



MAYOR AND COUNCIL COMMUNICATION

DATE: 11/4/15
CONSENT
RESOLUTION #
ITEM: #13

AGENDA ITEM: Hammes Plat Extension
SUBMITTED BY: Clark Schroeder, Interim City Administrator
THROUGH: Clark Schroeder, Interim City Administrator
REVIEWED BY: Clark Schroeder, Interim City Administrator

SUGGESTED ORDER OF BUSINESS:

- Introduction of Item Interim City Administrator
- Report/Presentation..... Interim City Administrator
- Questions from Council to Staff Mayor Facilitates
- Public Input, if Appropriate Mayor Facilitates
- Call for Motion Mayor & City Council
- Discussion..... Mayor & City Council
- Action on Motion..... Mayor Facilitates

FINANCIAL IMPACT: Delayed/Lost revenue related to 163 units; General fund impact of approximately \$100k per year, Utility fund access and connection fees of \$1.2M, Utility fund usage revenue of \$150k per year and parkland dedication fees of \$107k. Risk related to recovery of utility fund special assessments of \$580k.

BACKGROUND AND STAFF REPORT:

On October 7, 2014, the City Council approved the Hammes Estates final plat. At that same meeting, a draft developer agreement was proposed and approved as well. However, the developer agreement was never executed due to various issues.

The issues which previously prevented the execution of the developer agreement and the plat from being recorded have since been mitigated and they would now like to move forward. However, since plat approval is good for one year, an extension is being sought from the City Council to allow them to do so.

Opinion from Mr. Snyder.

Setting aside the financial inquiries, my recommendation would be to grant an extension here-as requested to October. A decision on this subject would be evaluated by the arbitrary and capricious standard-basically an inquiry into the reasonableness of the council's decisionmaking.

Since there have been no intervening area-wide zoning changes, no big land-use changes, since the plat is not proposed to be materially modified and since the extension is, practically speaking, that of a couple of months, I think an extension would customarily be granted and that a reviewer would conclude that it should be granted. I do not recommend an extension longer than that at this time-any subsequent extension should be sought from and considered by Council at the end of any extension given into next year.

Turning to financial inquiries then, I would defer to Clark and Cathy. As for the specific question, No, the petition and waiver agreement does not require the city to allow plats or plat extensions.

The financial aspects of this should, however, be a central area of the council's understanding of the implications of an approval or denial of the extension request. Needless to say, if the plat is allowed to expire and no extension is granted then receipt of infrastructure funding from this development and any that might rely on it for their own utilities will certainly be delayed, likely indefinitely and likely for a long time.

S.W.O.T Analysis:

Strengths:	Recovery of infrastructure investment via access and connection fees, ability to collect of special assessments assessed as part of the section 34 project and generation of on-going utility usage revenue to strengthen the utility fund balances.
Weaknesses:	None identified
Opportunities:	Ability to move forward with a previously approved plat.
Threats:	Potential for prior developer to place lien on property preventing build out activity.

RECOMMENDATIONS:

“Motion to extend the final plat approval and development contract for two years through Oct 7th 2016 with the condition that all special assessments be paid at plat, that the developer's agreement be signed within 60 days of November 4th 2015, that the agreement and resolution be reassigned to Hammes Estates from Hammes West, LLC.”

ATTACHMENTS:

1. Request from Eleanor Hammes for an extension
2. Developer Agreement
3. City council packet 10-7-14

(reserved for recording information)

DEVELOPMENT CONTRACT

(Public sewer and water)

Hammes Estates 1st Addition

AGREEMENT dated _____, 2015, by and between the **CITY OF LAKE**

ELMO a Minnesota municipal corporation ("City"), and The Ryland Group, Inc. a Maryland Corporation (the "Developer").

1. REQUEST FOR PLAT APPROVAL. The Developer has asked the City to approve the plat for Hammes Estates 1st Addition (referred to in this this Contract as the "plat"). The land is situated in the County of Washington, State of Minnesota, and is legally described as:

That part of the South Half of the Northeast Quarter of Section 34, Township 29 North, Range 21 West, Washington County, Minnesota, EXCEPT the East 60.00 feet of the North 967 feet of said South Half of the Northeast Quarter thereof. AND EXCEPT Parcel 3 of Washington County Highway Right of Way Plat 49-19B, recorded September 18, 1985 as Document Number 492530.

2. CONDITIONS OF PLAT APPROVAL. The City hereby approves the plat on condition that the Developer enter into this Contract, furnish the security required by it, and record the plat with the County Recorder or Registrar of Titles within (180) days after the City Council approves the final plat.

3. RIGHT TO PROCEED. Unless separate written approval has been given by the City, within the plat or land to be platted, the Developer may not grade or otherwise disturb the earth, remove trees, construct sewer lines, water lines, streets, utilities, public or private improvements, or any buildings until all the following conditions have been satisfied: 1) this agreement has been fully executed by both parties and filed with the City Clerk, 2) the necessary security has been received by the City, 3) the plat has been recorded with the Washington County Recorder's Office, and 4) the City's Community Development Director has issued a letter that all conditions have been satisfied, a preconstruction conference has been held, and that the Developer may proceed.

4. HOA DOCUMENTS. The required HOA documents shall be recorded with the Washington County Recorder's Office within thirty (30) days of the plat being recorded with the County.

5. PHASED DEVELOPMENT. This plat is a phase of a multi-phased preliminary plat, the City may refuse to approve final plats of subsequent phases if the Developer has breached this Contract and the breach has not been remedied. Development of subsequent phases may not proceed until Development Contracts for such phases are approved by the City. Park charges and area charges for sewer and water referred to in this Contract are not being imposed on outlots, if any, in the plat that are designated in an approved preliminary plat for future subdivision into lots and blocks. Such charges will be calculated and imposed when the outlots are final platted into lots and blocks.

6. PRELIMINARY PLAT STATUS. The plat is a phase of a multi-phased preliminary plat, the preliminary plat approval for all phases not final platted shall lapse and be void unless final platted into lots and blocks, not outlots, within five (5) years after preliminary plat approval.

7. CHANGES IN OFFICIAL CONTROLS. For two (2) years from the date of this Contract, no amendments to the City's Comprehensive Plan or official controls shall apply to or affect the residential use, development density, lot size, lot layout or dedications of the approved final plat unless required by state or federal law or agreed to in writing by the City and the Developer. Thereafter, notwithstanding anything in this Contract to the contrary, to the full extent permitted by state law, the City may require compliance with any amendments to the City's Comprehensive Plan, official controls, platting or dedication

requirements enacted after the date of this Contract.

8. DEVELOPMENT PLANS. The plat shall be developed in accordance with the following plans and at the Developer's sole expense. The plans shall not be attached to this Contract. If the plans vary from the written terms of this Contract, the written terms shall control. The plans are:

Plan A – Final Plat

Plan B – Final Grading, Drainage, and Erosion Control Plans

Plan C – Final Sanitary Sewer, Water Main, Storm Sewer, and Street Plans

Plan D – Final Landscape Plan

9. IMPROVEMENTS. The Developer shall install and pay for the following:

- A. Streets
- B. Sanitary Sewer
- C. Watermain
- D. Surface Water Facilities (pipe, ponds, rain gardens, etc.)
- E. Grading and Erosion Control
- F. Sidewalks/Trails
- G. Street Lighting
- H. Underground Utilities
- I. Street Signs and Traffic Control Signs
- J. Landscaping and Street Trees
- K. Tree Preservation and Reforestation
- L. Wetland Mitigation and Buffers
- M. Monuments Required by Minnesota Statutes

The improvements shall be installed in accordance with the City subdivision ordinance and the City's Engineering Design and Construction Standards Manual and pursuant to the direction of the City Engineer. The Developer shall submit plans and specifications which have been prepared by a competent registered professional engineer to the City for approval by the City Engineer. The Developer shall instruct its engineer to provide adequate field inspection personnel to assure an acceptable level of quality control to the extent that the Developer's engineer will be able to certify that the construction work meets the approved City standards as a condition of City acceptance. In addition, the City may, at the City's discretion and at the Developer's expense, have one or more City inspectors and a soil engineer inspect the work on

a full or part-time basis. The Developer's engineer shall provide for on-site project management. The Developer's engineer is responsible for design changes and contract administration between the Developer and the Developer's contractor. The Developer or his engineer shall schedule a pre-construction meeting at a mutually agreeable time at the City Hall with all parties concerned, including the City staff, to review the program for the construction work.

All labor and work shall be done and performed in the best and most workmanlike manner and in strict conformance with the approved plans and specifications. No deviations from the approved plans and specifications will be permitted unless approved in writing by the City Engineer. The Developer agrees to furnish to the City a list of contractors being considered for retention by the Developer for the performance of the work required by the Contract. The Developer shall not do any work or furnish any materials not covered by the plans and specifications and special conditions of this Contract, for which reimbursement is expected from the City, unless such work is first ordered in writing by the City Engineer as provided in the specifications.

10. CITY ENGINEERING ADMINISTRATION AND CONSTRUCTION

OBSERVATION. Prior to the commencement of any construction activity authorized under this agreement, the Developer shall submit an escrow for City Engineering Administration and Construction Observation in an amount provided under paragraph 36. Summary of Cash Requirements. Thereafter, the Developer shall reimburse the City each month, within 30 days of receiving an invoice, for all engineering administration and construction observation performed during the construction of the plat at normal City rates for such Services. If the Developer fails to pay the invoiced amount within such 30-day period, and such failure continues for an additional five (5) business days after written notice from the City of such failure, the City may draw upon the escrow and stop the work on site until said escrow has been replenished in its full amount. City engineering administration will include monitoring of construction progress and construction observation, consultation with Developer and his engineer on status or problems regarding the project, coordination for testing, final inspection and acceptance, project monitoring during the warranty period, and processing of requests for reduction in security. Construction observation may be performed by the City's in-house staff or consulting engineer. Construction observation shall include, at the discretion

of the city, part or full time inspection of proposed public utilities and street construction. Services will be billed on an hourly basis at normal City rates therefore.

The direction and review provided through the inspection of the improvements should not be considered a substitute for the Developer required management of the development. Developer will cause the contractor(s) to furnish the City with a schedule of proposed operations at least five (5) days prior to the commencement of construction of each type of Improvement. City shall inspect all Developer Installed Improvements during and after construction for compliance with approved plans and specifications. Developer will notify the City Engineer at such times during construction as the City Engineer requires for inspection purposes. Such inspection is pursuant to the City's governmental authority, and no agency or joint venture relationship between the City and Developer is thereby created.

11. CONTRACTORS/SUBCONTRACTORS. City Council members, City employees, and City Planning Commission members, and corporations, partnerships, and other entities in which such individuals have greater than a 25% ownership interest or in which they are an officer or director may not act as contractors or subcontractors for the public improvements identified in Paragraph 8 above.

12. PERMITS. The Developer shall obtain or require its contractors and subcontractors to obtain all necessary permits, including but not limited to:

- A. **Right-of-Way Excavations and Obstructions:**
 - City of Lake Elmo, Right-of-Way Utility Installation(s)
 - City of Lake Elmo, Right-of-Way Obstruction(s)
 - Washington County, Utility Installations(s)
 - Washington County, Street or Driveway Access(s)
 - Minnesota Department of Transportation, Utility Installation
 - Minnesota Department of Transportation, Right-of-Way Permit

- B. **Watermain Extensions:**
 - Minnesota Department of Health

- C. **Sanitary Sewer Extensions:**
 - Minnesota Pollution Control Agency
 - Metropolitan Council Environmental Services

- D. **Stormwater Management:**
 - Valley Branch Watershed District Permit

- E. **Erosion, Sedimentation Control:**
 - Minnesota Pollution Control Agency, General NPDES Stormwater Permit

- SWPPP (Stormwater Pollution Prevention Plan)
- F. Wetland Mitigation:
- Board of Water and Soil Resources, WCA
- G. Construction Dewatering:
- Minnesota Department of Natural Resources

13. TIME OF PERFORMANCE. The Developer shall install all required public improvements by October 31, 2015, with the exception of the final wear course of asphalt on streets. The Developer shall have the option of installing the wearing course of streets within one (1) year following initial commencement of work on the required basic improvements or installing it after the first course has weathered a winter season, consistent with warranty requirements, however final acceptance of the improvements will not be granted until all work is completed including the final wear course. The Developer may, however, request an extension of time from the City. If an extension is granted, it shall be conditioned upon updating the security posted by the Developer to reflect cost increases and amending this agreement to reflect the extended completion date. Final wear course placement outside of this time frame must have the written approval of the City Engineer.

14. LICENSE. The Developer hereby grants the City, its agents, employees, officers and contractors a license to enter the plat to perform all work and inspections deemed appropriate by the City in conjunction with plat development.

15. CONSTRUCTION ACCESS. Construction traffic access and egress for grading, public utility construction, and street construction is restricted to access the subdivision via the planned construction access off of Keats Avenue. No construction traffic is permitted on other adjacent local streets.

16. CONSTRUCTION SEQUENCE AND COMPLIANCE. The City will require the Developer to construct the improvements in a sequence which will allow progress and compliance points to be measured and evaluated. The Developer and/or their representatives are required to supervise and coordinate all construction activities for all improvements and must notify the City in writing stating

when the work is ready for the inspection at each of the measurable points defined in the following paragraphs 16., 17. and 18. For the purpose of this paragraph, Electronic message (email) shall be deemed an acceptable method of notification provided it is captioned "Notice pursuant to Development Agreement".

17. EROSION CONTROL. Prior to initiating site grading, the erosion control plan, Plan B, shall be implemented by the Developer and inspected and approved by the City. Erosion control practices must comply with the approved plans and specifications for the plat, with all watershed district permits and with Minnesota Pollution Control Agency's Best Management Practices. The City may impose additional erosion control requirements as deemed necessary. The parties recognize that time is of the essence in controlling erosion. If the Developer does not comply with the erosion control plan and schedule or supplementary instructions received from the City, the City may take such action as it deems appropriate to control erosion. The City will endeavor to notify the Developer in advance of any proposed action, but failure of the City to do so will not affect the Developer's and City's rights or obligations hereunder. If the Developer does not reimburse the City for any cost the City incurred for such work within ten (10) days, the City may draw down the security to pay any costs. No development, utility or street construction will be allowed and no building permits will be issued unless the plat is in full compliance with the approved erosion control plan.

If building permits are issued prior to the acceptance of public improvements, the Developer assumes all responsibility for erosion control compliance throughout the plat and the City may take such action as allowed by this agreement against the Developer for any noncompliant issue as stated above. Erosion control plans for individual lots will be required in accordance with the City's building permit requirements, or as required by the City or City Engineer.

18. GRADING PLAN. The plat shall be graded in accordance with the approved grading drainage and erosion control plan, Plan "B". The plan shall conform to Engineering Design and Construction Standards Manual. All grading shall be completed within the Subdivision prior to the preparation and submittal of the as-constructed grading plan.

Within thirty (30) days after completion of the grading, the Developer shall provide the City with a "record" grading plan certified by a registered land surveyor or engineer that all trails, ponds, swales, and ditches have been constructed on public easements or land owned by the City. The "record" plan shall contain site grades and field verified elevations of the following: a) cross sections of ponds; b) location and elevations along all swales, emergency overflows, wetlands, wetland mitigation areas if any, ditches, locations and dimensions of borrow areas/stockpiles; c) lot corner elevations and house pads; and d) top and bottom of retaining walls. The City will not issue any building permits until the approved certified record grading plan is on file with the City.

19. STREET AND UTILITY IMPROVEMENTS. All storm sewers, sanitary sewers, watermain, and streets shall be installed in accordance with the approved Plans and Specifications for Public Improvements, Plan "C". The plan shall conform to the City's Engineering Design and Construction Standards Manual. Curb and gutter and the first lift of the bituminous streets, sidewalks, the boulevards graded, street signs installed, and all restoration work on the site shall be completed in accordance with the approved plans. Once the work is completed, the Developer or its representative shall submit a written request to the City asking for an inspection of the initial improvements. The City will then schedule a walk-through to create a punch list of outstanding items to be completed. Upon receipt of the written punch list provided by the City, the punch list items must be completed by the Developer and the City notified to re-inspect the improvements. The final bituminous wear course may be installed in accordance with paragraph 12. above.

20. STREET MAINTENANCE DURING CONSTRUCTION. The Developer shall be responsible for all street maintenance until the streets are accepted by the City in writing. Warning signs shall be placed when hazards develop in streets to prevent the public from traveling on same and to direct attention to detours. If and when streets become impassable, such streets shall be barricaded and closed. In the event residences are occupied prior to completing streets, the Developer shall maintain a smooth surface and provide proper surface drainage to insure that the streets are passable to traffic and emergency vehicles. The Developer shall be responsible for keeping streets within and without the

subdivision clean of dirt and debris that may spill, track, or wash onto the street from Developer's operation. The Developer may request, in writing, that the City keep the streets open during the winter months by plowing snow from the streets prior to final acceptance of said streets. The City shall not be responsible for repairing the streets because of snow plowing operations. Providing snow plowing service does not constitute final acceptance of the streets by the City. The Developer shall contract for street cleaning within and immediately adjacent to the development. At a minimum, scraping and sweeping shall take place on a weekly basis. A copy of this contract shall be approved by the City before grading is started. The contract shall provide that the City may direct the contractor to clean the streets and the contractor will bill the Developer.

21. OWNERSHIP OF IMPROVEMENTS. Upon completion of the work and construction required by this Contract, the improvements lying within public easements shall become City property. Prior to acceptance of the improvements by the City, the Developer must furnish the City with a complete set of reproducible "record" plans, an electronic file of the "record" plans in accordance with the City's Engineering Design and Construction Standards Manual together with the following affidavits:

- Developer/Developer Engineer's Certificate
- Land Surveyor's Certificate

certifying that all construction has been completed in accordance with the terms of this Contract. All necessary forms will be furnished by the City. Upon receipt of "record plans" and affidavits, and upon review and verification by the City Engineer, the City Engineer will accept the completed public improvements.

22. PARK DEDICATION. The Developer shall pay a cash contribution of \$107,554 in satisfaction of the City's park dedication requirements. This charge is based on the park dedication requirement for all the areas to be platted within the Hammes Estates Preliminary Plat. No additional fees in lieu of land dedication will be charged for future developments within the preliminary plat area. The charge was calculated as follows: 2.1 acres (5.7 acres of park land provided subtracted from 7.8 acres of park land required) at \$51,216 per acre per the submitted appraisal for the property. The Developer shall

receive a credit from the cash amount due for the actual costs of the North East Park Plan Improvements depicted in the Final Landscape Plans Dated September 22, 2014. These improvement shall include: 16-foot by 24-foot shelter, picnic table, bike rack, grill station, retaining wall, fishing pier, canoe rack, concrete hardsurface, woodland seed mix restoration, landscaping, and parking lot improvements. The Developer shall deposit \$107,554 with the City at time of final plat to be held by the City in escrow until such time as park improvements have been installed. Upon installation of park improvements, the City shall release the credited amount to the Developer.

23. SANITARY SEWER AND WATER UTILITY AVAILABILITY CHARGES (SAC AND WAC). The Developer shall be responsible for the payment of all sewer availability charges (SAC) and all water availability charges (WAC) with respect to the Improvements required by the City and any state or metropolitan government agency.

The sewer availability charge (SAC) in the amount of \$3,000.00 per REU shall be paid by the Developer prior to the City recording the final plat. The total amount to be paid by the Developer is \$171,000.00.

The water availability charge (WAC) in the amount of \$3,000.00 per REU shall be paid by the Developer prior to the City recording the final plat. The total amount to be paid by the Developer is \$171,000.00.

In addition, a sewer connection charge in the current amount of \$1,000.00 per REU, a Met Council sewer availability charge in the current amount of \$2,435.00 per REU, and a water connection charge in the current amount of \$1,000.00 per REU will be collected by the City at the time the building permit is issued for each lot. These amounts are charged at the time of building permit in accordance with the latest city fee schedule.

24. TRAFFIC CONTROL SIGNS. Traffic control signs shall be included as part of the public street improvements, and the installation costs shall be included in the street construction calculations.

25. STREET LIGHTS. The Developer is responsible for the installation of street lights

consistent with a street lighting plan approved by the City. The Developer shall coordinate the installation of street lights with Xcel Energy in conjunction with the other improvements, and agrees to pay Xcel Energy for all upfront costs associated with the street lighting system, including underground cables, posts, lamps, ballasts, starters, photocells, and glassware. All street lights will be leased by the City upon final acceptance of the system. The Developer shall also pay \$499.68 in payment for the first year operating costs for street lights.

26. WETLAND MITIGATION. The Developer shall complete wetland mitigation/restoration in accordance with the approved Plans and Specifications and in accordance with any applicable Watershed or agency Permits. If the mitigation work is found to be incomplete or restoration is unsuccessful the City may draw down the security at any time during the warranty period if the Developer fails to take corrective measures to be used by the City to perform the work. Prior to the acceptance of the public improvements for the Hammes Estates plat, all wetland buffers shall be delineated and identified via staking and signage that is acceptable to the City.

27. BUILDING PERMITS/CERTIFICATES OF OCCUPANCY.

A. Public sewer and water, curbing, and one lift of asphalt shall be installed on all public and private streets prior to issuance of any building permits, except five model homes on lots acceptable to the Community Development Director.

B. Prior to issuance of building permits, wetland buffer monuments shall be placed in accordance with the City's zoning ordinance. The monument design shall be approved by the Community Development Department.

C. Written certification of the as-constructed grading must be on file at the City for the block where the building is to be located.

D. Breach of the terms of this Contract by the Developer, including nonpayment of billings from the City, shall be grounds for denial of building permits and/or withholding of other permits, inspection or actions, including lots sold to third parties, and the halting of all work in the plat.

E. If building permits are issued prior to the acceptance of public improvements, the

Developer assumes all liability and costs resulting in delays in completion of public improvements and damage to public improvements caused by the City, Developer, their contractors, subcontractors, materialmen, employees, agents, or third parties.

F. No sewer and water connection permits may be issued until the streets needed for access have been paved with a bituminous surface and the utilities are tested and approved by the City Engineer.

G. The City will not issue a certificate of occupancy for any building constructed on any lot or parcel in the Plat, including any model homes authorized under this agreement, until Public sewer and water, curbing, and one lift of asphalt is installed on all public and private streets; all utilities are tested and approved by the City Engineer; and the as-constructed grading must be on file at the City for the block where the building is to be located.

28. RESPONSIBILITY FOR COSTS.

A. In the event that the City receives claims from labor, materialmen, or others that work required by this Contract has been performed, the sums due them have not been paid, and the laborers, materialmen, or others are seeking payment from the City, and in the future event that such claims have not been resolved by the Developer within thirty (30) days after written notice from the City, the Developer hereby authorizes the City to commence an Interpleader action pursuant to Rule 22, Minnesota Rules of Civil Procedure for the District Courts, to draw upon the letters of credit in an amount up to 125 percent of the claim(s) and deposit the funds in compliance with the Rule, and upon such deposit, the Developer shall release, discharge, and dismiss the City from any further proceedings as it pertains to the letters of credit deposited with the District Court, except that the Court shall retain jurisdiction to determine payment of attorneys' fees pursuant to this Contract.

B. Except as otherwise specified herein, the Developer shall pay all costs incurred by it or the City in conjunction with the development of the plat, including but not limited to legal, planning, engineering and inspection expenses incurred in connection with approval and acceptance of the plat, the preparation of this Contract, review of construction plans and documents, and all costs and expenses

incurred by the City in monitoring and inspecting development of the plat. All amounts incurred and due at the time, must be fully paid prior to execution and release of the final plat for recording.

C. The Developer shall hold the City and its officers, employees, and agents harmless from claims made by itself and third parties for damages sustained or costs incurred resulting from plat approval and development. The Developer shall indemnify the City and its officers, employees, and agents for all costs, damages, or expenses which the City may pay or incur in consequence of such claims, including attorneys' fees.

D. The Developer shall reimburse the City for costs incurred in the enforcement of this Contract, including reasonable engineering and attorneys' fees.

E. The Developer shall pay in full all bills submitted to it by the City for obligations incurred under this Contract within thirty (30) days after receipt. Bills not paid within thirty (30) days shall be assessed a late fee per the City of Lake Elmo adopted Fee Schedule. Upon request, the City will provide copies of detailed invoices of the work performed.

29. City Payments. In the event city payments are required by Section 29.A below, within thirty (30) days of the City's final acceptance of the Improvements, pursuant to Section 21 of this Agreement, but only if the Developer is not in default under this Agreement, the City shall pay to the Developer the sums set forth in the attachment to this Agreement as Exhibit B. The actual amount of the reimbursement shall be based on actual construction costs which will be verified by the Developer to the City in the Plans submitted to the City as required in Section 21. This payment by the City shall be the City's only responsibility with regard to construction of the Improvements and in no case shall act as a waiver of any other right of the City under this Agreement or under applicable laws, ordinances, or rules.

A. City payments pursuant to this Agreement shall be: \$50,045.00

30. SPECIAL PROVISIONS. The following special provisions shall apply to plat development:

A. Implementation of the recommendations listed in the September 18, 2014 Engineering memorandum is required along with all conditions of approval listed in any City Council resolution approving the plat.

B. Within thirty (30) days of the plat being recorded at the County, the Developer shall convey Outlot A and C to the City by warranty deed, free and clear of any and all encumbrances.

C. The Developer shall install a temporary turnaround at the southern end of June Avenue North until it is extended as part of future phases of the Hammes Estates development.

D. The Developer must obtain a sign permit from the City Building Official prior to installation of any permanent subdivision identification signs.

F. The Developer shall provide for a minimum green belt/buffer of 100 feet around all of the adjacent Stonegate subdivision. This buffer shall be secured by a covenant running in favor of the City and a title commitment issued therefore.

G. All trails shall be located within the easements and dedicated to the City of Lake Elmo. Title commitments from a regional title company shall be provided for all land so dedicated.

H. The Developer shall be responsible for the construction of all improvements within the Keats Avenue (CSAH 19) right-of-way as required by Washington County and further described in the review letter received from the County dated May 6, 2014. The required improvements shall include, but not be limited to: modifications to the median crossing in this area, continuation of a bituminous trail through the median, turn lanes, and other improvements as required by the County.

I. The Developer shall observe all other County requirements as specified in the Washington County review letter dated May 6, 2014.

J. The Developer shall enter into a maintenance agreement with and satisfactory to the City that clarifies the individuals or entities responsible for any landscaping installed in areas outside of land dedicated as public park and open space on the final plat.

K. Any land under which public trails are located will be accepted as park land provided the Developer constructs said trails within the dedicated areas as part of the public improvements for the subdivision and easements are provided where required by the City.

L. No more than one hundred units depicted on the preliminary plat (100) may be

approved as part of a final plat until a second access is provided to the subdivision via a connection through the property to the south of the Hammes Estates.

M. The Developer shall be responsible to monitor the restored southern shoreline of Goose Lake for invasive species for a period of 5 years as specified in the MN DNR Public Waters Work Permit.

N. The Developer shall submit all documentation of remediation activities related to a recorded soil contamination on the site to the Minnesota Pollution Control Agency for review and approval. The Developer shall submit the acknowledgment of approval from the Minnesota Pollution Control Agency to the City prior to the issuance of building permits for all lots in the recorded plat affected by the soil contamination event. The Developer must submit the acknowledgement of successful remediation from the MPCA prior to the City's consideration of subsequent phases of the Hammes Estates development.

31. MISCELLANEOUS.

A. The Developer may not assign this Contract without the written permission of the City Council. The Developer's obligation hereunder shall continue in full force and effect even if the Developer sells one or more lots, the entire plat, or any part of it.

B. Retaining walls that require a building permit shall be constructed in accordance with plans and specifications prepared by a structural or geotechnical engineer licensed by the State of Minnesota. Following construction, a certification signed by the design engineer shall be filed with the City Engineer evidencing that the retaining wall was constructed in accordance with the approved plans and specifications. All retaining walls identified on the development plans or by special conditions referred to in this Contract shall be constructed before any other building permit is issued for a lot on which a retaining wall is required to be built.

C. Appropriate legal documents including Homeowner Association documents, covenants and restrictions relating to the plat approval and outlots and conveyances, as approved by the City Attorney, shall be filed within thirty (30) days of the recording of the plat. No third- party beneficiary status is hereby conferred. All outlots and common areas, including Outlot D, shall be maintained in good order and repair by a homeowner's association, and, if it does not do so, then the City may perform the work

and assess the costs against the individual lots within the plat of Hammes Estates and without regard to the formalities or requirements of Minn. Stat. § 429.

D. Developer shall take out and maintain or cause to be taken out and maintained until six (6) months after the City has accepted the public improvements, public liability and property damage insurance covering personal injury, including death, and claims for property damage which may arise out of Developer's work or the work of its subcontractors or by one directly or indirectly employed by any of them. Limits for bodily injury and death shall be not less than \$500,000 for one person and \$1,000,000 for each occurrence; limits for property damage shall be not less than \$200,000 for each occurrence; or a combination single limit policy of \$1,000,000 or more. The City shall be named as an additional insured on the policy, and the Developer shall file with the City a certificate evidencing coverage prior to the City signing the plat. The certificate shall provide that the City must be given thirty (30) days advance written notice of the cancellation of the insurance.

E. Third parties shall have no recourse against the City under this Contract.

F. If any portion, section, subsection, sentence, clause, paragraph, or phrase of this Contract is for any reason held invalid, such decision shall not affect the validity of the remaining portion of this Contract.

G. The action or inaction of the City shall not constitute a waiver or amendment to the provisions of this Contract. To be binding, amendments or waivers shall be in writing, signed by the parties and approved by written resolution of the City Council. The City's failure to promptly take legal action to enforce this Contract shall not be a waiver or release.

H. This Contract shall run with the land and may be recorded against the title to the property. The Developer covenants with the City, its successors and assigns, that the Developer has fee title to the property being final platted and/or has obtained consents to this Contract, in the form attached hereto, from all parties who have an interest in the property; that there are no unrecorded interests in the property being final platted; and that the Developer will indemnify and hold the City harmless for any breach of the foregoing covenants.

I. Each right, power or remedy herein conferred upon the City is cumulative and in

addition to every other right, power or remedy, express or implied, now or hereafter arising, available to City, at law or in equity, or under any other agreement, and each and every right, power and remedy herein set forth or otherwise so existing may be exercised from time to time as often and in such order as may be deemed expedient by the City and shall not be a waiver of the right to exercise at any time thereafter any other right, power or remedy.

J. The Developer represents to the City that the plat complies with all city, county, metropolitan, state, and federal laws and regulations, including but not limited to: subdivision ordinances, zoning ordinances, and environmental regulations. If the City determines that the plat does not comply, the City may, at its option, refuse to allow construction or development work in the plat until the Developer does comply. Upon the City's demand, the Developer shall cease work until there is compliance.

32. EVENTS OF DEFAULT. The following shall be "Events of Default" under this Agreement and the term "Event of Default" shall mean, whenever it is used in this Agreement, any one or more of the following events:

A. Subject to unavoidable delays, failure by Developers to commence and complete construction of the Public Improvements pursuant to the terms, conditions and limitations of this Agreement and the continuance of such failure for a period of thirty (30) days after written notice thereof (provided, however, that in the event of a bona fide emergency, the City shall only be required to give such notice as is practicable under the circumstances).

B. Failure by Developers to substantially observe or perform any material covenant, condition, obligation or agreement on their part to be observed or performed under this Agreement and the continuance of such failure for a period of thirty (30) days after written notice thereof (provided, however, that in the event of a bona fide emergency, the City shall only be required to give such notice as is practicable under the circumstances).

33. REMEDIES ON DEFAULT. Whenever any Event of Default occurs, the City, subject to any rights of third parties agreed to by the City pursuant to this Agreement, or otherwise by written, executed instrument of the City, may take any one or more of the following:

A. The City may suspend its performance under the Agreement until it receives

assurances from Developers, deemed adequate by the City, that Developers will cure their default and continue their performance under the Agreement. Suspension of performance includes the right of the City to withhold permits including, but not limited to, building permits.

B. The City may initiate such action, including legal or administrative action, as is necessary for the City to secure performance of any provision of this agreement or recover any amounts due under this Agreement from Developers, or immediately draw on the Letter of Credit, as set forth in this Agreement. In the event of any uncorrected failure to maintain any common area or landscape areas, the City may undertake to do the work and assess the costs to the individual lots within the plat without regard to the formalities or requirements of Minn. Stat. § 429..

DRAFT

34. ENFORCEMENT BY CITY; DAMAGES. The Developer acknowledges the right of the City to enforce the terms of this Agreement against the Developer, by action for specific performance or damages, or both, or by any other legally authorized means. The Developer also acknowledges that its failure to perform any or all of its obligations under this Agreement may result in substantial damages to the City; that in the event of default by the Developer, the City may commence legal action to recover all damages, losses and expenses sustained by the City; and that such expenses may include, but are not limited to, the reasonable fees of legal counsel employed with respect to the enforcement of this Agreement.

35. WARRANTY. The Developer warrants all improvements required to be constructed by it pursuant to this Contract against poor material and faulty workmanship. The Developer shall submit either cash or a letter of credit for twenty-five percent (25%) of the amount of the original cost of the improvements.

A. The required warranty period for materials and workmanship for the utility contractor installing public sewer and water mains shall be two (2) years from the date of final written City acceptance of the work.

B. The required warranty period for all work relating to street construction, including concrete curb and gutter, sidewalks and trails, materials and equipment shall be one (1) year from the date of final written acceptance, unless the wearing course is placed during the same construction season as the bituminous base course. In those instances, the Developer shall guarantee all work, including street construction, concrete curb and gutter, sidewalks and trails, material and equipment for a period of two (2) years from the date of final written City acceptance of the work.

C. The required warranty period for sod, trees, and landscaping is two growing seasons following installation.

D. The required warranty for landscaping within storm water infiltration areas (Outlot A) shall be three (3) years following installation. The Developer shall also enter into a funded maintenance agreement with the City for a period of three (3) years prior to acceptance of the landscaping for within these storm water infiltration areas. Said maintenance agreement shall include requirements for the proper care of native plantings and the elimination of weeds and invasive species.

36. SUMMARY OF SECURITY REQUIREMENTS. To guarantee compliance with the terms of this agreement, payment of special assessments, payment of the costs of all public improvements, and construction of all public improvements, the Developer shall furnish the City with an irrevocable letter of credit, in the form attached hereto, from a bank, cash escrow or a combination cash escrow and Letter of Credit ("security") for \$2,880,829.56. The amount of the security was calculated as follows:

CONSTRUCTION COSTS:

Streets	\$489,243.50
Sanitary Sewer	\$569,227.75
Watermain	\$359,915.00
Surface Water Facilities (pipe, ponds, rain gardens, etc.)	\$479,785.50
Grading	\$25,000.00
Erosion Control	\$25,801.90
Sidewalks/Trails	\$117,684.00
Street Lighting	Xcel to Install, to be pre-paid directly by Developer
Street Signs and Traffic Control Signs	\$3,550.00
Landscaping	\$222,656.00
Tree Preservation and Restoration	\$3,600.00
Wetland Mitigation and Buffers	Separate letter of credit through Watershed District
Monuments	\$5,700.00
Miscellaneous Facilities	N/A
Developer's Record Drawings	\$2,500.00
Construction Sub-Total	\$2,304,663.65
Total Project Securities (at 125% Construction Costs)	\$2,880,829.56

This breakdown is for historical reference; it is not a restriction on the use of the security. The bank shall be subject to the approval of the City Administrator. The City may draw down the security, without notice, for any violation of the terms of this Contract or if the security is allowed to lapse prior to the end of the required term. If the required public improvements are not completed at least thirty (30) days prior to the expiration of the security, the City may also draw it down. If the security is drawn down, the proceeds shall be used to cure the default.

37. REDUCTION OF SECURITY. Upon written request by the Developer and upon receipt of proof satisfactory to the City Engineer that work has been completed and financial obligations to the City have been satisfied, with City Engineer approval the security may be reduced as follows:

A. Up to 50%, or \$1,440,414.78 of the security provided in accordance with paragraph 32. above may be released when: (1) Developer's obligations under this Agreement have been completed and the Public Improvements have been found to be complete to the satisfaction of the City including all corrective work for any identified punch list items, but not including the final wear course; and (2) completion of the Improvements is done to the satisfaction of the City and evidence of such is provided by the City in writing and satisfactory evidence of payment, such as lien waivers are provided.

B. Up to an additional 25%, or \$720,207.39 of the security provided in accordance with paragraph 32. above may be released when: (1) Developer's obligations under this Agreement have been completed and the Improvements have been found to be complete to the satisfaction of the City including all corrective work for any identified punch list items and including the final wear course; and (2) Improvements are accepted by the City in writing and satisfactory evidence of payment, such as lien waivers, are provided.

C. Twenty percent (25%) of the amounts certified by the Developer's engineer shall be retained as security until: (1) all improvements have been completed, (2) iron monuments for lot corners have been installed, (3) all financial obligations to the City satisfied, (4) the required "record" plans have been received and approved by the City, (5) a warranty security is provided, and (6) the public improvements are accepted by the City.

38. SUMMARY OF CASH REQUIREMENTS. The following is a summary of the cash

requirements under this Contract which must be furnished to the City at the time of final plat approval:

Sewer Availability Charge (SAC)	\$171,000.00
Water Availability Charge (WAC)	\$171,000.00
Park Dedication	\$107,554.00
Street Light Operating Fee	\$499.68
City Base Map Upgrading	\$1,425.00
City Engineering Administration Escrow	\$50,000.00 (Based on two months of administration/observation)
Total Cash Requirements	\$501,478.68

39. NOTICES. Required notices to the Developer shall be in writing, and shall be either hand delivered to the Developer, its employees or agents, or mailed to the Developer by certified mail at the following address: 36 Moonlight Bay, Stillwater, MN 55082. Notices to the City shall be in writing and shall be either hand delivered to the City Administrator, or mailed to the City by certified mail in care of the City Administrator at the following address: Lake Elmo City Hall, 3800 Laverne Avenue N. Lake Elmo, Minnesota 55042.

40. EVIDENCE OF TITLE. Developer shall furnish the City with evidence of its fee ownership of the property being platted by way of an attorney's title opinion or title insurance policy dated not earlier than thirty (30) days prior to the execution of the plat.

CITY OF LAKE ELMO

BY: _____, Mayor

(SEAL)

AND _____, City Clerk

DEVELOPER:

THE RYLAND GROUP, INC.

BY: _____
Its

STATE OF MINNESOTA)
 (ss.
COUNTY OF WASHINGTON)

The foregoing instrument was acknowledged before me this _____ day of _____, 2_____, by _____ and by _____, the Mayor and City Clerk of the City of Lake Elmo, a Minnesota municipal corporation, on behalf of the corporation and pursuant to the authority granted by its City Council.

NOTARY PUBLIC

STATE OF MINNESOTA)
 (ss.
COUNTY OF _____)

The foregoing instrument was acknowledged before me this _____ day of _____, 2015, by The Ryland Group, Inc., a Maryland corporation, for and on behalf of the corporation.

NOTARY PUBLIC

DRAFTED BY:
City of Lake Elmo
3800 Laverne Avenue North
Lake Elmo, MN 55042
(651) 747-3901

**FEE OWNER CONSENT
TO
DEVELOPMENT CONTRACT**

_____, fee owners of all or part of the subject property, the development of which is governed by the foregoing Development Contract, affirm and consent to the provisions thereof and agree to be bound by the provisions as the same may apply to that portion of the subject property owned by them.

Dated this _____ day of _____, 2_____.

STATE OF MINNESOTA)
 (ss.
COUNTY OF _____)

The foregoing instrument was acknowledged before me this _____ day of _____, 2_____,
by _____.

NOTARY PUBLIC

DRAFTED BY:
City of Lake Elmo
3800 Laverne Avenue North
Lake Elmo, MN 55042
(651) 747-3901

**MORTGAGE CONSENT
TO
DEVELOPMENT CONTRACT**

_____, which holds a mortgage on the subject property, the development of which is governed by the foregoing Development Contract, agrees that the Development Contract shall remain in full force and effect even if it forecloses on its mortgage.

Dated this _____ day of _____, 2_____.

STATE OF MINNESOTA)
 (ss.
COUNTY OF _____)

The foregoing instrument was acknowledged before me this _____ day of _____, 2_____, by _____.

NOTARY PUBLIC

DRAFTED BY:
City of Lake Elmo
3800 Laverne Avenue North
Lake Elmo, MN 55042
(651) 747-3901

EXHIBIT "A"
TO
DEVELOPMENT CONTRACT

Legal Description of Property Being Final Platted as Hammes Estates 1st Addition

That part of the South Half of the Northeast Quarter of Section 34, Township 29 North, Range 21 West, Washington County, Minnesota, EXCEPT the East 60.00 feet of the North 967 feet of said South Half of the Northeast Quarter thereof. AND EXCEPT Parcel 3 of Washington County Highway Right of Way Plat 49-19B, recorded September 18, 1985 as Document Number 492530.

DRAFT

EXHIBIT "B"
TO
DEVELOPMENT CONTRACT

City Oversizing Payment Calculation

Contract Item	Unit	Cost/ Cost Increase (8" to 12" WM)	Quantity	Amount
Watermain	LF	\$12.50	3,104	\$38,800.00
Gate Valves	EA	\$1,225.00	4	\$4,900.00
Plugs	EA	\$345.00	2	\$690.00
Fittings	Lbs	\$5.00	1,131	\$5,655.00
Total Oversizing Estimate				\$50,045.00

DRAFT

IRREVOCABLE LETTER OF CREDIT

No. _____
Date: _____

TO: City of Lake Elmo

Dear Sir or Madam:

We hereby issue, for the account of _____ (Name of Developer) and in your favor, our Irrevocable Letter of Credit in the amount of \$_____, available to you by your draft drawn on sight on the undersigned bank at its offices in Minnesota.

The draft must:

- a) Bear the clause, "Drawn under Letter of Credit No. _____, dated _____, 2_____, of (Name of Bank) _____";
- b) Be signed by the Mayor or City Administrator of the City of Lake Elmo.
- c) Be presented for payment at _____ (Address of Bank) _____, on or before 4:00 p.m. on November 30, 2_____.

This Letter of Credit shall automatically renew for successive one-year terms unless, at least forty-five (45) days prior to the next annual renewal date (which shall be November 30 of each year), the Bank delivers written notice to the Lake Elmo City Administrator that it intends to modify the terms of, or cancel, this Letter of Credit. Written notice is effective if sent by certified mail, postage prepaid, and deposited in the U.S. Mail, at least forty-five (45) days prior to the next annual renewal date addressed as follows: City Administrator, City Hall, 3800 Laverne Ave. N. Lake Elmo Minnesota 55042 and is actually received by the City Administrator at least thirty (30) days prior to the renewal date.

This Letter of Credit sets forth in full our understanding which shall not in any way be modified, amended, amplified, or limited by reference to any document, instrument, or agreement, whether or not referred to herein.

This Letter of Credit is not assignable. This is not a Notation Letter of Credit. More than one draw may be made under this Letter of Credit.

This Letter of Credit shall be governed by the most recent revision of the Uniform Customs and Practice for Documentary Credits, International Chamber of Commerce Publication No. 500.

We hereby agree that a draft drawn under and in compliance with this Letter of Credit shall be duly honored upon presentation.

BY: _____

Its _____



MAYOR & COUNCIL COMMUNICATION

DATE: **October 7, 2014**
REGULAR
ITEM # **14**

AGENDA ITEM: Hammes Estates Residential Subdivision - Final Plat (Phase 1)

SUBMITTED BY: Nick M. Johnson, City Planner

THROUGH: Dean Zuleger, City Administrator

REVIEWED BY: Planning Commission
 Kyle Klatt, Community Development Director
 Jack Griffin, City Engineer
 Greg Malmquist, Fire Chief
 Stephen Mastey, City’s Landscape Consultant

SUGGESTED ORDER OF BUSINESS:

- Introduction of ItemCommunity Development Director
- Report/Presentation.....Community Development Director
- Questions from Council to Staff Mayor Facilitates
- Call for Motion Mayor & City Council
- Discussion..... Mayor & City Council
- Action on Motion..... Mayor Facilitates

POLICY RECCOMENDER: The Planning Commission is unanimously recommending that the City Council approve a final plat request from Hammes West, LLC for the first phase of a 163 unit residential development to be located on 78 acres of land west of Keats Avenue and within the City’s I-94 Corridor Planning Area. The final plat will include 57 single-family lots, all of which will be accessed off of Keats Avenue (CSAH 19).

FISCAL IMPACT: TBD – the City will be asked to review a developer’s agreement concerning the final plat at its October 7, 2014 meeting. The agreement will include a detailed accounting of any development costs that will be the responsibility of the City. The subdivision is included in the Section 34 utility project area, and therefore the developer is being assessed for the costs of the project to bring sewer and water to the site.

SUMMARY AND ACTION REQUESTED: The City Council is being asked to consider a request from Hammes West, LLC for approval of a final plat for the first phase of the Hammes Estates residential development. The final plat includes 57 single-family residential lots, and the

related construction plans for the improvements necessary to serve these homes. The City Council approved the Hammes Estates Preliminary Plat on July 1, 2014, which covered approximately 78 acres of land within the I-94 Corridor planning area. There are 163 single family residential lots planned within the entire subdivision, and the final plat covers only a portion of the overall total of units that will eventually be platted. The public improvements associated with the site will be installed by The Ryland Group in conjunction with the applicant.

The Planning Commission considered this matter at its September 22, 2014 meeting and unanimously recommended approval of the final plat subject to 16 conditions of approval.

The suggested motion to adopt the Planning Commission recommendation is as follows:

“Move to adopt Resolution No. 2014-81, approving the final plat for Hammes Estates”

BACKGROUND INFORMATION:

Attached are the original detailed Staff report that was provided to the Planning Commission regarding the applicant’s request for a final plat, which includes general information about the application, a summary of the relevant planning and zoning issues, a thorough review and analysis of the final plat (including a draft list of recommended conditions of approval), draft findings, and the Staff recommendation to the Planning Commission.

In addition to the information provided in the Staff Report, it should be noted that the applicant is requesting to amend Condition #13 related to the Minnesota Pollution Control Agency (MPCA) approval letter of the remediation of the soil contamination event on the Hammes site. As demonstrated in the request letter in Attachment #3, the applicants are requesting that the approval letter from the MPCA be provided prior to the issuance of building permit for affected lots as opposed to prior to the release of the Final Plat. The reason for the request relates to the closing of the property by The Ryland Group. If the Final Plat is delayed due to the MPCA approval process, which is estimated to take 30-60 days, the closing or purchase of a large portion of the property by the Ryland Group will also be delayed. After consulting with the Fire Chief and MPCA on the request, staff determined that the request is reasonable and will not create a negative or dangerous situation in the interim period while the review by MPCA is completed. It should be noted that the applicants have submitted a Phase 1 Environmental Review for the site, as well as substantial information regarding the cleanup and disposal of the contaminated soil. The Fire Chief simply want to close the loop by requesting the applicant enter the Voluntary Brownfield Program to ensure that the remediation work that was completed has properly addressed the contamination. Staff recommends that condition #13 be amended per the suggested language from the applicant (Attachment #3).

PLANNING COMMISSION REPORT:

The Planning Commission reviewed the final plat application at its September 22, 2014 meeting. During the meeting, the Planning Commission engaged in discussions regarding the design and locations of the trails, the stormwater facilities, the phasing of the proposed subdivision, and other pertinent topics and questions. In reviewing the final plat, the Planning Commission

recommended two additional conditions of approval: 1) that any trail segment designed as a boardwalk must be able to safely accommodate bicycle traffic, and 2) that the developer must inventory and replace trees that are removed on the City park land due to the installation of the trail. The Planning Commission recommended that the trees be replaced at the schedule or rate required under the City's tree preservation ordinance (§154.257). In addition to these added conditions, the Planning Commission wanted to ensure that the MPCA approve the soil remediation work prior to the City releasing final plat for recording. Further detail of the Planning Commission discussion on the Hammes Estates Final Plat can be found in the 9/22/14 draft minutes.

The Planning Commission recommended approval of the final plat as submitted with 16 conditions of approval. The vote to recommend approval of the Hammes Estates Final Plat was unanimous (Vote: 7-0).

STRENGTHS, WEAKNESSES, OPPORTUNITIES, THREATS:

Strengths: The proposed final plat is consistent with the approved preliminary plat subject to the conditions being recommended by Staff and the Planning Commission.

Weaknesses: Several conditions of approval must be met by the applicant, including revisions to the final construction plans to address comments from the City Engineer.

Opportunities: Approval of the plat application allows the development plans for the Hammes site to proceed as planned in the Comprehensive Plan. Moving forward with sewer single family growth should allow the City to add additional users to the City's public sanitary sewer system, helping to finance the City's investments in sanitary sewer.

Threats: None

RECOMMENDATION:

Based on the aforementioned, the Planning Commission and Staff are recommending that the City Council approve the Hammes Estates Final Plat subject to 16 conditions of approval through the following motion:

“Move to adopt Resolution No. 2014-81, approving the final plat for Hammes Estates”

ATTACHMENTS:

1. Resolution 2014-81
2. Staff Report to the Planning Commission, 9/22/14
3. Hammes West, LLC Request to Amend Condition #13
4. Application Form
5. Preliminary Plat Response Letter (Westwood Engineering)
6. Final Plat (3 sheets)

7. Final Construction Plans (Sanitary Sewer, Water Main, Storm Sewer and Streets – 17 sheets)
8. Final Construction Plans (Grading, Drainage and Erosion Control – 14 sheets)
9. Final Landscape Plans (4 sheets)
10. Park Location Plan
11. City Engineer Review Memorandum, dated 9/18/14
12. Fire Chief Review Memorandum, dated 9/18/14
13. Landscape Consultant Review Memorandum, dated 8/25/14 and 9/18/14
14. Valley Branch Watershed District Permit
15. MN DNR Permit to Restore Southern Shore of Goose Lake
16. Excerpt of Park Commission Minutes from 7/21/14 Meeting.
17. Goose Lake Park Area Sketch
18. Soil Contamination Remediation Report

**CITY OF LAKE ELMO
WASHINGTON COUNTY
STATE OF MINNESOTA**

RESOLUTION NO. 2014-81

A RESOLUTION APPROVING A FINAL PLAT FOR HAMMES ESTATES

WHEREAS, the City of Lake Elmo is a municipal corporation organized and existing under the laws of the State of Minnesota; and

WHEREAS, Hammes West, LLC, 36 Moonlight Bay, Stillwater, MN (Applicant) has submitted an application to the City of Lake Elmo (City) for a Final Plat for Hammes Estates, a copy of which is on file in the City of Lake Elmo Community Development Department; and

WHEREAS, the Lake Elmo Planning Commission held a public hearing on May 12, 2014 to consider the Hammes Estates Preliminary Plat and continued discussion on the Preliminary Plat until its June 23, 2014 meeting; and

WHEREAS, the Lake Elmo Planning Commission has submitted its report and recommendation concerning the Preliminary Plat as part of a memorandum to the City Council for the July 1, 2014 City Council Meeting; and

WHEREAS, the Lake Elmo Planning Commission adopted a motion recommending approval of the Preliminary Plat; and

WHEREAS, the City Council reviewed the Preliminary Plat request at its July 1, 2014 meeting and adopted Resolution No. 2014-55 approving the Preliminary Plat; and

WHEREAS, the Lake Elmo Planning Commission met on September 22, 2014 to review the Final Plat for Hammes Estates consisting of 57 single-family residential lots; and

WHEREAS, on September 22, 2014 the Lake Elmo Planning Commission adopted a motion to recommend that the City Council approve the Final Plat for Hammes Estates with conditions; and

WHEREAS, the City Council reviewed the recommendation of the Planning Commission and the Final Plat for Hammes Estates at a meeting held on October 7, 2014; and

NOW, THEREFORE, based upon the testimony elicited and information received, the City Council makes the following:

FINDINGS

- 1) That the procedure for obtaining approval of said Final Plat is found in the Lake Elmo City Code, Section 153.08.

- 2) That all the requirements of said City Code Section 153.08 related to the Final Plat have been met by the Applicant.
- 3) That the proposed Final Plat for Hammes Estates consists of the creation of 57 single-family residential lots.
- 4) That the Hammes Estates Final Plat is consistent with the Preliminary Plat and Plans as approved by the City of Lake Elmo on July 1, 2014 and revised on August 25, 2014.
- 5) That the Hammes Estates Final Plat is consistent with the Lake Elmo Comprehensive Plan and the Future Land Use Map for this area.
- 6) That the Hammes Estates Final Plat complies with the City's Urban Low Density Residential zoning district.
- 7) That the Hammes Estates Final Plat complies with all other applicable zoning requirements, including the City's landscaping, storm water, sediment and erosion control and other ordinances, except as noted in this report or attachment thereof.
- 8) That the Hammes Estates Final Plat complies with the City's subdivision ordinance.
- 9) That the Hammes Estates Final Plat is consistent with the City's engineering standards with the exceptions noted by the City Engineer in his review comments to the City dated September 18, 2014.

CONCLUSIONS AND DECISION

NOW, THEREFORE, BE IT RESOLVED THAT the City Council does hereby approve the Final Plat for Hammes Estates subject to the following conditions:

- 1) Final grading, drainage, and erosion control plans, utility plans, sanitary and storm water management plans, and street and utility construction plans shall be reviewed and approved by the City Engineer prior to the recording of the Final Plat. All changes and modifications to the plans requested by the City Engineer in a memo dated 9/18/14 shall be incorporated into these documents before they are approved.
- 2) The developer shall provide evidence in a form satisfactory to the City Attorney that warrants it has fee interest in area included in the Hammes Estates Final Plat.
- 3) Prior to the execution of the Final Plat by City officials, the Developer shall enter into a Developer's Agreement acceptable to the City Attorney and approved by the City Council that delineates who is responsible for the design, construction, and payment of the required improvements with financial guarantees therefore.

- 4) All easements as requested by the City Engineer and Public Works Department shall be documented on the Final Plat prior to the release of the Final Plat for recording.
- 5) A Common Interest Agreement concerning management of the common areas of Hammes Estates and establishing a homeowner's association shall be submitted in final form to the Community Development Director before a building permit may be issued for any structure within this subdivision. Said agreement shall comply with Minnesota Statutes 515B.3-103, and specifically the provisions concerning the transfer of control to the future property owners. The applicant shall also enter into a maintenance agreement with the City that clarifies the individuals or entities responsible for any landscaping installed in areas outside of land dedicated as public park and open space on the Final Plat.
- 6) The applicant shall provide fees in lieu of land dedication for 2.1 acres of land to fulfill the City's parkland dedication requirements in a pro-rated amount for the Phase 1 Area or in an amount addressing the total site.
- 7) The Final Landscape Plan shall be revised per the requested modifications of the City Landscape Consultant, documented in a memo dated 9/18/14. Final Landscape Plans shall be approved prior to the release of Final Plat for recording.
- 8) The applicant shall provide evidence that all conditions attached to the Valley Branch Watershed District permit for the Final Plat and associated grading work have been met prior to the commencement of any final grading activity.
- 9) The applicant must provide written authorization to perform any work in the Electrical Transmission easement areas prior to the release of the Final Plat for recording.
- 10) The applicant shall provide evidence that Washington County has approved final construction plans for all required work within the Keats Avenue right-of-way as described in a letter from the County dated May 6, 2013. Final Construction Plans provided to the City shall be updated to include the improvements approved by Washington County
- 11) The applicant shall abide by all conditions of the MN DNR Public Waters Work Permit dated 8/27/14.
- 12) The applicant must revise the Goose Lake Park Plan to provide greater separation between the public use area and the lift station maintenance area. The applicant will be responsible for all necessary watershed district permitting requirements related to the Goose Lake Park improvements.
- 13) Per the recommendation of the Fire Chief, the applicant must submit all documentation related to the mitigation of the soil contamination to the Minnesota Pollution Control Agency's Voluntary Brownfield Program for review and approval prior to the release of Final Plat for recording.
- 14) Prior to the acceptance of the public improvements for the 1st Phase of the Hammes Estates subdivision, all wetland buffers shall be delineated and identified via staking or signage that is acceptable to the City.

15) Any boardwalk trail segments included in the Hammes Estates subdivision must be designed to accommodate bicycle traffic.

16) All trees impacted by the northern buffer trail must be inventoried and replaced at the schedule or rate specified in the City's tree preservation ordinance (§154.257).

Passed and duly adopted this 7th day of October 2014 by the City Council of the City of Lake Elmo, Minnesota.

Mike Pearson, Mayor

ATTEST:

Adam Bell, City Clerk



PLANNING COMMISSION
DATE: 9/22/13
AGENDA ITEM: 4A – BUSINESS ITEM
CASE # 2014-44

ITEM: Hammes Estates Residential Subdivision – Final Plat (Phase 1)

SUBMITTED BY: Nick M. Johnson, City Planner

REVIEWED BY: Kyle Klatt, Community Development Director
Jack Griffin, City Engineer
Greg Malmquist, Fire Chief
Stephen Mastey, City’s Landscape Consultant

SUMMARY AND ACTION REQUESTED:

The Planning Commission is being asked to consider a Final Plat request from Hammes West, LLC for the first phase of a planned 163-unit residential development to be located on 78.1 acres of land west of Keats Avenue and within Stage 1 of the City’s I-94 Corridor Planning Area. The final plat will include 57 single-family lots, all of which will be accessed off of Keats Avenue. Staff is recommending approval of the request subject to compliance with a series of conditions as listed in this report.

GENERAL INFORMATION

Applicant: Hammes West, LLC, 36 Moonlight Bay, Stillwater, MN 55082.

Property Owners: Ellie Hammes, 1187 Forest Ave., Maplewood, MN 55109, and Dorothy Lyons, 10105 10th Street North, Lake Elmo, MN 55042.

Location: Part of Section 34 in Lake Elmo, immediately west of Keats Avenue (CSAH 19), approximately 1,300 feet south of 10th Street (CSAH 10), and immediately south of Goose Lake. PID Number 34.029.21.13.0001.

Request: Application for final plat approval of 57 residential lots, constituting the first phase of a subdivision to be named Hammes Estates.

Existing Land Use and Zoning: The site was previously utilized as an active mining and gravel operation. The site has since been reclaimed. Current Zoning: LDR - Urban Low Density Residential

Surrounding Land Use and Zoning: North –Goose Lake and Stonegate Residential Estates (RE) subdivision; west – Stonegate RE subdivision; south – Lennar Savona Urban Low Density Residential (LDR) subdivision.

Comprehensive Plan: Urban Low Density Residential (2.5 – 4 units per acre)

History: Preliminary Plat approved on 7/1/14 (public hearing on 5/12/14).

Deadline for Action: Application Complete – 9/15/14
60 Day Deadline – 11/13/14

Extension Letter Mailed – No
120 Day Deadline – 1/12/15

Applicable Regulations: Chapter 153 – Subdivision Regulations
Article 10 – Urban Residential Districts (LDR)
§150.270 Storm Water, Erosion, and Sediment Control

REQUEST DETAILS

The City of Lake Elmo has received a request from Hammes West, LLC for final plat approval of the first phase of the Hammes Estates residential development. The final plat includes 57 single family residential lots and the infrastructure necessary to support the future homes on these lots. The City Council approved the Hammes Estates Preliminary Plat on July 1, 2013, which covered approximately 78 acres of land within the I-94 Corridor Planning Area. There are 163 single family residential lots planned within the entire subdivision, and the final plat covers only a portion of the overall total of units that will eventually be platted. Hammes West, LLC, in conjunction with Ryland Homes, is finalizing the purchase of the land. Submission of adequate title evidence to the City Attorney will be required of the applicant in advance of the City releasing the Final Plat for recording.

The final plat area represents the initial project phase of the overall Hammes Estates development. The developer intends to build homes in the subdivision moving generally from the east to the west, extending infrastructure to serve each phase with future projects. Likewise, the developer will be conducting final grading on the site in phases as well, as the majority of the site has undergone initial grading work as part of the approved reclamation plan for the site's mining permit. This grading will be necessary to establish the overall storm water management system on the site, but the plan will be revised when the individual lots are created as part of a future development phase. The applicant has submitted detailed construction plans for related to sanitary sewer, water main, storm sewer, grading, drainage, landscaping, and other details that have been reviewed by the City Engineer.

The City's subdivision ordinance establishes the procedure for obtaining final subdivision approval, in which case a final plat may only be reviewed after the City takes action on a preliminary plat. As long as the final plat is consistent with the preliminary approval, it must be approved by the City. Please note that the City's approval of the Hammes Estates Preliminary Plat did include a series of conditions that must be met by the applicant, which are addressed in the "Review and Analysis" section below. There are no public hearing requirements for a final plat.

It should also be noted that the zoning of the Hammes site was changed from Rural Development Transitional District (RT) to Urban Low Density Residential (LDR) as part of a broader zoning map update that was approved by the City Council on July 22, 2014. In order to proceed with the recording of the Final Plat, a site must have the proper zoning designation in place. The Hammes site fulfills this criterion, as LDR zoning is the appropriate zoning for the single family subdivision.

Staff has reviewed the final plat and found that it is consistent with the preliminary plat that was approved by the City. The developer has recently updated the preliminary plan submissions to comply with the conditions of approval, and the final plat application incorporates these updates as well. Please note that the final plat and construction plans now include approved street names for the subdivision.

The City Engineer has reviewed the final plat, and his comments are attached to this report. Although there are some additional revisions and additions necessary for the final construction plans

that need to be addressed by the applicant, the majority of these revisions can be made before the City releases the final plat for recording. Staff is recommending that all revisions and modifications noted within the City Engineer's review memorandum be completed prior to the release of Final Plat for recording as a condition of approval.

REVIEW AND ANALYSIS

The preliminary plat for Hammes Estates was approved with several conditions, which are indicated below along with Staff's comments on the status of each. For those items and issues that are not directly addressed below, Staff has provided additional comments following the preliminary plat conditions list. Staff is recommending approval of the final plat, but with additional conditions intended to address the outstanding issues that will require additional review and/or documentation.

Please also note that the applicant has also provided a response to the preliminary plat conditions and their response is included as an attachment to this report (Attachment #2).

Preliminary Plat Conditions – With Staff Update Comments (updated information in bold italics):

- 1) Within six months of preliminary plat approval, the applicant shall complete the following: a) The applicant shall provide adequate title evidence satisfactory to the City Attorney; and b) The applicant shall submit a revised Preliminary Plat and plans meeting all conditions of approval. All of the above conditions shall be met prior to the City accepting an application for Final Plat and prior to the commencement of any grading activity on the site. ***Comment: a) all title work will need to be submitted and reviewed by the City Attorney before any City officials sign the final plat (Condition #2); b) revised preliminary plat and plans have been received by the City and were found to address previous comments. The City Engineer has identified to design modifications related to depth of storm sewer and the location of one segment of watermain, both in the western portion of the plat. The City Engineer has confirmed that these design modification are not impactful to the first phase of Hammes Estates. Nonetheless, the City Engineer has requested that these revisions be submitted in order to facilitate more accurate and efficient review of future phases of the Hammes Estates subdivision. The applicant has acknowledged this requirement and will address the requested modifications before the City will release the Final Plat for recording.***
- 2) The City Engineer shall review and approve all revised Preliminary Plans that are submitted to the City in advance of Final Plat to satisfy Condition #1. ***Comments: See Condition #1 response.***
- 3) The Preliminary Plat approval is conditioned upon the applicant meeting all minimum City standards and design requirements. ***Comments: The applicant has acknowledged that approval is conditioned upon meeting City standards and design requirements.***
- 4) All required modifications to the plans as requested by the City Engineer in a review letter dated June 16, 2014 shall be incorporated into the plans prior to consideration of a Final Plat. ***Comments: The applicants have addressed the Engineer's review comments, but design modifications are necessary with regards to storm sewer depth and watermain alignment in the western portion of the plat. The Engineer has confirmed to staff that the requested modifications to not materially impact the 1st Phase of Hammes Estates.***

- 5) Prior to the acceptance of the public improvements for the Hammes Estates plat, all wetland buffers shall be delineated and identified via staking or signage that is acceptable to the City. ***Comments: The final construction plans (Grading, Drainage and Erosion Control) include wetland buffer monuments to identify the locations of all wetland buffers. The applicants have met this condition. However, in order to ensure that the monuments are installed, staff recommends that this condition be carried forward as a condition of final plat approval for all subsequent phases of the Hammes Estates subdivision (Condition #14).***
- 6) The landscape plan shall be updated per the recommendations of the City's landscape consultant in a review memo dated 5/7/14. ***Comments: The City's Landscape Consultant has reviewed the updated Preliminary Landscape Plan and found it to be in conformance with the City's landscaping ordinance. More specifically, the applicants have provided additional plant material to meet the City's requirements. Based upon the approval of the City's Landscape Consultant, this condition has been met.***
- 7) The applicant shall be responsible for the construction of all improvements within the Keats Avenue (CSAH 19) right-of-way as required by Washington County and further described in the review letter received from the County dated May 6, 2014. The required improvements shall include, but not be limited to: construction of a modified median crossing, construction of a trail/sidewalk to the south side of the median, turn lanes, and other improvements as required by the County. ***Comments: The Final Construction Plans have been revised in response to these comments. The applicants have submitted an access permit to Washington County, which is currently being reviewed. The applicants will be responsible to incorporate any requested revisions or modifications that result from the County's review of the access to Keats Ave. into the Final Construction Plans (Condition #10)***
- 8) The developer shall follow all of the rules and regulations spelled out in the Wetland Conservation Act, and shall acquire the needed permits from Valley Branch Watershed District prior to the commencement of any grading or development activity on the site. ***Comments: The applicant has received a permit from the Valley Branch Watershed District (Attachment #11) for the grading work proposed in the final plans. This permit includes conditions that must be met prior to the commencement of any final grading work on the site. The applicant will be required to observe all conditions of the Valley Branch Watershed District permit throughout construction (Condition #8).***
- 9) Landscape islands shall be platted as part of the right-of-way and shall be maintained by the Home Owners Association. The applicant shall enter into a maintenance agreement with the City that clarifies the individuals or entities responsible for any landscaping installed in areas outside of land dedicated as public park and open space on the final plat. ***Comments: The applicant has indicated that there will be a homeowner's association created for this development. The City has not yet received documentation that this association has been established. A maintenance agreement and evidence that the HOA has been established should be retained as a condition of approval for the final plat (Condition #5).***
- 10) With an eligible parkland dedication of 5.7 acres provided, the applicant is responsible to pay a fee in lieu of land dedication for the equal market value amount of 2.1 acres of land at the time of the Final Developers Agreement. The City will work with the developer to clarify any and all park fee payments at the time of the Final Developers Agreement. ***Comments: Staff is***

recommending that the payment of fees in lieu of land dedication either be pro-rated based on the percentage of the final plat area compared to the entire Hammes Estates development, or the total required amount be collected for the entire subdivision. As a condition of approval, staff is recommending that the required parkland dedication fee be collected prior to the City releasing the Final Plat for recording (Condition #6)

- 11) No more than 100 units may be approved as part of a final plat until secondary access is provided to the subdivision via a connection to 5th Street through the Savona subdivision. *Comments: The proposed final plat includes 57 units, which means the applicant may plat an additional 42 units before secondary access through the Savona subdivision to the south is required.*
- 12) For trails proposed to be located in any wetland buffer, the applicant must present a suitable design or material that is acceptable to the City and Valley Branch Watershed District. *Comments: The applicants have presented a boardwalk design to the watershed district and the VBWD was agreeable to a boardwalk design through a small portion of the buffer area. City staff was in attendance at the VBWD Board Meeting and offered support for the boardwalk design. The construction details of the proposed limited boardwalk section within the wetland buffer must be provided to the City as part of the Final Construction Plans for the pertinent future phase of the Hammes Estates subdivision.*
- 13) The applicant must enter into a separate grading agreement with the City prior to the commencement of any grading activity in advance of final plat and plan approval. The City Engineer shall review any grading plan that is submitted in advance of a final plat, and said plan shall document extent of any proposed grading on the site. *Comments: The applicants are not proposing any final grading in advance of Final Plat approval. Final grading activities require the approval of the Final Grading Plans by the City Engineer.*
- 14) The applicant must incorporate a play structure into the proposed park at Goose Lake per the request of the Lake Elmo Park Commission. Furthermore, the applicant must submit an updated design of the park property that meets City approval in advance of Final Plat. *Comments: Regarding the play structure, the Park Commission reviewed the proposed improvements to Goose Lake Park at the 7/21/14 meeting and determined to relocate the structure to some other location within the subdivision. The Park Commission wanted to minimize the removal of significant trees in the area and were concerned about the proximity to Keats Avenue (CSAH 19). The applicant were directed to find another location for the City to locate a play structure in the future. Greater detail of the Park commission discussion can be found in Attachment # 13. To respond to this direction, the applicants have presented two potential locations, as evidence in the Park Location Plan (Attachment #7). City Staff will continue to work with the applicants and the Park Commission to site a play structure as part of a future phase of the development.*

Regarding the design of Goose Lake Park, the applicants have submitted additional details of the proposed park area as part of the Final Landscape Plan. The proposed grading addresses staff concerns regarding the location of the improvements in the context of the 100-year flood elevation of Goose Lake. However, the park property improvements must be revised to better separate the public use area and the lift station utility area. The City Engineer has provided a proposed sketch (Attachment #14) that reorients the parking to better separate these areas, allowing for better access and work space for City maintenance

staff. As a condition of approval, the park property improvements must be revised to meet the approval of the City Engineer. This design must also maintain the required 25-foot setback from the OHWL as specified in the Valley Branch Watershed District Permit. Finally, the applicant will be required to obtain the necessary watershed district permit for the improvements to Goose Lake Park (Condition #12).

- 15) The applicant shall work with the Planning Staff to name all streets in the subdivision prior to submission of a Final Plat. *Comments: The applicants have updated the Final Plat and Final Construction Plans with the correct street names as directed by City staff. This condition has been met.*

- 16) Lots 1-6, Block 10 and Lots 1-5 and 11-12, Block 9 shall not be platted until the southern channel of Goose Lake is closed off from the lake, or the shoreland issue around the channel is resolved in some other manner that is acceptable to the DNR. *Comments: The applicants have received MN DNR approval to restore the southern shore of Goose Lake back to its original state, closing off the southern channel and Wetland G. This condition has been met, and the MN DNR permit is found in Attachment #11. The applicant shall be responsible for following all requirements and conditions of the DNR permit, including the 5-year invasive species monitoring (Condition #11).*

- 17) The applicant shall work to relocate segments of the northern buffer trail further to the south of the Stonegate subdivision wherever it is feasible as long as the trail does not encroach on any required wetland buffers. *Comments: The portion of the northern buffer trail to the south of Goose Lake has been moved further to the south across the restored shoreline. The trail has not been moved further south in any other locations on the updated preliminary plans, as the other segments of the trail directly abut required wetland buffers or must be located in locations to not impact stormwater management facilities or to maintain proper grade. In the judgment of staff, the applicants have reasonably met this condition.*

Staff is recommending that the conditions noted above that pertain to the Final Plat and that have not yet been addressed by the applicant should be adopted with the Final Plat. The City Engineer's review letter does identify several issues that need to be addressed by the developer in order for the City to deem the final plans complete. However, the majority of these concerns are related to the construction plans and should have limited bearing on the final plat. Staff is recommending that City Officials not sign the final plat mylars until the City's construction plan review is finalized and all necessary easements are documented on the Final Plat.

In addition to the items discussed above, it should be noted that the Fire Chief is requesting verification from the Minnesota Pollution Control Agency (MPCA) that the remediation activities completed by the applicant have correctly addressed a previous incident of soil contamination on the site. For the purpose of documentation, the applicants have provided the soil remediation report (Attachment #15) to document that the contamination has been properly addressed. In order to ensure procedural compliance, the Fire Chief is requesting that the applicants submit this information to the Voluntary Brownfield Program at the MPCA to document compliance (Condition #13). The Fire Chief's memo is found in Attachment #9.

Based on the above Staff report and analysis, Staff is recommending approval of the Final Plat with several conditions intended to address the outstanding issues noted above and to further clarify the City's expectations in order for the developer to proceed with the recording of the Final Plat.

The recommended conditions are as follows:

Recommended Conditions of Approval:

- 1) Final grading, drainage, and erosion control plans, utility plans, sanitary and storm water management plans, and street and utility construction plans shall be reviewed and approved by the City Engineer prior to the recording of the Final Plat. All changes and modifications to the plans requested by the City Engineer in a memo dated 9/18/14 shall be incorporated into these documents before they are approved.
- 2) The developer shall provide evidence in a form satisfactory to the City Attorney that warrants it has fee interest in area included in the Hammes Estates Final Plat.
- 3) Prior to the execution of the Final Plat by City officials, the Developer shall enter into a Developer's Agreement acceptable to the City Attorney and approved by the City Council that delineates who is responsible for the design, construction, and payment of the required improvements with financial guarantees therefore.
- 4) All easements as requested by the City Engineer and Public Works Department shall be documented on the Final Plat prior to the execution of the Final Plat by City Officials.
- 5) A Common Interest Agreement concerning management of the common areas of Hammes Estates and establishing a homeowner's association shall be submitted in final form to the Community Development Director before a building permit may be issued for any structure within this subdivision. Said agreement shall comply with Minnesota Statutes 515B-103, and specifically the provisions concerning the transfer of control to the future property owners. The applicant shall also enter into a maintenance agreement with the City that clarifies the individuals or entities responsible for any landscaping installed in areas outside of land dedicated as public park and open space on the Final Plat.
- 6) The applicant shall provide fees in lieu of land dedication for 2.1 acres of land to fulfill the City's parkland dedication requirements in a pro-rated amount for the Phase 1 Area or in an amount addressing the total site.
- 7) The Final Landscape Plan shall be revised per the requested modifications of the City Landscape Consultant, documented in a memo dated 9/18/14. Final Landscape Plans shall be approved prior to the release of Final Plat for recording.
- 8) The applicant shall provide evidence that all conditions attached to the Valley Branch Watershed District permit for the Final Plat and associated grading work have been met prior to the commencement of any final grading activity.
- 9) The applicant must provide written authorization to perform any work in the Electrical Transmission easement areas prior to the release of the Final Plat for recording.
- 10) The applicant shall provide evidence that Washington County has approved final construction plans for all required work within the Keats Avenue right-of-way as described in

a letter from the County dated May 6, 2013. Final Construction Plans provided to the City shall be updated to include the improvements approved by Washington County

- 11) The applicant shall abide by all conditions of the MN DNR Public Waters Work Permit dated 8/27/14.
- 12) The applicant must revise the Goose Lake Park Plan to provide greater separation between the public use area and the lift station maintenance area. The applicant will be responsible for all necessary watershed district permitting requirements related to the Goose Lake Park improvements.
- 13) Per the recommendation of the Fire Chief, the applicant must submit all documentation related to the mitigation of the soil contamination to the Minnesota Pollution Control Agency's Voluntary Brownfield Program for review and approval.
- 14) Prior to the acceptance of the public improvements for the 1st Phase of the Hammes Estates subdivision, all wetland buffers shall be delineated and identified via staking or signage that is acceptable to the City.

DRAFT FINDINGS

Staff is recommending that the Planning Commission consider the following findings with regards to the proposed Hammes Estates Final Plat:

- 1) That the Hammes Estates Final Plat is consistent with the Preliminary Plat and Plans as approved by the City of Lake Elmo on July 1, 2013 and revised on August 25, 2013.
- 2) That the Hammes Estates Final Plat is consistent with the Lake Elmo Comprehensive Plan and the Future Land Use Map for this area.
- 3) That the Hammes Estates Final Plat complies with the City's Urban Low Density Residential zoning district.
- 4) That the Hammes Estates Final Plat complies with all other applicable zoning requirements, including the City's landscaping, storm water, sediment and erosion control and other ordinances, except as noted in this report or attachment thereof.
- 5) That the Hammes Estates Final Plat complies with the City's subdivision ordinance.
- 6) That the Hammes Estates Final Plat is consistent with the City's engineering standards with the exceptions noted by the City Engineer in his review comments to the City dated September 18, 2014.

RECCOMENDATION:

Staff recommends that the Planning Commission recommend approval of the Final Plat for Hammes Estates with the 14 conditions of approval as listed in the Staff report. Suggested motion:

“Move to recommend approval of the Hammes Estates Final Plat with the 14 conditions of approval based on the findings of fact listed in the Staff Report.”

ATTACHMENTS:

1. Application Form
2. Preliminary Plat Response (Westwood Engineering)
3. Final Plat (3 sheets)
4. Final Construction Plans (Sanitary Sewer, Water Main, Storm Sewer and Streets – 17 sheets)
5. Final Construction Plans (Grading, Drainage and Erosion Control – 14 sheets)
6. Final Landscape Plans (4 sheets)
7. Park Location Plan
8. City Engineer Review Memorandum, dated 9/18/14
9. Fire Chief Review Memorandum, dated 9/18/14
10. Landscape Consultant Review Memorandums, dated 8/25/14 and 9/18/14
11. Valley Branch Watershed District Permit
12. MN DNR Permit to Restore Southern Shore of Goose Lake
13. Excerpt of Park Commission Minutes from 7/21/14 Meeting.
14. Goose Lake Park Area Sketch
15. Soil Contamination Remediation Report

NOT INCLUDED BUT AVAILABLE BY REQUEST:

1. Updated Preliminary Plans

ORDER OF BUSINESS:

- IntroductionPlanning Staff
- Report by StaffPlanning Staff
- Questions from the Commission Chair & Commission Members
- Discussion by the Commission Chair & Commission Members
- Action by the Commission Chair & Commission Members

**HAMMES WEST, LLC
36 MOONLIGHT BAY
STILLWATER, MN 55082**

September 30, 2014

Mr. Nick Johnson
City of Lake Elmo
njohnson@lakeelmo.org

Re: City of Lake Elmo Requirements

Dear Nick:

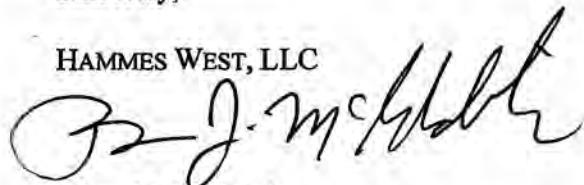
We are requesting that Condition No. 13 of the Planning Commission recommendation be amended to state the following:

“Per the recommendation of the Fire Chief, the applicant must submit all documentation related to the mitigation of the soil contamination to the Minnesota Pollution Control Agency’s Voluntary Brownfield Program for review and approval prior to the issuance of building permits for lots affected by the soil contamination, if any.”

Thank you.

Sincerely,

HAMMES WEST, LLC



Brian McGoldrick
Managing Member

Date Received: _____
Received By: _____
LU File #: _____



651-747-3900
3800 Laverne Avenue North
Lake Elmo, MN 55042

FINAL PLAT APPLICATION

Applicant: Hammes West L.L.C.
Address: 36 Moonlight Bay Stillwater, MN 55082
Phone #: 651-439-3636
Email Address: brian.j.mccordick@hotmail.com

Fee Owner: _____
Address: _____
Phone #: _____
Email Address: _____

Property Location (Address and Complete (long) Legal Description):
South 1/2 of The Northeast Quarter, Section 34
Township 29, Range 21, except the east 60 feet of The
North 967 feet, and except The Parcel 3 of Washington County
highway right of way 49-19B Washington County, MN.

General information of proposed subdivision: _____

In signing this application, I hereby acknowledge that I have read and fully understand the applicable provisions of the Zoning Ordinance and current administrative procedures. I further acknowledge the fee explanation as outlined in the application procedures and hereby agree to pay all statements received from the City pertaining to additional application expense.

Signature of applicant: B. J. McCordick Date: 8/29/14

Fee Owner Signature _____ Date: _____



Lake Elmo City Hall
651-747-3900
3800 Laverne Avenue North
Lake Elmo, MN 55042

AFFIRMATION OF SUFFICIENT INTEREST

I hereby affirm that I am the fee title owner of the below described property or that I have written authorization from the owner to pursue the described action.

Name of applicant BRIAN MCGoldrick HAMMES WEST LLC
(Please Print)

Street address/legal description of subject property _____

[Signature] _____
Signature Date

If you are not the fee owner, attach another copy of this form which has been completed by the fee owner or a copy of your authorization to pursue this action.

If a corporation is fee title holder, attach a copy of the resolution of the Board of Directors authorizing this action.

If a joint venture or partnership is the fee owner, attach a copy of agreement authorizing this action on behalf of the joint venture or partnership.

AFFIRMATION OF SUFFICIENT INTEREST

The following owners hereby affirm that they are the fee title owners of the below described property and authorize Hammes West, LLC to proceed with the final plat of the property.

Legal Description:

South 1/2 of the Northeast Quarter, Section 34, Township 29, Range 21, except the East 60 feet of the North 967 feet, and except Parcel 3 of Washington County Highway Right of Way Plat 49-19B, Washington County, Minnesota

Date: _____

Dorothy Lyons, by Linda Papillon,
Conservator/Guardian

Date: 9/16/14

Eleanor Hammes

Leo Hammes,
by Eleanor Hammes, Attorney in Fact

Date: 9/16/14

Eleanor Hammes

Margot Hammes
by Eleanor Hammes, Attorney in Fact

Date: 9/16/14

Edward D. Kuhlman

Estate of Earl Hammes
By Edward Kuhlman, Personal Representative

Date: 9/16/14

Eleanor Hammes

Eleanor Hammes

**FEE OWNER CONSENT
TO
DEVELOPMENT CONTRACT**

Dorothy Lyons, Leo Hammes and Margot Hammes, husband and wife, the Estate of Earl Hammes, Eleanor Hammes and Hammes West, LLC, fee owners of all or part of the subject property, the development of which is governed by the foregoing Development Contract, affirm and consent to the provisions thereof and agree to be bound by the provisions as the same may apply to that portion of the subject property owned by them.

Date: _____

Dorothy Lyons, by Linda Papillon,
Conservator/Guardian

Date: 9/16/14

Eleanor Hammes

Leo Hammes,
by Eleanor Hammes, Attorney in Fact

Date: 9/16/14

Eleanor Hammes

Margot Hammes
by Eleanor Hammes, Attorney in Fact

Date: 9/16/14

Edward R. Kuhlman

Estate of Earl Hammes
By Edward Kuhlman, Personal Representative

Date: 9/16/14

Eleanor Hammes

Eleanor Hammes



7699 Anagram Drive
Eden Prairie, MN 55344

PHONE 952-937-5150
FAX 952-937-5822
TOLL FREE 888-937-5150

www.westwoodps.com

August 28, 2014

Nick Johnson
City of Lake Elmo
3800 Laverne Avenue North
Lake Elmo, MN 55042

**Re: Hammes Property
Residential Subdivision, Lake Elmo, MN
Westwood No. 0002905.01**

Dear Mr. Johnson:

Westwood has completed revisions to the preliminary plat set and created final plans for this project. Modifications were made to the plans per your previous review comments. Attached are full-size copies for your review. For the majority of the items, Westwood has completed the revisions and included them on the appropriate sheets.

In order to facilitate your review, we have included your previous comments below, along with explanations on how these comments were addressed within the plan set;

Conditions of Approval

1. Within six months of preliminary plat approval, the applicant shall complete the following;
 - a. The applicant shall provide adequate title evidence satisfactory to the city Attorney.
This item would be sent to the city from the developer directly.
 - b. The applicant shall submit a revised Preliminary Plat and plans meeting all conditions of approval. All of the above conditions shall be met prior to the city accepting an application for Final Plat and prior to the commencement of any grading activity on the site. *Attached are the revised preliminary plat and plans.*
2. The City Engineer shall review and approve all revised Preliminary plans that are submitted to the City in advance of Final Plat to satisfy Condition #1. *Attached are the preliminary plat plans for the city engineer to review. In lieu of preliminary grading plans, we have completed final grading plans for the entire site.*
3. The Preliminary Plat approval is conditioned upon the applicant meeting all minimum City standards and design requirements. *Westwood has completed plan revisions with this in mind.*
4. All required modifications to the plans as requested by the City Engineer in a review letter dated June 16, 2014 shall be incorporated into the plans prior to consideration of the Final Plat. *See attached revised plans, and responses to the city engineer comments.*

5. Prior to acceptance of the public improvements for the Hammes Estates plat, all wetland buffers shall be delineated and identified via staking or signage that is acceptable to the city. *Comment noted.*
6. The Landscape plan shall be updated per the recommendations of the City landscape consultant in a review memo dated 5/7/14. *The attached revised preliminary landscape plan has been revised per these comments.*
7. The applicant shall be responsible for the construction of all improvements within the Keats Avenue right-of-way as required by Washington County. *Understood. We are coordinating with the county on plans for these improvements.*
8. The developer shall follow all of the rules and regulations spelled out in the Wetland Conservation Act, and shall acquire the needed permits from Valley Branch watershed district prior to commencement of any grading or development activity on the site. *Comment noted. We have received a conditional approval from the watershed earlier this month.*
9. Landscape islands shall be platted as a part of the ROW and shall be maintained by the Home Owner's Association. The applicant shall enter into a maintenance agreement with the city. *This item will require further discussion between the developer and the city. It is my understanding that a draft of the developer's agreement is being submitted. We would anticipate that this item would be included as a part of this agreement.*
10. With an eligible parkland dedication of 5.7 acres provided, the applicant is responsible to pay a fee in lieu of land dedication for the equal market value amount of 2.1 acres of land at the time of the Final Developers Agreement. The city will work with the developer to clarify any and all park fee payments at the time of the Final Developers Agreement. *Comment noted.*
11. No more than 100 units may be approved as a part of a final plat until a secondary access is provided to the subdivision via a connection to 5th Street through the Savona subdivision. *The proposed final plat has less than 100 lots as a part of the first addition. Future final plats will be prepared with this comment in mind.*
12. For trails located in any wetland buffer, the applicant must present a suitable design or material that is acceptable to the city and valley branch watershed district. *The proposed trail within a wetland buffer has been conditionally approved from the watershed as a boardwalk. We will submit these designs to the city for final approval.*
13. The applicant must enter into a separate grading agreement with the city prior to the commencement of any grading activity in advance of the final plat and plan approval. The city engineer shall review any grading plan that is submitted in advance of the final plat, and said plan shall document extent of any proposed grading on the site. *Attached is the final grading plan for the city engineer to review. Site grading has been completed onsite as a part of the reclamation work to correct for the mining activity that had taken place previously.*
14. The applicant must incorporate a play structure into the proposed park at Goose Lake per the request of the Lake Elmo Park Commission. Furthermore, the applicant must submit an updated design of the park property that meets City approval in advance of the final plat. *Per recent discussions with the city, a play structure is not currently shown on the Goose Lake park. Additional grading design has been completed within this area for review.*
15. The applicant shall work with the Planning staff to name all the streets in the subdivision prior to submission of the final plat. *Streets have now been named for the project as requested.*
16. Lots 1-6, Block 10 and Lots 1-5, and 11-12, Block 9 shall not be platted until the southern channel of Goose Lake is closed off from the lake, or the shoreland issue around the channel is

resolved in some other manner that is acceptable to the DNR. *We recently received a DNR permit for this project, so these lots are now included as a part of the final plat.*

17. The applicant shall work to relocate segments of the northern buffer trail further to the south of the Stonegate subdivision wherever feasible as long as the trail does not encroach on any required wetland buffers. *Some trail modifications have been made; we would encourage the city to review to determine if additional changes to the trail alignment are necessary.*

City Engineering Comments

Utility Plans and Easements

1. A 12" watermain stub should be extended east along street 1 to the intersection and County ROW of Keats Avenue for future extension to the east site of CSAH 19. *Comment noted. Upon review, this change did not make it into the submitted plans, but subsequent plan revisions will include this 12" watermain stub from the intersection to the county road.*
2. The 8" watermain line from the Street 8 cul-de-sac to the Street 9 cul-de-sac passes directly under infiltration basin 1 and does not maintain the state required 10-foot offset from storm sewer pipe. An alternate alignment or connection will need to be determined as a part of the final plans. *Comment noted. Preliminary plans still show this same alignment, however we will work with the city to adjust this when final plans are completed for this area.*
3. The sanitary sewer segment along the east side of lot 6, block 6 needs to move further to the east to maintain additional offset from the lot 6 property line. *We request additional direction from the city on this item; we have dedicated a 40' easement in this area, but we have sanitary line, a trail and a storm line in this location. We can shift the sewer line to the location within this easement as desired by the city,*
4. Additional plan information is needed to evaluate the impacts to the city's sewer, forcemain and lift station infrastructure by the proposed park improvements. *Please see the final grading and utility plans to further evaluate any impacts to the city's infrastructure.*
5. A few additional easements are required. *Now that some of the stormwater system has significantly changed, and the final plat has been prepared, I believe the previously discussed easement changes should be reviewed.*

Storm Sewer

1. The storm sewer or grading plans must be revised to provide the City Standard minimum pipe cover of 3.5 feet. *Comment noted. Final storm sewer design has been completed for phase 1 with this in mind.*
2. Drain tile is required as a part of the City Standard street section at all localized low points in the street. *Comment noted. The majority of the site drains to the northeast, so there are not many low points on the project. Where we do have low points, draintile was added.*

CSAH 19 (Keats Avenue) Improvements

1. Written documentation is required to demonstrate Washington County approval for the proposed access to Keats Avenue together with any county requirements. Turn lane, bypass lane and other improvements on CSAH 19 as required by Washington County must be identified and incorporated on the plans. *Comment noted. We are currently working with the county on this item. Additional plan revisions and correspondences with them will be required.*

August 28, 2014

Page 4

2. Street 1 improvements must extend into the County Road R/W and connect to CSAH 19 including turning radii and drainage provisions. *Comment noted. Plans now show the road connecting to Keats Avenue.*

Wetlands and Wetland Buffers

1. VBWD requires a minimum 25-foot Buffer when buffer averaging is used. In addition, the VBWD does not allow impervious surfaces to be placed on wetlands or wetland buffers. *Comment noted. The buffers and the site have been adjusted to comply. The trail within the buffer is designed as a boardwalk.*
2. The wetland buffer for Wetland G encroaches over the proposed trail between lot 6, block 10 and lot 12, block 9. *Wetland G is now changed significantly due to the berm design at Goose Lake.*

Grading and Stormwater Management


Significant changes have been made to the plan in order to obtain a conditional approval from the watershed. I would request that the city review the final grading plan, and the updated stormwater management calculations to reevaluate the previous comments. We no longer have two infiltration basins at the entrance, so we believe that the plan has been improved from the previous design.

Since so much has changed, we wanted to get the plans into your hands so that review could start as soon as possible. We understand that there is a lot of information to digest, and that there still are additional items to finalize as listed above, but we request that the city initiate the final plat review process so we can attempt to start work on initial phase yet this fall.

Please review our attached materials, and give me a call with any questions you may have. I will follow up in the next week or so to schedule a meeting to review the attached submittal.

Sincerely,

WESTWOOD PROFESSIONAL SERVICES



Ryan Bluhm, PE

cc. Brian McGoldrick, Hammes West LLC

HAMMES ESTATES

KNOW ALL PERSONS BY THESE PRESENTS that Hammes West, LLC, a series limited liability trust, for and on behalf of the following described property located in the County of Washington, State of Minnesota, to wit:

The part of the South lot of the Northwest Quarter of Section 14, Township 20 North, Range 21 West, Washington County, Minnesota, EXCEPT the East 50.00 feet of the North 96.7 feet of the North half of the Northwest Quarter hereof AND EXCEPT Parcel 3 of Washington County Highway Right of Way Plat 48-198, recorded September 16, 1992 as Document Number 492530.

has caused the same to be surveyed and plotted on **HAMMES ESTATES** and does hereby donate and dedicate to the public for public use and for public works, as shown on the plat and also dedicate the easements as created by this plat for drainage and utility purposes.

As witness whereof, Hammes West, LLC, a series limited liability trust, has caused these presents to be signed by its proper officers this _____ day of _____, 20____.

HAMMES WEST, LLC

By _____
Its _____

STATE OF MINNESOTA
County of _____
Its _____ day of _____, 20____, by _____
Its _____ day of _____, 20____, by _____

Notary Public, _____ County, Minnesota
My Commission Expires _____

I hereby certify that I have surveyed and plotted the survey and plotting of the property described on this plat on the basis of the following data: _____
boundary survey, that all mathematical data and values are correctly designated on the plat, that all monuments depicted on the plat have been or will be correctly set within one year as indicated on the plat, that all water boundaries and wetlands as defined in Minn. Stat. _____ are shown and depicted on the plat, and that the public use and dedication are shown and depicted on the plat.

Dated this _____ day of _____, 20____.
Craig W. Morris, Licensed Land Surveyor
Minnesota License No. 23021

STATE OF MINNESOTA
County of _____
I hereby certify that this instrument was filed in the office of the County Recorder for record on this _____ day of _____, 20____, at _____, Minn., and was duly recorded in Washington County Records.

Notary Public, _____ County, Minnesota
My Commission Expires _____

CITY PLANNING COMMISSION
Approved by the Planning Commission of the City of Lake Park, Minnesota, at a regular meeting thereof, on the _____ day of _____, 20____.

By _____
Secretary

CITY OF LAKE PARK, MINNESOTA
City Council of the City of Lake Park, Minnesota this _____ day of _____, 20____, and hereby certifies compliance with all requirements set forth in Minnesota Statutes, Section 505.02, Subdivision 2.

By _____
Mayor

COUNTY SURVEYOR
Pursuant to Chapter 502, Laws of Minnesota, 1927, and in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been received and approved this _____ day of _____, 20____.

By _____
Washington County Surveyor

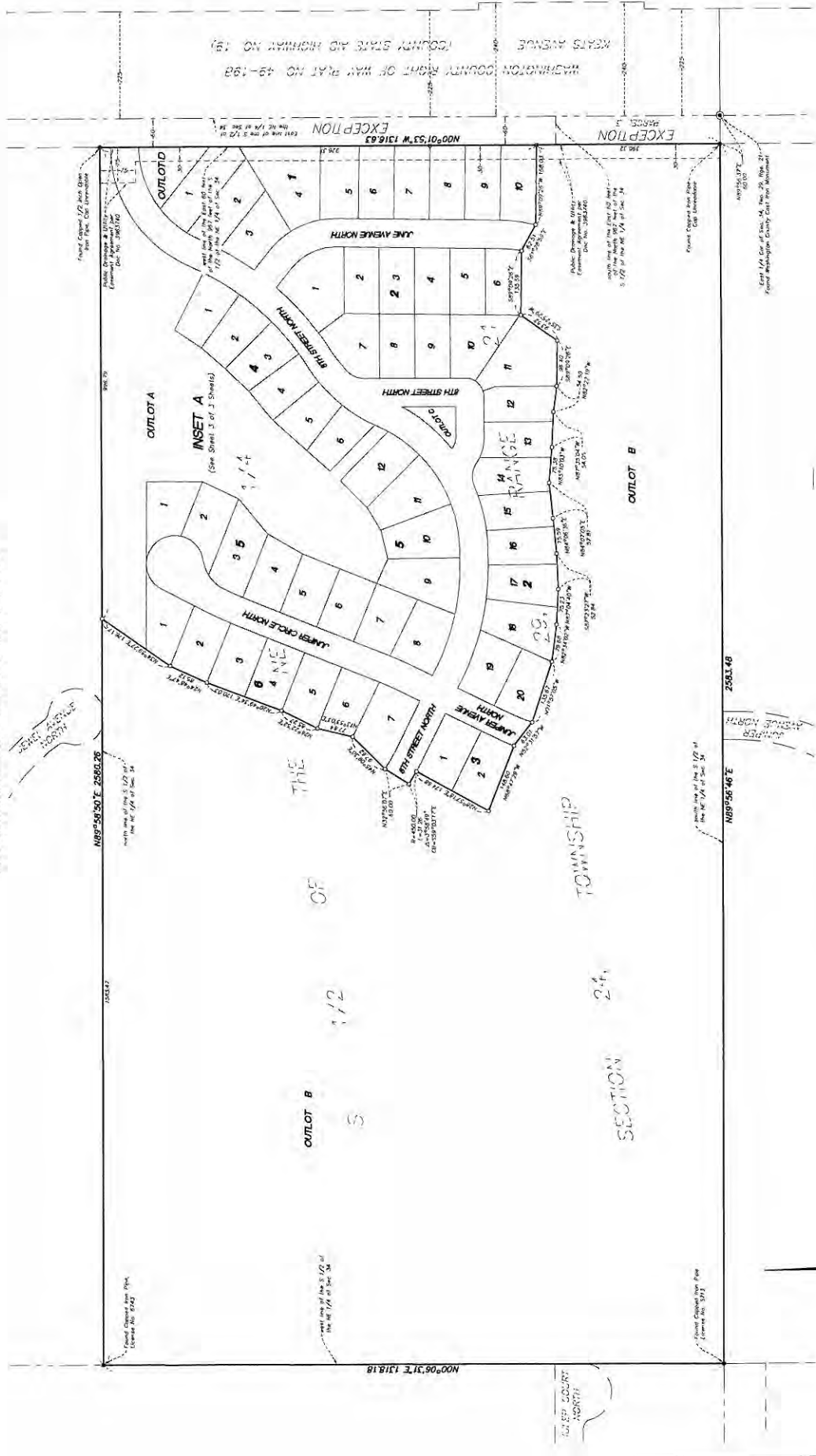
COUNTY AUDITOR/TREASURER
I hereby certify that the amount of \$ _____, being _____, as the total amount of the bond described hereon, has been paid. Also pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and penalties entered this _____ day of _____, 20____.

By _____
Washington County Auditor/Treasurer

COUNTY RECORDER
I hereby certify that this instrument was filed in the office of the County Recorder for record on this _____ day of _____, 20____, at _____, Minn., and was duly recorded in Washington County Records.

By _____
Washington County Recorder

HAMMES ESTATES



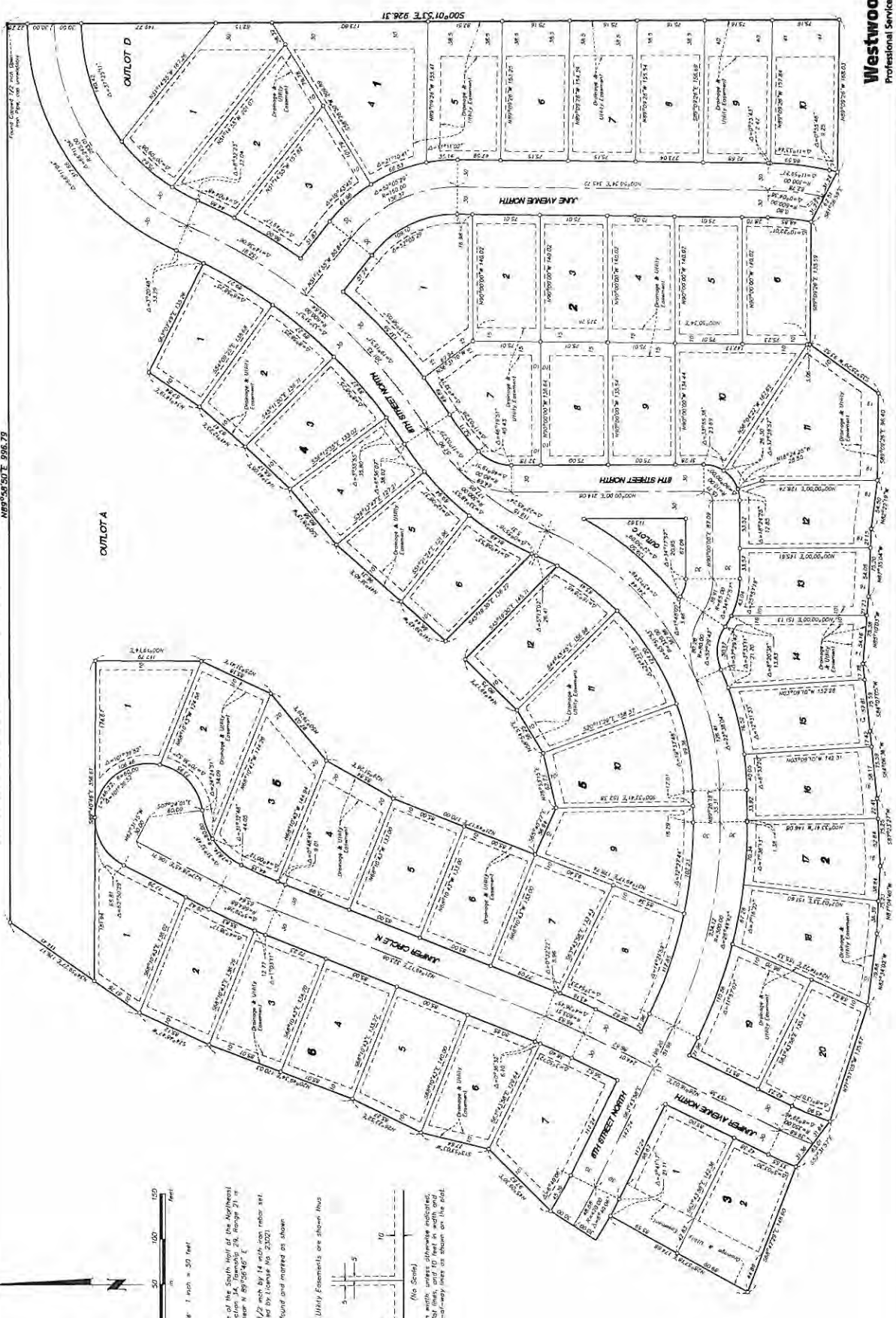
The south line of the South Half of the Northwest Quarter of Section 24, Township 25S, Range 21W is shown in red in order to distinguish it from the north-south line of the 1/2 section. The north-south line of the 1/2 section is shown in black.



Scale 1 inch = 100 feet

HAMMES ESTATES

N89°55'50"E 996.79'

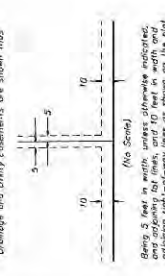


The south line of the South Half of the Northeast Quarter of Section 16, Township 21 N, Range 21 W, is assumed to bear N 89°55'45" E, 996.79' ±.

• Damages 1/2 inch by 1/4 inch and marked as follows: see.

• Damages found and marked as shown.

Damages and Utility Easements are shown. Thus



Construction Plans

for
**Sanitary Sewer, Water Main, Storm Sewer
 and Streets**

for
**Hammes Property
 Lake Elmo, Minnesota**

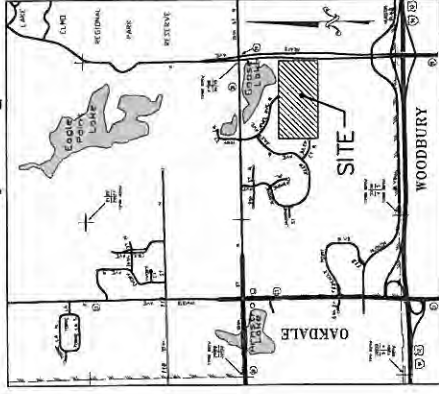
Prepared for:
**Ryland Homes
 7599 Anagram Drive
 Eden Prairie, Minnesota 55344
 Contact: Mark Sonstegard
 Phone: 952-229-6000
 Fax: 952-229-6024**

Prepared by:

Westwood
 Project number: 0002905.00
 Contact: Ryan M. Blum

Westwood Professional Services, Inc.
 Eden Prairie, MN 55424
 PHONE: 952-237-5100
 FAX: 952-237-5100
 WWW.WESTWOODPS.COM

Vicinity Map



(Not to Scale)

NO.	DATE	REVISION	SHEETS
1	09/03/14	WATER MAIN REVISION	ALL

Sheet Number	Sheet Title
1	Cover
2	Overall
3	Sanitary Sewer And Water Main Construction Plan
4	Sanitary Sewer And Water Main Construction Plan
5	Sanitary Sewer And Water Main Construction Plan
6	Sanitary Sewer And Water Main Construction Plan
7	Storm Sewer And Street Construction Plan
8	Storm Sewer And Street Construction Plan
9	Storm Sewer And Street Construction Plan
10	Storm Sewer And Street Construction Plan
11	Storm Sewer And Street Construction Plan
12	Storm Sewer And Street Construction Plan
13	Storm Sewer And Street Construction Plan
14	Details
15	Details
16	Details
17	Keats Avenue Improvements Plan

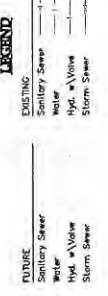
Construction Plans
 for
**Sanitary Sewer, Water Main, Storm Sewer
 and Streets**
 for
**Hammes Property
 Lake Elmo, Minnesota**

Date: 08/27/14 Sheet: 1 of 17



STORM SEWER CASTING SCHEDULE		
NUMBER	STRUCTURE	CASTING TYPE
51	OS	SEE DETAIL
52	FES	SEE DETAIL
53	FES	SEE DETAIL
54	FES	SEE DETAIL
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SEE DETAIL SHEET 15
 SEE DETAIL SHEET 15
 SEE DETAIL SHEET 15



Latest Revision Date: 09/07/14
 Date: 08/27/14
 Sheet: 2 of 17

Hammes Property
 Lake Elmo, Minnesota

Ryland Homes
 7700 Abbott Drive
 Eden Prairie, Minnesota 55344

Prepared for:

Client:	DL
Design:	DM
Record Drawing:	RYL

Drawn by: [Signature]
 Date: 09/07/14
 Client No.: 4237

Westwood Professional Services, Inc.
 10000 Lyndale Ave. S.
 Minneapolis, MN 55425
 Phone: 763-440-1000
 Fax: 763-440-1001
 Website: www.westwoodpro.com

Westwood
 10000 Lyndale Ave. S.
 Minneapolis, MN 55425
 Phone: 763-440-1000
 Fax: 763-440-1001
 Website: www.westwoodpro.com

GENERAL NOTES:
 011 or CONSTRUCTION.COM
 Common Ground Alliance
 SANITARY SEWER SERVICE
 MARKED END OF STUDY

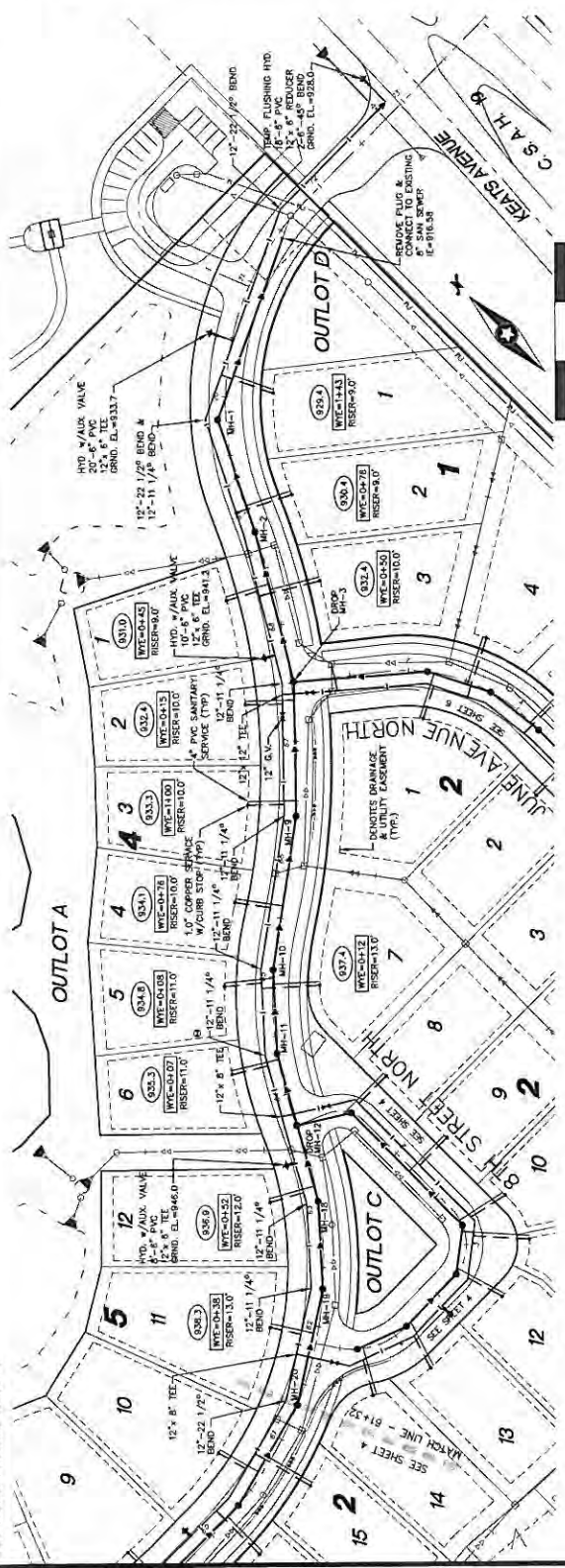
000X
 SANITARY SEWER SERVICE WTE
 LOCATED ON MANHOLE FROM
 DOWN STREAM M.H.

SANITARY SEWER NOTES:

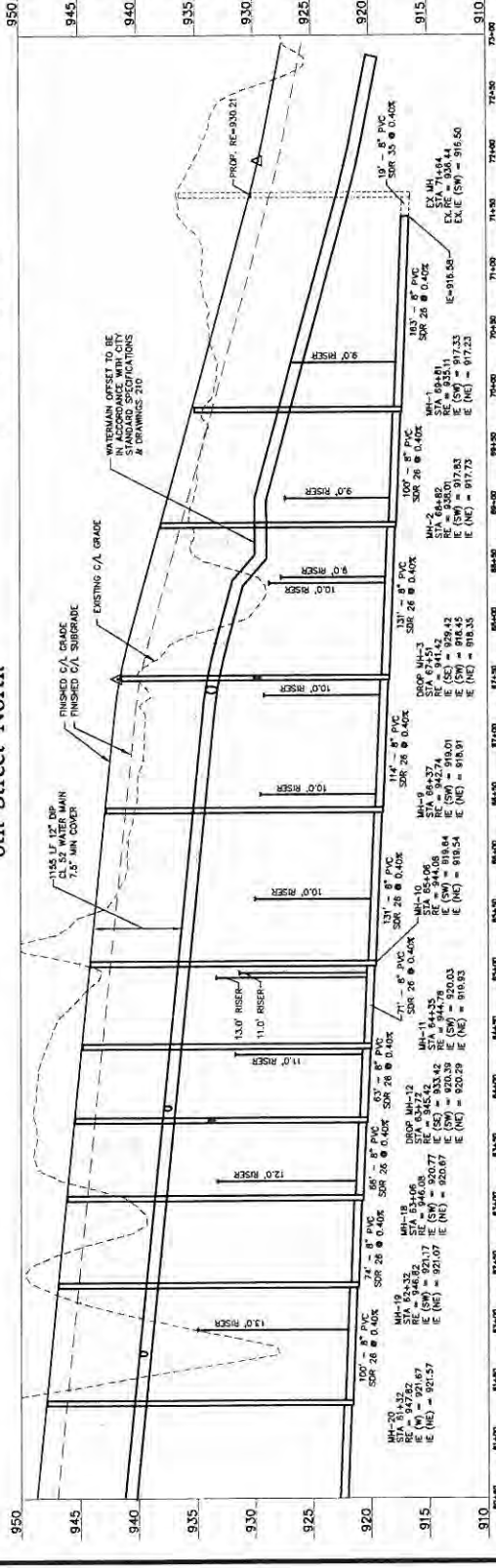
1. ALL SANITARY SEWER AND ACCESSORIES MUST BE 15' MIN. COVER UNLESS OTHERWISE NOTED.
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WATER MAIN NOTES:

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15. ALL WATER MAIN AND ACCESSORIES MUST BE 15' MIN. COVER UNLESS OTHERWISE NOTED.



8th Street North



Latest Revision Date: 09/07/14
 08/27/14 Issue: 3 of 17

Hammes Property
 Lake Elmo, Minnesota

Ryland Homes
 7909 Argosian Drive
 Eden Prairie, Minnesota 55344

Prepared for:

Client:	CU
Design:	CU
Check:	CU
Drawn:	CU
Field Drawing Number:	

Station:	7950.00	7955.00	7960.00	7965.00	7970.00	7975.00	7980.00	7985.00	7990.00	7995.00	8000.00	8005.00	8010.00	8015.00	8020.00	8025.00	8030.00	8035.00	8040.00	8045.00	8050.00	
Manhole:																						
Water Main:																						
Sanitary Sewer:																						

Westwood Professional Services, Inc.
 15000 Westwood Blvd.
 Suite 200
 Westwood, MN 55125
 Phone: (763) 439-1100
 Fax: (763) 439-1101
 Email: info@westwoodps.com
 License No. 0125274 License No. 42287



Call 48 hours before digging.
811 or call811.com
 Common Ground Alliance

GENERAL NOTES:
 (XXX) DENOTES SANITARY SEWER SERVICE
 (XXX) DENOTES SANITARY SEWER SERVICE W/TE
 (XXX) DOWN STREAM W/1"

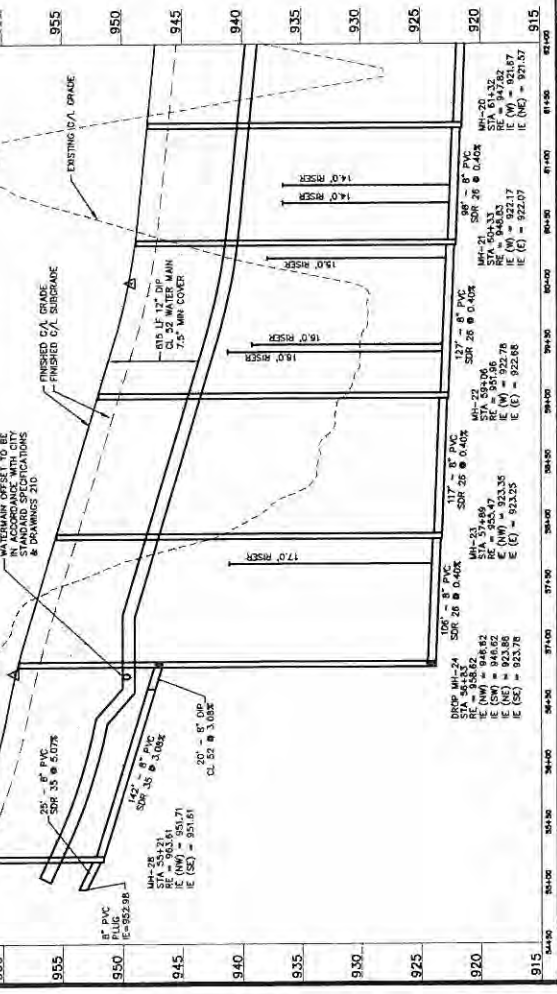
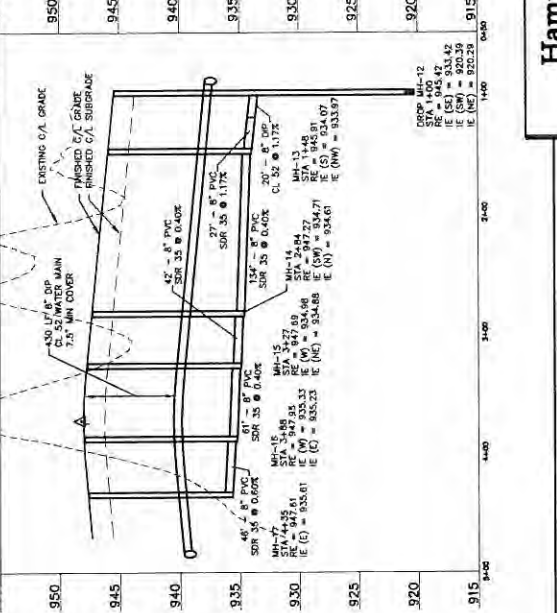
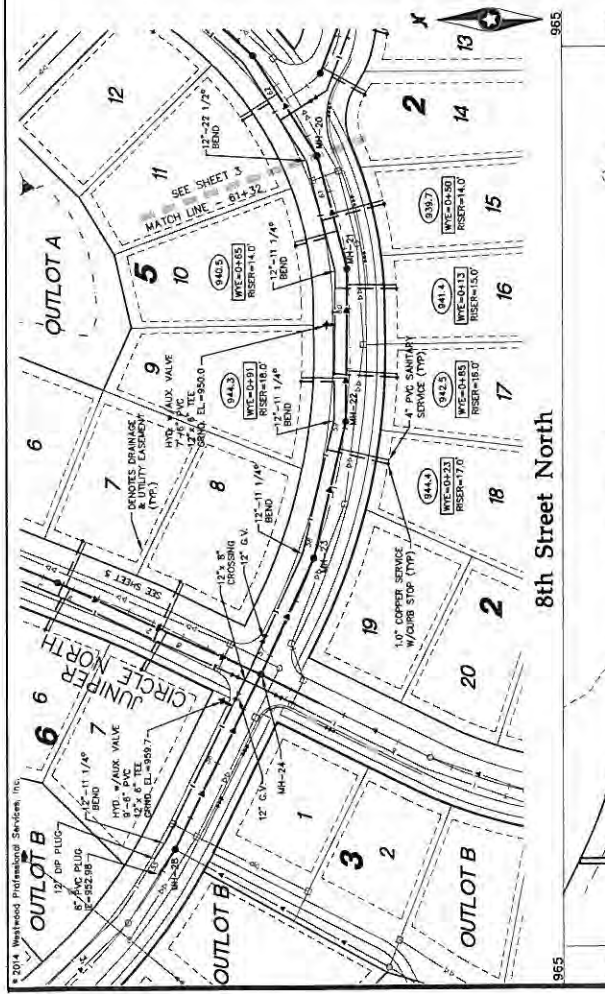
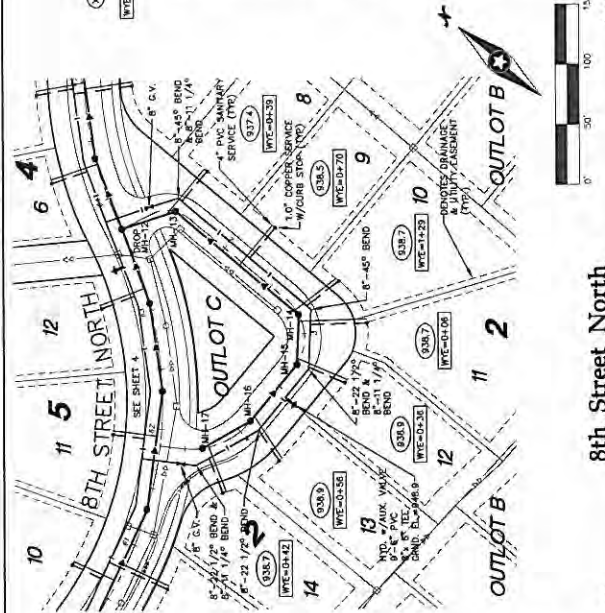
- SANITARY SEWER NOTES:**
1. ALL SANITARY SEWERS AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE SHAWANO SPECIFICATIONS AND DETAILS.
 2. ALL STANDARD SPECIFICATIONS AND DETAILS SHALL BE ACCORDING TO CITY STANDARD DRAWING TO GRADULAR MATERIAL BEDDING METHOD (FOR PVC SANITARY SEWER).
 3. UNLESS NOTED OTHERWISE, ALL SMOOTH WALLED 12" DIA. SANITARY SEWER SHALL BE 12" H-NCH PVC.
 4. ALL SANITARY SEWER SERVICES SHALL BE 12" H-NCH PVC.
 5. SMOOTH WALLED PVC PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF ASTM D-3034 FOR THE SIZE, TYPE, AND FITTINGS.
 6. JOINTS OF MANHOLE RISER SECTIONS SHALL BE TORQUE TO THE REQUIREMENTS OF THE MANHOLE JOINTS PROVIDED ON ALL SANITARY SEWER MANHOLES.
 7. SANITARY SEWER INLET AND OUTLET PIPES SHALL BE 12" H-NCH PVC.
 8. WATERMAIN CONNECTION TO ALLOW DIFFERENTIAL SETTLEMENT OF THE POPE AND MANHOLE TO TAKE PLACE.
 9. A 12" O.D. TO 12" MANHOLE SECTION SHALL BE INSTALLED UNLESS OTHERWISE NOTED.
 10. ALL SERVICE LINE STUBS MUST HAVE A 2" X 2" WATERMAIN CONNECTION TO ALLOW DIFFERENTIAL SETTLEMENT OF THE POPE AND MANHOLE TO TAKE PLACE.
 11. UPON MAKING A CONNECTION TO AN EXISTING SANITARY SEWER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING FROM ENTERING THE EXISTING SEWER BY IMMEDIATELY INSULATING WATER TIGHT PLUGS AS NEEDED IN THE EXISTING MANHOLE.

- WATER MAIN NOTES:**
1. ALL WATERMAIN AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE SHAWANO SPECIFICATIONS AND DETAILS.
 2. ALL STANDARD SPECIFICATIONS AND DETAILS SHALL BE ACCORDING TO CITY STANDARD DRAWING TO GRADULAR MATERIAL BEDDING METHOD (FOR PVC SANITARY SEWER).
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DATE: 08/27/14
 LATEST REVISION DATE: 08/27/14
 SHEET: 4 OF 17

Hammes Property
 Lake Elgin, Minnesota

Ryland Homes
 7999 Annapolis Dr.
 Eden Prairie, Minnesota 55344



Prepared for:

Client:	_____
Checked:	_____
Drawn:	_____
Revised/Drawn by:	_____

Scale: 1" = 10'-0"

Notes: 1. All work shall be in accordance with the City of Lake Shawano Specifications and Details.

Drawn by: _____
 Date: 08/27/14

Checked by: _____
 Date: _____

Drawn by: _____
 Date: _____

Checked by: _____
 Date: _____



Call 48 Hours before digging
911 or call811.com
 Common Ground Alliance

GENERAL NOTES:
 (XXX) DENOTES SANITARY SEWER SERVICE W/ E INVERT @ END OF STUD.
 (XXX) DENOTES SANITARY SEWER SERVICE W/ E DOWN STREAM M.I.L.

SANITARY SEWER NOTES:

1. ALL SANITARY SEWER AND ACCESSORIES MUST BE INSTALLED IN ACCORDANCE WITH THE CITY OF LAKE COUNTY STANDARD SPECIFICATIONS AND DETAILS.
2. ALL SANITARY SEWER PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LAKE COUNTY MATERIAL BEDDING METHOD FOR PVC SANITARY SEWER PIPE.
3. SANITARY SEWER PVC PIPE AND FITTINGS SHALL BE SDR 35 WITH ELASTOMERIC GASKETS. MIN. 4-INCH PVC.
4. SOA 40 OR SOA 26 PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF ASTM D-3024 FOR THE SIZE, STANDARD DIMENSION RATIO (SDR), AND STRENGTH AND SPECIAL PROVISIONS ON THE PLANS, SPECIFICATIONS, AND SPECIAL PROVISIONS.
5. REINFORCED CONCRETE PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF ASTM C-900 FOR THE SIZE AND STRENGTH CLASSIFICATION. ALL FITTINGS SHALL BE TONGUE AND GROOVE WITH RUBBER GASKETS PROVIDED ON ALL JOINTS TO THE MANHOLE WITH A GASKETED ALDRIBLE SETTLEMENT OF THE PIPE AND MANHOLE TO TAKE PLACE.
6. UNDER THE CORNER SECTION SHALL BE INSTALLED ADJUSTMENT WHENEVER POSSIBLE.
7. HARDWOOD MARKER WITH METAL SPIKE RUNNING FROM THE SURFACE TO THE CONNECTION TO AN EXISTING SANITARY SEWER STUD OR MANHOLE. SET AND DEPTH SHALL BE IMMEDIATELY INCLUDING WATERBURY PLUGS AS NOTED IN THE EXISTING MANHOLE.
8. ALL WATERMAIN AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE COUNTY STANDARD SPECIFICATIONS AND DETAILS.
9. ONLY 8" OR LARGER REINFORCED IRON PIPE CLASS-52 SHALL BE USED FOR ALL WATERMAIN.
10. ALL FITTINGS SHALL COMPLY WITH CEAM SPEC. 2012.2.A.1.
11. ALL CONNECTIONS SHALL BE INSTALLED UTILIZING COR-BLUE NUTS AND BOLTS.
12. VALVES FOR ALL APPLICATIONS UP THROUGH 12" INCHES.
13. GATE VALVES SHALL BE USED FOR ALL APPLICATIONS GREATER THAN 12" INCHES.
14. VALVES MUST COMPLY WITH CEAM SPEC. 2012.2.C.2.
15. HYDRANTS SHALL BE INSTALLED 5.0 FEET BACK OF CURB AND 15 FEET FROM ALL VALVES AND HYDRANTS SHALL BE INSTALLED 5.0 FEET BACK OF CURB AND 15 FEET FROM ALL VALVES AND HYDRANTS SHALL BE APPROVED EQUAL FITTED WITH FN 800 SERIES FLEX (L) HOSE CONNECTIONS AND ONE 4" STORZ NOZZLE.
16. MINIMUM 1'-0" ADJUSTMENT RANGE AND SHALL EXTEND 6 INCHES ABOVE FINISHED GRADE FULLY EXTENDED TO WATER TO HOMES AND BUSINESSES WHOSE WATER PROJECT IS DISRUPTED DURING THE COURSE OF THE PROJECT UNLESS OTHERWISE NOTED.
17. ALL WATER SERVICES SHALL BE 1.0" TYPE K COPPER UNLESS OTHERWISE NOTED.

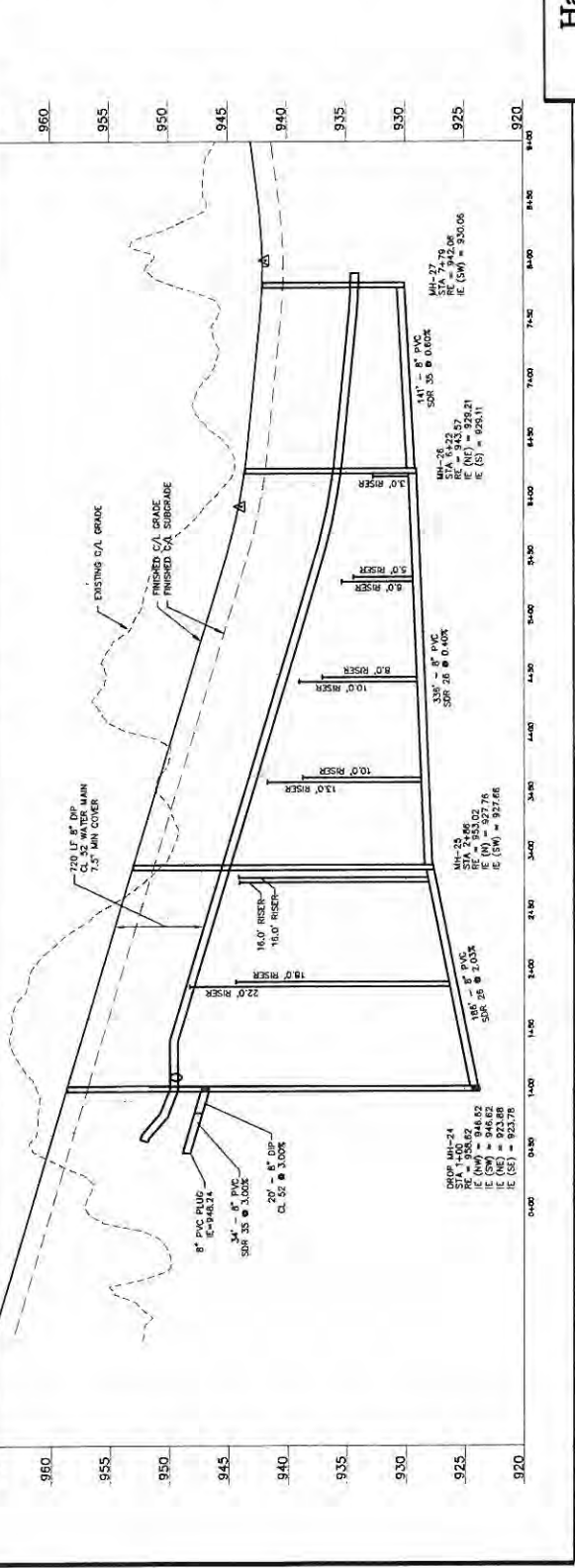
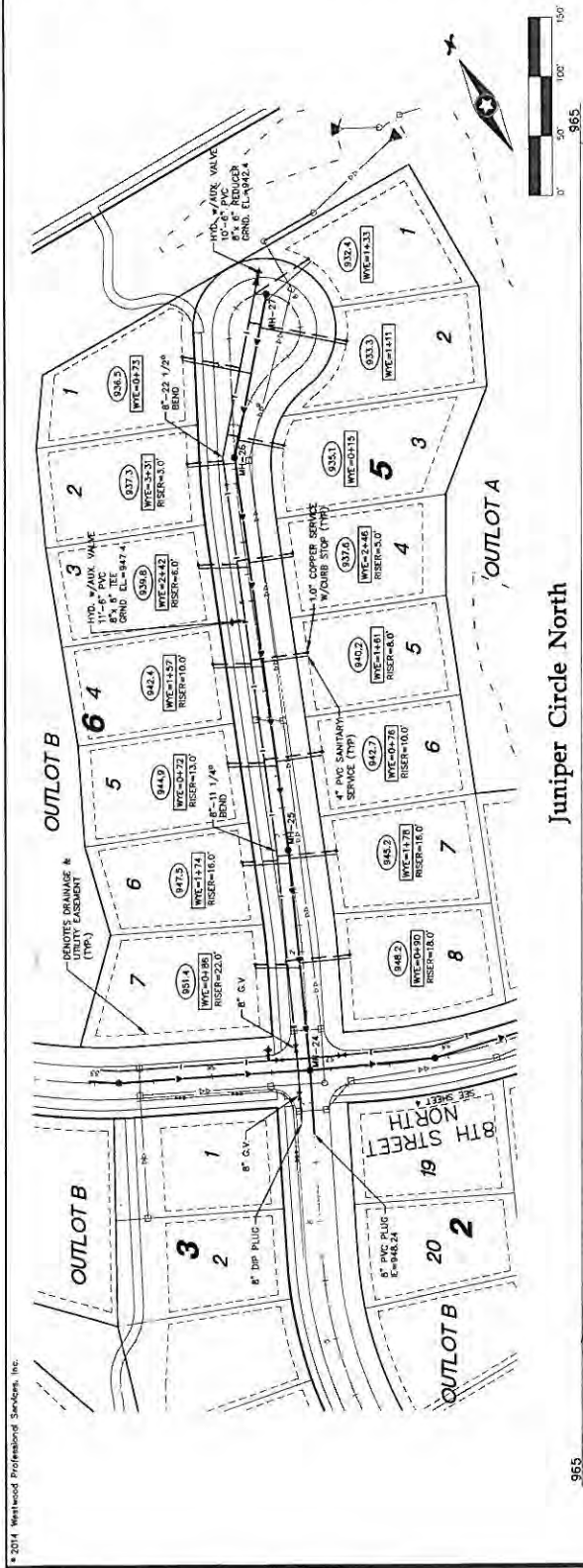
WATER MAIN NOTES:

1. ALL WATERMAIN AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE COUNTY STANDARD SPECIFICATIONS AND DETAILS.
2. ONLY 8" OR LARGER REINFORCED IRON PIPE CLASS-52 SHALL BE USED FOR ALL WATERMAIN.
3. ALL FITTINGS SHALL COMPLY WITH CEAM SPEC. 2012.2.A.1.
4. ALL CONNECTIONS SHALL BE INSTALLED UTILIZING COR-BLUE NUTS AND BOLTS.
5. VALVES FOR ALL APPLICATIONS UP THROUGH 12" INCHES.
6. GATE VALVES SHALL BE USED FOR ALL APPLICATIONS GREATER THAN 12" INCHES.
7. VALVES MUST COMPLY WITH CEAM SPEC. 2012.2.C.2.
8. HYDRANTS SHALL BE INSTALLED 5.0 FEET BACK OF CURB AND 15 FEET FROM ALL VALVES AND HYDRANTS SHALL BE APPROVED EQUAL FITTED WITH FN 800 SERIES FLEX (L) HOSE CONNECTIONS AND ONE 4" STORZ NOZZLE.
9. MINIMUM 1'-0" ADJUSTMENT RANGE AND SHALL EXTEND 6 INCHES ABOVE FINISHED GRADE FULLY EXTENDED TO WATER TO HOMES AND BUSINESSES WHOSE WATER PROJECT IS DISRUPTED DURING THE COURSE OF THE PROJECT UNLESS OTHERWISE NOTED.
10. ALL WATER SERVICES SHALL BE 1.0" TYPE K COPPER UNLESS OTHERWISE NOTED.

Latest Revision Date: 09/27/14
 Sheet: 5 of 17

Hammes Property
 Sanitary Sewer and Water Main Construction Plan
 Labor, Elmo, Minnesota

Ryland Homes
 8646 Prairie, Minnetonka, MN 55344



Prepared for:
 Client: Hammes Property
 Designer: [Signature]
 Date: 09/25/14

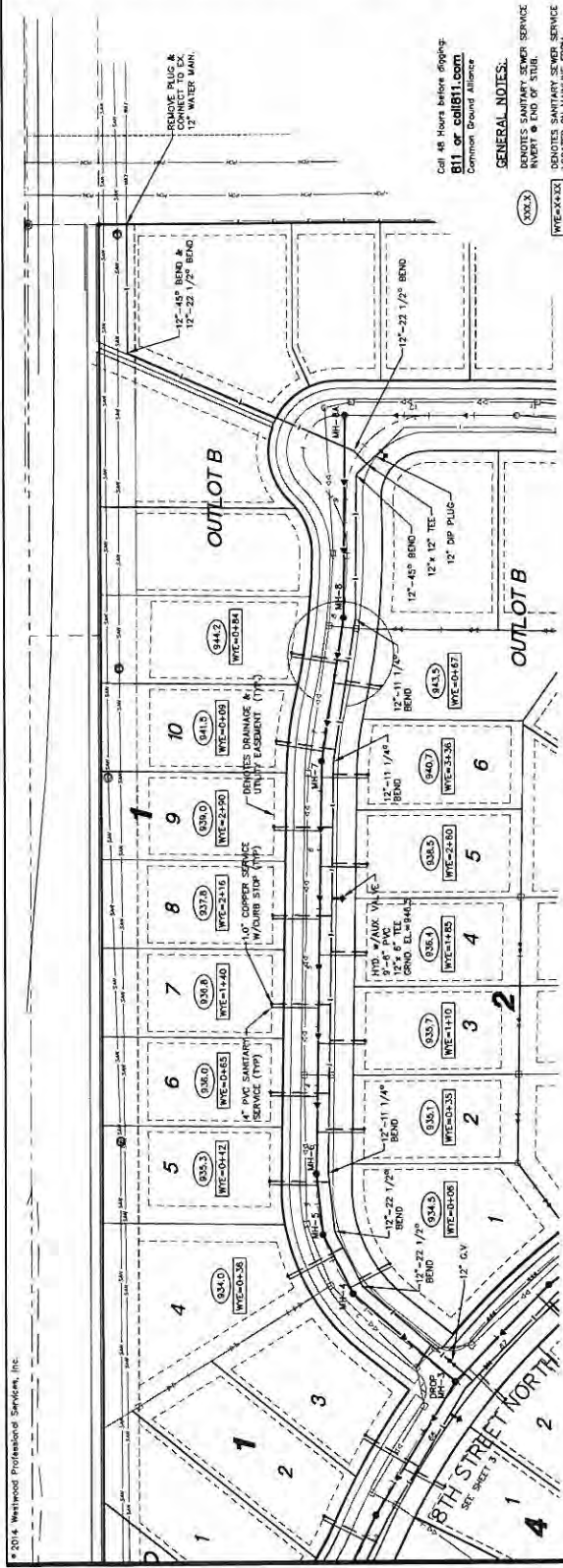
Wentwood Professional Services, Inc.
 10000 Grand Ave. Suite 100
 Minneapolis, MN 55438
 Phone: 763-426-1100
 Fax: 763-426-1101
 Website: www.wentwood.com

SANITARY SEWER NOTES:

1. ALL SANITARY SEWER AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE SUPERIOR SANITARY SEWER SPECIFICATIONS.
2. ALL SANITARY SEWER PVC PIPE SHALL BE INSTALLED ACCORDING TO CITY STANDARD DRAWING (SD) STANDARD PRACTICE (SP) 100 (FOR PVC SANITARY SEWER PIPE) AND SD 101 (FOR CAST IRON SANITARY SEWER PIPE).
3. UNLESS NOTED OTHERWISE, ALL SMOOTH WALLED PIPE SHALL BE 4-INCH PVC.
4. ALL SANITARY SEWER SERVICES SHALL BE 4-INCH PVC, 35 WITH ELASTOMERIC GASKETED JOINTS.
5. SMOOTH WALLED PIPE AND FITTINGS SHALL CONFORM TO THE CITY OF LAKE SUPERIOR SANITARY SEWER SPECIFICATIONS, STANDARD DIMENSIONAL RATIO (SDR) AND STRENGTH REQUIREMENTS INDICATED ON THE PLANS, SPECIFICATIONS, AND NOTES.
6. REMOVED CONCRETE PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF ADOPT 3236 (REPLACEMENT OF CONCRETE PIPE) OF THE CITY OF LAKE SUPERIOR SANITARY SEWER SPECIFICATIONS.
7. JOINTS OF UNGLAZED CERAMIC PIPE SHALL BE STRENGTH CLASS SPECIFIED HEREON.
8. ALL SANITARY SEWER MANHOLES SHALL BE CONSTRUCTED ON THE MANHOLE WITH A GASKETED, FLEXIBLE JOINT TO ALLOW FOR SETTLEMENT.
9. A 1'-0" TO 1'-4" MANHOLE SECTION SHALL BE INSTALLED AT THE POINT OF ENTRY TO THE MANHOLE TO ALLOW OPERATIONAL ACCESS TO THE MANHOLE WITH A GASKETED, FLEXIBLE JOINT TO ALLOW FOR SETTLEMENT.
10. ALL SEWER LINES WITH METAL PIPE SHALL BE PROTECTED FROM THE END OF THE PIPE TO FINISHED GRADE ELEVATION BY A MINIMUM 1'-0" THICK CONCRETE OR METAL PIPE ENCASEMENT.
11. SEWER LINES OR MANHOLE, DIRT AND DEBRIS SHALL BE PREVENTED FROM ENTERING THE EXISTING SEWER BY THE INSTALLATION OF A WATER TIGHT PLUG AS NOTED IN THE EXISTING MANHOLE.

WATER MAIN NOTES:

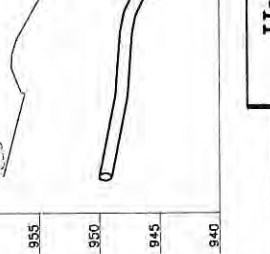
1. ALL WATER MAIN AND ACCESSORIES MUST BE INSTALLED IN ACCORDANCE WITH THE CITY OF LAKE SUPERIOR WATER MAIN SPECIFICATIONS AND DETAILS.
2. MANIPULATION OF EXISTING VALVES SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF LAKE SUPERIOR WATER MAIN SPECIFICATIONS AND DETAILS.
3. WATER MAIN SHALL BE DUCTILE IRON PIPE CLASS-52.
4. ALL FITTINGS SHALL BE DUCTILE IRON PIPE WITH A151.1 POLYETHYLENE ENCASEMENT. ALL CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH THE CITY OF LAKE SUPERIOR WATER MAIN SPECIFICATIONS.
5. USE GATE VALVES FOR ALL APPLICATIONS UP THROUGH 24 INCHES.
6. GATE VALVES SHALL BE RESIDENT WEDGE AMERICAN FLOW CONTROL SERIES 2500 OR APPROVED EQUAL, GATE VALVES SHALL BE INSTALLED WITH THE OPERATING HANDLE TO THE LEFT OF THE VALVE.
7. USE BUTTERFLY VALVES FOR ALL APPLICATIONS GREATER THAN 12 INCHES.
8. APPROVED EQUAL BUTTERFLY VALVES SHALL COMPLY WITH SD 100 (FOR BUTTERFLY VALVES) AND SD 101 (FOR GATE VALVES).
9. HYDRANTS SHALL BE WATERLOG "PACER" MODEL WB-67 HYDRANTS WITH TWO OUTLET NOZZLES FOR 2 1/2" AND 4" CONNECTIONS.
10. HYDRANTS SHALL HAVE A MINIMUM 1'-0" ADJUSTMENT RANGE AND SHALL EXTEND 6" ABOVE FINISHED GRADE.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS AND LABOR NECESSARY FOR THE PROJECT TO BE DESCRIBED USING THE COURSE OF THE PROJECT UNLESS OTHERWISE NOTED.
12. UNLESS OTHERWISE NOTED, ALL VALVES SHALL BE 1.0" TYPE K COPPER.



Call 48 Hours before digging:
811 or call811.com
 Common Ground Alliance

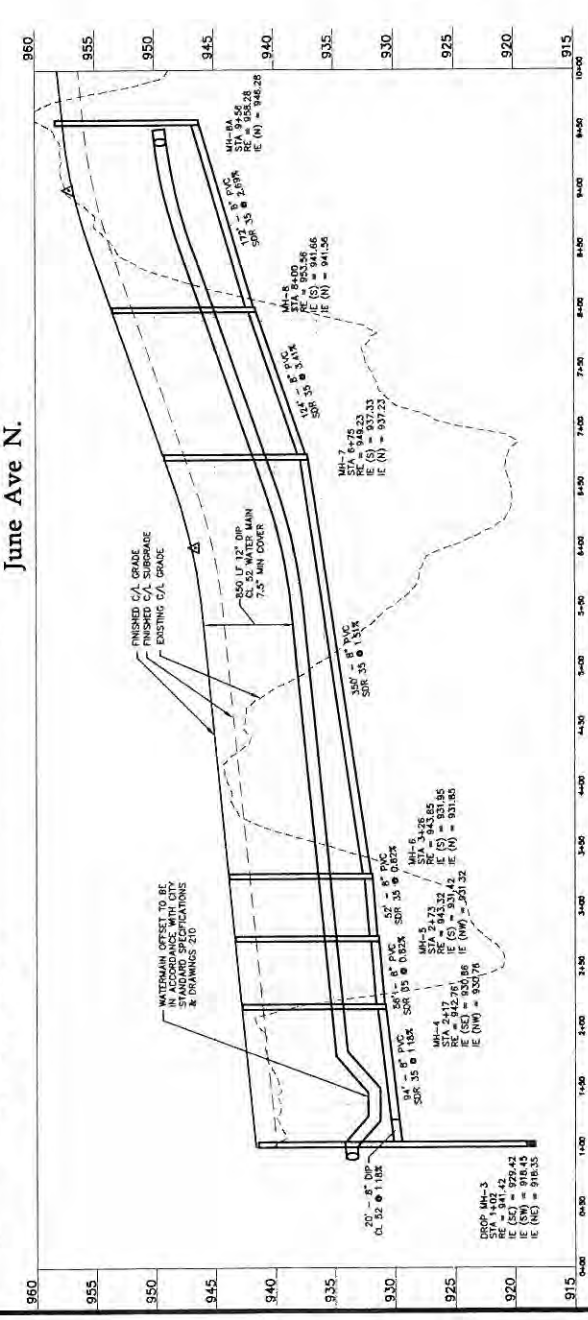
GENERAL NOTES:

- XXXX DENOTES SANITARY SEWER SERVICE INVERT @ END OF STUB.
- XXXXX DENOTES SANITARY SEWER SERVICE W/TE LOCATED ON MAINLINE FROM DOWN STREAM M.H.



Latest Revision Date: 07/07/14
 Date: 08/27/14 sheet 6 of 17

Hammes Property
 Lake Elmo, Minnesota



Ryland Homes
 7700 Adelphi Drive
 Eden Prairie, Minnesota 55344

Prepared for:

Design	Check	Draw	Date

Westwood Professional Services, Inc.
 10000 Lyndale Avenue South
 Minneapolis, MN 55425
 License No. 42297

GENERAL NOTES:
 1. RAINWATER TO BE 8" R.C. WITH 10' TRANSITION FROM SURROUNDING CURB TO THE ELEVATION AT INTERSECTIONS.

CASTING NOTE:
 ALL CURB BASH CASTINGS IN CURB SHALL BE SHIMMED 0.10 FEET AND MANHOLE CASTINGS IN PAVED AREAS SHALL BE SHIMMED 0.05 FEET. THE SHIMMED ELEVATIONS.

- * CONDUIT CROSSINGS TO BE PLACED BELOW THE STREET SURFACE.
- * MANHOLE INVERT TO BE LOCATED ABOVE TOP OF EFFLUENT STORM PIPE BASIN STRUCTURE.
- * ALL STORM SEWER INSTALLED SHALL HAVE POSITIVE GRADE.
- * SAW AND SEAL OF BITUMINOUS PAVEMENT (10 FOOT INTERVALS) SHALL BE INSTALLED ON ALL STREETS WITH ASPHALT GRADE B. SEE DETAIL SHEET 16. SAW AND SEAL IS PART TO BE USED ON SIDE STREET.
- * IF PROVIDED BY CALVELOPER PER CITY OF LAKE ELMO DETAIL PLATE 706 SHALL BE USED ON ALL SIDE STREET.
- * IF STREET SIGN PLATES ARE THE LIKE STREET SIGN TO BE PLACED ON BOTTOM.

STORM SEWER NOTES:

1. ALL STORM SEWER CONNECTIONS MUST BE MADE WITH APPROVED MANHOLE AND R.P.-RAP ELMO STANDARD SPECIFICATIONS AND DETAILS. ALL STORM SEWER CONNECTIONS MUST CONFORM WITH THE REQUIREMENTS OF MAOT SPEC 3236 (REINFORCED CONCRETE PIPE) FOR THE TYPE, SIZE, AND PRECAST CONCRETE MANHOLE AND CATCH BASIN.
2. ALL STORM SEWER CONNECTIONS SHALL CONFORM TO THE REQUIREMENTS OF SECTION 16.01 OF THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS FOR MAHOLE RISES.
3. A 1'-10" TO 1'-4" MANHOLE SECTION SHALL BE INSTALLED AND STORM SEWER MANHOLES TO ALLOW FOR HOISTING.
4. JOINTS OF MANHOLE RISES SHALL BE TONGUE AND GROOVE JOINTS WITH JOINTS PROVIDED ON R.P.-RAP SHALL BE HAND-PLACED OVER GEOTEKLE OR AS SPECIFIED HEREIN.
5. THE GEOTEKLE FABRIC USED UNDER R.P.-RAP SHALL BE FURNISH AND INSTALL TRASH GUARDS ON ALL FLARED JOINTS.
6. ALL R.P.-RAP SHALL BE CLEANED OUT FROM THE R.P.-RAP AT THE END OF THE PROJECT.

SIDEWALKS AND TRAIL NOTES:

1. SIDEWALKS, TRAILS AND BIKEWAYS MUST BE CONSTRUCTED TO MAINTAIN POSITIVE DRAINAGE AWAY FROM THE PARVAHS THROUGHOUT THE PROJECT LENGTH. ALL SIDEWALKS SHALL BE CONSTRUCTED TO A MINIMUM OF 4' WIDE. ALL SIDEWALKS MUST BE FLUSH WITH THE PAV. EDGE TO AVOID TRAPPING WATER.
2. SIDEWALKS SHALL BE CONSTRUCTED WITH CONSTRUCTION JOINTS SPACING SHALL NOT BE LESS THAN 3 FT NOR GREATER THAN 12 FT IN ANY DIMENSION. PLACE 1/2" CONCRETE JOINT FILLER AT 30 FT MAX.
3. CONCRETE PEDESTRIAN RAMPS MUST BE CONSTRUCTED AT ALL INTERSECTIONS.

Latest Revision Date 06/27/14
 7 OF 17

Hammes Property
 Storm Sewer and Street Construction Plan
 Lake Elmo, Minnesota

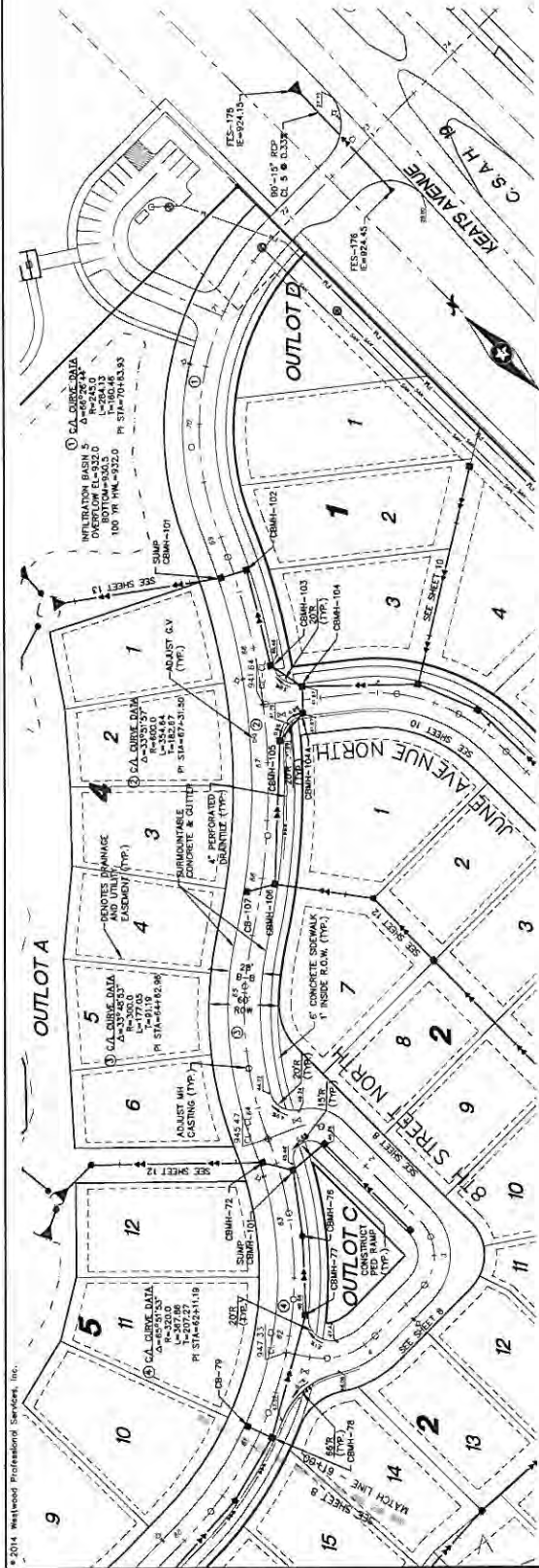
Ryland Homes
 8000 Lake Elmo Drive
 Eden Prairie, Minnesota 55344

Prepared for:

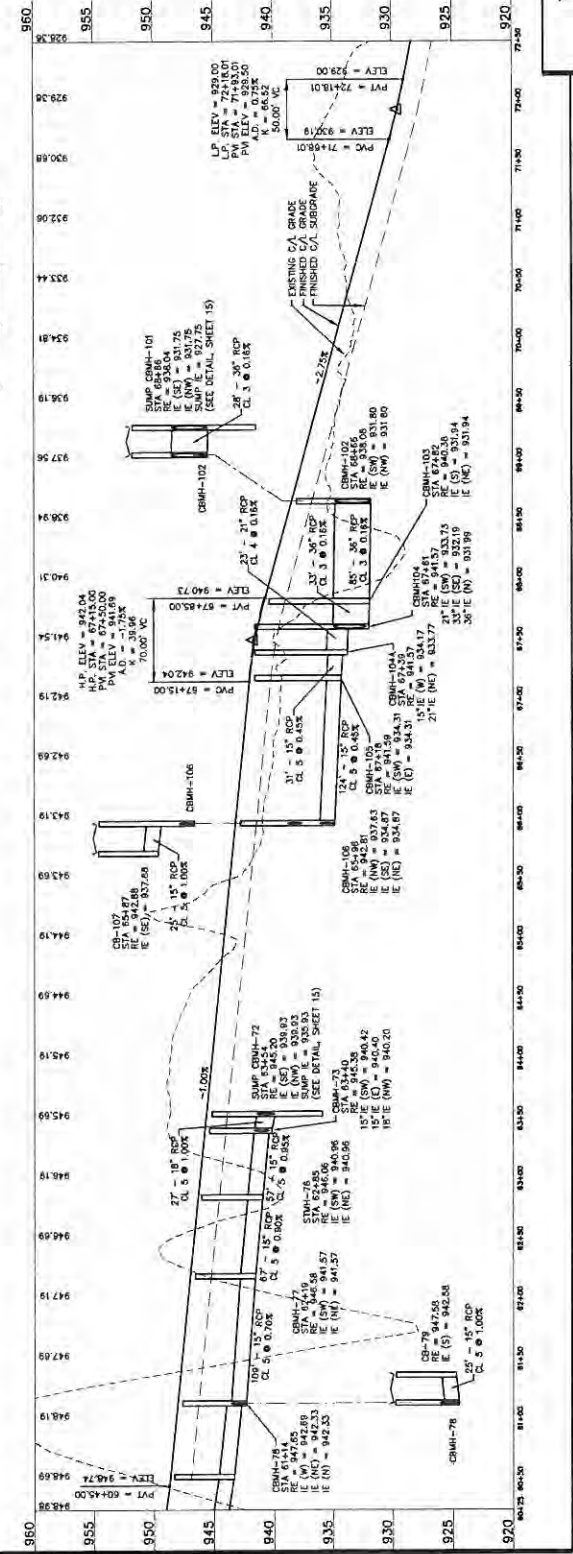
Checked	DATE

I hereby certify that the work shown on this plan was prepared by the undersigned professional engineer and that the work was done in accordance with the requirements of the Minnesota Statutes, Chapter 471.
 Ryan M. Johnson
 License No. 41257
 Date: 07/02/14

Westwood Professional Services, Inc.
 8000 Lake Elmo Drive
 Eden Prairie, Minnesota 55344
 Tel: 952.461.1000
 Fax: 952.461.1001
 www.westwoodps.com



8th Street North

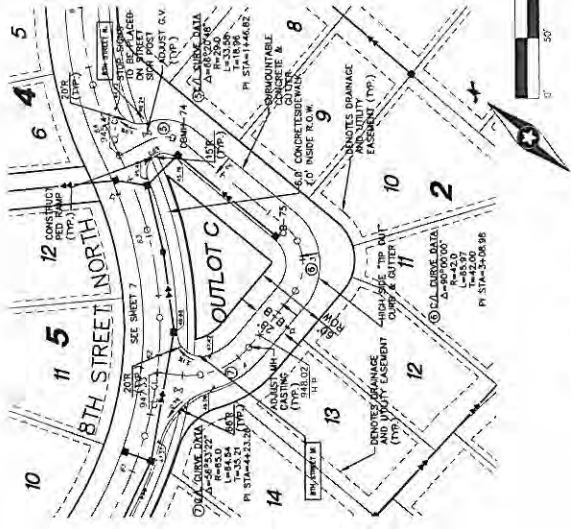


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611 or call811.com
 Common Ground Alliance

GENERAL NOTES:
 1. RADIUS TO BE 8" C. & G.
 WITH 1" TRANSITION FROM
 8" TO 6" AT INTERSECTIONS
 2. RADIUS TO BE 8" C. & G.
 WITH 1" TRANSITION FROM
 8" TO 6" AT INTERSECTIONS

CASTING NOTE:
 ALL CATCH BASIN CASTINGS IN CURBS SHALL BE
 SUMPED 6" TO 8" AND MANHOLE CASTINGS IN
 CURBS SHALL BE SUMPED 12" TO 18" FROM
 FINISHED GRADE. ALL CASTINGS SHALL REFLECT
 THE SUMPED ELEVATIONS.

- CONDUIT CROSSINGS TO BE PERPENDICULAR TO STREET & PLACED BELOW THE STREET SURFACE.
- MANHOLE INVERT TO BE LOCATED ABOVE TOP OF EFFLUENT STORM PIPE BASH STRUCTURE.
- ALL STORM SEWER INSTALLED SHALL HAVE POSITIVE GRADE.
- SAW AND SEAL OF BITUMINOUS PAVEMENT (40 FOOT INTERVALS) SHALL BE INSTALLED AT ALL STREETS WITH ASHphalt GRADE. SEAL IS NOT TO BE APPLIED ON 5TH STREET.
- ALL STREET SIGNS & MARKS ARE TO BE PROVIDED BY DEVELOPER FOR CITY OF LAKE ELMO DETAIL PLATE 706.
- ALL STREET SIGNS TO BE PLACED ON THE BOTTOM SIDE OF THE CURB.
- SAME LENGTH THAN VERTICAL VOLUME STREET SIGN TO BE PLACED ON BOTTOM.

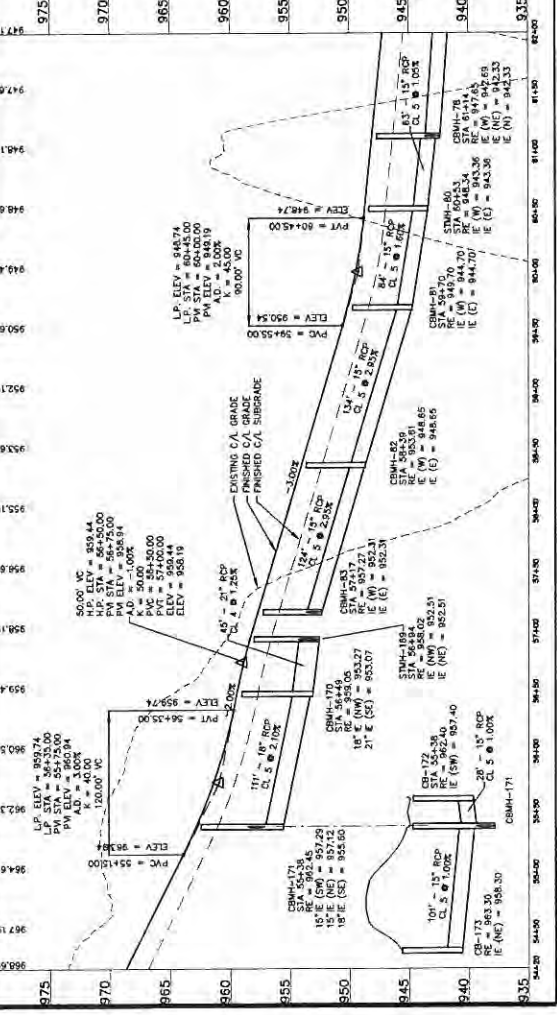
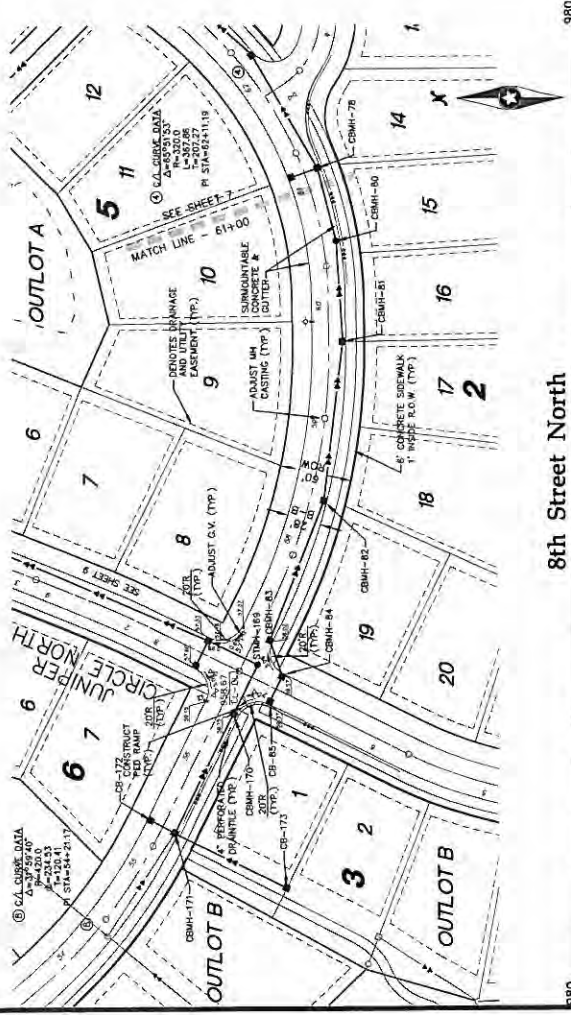
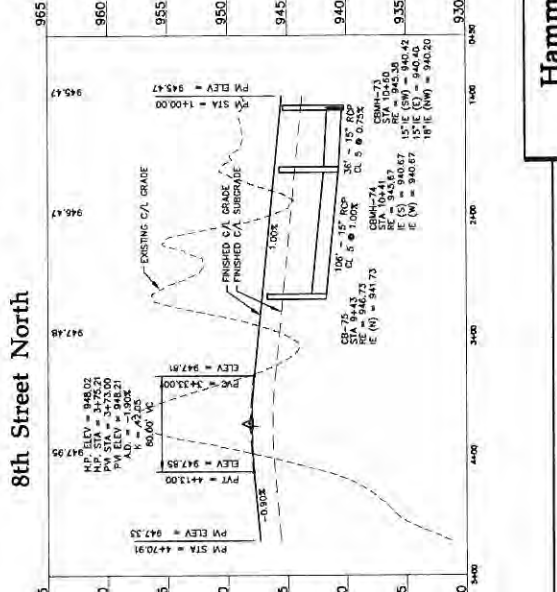


STORM SEWER NOTES:

1. ALL STORM SEWERS AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS. ALL STORM SEWERS SHALL BE 15" DIA. UNLESS OTHERWISE NOTED. ALL STORM SEWERS SHALL CONFORM WITH THE REQUIREMENTS OF MANHOLE SPEC 3336 (REINFORCED CONCRETE PIPE) FOR THE TYPE, SIZE, AND MANHOLE.
2. ALL STORM SEWERS SHALL BE 15" DIA. UNLESS OTHERWISE NOTED. ALL STORM SEWERS SHALL CONFORM WITH THE REQUIREMENTS OF MANHOLE SPEC 3336 (REINFORCED CONCRETE PIPE) FOR THE TYPE, SIZE, AND MANHOLE.
3. ALL STORM SEWERS SHALL BE 15" DIA. UNLESS OTHERWISE NOTED. ALL STORM SEWERS SHALL CONFORM WITH THE REQUIREMENTS OF MANHOLE SPEC 3336 (REINFORCED CONCRETE PIPE) FOR THE TYPE, SIZE, AND MANHOLE.
4. ALL STORM SEWERS SHALL BE 15" DIA. UNLESS OTHERWISE NOTED. ALL STORM SEWERS SHALL CONFORM WITH THE REQUIREMENTS OF MANHOLE SPEC 3336 (REINFORCED CONCRETE PIPE) FOR THE TYPE, SIZE, AND MANHOLE.
5. JOINTS OF MANHOLE RINGS SHALL BE TONGUE AND GROOVE JOINTS. ALL JOINTS SHALL BE TONGUE AND GROOVE JOINTS. ALL JOINTS SHALL BE TONGUE AND GROOVE JOINTS.
6. ALL STORM SEWER MANHOLES SHALL BE 15" DIA. UNLESS OTHERWISE NOTED. ALL STORM SEWER MANHOLES SHALL BE 15" DIA. UNLESS OTHERWISE NOTED.
7. ALL STORM SEWER MANHOLES SHALL BE 15" DIA. UNLESS OTHERWISE NOTED. ALL STORM SEWER MANHOLES SHALL BE 15" DIA. UNLESS OTHERWISE NOTED.
8. ALL STORM SEWER MANHOLES SHALL BE 15" DIA. UNLESS OTHERWISE NOTED. ALL STORM SEWER MANHOLES SHALL BE 15" DIA. UNLESS OTHERWISE NOTED.
9. ALL STORM SEWER MANHOLES SHALL BE 15" DIA. UNLESS OTHERWISE NOTED. ALL STORM SEWER MANHOLES SHALL BE 15" DIA. UNLESS OTHERWISE NOTED.
10. ALL STORM SEWER MANHOLES SHALL BE 15" DIA. UNLESS OTHERWISE NOTED. ALL STORM SEWER MANHOLES SHALL BE 15" DIA. UNLESS OTHERWISE NOTED.

SIDEWALK AND TRAIL NOTES:

1. BITUMINOUS TRAILS AND SIDEWALKS MUST BE CONSTRUCTED TO MAINTAIN POSITIVE DRAINAGE AWAY FROM THE STREET SURFACE.
2. TOPSOIL AND BACKFILL OPERATIONS MUST BE COMPLETED TO AVOID DAMAGE TO THE BITUMINOUS AND ASPHALT SURFACES.
3. TRAPPING WATER AND SEDIMENTS WITH CONSTRUCTION JOINTS SHALL NOT BE LESS THAN 3 FT NOR MORE THAN 12 FT. ALL JOINTS SHALL BE 1/2" INTERVALS. ALL JOINTS SHALL BE 1/2" INTERVALS.
4. ALL INTERSECTIONS SHALL BE CONSTRUCTED AT ALL INTERSECTIONS.



Latest Revision Date: 08/27/14
 Sheet: 8 of 17
 Storm Sewer and Street Construction Plan

Hammes Property
 Lake Elmo, Minnesota

Ryland Homes
 7500 Ardenway Drive
 Eden Prairie, Minnesota 55344

Prepared for:

Prepared by:	Checked:	Drawn:	Date:
Ryan J. Peltier			08/27/14

Project No: 41287

Contract No: 41287

Scale: AS SHOWN

North Arrow

Westwood Engineering & Construction, Inc.
 10000 Westwood Drive
 Minneapolis, MN 55425
 Phone: 763-424-1111
 Fax: 763-424-1112
 Website: www.westwoodinc.com



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BTI of Cedarville.com
 Common Ground Alliance

- RADIIUS TO BE 600'S C. & G.
 WITH 10' TRANSITION FROM
 TO THE EXISTING CURB ELEVATION
 • DOTER'S OUTLINE ELEVATION
 AT INTERSECTIONS

CASTING NOTE.

ALL CATCH BASIN CASTINGS IN CURB SHALL BE
 SHIPED 4.00 FEET AND MANHOLE CASTINGS IN
 AREAS OF STREETS WITH A RAMP. THE
 RIM ELEVATIONS ON PLAN PROFILES REFLECT
 THE SHIPED ELEVATIONS.

- CONDUIT CROSSINGS TO BE
 PERPENDICULAR TO STREET & PLACED
 BELOW THE STREET SURFACE.
- PRECAST MANHOLE CASTING SHALL BE
 ADJUSTED TO RISE TO THE TOP OF THE
 BASIN STRUCTURE.
- ALL STORM SEWER INSTALLED SHALL
 HAVE POSITIVE GRADE.
- SAW AND SEAL OF BITUMINOUS
 PAVEMENT (40 FOOT INTERVALS)
 PAVEMENT WITH ASPHALT GRADE B.
 STREETS WITH ASPHALT GRADE B,
 IS NOT TO BE USED ON 5TH STREET.
- ALL STREET SIGNS & POSTS ARE TO
 BE PROVIDED BY DEVELOPER PER CITY
 OF LAKE ELMO DETAIL T-13 TO BE PLACED
 ON THE BOTTOM CORNER OF THE SIGN
 • SIGN LENGTH, NOT SIGNER VOLUME
 STREET SIGN TO BE PLACED ON
 BOTOM.

- STORM SEWER NOTES:**
1. ALL STORM SEWER AND ACCESSORIES MUST BE
 CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE
 ELMO STANDARDS AND SPECIFICATIONS FOR STORM
 SEWERS. THE PIPE AND FITTINGS SHALL
 CONFORM WITH THE REQUIREMENTS OF MHDOT SPEC 3326
 AND MHDOT SPEC 3327 FOR THE PIPE SIZE AND
 FITTINGS CLASS SPECIFIED THEREIN.
 2. PRECAST CONCRETE MANHOLE AND CATCH BASIN
 CASTINGS SHALL CONFORM TO THE REQUIREMENTS OF
 ASTM C-477.
 3. A 1'-0" TO 1'-4" MANHOLE SECTION SHALL BE INSTALLED
 AT ALL MANHOLE LOCATIONS FOR ROUGH
 ADJUSTMENT OF MANHOLE RISER SECTIONS SHALL BE TYPICAL
 JOINTS OF MANHOLE RISER SECTIONS SHALL BE TYPICAL
 ALL STORM SEWER MANHOLES OF THIS JOINTS PROVIDED ON
 THIS DRAWING SHALL BE PLACED AND CONSTRUCTED IN
 ACCORDANCE WITH THE CITY OF LAKE ELMO SPEC. II
 OR AS SPECIFIED HEREON.
 4. ALL STORM SEWER SHALL BE EXTENDED 3 FT UNDER THE ASPHALT
 INTERSECTIONS AND SHALL BE CLEANED OUT FROM THE RIP-RAP AT
 THE END OF THE PROJECT.

- SIDEWALK AND TRAIL NOTES:**
1. BITUMINOUS TRAILS AND SIDEWALKS MUST BE
 CONSTRUCTED TO MAINTAIN POSITIVE DRAINAGE AWAY
 FROM THE TRAIL OR SIDEWALK. THE DRAINAGE LENGTH
 TOPSOIL AND BACKFILLING OPERATIONS MUST BE
 COMPLETED TO AVOID DAMAGE TO THE BITUMINOUS
 TOPSOIL MUST BE FLUSH WITH THE PAVEMENT TO AVOID
 TOPSOIL INTO SECTIONS WITH CONTRACTOR
 JOINTS. SPACING SHALL NOT BE LESS THAN 1/2 FT NOR
 MORE THAN 1 FT. ALL JOINTS SHALL BE AT 500 FT MAX.
 WHICH DEPENDS ON SOFT FILLER AT 500 FT MAX.)
 AT ALL INTERSECTIONS

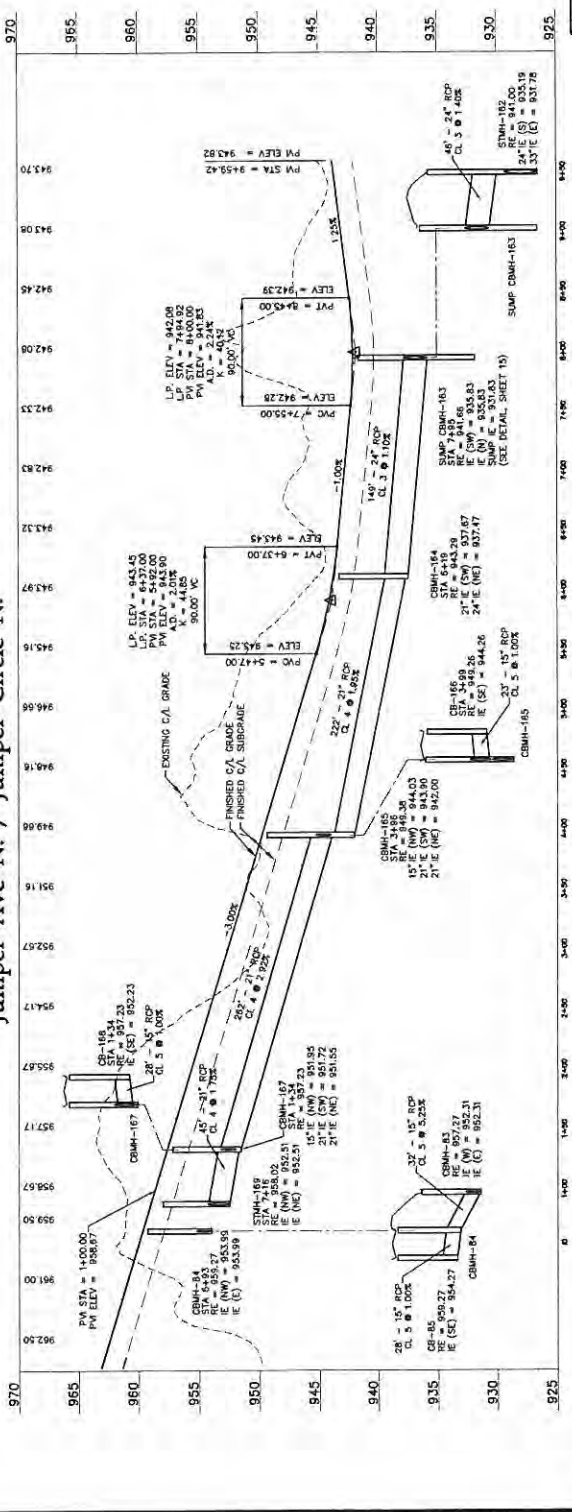
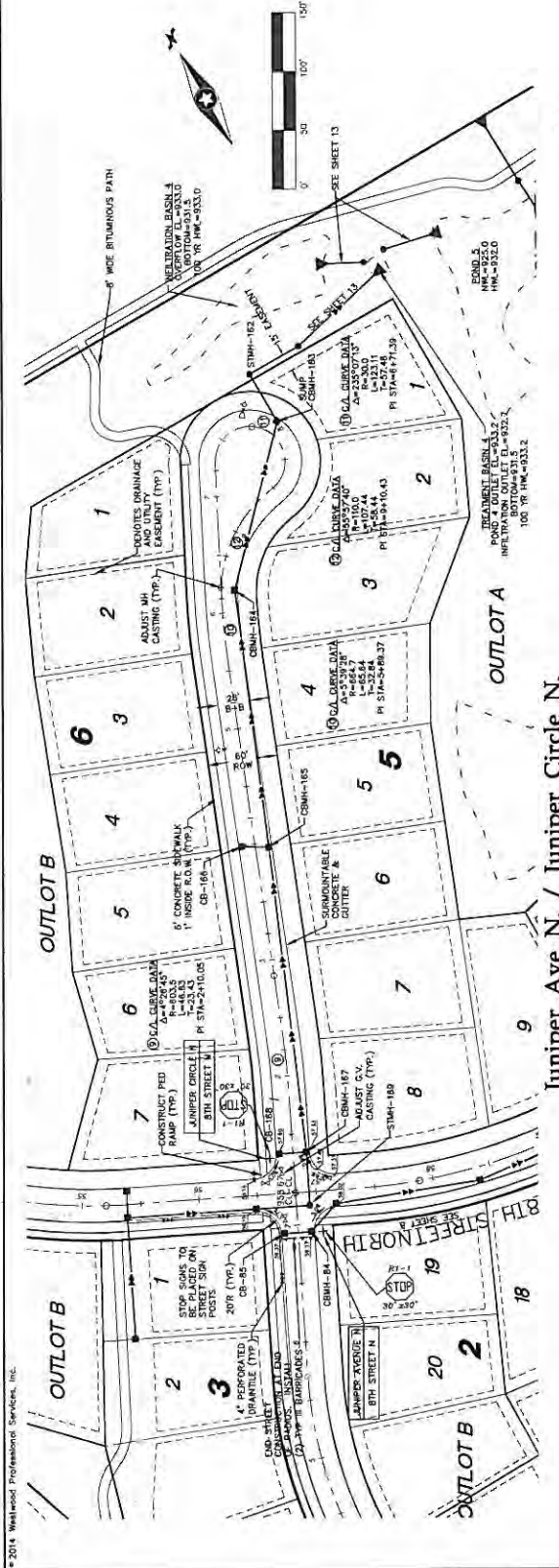
Latest Revision Date: 08/07/14
 Issue: 9 of 17

Hammes Property
 Storm Sewer and Street Construction Plan
 Lake Elmo, Minnesota

Ryland Homes
 7599 Aragon Drive
 Eden Prairie, Minnesota 55344

Prepared for:

Checked:	CU:
Drawn:	DATE:
Revised Drawing by:	DATE:



GENERAL NOTES:
 * RADIUS TO BE 8000' C & G.
 * WITH 10' TRANSITION FROM
 * TO ADJACENT PROPERTY
 * DOWNS TO OUTSIDE ELEVATION
 * AT INTERSECTIONS

CASTING NOTE:
 ALL CATCH BASIN CASTINGS IN CURB SHALL BE
 SUMPED 6.0 FEET AND MANHOLE CASTINGS IN
 CEMENT CONCRETE SHALL BE SUMPED 6.0 FEET
 FROM ELEVATIONS ON PLAN PROFILES PRELECT
 THE SUMPED ELEVATIONS.

- * MANHOLE PRESSURES TO BE
 APPROPRIATE TO STREET & PLACED
 BELOW THE STREET SUBGRADE.
- * DRAINAGE INVERT TO BE LOCATED
 ABOVE TOP OF EFFLUENT STORM PIPE
 BASH STRUCTURE.
- * ALL STORM SEWER INSTALLED SHALL
 HAVE POSITIVE GRADE.
- * SAW AND SEAL OF BITUMINOUS
 PAVEMENT (40 FOOT INTERVALS)
 SHALL BE APPLIED TO ALL STORM
 SEWER STREETS WITH ASPHALT GRADE. B.
 SEALS TO BE USED ON 20M STREET.
- * ALL STREET SIGNS & MARKS ARE TO
 BE PROVIDED BY DEVELOPER PER CITY
 OF LAKE ELMO DETAIL PLATE 700.
 ON THE BOTTOM SIDE TO BE PLACED
 * SIGNIFICATION AND THERE VISIBLE
 STREET SIGN TO BE PLACED ON
 BOTTOM

SIDWALK NOTES:

1. ALL STORM SEWER AND ACCESSORIES MUST BE
 CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE
 ELMO SPECIFICATIONS AND SHALL BE FINISHED TO
 CONFORM WITH THE REQUIREMENTS OF MNDOT SPEC 33.26
2. PRECAST CONCRETE MANHOLE AND CATCH BASIN
 STRUCTURES SHALL BE CONFORM TO THE TYPE, SIZE, AND
 STRENGTH CLASS SPECIFIED HEREIN.
3. PRECAST CONCRETE MANHOLE AND CATCH BASIN
 STRUCTURES SHALL CONFORM TO THE REQUIREMENTS OF
 ASTM C-477.
4. ALL 10" TO 14" MANHOLE SECTION SHALL BE INSTALLED
 WITH A 10% SLOPE FOR 10' TO 15' RUNS. THE
 ADJUSTMENT WHENEVER POSSIBLE.
5. ALL STORM SEWER MANHOLES SHALL BE CONSTRUCTED
 WITH BARRIAGES TO PREVENT BACKFLOW INTO
 ADJACENT PROPERTIES.
6. ALL STORM SEWER MANHOLES SHALL BE CONSTRUCTED
 WITH BARRIAGES TO PREVENT BACKFLOW INTO
 ADJACENT PROPERTIES.
7. FABRIC AND CONFORM TO WOOD SPEC 3601, CLASS II,
 OR AS SPECIFIED HEREIN.
8. ALL STORM SEWER UNDER RIP-RAP SHALL
 EXTEND 3 FT UNDER THE APRON.
9. ALL SET SHALL BE CLEANED OUT FROM THE RIP-RAP AT
 THE END OF THE PROJECT.

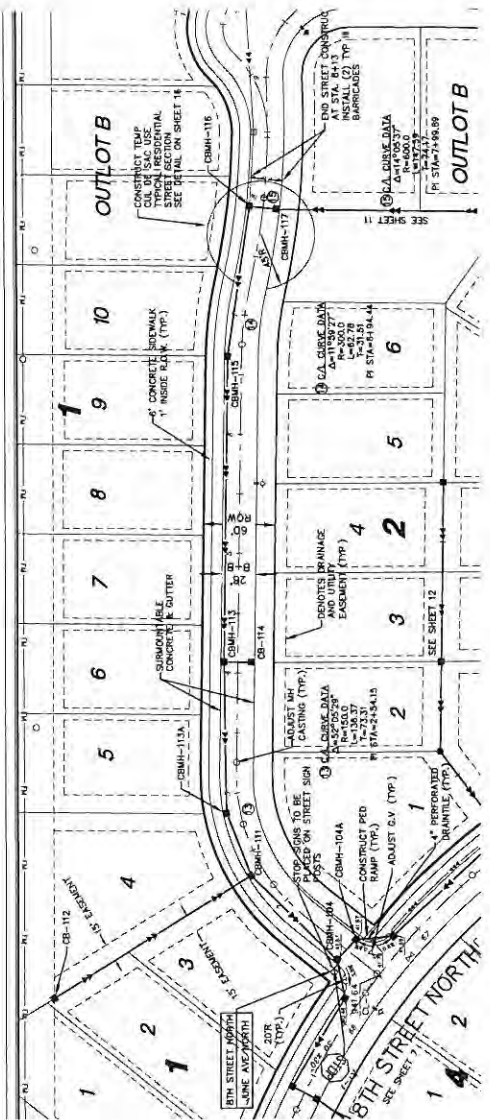
SEWALK AND TRAIL NOTES:

1. BITUMINOUS TRAILS AND SIDEWALKS MUST BE
 CONSTRUCTED TO MAINTAIN POSITIVE DRAINAGE AWAY
 FROM THE STORM SEWER SYSTEM. ALL TRAILS
 TOPSOIL AND BACKFILL OPERATIONS MUST BE LONGHILL
 COMPLETED TO AVOID DAMAGE TO THE BITUMINOUS
 TOPSOIL MUST BE FLUSH WITH THE PATH EDGE TO AVOID
 DAMAGE TO THE TOPSOIL.
2. DOWNS SEWALK INTO SECTIONS WITH CONTRACTOR
 JOINTS. SPACING SHALL NOT BE LESS THAN 3 FT NOR
 MORE THAN 6 FT. ALL JOINTS SHALL BE 1/2
 INCH EXPANSION JOINT FILLER AT 50 FT (MAX)
 INTERVALS.
3. SIDEWALK RAMP MUST BE CONSTRUCTED
 AT ALL INTERSECTIONS.

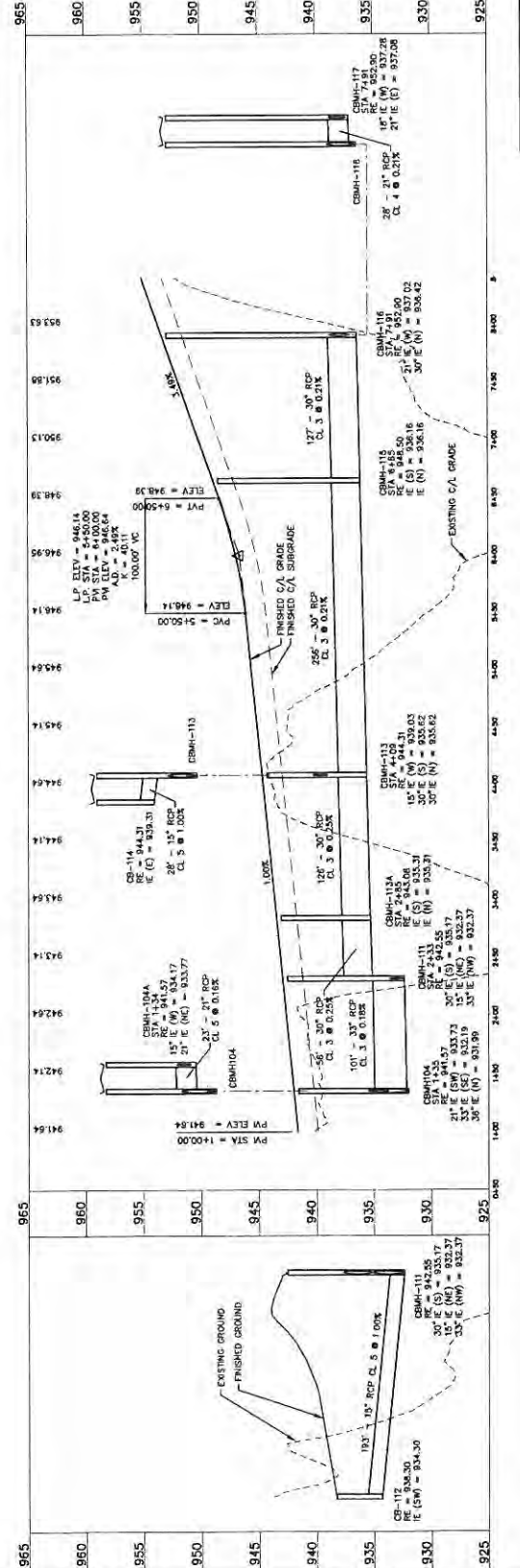
Latest Revision Date 09/03/14
 Date 08/27/14 Sheet 10 of 17

Hammes Property
 Lake Elmo, Minnesota

Ryland Homes
 7700 Annapolis Drive
 Eden Prairie, Minnesota 55344



June Ave North



Prepared for:

DATE	BY	CHKD	APP
09/03/14	[Signature]	[Signature]	[Signature]

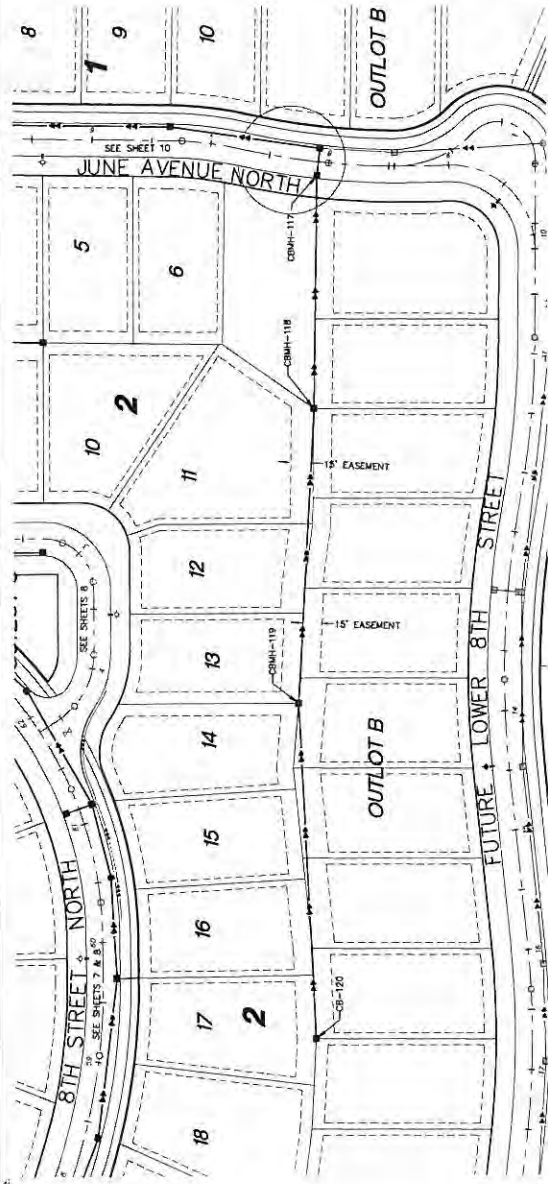
Westwood Professional Services, Inc.
 10000 Lake Ave. S. Suite 100
 Eden Prairie, MN 55344
 PHONE 952-947-1000
 FAX 952-947-1001
 TOLL FREE 1-800-457-2353
 www.westwood-pro.com

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 Common Ground Alliance

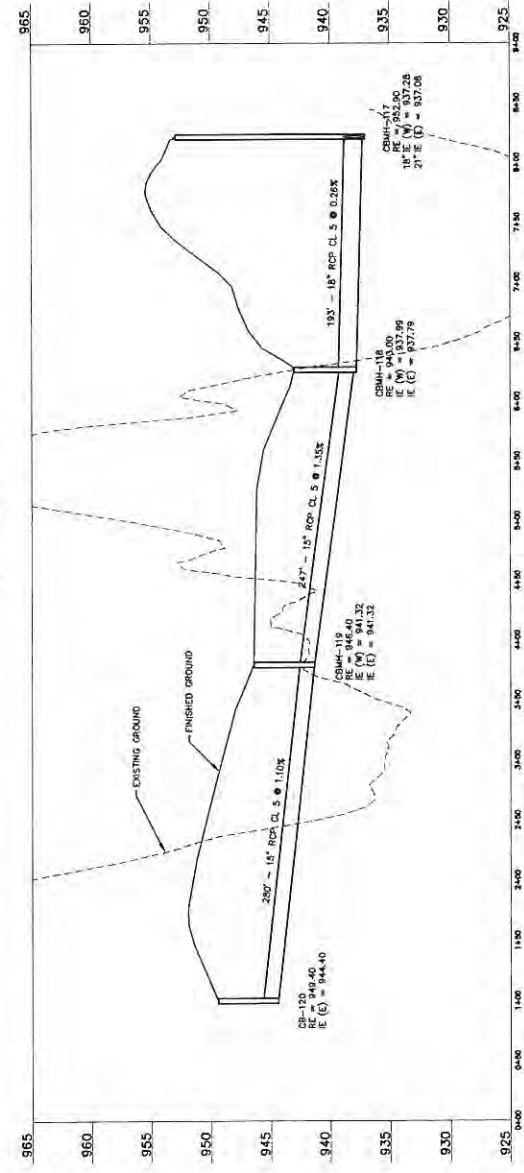
GENERAL NOTES:
 * RADIUS TO BE 8161 C. & G.
 WITH 10' TRANSITION FROM
 FINISH GRADE TO FINISH ELEVATION
 AT INTERSECTIONS

CASTING NOTE:
 ALL CATCH BASIN CASTINGS IN CURB SHALL BE
 SIMPED 0.0 FEET AND MANHOLE CASTINGS IN
 RAIN WATER SHALL BE SIMPED 0.0 FEET
 RAIN ELEVATIONS ON PLAN PROFILES REFLECT
 THE SIMPED ELEVATIONS.

- * SLOPE PROVISIONS TO BE
 PERPENDICULAR TO STREET & PLACED
 BELOW THE STREET SUBGRADE.
- * DRAINAGE INVERT TO BE LOCATED
 ABOVE TOP OF EFFLUENT STORM PIPE
 BASKIN STRUCTURE.
- * ALL STORM SEWER INSTALLED SHALL
 HAVE POSITIVE GRADE.
- * SAW AND SEAL OF BITUMINOUS
 PAVEMENT (40 FOOT INTERVALS)
 STREETS WITH ASPHALT GRADE B,
 SETBACK SHALL BE 10' FROM STREET
 TO 15' FROM STREET ON 20' STREET
- * STREET LIGHTS & SIGNS USE TO
 BE PROVIDED BY OAKDALE PD/CITY
 OF LAKE ELMO DETAIL PLATE 706
- * ALL MANHOLE RISERS TO BE PLACED
 ON THE BOTTOM
- * ALL ELEVATIONS THAT SHOW THE LINE
 STREET SIGN TO BE PLACED ON
 BOTTOM.



Backyard



STORM SEWER NOTES:

1. ALL STORM SEWER ACCESSORIES MUST BE
 CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE
 ELMO STANDARD SPECIFICATIONS AND DETAILS
 (REINFORCED CONCRETE PIPE) FOR THE TYPE, SIZE, AND
 PRECAST CONCRETE MANHOLE AND CATCH BASIN
 DETAILS 301-377
2. ALL STORM SEWER MANHOLES SHALL BE INSTALLED
 WITH A 1'-0" TO 1'-4" MANHOLE SECTION SHALL BE INSTALLED
 WITH A 1'-0" TO 1'-4" MANHOLE SECTION SHALL BE INSTALLED
 WITH A 1'-0" TO 1'-4" MANHOLE SECTION SHALL BE INSTALLED
 WITH A 1'-0" TO 1'-4" MANHOLE SECTION SHALL BE INSTALLED
3. JOINTS OF MANHOLE RISER SECTIONS SHALL BE TYPICAL
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 JOINTS OF MANHOLE RISER SECTIONS SHALL BE TYPICAL
4. ALL STORM SEWER MANHOLES SHALL BE TYPICAL
 JOINTS OF MANHOLE RISER SECTIONS SHALL BE TYPICAL
 JOINTS OF MANHOLE RISER SECTIONS SHALL BE TYPICAL
5. RIP-RAP SHALL BE HAND-PLACED OVER GEOTEXTILE
 OR AS SPECIFIED HEREIN. RIP-RAP SHALL BE 30% CLASS III
 OR BETTER UNDER THE JOINTS.
6. FINISH AND INSTALL TRASH CHAMBS ON ALL FLARED
 JOINTS. TRASH CHAMBS SHALL BE 12" X 12" X 12" (MIN).
 ALL SET SHALL BE CLEANED OUT FROM THE RIP-RAP AT
 THE END OF THE PROJECT.

SIDEWALK AND TRAIL NOTES:

1. BITUMINOUS TRAILS AND SIDEWALKS MUST BE
 CONSTRUCTED TO MAINTAIN POSITIVE DRAINAGE AWAY
 FROM THE SIDEWALKS AND TRAILS.
2. TOPSOIL AND BACKFILLING OPERATIONS MUST BE
 COMPLETED TO AVOID DAMAGE TO THE BITUMINOUS
 TRAILS AND SIDEWALKS. TOPSOIL MUST BE FLUSH WITH THE PATH EDGE TO AVOID
 TRAPPING WATER INTO SECTIONS WITH CONTRACTOR
 JOINTS. SPACING SHALL NOT BE LESS THAN 2 FT NOR
 GREATER THAN 12 FT IN ANY DIMENSION. PLACE 1/2
 INCH TOPSOIL JOINT FILLER AT 20 FT (MAX)
 INTERVALS.
3. CONCRETE SIDEWALK RAMP MUST BE CONSTRUCTED
 AT ALL INTERSECTIONS.

Latest Revision Date: 09/07/24
 09/07/24
 Date: 08/27/24 Sheet: 11 of 17

Hammes Property
 Lake Elmo, Minnesota

Ryland Homes
 7000 Arroyo Drive
 Eden Prairie, Minnesota 55344

Prepared for:

Checked:	CLL
Drawn:	SKB
Revised/Issued by:	CPM

Project Number: 240001-0001
 Project Name: 240001-0001
 Date: 08/27/24 License No. 41257

Westwood Professional Services, Inc.
 10000 Westwood Drive
 Eden Prairie, MN 55344
 Phone: 952-941-3322
 Fax: 952-941-3323
 Email: info@westwoodmn.com
 Website: www.westwoodmn.com



GENERAL NOTES:
 1. RISING TO BE 8" MIN. C. & G.
 WITH 10" TRANSITION FROM
 SURROUNDING CURB TO THE ELEVATION
 AT INTERSECTIONS

CASTING NOTE:
 ALL CASTING BASH CASTINGS IN CURB SHALL BE
 PAVED 0.10 FEET AND MANHOLE CASTINGS IN
 PAVED AREAS SHALL BE SUMPED 0.05 FEET
 THE SUMPED ELEVATIONS

- * CONDUIT CROSSINGS TO BE PLACED BELOW THE STREET SURFACE.
- * DRAINABLE INVERT TO BE LOCATED ABOVE TOP OF EFFLUENT STORM PIPE MANHOLES INTO CATCH BASIN STRUCTURE.
- * ALL STORM SEWER INSTALLED SHALL HAVE POSITIVE GRADE.
- * SAW AND SEAL OF BITUMINOUS PAVEMENT (40 FOOT INTERVALS) SHALL BE INSTALLED ON ALL STREETS WITH ASPHALT GRADE. SEE DETAIL SHEET 16. SAW AND SEAL IS TO BE USED ON 3RD STREET.
- * ALL SUMPED BY CALCULATED PER CITY OF LAKE ELMO DETAIL PLATE 70K.
- * IF STREET SIGN PLATES ARE TO BE PLACED ON THE BOTTOM OF THE MANHOLE STREET SIGN TO BE PLACED ON BOTTOM.

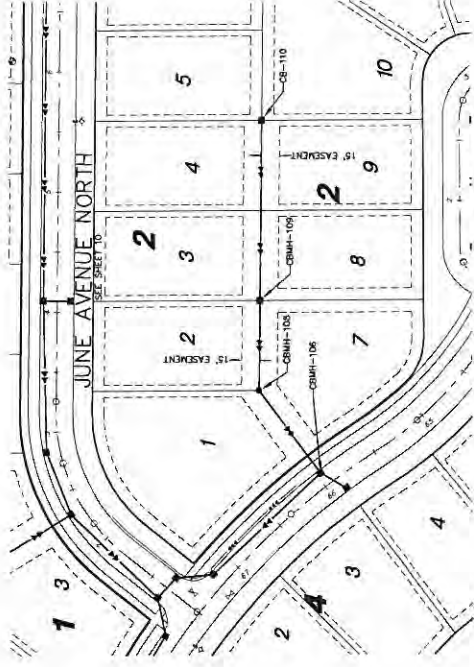
STORM SEWER NOTES:

1. ALL STORM SEWER AND ACCESSORIES MUST BE LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
2. ALL STORM SEWER SHALL BE CONSTRUCTED TO CONFORM WITH THE REQUIREMENTS OF UNDOT SPEC 2226 (REINFORCED CONCRETE PIPE) FOR THE TYPE, SIZE, AND MANUFACTURE.
3. SECTIONS SHALL CONFORM TO THE REQUIREMENTS OF UNDOT SPEC 2226 (REINFORCED CONCRETE PIPE) FOR THE TYPE, SIZE, AND MANUFACTURE.
4. A 1'-0" TO 1'-4" MANHOLE SECTION SHALL BE INSTALLED UNDER THE CURB SECTION TO ALLOW FOR HEIGHT ADJUSTMENT.
5. JOINTS OF MANHOLE RISER SECTIONS SHALL BE TONGUE AND GROOVE WITH RUBBER GASKETS.
6. RIP-RAP SHALL BE HAND-PLACED OVER GEOTEXTILE OR AS SPECIFIED HEREIN. UNDOT SPEC. 300, CLASS II.
7. THE GEOTEXTILE FABRIC USED UNDER RIP-RAP SHALL BE 2' WIDE AND SHALL BE HAND-PLACED OVER ALL FLARED JOINTS AND SHALL BE CLEANED OUT FROM THE RIP-RAP AT THE END OF THE PROJECT.
8. FINISHED AND INSTALL TRASH GUARDS ON ALL FLARED JOINTS.
9. ALL SECTIONS SHALL BE CLEANED OUT FROM THE RIP-RAP AT THE END OF THE PROJECT.

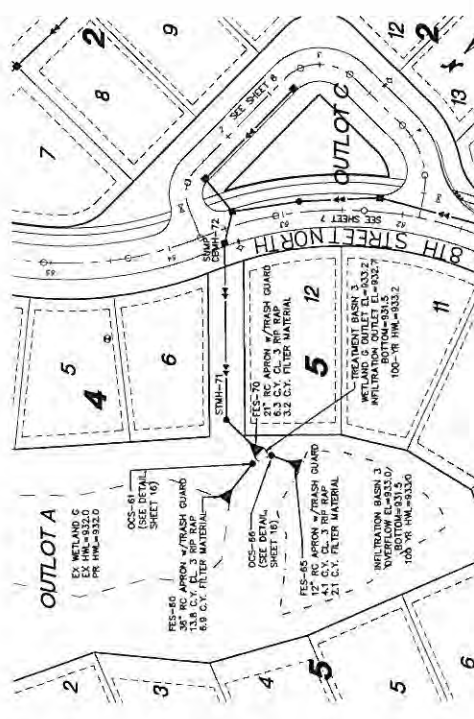
SEWALK AND TRAIL NOTES:
 1. BITUMINOUS TRAILS AND SIDEWALKS MUST BE CONSTRUCTED TO MAINTAIN POSITIVE DRAINAGE AWAY FROM THE PARWAYS THROUGHOUT THE ENTIRE LENGTH OF THE PROJECT.

Hammes Property
 Lake Elmo, Minnesota

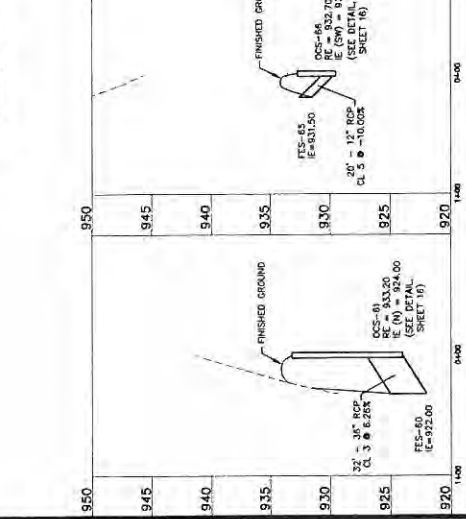
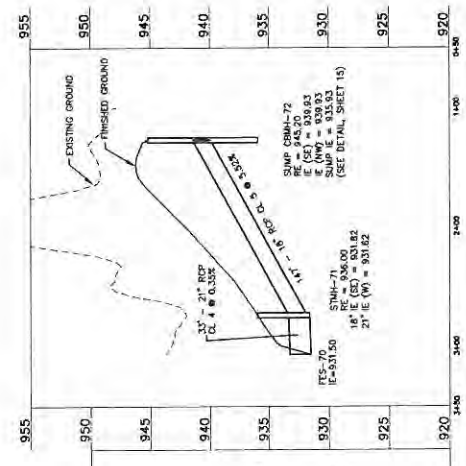
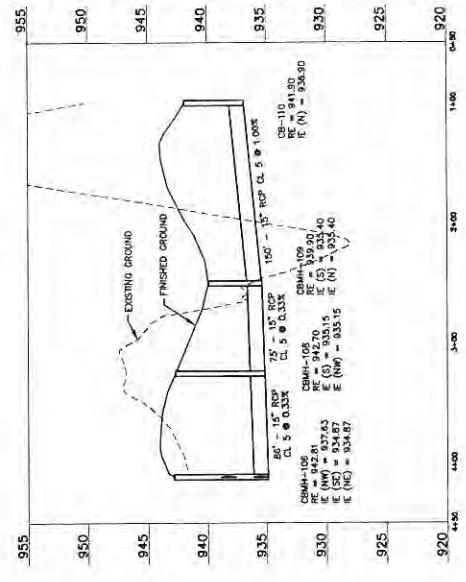
Ryland Homes
 7999 Annapolis Drive
 Eden Prairie, Minnesota 55344



Backyards



Backyards



Prepared for:

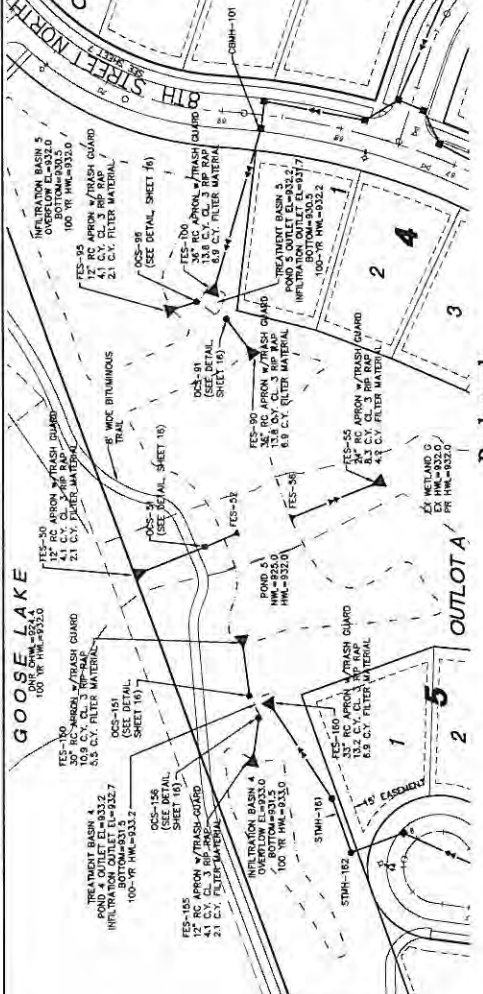
Client:	DL
Checked:	
Drawn:	
Reviewed:	
Approved:	

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By: *[Signature]*
 Date: 09/07/14 License No. 41257

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 10000 Lyndale Avenue South
 Minneapolis, MN 55425
 Phone: 763-413-1100
 Fax: 763-413-1101
 Website: www.westwoodinc.com





SPECIAL SEWER NOTES:
 1. ALL STORM SEWERS AND ACCESSORIES MUST BE
 CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE
 ELIO STANDARD SPECIFICATIONS AND DETAILS
 2. THE SEWER SHALL BE CONSTRUCTED TO COMPLY
 WITH THE REQUIREMENTS OF MANDATORY SPEC 3338
 (REINFORCED CONCRETE PIPE) FOR THE TYPE, SIZE, AND
 PRECAST CONCRETE MANHOLE AND CATCH BASIN
 3. ALL STORM SEWERS SHALL BE CONSTRUCTED IN
 ACCORDANCE WITH THE REQUIREMENTS OF
 ASTM C-477 ALL MANHOLE SECTIONS SHALL BE INSTALLED
 ADJUSTMENT WHENEVER POSSIBLE.
 JOINTS OF MANHOLE RISER SECTIONS SHALL BE TONGUE
 AND GROOVE JOINTS. JOINTS OF RING JOINTS PROVIDED ON
 ALL STORM SEWER MANHOLES OF RING JOINTS PROVIDED ON
 RP-RAP SHALL BE HAND-PLACED OVER GORETILE
 OR AS SPECIFIED HEREIN. JOINTS OF RP-RAP SHALL
 BE EXTENDED 3 FT UNDER THE ASPON.
 4. FINISH AND INSTALL TRASH GUARDS ON ALL FLARED
 RP-RAP SHALL BE CLEANED OUT FROM THE RP-RAP AT
 THE END OF THE PROJECT

SEWALL AND TRAIL NOTES:
 1. BITUMINOUS TRAILS AND SEWALLS MUST BE
 CONSTRUCTED TO MAINTAIN POSITIVE DRAINAGE AWAY
 FROM THE PROPOSED STORM SEWER. THE TRAIL, TOSSEL,
 TOPSIDE AND BOUNDING OPERATIONS MUST BE LENGTH,
 COMPLETED TO AVOID DAMAGE TO THE BITUMINOUS
 TOPSIDE MUST BE FLUSH WITH THE PAV. EDGE TO AVOID
 TRAPPING WATER.
 2. JOINTS WITH STD SECTION WITH CONTRACTION
 JOINTS. SPACING SHALL NOT BE LESS THAN 3 FT NOR
 GREATER THAN 12 FT. JOINTS SHALL BE PLACED AT 1/2
 INTERVALS. SEWALLS SHALL BE PLACED AT 40 FT MAX.
 3. ALL PRESTRESSING RAMPS MUST BE CONSTRUCTED
 AT ALL INTERSECTIONS.

GENERAL NOTES:
 1. RADIUS TO BE BERT, C. & G.
 WITH 10' TRANSITION FROM
 EXISTING TO PROPOSED ELEVATION
 POINTS OUTLINE ELEVATION
 AT INTERSECTIONS

CASTING NOTE:
 ALL DITCH BASIN CASTINGS IN CURB SHALL BE
 SAMPLED 0.00 FEET AND MANHOLE CASTINGS IN
 CEMENT SHALL BE SAMPLED 1.00 FEET FROM
 THE ELEVATIONS ON PLAN. PROFILES REFLECT
 THE SURVED ELEVATIONS.

CONCRETE PROVISIONS TO BE
 PERPENDICULAR TO STREET & PLACED
 BELOW THE STREET SURFACE.
 DRAINAGE INVERT TO BE LOCATED
 ABOVE TOP OF DEFLECT STOPPING
 BASIN STRUCTURE.
 ALL STORM SEWER INSTALLED SHALL
 HAVE POSITIVE GRADE.
 SAW AND SEAL OF BITUMINOUS
 PAVEMENT (AND FORE INTERSECTIONS)
 STREETS WITH ASPHALT GRADE. B. SEAL
 IS NOT TO BE USED ON 5TH STREET.
 ALL STREET BOIS & BOSTS ARE TO
 BE PROVIDED BY DEVELOPER PER CITY
 OF LAWS. EMD LIT SOA SHALL BE PLACED
 ON THE BOTTOM. THE INVERT SHALL BE
 SAME LENGTH, THEN HIGHER VOLUME
 STREET SIDE TO BE PLACED ON
 BOTTOM.

SPECIAL SEWER NOTES:
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GENERAL NOTES:
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 WITH 10' TRANSITION FROM
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 POINTS OUTLINE ELEVATION
 AT INTERSECTIONS

CASTING NOTE:
 ALL DITCH BASIN CASTINGS IN CURB SHALL BE
 SAMPLED 0.00 FEET AND MANHOLE CASTINGS IN
 CEMENT SHALL BE SAMPLED 1.00 FEET FROM
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GENERAL NOTES:
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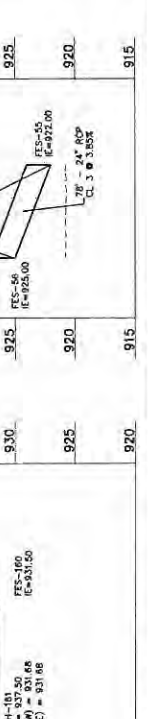
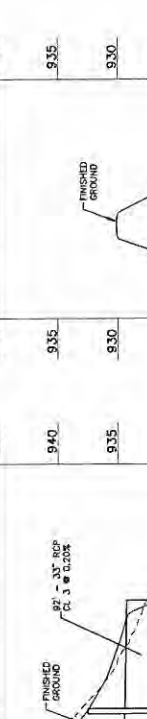
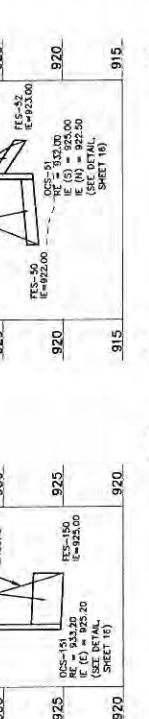
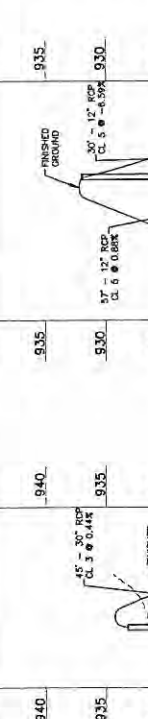
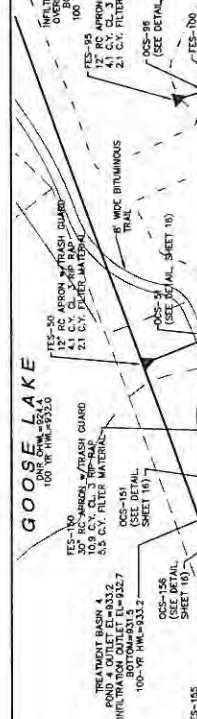
GENERAL NOTES:
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SEWALL AND TRAIL NOTES:
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 JOINTS. SPACING SHALL NOT BE LESS THAN 3 FT NOR
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Hammes
Property
 Lake Elmo, Minnesota

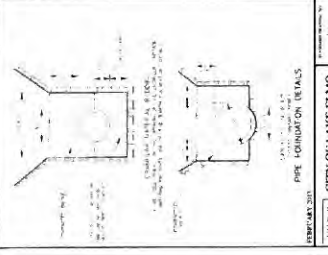
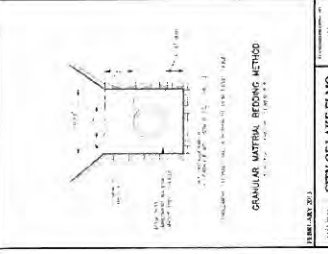
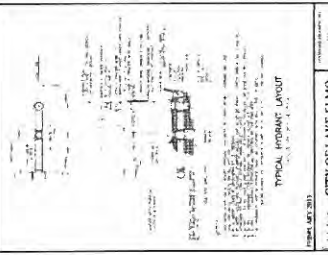

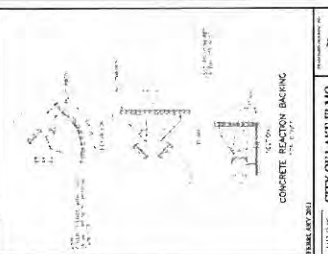

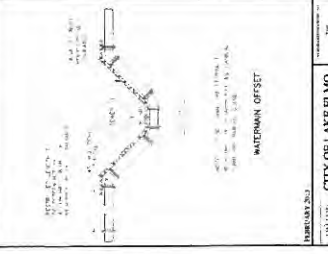
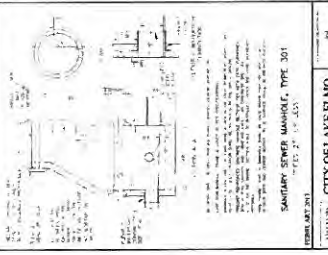
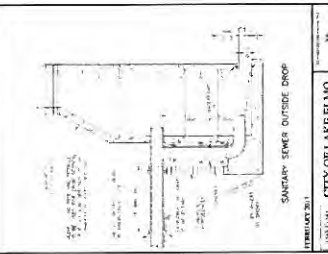
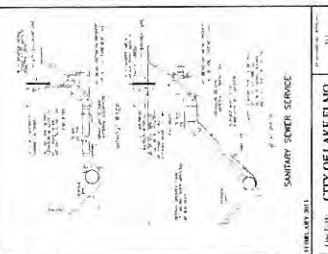
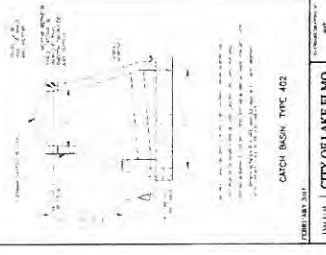
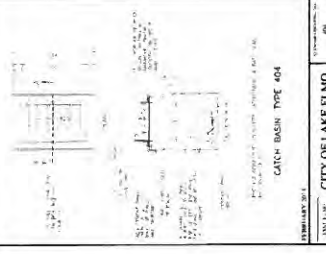
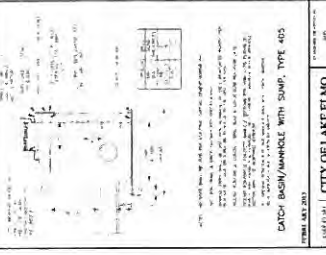
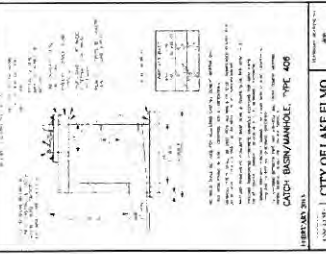
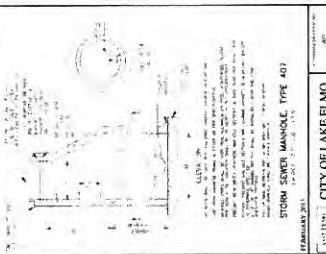
Ryland Homes
 7999 Anderson Drive
 Eden Prairie, Minnesota 55344

Prepared for:
 Checked:
 Drawn:
 Revised:
 Date: 08/27/14
 Title: 41527

Wetwood
 Wetwood Professional Services, Inc.
 1000 East 28th Street
 Suite 200
 Eden Prairie, MN 55344
 Tel: 952-913-7100
 Fax: 952-913-7101
 Website: www.wetwood.com

Latest Revision Date: 08/07/14
 Date: 08/27/14
 Sheet: 13 of 17

Storm Sewer and
 Street Construction
 Plan

 <p>PIPE FOUNDATION DETAILS</p>	 <p>GRANULAR MATERIAL REDDING METHOD</p>	 <p>TYPICAL PRIMARY LAYOUT</p>	 <p>GAT VALVE INSTALLATION</p>	 <p>CONCRETE REACTION BACKING</p>
 <p>WATER SERVICE ON DIP MAN</p>	 <p>WATERMAIN OFFSET</p>	 <p>SANITARY SEWER MANHOLE TYPE 301</p>	 <p>SANITARY SEWER OUTSIDE DROP</p>	 <p>SANITARY SEWER SERVICE</p>
 <p>CATCH BASIN TYPE 402</p>	 <p>CATCH BASIN TYPE 404</p>	 <p>CATCH BASIN/MANHOLE WITH SUMP, TYPE 405</p>	 <p>CATCH BASIN/MANHOLE TYPE 409</p>	 <p>STORM SEWER MANHOLE TYPE 407</p>

Latest Revision Date 09/27/14
 Date 09/27/14 Sheet 14 of 17

Hammes
Property
 Lake Elmo, Minnesota

Ryland Homes
 7509 Aurora Drive
 Eden Prairie, Minnesota 55344

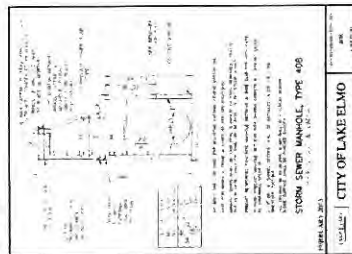
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Checked	RRB
Drawn	PHB
Record Drawing by/for	

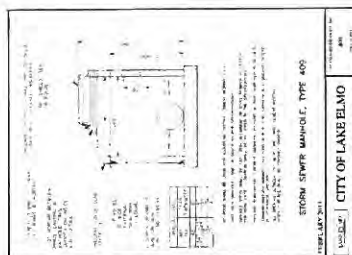
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Westwood Professional Services, Inc.
 10000 Lyndale Avenue South
 Minneapolis, MN 55425
 Phone: 612-331-1100
 Fax: 612-331-1101
 www.westwood.com

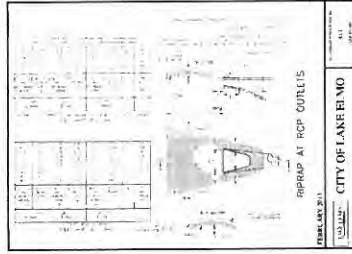




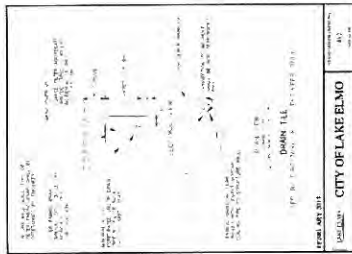
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 15/16/14
 CITY OF LAKE ELMO



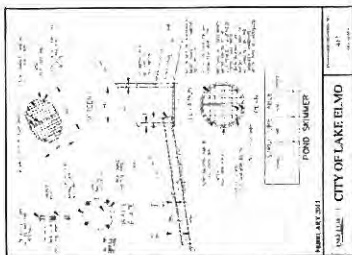
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 15/16/14
 CITY OF LAKE ELMO



RIPPRAP AT RCP OUTLET
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 15/16/14
 CITY OF LAKE ELMO



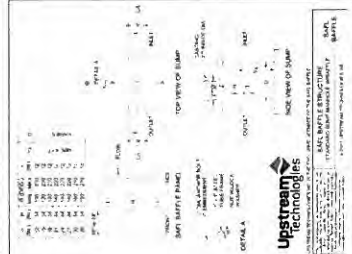
DRAIN TILE
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 CITY OF LAKE ELMO



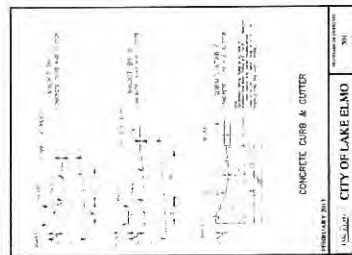
POND SUMP
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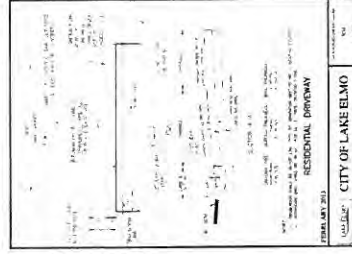
DRAIN PIPE CONNECTIONS
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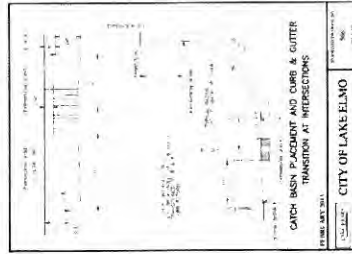
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 15/16/14
 CITY OF LAKE ELMO



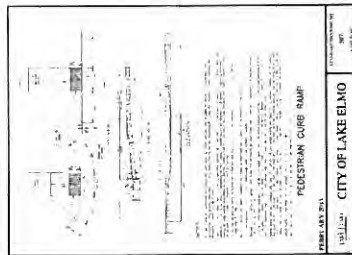
CONCRETE CURB & GUTTER
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 15/16/14
 CITY OF LAKE ELMO



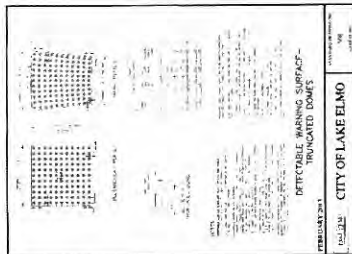
RESIDENTIAL DRIVEWAY
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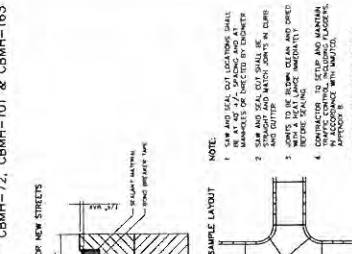
CATCH BASIN PLACEMENT AND CURB & GUTTER TRANSITION AT INTERSECTIONS
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 CITY OF LAKE ELMO



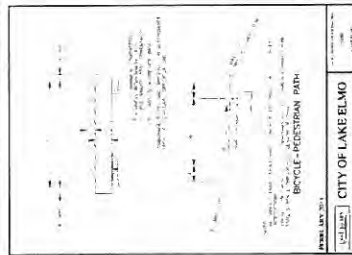
PEDESTRIAN CURB RAMP
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 15/16/14
 CITY OF LAKE ELMO



DETTACHABLE WARNING SURFACE - IN-PAVED ZONES
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 15/16/14
 CITY OF LAKE ELMO



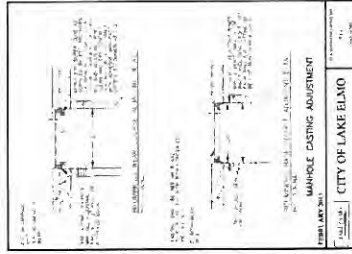
BICYCLE - PEDESTRIAN PATH
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 15/16/14
 CITY OF LAKE ELMO



CONCRETE SIDEWALK
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 15/16/14
 CITY OF LAKE ELMO



MANHOLE CASING ADJUSTMENT
 1/2" = 1'-0" (SEE SHEET 15)
 15/16/14
 CITY OF LAKE ELMO



VEILED LAP JOINT
 1/2" = 1'-0" (SEE SHEET 15)
 15/16/14
 CITY OF LAKE ELMO

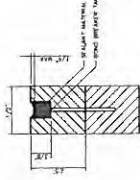


CONCRETE CURB MARKING
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 CITY OF LAKE ELMO

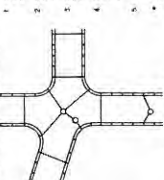


CONCRETE CURB MARKING
 1/2" = 1'-0" (SEE SHEET 15)
 15/16/14
 CITY OF LAKE ELMO

SAW AND SEAL FOR NEW STREETS



SAW AND SEAL SAMPLE LAYOUT



- NOTE:
1. SAW AND SEAL LOCATIONS SHALL BE MARKED WITH CHALK OR SPRAY PAINT.
 2. SAW AND SEAL CUT SHALL BE MADE AT THE CENTER OF THE CURB OR GUTTER.
 3. JOINTS TO BE SAWN CLEAN AND SIZED TO BE REPAIRED IMMEDIATELY BEFORE SEALING.
 4. CONTRACTOR TO KEEP AND MAINTAIN RECORDS OF ALL SAW AND SEAL OPERATIONS.
 5. ROAD BREAKER USE IS OPTIONAL.
- FOR INTERSECTION, STREETE ONLY
 • SAW AND SEAL SHALL NOT BE USED FOR NEW STREETS

SAW AND SEAL

Westwood Professional Services, Inc.
 7909 Anagram Drive
 Eden Prairie, MN 55344
 PHONE: 952.437.8888
 FAX: 952.437.8889
 WWW: www.westwood.com

Prepared for:
 City of Lake Elmo
 41257

Designed by:
 Checked by:
 Drawn by:
 Inset Drawing by:

Prepared for:

Ryland Homes
 7909 Anagram Drive
 Eden Prairie, Minnesota 55344

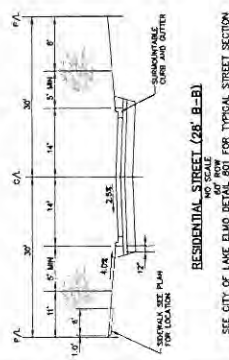
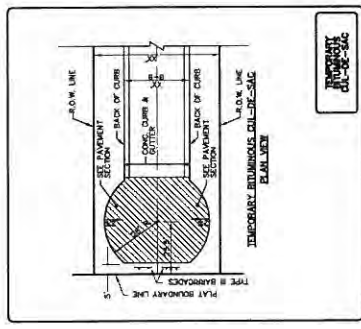
Hammes
 Property
 Lake Elmo, Minnesota

Details

Call 48 Hours before digging
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 Common Ground Alliance

Latest Revision Date: 09/07/14
 Date: 08/27/14 Sheet: 15 OF 17

<p>3/4\"/> <p>CITY OF LAKE ELMO</p> </p>	<p>DITCH CHECK (FRESH HOLE)</p> <p>CITY OF LAKE ELMO</p>	<p>SIDEWALK CONTROL AROUND STORM SEWER INLET</p> <p>CITY OF LAKE ELMO</p>	<p>ROCK CONSTRUCTION ENTRANCE</p> <p>CITY OF LAKE ELMO</p>	<p>SMITHY, WATER & SEWER SERVICE</p> <p>CITY OF LAKE ELMO</p>	<p>TYPICAL SERVICE PROTECTION</p> <p>CITY OF LAKE ELMO</p>	<p>TYPICAL LOCAL RESIDENTIAL STREET SECTION (SHOWING 1'-0\"/> <p>CITY OF LAKE ELMO</p> </p>	<p>TYPICAL RIGHT OF WAY LAYOUT</p> <p>CITY OF LAKE ELMO</p>	<p>URBAN STREET UTILITY LOCATION</p> <p>CITY OF LAKE ELMO</p>	<p>POND OUTLET STRUCTURE - 81</p>	<p>POND OUTLET STRUCTURE - 95</p>	<p>POND OUTLET STRUCTURE - 85</p>	<p>POND OUTLET STRUCTURE - 90</p>	<p>POND OUTLET STRUCTURE - 151</p>
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Latest Revision Date: 08/27/14
 Date: 08/27/14 Sheet: B of D

Hammer Property
 Lake Elmo, Minnesota

Ryland Homes
 7999 Arapogon Drive
 Eden Prairie, Minnesota 55344

Prepared for:
 City of Lake Elmo

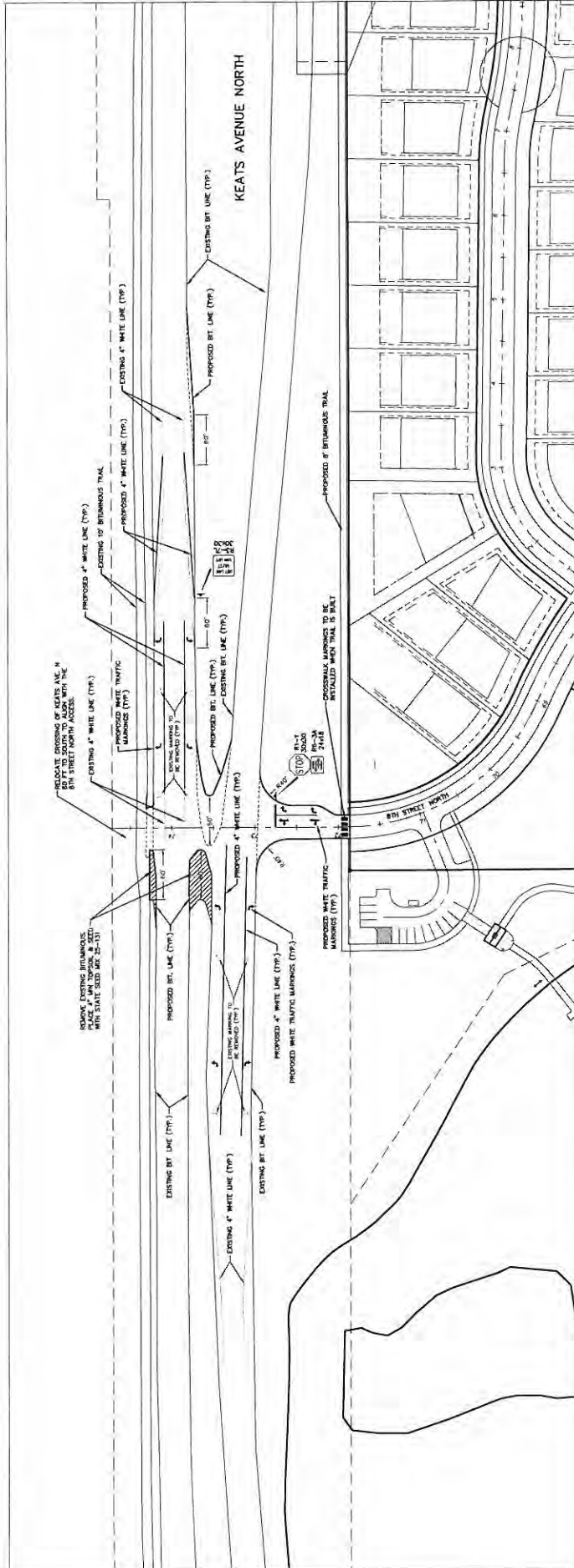
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 Checked by: [Signature]
 Drawn by: [Signature]
 Board Drawing by: [Signature]

Scale: AS SHOWN

Project No.: 41357

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 10000 Lake Elmo Drive
 Eden Prairie, MN 55344
 Phone: 952-941-1000
 Fax: 952-941-1001
 Website: www.wetwood.com

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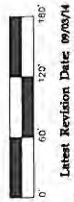


General Site Notes

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN SHALL BE VERIFIED BY THE CONTRACTOR FOR SHALL FIELD VERIFY. SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE ADVISED IMMEDIATELY.
- REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING EXISTING AND PROPOSED TRAFFIC MARKINGS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC THROUGHOUT THE PROJECT. ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE INDOT STANDARDS.
- BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.

Site Legend

EXISTING	PROPOSED



Latest Revision Date: 09/03/14
00220000001000
Date: 09/27/14 Sheet: 17 of 17

Hammes Property
Lake Echo, Minnetonka

Ryland Homes
799 Annapolis Drive
Eden Prairie, Minnesota 55344

Prepared for:

Prepared	Checked	Drawn	Reviewed
CLJ	CLJ	CLJ	CLJ
CLJ	CLJ	CLJ	CLJ
CLJ	CLJ	CLJ	CLJ

Scale: AS SHOWN
Project: 09/03/14
Issue No.: 41257

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10000 Lakeshore Blvd. N.
Suite 1000
Plymouth, MN 55442
Phone: 763-882-0000
Fax: 763-882-0001
www.westwoodps.com



Construction Plans

for
**Grading, Drainage & Erosion Control
 Plans**

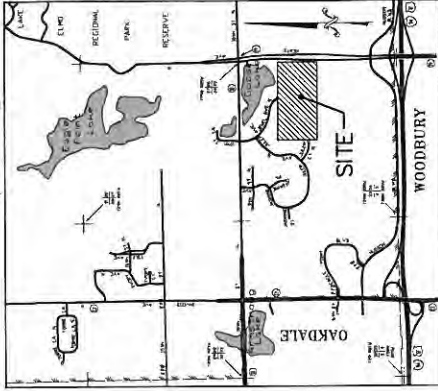
for
**Hammes Property
 Lake Elmo, Minnesota**

Prepared for:
Ryland Homes
 7599 Anagram Drive
 Eden Prairie, Minnesota 55344
 Contact: Mark Sonstegard
 Phone: 952-229-6000
 Fax: 952-229-6024

Prepared by:

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 6500 Prairie Lake Drive
 Eden Prairie, MN 55344
 PHONE: 952-877-7450
 FAX: 952-877-7450
 WWW.WESTWOODSIA.COM
 Project number: 0002905.00
 Contact: Ryan M. Blum

Vicinity Map

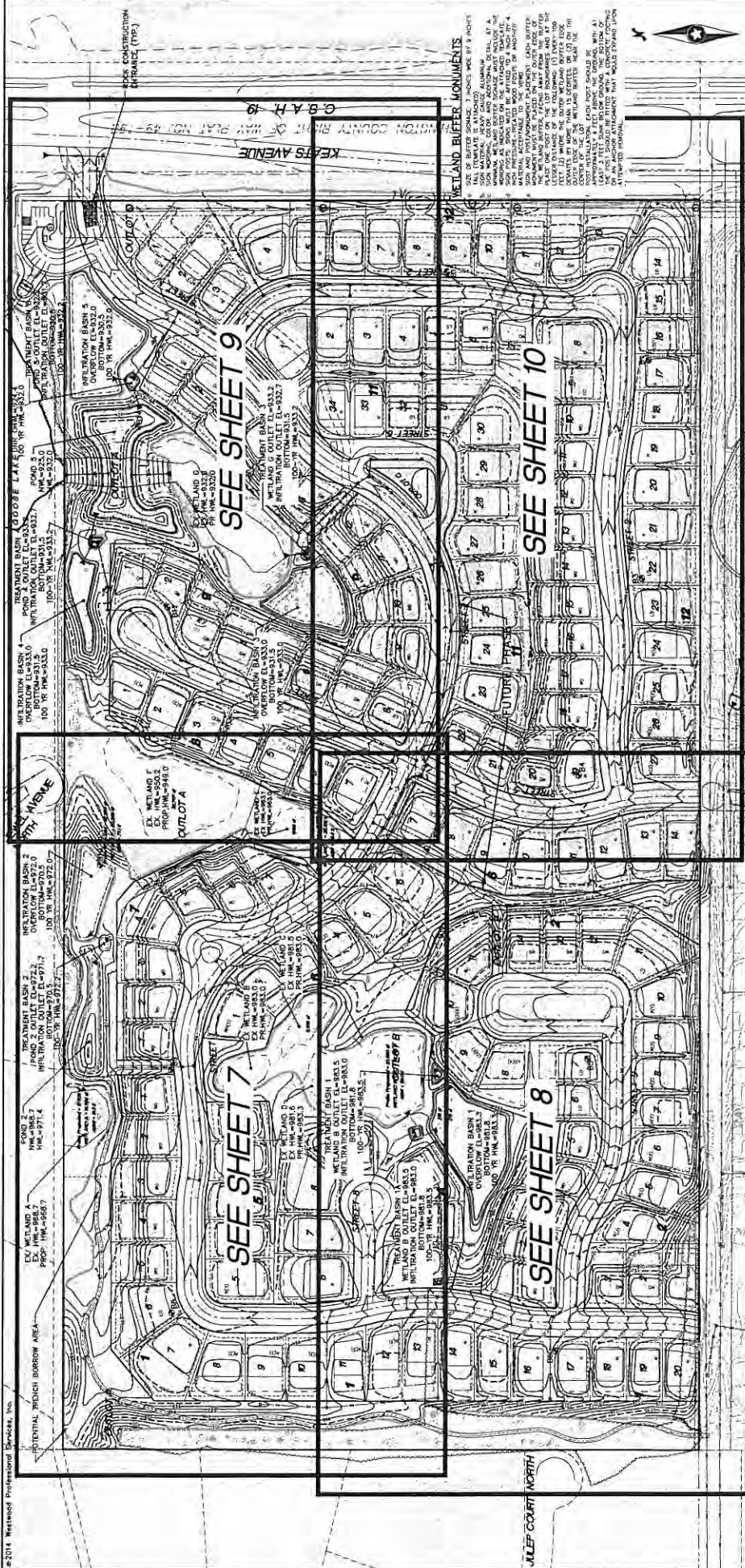


Sheet Number	Sheet Title
1	Cover
2	Overall Grading Plan
3	Grading, Drainage & Erosion Control Plan
4	Grading, Drainage & Erosion Control Plan
5	Grading, Drainage & Erosion Control Plan
6	Grading, Drainage & Erosion Control Plan
7	Wetland Buffer Plan
8	Welland Buffer Plan
9	Details
10	Details
11	Street Profiles
12	Street Profiles
13	Pre-Development Drainage Area Plan
14	Post-Development Drainage Area Plan

NO.	DATE	REVISION	SHEETS

Construction Plans
 for
**Grading, Drainage & Erosion Control
 Plans**
 for
**Hammes Property
 Lake Elmo, Minnesota**

Date: 06/27/14 Sheet: 1 of 14



PROJECT SPOURCING

- INSTALL ROCK CONSTRUCTION ENTRANCE(S) FOR USE AS TEMPORARY BASINS.
- INSTALL SILT FENCE AROUND PERIMETER OF PLAN.
- INSTALL SILT FENCE AROUND PERIMETER OF PLAN.
- INSTALL EROSION CONTROL BLANKET IN DESIGNATED AREAS AS THEY ARE GRADED.
- SEED AND MULCH SITE FOR VEGETATION IMMEDIATELY UPON GRADING COMPLETION.
- REMOVE SILT FENCE AFTER PERMANENT VEGETATION HAS BEEN ESTABLISHED.

GENERAL NOTES:

- ALL CONTOURS AND SPOT ELEVATIONS ARE SHOWN TO FINISHED SURFACE/GUTTER REGS UNLESS OTHERWISE NOTED.
- HORIZONTAL SITE DIMENSIONS AND LAYOUT.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING UTILITIES AND TOPOGRAPHICAL FEATURES WITH THE OWNERS AND FIELD-SUPPLY ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM PLAN.
- SEE SHEET 7 FOR CITY OF LAKE ELMO STANDARD PLAN NOTES FOR GRADING AND EROSION CONTROL.
- EXISTING AND PROPOSED SITE CONTOUR ELEVATIONS RELATED TO MAYO 1988 DATUM.

NOTE:

TO PREVENT SOIL COMPACTION, THE PROPOSED INFILTRATION AREAS SHALL BE STAVED OFF AND MARKED DURING CONSTRUCTION TO PREVENT INFILTRATION FACILITIES FROM BEING PLACED UNDER CONSTRUCTION FACILITIES. SOIL COMPACTING PRACTICES SUCH AS OVERSPEED BURNS AND VEGETATION AROUND THE FACILITIES, PERMETER, INFILTRATION STABILIZED DRAINAGE AREA HAS BEEN CONSTRUCTED AND FULLY STABILIZED. THE FINAL PHASE OF EXCAVATION SHALL REMOVE ALL EXISTING INFILTRATION AREAS TO PROVIDE A MINIMUM OF 10% TO AVOID COMPACTION OF THE BASIN FLOOR. TO PROVIDE A MINIMUM FLOOR SHALL BE LOCKED TO A DEPTH OF AT LEAST 24 INCHES. A MINIMUM COMPACTION OF 85% STANDARD PROCTOR DENSITY PRIOR TO FINISHING.

LEGENDS:

- DENOTES SOIL BORING
- DENOTES HEAVY DUTY SILT FENCE
- DENOTES EXISTING CONTOURS
- DENOTES PROPOSED INTERIOR CONTOURS
- DENOTES FUTURE STORM SEWER
- DENOTES PROPOSED STORM SEWER
- DENOTES EXISTING TREE LINE

LEGENDS:

- DENOTES EXISTING SPOT ELEVATION
- DENOTES PROPOSED SPOT ELEVATION
- DENOTES EMERGENCY OVERFLOW ELEVATION
- 3:1 SLOPE STABILIZATION EROSION CONTROL BLANKET
- DENOTES WETLANDS
- DENOTES WETLAND BUFFER MONUMENT
- DENOTES WETLAND BUFFER

WETLAND BUFFER MONUMENTS

ALL WETLAND BUFFER MONUMENTS SHALL BE CONSTRUCTED TO A MINIMUM OF 5 FEET WIDE. THE MONUMENT SHALL BE CONSTRUCTED TO A MINIMUM OF 5 FEET WIDE. THE MONUMENT SHALL BE CONSTRUCTED TO A MINIMUM OF 5 FEET WIDE. THE MONUMENT SHALL BE CONSTRUCTED TO A MINIMUM OF 5 FEET WIDE.

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DATE: 08/27/14 SHEET: 2 OF 14

Hammes Property
Lake Elmo, Minnesota

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Common Ground Alliance

Ryland Homes
10000 Lake Elmo Drive
Eden Prairie, Minnesota 55344

Prepared for:

Client: Hammes Property
Checked: [Signature]
Drawn: [Signature]
Project Drawing Number: 40257

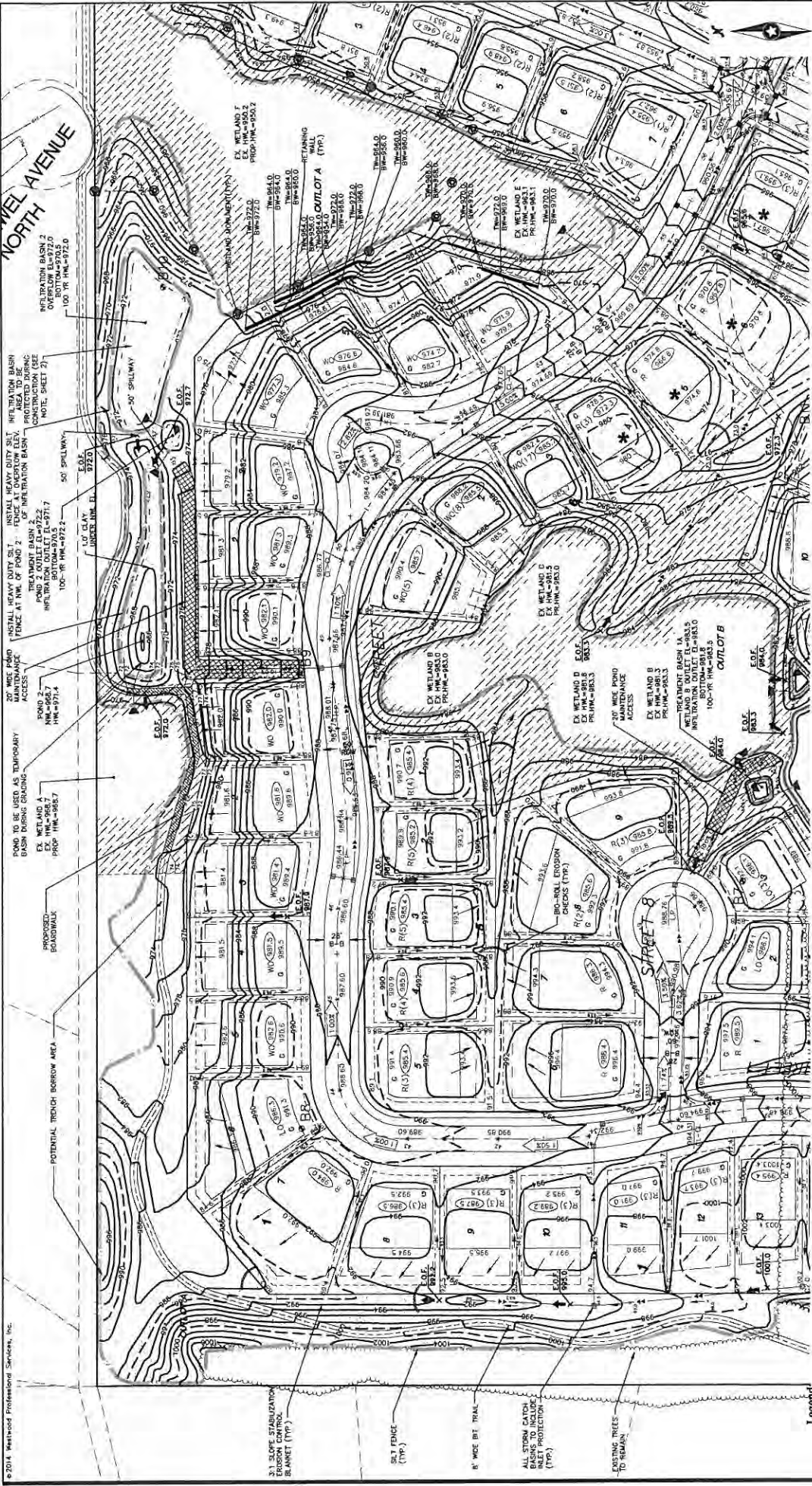
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Project Drawing Number: 40257

Westwood
10000 Lake Elmo Drive
Eden Prairie, Minnesota 55344
Tel: (952) 941-4000
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www.westwoodmn.com



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Date: 08/27/14 Sheet: 5 of 14
 08/27/2014.dwg

Hammes Property
 Lake Elmo, Minnesota

Ryland Homes
 7299 Anderson Drive
 Eden Prairie, Minnesota 55444

Prepared for:
 Client: _____
 Checked: _____
 Drawn: _____
 Project: _____
 Project Drawing Number: _____

Project No. _____
 Date: 08/27/14 Issue No. 4257

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 10000 Lyndale Ave. S.
 Eden Prairie, MN 55424
 P.O. Box 112000
 Minneapolis, MN 55411
 TEL: (952) 835-1100
 FAX: (952) 835-1101
 www.westwoodpro.com

Westwood

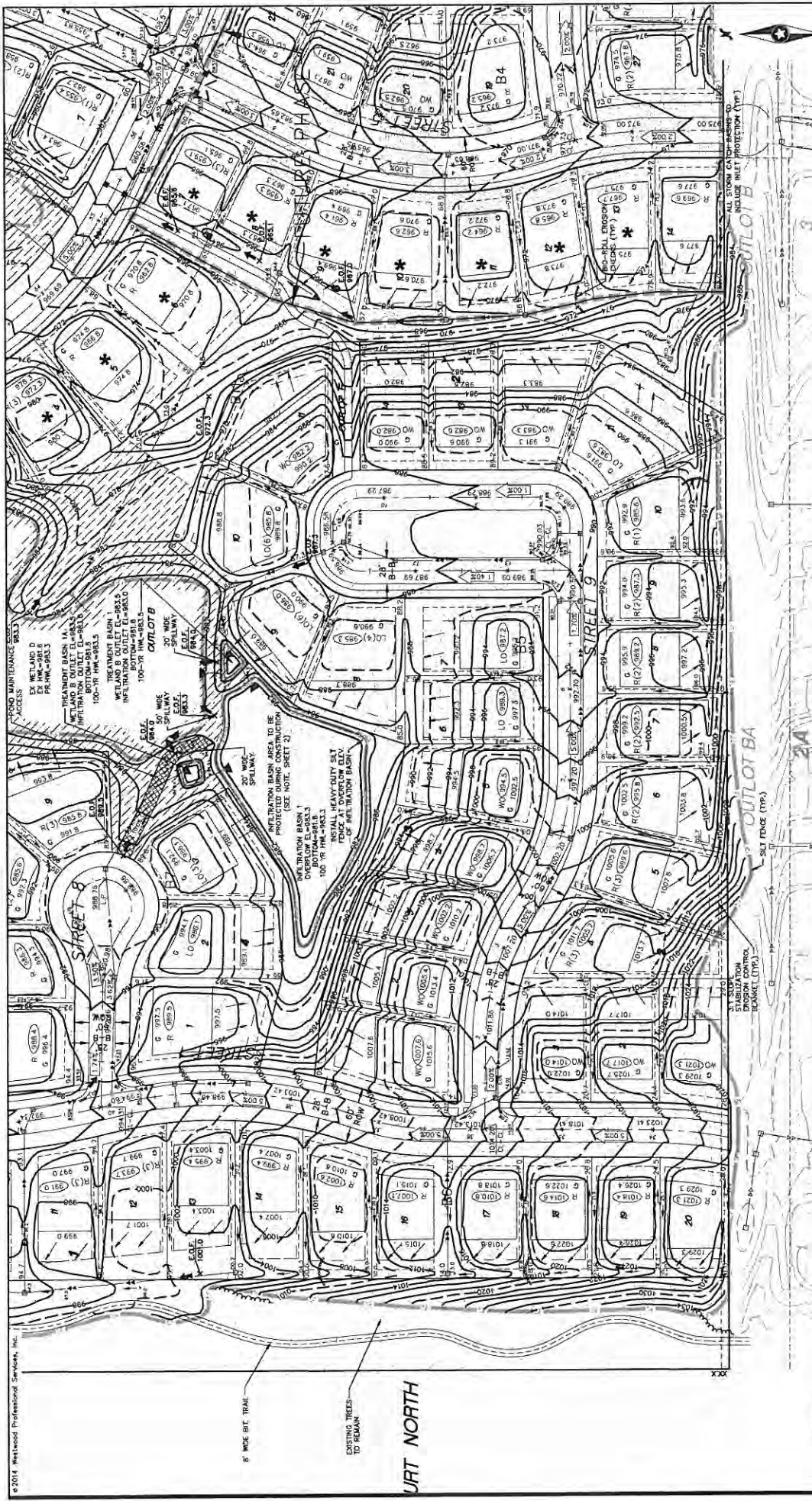
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 - ⊙ DENOTES FUTURE STORM SEWER
 - ⊙ DENOTES EXISTING CONTOURS
 - ⊙ DENOTES PROPOSED CONTOURS
 - ⊙ DENOTES PROPOSED INTERIM CONTOURS
 - ⊙ DENOTES BIO-HILL EROSION CHECKS
 - ⊙ DENOTES EMERGENT VEGETATION
 - ⊙ DENOTES METALLO BUFFER MONUMENT
 - ⊙ DENOTES METALLO BUFFER
 - ⊙ DENOTES FUTURE STORM SEWER
 - ⊙ DENOTES PROPOSED STORM SEWER
 - ⊙ DENOTES EXISTING SPOT ELEVATION
 - ⊙ DENOTES PROPOSED SPOT ELEVATION
 - ⊙ DENOTES SOIL BORINGS
 - ⊙ DENOTES HEAVY DUTY SALT FENCE
 - ⊙ DENOTES EXISTING CONTOURS
 - ⊙ DENOTES PROPOSED CONTOURS
 - ⊙ DENOTES PROPOSED INTERIM CONTOURS
 - ⊙ DENOTES METALLO BUFFER MONUMENT
 - ⊙ DENOTES METALLO BUFFER
 - ⊙ DENOTES EXISTING CONTOUR ELEVATION
 - ⊙ DENOTES PROPOSED CONTOUR ELEVATION
 - ⊙ DENOTES METALLO BUFFER
 - ⊙ DENOTES METALLO BUFFER

* BUILDER WILL BE REQUIRED TO CONTOUR ELEVATIONS RELATED TO PERMETER OF FOUNDATION TO HAVE 10% DRAIN.

* DENOTES METALLO BUFFER MONUMENT

* DENOTES METALLO BUFFER

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 Common Ground Alliance



Date: 08/27/14 Sheet: 4 of 14
 08/27/2014

Hammes Property
 Lake Elm, Minnesota

Ryland Homes
 7999 Augsburg Drive
 Eden Prairie, Minnesota 55344

* BUILDER WILL BE REQUIRED TO INSTALL BRANBLE AROUND THE PERIMETER OF FOUNDATION

* COSTING AND PROGRESSIVE SEE TO HAVE TREE DATUM.

* DENOTES FUTURE STORM SEWER

* DENOTES FUTURE STORM SEWER

* DENOTES FUTURE STORM SEWER

* DENOTES FUTURE STORM SEWER

* DENOTES FUTURE STORM SEWER

Cell 48 Hours before Supply: 811 or call 811.com
 Common Ground Alliance

Prepared for:

Drawn: []
 Checked: []
 Street: []
 Board: []
 Date: 08/27/14

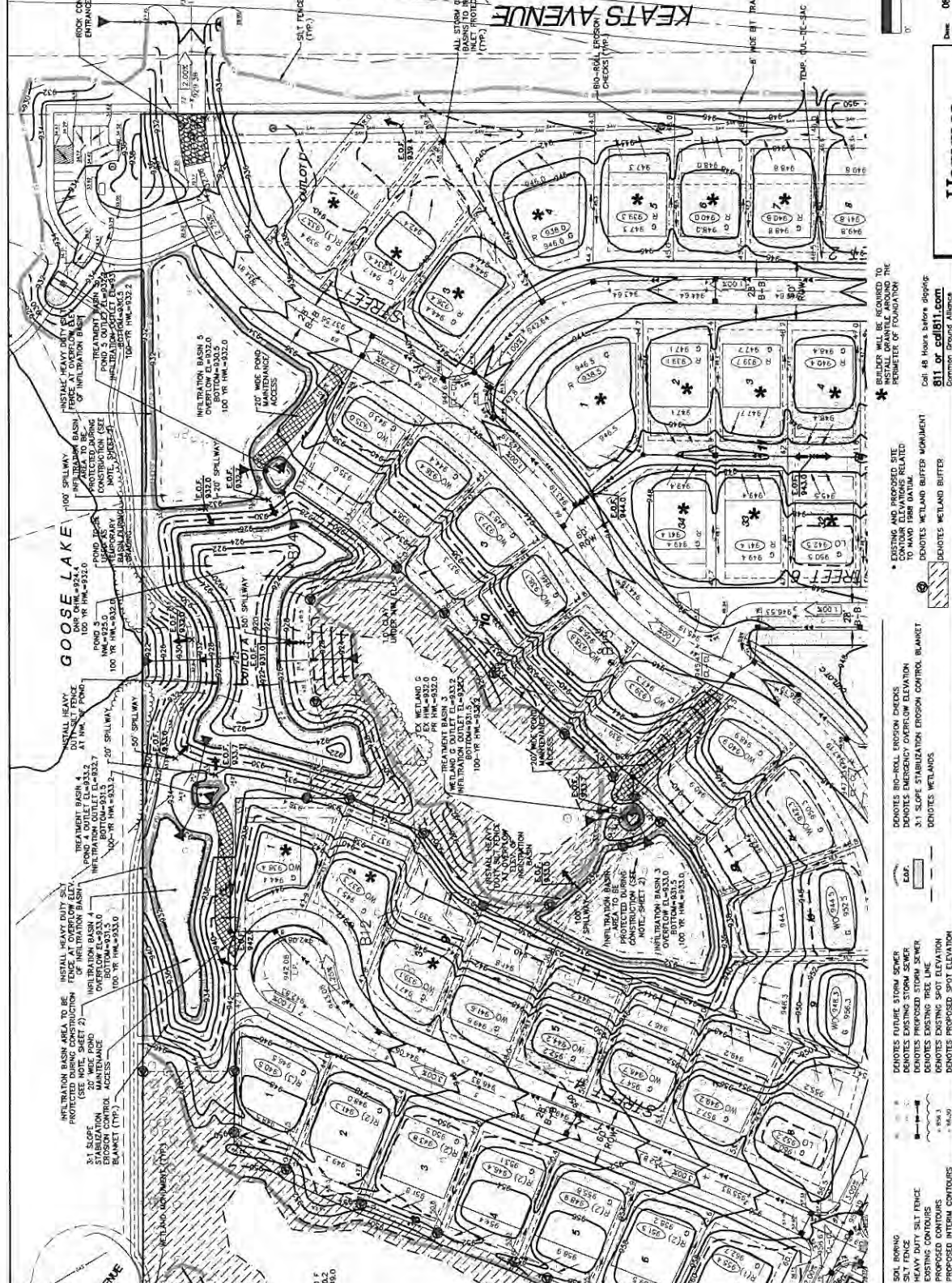
41557

Westwood
 18850 Westwood Drive
 Eden Prairie, MN 55344
 Tel: 952.837.8007
 Fax: 952.837.8008
 Toll Free: 1-888-575-5154
 www.westwoodmn.com

© 2014 Westwood Professional Services, Inc.
 6" WIDE BIT. TRAIL
 EXISTING TREES TO REMAIN
 CURT NORTH

Legend:
 DENOTES SOIL BORING
 DENOTES HEAVY DUTY SILT FENCE
 DENOTES EXISTING CONTOURS
 DENOTES PROPOSED CONTOURS
 DENOTES PROPOSED INTERIM CONTOURS
 DENOTES FUTURE STORM SEWER
 DENOTES PROPOSED STORM SEWER
 DENOTES EXISTING TREE LINE
 DENOTES EXISTING SPOT ELEVATION
 DENOTES PROPOSED SPOT ELEVATION
 DENOTES 3:1 SLOPE STABILIZATION EROSION CONTROL BLANKET
 DENOTES WETLANDS
 DENOTES WETLAND BUFFER MONUMENT
 DENOTES WETLAND BUFFER
 ALL STORM CATCH BASINS TO INCLUDE INLET PROTECTION (I/P)
 STABILIZATION EROSION CONTROL BLANKET (LTP)
 SILT FENCE (I/P)
 SLOPE STABILIZATION EROSION CONTROL BLANKET
 WETLANDS
 WETLAND BUFFER MONUMENT
 WETLAND BUFFER
 FUTURE STORM SEWER
 PROPOSED STORM SEWER
 EXISTING TREE LINE
 EXISTING SPOT ELEVATION
 PROPOSED SPOT ELEVATION
 HEAVY DUTY SILT FENCE
 SOIL BORING
 CONTOURS
 INTERIM CONTOURS
 PROPOSED CONTOURS
 EXISTING CONTOURS

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INSTALL HEAVY DUTY SILT FENCE AT OVERFLOW BASIN...
 POND 4 OUTLET EL=922.7
 100 YR. HM=932.0

INTEGRATION BASIN 1
 TREATMENT BASIN
 100 YR. HM=932.0
 100 YR. HM=932.0

INTEGRATION BASIN 2
 TREATMENT BASIN
 100 YR. HM=932.0
 100 YR. HM=932.0

INTEGRATION BASIN 3
 TREATMENT BASIN
 100 YR. HM=932.0
 100 YR. HM=932.0

INTEGRATION BASIN 4
 TREATMENT BASIN
 100 YR. HM=932.0
 100 YR. HM=932.0

INTEGRATION BASIN 5
 TREATMENT BASIN
 100 YR. HM=932.0
 100 YR. HM=932.0

Legend

- DENOTES SOIL BORING
- DENOTES MEANT DUFFY SILT FENCE
- DENOTES EXISTING CONTOURS
- DENOTES PROPOSED CONTOURS
- DENOTES EXISTING SPOT ELEVATION
- DENOTES PROPOSED SPOT ELEVATION
- DENOTES FUTURE STORM SOWER
- DENOTES PROPOSED STORM SOWER
- DENOTES EXISTING TREE LINE
- DENOTES EXISTING SPOT ELEVATION
- DENOTES PROPOSED SPOT ELEVATION
- DENOTES 60-90 DEGREE EROSION CHECKS
- DENOTES EMERGENCY OVERFLOW ELEVATION
- 1:1 SLOPE EROSION CONTROL BLANKET
- DENOTES WETLANDS
- DENOTES WETLAND BUFFER MONUMENT
- DENOTES WETLAND BUFFER
- DENOTES UNDESIRABLE CONTOUR ELEVATIONS RELATED TO MAID 1989 DATUM
- BUILDER WILL BE REQUIRED TO INSTALL DRAINAGE AROUND THE PERIMETER OF FOUNDATION
- CALL 48 HOURS BEFORE DIPPING: 911 or call811.com

Ryland Homes
 7200 American Drive
 Eden Prairie, Minnesota 55344

Hammes Property
 Lake Elmo, Minnesota

C.S.A.H. 19
 STON COUNTY RIGHT OF WAY PLAT NO. 49-195

WASHINGTON COUNTY, MN

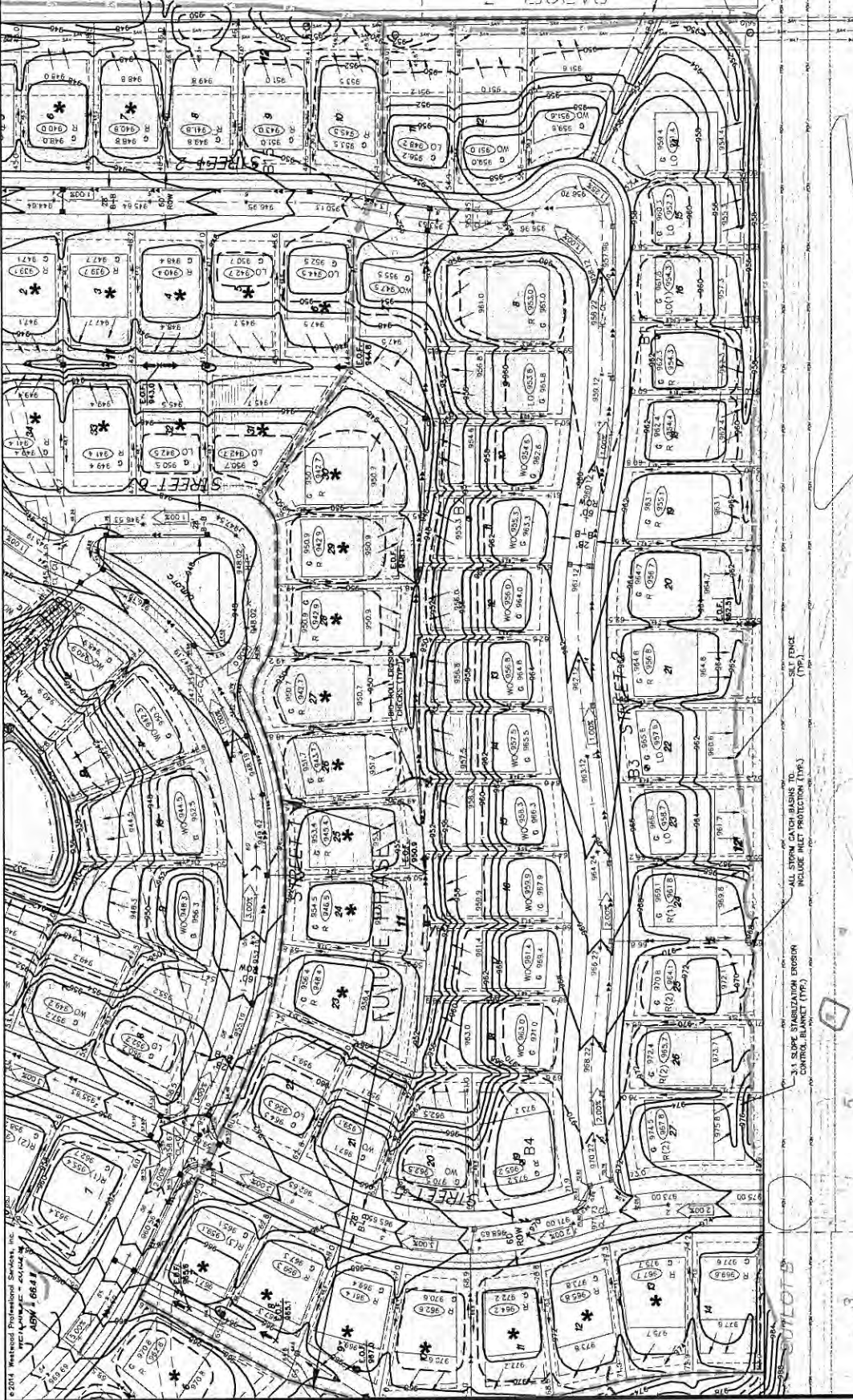
KEATS AVENUE 19

PARCEL 3

8' WIDE BIT. TRAIL



Sheet 6 of 14
Date 08/27/14
Scale 1/8" = 1'-0"



Hammes Property
Lake Elmo, Minnesota

Ryland Homes
3799 Ardenway Drive
Eden Prairie, Minnesota 55444

* BLINDER WILL BE REQUIRED TO INSTALL DRAINAGE AROUND THE PERIMETER OF FOUNDATION
Call 48 Hours before digging
811 or call811.com
Common Ground Alliance

* EXISTING AND PROPOSED SITE TO HAVE 1988 DATUM
DENOTES WETLAND BUFFER MONUMENT
DENOTES WETLAND BUFFER
DENOTES WETLAND

DENOTES BIO-ROLL EROSION CHECKS
DENOTES EMERGENCY OVERFLOW ELEVATION
3:1 SLOPE STABILIZATION EROSION CONTROL BLANKET
DENOTES WETLANDS

DENOTES FUTURE STORM SEWER
DENOTES EXISTING STORM SEWER
DENOTES EXISTING STORM SEWER
DENOTES EXISTING TREE LINE
DENOTES EXISTING SPOT ELEVATION
DENOTES PROPOSED SPOT ELEVATION

DENOTES SOIL BORING
DENOTES BIT FENCE
DENOTES BIT FENCE
DENOTES EXISTING CONTOURS
DENOTES PROPOSED CONTOURS
DENOTES PROPOSED INTERIM CONTOURS

Legend:

Prepared for:

Client	Drawn	Checked	Scale

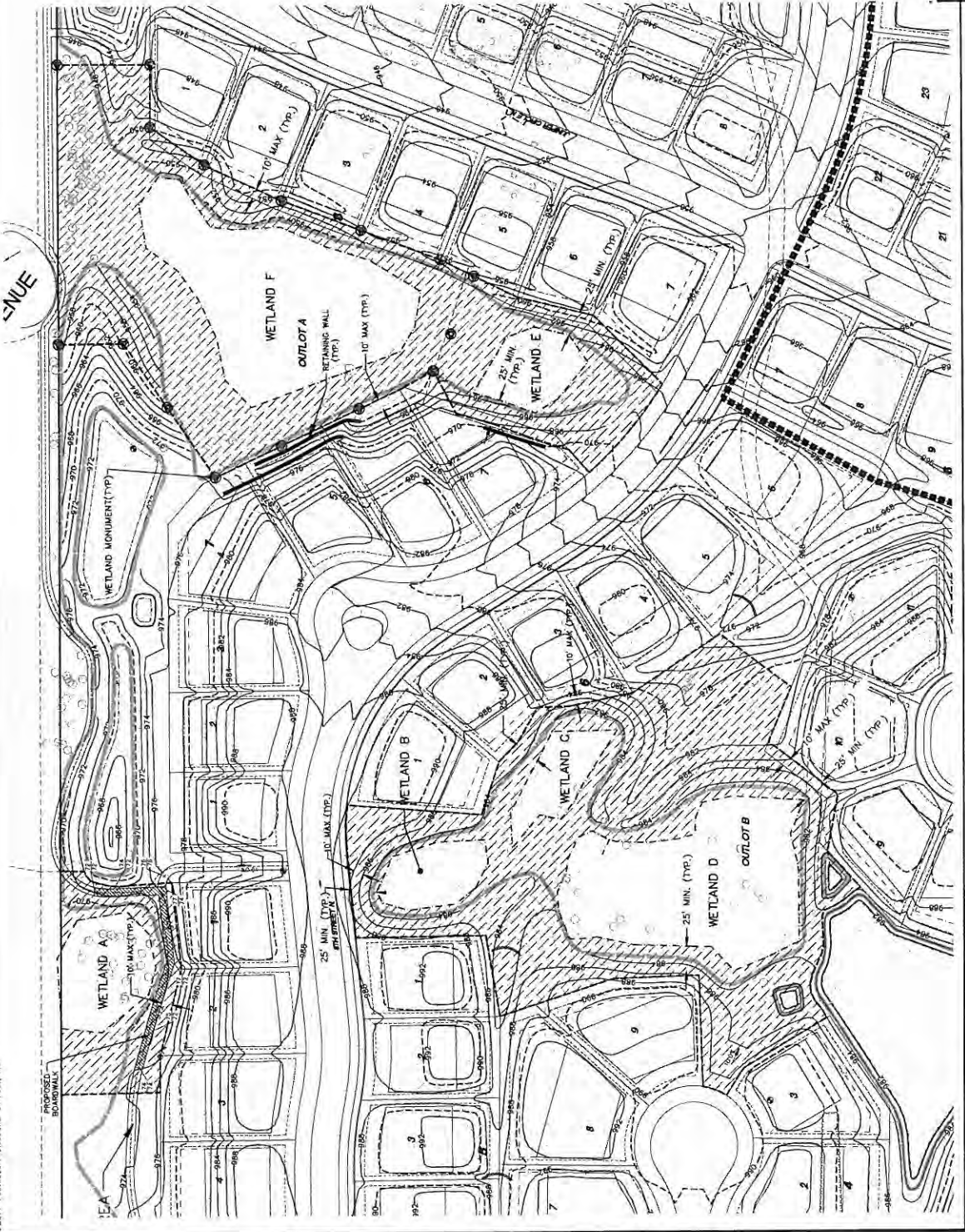
Project	Sheet

1. I hereby certify that the data and information upon which this plan is based are true and correct to the best of my knowledge and belief.
Ryland Homes
Date: 08/27/14 License No. 01287



Call 48 hours before digging:
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 Common Ground Alliance

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LEGEND:

- DENOTES SOIL BORING
- DENOTES HEAVY DUTY 6" FENCE
- DENOTES EXISTING CONTOURS
- DENOTES EXISTING STORM SEWER
- DENOTES PROPOSED STORM SEWER
- DENOTES EXISTING TREE LINE
- DENOTES APPROXIMATE TREE REMOVAL LIMITS
- DENOTES PROPOSED SPOT ELEVATION
- DENOTES BO-ROLL EROSION CHECKS
- DENOTES EMERGENCY OVERFLOW ELEVATION
- ▨ PROPOSED WETLAND BUFFER AREA
- DENOTES WETLAND BUFFER MONUMENT

* EXISTING AND PROPOSED SITE TO WETLAND BUFFER RELATED TO WADL 0804 DRAIN

Wetland	Existing Buffer	Proposed Buffer	Average Buffer Width
A	17,320 SF	14,524 SF	51.3 LF
B, C & D	76,845 SF	53,697 SF	59.0 LF
E	23,952 SF	20,152 SF	66.4 LF
F	72,408 SF	60,343 SF	75.1 LF



Date: 06/27/14 Sheet: 7 of 14

Hammes Property
 Lake Elmo, Minnesota

Ryland Homes
 7990 Aragon Drive
 Eden Prairie, Minnesota 55444

Prepared for:

Checked:	CD
Drawn:	SK
Project Number:	11237

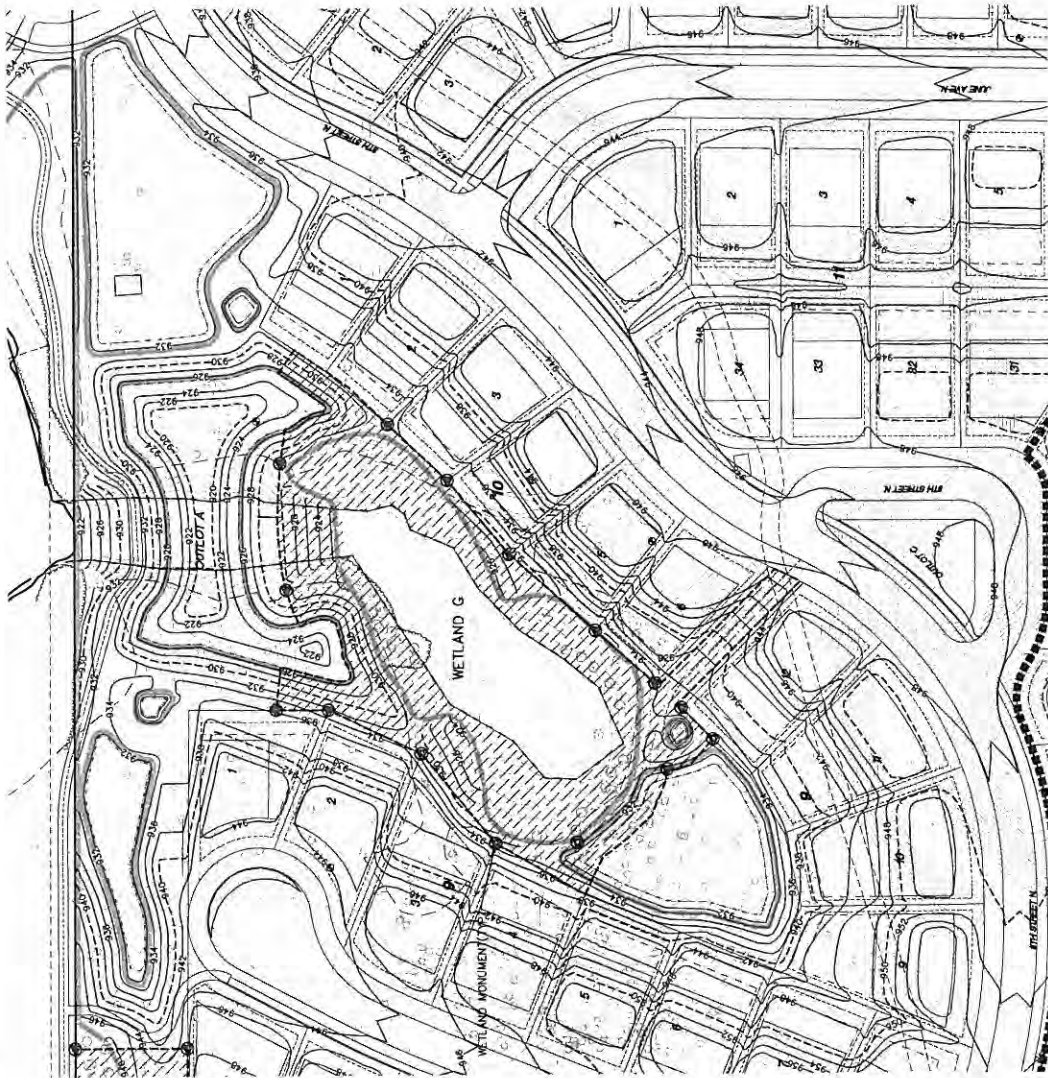
Project: 11237
 Date: 06/27/14

Westwood Professional Services, Inc.
 10000 Westwood Drive
 Eden Prairie, MN 55424
 Phone: 952-941-1111
 Fax: 952-941-1112
 Website: www.westwoodpro.com



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LEGEND:

- DENOTES SOIL BORING
- DENOTES SILT FENCE
- DENOTES HEAVY DUTY SILT FENCE
- DENOTES EXISTING CONTOURS
- DENOTES PROPOSED CONTOURS
- DENOTES PROPOSED STORM SEWER
- DENOTES PROPOSED STORM SEWER
- DENOTES EXISTING TREE LINE
- DENOTES APPROXIMATE TREE REMOVAL LIMITS
- DENOTES EXISTING SPOT ELEVATION
- DENOTES PROPOSED SPOT ELEVATION
- DENOTES BIC-ROLL EROSION CHECKS
- DENOTES EMERGENCY OVERTFLOW ELEVATION
- DENOTES WETLAND BUFFER AREA
- DENOTES WETLAND BUFFER MONUMENT

* EXISTING AND PROPOSED SITE TO HAVE 1988 DATUM

Wetland	Proposed Buffer	Average Buffer Width
G	56,613 SF	83.9 LF



Date: 08/27/14 Sheet: 8 OF 14

Hammes Property
 Lake Bluff, Minnesota

Ryland Homes
 7999 Aurora Drive
 Eden Prairie, Minnesota 55424

Prepared for:

Prepared by:	DL
Checked:	DL
Drawn:	DL
Approved:	DL

Project Name: _____
 Project No.: _____
 Date: 08/27/14 License No.: 61257

Wetland Professional Services, Inc.
 10000 Lake Bluff Road
 Eden Prairie, MN 55424
 Phone: 952-947-0044
 Fax: 952-947-0044
 Website: www.wpsinc.com



Westwood

STANDARD PLAN NOTES
 CITY OF LAKE ELMO

CONCRETE CURB & GUTTER
 CITY OF LAKE ELMO

CONCRETE SIDEWALK
 CITY OF LAKE ELMO

STANDARD PLAN NOTES
 CITY OF LAKE ELMO

STANDARD PLAN NOTES
 CITY OF LAKE ELMO

STANDARD PLAN NOTES
 CITY OF LAKE ELMO

STANDARD PLAN NOTES
 CITY OF LAKE ELMO

5:1 FENCE
 CITY OF LAKE ELMO

DITCH CHECK (7:1:1 ROLL)
 CITY OF LAKE ELMO

SEWAGE CONTROL AROUND STORM SEWER INLET
 CITY OF LAKE ELMO

INLET CONNECTION (SEE ENTRANCE)
 CITY OF LAKE ELMO

TYPICAL LOCAL RESIDENTIAL SHRED SECTION
 CITY OF LAKE ELMO

TYPICAL HIGHWAY WAY LAYOUT
 CITY OF LAKE ELMO

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Westwood Professional Services, Inc.
 7999 Arroyo Drive
 Eden Prairie, MN 55344
 PHONE: 952.461.1100
 FAX: 952.461.1101
 www.westwoodpro.com

I have made the plans and specifications for the work of the project and I am a duly licensed Professional Engineer in the State of Minnesota.
 Ryan M. Schmitt
 Date: 08/27/14 License No. 41257

Prepared for:
 Ryland Homes
 7999 Arroyo Drive
 Eden Prairie, Minnesota 55344

Prepared for:

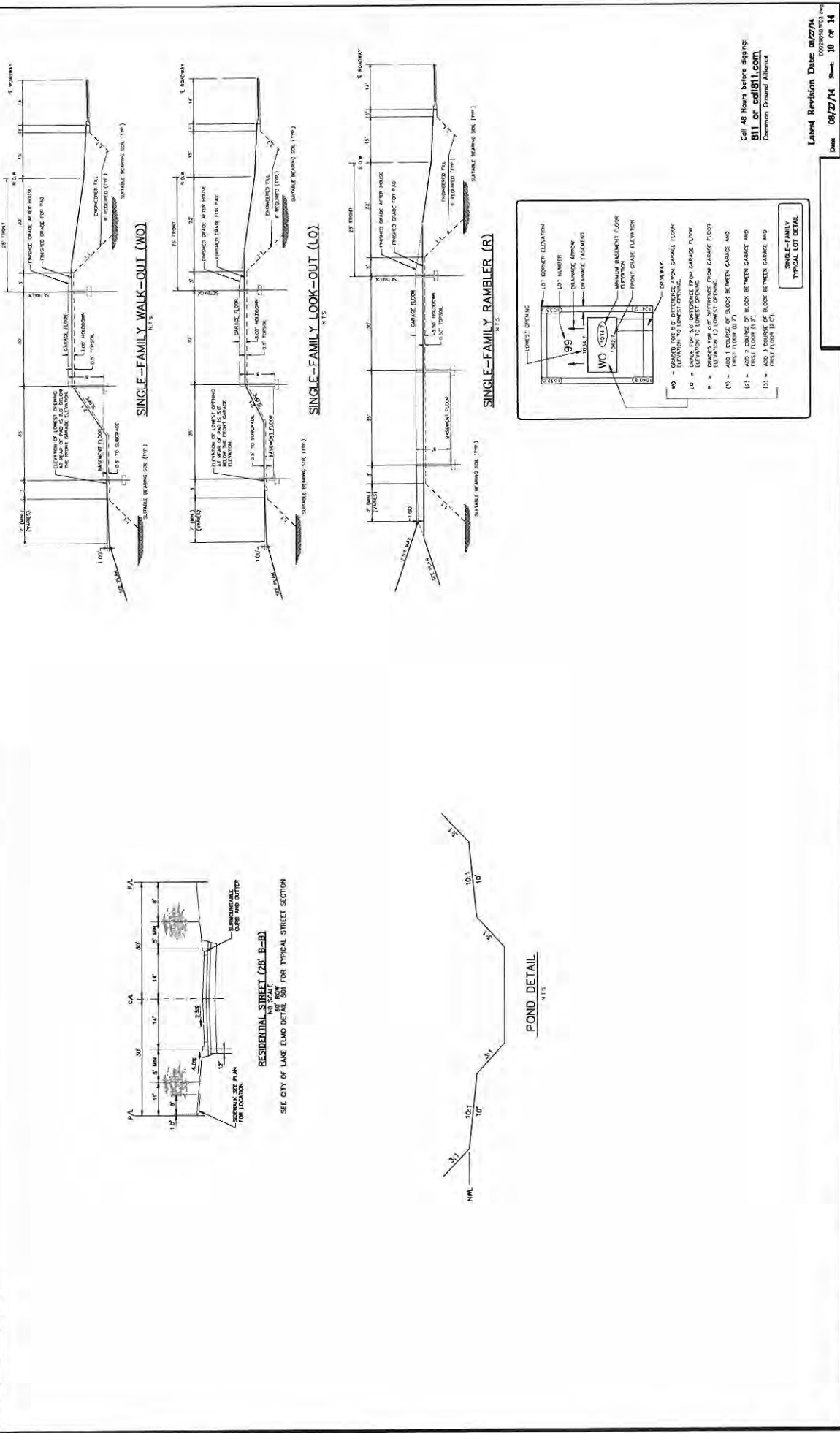
Ryland Homes
 7999 Arroyo Drive
 Eden Prairie, Minnesota 55344

Hammes Property
 Lake Elmo, Minnesota

Details

Latest Revision Date: 08/27/14
 Date: 08/27/14 Sheet: 9 of 14



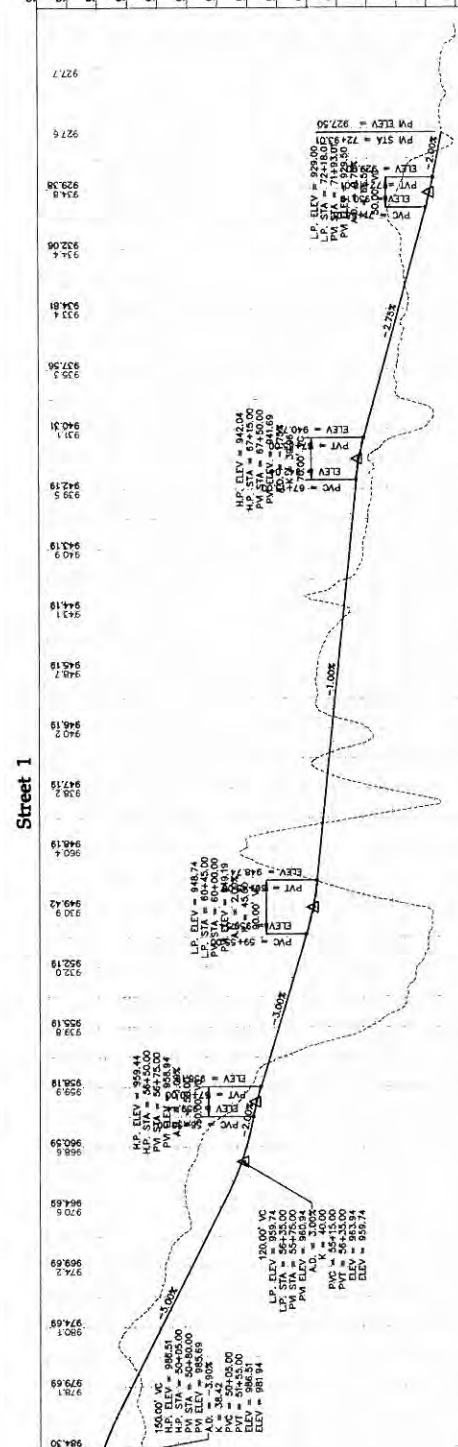
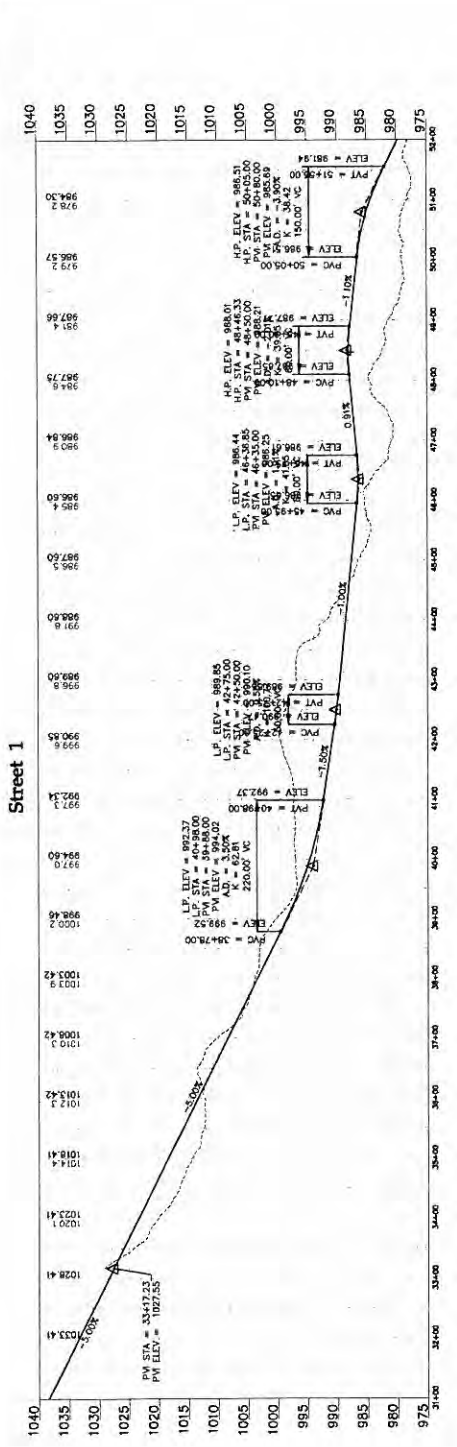


Prepared for:
Client _____
Checked _____
Drawn _____
Revised Drawing Number _____

Westwood Professional Services, Inc.
1099 Westwood Professional Services, Inc.
Eden Prairie, MN 55324
P.O. Box 200
Eden Prairie, MN 55324
(952) 948-2121
www.westwoodpros.com

Approved By: _____
Date: 08/27/14 License No. 41297





Hammes Property
 Lake Elmo, Minnesota

Ryland Homes
 7200 Abbotts Drive
 Eden Prairie, Minnesota 55344

Prepared for:

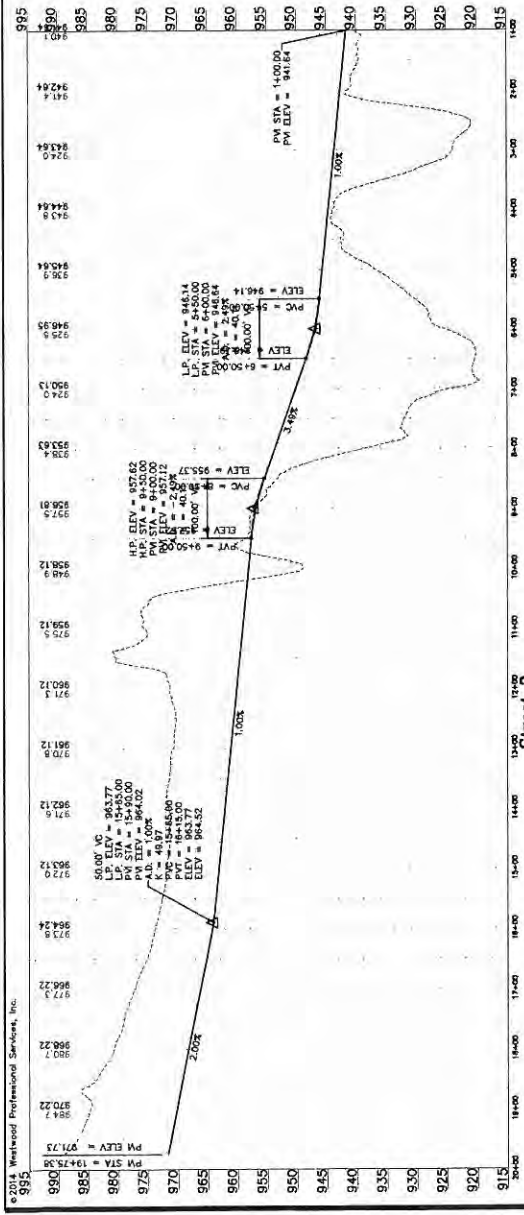
Client	Drawn
Hammes Property	John Smith
Ryland Homes	Jane Doe

Revisions:

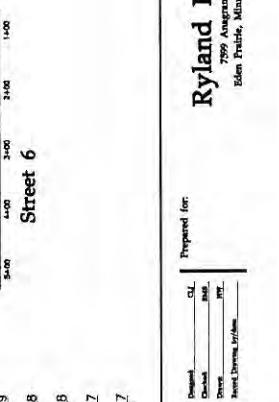
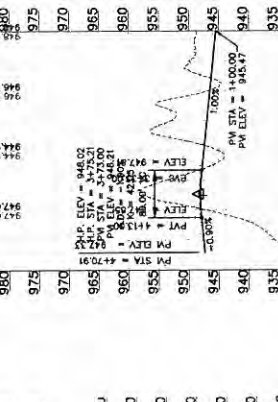
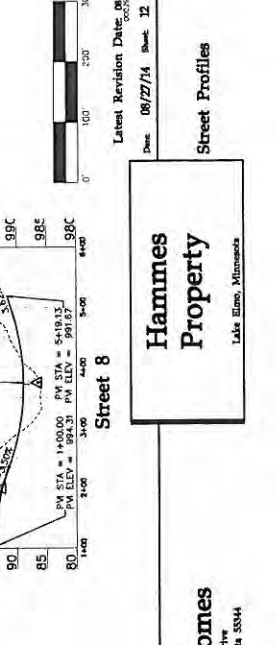
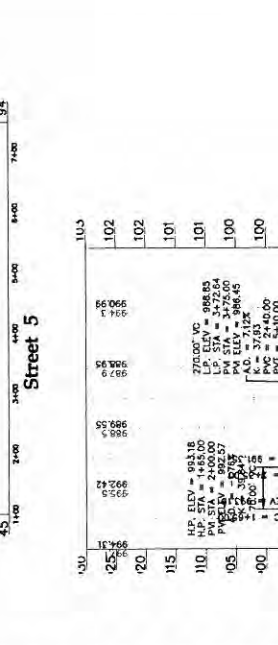
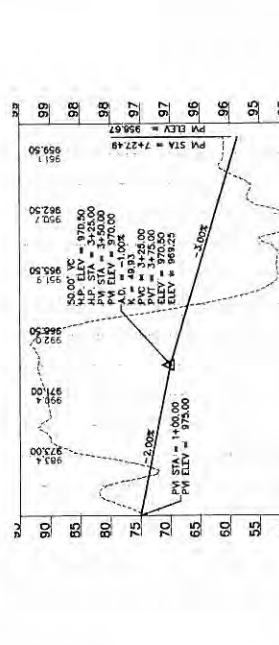
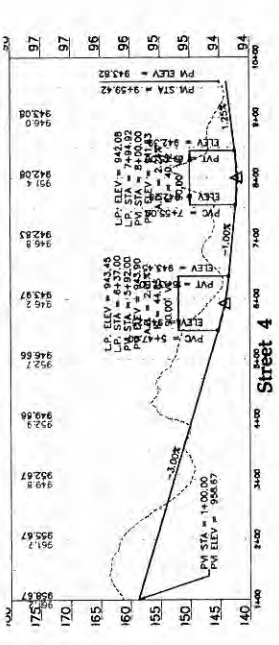
No.	Description	Date
1	Issue for Construction	08/27/14

Whitewood Professional Services, Inc.
 10000 Lyndale Ave. S.
 Suite 100
 Minneapolis, MN 55425
 Phone: 763-833-1111
 Fax: 763-833-1112
 www.whitewood.com





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Latest Revision Date: 08/27/14
 Sheet 12 of 14

Hammes Property
 Lake Elmo, Minnesota

Ryland Homes
 7999 Anagram Drive
 Eden Prairie, Minnesota 55344

Prepared for:

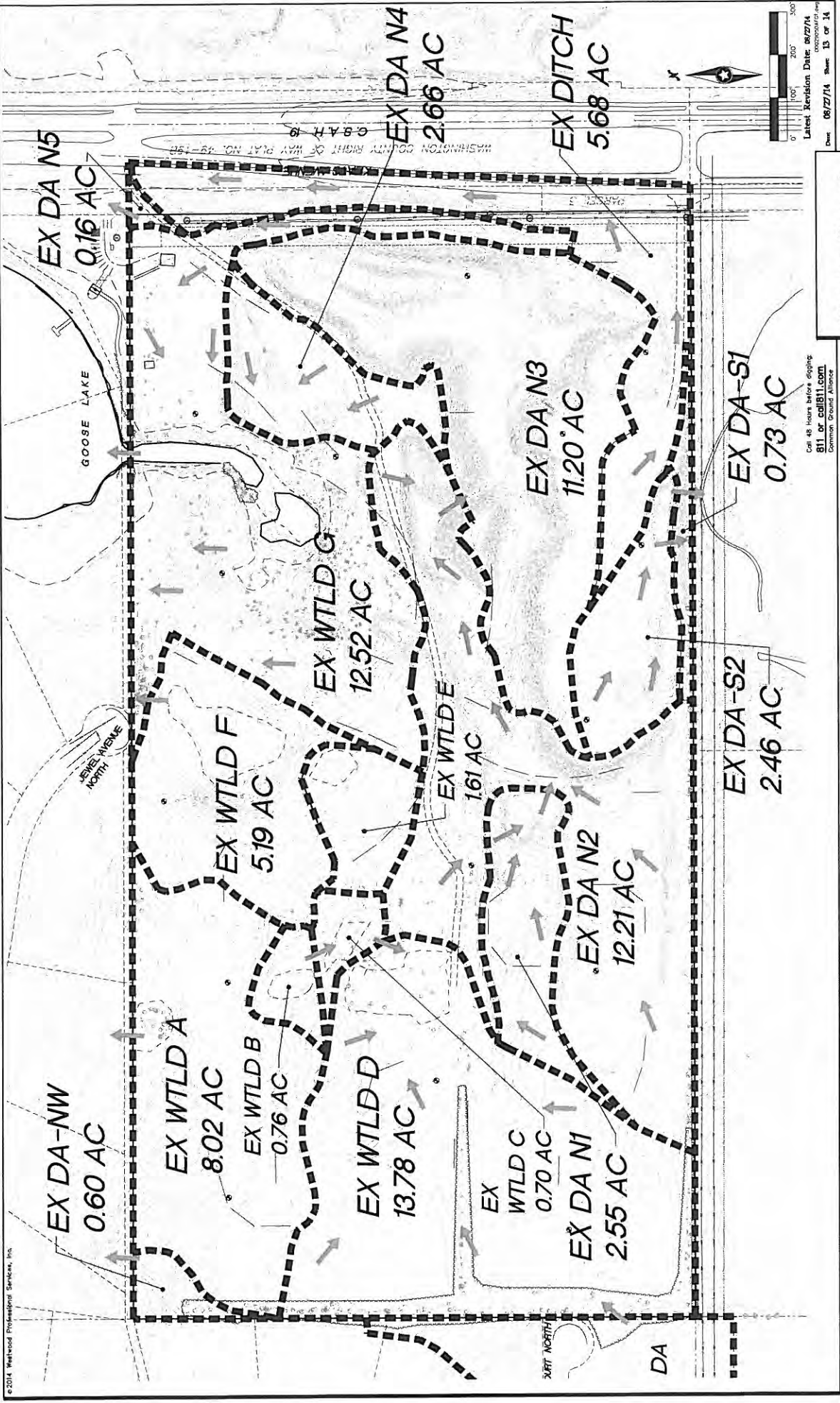
Client:	Hammer Property
Drawn:	Ryan M. Johnson
Checked:	David J. Johnson
Scale:	As Shown

Revisions:

No.	Description

Westcoast Professional Services, Inc.
 655
 15151
 15151
 15151
 15151





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Washington County Right of Way Plat No. 49-158
 G.S.A.H. 8
 0 100' 200' 300'

Latest Revision Date: 08/27/14
 Date: 08/27/14 Sheet: 13 of 14

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Ryland Homes
 7999 Arapahoe Drive
 Eden Prairie, Minnesota 55344

Hammes Property
 Lake Elmo, Minnesota

Prepared for:	Client:

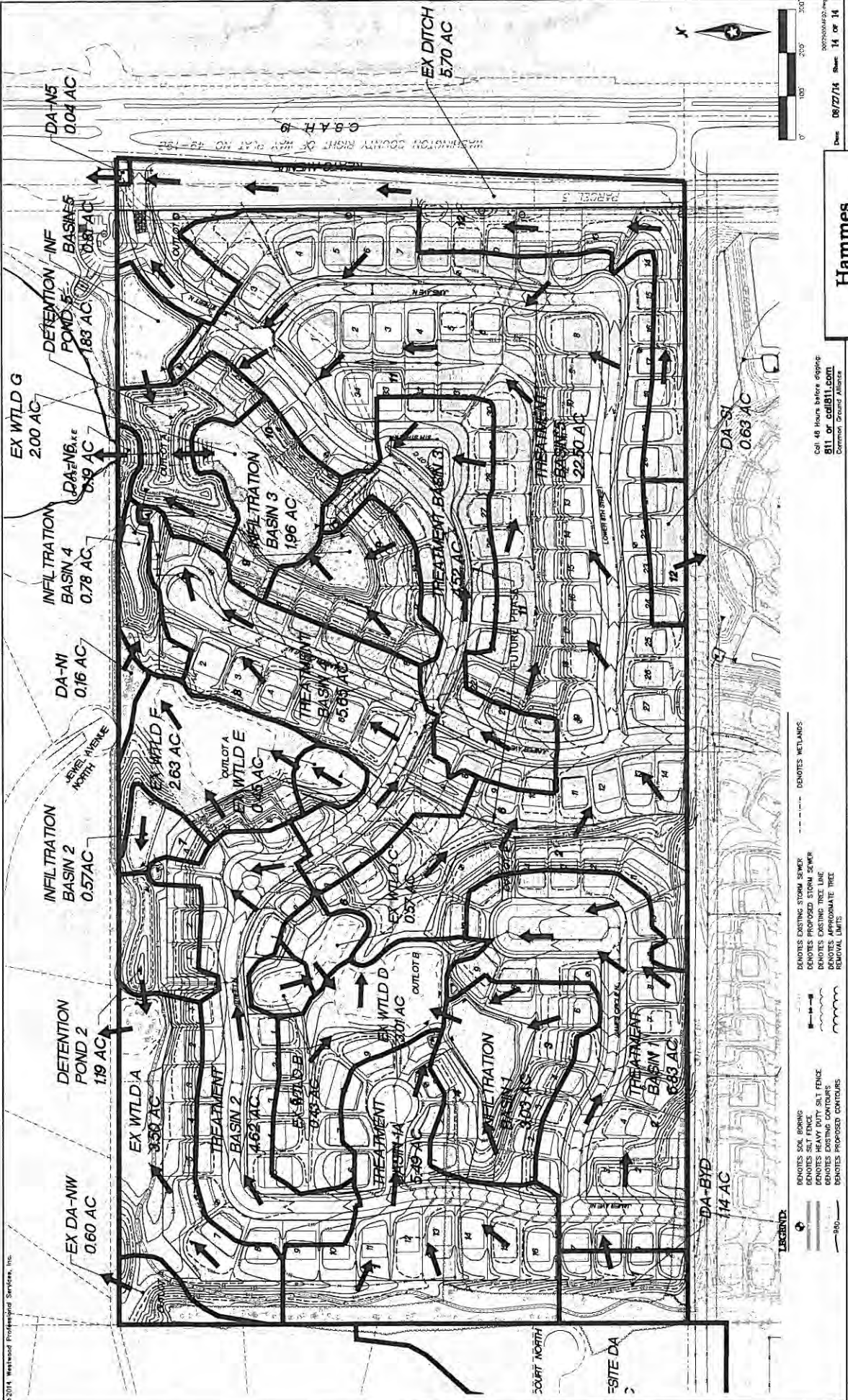
Checked:	Drawn:	Reviewed:

Project No. _____
 Drawing No. _____
 Date: 08/27/14 License No. 41257

I hereby certify that the information shown on this drawing was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.
 Ryan J. Gilliam
 Date: 08/27/14 License No. 41257

Westwood Professional Services, Inc.
 10000 Westwood Drive
 Eden Prairie, MN 55344
 Phone: 952-941-1344
 Fax: 952-941-1345
 Website: www.westwoodpro.com





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Scale: 1" = 100'
 Date: 08/27/14 Sheet: 14 of 14
 000000000000

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Hammes
 Property
 Lake Elmo, Minnesota

Ryland Homes
 7990 Alhambra Drive
 Eden Prairie, Minnesota 55344

Prepared for:

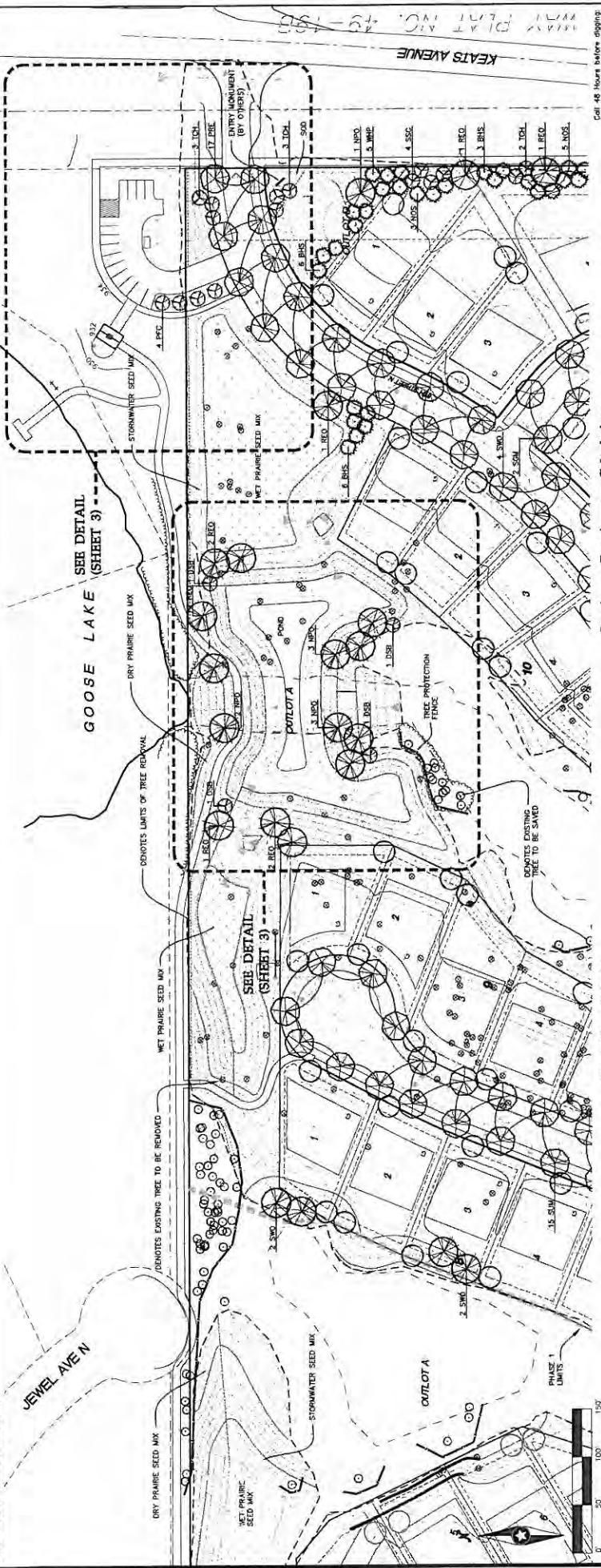
Checked	CSJ
Drawn	BAK
Revised	PTP
Revised	Handed Drawing, 8/14/14

LEGEND:
 DENOTES EXISTING STORM SEWER
 DENOTES PROPOSED STORM SEWER
 DENOTES EXISTING TRICE LINE
 DENOTES APPROXIMATE TREE REMOVAL LIMITS

DENOTES SOIL BONDING
 DENOTES SALT FENCE
 DENOTES HEAVY DUTY SALT FENCE
 DENOTES EXISTING CONTOURS
 DENOTES PROPOSED CONTOURS

Westwood Professional Services, Inc.
 14000 Lake Park Drive, Suite 100
 Eden Prairie, MN 55344
 FAX: 952-948-1515
 TEL: 952-948-1514
 www.westwoodpro.com





GOOSE LAKE SEE DETAIL (SHEET 3)

JEWEL AVE N

KEATS AVENUE

OUTLOT

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Common Ground Alliance

Landscape Requirement Calculations

OVERALL LANDSCAPE REQUIREMENTS:
 (USE LINE 8.2.1.2.7 - 10.10.10)

FIVE TREES PER ACRE X SITE AREA (87.7 AC)
 = 840 CAL IN. REQUIRED

OVERALL STREET TREE REQUIREMENTS:
 (USE LINE 8.2.1.2.7 - 10.10.10)

OVERALL STREET TREE REPLACEMENT REQUIREMENTS:
 (USE LINE 8.2.1.2.7 - 10.10.10)

OVERALL LANDSCAPING REQUIREMENTS:
 (USE LINE 8.2.1.2.7 - 10.10.10)

OVERALL LANDSCAPING REPLACEMENT REQUIREMENTS:
 (USE LINE 8.2.1.2.7 - 10.10.10)

PHASE 1 LANDSCAPE REQUIREMENTS:
 (USE LINE 8.2.1.2.7 - 10.10.10)

PHASE 1 STREET TREE REQUIREMENTS:
 (USE LINE 8.2.1.2.7 - 10.10.10)

PHASE 1 STREET TREE REPLACEMENT REQUIREMENTS:
 (USE LINE 8.2.1.2.7 - 10.10.10)

PHASE 1 TOTAL LANDSCAPING REQUIREMENTS:
 (USE LINE 8.2.1.2.7 - 10.10.10)

PHASE 1 TOTAL LANDSCAPING REPLACEMENT REQUIREMENTS:
 (USE LINE 8.2.1.2.7 - 10.10.10)

Final Plant Schedule

CODE	QTY	COMMON BOTANICAL NAME	SIZE
1.100	15	Super Magnolia / Magnolia grandiflora	3" DB
1.101	15	Super Magnolia / Magnolia grandiflora	3" DB
1.102	15	Super Magnolia / Magnolia grandiflora	3" DB
1.103	15	Super Magnolia / Magnolia grandiflora	3" DB
1.104	15	Super Magnolia / Magnolia grandiflora	3" DB
1.105	15	Super Magnolia / Magnolia grandiflora	3" DB
1.106	15	Super Magnolia / Magnolia grandiflora	3" DB
1.107	15	Super Magnolia / Magnolia grandiflora	3" DB
1.108	15	Super Magnolia / Magnolia grandiflora	3" DB
1.109	15	Super Magnolia / Magnolia grandiflora	3" DB
1.110	15	Super Magnolia / Magnolia grandiflora	3" DB
1.111	15	Super Magnolia / Magnolia grandiflora	3" DB
1.112	15	Super Magnolia / Magnolia grandiflora	3" DB
1.113	15	Super Magnolia / Magnolia grandiflora	3" DB
1.114	15	Super Magnolia / Magnolia grandiflora	3" DB
1.115	15	Super Magnolia / Magnolia grandiflora	3" DB
1.116	15	Super Magnolia / Magnolia grandiflora	3" DB
1.117	15	Super Magnolia / Magnolia grandiflora	3" DB
1.118	15	Super Magnolia / Magnolia grandiflora	3" DB
1.119	15	Super Magnolia / Magnolia grandiflora	3" DB
1.120	15	Super Magnolia / Magnolia grandiflora	3" DB

QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY
 CONSTRUCTION DRIVEWAY AND UTILITY LOCATIONS

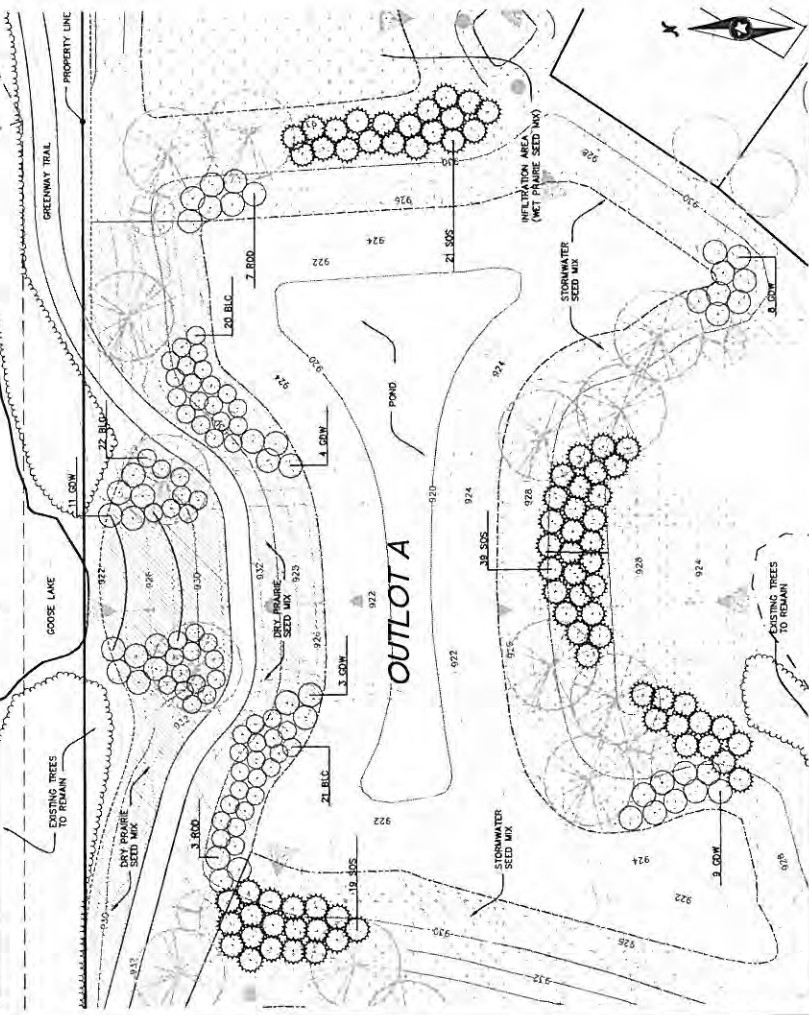
Checked	CLM
Drawn	CLM
Reviewed	CLM
Prepared	CLM

STANDARD PLAN NOTES:
 CITY OF LAKE TAMI

Westwood Professional Services, Inc.
 7999 Ansgar Drive
 Eden Prairie, MN 55344
 TEL: 952.917.1000
 FAX: 952.917.1001
 WWW: www.westwood.com

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Restoration Detail

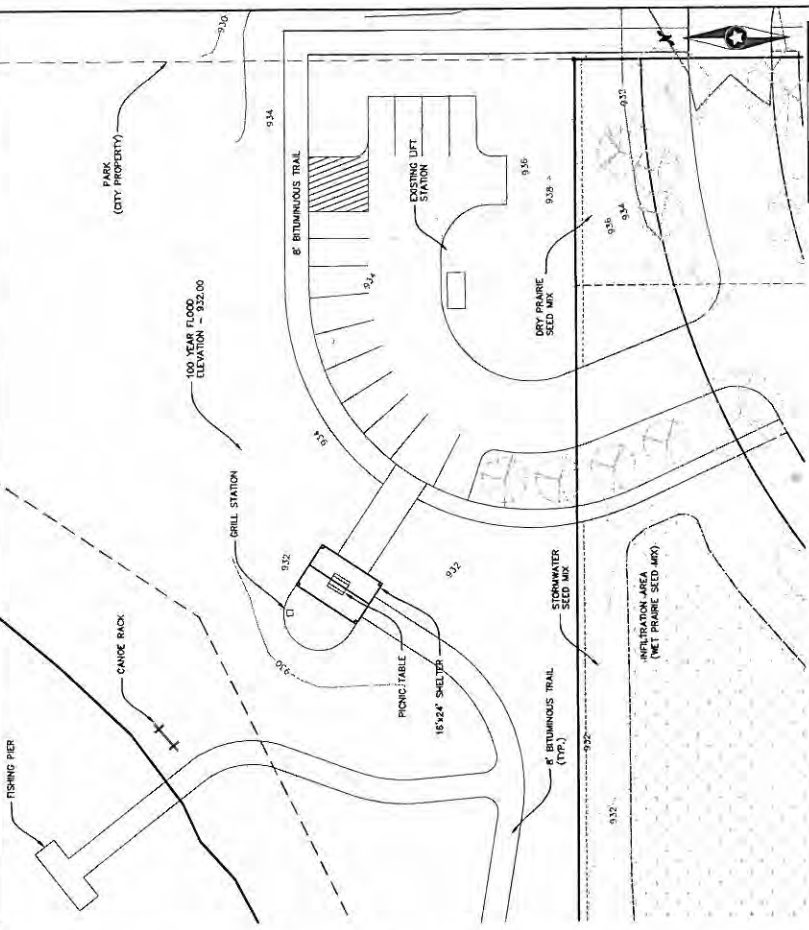


Restoration Detail Final Plant Schedule

CODE	QTY	COMMON/SCIENTIFIC NAME	SIZE	SPACING	O.C.
SOS	79	Smooth Sycamore / <i>Alnus glutinosa</i>	18" O.C.	8'-0"	O.C.
B.C.	10	Red Chokeberry / <i>Amelanchier canadensis</i>	18" O.C.	8'-0"	O.C.
B.C.	63	Black Chokeberry / <i>Amelanchier canadensis</i>	18" O.C.	4'-0"	O.C.
BOS	16	Big Bluestem / <i>Andropogon gerardii</i>	36" O.C.		
B.S.	9	Black Seed Sycamore / <i>Rhus glabra</i>	18" O.C.		
B.C.	17	Prune Spine / <i>Rubus odoratus</i>	18" O.C.		

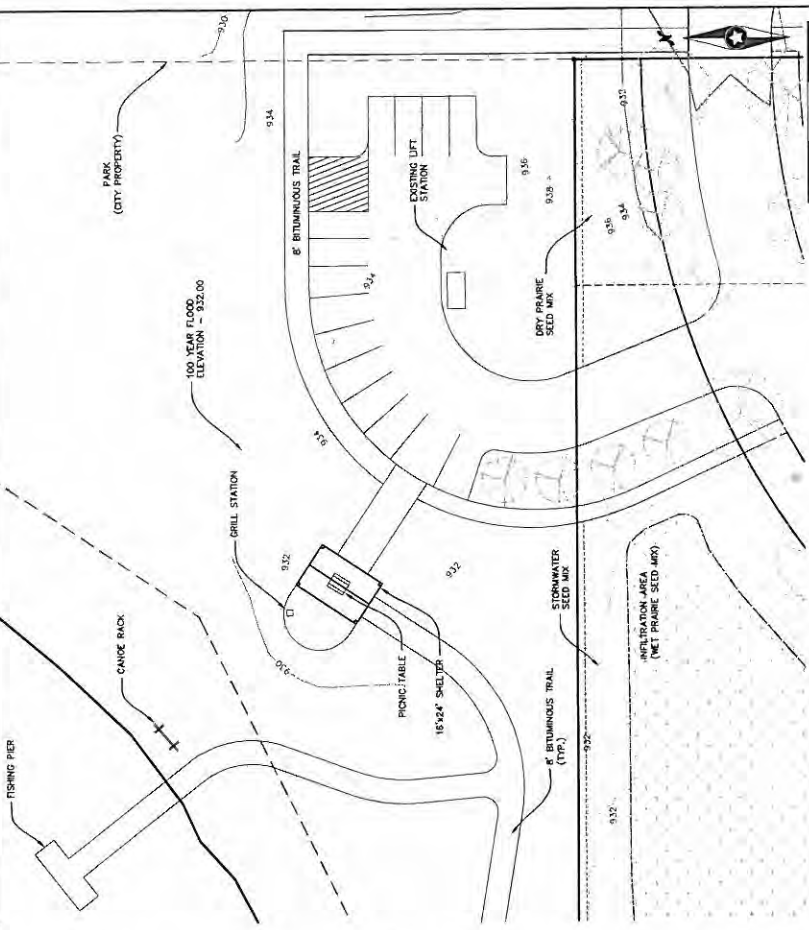
NOTES: * QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY

North Beat Park Plan



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Restoration Detail



Restoration Detail Final Plant Schedule

CODE	QTY	COMMON/SCIENTIFIC NAME	SIZE	SPACING	O.C.
SOS	79	Smooth Sycamore / <i>Alnus glutinosa</i>	18" O.C.	8'-0"	O.C.
B.C.	10	Red Chokeberry / <i>Amelanchier canadensis</i>	18" O.C.	8'-0"	O.C.
B.C.	63	Black Chokeberry / <i>Amelanchier canadensis</i>	18" O.C.	4'-0"	O.C.
BOS	16	Big Bluestem / <i>Andropogon gerardii</i>	36" O.C.		
B.S.	9	Black Seed Sycamore / <i>Rhus glabra</i>	18" O.C.		
B.C.	17	Prune Spine / <i>Rubus odoratus</i>	18" O.C.		

NOTES: * QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY

Call 48 Hours before digging:
811 or call811.com
 Common Ground Alliance

09/17/14 Sheet 3 of 4

Hammes Property
 Lake Elmo, Minnesota

Ryland Homes
 7099 Anagram Drive
 Eden Prairie, Minnesota 55344

Prepared for: _____
 Checked: _____
 Drawn: _____
 Title: _____

Westwood Professional Services, Inc.
 15000 Lake Elmo Road
 Eden Prairie, MN 55344
 Phone: 952.927.2200
 Fax: 952.927.2201
 www.westwood.com

Final Landscape Details

DATE: 09/17/14 SHEET: 3 OF 4

PROJECT: Hammes Property, Lake Elmo, Minnesota

DESIGNED BY: _____
 CHECKED BY: _____
 DRAWN BY: _____
 TITLE: Final Landscape Details

DATE: 09/17/14 SHEET: 3 OF 4

Supplemental Planting Notes

1. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
2. NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE INDICATED AREA.
3. PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
4. SPACING OF TREES AS REQUIRED: REPLACEMENT, PLUMB AND STAKE IF NOT PLUMB AT THE ONE YEAR.
5. THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
6. MULCH SHALL BE APPLIED TO PROTECT ROOTS, PERMANENT PROTECTION MUST BE AT LEAST ONE INCH THICK, SMOOTH, DEBRIS AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM MULCH FOR ALL TREE GRASS AREAS AND ALL BUSHES, SPREAD HARDWOOD MULCH, BUSHES AND PERENNIALS.
7. MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. SPREADDED HARDWOOD MULCH SHALL BE AT LEAST ONE INCH THICK AND APPLIED TO ALL BUSHES, SPREADDED HARDWOOD MULCH TO BE TREE OF DILETTORIOUS MATERIAL.
8. LOGGING TO BE SPREAD EDGE, UNLESS OTHERWISE INDICATED. SPREAD EDGE TO PROVIDE PROTECTION TO ALL PLANT MATERIAL. MULCH TO BE SPREAD EDGE TO PROVIDE PROTECTION TO INDIVIDUAL TREE, SHRUB, OR BUSH-GARDEN BEDS TO BE SPREAD EDGE, UNLESS NOTED OTHERWISE.
9. PROVIDE IRRIGATION TO ALL STREET TREE AND BUFFER LANDSCAPING ON THE PERMANENT SIDEWALK BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS TO CITY ENGINEER FOR REVIEW AND APPROVAL. TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND SCHEDULE PROGRAMMING. SYSTEM SHALL BE MAINTAINED AND OPERATED BY THE LANDSCAPE CONTRACTOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR.
10. REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
11. ALL DISTURBED AREAS WITHIN OUTLOTS TO BE SEEDDED WITH NATIVE GRASS SEED MIX AS SPECIFIED. ALL DISTURBED AREAS TO BE SEEDDED WITH NATIVE GRASS SEED MIX AS SPECIFIED. ALL DISTURBED AREAS TO BE SEEDDED WITH NATIVE GRASS SEED MIX AS SPECIFIED. ALL DISTURBED AREAS TO BE SEEDDED WITH NATIVE GRASS SEED MIX AS SPECIFIED. ALL DISTURBED AREAS TO BE SEEDDED WITH NATIVE GRASS SEED MIX AS SPECIFIED. ALL DISTURBED AREAS TO BE SEEDDED WITH NATIVE GRASS SEED MIX AS SPECIFIED.



Dry Prairie Seed SB Grass Mix

Plant Species	Seeds per lb	Germination %	Planting Rate	Establishment Rate
Big Bluestem	15,000,000	85	1.00	0.80
Common Bluestem	15,000,000	85	1.00	0.80
Hard Fescue	15,000,000	85	1.00	0.80
Intermediate Fescue	15,000,000	85	1.00	0.80
Parl. Bluegrass	15,000,000	85	1.00	0.80
Prairie Bluegrass	15,000,000	85	1.00	0.80
Red Top	15,000,000	85	1.00	0.80
Wild Rye	15,000,000	85	1.00	0.80

Wet Prairie Seed Grass Mix

Plant Species	Seeds per lb	Germination %	Planting Rate	Establishment Rate
Big Bluestem	15,000,000	85	1.00	0.80
Common Bluestem	15,000,000	85	1.00	0.80
Hard Fescue	15,000,000	85	1.00	0.80
Intermediate Fescue	15,000,000	85	1.00	0.80
Parl. Bluegrass	15,000,000	85	1.00	0.80
Prairie Bluegrass	15,000,000	85	1.00	0.80
Red Top	15,000,000	85	1.00	0.80
Wild Rye	15,000,000	85	1.00	0.80

Stormwater Native Grass Mix

Plant Species	Seeds per lb	Germination %	Planting Rate	Establishment Rate
Big Bluestem	15,000,000	85	1.00	0.80
Common Bluestem	15,000,000	85	1.00	0.80
Hard Fescue	15,000,000	85	1.00	0.80
Intermediate Fescue	15,000,000	85	1.00	0.80
Parl. Bluegrass	15,000,000	85	1.00	0.80
Prairie Bluegrass	15,000,000	85	1.00	0.80
Red Top	15,000,000	85	1.00	0.80
Wild Rye	15,000,000	85	1.00	0.80

DRY PRAIRIE SEED MIX

STORMWATER SEED MIX

WET PRAIRIE SEED MIX

Call 48 hours before digging: 511 or call@11.com

Date 09/17/14 Sheet 4 OF 4

Westwood Professional Services, Inc. 1500 1st Ave., Suite 1000, Lake Elmo, MN 55042



Prepared for: Ryland Homes, 7509 Ardenway Drive, Eden Prairie, Minnesota 55344

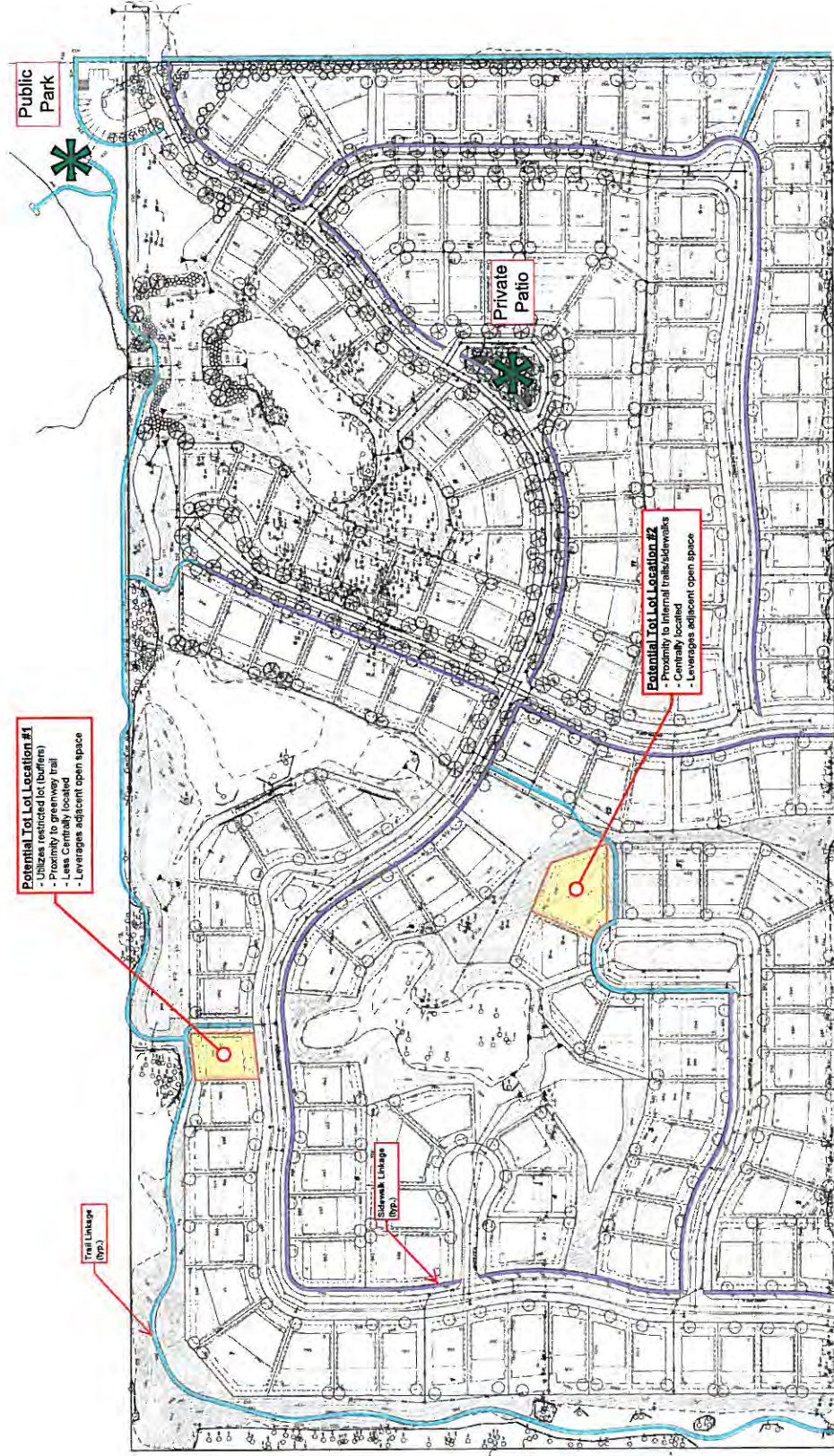
Original: []
Checked: []
Drawn: []
Record Drawing by: []

Prepared for:

Hammes Property, Lake Elmo, Minnesota

Final Landscape Notes

PARK LOCATION PLAN



HAMMES ESTATES LAKE ELMO, MN

MEMORANDUM

FOCUS ENGINEERING, inc.

Cara Geheren, P.E.	651.300.4261
Jack Griffin, P.E.	651.300.4264
Ryan Stempski, P.E.	651.300.4267
Chad Isakson, P.E.	651.300.4285

Date: September 18, 2014

To: Nick Johnson, City Planner
Cc: Kyle Klatt, Planning Director
From: Jack Griffin, P.E., City Engineer

Re: Hammes Estates
Final Plat Review

An engineering review has been completed for the Hammes Estates development. Revised Preliminary Plans and Construction Plans were received on September 4, 2014. The submittal consisted of the following documentation prepared by Westwood Professional Services, Inc.:

- Preliminary Plan set (Plat Plan, Utility Plan, and Landscape Plans) dated 08.25.2014.
- Construction Grading, Drainage & Erosion Control Plans dated 08.27.2014.
- Construction Sanitary Sewer, Water Main, Storm Sewer and Streets dated 09.03.2014.
- Project Specification Manual dated May 2014.
- Preliminary Storm Water Runoff Narrative dated 08.07.2014.
- Plan revision response letter dated 08.28.2014.

STATUS/FINDINGS: Engineering review comments are provided below as they may be related to the application for Final Plat or represent more significant design and constructability issues. Upon completion of these issues and granting of Final Plat, staff will resume a more detailed Construction Plan review.

PRELIMINARY AND FINAL PLAT COMMENTS

- Additional easements are required for the Preliminary and Final Plat as outlined within this memorandum.
- The Final Plat and Construction Plans should both be updated to include the Outlot ownership information. The Preliminary Plat indicated all Outlots to be dedicated to the City.
- Note: City utilities will be constructed within Outlot B as part of the first addition. Drainage and utility easements must be dedicated to the City of Lake Elmo as part of the First Addition Final Plat, including the drainage and utility easements over Outlot B.
- The development agreement should incorporate provisions to require the developer to oversee and address the 5 year invasive species monitoring requirements of the DNR Permit.
- Written permission must be provided from adjacent property owners for grading to extend beyond property lines.
- Written permission must be provided from the Savona development to allow an increase in peak discharge rate from the Hammes Site as proposed in the Stormwater Management Plan.
- Written approval to work within the Electrical Transmission Easement area must be provided prior to construction work.
- Final Grading Plans and Final Street and Utility Construction Plans must be completed and approved by the City Engineer prior to the start of construction. All construction plans must be in accordance with the Lake Elmo engineering design standards and plan format. Any changes proposed in the Lake Elmo

engineering design standards, standard details, plan notes, or specifications must be clearly identified in a "change request" letter by the developer's engineer and submitted for consideration.

UTILITY PLANS AND EASEMENTS

- In coordination with the City, a pressure reducing valve(s) must be constructed as part of the watermain improvements and located on an Outlot dedicated to the City.
- A 12-inch watermain stub must be extended east along Street 1 (8th Street North) to the intersection and County R/W of Keats Avenue for future extension to the east side of CSAH 19.
 - This 12-inch stub has been provided in the Final Construction Plan set for Phase 1, however it has not been corrected on the Preliminary Utility Plan dated 08.25. This correction must be included in the revised Preliminary Plans.
 - The future connection location for this 12-inch stub must be placed outside of the paved surface area of the new street.
- The 8-inch watermain line from the Street 8 cul-de-sac to the Street 9 cul-de-sac passes directly under infiltration basin 1 and does not maintain the state required 10-foot offset from storm sewer pipe. An alternate alignment or alternate loop connection must be determined as part of the revised Preliminary Plans. Additional easement must be provided on the Final Plat to accommodate this watermain location as it passes between lots.
- The sanitary sewer segment along the east side of Lot 6, Block 6 needs to move further east to maintain additional offset from the Lot 6 property line. This will result in a changed location for MH28 in the Final Construction Plans.
- Additional easement or pipe alignment adjustments are required at the northeast corner of Lot 1, Block 10 and along the rear yard of Lot 17, Block 11. Corrections are needed on both the revised Preliminary Plans and Final Construction Plans.
- Grading modifications are proposed above the City's existing sanitary sewer gravity and forcemain pipes along Keats Avenue. Show the proposed profile over these utilities and include the record drawing information provided in the Section 34 Water & Sewer Utility Extension Improvements. The existing conditions utilities must be revised on all plan sheets to correctly indicate their location.
- Show existing hydrant, 6-inch gate valve and box, and 12-inch x 6-inch reducer at the southern property line. Construction notes must be updated accordingly.

STORM SEWER SYSTEM

- The Preliminary storm sewer system plan did not comply with the City standard design requirements (minimum pipe cover significantly less than 3.5 feet). Preliminary storm sewer system plans must be revised to comply with City design standards.

CSAH 19 (KEATS AVENUE) IMPROVEMENTS

- Written documentation is required to demonstrate Washington County approval for the proposed access to Keats Avenue together with any County requirements.

WETLANDS AND WETLAND BUFFERS

- The VBWD does not allow impervious surfaces to be placed on wetlands or wetland buffers. The Plans must be revised so that the proposed Boardwalk Trail is constructed along the entire length of the trail that is located within the wetland buffer. Boardwalk construction details must be provided in the Final Construction Plans.
- The wetland buffer for Wetland G encroaches over the proposed storm water maintenance access road between Lot 6, Block 10 and Lot 12, Block 9. This buffer must be relocated to an area more acceptable to the preservation of buffer areas.

GRADING AND STORM WATER MANAGEMENT

- VBWD PERMIT: The project has received conditional permit approval through the VBWD. The applicant must revise and resubmit plans to the City as plan changes are made and resubmitted to the VBWD to

meet all conditions of the VBWD permit approval. The applicant must also submit to the City written documentation from the VBWD that the permit conditions have been satisfied prior to any construction work on the site.

- A VBWD permit must be obtained for the improvements at Goose Lake. Approval for these improvements have not been included in the Subdivision permit.
- A VBWD permit must be obtained for all Lots on Block 8 (Preliminary Plat) or Block 6 (Final Plat). Approval for these Lots have not yet been granted.
- Storm water facilities proposed as part of the site plan to meet VBWD permitting requirements must be constructed in accordance with the City Engineering Design Standards Manual.
- Flood protection measures must be incorporated for Lots 4, 5 and 6, Block 8 due to the Wetland E perched HWL. These lots are not yet permitted by the VBWD.
- Additional information is still needed to complete a review of the proposed storm water management plan and to verify the proposed grading.
 - Wetland A area: The existing HWL for Wetland A appears to extend north over the entire existing adjacent property. More information is needed to describe and verify the existing conditions in this area including the existing elevation of the adjacent home.
 - The Wetland A delineation must be shown on the plans.
 - Wetland A / Pond 2, Treatment Basin and Infiltration Basin 2 area: Place spot elevations at the high point enclosing Infiltration Basin 2 to ensure that the basin overflow routes west per the intended design.
- Storm water pond, infiltration basin, and wetland HWLs must be fully contained within Outlots. The 100-year HWL for Wetland G encroaches proposed Lots 4, 5 and 6, Block 10, and Lot 3, Block 9.
- The grade along the east side of Infiltration basin 5 must be raised along the park entrance road.
- The Park property improvements must be revised to better separate the public use area and the lift station utility area. See attached sketch for possible concept plan.
- The Park property trail from the Goose Lake berm to the picnic area is located below the 100-year HWL and in some locations appears to be below the DNR OHWL.

Station #1
3510 Laverne Ave. No.
Lake Elmo, MN 55042
651-770-5006



Station #2
4259 Jamaca Ave. No.
Lake Elmo, MN. 55042
651-779-8882

LAKE ELMO FIRE DEPARTMENT

September 18, 2014

After review of the HAMMES ESTATES FINAL PLAT – HAMMES WEST LLC, I have two areas of concern:

I have yet to receive final documentation showing that the previous soil contamination reported earlier this year has been mitigated. I recommend that the City not release the Final Plat for recording until the City has received the proper documentation related to the mitigation of the contamination.

Hydrant spacing seems to be well within our guidelines which I was very pleased to see. I would like to see the hydrant located in front of Lots 3 and 4, Block 6 on the west side of the Juniper Circle No. cul-de-sac be more equally spaced between the end of the road and the intersection at 8th St. No.

Reviewed by,

A handwritten signature in black ink, appearing to read 'Greg Malmquist', is written over a horizontal line.

Greg Malmquist, Fire Chief

“Proudly Serving Neighbors & Friends”

Station #1
3510 Laverne Ave. No.
Lake Elmo, MN 55042
651-770-5006



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651-779-8882

LAKE ELMO FIRE DEPARTMENT

September 19, 2014

Review of the HAMMES ESTATES FINAL PLAT – HAMMES WEST LLC

This is a follow up to the review letter dated September 18, 2014. Let me start by thanking all parties involved for supplying all the requested documentation related to the soil clean up as requested and in such a timely manner. After reviewing the provided documentation, I followed up with the MPCA for assistance and guidance in deciphering the documentation and ensuring, for everyone's benefit, that all required procedures and processes had been followed in the mitigation of this site. In conversation with the MPCA I discovered that the specifics of this site would cause it to fall under their Brownfield Program.

At this time I am requiring that all documentation related to the mitigation of this site be sent to the MPCA Brownfield Program by the property owners or their representative for review. After review, a letter from the MPCA ensuring that the site has been properly mitigated will need to be provided to the city.

Sincerely,

Greg Malmquist, Fire Chief

“Proudly Serving Neighbors & Friends”



LANDSCAPE ARCHITECTURE INCORPORATED
WWW.LANDARCINC.COM

HAMMES PROPERTY – DESIGN REVIEW REPORT **LAKE ELMO, MN**

LANDSCAPE ARCHITECTURAL DESIGN REVIEW DATED SEPTEMBER 10TH, 2014

REVIEWED PLAN SET DATED AUGUST 25TH, 2014

Required Action Items by Hammes Project Team

1. The plan is in compliance with the landscape requirements. Since this preliminary plan doesn't call out each plant per location on plan, we are excited to look at the next generation of plan development which will have that level of specification for our review.
2. Where Colorado Green Spruce is specified: please replace with Norway Spruce.
3. Where possible, we would encourage planted islands in the cul-de-sacs within the development to reduce impervious surfaces and create a safer streetscape environment.
4. Please provide more information on the walls specified on the plans. Our preference is natural materials such as locally quarried stone or stone derived from the site construction process if appropriate in scale and geology.
5. Project Landscape Architect to provide landscape irrigation plans for all commonly held HOA & City R.O.W. areas.

SINCERELY,

LANDSCAPE ARCHITECTURE, INC.

STEPHEN MASTEY, ASLA, CLARB, LEED AP BD+C
DIRECTOR OF DESIGN



LANDSCAPE ARCHITECTURE INCORPORATED
WWW.LANDARCINC.COM

HAMMES PROPERTY – DESIGN REVIEW REPORT **LAKE ELMO, MN**

LANDSCAPE ARCHITECTURAL DESIGN REVIEW DATED SEPTEMBER 18TH, 2014

REVIEWED PLAN SET DATED SEPTEMBER 17TH, 2014

Required Action Items by Hammes Project Team

1. The plan is in compliance with the landscape requirements.
2. Where Red Gnome Dogwood is specified: please replace with another shrub selection that is a hardier choice.
3. Please provide more detailed landscape information for North East Park.
4. Please provide more detailed information on entry monuments & signage proposed.
5. Please provide more detail on the hardscape materials and site furnishings proposed in Outlot C.
6. Provide landscape irrigation plans for all commonly held HOA & City R.O.W. areas.

SINCERELY,

LANDSCAPE ARCHITECTURE, INC.

STEPHEN MASTEY, ASLA, CLARB, LEED AP BD+C
DIRECTOR OF DESIGN

**VALLEY BRANCH WATERSHED DISTRICT
PERMIT APPLICATION**

TO BE COMPLETED BY VBWD:
 PERMIT NUMBER 2014-07
 PERMIT FEE RECEIVED \$15,500
 DATE RECEIVED March 7, 2014

Return application to
 John Hanson
 Barr Engineering Company
 Engineers for the Valley Branch Watershed District
 4700 West 77th Street
 Edina, MN 55435-4803



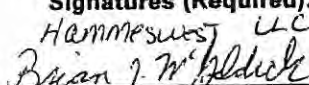
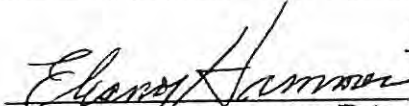
A permit fee shall accompany this permit, unless waived by the Board of Managers.
 (Governmental Bodies are not required to pay a fee.)

Project Information		Applicant Information	
Name of Project: Hammes Property		Name: Hammes West LLC Brian McGoedick	
Purpose of Project: Single-Family subdivision to create 165 lots		Address: 36 moonlight B&T	
Project Location (street address, if known; otherwise, major intersection): Westside of Keats Avenue, south of Goose Lake		City, State, Zip: Stillwater, MN 55082	
City or Township: Lake Elmo		Phone: 651-387-1000	
Legal Description (proof of ownership required): PID: See attached survey Section: 34 Township: 29 Range: 21		Fax:	
Project Timeline: Start Date: 4/15/2014 Completion Date: 10/31/2016		Email: brian.mcgoedick@hammes.com	
Authorized Agent Information		Owner Information (if different than Applicant)	
Name: Ryan Bluhm		Name: Ellie Hammes	
Business Name: Westwood Professional Services		Address: 1187 Frost Avenue	
Address: 7699 Anagram Drive		City, State, Zip: Maplewood, MN 55001	
City, State, Zip: Eden Prairie, MN 55344		Phone: 657-436-8656	
Phone: 952-906-7432		Fax: N/A	
Fax: 952-937-5822		Email: N/A	
Email: ryan.bluhm@westwoodps.com			

Once a Valley Branch Watershed District permit has been approved, the permit conditions will be attached to the back of this form.

By signing this permit application, the permit applicant, his/her agent, and owner (hereinafter "Permittee") shall abide by all the conditions set by the Valley Branch Watershed District (VBWD). All work which violates the terms of the permit by reason of presenting a serious threat of soil erosion, sedimentation, or an adverse effect upon water quality or quantity, or violating any rule of the VBWD may result in the VBWD issuing a Stop Work Order which shall immediately cause the work on the project related to the permit to cease and desist. All work on the project shall cease until the permit conditions are met and approved by the VBWD representatives. In the event Permittee contests the Stop Work Order issued by the VBWD, Permittee shall attend a VBWD Board of Managers meeting and discuss the project. Any attorney fees, costs, or other expenses incurred on behalf of the VBWD in enforcing the terms of the permit shall be the sole expense of the permit applicant. Costs shall be payable from the permit applicant's permit fee. If said fees exceed the permit amount, the Permittee shall have ten (10) days from the date of receipt of the invoice from the VBWD to pay for the cost incurred in enforcing the permit, by which to pay the VBWD for said costs. If costs are not paid within the ten (10) days, the VBWD will draw on the permit applicant's surety. The Permittee agrees to be bound by the terms of the final permit and conditions required by the VBWD for approval of the permit. The permit applicant further acknowledges that he/she has the authority to bind the owner of the property and/or any entity performing the work on the property pursuant to the terms of the VBWD permit, and shall be responsible for complying with the terms of the VBWD permit.

Signatures (Required):

 3/7/14
 Applicant/Date
  3/7/14
 Owner (if different than Applicant)/Date

 Owner's Authorized Agent/Date



LINCOLN FETCHER • DAVID BUCHECK • DONALD SCHEEL • DALE BORASH • RAY LUCKSINGER

August 25, 2014



Brian McGoldrick
Hammes West, LLC
36 Moonlight Bay
Stillwater, MN 55082

**Re: Hammes Property: Lake Elmo, Minnesota
VBWD Permit #2014-07**

Dear Mr. McGoldrick:

Enclosed is the Valley Branch Watershed District (VBWD) permit for your project. Please note the following conditions imposed by the Managers, which are also listed on the back of the permit.

1. This permit is not valid until the permit applicant submits documentation from the owner of the Savona development that he/she will allow an increase in the peak discharge rate from the Hammes site.
2. This permit is not valid until a maintenance agreement in the general format of Appendix B of the VBWD Rules is submitted to and approved by the VBWD Attorney and fully executed.
3. This permit does not allow any impervious surface (other than the outlet pipe and riprap of Pond 5) to be constructed within 25 feet of Elevation 924.4 of Goose Lake. This permit does not allow for the construction of the proposed parking lot and structure at the southeast corner of Goose Lake. The proposed boardwalk must conform to all applicable standards.
4. Wetland buffer signage must be installed as required by the VBWD Rules and Regulations. Specifications for the proposed signs shall be submitted and approved by the VBWD prior to installation.
5. Plans must be revised to include draitile around the perimeters of the proposed homes on Lots 1-3 of Block 9. This permit does not allow any homes to be constructed on Block 8. To ensure any homes constructed on Block 8 are protected from groundwater, at least 3 soil borings down to Elevation 924 must be constructed between Wetland F and the proposed building pads. Soil boring logs that include the Unified Soil Classification and any encountered water levels must be submitted.
6. The required fee and surety shall be submitted prior to construction. This permit is not valid until the permit fee and surety are submitted.

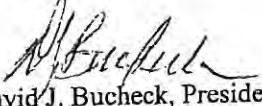


7. Prior to any construction, a construction sequencing plan shall be submitted, approved, and followed. The construction sequencing plan shall ensure that the project conforms to all VBWD Rules and Regulations throughout construction.
8. This permit is not transferable.
9. This permit is subject to obtaining all other permits required by governmental agencies having jurisdiction (including a NPDES permit).
10. The VBWD Engineer and Inspector shall be notified at least 3 days prior to commencement of work.
11. Erosion controls shall be installed prior to the commencement of grading operations and must be maintained throughout the construction period until turf is established. Additional erosion controls may be required, as directed by the VBWD Inspector or VBWD Engineer.
12. The following additional erosion controls shall be implemented on the site:
 - a. All proposed slopes 3 feet horizontal to 1 foot vertical (3H:1V) should be covered with erosion-control blanket.
 - b. Silt fence should follow existing contours as closely as feasible to limit the potential for gully erosion along the edges.
 - c. Any sediment that collects in storm sewers, ponds, or other water management features shall be removed.
 - d. If erosion occurs at the outlets of the storm sewer pipes, the applicant will be responsible for correcting the problem to the satisfaction of the VBWD.
13. To prevent soil compaction, the proposed infiltration area shall be staked off and marked during construction to prevent heavy equipment and traffic from traveling over it. If the infiltration facility is in place during construction activities, sediment and runoff shall be kept away from the facility, using practices such as diversion berms and vegetation around the facility's perimeter. The infiltration facility shall not be excavated to final grade until the contributing drainage area has been constructed and fully stabilized. The final phase of excavation shall remove all accumulated sediment and be done by light, tracked equipment to avoid compaction of the basin floor. To provide a well-aerated, highly porous surface, the soils of the basin floor shall be loosened to a depth of at least 24 inches to a maximum compaction of 85% standard proctor density prior to planting.
14. All disturbed areas shall be vegetated within 14 days of final grading.
15. The applicant is responsible for removal of all temporary erosion-control measures, including silt fence, upon establishment of permanent vegetation at the project site, as determined by the VBWD Engineer and/or Inspector.
16. Valley Branch Watershed District shall be granted drainage easements, which cover: (a) land adjacent to stormwater management facilities, wetlands, and lowlands up to their 100-year flood elevations and (b) all ditches, storm sewers, and maintenance access to the stormwater management facilities.

17. The minimum floor elevations for all buildable lots in the development shall be recorded in a Declaration of Covenants and Restrictions or on the final plat.
18. The required drainage easements and access easements shall be recorded with the Washington County Recorder's Office.
19. Return or allowed expiration of any remaining surety and permit close out is dependent on the permit holder providing proof that all required documents have been recorded (including but not limited to easements) and providing as-built drawings that show that the project was constructed as approved by the Managers and in conformance with the VBWD rules and regulations.

Thank you for your cooperation with the District's permit program.

Sincerely,


David J. Bucheck, President
Valley Branch Watershed District

DJB/ymh
Enclosure

- c: Ray Marshall, VBWD Attorney
Ray Roemmich, VBWD Inspector
Molly Shodeen, MDNR
Kyle Klatt, City Planning Director—City of Lake Elmo
Jack Griffin, City Engineer, FOCUS Engineering—City of Lake Elmo
Building Inspector—City of Lake Elmo
Ryan Bluhm, Westwood Professional Services—Authorized Agent
Ellie Hammes—Owner
Nathan Campbell, Corps of Engineers
Brad Johnson, MDNR
Jed Chesnut, Washington Conservation District
Brooke Haworth MDNR
Ben Meyer, Minnesota Board of Water and Soil Resources
Karen Wold, Barr Engineering Company
Yvonne Huffman, Barr Engineering Company



Permit Number
2015-0193

Public Waters Work Permit

Expiration Date: 08/27/2016

Pursuant to Minnesota Statutes, Chapter 103G, and on the basis of statements and information contained in the permit application, letters, maps, and plans submitted by the applicant and other supporting data, all of which are made part hereof by reference, **PERMISSION IS HEREBY GRANTED** to the applicant to perform actions as authorized below.

Project Name: Goose Lake shoreland berm	County: Washington	Watershed: Lower St. Croix River	Resource: Sand/Gravel Pit: Sand/Gravel Pit; Ditch: Ditch; Wetland: Goose (South) (82011302)
Purpose of Permit: Harbor/Slip/Channel/Ditch Fill		Authorized Action: Place approximately 3,000 cubic yards of clean inorganic fill to create ditch block at the south end of Goose Lake to restore the shoreline to disconnect previously excavated gravel pit section from the lake; in accordance with plans received with the permit application 07-29-2014 and 08-06-2014.	
Permittee: HAMMES WEST LLC CONTACT: HAMMES, MR. 36 MOONLIGHT BAY STILLWATER, MN 55082 (651) 436-8656		Authorized Agents (2): KELLY BOPRAY N7831 920TH STREET RIVER FALLS, WI 54022 (715) 307-4577 kjbopray@yahoo.com JAMES GASPERINI 3121 ST. CROIX TRAIL SOUTH AFTON, MN 55001 (651) 436-8656 alo@aftonlaw.net	
Property Description (land owned or leased or where work will be conducted): UTM zone 15N, 507429m east, 4978468m north (centroid), SENE of Section 34, T29N, R21W			
Authorized Issuer: Molly Shodeen	Title: Area Hydrologist	Issued Date: 08/27/2014	Effective Date: 08/27/2014
		Expiration Date: 08/27/2016	

This permit is granted **subject** to the following **CONDITIONS**:

APPLICABLE FEDERAL, STATE, OR LOCAL REGULATIONS: The permittee is not released from any rules, regulations, requirements, or standards of any applicable federal, state, or local agencies; including, but not limited to, the U.S. Army Corps of Engineers, Board of Water and Soil Resources, MN Pollution Control Agency, watershed districts, water management organizations, county, city and township zoning.

NOT ASSIGNABLE: This permit is not assignable by the permittee except with the written consent of the Commissioner of Natural Resources.

NO CHANGES: The permittee shall make no changes, without written permission or amendment previously obtained from the Commissioner of Natural Resources, in the dimensions, capacity or location of any items of work authorized hereunder.

CONDITIONS *(Continued from previous page)*

SITE ACCESS: The permittee shall grant access to the site at all reasonable times during and after construction to authorized representatives of the Commissioner of Natural Resources for inspection of the work authorized hereunder.

TERMINATION: This permit may be terminated by the Commissioner of Natural Resources at any time deemed necessary for the conservation of water resources of the state, or in the interest of public health and welfare, or for violation of any of the conditions or applicable laws, unless otherwise provided in the permit.

COMPLETION DATE: Construction work authorized under this permit shall be completed on or before the date specified above. The permittee may request an extension of the time to complete the project by submitting a written request, stating the reason thereof, to the Commissioner of Natural Resources.

WRITTEN CONSENT: In all cases where the permittee by performing the work authorized by this permit shall involve the taking, using, or damaging of any property rights or interests of any other person or persons, or of any publicly owned lands or improvements thereon or interests therein, the permittee, before proceeding, shall obtain the written consent of all persons, agencies, or authorities concerned, and shall acquire all property, rights, and interests needed for the work.

PERMISSIVE ONLY / NO LIABILITY: This permit is permissive only. No liability shall be imposed by the State of Minnesota or any of its officers, agents or employees, officially or personally, on account of the granting hereof or on account of any damage to any person or property resulting from any act or omission of the permittee or any of its agents, employees, or contractors. This permit shall not be construed as estopping or limiting any legal claims or right of action of any person other than the state against the permittee, its agents, employees, or contractors, for any damage or injury resulting from any such act or omission, or as estopping or limiting any legal claim or right of action of the state against the permittee, its agents, employees, or contractors for violation of or failure to comply with the permit or applicable conditions.

EXTENSION OF PUBLIC WATERS: Any extension of the surface of public waters from work authorized by this permit shall become public waters and left open and unobstructed for use by the public.

WETLAND CONSERVATION ACT: Where the work authorized by this permit involves the draining or filling of wetlands not subject to DNR regulations, the permittee shall not initiate any work under this permit until the permittee has obtained official approval from the responsible local government unit as required by the Minnesota Wetland Conservation Act.

CONTRACTOR RESPONSIBILITY: The permittee shall ensure the contractor has received and thoroughly understands all conditions of this permit. Contractors must obtain a signed statement from the property owner stating that permits required for work have been obtained or that a permit is not required, and mail a copy of the statement to the regional DNR Enforcement office where the proposed work is located. The Landowner Statement and Contractor Responsibility Form can be found at: <http://www.bwsr.state.mn.us/wetlands/wca/index.html#general>.

INVASIVE SPECIES - EQUIPMENT DECONTAMINATION: All equipment intended for use at a project site must be free of prohibited invasive species and aquatic plants prior to being transported into or within the state and placed into state waters. All equipment used in designated infested waters, shall be inspected by the Permittee or their authorized agent and adequately decontaminated prior to being transported from the worksite. The DNR is available to train inspectors and/or assist in these inspections. For more information refer to the "Best Practices for Preventing the Spread of Aquatic Invasive Species" at http://files.dnr.state.mn.us/publications/ewr/invasives/ais/best_practices_for_prevention_ais.pdf. Contact your regional Invasive Species Specialist for assistance at www.mndnr.gov/invasives/contacts.html. A list of designated infested waters is available at http://files.dnr.state.mn.us/eco/invasives/infested_waters.pdf. A list of prohibited invasive species is available at www.mndnr.gov/eco/invasives/laws.html#prohibited.

EROSION AND SEDIMENT CONTROL: In all cases, methods that have been determined to be the most effective and practical means of preventing or reducing sediment from leaving the worksite shall be installed in areas that slope to the water and on worksite areas that have the potential for direct discharge due to pumping or draining of areas from within the worksite (e.g., coffer dams, temporary ponds, stormwater inlets). These methods, such as mulches, erosion control blankets, temporary coverings, silt fence, silt curtains or barriers, vegetation preservation, redundant methods, isolation of flow, or other engineering practices, shall be installed concurrently or within 24 hours after the start of the project, and will be maintained for the duration of the project in order to prevent sediment from leaving the worksite. DNR requirements may be waived in writing by the authorized DNR staff based on site conditions, expected weather conditions, or project completion timelines.

FISHERY PROTECTION - EXCLUSION DATES: No activity affecting the bed of the protected water may be conducted between March 15 and June 30, to minimize impacts on fish spawning and migration. If work during this time is essential,

CONDITIONS (Continued from previous page)

it shall be done only upon written approval of the Area Fisheries Manager. See contact list at: http://files.dnr.state.mn.us/fisheries/management/dnr_fisheries_managers.pdf. Should work begin elsewhere in the project area within these dates, all exposed soils that are within 200 feet of Public Waters and drain to those waters must complete erosion control measures within 24 hours of its disturbance to prevent sediment from entering Public Waters.

MAINTENANCE: Maintenance of this project to originally authorized conditions may be authorized by amendment to this permit.

MONITORING: The filled area shall be monitored for invasive species for a period of 5 years while the native vegetation is established. Planted area shall be monitored for species survival and replanted as necessary to maintain a robust planting.

FLOATING SILT CURTAIN: A floating silt curtain shall be placed in Goose Lake and maintained until the berm is stabilized with appropriate native vegetation.

cc: Scott Arntzen, Conservation Officers, Forest Lake
Jed Chesnut, SWCD
Brooke Haworth, DNR Regional Environmental Assessment Ecologist, Region 3
Tim Marion, DNR Wildlife, North Metro
TJ DeBates, DNR Fisheries, East Metro Area
Michael Welling, County, Washington
John Hanson, Watershed District, VALLEY BRANCH WD
Tom Hingsberger, Corps of Engineers, Washington
Jay Riggs, SWCD, Washington Conservation District
Dean Zuleger, City, Lake Elmo

MINUTES

City of Lake Elmo Park Commission Monday, July 21, 2014

Members Present: Hartley, Nelson, Ames, Weis, Zeno, Silvernale, Hietpas (6:34 pm)

Members Absent: Steele, Frick

Others Present: Planning Commissioner Larson, Taxpayer Relations & Communications Coordinator MacLeod, PWS Bouthilet, Park Maintainer Colemer, Councilmember Reeves, City Administrator Zuleger, Planning Intern Catherine Riley

The meeting was called to order by Chair Weis at 6:30 PM.

Approval of Agenda

Ames asked to add an item after VI.c - Sunfish Lake Park task force to discuss maintenance and entrance issues in park areas 2 & 3.

M/S/P: Hartley/Ames: Approved as amended 6-0

Approval of June 16, 2014 Minutes

Ames asked to change the word "toilet" to "toilets" on page three under item b.

M/S/P: Ames/Hartley: Approved as amended 6-0

Presentations

a. 2014 Trail Audit - Riley

Riley presented a trail audit packet that she has worked on. The plan discussed benefits of trails in a community, and emphasized the importance that the city trail system tie into regional trail systems. The audit was conducted on existing and future trails and detailed quality and material of the trails, rated on the PASER system.

Ames stated that he thought Riley did a great job, and felt it was a helpful update and provides insight that hadn't been addressed before. Ames asked if it would be appropriate to consider the trail system within the park reserve. Riley responded that there would likely be a lot of red tape to navigate around, but thought that it would be worth opening up that discussion. Ames referenced the existing trail system and felt that it was not an actual system, but more a series of groupings. He expressed that they need to be mindful going forward to make sure that they trails are connecting. Ames suggested that incoming developers are told up front about the philosophy to connect trails outside for each neighborhood.

Zuleger commented that the new 5th Street plan would include a connecting trail and felt that the key was to continue to work on the Lake Elmo Regional trail system.

Ames thought it might be worth approaching HOAs to see if they would like the City to take over maintenance of their private trails, as there is a high cost to maintain them. Riley responded that the planning department has approached HOAs about trail ownership and have received a mixed response, some negative. Zuleger stated that if the city were to take over maintenance on the trails, it is assumed that they would become public trails, and some HOAs are against that; would like to keep their trails private

Zeno added that he didn't think acquisition of HOA trails needed to be an all or nothing thing. That some of the HOA trails wouldn't necessarily contribute to the regional trail plan. Zeno also commented that if HOAs refused to make their trails public he advises that the City would build the trail system around those neighborhoods.

a. Park Sign Update (MacLeod)

MacLeod shared that two signs were finished (Reid and Pebble) and picked up earlier that day. The rest of the signs are anticipated to be completed by the first week of August, with Sunfish Lake Park being the next in line for completion. An amenity panel for one of the signs was in the council chambers for the commission to view.

b. LERT Update (Weis)

Weis stated that city planner Johnson has continued to talk to Washington County and that they are working on the west side access plan. Zuleger added that the LERT is currently on hold but the city has been talking with the county about being incorporated into the master plan to be considered by the Met Council. Zuleger added that Met Council Park and Open Space Chair, former Mayor Johnston, recently dropped off a copy of the master plan, which has been serving as a guide for next steps.

Hietpas referenced the search corridor and stated that the LERT was not currently part of that plan. She commented that regionally, there are a lot of trails going on in other areas, but hardly anything in Washington County and she would like to see more priority placed on Lake Elmo trails at a county level. Weis commented on other communities coming forward and that trail plan requests are becoming more prevalent in the county.

Ames asked what the next steps are. Zuleger responded that the city has been requesting that the search corridor be included as a key corridor in the county's trail plan between Oakdale and Stillwater, connecting to a regional park. The City is continuing to have conversations with the county about the best way to access the Lake Elmo Park Reserve. Weis has offered to present the LERT presentation to the County to keep the ball rolling. He emphasized that it is important to get included in the plan because it will open up a lot of funding opportunities.

c. Hammes Park Space (Zuleger)

Zuleger stated that there was an item not on the agenda that needed to be addressed: The Hammes subdivision park space. To recap, Zuleger shared that per previous discussion and in response to the commission's request, the Hammes developers had placed the park in the northwest corner of the development near Keats Avenue and Goose Lake. The proposed park space includes a fishing pier, shelter, grill, parking lot and is also where the lift station is located. Currently the plan does not include a play structure, which was initially requested by the park commission as a condition of approval. The Hammes developers are seeking input from the commission as to what type of play structure to include, and if they could receive credit for parkland dedication if the structure was included. Zuleger continued to point out additional green/meeting spaces within the development and the 100' buffer perimeter per the comp plan (including a trail).

Ames thought he remembered a small park internally in the neighborhood that would have a play structure. He is not sure that a play structure near a 55 mph roadway is a good place for a play structure. Ames also questioned where neighborhood children would play, as lot sizes looked small to consider private play sets.

Zuleger pointed out that the Lake Elmo Park Reserve was located a mile north of the development, with a phenomenal play set. Ames stated that he didn't feel current playgrounds were within reasonable walking distance for residents. Hietpas shared that she didn't feel that the green spaces included throughout the development were large enough for community meeting spaces.

Zuleger pointed out the location of neighboring parks in Stonegate and Lennar neighborhoods.

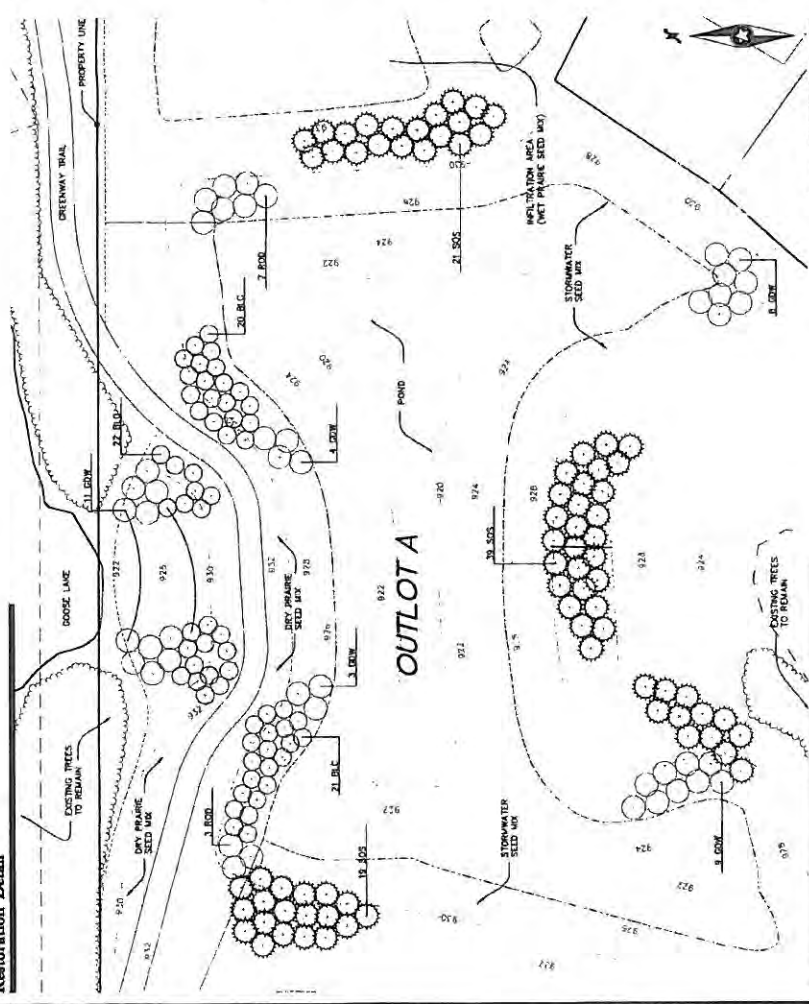
The commission requested that a location central in the neighborhood be considered for play structure placement. Zuleger said that he would forward their comments to the developers.

Meeting adjourned at 9:54 PM

Respectfully Submitted,
Alyssa MacLeod, Recording Secretary

Restoration Detail

North East Park Plan



Restoration Detail Final Plant Schedule

CODE	QTY	COMMON/BOTANICAL NAME	SIZE	SPACING	O.C.
21.B.C.	15	Black Cherry / Prunella serotina	12" DBH	15' x 15'	O.C.
21.S.O.S.	15	Soft Spine / Salix humilis	12" DBH	15' x 15'	O.C.
21.P.A.R.K.	15	Red Pine / Pinus strobus	12" DBH	15' x 15'	O.C.
21.W.E.T.	15	Black Willow / Salix nigra	12" DBH	15' x 15'	O.C.
21.S.P.R.	15	Big Bluestem / Andropogon furcatus	12" DBH	15' x 15'	O.C.
21.S.P.R.	15	Small Bluestem / Andropogon scoparius	12" DBH	15' x 15'	O.C.
21.S.P.R.	15	Red Top / Lycopodium obscurum	12" DBH	15' x 15'	O.C.
21.S.P.R.	15	Red Top / Lycopodium obscurum	12" DBH	15' x 15'	O.C.

NOTES: * QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY

STANDARD PLAN NOTES

CITY OF LAKE ELMO

CITY OF LAKE ELMO

STANDARD PLAN NOTE

CITY OF LAKE ELMO

Westwood
 Westwood Professional Services, Inc.
 10000 13th Ave S
 Golden, CO 80401
 Tel: 303.440.1100
 Fax: 303.440.1101
 www.westwoodcs.com

Prepared for:

Client: _____
 Designer: _____
 Project Number: _____

Proposed for:

Client: _____
 Designer: _____
 Project Number: _____

Ryland Homes
 7999 Aragon Drive
 Eden Prairie, Minnesota 55344

Hammes Property
 Lake Elmo, Minnesota

Final Landscape Details



Element Materials Technology
662 Cromwell Avenue
St Paul, MN
55114-1720 USA

P 651 645 3601
F 651 659 7348
T 888 786 7555
info.stpaul@element.com
element.com

**Hammes Estates Development
Located West Of Keats Avenue North
Lake Elmo, Minnesota 55042
Element Materials Technology St. Paul Inc. Project No. ESP015780P**

FIELD OBSERVATION

On 5/6/14 approximately 90 yds³ of soil was excavated below a former wash conveyor line located at Latitude = 44° 57.501', Longitude = -90° 54.348', Elevation 938'. The recent discovery of petroleum impacted soil was promptly reported to the Minnesota Duty Officer under Duty Officer report #141426. Consistent with the standards and practices set forth by the MPCA, the soil was excavated then placed under and atop non-permeable polypropylene sheeting pending offsite landfill approval. Additional soil was then incorporated from another recent onsite contractor diesel fuel spill located at UTM coordinates 507425.87 meters easting, 4978168.15 meters northing. Both of these removal excavations were administered under the direction of an environmental professional using a Photoionization Detector (PID) to screen the soils. Whereas the areas were excavated until the native soil background levels in the base & sidewalls were free of any detectible PID levels. These recent spill episodes were excavated from the site in a timely manner such that no measureable levels of contamination remain onsite under and around these spill areas. Confirmation lab work of the stockpiled soil was then collected prior to the permitting of said soil for proper offsite disposal. On 8/6/14 & 8/7/14, 161 yds³ of petroleum soil was transported to the SKB landfill in Rosemount, MN for proper disposal.

CONCLUSIONS AND RECOMMENDATIONS

The recent onsite cleanup measures were successful in the **complete excavation** of petroleum impacted soils. In-so far as the base and sidewalls under the "knee deep" excavations exhibited no detectible levels of petroleum vapors.

The earthwork contractor was hereby advised to fuel their equipment over areas equipped with a non-permeable poly "spill shield" or similar containment as to eliminate the risk of adverse environmental impacts to the soils. Our frequent onsite inspections have not seen any repeated spillages at the site.

At the time of this field observation, no additional investigation or cleanup measures have been required in association with this recent reported spill. Since both of the "post excavation" base and sidewall test samples were below the 10 parts per million PID values set forth by MPCA guidance 3-01, no additional investigation or cleanup measures is anticipated or required.

STANDARD OF CARE

Services performed for this project have been conducted in a manner consistent with the level of care and skill ordinarily exercised by members of the profession currently practicing in this area under similar budget and time constraints. No warranties, expressed or implied, are made. The material contained in this report is to be considered confidential. Distribution, sale or publication of this report or any part thereof without the expressed written consent of Element Materials Technology St. Paul, Inc. is prohibited. Additional copies of this report and their associated reliance letters may be obtained by contacting Element Materials Technology St. Paul Inc.

ELEMENT MATERIALS TECHNOLOGY ST. PAUL INC.

Report Prepared By:

Mike Malinowski, CES
Certified Environmental Specialist

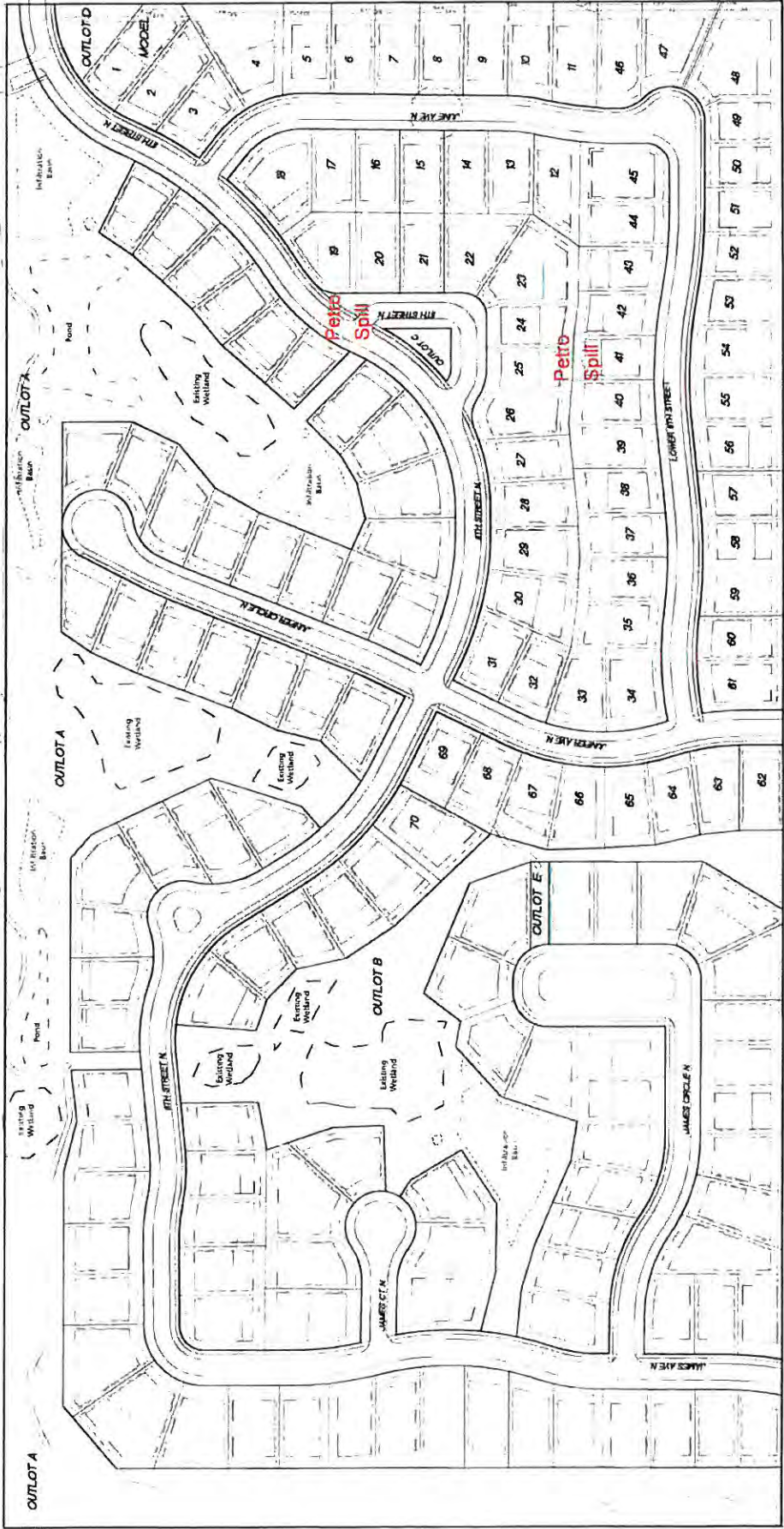
QA/QC Reviewed by

Mark Straight, PE
Senior Project Engineer
MN Reg. No. 41658

9/17/2014
Date

JEWEL AVENUE NORTH

GOOSE LAKE



ELEANOR D. HAMMES
1187 FROST AVENUE
MAPLEWOOD, MN 55109
651-774-1761

October 8, 2015

Mr. Clark Schroeder
Interim City Administrator
City of Lake Elmo
3800 Laverne Avenue North
Lake Elmo, MN 55042

Re: Hammes Estates
Final Plat and Development Contract

Dear Mr. Schroeder:

On October 7, 2014, the Lake Elmo City Council approved the Hammes Estates Final Plat and Development Contract for my family's property (Resolution No. 2014-81). Due to various complexities, the Final Plat was not recorded. We are working on the issues and now feel ready to move forward with the project as previously approved.

Accordingly, we are requesting that the City Council extend our Final Plat approval and Development Contract for two years from the original date of approval (until October 7, 2016).

Thank you for your consideration.

Sincerely,

A handwritten signature in blue ink that reads "Eleanor D. Hammes". The signature is written in a cursive style with a large, prominent "H".

Eleanor D. Hammes, Owner