



MAYOR & COUNCIL COMMUNICATION

DATE: **October 7, 2014**
REGULAR
ITEM # **14**

AGENDA ITEM: Hammes Estates Residential Subdivision - Final Plat (Phase 1)

SUBMITTED BY: Nick M. Johnson, City Planner

THROUGH: Dean Zuleger, City Administrator

REVIEWED BY: Planning Commission
 Kyle Klatt, Community Development Director
 Jack Griffin, City Engineer
 Greg Malmquist, Fire Chief
 Stephen Mastey, City's Landscape Consultant

SUGGESTED ORDER OF BUSINESS:

- Introduction of ItemCommunity Development Director
- Report/Presentation.....Community Development Director
- Questions from Council to Staff Mayor Facilitates
- Call for Motion Mayor & City Council
- Discussion Mayor & City Council
- Action on Motion..... Mayor Facilitates

POLICY RECCOMENDER: The Planning Commission is unanimously recommending that the City Council approve a final plat request from Hammes West, LLC for the first phase of a 163 unit residential development to be located on 78 acres of land west of Keats Avenue and within the City's I-94 Corridor Planning Area. The final plat will include 57 single-family lots, all of which will be accessed off of Keats Avenue (CSAH 19).

FISCAL IMPACT: TBD – the City will be asked to review a developer's agreement concerning the final plat at its October 7, 2014 meeting. The agreement will include a detailed accounting of any development costs that will be the responsibility of the City. The subdivision is included in the Section 34 utility project area, and therefore the developer is being assessed for the costs of the project to bring sewer and water to the site.

SUMMARY AND ACTION REQUESTED: The City Council is being asked to consider a request from Hammes West, LLC for approval of a final plat for the first phase of the Hammes Estates residential development. The final plat includes 57 single-family residential lots, and the

related construction plans for the improvements necessary to serve these homes. The City Council approved the Hammes Estates Preliminary Plat on July 1, 2014, which covered approximately 78 acres of land within the I-94 Corridor planning area. There are 163 single family residential lots planned within the entire subdivision, and the final plat covers only a portion of the overall total of units that will eventually be platted. The public improvements associated with the site will be installed by The Ryland Group in conjunction with the applicant.

The Planning Commission considered this matter at its September 22, 2014 meeting and unanimously recommended approval of the final plat subject to 16 conditions of approval.

The suggested motion to adopt the Planning Commission recommendation is as follows:

“Move to adopt Resolution No. 2014-81, approving the final plat for Hammes Estates”

BACKGROUND INFORMATION:

Attached are the original detailed Staff report that was provided to the Planning Commission regarding the applicant's request for a final plat, which includes general information about the application, a summary of the relevant planning and zoning issues, a thorough review and analysis of the final plat (including a draft list of recommended conditions of approval), draft findings, and the Staff recommendation to the Planning Commission.

In addition to the information provided in the Staff Report, it should be noted that the applicant is requesting to amend Condition #13 related to the Minnesota Pollution Control Agency (MPCA) approval letter of the remediation of the soil contamination event on the Hammes site. As demonstrated in the request letter in Attachment #3, the applicants are requesting that the approval letter from the MPCA be provided prior to the issuance of building permit for affected lots as opposed to prior to the release of the Final Plat. The reason for the request relates to the closing of the property by The Ryland Group. If the Final Plat is delayed due to the MPCA approval process, which is estimated to take 30-60 days, the closing or purchase of a large portion of the property by the Ryland Group will also be delayed. After consulting with the Fire Chief and MPCA on the request, staff determined that the request is reasonable and will not create a negative or dangerous situation in the interim period while the review by MPCA is completed. It should be noted that the applicants have submitted a Phase 1 Environmental Review for the site, as well as substantial information regarding the cleanup and disposal of the contaminated soil. The Fire Chief simply want to close the loop by requesting the applicant enter the Voluntary Brownfield Program to ensure that the remediation work that was completed has properly addressed the contamination. Staff recommends that condition #13 be amended per the suggested language from the applicant (Attachment #3).

PLANNING COMMISSION REPORT:

The Planning Commission reviewed the final plat application at its September 22, 2014 meeting. During the meeting, the Planning Commission engaged in discussions regarding the design and locations of the trails, the stormwater facilities, the phasing of the proposed subdivision, and other pertinent topics and questions. In reviewing the final plat, the Planning Commission

recommended two additional conditions of approval: 1) that any trail segment designed as a boardwalk must be able to safely accommodate bicycle traffic, and 2) that the developer must inventory and replace trees that are removed on the City park land due to the installation of the trail. The Planning Commission recommended that the trees be replaced at the schedule or rate required under the City's tree preservation ordinance (§154.257). In addition to these added conditions, the Planning Commission wanted to ensure that the MPCA approve the soil remediation work prior to the City releasing final plat for recording. Further detail of the Planning Commission discussion on the Hammes Estates Final Plat can be found in the 9/22/14 draft minutes.

The Planning Commission recommended approval of the final plat as submitted with 16 conditions of approval. The vote to recommend approval of the Hammes Estates Final Plat was unanimous (Vote: 7-0).

STRENGTHS, WEAKNESSES, OPPORTUNITIES, THREATS:

Strengths: The proposed final plat is consistent with the approved preliminary plat subject to the conditions being recommended by Staff and the Planning Commission.

Weaknesses: Several conditions of approval must be met by the applicant, including revisions to the final construction plans to address comments from the City Engineer.

Opportunities: Approval of the plat application allows the development plans for the Hammes site to proceed as planned in the Comprehensive Plan. Moving forward with sewer single family growth should allow the City to add additional users to the City's public sanitary sewer system, helping to finance the City's investments in sanitary sewer.

Threats: None

RECOMMENDATION:

Based on the aforementioned, the Planning Commission and Staff are recommending that the City Council approve the Hammes Estates Final Plat subject to 16 conditions of approval through the following motion:

“Move to adopt Resolution No. 2014-81, approving the final plat for Hammes Estates”

ATTACHMENTS:

1. Resolution 2014-81
2. Staff Report to the Planning Commission, 9/22/14
3. Hammes West, LLC Request to Amend Condition #13
4. Application Form
5. Preliminary Plat Response Letter (Westwood Engineering)
6. Final Plat (3 sheets)

7. Final Construction Plans (Sanitary Sewer, Water Main, Storm Sewer and Streets – 17 sheets)
8. Final Construction Plans (Grading, Drainage and Erosion Control – 14 sheets)
9. Final Landscape Plans (4 sheets)
10. Park Location Plan
11. City Engineer Review Memorandum, dated 9/18/14
12. Fire Chief Review Memorandum, dated 9/18/14
13. Landscape Consultant Review Memorandum, dated 8/25/14 and 9/18/14
14. Valley Branch Watershed District Permit
15. MN DNR Permit to Restore Southern Shore of Goose Lake
16. Excerpt of Park Commission Minutes from 7/21/14 Meeting.
17. Goose Lake Park Area Sketch
18. Soil Contamination Remediation Report

**CITY OF LAKE ELMO
WASHINGTON COUNTY
STATE OF MINNESOTA**

RESOLUTION NO. 2014-81

A RESOLUTION APPROVING A FINAL PLAT FOR HAMMES ESTATES

WHEREAS, the City of Lake Elmo is a municipal corporation organized and existing under the laws of the State of Minnesota; and

WHEREAS, Hammes West, LLC, 36 Moonlight Bay, Stillwater, MN (Applicant) has submitted an application to the City of Lake Elmo (City) for a Final Plat for Hammes Estates, a copy of which is on file in the City of Lake Elmo Community Development Department; and

WHEREAS, the Lake Elmo Planning Commission held a public hearing on May 12, 2014 to consider the Hammes Estates Preliminary Plat and continued discussion on the Preliminary Plat until its June 23, 2014 meeting; and

WHEREAS, the Lake Elmo Planning Commission has submitted its report and recommendation concerning the Preliminary Plat as part of a memorandum to the City Council for the July 1, 2014 City Council Meeting; and

WHEREAS, the Lake Elmo Planning Commission adopted a motion recommending approval of the Preliminary Plat; and

WHEREAS, the City Council reviewed the Preliminary Plat request at its July 1, 2014 meeting and adopted Resolution No. 2014-55 approving the Preliminary Plat; and

WHEREAS, the Lake Elmo Planning Commission met on September 22, 2014 to review the Final Plat for Hammes Estates consisting of 57 single-family residential lots; and

WHEREAS, on September 22, 2014 the Lake Elmo Planning Commission adopted a motion to recommend that the City Council approve the Final Plat for Hammes Estates with conditions; and

WHEREAS, the City Council reviewed the recommendation of the Planning Commission and the Final Plat for Hammes Estates at a meeting held on October 7, 2014; and

NOW, THEREFORE, based upon the testimony elicited and information received, the City Council makes the following:

FINDINGS

- 1) That the procedure for obtaining approval of said Final Plat is found in the Lake Elmo City Code, Section 153.08.

- 2) That all the requirements of said City Code Section 153.08 related to the Final Plat have been met by the Applicant.
- 3) That the proposed Final Plat for Hammes Estates consists of the creation of 57 single-family residential lots.
- 4) That the Hammes Estates Final Plat is consistent with the Preliminary Plat and Plans as approved by the City of Lake Elmo on July 1, 2014 and revised on August 25, 2014.
- 5) That the Hammes Estates Final Plat is consistent with the Lake Elmo Comprehensive Plan and the Future Land Use Map for this area.
- 6) That the Hammes Estates Final Plat complies with the City's Urban Low Density Residential zoning district.
- 7) That the Hammes Estates Final Plat complies with all other applicable zoning requirements, including the City's landscaping, storm water, sediment and erosion control and other ordinances, except as noted in this report or attachment thereof.
- 8) That the Hammes Estates Final Plat complies with the City's subdivision ordinance.
- 9) That the Hammes Estates Final Plat is consistent with the City's engineering standards with the exceptions noted by the City Engineer in his review comments to the City dated September 18, 2014.

CONCLUSIONS AND DECISION

NOW, THEREFORE, BE IT RESOLVED THAT the City Council does hereby approve the Final Plat for Hammes Estates subject to the following conditions:

- 1) Final grading, drainage, and erosion control plans, utility plans, sanitary and storm water management plans, and street and utility construction plans shall be reviewed and approved by the City Engineer prior to the recording of the Final Plat. All changes and modifications to the plans requested by the City Engineer in a memo dated 9/18/14 shall be incorporated into these documents before they are approved.
- 2) The developer shall provide evidence in a form satisfactory to the City Attorney that warrants it has fee interest in area included in the Hammes Estates Final Plat.
- 3) Prior to the execution of the Final Plat by City officials, the Developer shall enter into a Developer's Agreement acceptable to the City Attorney and approved by the City Council that delineates who is responsible for the design, construction, and payment of the required improvements with financial guarantees therefore.

- 4) All easements as requested by the City Engineer and Public Works Department shall be documented on the Final Plat prior to the release of the Final Plat for recording.
- 5) A Common Interest Agreement concerning management of the common areas of Hammes Estates and establishing a homeowner's association shall be submitted in final form to the Community Development Director before a building permit may be issued for any structure within this subdivision. Said agreement shall comply with Minnesota Statutes 515B.3-103, and specifically the provisions concerning the transfer of control to the future property owners. The applicant shall also enter into a maintenance agreement with the City that clarifies the individuals or entities responsible for any landscaping installed in areas outside of land dedicated as public park and open space on the Final Plat.
- 6) The applicant shall provide fees in lieu of land dedication for 2.1 acres of land to fulfill the City's parkland dedication requirements in a pro-rated amount for the Phase 1 Area or in an amount addressing the total site.
- 7) The Final Landscape Plan shall be revised per the requested modifications of the City Landscape Consultant, documented in a memo dated 9/18/14. Final Landscape Plans shall be approved prior to the release of Final Plat for recording.
- 8) The applicant shall provide evidence that all conditions attached to the Valley Branch Watershed District permit for the Final Plat and associated grading work have been met prior to the commencement of any final grading activity.
- 9) The applicant must provide written authorization to perform any work in the Electrical Transmission easement areas prior to the release of the Final Plat for recording.
- 10) The applicant shall provide evidence that Washington County has approved final construction plans for all required work within the Keats Avenue right-of-way as described in a letter from the County dated May 6, 2013. Final Construction Plans provided to the City shall be updated to include the improvements approved by Washington County
- 11) The applicant shall abide by all conditions of the MN DNR Public Waters Work Permit dated 8/27/14.
- 12) The applicant must revise the Goose Lake Park Plan to provide greater separation between the public use area and the lift station maintenance area. The applicant will be responsible for all necessary watershed district permitting requirements related to the Goose Lake Park improvements.
- 13) Per the recommendation of the Fire Chief, the applicant must submit all documentation related to the mitigation of the soil contamination to the Minnesota Pollution Control Agency's Voluntary Brownfield Program for review and approval prior to the release of Final Plat for recording.
- 14) Prior to the acceptance of the public improvements for the 1st Phase of the Hammes Estates subdivision, all wetland buffers shall be delineated and identified via staking or signage that is acceptable to the City.

15) Any boardwalk trail segments included in the Hammes Estates subdivision must be designed to accommodate bicycle traffic.

16) All trees impacted by the northern buffer trail must be inventoried and replaced at the schedule or rate specified in the City's tree preservation ordinance (§154.257).

Passed and duly adopted this 7th day of October 2014 by the City Council of the City of Lake Elmo, Minnesota.

Mike Pearson, Mayor

ATTEST:

Adam Bell, City Clerk



PLANNING COMMISSION
DATE: 9/22/13
AGENDA ITEM: 4A – BUSINESS ITEM
CASE # 2014-44

ITEM: Hammes Estates Residential Subdivision – Final Plat (Phase 1)

SUBMITTED BY: Nick M. Johnson, City Planner

REVIEWED BY: Kyle Klatt, Community Development Director
Jack Griffin, City Engineer
Greg Malmquist, Fire Chief
Stephen Mastey, City's Landscape Consultant

SUMMARY AND ACTION REQUESTED:

The Planning Commission is being asked to consider a Final Plat request from Hammes West, LLC for the first phase of a planned 163-unit residential development to be located on 78.1 acres of land west of Keats Avenue and within Stage 1 of the City's I-94 Corridor Planning Area. The final plat will include 57 single-family lots, all of which will be accessed off of Keats Avenue. Staff is recommending approval of the request subject to compliance with a series of conditions as listed in this report.

GENERAL INFORMATION

Applicant: Hammes West, LLC, 36 Moonlight Bay, Stillwater, MN 55082.

Property Owners: Ellie Hammes, 1187 Forest Ave., Maplewood, MN 55109, and Dorothy Lyons, 10105 10th Street North, Lake Elmo, MN 55042.

Location: Part of Section 34 in Lake Elmo, immediately west of Keats Avenue (CSAH 19), approximately 1,300 feet south of 10th Street (CSAH 10), and immediately south of Goose Lake. PID Number 34.029.21.13.0001.

Request: Application for final plat approval of 57 residential lots, constituting the first phase of a subdivision to be named Hammes Estates.

Existing Land Use and Zoning: The site was previously utilized as an active mining and gravel operation. The site has since been reclaimed. Current Zoning: LDR - Urban Low Density Residential

Surrounding Land Use and Zoning: North –Goose Lake and Stonegate Residential Estates (RE) subdivision; west – Stonegate RE subdivision; south – Lennar Savona Urban Low Density Residential (LDR) subdivision.

Comprehensive Plan: Urban Low Density Residential (2.5 – 4 units per acre)

History: Preliminary Plat approved on 7/1/14 (public hearing on 5/12/14).

Deadline for Action: Application Complete – 9/15/14
60 Day Deadline – 11/13/14

Extension Letter Mailed – No
120 Day Deadline – 1/12/15

Applicable Regulations: Chapter 153 – Subdivision Regulations
Article 10 – Urban Residential Districts (LDR)
§150.270 Storm Water, Erosion, and Sediment Control

REQUEST DETAILS

The City of Lake Elmo has received a request from Hammes West, LLC for final plat approval of the first phase of the Hammes Estates residential development. The final plat includes 57 single family residential lots and the infrastructure necessary to support the future homes on these lots. The City Council approved the Hammes Estates Preliminary Plat on July 1, 2013, which covered approximately 78 acres of land within the I-94 Corridor Planning Area. There are 163 single family residential lots planned within the entire subdivision, and the final plat covers only a portion of the overall total of units that will eventually be platted. Hammes West, LLC, in conjunction with Ryland Homes, is finalizing the purchase of the land. Submission of adequate title evidence to the City Attorney will be required of the applicant in advance of the City releasing the Final Plat for recording.

The final plat area represents the initial project phase of the overall Hammes Estates development. The developer intends to build homes in the subdivision moving generally from the east to the west, extending infrastructure to serve each phase with future projects. Likewise, the developer will be conducting final grading on the site in phases as well, as the majority of the site has undergone initial grading work as part of the approved reclamation plan for the site's mining permit. This grading will be necessary to establish the overall storm water management system on the site, but the plan will be revised when the individual lots are created as part of a future development phase. The applicant has submitted detailed construction plans for related to sanitary sewer, water main, storm sewer, grading, drainage, landscaping, and other details that have been reviewed by the City Engineer.

The City's subdivision ordinance establishes the procedure for obtaining final subdivision approval, in which case a final plat may only be reviewed after the City takes action on a preliminary plat. As long as the final plat is consistent with the preliminary approval, it must be approved by the City. Please note that the City's approval of the Hammes Estates Preliminary Plat did include a series of conditions that must be met by the applicant, which are addressed in the "Review and Analysis" section below. There are no public hearing requirements for a final plat.

It should also be noted that the zoning of the Hammes site was changed from Rural Development Transitional District (RT) to Urban Low Density Residential (LDR) as part of a broader zoning map update that was approved by the City Council on July 22, 2014. In order to proceed with the recording of the Final Plat, a site must have the proper zoning designation in place. The Hammes site fulfills this criterion, as LDR zoning is the appropriate zoning for the single family subdivision.

Staff has reviewed the final plat and found that it is consistent with the preliminary plat that was approved by the City. The developer has recently updated the preliminary plan submissions to comply with the conditions of approval, and the final plat application incorporates these updates as well. Please note that the final plat and construction plans now include approved street names for the subdivision.

The City Engineer has reviewed the final plat, and his comments are attached to this report. Although there are some additional revisions and additions necessary for the final construction plans

that need to be addressed by the applicant, the majority of these revisions can be made before the City releases the final plat for recording. Staff is recommending that all revisions and modifications noted within the City Engineer's review memorandum be completed prior to the release of Final Plat for recording as a condition of approval.

REVIEW AND ANALYSIS

The preliminary plat for Hammes Estates was approved with several conditions, which are indicated below along with Staff's comments on the status of each. For those items and issues that are not directly addressed below, Staff has provided additional comments following the preliminary plat conditions list. Staff is recommending approval of the final plat, but with additional conditions intended to address the outstanding issues that will require additional review and/or documentation.

Please also note that the applicant has also provided a response to the preliminary plat conditions and their response is included as an attachment to this report (Attachment #2).

Preliminary Plat Conditions – With Staff Update Comments (updated information in bold italics):

- 1) Within six months of preliminary plat approval, the applicant shall complete the following: a) The applicant shall provide adequate title evidence satisfactory to the City Attorney; and b) The applicant shall submit a revised Preliminary Plat and plans meeting all conditions of approval. All of the above conditions shall be met prior to the City accepting an application for Final Plat and prior to the commencement of any grading activity on the site. ***Comment: a) all title work will need to be submitted and reviewed by the City Attorney before any City officials sign the final plat (Condition #2); b) revised preliminary plat and plans have been received by the City and were found to address previous comments. The City Engineer has identified to design modifications related to depth of storm sewer and the location of one segment of watermain, both in the western portion of the plat. The City Engineer has confirmed that these design modification are not impactful to the first phase of Hammes Estates. Nonetheless, the City Engineer has requested that these revisions be submitted in order to facilitate more accurate and efficient review of future phases of the Hammes Estates subdivision. The applicant has acknowledged this requirement and will address the requested modifications before the City will release the Final Plat for recording.***
- 2) The City Engineer shall review and approve all revised Preliminary Plans that are submitted to the City in advance of Final Plat to satisfy Condition #1. ***Comments: See Condition #1 response.***
- 3) The Preliminary Plat approval is conditioned upon the applicant meeting all minimum City standards and design requirements. ***Comments: The applicant has acknowledged that approval is conditioned upon meeting City standards and design requirements.***
- 4) All required modifications to the plans as requested by the City Engineer in a review letter dated June 16, 2014 shall be incorporated into the plans prior to consideration of a Final Plat. ***Comments: The applicants have addressed the Engineer's review comments, but design modifications are necessary with regards to storm sewer depth and watermain alignment in the western portion of the plat. The Engineer has confirmed to staff that the requested modifications to not materially impact the 1st Phase of Hammes Estates.***

- 5) Prior to the acceptance of the public improvements for the Hammes Estates plat, all wetland buffers shall be delineated and identified via staking or signage that is acceptable to the City. ***Comments: The final construction plans (Grading, Drainage and Erosion Control) include wetland buffer monuments to identify the locations of all wetland buffers. The applicants have met this condition. However, in order to ensure that the monuments are installed, staff recommends that this condition be carried forward as a condition of final plat approval for all subsequent phases of the Hammes Estates subdivision (Condition #14).***
- 6) The landscape plan shall be updated per the recommendations of the City's landscape consultant in a review memo dated 5/7/14. ***Comments: The City's Landscape Consultant has reviewed the updated Preliminary Landscape Plan and found it to be in conformance with the City's landscaping ordinance. More specifically, the applicants have provided additional plant material to meet the City's requirements. Based upon the approval of the City's Landscape Consultant, this condition has been met.***
- 7) The applicant shall be responsible for the construction of all improvements within the Keats Avenue (CSAH 19) right-of-way as required by Washington County and further described in the review letter received from the County dated May 6, 2014. The required improvements shall include, but not be limited to: construction of a modified median crossing, construction of a trail/sidewalk to the south side of the median, turn lanes, and other improvements as required by the County. ***Comments: The Final Construction Plans have been revised in response to these comments. The applicants have submitted an access permit to Washington County, which is currently being reviewed. The applicants will be responsible to incorporate any requested revisions or modifications that result from the County's review of the access to Keats Ave. into the Final Construction Plans (Condition #10)***
- 8) The developer shall follow all of the rules and regulations spelled out in the Wetland Conservation Act, and shall acquire the needed permits from Valley Branch Watershed District prior to the commencement of any grading or development activity on the site. ***Comments: The applicant has received a permit from the Valley Branch Watershed District (Attachment #11) for the grading work proposed in the final plans. This permit includes conditions that must be met prior to the commencement of any final grading work on the site. The applicant will be required to observe all conditions of the Valley Branch Watershed District permit throughout construction (Condition #8).***
- 9) Landscape islands shall be platted as part of the right-of-way and shall be maintained by the Home Owners Association. The applicant shall enter into a maintenance agreement with the City that clarifies the individuals or entities responsible for any landscaping installed in areas outside of land dedicated as public park and open space on the final plat. ***Comments: The applicant has indicated that there will be a homeowner's association created for this development. The City has not yet received documentation that this association has been established. A maintenance agreement and evidence that the HOA has been established should be retained as a condition of approval for the final plat (Condition #5).***
- 10) With an eligible parkland dedication of 5.7 acres provided, the applicant is responsible to pay a fee in lieu of land dedication for the equal market value amount of 2.1 acres of land at the time of the Final Developers Agreement. The City will work with the developer to clarify any and all park fee payments at the time of the Final Developers Agreement. ***Comments: Staff is***

recommending that the payment of fees in lieu of land dedication either be pro-rated based on the percentage of the final plat area compared to the entire Hammes Estates development, or the total required amount be collected for the entire subdivision. As a condition of approval, staff is recommending that the required parkland dedication fee be collected prior to the City releasing the Final Plat for recording (Condition #6)

- 11) No more than 100 units may be approved as part of a final plat until secondary access is provided to the subdivision via a connection to 5th Street through the Savona subdivision.
Comments: The proposed final plat includes 57 units, which means the applicant may plat an additional 42 units before secondary access through the Savona subdivision to the south is required.
- 12) For trails proposed to be located in any wetland buffer, the applicant must present a suitable design or material that is acceptable to the City and Valley Branch Watershed District.
Comments: The applicants have presented a boardwalk design to the watershed district and the VBWD was agreeable to a boardwalk design through a small portion of the buffer area. City staff was in attendance at the VBWD Board Meeting and offered support for the boardwalk design. The construction details of the proposed limited boardwalk section within the wetland buffer must be provided to the City as part of the Final Construction Plans for the pertinent future phase of the Hammes Estates subdivision.
- 13) The applicant must enter into a separate grading agreement with the City prior to the commencement of any grading activity in advance of final plat and plan approval. The City Engineer shall review any grading plan that is submitted in advance of a final plat, and said plan shall document extent of any proposed grading on the site. *Comments: The applicants are not proposing any final grading in advance of Final Plat approval. Final grading activities require the approval of the Final Grading Plans by the City Engineer.*
- 14) The applicant must incorporate a play structure into the proposed park at Goose Lake per the request of the Lake Elmo Park Commission. Furthermore, the applicant must submit an updated design of the park property that meets City approval in advance of Final Plat.
Comments: Regarding the play structure, the Park Commission reviewed the proposed improvements to Goose Lake Park at the 7/21/14 meeting and determined to relocate the structure to some other location within the subdivision. The Park Commission wanted to minimize the removal of significant trees in the area and were concerned about the proximity to Keats Avenue (CSAH 19). The applicant were directed to find another location for the City to locate a play structure in the future. Greater detail of the Park commission discussion can be found in Attachment # 13. To respond to this direction, the applicants have presented two potential locations, as evidence in the Park Location Plan (Attachment #7). City Staff will continue to work with the applicants and the Park Commission to site a play structure as part of a future phase of the development.

Regarding the design of Goose Lake Park, the applicants have submitted additional details of the proposed park area as part of the Final Landscape Plan. The proposed grading addresses staff concerns regarding the location of the improvements in the context of the 100-year flood elevation of Goose Lake. However, the park property improvements must be revised to better separate the public use area and the lift station utility area. The City Engineer has provided a proposed sketch (Attachment #14) that reorients the parking to better separate these areas, allowing for better access and work space for City maintenance

staff. As a condition of approval, the park property improvements must be revised to meet the approval of the City Engineer. This design must also maintain the required 25-foot setback from the OHWL as specified in the Valley Branch Watershed District Permit. Finally, the applicant will be required to obtain the necessary watershed district permit for the improvements to Goose Lake Park (Condition #12).

- 15) The applicant shall work with the Planning Staff to name all streets in the subdivision prior to submission of a Final Plat. *Comments: The applicants have updated the Final Plat and Final Construction Plans with the correct street names as directed by City staff. This condition has been met.*
- 16) Lots 1-6, Block 10 and Lots 1-5 and 11-12, Block 9 shall not be platted until the southern channel of Goose Lake is closed off from the lake, or the shoreland issue around the channel is resolved in some other manner that is acceptable to the DNR. *Comments: The applicants have received MN DNR approval to restore the southern shore of Goose Lake back to its original state, closing off the southern channel and Wetland G. This condition has been met, and the MN DNR permit is found in Attachment #11. The applicant shall be responsible for following all requirements and conditions of the DNR permit, including the 5-year invasive species monitoring (Condition #11).*
- 17) The applicant shall work to relocate segments of the northern buffer trail further to the south of the Stonegate subdivision wherever it is feasible as long as the trail does not encroach on any required wetland buffers. *Comments: The portion of the northern buffer trail to the south of Goose Lake has been moved further to the south across the restored shoreline. The trail has not been moved further south in any other locations on the updated preliminary plans, as the other segments of the trail directly abut required wetland buffers or must be located in locations to not impact stormwater management facilities or to maintain proper grade. In the judgment of staff, the applicants have reasonably met this condition.*

Staff is recommending that the conditions noted above that pertain to the Final Plat and that have not yet been addressed by the applicant should be adopted with the Final Plat. The City Engineer's review letter does identify several issues that need to be addressed by the developer in order for the City to deem the final plans complete. However, the majority of these concerns are related to the construction plans and should have limited bearing on the final plat. Staff is recommending that City Officials not sign the final plat mylars until the City's construction plan review is finalized and all necessary easements are documented on the Final Plat.

In addition to the items discussed above, it should be noted that the Fire Chief is requesting verification from the Minnesota Pollution Control Agency (MPCA) that the remediation activities completed by the applicant have correctly addressed a previous incident of soil contamination on the site. For the purpose of documentation, the applicants have provided the soil remediation report (Attachment #15) to document that the contamination has been properly addressed. In order to ensure procedural compliance, the Fire Chief is requesting that the applicants submit this information to the Voluntary Brownfield Program at the MPCA to document compliance (Condition #13). The Fire Chief's memo is found in Attachment #9.

Based on the above Staff report and analysis, Staff is recommending approval of the Final Plat with several conditions intended to address the outstanding issues noted above and to further clarify the City's expectations in order for the developer to proceed with the recording of the Final Plat.

The recommended conditions are as follows:

Recommended Conditions of Approval:

- 1) Final grading, drainage, and erosion control plans, utility plans, sanitary and storm water management plans, and street and utility construction plans shall be reviewed and approved by the City Engineer prior to the recording of the Final Plat. All changes and modifications to the plans requested by the City Engineer in a memo dated 9/18/14 shall be incorporated into these documents before they are approved.
- 2) The developer shall provide evidence in a form satisfactory to the City Attorney that warrants it has fee interest in area included in the Hammes Estates Final Plat.
- 3) Prior to the execution of the Final Plat by City officials, the Developer shall enter into a Developer's Agreement acceptable to the City Attorney and approved by the City Council that delineates who is responsible for the design, construction, and payment of the required improvements with financial guarantees therefore.
- 4) All easements as requested by the City Engineer and Public Works Department shall be documented on the Final Plat prior to the execution of the Final Plat by City Officials.
- 5) A Common Interest Agreement concerning management of the common areas of Hammes Estates and establishing a homeowner's association shall be submitted in final form to the Community Development Director before a building permit may be issued for any structure within this subdivision. Said agreement shall comply with Minnesota Statutes 515B-103, and specifically the provisions concerning the transfer of control to the future property owners. The applicant shall also enter into a maintenance agreement with the City that clarifies the individuals or entities responsible for any landscaping installed in areas outside of land dedicated as public park and open space on the Final Plat.
- 6) The applicant shall provide fees in lieu of land dedication for 2.1 acres of land to fulfill the City's parkland dedication requirements in a pro-rated amount for the Phase 1 Area or in an amount addressing the total site.
- 7) The Final Landscape Plan shall be revised per the requested modifications of the City Landscape Consultant, documented in a memo dated 9/18/14. Final Landscape Plans shall be approved prior to the release of Final Plat for recording.
- 8) The applicant shall provide evidence that all conditions attached to the Valley Branch Watershed District permit for the Final Plat and associated grading work have been met prior to the commencement of any final grading activity.
- 9) The applicant must provide written authorization to perform any work in the Electrical Transmission easement areas prior to the release of the Final Plat for recording.
- 10) The applicant shall provide evidence that Washington County has approved final construction plans for all required work within the Keats Avenue right-of-way as described in

a letter from the County dated May 6, 2013. Final Construction Plans provided to the City shall be updated to include the improvements approved by Washington County

- 11) The applicant shall abide by all conditions of the MN DNR Public Waters Work Permit dated 8/27/14.
- 12) The applicant must revise the Goose Lake Park Plan to provide greater separation between the public use area and the lift station maintenance area. The applicant will be responsible for all necessary watershed district permitting requirements related to the Goose Lake Park improvements.
- 13) Per the recommendation of the Fire Chief, the applicant must submit all documentation related to the mitigation of the soil contamination to the Minnesota Pollution Control Agency's Voluntary Brownfield Program for review and approval.
- 14) Prior to the acceptance of the public improvements for the 1st Phase of the Hammes Estates subdivision, all wetland buffers shall be delineated and identified via staking or signage that is acceptable to the City.

DRAFT FINDINGS

Staff is recommending that the Planning Commission consider the following findings with regards to the proposed Hammes Estates Final Plat:

- 1) That the Hammes Estates Final Plat is consistent with the Preliminary Plat and Plans as approved by the City of Lake Elmo on July 1, 2013 and revised on August 25, 2013.
- 2) That the Hammes Estates Final Plat is consistent with the Lake Elmo Comprehensive Plan and the Future Land Use Map for this area.
- 3) That the Hammes Estates Final Plat complies with the City's Urban Low Density Residential zoning district.
- 4) That the Hammes Estates Final Plat complies with all other applicable zoning requirements, including the City's landscaping, storm water, sediment and erosion control and other ordinances, except as noted in this report or attachment thereof.
- 5) That the Hammes Estates Final Plat complies with the City's subdivision ordinance.
- 6) That the Hammes Estates Final Plat is consistent with the City's engineering standards with the exceptions noted by the City Engineer in his review comments to the City dated September 18, 2014.

RECCOMENDATION:

Staff recommends that the Planning Commission recommend approval of the Final Plat for Hammes Estates with the 14 conditions of approval as listed in the Staff report. Suggested motion:

“Move to recommend approval of the Hammes Estates Final Plat with the 14 conditions of approval based on the findings of fact listed in the Staff Report.”

ATTACHMENTS:

1. Application Form
2. Preliminary Plat Response (Westwood Engineering)
3. Final Plat (3 sheets)
4. Final Construction Plans (Sanitary Sewer, Water Main, Storm Sewer and Streets – 17 sheets)
5. Final Construction Plans (Grading, Drainage and Erosion Control – 14 sheets)
6. Final Landscape Plans (4 sheets)
7. Park Location Plan
8. City Engineer Review Memorandum, dated 9/18/14
9. Fire Chief Review Memorandum, dated 9/18/14
10. Landscape Consultant Review Memorandums, dated 8/25/14 and 9/18/14
11. Valley Branch Watershed District Permit
12. MN DNR Permit to Restore Southern Shore of Goose Lake
13. Excerpt of Park Commission Minutes from 7/21/14 Meeting.
14. Goose Lake Park Area Sketch
15. Soil Contamination Remediation Report

NOT INCLUDED BUT AVAILABLE BY REQUEST:

1. Updated Preliminary Plans

ORDER OF BUSINESS:

- IntroductionPlanning Staff
- Report by StaffPlanning Staff
- Questions from the Commission Chair & Commission Members
- Discussion by the Commission Chair & Commission Members
- Action by the Commission Chair & Commission Members

**HAMMES WEST, LLC
36 MOONLIGHT BAY
STILLWATER, MN 55082**

September 30, 2014

Mr. Nick Johnson
City of Lake Elmo
njohnson@lakeelmo.org

Re: City of Lake Elmo Requirements

Dear Nick:

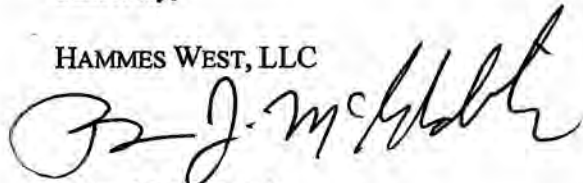
We are requesting that Condition No. 13 of the Planning Commission recommendation be amended to state the following:

“Per the recommendation of the Fire Chief, the applicant must submit all documentation related to the mitigation of the soil contamination to the Minnesota Pollution Control Agency’s Voluntary Brownfield Program for review and approval prior to the issuance of building permits for lots affected by the soil contamination, if any.”

Thank you.

Sincerely,

HAMMES WEST, LLC



Brian McGoldrick
Managing Member

Date Received: _____
Received By: _____
LU File #: _____



651-747-3900
3800 Laverne Avenue North
Lake Elmo, MN 55042

FINAL PLAT APPLICATION

Applicant: Hammes West L.L.C.
Address: 36 Moonlight Bay Stillwater, MN 55082
Phone #: 651-439-3636
Email Address: brian.j.mccordick@hotmail.com

Fee Owner: _____
Address: _____
Phone #: _____
Email Address: _____

Property Location (Address and Complete (long) Legal Description: _____

South 1/2 of The Northeast Quarter, Section 34
Township 29, Range 21, except the east 60 feet of The
NORTH 967 feet, and except The parcel 3 of Washington County
highway right of way 49-19B Washington County, MN.

General information of proposed subdivision: _____

In signing this application, I hereby acknowledge that I have read and fully understand the applicable provisions of the Zoning Ordinance and current administrative procedures. I further acknowledge the fee explanation as outlined in the application procedures and hereby agree to pay all statements received from the City pertaining to additional application expense.

Signature of applicant: B. J. McCordick Date: 8/29/14

Fee Owner Signature: _____ Date: _____



Lake Elmo City Hall
651-747-3900
3800 Laverne Avenue North
Lake Elmo, MN 55042

AFFIRMATION OF SUFFICIENT INTEREST

I ~~hereby affirm~~ that I am the fee title owner of the below described property or that I have written authorization from the owner to pursue the described action.

Name of applicant BRIAN MCGOLDRICK HAMMES WEST LLC
(Please Print)

Street address/legal description of subject property _____

[Signature]
Signature

8/29/14
Date

If you are not the fee owner, attach another copy of this form which has been completed by the fee owner or a copy of your authorization to pursue this action.

If a corporation is fee title holder, attach a copy of the resolution of the Board of Directors authorizing this action.

If a joint venture or partnership is the fee owner, attach a copy of agreement authorizing this action on behalf of the joint venture or partnership.

AFFIRMATION OF SUFFICIENT INTEREST

The following owners hereby affirm that they are the fee title owners of the below described property and authorize Hammes West, LLC to proceed with the final plat of the property.

Legal Description:

South ½ of the Northeast Quarter, Section 34, Township 29, Range 21, except the East 60 feet of the North 967 feet, and except Parcel 3 of Washington County Highway Right of Way Plat 49-19B, Washington County, Minnesota

Date: _____

Dorothy Lyons, by Linda Papillon,
Conservator/Guardian

Date: 9/16/14

Eleanor Hammes
Leo Hammes,
by Eleanor Hammes, Attorney in Fact

Date: 9/16/14

Eleanor Hammes
Margot Hammes
by Eleanor Hammes, Attorney in Fact

Date: 9/16/14

Edward D. Kuhlman
Estate of Earl Hammes
By Edward Kuhlman, Personal Representative

Date: 9/16/14

Eleanor Hammes
Eleanor Hammes

**FEE OWNER CONSENT
TO
DEVELOPMENT CONTRACT**

Dorothy Lyons, Leo Hammes and Margot Hammes, husband and wife, the Estate of Earl Hammes, Eleanor Hammes and Hammes West, LLC, fee owners of all or part of the subject property, the development of which is governed by the foregoing Development Contract, affirm and consent to the provisions thereof and agree to be bound by the provisions as the same may apply to that portion of the subject property owned by them.

Date: _____

Dorothy Lyons, by Linda Papillon,
Conservator/Guardian

Date: 9/16/14

Eleanor Hammes
Leo Hammes,
by Eleanor Hammes, Attorney in Fact

Date: 9/16/14

Eleanor Hammes
Margot Hammes
by Eleanor Hammes, Attorney in Fact

Date: 9/16/14

Edward R. Kuhlman
Estate of Earl Hammes
By Edward Kuhlman, Personal Representative

Date: 9/16/14

Eleanor Hammes
Eleanor Hammes



7699 Anagram Drive
Eden Prairie, MN 55344

PHONE 952-937-5150
FAX 952-937-5822
TOLL FREE 888-937-5150

www.westwoodps.com

August 28, 2014

Nick Johnson
City of Lake Elmo
3800 Laverne Avenue North
Lake Elmo, MN 55042

**Re: Hammes Property
Residential Subdivision, Lake Elmo, MN
Westwood No. 0002905.01**

Dear Mr. Johnson:

Westwood has completed revisions to the preliminary plat set and created final plans for this project. Modifications were made to the plans per your previous review comments. Attached are full-size copies for your review. For the majority of the items, Westwood has completed the revisions and included them on the appropriate sheets.

In order to facilitate your review, we have included your previous comments below, along with explanations on how these comments were addressed within the plan set;

Conditions of Approval

1. Within six months of preliminary plat approval, the applicant shall complete the following;
 - a. The applicant shall provide adequate title evidence satisfactory to the city Attorney.
This item would be sent to the city from the developer directly.
 - b. The applicant shall submit a revised Preliminary Plat and plans meeting all conditions of approval. All of the above conditions shall be met prior to the city accepting an application for Final Plat and prior to the commencement of any grading activity on the site. *Attached are the revised preliminary plat and plans.*
2. The City Engineer shall review and approve all revised Preliminary plans that are submitted to the City in advance of Final Plat to satisfy Condition #1. *Attached are the preliminary plat plans for the city engineer to review. In lieu of preliminary grading plans, we have completed final grading plans for the entire site.*
3. The Preliminary Plat approval is conditioned upon the applicant meeting all minimum City standards and design requirements. *Westwood has completed plan revisions with this in mind.*
4. All required modifications to the plans as requested by the City Engineer in a review letter dated June 16, 2014 shall be incorporated into the plans prior to consideration of the Final Plat. *See attached revised plans, and responses to the city engineer comments.*

5. Prior to acceptance of the public improvements for the Hammes Estates plat, all wetland buffers shall be delineated and identified via staking or signage that is acceptable to the city. *Comment noted.*
6. The Landscape plan shall be updated per the recommendations of the City landscape consultant in a review memo dated 5/7/14. *The attached revised preliminary landscape plan has been revised per these comments.*
7. The applicant shall be responsible for the construction of all improvements within the Keats Avenue right-of-way as required by Washington County. *Understood. We are coordinating with the county on plans for these improvements.*
8. The developer shall follow all of the rules and regulations spelled out in the Wetland Conservation Act, and shall acquire the needed permits from Valley Branch watershed district prior to commencement of any grading or development activity on the site. *Comment noted. We have received a conditional approval from the watershed earlier this month.*
9. Landscape islands shall be platted as a part of the ROW and shall be maintained by the Home Owner's Association. The applicant shall enter into a maintenance agreement with the city. *This item will require further discussion between the developer and the city. It is my understanding that a draft of the developer's agreement is being submitted. We would anticipate that this item would be included as a part of this agreement.*
10. With an eligible parkland dedication of 5.7 acres provided, the applicant is responsible to pay a fee in lieu of land dedication for the equal market value amount of 2.1 acres of land at the time of the Final Developers Agreement. The city will work with the developer to clarify any and all park fee payments at the time of the Final Developers Agreement. *Comment noted.*
11. No more than 100 units may be approved as a part of a final plat until a secondary access is provided to the subdivision via a connection to 5th Street through the Savona subdivision. *The proposed final plat has less than 100 lots as a part of the first addition. Future final plats will be prepared with this comment in mind.*
12. For trails located in any wetland buffer, the applicant must present a suitable design or material that is acceptable to the city and valley branch watershed district. *The proposed trail within a wetland buffer has been conditionally approved from the watershed as a boardwalk. We will submit these designs to the city for final approval.*
13. The applicant must enter into a separate grading agreement with the city prior to the commencement of any grading activity in advance of the final plat and plan approval. The city engineer shall review any grading plan that is submitted in advance of the final plat, and said plan shall document extent of any proposed grading on the site. *Attached is the final grading plan for the city engineer to review. Site grading has been completed onsite as a part of the reclamation work to correct for the mining activity that had taken place previously.*
14. The applicant must incorporate a play structure into the proposed park at Goose Lake per the request of the Lake Elmo Park Commission. Furthermore, the applicant must submit an updated design of the park property that meets City approval in advance of the final plat. *Per recent discussions with the city, a play structure is not currently shown on the Goose Lake park. Additional grading design has been completed within this area for review.*
15. The applicant shall work with the Planning staff to name all the streets in the subdivision prior to submission of the final plat. *Streets have now been named for the project as requested.*
16. Lots 1-6, Block 10 and Lots 1-5, and 11-12, Block 9 shall not be platted until the southern channel of Goose Lake is closed off from the lake, or the shoreland issue around the channel is

resolved in some other manner that is acceptable to the DNR. *We recently received a DNR permit for this project, so these lots are now included as a part of the final plat.*

17. The applicant shall work to relocate segments of the northern buffer trail further to the south of the Stonegate subdivision wherever feasible as long as the trail does not encroach on any required wetland buffers. *Some trail modifications have been made; we would encourage the city to review to determine if additional changes to the trail alignment are necessary.*

City Engineering Comments

Utility Plans and Easements

1. A 12" watermain stub should be extended east along street 1 to the intersection and County ROW of Keats Avenue for future extension to the east site of CSAH 19. *Comment noted. Upon review, this change did not make it into the submitted plans, but subsequent plan revisions will include this 12" watermain stub from the intersection to the county road.*
2. The 8" watermain line from the Street 8 cul-de-sac to the Street 9 cul-de-sac passes directly under infiltration basin 1 and does not maintain the state required 10-foot offset from storm sewer pipe. An alternate alignment or connection will need to be determined as a part of the final plans. *Comment noted. Preliminary plans still show this same alignment, however we will work with the city to adjust this when final plans are completed for this area.*
3. The sanitary sewer segment along the east side of lot 6, block 6 needs to move further to the east to maintain additional offset from the lot 6 property line. *We request additional direction from the city on this item; we have dedicated a 40' easement in this area, but we have sanitary line, a trail and a storm line in this location. We can shift the sewer line to the location within this easement as desired by the city,*
4. Additional plan information is needed to evaluate the impacts to the city's sewer, forcemain and lift station infrastructure by the proposed park improvements. *Please see the final grading and utility plans to further evaluate any impacts to the city's infrastructure.*
5. A few additional easements are required. *Now that some of the stormwater system has significantly changed, and the final plat has been prepared, I believe the previously discussed easement changes should be reviewed.*

Storm Sewer

1. The storm sewer or grading plans must be revised to provide the City Standard minimum pipe cover of 3.5 feet. *Comment noted. Final storm sewer design has been completed for phase 1 with this in mind.*
2. Drain tile is required as a part of the City Standard street section at all localized low points in the street. *Comment noted. The majority of the site drains to the northeast, so there are not many low points on the project. Where we do have low points, draintile was added.*

CSAH 19 (Keats Avenue) Improvements

1. Written documentation is required to demonstrate Washington County approval for the proposed access to Keats Avenue together with any county requirements. Turn lane, bypass lane and other improvements on CSAH 19 as required by Washington County must be identified and incorporated on the plans. *Comment noted. We are currently working with the county on this item. Additional plan revisions and correspondences with them will be required.*

2. Street 1 improvements must extend into the County Road R/W and connect to CSAH 19 including turning radii and drainage provisions. *Comment noted. Plans now show the road connecting to Keats Avenue.*

Wetlands and Wetland Buffers

1. VBWD requires a minimum 25-foot Buffer when buffer averaging is used. In addition, the VBWD does not allow impervious surfaces to be placed on wetlands or wetland buffers. *Comment noted. The buffers and the site have been adjusted to comply. The trail within the buffer is designed as a boardwalk.*
2. The wetland buffer for Wetland G encroaches over the proposed trail between lot 6, block 10 and lot 12, block 9. *Wetland G is now changed significantly due to the berm design at Goose Lake.*

Grading and Stormwater Management


Significant changes have been made to the plan in order to obtain a conditional approval from the watershed. I would request that the city review the final grading plan, and the updated stormwater management calculations to reevaluate the previous comments. We no longer have two infiltration basins at the entrance, so we believe that the plan has been improved from the previous design.

Since so much has changed, we wanted to get the plans into your hands so that review could start as soon as possible. We understand that there is a lot of information to digest, and that there still are additional items to finalize as listed above, but we request that the city initiate the final plat review process so we can attempt to start work on initial phase yet this fall.

Please review our attached materials, and give me a call with any questions you may have. I will follow up in the next week or so to schedule a meeting to review the attached submittal.

Sincerely,

WESTWOOD PROFESSIONAL SERVICES



Ryan Bluhm, PE

cc. Brian McGoldrick, Hammes West LLC

KNOW ALL PERSONS BY THESE PRESENTS: That Hommes West, LLC, a xxxxx limited liability xxxxx, the owner of the following described property situated in the County of Washington, State of Minnesota, to wit:

That part of the South side of the Northeast Quarter of Section 34, Township 29 North, Range 21 West, Washington County, Minnesota, EXCEPT the East 60.00 feet of the North 36.2 feet of said South Half of the Northeast Quarter Theroat, AND EXCEPT Parcel 3 of Washington County Highway Right of Way Plot 49-198, recorded September 18, 1985 as Document Number 432530.

Has caused the same to be surveyed and plotted as **HANES ESTATES** and does hereby donate and dedicate to the public for public use (review the public ways, as shown on this plot and also dedicate the easements as created by this plat for drainage and utility purposes only

in witness whereof said Monnemes West, LLC, a ~~xxxxx~~ limited liability ~~xxxxx~~, has caused these presents to be signed by its proper officers this 20 day of _____, 20 .

JAMES WEST, LLC

5y

11y

STATE OF MINNESOTA
COUNTY OF _____ day of _____, 20____ by _____
The foregoing instrument was acknowledged before me this _____ day of _____
of Hannes West, LLC, a xxx limited liability xxx, on behalf of the xxx.
His _____

Notary Public, _____ County, Minnesota
My Commission Expires _____

(Please Print)

[illegible]

Dated this _____ day of _____, 20____

Graig W. Mays, Licensed Land Surveyor
Minnesota License No. 23021

STATE OF MINNESOTA
COUNTY OF HENNEPIN

[Amount] [Name of Person]

Notary Public _____ County, Minnesota

My Commission Expires _____

CITY PLANNING COMMISSION
Approved by the Planning Commission of the City of Lake Park, Minnesota, at a regular meeting thereof, on the _____ day of _____, 20____.

By Chen _____
By Secretary _____

CITY OF LAKE ELMO, MINNESOTA City Council of the City of Lake Elmo, Minnesota this _____ day of _____, 20____, hereby certifies compliance with all requirements as set forth in Minnesota Statutes, Section 505.03, Subdivision 2.

By Mayer _____
By Clerk _____

COUNTY SURVEYOR
Pursuant to Chapter 820, Laws of Minnesota, 1977, and in accordance with Minnesota Statutes, Section 505.021 Subd. 11, this plat has been reviewed and approved this _____ day of _____, 20____.

By Washington County Superior

COUNTY AUDITOR/TREASURER
Pursuant to Minnesota Statutes, Section 505.071, Subd. 2, taxes payable in the year 20_____ on the land heretofore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer, entered this _____ day of _____, 20_____.

By Washington County Auditor/Treasurer _____
By Deputy _____

COUNTY RECORDER
Document Number _____
I hereby certify that this instrument was filed in the office of the County Recorder for record on this _____ day of _____, 20____ at _____ o'clock _____ P.M., and was duly reentered in Washington County Records.

By Washington County Recorder _____
By Deputy _____

HAMMES ESTATES

N89°55'50"E 996.79

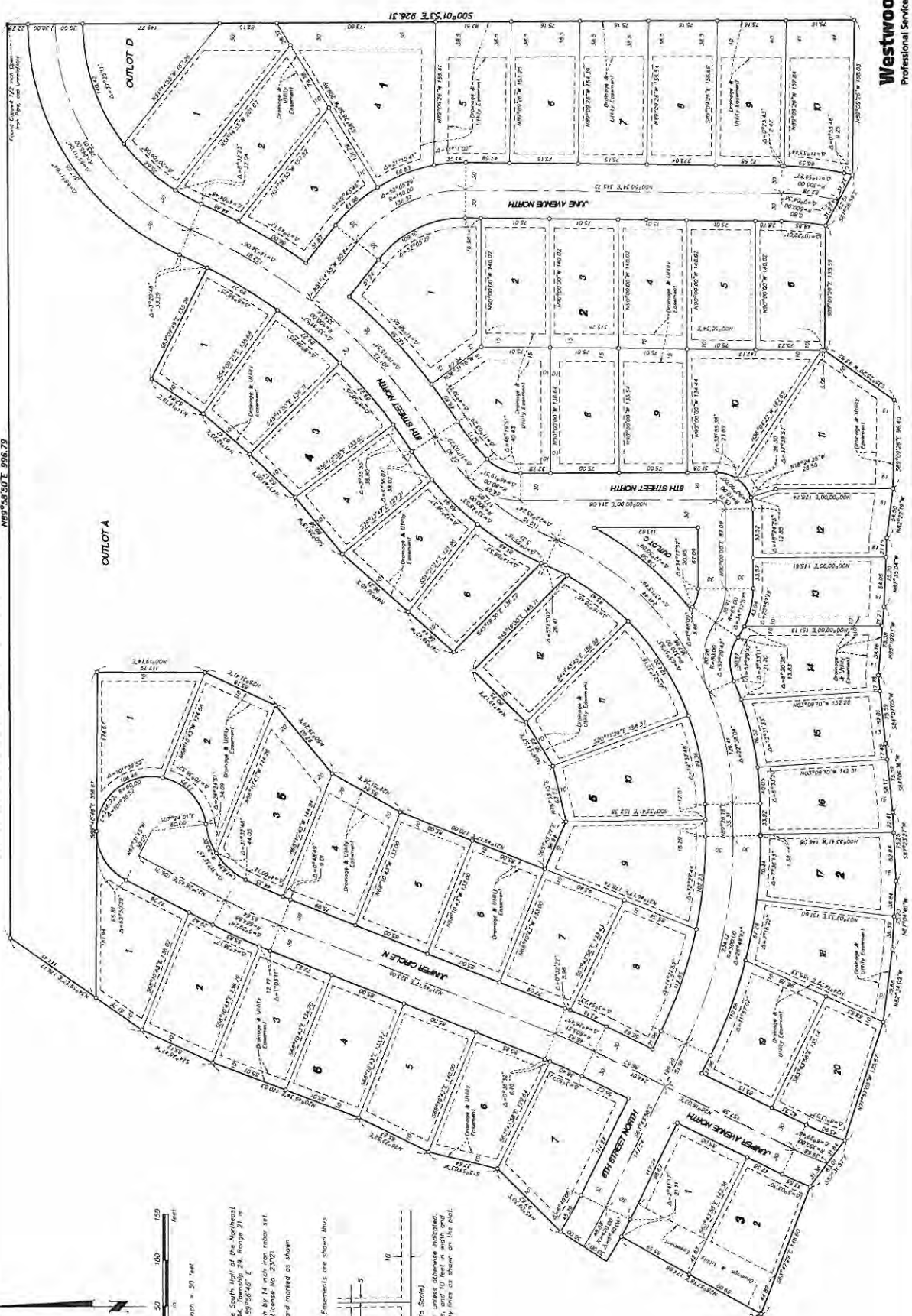


The south line of the South Half of the Northeast Quarter of Section 14, Township 21 N, Range 21 E, is shown as a dashed line. The line is shown as a dashed line. The line is shown as a dashed line.

• Dashed line found and marked as shown

Damages and Utility Elements are shown here

(No Sound)
Being 5 feet in width unless otherwise indicated, and including all lines, and 10 feet in width and including right-of-way lines as shown on the plat.



Construction Plans

for
Sanitary Sewer, Water Main, Storm Sewer
and Streets

for
Hammes Property
Lake Elmo, Minnesota

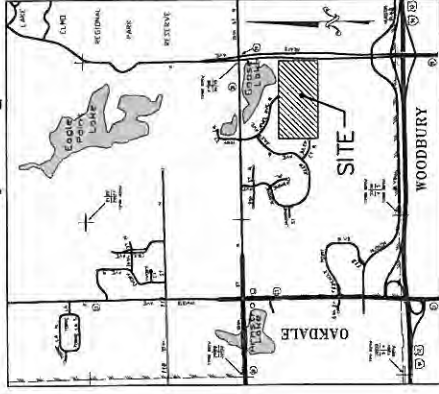
Prepared for:
Ryland Homes
7599 Anagram Drive
Eden Prairie, Minnesota 55344
Contact: Mark Sonstegard
Phone: 952-229-6000
Fax: 952-229-6024

Prepared by:

Westwood
Project number: 0002905.00
Contact: Ryan M. Blum

Westwood Professional Services, Inc.
10000 Prairie Ave. Suite 200
Eden Prairie, MN 55344
PHONE: 952-237-5150
FAX: 952-237-5151
WWW.WESTWOODPROF.COM

Vicinity Map



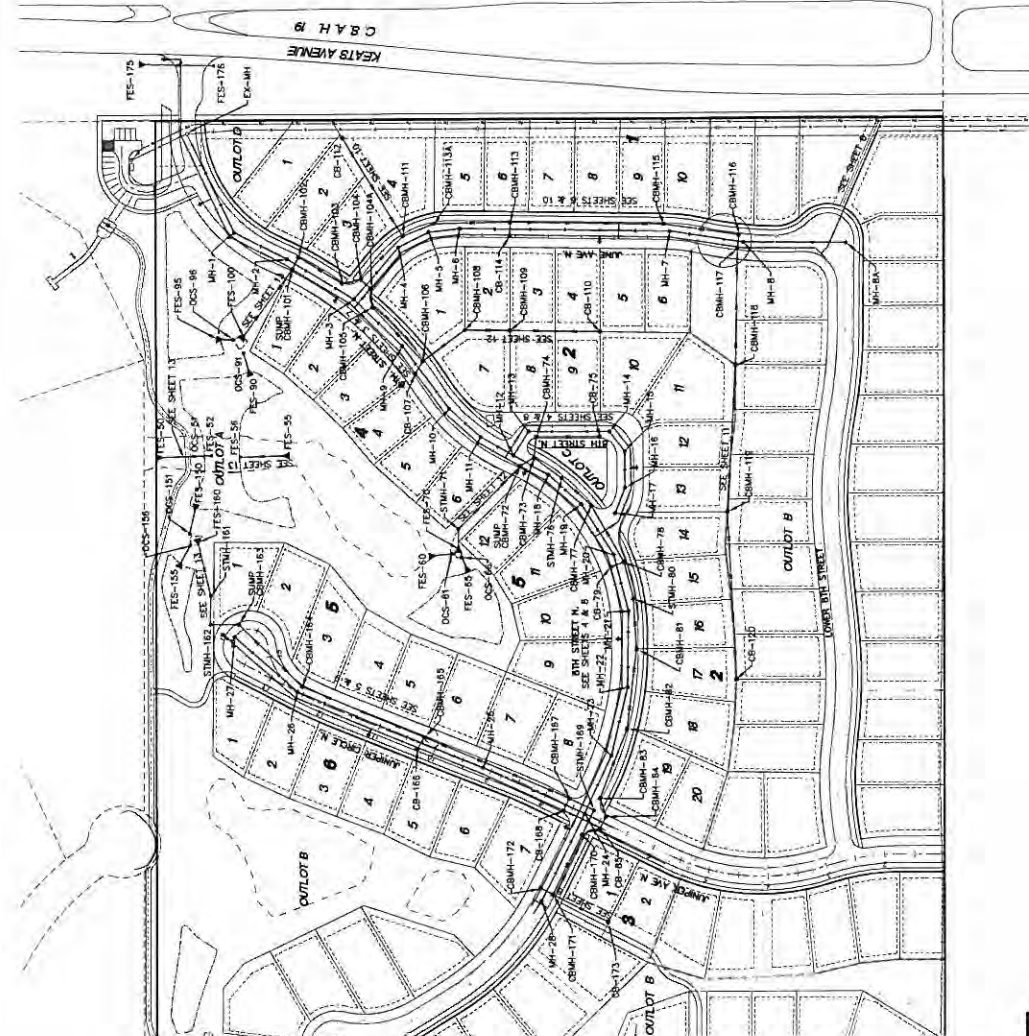
(Not to Scale)

NO.	DATE	REVISION	SHEETS
1	09/03/14	WATER MAIN REVISION	ALL

Sheet Number	Sheet Title
1	Cover
2	Overall
3	Sanitary Sewer And Water Main Construction Plan
4	Sanitary Sewer And Water Main Construction Plan
5	Sanitary Sewer And Water Main Construction Plan
6	Sanitary Sewer And Water Main Construction Plan
7	Storm Sewer And Street Construction Plan
8	Storm Sewer And Street Construction Plan
9	Storm Sewer And Street Construction Plan
10	Storm Sewer And Street Construction Plan
11	Storm Sewer And Street Construction Plan
12	Storm Sewer And Street Construction Plan
13	Storm Sewer And Street Construction Plan
14	Details
15	Details
16	Details
17	Kate Avenue Improvements Plan

Construction Plans
for
Sanitary Sewer, Water Main, Storm Sewer
and Streets
for
Hammes Property
Lake Elmo, Minnesota

Date: 08/27/14 Sheet: 1 of 17



STORM SEWER CASTING SCHEDULE			
NUMBER	TYPE	DATA	CASTING TYPE
1	CBMH	48"	SEE DETAIL
2	CBMH	48"	SEE DETAIL
3	CBMH	48"	SEE DETAIL
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5	CBMH	48"	SEE DETAIL
6	CBMH	48"	SEE DETAIL
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100	CBMH	48"	SEE DETAIL

LEGEND

- EXISTING**
- Sanitary Sewer
 - Water
 - Hyd. w/Volue
 - Storm Sewer
 - Drillhole
- PROPOSED**
- Sanitary Sewer
 - Water
 - Hyd. w/Volue
 - Storm Sewer
 - Drillhole



Latest Revision Date: 09/07/14
 Drawn: 2 OF 17

Hammes
Property
 Lake Elmo, Minnesota

Ryland Homes
 Ryan Anderson, Director
 Eden Prairie, Minnesota 55344

Prepared for:

Client	Drawn	Checked	Reviewed
RYLAND HOMES			

Project No.: 09/07/14
 Project Name: Lake Elmo, Minnesota
 Project Location: Lake Elmo, Minnesota
 Project Date: 09/07/14

Project No.: 09/07/14
 Project Name: Lake Elmo, Minnesota
 Project Location: Lake Elmo, Minnesota
 Project Date: 09/07/14

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 Project Name: Lake Elmo, Minnesota
 Project Location: Lake Elmo, Minnesota
 Project Date: 09/07/14

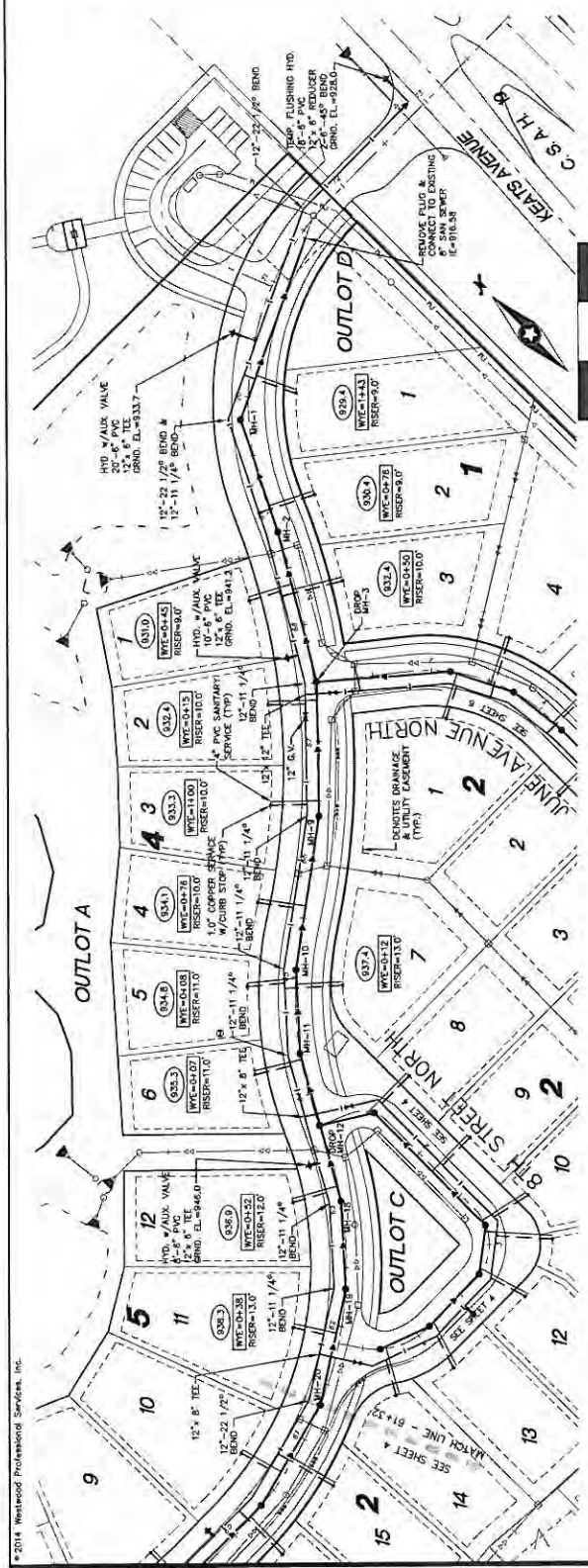
Project No.: 09/07/14
 Project Name: Lake Elmo, Minnesota
 Project Location: Lake Elmo, Minnesota
 Project Date: 09/07/14

Call 48 hours before digging
 811 or call 811.com
 Common Ground Alliance

GENERAL NOTES:

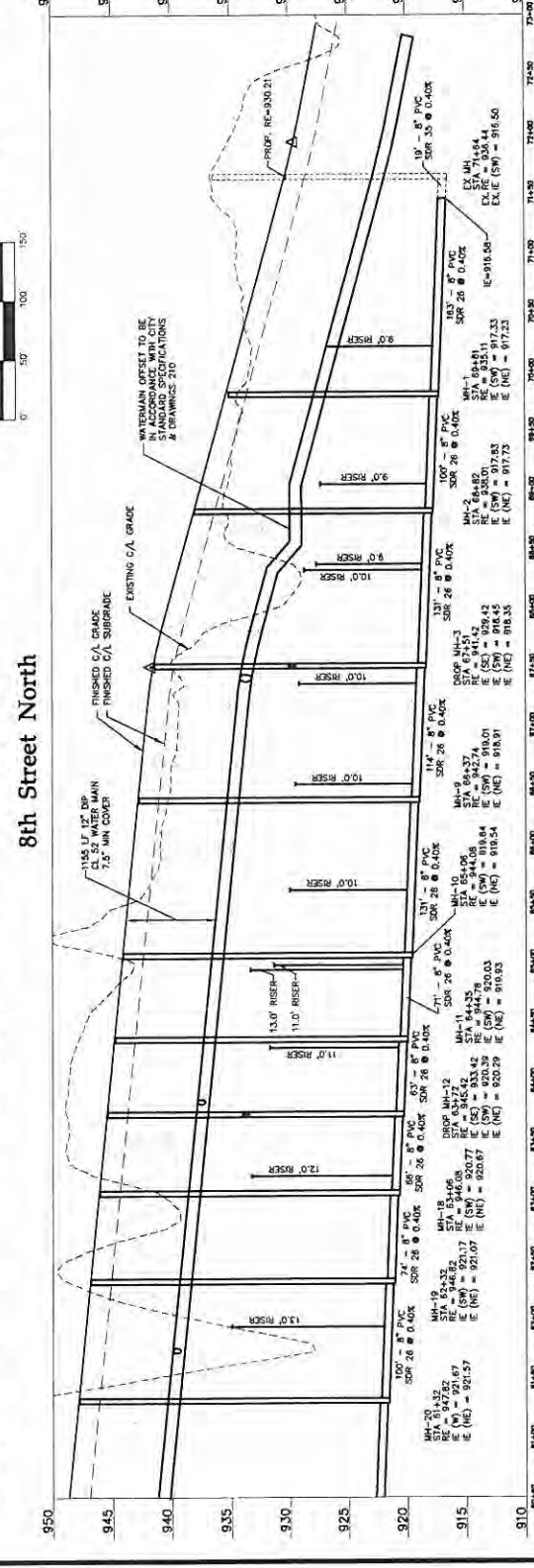


SEWER SANITARY SERVICE
 1. ALL SANITARY SEWER SERVICE SHALL BE 12" DIA. 12" DEEP
 2. ALL SANITARY SEWER SERVICE SHALL BE 12" DIA. 12" DEEP
 3. ALL SANITARY SEWER SERVICE SHALL BE 12" DIA. 12" DEEP
 4. ALL SANITARY SEWER SERVICE SHALL BE 12" DIA. 12" DEEP
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 11. ALL SANITARY SEWER SERVICE SHALL BE 12" DIA. 12" DEEP
 12. ALL SANITARY SEWER SERVICE SHALL BE 12" DIA. 12" DEEP
 13. ALL SANITARY SEWER SERVICE SHALL BE 12" DIA. 12" DEEP
 14. ALL SANITARY SEWER SERVICE SHALL BE 12" DIA. 12" DEEP
 15. ALL SANITARY SEWER SERVICE SHALL BE 12" DIA. 12" DEEP



WATER MAIN NOTES:

1. ALL WATERMAIN AND ACCESSORIES MUST BE 12" DIA. 12" DEEP
2. ALL WATERMAIN AND ACCESSORIES MUST BE 12" DIA. 12" DEEP
3. ALL WATERMAIN AND ACCESSORIES MUST BE 12" DIA. 12" DEEP
4. ALL WATERMAIN AND ACCESSORIES MUST BE 12" DIA. 12" DEEP
5. ALL WATERMAIN AND ACCESSORIES MUST BE 12" DIA. 12" DEEP
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11. ALL WATERMAIN AND ACCESSORIES MUST BE 12" DIA. 12" DEEP
12. ALL WATERMAIN AND ACCESSORIES MUST BE 12" DIA. 12" DEEP
13. ALL WATERMAIN AND ACCESSORIES MUST BE 12" DIA. 12" DEEP
14. ALL WATERMAIN AND ACCESSORIES MUST BE 12" DIA. 12" DEEP
15. ALL WATERMAIN AND ACCESSORIES MUST BE 12" DIA. 12" DEEP



Latest Revision Date 09/07/14
 08/27/14 Sheet 3 of 17

Hammes Property
 Sanitary Sewer and Water Main Construction Plan
 Lake Elmo, Minnesota

Ryland Homes
 7909 Arden Drive
 Eden Prairie, Minnesota 55344

Prepared for:

Client	CU
Contract	CU
Drawn	CU
Check	CU
Scale	AS SHOWN
North Arrow	AS SHOWN

Sanitary Sewer and Water Main Construction Plan

Sheet No.	42257
Project No.	07125714
Revision	07/14
Drawn	CU
Check	CU
Scale	AS SHOWN
North Arrow	AS SHOWN

Sanitary Sewer and Water Main Construction Plan

Sheet No.	42257
Project No.	07125714
Revision	07/14
Drawn	CU
Check	CU
Scale	AS SHOWN
North Arrow	AS SHOWN

Westwood Professional Services, Inc.
 10000 Lake Elmo Road
 Lake Elmo, Minnesota 55344
 Phone: 952-461-1111
 Fax: 952-461-1112
 Email: info@westwoodmn.com
 Website: www.westwoodmn.com

Call 48 Hours before Digging
811 or call 811.com
 Common Ground Alliance

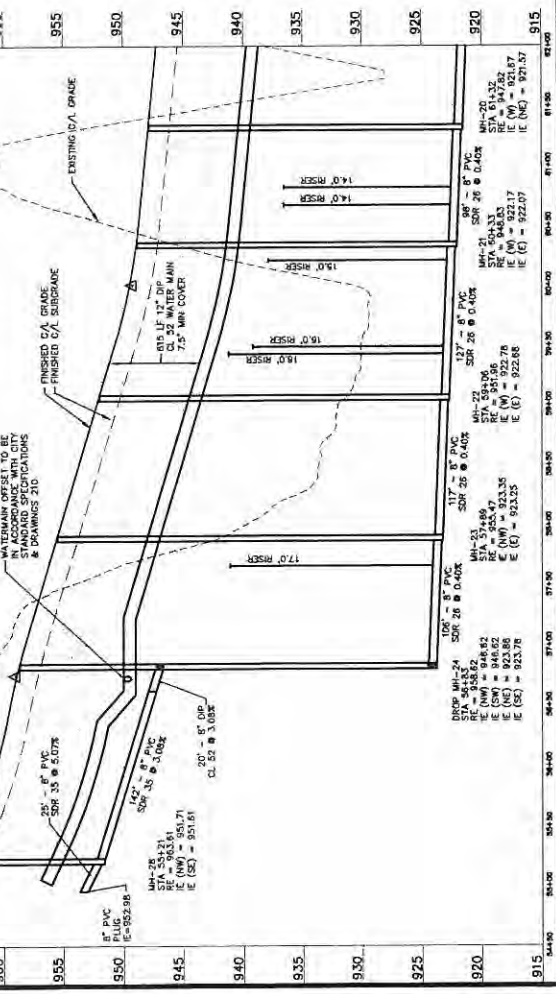
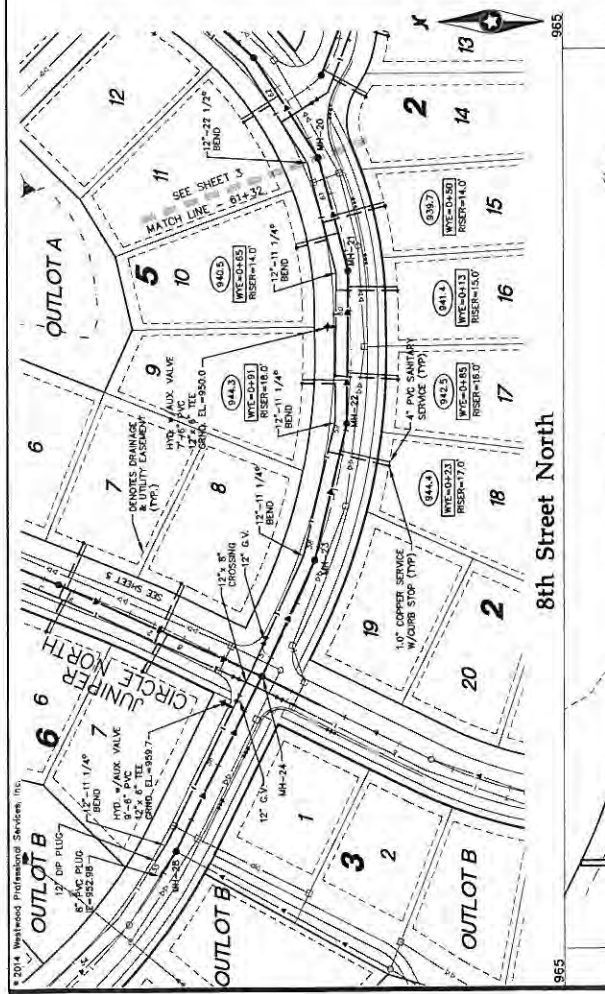
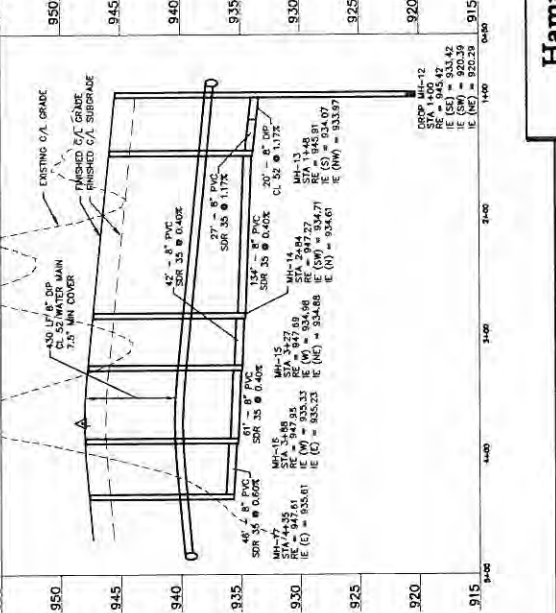
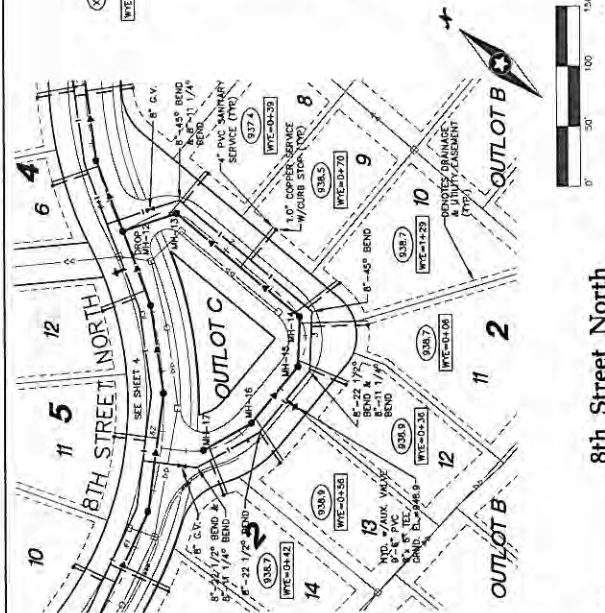
GENERAL NOTES:
 (XXX)X DENOTES SANITARY SEWER SERVICE
 INVERT @ END OF SUB.
 (XXX)X DENOTES SANITARY SEWER SERVICE W/TE
 8" DIA. 12" DEPTH
 DOWN STREAM A.U.

SANITARY SEWER NOTES:

1. ALL SANITARY SEWERS AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
2. ELEM STANDARD SPECIFICATIONS AND DETAILS SHALL BE USED FOR ALL SANITARY SEWER CONSTRUCTION.
3. MATERIAL BEDDING METHOD (FOR PVC SANITARY SEWER) SHALL BE IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
4. UNLESS NOTED OTHERWISE, ALL SMOOTH WALLED SANITARY SEWERS SHALL BE 12" DIA. 12" DEPTH.
5. ALL SANITARY SEWER SERVICE SHALL BE 12" DIA. 12" DEPTH.
6. SMOOTH WALLED PVC PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF ASTM D-3034 FOR THE SIZE AND WALL THICKNESS OF THE PIPE AND FITTINGS.
7. JOINTS OF MANHOLE RISER SECTIONS SHALL BE TORQUE TO THE REQUIREMENTS OF THE MANUFACTURER'S INSTRUCTIONS.
8. ALL SANITARY SEWER MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
9. A 12" DIA. 12" DEPTH MANHOLE SHALL BE INSTALLED AT THE END OF THE PIPE TO FINISHED GRADE ELEVATION.
10. ALL SERVICE LINE STUBS MUST HAVE A 2" X 2" WOODEN BRACE AT THE END OF THE PIPE TO FINISHED GRADE ELEVATION.
11. UPON MAKING A CONNECTION TO AN EXISTING SANITARY SEWER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SUPPORT FOR THE EXISTING SEWER BY IMMEDIATELY INSULATING WATER TIGHT PLUGS AS NEEDED IN THE EXISTING MANHOLE.

WATER MAIN NOTES:

1. ALL WATER MAINS AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
2. MANHOLE CITY PERSONNEL VALVES SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
3. WATER MAIN SHALL BE DUCTILE IRON PIPE, CLASS 52.
4. ALL FITTINGS SHALL BE DUCTILE IRON PIPE WITH POLYETHYLENE ENCASEMENT. ALL CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
5. USE GATE VALVES FOR ALL APPLICATIONS UP THROUGH 12" DIA.
6. GATE VALVES SHALL BE RESILIENT WEDGE AMERICAN TYPE, WITH 12" DIA. 12" DEPTH.
7. FLOW CONTROL SERIES 2000 OR APPROVED EQUAL, DATE 12/1/00, SHALL BE USED FOR ALL APPLICATIONS GREATER THAN 12" DIA.
8. APPROVED EQUAL BUTTERFLY VALVES SHALL COMPLY WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
9. BE STAINLESS STEEL.
10. HYDRANTS SHALL BE WATERLOO "PALMER" MODEL W-67, 12" DIA. 12" DEPTH, WITH 12" DIA. 12" DEPTH.
11. HYDRANTS SHALL HAVE TWO OUTLET NOZZLES FOR 2-1/2" DIA. 12" DEPTH.
12. HYDRANTS SHALL HAVE TWO OUTLET NOZZLES FOR 2-1/2" DIA. 12" DEPTH.
13. THE CURB STOP SERVICE ASSEMBLY SHALL HAVE A 12" DIA. 12" DEPTH.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SUPPORT FOR THE EXISTING SEWER BY IMMEDIATELY INSULATING WATER TIGHT PLUGS AS NEEDED IN THE EXISTING MANHOLE.
15. UNLESS OTHERWISE NOTED.



Latest Revision Date: 08/27/14
 08/27/14
 4 of 17

Hammes
Property
 Lake Elmo, Minnesota

Ryland Homes
 7999 Annapolis Drive
 Eden Prairie, Minnesota 55344

Prepared for:
 Ryland Homes
 7999 Annapolis Drive
 Eden Prairie, Minnesota 55344

Drawn by: [Signature]
 Checked by: [Signature]
 Date: 08/27/14

1. Owner certifies that the plan was prepared by a registered professional engineer or architect.
 2. The plan was prepared by a registered professional engineer or architect.
 3. The plan was prepared by a registered professional engineer or architect.

Professional Engineer/Architect
 License No. 41057
 Date: 08/27/14

Professional Engineer/Architect
 License No. 41057
 Date: 08/27/14

Call 48 Hours before digging:
811 or call 811.com
 Common Ground Alliance

GENERAL NOTES:
 DENOTES SANITARY SEWER SERVICE WYE
 INVERT @ END OF STUD.
 DENOTES SANITARY SEWER SERVICE WYE
 INVERT @ END OF STUD.
 DOWN STREAM M.I.L.

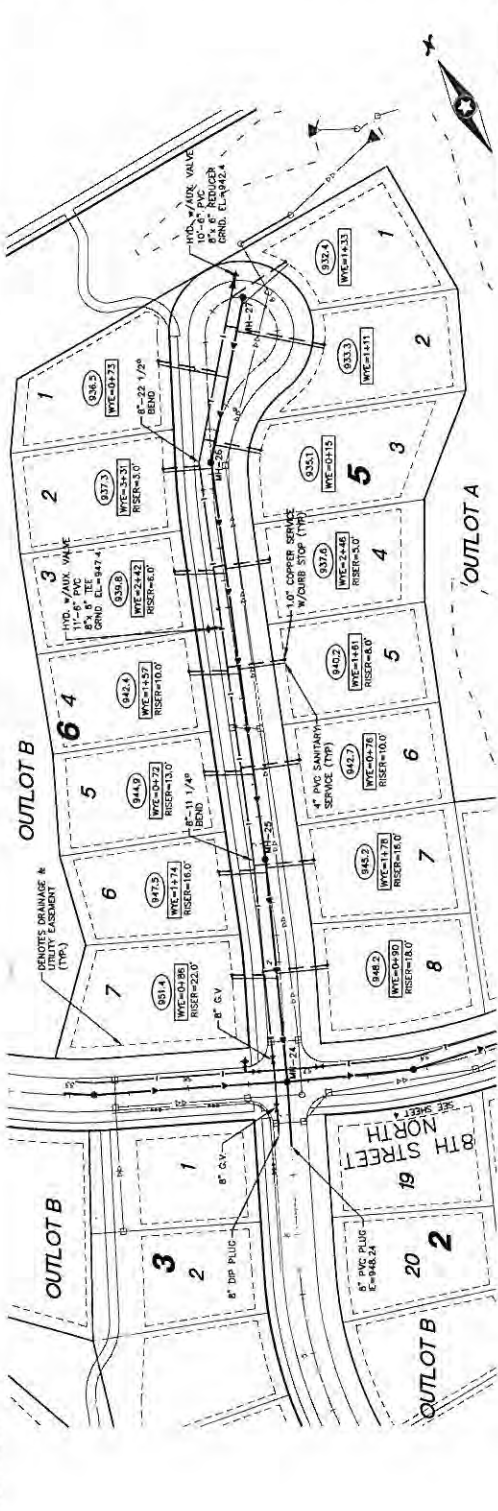
000-2
 WTE-XX-XX

SANITARY SEWER NOTES:

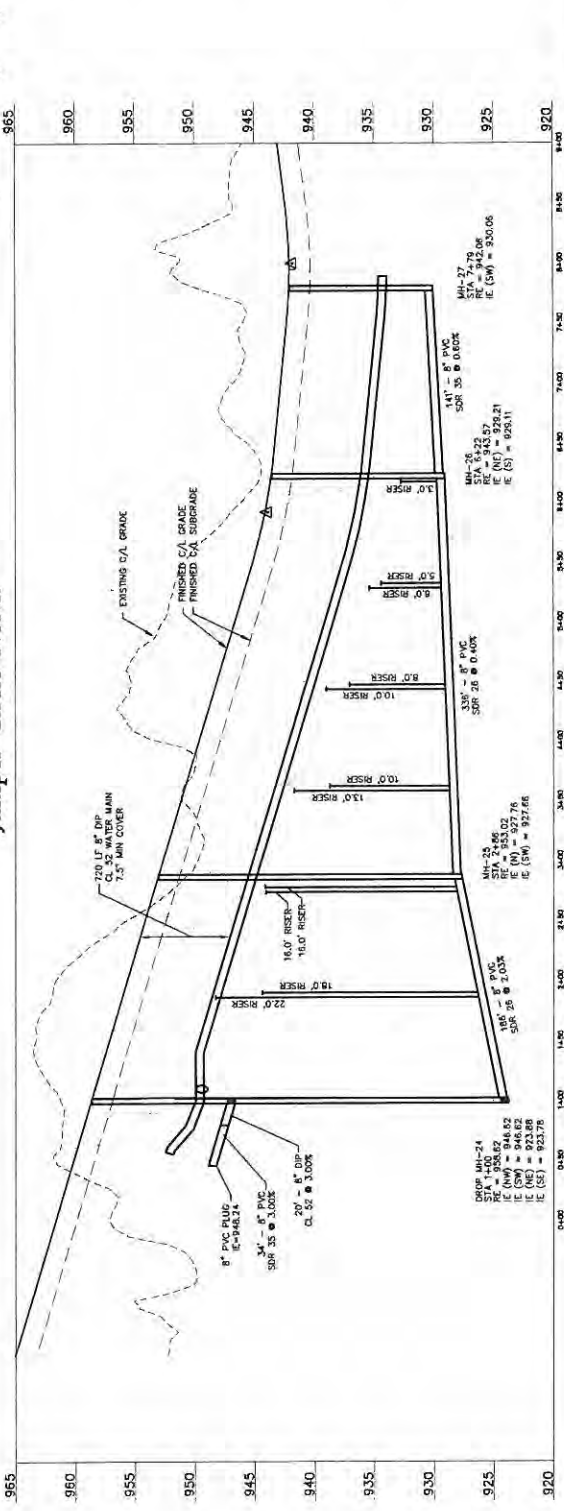
1. ALL SANITARY SEWER AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE MINNETONKA STANDARD SPECIFICATIONS AND DETAILS.
2. ALL SANITARY SEWER PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LAKE MINNETONKA MATERIAL BEDDING METHOD FOR PVC SANITARY SEWER PIPE.
3. SANITARY SEWER PVC PIPE AND FITTINGS SHALL BE SDR 35 WITH ELASTOMERIC GASKETS. MINIMUM 4" DIA. PVC.
4. SDR 40 OR SDR 26 PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF ASTM D-3034 FOR THE SIZE, STANDARD DIMENSION RATIO (SDR), AND STRENGTH.
5. ALL SANITARY SEWER SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LAKE MINNETONKA STANDARD SPECIFICATIONS AND DETAILS.
6. REINFORCED CONCRETE PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF ASTM C-1311 FOR THE SIZE, STANDARD DIMENSION RATIO (SDR), AND STRENGTH.
7. ALL SANITARY SEWER SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LAKE MINNETONKA STANDARD SPECIFICATIONS AND DETAILS.
8. SANITARY SEWER SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LAKE MINNETONKA STANDARD SPECIFICATIONS AND DETAILS.
9. ALL SANITARY SEWER SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LAKE MINNETONKA STANDARD SPECIFICATIONS AND DETAILS.
10. ALL SANITARY SEWER SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LAKE MINNETONKA STANDARD SPECIFICATIONS AND DETAILS.
11. ALL SANITARY SEWER SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LAKE MINNETONKA STANDARD SPECIFICATIONS AND DETAILS.

WATER MAIN NOTES:

1. ALL WATERMAIN AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE MINNETONKA STANDARD SPECIFICATIONS AND DETAILS.
2. MANIPULATION OF EXISTING VALVES SHALL BE PERFORMED ONLY BY CITY PERSONNEL.
3. ALL WATERMAIN SHALL BE CAST IRON PIPE, CLASS-32.
4. ALL FITTINGS SHALL CONFORM WITH CEAM SPEC. 2011.2.A.1.
5. ALL WATERMAIN SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LAKE MINNETONKA STANDARD SPECIFICATIONS AND DETAILS.
6. ALL WATERMAIN SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LAKE MINNETONKA STANDARD SPECIFICATIONS AND DETAILS.
7. ALL WATERMAIN SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LAKE MINNETONKA STANDARD SPECIFICATIONS AND DETAILS.
8. BUTTERFLY VALVES SHALL BE INSTALLED 5.0 FEET BACK OF CURB AND 1.0 FEET FROM ALL VALVES AND HYDRANTS.
9. BUTTERFLY VALVES SHALL BE INSTALLED 5.0 FEET BACK OF CURB AND 1.0 FEET FROM ALL VALVES AND HYDRANTS.
10. BUTTERFLY VALVES SHALL BE INSTALLED 5.0 FEET BACK OF CURB AND 1.0 FEET FROM ALL VALVES AND HYDRANTS.
11. BUTTERFLY VALVES SHALL BE INSTALLED 5.0 FEET BACK OF CURB AND 1.0 FEET FROM ALL VALVES AND HYDRANTS.
12. BUTTERFLY VALVES SHALL BE INSTALLED 5.0 FEET BACK OF CURB AND 1.0 FEET FROM ALL VALVES AND HYDRANTS.
13. BUTTERFLY VALVES SHALL BE INSTALLED 5.0 FEET BACK OF CURB AND 1.0 FEET FROM ALL VALVES AND HYDRANTS.
14. BUTTERFLY VALVES SHALL BE INSTALLED 5.0 FEET BACK OF CURB AND 1.0 FEET FROM ALL VALVES AND HYDRANTS.
15. ALL WATER SERVICES SHALL BE 1.0" TYPE K COPPER UNLESS OTHERWISE NOTED.



Juniper Circle North



Latest Revision Date 09/27/14
 Sheet 5 of 17

Hammes
Property
 Lake Elmo, Minnesota

Ryland Homes
 8000 Ryland Drive
 Eden Prairie, Minnesota 55444

Prepared for:

Client: Ryland Homes
 Design: Ryland Homes
 Detail: Ryland Homes

Drawn: Ryland Homes
 Check: Ryland Homes
 Approved: Ryland Homes

Scale: 1" = 10'-0"

Date: 09/27/14

Project: 14-00000000-0000

Drawn: Ryland Homes
 Check: Ryland Homes
 Approved: Ryland Homes

Project: 14-00000000-0000

Date: 09/27/14

Call 48 hours before digging
611 or call811.com
Common Ground Alliance

GENERAL NOTES:

RADIUS TO BE 8" MIN. C. & G.
WITH 10' TRANSITION FROM
STREET TO OUTLINE ELEVATION
AT INTERSECTIONS

CASTING NOTE:

ALL CATCH BASIN CASTINGS IN CURB SHALL BE
SUMPED 10' FEET AND MANHOLE CASTINGS IN
STREET SHALL BE SUMPED 12' FEET. ALL
RIM ELEVATIONS ON PLAN PROFILES REFLECT
THE SUMPED ELEVATIONS.

* CONDUIT CROSSINGS TO BE
PERPENDICULAR TO STREET & PLACED
BELOW THE STREET SURGRADE.

* DRAINAGE INVERT TO BE LOCATED
ABOVE TOP OF EFFLUENT STORM PIPE
BATCH STRUCTURE.

* ALL STORM SEWER INSTALLED SHALL
HAVE POSITIVE GRADE.

* SAW AND SEAL OF BITUMINOUS
PAVEMENT (40 FOOT INTERVALS)
STREETS WITH ASPHALT GRADE. REPAIR
IS NOT TO BE DONE ON 5TH STREET.

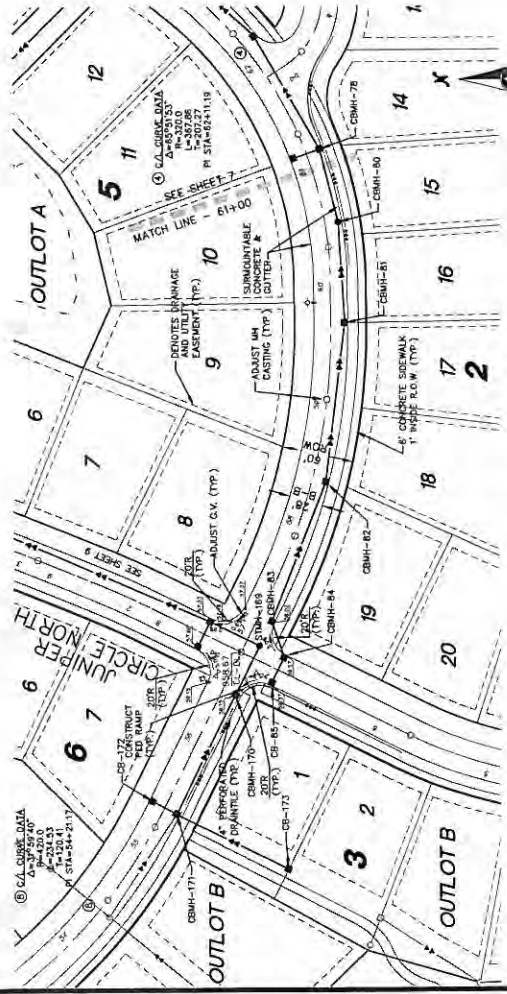
* ALL STREET COWS & SIGNS ARE TO
BE PROVIDED BY DEVELOPER AND CITY
OF LAKE ELMO DETAIL PLATE 700.00
ON THE BOTTOM. ALL SIGNS TO BE THE
SAME LENGTH AND HIGHER VOLUME
STREET SIGN TO BE PLACED ON
BOTTOM.

STORM SEWER NOTES:

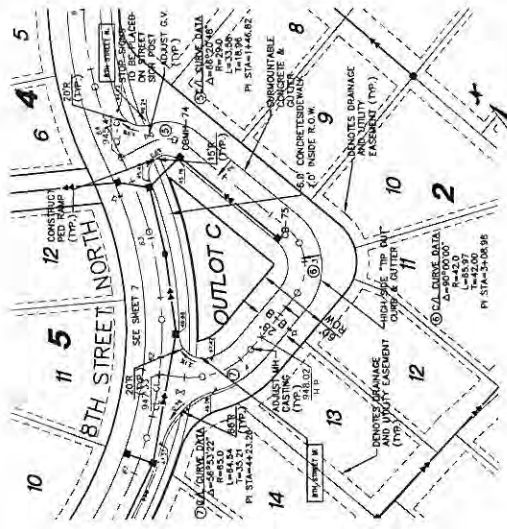
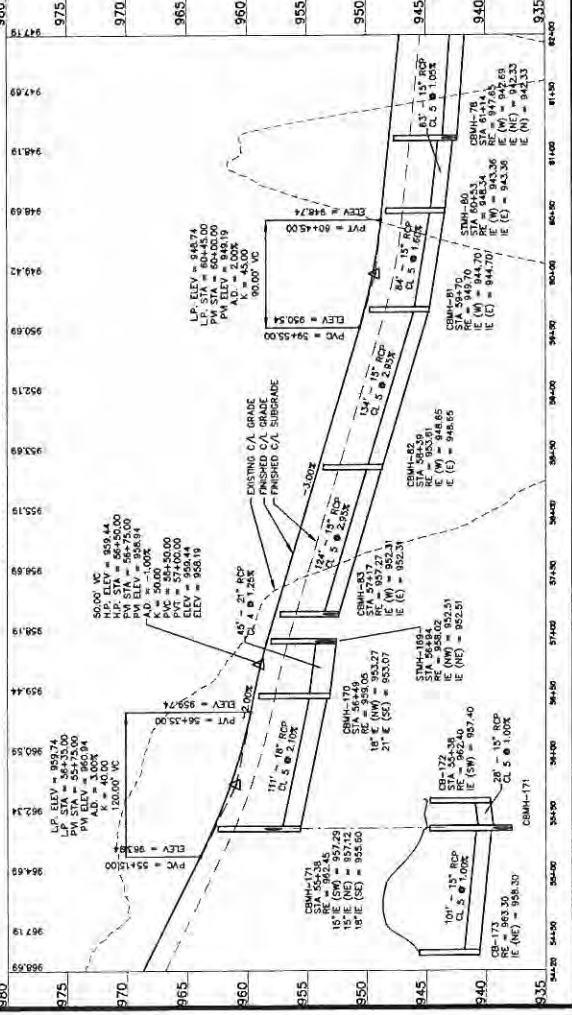
1. ALL STORM SEWERS AND ACCESSORIES MUST BE
CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE
ELMO STANDARD SPECIFICATIONS AND DETAILS.
CONFORM WITH THE REQUIREMENTS OF MANHOLE SPEC 3336
(REINFORCED CONCRETE PIPE) FOR THE TYPE, SIZE, AND
MATERIAL.
2. ALL STORM SEWERS SHALL CONFORM TO THE REQUIREMENTS OF
ASTM C-477 FOR THE TYPE, SIZE, AND MATERIAL.
3. ALL STORM SEWERS SHALL BE INSTALLED
WITH A MINIMUM COVER OF 18" FOR HIGH
TRAFFIC AREAS.
4. JOINTS OF MANHOLE RINGS SHALL BE TONGUE
& GROOVE JOINTS. ALL JOINTS SHALL BE
PROTECTED BY A JOINT PROTECTANT.
5. ALL STORM SEWER MANHOLES SHALL BE TONGUE
& GROOVE JOINTS. ALL JOINTS SHALL BE
PROTECTED BY A JOINT PROTECTANT.
6. RIP-RAP SHALL BE HAND-PLACED OVER GEOTEXTILE
OR AS SPECIFIED HEREIN. RIP-RAP SHALL
BE 18" IN SIZE AND 18" DEEP.
7. FURNISH AND INSTALL TRASH GUARDS ON ALL FLARED
JOINTS OF STORM SEWERS.
8. ALL SLL SHALL BE CLEANED OUT FROM THE RIP-RAP AT
THE END OF THE PROJECT.

SIDWALK AND TRAIL NOTES:

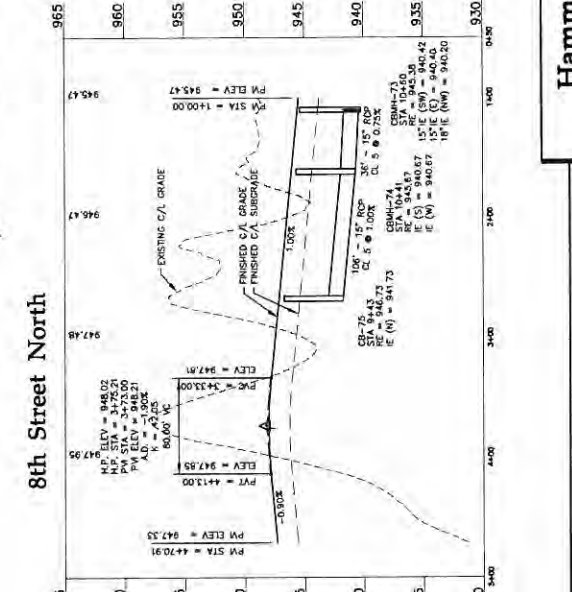
1. BITUMINOUS TRAILS AND SIDEWALKS MUST BE
CONSTRUCTED TO MAINTAIN POSITIVE DRAINAGE AWAY
FROM THE STREET AND STORM SEWERS. ALL
TOPSOIL AND FINISHING OPERATIONS MUST BE
COMPLETED TO AVOID DAMAGE TO THE BITUMINOUS
AND TOPSOIL MUST BE FLUSH WITH THE PATH EDGE TO AVOID
TRAPPING WATER.
2. ALL SIDEWALKS AND TRAILS SHALL BE CONSTRUCTION
JOINTS. SPACING SHALL NOT BE LESS THAN 3' FOR
GREATER THAN 12' IN ANY DIRECTION. SPACING 1/2
INTEVALS SHALL BE MAINTAINED AT 24' FT. MAX.
3. ALL SIDEWALKS AND TRAILS SHALL BE CONSTRUCTED
AT ALL INTERSECTIONS.



8th Street North



8th Street North



Latest Revision Date: 08/27/14
Drawn: 08/27/14
Sheet: 8 of 17

Hammes
Property

Ryland Homes
7800 Argosy Drive
Eden Prairie, Minnesota 55424

Prepared for:

Designed	Checked	Drawn
Reviewed	Approved	Sealed
License No. 41287 State of Minnesota Professional Engineer Ryan J. Peltier Date: 08/27/14		

Westwood
Engineering & Construction, Inc.
10000 Westwood Drive
Eden Prairie, MN 55424
TEL: 952.885.1234
WWW.WESTWOOD-ENG.COM

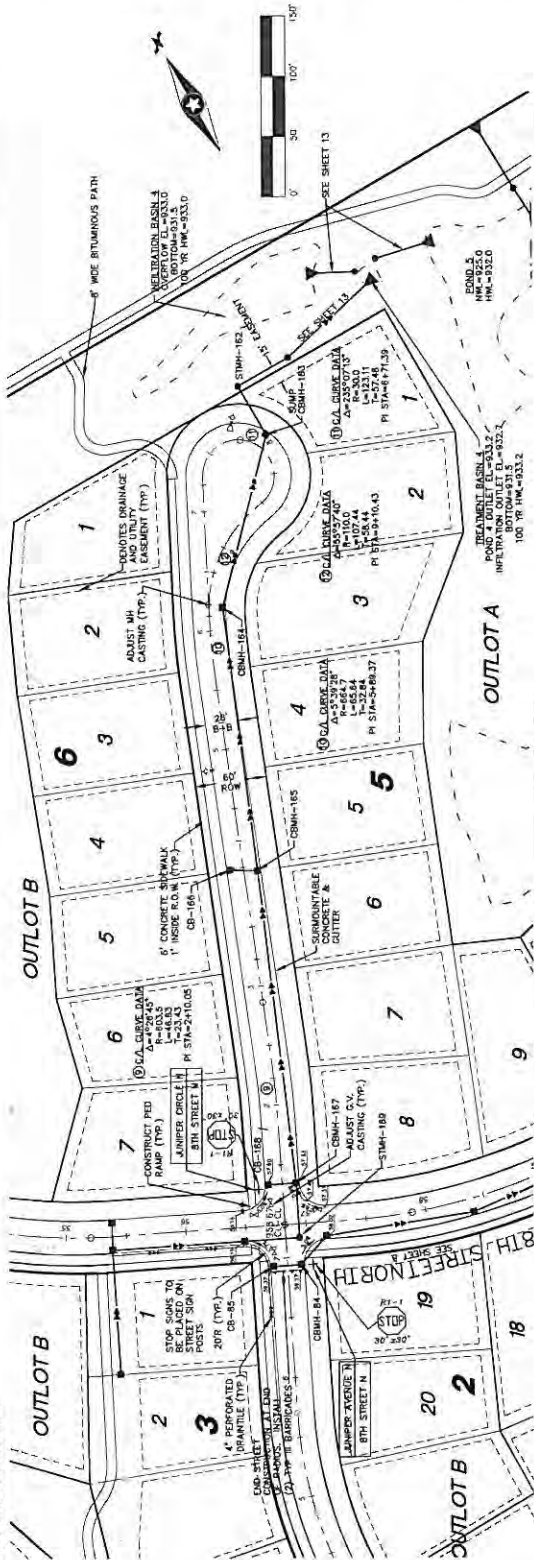
GENERAL NOTES.

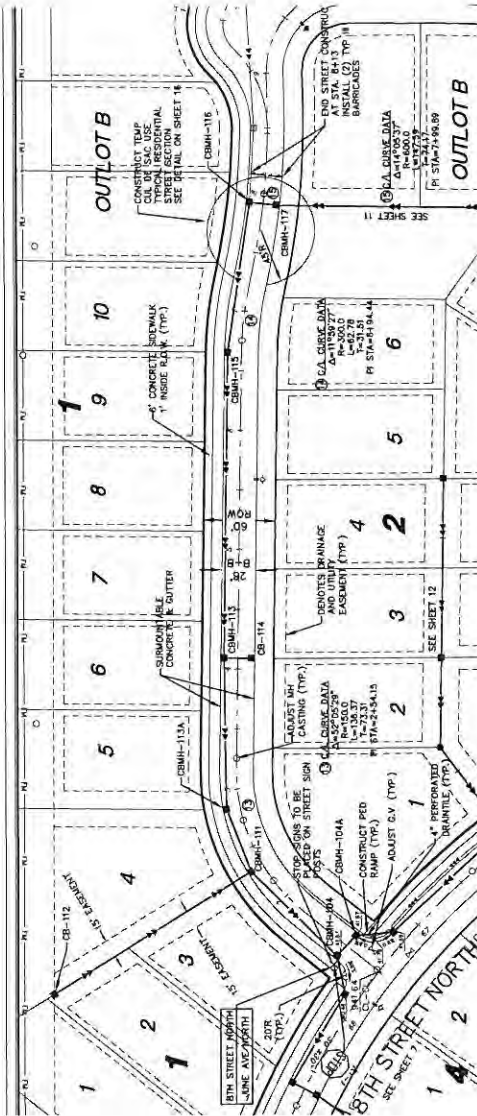
- RADIUS TO BE SHOWN C. & G.
- WITH 10' TRANSITION FROM
- TO THE OUTLINE ELEVATION
- AT INTERSECTIONS

CASTING NOTE.

ALL CATCH BASIN CASTINGS IN CURB SHALL BE SHOWN 6.0 FEET AND MANHOLE CASTINGS IN CATCH BASIN SHALL BE SHOWN 6.0 FEET. THE RIM ELEVATIONS ON PLAN PROFILES REFLECT THE SHOWN ELEVATIONS.

- * CONDUIT CROSSINGS TO BE PERPENDICULAR TO STREET & PLACED BELOW THE STREET SURFACE.
- * PRECAST INVERT TO BE LOCATED ABOVE THE INVERT OF THE STREET. THE PRECAST INVERT SHALL BE PLACED INTO THE CATCH BASIN STRUCTURE.
- * ALL STORM SEWER INSTALLED SHALL HAVE POSITIVE GRADE.
- * SAW AND SEAL OF BITUMINOUS PAVEMENT (40 TO 60 INCHES) SHALL BE PLACED OVER THE STORM SEWER. THE STREETS WITH ASPHALT DRIVE B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z, AA, AB, AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ, BA, BB, BC, BD, BE, BF, BG, BH, BI, BJ, BK, BL, BM, BN, BO, BP, BQ, BR, BS, BT, BU, BV, BW, BX, BY, BZ, CA, CB, CC, CD, CE, CF, CG, CH, CI, CJ, CK, CL, CM, CN, CO, CP, CQ, CR, CS, CT, CU, CV, CW, CX, CY, CZ, DA, DB, DC, DD, DE, DF, DG, DH, DI, DJ, DK, DL, DM, DN, DO, DP, DQ, DR, DS, DT, DU, DV, DW, DX, DY, DZ, EA, EB, EC, ED, EE, EF, EG, EH, EI, EJ, EK, EL, EM, EN, EO, EP, EQ, ER, ES, ET, EU, EV, EW, EX, EY, EZ, FA, FB, FC, FD, FE, FF, FG, FH, FI, FJ, FK, FL, FM, FN, FO, FP, FQ, FR, FS, FT, FU, FV, FW, FX, FY, FZ, GA, GB, GC, GD, GE, GF, GG, GH, GI, GJ, GK, GL, GM, GN, GO, GP, GQ, GR, GS, GT, GU, GV, GW, GX, GY, GZ, HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KK, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LL, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MM, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NN, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UU, UV, UW, UX, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VV, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WU, WV, WW, WX, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XX, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ.





June Ave North



GENERAL NOTES:

- * RADIUS TO BE 8618 C. & G.
WITH 10" TRANSITION FROM
SURMOUNTABLE CURB
DENOTES GUTTERLINE ELEVATION
AT INTERSECTIONS.

CASTING NOTE:

ALL CATCH BASIN CASTINGS IN CURB SHALL BE
SUMPED 0.10 FEET AND MANHOLE CASTINGS IN
PAVED AREAS SHALL BE SUMPED 0.05 FEET.
RIM ELEVATIONS ON PLAN PROFILES REFLECT
THE SUMPED ELEVATIONS.

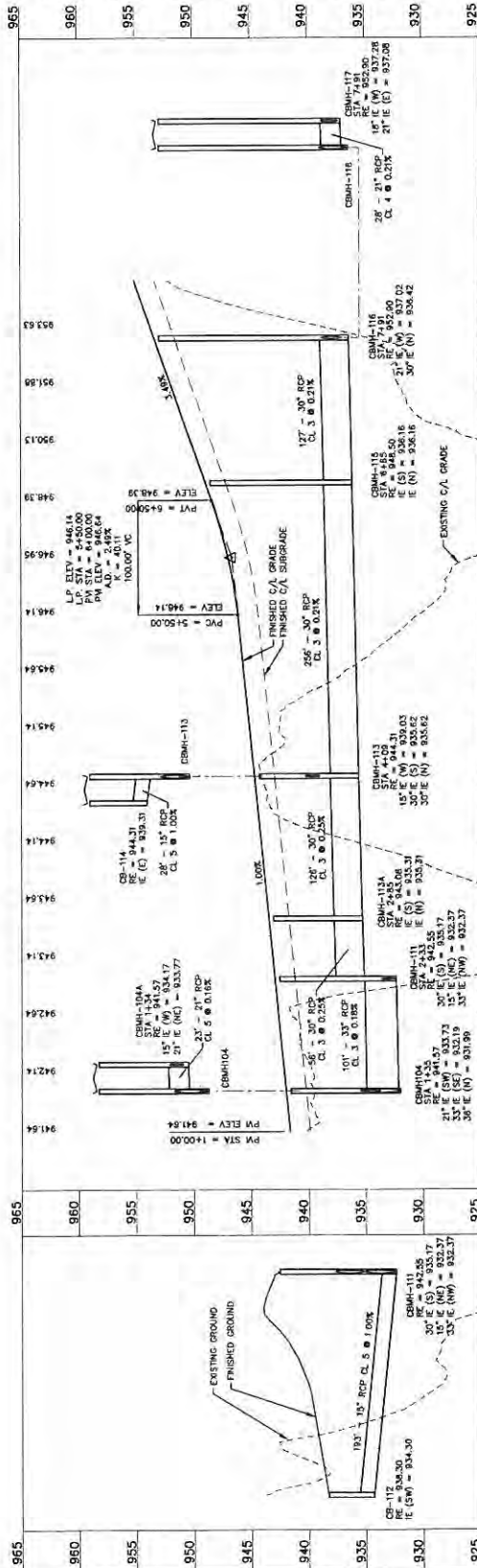
- CONDUIT CROSSINGS TO BE PERPENDICULAR TO STREET & PLACED BELOW THE STREET SUBGRADE
- GRANULITE INVERT TO BE LOCATED ABOVE TOP OF EFFLUENT STORM PIPE
- 18" DIA. STORM PIPE TO BE LOCATED IN BASIN STRUCTURE
- ALL STORM SEWER INSTALLED SHALL HAVE POSITIVE GRADE.
- SAW AND SEAL OF BITUMINOUS (S) SHALL BE REQUIRED ON ALL RESIDENTIAL STREETS WITH ASPHALT GRADE
- SEALS SHALL BE USED ON ALL STREETS THAT ARE NOT TO BE USED ON 31N STREET
- ALL STREET CURE SALT & POSTS ARE TO BE PLACED ON THE NORTH SIDE OF CITY OF LAKE ELMO DAILY TRAIL VOA
- LONGER STREET SIGN TO BE PLACED ON THE NORTH SIDE OF THE STREET
- IF STREET SIGN PLATES ARE THE SAME LENGTH, THEN HIGHER VOLUME TRAFFIC SIGN SHOULD BE PLACED ON BOTTOM

STORM SEWER NOTES:

1. ALL STORM SEWER AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND U.S. S.W. 1000. ALL ACCESSORIES SHALL BE CAST IN PLACE AND CONFORM WITH THE REQUIREMENTS OF UNDOT SPEC 3236.
2. ALL STORM SEWER SHALL BE CONSTRUCTED WITH A MINIMUM 1% SLOPE TO THE NEAREST MANHOLE OR TO THE CITY OF LAKE ELMO STORM SEWER MAINS.
3. PRECAST CONCRETE MANHOLE AND CATCH BASIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM C-477.
4. ALL 24" TO 36" MANHOLE COVERS SHALL BE INSTALLED WITH A MINIMUM 1% SLOPE TO THE NEAREST MANHOLE OR TO THE CITY OF LAKE ELMO STORM SEWER MAINS.
5. ALL STORM SEWER SHALL BE CONSTRUCTED WITH A MINIMUM 1% SLOPE TO THE NEAREST MANHOLE OR TO THE CITY OF LAKE ELMO STORM SEWER MAINS.
6. ALL STORM SEWER SHALL BE CONSTRUCTED WITH A MINIMUM 1% SLOPE TO THE NEAREST MANHOLE OR TO THE CITY OF LAKE ELMO STORM SEWER MAINS.
7. ALL STORM SEWER SHALL BE CONSTRUCTED WITH A MINIMUM 1% SLOPE TO THE NEAREST MANHOLE OR TO THE CITY OF LAKE ELMO STORM SEWER MAINS.
8. ALL STORM SEWER SHALL BE CONSTRUCTED WITH A MINIMUM 1% SLOPE TO THE NEAREST MANHOLE OR TO THE CITY OF LAKE ELMO STORM SEWER MAINS.
9. ALL STORM SEWER SHALL BE CONSTRUCTED WITH A MINIMUM 1% SLOPE TO THE NEAREST MANHOLE OR TO THE CITY OF LAKE ELMO STORM SEWER MAINS.
10. ALL STORM SEWER SHALL BE CONSTRUCTED WITH A MINIMUM 1% SLOPE TO THE NEAREST MANHOLE OR TO THE CITY OF LAKE ELMO STORM SEWER MAINS.

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- 940** **SIDEWALK AND TRAIL NOTES:**
1. BITUMINOUS TRAILS AND SIDEWALKS MUST BE CONSTRUCTED TO MAINTAIN POSITIVE DRAINAGE AWAY FROM THE TRAIL. ALL SIDEWALKS MUST BE 4' MINIMUM WIDE.
 2. TOEPOLE AND BRACING OPERATIONS MUST BE COMPLETED TO AVOID DAMAGE TO THE BITUMINOUS TRAILS AND SIDEWALKS. FINAL STOPS OF EDGEWALL TRAILS AND SIDEWALKS SHALL BE 10' AWAY FROM TRAPPING WATER.
 3. DOWNE SIDEWALK INTO SECTIONS WITH CONTRACTION JOINTS. JOINTS SHALL BE 10' MINIMUM SPACING, GREATER THAN 12' IN ANY DIMENSION. PLACE 1/2" HIGH EXPANSION JOINT FILLER AT 50 FT (MAX) INTERVALS.
 4. ALL PEDESTRIAN RAMPS MUST BE CONSTRUCTED AT ALL INTERSECTIONS.
- 935**
- 930**



Latest Revision Date: 09/03/14
00030055 TR 64, and
Date: 08/27/14 Sheet: 10 of 17

**Hammes
Property**

Lake Elmo, Minnesota

Ryland Homes

7599 Anagram Drive
Eden Prairie, Minnesota 55344

1999 Adelphi Drive
Eden Prairie, Minnesota 55344

Prepared for:

Designated	CU
Character	3048
Division	1748
Record Division by date	

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PERMANENT HOME

Page 10

41757

Wells
R. S. L.

Kyan M.

Professional Services
and Delivery
to Your Office

7

Wavelength:
700nm Au
(green light)

Probe:
FAM
TOLL.PHE

1



GENERAL NOTES:

- RADIUS TO BE 8618 C. & G.
WITH 10' TRANSITION FROM
SURMOUNTABLE CURB
DENOTES CUTTERLINE ELEVATION
AT INTERSECTIONS

CASTING NOTE:

ALL CATCH BASIN CASTINGS IN CURB SHALL BE
SUMPED 0.10 FEET AND MANHOLE CASTINGS IN
PAVED AREAS SHALL BE SUMPED 0.05 FEET.
RIM ELEVATIONS ON PLAN PROFILES REFLECT
THE SUMPED ELEVATIONS.

- CONJUGT CROSSINGS TO BE PERPENDICULAR TO STREET & PLACED BELOW THE STREET SUBGRADE.
- DRAINPILE INVERT TO BE LOCATED ABOVE TOP OF EFFLUENT STORM PIPE. DRAINPILE SHOULD NOT CATCH IN BASIN STRUCTURE.
- ALL STORM SEWER INSTALLED SHALL HAVE POSITIVE GRADE.
- SAW AND SEAL OF BITUMINOUS (ASPHALT) SHALL BE REQUIRED ON ALL RESIDENTIAL STREETS WITH ASPHALT GRADE B.
- SEE DETAIL SHEET FOR SAW AND SEAL. IT IS NOT TO BE USED ON 6TH STREET.
- ALL STREET SIGNS & POSTS ARE TO HAVE 12" MIN. CLEARANCE TO CITY OF LAKE IDAHO DETAIL 706.
- LONGER STREET SIGN TO BE PLACED ON THE SIDE OF THE STREET.
- IF STREET SIGN PLATES ARE THE SAME LENGTH, THEN HIGHER VOLUME STREET SIGN TO BE PLACED ON



STORM SEWER NOTES:

1. ALL STORM SEWER AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE CHARLES SPECIFICATIONS AND THE CITY OF LAKE CHARLES STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. ALL STORM SEWER SHALL BE REINFORCED CONCRETE PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF MDOT SPEC 3326 FOR ALL STORM SEWER. ALL STORM SEWER SHALL BE 15" TO 36" IN DIAMETER, 12' MAXIMUM SPAN, AND SHALL BE STRENGTH CLASS SPECIFIED HEREIN.
2. PRECAST CONCRETE MANHOLE AND DATCH BASIN SHALL BE 15" TO 36" IN DIAMETER AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-479.
3. ALL STORM SEWER SHALL BE INSTALLED IN THE EXISTING ROAD SECTION TO ALLOW FOR HEIGHT ADJUSTMENT WHENEVER POSSIBLE. STORM SEWER SHALL BE TONGUE AND GROOVE WITH RUBBER JOINTS. JOINTS SHALL BE TONGUE AND GROOVE WITH RUBBER JOINT JOINTS PROVIDED ON ALL STORM SEWER MANHOLES.
4. ALL STORM SEWER MANHOLES SHALL BE CONSTRUCTED OF PRECAST CONCRETE OVER COOTEVILLE FABRIC AND CONFORM TO MDOT SPEC 3301, CLASS II.
5. THE COOTEVILLE FABRIC USED UNDER RIMP-BAP SHALL EXTEND 3' UNDER THE ASPHALT.
6. EXTENDED 3' INSTALL TRASH GUARDS ON ALL FLARED END SECTIONS.
7. ALL RIMP SHALL BE CLEANED OUT FROM THE RIMP-AT

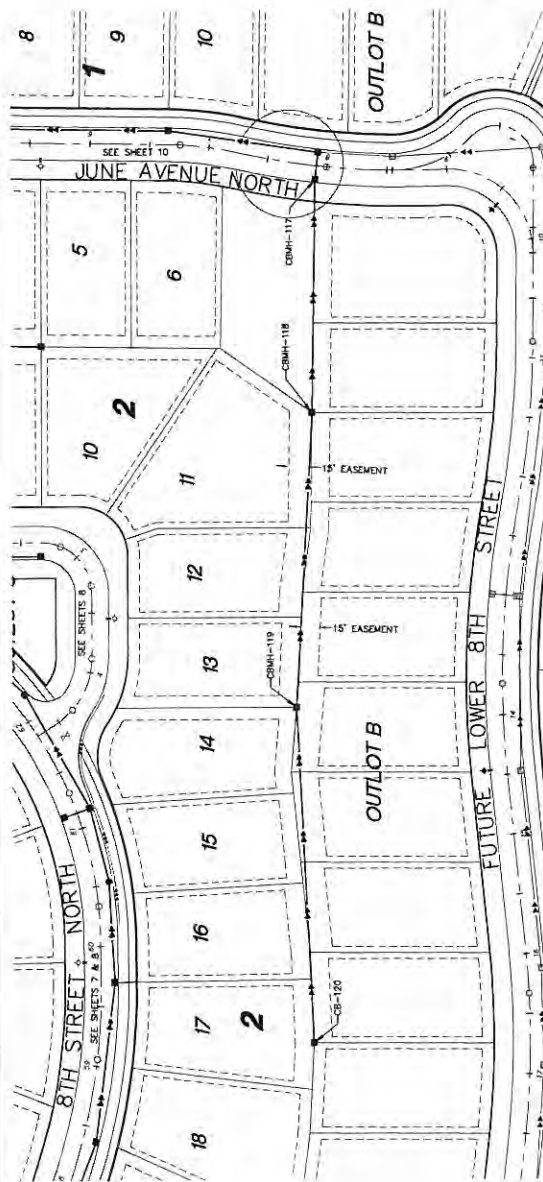
SIDEWALK AND TRAIL NOTES:

1. BITUMINOUS TRAILS AND SIDEWALKS MUST BE CONSTRUCTED TO ALLOW WATER TO DRAIN AWAY FROM THE PATHWAYS THROUGHOUT THE ENTIRE LENGTH.
2. TOPSOIL AND BACKFILL OPERATIONS MUST BE COMPLETED TO AVOID DAMAGE TO THE BITUMINOUS AND CONCRETE DECK SURFACES. TOPSOIL MUST BE FLUSH WITH THE PATH EDGE TO AVOID TRAPPING WATER.
3. DANCE SIDEWALKS INTO SECTIONS WITH CONTRACTION JOINTS TO BE PLACED AT 12 FT. MAXIMUM SPACING OR GREATER THAN 12 FT. IN ANY DIMENSION. PLACE 1/2" HIGH EXPANSION JOINT FILLER AT 50 FT. (MAX).
4. CONCRETE PEDESTRIAN RAMPS MUST BE CONSTRUCTED IN SECTIONS.

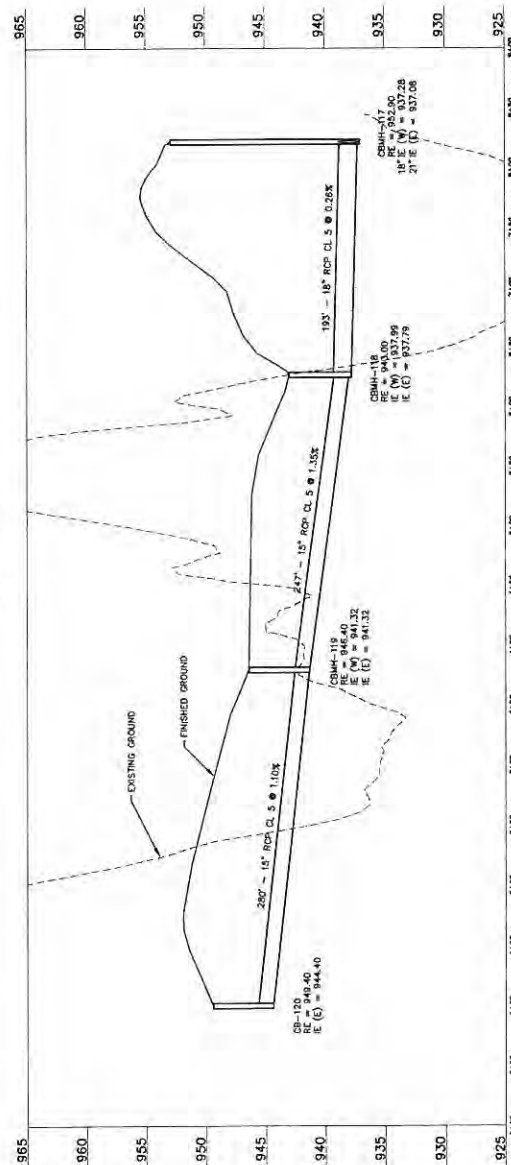
Latest Revision Date: 09/03/14
00029059728 04

**Hammes
Property**

Take Film Minnesota



Backyard



Ryland Homes

7599 Anagram Drive
Eden Prairie, Minnesota 55344

Prepared for:

Designated	CL
Chartered	EMO
Director	DMR

Board Director Profiles

3

THE

Mathematical Professional Services, Inc.



References

GENERAL NOTES:

- 1. RAINING TO BE 80% C & G.
- 2. SURROUNDING CURB WITH 10" TRANSITION FROM 10" TO 12" AT INTERSECTIONS.

CASTING NOTE:

- 1. ALL CATCH BASIN CASTINGS IN CURB SHALL BE SUMPED 0.10 FEET AND MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. THE SUMPED PROFILES REFLECT THE SUMPED ELEVATIONS.

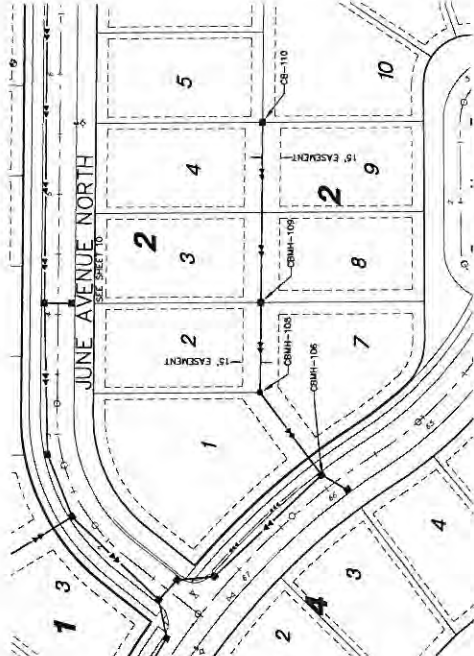
- CONDUIT CROSSING TO BE PLACED BELOW THE STREET SURFACING.
- DRAINAGE INVERT TO BE LOCATED ABOVE TOP OF EFFLUENT STORM PIPE AND DOWNSTREAM INTO CATCH BASIN STRUCTURE.
- ALL STORM SEWER INSTALLED SHALL HAVE POSITIVE GRADE.
- SAW AND SEAL OF BITUMINOUS PAVEMENT (40 FOOT INTERVALS).
- ALL STREETS WITH ASPHALT GRADE B, STREETS WITH ASPHALT GRADE B, IS NOT TO BE USED ON 3RD STREET.
- ALL STREETS WITH ASPHALT GRADE B, IS NOT TO BE USED ON 3RD STREET.
- IF STREET SIGN PLATES ARE THE SAME STREET SIGN TO BE PLACED ON BOTTOM.

STORM SEWER NOTES:

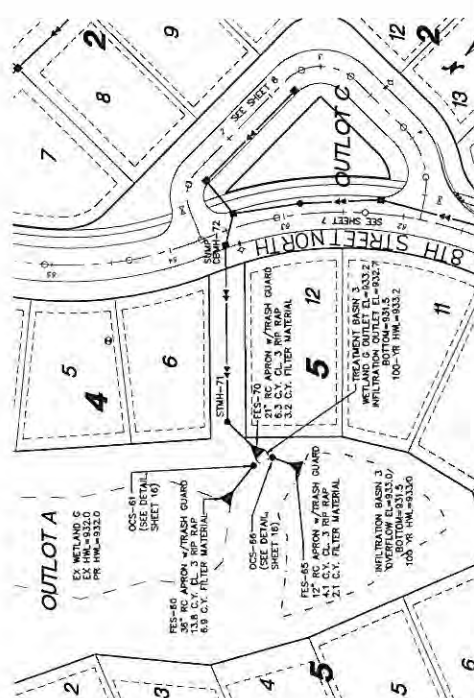
1. ALL STORM SEWER AND ACCESSORIES MUST BE LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
2. MANHOLE RINGS SHALL BE 15" RCP CL. 5 @ 0.33%.
3. SECTIONS SHALL CONFORM TO THE REQUIREMENTS OF PRECAST CONCRETE MANHOLE AND CATCH BASIN.
4. A 1'-0" TO 1'-4" MANHOLE SECTION SHALL BE INSTALLED UNDER THE CORNER SECTION TO ALLOW FOR HEIGHT.
5. JOINTS OF MANHOLE RINGS SHALL BE TONGUE AND GROOVE WITH RUBBER GASKETS.
6. RCP SHALL BE HAND-PLACED OVER GEOTEXTILE OR AS SPECIFIED HEREIN. MANHOLE SPEC. 300, CLASS II.
7. THE GEOTEXTILE FABRIC USED UNDER RCP SHALL BE FURNISHED AND INSTALLED TRASH GUARDS ON ALL FLARED AND SPANNING JOINTS SHALL BE LESS THAN 3 FT NOR GREATER THAN 12 FT IN ANY DIMENSION, PLACE 1/2 INCHES FROM JOINT FILLER AT 50 FT (MAX) INTERVALS.
8. CONCRETE RIDESTRAIN RAMP MUST BE CONSTRUCTED AT ALL INTERSECTIONS.

SEWALK AND TRAIL NOTES:

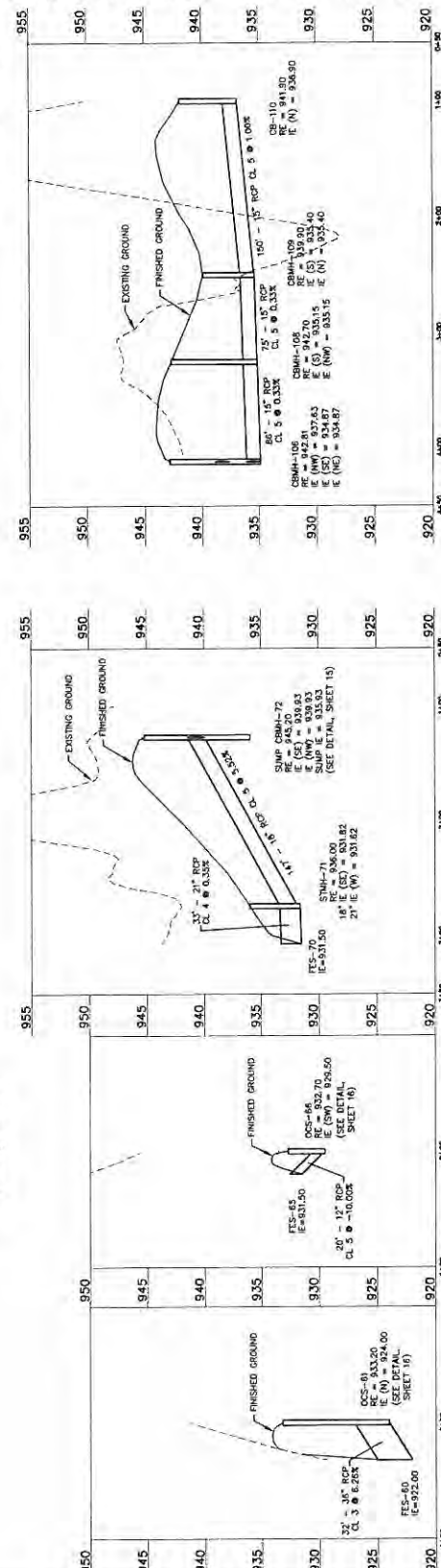
1. BITUMINOUS TRAIL AND SIDEWALKS MUST BE CONSTRUCTED TO MAINTAIN POSITIVE DRAINAGE AWAY FROM THE PATHWAYS THROUGHOUT THE ENTIRE LENGTH OF THE PROJECT.
2. COMPLETED TO AVOID DAMAGE TO THE BITUMINOUS TRAIL AND SIDEWALKS. THE TRAIL AND SIDEWALKS MUST BE FLUSH WITH THE PATH DOG TO AVOID TRAPPING WATER.
3. TRAPPING WATER UNDER GEOTEXTILES WITH CONTRACTION JOINTS, SPANNING SHALL NOT BE LESS THAN 3 FT NOR GREATER THAN 12 FT IN ANY DIMENSION, PLACE 1/2 INCHES FROM JOINT FILLER AT 50 FT (MAX) INTERVALS.
4. CONCRETE RIDESTRAIN RAMP MUST BE CONSTRUCTED AT ALL INTERSECTIONS.



Backyards



Backyards



Latest Revision Date 09/07/14
 Date 08/27/14 Sheet 12 of 17

Hammes Property
 Lake Elmo, Minnesota

Ryland Homes
 7599 Arapahoe Drive
 Eden Prairie, Minnesota 55344

Prepared for:

Client: Ryland Homes
 Project: Hammes Property
 Design: Ryland Homes

Project: Hammes Property
 Design: Ryland Homes

Project: Hammes Property
 Design: Ryland Homes

Project: Hammes Property
 Design: Ryland Homes

Project: Hammes Property
 Design: Ryland Homes

GENERAL NOTES:

- RADIUS TO BE 811 C. & G.
- WITH 10' TRANSITION FROM
- EXISTING TO PROPOSED
- DO NOT EXCEED ELEVATION
- AT INTERSECTIONS

CASTING NOTE:

ALL CATCH BASIN CASTINGS IN CURB SHALL BE
 SAMPED 0.00 FEET AND MANHOLE CASTINGS IN
 STREET SHALL BE SAMPED 0.00 FEET. ALL ELEVATIONS ON PLAN PROFILES REFLECT
 THE SAMPED ELEVATIONS.

- * CONCRETE PROFILES TO BE
 PERPENDICULAR TO STREET & PLACED
 BELOW THE STREET SURFACE.
- * MANHOLE INVERT TO BE LOCATED
 ABOVE TOP OF EFFLUENT STORMPIPE
 BASED ON THE CATCH
 BASIN STRUCTURE.
- * ALL STORM SEWER INSTALLED SHALL
 HAVE POSITIVE GRADE.
- * SAW AND SEAL OF BITUMINOUS
 PAVEMENT (40 FOOT INTERVALS)
 STREETS WITH ASPHALT GRADE. SEAL
 IS NOT TO BE USED ON 5TH STREET.
- * ALL STREET DOWNS & POLES ARE TO
 BE PROVIDED BY DEVELOPER PER CITY
 OF LAKE ELMO DETAIL. ALL TO BE PLACED
 ON THE BOTTOM. THE 5TH STREET
 STREET SIGN TO BE PLACED ON
 BOTTOM.

SIGNAL SEWER NOTES:

- ALL STORM SEWER AND ACCESSORIES MUST BE
 CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE
 ELMO STANDARD SPECIFICATIONS AND DETAILS.
- ALL STORM SEWER SHALL BE 12" DIA. (MINIMUM) AND SHALL
 CONFORM WITH THE REQUIREMENTS OF MANDATORY SPEC 3238
 (REINFORCED CONCRETE PIPE) FOR THE TYPE, SIZE, AND
 LENGTH. ALL STORM SEWER SHALL BE 12" DIA. (MINIMUM) AND
 PRECAST CONCRETE MANHOLE AND CATCH BASIN
 SHALL CONFORM TO THE REQUIREMENTS OF
 ASTM C-477.
- A 1'-0" TO 1'-4" MANHOLE SECTION SHALL BE INSTALLED
 ADJACENT TO THE STREET FOR HEIGHT
 ADJUSTMENT WHENEVER POSSIBLE.
- JOINTS OF MANHOLE RISES SHALL BE TONGUED
 AND GASKETED. ALL JOINTS PROPOSED ON
 ALL STORM SEWER MANHOLES & CATCH BASINS
 SHALL BE HAND-PLACED OVER GASKETED
 JOINTS. ALL STORM SEWER SHALL BE 12" DIA. (MINIMUM) AND
 SHALL BE 12" DIA. (MINIMUM) UNDER 80-RAP SHALL
 EXTEND 3' FT UNDER THE ASPON.
- FINISH AND INSTALL TRASH GUARDS ON ALL FLARED
 JOINTS. ALL TRASH GUARDS SHALL BE CLEANED OUT FROM THE 80-RAP AT
 THE END OF THE PROJECT.

SEWALL AND TRAIL NOTES:

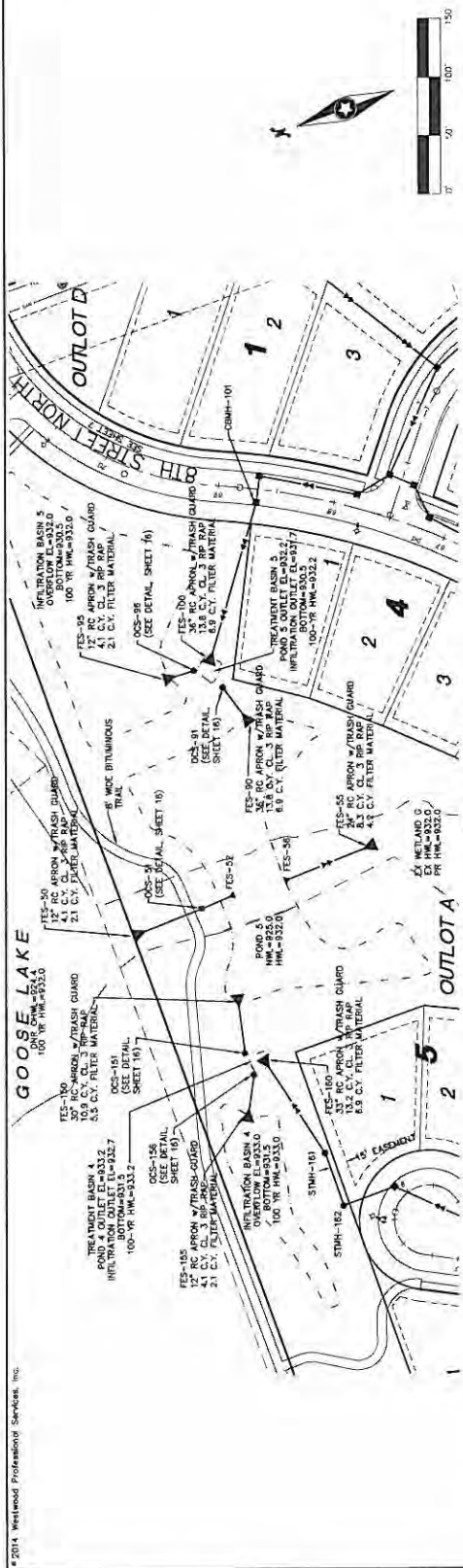
- BITUMINOUS TRAIL AND SEWALLS MUST BE
 CONSTRUCTED TO MAINTAIN POSITIVE DRAINAGE AWAY
 FROM THE STORM SEWER SYSTEM.
- TOPSOIL AND BACKFILLING OPERATIONS MUST BE
 COMPLETED TO AVOID DAMAGE TO THE BITUMINOUS
 TRAIL. TOPSOIL MUST BE FLUSH WITH THE PAVEMENT TO AVOID
 TRAPPING WATER.
- TRAPPING WATER TO SECTION WITH CONSTRUCTION
 JOINTS. SPACING SHALL NOT BE LESS THAN 3' FT NOR
 GREATER THAN 12' FT. ALL JOINTS SHALL BE 1/2
 INTERVALS. MANHOLE RISES SHALL BE 40 FT MAX
 AT ALL INTERSECTIONS.

Latest Revision Date: 08/07/14
 Date: 08/27/14
 Sheet: 13 of 17

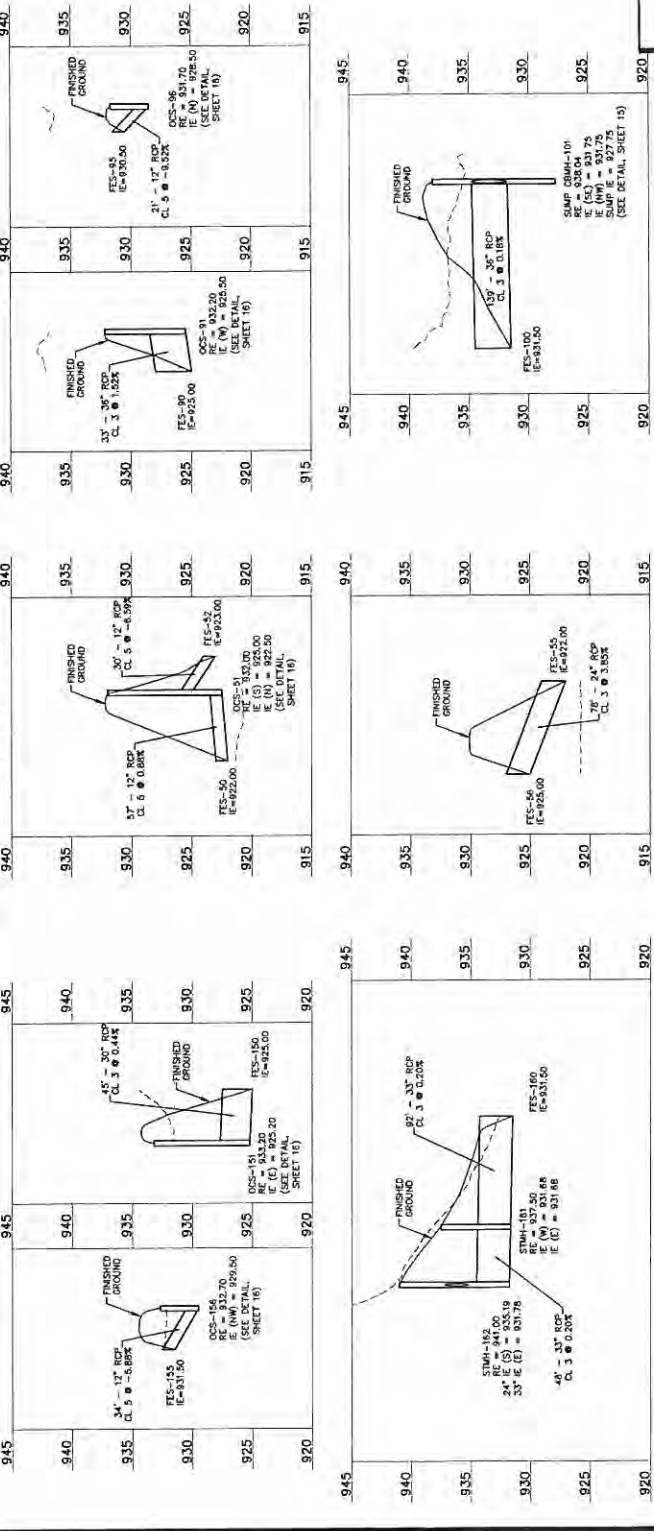
Hammes
Property
 Lake Elmo, Minnesota

Storm Sewer and
Street Construction
Plan

Ryland Homes
 7999 Arapahoe Drive
 Eden Prairie, Minnesota 55344



Backyards

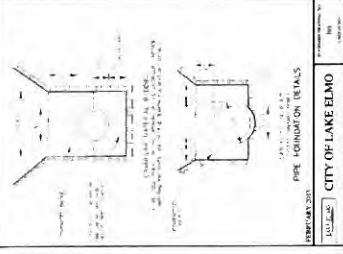
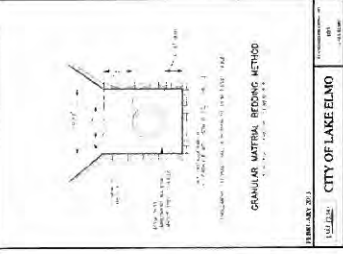
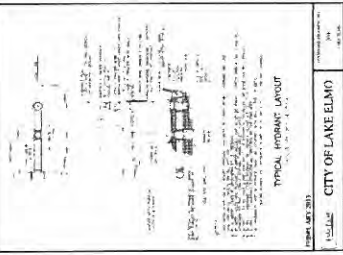

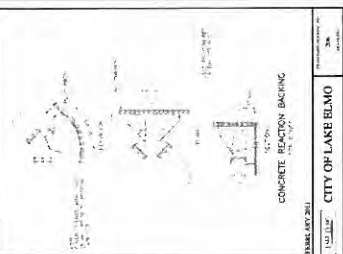
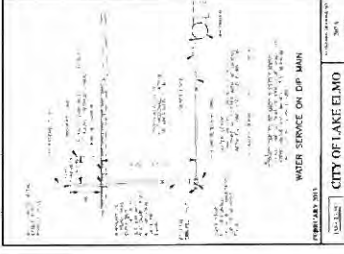
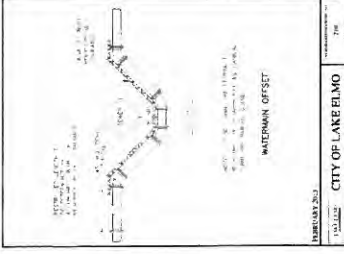
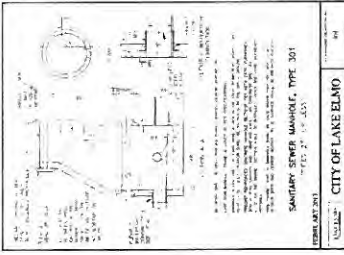
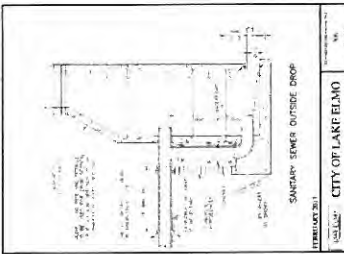
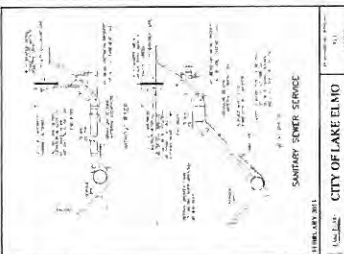
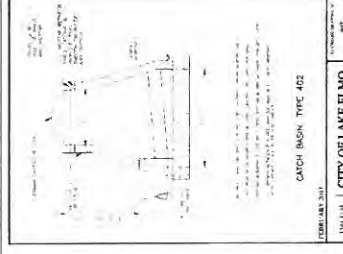
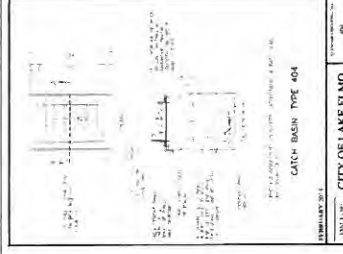
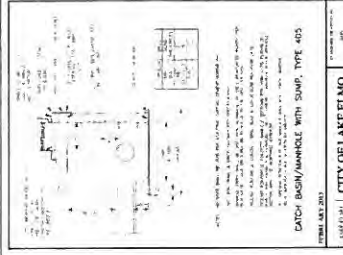
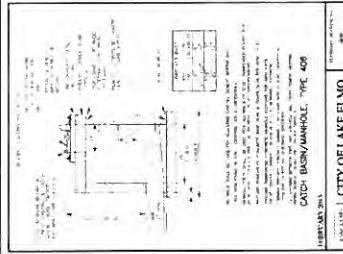
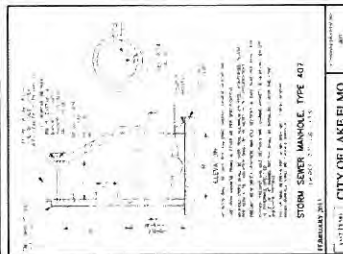


Prepared for:

Prepared by:	Checked:	Drawn:	Reviewed:
John J. Ryland	John J. Ryland	John J. Ryland	John J. Ryland
Date: 08/07/14	Scale: 1" = 40'	Sheet: 13 of 17	Project: 41257

Westwood Professional Services, Inc.
 10000 Lake Elmo Road
 Eden Prairie, MN 55344
 Tel: 952-937-1000
 Fax: 952-937-1001
 Email: info@westwoodmn.com
 Website: www.westwoodmn.com



 <p>PIPE FOUNDATION DETAILS</p> <p>DATE: MAY 2013</p> <p>CITY OF LAKE ELMO</p>	 <p>CONCRETE REACTION BACING</p> <p>DATE: MAY 2013</p> <p>CITY OF LAKE ELMO</p>	 <p>TYPICAL PUMP LAYOUT</p> <p>DATE: MAY 2013</p> <p>CITY OF LAKE ELMO</p>	 <p>CATCH BASIN TYPE 405</p> <p>DATE: MAY 2013</p> <p>CITY OF LAKE ELMO</p>	 <p>CATCH BASIN TYPE 406</p> <p>DATE: MAY 2013</p> <p>CITY OF LAKE ELMO</p>
 <p>WATER MAIN OFFSET</p> <p>DATE: MAY 2013</p> <p>CITY OF LAKE ELMO</p>	 <p>SANITARY SEWER TYPE 301</p> <p>DATE: MAY 2013</p> <p>CITY OF LAKE ELMO</p>	 <p>SANITARY SEWER OUTSIDE DROP</p> <p>DATE: MAY 2013</p> <p>CITY OF LAKE ELMO</p>	 <p>STORM SEWER MANHOLE TYPE 407</p> <p>DATE: MAY 2013</p> <p>CITY OF LAKE ELMO</p>	 <p>STORM SEWER MANHOLE TYPE 408</p> <p>DATE: MAY 2013</p> <p>CITY OF LAKE ELMO</p>
 <p>REGULATION SERVICE</p> <p>DATE: MAY 2013</p> <p>CITY OF LAKE ELMO</p>	 <p>REGULATION SERVICE</p> <p>DATE: MAY 2013</p> <p>CITY OF LAKE ELMO</p>	 <p>REGULATION SERVICE</p> <p>DATE: MAY 2013</p> <p>CITY OF LAKE ELMO</p>	 <p>REGULATION SERVICE</p> <p>DATE: MAY 2013</p> <p>CITY OF LAKE ELMO</p>	 <p>REGULATION SERVICE</p> <p>DATE: MAY 2013</p> <p>CITY OF LAKE ELMO</p>

Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance

Westwood Professional Services, Inc.
10000 Highway 100
Suite 100
Lake Elmo, MN 55049
TEL: 612.423.7100
WWW.WESTWOODPROF.SERVICES.COM

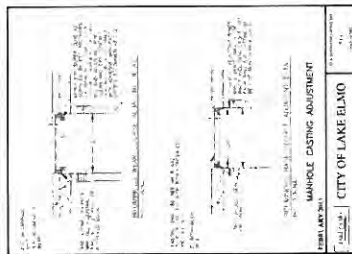
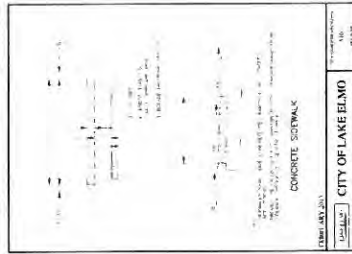
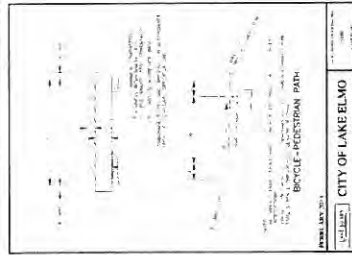
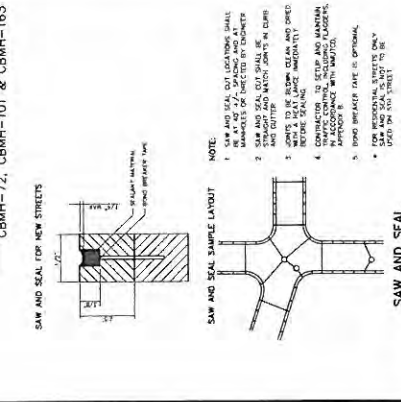
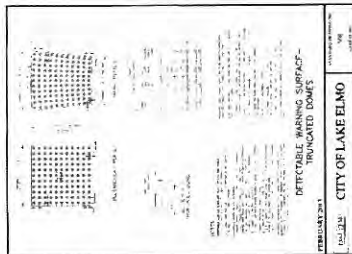
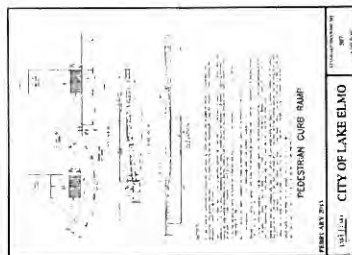
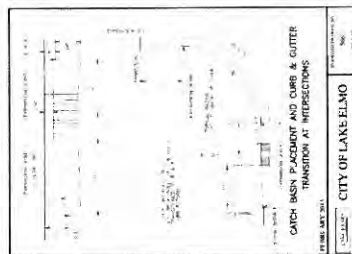
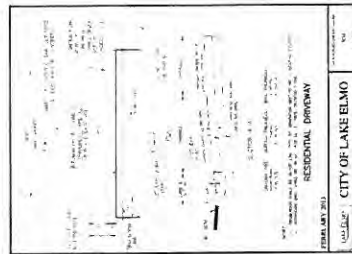
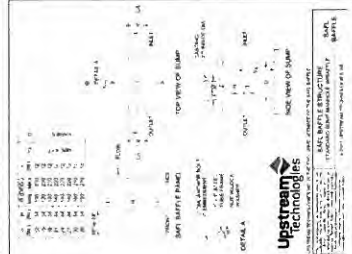
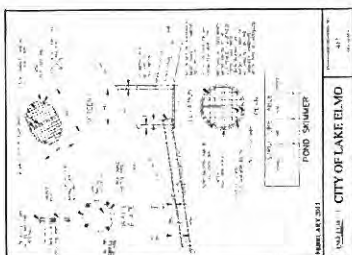
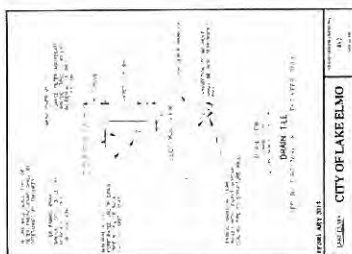
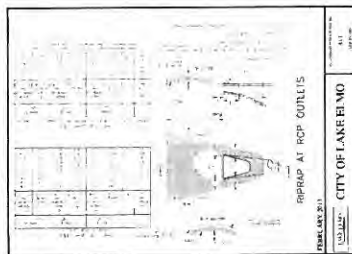
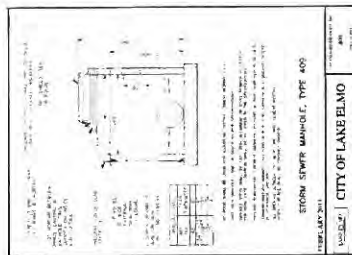
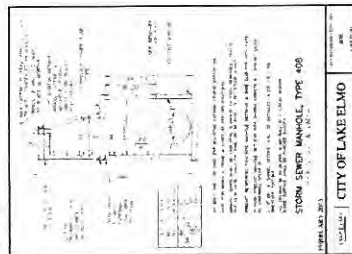
Project: 08/27/14
Drawn by: Ryan M. Johnson
Checked by: Ryan M. Johnson
Designed by: Ryan M. Johnson
Scale: 1" = 10'-0"

Prepared for: City of Lake Elmo
Project: 08/27/14
Drawn by: Ryan M. Johnson
Checked by: Ryan M. Johnson
Designed by: Ryan M. Johnson
Scale: 1" = 10'-0"

Ryland Homes
7500 American Drive
Eden Prairie, Minnesota 55344

Hammes
Property
Lake Elmo, Minnesota

Latest Revision Date: 08/27/14
Sheet: 14 of 17



NOTE

1. SAW AND SEAL LOCATIONS SHALL BE INDICATED BY THE LOCATION OF THE CURB AND GUTTER.

2. SAW AND SEAL LOCATIONS SHALL BE INDICATED BY THE LOCATION OF THE CURB AND GUTTER.

3. JOINTS TO BE SAWN, CLEAN AND OILED BEFORE SEALING.

4. CONTRACTOR TO REPAIR AND MAINTAIN PLACEMENT OF SAW AND SEAL JOINTS.

5. ROAD BREAKER RATE IS OPTIONAL.

SAW AND SEAL LOCATIONS ONLY

USE OF ROAD BREAKER

Westwood Professional Services, Inc.
10000 Highway 100, Suite 100
Eden Prairie, MN 55324
Phone: 952.935.1000
Fax: 952.935.1001
www.westwoodmn.com

Prepared for:

Client	City of Lake Elmo
Project	Stormwater Management
Drawn	John Doe
Checked	John Doe
Reviewed	John Doe
Scale	As Shown
Date	08/27/14

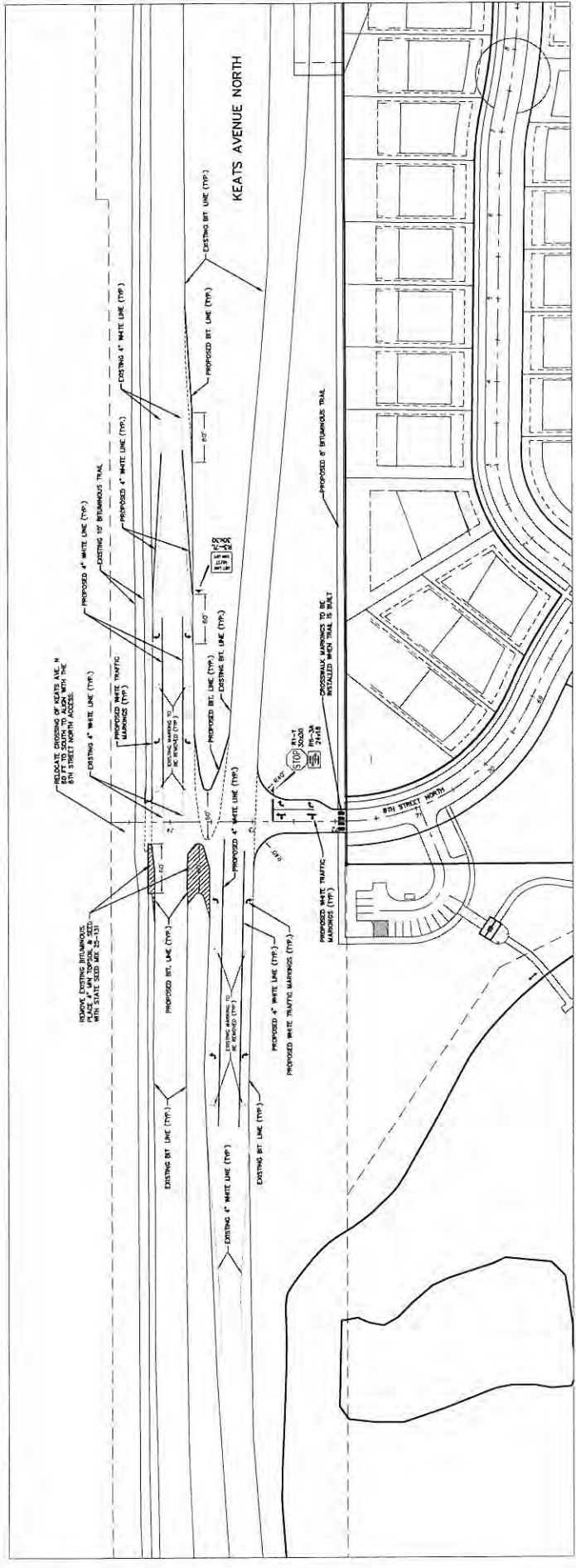
Ryland Homes
7999 Arapahoe Drive
Eden Prairie, Minnesota 55344

Hammes Property
Lake Elmo, Minnesota

Latest Revision Date: 08/27/14
Date: 08/27/14 Sheet: 15 of 17

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- ### General Site Notes
1. LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY EXCAVATION/CONSTRUCTION. ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHALL BE NOTIFIED.
 2. REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL NECESSARY TRAFFIC CONTROL DEVICES TO MAINTAIN THE FLOW OF TRAFFIC THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MOVEMENT OF DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE APPROVAL BY THE CITY AND ENGINEER PRIOR TO ANY TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE INDOT STANDARDS.
 4. BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.

Site Legend

EXISTING	PROPOSED
PROPERTY LINE	PROPERTY LINE
SETBACK LINE	SETBACK LINE
EASEMENT LINE	EASEMENT LINE
CURB AND GUTTER	CURB AND GUTTER
POND NORMAL WATER LEVEL	POND NORMAL WATER LEVEL
FENCE	FENCE
CONCRETE SIDEWALK	CONCRETE SIDEWALK
HEAVY DUTY BITUMINOUS PAVEMENT	HEAVY DUTY BITUMINOUS PAVEMENT
NUMBER OF PARKING STALLS	NUMBER OF PARKING STALLS
TRAFFIC SIGNAL	TRAFFIC SIGNAL
POWER POLE	POWER POLE
BOLLARD / POST	BOLLARD / POST



Latest Revision Date: 09/03/14
 Date: 09/27/14 Sheet: 17 OF 17

Hammes Property
 Keats Avenue
 Improvements Plan
 Lake Elmo, Minnesota

Ryland Homes
 7599 Augsburg Drive
 Eden Prairie, Minnesota 55344

Prepared for:

Project:	CL
Client:	RH
Drawn:	DPH
Revised Drawing:	None

I, **Ryan M. Tuckey**, being duly sworn, depose and say that I am the author of the above-entitled plan, and that I am a duly Licensed Professional Engineer in the State of Minnesota.
 Ryan M. Tuckey
 Date: 09/03/14 License No. 41057

Westwood Professional Services, Inc.
 11000 Lyndale Avenue South
 Minneapolis, MN 55426
 Phone: 763-833-0000
 Fax: 763-833-0001
 www.westwoodinc.com

Construction Plans

for

Grading, Drainage & Erosion Control Plans

for

Hammes Property Lake Elmo, Minnesota

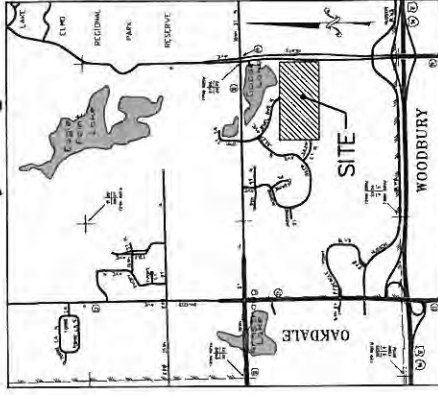
Prepared by:

Ryland Homes
7599 Anagram Drive
Eden Prairie, Minnesota 55344
Contact: Mark Sonstegard
Phone: 952-229-6000
Fax: 952-229-6024

Prepared by:

Westwood
Westwood Professional Services, Inc.
Eden Prairie, MN 55344
PHONE: 952-877-7100
FAX: 952-877-7102
TOLL FREE: 1-800-331-0100
www.westwoodmn.com
Project number: 0002905.00
Contact: Ryan M. Blum

Vicinity Map



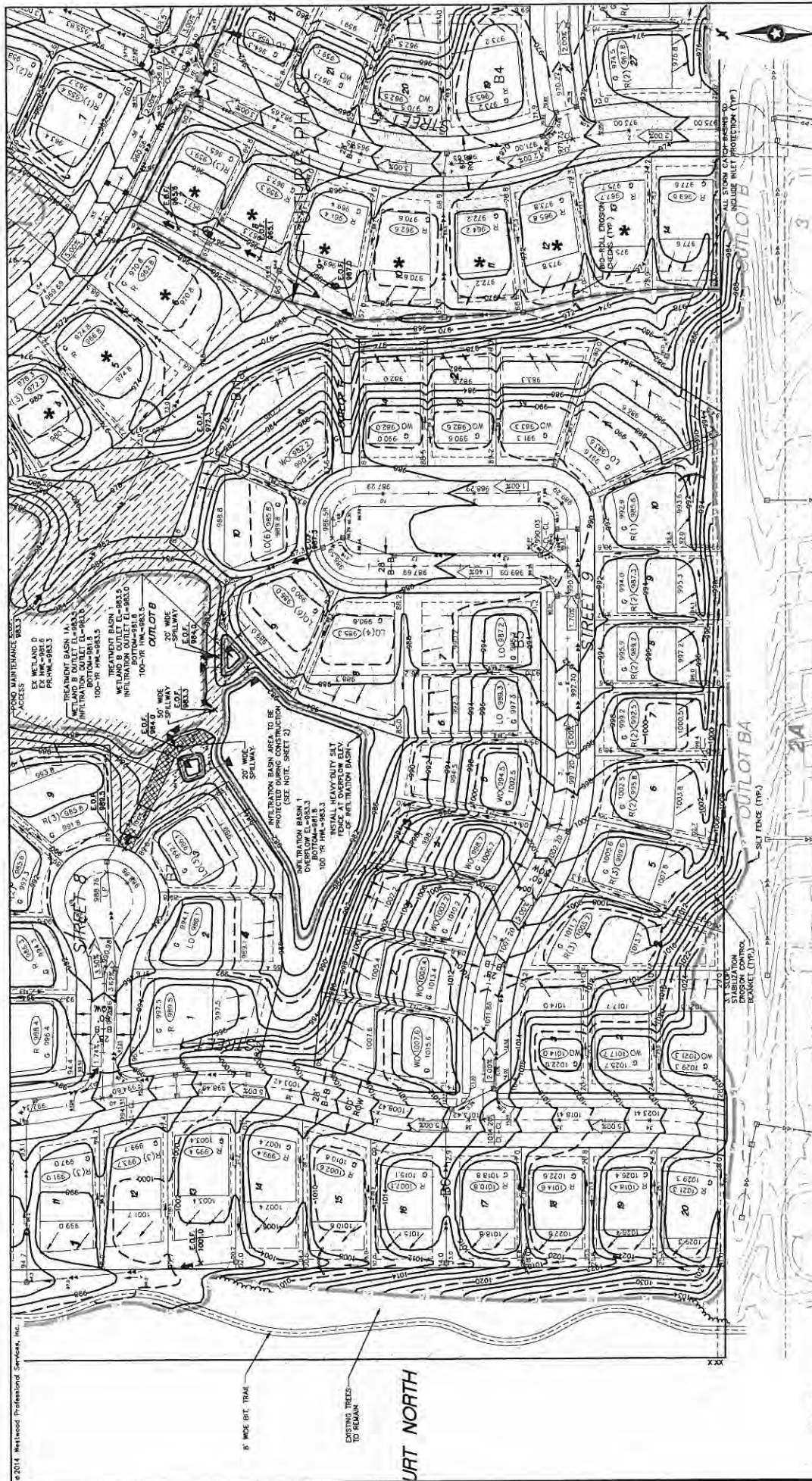
(Not to Scale)

Sheet List Table		
Sheet Number	Sheet Title	
1	Cover	
2	Overall Grading Plan	
3	Grading, Drainage & Erosion Control Plan	
4	Grading, Drainage & Erosion Control Plan	
5	Grading, Drainage & Erosion Control Plan	
6	Grading, Drainage & Erosion Control Plan	
7	Welland Buffer Plan	
8	Welland Buffer Plan	
9	Details	
10	Details	
11	Street Profiles	
12	Street Profiles	
13	Pre-Development Drainage Area Plan	
14	Post-Development Drainage Area Plan	

NO.	DATE	REVISION	SHEETS

Construction Plans
for
Grading, Drainage & Erosion Control
Plans
for
Hammes Property
Lake Elmo, Minnesota

Date: 06/27/14 Sheet: 1 of 14



Legend:

- DENOTES SOIL BORING
 DENOTES SALT FENCE
 DENOTES EXISTING DUTY SALT FENCE
 DENOTES EXISTING CONTOURS
 DENOTES PROPOSED CONTOURS
 DENOTES PROPOSED INTERIM CONTOURS
 DENOTES FUTURE STORM SEWER
 DENOTES EXISTING STORM SEWER
 DENOTES PROPOSED STORM SEWER
 DENOTES EXISTING TREE LINE
 DENOTES EXISTING SPOT ELEVATION
 DENOTES PROPOSED SPOT ELEVATION

- DENOTES BIO-ROLL EROSION CHECKS
 DENOTES EMERGENCY OVERFLOW ELEVATION
 3-1 SLOPE STABILIZATION EROSION CONTROL BLANKET
 DENOTES WETLANDS

- EXISTING AND PROPOSED SITE
CONTOUR ELEVATIONS RELATED
TO NAVD 1988 DATUM.
DENOTES WETLAND BUFFER MONUMENT

*** BUILDER WILL BE REQUIRED TO
INSTALL DRAINTILE AROUND THE
PERIMETER OF FOUNDATION**

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811 or call811.com
Common Ground Alliance

Hamme

Grading, Drainage & Erosion Control Plan

Lake Elmo, Minnesota

Ryland Homes

7599 Anagram Drive
Eden Prairie, Minnesota 55344

Prepared for:

Designed	CU
Classified	2008
Drawn	1998
Revised	Depending on future

I hereby certify that this plan was prepared by me or under my
 direct supervision and that I am a duly licensed Professional
 Accountant under the laws of the State of Oklahoma.

Ryan M. Richman *RMR*
 06/27/06 41257



Wellhead	Existing Buffer	Proposed Buffer	Average Buffer Width
A	17,320 SF	14,524 SF	51.3 LF
B, C & D	78,945 SF	83,667 SF	59.0 LF
E	23,952 SF	20,192 SF	86.4 LF
F	72,409 SF	60,343 SF	76.1 LF

LEGEND:

- DENOTES SOL. BORING
 DENOTES SPT FENCE
 DENOTES HEAVY DUTY SPT FENCE
 DENOTES EXISTING CONTOURS
 DENOTES PROPOSED CONTOURS
 DENOTES EXISTING STORM SEWER
 DENOTES PROPOSED STORM SEWER
 DENOTES EXISTING TREE LINE
 DENOTES EXISTING NATURAL TREE
 REMOVAL LIMITS
 DENOTES EXISTING SPOT ELEVATION
 DENOTES PROPOSED SPOT ELEVATION
 DENOTES 80-FOOT EROSION CHECKS
 DENOTES DRAINAGE OVERFLOW
 ELEVATION
 PROPOSED WETLAND BUFFER AREA
 DENOTES WETLAND BUFFER MONUMENT
- * EXISTING AND PROPOSED SITE
 BOUNDARIES ARE UNRELATED
 TO NAVD 1988 DATUM



00027003WTF01 4-99

**Hammes
Property**

Lake Elmo, Minnesota

Ryland Homes

7599 Anagram Drive
Eden Prairie, Minnesota 55344

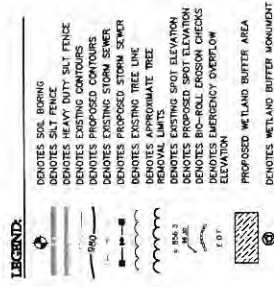
Prepared for:

Project	CU
Charter	2008
Review	11/07
Next Review In/Out	

Ryan M. Rubin

International Professional Services, Inc.
10000 Arroyo Drive
San Diego, CA 92121
Tel: 619/594-1100





* EXISTING AND PROPOSED SITE
CONTOUR ELEVATIONS RELATED
TO NAVD 1988 DATUM

Wetland	Proposed Buffer	Average Buffer Width
C	55.813 SE	81.01 F



Date: 08/27/14 Sheet 8 of 14

Wetland Buffer Plan

Lake Elmo, Minnesota

7599 Anagram Drive
Eden Prairie, Minnesota 55344

1399 Annapolis Drive
Eden Prairie, Minnesota 55344

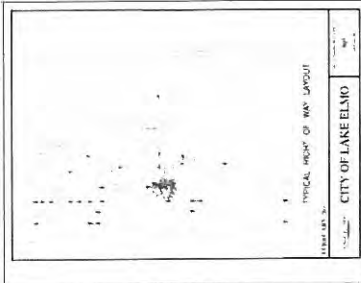
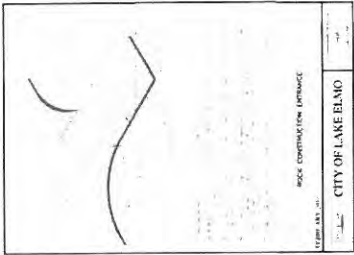
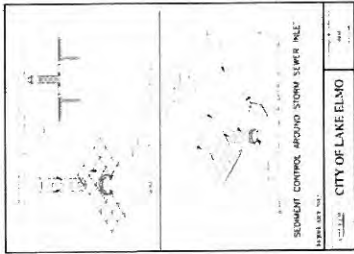
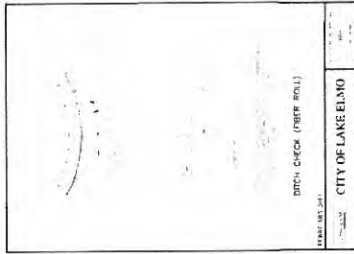
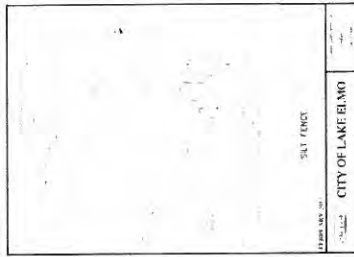
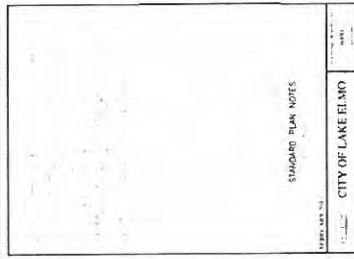
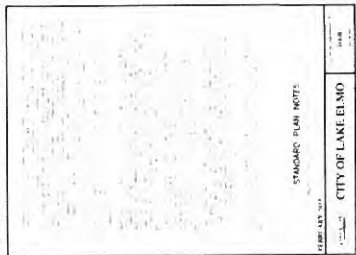
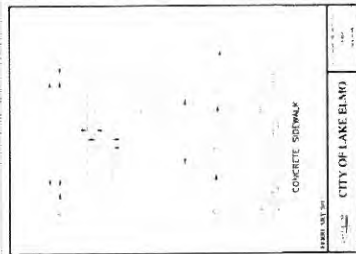
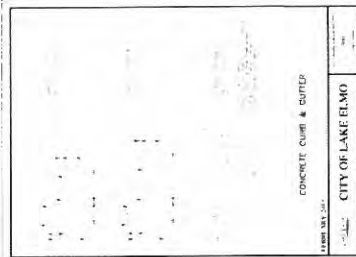
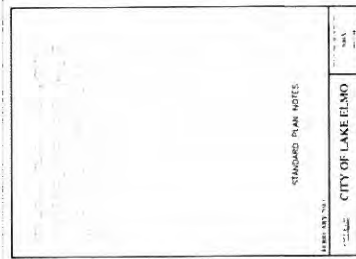
Designated	CL
Classified	EX
Devised	NY

Source: *Statistical Abstract of the United States*

Byron M. Bishop



Whitford



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10000 Lake Ave. N.
P.O. Box 10000
P.O. Box 10000
TEL: 762.222.1000
www.westwoodpro.com

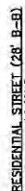
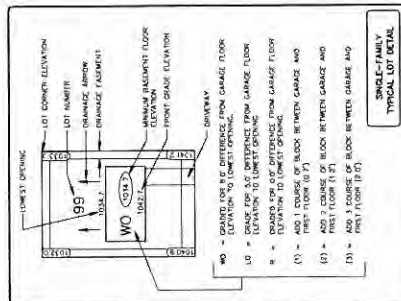
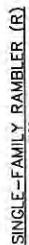
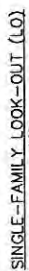
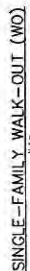
I have made the plans and specifications for the work shown on this drawing and I am a duly Licensed Professional Engineer in the State of Minnesota.
Ryan M. Sullivan
Date: 08/27/14 License No. 41257

Prepared for:
Client: City of Lake Elmo
Project: 7999 Arapahoe Drive
Road, Storm, Bridge

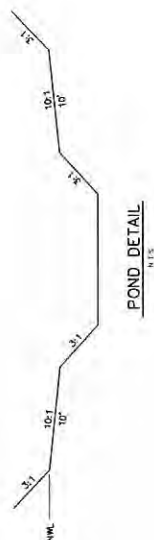
Ryland Homes
7999 Arapahoe Drive
Eden Prairie, Minnesota 5544

Hammes Property
Lake Elmo, Minnesota

Latest Revision Date: 08/27/14
Drawing No. 14-000000-01
Date: 08/27/14 Sheet: 9 of 14



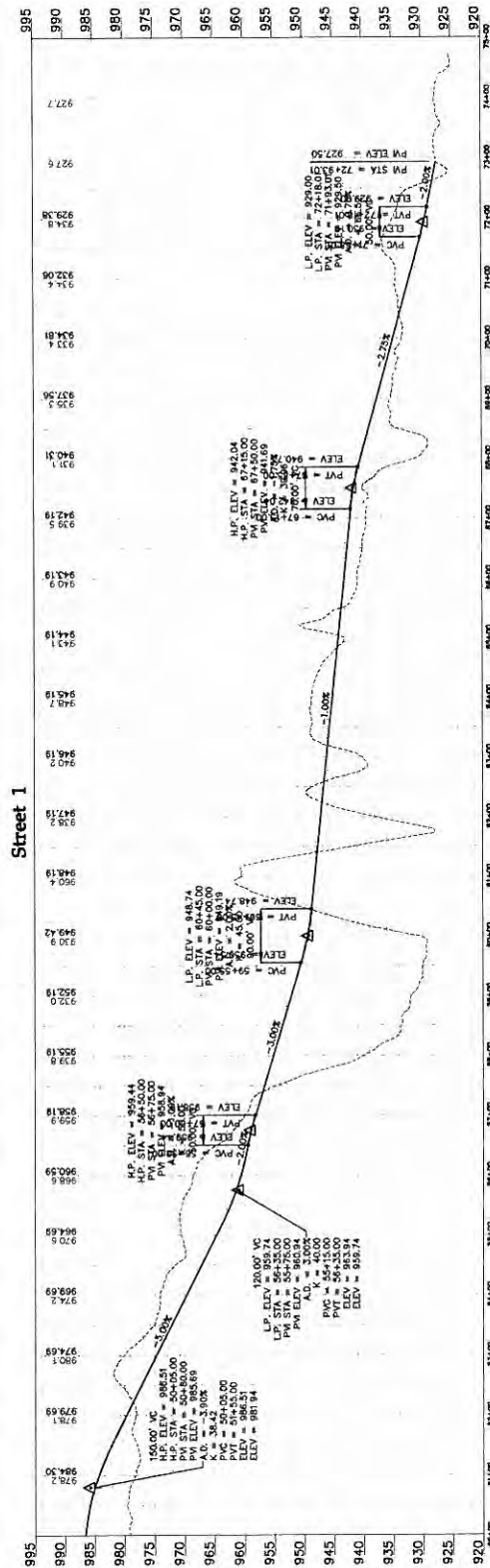
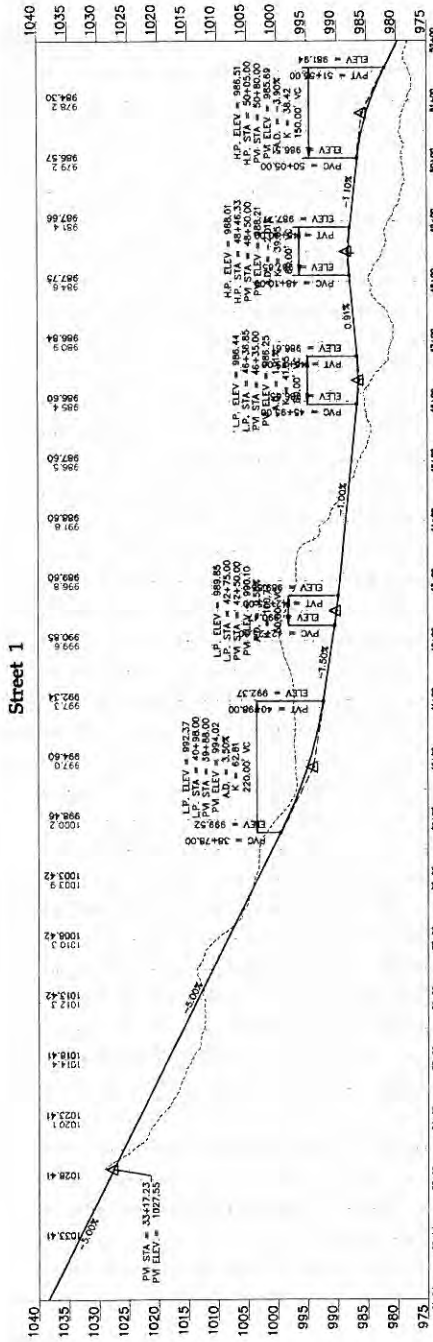
SEE CITY OF LAKE ELMO DETAIL 801 FOR TYPICAL STREET SECTION



I hereby certify that the person listed below is an owner or
 leaseholder of the property and that the person listed below is
 not a tenant of the property. I am a resident of the property.
 Signature: [Signature] Date: 06/27/74

Prepared by:

Designed	DL
Checked	DL
Drawn	DL
Amount	Amount



Date: 08/27/14 Sheet: 11 of 14

**Hammes
Property**
Lake Elmo, Minnesota

Ryland Homes
2900 Alexander Drive
Eden Prairie, Minnesota 55344

Prepared for:

Client: ☐ CLL
Checked: ☐ JMB
Drawn: ☐ JMB
Revised: ☐ JMB

Author: ☐ JMB
Checked: ☐ JMB
Drawn: ☐ JMB
Revised: ☐ JMB

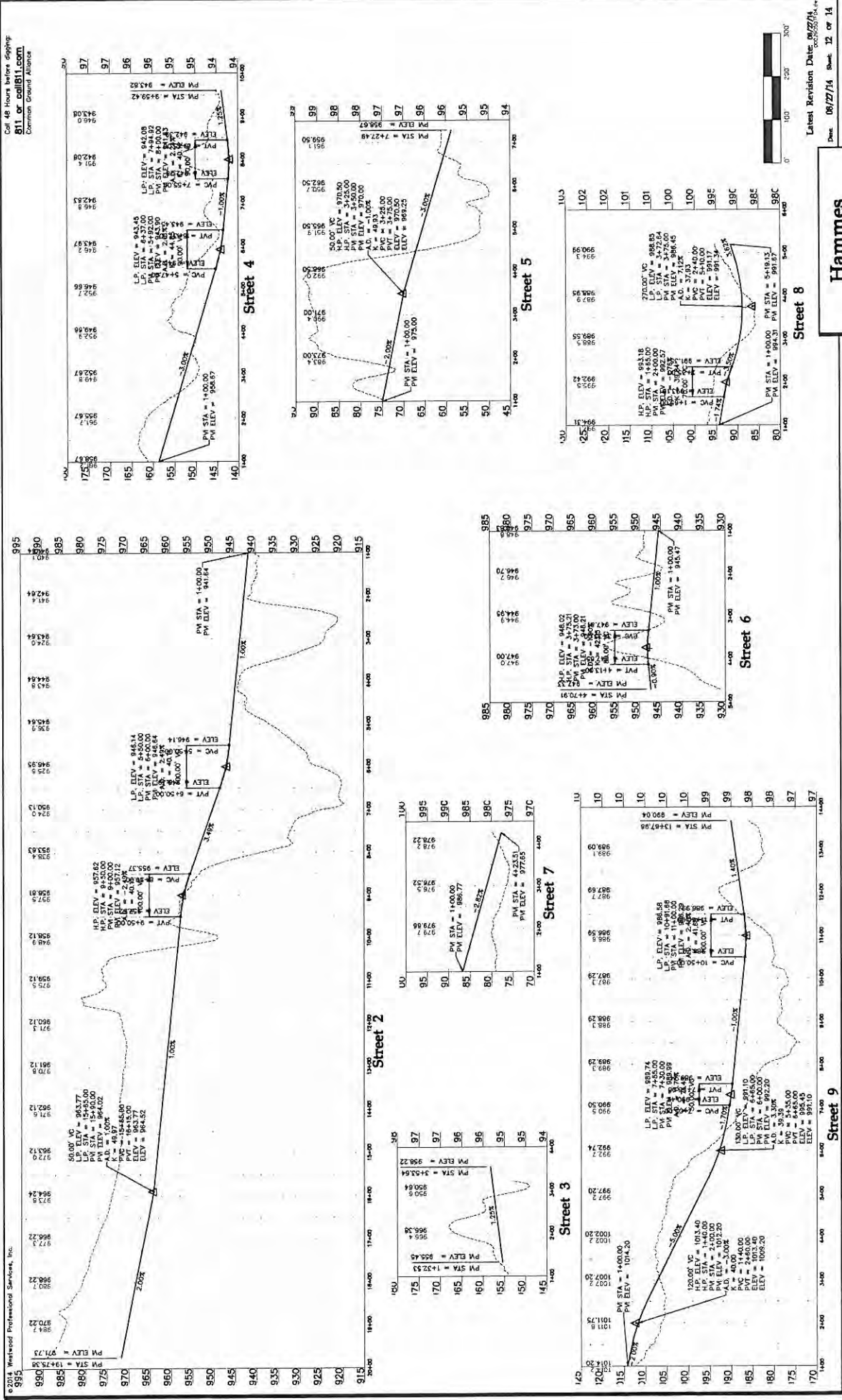
Westwood Professional Services, Inc.
10000 Westwood Drive
Eden Prairie, MN 55344
Phone: 952-267-5000
Fax: 952-267-5001
Web: www.westwoodinc.com



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Latest Revision Date: 08/27/14
 Sheet: 12 of 14

Hammes Property
 Lake Elmo, Minnesota

Ryland Homes
 7999 Arapahoe Drive
 Eden Prairie, Minnesota 55344

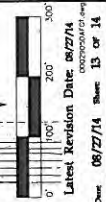
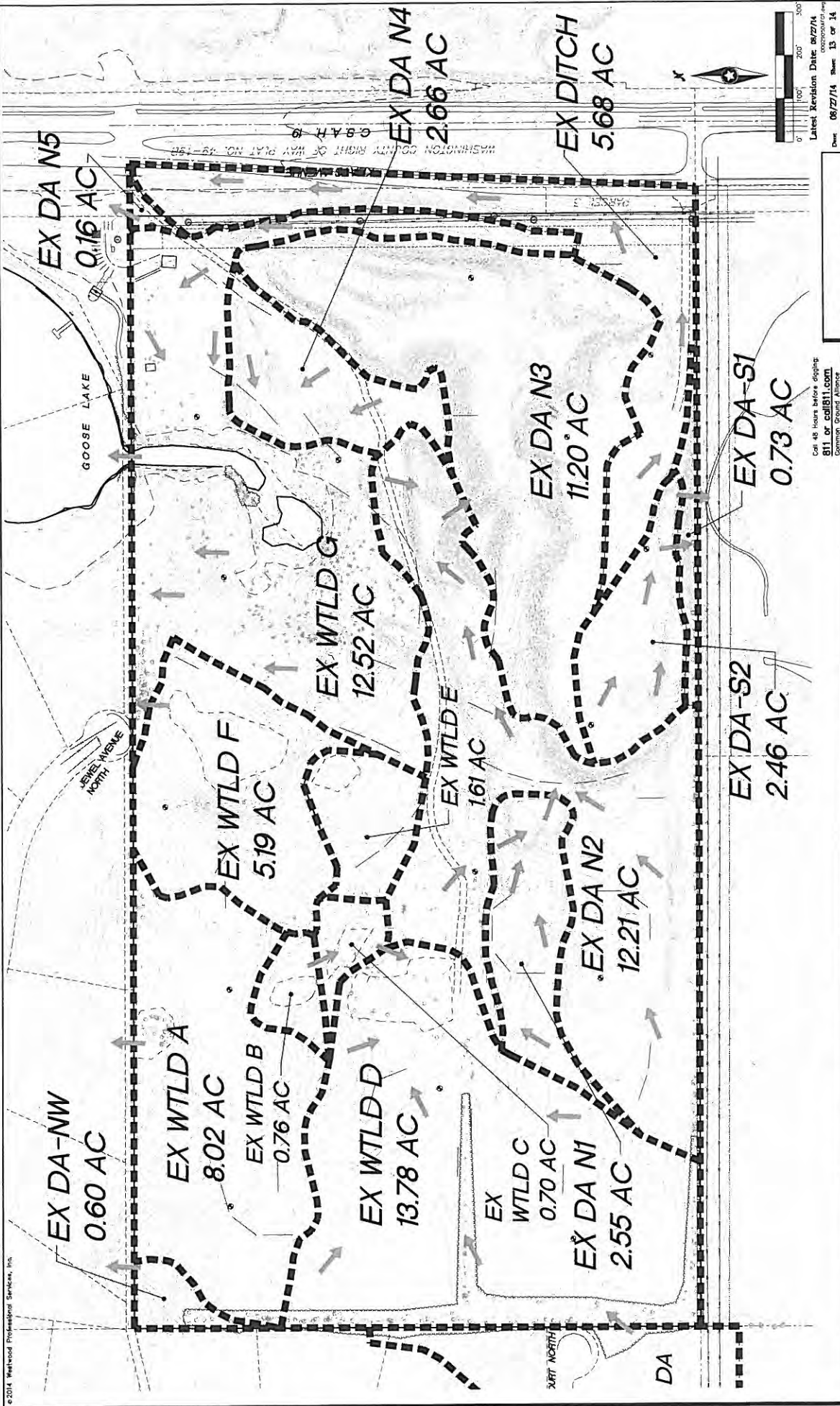
Prepared for:

Designed: CL
 Checked: MB
 Drawn: MT
 Revised Drawing: JH

Revisions:
 1. 08/27/14 4237

Westwood Professional Services, Inc.
 10000 Highway 100, Suite 100
 Eden Prairie, MN 55344
 P: 952.937.8888
 F: 952.937.8889
 www.westwoodpro.com





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Latest Revision Date: 08/27/14
Drawing No.: 41257
Date: 08/27/14
Sheet: 13 of 14

Hammes Property
Pre-Development
Drainage Area Plan
Lake Elmo, Minnesota

Ryland Homes
7999 Arapahoe Drive
Eden Prairie, Minnesota 55344

Prepared for:

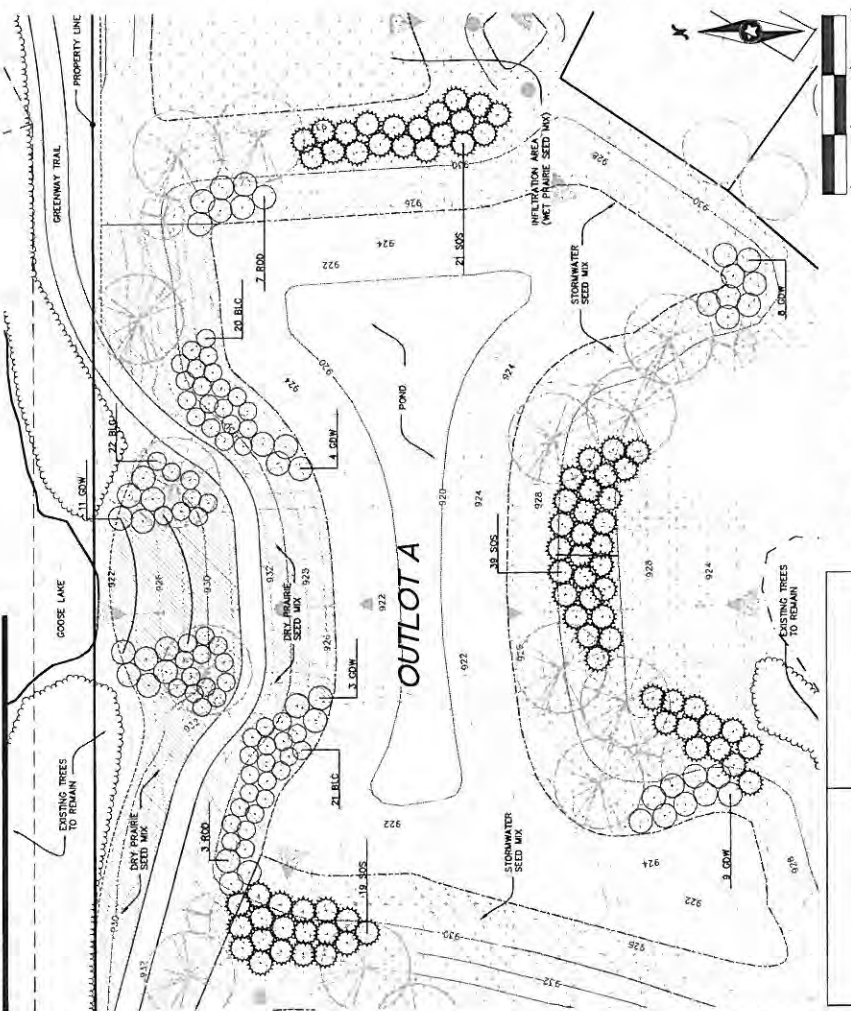
Project:	CL
Client:	RH
Drawn:	SP
Check:	SP
Scale:	As Shown

Drawn: 08/27/14
Checked: 08/27/14
Scale: As Shown

Westwood Professional Services, Inc.
10000 Westwood Drive
Suite 200
Eden Prairie, MN 55344
Phone: 952-937-1000
Fax: 952-937-1001
www.westwoodpro.com



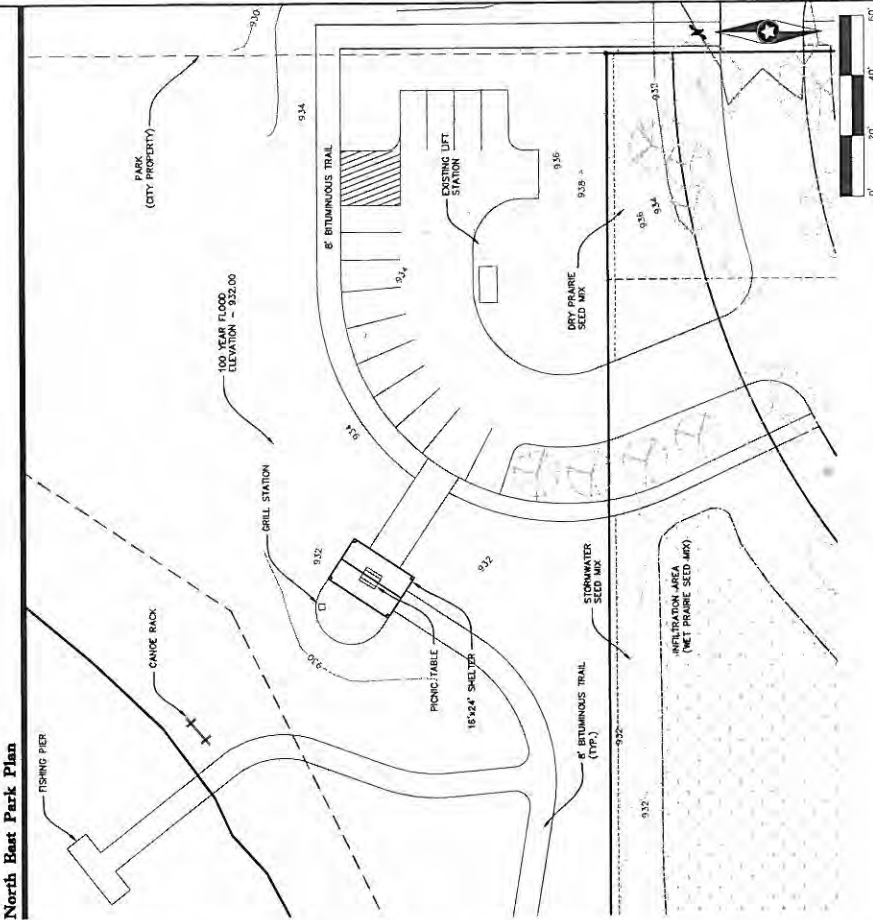
Restoration Detail



Restoration Detail Final Plant Schedule

CODE	QTY	COMMON/BO/ANIMAL NAME	3725	3726
950	35	Smooth Sornes / Thus grass	35 DONT	8" 0" 0
951	35	Gray Daywood / Corvus ramosus	35 DONT	8" 0" 0
952	35	Gray Daywood / Corvus ramosus	35 DONT	8" 0" 0
953	35	Gray Daywood / Corvus ramosus	35 DONT	8" 0" 0
954	35	Gray Daywood / Corvus ramosus	35 DONT	8" 0" 0
955	16	Big Banteng / Antelope cervinus	16 DONT	8" 0" 0
956	16	Big Banteng / Antelope cervinus	16 DONT	8" 0" 0
957	17	Prong Antelope / Antelope cervinus	17 DONT	8" 0" 0
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999	17	Prong Antelope / Antelope cervinus	17 DONT	8" 0" 0
1000	17	Prong Antelope / Antelope cervinus	17 DONT	8" 0" 0

NOTES: • QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY



North East Park Plan

Call 48 Hours before digging:
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Common Ground Alliance

**Hammes
Property**

Lake Elmo, Minnesota

Ryland Homes

7599 Anagram Drive
Eden Prairie, Minnesota 55324

Prepared for:

Diagnosed	CLM
Checked	CLM
Prevent	FTS
Record, Document, by/done	

1

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed LANDSCAPE ARCHITECT under the laws of the State of Minnesota.

Carol M. Jorgensen
 Carol M. Jorgensen
 1000 Ave. N.E.
 Minneapolis, MN 55413
 612/338-1000

Manufactured Professional Services, Inc.
1000 Airport Ave. Drive
Green Prairie, MN 56341
PO BOX 96337-6661
AL 36287-6672
TEL 1 800 1-888-817-0150



Supplemental Planting Notes

1. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
2. NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMEDIATE AREA.
3. PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
4. TRIM BRANCHES OF TREES AS REQUIRED. RETENTION, FLUMP AND STAKE IF NOT PLANT AFTER ONE YEAR.
5. THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
6. SOIL AMENDMENTS SHALL BE DONE TO IMPROVE TO MEET SPECIFICATIONS. NOT EXCEED MORE THAN ONE INCH. SUGGEST DEEPER AND LARGER WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 10% MULCH FOR ALL LAWN GRASS AREAS AND 10% DEEPER TYPICAL FOR WELL SHARED AND PERMANENT.
7. MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. SHREDDED HARDWOOD MULCH SHALL HAVE A MINIMUM OF 2" DEPTH. SHREDDED HARDWOOD MULCH TO BE USED FOR ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. SHREDDED HARDWOOD MULCH SHALL HAVE A MINIMUM OF 2" DEPTH. SHREDDED HARDWOOD MULCH TO BE USED FOR ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. SHREDDED HARDWOOD MULCH SHALL HAVE A MINIMUM OF 2" DEPTH. SHREDDED HARDWOOD MULCH TO BE USED FOR ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS.
8. LOGGING TO BE SPREAD EOOD, UNLESS OTHERWISE INDICATED. SPREAD EOOD TO PROVIDE MULCH FOR ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. SHREDDED HARDWOOD MULCH SHALL HAVE A MINIMUM OF 2" DEPTH. SHREDDED HARDWOOD MULCH TO BE USED FOR ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS.
9. PROVIDE IRRIGATION TO ALL STREET TREE AND BUFFER LANDSCAPING ON THE RIGHT SIDE OF THE STREET. IRRIGATION SHALL BE PROVIDED TO ALL STREET TREE AND BUFFER LANDSCAPING ON THE RIGHT SIDE OF THE STREET. IRRIGATION SHALL BE PROVIDED TO ALL STREET TREE AND BUFFER LANDSCAPING ON THE RIGHT SIDE OF THE STREET.
10. REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
11. ALL DISTURBED AREAS WITHIN OUTLOTS TO BE SEEDING WITH NATIVE GRASS SEED MIX AS SPECIFIED. ALL DISTURBED AREAS WITHIN OUTLOTS TO BE SEEDING WITH NATIVE GRASS SEED MIX AS SPECIFIED. ALL DISTURBED AREAS WITHIN OUTLOTS TO BE SEEDING WITH NATIVE GRASS SEED MIX AS SPECIFIED.

STANDARD PLANT NOTES

10/10/14 CITY OF LAKE ELMO

STANDARD PLANT NOTES

10/10/14 CITY OF LAKE ELMO

STANDARD PLANT NOTES

10/10/14 CITY OF LAKE ELMO

STANDARD PLANT NOTES

10/10/14 CITY OF LAKE ELMO

STANDARD PLANT NOTES

10/10/14 CITY OF LAKE ELMO

Dry Prairie Seed SB Grass Mix

Species	Common Name	Quantity	Unit	Notes
Andropogon scoparius	Common Broomrape	1.00	lb	
Andropogon scoparius	Common Broomrape	1.00	lb	
Andropogon scoparius	Common Broomrape	1.00	lb	
Andropogon scoparius	Common Broomrape	1.00	lb	
Andropogon scoparius	Common Broomrape	1.00	lb	
Andropogon scoparius	Common Broomrape	1.00	lb	
Andropogon scoparius	Common Broomrape	1.00	lb	
Andropogon scoparius	Common Broomrape	1.00	lb	
Andropogon scoparius	Common Broomrape	1.00	lb	
Andropogon scoparius	Common Broomrape	1.00	lb	

Wet Prairie Seed Grass Mix

Species	Common Name	Quantity	Unit	Notes
Andropogon scoparius	Common Broomrape	1.00	lb	
Andropogon scoparius	Common Broomrape	1.00	lb	
Andropogon scoparius	Common Broomrape	1.00	lb	
Andropogon scoparius	Common Broomrape	1.00	lb	
Andropogon scoparius	Common Broomrape	1.00	lb	
Andropogon scoparius	Common Broomrape	1.00	lb	
Andropogon scoparius	Common Broomrape	1.00	lb	
Andropogon scoparius	Common Broomrape	1.00	lb	
Andropogon scoparius	Common Broomrape	1.00	lb	
Andropogon scoparius	Common Broomrape	1.00	lb	

Stormwater Native Grass Mix

Species	Common Name	Quantity	Unit	Notes
Andropogon scoparius	Common Broomrape	1.00	lb	
Andropogon scoparius	Common Broomrape	1.00	lb	
Andropogon scoparius	Common Broomrape	1.00	lb	
Andropogon scoparius	Common Broomrape	1.00	lb	
Andropogon scoparius	Common Broomrape	1.00	lb	
Andropogon scoparius	Common Broomrape	1.00	lb	
Andropogon scoparius	Common Broomrape	1.00	lb	
Andropogon scoparius	Common Broomrape	1.00	lb	
Andropogon scoparius	Common Broomrape	1.00	lb	
Andropogon scoparius	Common Broomrape	1.00	lb	

DRY PRAIRIE SEED MIX

DRY PRAIRIE SEED MIX

STORMWATER SEED MIX

STORMWATER SEED MIX

WET PRAIRIE SEED MIX

WET PRAIRIE SEED MIX

Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance

Date: 09/17/14 Sheet: 4 OF 4

Hammes

Property

Lake Elmo, Minnesota

Final Landscape Notes

Ryland Homes

7500 Argosy Drive
Eden Prairie, Minnesota 55344

Prepared for:

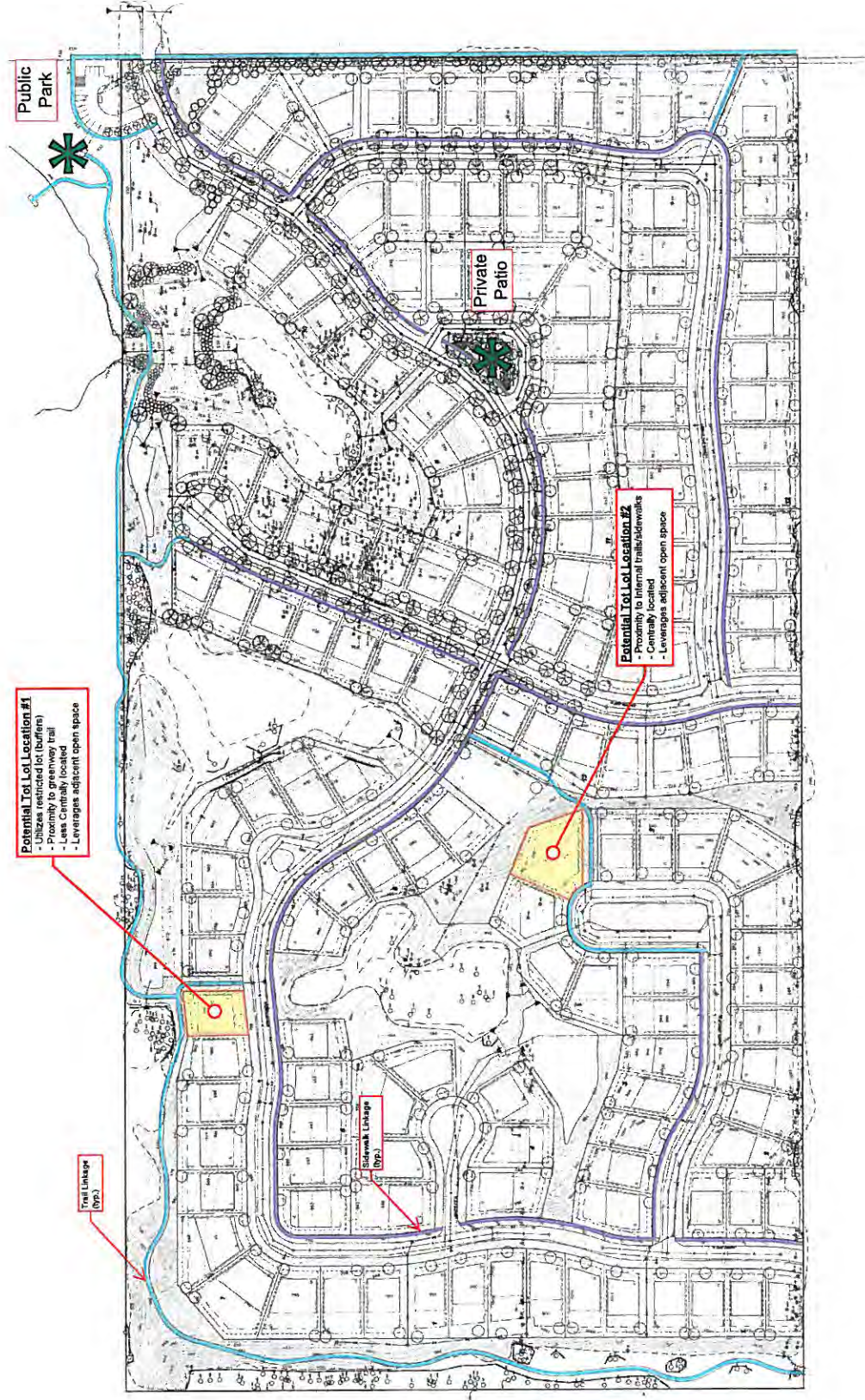
Original: CSM
Checked: CSM
Drawn: RLS
Revised Drawing by: RLS

Reviewed: [Signature]
Date: 09/17/14
Project No: 20077

Westwood Professional Services, Inc.
10000 Lyndale Ave. S.
Eden Prairie, MN 55344
Phone: 952-935-0000
Fax: 952-935-0001
www.westwoodinc.com



PARK LOCATION PLAN



MEMORANDUM

FOCUS ENGINEERING, inc.

Cara Geheren, P.E.	651.300.4261
Jack Griffin, P.E.	651.300.4264
Ryan Stempski, P.E.	651.300.4267
Chad Isakson, P.E.	651.300.4285

Date: September 18, 2014

To: Nick Johnson, City Planner
Cc: Kyle Klatt, Planning Director
From: Jack Griffin, P.E., City Engineer

Re: Hammes Estates
Final Plat Review

An engineering review has been completed for the Hammes Estates development. Revised Preliminary Plans and Construction Plans were received on September 4, 2014. The submittal consisted of the following documentation prepared by Westwood Professional Services, Inc.:

- Preliminary Plan set (Plat Plan, Utility Plan, and Landscape Plans) dated 08.25.2014.
- Construction Grading, Drainage & Erosion Control Plans dated 08.27.2014.
- Construction Sanitary Sewer, Water Main, Storm Sewer and Streets dated 09.03.2014.
- Project Specification Manual dated May 2014.
- Preliminary Storm Water Runoff Narrative dated 08.07.2014.
- Plan revision response letter dated 08.28.2014.

STATUS/FINDINGS: Engineering review comments are provided below as they may be related to the application for Final Plat or represent more significant design and constructability issues. Upon completion of these issues and granting of Final Plat, staff will resume a more detailed Construction Plan review.

PRELIMINARY AND FINAL PLAT COMMENTS

- Additional easements are required for the Preliminary and Final Plat as outlined within this memorandum.
- The Final Plat and Construction Plans should both be updated to include the Outlot ownership information. The Preliminary Plat indicated all Outlots to be dedicated to the City.
- Note: City utilities will be constructed within Outlot B as part of the first addition. Drainage and utility easements must be dedicated to the City of Lake Elmo as part of the First Addition Final Plat, including the drainage and utility easements over Outlot B.
- The development agreement should incorporate provisions to require the developer to oversee and address the 5 year invasive species monitoring requirements of the DNR Permit.
- Written permission must be provided from adjacent property owners for grading to extend beyond property lines.
- Written permission must be provided from the Savona development to allow an increase in peak discharge rate from the Hammes Site as proposed in the Stormwater Management Plan.
- Written approval to work within the Electrical Transmission Easement area must be provided prior to construction work.
- Final Grading Plans and Final Street and Utility Construction Plans must be completed and approved by the City Engineer prior to the start of construction. All construction plans must be in accordance with the Lake Elmo engineering design standards and plan format. Any changes proposed in the Lake Elmo

engineering design standards, standard details, plan notes, or specifications must be clearly identified in a "change request" letter by the developer's engineer and submitted for consideration.

UTILITY PLANS AND EASEMENTS

- In coordination with the City, a pressure reducing valve(s) must be constructed as part of the watermain improvements and located on an Outlot dedicated to the City.
- A 12-inch watermain stub must be extended east along Street 1 (8th Street North) to the intersection and County R/W of Keats Avenue for future extension to the east side of CSAH 19.
 - This 12-inch stub has been provided in the Final Construction Plan set for Phase 1, however it has not been corrected on the Preliminary Utility Plan dated 08.25. This correction must be included in the revised Preliminary Plans.
 - The future connection location for this 12-inch stub must be placed outside of the paved surface area of the new street.
- The 8-inch watermain line from the Street 8 cul-de-sac to the Street 9 cul-de-sac passes directly under infiltration basin 1 and does not maintain the state required 10-foot offset from storm sewer pipe. An alternate alignment or alternate loop connection must be determined as part of the revised Preliminary Plans. Additional easement must be provided on the Final Plat to accommodate this watermain location as it passes between lots.
- The sanitary sewer segment along the east side of Lot 6, Block 6 needs to move further east to maintain additional offset from the Lot 6 property line. This will result in a changed location for MH28 in the Final Construction Plans.
- Additional easement or pipe alignment adjustments are required at the northeast corner of Lot 1, Block 10 and along the rear yard of Lot 17, Block 11. Corrections are needed on both the revised Preliminary Plans and Final Construction Plans.
- Grading modifications are proposed above the City's existing sanitary sewer gravity and forcemain pipes along Keats Avenue. Show the proposed profile over these utilities and include the record drawing information provided in the Section 34 Water & Sewer Utility Extension Improvements. The existing conditions utilities must be revised on all plan sheets to correctly indicate their location.
- Show existing hydrant, 6-inch gate valve and box, and 12-inch x 6-inch reducer at the southern property line. Construction notes must be updated accordingly.

STORM SEWER SYSTEM

- The Preliminary storm sewer system plan did not comply with the City standard design requirements (minimum pipe cover significantly less than 3.5 feet). Preliminary storm sewer system plans must be revised to comply with City design standards.

CSAH 19 (KEATS AVENUE) IMPROVEMENTS

- Written documentation is required to demonstrate Washington County approval for the proposed access to Keats Avenue together with any County requirements.

WETLANDS AND WETLAND BUFFERS

- The VBWD does not allow impervious surfaces to be placed on wetlands or wetland buffers. The Plans must be revised so that the proposed Boardwalk Trail is constructed along the entire length of the trail that is located within the wetland buffer. Boardwalk construction details must be provided in the Final Construction Plans.
- The wetland buffer for Wetland G encroaches over the proposed storm water maintenance access road between Lot 6, Block 10 and Lot 12, Block 9. This buffer must be relocated to an area more acceptable to the preservation of buffer areas.

GRADING AND STORM WATER MANAGEMENT

- VBWD PERMIT: The project has received conditional permit approval through the VBWD. The applicant must revise and resubmit plans to the City as plan changes are made and resubmitted to the VBWD to

meet all conditions of the VBWD permit approval. The applicant must also submit to the City written documentation from the VBWD that the permit conditions have been satisfied prior to any construction work on the site.

- A VBWD permit must be obtained for the improvements at Goose Lake. Approval for these improvements have not been included in the Subdivision permit.
- A VBWD permit must be obtained for all Lots on Block 8 (Preliminary Plat) or Block 6 (Final Plat). Approval for these Lots have not yet been granted.
- Storm water facilities proposed as part of the site plan to meet VBWD permitting requirements must be constructed in accordance with the City Engineering Design Standards Manual.
- Flood protection measures must be incorporated for Lots 4, 5 and 6, Block 8 due to the Wetland E perched HWL. These lots are not yet permitted by the VBWD.
- Additional information is still needed to complete a review of the proposed storm water management plan and to verify the proposed grading.
 - Wetland A area: The existing HWL for Wetland A appears to extend north over the entire existing adjacent property. More information is needed to describe and verify the existing conditions in this area including the existing elevation of the adjacent home.
 - The Wetland A delineation must be shown on the plans.
 - Wetland A / Pond 2, Treatment Basin and Infiltration Basin 2 area: Place spot elevations at the high point enclosing Infiltration Basin 2 to ensure that the basin overflow routes west per the intended design.
- Storm water pond, infiltration basin, and wetland HWLs must be fully contained within Outlots. The 100-year HWL for Wetland G encroaches proposed Lots 4, 5 and 6, Block 10, and Lot 3, Block 9.
- The grade along the east side of Infiltration basin 5 must be raised along the park entrance road.
- The Park property improvements must be revised to better separate the public use area and the lift station utility area. See attached sketch for possible concept plan.
- The Park property trail from the Goose Lake berm to the picnic area is located below the 100-year HWL and in some locations appears to be below the DNR OHWL.

Station #1

3510 Laverne Ave. No.
Lake Elmo, MN 55042
651-770-5006



LAKE ELMO FIRE DEPARTMENT

Station #2

4259 Jamaca Ave. No.
Lake Elmo, MN. 55042
651-779-8882

September 18, 2014

After review of the HAMMES ESTATES FINAL PLAT – HAMMES WEST LLC, I have two areas of concern:

I have yet to receive final documentation showing that the previous soil contamination reported earlier this year has been mitigated. I recommend that the City not release the Final Plat for recording until the City has received the proper documentation related to the mitigation of the contamination.

Hydrant spacing seems to be well within our guidelines which I was very pleased to see. I would like to see the hydrant located in front of Lots 3 and 4, Block 6 on the west side of the Juniper Circle No. cul-de-sac be more equally spaced between the end of the road and the intersection at 8th St. No.

Reviewed by,

Greg Malmquist, Fire Chief

"Proudly Serving Neighbors & Friends"

Station #1
3510 Laverne Ave. No.
Lake Elmo, MN 55042
651-770-5006



Station #2
4259 Jamaca Ave. No.
Lake Elmo, MN. 55042
651-779-8882

LAKE ELMO FIRE DEPARTMENT

September 19, 2014

Review of the HAMMES ESTATES FINAL PLAT – HAMMES WEST LLC

This is a follow up to the review letter dated September 18, 2014. Let me start by thanking all parties involved for supplying all the requested documentation related to the soil clean up as requested and in such a timely manner. After reviewing the provided documentation, I followed up with the MPCA for assistance and guidance in deciphering the documentation and ensuring, for everyone's benefit, that all required procedures and processes had been followed in the mitigation of this site. In conversation with the MPCA I discovered that the specifics of this site would cause it to fall under their Brownfield Program.

At this time I am requiring that all documentation related to the mitigation of this site be sent to the MPCA Brownfield Program by the property owners or their representative for review. After review, a letter from the MPCA ensuring that the site has been properly mitigated will need to be provided to the city.

Sincerely,

Greg Malmquist, Fire Chief

"Proudly Serving Neighbors & Friends"



LANDSCAPE ARCHITECTURE INCORPORATED

WWW.LANDARCINC.COM

HAMMES PROPERTY – DESIGN REVIEW REPORT **LAKE ELMO, MN**

LANDSCAPE ARCHITECTURAL DESIGN REVIEW DATED SEPTEMBER 10TH, 2014

REVIEWED PLAN SET DATED AUGUST 25TH, 2014

Required Action Items by Hammes Project Team

1. The plan is in compliance with the landscape requirements. Since this preliminary plan doesn't call out each plant per location on plan, we are excited to look at the next generation of plan development which will have that level of specification for our review.
2. Where Colorado Green Spruce is specified: please replace with Norway Spruce.
3. Where possible, we would encourage planted islands in the cul-de-sacs within the development to reduce impervious surfaces and create a safer streetscape environment.
4. Please provide more information on the walls specified on the plans. Our preference is natural materials such as locally quarried stone or stone derived from the site construction process if appropriate in scale and geology.
5. Project Landscape Architect to provide landscape irrigation plans for all commonly held HOA & City R.O.W. areas.

SINCERELY,

LANDSCAPE ARCHITECTURE, INC.

STEPHEN MASTEY, ASLA, CLARB, LEED AP BD+C
DIRECTOR OF DESIGN



LANDSCAPE ARCHITECTURE INCORPORATED
WWW.LANDARCINC.COM

HAMMES PROPERTY – DESIGN REVIEW REPORT **LAKE ELMO, MN**

LANDSCAPE ARCHITECTURAL DESIGN REVIEW DATED SEPTEMBER 18TH, 2014

REVIEWED PLAN SET DATED SEPTEMBER 17TH, 2014

Required Action Items by Hammes Project Team

1. The plan is in compliance with the landscape requirements.
2. Where Red Gnome Dogwood is specified: please replace with another shrub selection that is a hardier choice.
3. Please provide more detailed landscape information for North East Park.
4. Please provide more detailed information on entry monuments & signage proposed.
5. Please provide more detail on the hardscape materials and site furnishings proposed in Outlot C.
6. Provide landscape irrigation plans for all commonly held HOA & City R.O.W. areas.

SINCERELY,

LANDSCAPE ARCHITECTURE, INC.

STEPHEN MASTHEY, ASLA, CLARB, LEED AP BD+C
DIRECTOR OF DESIGN

VALLEY BRANCH WATERSHED DISTRICT PERMIT APPLICATION

TO BE COMPLETED BY VBWD:

PERMIT NUMBER 2014-07
PERMIT FEE RECEIVED \$15,500
DATE RECEIVED March 7, 2014

Return application to
John Hanson
Barr Engineering Company
Engineers for the Valley Branch Watershed District
4700 West 77th Street
Edina, MN 55435-4803



A permit fee shall accompany this permit, unless waived by the Board of Managers.
(Governmental Bodies are not required to pay a fee.)

Project Information		Applicant Information	
Name of Project: Hammes Property		Name: <u>Hammes West LLC</u>	
Purpose of Project: Single-Family subdivision to create 165 lots		<u>Brian McGooldick</u>	
Project Location (street address, if known; otherwise, major intersection): Westside of Keats Avenue, south of Goose Lake		Address: <u>36 moonlight BAY</u>	
City or Township: Lake Elmo		City, State, Zip: <u>Stillwater, MN 55082</u>	
Legal Description (proof of ownership required): PID: See attached survey Section: 34 Township: 29 Range: 21		Phone: <u>651-387-1000</u>	
Project Timeline: Start Date: 4/15/2014 Completion Date: 10/31/2016		Fax:	
Email: <u>brian.j.mcgooldick@westwoodps.com</u>		Email: <u>brian.j.mcgooldick@westwoodps.com</u>	
Authorized Agent Information		Owner Information (If different than Applicant)	
Name: Ryan Bluhm		Name: <u>Ellie Hammes</u>	
Business Name: Westwood Professional Services		Address: <u>1187 Frost Avenue</u>	
Address: 7699 Anagram Drive		City, State, Zip: <u>Maplewood, MN 55001</u>	
City, State, Zip: Eden Prairie, MN 55344		Phone: <u>651-436-8656</u>	
Phone: 952-906-7432		Fax: <u>N/A</u>	
Fax: 952-937-5822		Email: <u>N/A</u>	
Email: ryan.bluhm@westwoodps.com			

Once a Valley Branch Watershed District permit has been approved, the permit conditions will be attached to the back of this form.

By signing this permit application, the permit applicant, his/her agent, and owner (hereinafter "Permittee") shall abide by all the conditions set by the Valley Branch Watershed District (VBWD). All work which violates the terms of the permit by reason of presenting a serious threat of soil erosion, sedimentation, or an adverse effect upon water quality or quantity, or violating any rule of the VBWD may result in the VBWD issuing a Stop Work Order which shall immediately cause the work on the project related to the permit to cease and desist. All work on the project shall cease until the permit conditions are met and approved by the VBWD representatives. In the event Permittee contests the Stop Work Order issued by the VBWD, Permittee shall attend a VBWD Board of Managers meeting and discuss the project. Any attorney fees, costs, or other expenses incurred on behalf of the VBWD in enforcing the terms of the permit shall be the sole expense of the permit applicant. Costs shall be payable from the permit applicant's permit fee. If said fees exceed the permit amount, the Permittee shall have ten (10) days from the date of receipt of the invoice from the VBWD to pay for the cost incurred in enforcing the permit, by which to pay the VBWD for said costs. If costs are not paid within the ten (10) days, the VBWD will draw on the permit applicant's surety. The Permittee agrees to be bound by the terms of the final permit and conditions required by the VBWD for approval of the permit. The permit applicant further acknowledges that he/she has the authority to bind the owner of the property and/or any entity performing the work on the property pursuant to the terms of the VBWD permit, and shall be responsible for complying with the terms of the VBWD permit.

Signatures (Required):

Hammes West LLC
Brian J. McGooldick 3/7/14
Applicant/Date

Ellie Hammes 3/7/14
Owner (if different than Applicant)/Date

Owner's Authorized Agent/Date



LINCOLN FETTER • DAVID BUCHECK • DONALD SCHEEL • DALE BORASH • RAY LUCKSINGER

VALLEY BRANCH WATERSHED DISTRICT • P.O. BOX 838 • LAKE ELMO, MINNESOTA 55042-0538

www.vbwd.org

August 25, 2014



Brian McGoldrick
Hammes West, LLC
36 Moonlight Bay
Stillwater, MN 55082

**Re: Hammes Property: Lake Elmo, Minnesota
VBWD Permit #2014-07**

Dear Mr. McGoldrick:

Enclosed is the Valley Branch Watershed District (VBWD) permit for your project. Please note the following conditions imposed by the Managers, which are also listed on the back of the permit.

1. This permit is not valid until the permit applicant submits documentation from the owner of the Savona development that he/she will allow an increase in the peak discharge rate from the Hammes site.
2. This permit is not valid until a maintenance agreement in the general format of Appendix B of the VBWD Rules is submitted to and approved by the VBWD Attorney and fully executed.
3. This permit does not allow any impervious surface (other than the outlet pipe and riprap of Pond 5) to be constructed within 25 feet of Elevation 924.4 of Goose Lake. This permit does not allow for the construction of the proposed parking lot and structure at the southeast corner of Goose Lake. The proposed boardwalk must conform to all applicable standards.
4. Wetland buffer signage must be installed as required by the VBWD Rules and Regulations. Specifications for the proposed signs shall be submitted and approved by the VBWD prior to installation.
5. Plans must be revised to include daintile around the perimeters of the proposed homes on Lots 1-3 of Block 9. This permit does not allow any homes to be constructed on Block 8. To ensure any homes constructed on Block 8 are protected from groundwater, at least 3 soil borings down to Elevation 924 must be constructed between Wetland F and the proposed building pads. Soil boring logs that include the Unified Soil Classification and any encountered water levels must be submitted.
6. The required fee and surety shall be submitted prior to construction. This permit is not valid until the permit fee and surety are submitted.



DAVID BUCHECK • LINCOLN FETCHER • DALE BORASH • JILL LUCAS • EDWARD MARCHAN

VALLEY BRANCH WATERSHED DISTRICT • P.O. BOX 838 • LAKE ELMO, MINNESOTA 55042-0538

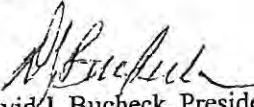
www.vbwd.org

7. Prior to any construction, a construction sequencing plan shall be submitted, approved, and followed. The construction sequencing plan shall ensure that the project conforms to all VBWD Rules and Regulations throughout construction.
8. This permit is not transferable.
9. This permit is subject to obtaining all other permits required by governmental agencies having jurisdiction (including a NPDES permit).
10. The VBWD Engineer and Inspector shall be notified at least 3 days prior to commencement of work.
11. Erosion controls shall be installed prior to the commencement of grading operations and must be maintained throughout the construction period until turf is established. Additional erosion controls may be required, as directed by the VBWD Inspector or VBWD Engineer.
12. The following additional erosion controls shall be implemented on the site:
 - a. All proposed slopes 3 feet horizontal to 1 foot vertical (3H:1V) should be covered with erosion-control blanket.
 - b. Silt fence should follow existing contours as closely as feasible to limit the potential for gully erosion along the edges.
 - c. Any sediment that collects in storm sewers, ponds, or other water management features shall be removed.
 - d. If erosion occurs at the outlets of the storm sewer pipes, the applicant will be responsible for correcting the problem to the satisfaction of the VBWD.
13. To prevent soil compaction, the proposed infiltration area shall be staked off and marked during construction to prevent heavy equipment and traffic from traveling over it. If the infiltration facility is in place during construction activities, sediment and runoff shall be kept away from the facility, using practices such as diversion berms and vegetation around the facility's perimeter. The infiltration facility shall not be excavated to final grade until the contributing drainage area has been constructed and fully stabilized. The final phase of excavation shall remove all accumulated sediment and be done by light, tracked equipment to avoid compaction of the basin floor. To provide a well-aerated, highly porous surface, the soils of the basin floor shall be loosened to a depth of at least 24 inches to a maximum compaction of 85% standard proctor density prior to planting.
14. All disturbed areas shall be vegetated within 14 days of final grading.
15. The applicant is responsible for removal of all temporary erosion-control measures, including silt fence, upon establishment of permanent vegetation at the project site, as determined by the VBWD Engineer and/or Inspector.
16. Valley Branch Watershed District shall be granted drainage easements, which cover: (a) land adjacent to stormwater management facilities, wetlands, and lowlands up to their 100-year flood elevations and (b) all ditches, storm sewers, and maintenance access to the stormwater management facilities.

17. The minimum floor elevations for all buildable lots in the development shall be recorded in a Declaration of Covenants and Restrictions or on the final plat.
18. The required drainage easements and access easements shall be recorded with the Washington County Recorder's Office.
19. Return or allowed expiration of any remaining surety and permit close out is dependent on the permit holder providing proof that all required documents have been recorded (including but not limited to easements) and providing as-built drawings that show that the project was constructed as approved by the Managers and in conformance with the VBWD rules and regulations.

Thank you for your cooperation with the District's permit program.

Sincerely,



David J. Bucheck, President
Valley Branch Watershed District

DJB/ymh

Enclosure

- c: Ray Marshall, VBWD Attorney
Ray Roemmich, VBWD Inspector
Molly Shodeen, MDNR
Kyle Klatt, City Planning Director—City of Lake Elmo
Jack Griffin, City Engineer, FOCUS Engineering—City of Lake Elmo
Building Inspector—City of Lake Elmo
Ryan Bluhm, Westwood Professional Services—Authorized Agent
Ellie Hammes—Owner
Nathan Campbell, Corps of Engineers
Brad Johnson, MDNR
Jed Chesnut, Washington Conservation District
Brooke Haworth MDNR
Ben Meyer, Minnesota Board of Water and Soil Resources
Karen Wold, Barr Engineering Company
Yvonne Huffman, Barr Engineering Company



MINNESOTA DEPARTMENT OF NATURAL RESOURCES

Public Waters Work Permit

Expiration Date: 08/27/2016

Permit Number

2015-0193

Pursuant to Minnesota Statutes, Chapter 103G, and on the basis of statements and information contained in the permit application, letters, maps, and plans submitted by the applicant and other supporting data, all of which are made part hereof by reference, **PERMISSION IS HEREBY GRANTED** to the applicant to perform actions as authorized below.

Project Name: Goose Lake shoreland berm	County: Washington	Watershed: Lower St. Croix River	Resource: Sand/Gravel Pit: Sand/Gravel Pit; Ditch: Ditch; Wetland: Goose (South) (82011302)	
Purpose of Permit: Harbor/Slip/Channel/Ditch Fill		Authorized Action: Place approximately 3,000 cubic yards of clean inorganic fill to create ditch block at the south end of Goose Lake to restore the shoreline to disconnect previously excavated gravel pit section from the lake; in accordance with plans received with the permit application 07-29-2014 and 08-06-2014.		
Permittee: HAMMES WEST LLC CONTACT: HAMMES, MR. 36 MOONLIGHT BAY STILLWATER, MN 55082 (651) 436-8656		Authorized Agents (2): KELLY BOPRAY N7831 920TH STREET RIVER FALLS, WI 54022 (715) 307-4577 kjbopray@yahoo.com JAMES GASPERINI 3121 ST. CROIX TRAIL SOUTH AFTON, MN 55001 (651) 436-8656 alo@aftonlaw.net		
Property Description (land owned or leased or where work will be conducted): UTM zone 15N, 507429m east, 4978468m north (centroid), SENE of Section 34, T29N, R21W				
Authorized Issuer: Molly Shodeen	Title: Area Hydrologist	Issued Date: 08/27/2014	Effective Date: 08/27/2014	Expiration Date: 08/27/2016

This permit is granted **subject** to the following **CONDITIONS**:

APPLICABLE FEDERAL, STATE, OR LOCAL REGULATIONS: The permittee is not released from any rules, regulations, requirements, or standards of any applicable federal, state, or local agencies; including, but not limited to, the U.S. Army Corps of Engineers, Board of Water and Soil Resources, MN Pollution Control Agency, watershed districts, water management organizations, county, city and township zoning.

NOT ASSIGNABLE: This permit is not assignable by the permittee except with the written consent of the Commissioner of Natural Resources.

NO CHANGES: The permittee shall make no changes, without written permission or amendment previously obtained from the Commissioner of Natural Resources, in the dimensions, capacity or location of any items of work authorized hereunder.

CONDITIONS *(Continued from previous page)*

SITE ACCESS: The permittee shall grant access to the site at all reasonable times during and after construction to authorized representatives of the Commissioner of Natural Resources for inspection of the work authorized hereunder.

TERMINATION: This permit may be terminated by the Commissioner of Natural Resources at any time deemed necessary for the conservation of water resources of the state, or in the interest of public health and welfare, or for violation of any of the conditions or applicable laws, unless otherwise provided in the permit.

COMPLETION DATE: Construction work authorized under this permit shall be completed on or before the date specified above. The permittee may request an extension of the time to complete the project by submitting a written request, stating the reason thereof, to the Commissioner of Natural Resources.

WRITTEN CONSENT: In all cases where the permittee by performing the work authorized by this permit shall involve the taking, using, or damaging of any property rights or interests of any other person or persons, or of any publicly owned lands or improvements thereon or interests therein, the permittee, before proceeding, shall obtain the written consent of all persons, agencies, or authorities concerned, and shall acquire all property, rights, and interests needed for the work.

PERMISSIVE ONLY / NO LIABILITY: This permit is permissive only. No liability shall be imposed by the State of Minnesota or any of its officers, agents or employees, officially or personally, on account of the granting hereof or on account of any damage to any person or property resulting from any act or omission of the permittee or any of its agents, employees, or contractors. This permit shall not be construed as estopping or limiting any legal claims or right of action of any person other than the state against the permittee, its agents, employees, or contractors, for any damage or injury resulting from any such act or omission, or as estopping or limiting any legal claim or right of action of the state against the permittee, its agents, employees, or contractors for violation of or failure to comply with the permit or applicable conditions.

EXTENSION OF PUBLIC WATERS: Any extension of the surface of public waters from work authorized by this permit shall become public waters and left open and unobstructed for use by the public.

WETLAND CONSERVATION ACT: Where the work authorized by this permit involves the draining or filling of wetlands not subject to DNR regulations, the permittee shall not initiate any work under this permit until the permittee has obtained official approval from the responsible local government unit as required by the Minnesota Wetland Conservation Act.

CONTRACTOR RESPONSIBILITY: The permittee shall ensure the contractor has received and thoroughly understands all conditions of this permit. Contractors must obtain a signed statement from the property owner stating that permits required for work have been obtained or that a permit is not required, and mail a copy of the statement to the regional DNR Enforcement office where the proposed work is located. The Landowner Statement and Contractor Responsibility Form can be found at: <http://www.bwsr.state.mn.us/wetlands/wca/index.html#general>.

INVASIVE SPECIES - EQUIPMENT DECONTAMINATION: All equipment intended for use at a project site must be free of prohibited invasive species and aquatic plants prior to being transported into or within the state and placed into state waters. All equipment used in designated infested waters, shall be inspected by the Permittee or their authorized agent and adequately decontaminated prior to being transported from the worksite. The DNR is available to train inspectors and/or assist in these inspections. For more information refer to the "Best Practices for Preventing the Spread of Aquatic Invasive Species" at http://files.dnr.state.mn.us/publications/ewr/invasives/ais/best_practices_for_prevention_ais.pdf. Contact your regional Invasive Species Specialist for assistance at www.mndnr.gov/invasives/contacts.html. A list of designated infested waters is available at http://files.dnr.state.mn.us/eco/invasives/infested_waters.pdf. A list of prohibited invasive species is available at www.mndnr.gov/eco/invasives/laws.html#prohibited.

EROSION AND SEDIMENT CONTROL: In all cases, methods that have been determined to be the most effective and practical means of preventing or reducing sediment from leaving the worksite shall be installed in areas that slope to the water and on worksite areas that have the potential for direct discharge due to pumping or draining of areas from within the worksite (e.g., coffer dams, temporary ponds, stormwater inlets). These methods, such as mulches, erosion control blankets, temporary coverings, silt fence, silt curtains or barriers, vegetation preservation, redundant methods, isolation of flow, or other engineering practices, shall be installed concurrently or within 24 hours after the start of the project, and will be maintained for the duration of the project in order to prevent sediment from leaving the worksite. DNR requirements may be waived in writing by the authorized DNR staff based on site conditions, expected weather conditions, or project completion timelines.

FISHERY PROTECTION - EXCLUSION DATES: No activity affecting the bed of the protected water may be conducted between March 15 and June 30, to minimize impacts on fish spawning and migration. If work during this time is essential,

CONDITIONS *(Continued from previous page)*

it shall be done only upon written approval of the Area Fisheries Manager. See contact list at: http://files.dnr.state.mn.us/fisheries/management/dnr_fisheries_managers.pdf. Should work begin elsewhere in the project area within these dates, all exposed soils that are within 200 feet of Public Waters and drain to those waters must complete erosion control measures within 24 hours of its disturbance to prevent sediment from entering Public Waters.

MAINTENANCE: Maintenance of this project to originally authorized conditions may be authorized by amendment to this permit.

MONITORING: The filled area shall be monitored for invasive species for a period of 5 years while the native vegetation is established. Planted area shall be monitored for species survival and replanted as necessary to maintain a robust planting.

FLOATING SILT CURTAIN: A floating silt curtain shall be placed in Goose Lake and maintained until the berm is stabilized with appropriate native vegetation.

cc: Scott Arntzen, Conservation Officers, Forest Lake
Jed Chesnut, SWCD
Brooke Haworth, DNR Regional Environmental Assessment Ecologist, Region 3
Tim Marion, DNR Wildlife, North Metro
TJ DeBates, DNR Fisheries, East Metro Area
Michael Welling, County, Washington
John Hanson, Watershed District, VALLEY BRANCH WD
Tom Hingsberger, Corps of Engineers, Washington
Jay Riggs, SWCD, Washington Conservation District
Dean Zuleger, City, Lake Elmo

MINUTES

City of Lake Elmo Park Commission Monday, July 21, 2014

Members Present: Hartley, Nelson, Ames, Weis, Zeno, Silvernale, Hietpas (6:34 pm)

Members Absent: Steele, Frick

Others Present: Planning Commissioner Larson, Taxpayer Relations & Communications Coordinator MacLeod, PWS Bouthilet, Park Maintainer Colemer, Councilmember Reeves, City Administrator Zuleger, Planning Intern Catherine Riley

The meeting was called to order by Chair Weis at 6:30 PM.

Approval of Agenda

Ames asked to add an item after VI.c - Sunfish Lake Park task force to discuss maintenance and entrance issues in park areas 2 & 3.

M/S/P: Hartley/Ames: Approved as amended 6-0

Approval of June 16, 2014 Minutes

Ames asked to change the word "toilet" to "toilets" on page three under item b.

M/S/P: Ames/Hartley: Approved as amended 6-0

Presentations

a. 2014 Trail Audit - Riley

Riley presented a trail audit packet that she has worked on. The plan discussed benefits of trails in a community, and emphasized the importance that the city trail system tie into regional trail systems. The audit was conducted on existing and future trails and detailed quality and material of the trails, rated on the PASER system.

Ames stated that he thought Riley did a great job, and felt it was a helpful update and provides insight that hadn't been addressed before. Ames asked if it would be appropriate to consider the trail system within the park reserve. Riley responded that there would likely be a lot of red tape to navigate around, but thought that it would be worth opening up that discussion. Ames referenced the existing trail system and felt that it was not an actual system, but more a series of groupings. He expressed that they need to be mindful going forward to make sure that they trails are connecting. Ames suggested that incoming developers are told up front about the philosophy to connect trails outside for each neighborhood.

Zuleger commented that the new 5th Street plan would include a connecting trail and felt that the key was to continue to work on the Lake Elmo Regional trail system.

Ames thought it might be worth approaching HOAs to see if they would like the City to take over maintenance of their private trails, as there is a high cost to maintain them. Riley responded that the planning department has approached HOAs about trail ownership and have received a mixed response, some negative. Zuleger stated that if the city were to take over maintenance on the trails, it is assumed that they would become public trails, and some HOAs are against that; would like to keep their trails private

Zeno added that he didn't think acquisition of HOA trails needed to be an all or nothing thing. That some of the HOA trails wouldn't necessarily contribute to the regional trail plan. Zeno also commented that if HOAs refused to make their trails public he advises that the City would build the trail system around those neighborhoods.

a. Park Sign Update (MacLeod)

MacLeod shared that two signs were finished (Reid and Pebble) and picked up earlier that day. The rest of the signs are anticipated to be completed by the first week of August, with Sunfish Lake Park being the next in line for completion. An amenity panel for one of the signs was in the council chambers for the commission to view.

b. LERT Update (Weis)

Weis stated that city planner Johnson has continued to talk to Washington County and that they are working on the west side access plan. Zuleger added that the LERT is currently on hold but the city has been talking with the county about being incorporated into the master plan to be considered by the Met Council. Zuleger added that Met Council Park and Open Space Chair, former Mayor Johnston, recently dropped off a copy of the master plan, which has been serving as a guide for next steps.

Hietpas referenced the search corridor and stated that the LERT was not currently part of that plan. She commented that regionally, there are a lot of trails going on in other areas, but hardly anything in Washington County and she would like to see more priority placed on Lake Elmo trails at a county level. Weis commented on other communities coming forward and that trail plan requests are becoming more prevalent in the county.

Ames asked what the next steps are. Zuleger responded that the city has been requesting that the search corridor be included as a key corridor in the county's trail plan between Oakdale and Stillwater, connecting to a regional park. The City is continuing to have conversations with the county about the best way to access the Lake Elmo Park Reserve. Weis has offered to present the LERT presentation to the County to keep the ball rolling. He emphasized that it is important to get included in the plan because it will open up a lot of funding opportunities.

c. Hammes Park Space (Zuleger)

Zuleger stated that there was an item not on the agenda that needed to be addressed: The Hammes subdivision park space. To recap, Zuleger shared that per previous discussion and in response to the commission's request, the Hammes developers had placed the park in the northwest corner of the development near Keats Avenue and Goose Lake. The proposed park space includes a fishing pier, shelter, grill, parking lot and is also where the lift station is located. Currently the plan does not include a play structure, which was initially requested by the park commission as a condition of approval. The Hammes developers are seeking input from the commission as to what type of play structure to include, and if they could receive credit for parkland dedication if the structure was included. Zuleger continued to point out additional green/meeting spaces within the development and the 100' buffer perimeter per the comp plan (including a trail).

Ames thought he remembered a small park internally in the neighborhood that would have a play structure. He is not sure that a play structure near a 55 mph roadway is a good place for a play structure. Ames also questioned where neighborhood children would play, as lot sizes looked small to consider private play sets.

Zuleger pointed out that the Lake Elmo Park Reserve was located a mile north of the development, with a phenomenal play set. Ames stated that he didn't feel current playgrounds were within reasonable walking distance for residents. Hietpas shared that she didn't feel that the green spaces included throughout the development were large enough for community meeting spaces.

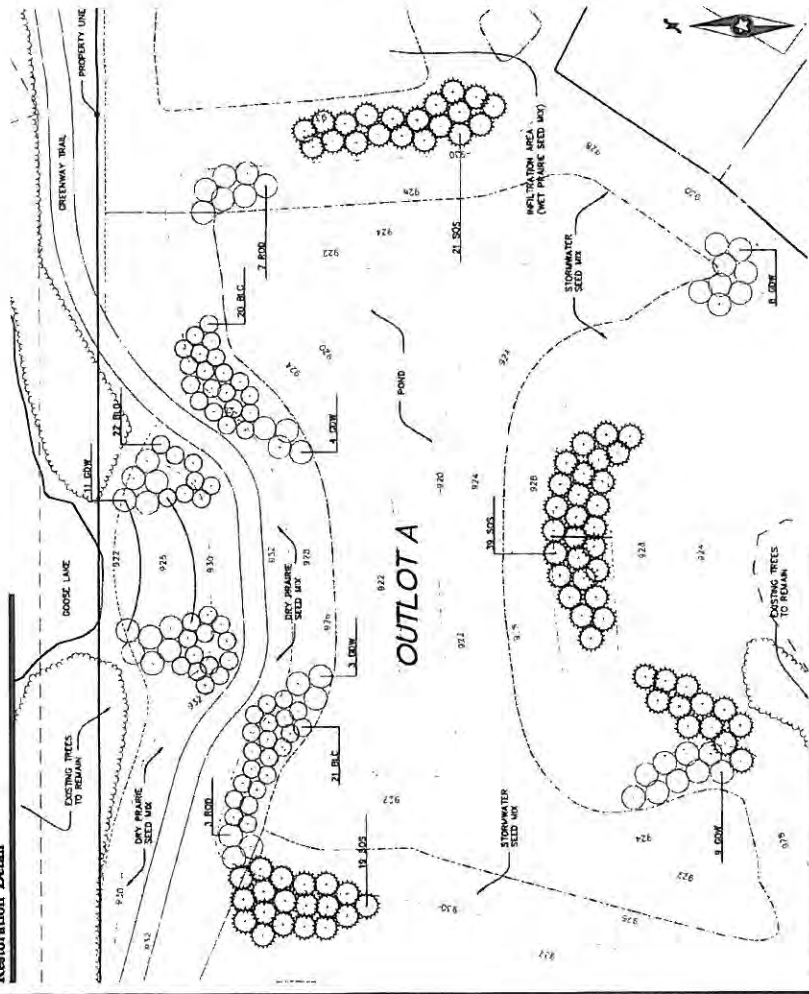
Zuleger pointed out the location of neighboring parks in Stonegate and Lennar neighborhoods.

The commission requested that a location central in the neighborhood be considered for play structure placement. Zuleger said that he would forward their comments to the developers.

Meeting adjourned at 9:54 PM

Respectfully Submitted,
Alyssa MacLeod, Recording Secretary

Restoration Detail

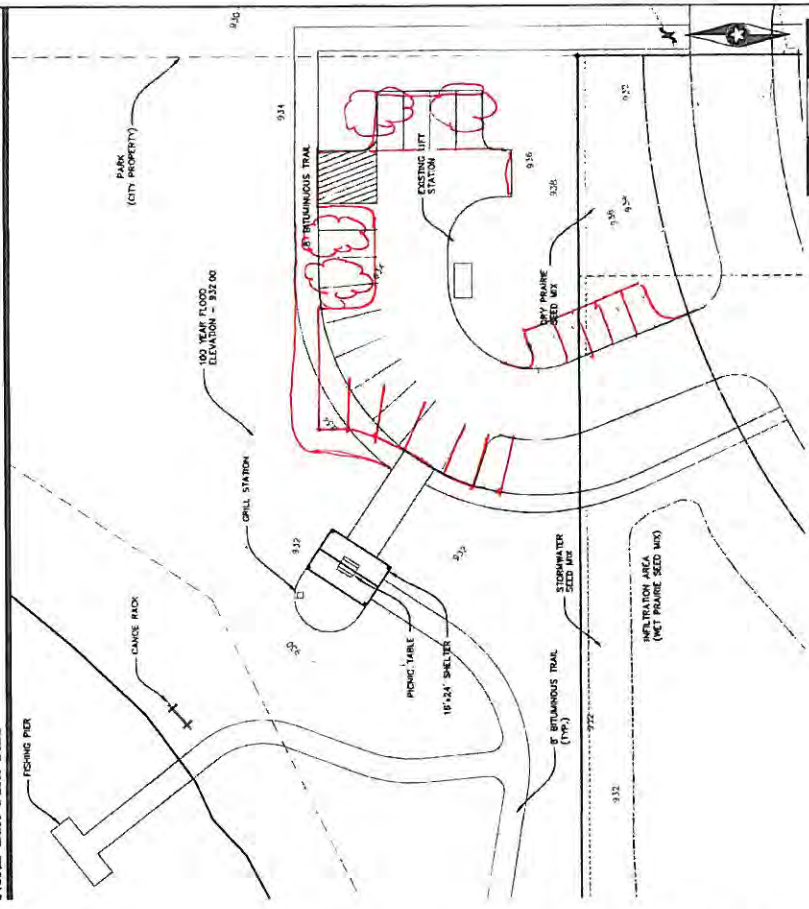


Restoration Detail Final Plant Schedule

CODE	QTY	COMMON/SCIENTIFIC NAME	SIZE	SPACING O.C.
001	10	Grass Seed / Prairie Mix	1" DIA	1' x 1' O.C.
002	10	Grass Seed / Prairie Mix	1" DIA	1' x 1' O.C.
003	10	Grass Seed / Prairie Mix	1" DIA	1' x 1' O.C.
004	10	Grass Seed / Prairie Mix	1" DIA	1' x 1' O.C.
005	10	Grass Seed / Prairie Mix	1" DIA	1' x 1' O.C.
006	10	Grass Seed / Prairie Mix	1" DIA	1' x 1' O.C.
007	10	Grass Seed / Prairie Mix	1" DIA	1' x 1' O.C.
008	10	Grass Seed / Prairie Mix	1" DIA	1' x 1' O.C.
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014	10	Grass Seed / Prairie Mix	1" DIA	1' x 1' O.C.
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017	10	Grass Seed / Prairie Mix	1" DIA	1' x 1' O.C.
018	10	Grass Seed / Prairie Mix	1" DIA	1' x 1' O.C.
019	10	Grass Seed / Prairie Mix	1" DIA	1' x 1' O.C.
020	10	Grass Seed / Prairie Mix	1" DIA	1' x 1' O.C.

NOTES: * QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY

North East Park Plan



Restoration Detail Final Plant Schedule

CODE	QTY	COMMON/SCIENTIFIC NAME	SIZE	SPACING O.C.
001	10	Grass Seed / Prairie Mix	1" DIA	1' x 1' O.C.
002	10	Grass Seed / Prairie Mix	1" DIA	1' x 1' O.C.
003	10	Grass Seed / Prairie Mix	1" DIA	1' x 1' O.C.
004	10	Grass Seed / Prairie Mix	1" DIA	1' x 1' O.C.
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006	10	Grass Seed / Prairie Mix	1" DIA	1' x 1' O.C.
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NOTES: * QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY

Call 48 Hours before digging
811 or call(811.com)
Common Ground Alliance

Date: 09/17/14 Sheet 3 of 4
1029941031-4

Hammes Property
Lake Elmo, Minnesota

Ryland Homes
7999 Augsburg Drive
Minneapolis, Minnesota 55414

Final Landscape Details

Prepared for: _____
 Checked by: _____
 Drawn by: _____
 Date: 09/17/14
 Scale: 1" = 20'

Westwood
Professional Services, Inc.
10000 Hennepin Avenue, Suite 100
Minneapolis, MN 55414
Phone: (612) 921-1111
Fax: (612) 921-1112
www.westwoodps.com

**Hammes Estates Development
Located West Of Keats Avenue North
Lake Elmo, Minnesota 55042
Element Materials Technology St. Paul Inc. Project No. ESP015780P**

FIELD OBSERVATION

On 5/6/14 approximately 90 yds³ of soil was excavated below a former wash conveyor line located at Latitude = 44° 57.501', Longitude = -90° 54.348', Elevation 938'. The recent discovery of petroleum impacted soil was promptly reported to the Minnesota Duty Officer under Duty Officer report #141426. Consistent with the standards and practices set forth by the MPCA, the soil was excavated then placed under and atop non-permeable polypropylene sheeting pending offsite landfill approval. Additional soil was then incorporated from another recent onsite contractor diesel fuel spill located at UTM coordinates 507425.87 meters easting, 4978168.15 meters northing. Both of these removal excavations were administered under the direction of an environmental professional using a Photoionization Detector (PID) to screen the soils. Whereas the areas were excavated until the native soil background levels in the base & sidewalls were free of any detectible PID levels. These recent spill episodes were excavated from the site in a timely manner such that no measureable levels of contamination remain onsite under and around these spill areas. Confirmation lab work of the stockpiled soil was then collected prior to the permitting of said soil for proper offsite disposal. On 8/6/14 & 8/7/14, 161 yds³ of petroleum soil was transported to the SKB landfill in Rosemount, MN for proper disposal.

CONCLUSIONS AND RECOMMENDATIONS

The recent onsite cleanup measures were successful in the **complete excavation** of petroleum impacted soils. In-so far as the base and sidewalls under the "knee deep" excavations exhibited no detectible levels of petroleum vapors.

The earthwork contractor was hereby advised to fuel their equipment over areas equipped with a non-permeable poly "spill shield" or similar containment as to eliminate the risk of adverse environmental impacts to the soils. Our frequent onsite inspections have not seen any repeated spillages at the site.

At the time of this field observation, no additional investigation or cleanup measures have been required in association with this recent reported spill. Since both of the "post excavation" base and sidewall test samples were below the 10 parts per million PID values set forth by MPCA guidance 3-01, no additional investigation or cleanup measures is anticipated or required.

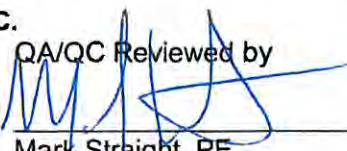
STANDARD OF CARE

Services performed for this project have been conducted in a manner consistent with the level of care and skill ordinarily exercised by members of the profession currently practicing in this area under similar budget and time constraints. No warranties, expressed or implied, are made. The material contained in this report is to be considered confidential. Distribution, sale or publication of this report or any part thereof without the expressed written consent of Element Materials Technology St. Paul, Inc. is prohibited. Additional copies of this report and their associated reliance letters may be obtained by contacting Element Materials Technology St. Paul Inc.

ELEMENT MATERIALS TECHNOLOGY ST. PAUL INC.

Report Prepared By:

QA/QC Reviewed by



Mark Straight, PE
Senior Project Engineer
MN Reg. No. 41658

9/17/2014
Date

Mike Malinowski, CES
Certified Environmental Specialist

