICAL LOT DEPTH	130'
SIDE YARD EASEMENT	5'
FRONT AND REAR EASEMENT	10'
MINIMUM LOT SIZE	8,100 SQ. FT.
AVERAGE LOT SIZE	10,489 SQ. FT.
MIN. BASEMENT ELEVATION ABOVE 100 YEAR HWL	7'

* UNLESS SHOWN ON PRELIMINARY LAYOUT

NOTE: DRAINAGE AND UTILITY EASEMENTS SHOWN FOR 100-YEAR HWL OF PONDING AREAS

NOTES

- 1) BOUNDARY BASED ON SURVEY PROVIDED BY FTE, INC.
- 2) BEARINGS ARE BASED ON THE WASHINGTON COUNTY COORDINATE MADS SYSTEM.



PROPOSED TYPICAL EASEMENT DETAIL

NOTE: EASEMENTS GREATER THAN THE TYPICAL WIDTH SHOWN ABOVE WILL BE DEPICTED ON THE PLAN FOR STORM POND 100-YEAR HWL AND FOR ADDITIONAL WIDTH FOR ACCESS TO PIPES AND PONDS. SEE DETAIL ABOVE FOR DEPICTION OF THIS TYPE OF EASEMENT.

ERICKSON CIVIL
 333 North Main Street, Suite 201
 Stillwater, Minnesota 55082
 Phone (612) 394-3861
 www.ericksoncivil.com

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Todd A. Erickson
 TODD A. ERICKSON, P.E.
 40418
 LICENSE NO.
 06/12/2014
 DATE:

EASTON VILLAGE, LLC
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

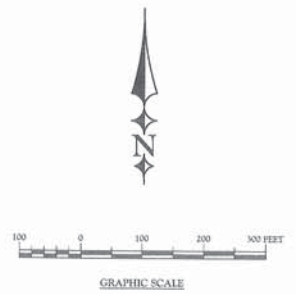
EASTON VILLAGE PRELIMINARY PLAT LAKE ELMO, MINNESOTA

NO.	REVISION DESCRIPTION	DATE	PROJECT TITLE

DATE: 13-11-14
 DRAWN BY: TAE, JSR
 CHECKED BY: TAE

PRELIMINARY SITE PLAN

SHEET NO. **C7**
 SHEET 7 OF 31



LEGEND

— PROPERTY BOUNDARY

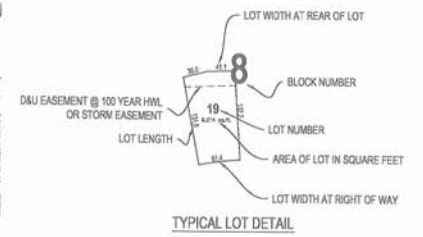
DEVELOPMENT STANDARDS

FRONT SETBACK	25'
GARAGE SIDE SETBACK	5'
SIDE SETBACK (CORNER LOTS)	15'
HOUSE SIDE SETBACK	12'
REAR SETBACK	20'
TYPICAL LOT WIDTH	85'
TYPICAL LOT DEPTH	135'
SIDE YARD EASEMENT	5'
FRONT AND REAR EASEMENT	10'
MINIMUM LOT SIZE	8,100 SQ. FT.
AVERAGE LOT SIZE	10,400 SQ. FT.
MIN. BASEMENT ELEVATION ABOVE 100 YEAR HML	2'

* UNLESS SHOWN ON PRELIMINARY LAYOUT
NOTE: DRAINAGE AND UTILITY EASEMENTS SHOWN FOR 100-YEAR HML OF PONING AREAS

NOTES

- BOUNDARY BASED ON SURVEY PROVIDED BY FFE, INC.
- BEARINGS ARE BASED ON THE WASHINGTON COUNTY COORDINATE MADS SYSTEM.



PROPOSED TYPICAL EASEMENT DETAIL

NOTE: EASEMENTS GREATER THAN THE TYPICAL WIDTHS SHOWN ABOVE WILL BE SPECIFIED ON THE PLAN FOR STORM POND 100-YEAR HML, AND FOR ADDITIONAL NOTES FOR ACCESS TO PITS AND POND. SEE DETAIL ABOVE FOR DEFINITION OF THIS TYPE OF EASEMENT.

ERICKSON CIVIL
333 North Main Street, Suite 201
St. Cloud, Minnesota 56302
Phone (822) 309-2861
www.ericksoncivil.com

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TODD A. ERICKSON, PE
40418
LICENSE NO. 0612/2014
DATE:

EASTON VILLAGE, LLC
2140 COUNTY ROAD 42 WEST
BURNSVILLE, MN 55337

EASTON VILLAGE PRELIMINARY PLAT LAKE ELMO, MINNESOTA

NO.	REVISION DESCRIPTION	DATE

JOB NO. 13-114
DRAWN BY: TAE, JSR
CHECKED BY: TAE

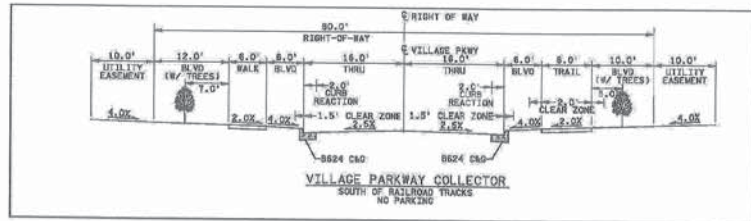
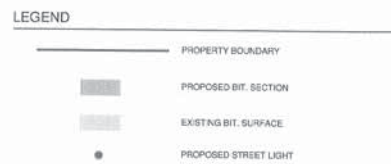
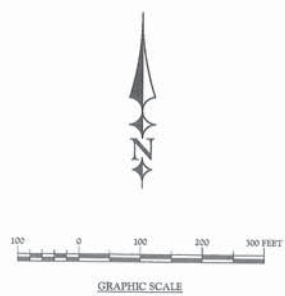
PRELIMINARY SITE PLAN

SHEET NO. **C8**

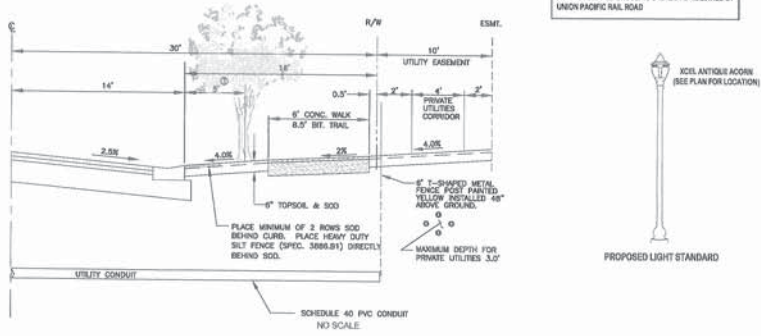


AIRPORTS COMMISSION
 WASHINGTON COUNTY HIGHWAY RIGHT OF WAY PLAT 32
 MANNING AVENUE NORTH (CSAH 15)

SCHILTGEN FARMS, INC.
 N89°32'18\"/>



REFER TO PLAN FOR LOCATION OF QUIET ZONE FOR
 RAILROAD CROSSING. DESIGN IS FOR 150-FT OF 5-FT
 WIDE MEDIAN, 16-FT WIDE DRIVE LANES, 8-FT CURB
 AND AUTOMATED CROSSING SYSTEM AS REGULATED BY
 UNION PACIFIC RAILROAD



- NOTES:**
1. PLACE BOWLEARD TREES 5 FEET BACK OF CURB WHEN SIDEWALK OR TRAIL IS PRESENT;
 2. 8 FEET BACK OF CURB WITH NO SIDEWALK OR TRAIL.
 3. STREET LIGHTS/AVENUES SHALL BE LOCATED 5 FEET BACK OF CURB.

Pavement Section Design

Local Residential Street	Minimum 7-Ton Design
Subbase, Select Granular Borrow (SPEC 3149.2B)	Minimum 12-inches
Subsurface Drainage System	Required
Base, Aggregate Base, CI, 5.00% Stone Aggregate	Minimum 6-inches
Non-Wearing Course, MnDOT 2360 Type SP, Max Agg. Size 8, Traffic Level 2 or 3	1.5-inches
Wearing Course, MnDOT 2360 Type SP, Type SP, Max Agg. Size 8, Traffic Level 2 or 3	1.5-inches
Collector Road Traffic Level 3, Local Street Level 2	Minimum 9-Ton Design
Collector Street and Above	Minimum 12-inches
Subbase, Select Granular Borrow (SPEC 3149.2B)	Minimum 12-inches
Subsurface Drainage System	Required
Base, Aggregate Base, CI, 5.00% Stone Aggregate	Minimum 8 inches
Non-Wearing Course, MnDOT 2360 Type SP, Max Agg. Size 8, Traffic Level 2 or 3	1.5-inches
Wearing Course, MnDOT 2360 Type SP, Type SP, Max Agg. Size, Traffic Level 2 or 3	1.5-inches

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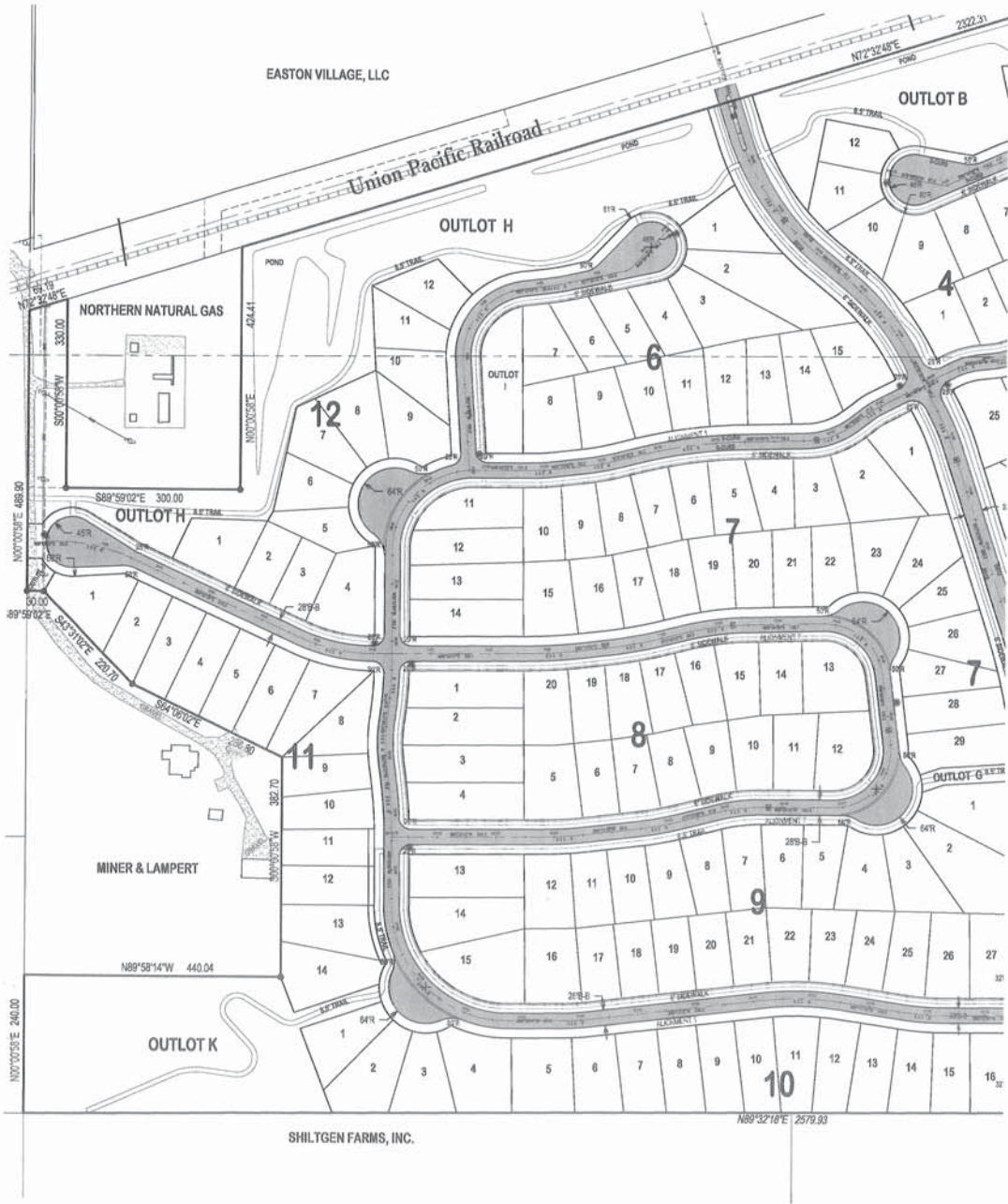
Todd Erickson
 TODD A. ERICKSON, PE
 40418
 LICENSE NO.
 06/12/2014
 DATE:

EASTON VILLAGE, LLC
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

EASTON VILLAGE PRELIMINARY PLAT
 LAKE ELMO, MINNESOTA

PROJECT TITLE	
DATE	
REVISION DESCRIPTION	
NO.	

JOB NO. 13-114
 DRAWN BY TAE, JSR
 CHECKED BY TAE
SHEET TITLE
 STREET LAYOUT PLAN
SHEET NO.
C9
 SHEET 8 OF 27



LEGEND

	PROPERTY BOUNDARY
	PROPOSED BIT. SURFACE
	EXISTING BIT. SURFACE
	PROPOSED STREET LIGHT

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 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

EASTON VILLAGE PRELIMINARY PLAT LAKE ELMO, MINNESOTA

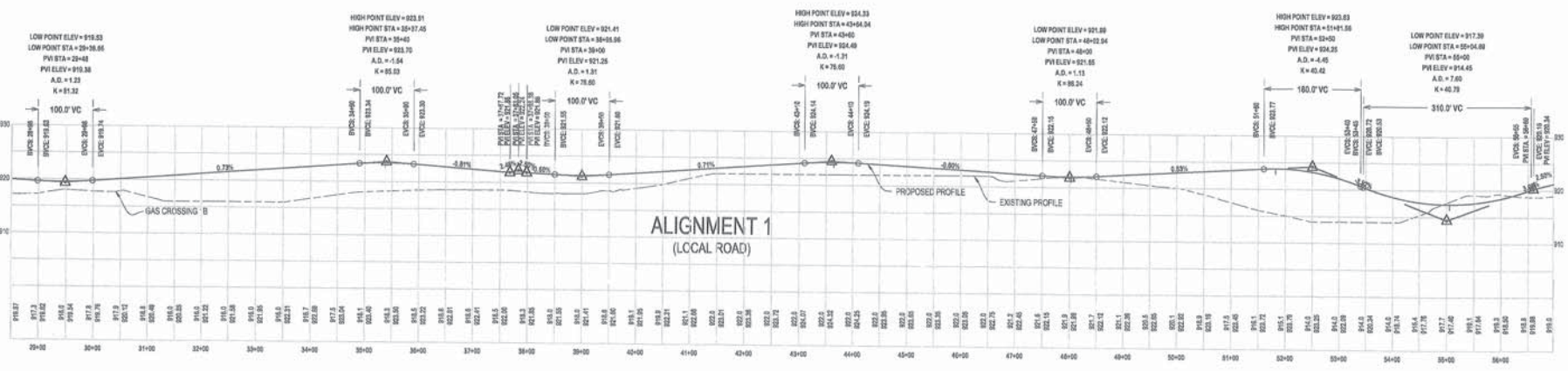
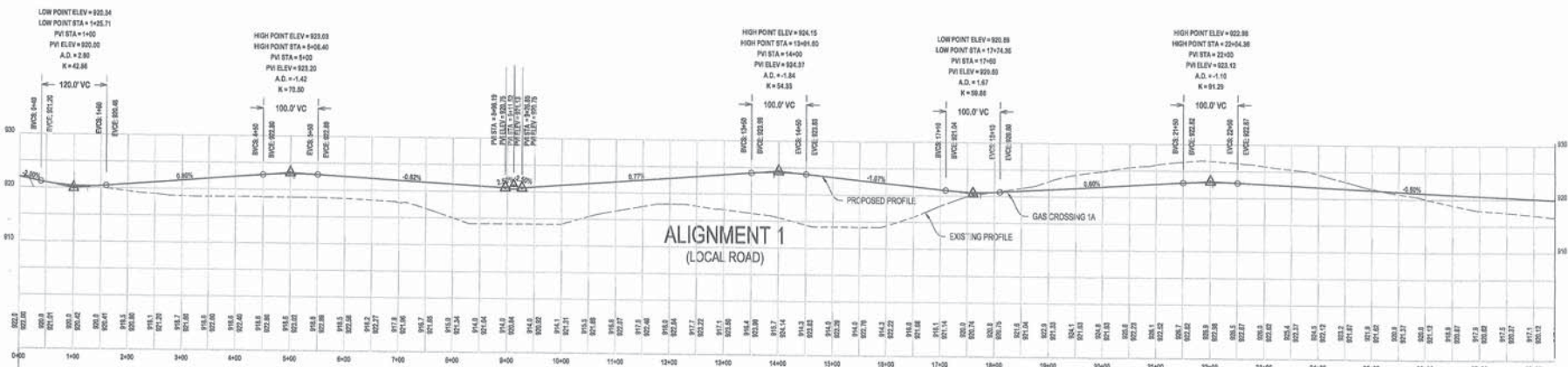
REVISION DESCRIPTION

NO.	DATE	DESCRIPTION

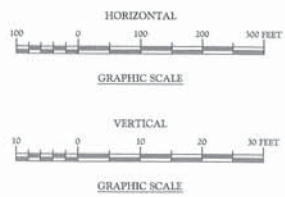
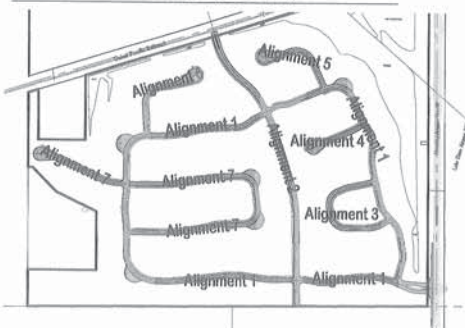
JOB NO. 13-114
DESIGNER: TAE, JSR
DRAWN BY: TAE

SHEET TITLE
STREET LAYOUT PLAN

SHEET NO.
C10
 SHEET 10 OF 37



ALIGNMENT REFERENCE MAP (NO SCALE)



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 Todd A. Erickson, PE
 40418
 LICENSE NO.
 06/12/2014
 DATE:

PROJECT OWNER:
EASTON VILLAGE, LLC
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

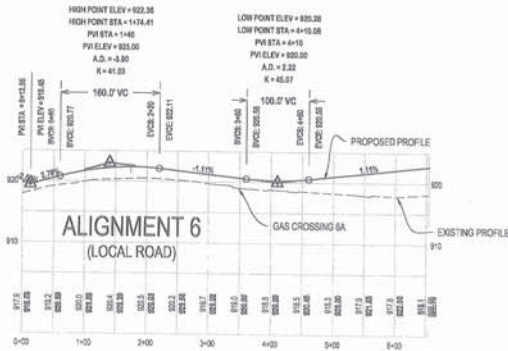
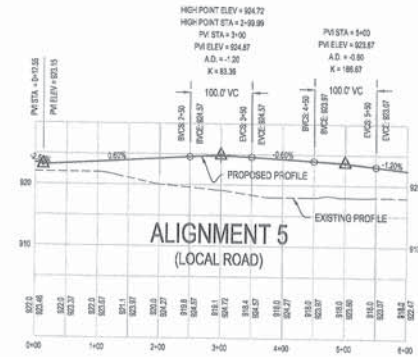
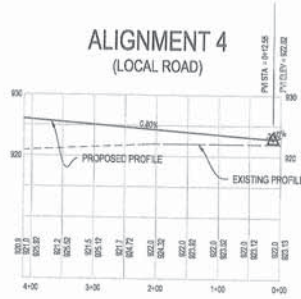
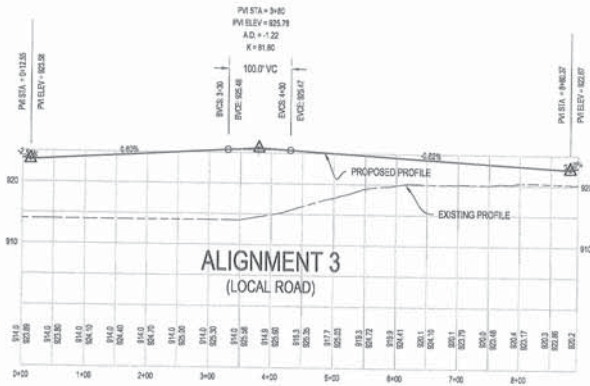
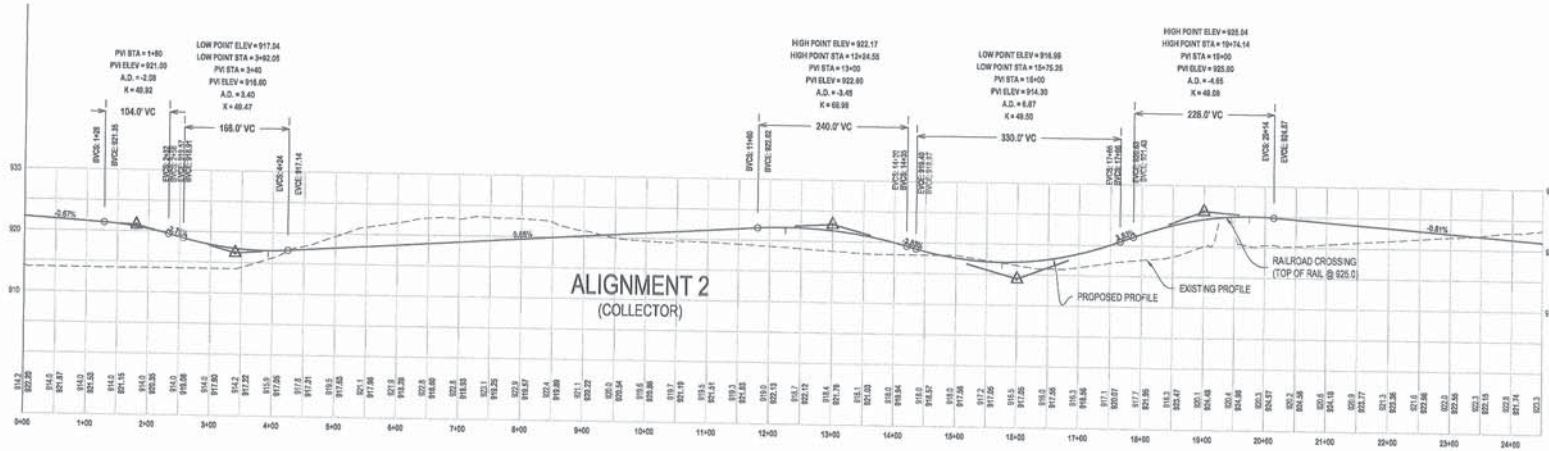
PROJECT NAME:
**EASTON VILLAGE
 PRELIMINARY PLAT
 LAKE ELMO, MINNESOTA**

NO.	REVISION DESCRIPTION	DATE

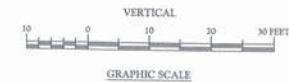
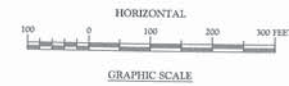
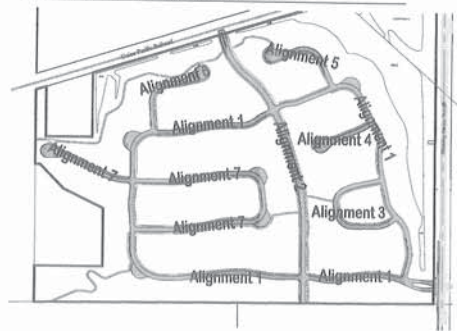
DATE: 13-114
 DRAWN BY: TAE_JSR
 CHECKED BY: TAE

SHEET TITLE:
STREET PROFILES
 SHEET NO.
C11
 SHEET 11 OF 27

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 TOSHA ERICKSON, PE
 40418
 LICENSE NO.
 06/12/2014
 DATE:

EASTON VILLAGE, LLC
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

EASTON VILLAGE
 PRELIMINARY PLAT
 LAKE ELMO, MINNESOTA

NO.	REVISION DESCRIPTION	DATE

DATE: 12-11-14
 DRAWN BY: TAE, JSR
 CHECKED BY: TAE

SHEET TITLE
STREET PROFILES

SHEET NO.
C12
 SHEET 12 OF 37

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Todd A. Erickson
 TODD A. ERICKSON, PE
 40418
 LICENSE NO.
 06/12/2014
 DATE:

CONTRACT NO. 21-40
EASTON VILLAGE, LLC
 21-40 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

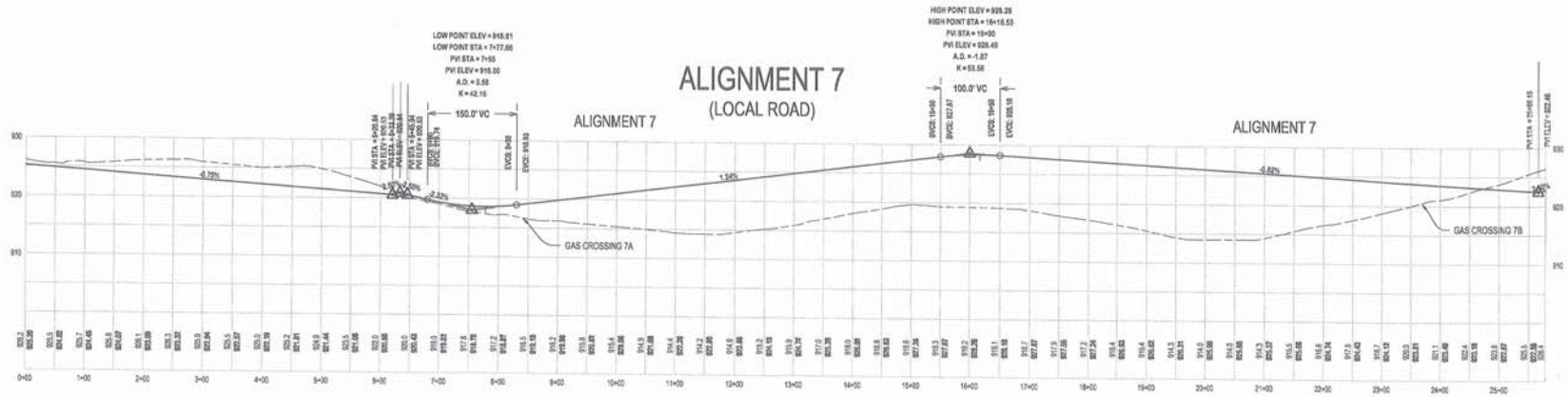
PROJECT TITLE
**EASTON VILLAGE
 PRELIMINARY PLAN
 LAKE ELMO, MINNESOTA**

NO.	REVISION DESCRIPTION	DATE

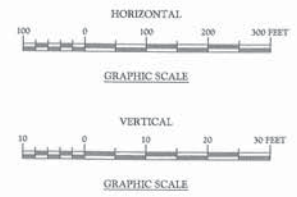
JOB NO. 13-114
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SHEET TITLE
STREET PROFILES

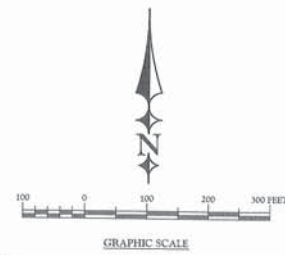
SHEET NO.
C13
 SHEET 13 OF 37



ALIGNMENT REFERENCE MAP (NO SCALE)



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LEGEND

- PROPERTY BOUNDARY
- - - 1000 - - - EXISTING 2-FT CONTOUR INTERVAL
- HP + HIGH POINT, LP + LOW POINT
- 1000 — PROPOSED 2-FT CONTOUR INTERVAL
- PROPOSED DRAINAGE ARROW
- ↗ PROPOSED STREET GRADE PERCENT AND DIRECTION
- PROPOSED STORM SEWER (SIZE INDICATED ON PLANS)
- - - HEAVY DUTY SILT FENCE
- [Pattern] ROCK CONSTRUCTION ENTRANCE
- [Pattern] EROSION CONTROL BLANKET TYPE CAT. 3 STRAW
- [Pattern] SEED MIXTURE MINDOT TYPE 34-202 (65 LBS/ACRE) (ABOVE WATER LEVEL POND OUTLOTS A, B & G)
- [Pattern] SEED MIXTURE MINDOT TYPE 33-201 (65 LBS/ACRE) (INFILTRATION POND AREA)

NOTE:
 1) MINDOT TYPE 35-131 @ 220 LBS/ACRE SHALL BE USED IN ALL DISTURBED AREAS OUTSIDE OF OTHER DESIGNATED AREAS (BURNED RESIDENTIAL AND SILV AREAS).
 2) ALL AREAS SHALL RECEIVE COVER CROP MINDOT 21-113 @ 110 LBS/ACRE.

NOTE: ALL SEED SHALL BE DRILLED AND NOT SPREAD.

ALL SEEDING SHALL BE COVERED WITH WEED FREE MINDOT TYPE 3 MULCH APPLIED @ 2 TONS PER ACRE.

GRADING AND EROSION CONTROL NOTES:

- 1) SPOT ELEVATIONS ARE ALL OUTLET LINE OR FINISHED ELEVATION UNLESS NOTED OTHERWISE.
- 2) ELEVATIONS/CONTOURS SHOWN AS FINISHED GRADE ELEVATIONS.
- 3) REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
- 4) WASHINGTON COUNTY PERMIT REQUIRED FOR GRADINGS AND ACCESS TO COUNTY RIGHT OF WAY.
- 5) DO NOT SPREAD TOPSOIL WHILE IT IS FROZEN OR MOIST OR WHEN THE SUBGRADE IS WET OR FROZEN. CORRECT ANY IRREGULARITIES IN THE SURFACE THAT RESULT FROM TOPSOIL SPREADING OR OTHER OPERATIONS TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. SPREADING ON DOUBLE LAYERING OR BIO LOG MAY BE REQUIRED TO CONTAIN RUNOFF IF SILT FENCING CANNOT BE INSTALLED PROPERLY DURING FROZEN CONDITIONS.
- 6) CONTRACTOR SHALL SO-EXHALE SOILS TESTING FOR EACH STRUCTURAL FILL AREA, PAD AND STREET AREA.
- 7) PRIOR TO ROUGH GRADING, INSTALL BIO LOGS AND SILT FENCE IN LOCATIONS SHOWN OR AS DIRECTED BY THE ENGINEER OR CITY STAFF.
- 8) AS EACH AREA OUTSIDE OF THE STREET IS GRADED, PROVIDE 4" OF NATIVE TOPSOIL, SEED AND MULCH ANCHORED WITH A STRAIGHT DISC WITHIN 48 HOURS OF FINE GRADING.
- 9) SLOPES 3:1 AND GREATER SHALL BE STABILIZED WITH FIBER BLANKET.
- 10) MAINTAIN AND REPAIR BIO LOG AND SILT FENCE (INCLUDING REMOVAL OF ACCUMULATED SILT) WITHIN 24 HOURS UPON DETECTION OR NOTIFICATION UNTIL VEGETATION IS 70% ESTABLISHED.
- 11) CONTRACTOR TO INSPECT AND DOCUMENT EROSION CONTROL A MINIMUM OF ONCE EVERY SEVEN DAYS AND WITHIN 24 HOURS OF ANY RAIN EVENT GREATER THAN 0.25" IN 24 HOURS AND WITHIN SEVEN DAYS AFTER THAT EVENT.
- 12) BIO LOGS FOUND DAMAGED MUST BE REPAIRED OR REPLACED WITHIN 24 HOURS UPON DISCOVERY. REMOVAL OF BIO LOG REQUIRED AFTER SITE IS STABILIZED AT DIRECTION OF ENGINEER.
- 13) ALL PUBLIC STREETS SHALL BE KEPT FREE OF SEDIMENT AND DEBRIS. ANY SEDIMENT OR DEBRIS DETECTED MUST BE REMOVED WITHIN 24 HOURS OR AS DIRECTED BY CITY.
- 14) ALL EXPOSED SOIL SHALL BE STABILIZED AS SOON AS POSSIBLE, BUT NO LATER THAN 14 DAYS AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED.
- 15) REFER TO GEOTECHNICAL REPORT FOR COMPACTION REQUIREMENTS.
- 16) ALL PROPOSED AND EXISTING CATCH BASINS WITHIN PROJECT AREA SHALL BE PROVIDED INLET PROTECTION. REGULAR CLEANING OR PROTECTION SHALL OCCUR AND SHALL BE INCLUDED IN THE UNIT PRICE OF INLET PROTECTION.
- 17) ANY DEBRIS FOUND OR UNEXPECTED ON THE SITE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR DISPOSAL AND PAID FOR AT THE UNIT PRICE PER CU YD OF DEBRIS REMOVAL (LITTLE EXPECTED).
- 18) ON-SITE BURY OF TREES SHALL BE STRICTLY PROHIBITED. TREES MAY BE BURNED WITH PROPER PERMITTING AND APPROVAL FROM CITY.
- 19) ALL PIPE OUTFALLS SHALL BE PROTECTED WITH RP RAP CL. 18 PER CITY DETAIL.

NOTE:
 ABSOLUTELY NO STORAGE OF CONSTRUCTION MATERIALS, PARKING OF CONSTRUCTION EQUIPMENT, OR PARKING OF CONTRACTOR'S EMPLOYEES SHALL BE ALLOWED ON MANNING AVENUE DURING CONSTRUCTION.

24 HOUR CONTACT FOR SWPPP IMPLEMENTATION AND INSPECTION:

ALL CONSTRUCTION DEBRIS SHALL BE CONTAINED IN DUMPSTERS AND ROLL OFF BOXES AND EMPTIED WHEN DEBRIS REACHES THE TOP OF THE CONTAINER.

SEE SWPPP DOCUMENT FOR NOTES ON ALL MATERIALS AND CHEMICALS STORED ON SITE AND THE METHOD OF CONTAINMENT.

CONTRACTOR SHALL REPLACE ROCK CONSTRUCTION ENTRANCE WHEN DEEMED FILLED WITH SEDIMENT. THIS SHALL BE COMPLETED WITHIN 24 HOURS OF DETECTION OR NOTIFICATION.

APRDS PERMIT SHALL BE TERMINATED ONCE VEGETATION HAS BEEN DETERMINED 70% OR GREATER, ESTABLISHED ON THE PARCEL.

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Wood A. Erickson, PE
 WOOD A. ERICKSON, PE
 40418
 LICENSE NO.
 06712/2014
 DATE:

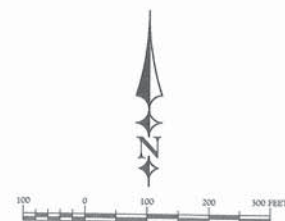
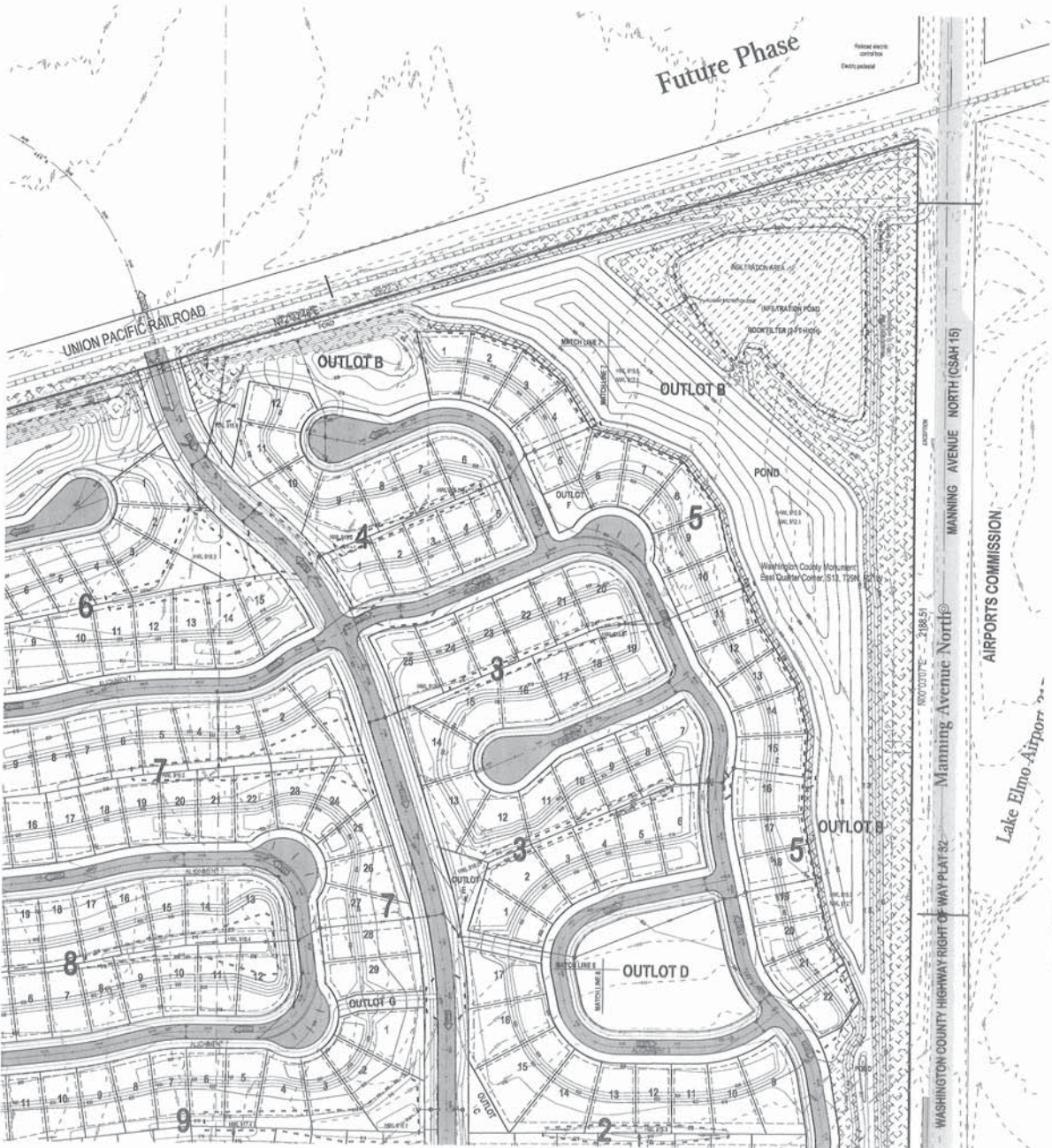
EASTON VILLAGE, LLC
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

EASTON VILLAGE PRELIMINARY PLAT LAKE ELMO, MINNESOTA

NO.	REVISION	DATE

DATE: 13-11-14
DRAWN BY: TAE, JSR
CHECKED BY: TAE

SHEET TITLE:
 EROSION CONTROL PLAN
SHEET NO.:
C14
 SHEET 14 OF 37



LEGEND

—	PROPERTY BOUNDARY
- - - 1000	EXISTING 2-FT CONTOUR INTERVAL
HP	HIGH OR LOW POINT OF STREET PROFILE, LOCATION AND ELEVATION
HP + HIGH POINT, LP + LOW POINT	
- - - 1000	PROPOSED 2-FT CONTOUR INTERVAL
→	PROPOSED DRAINAGE ARROW
→	PROPOSED STREET GRADE PERCENT AND DIRECTION
→	PROPOSED STORM SEWER (SIZE INDICATED ON PLANS)
- - -	HEAVY DUTY SILT FENCE
[Pattern]	ROCK CONSTRUCTION ENTRANCE
[Pattern]	SEED MIXTURE MINDOT TYPE 34-20 (5 LBS/ACRE) ABOVE WATER LEVEL POND OUTLOTS A, B & C;
[Pattern]	SEED MIXTURE MINDOT TYPE 33-20 (5 LBS/ACRE) (MULTIPLICATION POND AREA)

NOTE:
 1) MINDOT TYPE 34-20 @ 200 LBS/ACRE SHALL BE USED IN ALL DISTURBED AREAS OUTSIDE OF OTHER DESIGNATED AREAS (LAND RESIDENTIAL AND BLDG AREAS).
 2) ALL AREAS SHALL RECEIVE COVER CROP MINDOT 21-113 @ 119 LBS/ACRE.

NOTE: ALL SEED SHALL BE GRILLED AND NOT SPREAD.
 ALL SEEDING SHALL BE COVERED WITH NEED FREE MINDOT TYPE 3 MULCH APPLIED @ 2 TONS PER ACRE.

- GRADING AND EROSION CONTROL NOTES:**
- 1) SPOT ELEVATIONS ARE ALL CUTTER LINE OR FINISHED ELEVATION UNLESS NOTED OTHERWISE.
 - 2) ELEVATIONS/CONTOURS SHOWN AS FINISHED GRADE ELEVATIONS.
 - 3) REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
 - 4) WASHINGTON COUNTY PERMIT REQUIRED FOR GRADING AND ACCESS TO COUNTY RIGHT OF WAY.
 - 5) DO NOT SPREAD TOPSOIL WHILE IT IS FROZEN OR MUDDY OR WHEN THE SURFACE IS WET OR FROZEN CORRECT ANY IRREGULARITIES IN THE SURFACE THAT RESULT FROM TOPSOIL SPREADING OR OTHER OPERATIONS TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. BEGINNING ON DOUBLE LAYERING OR BIO LOG MAY BE REQUIRED TO CONTROL RUNOFF IF SILT TRUCKING CANNOT BE INSTALLED PROPERLY DURING FROZEN CONDITIONS.
 - 6) CONTRACTOR SHALL SO-SCHEDULE SOILS TESTING FOR EACH STRUCTURAL, FILL AREA, PAD AND STREET AREA.
 - 7) PRIOR TO ROUGH GRADING, INSTALL BIO LOGS AND SILT FENCE IN LOCATIONS SHOWN OR AS DIRECTED BY THE ENGINEER OR CITY STAFF.
 - 8) AS EACH AREA OUTSIDE OF THE STREET IS GRADED, PROVIDE 4" OF NATIVE TOPSOIL, SEED AND MULCH ANCHORED WITH A STRAIGHT DISC WITHIN 48 HOURS OF FINE GRADING.
 - 9) SLOPES 3:1 AND GREATER SHALL BE STABILIZED WITH FIBER BLANKET.
 - 10) MAINTAIN AND REPAIR BIO LOG AND SILT FENCE INCLUDING REMOVAL OF ACCUMULATED SILT WITHIN 24 HOURS UPON DETECTION OR NOTIFICATION UNTIL VEGETATION IS 70% ESTABLISHED.
 - 11) CONTRACTOR TO INSPECT AND DOCUMENT EROSION CONTROL A MINIMUM OF ONCE EVERY SEVEN DAYS AND WITHIN 24 HOURS OF ANY RAIN EVENT GREATER THAN 10 INCH IN 24 HOURS AND WITHIN SEVEN DAYS AFTER THAT EVENT.
 - 12) BIO LOGS FOUND DAMAGED MUST BE REPAIRED OR REPLACED WITHIN 24 HOURS UPON DISCOVERY. REMOVAL OF BIO LOG REQUIRED AFTER SITE IS PARCELIZED AT DIRECTION OF ENGINEER.
 - 13) ALL PUBLIC STREETS SHALL BE KEPT FREE OF SEDIMENT AND DEBRIS. ANY SEDIMENT OR DEBRIS DETECTED MUST BE REMOVED WITHIN 24 HOURS OR AS DIRECTED BY CITY.
 - 14) ALL EXPOSED SOIL SHALL BE STABILIZED AS SOON AS POSSIBLE, BUT NO LATER THAN 14 DAYS AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED.
 - 15) REFER TO GEOTECHNICAL REPORT FOR COMPACTION REQUIREMENTS.
 - 16) ALL PROPOSED AND EXISTING GUTTER BASINS WITHIN PROJECT AREA SHALL BE PROVIDED FULL PROTECTION. REGULAR CLEANING OR PROTECTION SHALL OCCUR AND SHALL BE INCLUDED IN THE UNIT PRICE OF MAINT PROTECTION.
 - 17) ANY DEBRIS FOUND OR UNEXPECTED ON THE SITE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR DISPOSAL AND PAID FOR AT THE UNIT PRICE PER CY. OF DEBRIS REMOVAL (LITTLE EXPECTED).
 - 18) ON-SITE BURY OF TREES SHALL BE STRICTLY PROHIBITED. TREES MAY BE BURNED WITH PROPER PERMITTING AND APPROVAL FROM CITY.
 - 19) ALL PIPE CUTBACKS SHALL BE PROTECTED WITH RIP RAP OR TUBER CITY DETAIL.

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1000 A. ERICKSON, PE
 40418
 LICENSE NO.
 06/12/2014
 DATE

EASTON VILLAGE, LLC
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

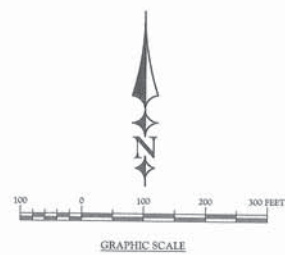
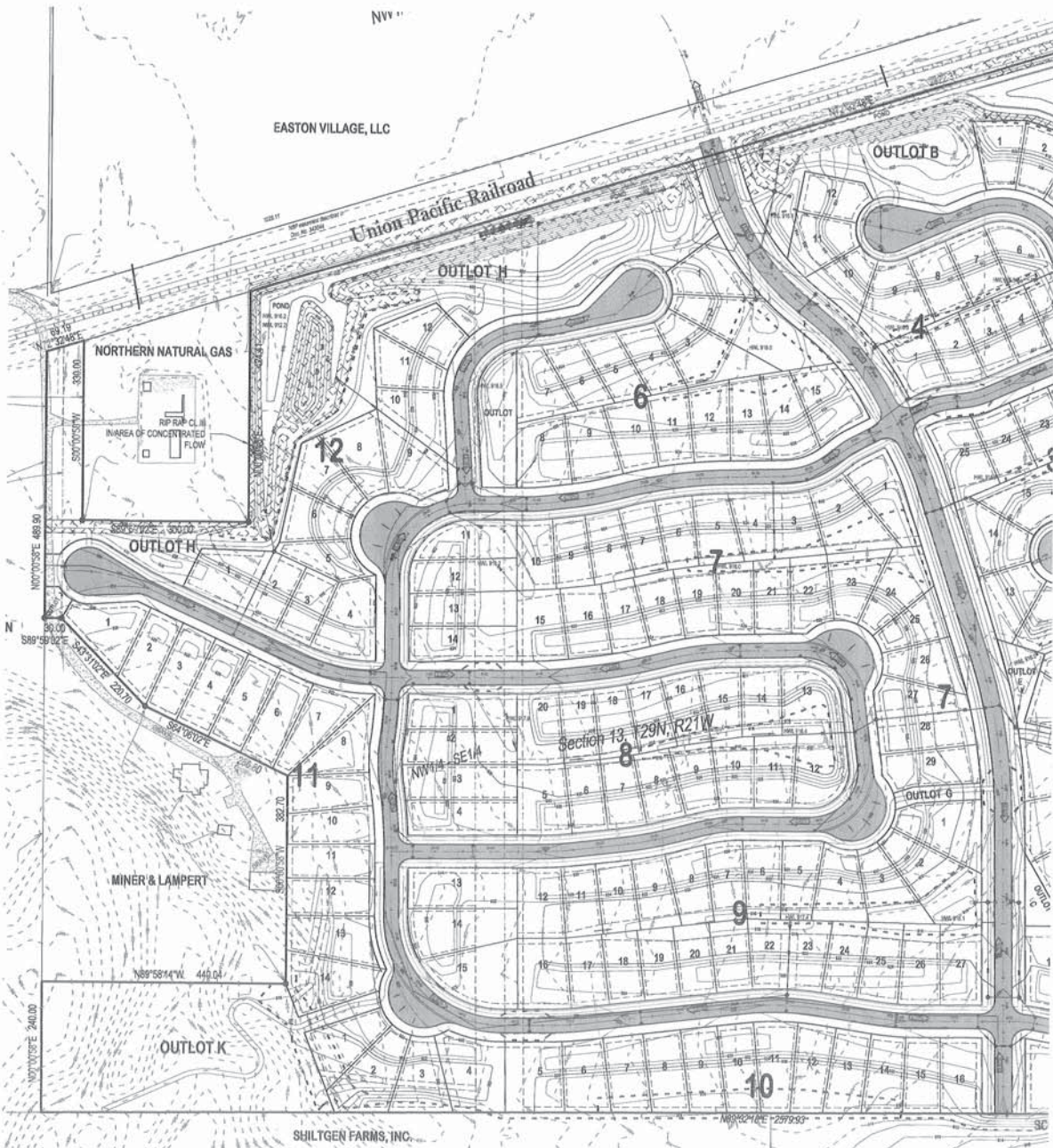
EASTON VILLAGE
 PRELIMINARY PLAN
 LAKE ELMO, MINNESOTA

PROJECT TITLE	DATE
REVISION	DESCRIPTION
NO.	

ARM: 13-114
 DRAWN BY: TAE, JSR
 CHECKED BY: TAE

SHEET TITLE
 EROSION CONTROL PLAN

SHEET NO.
C15
 SHEET 13 OF 27



- LEGEND**
- PROPERTY BOUNDARY
 - - - 1000 EXISTING 2-FT CONTOUR INTERVAL
 - HP HIGH POINT LP LOW POINT
 - 1080 PROPOSED 3-FT CONTOUR INTERVAL
 - PROPOSED DRAINAGE ARROW
 - PROPOSED STREET GRADE PERCENT AND DIRECTION
 - PROPOSED STORM SEWER (SIZE INDICATED ON PLANS)
 - - - HEAVY DUTY SILT FENCE
 - ROCK CONSTRUCTION ENTRANCE
 - EROSION CONTROL BLANKET TYPE CAT. 3 STRAW
 - SEED MIXTURE MNOOT TYPE 34-202 (85 LBS/ACRE) (ABOVE WATER LEVEL POND OUTLOTS A, B & G)
 - SEED MIXTURE MNOOT TYPE 33-201 (85 LBS/ACRE) (INFILTRATION POND AREA)
- NOTE:**
- 1) MNOOT TYPE 25-101 @ 20 LBS/ACRE SHALL BE USED IN ALL DISTURBED AREAS OUTSIDE OF OTHER DESIGNATED AREAS (SPRINKLER RESIDENTIAL AND 18 V.O. AREAS). ALL AREAS SHALL RECEIVE COVER CROP MNOOT 21-113 @ 110 LBS/ACRE.
 - 2) ALL SEED SHALL BE CHILLED AND NOT SPREAD.
 - 3) ALL SEEDING SHALL BE COVERED WITH WEED FREE MNOOT TYPE 3 MULCH APPLIED @ 2 TONS PER ACRE.

GRADING AND EROSION CONTROL NOTES:

- 1) SPOT ELEVATIONS ARE ALL GUTTER LINE OR FINISHED ELEVATION UNLESS NOTED OTHERWISE.
- 2) ELEVATIONS/CONTOURS SHOWN AS FINISHED GRADE ELEVATIONS.
- 3) REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
- 4) WASHINGTON COUNTY PERMIT REQUIRED FOR GRADING AND ACCESS TO COUNTY RIGHT OF WAY.
- 5) DO NOT SPREAD TOPSOIL WHILE IT IS FROZEN OR MUDDY OR WHEN THE SUBGRADE IS WET OR FROZEN. CORRECT ANY IRREGULARITIES IN THE SURFACE THAT RESULT FROM TOPSOIL SPREADING OR OTHER OPERATIONS TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POOLS. BEDDING ON DOUBLE LAYERS OR BIO LOG MAY BE REQUIRED TO CONTAIN RUNOFF IF SILT FENCING CANNOT BE INSTALLED PROPERLY DURING FROZEN CONDITIONS.
- 6) CONTRACTOR SHALL SCHEDULE SOILS TESTING FOR EACH STRUCTURAL, FILL AREA, PAD AND STREET AREA.
- 7) PRIOR TO ROUGH GRADING, INSTALL BIO LOGS AND SILT FENCE IN LOCATIONS SHOWN OR AS DIRECTED BY THE ENGINEER OR CITY STAFF.
- 8) AS EACH AREA OUTSIDE OF THE STREET IS GRADED, PROVIDE 4" NATIVE TOPSOIL, SEED AND MULCH ANCHORED WITH A STRAIGHT LOG WITHIN 48 HOURS OF FINE GRADING.
- 9) SLOPES 3:1 AND GREATER SHALL BE STABILIZED WITH FIBER BLANKET.
- 10) MAINTAIN AND REPAIR BIO LOG AND SILT FENCE (INCLUDING REMOVAL OF ACCUMULATED SILT WITHIN 24 HOURS UPON DETECTION OR NOTIFICATION) UNTIL VEGETATION IS 70% ESTABLISHED.
- 11) CONTRACTOR TO INSPECT AND DOCUMENT EROSION CONTROL. A MINIMUM OF ONCE EVERY SEVEN DAYS AND WITHIN 24 HOURS OF ANY RAIN EVENT GREATER THAN 1/8" IN 24 HOURS AND WITHIN SEVEN DAYS AFTER THAT EVENT.
- 12) BIO LOG FOUND DAMAGED MUST BE REPAIRED OR REPLACED WITHIN 24 HOURS UPON DISCOVERY. REMOVAL OF BIO LOG REQUIRED AFTER SITE IS STABILIZED (AT DIRECTION OF ENGINEER).
- 13) ALL PUBLIC STREETS SHALL BE KEPT FREE OF SEDIMENT AND DEBRIS. ANY SEDIMENT OR DEBRIS DETECTED MUST BE REMOVED WITHIN 24 HOURS OR AS DIRECTED BY CITY.
- 14) ALL EXPOSED SOIL SHALL BE STABILIZED AS SOON AS POSSIBLE, BUT NO LATER THAN 14 DAYS AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED.
- 15) REFER TO GEOTECHNICAL REPORT FOR CONVICTION REQUIREMENTS.
- 16) ALL PROPOSED AND EXISTING CATCH BASINS WITHIN PROJECT AREA SHALL BE PROVIDED ALIET PROTECTION. REGULAR CLEANING OF PROTECTION SHALL OCCUR AND SHALL BE INCLUDED IN THE UNIT PRICE OF ALIET PROTECTION.
- 17) ANY DEBRIS FOUND OR UNEXPECTED ON THE SITE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR DISPOSAL AND PAD FOR AT THE UNIT PRICE PER CU. YD. OF DEBRIS REMOVAL (LITTLE EXPECTED).
- 18) ON-SITE BURY OF TREES SHALL BE STRICTLY PROHIBITED. TREES MAY BE BURNED WITH PROPER PERMITTING AND APPROVAL FROM CITY.
- 19) ALL PIPE OUTFALLS SHALL BE PROTECTED WITH RFP NAP CL. 10 PER CITY DETAIL.

ERICKSON CIVIL
 333 North Main Street, Suite 201
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 www.ericksoncivil.com

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AGENCY REVIEW	✓
BID DOCUMENT	
POST CONSTRUCTION	
AS-BUILT DOCUMENT	

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Todd A. Erickson, PE
 TODD A. ERICKSON, PE
 40418
 LICENSE NO.
 06/12/2014
 DATE:

EASTON VILLAGE, LLC
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

EASTON VILLAGE
PRELIMINARY PLAN
LAKE ELMO, MINNESOTA

REVISION TABLE

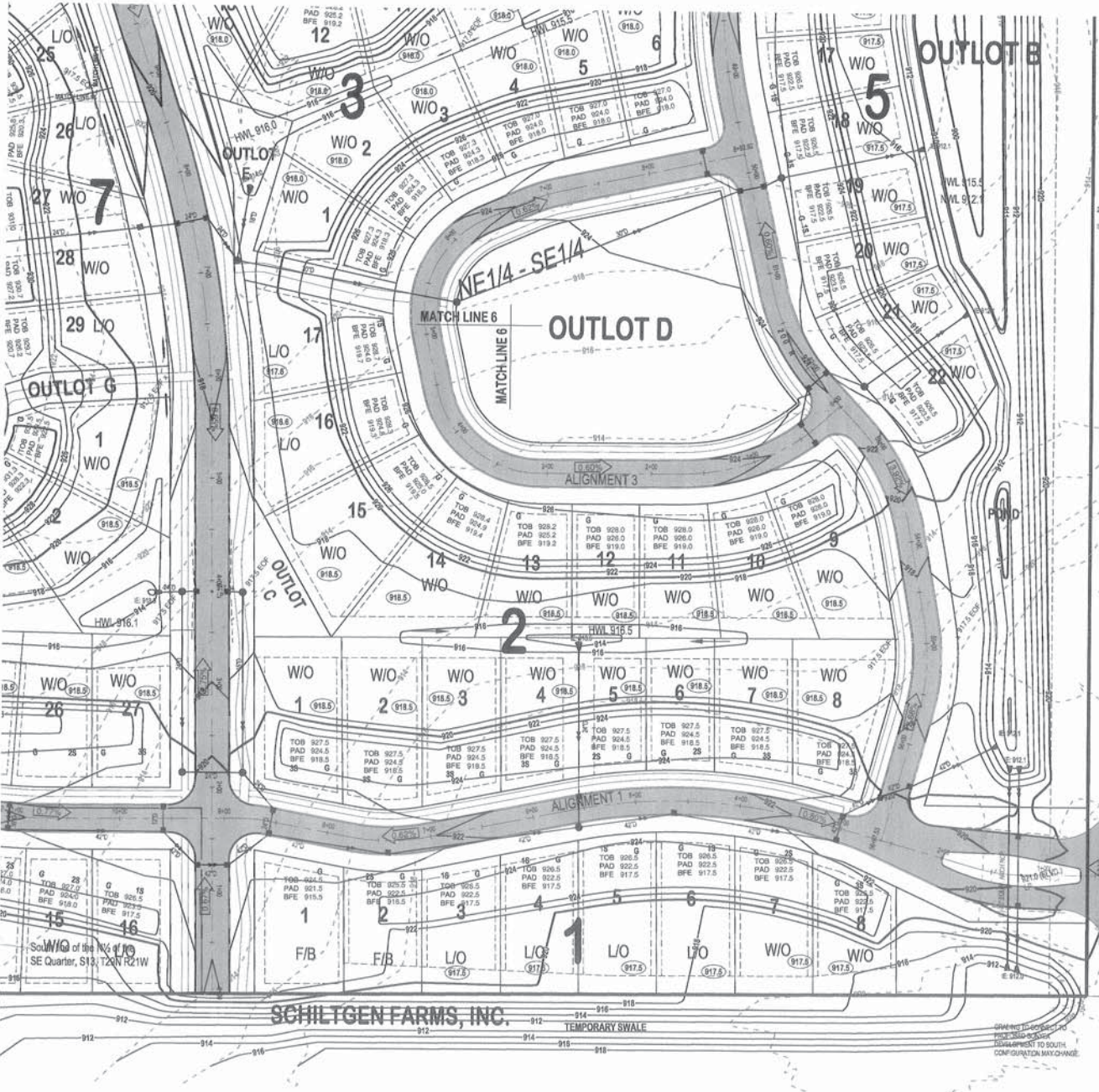
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 CHECKED BY: TAE

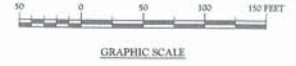
SHEET TITLE
EROSION CONTROL PLAN

SHEET NO.
C16
 SHEET 16 OF 31

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WASHINGTON COUNTY HIGHWAY RIGHT OF WAY PLAT 32



LEGEND

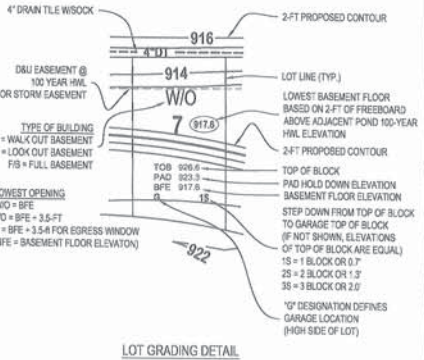
- PROPERTY BOUNDARY
- EXISTING 2-FT CONTOUR INTERVAL
- 922.85 HIGH OR LOW POINT OF STREET PROFILE LOCATION AND ELEVATION HP = HIGH POINT, LP = LOW POINT
- 1000 PROPOSED 2-FT CONTOUR INTERVAL
- PROPOSED DRAINAGE ARROW
- 0.74% PROPOSED STREET GRADE PERCENT AND DIRECTION
- 210 PROPOSED STORM SEWER (SIZE INDICATED ON PLANS)

DEVELOPMENT STANDARDS

- BUILDING LOWEST OPENING ABOVE 100 YEAR HWL 2 MIN.
- MINIMUM STREET GRADE 0.8%
- MINIMUM STREET GRADE 1.0%
- STREET CROSS SLOPE 2.0%
- BASEMENT DEPTH 3' @ BFE TO TOP OF BLOCK

GRADING NOTES:

- 1) SPOT ELEVATIONS ARE ALL OUTER LINE OR FINISHED ELEVATION UNLESS NOTED OTHERWISE.
- 2) ELEVATION CONTOURS SHOWN AS FINISHED GRADE ELEVATIONS.
- 3) REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
- 4) WASHINGTON COUNTY PERMIT REQUIRED FOR GRADING AND ACCESS TO COUNTY RIGHT OF WAY.
- 5) DO NOT SPREAD TOPSOIL WHILE IT IS FROZEN OR MUDDY OR WHEN THE SUBGRADE IS WET OR FROZEN. CORRECT ANY IRREGULARITIES IN THE SURFACE THAT RESULT FROM TOPSOIL SPREADING OR OTHER OPERATIONS TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. BERING OR DOUBLE LAYERS OF BLDG. LOGS MAY BE REQUIRED TO CONTAIN RUNOFF IF SILT FENCING CANNOT BE INSTALLED PROPERLY DURING FROZEN CONDITIONS.
- 6) CONTRACTOR SHALL SCHEDULE SOILS TESTING FOR EACH STRUCTURAL, FILL AREA, PAD AND STREET AREA.



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 Silverton, Minnesota 55052
 Phone (612) 369-3904
 www.ericksoncivil.com

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 BID DOCUMENT
 FOR CONSTRUCTION
 AS-BUILT DOCUMENT

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 TAE, JSR
 1700 S. ERICKSON, PE
 LICENSE NO. 06/12/2014
 DATE:

EASTON VILLAGE, LLC
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

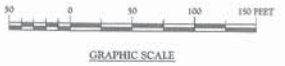
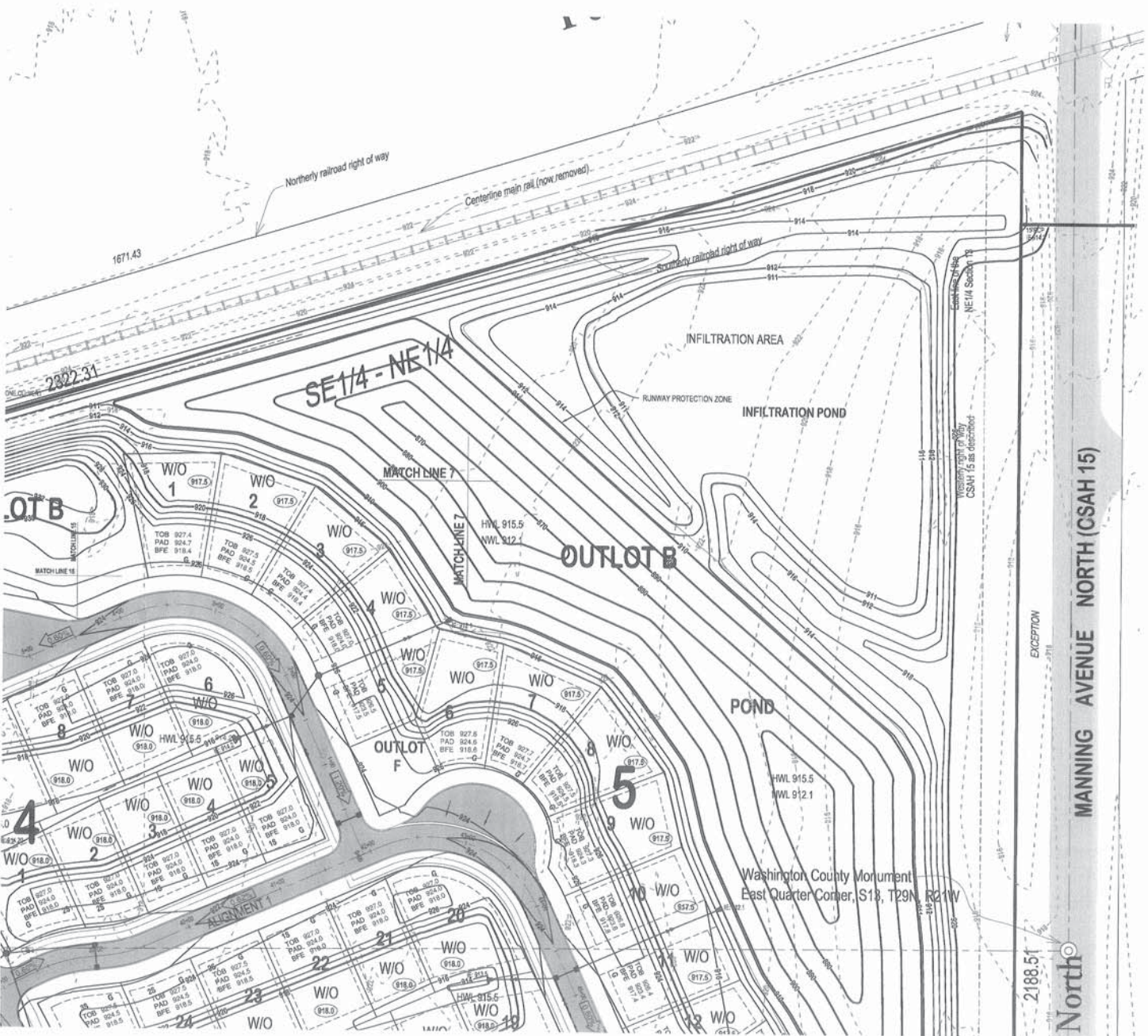
EASTON VILLAGE PRELIMINARY PLAT LAKE ELMO, MINNESOTA

NO.	REVISION DESCRIPTION	DATE

JOB NO. 13-114
 DRAWN BY: TAE, JSR
 CHECKED BY: TAE

GRADING PLAN

C17
 SHEET 17 OF 37



LEGEND

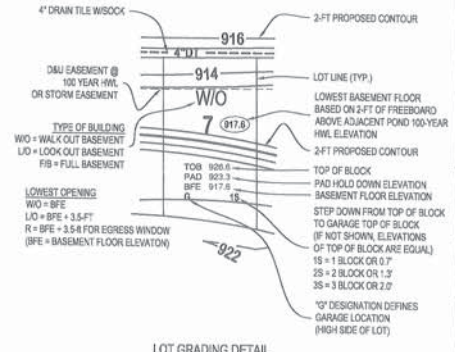
- PROPERTY BOUNDARY
- - - 1030 EXISTING 3-FIT CONTOUR INTERVAL
- 922.85 HIGH OR LOW POINT OF STREET PROFILE LOCATION AND ELEVATION
HP = HIGH POINT, LP = LOW POINT
- - - 1030 PROPOSED 2-FIT CONTOUR INTERVAL
- PROPOSED DRAINAGE ARROW
- 0.75% PROPOSED STREET GRADE PERCENT AND DIRECTION
- 912.0 PROPOSED STORM BEWER (SIZE INDICATED ON PLAN)

DEVELOPMENT STANDARDS

BUILDING LOWEST OPENING ABOVE 100 YEAR HWL	2.4%
MINIMUM STREET GRADE	0.5%
MAXIMUM STREET GRADE	2.0%
STREET CROSS SLOPE	2.5%
BASEMENT DEPTH	0.9' (8FE TO TOP OF BLOCK)

GRADING NOTES:

- 1) SPOT ELEVATIONS ARE ALL GUTTER LINE OR FINISHED ELEVATION UNLESS NOTED OTHERWISE.
- 2) ELEVATION CONTOURS SHOWN AS FINISHED GRADE ELEVATIONS.
- 3) REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
- 4) WASHINGTON COUNTY PERMIT REQUIRED FOR GRADING AND ACCESS TO COUNTY RIGHT OF WAY.
- 5) DO NOT SPREAD TOPSOIL WHILE IT IS FROZEN OR ALDURY OR WHEN THE SUBGRADE IS WET OR FROZEN. CORRECT ANY IRREGULARITIES IN THE SURFACE THAT RESULT FROM TOPSOIL SPREADING OR OTHER OPERATIONS TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. BEDDING OR DOUBLE LAYERING OR BLOCC MAY BE REQUIRED TO CONTAIN RUNOFF IF SILT FENCING CANNOT BE INSTALLED PROPERLY DURING FROZEN CONDITIONS.
- 6) CONTRACTOR SHALL BIENDELL SOILS TESTING FOR EACH STRUCTURAL FILL AREA, PAD AND STREET AREA.



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 333 North Main Street, Suite 201
 Stillwater, Minnesota 55082
 Phone: (612) 339-2854
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TODD A. ERICKSON, PE
 40418
 LICENSE NO.
 06/12/2014
 DATE:

EASTON VILLAGE, LLC
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

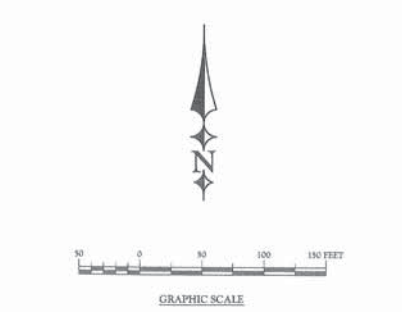
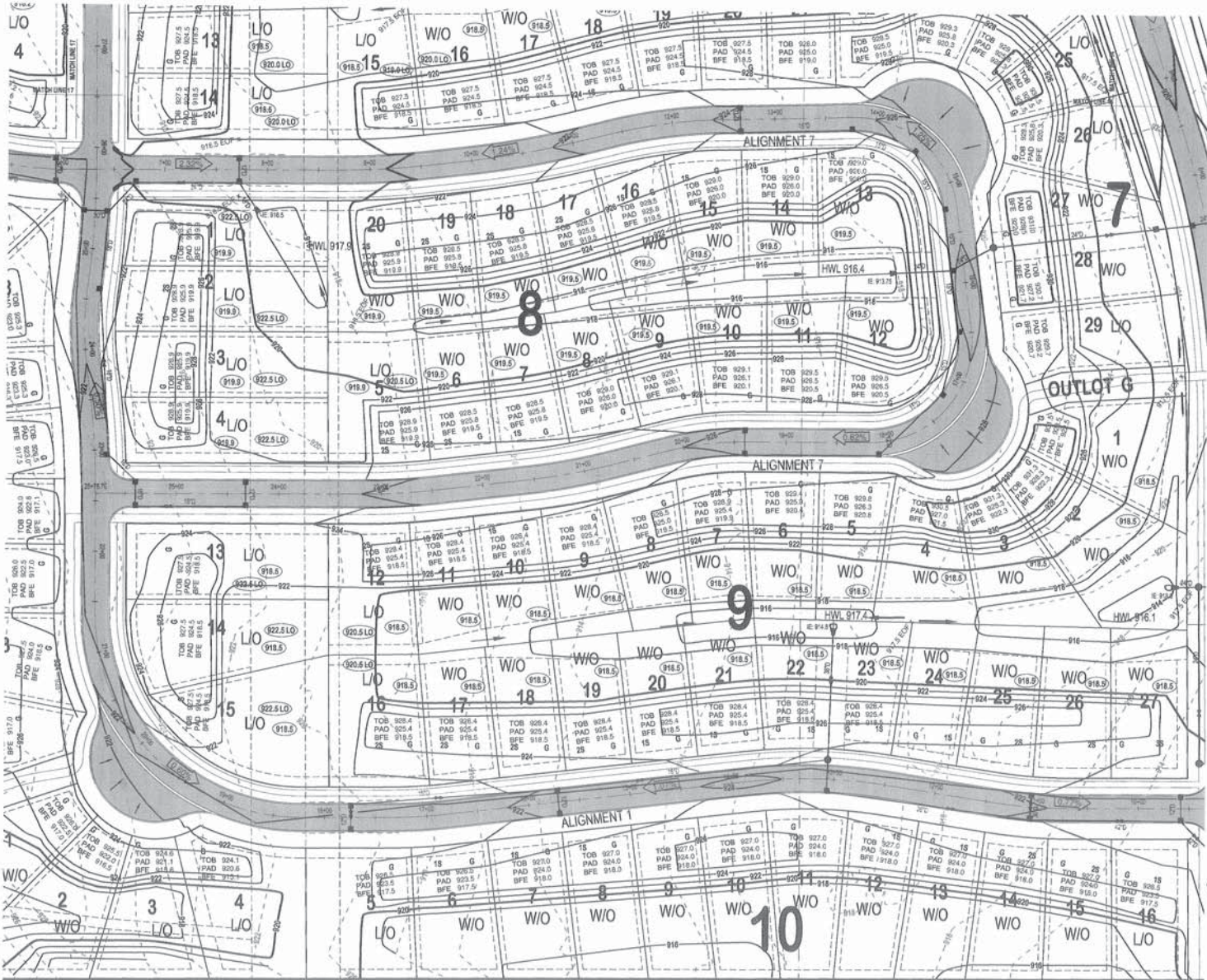
EASTON VILLAGE PRELIMINARY PLAT LAKE ELMO, MINNESOTA

MARKET TITLE	
DATE	
REVISION DESCRIPTION	
NO.	

JAN 13-14
 DESIGNED BY: TAE_USR
 CHECKED BY: TAE

GRADING PLAN

SHEET NO.
C19
 SHEET 19 OF 21



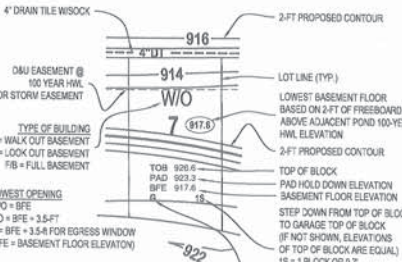
LEGEND

- PROPERTY BOUNDARY
- - - 1000 - - - EXISTING 2 FT CONTOUR INTERVAL
- 922.85 1" HP HIGH OR LOW POINT OF STREET PROFILE LOCATION AND ELEVATION
HP = HIGH POINT, LP = LOW POINT
- 1030 — PROPOSED 3 FT CONTOUR INTERVAL
- PROPOSED DRAINAGE ARROW
- 0.74% PROPOSED STREET GRADE PERCENT AND DIRECTION
- 21" PROPOSED STORM SEWER (SIZE INDICATED ON PLANS)

DEVELOPMENT STANDARDS

BUILDING LOWEST OPENING ABOVE 100 YEAR H.W.	2 MIN.
MAXIMUM STREET GRADE	0.8%
MAXIMUM STREET CROSS SLOPE	2.5%
STREET CROSS SLOPE	2.2%
BASEMENT DEPTH	5' BFE TO TOP OF BLOCK

- GRADING NOTES:**
- 1) SPOT ELEVATIONS ARE ALL GUTTER LINE OR FINISHED ELEVATION UNLESS NOTED OTHERWISE.
 - 2) ELEVATIONS/CONTOURS SHOWN AS FINISHED GRADE ELEVATIONS.
 - 3) REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
 - 4) WASHINGTON COUNTY PERMIT REQUIRED FOR GRADING AND ACCESS TO COUNTY RIGHT OF WAY.
 - 5) DO NOT SPREAD TOPSOIL WHILE IT IS FROZEN OR MUDDY OR WHEN THE SUBGRADE IS WET OR FROZEN. CONSIDER ANY IRREGULARITIES IN THE SURFACE THAT RESULT FROM TOPSOIL SPREADING OR OTHER OPERATIONS TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. BERMING OR DOUBLE LAYERS OF BIO LOG MAY BE REQUIRED TO CONTAIN RUNOFF IF SILT FENCING CANNOT BE INSTALLED PROPERLY DURING FROZEN CONDITIONS.
 - 6) CONTRACTOR SHALL PROVIDE SOILS TESTING FOR EACH STRUCTURAL FILL AREA, PAD AND STREET AREA.



LOT GRADING DETAIL

4" DRAIN TILE RISER

DMU EASEMENT @ 100 YEAR HWL OR STORM EASEMENT

TYPE OF BUILDING
W/O = WALK OUT BASEMENT
L/O = LOCK OUT BASEMENT
FIB = FULL BASEMENT

LOWEST OPENING
W/O = BFE
L/O = BFE + 3.5 FT
R = BFE + 3.5 FT FOR EGRESS WINDOW
(BFE = BASEMENT FLOOR ELEVATION)

921.2 LO LOOKOUT CONDITION LOWEST OPENING ELEVATION FOR PROPER DRAINAGE

LOT LINE (TYP.)

LOWEST BASEMENT FLOOR BASED ON 2 FT OF FREEBOARD ABOVE ADJACENT TOP OF BLOCK 100 YEAR H.W. ELEVATION

2 FT PROPOSED CONTOUR

TOP OF BLOCK PAD HOLD DOWN ELEVATION BASEMENT FLOOR ELEVATION STEP DOWN FROM TOP OF BLOCK TO GARAGE TOP OF BLOCK (IF NOT SHOWN, ELEVATIONS OF TOP OF BLOCK ARE EQUAL)

15' = 1 BLOCK OR 0.7
25' = 2 BLOCK OR 1.3
35' = 3 BLOCK OR 2.0

1" DESIGNATION DEFINES GARAGE LOCATION (HIGH SIDE OF LOT)

V FARMS, INC.

N89°32'18"E 2579.93

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Phone (612) 359-3064
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TODD A. ERICKSON, PE
40418
LICENSE NO. 06112/2014
DATE:

TRANSFERRER:
EASTON VILLAGE, LLC
2140 COUNTY ROAD 42 WEST
BURNSVILLE, MN 55337

PROJECT TITLE:
EASTON VILLAGE PRELIMINARY PLAT LAKE ELMO, MINNESOTA

NO.	REVISION DESCRIPTION	DATE

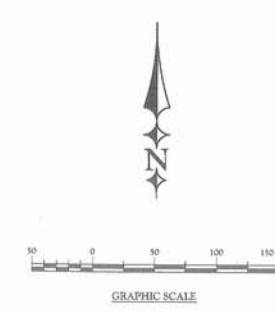
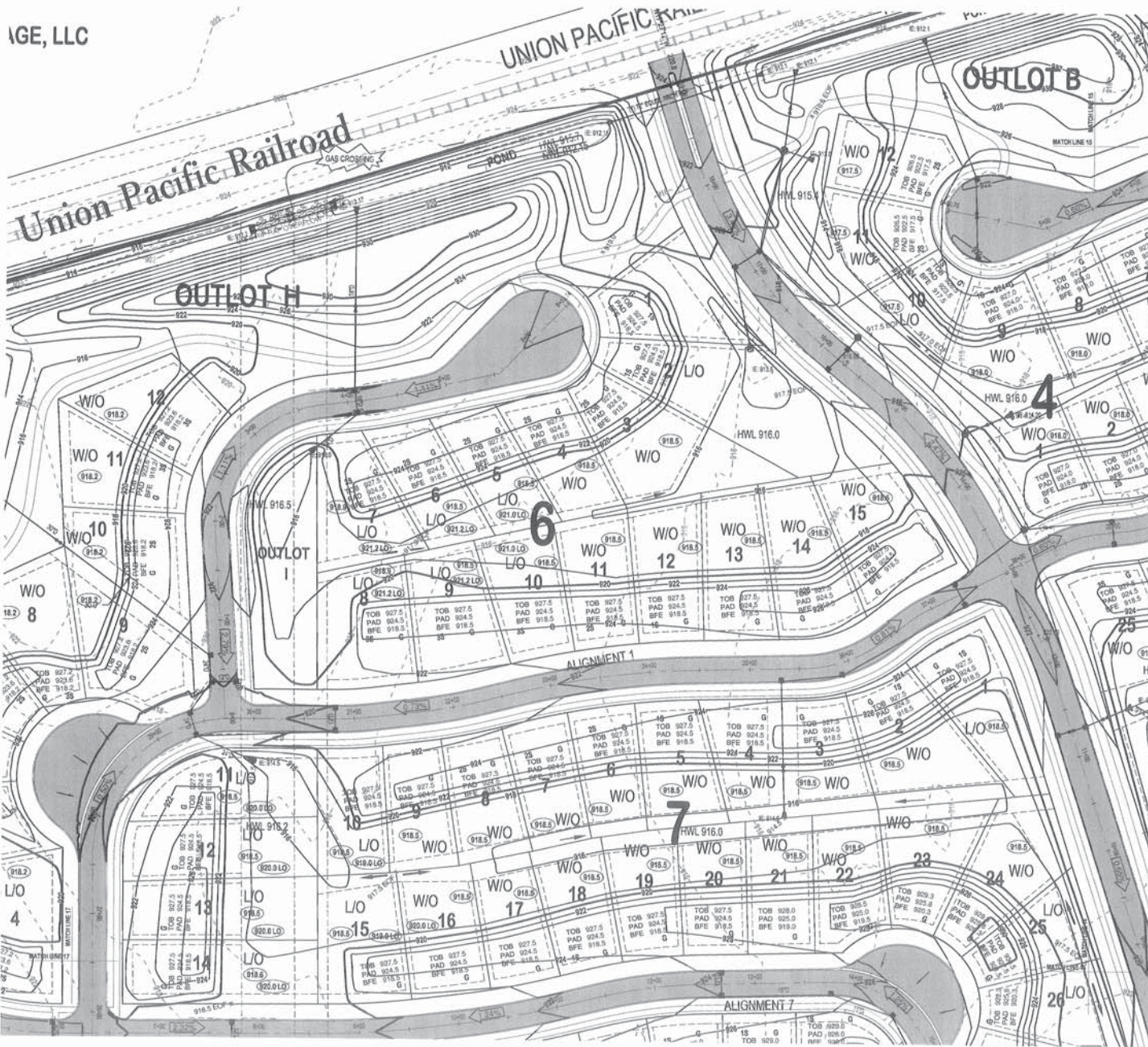
DATE: 13-11-14
DRAWN BY: TAE, JSR
CHECKED BY: TAE

GRADING PLAN

DATE: 13-11-14
DRAWN BY: TAE, JSR
CHECKED BY: TAE

GRADING PLAN

C20
SHEET 20 OF 27



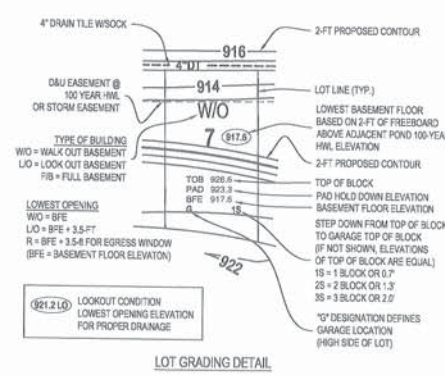
LEGEND

- PROPERTY BOUNDARY
- - - - - EXISTING 2-FT CONTOUR INTERVAL
- 922.85
LP / HP HIGH OR LOW POINT OF STREET PROFILE LOCATION AND ELEVATION
HP = HIGH POINT, LP = LOW POINT
- - - - - PROPOSED 2-FT CONTOUR INTERVAL
- PROPOSED DRAINAGE ARROW
- 0.74% → PROPOSED STREET GRADE PERCENT AND DIRECTION
- 210 → PROPOSED STORM SEWER SIZE (INDICATED ON PLANS)

DEVELOPMENT STANDARDS

BUILDING LOWEST OPENING ABOVE 100 YEAR HWL	2 MIN
MINIMUM STREET GRADE	0.60%
MAXIMUM STREET GRADE	2.00%
STREET CROSS SLOPE	2.5%
BASEMENT DEPTH	1/2 BFE TO TOP OF BLOCK

- GRADING NOTES:**
- SPOT ELEVATIONS ARE ALL OUTER LINE OR FINISHED ELEVATION UNLESS NOTED OTHERWISE.
 - ELEVATION CONTOURS SHOWN AS FINISHED GRADE ELEVATIONS.
 - REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
 - WASHINGTON COUNTY PERMIT REQUIRED FOR GRADING AND ACCESS TO COUNTY RIGHT OF WAY.
 - DO NOT SPREAD TOPSOIL WHILE IT IS FROZEN OR MUDDY OR WHEN THE SUBGRADE IS WET OR FROZEN. CORRECT ANY IRREGULARITIES IN THE SURFACE THAT RESULT FROM TOPSOIL SPREADING OR OTHER OPERATIONS TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. RETAINING OR DOUBLE LAYERING OR B/O LOG MAY BE REQUIRED TO CONTAIN RUNOFF IF B/T FENCING CANNOT BE INSTALLED PROPERLY DURING FROZEN CONDITIONS.
 - CONTRACTOR SHALL SCHEDULE SOILS TESTING FOR EACH STRUCTURAL FILL AREA, PAD AND STREET AREA.



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 Phone (612) 301-2804
 www.ericksoncivil.com

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 AS-BUILT DOCUMENT

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Eric Erickson
 ERIC ERICKSON, PE
 40418
 LICENSE NO.
 06/12/2014
 DATE

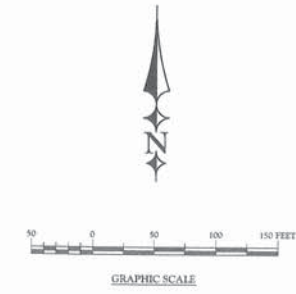
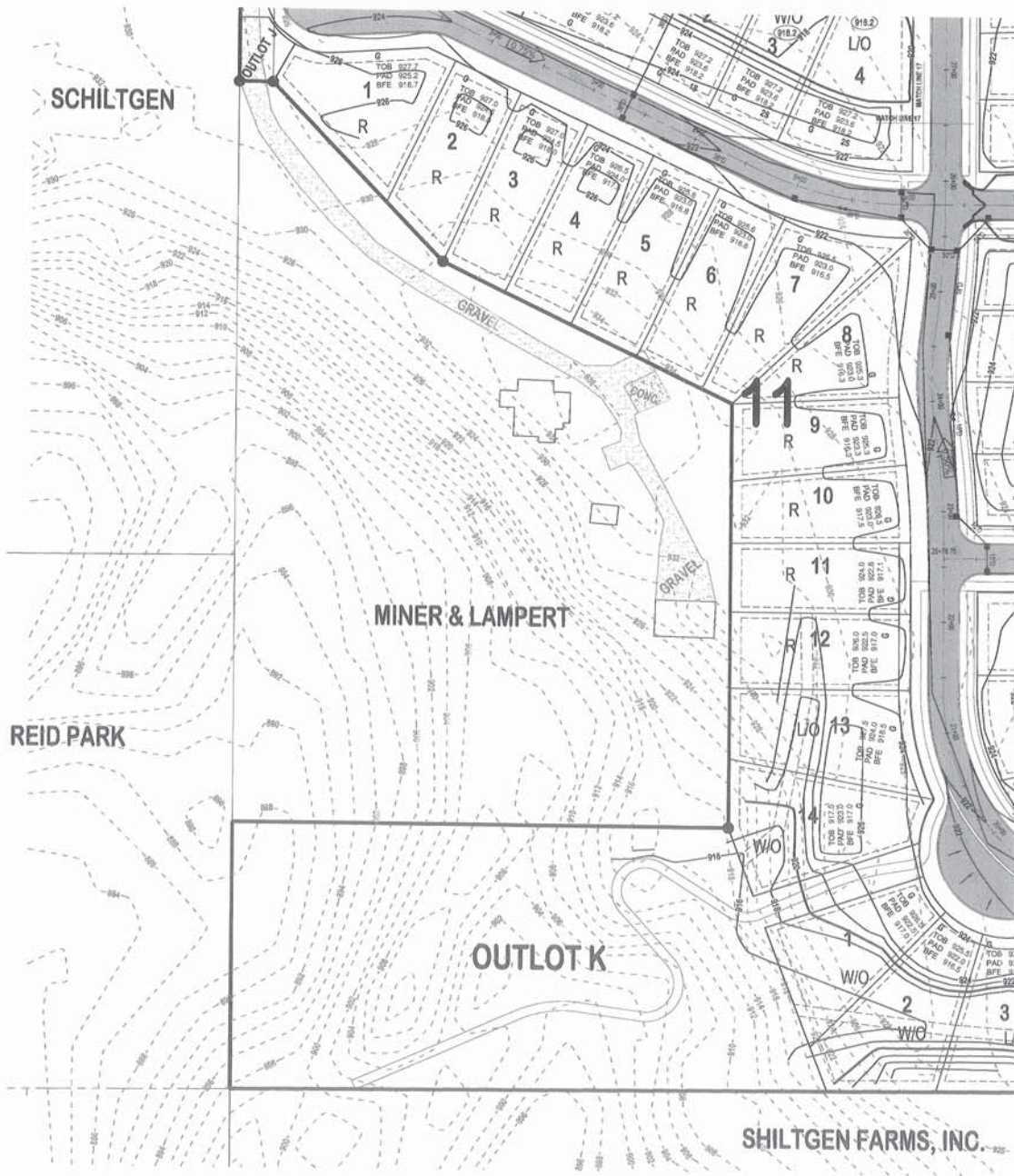
EASTON VILLAGE, LLC
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

EASTON VILLAGE
 PRELIMINARY PLAN
 LAKE ELMO, MINNESOTA

PROJECT TITLE	DATE
EASTON VILLAGE PRELIMINARY PLAN LAKE ELMO, MINNESOTA	13-11-14
DESIGNER	TAE, JSR
CHECKED BY	TAE
SHEET TITLE	GRADING PLAN
SHEET NO.	C21

GRADING PLAN

C21
 SHEET 21 OF 27



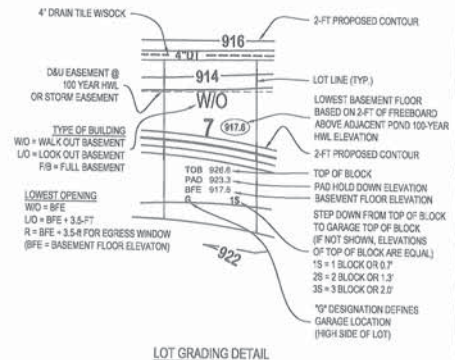
LEGEND

- PROPERTY BOUNDARY
- EXISTING 2-FT CONTOUR INTERVAL
- HIGH OR LOW POINT OF STREET PROFILE LOCATION AND ELEVATION
HP = HIGH POINT, LP = LOW POINT
- PROPOSED 2-FT CONTOUR INTERVAL
- PROPOSED DRAINAGE ARROW
- PROPOSED STREET GRADE PERCENT AND DIRECTION
- PROPOSED STORY SEWER (SIZE INDICATED ON PLANS)

DEVELOPMENT STANDARDS

BUILDING LOWEST OPENING ABOVE 100-YEAR-HW 2 MIL	2 MIL
MINIMUM STREET GRADE	0.8%
MAXIMUM STREET GRADE	2.0%
STREET CROSS SLOPE	2.5%
BASEMENT DEPTH	1/2 BFE TO TOP OF BLOCK

- GRADING NOTES:**
- 1) SPOT ELEVATIONS ARE ALL OUTLET LINE OR FINISHED ELEVATION UNLESS NOTED OTHERWISE.
 - 2) ELEVATIONS AND CONTOURS SHOWN AS FINISHED GRADE ELEVATIONS.
 - 3) REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
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 - 6) CONTRACTOR SHALL SO-COULE SOILS TESTING FOR EACH STRUCTURAL FILL AREA, PAD AND STREET AREA.



ERICKSON CIVIL
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 Phone: (612) 89-3864
 www.ericksoncivil.com

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[Signature]
 TODD A. ERICKSON, PE
 40418
 LICENSE NO.
 06/12/2014
 DATE:

EASTON VILLAGE, LLC
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

EASTON VILLAGE PRELIMINARY PLAT LAKE ELMO, MINNESOTA

NO.	REVISION DESCRIPTION	DATE

JOB NO. 13-114
 DRAWN BY: TAE, JSR
 CHECKED BY: TAE
 SHEET TITLE

GRADING PLAN

SHEET NO.
C22
 SHEET 22 OF 21

EASTON VILLAGE, LLC



LEGEND

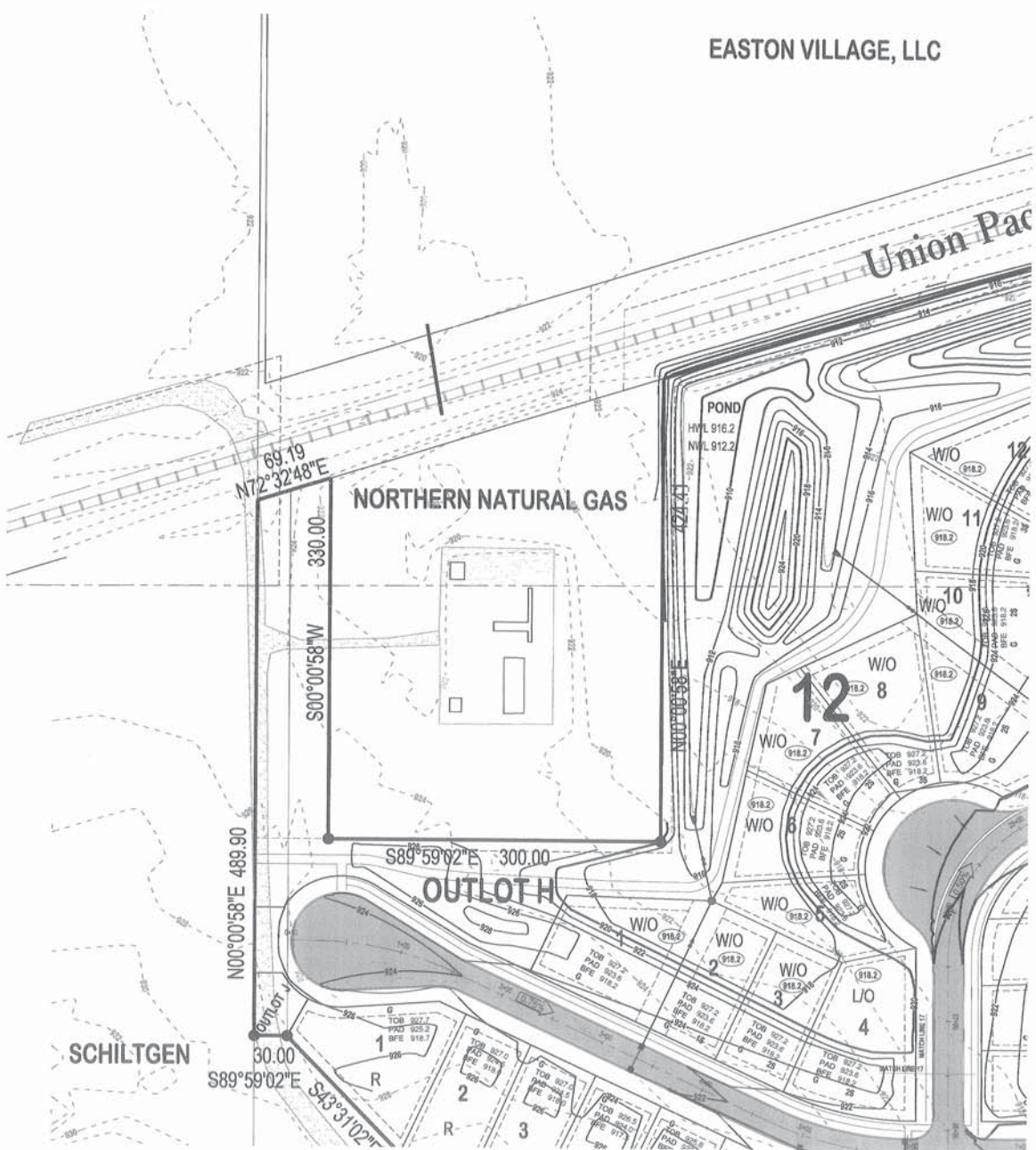
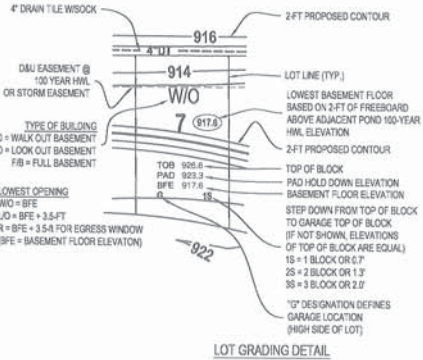
- PROPERTY BOUNDARY
- EXISTING 2-FT CONTOUR INTERVAL
- HIGH OR LOW POINT OF STREET PROFILE LOCATION AND ELEVATION
HP = HIGH POINT, LP = LOW POINT
- PROPOSED 2-FT CONTOUR INTERVAL
- PROPOSED DRAINAGE ARROW
- PROPOSED STREET GRADE PERCENT AND DIRECTION
- PROPOSED STORM SEWER (SIZE INDICATED ON PLANS)

DEVELOPMENT STANDARDS

BUILDING LOWEST OPENING ABOVE 100 YEAR HWL	2' MIN.
MINIMUM STREET GRADE	0.85%
MAXIMUM STREET GRADE	2.0%
STREET CROSS SLOPE	2.0%
BASEMENT DEPTH	8' 0" (8' TO TOP OF BLOCK)

GRADING NOTES:

- 1) SPOT ELEVATIONS ARE ALL GUTTER LINE OR FINISHED ELEVATION UNLESS NOTED OTHERWISE.
- 2) ELEVATIONS/CONTOURS SHOWN AS FINISHED GRADE ELEVATIONS.
- 3) REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
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- 6) CONTRACTOR SHALL SCHEDULE SOILS TESTING FOR EACH STRUCTURAL FILL AREA, PAD AND STREET AREA.



ERICKSON CIVIL
 313 North Main Street, Suite 201
 Stillwater, Minnesota 55082
 Phone (612) 399-3854
 www.ericksoncivil.com

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 OWNER REVIEW
 AGENCY REVIEW
 BID DOCUMENT
 FOR CONSTRUCTION
 AS BUILT DOCUMENT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 TODD A. ERICKSON, PE
 40418
 LICENSE NO. 08/12/2014
 DATE:

PROJECT NO. 08/12/2014
EASTON VILLAGE, LLC
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

PROJECT TITLE:
**EASTON VILLAGE
 PRELIMINARY PLAT
 LAKE ELMO, MINNESOTA**

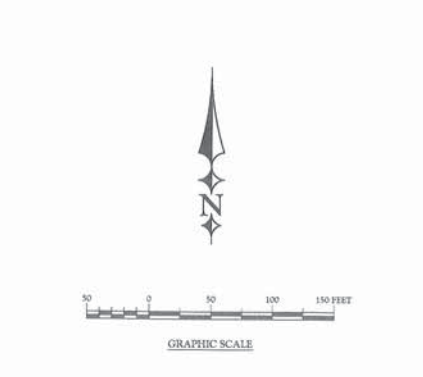
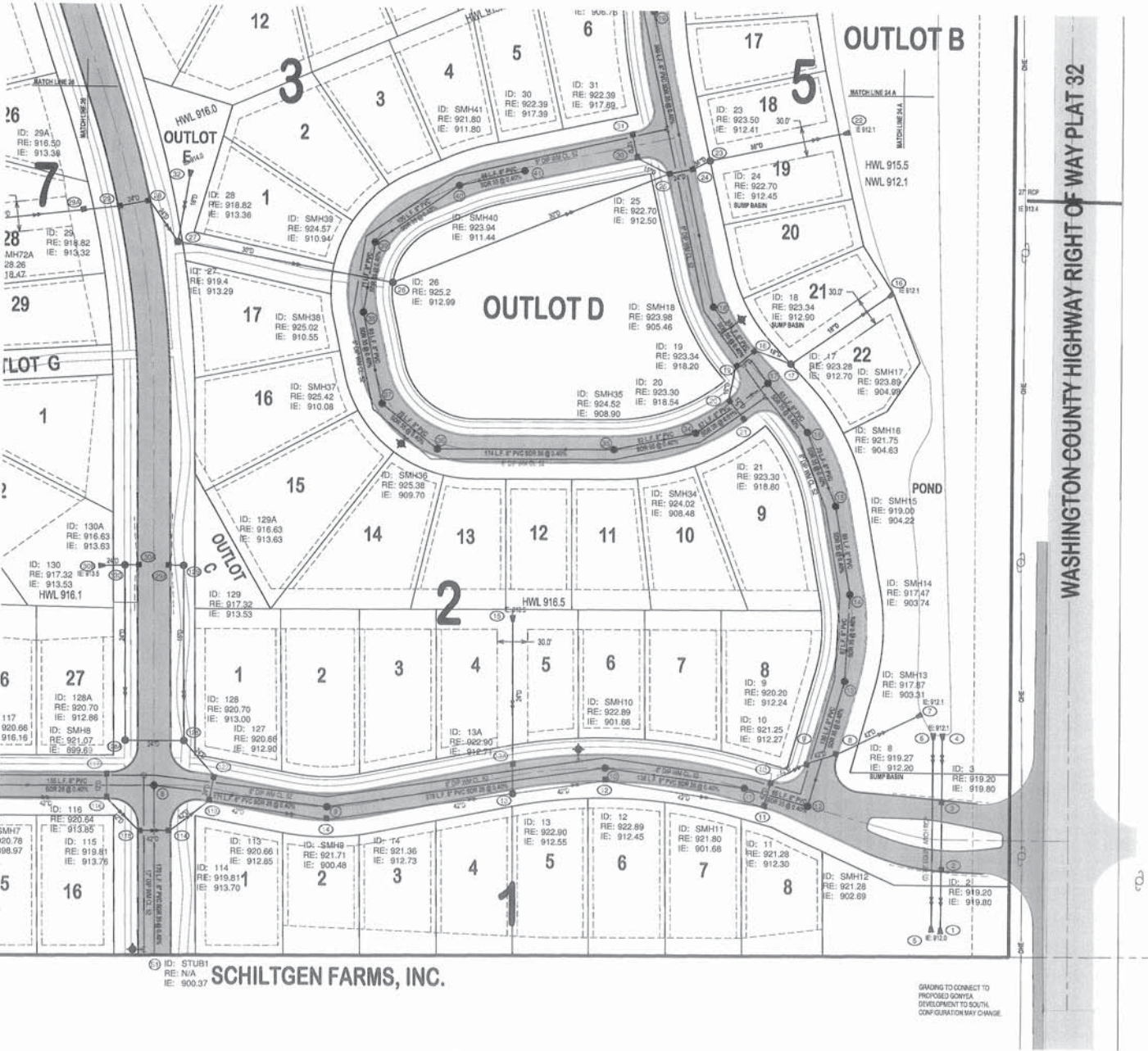
NO.	REVISION	DESCRIPTION	DATE

DATE: 13-11-14
 DRAWN BY: TAE, JSR
 CHECKED BY: TAE

SHEET TITLE:
GRADING PLAN

SHEET NO.:
C23
 SHEET 22 OF 27

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LEGEND

- PROPERTY BOUNDARY
- PROPOSED SANITARY SEWER (LENGTH, TYPE, SLOPE AND ID NOTED)
- PROPOSED STORM SEWER (SIZE AND ID NOTED, 12\"/>

- NOTES**
- SEE DETAIL SHEETS FOR SPECIFIC REQUIREMENTS FOR UTILITY INSTALLATION
 - ALL UTILITIES SHALL BE INSTALLED PER CITY OF LAKE ELMO DETAILS AND SPECIFICATIONS. MINNESOTA CITY ENGINEER ASSOCIATION STANDARD SPECIFICATIONS SHALL ALSO GOVERN.

ERICKSON CIVIL
 333 North Main Street, Suite 201
 Stillwater, Minnesota 55082
 Phone (612) 389-2801
 www.ericksoncivil.com

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OWNER REVIEW	
AGENCY REVIEW	✓
BC DOCUMENT	
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[Signature]
 TEOO A. ERICKSON, PE
 40418
 LICENSE NO. 06/12/2014
 DATE:

EASTON VILLAGE, LLC
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

EASTON VILLAGE PRELIMINARY PLAT LAKE ELMO, MINNESOTA

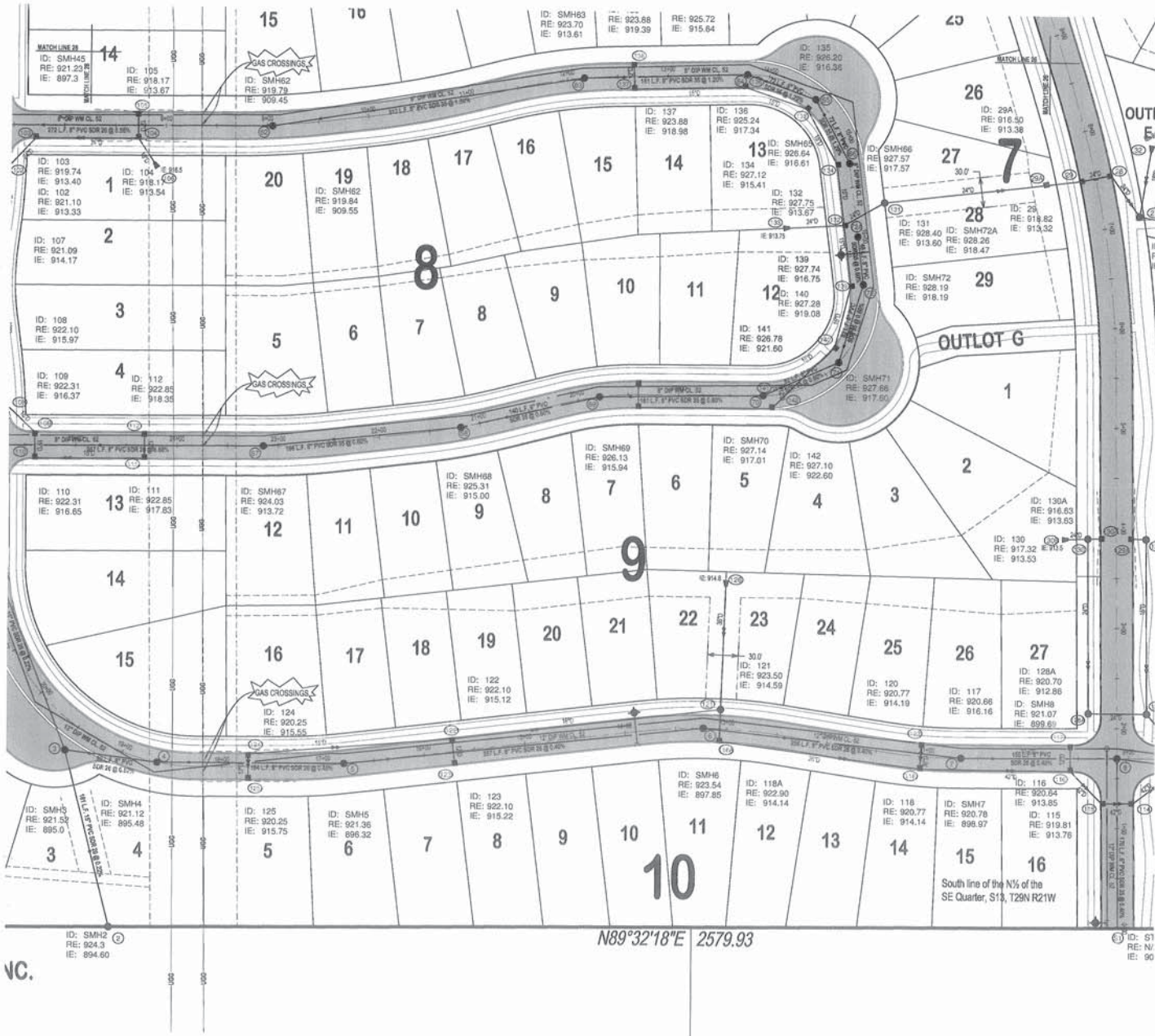
NO.	REVISION DESCRIPTION	DATE

DATE: 13-114
 DRAWN BY: TAE, JSR
 CHECKED BY: TAE

UTILITY PLAN

C24
 SHEET 24 OF 31

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LEGEND

- PROPERTY BOUNDARY
- PROPOSED SANITARY SEWER (LENGTH, TYPE, SLOPE AND ID NOTED)
- PROPOSED STORM SEWER (SIZE AND ID NOTED, 12"-15" CL. V. ALL OTHERS CL. II)
- PROPOSED WATER MAIN (DP CL. 12" UNLESS NOTED, 7.5' BURY DEPTH TO TOP OF PIPE)
- PROPOSED RIGID PERFORATED 4" PVC DRAIN TILE WITH SOCK REQUIRED AT ALL LOW POINT CATCH BASINS (BAPT EITHER SIDE OF BASIN)
- EXISTING OVERHEAD ELECTRICAL LINE AND POLE
- EXISTING UNDERGROUND ELECTRICAL LINE
- EXISTING UNDERGROUND GAS LINE

NOTES

- 1) SEE DETAIL SHEETS FOR SPECIFIC REQUIREMENTS FOR UTILITY INSTALLATION
- 2) ALL UTILITIES SHALL BE INSTALLED PER CITY OF LAKE ELMO DETAILS AND SPECIFICATIONS, MINNESOTA CITY ENGINEER ASSOCIATION STANDARD SPECIFICATIONS SHALL ALSO GOVERN.

ERICKSON CIVIL
 333 North Main Street, Suite 201
 Stillwater, Minnesota 55082
 Phone (612) 399-3961
 www.ericksoncivil.com

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 AGENCY REVIEW
 BID DOCUMENT
 FOR CONSTRUCTION
 AS-BUILT DOCUMENT

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 TODD A. ERICKSON, PE
 404118
 LICENSE NO.
 06/12/2014
 DATE

EASTON VILLAGE, LLC
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

EASTON VILLAGE
 PRELIMINARY PLAT
 LAKE ELMO, MINNESOTA

PROJECT TITLE	
DATE	
REVISION DESCRIPTION	
NO.	

DATE: 13-11-14
 DRAWN BY: TAE, JSR
 CHECKED BY: TAE

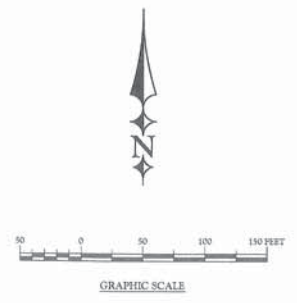
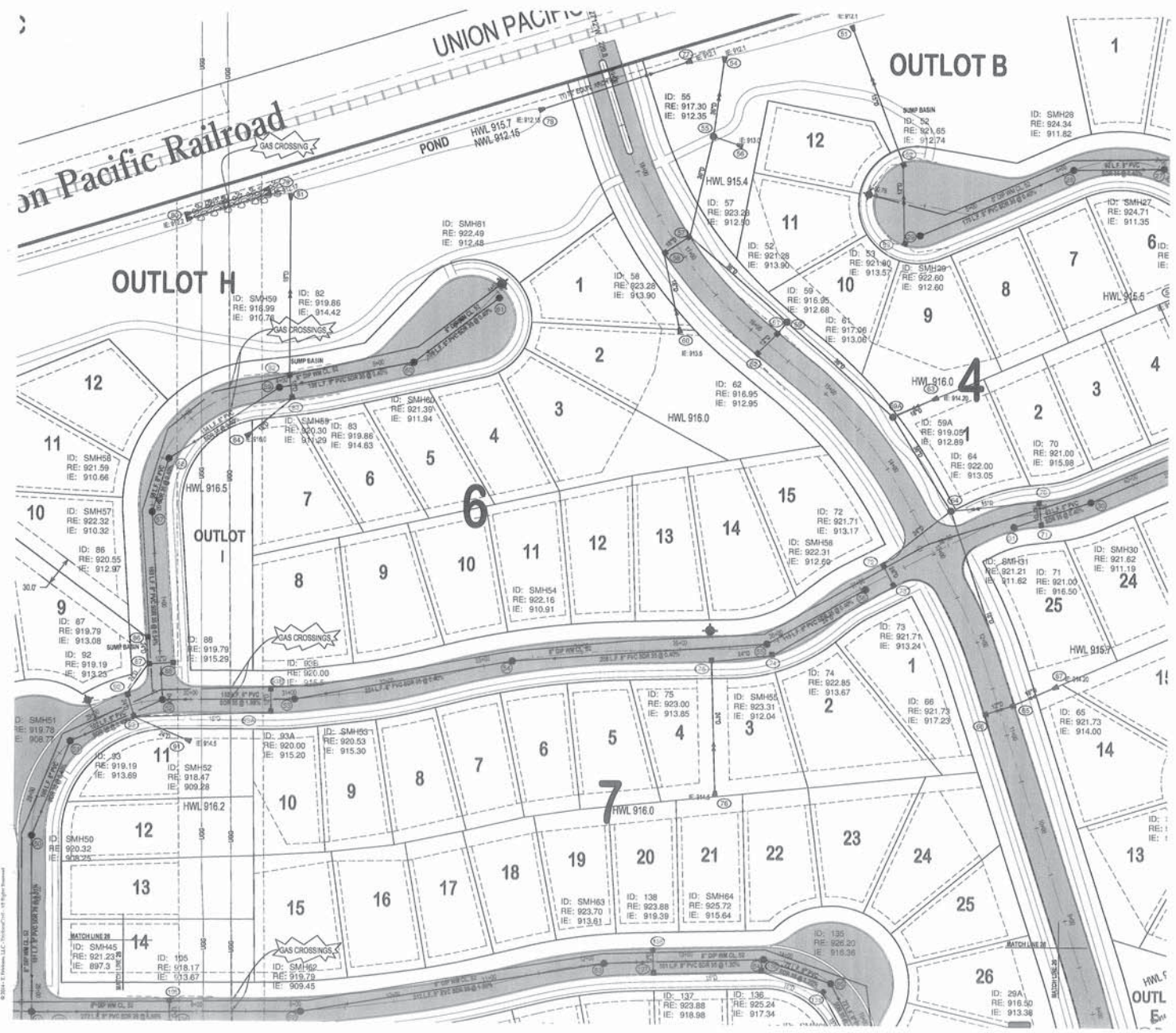
SHEET TITLE

UTILITY PLAN

SHEET NO.
C26

SHEET 26 OF 27

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- LEGEND**
- PROPERTY BOUNDARY
 - ⑩ 12" P.V.C. 50% SLOPE 1.0%
 - ⑨ 18" S.D.
 - PROPOSED WATER MAIN (DIP CL. 12, 6" UNLESS NOTED; 1.8 BURY DEPTH TO TOP OF PIPE)
 - PROPOSED 1/2" PERFORATED 4" P.V.C. DRAIN TILE WITH SOCK REQUIRED AT ALL LOW POINT CATCH BASINS (9'-6" EITHER SIDE OF BASIN)
 - OHE — EXISTING OVERHEAD ELECTRICAL LINE AND POLE
 - UGE — EXISTING UNDERGROUND ELECTRICAL LINE
 - UGG — EXISTING UNDERGROUND GAS LINE

- NOTES**
- 1) SEE DETAIL SHEETS FOR SPECIFIC REQUIREMENTS FOR UTILITY INSTALLATION
 - 2) ALL UTILITIES SHALL BE INSTALLED PER CITY OF LAKE ELMO DETAILS AND SPECIFICATIONS. MINNESOTA CITY ENGINEER ASSOCIATION STANDARD SPECIFICATIONS SHALL ALSO GOVERN.

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PREPARED BY: TAE
 CHECKED BY: TAE, JSR
 DATE: 09/12/2014

EASTON VILLAGE, LLC
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

EASTON VILLAGE PRELIMINARY PLAT LAKE ELMO, MINNESOTA

NO.	REVISION	DESCRIPTION	DATE

PROJECT TITLE: EASTON VILLAGE PRELIMINARY PLAT LAKE ELMO, MINNESOTA

DATE: 09/12/2014

NO. 19-114

DRAWN BY: TAE, JSR

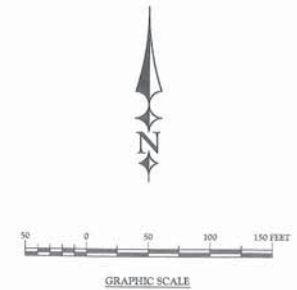
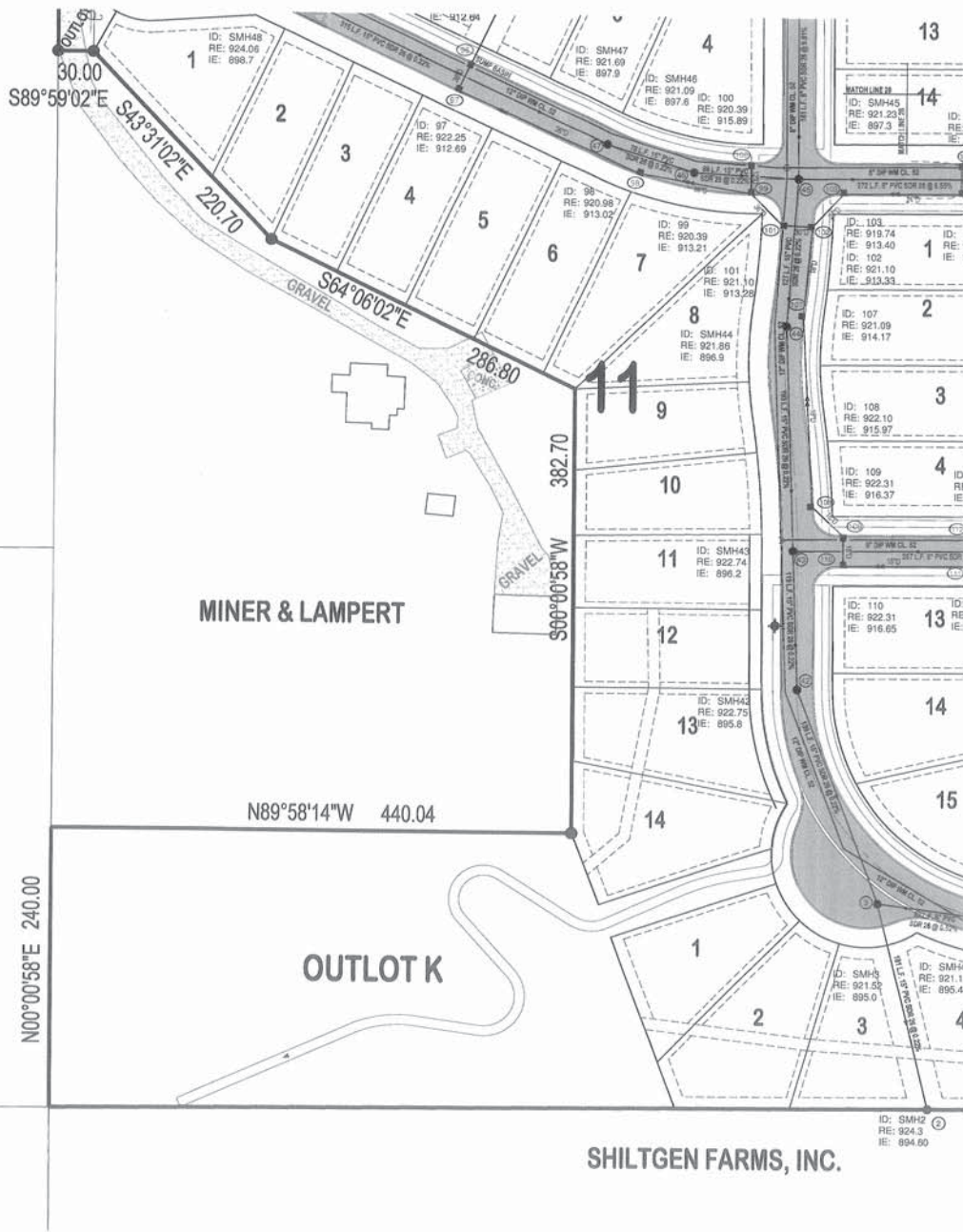
CHECKED BY: TAE

SHEET TITLE: UTILITY PLAN

SHEET NO. **C27**

SHEET 27 OF 31

SCHILTGEN



LEGEND

- PROPERTY BOUNDARY
- PROPOSED SANITARY SEWER (LENGTH, TYPE, SLOPE AND ID NOTED)
- PROPOSED STORM SEWER (SIZE AND ID NOTED, 12\"/>
- PROPOSED WATER MAIN (DIP CL. 52, 8\"/>
- PROPOSED RIGID PRECASTED 12\"/>
- EXISTING OVERHEAD ELECTRICAL LINE AND POLE
- EXISTING UNDERGROUND ELECTRICAL LINE
- EXISTING UNDERGROUND GAS LINE

NOTES

- 1) SEE DETAIL SHEETS FOR SPECIFIC REQUIREMENTS FOR UTILITY INSTALLATION
- 2) ALL UTILITIES SHALL BE INSTALLED PER CITY OF LAKE ELMO DETAILS AND SPECIFICATIONS. MINNESOTA CITY ENGINEER ASSOCIATION STANDARD SPECIFICATIONS SHALL ALSO GOVERN.

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Todd A. Erickson, PE
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 40418
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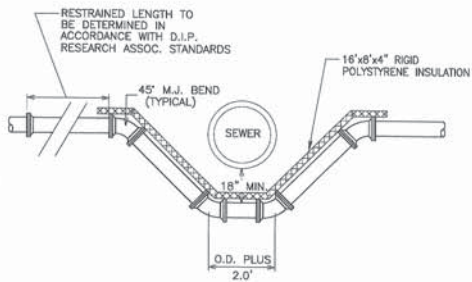
EASTON VILLAGE, LLC
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

EASTON VILLAGE
 PRELIMINARY PLAT
 LAKE ELMO, MINNESOTA

NO.	REVISION DESCRIPTION	DATE

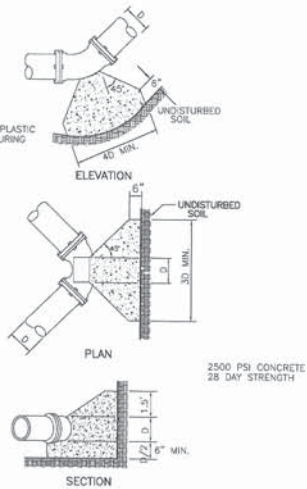
DATE: 13-11-14
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SHEET TITLE: UTILITY PLAN
 SHEET NO.: C28
 SHEET 28 OF 31



NOTE: FITTINGS SHALL BE RESTRAINED WITH THE USE OF APPROVED MECHANICAL JOINT RESTRAINING GLANDS.

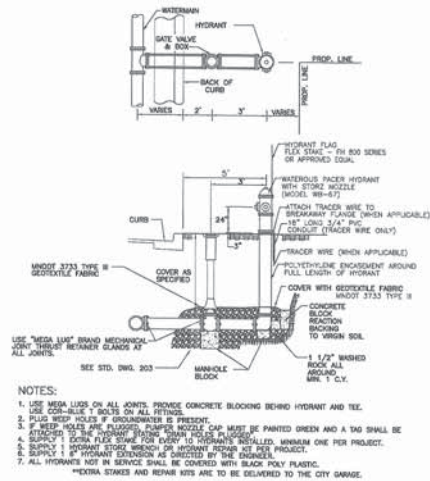
210 WATERMAIN OFFSET
C30 NO SCALE



NOTE: COVER FITTINGS WITH PLASTIC (8 MIL) PRIOR TO POURING CONCRETE

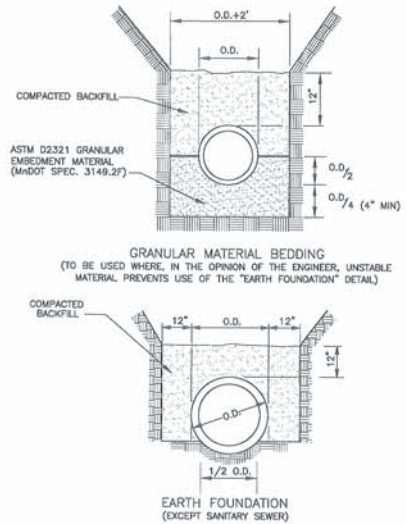
2500 PSI CONCRETE
28 DAY STRENGTH

206 CONCRETE REACTION BACKING
C30 NO SCALE

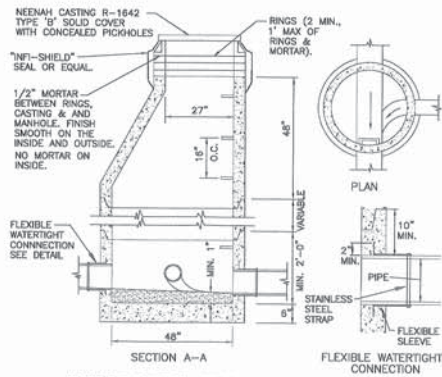


NOTES:
1. USE MEGA LUGS ON ALL JOINTS. PROVIDE CONCRETE BLOCKING BEHIND HYDRANT AND TEE.
2. USE CONCRETE T-BOLTS ON ALL FITTINGS.
3. PLACE MESH BOLTS IF DIMENSIONS IS PRESENT.
4. ATTACH TRACER WIRE TO HYDRANT WITH STAINLESS STEEL WIRE (MIN. 1/3 C.Y.).
5. SUPPLY 1 HYDRANT STICK BRANCH OR HYDRANT REPAIR KIT PER PROJECT.
6. SUPPLY 1/2" HYDRANT EXTENSION AS DIRECTED BY THE ENGINEER.
7. ALL HYDRANTS NOT IN SERVICE SHALL BE COVERED WITH BLACK POLY PLASTIC.
*EXTRA STICKS AND REPAIR KITS ARE TO BE DELIVERED TO THE CITY GARAGE.

201 TYPICAL HYDRANT LAYOUT
C30 NO SCALE

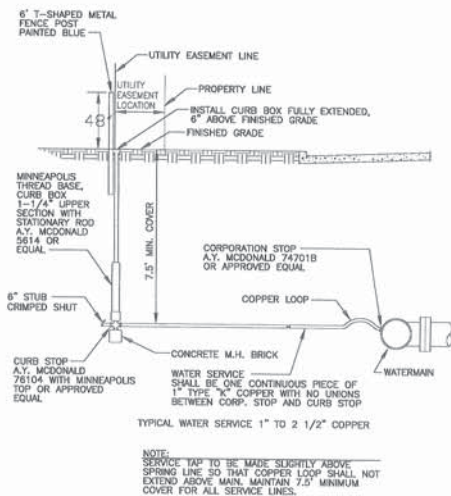


101 PIPE FOUNDATION DETAILS
C30 NO SCALE



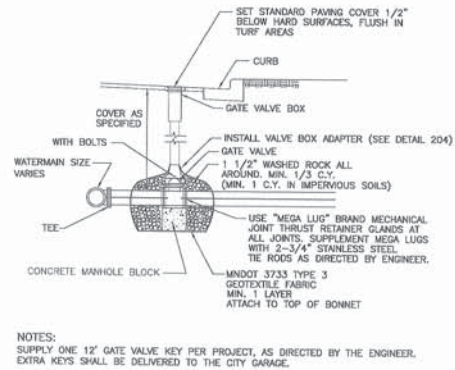
NO WOOD SHALL BE USED FOR ADJUSTING CASTING; CEMENT MORTAR ONLY.
CAST IRON MANHOLE FRAME & COVER AS PER SPECIFICATIONS.
MANHOLE STEPS SHALL BE CAST IRON, ALUMINUM OR STEEL REINFORCED PLASTIC, PER ASTM D478. STEP LOCATION SHALL BE AS NOTED IN THE SPECIFICATIONS.
PRECAST REINFORCED CONCRETE MANHOLE SECTIONS PER ASTM C478, FINISHED WITH O-RING GASKETS AND LUBRICANT EXCEPT AS OTHERWISE SPECIFIED.
A 12" OR 16" BARREL SECTION SHALL BE INSTALLED UNDER THE JOINT WHENEVER POSSIBLE.
PIPE CONNECTIONS TO MANHOLE SHALL BE MADE WATER TIGHT BY CAST SURFACE RUBBER BOOT AND CEMENT MORTAR INSIDE SURFACE SHALL BE FINISHED SMOOTH.

301 SANITARY SEWER MANHOLE, TYPE 301
C30 NO SCALE



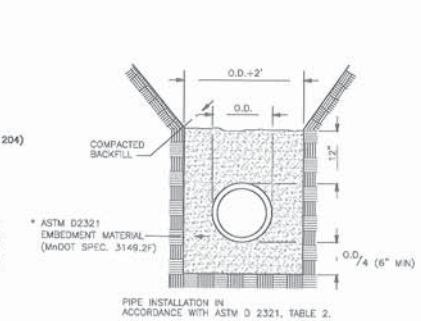
TYPICAL WATER SERVICE 1" TO 2 1/2" COPPER
NOTE:
SERVICE TAP TO BE MADE SLIGHTLY ABOVE SPRING LINE SO THAT COPPER LOOP SHALL NOT EXTEND ABOVE MANH. MAINTAIN 7.5' MINIMUM COVER FOR ALL SERVICE LINES.

207A WATER SERVICE ON DIP MAIN
C30 NO SCALE



NOTES:
SUPPLY ONE 12" GATE VALVE KEY PER PROJECT, AS DIRECTED BY THE ENGINEER. EXTRA KEYS SHALL BE DELIVERED TO THE CITY GARAGE.

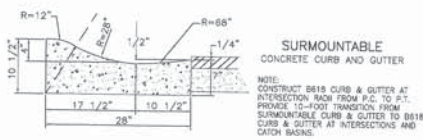
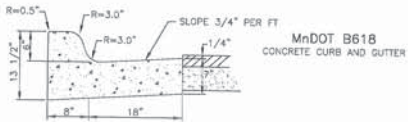
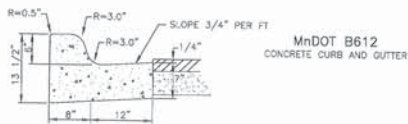
203 GATE VALVE INSTALLATION
C30 NO SCALE



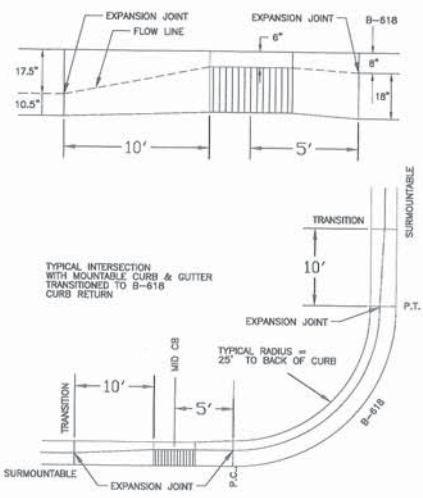
* EMBEYMENT MATERIAL SHALL CONFORM TO ASTM D2321, TABLE 1.

103 GRANULAR MATERIAL BEDDING METHOD
C30 NO SCALE

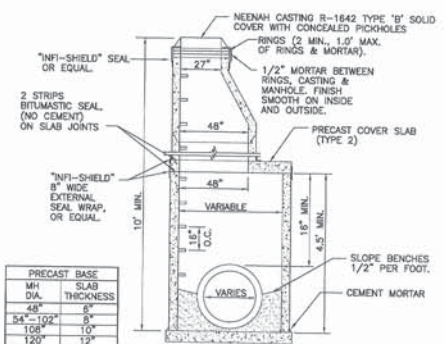
CITY OF LAKE ELMO STANDARD PLATE SHOWN ABOVE.
LAKE ELMO STANDARDS PLATES SHALL BE UTILIZED FOR ALL INSTALLATION



501 CONCRETE CURB & GUTTER
C31 NO SCALE



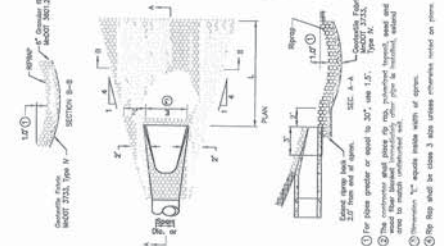
506 CATCH BASIN PLACEMENT AND CURB & GUTTER
C31 NO SCALE



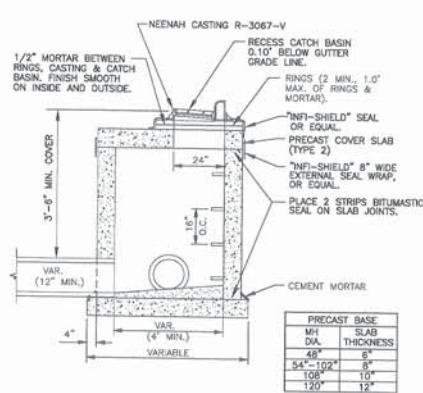
NO WOOD SHALL BE USED FOR ADJUSTING CASTING, CEMENT MORTAR ONLY. CAST IRON MANHOLE FRAME & COVER AS PER SPECIFICATIONS. MANHOLE STEPS SHALL BE CAST IRON, ALUMINUM OR STEEL REINFORCED PLASTIC PER ASTM C478. LOCATION SHALL BE AS NOTED IN THE SPECIFICATIONS. PRECAST REINFORCED CONCRETE MANHOLE SECTIONS & BASE SLAB PER ASTM C478. FURNISH PRECAST MANHOLE SECTIONS WITH O-RING GASKETS & LUBRICANT EXCEPT AS OTHERWISE SPECIFIED. A 1" OR 1 1/2" BARREL SECTION SHALL BE INSTALLED UNDER THE CONE WHENEVER POSSIBLE. FILL OPENING BETWEEN PIPE & MH WALL WITH CEMENT MORTAR. INSIDE SURFACE SHALL BE FINISHED SMOOTH.

408 STORM SEWER MANHOLE, TYPE 408
C31 NO SCALE

ITEM	DESCRIPTION	QTY	UNIT
1	18" Dia. Precast Concrete Manhole Section	1	EA
2	18" Dia. Precast Concrete Base Slab	1	EA
3	18" Dia. Precast Concrete Manhole Section	1	EA
4	18" Dia. Precast Concrete Base Slab	1	EA
5	18" Dia. Precast Concrete Manhole Section	1	EA
6	18" Dia. Precast Concrete Base Slab	1	EA
7	18" Dia. Precast Concrete Manhole Section	1	EA
8	18" Dia. Precast Concrete Base Slab	1	EA
9	18" Dia. Precast Concrete Manhole Section	1	EA
10	18" Dia. Precast Concrete Base Slab	1	EA
11	18" Dia. Precast Concrete Manhole Section	1	EA
12	18" Dia. Precast Concrete Base Slab	1	EA
13	18" Dia. Precast Concrete Manhole Section	1	EA
14	18" Dia. Precast Concrete Base Slab	1	EA
15	18" Dia. Precast Concrete Manhole Section	1	EA
16	18" Dia. Precast Concrete Base Slab	1	EA
17	18" Dia. Precast Concrete Manhole Section	1	EA
18	18" Dia. Precast Concrete Base Slab	1	EA
19	18" Dia. Precast Concrete Manhole Section	1	EA
20	18" Dia. Precast Concrete Base Slab	1	EA

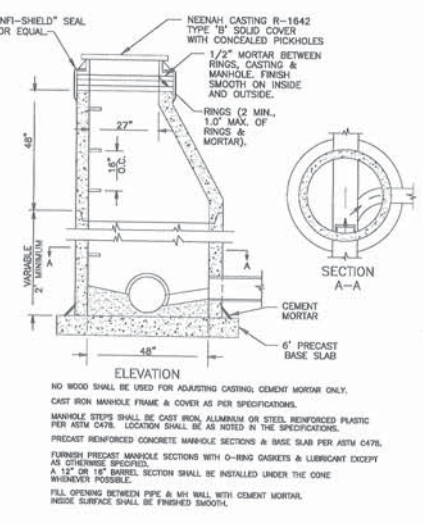


411 RIPRAP AT RCP OUTLETS
C31 NO SCALE

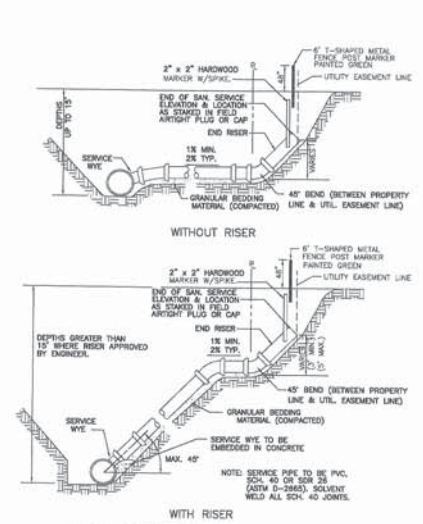


NO WOOD SHALL BE USED FOR ADJUSTING CASTING, CEMENT MORTAR ONLY. CAST IRON FRAME & GRATE CASTINGS PER SPECIFICATIONS. MANHOLE STEPS SHALL BE CAST IRON, ALUMINUM OR STEEL REINFORCED PLASTIC PER ASTM C478. LOCATION SHALL BE AS NOTED IN THE SPECIFICATIONS. PRECAST REINFORCED CONCRETE BASE SLAB & COVER SLAB PER ASTM C478. FURNISH PRECAST CONCRETE MANHOLE SECTIONS PER ASTM C478, OR 8" CONCRETE MANHOLE BLOCK WITH 1/2" MORTARED EXTERIOR. FURNISH PRECAST CONCRETE MANHOLE SECTIONS WITH O-RING GASKETS & LUBRICANT EXCEPT AS OTHERWISE SPECIFIED. FILL OPENING BETWEEN PIPE & MANHOLE WALL WITH CEMENT MORTAR. INSIDE SURFACE SHALL BE FINISHED SMOOTH.

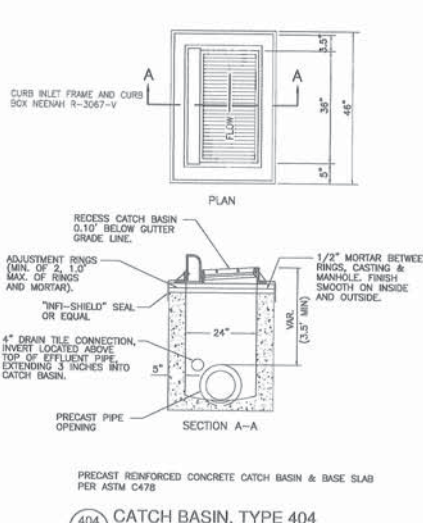
406 CATCH BASIN/MANHOLE, TYPE 406
C31 NO SCALE



407 STORM SEWER MANHOLE, TYPE 407
C31 NO SCALE



313 SANITARY SEWER SERVICE
C31 NO SCALE



404 CATCH BASIN, TYPE 404
C31 NO SCALE

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Phone (612) 384-2861
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TOOJA A. ERICKSON, P.E.
40418
LICENSE NO.
04/07/2014
DATE:

EASTON VILLAGE, LLC
2140 COUNTY ROAD 42 WEST
BURNSVILLE, MN 55337

PROJECT TITLE:
EASTON VILLAGE PRELIMINARY PLAT LAKE ELMO, MINNESOTA

DATE:
13-114

DRAWN BY:
TAE_JSR

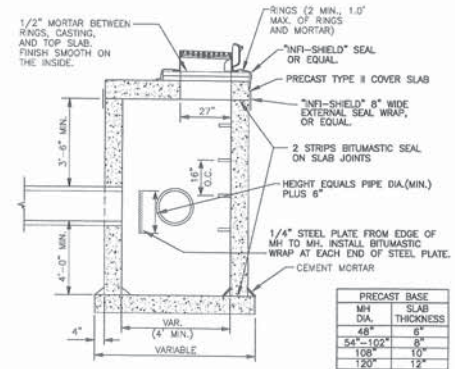
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DETAILS

SHEET NO.
C31

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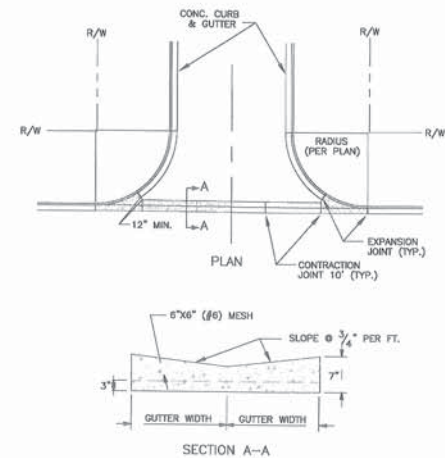
CITY OF LAKE ELMO STANDARD PLATE SHOWN ABOVE. LAKE ELMO STANDARDS PLATES SHALL BE UTILIZED FOR ALL INSTALLATION



PRECAST BASE	
MH DIA.	SLAB THICKNESS
48"	6"
54"-102"	6"
108"	10"
120"	12"

- NOTES: NO WOOD SHALL BE USED FOR ADJUSTING CASTING; CEMENT MORTAR ONLY.
- CAST IRON FRAME & GRATE CASTINGS PER SPECIFICATIONS.
- MANHOLE STEPS SHALL BE CAST IRON, ALUMINUM, OR STEEL REINFORCED PLASTIC PER ASTM C478. LOCATION SHALL BE AS NOTED IN THE SPECIFICATIONS.
- PRECAST REINFORCED CONCRETE BASE SLAB & COVER SLAB PER ASTM C478.
- PRECAST REINFORCED CONCRETE MANHOLE SECTIONS PER ASTM C478, FURNISHED WITH O-RING GASKETS & LUBRICANT, OR 8" CONCRETE MANHOLE BLOCK MANHOLE SECTION WITH 1/2" WEDGED EXTERIOR.
- FILL OPENING BETWEEN PIPE AND MANHOLE WALL WITH CEMENT MORTAR. INSIDE SURFACE SHALL BE FINISHED SMOOTH.

405 CATCH BASIN/MANHOLE WITH SUMP, TYPE 405
C33 NO SCALE



405 CONCRETE VALLEY GUTTER
C33 NO SCALE

CITY OF LAKE ELMO STANDARD PLATE SHOWN ABOVE.
LAKE ELMO STANDARDS PLATES SHALL BE UTILIZED
FOR ALL INSTALLATION

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Todd A. Erickson
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404 TB
LICENSE NO: 04/07/2014
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EASTON VILLAGE
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LAKE ELMO, MINNESOTA

NO.	REVISION DESCRIPTION

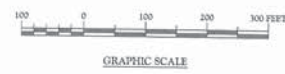
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CHECKED BY: TAE

SHEET TITLE
DETAILS

SHEET NO.
C33
SHEET 33 OF 37



MANNING AVENUE NORTH (CSAH 15)
 AIRPORTS COMMISSION
 WASHINGTON COUNTY HIGHWAY RIGHT OF WAY PLAT 32
 2188.51
 N070307E
 Schiltgen Farms, Inc.



LEGEND

- PROPERTY BOUNDARY
- DENOTES PROPOSED DECIDUOUS TREE (OVERSTORY)
381 TOTAL
- ◉ DENOTES PROPOSED ORNAMENTAL TREE
91 TOTAL
- DENOTES PROPOSED CONIFEROUS TREE
281 TOTAL
- DENOTES PROPOSED #5 SHRUB
(5 TO 6-FT MATURITY SIZE) (AT ENTRANCE)

REQUIREMENTS

- (6) TREES PER ACRE x SITE AREA (98.5) = 591 TREES REQUIRED (591 CALIPER INCHES)
- (2) TREES PER 100 LINEAL FEET OF STREET (14,709 LF) = 294 TREES REQUIRED (441 CALIPER INCHES) (1.5" CALIPER MIN.)
- TOTAL TREES REQUIRED: = 885 TREES (1032 CALIPER INCHES)
- TOTAL TREES PROVIDED: = 753 TREES (1089 CALIPER INCHES)

OVERSTORY TREES	Latin Name	Size	Type	Notes
Boulevard Linden	Tilia Americana 'Boulevard'	2-1/2" Dia.	B&B	
Red Maple	Acer rubrum	2-1/2" Dia.	B&B	
Weeping Willow	Salix babylonica	2-1/2" Dia.	B&B	Infiltration Pond Only
Swamp White Oak	Quercus bicolor	2-1/2" Dia.	B&B	
Autumn Blaze Maple	Acer freemanii 'Jeffers Red'	2-1/2" Dia.	B&B	
Sugar Maple	Acer saccharum	2-1/2" Dia.	B&B	
Trembling Aspen	Populus tremuloides	2-1/2" Dia.	B&B	
Bur Oak	Quercus macrocarpa	2-1/2" Dia.	B&B	Berm/Open Space Only
Canada Red Choke Cherry	Prunus virginiana 'Canada Red'	2-1/2" Dia.	B&B	
Skyline Honey Locust	Gleditsia triacanthos 'Skyline'	2-1/2" Dia.	B&B	Berm/Open Space Only
Redmond Linden	Tilia americana 'Redmond'	2-1/2" Dia.	B&B	
Northern Pin Oak	Quercus ellipsoidalis	2-1/2" Dia.	B&B	
Common Hackberry	Celtis occidentalis	2-1/2" Dia.	B&B	

ORNAMENTAL	Latin Name	Size	Type	Notes
River Birch Clump	Betula nigra	10-ft Clump	B&B	
Prairie Fire Crab	Malus 'Prairie Fire'	2-1/2" Dia.	B&B	
Spring Snow Crab	Malus 'Spring Snow'	2-1/2" Dia.	B&B	
Red Baron Crab	Malus 'Red Baron'	2-1/2" Dia.	B&B	
Adams Flowering Crab	Malus 'Adams'	2-1/2" Dia.	B&B	Berm/Open Space Only

CONIFEROUS	Latin Name	Size	Type	Notes
Austrian Pine	Pinus nigra	8-ft	B&B	
Norway Spruce	Picea abies	8-ft	B&B	
Black Hills Spruce	Picea glauca 'densata'	8-ft	B&B	
White Pine	Pinus strobus	8-ft	B&B	
Red Pine	Pinus resinosa	8-ft	B&B	

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 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

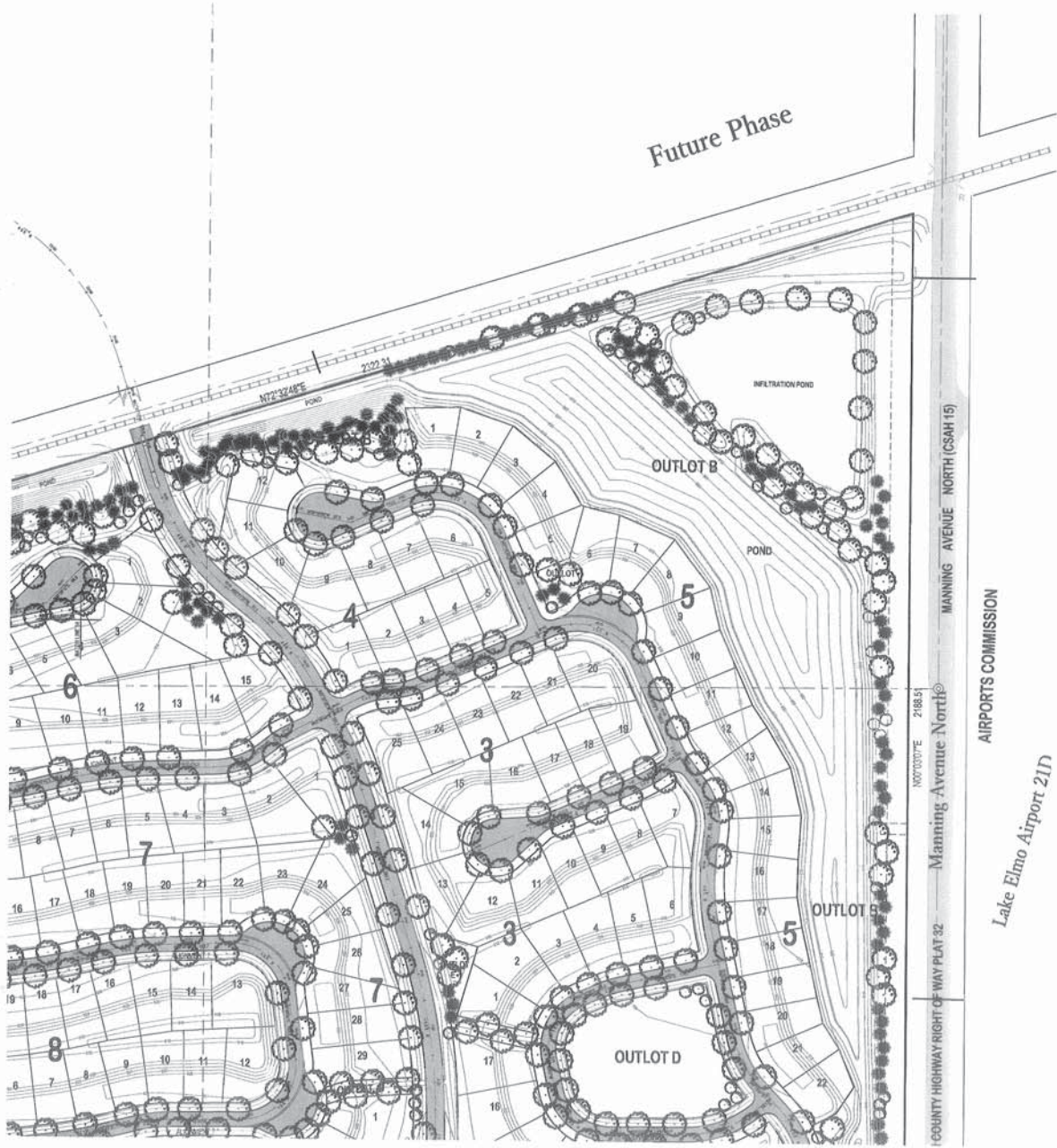
EASTON VILLAGE PRELIMINARY PLAT LAKE ELMO, MINNESOTA

NO.	REVISION DESCRIPTION	DATE

JOB NO. 13-114
 CHECKED: TAE, JSR
 DRAWING: TAE

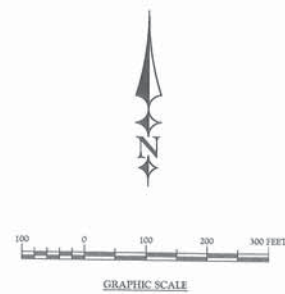
SHEET TITLE
LANDSCAPE PLAN

SHEET NO.
L1
 SHEET 39 OF 37



LEGEND

- PROPERTY BOUNDARY
- DENOTES PROPOSED DECIDUOUS TREE (OVERSTORY)
381 TOTAL
- DENOTES PROPOSED ORNAMENTAL TREE
91 TOTAL
- DENOTES PROPOSED CONIFEROUS TREE
281 TOTAL
- DENOTES PROPOSED #5 SHRUB
(5 TO 6-FT MATURITY SIZE) (AT ENTRANCE)



ERICKSON CIVIL
 233 North Main Street, Suite 201
 Stillwater, Minnesota 55082
 Phone: (612) 296-3804
 www.ericksoncivil.com

DRAWING PHASE:
 OWNER REVIEW
 AGENCY REVIEW
 BID DOCUMENT
 FOR CONSTRUCTION
 AS-BUILT DOCUMENT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

 TODD A. ERICKSON, PE
 40418
 LICENSE NO.
 06/12/2014
 DATE:

EASTON VILLAGE, LLC
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

EASTON VILLAGE
 PRELIMINARY PLAN
 LAKE ELMO, MINNESOTA

NO.	REVISION DESCRIPTION	DATE

DATE: 13-11-14
 DRAWN BY: TAE, CSR
 CHECKED BY: TAE

SHEET TITLE
 LANDSCAPE PLAN

SHEET NO.
L2
 SHEET 24 OF 32

