



STAFF REPORT

DATE: 5/2/2017
REGULAR
ITEM #: 9
MOTION

TO: City Council
FROM: Emily Becker, City Planner
AGENDA ITEM: Easton Village 2nd Addition Final Plat
REVIEWED BY: Stephen Wensman, Planning Director

BACKGROUND:

The City has received a Final Plat application from Chase Development for the 2nd Addition of Easton Village, a 217 unit residential subdivision. The 2nd Addition includes 19 single family lots that are located within 5.2 acres on the eastern portion of the subdivision and extended above the northern boundary of the 1st Addition. Staff and the Planning Commission are recommending approval of the request subject to conditions listed in this report.

ISSUE BEFORE COUNCIL:

The Council should determine if the proposed Final Plat is generally consistent with the approved Preliminary Plat and either approve or deny the Final Plat application.

PROPOSAL DETAILS/ANALYSIS:

Consistency with Preliminary Plat. The proposed Final Plat is generally consistent with the approved Preliminary Plat with the following exceptions:

- **Missing Trail Connection.** The Preliminary Plat was approved with a number of conditions, one of which was that the Applicant provide a trail connection connecting the cul-de-sac bulb to the trail along Village Parkway. The Applicant has proposed removing this trail because of desire for wider lots to accommodate a variety of housing styles and because generally customers who purchase homes on cul-de-sacs do so because of added security and privacy they provide for families.
- **No Parkland.** Because of the missing trail connection outlined above, the 2nd Addition proposes no dedicated parkland, and the Applicant will be required to pay a fee in lieu of parkland dedication. The overall development 9.84 acres of parkland, and the 1st Addition dedicated 3.99 acres. The Developers Agreement will determine the required parkland dedication fee for the 2nd Addition.
- **Increased Number of Lots.** The approved Preliminary Plat designated 18 units in this addition, and the Applicant has proposed to increase this number to 19 units.
 - **Revised Preliminary Plat.** The Applicant has submitted a revised Preliminary Plat that shows that the total number of lots throughout the entire Easton Village development will remain 217 units, leaving the overall density unchanged. It is a recommended condition of approval that the Applicant submit the revised Preliminary Plat and Plans for Staff approval prior to accepting applications for future phases of the development for Final Plat.

- **Landscape Plans.** The Applicant's Landscape Plans are not consistent with the approved Preliminary Landscape Plans and will need to be updated and approved by City Staff before the Final Plat may be recorded.
- **Construction Plans and Permits.** The Applicant will need to update all construction plans according to the City Engineer Review Memo dated April 17, 2017 and obtain approval prior to recording of Final Plat as well as obtain all necessary City and jurisdictional permits.

Planning Commission Review. The Planning Commission reviewed the proposed Easton Village 2nd Addition Final Plat at its April 24, 2017 meeting. The Planning Commission recommended approval of the proposed Final Plat with an affirmative vote of 6-1.

Comments in the affirmative were as follows:

- The removal of the trail is insignificant, as the trail location on the side yards of the two lots reduces privacy, and the trail does not provide connection for a large number of lots.

Dissenting comments were as follows:

- The trail should not be removed, as it provides connectivity and it does not decrease privacy, as the smaller lots and large houses in and of themselves provide little privacy.

Revised Recommended Findings of Fact and Recommended Conditions.

- *Finding of Fact Amended.* Upon its review, Planning Commission making the following amendment to the Findings of Fact outlined in the Staff Report to the Planning Commission dated April 24, 2017:
 - 2) That the proposed Final Plat for Easton Village consists of the creation of 19 single-family detached residential structures- and the elimination of the trail from the cul-de-sac to Village Parkway.
- *Condition Added.* Additionally, Staff recommended that the following condition be added to the conditions outlined in the Staff Report dated April 24, 2017:
 - 10) That the Preliminary Plat and Preliminary Plans be revised and approved by the City prior to accepting applications for future phases of the development for Final Plat.

FISCAL IMPACT:

The Developer Agreement associated with this Addition will further delineate financial impact.

OPTIONS:

The Council may:

- Approve the Easton Village 2nd Addition Final Plat with the recommended conditions of approval.
- Approve the Easton Village 2nd Addition Final Plat with amended conditions of approval.

RECOMMENDATION:

Staff and the Planning Commission recommend that the Council approve the Easton Village 2nd Addition Final Plat with the recommended conditions of approval with the following motion:

“Move to adopt Resolution 2017-040 approving the Easton Village 2nd Addition Final Plat with the 10 recommended conditions of approval.”

ATTACHMENTS:

- Easton Village 2nd Addition Final Plat Item of the 4/24/2017 Planning Commission Meeting Packet
- 4/24/2017 Planning Commission Meeting Minutes pertaining to Easton Village 2nd Addition Final Plat
- Resolution 2014-040



STAFF REPORT

DATE: 4/24/2017

BUSINESS ITEM

ITEM #: 5A CASE # 2017-01

MOTION

TO: Easton Village 2nd Addition Final Plat

FROM: Emily Becker, City Planner

REVIEWED BY: Stephen Wensman, Planning Director
Jack Griffin, City Engineer

BACKGROUND:

The Planning Commission is being asked to consider a Final Plat request from Chase Development for the 2nd Addition of Easton Village, a planned 217 unit residential development. The 2nd Addition includes 19 single family lots that are located within 5.2 acres on the eastern portion of the subdivision and extended above the northern boundary of the 1st Addition. Staff is recommending approval of the request subject to conditions listed in this report.

ISSUE BEFORE COMMISSION:

The Commission is being asked to recommend approval or denial of the Final Plat request for the 2nd Addition of Easton Village based on its consistency with the approved Preliminary Plat.

PROPOSAL DETAILS/ANALYSIS:

General Information.

Applicant: Chase Development, 2140 West County Road 42, Burnsville, MN

Property Owners: Easton Village, LLC (Tom Wolter) 2140 West County Road 42, Burnsville, MN

Location: Section 12 & 13, Township 29 North, Range 21 West in Lake Elmo, north of 30th Street, west of Manning Avenue, and south of the Union Pacific railroad right-of-way. Part of Outlot F, Easton Village, Washington County, Minnesota. PID Number 13.029.21.42.0025.

Request: Application for final plat approval of a 19 unit residential subdivision to be named Easton Village.

Zoning: LDR – Limited Density Residential

Surrounding: North – vacant/agricultural land (RT – Rural Transitional); West – single family home, City park, natural vegetation (PF – Public and Quasi Public Open Space); South – vacant land (LDR – Limited Density Residential); East – Lake Elmo Airport (Baytown Township).

Comp. Plan: Village Urban Low Density Residential (1.5 - 2.49 units per acre)

History: Property was included in Village Planning Area boundary and municipal sewer service area as defined in the 2013 Village Land Use Plan. Site has historically been used for farming activities, including the growing of agricultural crops. Sketch Plan review by Planning Commission on 1/27/14 with Preliminary Plat approval on July 15, 2014. An AUAR for the Village Planning area was approved by the City in May of 2009.

Action Deadline: Application Complete – 3/22/2017
60 Day Deadline – 5/21/2017
Extension Letter Mailed – N/A
120 Day Deadline – N/A

Regulations: Chapter 153 – Subdivision Regulations
Article XII – Urban Residential Districts (LDR)
§150.270 Storm Water, Erosion, and Sediment Control

Consistency with Preliminary Plat.

Previously Revised Preliminary Plat. Prior to the 1st Addition Final Plat approval, the approved Preliminary Plat was revised in December of 2014 to address the following:

- The need to reconfigure the temporary access into the subdivision.
- Revisions to the grading plan.
- Adjustments to the property boundaries adjacent to the gas line that bisects the site.
- The provision of a slightly larger buffer from the railroad tracks.
- Revisions to the storm water management plan.

The 2nd Addition Final Plat application was compared against these revised Preliminary Plans (December, 2014).

Increased Number of Lots. The revised Preliminary Plat did not significantly change the lot configuration or density of the 2nd Addition. However, the number of lots as proposed in the 2nd Addition Final Plat was increased by 1.

- # of lots in area proposed as 2nd Addition in approved and revised Preliminary Plat: 18
- # of lots in proposed 2nd Addition Final Plat: 19

Preliminary Plat Revision #2. Staff has requested that the applicant submit another revised preliminary plat that will show how future phases will offset the density increase proposed for the 2nd and 3rd Additions. Application for Easton Village 3rd Addition was submitted with the 2nd Addition final plat, but was deemed incomplete. The 3rd Addition proposes two additional lots than proposed in the December 2014 preliminary plat. The revised preliminary plat is attached.

Decreased Lot Sizes.

The table below shows the lot sizes in the area proposed as 2nd Addition in the December 2014 Preliminary Plat as compared to the proposed 2nd Addition Final Plat:

Lot	Block	Revised Preliminary Plat	Final Plat
1	1	10,043	9,817
2	1	8,450	9,091
3	1	8,450	9,750

4	1	10,187	9,267
5	1	11,923	8,673
6	1	----	10,736
7	1	10,905	8,310
8	1	9,458	10,292
9	1	11,638	9,592
10	1	8,925	8,145
11	1	8,354	8,917
12	11	8,450	9,116
13	1	8,450	8,455
14	1	10,468	11,089
1	2	9,750	8,890
2	2	8,266	8,658
3	2	8,688	8,020
4	2	8,687	9,942
5	2	8,907	10,463

Area of Wetlands and Buffers: None proposed.

Final Area of Dedicated of (Non-Arterial) Right-of-Way: 1.136

Outlots. There are no outlots as part of this plat.

Engineering Comments. Attached is the City Engineer review letter dated April 12, 2017. Summarily, the construction plans will need to be updated according to these comments, and construction may not begin until the Applicant has obtained approval for the Final Construction Plans.

Easements. 2nd Addition plats a portion of Outlot F of Easton Village 1st Addition. This Outlot has three easements recorded against it, a permanent easement for drainage and utility purposes, and a temporary access easement which terminates upon replatting of Outlot F and a temporary construction easement which terminates after a one year warranty period after completion of installing the public and utility and drainageway.

Temporary Cul-de-Sac. The Applicant is proposing a temporary cul-de-sac off of Linden Avenue North. It is a recommended condition of approval that the Applicant provide a temporary road easement over this cul-de-sac.

Parkland.

Missing Trail. The Preliminary Plat was approved on the condition that a trail be constructed between Lots 13 and 14 of Block 3 as shown on the December 2014 Preliminary Plat as presented to the Planning Commission on January 16, 2015. This was a Staff recommended condition based on Sketch Plan review at the City Council. The Sketch Plan included this trail connection. Council had

expressed concerned about the walkability of the neighborhood as a result of the many cul-de-sacs within the neighborhood. According to meeting minutes, the Parks Commission did not make recommendation to add this specific condition but rather was concerned about the walkability of the neighborhood.

In the 2nd Addition application narrative and during meetings with Staff, the applicant has stated that the trail connection shown on the Preliminary Plat has been eliminated because they have found that customers who purchase cul-de-sac lots generally do so because of the added security and privacy they provide for families. Additionally, the Applicant has stated that the elimination of the cul-de-sac would help facilitate the design of wider lots and a mixture of lots to create more variety and options for builders.

The Parks Commission reviewed the 2nd Addition Final Plat at its April 17, 2017 meeting, and they did not see it necessary for this connection to be kept, as it does not provide overall connectivity from the development to the Village or other areas of the City.

The Commission should consider whether or not the trail and outlot can be removed as proposed.

Parkland Dedication. No parks or open space are proposed with the 2nd Addition, however, 3.99 acres of parkland was dedicated with the 1st Addition.

As mentioned above, the revised Preliminary Plat showed a 0.07 acre trail outlot for which the developer would have received dedication credit for in this phase of the development. The approved Developer Agreement of the 1st Addition states that the developer shall be required to dedicate 9.84 acres of land for public park purposes for the entire subdivision, and the 1st Addition provided 3.99 acres of land. The future project phases were to either dedicate the remaining 5.85 acres of park land or cash payment in lieu of dedication. If the removed trail connection is approved, no parkland dedication credit will be given towards this phase, and the developer should be required to pay a parkland dedication fee for the value of 0.52 acres of land for this phase (10% of the acreage of the Final Plat area of 5.2 acres). An assessment has not been done on the value of this land, and this will need to be done prior to approval of the Developer Agreement. The Developer Agreement will outline the determined amount the developer is to pay.

Updated Preliminary Plans. The Applicant has updated Preliminary Plans in order to show how changes made to both 2nd and 3rd Additions since the previously approved Preliminary Plans submitted December of 2014 will work. These Preliminary Plans have been reviewed and approved by the City Engineer.

Village Parkway Extended. The Applicant has shown Village Parkway extended all the way adjacent to 2nd Addition. While access to 2nd Addition will not be provided by Village Parkway, it is city policy that all public improvements that are adjacent to any proposed lots be included in the Plat and constructed as part of the Plat improvements. The main reasoning behind this is so that potential buyers of homes on these lots are aware that a road will be constructed adjacent to their lots.

Landscape Plans. The applicant is proposing 19 trees within the 2nd Addition, which is not consistent with updated Preliminary Landscape Plans.

- The Applicant submitted updated Preliminary Landscape Plans along with application for 1st Addition Final Plat, dated 12/17/2014 in response to comments provided by the City's Landscape Architect in a review letter dated 12/3/2014.
- The Applicant has not shown in the Landscape Plans landscaping along the extension of Village Parkway. The Landscape Plans will need to be updated to include these plantings.

- The Applicant is proposing Scarlet Jewel Maples and Redmond Linden where some Autumn Blaze Maples were proposed on the Preliminary Plan, and tree placement is a bit different than provided in the Preliminary Plan, as shown below for comparison.
- The Landscape Plan does not include utility locations. The Plans will need to be updated to include this.
- The Preliminary Landscape Plan Review letter dated December 2, 2014 required that landscape irrigation plans be provided for all commonly held HOA & City Outlots/ROW areas. While there are no commonly held HOA or City Outlots within the 2nd Addition, the irrigation plans will need to be provided for the ROW area along Village Parkway when this is included in the updated Landscape Plans.
- A Landscape Maintenance Agreement will need to be provided for all City ROW areas.

Street Naming. The proposed street names are consistent with Lake Elmo's Street Naming Policy. While there is a Linden Avenue North in the Sanctuary Development, Easton Village 1st Addition Final Plat was approved with the name of Linden Avenue North, and the Linden Avenue in 2nd Addition is a direct extension of the Linden Avenue of 1st Addition.

Village Parkway. Staff is considering/exploring some changes to the Village Parkway design to allow tree planting between the trail/sidewalk and the street, to eliminate the irrigation requirement, changing the turfgrass sod to salt tolerant sod or no-mow, and potentially modifying the soil requirements to support plant establishment without irrigation.

Final Plat Approval Process. The City's subdivision ordinance establishes the procedure for obtaining final subdivision approval, in which case a final plat may only be reviewed after the City takes action on a preliminary plat. As long as the final plat is consistent with the preliminary approval, it must be approved by the City. Please note that the City's approval of the Easton Village Preliminary Plat did include a series of conditions that must be met by the applicant, which are addressed in the "Review and Analysis" section below. There are no public hearing requirements for a final plat.

In order to provide the Planning Commission with an update concerning the conditions associated with the preliminary plat for Easton Village, Staff has prepared the following:

Preliminary Plat Conditions – With Staff Update Comments (updated information in bold italics):

- 1) Within six months of preliminary plat approval, the applicant shall complete the following: a) the applicant shall provide adequate title evidence satisfactory to the City Attorney; and b) the applicant shall pay all fees associated with the preliminary plat. The above conditions shall be met prior to the City accepting an application for final plat and prior to the commencement of any grading activity on the site. *Comments: a) all title work will need to be submitted and reviewed by the City Attorney before City officials sign the final plat; b) the applicant has submitted an escrow payment with Final Plat application that is being used to cover Staff and consultant expenses related to the City's review.*
- 2) The grading plan shall be updated to include the protective tree fencing necessary to preserve all vegetative areas identified for protection around the 5.15 acre residential parcel to the west of the subdivision. *Comments: The grading plan has been updated accordingly. All disturbed areas*

are shown on the plan, and the applicant will need to replace disturbed trees in accordance with the City's tree replacement schedule.

- 3) The applicant shall work with the City and Washington County to identify and reserve sufficient space for a future trail corridor along the western right-of-way line of Manning Avenue.
Comments: The proposed Manning Avenue right-of-way is consistent with County requirements, as the planned roadway segment includes room for trails on one or both sides of the right-of-way. The County's future plans for Manning Avenue include a trail along the western side of this road.
- 4) The applicant shall submit a landscape plan prepared by landscape architect for review and approval by the City. The landscape plan submittal will include a tree protection and replacement plan consistent with City ordinances. *Comments: The applicant submitted updated Preliminary Landscape Plans dated 12/17/2014 with the application for 1st Addition Final Plat. The 2nd Addition landscape plans are incomplete and will need to be revised for City review and approval.*
- 5) The final plat will incorporate all review comments from the City's landscape architect, including the selection and mix of plantings within storm water basins and infiltration areas. *Comments: Please see above condition.*
- 6) The landscape plan shall include additional plantings around the Northern Natural Gas utility site. *Comments: This condition is not relevant to the 2nd Addition Final Plat as there is no gas easement in this portion of the development.*
- 7) The proposed access to Manning Avenue will be permitted as a temporary access until such time that the Village Parkway is connected to 30th Street. The construction plans will be updated to reflect the temporary nature of this street. *Comments: The applicant asked during the 1st Addition Final Plat that this provision be updated to state that the temporary access will be allowed for a minimum of five years. Staff was supportive of this revision and has updated the proposed conditions the 1st Addition Final Plat approval to reflect the change. This condition is not relevant to the 2nd Addition Final Plat.*
- 8) The applicant shall be responsible for the construction of all improvements within the Manning Avenue (CSAH 15) right-of-way as required by Washington County and further described in the review letter received from the County dated June 24, 2014. *The final construction plans for the 1st Addition were updated to incorporate the required improvements to Manning Avenue. This condition is not relevant to the 2nd Addition final plat.*
- 9) The developer shall follow all of the rules and regulations spelled out in the Wetland Conservation Act, and shall acquire the needed permits from the appropriate watershed districts for the storm water management system prior to the commencement of any grading or development activity on the site. *Comments: Because the Valley Branch Watershed District has not yet completed its review of the revised storm water plans, this condition will need to be addressed before the City will grant final approval of the construction plans. This has been added as a condition of approval of Final Plat.*
- 10) The applicant shall enter into a maintenance agreement with the City that clarifies the individuals or entities responsible for any landscaping installed in areas outside of land dedicated as public

park and open space on the final plat. ***Comment: A Landscape License Agreement was executed for the 1st Addition and another one will be executed after the approval of 2nd Addition.***

- 11) The developer shall provide an updated accounting of the land to be dedicated for park purposes prior to submission of a final plat. If required, the developer shall be required to pay a fee in lieu of park land dedication equivalent to the fair market value for the amount of land that is required to be dedicated for such purposes in the City's Subdivision Ordinance less the amount of land that is accepted for park purposes by the City. Any cash payment in lieu of land dedication shall be paid by the applicant prior to the release of the final plat for recording. ***Comments: The park dedication requirements for the entire Easton Village development is 9.84 acres of land, representing 10% of the development area. During the 1st Addition Final Plat, the applicant provided an accounting of the land to be dedicated for park purposes, stating that the entire development will provide 7.29 acres of public park land. Staff had reviewed these numbers with the 1st Addition Final Plat application and found them to be accurate. However, this number will be amended if Council approves the elimination of the trail/outlot within the 2nd Addition Final Plat. The final agreement with the City concerning either a cash payment for the park land shortfall or future land dedication should be addressed in the developer's agreement for Easton Village 2nd Addition.***
- 12) Any land under which public trails are located will be accepted as park land provided the developer constructs said trails as part of the public improvements for the subdivision. ***Comments: The Applicant has not proposed any trails in this Addition. If it is determined that the trail connection between what is now being proposed as Lot 7 and 8 of Block 1 (referred to in the Preliminary Plat conditions as Lot 13 and 14 of Block 3), this condition will apply.***
- 13) All required modifications to the plans as requested by the City Engineer in a review letter dated June 26, 2014 shall be incorporated into the plans prior to consideration of a final plat. ***Comments. The preliminary plat and plans have been updated to address the City Engineer's review comments. The Engineer has submitted an updated report specific to the final plat, and this review is attached for consideration by the Planning Commission. Most of the comments pertain to final information or revisions necessary to approve the construction plans for the proposed improvements.***
- 14) The City and developer will determine the appropriate distribution of future costs associated with the Village Parkway railroad crossing improvements as part of a developer's agreement for any portion of Easton Village. ***Comments: Staff will be drafting a developer's agreement for consideration by the Council that will incorporate a section dealing with this provision.***
- 15) The developer shall address any comments from Metropolitan Airport Commission as part of a final plat submission for any portion of Easton Village. MAC will be asked to comment on the landscape plan, and the plan shall be revised to address any specific comments concerning the appropriate vegetation to be planted within storm water facilities. ***Comments: MAC has provided a review of the updated plans and provided comments to the developer in a letter dated December 8, 2015. This letter contains recommended mitigation strategies to reduce the attractiveness of the storm water retention and infiltration areas for waterfowl. Other recommendations from MAC have been incorporated into the applicant's landscape plans. Mac's comments are not relevant to the 2nd Addition Final Plat.***

- 16) The landscape plan shall be revised to eliminate all trees planted within the Lake Elmo Airport Regulatory Protection Zone. ***Comments. The Preliminary and 1st Addition landscape plans have been updated accordingly. MAC's comments are not relevant to the 2nd Addition Final Plat.***
- 17) The final plat shall include a paved trail connection between Lots 13 and 14 of Block 3. ***Comments: The Applicant is proposing eliminating this trail connections, for reasons cited herein.***
- 18) The applicant shall submit written acknowledgement from the property owner of the parcel immediately to the south of Easton Village concerning the storm water being outlet running into their property. ***Comments: Since the approval of the preliminary plat, the applicant has met with the watershed district, county, and Gonyea Homes to discuss the proposed storm water management system along Manning Avenue. This condition is not relevant to the 2nd Addition Final Plat.***
- 19) The applicant is encouraged to incorporate elements from the Lake Elmo Theming Study into the open space areas within the subdivision. ***Comments: This was Staff recommendation at the time of Preliminary Plat to encourage the applicant to utilize a white "horse fence" with landscaping in order to address the comments from MAC to provide a barrier around the storm water ponds. This fence was not erected, but instead additional landscaping was installed to provide screening. The applicant's landscape plan for the 1st Addition incorporated elements from the theming study, including the proposed entrance monument sign.***
- 20) The developer shall obtain all required permits from Northern Natural Gas to perform construction work over the gas line that runs from north to south across this site. ***Comments. Northern Natural Gas provided review comments to the developer in August of 2014, and these comments have been incorporated into the updated plans. The developer will need to submit the final construction plans to the gas company for review, and will need to abide by any conditions imposed by Northern Natural Gas. This has been added as a condition of approval. There are no impacts to this easement in the 2nd Addition.***
- 21) The developer shall be required to extend sewer to the northernmost boundary of the site. ***Comments. The Easton Village Trunk Sewer Line project has been completed and has extended sanitary sewer service to the northern boundary of the plat, connecting to the sewer line recently installed by the City of Lake Elmo under the railroad tracks that continues further north (and connects to the 39th Street line also recently installed by the City).***

Staff is recommending certain conditions that been specifically identified as part of the final plat review, and that have not otherwise been addressed by the applicant, be addressed as part of the Planning Commission's recommendation to the City Council. The City Engineer's review letter does identify several issues that need to be addressed by the developer in order for the City to deem the final plans complete. Staff is recommending that City Officials not sign the final plat mylars until the City's construction plan review is finalized and all necessary easements are documented on the final plat.

Based on the above Staff report and analysis, Staff is recommending approval of the final plat with several conditions intended to address the outstanding issues noted above and to further clarify the City's expectations in order for the developer to proceed with the recording of the final plat.

The recommended conditions are as follows:

Recommended Conditions of Approval:

- 1) Final grading, drainage, and erosion control plans, sanitary and storm water management plans, landscape plans, and street and utility construction plans shall be reviewed and approved by the City Engineer and applicable Staff prior to the recording of the Final Plat. All changes and modifications to the plans requested by the City Engineer in the memorandums addressing Easton Village 2nd Addition Final Plat and Easton Village 2nd Addition Construction Plan Review dated April 12, 2017 in the memo shall be incorporated into these documents before they are approved.
- 2) Prior to the execution of the Final Plat by City officials, the Developer shall enter into a Developer's Agreement acceptable to the City Attorney and approved by the City Council that delineates who is responsible for the design, construction, and payment of the required improvements for the Easton Village 2nd Addition Final Plat with financial guarantees therefore.
- 3) All easements as requested by the City Engineer and Public Works Department shall be documented on the Final Plat prior to its execution by City Officials.
- 4) The Applicant shall submit an updated Landscape Plan that is consistent with Preliminary Landscape Plans; shows utility locations; shows irrigation plans; and includes the right-of-way area along Village Parkway. The updated plans will need to be approved by the City's Landscape Architect. A Landscape Maintenance Agreement will need to be provided for all City right-of-way areas.
- 5) Temporary easements for the temporary cul-de-sacs shall be executed and recorded on the City standard easement agreement form.
- 6) The applicant shall provide a disclosure statement to all first homeowners in the development advising of the airport and associated over-flights.
- 7) All builders shall be encouraged to incorporate interior noise reduction measures into single family residential structures within the subdivision based on the Metropolitan Council's Builder Guide.
- 8) The proposed access to Manning Avenue will be permitted as a temporary access until such time that the Village Parkway is connected to 30th Street or 5 years has passed from the date of final plat approval of the 1st Addition (March 23, 2020), whichever is longer. The developer's agreement for Easton Village shall include appropriate financial securities concerning the future cost for removal of the temporary access.
- 9) Approval by the Valley Branch Watershed District is needed for revised stormwater plans.

DRAFT FINDINGS

Staff is recommending that the Planning Commission consider the following findings with regards to the proposed Easton Village 2nd Addition Final Plat:

- 1) That all the requirements of City Code Section 153.07 related to the Final Plan and Final Plat have been met by the Applicant.
- 2) That the proposed Final Plat for Easton Village consists of the creation of 19 single-family detached residential structures.
- 3) That the Easton Village 2nd Addition Final Plat is generally consistent with the Preliminary Plat and Plans as approved by the City of Lake Elmo on July 15, 2014 and as amended to comply with conditions of preliminary plat approval with the exceptions of issues identified in the April 24, 2017 Staff report to the Planning Commission.
- 4) That the Easton Village 2nd Addition Final Plat is consistent with the Lake Elmo Comprehensive Plan and the Future Land Use Map for this area.
- 5) That the Easton Village 2nd Addition Final Plat complies with the City's Urban Low Density Residential zoning district regulations.
- 6) That the Easton Village 2nd Addition Final Plat complies with all other applicable zoning requirements, including the City's landscaping, storm water, sediment and erosion control and other ordinances with the exception of issues identified in the April 24, 2017 Staff report to the Planning Commission.
- 7) That the Easton Village 2nd Addition Final Plat complies with the City's subdivision ordinance.
- 8) That the Easton Village 2nd Addition Final Plat is generally consistent with the City's engineering standards with the exception of necessary plan revisions outlined by the City Engineer in his review comments to the City dated April 12, 2017.

RECCOMENDATION:

Staff recommends that the Planning Commission recommend approval of the 2nd Addition Final Plat for Easton Village with the 9 conditions of approval as listed in the Staff report. Suggested motion:

“Move to recommend approval of the Easton Village 2nd Addition Final Plat with the 9 conditions of approval as drafted by Staff”

ATTACHMENTS:

1. Application Form
 2. City Engineer Review Letters
 3. Updated Preliminary Plans dated 12/17/2014
 4. Easton Village 2nd Addition Final Plat and Plans
 5. Revised Preliminary Plans
-

SUGGESTED ORDER OF BUSINESS:

- IntroductionPlanning Staff
- Report by StaffPlanning Staff
- Questions from the Commission Chair & Commission Members
- Open the Public HearingChair
- Close the Public Hearing.....Chair
- Discussion by the Commission Chair & Commission Members
- Action by the Commission Chair & Commission Members

Date Received: _____
Received By: _____
LU File #: _____



651-747-3900
3800 Laverne Avenue North
Lake Elmo, MN 55042

FINAL PLAT APPLICATION

Applicant: Chase Development
Address: 2140 West County Road 42
Phone #: 952-292-0046
Email Address: Timbercrest@gmail.com

Fee Owner: Easton Village
Address: 2140 West County Road 42
Phone #: 952-292-0046
Email Address: Timbercrest@gmail.com

Property Location (Address): _____
Complete (long) Legal Description: Outlot F Easton Village

PID#: 13 029 21 42 0025

General information of proposed subdivision: _____

In signing this application, I hereby acknowledge that I have read and fully understand the applicable provisions of the Zoning Ordinance and current administrative procedures. I further acknowledge the fee explanation as outlined in the application procedures and hereby agree to pay all statements received from the City pertaining to additional application expense.

Signature of applicant: Tom W Date: 12-27-2016

Fee Owner Signature: Tom W Date: 12-27-2016

EASTON VILLAGE 2ND ADDITION

FINAL PLAT WRITTEN STATEMENTS

January 14, 2017

A) PROJECT CONTACTS:

OWNER:

Tom Wolter
Easton Village, LLC
2140 County Road 42 West
Burnsville, MN 55337
Phone: 952-292-0046
timbercrest@ymail.com

DEVELOPER:

Tom Wolter
Chase Development
2140 County Road 42 West
Burnsville, MN 55337
Phone: 952-292-0046
timbercrest@ymail.com

AUTHORIZED AGENT:

Project Contact/Engineer:

Todd A. Erickson, PE
EricksonCivil
333 North Main Street, Suite 201
Stillwater, MN 55082
Phone: 612-309-3804
todd@tericksonllc.com

Surveyor:

Paul A. Johnson, LS, EricksonCivil

Landscape Architect:

David Chmielewski, LA, EricksonCivil

EASTON VILLAGE 2nd ADDITION
 FINAL PLAT WRITTEN STATEMENTS

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B) SITE DATA:

Address: No current address. 32xx Linden Lane North.

Current Zoning: LDR

Parcel Size: 5.20 Acres, 226,528 Sq. Ft.

PID No.: 13.029.21.42.0025

Current Legal: Part of Outlot F, Easton Village, Washington County, Minnesota. See also Final Plat Dedication Page 1 of 2.

C) FINAL SUBDIVISION AND LOT INFORMATION:

Name of Final Plat: Easton Village 2nd Addition

Table of Proposed Lots:

Lot	Block	Area (Sq. Ft.)	Area (Acre)	Lot Width (1)	Lot Depth (2)
1	1	9,817	0.225	79	130
2	1	9,091	0.209	70	130
3	1	9,750	0.224	75	130
4	1	9,267	0.213	75	120
5	1	8,673	0.199	75	110
6	1	10,736	0.246	65	120
7	1	8,310	0.191	65	115
8	1	10,292	0.236	65	115
9	1	10,254	0.235	65	115
10	1	7,483	0.172	70	115
11	1	8,917	0.205	70	125
12	1	9,116	0.209	70	130
13	1	8,455	0.194	65	130
14	1	11,089	0.255	70	130
1	2	8,701	0.200	65	120
2	2	8,658	0.199	70	120
3	2	7,772	0.178	65	120
4	2	10,190	0.234	70	120
5	2	10,463	0.240	60	120
ROAD RIGHT OF WAY		49,494	1.136		
TOTAL AREA DEVELOPED		226,528	5.200		
(1) Lot width at setback shown on plan					
(2) Average approximate lot length, some lots are irregular in shape (see plan for exact dimensions)					

EASTON VILLAGE 2nd ADDITION
 FINAL PLAT WRITTEN STATEMENTS

Area of Parks and Trails: None proposed.
 Area of Wetlands and Buffers: None on this proposed addition.
 Final Area of Dedicated Right of Way: 1.136 Acres
 Legal Description of All Lots: See Final Plat Graphics, Sheet 2 of 2.
 Easements to be Vacated: Temporary Roadway Easement (Easton Village)

D. EXPLANATION OF ISSUES SINCE PRELIMINARY PLAT:

The lot layout has been revised to adjust to market conditions, allowing for wider lots and a mixture of lots to create more variety and options for builders. This adjustment of lots will not alter the overall density and is not a request to increase or decrease the overall density of the preliminary plat, only a request to adjust lot lines to accommodate some more variety for the overall subdivision.

E. FINAL DENSITY:

Same as presented for Preliminary Plat Documents. Below is a summary of the density calculation of the preliminary plat of Easton Village:

AREA CALCULATION SUMMARY	PARK AREA	7.96
	OPEN SPACE	18.90
	LOT AREA	52.25
	RIGHT OF WAY	19.37
	RUNWAY PROTECTION ZONE	4.77
	STEEP SLOPE AREAS	2.65
	TOTAL PROPERTY AREA	98.47
	TOTAL PROPOSED LOTS	217
	PERCENT OF OPEN SPACE/PARK	27.3%
	GROSS DENSITY	2.20
	NET DENSITY*	2.38

F. INFRASTRUCTURE IMPROVEMENTS:

The proposed storm sewer will be connected to the existing pond constructed with Easton Village. The water main and sanitary sewer will be extended from the constructed water and

EASTON VILLAGE 2nd ADDITION
FINAL PLAT WRITTEN STATEMENTS

Page 4 of 4

sewer of Easton Village. All utilities will be constructed per city standards. The storm water ponding for this addition has been planned for and will be accommodated by the existing constructed pond of Easton Village. Stubs for water and sewer will be installed for future phases of the overall project.

G. CONCERNS OF NEIGHBORING PROPERTIES:

No known issues.

H. CONFLICTS WITH NEARBY LAND USES:

No known issues.

I. JUSTIFICATION RELATING TO BURDEN ON EXISTING INFRASTRUCTURE:

This project is a part of an overall larger project, which density has been planned for with the installation of a trunk sewer and watermain and highway right turn and bypass lane for access, therefore this project will not create any undue burden on the existing infrastructure of the City or surrounding area. In addition to the water and sewer charges the City will get from this project, it will add approximately \$14,000 a year in tax payments to the City of Lake Elmo, with additional tax payments going to the County, School District and Met Council to offset any burden created by this project.

J. PROPOSED LAKESHORE ACCESS:

None Proposed.

K. PROPOSED PARKS AND OPEN SPACE:

None Proposed. Easton Village currently contains a park and open space, dedicated with the first addition of the project. The trail connection originally shown on the preliminary plat has been eliminated on this final plan. For this neighborhood to connect to the trail system, the access is by sidewalk one block south at the Easton Village Park. We have found that customers purchase cul de sacs lots because of the added security and privacy they provide for families, with the feature of one entrance for both pedestrian and vehicular traffic.

L. CONSTRUCTION SCHEDULE:

Construction would be expected to begin as soon as possible in the spring of 2017. Substantial completion of the project would occur in the fall of 2017.

MEMORANDUM

FOCUS ENGINEERING, inc.

Cara Geheren, P.E. 651.300.4261
Jack Griffin, P.E. 651.300.4264
Ryan Stempski, P.E. 651.300.4267
Chad Isakson, P.E. 651.300.4283

Date: April 12, 2017

To: Todd Erickson, P.E., Erickson Civil Site
Cc: Tom Wolter, Chase Development
Jack Griffin, P.E., City Engineer
Stephen Wensman, City Planner
From: Chad Isakson, P.E., Municipal Engineer
Re: Easton Village 2nd Addition
Construction Plan Review

An engineering review has been completed for the Easton Village 2nd Addition Construction Plans consisting of the following documentation prepared by Erickson Civil Site:

- Easton Village Preliminary Plat Revisions dated March 17, 2017.
- Easton Village Preliminary Plat Stormwater Management Revisions dated March 17, 2017.
- Easton Village 2nd Addition Final Plat, not dated.
- Easton Village 2nd Final Plat Narrative dated February 14, 2017.
- Easton Village 2nd Addition Construction Plans dated March 17, 2017.

STATUS/FINDINGS: The following comments have been provided in addition to the Final Plat comment memo to direct plan corrections necessary for final construction plan approval. When submitting revised plans, please provide a point by point response letter that details all changes made to the plans.

FINAL PLAT, GENERAL PLANS & SPECIFICATION REQUIREMENTS:

- Final Construction Plans and Specifications must be prepared in accordance with the City Engineering Design Standards Manual using City details, plan notes and specifications and meeting City Engineering Design Guidelines.
- Specifications for the Easton Village 2nd Addition must be prepared and submitted for the improvements.

GRADING PLAN AND EROSION CONTROL PLANS & STORM WATER MANAGEMENT:

- C2: Label exiting utility type, pipe size and pipe material.
- C2: Label existing street and ROW widths.
- C2: Provide existing inverts of all structures. Some inverts have been provided on the plans, many others have not.
- C3: The first Erosion Control Plan Sheet must have the City Standard Plan Notes for Grading and Erosion Control. Move these plan notes from Sheet C5.
- C3: Keyed notes are incomplete and in some instances are not correct. Please review and revise as needed.
- C3: Add protection around existing storm sewer FES in Outlot E.
- C3/C4: Revise grading note #18 to reference the correct plan sheets.
- C4: Remove proposed 3rd Addition Improvements from the 2nd Addition plans.
- C6: Drainage path from rear yard of Lot 6 to Outlot E contains a critical EOF point between Lots 7-8. The entire drainage path must be emphasized in its design to establish a permanent flow path (established

swale) that cannot be graded in the future. The EOF must be located in the center of the 15 foot easement with gentle grades within the easement area. The grade within Village Parkway must maintain the 4% maximum slope. How does the grade from the right-of-way connect back to the EOF grade?

- C6: A redesign of the grading/storm sewer layout along rear yards of Lots 3-6, Block 1 is required. The storm sewer pipe is too shallow, does not meet the City minimum pipe cover, and the HWL should not be allowed to pond over the pipe as proposed. A beehive structure must be used when located in the open rear yard area.
- C6: The grading plans must be revised to include frequent spot elevations along Lots 2-13, Block 1 as a quality control measure to guide the grading contractor to contain the HWL contours within the easement areas. These spot elevations must be shot and provided as part of the as-built grading plans prior to the release of building permits. Provide minimum of 2 spot elevations per lot.
- C6: Revise the low floor elevation for Lots 9-14 and Lots 1-6, Block 1 to 918.6. The downstream as-built EOF at the south end of Outlot E is 917.53.
- C6: Label the storm water Pond and provide the HWL contours.
- C6: The grading plans must include the driveway locations and grades and building setbacks.
- C6: The grading plans are incomplete along Village Parkway and the west side of Village Parkway. All areas must be graded to provide positive drainage throughout the site, including the temporary grading conditions.
- C6: Add a temporary cul-de-sac per City standard detail at the north end of Village Parkway.
- C6/C7: Revise grading note #7 to reference the correct plan sheets.
- C7: Remove proposed 3rd Addition Improvements from the 2nd Addition plans.
- C8: Add lot setbacks, street names and temporary cul-de-sac at north end of Village Parkway.
- C9-C11: Utility conduit crossing locations must be shown on all plans.
- C9: Revise cul-de-sac geometrics to meet City minimum standards; pavement radius of 45 feet and R/W radius of 60 feet.
- C11: Revise typical section plan note as follows: "See City standard plate 801 for placement of pavement section including drain tile".
- C11: Add plan notes for completion of Village Parkway storm sewer. Show existing storm sewer as existing on the plans. Add plan notes to adjust catch basins, placement of castings, etc.
- C11: Label low points and high points on plan view.
- C11: Remove proposed 3rd Addition Improvements from the 2nd Addition plans.
- C11: remove Keyed Notes #1, #3, and #5. They are not applicable to the 2nd Addition plans.
- C12: Change sewer pipe minimum grade to 0.5% whenever possible.
- C12: Revise water/sewer service stubs to Lots 1 and 14, Block 1 to connect from Linden Court.
- C14: Revise CB-8 to meet minimum 3 feet of pipe cover.
- C14: Redesign storm sewer from FES-5 to east of CB-4 to provide minimum 3 feet of pipe cover.
- C14: Add plan note to protect/restore existing DT and clean outs with utility rework at Lots 4 and 5 Block 2.
- C14: Extend DT a minimum of 100 feet in both directions with clean out at all ends from CB-7, CB-8, CB-2 and CB-3.
- C16-C21: Update details as follows: Replace details 201, 208, and 505 with March 2017 version. Add 313, 315, 507B-E, 514, 807B, 900A, 901, 902 and 903.
- L1: Revise Note to require field locating all trees, not just trees on City property/right-of-way.
- L1: Show utilities on landscape plans to help maintain tree/utility offset.
- Add landscape plan for Village Parkway.
- PLAT: Consider expansion for the easement at rear yard of Lots 7-8, Block 1 to better protect critical EOF.
- Storm sewer design calculations must be submitted. The design calculations must demonstrate that all pipe velocities remain at or below 15 fps and all outfall pipe velocities remain at or below 5 fps.

MEMORANDUM

Cara Geheren, P.E. 651.300.4261
Jack Griffin, P.E. 651.300.4264
Ryan Stempski, P.E. 651.300.4267
Chad Isakson, P.E. 651.300.4283

Date: April 12, 2017

To: Stephen Wensman, City Planner
Cc: Chad Isakson, P.E., Municipal Engineer
From: Jack Griffin, P.E., City Engineer

Re: Easton Village 2nd Addition – Final Plat
Engineering Review Comments

An engineering review has been completed for Easton Village 2nd Addition. Final Plat/Final Construction Plans were received on March 22, 2017. The submittal consisted of the following documentation prepared by Erickson Civil, or as noted:

- Easton Village Preliminary Plat Revisions dated March 17, 2017.
- Easton Village Preliminary Plat Stormwater Management Revisions dated March 17, 2017.
- Easton Village 2nd Addition Final Plat, not dated.
- Easton Village 2nd Final Plat Narrative dated February 14, 2017.
- Easton Village 2nd Addition Construction Plans dated March 17, 2017.

STATUS/FINDINGS: Engineering review comments have been provided in two separate memos; one for Final Plat approval, and one to assist with the completion of the final Construction Plans. Please see the following review comments relating to the Final Plat application.

FINAL PLAT: EASTON VILLAGE 2ND ADDITION

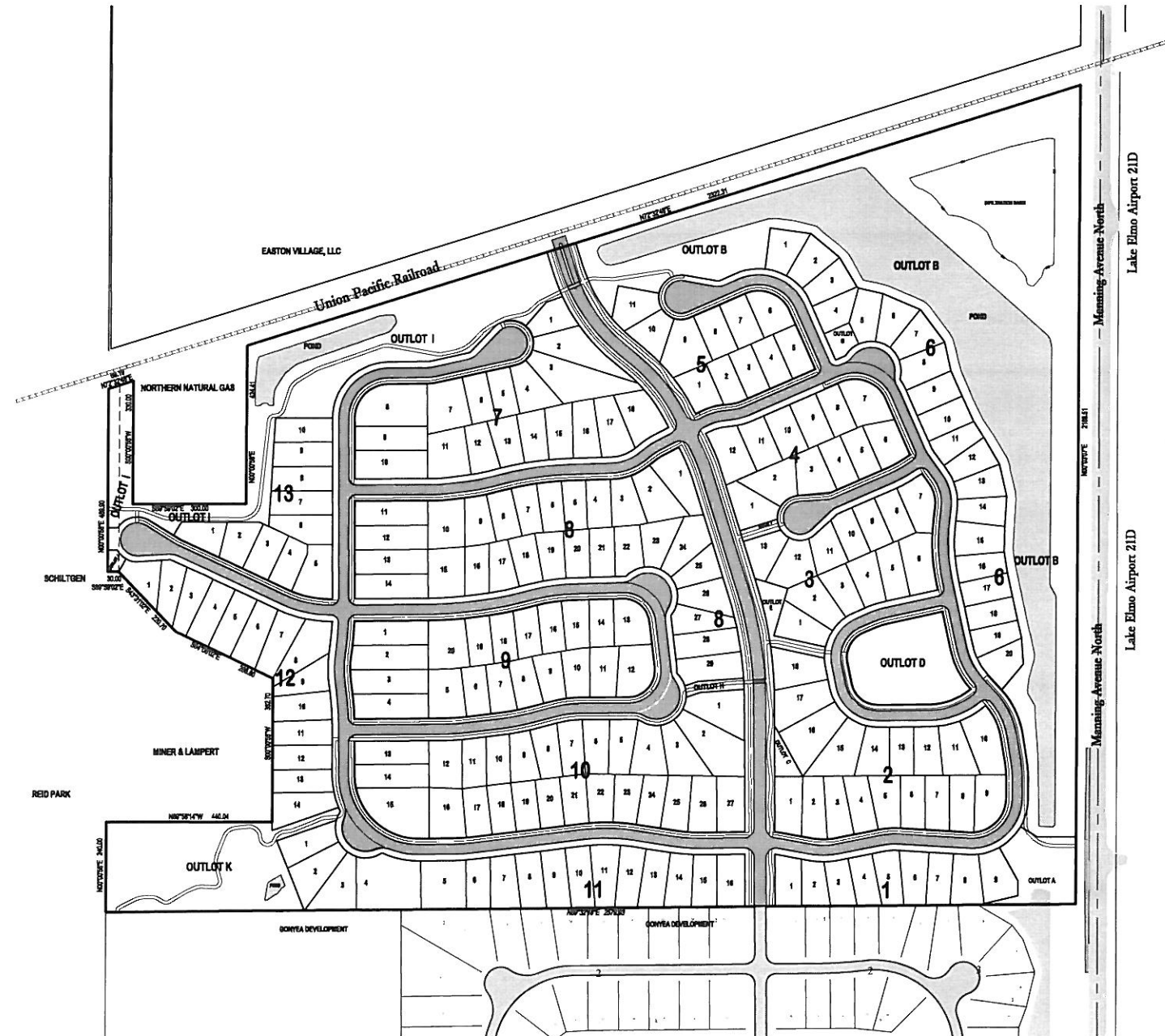
- No construction for Easton Village 2nd Addition may begin until the applicant has received City Engineer approval for the Final Construction Plans; the applicant has obtained and submitted to the City all applicable permits, easements and permissions needed for the project; and a preconstruction meeting has been held by the City’s engineering department.
- The Final Plat shall not be recorded until final construction plan approval is granted.
- Final Construction Plans and Specifications must be revised in accordance with the Construction Plan engineering review memorandum dated April 12, 2017 and approved by the City Engineer. In particular, the grading, storm water management including critical emergency overflow locations, and storm sewer must be revised to meet the City engineering design standards.
- Final Construction Plans and Specifications must be prepared in accordance with the City Engineering Design Standards Manual using City details, plan notes and specifications and meeting City Engineering Design Guidelines.
- All easements as requested by the City Engineer and Public Works department shall be documented on the Final Plat prior to the release of the Final Plat for recording.
- There are no Outlots as part of this Plat to be dedicated to the City.
- Final Plat should be contingent upon the City receiving copies of fully executed temporary easements for the temporary cul-de-sacs using the City standard easement agreement form.

EASTON VILLAGE

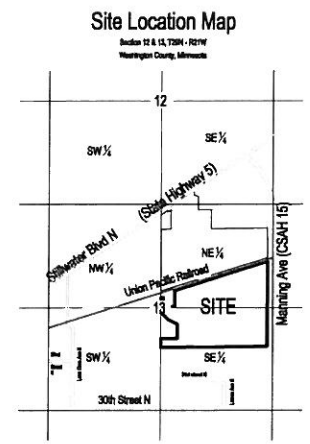
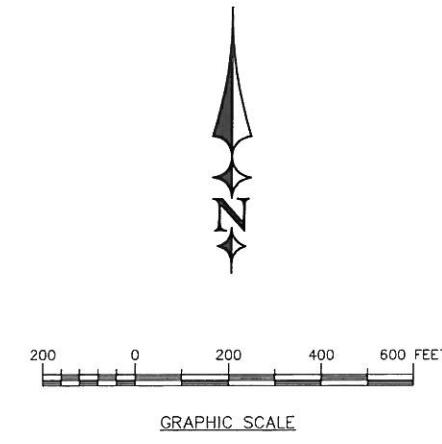
LAKE ELMO, MINNESOTA

PRELIMINARY PLAT

DECEMBER 17, 2014



217 UNIT SINGLE FAMILY RESIDENTIAL SUBDIVISION



PLAN SHEET INDEX:

SHEET NO.	SHEET ID	DESCRIPTION
1	C1	TITLE SHEET
2	C2	EXISTING CONDITIONS
3	C3	EXISTING CONDITIONS
4	C4	EXISTING CONDITIONS
5	C5	OVERALL SITE & AREA CALCULATIONS
6	C6	PRELIMINARY LAYOUT PLAN
7	C7	PRELIMINARY LAYOUT PLAN
8	C8	PRELIMINARY LAYOUT PLAN
9	C9	STREET PLAN
10	C10	STREET PLAN
11	C11	STREET PROFILES
12	C12	STREET PROFILES
13	C13	STREET PROFILES
14	C14	EROSION CONTROL PLAN
15	C15	EROSION CONTROL PLAN
16	C16	EROSION CONTROL PLAN
17	C17	GRADING PLAN
18	C18	GRADING PLAN
19	C19	GRADING PLAN
20	C20	GRADING PLAN
21	C21	GRADING PLAN
22	C22	GRADING PLAN
23	C23	GRADING PLAN
24	C24	UTILITY PLAN
25	C25	UTILITY PLAN
26	C26	UTILITY PLAN
27	C27	UTILITY PLAN
28	C28	UTILITY PLAN
29	C29	UTILITY PLAN
30	C30	DETAILS
31	C31	DETAILS
32	C32	DETAILS
33	C33	DETAILS
1	TS	TREE SURVEY/REPLACEMENT CALCULATION
1	L1	LANDSCAPE TITLE SHEET
2	L2	EAST LANDSCAPE PLAN
3	L3	WEST LANDSCAPE PLAN
4	L4	INFILTRATION BASIN DETAIL
5	L5	ENTRANCE DETAIL
6	L6	LANDSCAPE DETAILS

ERICKSON CIVIL
 333 North Main Street, Suite 201
 Stillwater, Minnesota 55082
 Phone (612) 309-3804
 www.ericksoncivilsite.com

DRAWING PHASE:

OWNER REVIEW
<input checked="" type="checkbox"/> AGENCY REVIEW
BID DOCUMENT
FOR CONSTRUCTION
AS-BUILT DOCUMENT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Todd A. Erickson
 TODD A. ERICKSON, PE
 40418
 LICENSE NO.
 12/17/2014
 DATE

OWNER/DEVELOPER
EASTON VILLAGE, LLC
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

PROJECT TITLE
**EASTON VILLAGE
 PRELIMINARY PLAT
 LAKE ELMO, MINNESOTA**

NO.	REVISION	DESCRIPTION	DATE

JOB NO. 13-114
 DRAWN BY: TAE, JSR
 CHECKED BY: TAE

SHEET TITLE
TITLE SHEET

SHEET NO.
C1
 SHEET 1 of 33

NOTE: ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS OF THE CITY OF LAKE ELMO

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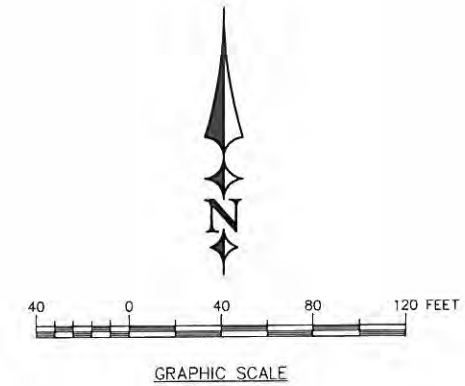
EASTON VILLAGE

LAKE ELMO, MINNESOTA

2ND ADDITION - FINAL PLAN

GRADING, EROSION CONTROL, STREET, STORM SEWER, UTILITY, LANDSCAPE AND PLAT

MARCH 17, 2017



Site Location Map
Section 12 & 13, T20N - R21W
Washington County, Minnesota



PLAN SHEET INDEX:

SHEET NO.	SHEET ID	DESCRIPTION
1 OF 21	C1	TITLE SHEET
2 OF 21	C2	EXISTING CONDITIONS
3 OF 21	C3	EROSION CONTROL & SITE RESTORATION PLAN
4 OF 21	C4	EROSION CONTROL & SITE RESTORATION PLAN
5 OF 21	C5	GRADING STANDARD PLAN NOTES
6 OF 21	C6	GRADING PLAN
7 OF 21	C7	GRADING PLAN
8 OF 21	C8	SITE LAYOUT/ LIGHTING AND SIGNAGE PLAN
9 OF 21	C9	STREET PLAN & PROFILE
10 OF 21	C10	STREET PLAN & PROFILE
11 OF 21	C11	STREET PLAN & PROFILE
12 OF 21	C12	SANITARY SEWER & WATERMAIN PLAN & PROFILE
13 OF 21	C13	SANITARY SEWER & WATERMAIN PLAN & PROFILE
14 OF 21	C14	STORM SEWER PLAN & PROFILE
15 OF 21	C15	DETAILS
16 OF 21	C16	DETAILS
17 OF 21	C17	DETAILS
18 OF 21	C18	DETAILS
19 OF 21	C19	DETAILS
20 OF 21	C20	DETAILS
21 OF 21	C21	DETAILS
1 OF 1	L1	LANDSCAPE PLAN AND DETAILS
1 OF 3		FINAL PLAT DEDICATION
2 OF 3		FINAL PLAT DEDICATION
3 OF 3		FINAL PLAT GRAPHICS

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AGENCY REVIEW	✓
BID DOCUMENT	
FOR CONSTRUCTION	
AS-BUILT DOCUMENT	

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

L. Erickson
LLOYD A. ERICKSON, PE
40418
LICENSE NO.
03/17/2017
DATE

OWNER/DEVELOPER
CHASE DEVELOPMENT
2140 COUNTY ROAD 42 WEST
BURNSVILLE, MN 55337

PROJECT TITLE
EASTON VILLAGE
2ND ADDITION
FINAL PLAN
LAKE ELMO, MINNESOTA

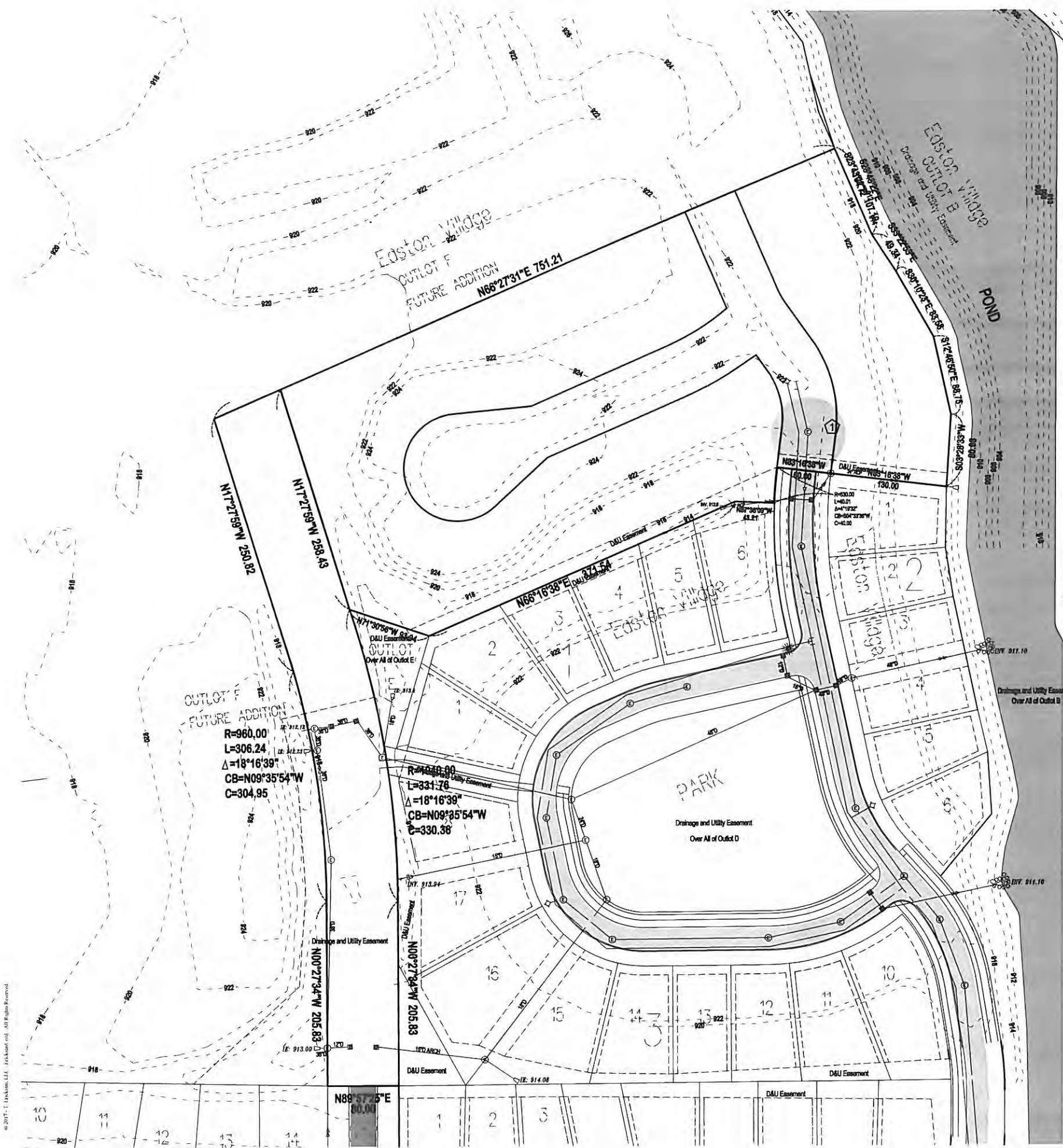
NO.	REVISION DESCRIPTION	DATE

JOB NO. 16-175

SHEET TITLE
TITLE SHEET

SHEET NO.
C1
SHEET 1 OF 21

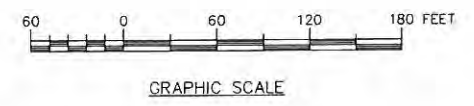
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[Signature]
 TROND A. ERICKSON, PE
 40418
 LICENSE NO.
 03/17/2017
 DATE



Legend

- 2ND ADDITION BOUNDARY
- EXISTING 2-FT CONTOUR
- EXISTING STORM SEWER
- EXISTING WATERMAIN
- EXISTING SANITARY SEWER
- EXISTING BITUMINOUS PAVEMENT

Keyed Notes

- ① EXISTING CUL. DE SAC SHALL BE REMOVE IN ITS ENTIRETY.

OWNER/DEVELOPER
CHASE DEVELOPMENT
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

PROJECT TITLE
**EASTON VILLAGE
 2ND ADDITION
 FINAL PLAN
 LAKE ELMO, MINNESOTA**

NO.	REVISION DESCRIPTION	DATE

WORK NO. 16-175
 SHEET TITLE
EXISTING CONDITIONS
 SHEET NO.
C2
 SHEET 2 OF 21

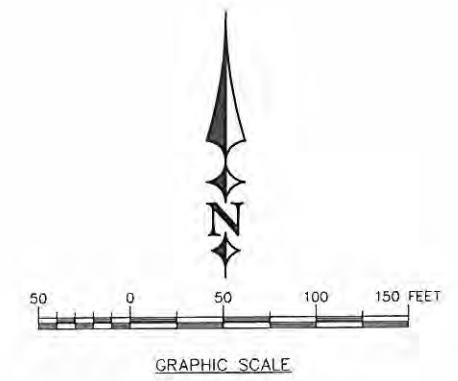
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GRADING AND EROSION CONTROL NOTES:

- 1) SPOT ELEVATIONS ARE ALL GUTTER LINE OR FINISHED ELEVATION UNLESS NOTED OTHERWISE.
- 2) ELEVATIONS/CONTOURS SHOWN AS FINISHED GRADE ELEVATIONS.
- 3) REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
- 4) DO NOT SPREAD TOPSOIL WHILE IT IS FROZEN OR MUDDY OR WHEN THE SUBGRADE IS WET OR FROZEN. CORRECT ANY IRREGULARITIES IN THE SURFACE THAT RESULT FROM TOPSOIL SPREADING OR OTHER OPERATIONS TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS, BERMING OR DOUBLE LAYERING OR BIO LOG MAY BE REQUIRED TO CONTAIN RUNOFF IF SILT FENCING CANNOT BE INSTALLED PROPERLY DURING FROZEN CONDITIONS.
- 5) CONTRACTOR SHALL SCHEDULE SOILS TESTING FOR EACH STRUCTURAL FILL AREA, PAD AND STREET AREA.
- 6) PRIOR TO ROUGH GRADING, INSTALL FIBER ROLLS AND SILT FENCE IN LOCATIONS SHOWN OR AS DIRECTED BY THE ENGINEER OR CITY STAFF.
- 7) AS EACH AREA OUTSIDE OF THE STREET IS GRADED, PROVIDE 6" OF NATIVE TOPSOIL, SEED AND MULCH ANCHORED WITH A STRAIGHT DISC WITHIN 48 HOURS OF FINE GRADING.
- 8) SLOPES 3:1 AND GREATER SHALL BE STABILIZED WITH FIBER BLANKET.
- 9) MAINTAIN AND REPAIR FIBER ROLL AND SILT FENCE (INCLUDING REMOVAL OF ACCUMULATED SILT WITHIN 24 HOURS UPON DETECTION OR NOTIFICATION) UNTIL VEGETATION IS 70% ESTABLISHED.
- 10) CONTRACTOR TO INSPECT AND DOCUMENT EROSION CONTROL A MINIMUM OF ONCE EVERY SEVEN DAYS AND WITHIN 24 HOURS OF ANY RAIN EVENT GREATER THAN 1/2 INCH IN 24 HOURS AND WITHIN SEVEN DAYS AFTER THAT EVENT.
- 11) BIO LOG AND SILT FENCE FOUND DAMAGED MUST BE REPAIRED OR REPLACED WITHIN 24 HOURS UPON DISCOVERY. REMOVAL OF FIBER ROLL AND SILT FENCE REQUIRED AFTER SITE IS STABILIZED (AT DIRECTION OF ENGINEER).
- 12) ALL PUBLIC STREETS SHALL BE KEPT FREE OF SEDIMENT AND DEBRIS. ANY SEDIMENT OR DEBRIS DETECTED MUST BE REMOVED WITHIN 24 HOURS OR AS DIRECTED BY CITY.
- 13) ALL EXPOSED SOIL SHALL BE STABILIZED AS SOON AS POSSIBLE, BUT NO LATER THAN 14 DAYS AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED.
- 14) ALL PROPOSED AND EXISTING CATCH BASINS WITHIN PROJECT AREA SHALL BE PROVIDED INLET PROTECTION. REGULAR CLEANING OF PROTECTION SHALL OCCUR AND SHALL BE INCLUDED IN THE UNIT PRICE OF INLET PROTECTION.
- 15) ANY DEBRIS FOUND OR UNEARTHED ON THE SITE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR DISPOSAL AND PAID FOR AT THE UNIT PRICE PER CU. YD. OF DEBRIS REMOVAL.
- 16) ON-SITE BURY OF TREES SHALL BE STRICTLY PROHIBITED. TREES MAY BE BURNED WITH PROPER PERMITTING AND APPROVAL FROM CITY.
- 17) ALL PIPE OUTFALLS SHALL BE PROTECTED WITH RIPRAP PER CITY DETAIL.
- 18) ALL CITY STANDARD NOTES AS FOUND ON SHEETS C2 & C3 SHALL BE FOLLOWED.

KEYED NOTES

- | | | | | | |
|---|------------------------------------|---|---|---|--|
| 1 | INSTALL SILT FENCE | 4 | INSTALL INLET PROTECTION | 7 | SILT FENCING TO REMAIN AND BE MAINTAINED DURING PROJECT. |
| 2 | INSTALL ROCK CONSTRUCTION ENTRANCE | 5 | INSTALL EROSION CONTROL BLANKET TYPE CAT. 2 WOOD FIBER | | |
| 3 | INSTALL MNDOT SPEC. #9 BIO LOG | 6 | AREA SHALL BE UNCOMPACTED WITH HARROW OR OTHER MEANS TO LOOSEN SOIL AND ALLOW FOR INFILTRATION. POND BENCH ABOVE NORMAL AND AS SHOWN. | | |



LEGEND

- 2ND ADDITION BOUNDARY
- EXISTING 2-FT CONTOUR INTERVAL
- PROPOSED 2-FT CONTOUR INTERVAL
- PROPOSED STORM SEWER (SIZE INDICATED ON PLANS)
- SILT FENCE
- INSTALL DITCH CHECK (MNDOT SPEC. #9 BIO LOG)
- ROCK CONSTRUCTION ENTRANCE
- EROSION CONTROL BLANKET (CAT. 2, WOOD FIBER) (CAT. 4 IN BOTTOM OF SWALES)

SEEDING 1) LOTS AND OPEN SPACE, LOW GROW FESCUE @ 220 LBS./ACRE
TOPSOIL 6" MINIMUM DEPTH, MEETING MNDOT SPEC. FOR TOPSOIL BORROW

NOTE: ALL SEED SHALL BE DRILLED AND NOT SPREAD.

ALL SEEDING SHALL BE COVERED WITH WEED FREE MNDOT TYPE 3 MULCH APPLIED @ 2 TONS PER ACRE.

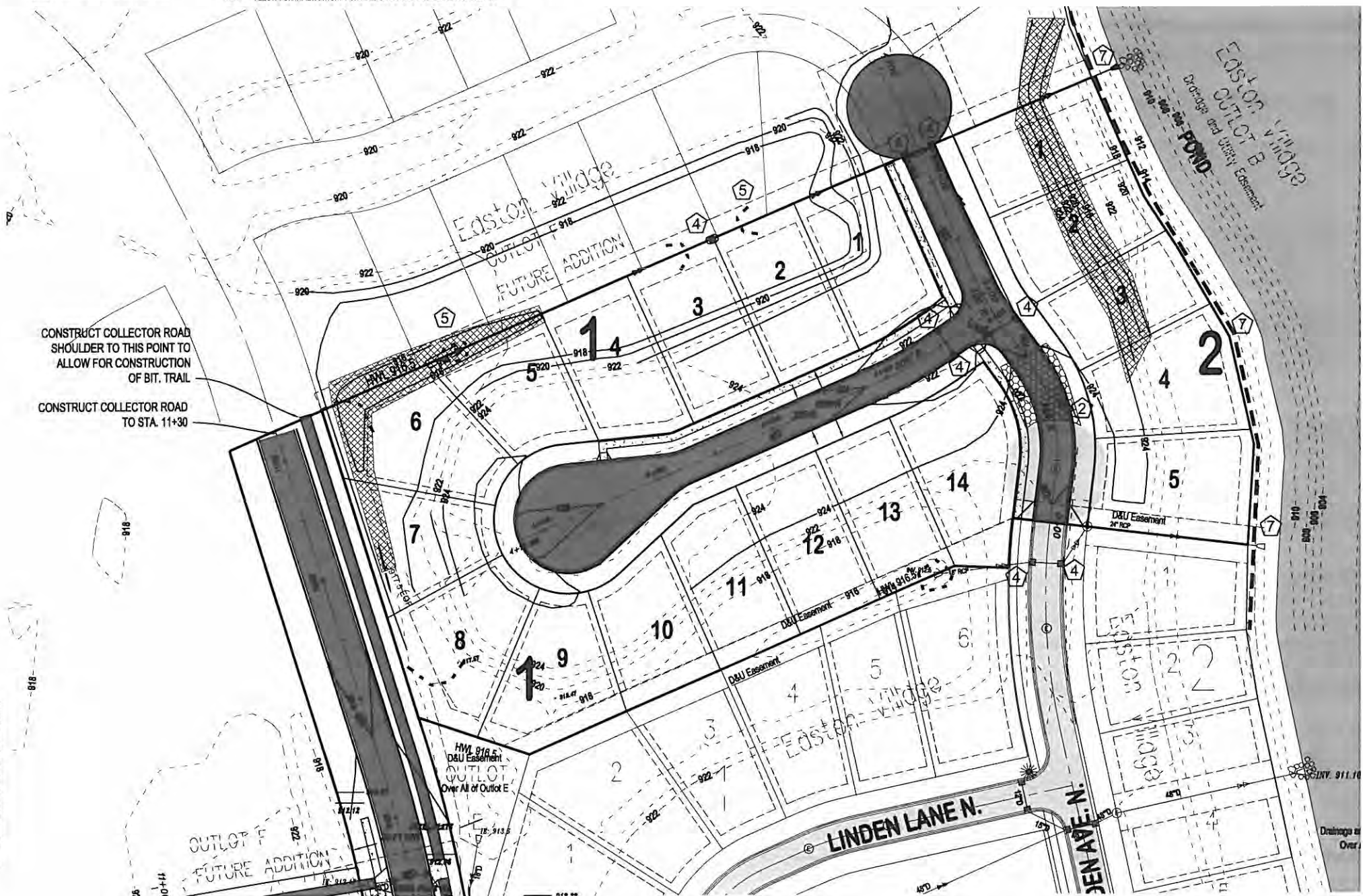
SWPPP SEQUENCING

- 1) OBTAIN MPCA PERMIT MINIMUM 7 DAYS PRIOR TO STARTING TREE CLEARING ACTIVITIES.
- 2) INSTALL ROCK CONSTRUCTION ENTRANCE AS SHOWN IN DETAILS.
- 3) INSTALL SEDIMENT INLET PROTECTION AT EXISTING CATCH BASINS AND MAINTAIN DURING PROJECT.
- 4) INSTALL SILT FENCING AS SHOWN ON PLAN PRIOR TO ANY SITE DISTURBANCE.
- 5) MAINTAIN SWPPP MAILBOX WITH A COPY OF THE PLANS, SWPPP AND EROSION CONTROL LOGS.
- 6) NOTIFY CITY FOR INSPECTION OF PERIMETER EROSION CONTROL MEASURES PRIOR TO STARTING CONSTRUCTION (3 BUSINESS DAY NOTIFICATION REQUIRED).
- 7) STOCKPILE TOPSOIL AND INSTALL PERIMETER BIO LOG SURROUNDING STOCKPILES REQUIRED
- 8) SEED TOPSOIL STOCKPILE WITH MINIMUM 20LBS PER ACRE OATS.
- 9) CONDUCT GRADING OPERATIONS.
- 10) COMPLETE GRADING AND INSTALL TOPSOIL, SEED AND BLANKET
- 11) INSTALL UNDERGROUND UTILITIES AND CATCH BASIN INLET PROTECTION.
- 12) INSTALL ROCK BASE FOR ROADWAY, CONCRETE CURB AND GUTTER AND SIDEWALK.
- 13) INSTALL BOULEVARD TREES.
- 14) HYDROSEED OR SEED AND BLANKET DISTURBED AREAS ALONG STREET.
- 15) PAVE TRAIL AND STREET.
- 16) CLEAN OUT AND MAINTAIN ANY SEDIMENT FROM SILT FENCING, BIO LOGS AND INLET PROTECTION.

ANY DEWATERING FROM THE SITE WILL REQUIRE THE WATER BE FILTERED THROUGH A 'DANDY BAG' OR EQUAL. WATER SHOULD BE DIRECTED TO THE AREA OF B1 BEHIND THE PROPOSED SILT FENCING OR AS APPROVED BY THE ENGINEER.

CITY STANDARD PLAN NOTES

1. RESTORE ALL DISTURBED AREAS WITH 6 INCHES OF TOPSOIL CONFORMING TO MNDOT 3877.
2. PROTECT ALL STORM SEWER INLETS AS SPECIFIED HEREIN AND MAINTAIN UNTIL STREET CONSTRUCTION IS COMPLETED.
3. MAINTAIN ALL SILT FENCE AND REPAIR OR REPLACE AS NEEDED OR REQUIRED UNTIL TURF HAS BEEN ESTABLISHED.
4. RESTORATION WORK SHALL BEGIN WITHIN 7 DAYS OF FINAL GRADING.
5. A MINIMUM OF 2 ROWS OF SOD SHALL BE PLACED ADJACENT TO THE BACK OF CURBS ALONG ALL BOULEVARDS. SILT FENCE SHALL BE PLACED DIRECTLY BEHIND THE SOD IN ACCORDANCE WITH THE CITY STANDARD DETAILS.
6. BOULEVARD AND DITCH RESTORATION INCLUDES FINE GRADING, WHICH INCLUDES THE REMOVAL OF ROCKS, DEBRIS AND SOIL CHUNKS, WHILE MAINTAINING POSITIVE DRAINAGE.



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I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

[Signature]
 TONYA A. ERICKSON, PE
 40418
 LICENSE NO.
 03/17/2017
 DATE

CHASE DEVELOPMENT
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

EASTON VILLAGE
 2ND ADDITION
 FINAL PLAN
 LAKE ELMO, MINNESOTA

DATE
REVISION DESCRIPTION
NO.

JOB NO. 16-175

SHEET TITLE
 EROSION CONTROL AND SITE RESTORATION PLAN

SHEET NO.
C3
 SHEET 3 OF 21

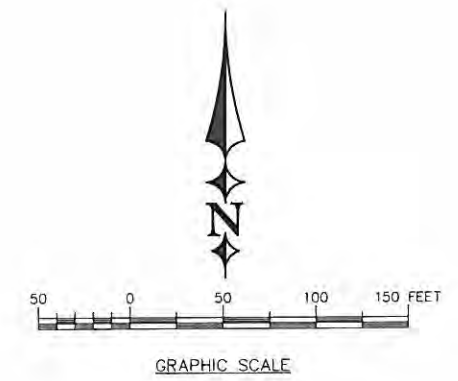
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GRADING AND EROSION CONTROL NOTES:

- 1) SPOT ELEVATIONS ARE ALL GUTTER LINE OR FINISHED ELEVATION UNLESS NOTED OTHERWISE.
- 2) ELEVATIONS/CONTOURS SHOWN AS FINISHED GRADE ELEVATIONS.
- 3) REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
- 4) DO NOT SPREAD TOPSOIL WHILE IT IS FROZEN OR MUDDY OR WHEN THE SUBGRADE IS WET OR FROZEN. CORRECT ANY IRREGULARITIES IN THE SURFACE THAT RESULT FROM TOPSOIL SPREADING OR OTHER OPERATIONS TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. BERMING OR DOUBLE LAYERING OR BIO LOG MAY BE REQUIRED TO CONTAIN RUNOFF IF SILT FENCING CANNOT BE INSTALLED PROPERLY DURING FROZEN CONDITIONS.
- 5) CONTRACTOR SHALL SCHEDULE SOILS TESTING FOR EACH STRUCTURAL FILL AREA, PAD AND STREET AREA.
- 6) PRIOR TO ROUGH GRADING, INSTALL FIBER ROLLS AND SILT FENCE IN LOCATIONS SHOWN OR AS DIRECTED BY THE ENGINEER OR CITY STAFF.
- 7) AS EACH AREA OUTSIDE OF THE STREET IS GRADED, PROVIDE 4" OF NATIVE TOPSOIL, SEED AND MULCH ANCHORED WITH A STRAIGHT DISC WITHIN 48 HOURS OF FINE GRADING.
- 8) SLOPES 3:1 AND GREATER SHALL BE STABILIZED WITH FIBER BLANKET.
- 9) MAINTAIN AND REPAIR FIBER ROLL AND SILT FENCE (INCLUDING REMOVAL OF ACCUMULATED SILT WITHIN 24 HOURS UPON DETECTION OR NOTIFICATION) UNTIL VEGETATION IS 70% ESTABLISHED.
- 10) CONTRACTOR TO INSPECT AND DOCUMENT EROSION CONTROL A MINIMUM OF ONCE EVERY SEVEN DAYS AND WITHIN 24 HOURS OF ANY RAIN EVENT GREATER THAN 1/2 INCH IN 24 HOURS AND WITHIN SEVEN DAYS AFTER THAT EVENT.
- 11) BIO LOG AND SILT FENCE FOUND DAMAGED MUST BE REPAIRED OR REPLACED WITHIN 24 HOURS UPON DISCOVERY. REMOVAL OF FIBER ROLL AND SILT FENCE REQUIRED AFTER SITE IS STABILIZED (AT DIRECTION OF ENGINEER).
- 12) ALL PUBLIC STREETS SHALL BE KEPT FREE OF SEDIMENT AND DEBRIS. ANY SEDIMENT OR DEBRIS DETECTED MUST BE REMOVED WITHIN 24 HOURS OR AS DIRECTED BY CITY.
- 13) ALL EXPOSED SOIL SHALL BE STABILIZED AS SOON AS POSSIBLE, BUT NO LATER THAN 14 DAYS AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED.
- 14) ALL PROPOSED AND EXISTING CATCH BASINS WITHIN PROJECT AREA SHALL BE PROVIDED INLET PROTECTION. REGULAR CLEANING OF PROTECTION SHALL OCCUR AND SHALL BE INCLUDED IN THE UNIT PRICE OF INLET PROTECTION.
- 15) ANY DEBRIS FOUND OR UNEARTHED ON THE SITE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR DISPOSAL AND PAID FOR AT THE UNIT PRICE PER CU. YD. OF DEBRIS REMOVAL.
- 16) ON-SITE BURY OF TREES SHALL BE STRICTLY PROHIBITED. TREES MAY BE BURNED WITH PROPER PERMITTING AND APPROVAL FROM CITY.
- 17) ALL PIPE OUTFALLS SHALL BE PROTECTED WITH RIPRAP PER CITY DETAIL.
- 18) ALL CITY STANDARD NOTES AS FOUND ON SHEETS C2 & C3 SHALL BE FOLLOWED.

KEYED NOTES

- 1 INSTALL SILT FENCE
- 2 INSTALL ROCK CONSTRUCTION ENTRANCE
- 3 INSTALL MNDOT SPEC. 8" BIO LOG
- 4 INSTALL INLET PROTECTION
- 5 INSTALL EROSION CONTROL BLANKET TYPE CAT. 2 WOOD FIBER



LEGEND

- 2ND ADDITION BOUNDARY
- - - 920 - - - EXISTING 2-FT CONTOUR INTERVAL
- 920 — PROPOSED 2-FT CONTOUR INTERVAL
- — — PROPOSED STORM SEWER (SIZE INDICATED ON PLANS)
- — — SILT FENCE
- - - - - INSTALL DITCH CHECK (MNDOT SPEC. 8" BIO LOG)
- [Rock Pattern] ROCK CONSTRUCTION ENTRANCE
- [Fiber Blanket Pattern] EROSION CONTROL BLANKET (CAT. 2, WOOD FIBER) (CAT. 4 IN BOTTOM OF SWALES)

SEEDING: 1) LOTS AND OPEN SPACE, LOW GROW FESCUE @ 220 LBS /ACRE
 TOPSOIL: 6" MINIMUM DEPTH, MEETING MNDOT SPEC. FOR TOPSOIL BORROW

NOTE: ALL SEED SHALL BE DRILLED AND NOT SPREAD.

ALL SEEDING SHALL BE COVERED WITH WEED FREE MNDOT TYPE 3 MULCH APPLIED @ 2 TONS PER ACRE.

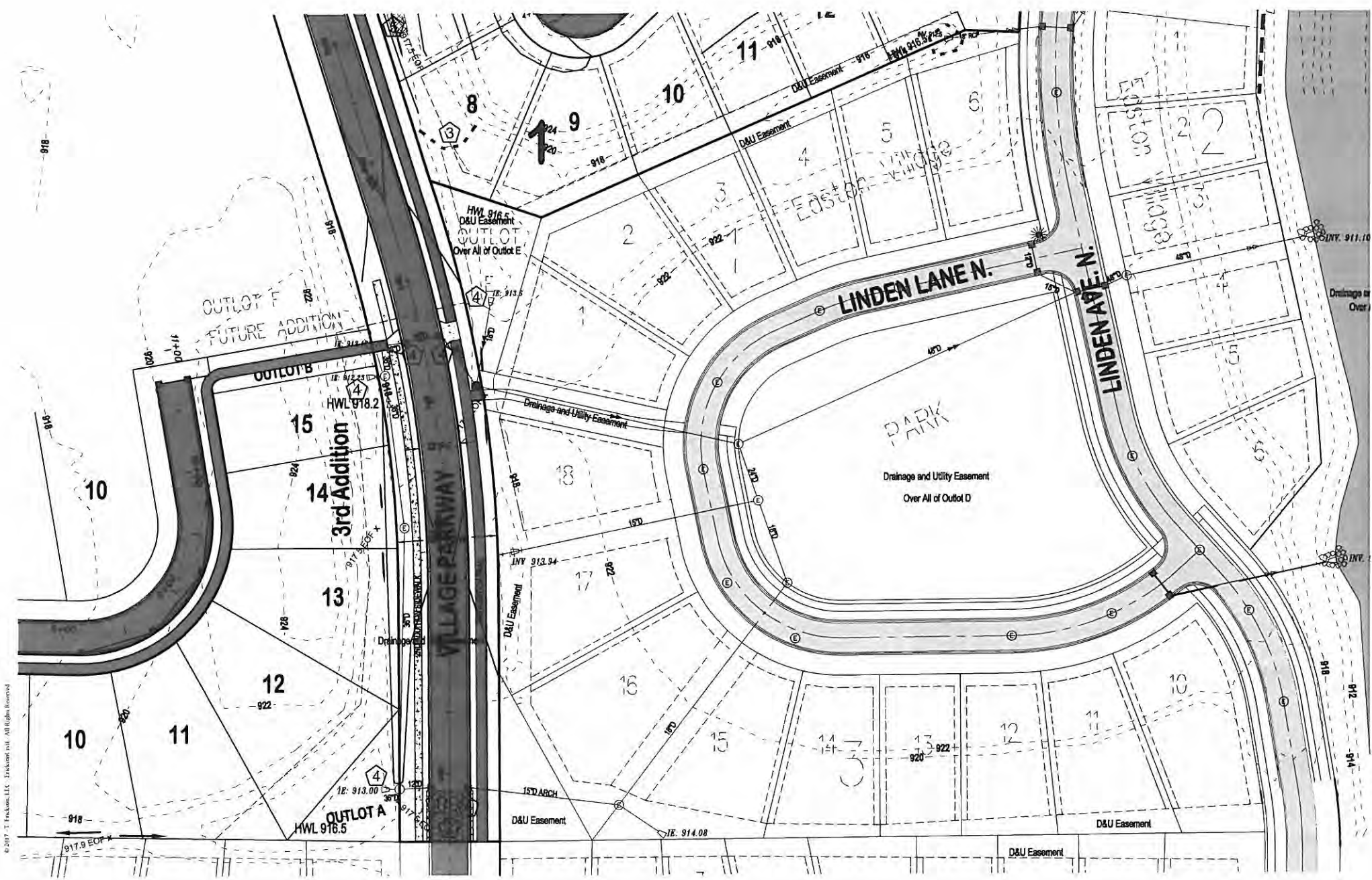
SWPPP SEQUENCING

- 1) OBTAIN MPCA PERMIT MINIMUM 7 DAYS PRIOR TO STARTING TREE CLEARING ACTIVITIES.
- 2) INSTALL ROCK CONSTRUCTION ENTRANCE AS SHOWN IN DETAILS.
- 3) INSTALL SEDIMENT INLET PROTECTION AT EXISTING CATCH BASINS AND MAINTAIN DURING PROJECT.
- 4) INSTALL SILT FENCING AS SHOWN ON PLAN PRIOR TO ANY SITE DISTURBANCE.
- 5) MAINTAIN SWPPP MAILBOX WITH A COPY OF THE PLANS, SWPPP AND EROSION CONTROL LOGS.
- 6) NOTIFY CITY FOR INSPECTION OF PERIMETER EROSION CONTROL MEASURES PRIOR TO STARTING CONSTRUCTION (3 BUSINESS DAY NOTIFICATION REQUIRED).
- 7) STOCKPILE TOPSOIL AND INSTALL PERIMETER BIO LOG SURROUNDING STOCKPILES REQUIRED.
- 8) SEED TOPSOIL STOCKPILE WITH MINIMUM 20LBS PER ACRE CATS.
- 9) CONDUCT GRADING OPERATIONS.
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CITY STANDARD PLAN NOTES

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 TANYA ERICKSON, PE
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CHASE DEVELOPMENT
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

EASTON VILLAGE
 2ND ADDITION
 FINAL PLAN
 LAKE ELMO, MINNESOTA

DATE
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JOB NO. 16-175

SHEET TITLE
 EROSION CONTROL AND SITE RESTORATION PLAN

SHEET NO.
C4
 SHEET 4 OF 21

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1. THE CONTRACTOR SHALL CONDUCT OPERATIONS AND IMPLEMENT MINNESOTA POLLUTION CONTROL AGENCY (MPCA) BEST MANAGEMENT PRACTICES (BMP) TO CONTROL SITE SILTATION AND EROSION INTO DRAINAGE WAYS. THE CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS AND COMPLETION DATES RELATIVE TO ALL PERMITS ISSUED FOR THE WORK TO BE COMPLETED. THE ENGINEER MAY ISSUE A STOP WORK ORDER FOR ALL DEVELOPMENT WORK AND BUILDING CONSTRUCTION FOR NONCOMPLIANCE WITH THESE MEASURES.
2. SEQUENCING ALL SILT FENCE AND OTHER EROSION CONTROL MEASURES SHALL BE IN PLACE AND APPROVED BY ENGINEER PRIOR TO ANY REMOVALS, EXCAVATION OR CONSTRUCTION AND SHALL BE MAINTAINED UNTIL Viable TURF OR GROUND COVER HAS BEEN ESTABLISHED AND APPROVED BY THE ENGINEER.
3. SILT FENCE. THE CONTRACTOR SHALL INSTALL SILT FENCE AT THE LOCATIONS SHOWN ON THE PLANS AND IN ACCORDANCE WITH THE CITY STANDARD DETAILS. SILT FENCE DAMS AND INTERIM SUMPS SHALL BE PLACED TO INTERCEPT SILT FROM CONCENTRATED RUNOFF FROM OPEN GRADED AREAS. ADDITIONAL SILT FENCE SHALL BE REQUIRED AS DIRECTED BY THE ENGINEER.
4. STOCKPILES. ALL STOCKPILE AREAS SHALL HAVE SILT FENCE OR SEDIMENT TRAPPING SYSTEMS PLACED AROUND THE ENTIRE PERIMETER.
5. INLET PROTECTION. THE CONTRACTOR SHALL INSTALL INLET PROTECTION ON ALL EXISTING STORM SEWER INLETS IN ACCORDANCE WITH THE CITY STANDARD DETAILS. INLET PROTECTION SHALL ALSO BE PROVIDED ON ALL PROPOSED STORM SEWER INLETS IMMEDIATELY FOLLOWING CONSTRUCTION OF THE INLET. INLET PROTECTION MUST BE INSTALLED IN A MANNER THAT WILL NOT IMPOUND WATER FOR EXTENDED PERIODS OF TIME OR IN A MANNER THAT PRESENTS A HAZARD TO VEHICULAR OR PEDESTRIAN TRAFFIC.
6. TEMPORARY SEDIMENT BASINS. THE CONTRACTOR SHALL INCORPORATE TEMPORARY SEDIMENT BASINS THROUGHOUT THE CONSTRUCTION SITE TO CAPTURE RUNOFF AND SLOW THE FLOW OF WATER AND ALLOW SEDIMENT TO SETTLE OUT. TEMPORARY SEDIMENT BASINS SHALL BE INSTALLED AS DIRECTED BY THE CITY ENGINEER.
7. ROCK CONSTRUCTION ENTRANCE. A ROCK ENTRANCE SHALL BE CONSTRUCTED AND MAINTAINED AS SHOWN ON THE PLAN TO REDUCE TRACKING OF SILT AND DIRT ONTO THE PUBLIC STREETS. A GEOTEXTILE FABRIC SHALL BE PLACED UNDERNEATH THE ROCK. THE ROCK SHALL BE PERIODICALLY REPLENISHED TO MAINTAIN THE INTENDED PERFORMANCE. MUD AND DEBRIS SHALL BE REMOVED OR SCRAPPED FROM TIRES AND VEHICLE UNDERCARRIAGE PRIOR TO LEAVING THE SITE.
8. STREET SWEEPING. ALL STREETS USED FOR ACCESS TO THE SITE AND HAUL ROUTES USED FOR CONSTRUCTION EQUIPMENT AND MATERIAL SUPPLIES SHALL BE CLEANED AT THE END OF EACH WORKING DAY. THE CITY OR ENGINEER MAY ORDER ADDITIONAL SWEEPING OF THE STREETS AS DEEMED REQUIRED AT DEVELOPER/CONTRACTOR EXPENSE.

STANDARD PLAN NOTES
GRADING AND EROSION CONTROL PLANS

FEBRUARY 2015

	CITY OF LAKE ELMO	STANDARD DRAWING NO. 600A LAKE ELMO
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9. DEWATERING. EACH EXCAVATION SHALL BE KEPT DRY DURING THE COURSE OF ALL WORK HEREIN, INCLUDING SUBGRADE CORRECTION, PIPE INSTALLATION, STRUCTURE CONSTRUCTION AND BACKFILLING, TO THE EXTENT THAT NO DAMAGE FROM HYDROSTATIC PRESSURE, FLOTATION OR OTHER DAMAGE RESULTS. ALL EXCAVATIONS SHALL BE DEWATERED TO A DEPTH OF AT LEAST 3 INCHES BELOW THE BOTTOM OF THE CONCRETE SLAB OR PIPE TO BE INSTALLED THEREIN. THE CONTRACTOR MAY USE ANY METHOD OR COMBINATION OF METHODS FOR DEWATERING HE CHOOSES; HOWEVER, ALL DEWATERING METHODS AND EQUIPMENT WHICH IN THE OPINION OF THE ENGINEER, ARE INEFFECTIVE SHALL BE ABANDONED, IMPROVED, REPLACED OR OTHERWISE ALTERED TO OBTAIN EFFECTIVE DEWATERING. THE CONTRACTOR SHALL PROVIDE ALL POWER, PUMPS, MATERIALS AND APPARATUS NECESSARY, AND SHALL BE RESPONSIBLE FOR DISPOSING OF THE WATER PUMPED FROM THE EXCAVATION IN A MANNER WHICH WILL NOT INTERFERE WITH OTHER WORK WITHIN THE AREA AND NOT TO DAMAGE PUBLIC OR PRIVATE PROPERTY. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE CONDITION OF ANY PIPE, CONDUIT, DITCH, CHANNEL OR NATURAL WATERCOURSE UTILIZED FOR DRAINAGE PURPOSES, AND ALL EROSION, SEDIMENT OR OTHER ADVERSE RESULTS OF THEIR USE SHALL BE REPAIRED.
10. POSITIVE DRAINAGE AND PROTECTION. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE THROUGHOUT THE SITE AT ALL TIMES. LOW POINTS WITHIN AND ALONG ROADWAYS ARE EXPRESSLY PROHIBITED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DITCHES, PIPING OR OTHER MEANS TO FACILITATE PROPER DRAINAGE DURING CONSTRUCTION TO PROTECT PREVIOUSLY GRADED AREAS FROM EROSION. WOOD FIBER BLANKET SHALL BE PLACED IMMEDIATELY ON STEEP SLOPES (1:3 OR GREATER) AND EMBANKMENTS, PERMANENT AND TEMPORARY PONDS, AND OUTLETS AND OVERFLOWS TO PROTECT THE COMPLETED GRADE AND MINIMIZE SILT IN THE RUNOFF.
11. DRAINAGE DITCHES. THE NORMAL WEIRED PERIMETER OF ANY TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE THAT DRAINS WATER FROM ANY PORTION OF THE CONSTRUCTION SITE, OR DIVERTS WATER AROUND THE SITE, MUST BE STABILIZED WITHIN 200 LINEAL FEET FROM THE PROPERTY EDGE, OR FROM THE POINT OF DISCHARGE INTO ANY SURFACE WATER. STABILIZATION OF THE LAST 200 LINEAL FEET MUST BE COMPLETED WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER. STABILIZATION OF THE REMAINING PORTIONS OF ANY TEMPORARY OR PERMANENT DITCHES OR SWALES MUST BE COMPLETE WITHIN 14 DAYS AFTER CONNECTING TO A SURFACE WATER AND CONSTRUCTION IN THAT PORTION OF THE DITCH HAS TEMPORARILY OR PERMANENTLY CEASED. TEMPORARY OR PERMANENT DITCHES OR SWALES THAT ARE BEING USED AS A SEDIMENT CONTAINMENT SYSTEM (WITH PROPERLY DESIGNED ROCK DITCH CHECKS, BIO ROLLS, SILT DIKES, ETC.) DO NOT NEED TO BE STABILIZED. THESE AREAS MUST BE STABILIZED WITHIN 24 HOURS AFTER NO LONGER BEING USED AS A SEDIMENT CONTAINMENT SYSTEM.
12. TURF ESTABLISHMENT. ALL EXPOSED SOIL AREAS MUST BE STABILIZED AS SOON AS POSSIBLE TO LIMIT SOIL EROSION BUT IN NO CASE LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.

STANDARD PLAN NOTES
GRADING AND EROSION CONTROL PLANS


FEBRUARY 2015

	CITY OF LAKE ELMO	STANDARD DRAWING NO. 600B LAKE ELMO
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13. MAINTENANCE AND INSPECTION. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION AND UNTIL SATISFACTORY ESTABLISHMENT OF PERMANENT GROUND COVER IS OBTAINED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, AND STORMWATER OUTFALLS MUST BE INSPECTED WEEKLY, AND WITHIN 24 HOURS OF THE SITE RECEIVING 0.5 INCHES OF RAIN. REPAIRS MUST BE MADE ON THE SAME DAY OR FOLLOWING DAY OF THE INSPECTION. UNSATISFACTORY CONDITIONS NOT REPAIRED OR CLEANED UP WITHIN 48-HOURS OF NOTIFICATION SHALL RESULT IN A STOP WORK ORDER, AND/OR SAID WORK SHALL BE COMPLETED AT CONTRACTOR'S EXPENSE.
14. REMOVAL. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TEMPORARY EROSION CONTROL MEASURES, STRUCTURES AND DEVICES ONLY AFTER RECEIVING ENGINEER APPROVAL. ALL DEBRIS, STAKES, AND SILTS ALONG SILT FENCES SHALL BE REMOVED AND DISPOSED OFF SITE. THE CONTRACTOR SHALL HAND RAKE SILTED AREAS ALONG THE FENCE LOCATIONS TO PROVIDE A SMOOTH FINAL GRADE AND SHALL RESTORE THE GROUND SURFACE WITH SEED OR SOIL, AS REQUIRED, TO MATCH THE FINISHED GRADE TO THE ADJACENT AREA.
15. FINAL STORM SEWER SYSTEM. AT THE COMPLETION OF THE WORK AND BEFORE THE FINAL WALK THROUGH, THE CONTRACTOR SHALL REMOVE STORM SEWER INLET PROTECTION MEASURES AND THOROUGHLY FLUSH THE STORM SEWER SYSTEM. SEDIMENT AND DEBRIS SHALL BE COMPLETELY REMOVED AND CLEANED AT THE INLETS, OUTLETS, AND DOWNSTREAM OF EACH OUTLET. RIPRAP AND GEOTEXTILE FABRIC MAY REQUIRE REPLACEMENT AS DIRECTED BY THE ENGINEER TO OBTAIN A LIKE NEW INSTALLATION ACCEPTABLE TO THE CITY.
16. DITCH CHECK (BIOROLL, BLANKET SYSTEM). BIOROLL AND BLANKET SYSTEMS SHALL BE INSTALLED AS DITCH CHECKS ONLY IN SPECIFIED LOCATIONS AS APPROVED BY THE CITY ENGINEER. BIOROLLS ARE NOT TO BE UTILIZED IN AREAS WHERE VEHICLE AND CONSTRUCTION TRAFFIC OCCUR.
17. FLOTATION SILT CURTAIN. FLOTATION SILT CURTAIN SHALL BE UTILIZED WHEN CONSTRUCTION ACTIVITIES OCCUR DIRECTLY ADJACENT TO LAKES, STREAMS OR WETLANDS IN ORDER TO CONTAIN SEDIMENTS NEAR THE BANKS OF WORKING AREAS. THE INSTALLATION OF FLOTATION SILT CURTAINS WILL BE REQUIRED AS DIRECTED BY THE CITY ENGINEER.
18. CONCRETE WASH-OUT ONSITE. ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER THAT DOES NOT ALLOW WASHOUT LIQUIDS TO ENTER GROUND WATER IS CONSIDERED AN IMPERMEABLE LINER. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA REGULATIONS. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.

STANDARD PLAN NOTES
GRADING AND EROSION CONTROL PLANS

FEBRUARY 2015

	CITY OF LAKE ELMO	STANDARD DRAWING NO. 600C LAKE ELMO
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Laura Erickson PE
LAURA ERICKSON PE
40418
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01/05/2017
DATE

CHASE DEVELOPMENT
2140 COUNTY ROAD 42 WEST
BURNSVILLE, MN 55337

EASTON VILLAGE
2ND ADDITION
FINAL PLAN
LAKE ELMO, MINNESOTA

NO.	REVISION DESCRIPTION	DATE

NO. 16-175

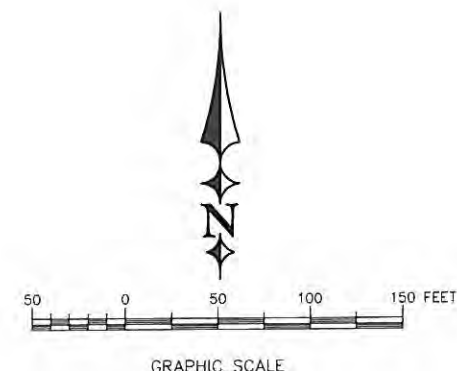
SHEET TITLE
**GRADING
STANDARD PLAN
NOTES**

SHEET NO.
C5
SHEET 5 OF 21



CONSTRUCT COLLECTOR ROAD SHOULDER TO THIS POINT TO ALLOW FOR CONSTRUCTION OF BIT. TRAIL

CONSTRUCT COLLECTOR ROAD TO STA. 11+30

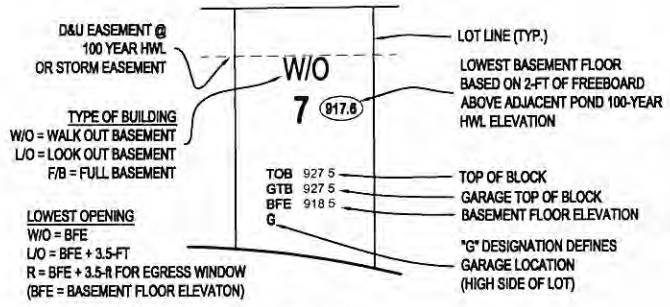


LEGEND

- 2ND ADDITION BOUNDARY
- - - 1050 EXISTING 2-FT CONTOUR INTERVAL
- x 922.85 HP 11P HIGH OR LOW POINT OF STREET PROFILE LOCATION AND ELEVATION
- HP = HIGH POINT, LP = LOW POINT, EOF = EMERGENCY OVERFLOW
- - - 1050 PROPOSED 2-FT CONTOUR INTERVAL
- PROPOSED DRAINAGE ARROW
- 0.74% PROPOSED STREET GRADE PERCENT AND DIRECTION
- PROPOSED STORM SEWER AND STRUCTURES
- - - ENGINEERED FILL LIMIT
- - - 100-YEAR HWL

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- 5) CONTRACTOR SHALL SCHEDULE SOILS TESTING FOR EACH STRUCTURAL FILL AREA, PAD AND STREET AREA.
- 6) SEE DETAIL(S) FOR PAD CONSTRUCTION, SHEET C13
- 7) ALL CITY STANDARD NOTES AS FOUND ON SHEETS C2 & C3 SHALL BE FOLLOWED.



LOOKOUT CONDITION
LOWEST OPENING ELEVATION
FOR PROPER DRAINAGE

921.2 LO

LOT GRADING DETAIL

PAVEMENT HOLD DOWN TABLE

SECTION AREA	HOLD DOWN FOR GRADING
LOCAL STREET	21 INCHES
SIDEWALK	9 INCHES
TRAIL	10.5 INCHES

ENGINEERED/STRUCTURAL FILL REQUIREMENTS

- 1) CONTRACTOR SHALL REMOVE TOPSOIL AND ANY ORGANIC MATERIAL AS DIRECTED BY ENGINEER IN ALL AREAS OF ENGINEERED/STRUCTURAL FILL.
- 2) ANY ENGINEERED/STRUCTURAL FILL MATERIAL SHALL BE COMPACTED IN 8-INCH LIFTS TO A DENSITY OF 98% STANDARD PROCTOR DENSITY.
- 3) GRANULAR BACKFILL SHALL BE COMPLETELY FREE OF ORGANIC MATERIAL & MAY NOT CONTAIN ANY ROCKS LARGER THAN 3" IN DIAMETER.
- 4) GRADES SHALL NOT VARY MORE THAN 0.2' FROM GRADING ELEVATIONS SHOWN ON PLANS.
- 5) TESTING OF PAD AREA SHALL BE COORDINATED BY CONTRACTOR AND TESTING RESULTS SHALL BE DELIVERED TO ENGINEER AND OWNER. COST OF TESTING IS BY OWNER.
- 6) TESTING OF ENGINEERED/STRUCTURAL FILL IN ROAD AREAS SHALL BE COORDINATED BY CONTRACTOR AND TESTING RESULTS SHALL BE DELIVERED TO OWNER, ENGINEER AND CITY.
- 7) ANY FAILED COMPACTION SHALL BE REMOVED AND RECOMPACTED AT NO ADDITIONAL EXPENSE TO THE OWNER, EXCEPT FOR TESTING.

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[Signature]
TAND A ERICKSON PE
40418
LICENSE NO.
03/17/2017
DATE

OWNER/DEVELOPER
CHASE DEVELOPMENT
2140 COUNTY ROAD 42 WEST
BURNSVILLE, MN 55337

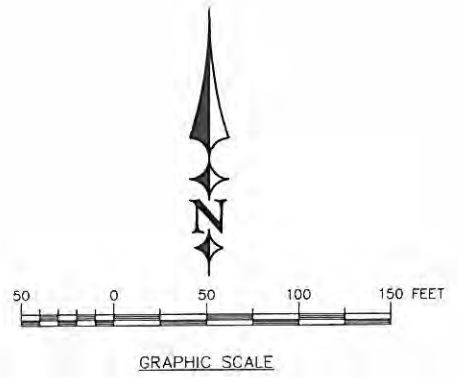
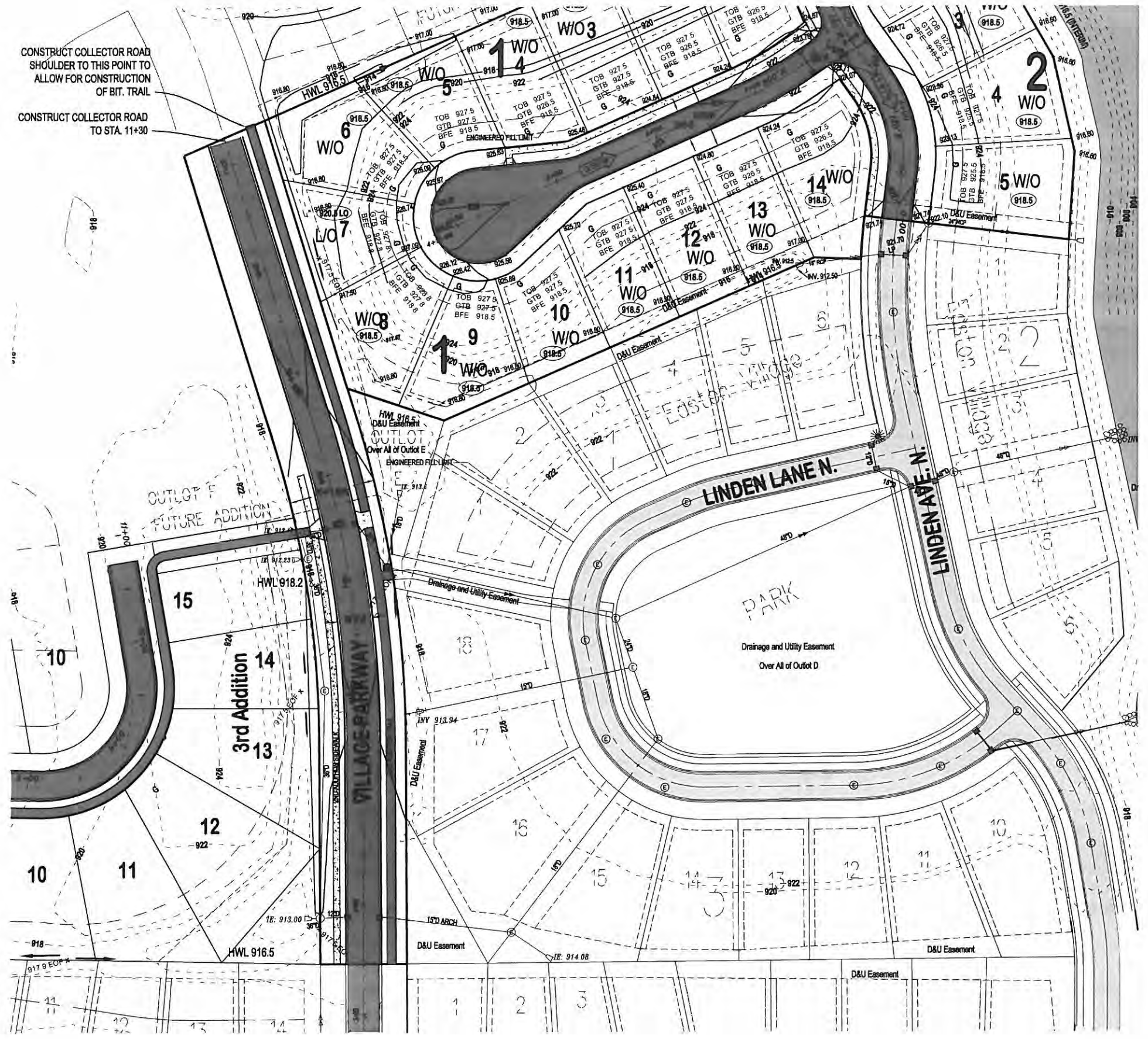
PROJECT TITLE
EASTON VILLAGE
2ND ADDITION
FINAL PLAN
LAKE ELMO, MINNESOTA

NO.	REVISION DESCRIPTION	DATE

JOB NO. 16-175

SHEET TITLE
GRADING PLAN

SHEET NO.
C6
SHEET 6 OF 21



- LEGEND**
- 2ND ADDITION BOUNDARY
 - - - 1050 - - - EXISTING 2-FT CONTOUR INTERVAL
 - - - 1060 - - - PROPOSED 2-FT CONTOUR INTERVAL
 - PROPOSED DRAINAGE ARROW
 - 0.74% → PROPOSED STREET GRADE PERCENT AND DIRECTION
 - PROPOSED STORM SEWER AND STRUCTURES
 - ENGINEERED FILL LIMIT
 - - - 100-YEAR HWL

- GRADING NOTES:**
- 1) SPOT ELEVATIONS ARE ALL GUTTER LINE OR FINISHED ELEVATION UNLESS NOTED OTHERWISE.
 - 2) ELEVATIONS/CONTOURS SHOWN AS FINISHED GRADE ELEVATIONS.
 - 3) REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
 - 4) DO NOT SPREAD TOPSOIL WHILE IT IS FROZEN OR MUDDY OR WHEN THE SUBGRADE IS WET OR FROZEN. CORRECT ANY IRREGULARITIES IN THE SURFACE THAT RESULT FROM TOPSOIL SPREADING OR OTHER OPERATIONS TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. BERMING OR DOUBLE LAYERING OR FIBER ROLL MAY BE REQUIRED TO CONTAIN RUNOFF IF SILT FENCING CANNOT BE INSTALLED PROPERLY DURING FROZEN CONDITIONS.
 - 5) CONTRACTOR SHALL SCHEDULE SOILS TESTING FOR EACH STRUCTURAL FILL AREA, PAD AND STREET AREA.
 - 6) SEE DETAIL(S) FOR PAD CONSTRUCTION, SHEET C13
 - 7) ALL CITY STANDARD NOTES AS FOUND ON SHEETS C2 & C3 SHALL BE FOLLOWED.

- ENGINEERED/STRUCTURAL FILL REQUIREMENTS**
- 1) CONTRACTOR SHALL REMOVE TOPSOIL AND ANY ORGANIC MATERIAL AS DIRECTED BY ENGINEER IN ALL AREAS OF ENGINEERED/STRUCTURAL FILL.
 - 2) ANY ENGINEERED/STRUCTURAL FILL MATERIAL SHALL BE COMPACTED IN 8-INCH LIFTS TO A DENSITY OF 98% STANDARD PROCTOR DENSITY.
 - 3) GRANULAR BACKFILL SHALL BE COMPLETELY FREE OF ORGANIC MATERIAL & MAY NOT CONTAIN ANY ROCKS LARGER THAN 3" IN DIAMETER.
 - 4) GRADES SHALL NOT VARY MORE THAN 0.2' FROM GRADING ELEVATIONS SHOWN ON PLANS.
 - 5) TESTING OF PAD AREA SHALL BE COORDINATED BY CONTRACTOR AND TESTING RESULTS SHALL BE DELIVERED TO ENGINEER AND OWNER. COST OF TESTING IS BY OWNER.
 - 6) TESTING OF ENGINEERED/STRUCTURAL FILL IN ROAD AREAS SHALL BE COORDINATED BY CONTRACTOR AND TESTING RESULTS SHALL BE DELIVERED TO OWNER, ENGINEER AND CITY.
 - 7) ANY FAILED COMPACTION SHALL BE REMOVED AND RECOMPACTED AT NO ADDITIONAL EXPENSE TO THE OWNER, EXCEPT FOR TESTING.

PAVEMENT HOLD DOWN TABLE

SECTION AREA	HOLD DOWN FOR GRADING
LOCAL STREET	21 INCHES
SIDEWALK	9 INCHES
TRAIL	10.5 INCHES

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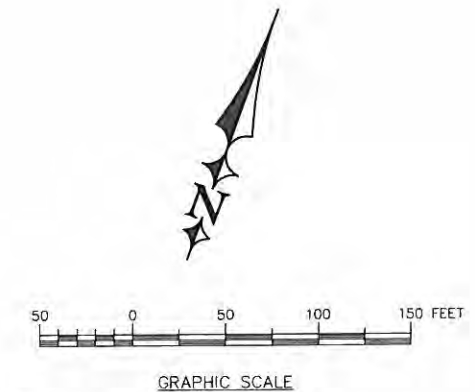
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PROJECT TITLE
 EASTON VILLAGE
 2ND ADDITION
 FINAL PLAN
 LAKE ELMO, MINNESOTA

NO.	REVISION DESCRIPTION	DATE

JOB NO. 16-175
 SHEET TITLE
 GRADING PLAN
 SHEET NO.
C7
 SHEET 7 OF 21



Legend

- 2ND ADDITION BOUNDARY
- 15-FT POLE WITH ORNAMENTAL LIGHT, XCEL ENERGY 'ACRON' LAMP.
- UTILITY EASEMENT
- HOUSE SETBACK
- PROPOSED STREET SIGN
- EXISTING BITUMINOUS PAVEMENT
- PROPOSED BITUMINOUS PAVEMENT

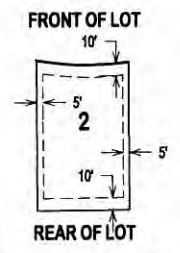
Development Standards

- FRONT SETBACK: 25'
- GARAGE SIDE SETBACK: 7.5'
- SIDE SETBACK (CORNER LOTS): 15'
- HOUSE SIDE SETBACK: 7.5'
- REAR SETBACK: 20'
- TYPICAL LOT WIDTH: 65'
- TYPICAL LOT DEPTH: 130'
- SIDE YARD EASEMENT: 5'
- FRONT AND REAR EASEMENT: 10'

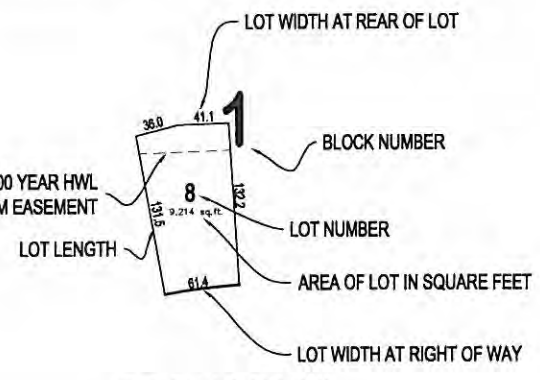
MIN. BASEMENT ELEVATION ABOVE 100 YEAR HWL: 2'
 * UNLESS SHOWN ON PRELIMINARY LAYOUT
 NOTE: DRAINAGE AND UTILITY EASEMENTS SHOWN FOR 100-YEAR HWL OF PONDING AREAS

CITY STANDARD PLAN NOTES

1. STREET LIGHTING SHALL BE INSTALLED PER CITY STANDARDS 5 FEET BACK OF CURB IN LOCATIONS SHOWN ON PLAN.
2. ALL SIGNS MUST MEET MMUTCD.
3. ALL SIGN SHEATHING TO BE TYPE IX DIAMOND GRADE (DG3).
4. SIGN POSTS TO BE GREEN POWDERED PAINTED GALVANIZED METAL, 3.0 LBS/FT.
5. STREET SIGN POSTS TO BE 12" TUBULAR POST WITH 0.080" WALL THICKNESS.
6. DEVELOPER TO FURNISH AND INSTALL STREET SIGNS PER CITY STANDARDS.
7. POLY PREFORMED PAVEMENT MATERIAL SHALL BE USED FOR ALL PAVEMENT SYMBOLS.
8. EPOXY RESIN AND DROP-ON GLASS BEADS FOR PAVEMENT MARKINGS SHALL MEET THE REQUIREMENTS OF MnDOT "SPECIFICATIONS FOR CONSTRUCTION, 2014 EDITIONS".



TYPICAL EASEMENT DETAIL



TYPICAL LOT DETAIL

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PROJECT TITLE
**EASTON VILLAGE
 2ND ADDITION
 FINAL PLAN**
 LAKE ELMO, MINNESOTA

NO.	DATE	REVISION DESCRIPTION

JOB NO. 16-175
 SHEET TITLE
**SITE LAYOUT,
 LIGHTING AND
 SIGNING PLAN**
 SHEET NO.
C8
 SHEET 8 OF 21

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PROJECT TITLE
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 2ND ADDITION
 FINAL PLAN
 LAKE ELMO, MINNESOTA**

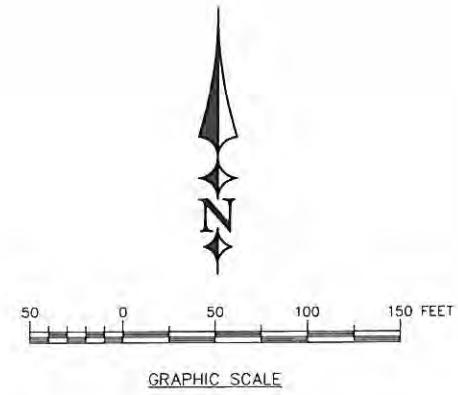
NO.	REVISION DESCRIPTION	DATE

JOB NO. 16-175

SHEET TITLE
**STREET PLAN
 & PROFILE**

SHEET NO.
C9
 SHEET 9 OF 21

PLAN VIEW - LINDEN COURT NORTH



Legend

- EXISTING BITUMINOUS PAVEMENT
- PROPOSED BITUMINOUS PAVEMENT

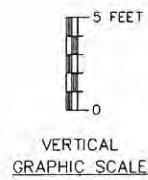
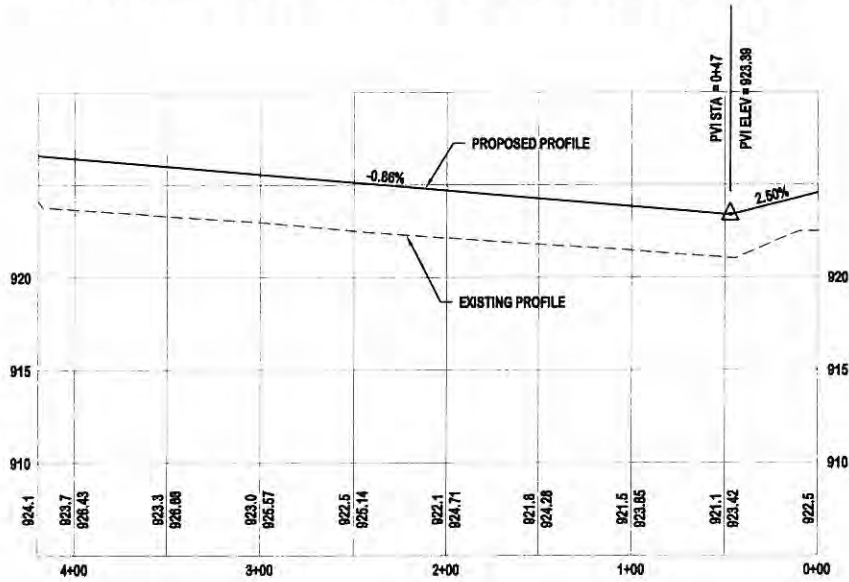
Layout Notes

- 1) ALL RADI TO BACK OF CURB
- 2) ALL DIMENSIONS TO THE FACE OF CURB UNLESS NOTED OTHERWISE.

Keyed Notes

- ① INSTALL BITUMINOUS PAVEMENT PER CITY STANDARD PLATE NO. 801.
- ② INSTALL SURMOUNTABLE CONCRETE CURB AND GUTTER PER CITY STANDARD PLATE NO. 591.
- ③ INSTALL CONCRETE SIDEWALK PER CITY STANDARD PLATE NO. 510.
- ④ CONNECT TO EXISTING ROADWAY
- ⑤ INSTALL ACCESSIBLE CONCRETE RAMP PER CITY STANDARD PLATE NOS. 507A & 508.
- ⑥ CONNECT TO EXISTING CONCRETE SIDEWALK, INSTALL (3) 12" #4 EPOXY REBAR, 1-FT O.C., 4" DEPTH INTO EXISTING SIDEWALK
- ⑦ CONNECT TO EXISTING CONCRETE CURB, INSTALL (2) 12" #4 EPOXY REBAR, 8" O.C., 4" DEPTH INTO EXISTING CURB.

PROFILE VIEW - LINDEN COURT NORTH



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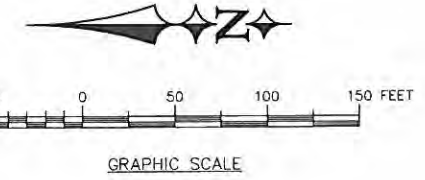
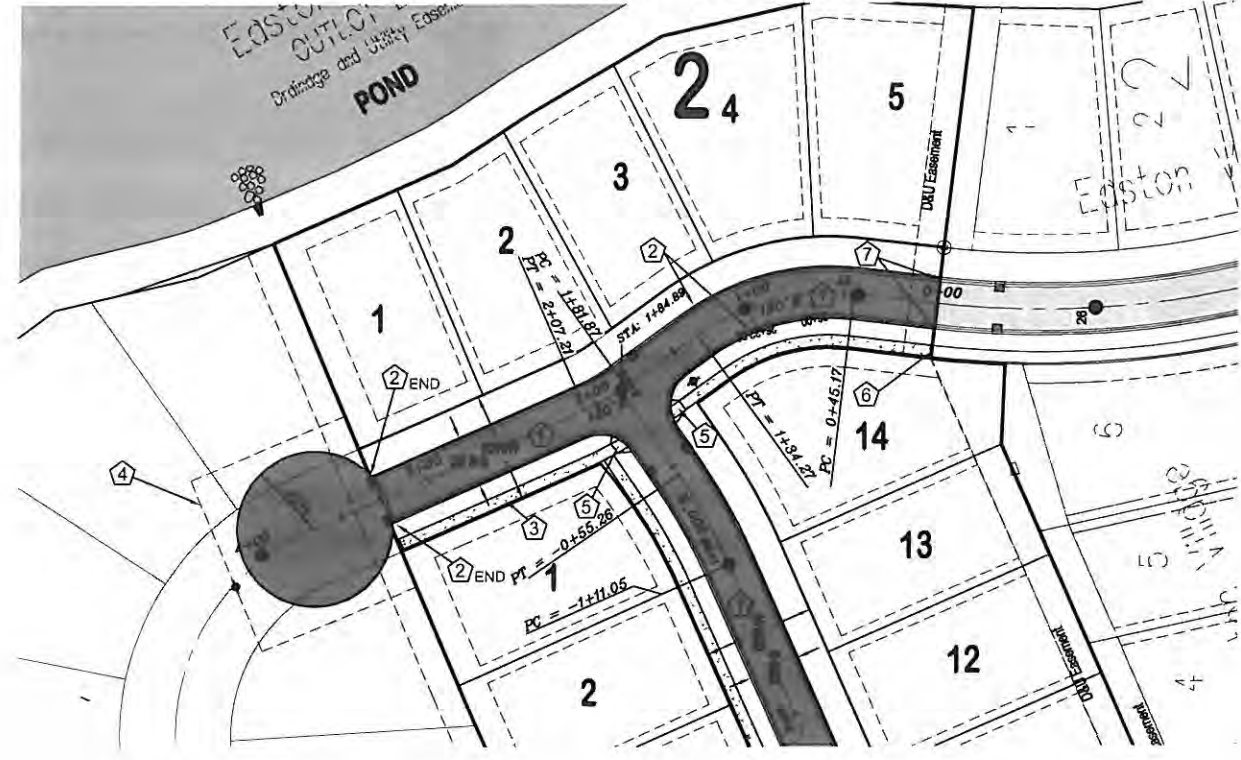
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PROJECT TITLE
EASTON VILLAGE
2ND ADDITION
FINAL PLAN
LAKE ELMO, MINNESOTA

NO.	REVISION DESCRIPTION	DATE

job no. 16-175
SHEET TITLE
STREET PLAN & PROFILE
SHEET NO.
C10
 SHEET 10 OF 21

PLAN VIEW - LINDEN AVENUE NORTH



Legend

- EXISTING BITUMINOUS PAVEMENT
- PROPOSED BITUMINOUS PAVEMENT

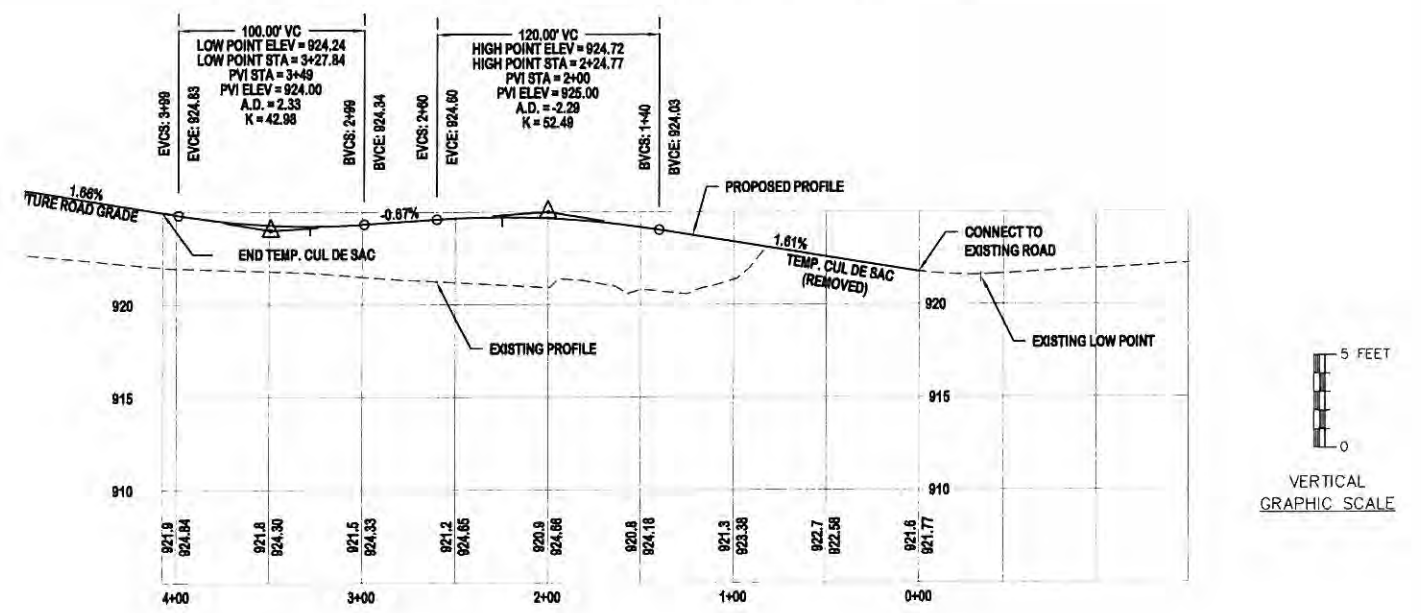
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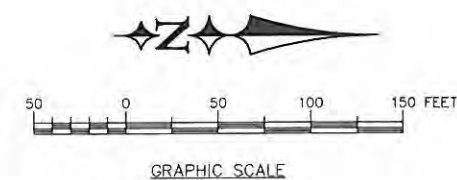
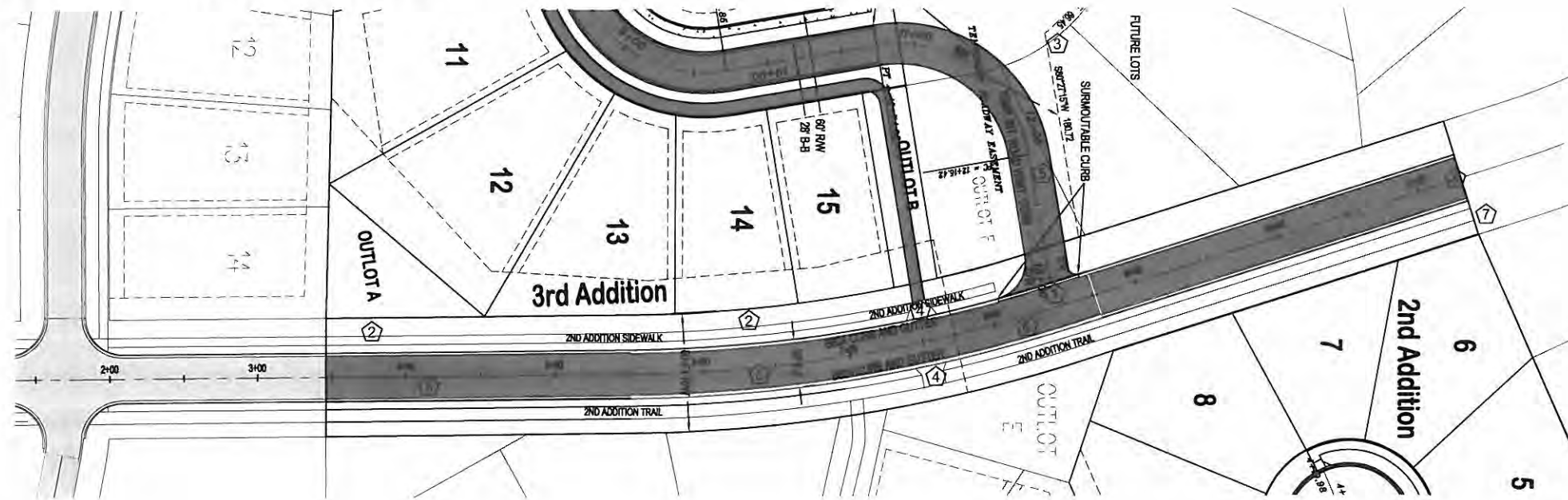
Keyed Notes

- ① INSTALL BITUMINOUS PAVEMENT PER CITY STANDARD PLATE NO. 801.
- ② INSTALL SURMOUNTABLE CONCRETE CURB AND GLUTTER PER CITY STANDARD PLATE NO. 501.
- ③ INSTALL 4" CONCRETE SIDEWALK PER CITY STANDARD PLATE NO. 510.
- ④ TEMPORARY ROAD EASEMENT
- ⑤ INSTALL ACCESSIBLE CONCRETE RAMP PER CITY STANDARD PLATE NOS. 507A & 508.
- ⑥ CONNECT TO EXISTING CONCRETE SIDEWALK, INSTALL (3) 12" #4 EPOXY REBAR, 1-FT O.C., 4" DEPTH INTO EXISTING SIDEWALK.
- ⑦ REMOVE TAPER SECTION OF CURB AND CONNECT TO EXISTING CONCRETE CURB, INSTALL (2) 12" #4 EPOXY REBAR, 6" O.C., 4" DEPTH INTO EXISTING CURB.

PROFILE VIEW - LINDEN AVENUE NORTH



PLAN VIEW - VILLAGE PARKWAY



Legend

- EXISTING BITUMINOUS PAVEMENT
- PROPOSED BITUMINOUS PAVEMENT
- PROPOSED CONCRETE SIDEWALK/RAMP

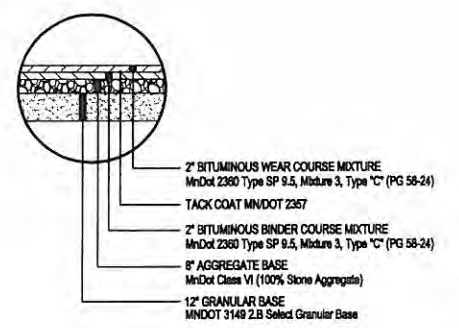
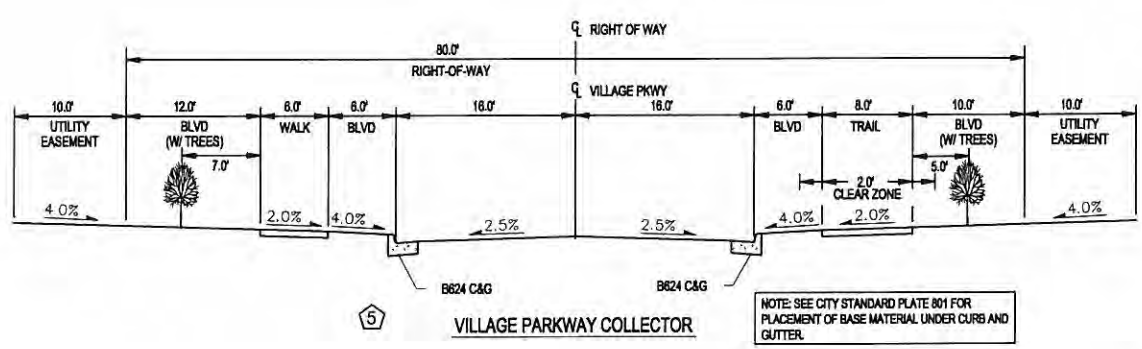
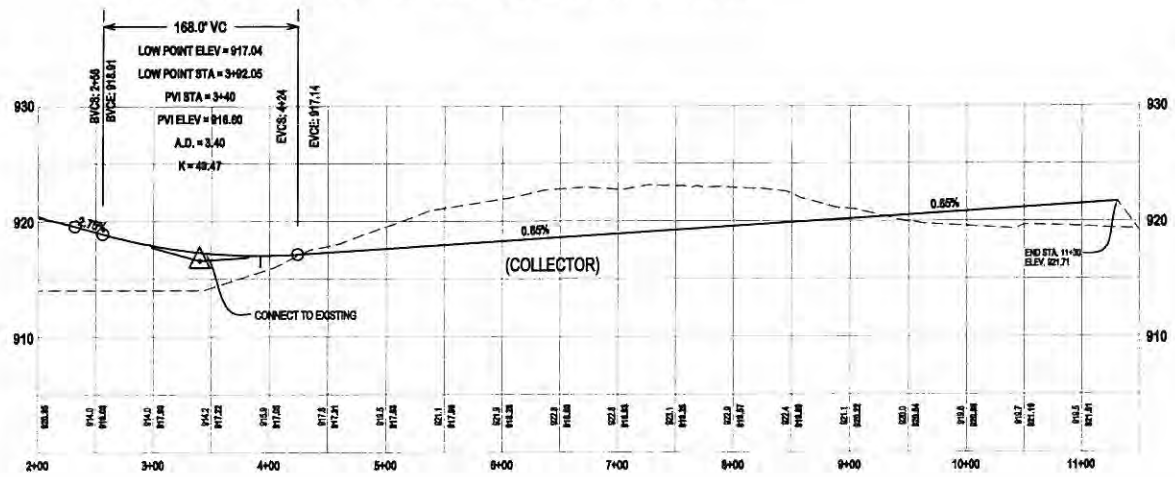
Layout Notes

- 1) ALL RADII TO BACK OF CURB
- 2) ALL DIMENSIONS TO THE FACE OF CURB UNLESS NOTED OTHERWISE

Keyed Notes

- 1) INSTALL SURMOUNTABLE CONCRETE CURB AND GUTTER PER CITY STANDARD PLATE NO. 501.
- 2) INSTALL 4" CONCRETE SIDEWALK PER CITY STANDARD PLATE NO. 510.
- 3) TEMPORARY ROAD EASEMENT
- 4) INSTALL ACCESSIBLE CONCRETE RAMP PER CITY STANDARD PLATE NOS. 507A & 508.
- 5) INSTALL TEMP. ROADWAY SECTION (2" BIT. BASE OVER 6" CL. 5 AGGREGATE)
- 6) INSTALL COLLECTOR ROAD PER DETAIL(S) BELOW
- 7) INSTALL BIT. PATH TO STA. 11+30
- 8) CONSTRUCT SUBGRADE OF ROADWAY TO STA. 11+30

PROFILE VIEW - VILLAGE PARKWAY



COLLECTOR ROAD SECTION

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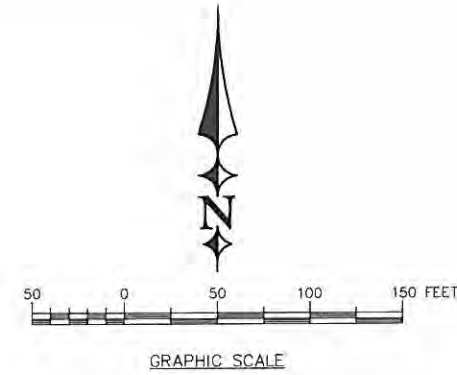
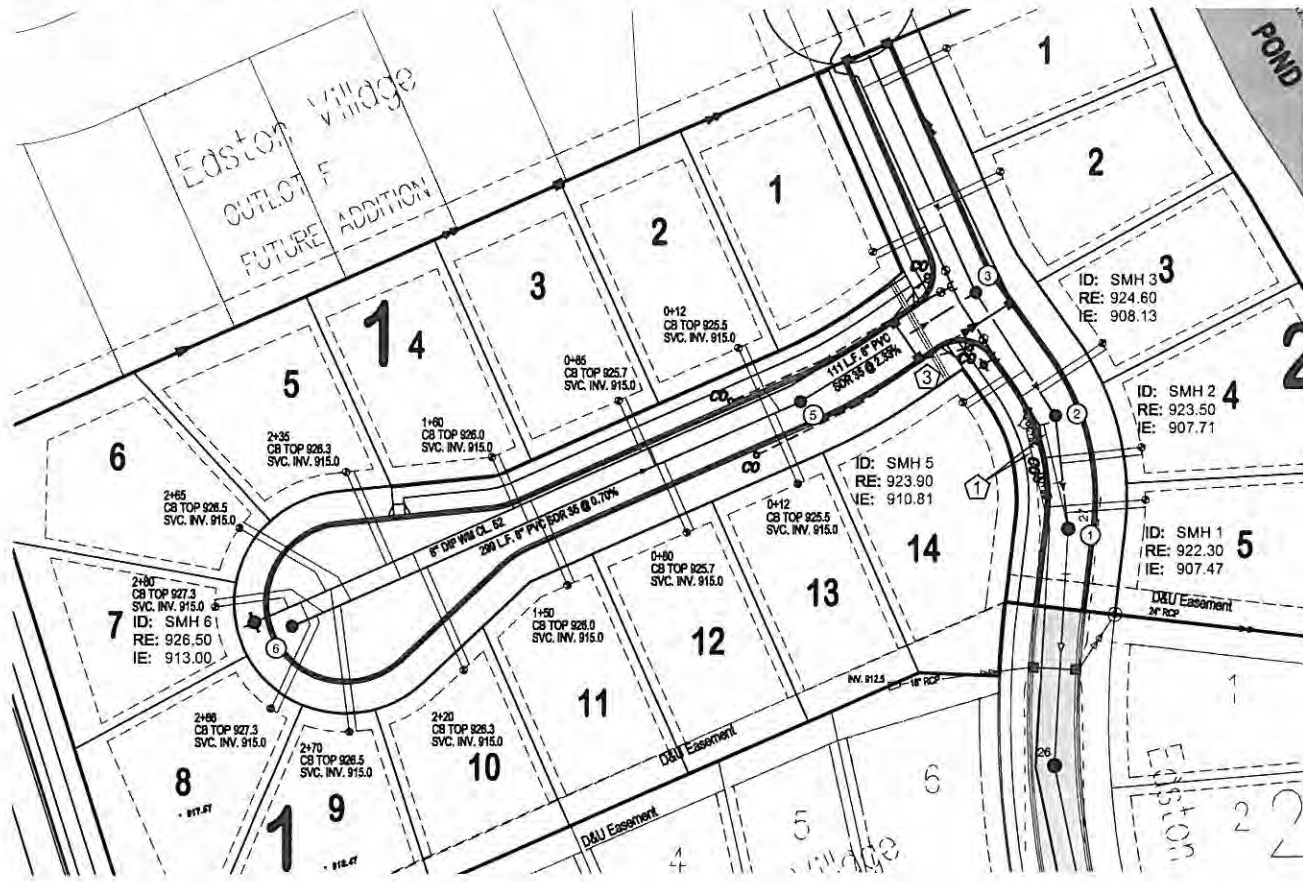
PROJECT TITLE
**EASTON VILLAGE
 2ND ADDITION
 FINAL PLAN
 LAKE ELMO, MINNESOTA**

NO.	REVISION DESCRIPTION	DATE

KRM: 16-175
 SHEET TITLE
STREET PLAN & PROFILE
 SHEET NO.
C11
 SHEET 11 OF 21

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PLAN VIEW - SANITARY SEWER (LINDEN COURT)



Keyed Notes

- ① SALVAGE AND RE-ALIGN EXISTING SANITARY SEWER AND WATER MAIN STUBS.
- ② SALVAGE AND RE-INSTALL EXISTING HYDRANT AND GATE VALVE ASSEMBLY.
- ③ INSTALL SMALL UTILITY CROSSING (2) 4\"/>

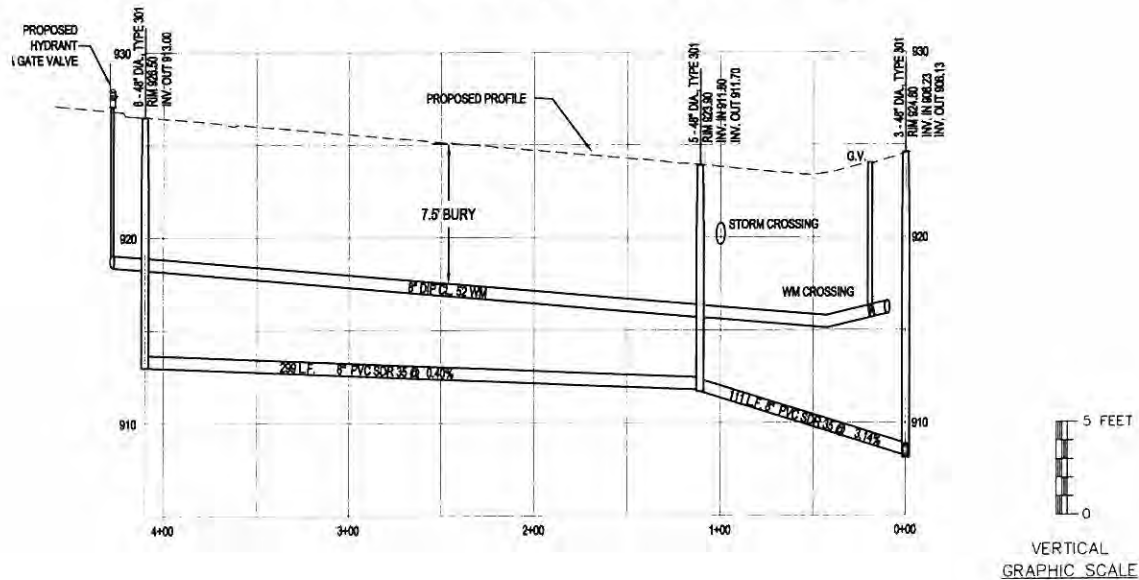
Notes

- 1) SEE DETAIL SHEETS FOR SPECIFIC REQUIREMENTS FOR UTILITY INSTALLATION.
- 2) ALL UTILITIES SHALL BE INSTALLED PER CITY OF LAKE ELMO DETAILS AND SPECIFICATIONS.
- 3) TRACER WIRE IS REQUIRED ON ALL SANITARY SEWER MAIN LINE AND SERVICES.

Legend

- 2ND ADDITION BOUNDARY
- 2 — PROPOSED 8\"/>
- 9 — PROPOSED RCP STORM SEWER
- + — PROPOSED 8\"/>
- + — PROPOSED 8\"/>
- + — PROPOSED 8\"/>
- + — PROPOSED RIGID PERFORATED 4\"/>
- UGG — EXISTING UNDERGROUND GAS LINE
- — EXISTING STORM SEWER
- — EXISTING WATERMAIN
- — EXISTING SANITARY SEWER

PROFILE VIEW - SANITARY SEWER (LINDEN COURT)



City Standard Plan Notes

- WATERMAIN**
1. ALL WATERMAIN AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
 2. MANIPULATION OF EXISTING VALVES SHALL BE PERFORMED ONLY BY CITY PERSONNEL.
 3. WATERMAIN SHALL BE DUCTILE IRON PIPE, CLASS-52.
 4. ALL FITTINGS SHALL COMPLY WITH CEAM SPEC. 2811.2.A.1. ALL FITTINGS SHALL BE DUCTILE IRON PIPE WITH POLYETHYLENE ENCASUREMENT. ALL CONNECTIONS SHALL BE INSTALLED UTILIZING COR-BLUE NUTS & BOLTS.
 5. USE GATE VALVES FOR ALL APPLICATIONS UP THROUGH 12 INCHES.
 6. GATE VALVES SHALL BE RESILIENT WEDGE AMERICAN FLOW CONTROL SERIES 2500 OR APPROVED EQUAL. GATE VALVES MUST COMPLY WITH CEAM SPEC 2811.2, C.2.
 7. USE BUTTERFLY VALVES FOR ALL APPLICATIONS GREATER THAN 12 INCHES.
 8. BUTTERFLY VALVES SHALL BE MUELLER LINESEAL III, OR APPROVED EQUAL BUTTERFLY VALVES SHALL COMPLY WITH CEAM SPEC. 2811.2, C.3.
 9. BOLTS AND NUTS ON ALL VALVES AND HYDRANTS SHALL BE STAINLESS STEEL.
 10. ALL HYDRANTS SHALL BE INSTALLED 5.0 FEET BACK OF CURB.
 11. HYDRANTS SHALL BE WATERLOUS "PACER," MODEL WB-57 OR APPROVED EQUAL, FITTED WITH FH 800 SERIES FLEX STAKE AND PAINTED RED.
 12. HYDRANTS SHALL HAVE TWO OUTLET NOZZLES FOR 2-1/2 (L.D.) HOSE CONNECTIONS AND ONE 4\"/>
- SANITARY SEWER**
1. ALL SANITARY SEWER AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
 2. ALL SANITARY SEWER PVC PIPE SHALL BE INSTALLED ACCORDING TO CITY STANDARD DRAWING 105 "GRANULAR MATERIAL BEDDING METHOD (FOR PVC SANITARY SEWER PIPE)".
 3. UNLESS NOTED OTHERWISE, ALL SMOOTH WALLED SANITARY SEWER PVC PIPE AND FITTINGS SHALL BE SDR 35 WITH ELASTOMERIC GASKETED JOINTS.
 4. ALL SANITARY SEWER SERVICES SHALL BE 4-INCH PVC, SCH. 40 OR SDR 26 PIPE.
 5. SMOOTH WALLED PVC PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF ASTM D-3054 FOR THE SIZE, STANDARD DIMENSION RATIO (SDR), AND STRENGTH REQUIREMENTS INDICATED ON THE PLANS, SPECIFICATIONS, AND SPECIAL PROVISIONS.
 6. REINFORCED CONCRETE PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF MNDOT SPEC 3236 (REINFORCED CONCRETE PIPE) FOR THE TYPE, SIZE, AND STRENGTH CLASS SPECIFIED HEREIN.
 7. JOINTS OF MANHOLE RISER SECTIONS SHALL BE TONGUE AND GROOVE WITH RUBBER "O" RING JOINTS PROVIDED ON ALL SANITARY SEWER MANHOLES.
 8. SANITARY SEWER INLET AND OUTLET PIPES SHALL BE JOINED TO THE MANHOLE WITH A GASKETED, FLEXIBLE, WATERTIGHT CONNECTION TO ALLOW DIFFERENTIAL SETTLEMENT OF THE PIPE AND MANHOLE TO TAKE PLACE.
 9. A 1'-0" TO 1'-4" MANHOLE SECTION SHALL BE INSTALLED UNDER THE CONE SECTION TO ALLOW FOR HEIGHT ADJUSTMENT WHENEVER POSSIBLE.
 10. ALL SERVICE LINE STUBS MUST HAVE A 2"x2" HARDWOOD MARKER WITH METAL SPIKE RUNNING FROM THE END OF PIPE TO FINISHED GRADE ELEVATION.
 11. UPON MAKING A CONNECTION TO AN EXISTING SANITARY SEWER STUB OR MANHOLE, DIRT AND DEBRIS SHALL BE PREVENTED FROM ENTERING THE EXISTING SEWER BY IMMEDIATELY INSTALLING WATERTIGHT PLUGS AS NEEDED IN THE EXISTING MANHOLE.

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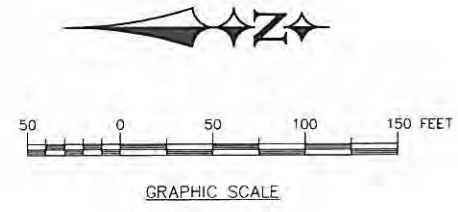
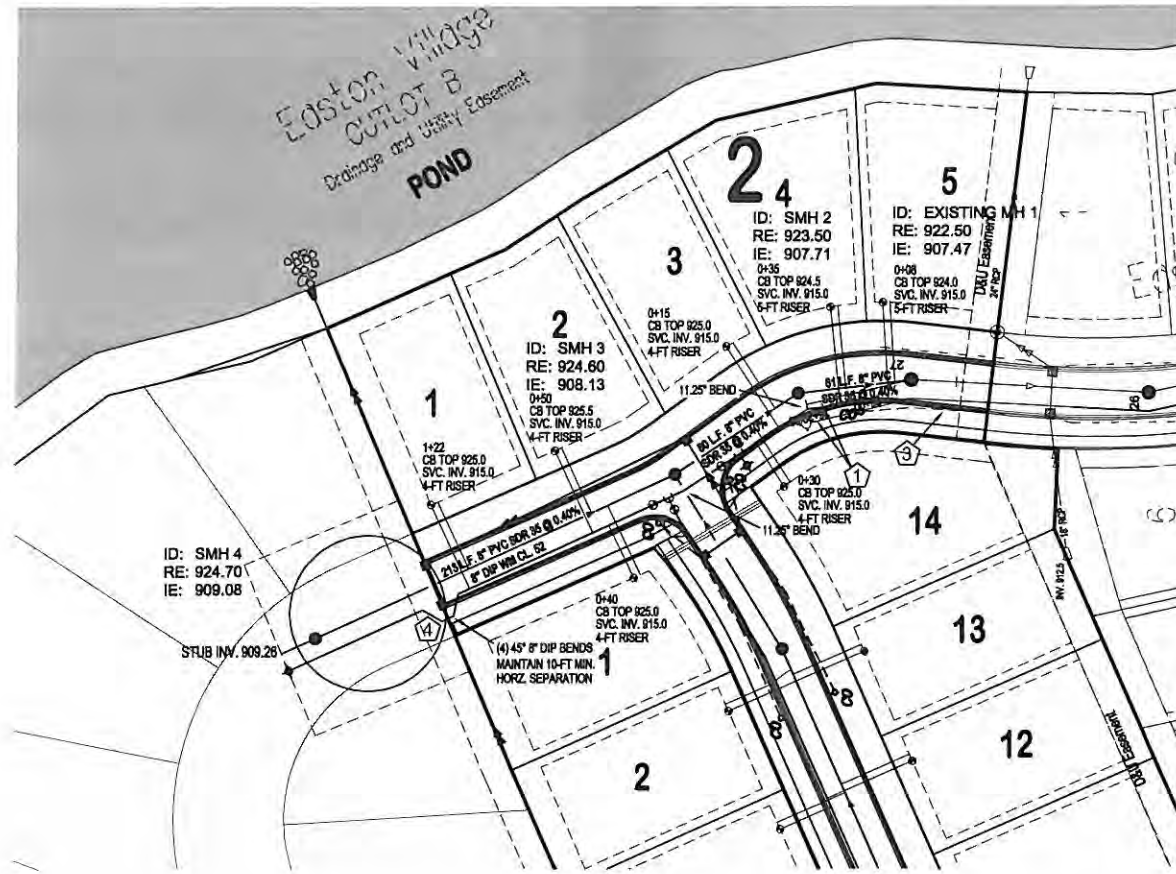
EASTON VILLAGE
 2ND ADDITION
 FINAL PLAN
 LAKE ELMO, MINNESOTA

NO.	REVISION DESCRIPTION	DATE

JOB NO. 16-175
 SHEET TITLE
SANITARY SEWER & WATERMAIN PLAN & PROFILE
 SHEET NO.
C12
 SHEET 12 OF 21

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PLAN VIEW - SANITARY SEWER (LINDEN AVENUE)



Keyed Notes

- ① SALVAGE AND RE-ALIGN EXISTING SANITARY SEWER AND WATER MAIN STUBS.
- ② SALVAGE AND RE-INSTALL EXISTING HYDRANT AND GATE VALVE ASSEMBLY.
- ③ RE-ALIGN DRAIN TILE
- ④ PROVIDE HORIZONTAL OFFSET TO CATCH BASIN IN CURB LINE

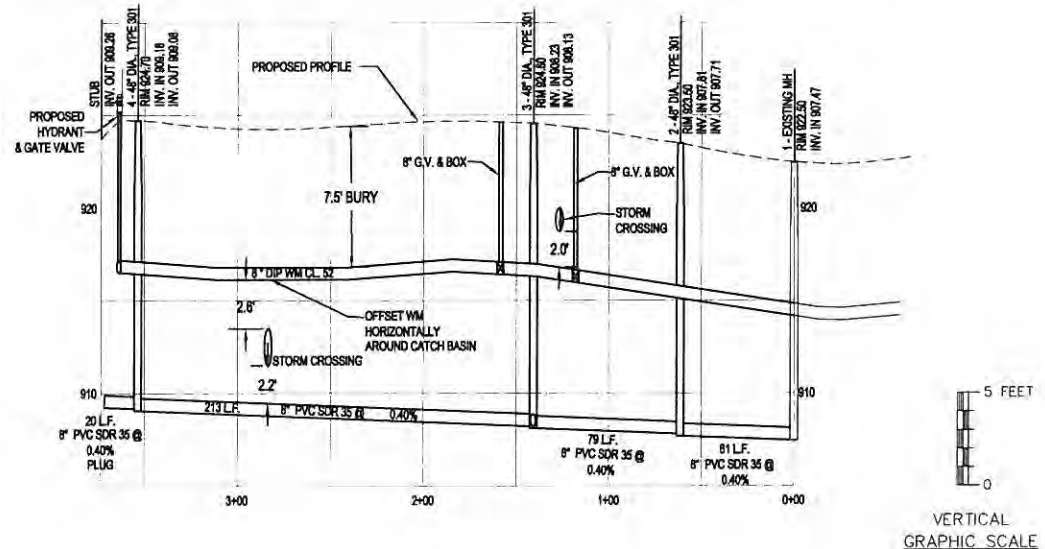
Notes

- 1) SEE DETAIL SHEETS FOR SPECIFIC REQUIREMENTS FOR UTILITY INSTALLATION.
- 2) ALL UTILITIES SHALL BE INSTALLED PER CITY OF LAKE ELMO DETAILS AND SPECIFICATIONS.
- 3) TRACER WIRE IS REQUIRED ON ALL SANITARY SEWER MAIN LINE AND SERVICES.

Legend

- 2ND ADDITION BOUNDARY
- 2 — PROPOSED 8" PVC (SDR 35 OR 26) SANITARY SEWER
- 9 — PROPOSED RCP STORM SEWER
- — PROPOSED 8" DIP WM CL. 52 WATER MAIN, HYDRANT AND GATE VALVE
- — PROPOSED SANITARY SEWER AND WATER SERVICE (SANITARY SERVICE - 4" PVC (SCH. 40) AND WATER SERVICE - 1" TYPE "K" COPPER WITH CURB STOP)
- — PROPOSED RIGID PERFORATED 4" PVC DRAIN TILE WITH SOCK (REQUIRED 100-FT EACH SIDE OF LOW POINT CATCH BASIN OR AS SHOWN), PROVIDE CLEAN OUT AT END OF PIPE
- UGG — EXISTING UNDERGROUND GAS LINE
- — EXISTING STORM SEWER
- — EXISTING WATERMAIN
- — EXISTING SANITARY SEWER

PROFILE VIEW - SANITARY SEWER (LINDEN AVENUE)



City Standard Plan Notes

- WATERMAIN**
- ALL WATERMAIN AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
 - MANIPULATION OF EXISTING VALVES SHALL BE PERFORMED ONLY BY CITY PERSONNEL.
 - WATERMAIN SHALL BE DUCTILE IRON PIPE, CLASS-S2.
 - ALL FITTINGS SHALL COMPLY WITH CEAM SPEC. 2611.2.A.1. ALL FITTINGS SHALL BE DUCTILE IRON PIPE WITH POLYETHYLENE ENCASUREMENT. ALL CONNECTIONS SHALL BE INSTALLED UTILIZING COR-BLUE NUTS & BOLTS.
 - USE GATE VALVES FOR ALL APPLICATIONS UP THROUGH 12 INCHES.
 - GATE VALVES SHALL BE RESILIENT WEDGE AMERICAN FLOW CONTROL SERIES 2500 OR APPROVED EQUAL. GATE VALVES MUST COMPLY WITH CEAM SPEC 2611.2, C.2.
 - USE BUTTERFLY VALVES FOR ALL APPLICATIONS GREATER THAN 12 INCHES.
 - BUTTERFLY VALVES SHALL BE MUELLER LINESAL III, OR APPROVED EQUAL. BUTTERFLY VALVES SHALL COMPLY WITH CEAM SPEC. 2611.2, C.3.
 - BOLTS AND NUTS ON ALL VALVES AND HYDRANTS SHALL BE STAINLESS STEEL.
 - ALL HYDRANTS SHALL BE INSTALLED 5.0 FEET BACK OF CURB.
 - HYDRANTS SHALL BE WATERLOUS "PACER," MODEL WB-67 OR APPROVED EQUAL, FITTED WITH FH 800 SERIES FLEX STAKE AND PAINTED RED.
 - HYDRANTS SHALL HAVE TWO OUTLET NOZZLES FOR 2-1/2 (I.D.) HOSE CONNECTIONS AND ONE 4" STORZ NOZZLE.
 - THE CURB STOP SERVICE ASSEMBLY SHALL HAVE A MINIMUM 1-FT ADJUSTMENT RANGE AND SHALL EXTEND 6 INCHES ABOVE FINISHED GRADE FULLY EXTENDED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING WATER TO HOMES AND BUSINESSES WHOSE WATER SUPPLY IS DISRUPTED DURING THE COURSE OF THE PROJECT.
- SANITARY SEWER**
- ALL SANITARY SEWER AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
 - ALL SANITARY SEWER PVC PIPE SHALL BE INSTALLED ACCORDING TO CITY STANDARD DRAWING 105 "GRANULAR MATERIAL BEDDING METHOD (FOR PVC SANITARY SEWER PIPE).
 - UNLESS NOTED OTHERWISE, ALL SMOOTH WALLED SANITARY SEWER PVC PIPE AND FITTINGS SHALL BE SDR 35 WITH ELASTOMERIC GASKETED JOINTS.
 - ALL SANITARY SEWER SERVICES SHALL BE 4-INCH PVC, SCH. 40 OR SDR 26 PIPE.
 - SMOOTH WALLED PVC PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF ASTM D-3054 FOR THE SIZE, STANDARD DIMENSION RATIO (SDR), AND STRENGTH REQUIREMENTS INDICATED ON THE PLANS, SPECIFICATIONS, AND SPECIAL PROVISIONS.
 - REINFORCED CONCRETE PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF MHDOT SPEC 3236 (REINFORCED CONCRETE PIPE) FOR THE TYPE, SIZE, AND STRENGTH CLASS SPECIFIED HEREIN.
 - JOINTS OF MANHOLE RISER SECTIONS SHALL BE TONGUE AND GROOVE WITH RUBBER "O" RING JOINTS PROVIDED ON ALL SANITARY SEWER MANHOLES.
 - SANITARY SEWER INLET AND OUTLET PIPES SHALL BE JOINED TO THE MANHOLE WITH A GASKETED, FLEXIBLE, WATER TIGHT CONNECTION TO ALLOW DIFFERENTIAL SETTLEMENT OF THE PIPE AND MANHOLE TO TAKE PLACE.
 - A 1'-0" TO 1'-4" MANHOLE SECTION SHALL BE INSTALLED UNDER THE CONE SECTION TO ALLOW FOR HEIGHT ADJUSTMENT WHENEVER POSSIBLE.
 - ALL SERVICE LINE STUBS MUST HAVE A 2"x2" HARDWOOD MARKER WITH METAL SPIKE RUNNING FROM THE END OF PIPE TO FINISHED GRADE ELEVATION.
 - UPON MAKING A CONNECTION TO AN EXISTING SANITARY SEWER STUB OR MANHOLE, DIRT AND DEBRIS SHALL BE PREVENTED FROM ENTERING THE EXISTING SEWER BY IMMEDIATELY INSTALLING WATER TIGHT PLUGS AS NEEDED IN THE EXISTING MANHOLE.

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[Signature]
 TERRY A. ERICKSON, PE
 40418
 LICENSE NO.
 03/17/2017
 DATE

OWNER/DEVELOPER
CHASE DEVELOPMENT
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

PROJECT TITLE
**EASTON VILLAGE
 2ND ADDITION
 FINAL PLAN
 LAKE ELMO, MINNESOTA**

NO.	REVISION DESCRIPTION	DATE

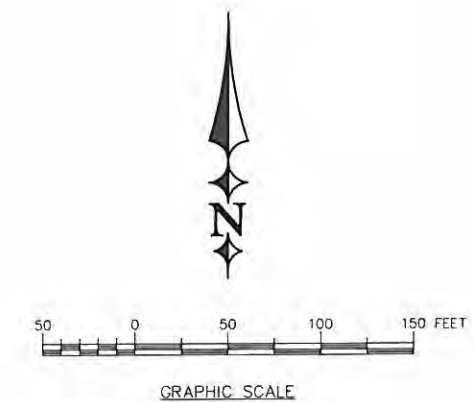
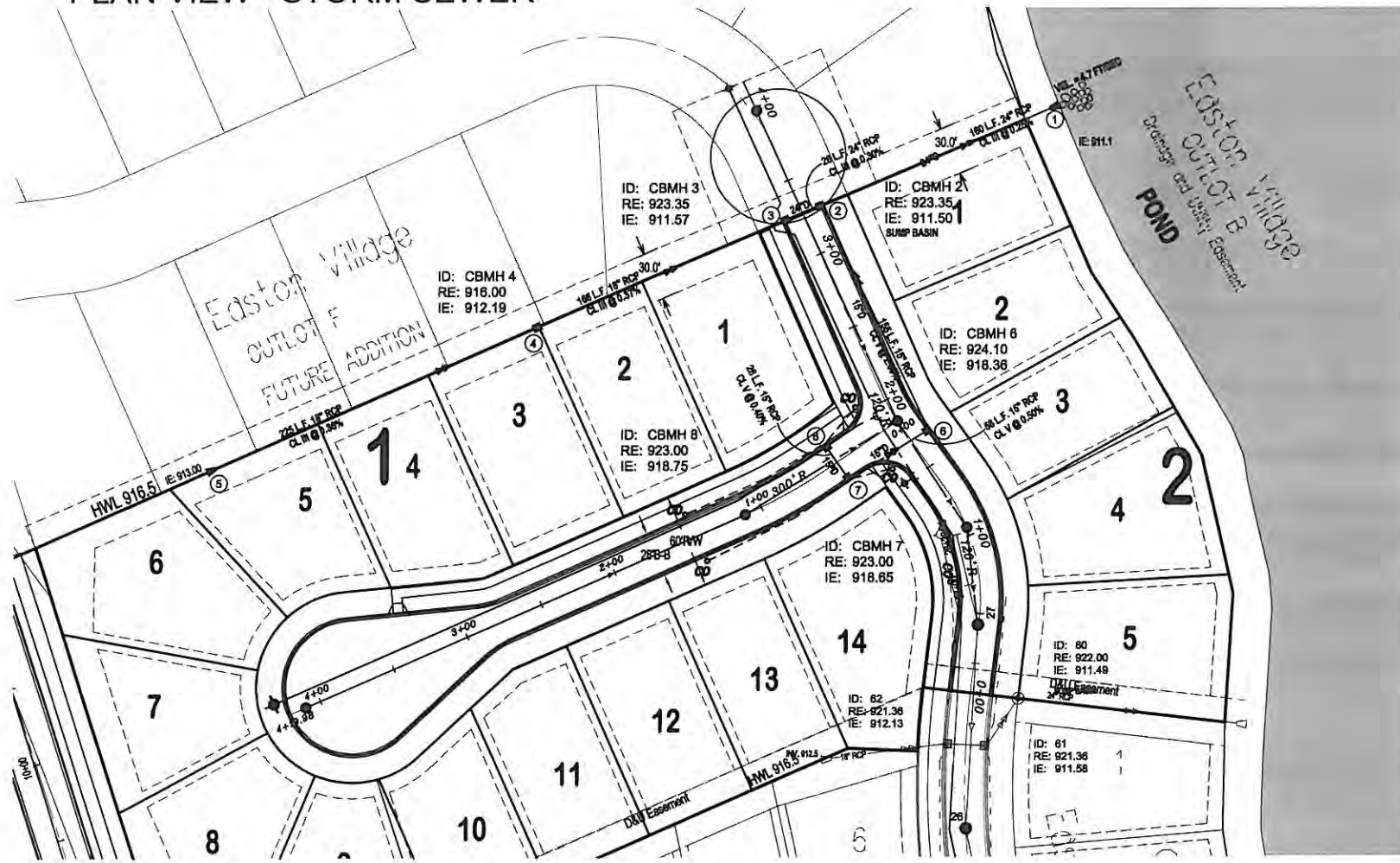
JOB NO. 16-175

SHEET TITLE
SANITARY SEWER & WATERMAIN PLAN & PROFILE

SHEET NO.
C13
 SHEET 13 OF 21

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PLAN VIEW - STORM SEWER



Legend

- PROPERTY BOUNDARY
- PROPOSED 8" PVC (SDR 35 OR 26) SANITARY SEWER
- PROPOSED RCP STORM SEWER
- PROPOSED 8" DIP WM CL. S2 WATER MAIN, HYDRANT AND GATE VALVE
- PROPOSED SANITARY SEWER AND WATER SERVICE (SANITARY SERVICE - 4" PVC (SCH. 40) AND WATER SERVICE - 1" TYPE 10" COPPER WITH CURB STOP)
- PROPOSED RIGID PERFORATED 4" PVC DRAIN TILE WITH SOCK (REQUIRED 100-FT EACH SIDE OF LOW POINT CATCH BASINS OR AS SHOWN). PROVIDE CLEAN OUT AT END OF PIPE.
- EXISTING UNDERGROUND GAS LINE
- EXISTING STORM SEWER
- EXISTING WATERMAIN
- EXISTING SANITARY SEWER

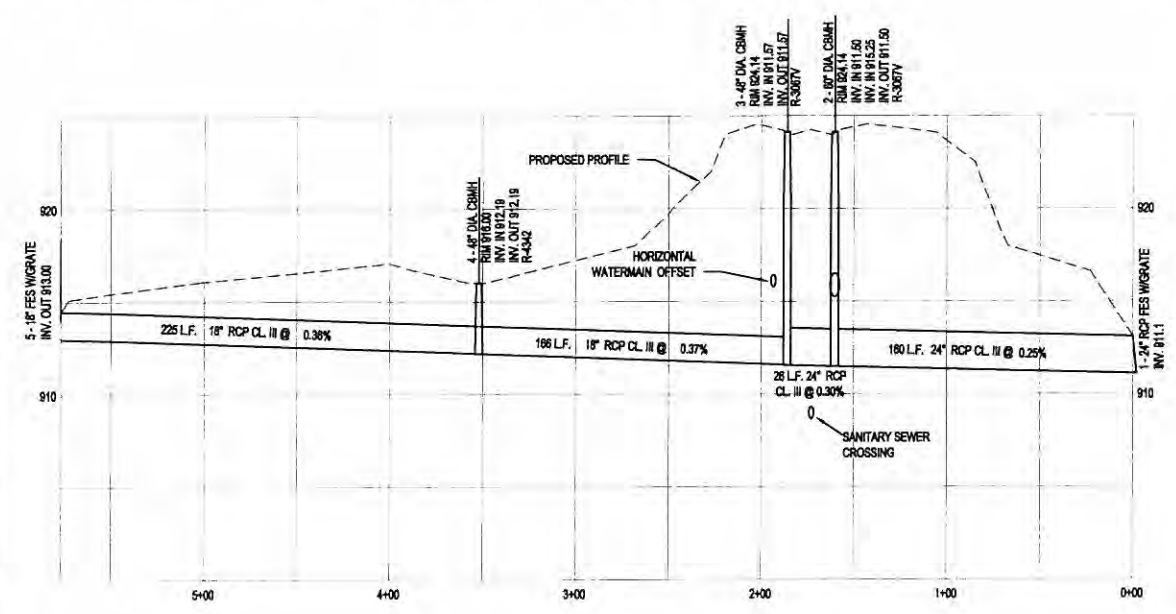
Notes

- 1) SEE DETAIL SHEETS FOR SPECIFIC REQUIREMENTS FOR UTILITY INSTALLATION.
- 2) ALL UTILITIES SHALL BE INSTALLED PER CITY OF LAKE ELMO DETAILS AND SPECIFICATIONS.

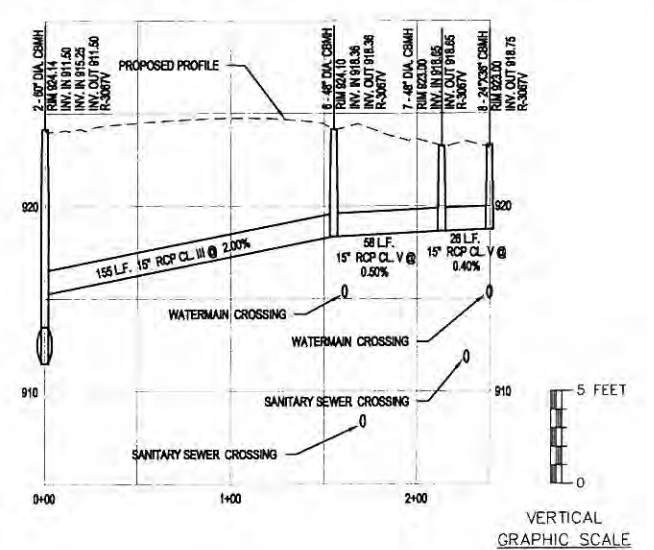
City Standard Plan Notes

1. ALL STORM SEWER AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
2. REINFORCED CONCRETE PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF MHDOT SPEC 3236 (REINFORCED CONCRETE PIPE) FOR THE TYPE, SIZE, AND STRENGTH CLASS SPECIFIED HEREIN.
3. PRECAST CONCRETE MANHOLE AND CATCH BASIN SECTIONS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-477.
4. A 1'-4" TO 1'-4" MANHOLE SECTION SHALL BE INSTALLED UNDER THE CONE SECTION TO ALLOW FOR HEIGHT ADJUSTMENT WHENEVER POSSIBLE.
5. JOINTS OF MANHOLE RISER SECTIONS SHALL BE TONGUE AND GROOVE WITH RUBBER "O" RING JOINTS PROVIDED ON ALL STORM SEWER MANHOLES.
6. RIP-RAP SHALL BE HAND-PLACED OVER GEOTEXTILE FABRIC AND CONFORM TO MHDOT SPEC. 3001, CLASS III, OR AS SPECIFIED HEREIN.
7. THE GEOTEXTILE FABRIC USED UNDER RIP-RAP SHALL EXTEND 3 FT UNDER THE APRON.
8. FURNISH & INSTALL TRASH GUARDS ON ALL FLARED END SECTIONS.
9. ALL SILT SHALL BE CLEANED OUT FROM THE RIP-RAP AT THE END OF THE PROJECT.

PROFILE VIEW - STORM SEWER (1 - 5)



PROFILE VIEW - STORM SEWER (2 - 8)



VERTICAL GRAPHIC SCALE

STORM SEWER DESIGN TABLE

Up-Stream Struct.	Down-Stream Struct.	Len. Ft.	Plan Area Sq.ft.	Areas (ac.) Site Indv.	Site Sum	C	C Avg	Total Tc Min.	Tp Min.	Tc+Tp Min.	Tt Min.	Indv I In/Hr	Avg I In/Hr	CB Q CFS	Pipe Q CFS	Pipe Dia. In.	Pipe Grade %	Vel. F/US	Pipe Cap CFS	Q Excess CFS
8	7	26	29,980	0.69	0.69	0.80	0.80	5.0	0.1	5.1	5.1	7.20	7.20	4.0	4.0	15	0.40	4.3	5.3	1.3
7	6	58	33,330	0.77	1.45	0.80	0.80	5.1	0.2	5.3	5.3	7.20	7.20	4.4	4.0	15	0.50	4.8	5.9	2.0
6	2	155	2,805	0.06	1.52	0.80	0.80	5.3	0.3	5.6	5.6	7.10	7.10	0.4	8.6	15	2.00	9.7	11.9	3.3

NOTE: Pipe run 1-5 based on hydrocad storm sewer analysis.

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EASTON VILLAGE
 2ND ADDITION
 FINAL PLAN
 LAKE ELMO, MINNESOTA

NO.	DATE	REVISION DESCRIPTION

JOB NO. 16-175
 SHEET TITLE
 STORM SEWER PLAN & PROFILE
 SHEET NO.
C14
 SHEET 14 OF 21

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CITY OF LAKE ELMO
STANDARD DETAIL INDEX

- 100 SERIES - PIPE INSTALLATION
- 101 PIPE FOUNDATION DETAILS
 - 103 GRANULAR MATERIAL BEDDING METHOD (FOR PVC SANITARY SEWER PIPE)
 - 105 SPECIAL FOUNDATION FOR STABILIZING OF TRENCH
- 200 SERIES - WATERMAIN
- 200A STANDARD PLAN NOTES (WATERMAIN PLANS)
 - 201 TYPICAL HYDRANT LAYOUT (VALVE IN BOULEVARD)
 - 203 GATE VALVE INSTALLATION
 - 204 GATE VALVE ADAPTER
 - 206 CONCRETE REACTION BACKING (FOR BENDS)
 - 207A WATER SERVICE ON DIP MAIN
 - 207B WATER SERVICE ON PVC OR HDPE MAIN
 - 208 IRRIGATION SERVICE
 - 210 WATERMAIN OFFSET
 - 211 WATERMAIN OFFROAD STRUCTURE MARKER
- 300 SERIES - SANITARY SEWER
- 300A STANDARD PLAN NOTES (SANITARY SEWER PLANS)
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 - 302 SANITARY SEWER MANHOLE, TYPE 302
 - 303 SANITARY SEWER MANHOLE, TYPE 303
 - 305 SANITARY SEWER MANHOLE, TYPE 305
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 - 313 SANITARY SEWER SERVICE
 - 314 AIR RELEASE MANHOLE
- 400 SERIES - STORM SEWER
- 400A STANDARD PLAN NOTES (STORM SEWER PLANS)
 - 402 CATCH BASIN, TYPE 402
 - 404 CATCH BASIN, TYPE 404
 - 405 CATCH BASIN/MANHOLE WITH SUMP, TYPE 405
 - 406 CATCH BASIN/MANHOLE, TYPE 406
 - 407 STORM SEWER MANHOLE, TYPE 407 (PIPES 27" OR LESS)
 - 408 STORM SEWER MANHOLE, TYPE 408 (PIPES 30" & LARGER)
 - 409 STORM SEWER MANHOLE, TYPE 409
 - 410 "T" SECTION STORM SEWER MANHOLE, TYPE 410
 - 411 RIPRAP AT RCP OUTLETS
 - 412 OFFROAD DRAINTILE
 - 416 TYPICAL POND SECTION
 - 417 OUTLET CONTROL STRUCTURE DETAIL
 - 419 DRAINTILE CLEANOUT
 - 420 DRAIN TILE CONNECTIONS
 - 421 EDGE DRAIN SERVICE

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CITY OF LAKE ELMO

STANDARD DRAWING NO.
index-le1
LAKE ELMO

CITY OF LAKE ELMO
STANDARD DETAIL INDEX

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- 500A STANDARD PLAN NOTES (SIDEWALK AND TRAIL PLANS)
 - 501 CONCRETE CURB & GUTTER
 - 502 COMMERCIAL CONCRETE DRIVEWAY
 - 504 RESIDENTIAL DRIVEWAY
 - 505 CONCRETE VALLEY GUTTER
 - 506 CATCH BASIN PLACEMENT AND CURB & GUTTER TRANSITION AT INTERSECTIONS
 - 507A PEDESTRIAN CURB RAMP
 - 507B PEDESTRIAN CURB RAMP
 - 507C PEDESTRIAN CURB RAMP
 - 507D PEDESTRIAN CURB RAMP
 - 507E PEDESTRIAN CURB RAMP
 - 508 DETECTABLE WARNING SURFACE - TRUNCATED DOME
 - 509 BICYCLE - PEDESTRIAN PATH
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- 600 SERIES - EROSION CONTROL
- 600A STANDARD PLAN NOTES (GRADING AND EROSION CONTROL PLANS)
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 - 600D STANDARD PLAN NOTES (SITE RESTORATION PLANS)
 - 601 SILT FENCE
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 - 604 SEDIMENT CONTROL AROUND STORM SEWER INLET
 - 605 ROCK CONSTRUCTION ENTRANCE
- 700 SERIES - MISCELLANEOUS
- 700A STANDARD PLAN NOTES (SIGNING/PAVEMENT MARKINGS/LIGHTING PLANS)
 - 708 STREET SIGNS
 - 712 SANITARY, WATER & DRAIN TILE SERVICE INSTALLATION
 - 713 TYPICAL SERVICE PROTECTION
- 800 SERIES - TYPICAL SECTIONS AND RIGHT-OF-WAY
- 801 TYPICAL LOCAL RESIDENTIAL STREET SECTION
 - 804 TYPICAL LOCAL RESIDENTIAL RURAL STREET SECTION
 - 805 TYPICAL RIGHT OF WAY LAYOUT
 - 806 URBAN STREET UTILITY LOCATION

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CITY OF LAKE ELMO

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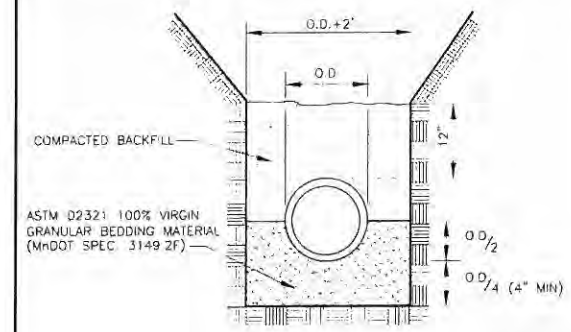
CITY OF LAKE ELMO
STANDARD DETAIL INDEX

- 900 SERIES - LANDSCAPING
- 900 STANDARD PLAN NOTES (LANDSCAPE PLAN)
 - 901A CONIFEROUS TREE - MODIFIED/UNMODIFIED SOIL & POORLY DRAINED SOIL
 - 901B CONIFEROUS TREE ON SLOPE 5% TO 50% MODIFIED AND UNMODIFIED SOIL
 - 902A DECIDUOUS TREE - MODIFIED/UNMODIFIED SOIL & POORLY DRAINED SOIL
 - 902B DECIDUOUS TREE ON SLOPE 5% TO 50% MODIFIED AND UNMODIFIED SOIL
 - 903A SHRUB - MODIFIED AND UNMODIFIED SOIL
 - 903B SHRUB ON SLOPE 5% TO 50% MODIFIED AND UNMODIFIED SOIL
 - 904 TREE PROTECTION - MAINTENANCE ROAD % BORING UNDER CROWN/DRIPLINE

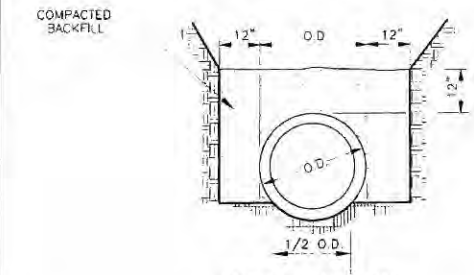
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index-le3
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GRANULAR MATERIAL BEDDING
(TO BE USED WHERE, IN THE OPINION OF THE ENGINEER, UNSTABLE MATERIAL PREVENTS USE OF THE "EARTH FOUNDATION" DETAIL)



EARTH FOUNDATION
(EXCEPT SANITARY SEWER)
PIPE FOUNDATION DETAILS

FEBRUARY 2015

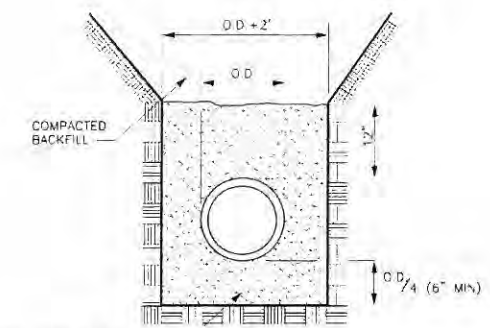
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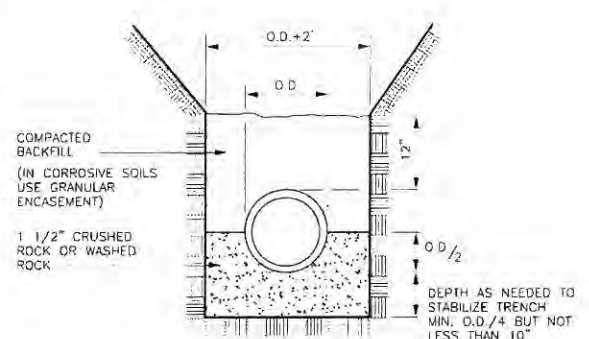


GRANULAR MATERIAL BEDDING METHOD
(FOR PVC SANITARY SEWER PIPE)

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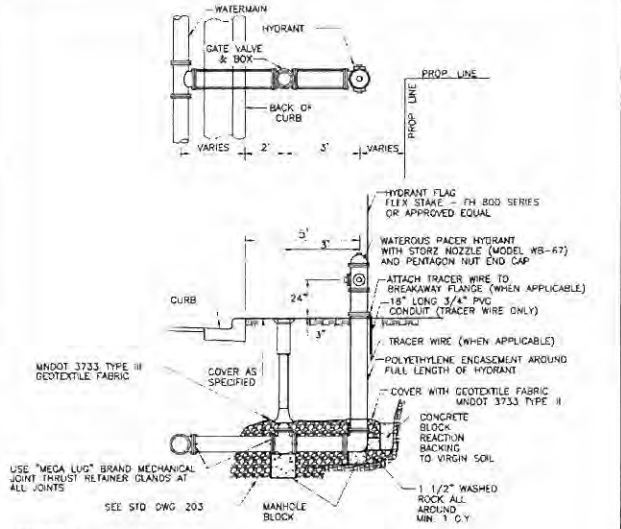


SPECIAL FOUNDATION FOR
STABILIZING OF TRENCH
(AS DIRECTED BY ENGINEER)

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105
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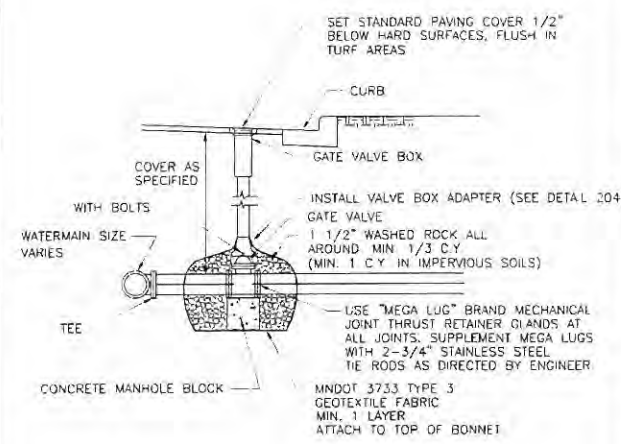


- NOTES:
1. USE MEGA LUGS ON ALL JOINTS. PROVIDE CONCRETE BLOCKING BEHIND HYDRANT AND TEE.
 2. USE COR-BLUE T BOLTS ON ALL FITTINGS.
 3. PLUG WEEP HOLES IF GROUNDWATER IS PRESENT.
 4. IF WEEP HOLES ARE PLUGGED, PUMPER NOZZLE CAP MUST BE PAINTED GREEN AND A TAG SHALL BE ATTACHED TO THE HYDRANT STRAIGHT "SHAN HOLES PLUGGED".
 5. SUPPLY 1 EXTRA FLEX STAKE FOR EVERY 10 HYDRANTS INSTALLED MINIMUM ONE PER PROJECT.
 6. SUPPLY 1 HYDRANT STORAGE WRENCH OR HYDRANT REPAIR KIT PER PROJECT.
 7. SUPPLY 1 6\"/>

FEBRUARY 2015

CITY OF LAKE ELMO

STANDARD DRAWING NO.
201
LAKE ELMO



- NOTES:
1. SUPPLY ONE 1 1/2\"/>

FEBRUARY 2015

CITY OF LAKE ELMO

STANDARD DRAWING NO.
203
LAKE ELMO

EASTON VILLAGE
2ND ADDITION
FINAL PLAN
LAKE ELMO, MINNESOTA

PROJECT TITLE
DATE
REVISION DESCRIPTION
NO

16-175

CITY STANDARD
DETAIL PLATES

C16
SHEET 16 OF 21

NOTE: COVER FITTINGS WITH PLASTIC (8 MIL) PRIOR TO POURING CONCRETE.

ELEVATION

PLAN

SECTION

CONCRETE REACTION BACKING (FOR BENDS)

FEBRUARY 2015

CITY OF LAKE ELMO

STANDARD DRAWING NO. 206

LAKE ELMO

6" T-SHAPED METAL FENCE POST PAINTED BLUE

UTILITY EASEMENT LINE

PROPERTY LINE

INSTALL CURB BOX FULLY EXTENDED, 6" ABOVE FINISHED GRADE

UNDISTURBED SOIL

48"

MINNEAPOLIS THREAD BASE, CURB BOX 1-1/4" UPPER SECTION WITH STATIONARY ROD A.Y. McDONALD 5614 OR EQUAL

7.5' MIN COVER

CORPORATION STOP A.Y. McDONALD 74701B OR APPROVED EQUAL

6" STUB CRIMPED SHUT

COPPER LOOP

CONCRETE M.H. BRICK

WATER SERVICE SHALL BE ONE CONTINUOUS PIECE OF TYPE "K" COPPER WITH NO UNIONS BETWEEN CORP. STOP AND CURB STOP

WATERMAIN

TYPICAL WATER SERVICE 1" TO 2 1/2" COPPER

NOTES:

- SERVICE TAP TO BE MADE SLIGHTLY ABOVE SPRING LINE SO THAT COPPER COPPER LOOP SHALL NOT EXTEND ABOVE MAIN. MAINTAIN 7.5' MINIMUM COVER EXTEND ABOVE MAIN MAINTAIN 7.5' MINIMUM SERVICE LINES.
- IF TAPPING SADDLE IS REQUIRED, IT SHALL BE STAINLESS STEEL DOUBLE-STUD WRAP AROUND TAPPING SADDLE SMITH-BLAIR 372 OR APPROVED EQUAL.

WATER SERVICE ON DIP MAIN

FEBRUARY 2015

CITY OF LAKE ELMO

STANDARD DRAWING NO. 207A

LAKE ELMO

WORK BY CITY/DEVELOPER

R/W

WORK BY PRIVATE CONTRACTOR UNDER BUILDING PERMIT

2"x2"x8" WOOD POST

VARIABLE SEE PLAN

VARIABLE SEE PLAN

CONCRETE CURB AND CUTTER

4" TEE

WATERMAIN BY CITY

4" DIP PLUG, TAPPED W/2" CORPORATION STOP

NOTE: INSTALL 2" CURB STOP WITH COMPRESSION FITTING AT THE END.

IRRIGATION SERVICE

FEBRUARY 2015

CITY OF LAKE ELMO

STANDARD DRAWING NO. 208

LAKE ELMO

RESTRAINED LENGTH TO BE DETERMINED IN ACCORDANCE WITH D.I.P. RESEARCH ASSOC. STANDARDS.

45° M.J. BEND (TYPICAL)

16"x8"x4" RIGID POLYSTYRENE INSULATION

SEWER

18" MIN

O.D. PLUS 2.0'

NOTE: FITTINGS SHALL BE RESTRAINED WITH THE USE OF APPROVED MECHANICAL JOINT RESTRAINING GLANDS.

WATERMAIN OFFSET

FEBRUARY 2015

CITY OF LAKE ELMO

STANDARD DRAWING NO. 210

LAKE ELMO

RHINO TRI-VIEW MARKER POST

ELEVATION

PLAN

WATERMAIN OFFROAD STRUCTURE MARKER (AS DIRECTED BY ENGINEER)

FEBRUARY 2015

CITY OF LAKE ELMO

STANDARD DRAWING NO. 211

LAKE ELMO

NEENAH CASTING R-1642 TYPE 'B' SOLID COVER WITH CONCEALED PICKHOLES

RINGS (2 MIN. 1" MAX OF RINGS & MORTAR)

"INFI-SHIELD" SEAL OR EQUAL

1/2" MORTAR BETWEEN RINGS, CASTING & AND MANHOLE FINISH SMOOTH ON THE INSIDE AND OUTSIDE. NO MORTAR ON INSIDE.

27"

48"

16" O.C.

SECTION A-A

PLAN

FLEXIBLE WATER TIGHT CONNECTION

MIN. 2'-0" VARIABLE

MIN. 1"

10" MIN

2" MIN

PIPE

STAINLESS STEEL STRAP

FLEXIBLE SLEEVE

NO WOOD SHALL BE USED FOR ADJUSTING CASTING. CEMENT MORTAR ONLY.

CAST IRON MAN-HOLE FRAME & COVER AS PER SPECIFICATIONS.

MANHOLE STEPS SHALL BE CAST IRON, ALUMINUM OR STEEL REINFORCED PLASTIC, PER ASTM C478. STEP LOCATION SHALL BE AS NOTED IN THE SPECIFICATIONS.

PRECAST REINFORCED CONCRETE MANHOLE SECTIONS PER ASTM C478, FURNISHED WITH O-RING GASKETS AND LUBRICANT EXCEPT AS OTHERWISE SPECIFIED. A 12" OR 16" BARREL SECTION SHALL BE INSTALLED UNDER THE CONE WHENEVER POSSIBLE.

PIPE CONNECTIONS TO MANHOLE SHALL BE MADE WATER TIGHT BY CAST IN PLACE RUBBER BOOT AND CEMENT MORTAR. INSIDE SURFACE SHALL BE FINISHED SMOOTH.

SANITARY SEWER MANHOLE, TYPE 301 (PIPES 27" OR LESS)

FEBRUARY 2015

CITY OF LAKE ELMO

STANDARD DRAWING NO. 301

LAKE ELMO

RHINO TRI-VIEW MARKER POST

ELEVATION

PLAN

SANITARY SEWER OFFROAD STRUCTURE MARKER (AS DIRECTED BY ENGINEER)

FEBRUARY 2015

CITY OF LAKE ELMO

STANDARD DRAWING NO. 311

LAKE ELMO

2" x 2" HARDWOOD MARKER W/SPIKE

8" T-SHAPED METAL FENCE POST MARKER PAINTED GREEN

UTILITY EASEMENT LINE

END OF SAN. SERVICE ELEVATION & LOCATION AS STAKED IN FIELD. AIR TIGHT PLUG OR CAP

END RISER

1 1/2" MIN. 2% TYP.

GRANULAR BEDDING MATERIAL (COMPACTED)

45° BEND (BETWEEN PROPERTY LINE & UTIL. EASEMENT LINE)

WITHOUT RISER

WITH RISER

6" T-SHAPED METAL FENCE POST MARKER PAINTED GREEN

UTILITY EASEMENT LINE

END OF SAN. SERVICE ELEVATION & LOCATION AS STAKED IN FIELD. AIR TIGHT PLUG OR CAP

END RISER

1 1/2" MIN. 2% TYP.

GRANULAR BEDDING MATERIAL (COMPACTED)

45° BEND (BETWEEN PROPERTY LINE & UTIL. EASEMENT LINE)

DEPTH'S GREATER THAN 15' WHERE RISER APPROVED BY ENGINEER.

NOTE 1: SERVICE PIPE TO BE PVC SCH. 40 SOLVENT WELD ALL SCH. 40 JOINTS.

NOTE 2: TRACER WIRE TO BE INSTALLED ALONG SANITARY SEWER SERVICE AND SHALL TERMINATE AT THE END PLUG OR CAP.

SANITARY SEWER SERVICE

FEBRUARY 2015

CITY OF LAKE ELMO

STANDARD DRAWING NO. 313

LAKE ELMO

ERICKSON CIVIL
 333 North Main Street, Suite 201
 Stillwater, Minnesota 55082
 Phone (612) 309-3804
 www.ericksoncivilsite.com

DRAWING PHASE
OWNER REVIEW
AGENCY REVIEW
BID DOCUMENT
FOR CONSTRUCTION
AS-BUILT DOCUMENT

I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

David A. Erickson PE
 DAVID A. ERICKSON PE
 40418
 LICENSE NO.
 01/05/2017
 DATE

CHASE DEVELOPMENT
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

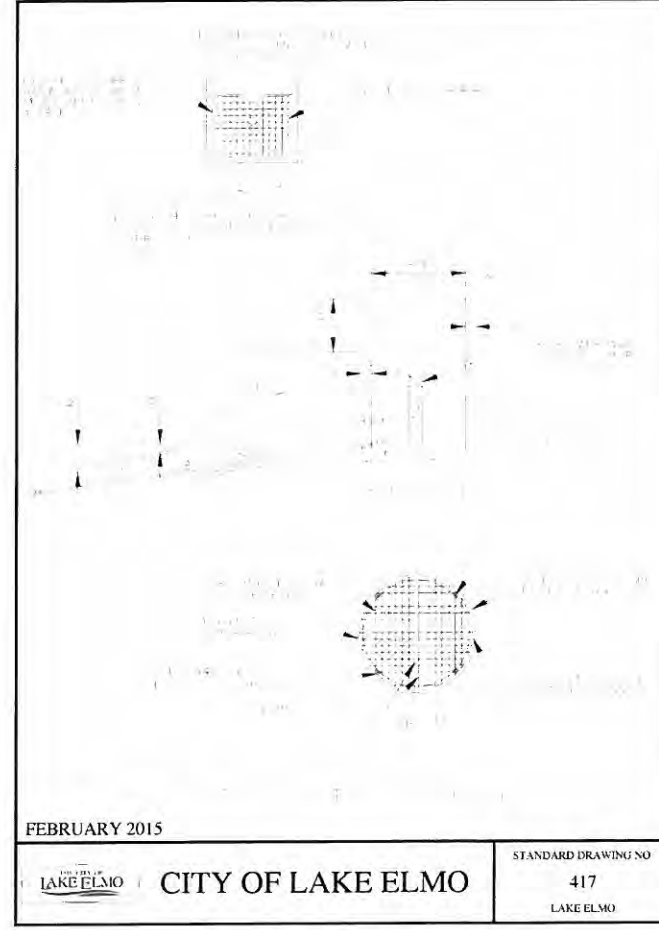
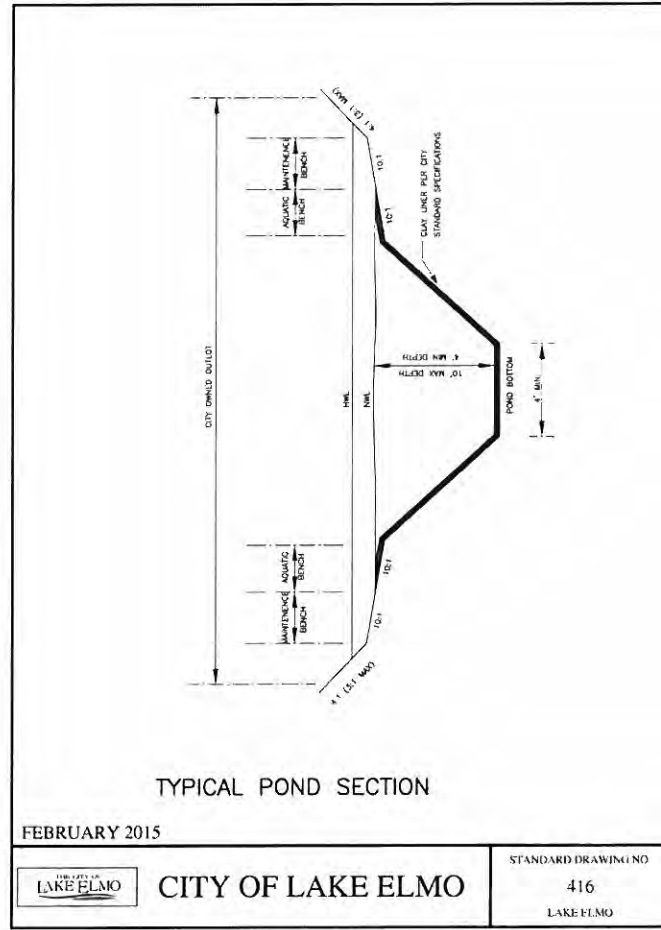
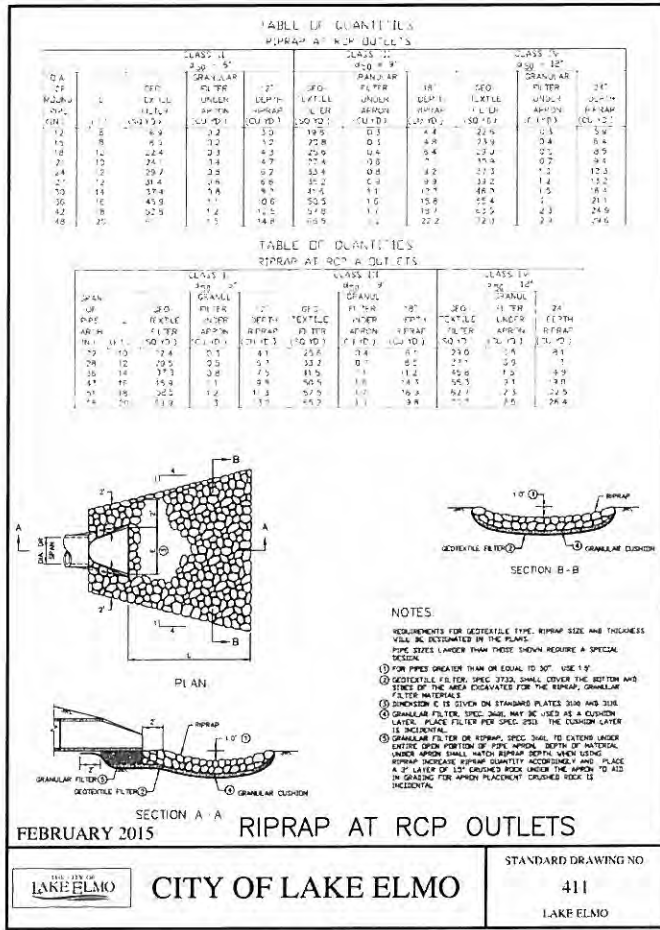
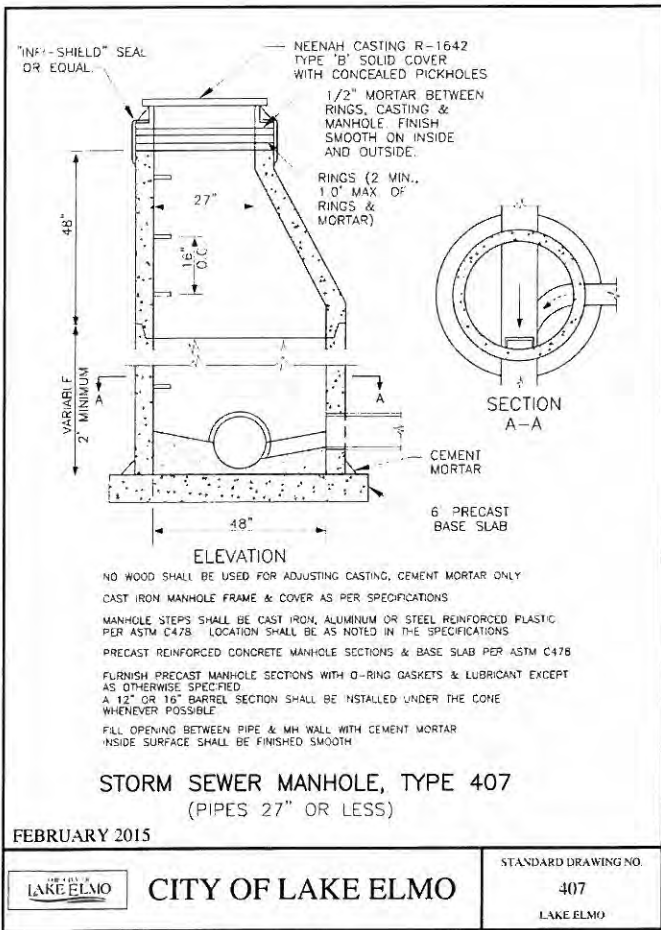
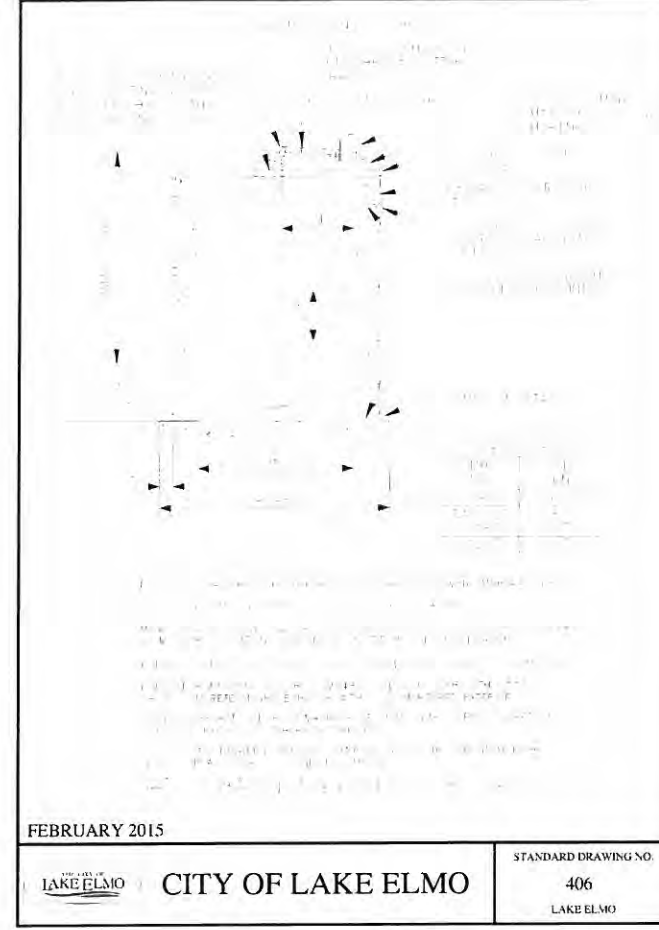
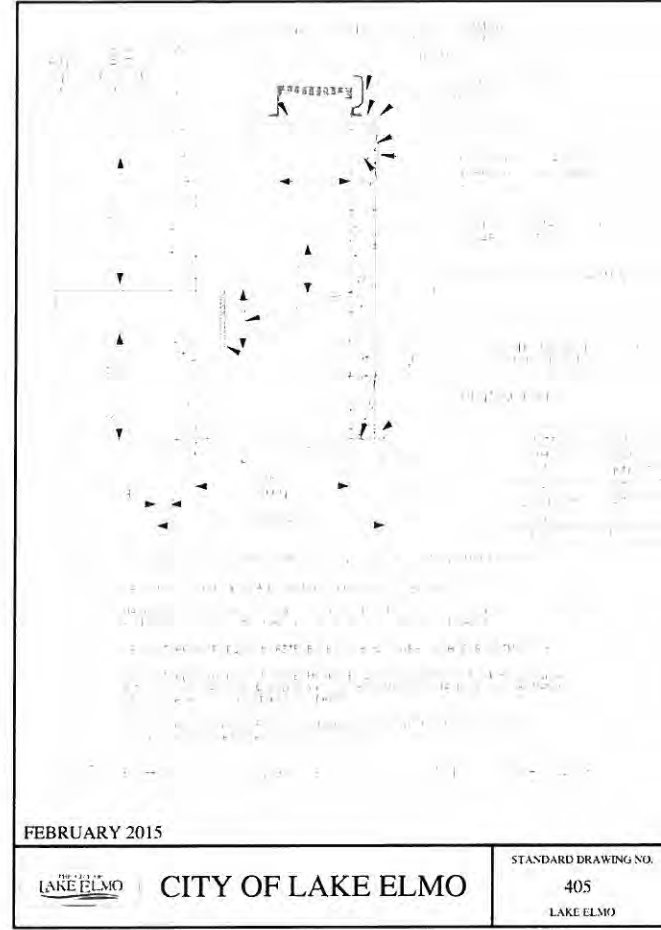
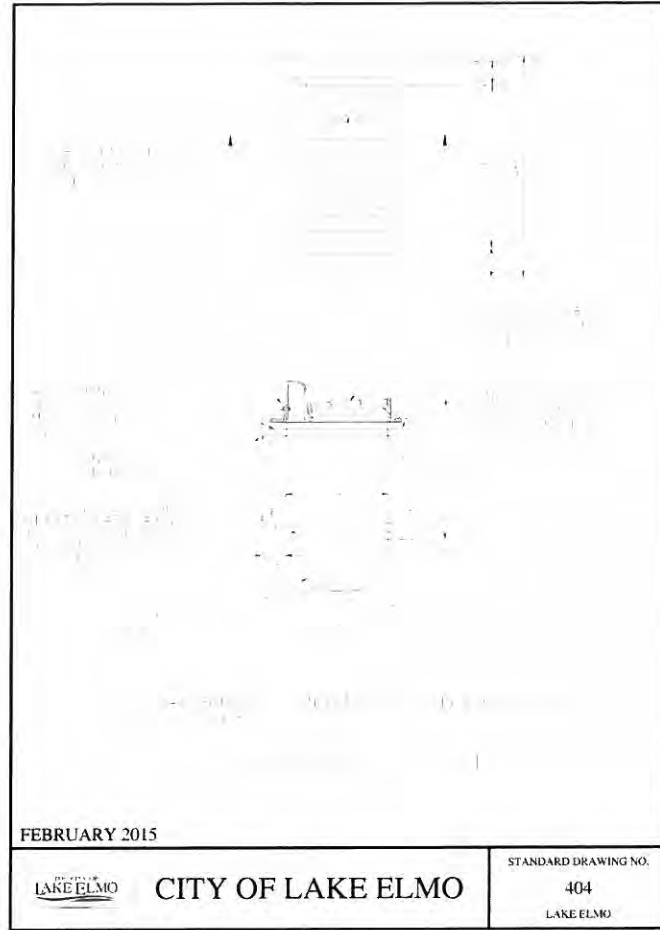
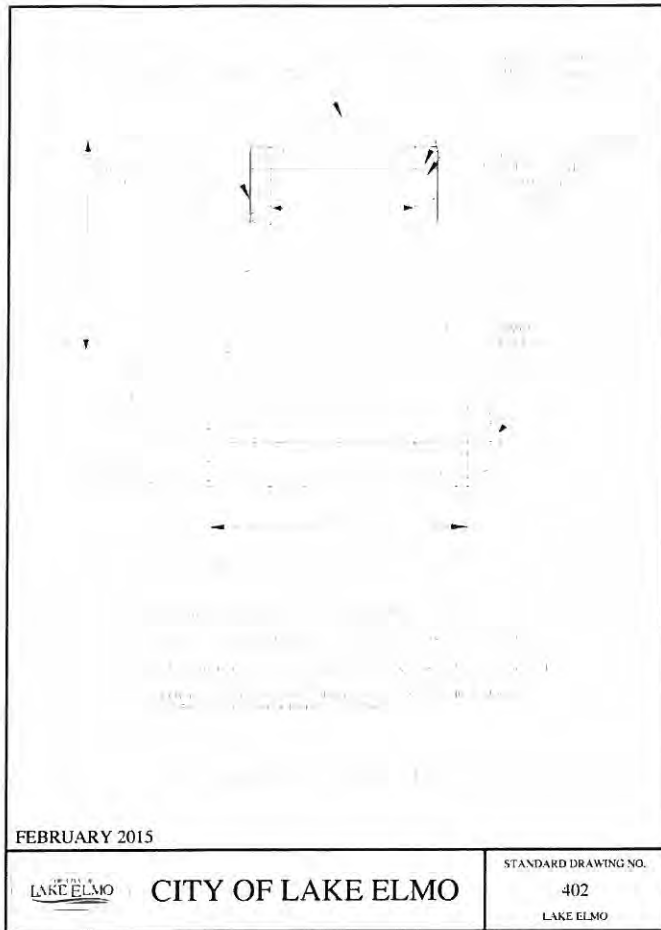
EASTON VILLAGE
 2ND ADDITION
 FINAL PLAN
 LAKE ELMO, MINNESOTA

NO.	REVISION DESCRIPTION	DATE

NO. 16-175

SHEET TITLE
 CITY STANDARD
 DETAIL PLATES

SHEET NO.
C17
 SHEET 17 OF 21



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[Signature]
TODD A. ERICKSON PE
40418
LICENSE NO.
01/05/2017
DATE

OWNER/INVOICE
CHASE DEVELOPMENT
2140 COUNTY ROAD 42 WEST
BURNSVILLE, MN 55337

PROJECT TITLE
EASTON VILLAGE
2ND ADDITION
FINAL PLAN
LAKE ELMO, MINNESOTA

NO.	REVISION DESCRIPTION	DATE

K&B NO. 16-175

SHEET TITLE
CITY STANDARD
DETAIL PLATES

SHEET NO.
C18
SHEET 18 OF 21

DRAINTILE CLEANOUT
(CASTING USED FOR CURB STOPS IN HARD SURFACES)

6" T-SHAPED METAL FENCE POST MARKER PAINTED PINK (IN GREEN AREAS ONLY)

1/2" LOWER THAN FINAL LIFT OF BIT OR CONCRETE

COVER STAMPED "STORM"

NEENAH CASTING R-1914-A (DO NOT INSTALL CASTING WHEN IN GREEN AREA)

WYE OR 45° BEND

PVC NON-PERFORATED PIPE

THREADED REMOVABLE METAL PLUG

PAVED SURFACE 48"

NOTE:
INSTALL CLEANOUTS AT A PROPERTY LINE WHENEVER POSSIBLE

FEBRUARY 2015

CITY OF LAKE ELMO

STANDARD DRAWING NO. 419
LAKE ELMO

DRAIN TILE CONNECTIONS

CONNECTION

FILL OPENING BETWEEN PIPE AND STRUCTURE WALL WITH CEMENT MORTAR FINISHED SMOOTH

STORM SEWER MANHOLE

45° BEND (TYP.)

PLAN VIEW AT CONNECTION TO STORM SEWER STRUCTURE

INCLUDE PVC BEND OF SAME SIZE AND TYPE AS DRAINPIPE - INCIDENTAL TO CONSTRUCTION

FEBRUARY 2015

CITY OF LAKE ELMO

STANDARD DRAWING NO. 420
LAKE ELMO

MnDOT B612 CONCRETE CURB AND GUTTER

MnDOT B618 CONCRETE CURB AND GUTTER

SURMOUNTABLE CONCRETE CURB AND GUTTER

NOTE:
CONSTRUCT B618 CURB & GUTTER AT INTERSECTION BACK FROM P.C. TO P.T. PROVIDE 10-FOOT TRANSITION FROM SURMOUNTABLE CURB & GUTTER TO B618 CURB & GUTTER AT INTERSECTIONS AND CATCH BASINS.

FEBRUARY 2015

CITY OF LAKE ELMO

STANDARD DRAWING NO. 501
LAKE ELMO

RESIDENTIAL DRIVEWAY

SECTION A-A

DRIVEWAY TYPE	SURFACE THICKNESS	BASE THICKNESS
BITUMINOUS	3 INCHES	6 INCHES
CONCRETE	6 INCHES	4 INCHES

NOTES:
1. BITUMINOUS MATERIAL SHALL BE PER STREET TYPICAL SECTION
2. AGGREGATE BASE MATERIAL SHALL BE PER STREET TYPICAL SECTION

FEBRUARY 2015

CITY OF LAKE ELMO

STANDARD DRAWING NO. 504
LAKE ELMO

CONCRETE VALLEY GUTTER

PLAN

SECTION A-A

CONC CURB & GUTTER

RADIUS (PER PLAN)

CONTRACTION JOINT 10' (TYP)

EXPANSION JOINT (TYP)

6" x 6" (#6) MESH

SLOPE 3/4" PER FT

GUTTER WIDTH

FEBRUARY 2015

CITY OF LAKE ELMO

STANDARD DRAWING NO. 505
LAKE ELMO

CATCH BASIN PLACEMENT AND CURB & GUTTER TRANSITION AT INTERSECTIONS

TYPICAL INTERSECTION WITH MOUNTABLE CURB & GUTTER TRANSITIONED TO B-618 CURB RETURN

TYPICAL RADIUS = 25' TO BACK OF CURB

FEBRUARY 2015

CITY OF LAKE ELMO

STANDARD DRAWING NO. 506
LAKE ELMO

MnDOT STANDARD PLAN 5-297.250 SHEET 1 OF 5

FEBRUARY 2015

CITY OF LAKE ELMO

STANDARD DRAWING NO. 507A
LAKE ELMO

DETECTABLE WARNING SURFACE - TRUNCATED DOMES

PLATE NO.	LONG DIMENSION (INCHES)	WIDE DIMENSION (INCHES)	PLATES REQUIRED FOR 10' x 10' SQUARE PLATE
10	18-1/2	2.83	8
15	18-1/2	2.83	15
18	23-1/2	3.47	12
20	18-1/2	3.50	20
21	18-1/2	3.56	20
25	20-1/2	3.28	23
26	23-6/7	3.77	20
30	23-6/7	3.85	20
35	22	3.38	30

NOTES:
DETECTABLE WARNING SURFACES SHALL FOLLOW THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROVIDED).
DETECTABLE WARNING SURFACES OF TRUNCATED DOMES SHALL BE CAST IN A SQUARE OR RECTANGULAR PATTERN.
DETECTABLE WARNING SURFACES ARE REQUIRED:
- WHERE TRANSITIONS OR BLENDED TRANSITIONS PROVIDE A FLUSH TRANSITION CONNECTION TO THE PAVEMENT.
- WHERE PAVEMENT ACCESS RAILS CROSS COMMERCIAL DRIVEWAYS THAT ARE FINISHED WITH TRAFFIC CONTROL DEVICES OR OTHERWISE FINISHED TO CREATE A PUBLIC RIGHTWAY.
- AT PAVEMENT TRANSITION CROSSINGS.
- ON RAIL PLATFORMS WHERE WARNING SURFACES ARE NOT PROVIDED.
DETECTABLE WARNING SURFACES SHALL EXTEND:
- A MINIMUM OF 14" IN THE DIRECTION OF TRAVEL.
- THE FULL WIDTH OF THE PAVEMENT OR BLENDED TRANSITION, WITHIN 2' OF FULL WIDTH ON EITHER SIDE.
- THE FULL LENGTH OF THE PUBLIC USE AREA OF A RAIL PLATFORM.
DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT DRIVEWAY, PAVEMENT, OR SURROUNDING SURFACES BY MEANS OF DARK OR LIGHT CONTRAST MAY BE PROVIDED ON THE FULL PAVEMENT SURFACE, EXCLUDING THE PLATED AREA.

FEBRUARY 2016

CITY OF LAKE ELMO

STANDARD DRAWING NO. 508
LAKE ELMO

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DAVID A. ERICKSON PE
40418
LICENSE NO.
01/05/2017
DATE

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2140 COUNTY ROAD 42 WEST
BURNSVILLE, MN 55337

EASTON VILLAGE
2ND ADDITION
FINAL PLAN
LAKE ELMO, MINNESOTA

DATE

REVISION DESCRIPTION

NO

NO. 16-175

SHEET TITLE
CITY STANDARD
DETAIL PLATES

SHEET NO.
C19

SHEET 19 OF 21

6" MIN

8 1/2"

6" MIN

2" - 2 1/4" MINIMUM COMPACTED THICKNESS BITUMINOUS WEAR COURSE, MNDOT 2360 SPWE240B

8" CLASS 6, AGGREGATE BASE

SUBGRADE TESTED AND APPROVED IN ACCORDANCE WITH CITY STANDARD SPECIFICATIONS

3:1 MAX. TYP

2"

8 1/2"

2"

3:1 MAX. TYP

3:1 MAX. IN STREET ROW

NOTE

1. BITUMINOUS TRAILS SHALL HAVE CONCRETE PED RAMPS AT ALL STREET INTERSECTIONS
2. PROVIDE 2% CROSS-SLOPE TO MAINTAIN POSITIVE DRAINAGE AWAY FROM TRAIL SURFACE THROUGHOUT LENGTH OF TRAIL

BICYCLE-PEDESTRIAN PATH

FEBRUARY 2015

STANDARD DRAWING NO. 509

CITY OF LAKE ELMO

LAKE ELMO

6" MIN

6"

6" MIN

5" CONCRETE

4" MNDOT 3149 2B SELECT GRANULAR BASE, PER SPECIFICATION 3210

SUBGRADE (APPROVED BY CITY)

NOTE

1. SIDEWALKS SHALL HAVE CONCRETE PED RAMPS AT ALL STREET INTERSECTIONS.
2. PROVIDE 2% CROSS-SLOPE TO MAINTAIN POSITIVE DRAINAGE AWAY FROM SIDEWALK THROUGHOUT LENGTH OF WALK.

CONCRETE SIDEWALK

FEBRUARY 2015

STANDARD DRAWING NO. 510

CITY OF LAKE ELMO

LAKE ELMO

2" BITUMINOUS BASE

1.5" BITUMINOUS WEAR

50"

27"

RING NEENAH R-1979 MANHOLE ADJUSTING RING WITH 2" RISE, OR APPROVED EQUAL

APPLY EBS SUPER GLUE AS SUPPLIED BY ESS BROTHERS, OR APPROVED EQUAL, TO ALL CONTACT SURFACES OF CASTING AND ADJUSTING RING. CLEAN AND DRY CONTACT SURFACES IN ACCORDANCE WITH ADHESIVE MANUFACTURER'S RECOMMENDATIONS.

BITUMINOUS WEAR COURSE ADJACENT DETAIL

NOT TO SCALE

CASTING SHALL BE NEENAH R1642, TYPE 'B' SOLID COVER WITH CONCEALED PICKHOLES.

2" BITUMINOUS BASE

10"

26.5"

27"

"INFIL-SHIELD" SEAL OR EQUAL

CONCRETE ADJUSTING RINGS - MIN. 2 RINGS, MAX. 1 OF RINGS INCLUDING GROUT. SET EACH RING AND CASTING IN BED OF NON-SHRINK GROUT.

BITUMINOUS BASE COURSE ADJACENT DETAIL

NOT TO SCALE

MANHOLE CASTING ADJUSTMENT

FEBRUARY 2015

STANDARD DRAWING NO. 511

CITY OF LAKE ELMO

LAKE ELMO

1.5" MILLED WIDTH

1 1/2" MILLED DEPTH

EXIST. BITUMINOUS PAVEMENT

PROPOSED BITUMINOUS PAVEMENT

NOTES:

1. APPLY BITUMINOUS TACK COAT, MNDOT SPEC 2357
2. SAW BITUMINOUS PAVEMENT FULL DEPTH TO ESTABLISH A NEAT LINE FROM WHICH TO EXTEND THE NEW WORK

MILLED LAP JOINT

FEBRUARY 2015

STANDARD DRAWING NO. 512

CITY OF LAKE ELMO

LAKE ELMO

W

S

W-RELATIVE CURB STOP LOCATION

S-RELATIVE SANITARY SEWER SERVICE LOCATION

NOTES

1. CURB MARKERS ARE AVAILABLE FROM CITY HALL
2. CURB MARKINGS SHALL BE POSITIONED IN THE FACE OF THE CURB, WHILE THE CONCRETE IS IN A PLASTIC STATE, PERPENDICULAR TO THE LOCATION OF CURB STOPS
3. WHERE 66X CURB IS USED, PLACE CURB MARKING ON FACE OF CURB

CONCRETE CURB MARKING

(FOR CURB STOPS)

FEBRUARY 2015

STANDARD DRAWING NO. 513

CITY OF LAKE ELMO

LAKE ELMO

5' T-SHAPED METAL FENCE POST (NEAR VEHICLE/CONSTRUCTION TRAFFIC) OR 2"x2" WOOD POST

6" MAXIMUM

DIRECTION OF FLOW

6" MIN. TRENCH

2.0' MIN. FOR TYPES MS/HS

1.5' MIN. FOR TYPE PA

GEOTEXTILE TO OVERLAP THROUGH TRENCH

NOTE

- SILT FENCE INSTALLATION SHALL CONFORM TO MNDOT 2573.3. TYPE MS/HS NEAR VEHICLE/CONSTRUCTION TRAFFIC, TYPE PA AT ALL OTHER LOCATIONS
- MATERIALS SHALL CONFORM TO MNDOT 3886

SILT FENCE

FEBRUARY 2015

STANDARD DRAWING NO. 601

CITY OF LAKE ELMO

LAKE ELMO

12"

EMBED STAKES IN GROUND 10" MINIMUM

POINT "A" MUST BE HIGHER THAN POINT "B"

DITCH SECTION

FLOW

2"x2" WOOD STAKE OR REINF. BAR

FIBER ROLL SECTION

NOTE:

- STAKE TO BE INSTALLED AT AN ANGLE OF APPROXIMATELY 45° ON THE DOWNSTREAM SIDE OF THE FIBER ROLL. ENSURE THAT STAKE DOES NOT PUSH DOWN THE FIBER ROLL FROM ITS FULL HEIGHT

DITCH CHECK (FIBER ROLL)

FEBRUARY 2015

STANDARD DRAWING NO. 603

CITY OF LAKE ELMO

LAKE ELMO

NOTE. MAINTAIN AND CLEAN OUT DEVICES AS NECESSARY TO ACHIEVE PROPER FLOW OF STORM WATER INTO STORM SYSTEM

POLYESTER SLEEVE

FILTER ASSEMBLY

MANHOLE COVER ASSEMBLY

WIMCO RD-23 OR APPROVED EQUAL

DEFLECTOR PLATE

OVERFLOW (1) - CENTER OF FILTER ASSEMBLY

OVERFLOW (2) - TOP OF CURB BOX

10" FILTER ASSEMBLY

CURB

HIGH-FLOW FABRIC

CG-23 HIGH-FLOW

WIMCO CG-23 HIGH-FLOW OR APPROVED EQUAL

SEDIMENT CONTROL AROUND STORM SEWER INLET

FEBRUARY 2015

STANDARD DRAWING NO. 604

CITY OF LAKE ELMO

LAKE ELMO

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ERICKSON CIVIL

40418

1/5/2017

DATE

CHASE DEVELOPMENT

2140 COUNTY ROAD 42 WEST

BURNSVILLE, MN 55337

EASTON VILLAGE

2ND ADDITION

FINAL PLAN

LAKE ELMO, MINNESOTA

NO.	REVISION DESCRIPTION	DATE

NO. 16-175

SHEET TITLE

CITY STANDARD DETAIL PLATES

SHEET NO.

C20

SHEET 20 OF 21

ROCK CONSTRUCTION ENTRANCE

NOTES:

- MAXIMUM WIDTH OF CONSTRUCTION ENTRANCE IS 24 FEET
- A MNDOT 3733 TYPE V GEOTEXTILE FABRIC SHALL BE USED UNDER THE ROCK TO PREVENT MIGRATION OF THE UNDERLYING SOIL INTO THE STONE
- CONSTRUCTION ENTRANCE IS REQUIRED FOR ALL NEW HOME CONSTRUCTION AND NEW STREET CONSTRUCTION
- CONSTRUCTION ENTRANCE SHALL BE MAINTAINED TO PREVENT TRACKING OF MUD ONTO ROADWAYS THAT ADJOIN THE PROJECT THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL ROCK OR REMOVAL AND REINSTALLATION OF THE ROCK ENTRANCE
- REMOVE MUD AND DEBRIS FROM TIRES AND VEHICLE UNDERCARRIAGE PRIOR TO LEAVING THE SITE

FEBRUARY 2015

CITY OF LAKE ELMO STANDARD DRAWING NO. 605 LAKE ELMO

DIMENSION	30" PANEL	36" PANEL	42" PANEL	48" PANEL
A	30"	36"	42"	48"
B	29.5"	35.5"	41.5"	47.5"
C	20"	26"	N/A	38"
D	1"	1"	1"	1"
E	4.06"	4.07"	4.06"	4.06"
F	3.15"	3.15"	3.15"	3.15"
G	1"	1"	1"	1"
H	6.38"	6.38"	6.38"	6.38"
I	1"	1"	1"	1"
J	6"	6"	6"	6"
K	8.25"	8.25"	8.25"	8.25"
L	8.75"	8.75"	8.75"	8.75"
M	1.0"	1"	1"	1"

NOTE:

- 9" HIGH STREET SIGN PLATES EXTRUDED
- LONGER NAME SIGN ON BOTTOM
- HIGHER VOLUME STREET SIGN TO BE PLACED ON BOTTOM
- STREET SIGNS TO BE PLACED TO EITHER THE SOUTHEAST OR NORTHWEST CORNER OF CORNER OF THE INTERSECTION
- 812 ROUND CAP AND 812 CROSS PIECE
- REFLECTIVITY IS TO BE TYPE IX DIAMOND GRADE (DG3)
- SUFFIXES SHALL BE LOWERCASE FOR ALL NUMBERED STREET NAMES (30th St N)
- POSTS
- STOP SIGNS TO BE PLACED ON STREET SIGN POSTS PER MMUTCD WHEN APPLICABLE
- 12" TUBULAR POST WITH 0.080" WALL THICKNESS
- BR952 - BR4 BRACKET, NEW STYLE

FEBRUARY 2015

CITY OF LAKE ELMO STANDARD DRAWING NO. 706 LAKE ELMO

SANITARY, WATER & DRAIN TILE SERVICE INSTALLATION

FEBRUARY 2015

CITY OF LAKE ELMO STANDARD DRAWING NO. 712 LAKE ELMO

TYPICAL SERVICE PROTECTION

FEBRUARY 2015

CITY OF LAKE ELMO STANDARD DRAWING NO. 713 LAKE ELMO

TYPICAL LOCAL RESIDENTIAL STREET SECTION (MINIMUM 7-TON DESIGN)

FEBRUARY 2015

CITY OF LAKE ELMO STANDARD DRAWING NO. 801 LAKE ELMO

TYPICAL LOCAL RESIDENTIAL RURAL STREET SECTION (MINIMUM 7-TON DESIGN)

FEBRUARY 2015

CITY OF LAKE ELMO STANDARD DRAWING NO. 804 LAKE ELMO

TYPICAL RIGHT OF WAY LAYOUT

FEBRUARY 2015

CITY OF LAKE ELMO STANDARD DRAWING NO. 805 LAKE ELMO

URBAN STREET UTILITY LOCATION

FEBRUARY 2015

CITY OF LAKE ELMO STANDARD DRAWING NO. 806 LAKE ELMO

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LOUISA ERICKSON PE
 40418
 LICENSE NO.
 01/05/2017
 DATE

OWNER DEVELOPER
CHASE DEVELOPMENT
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

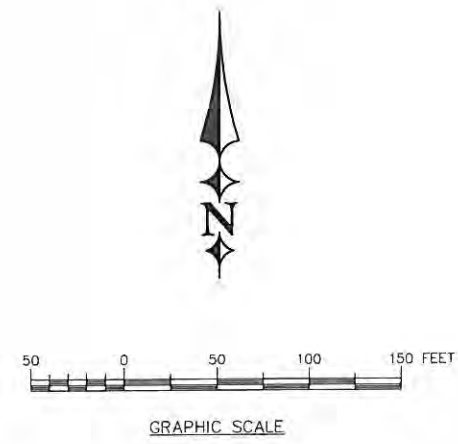
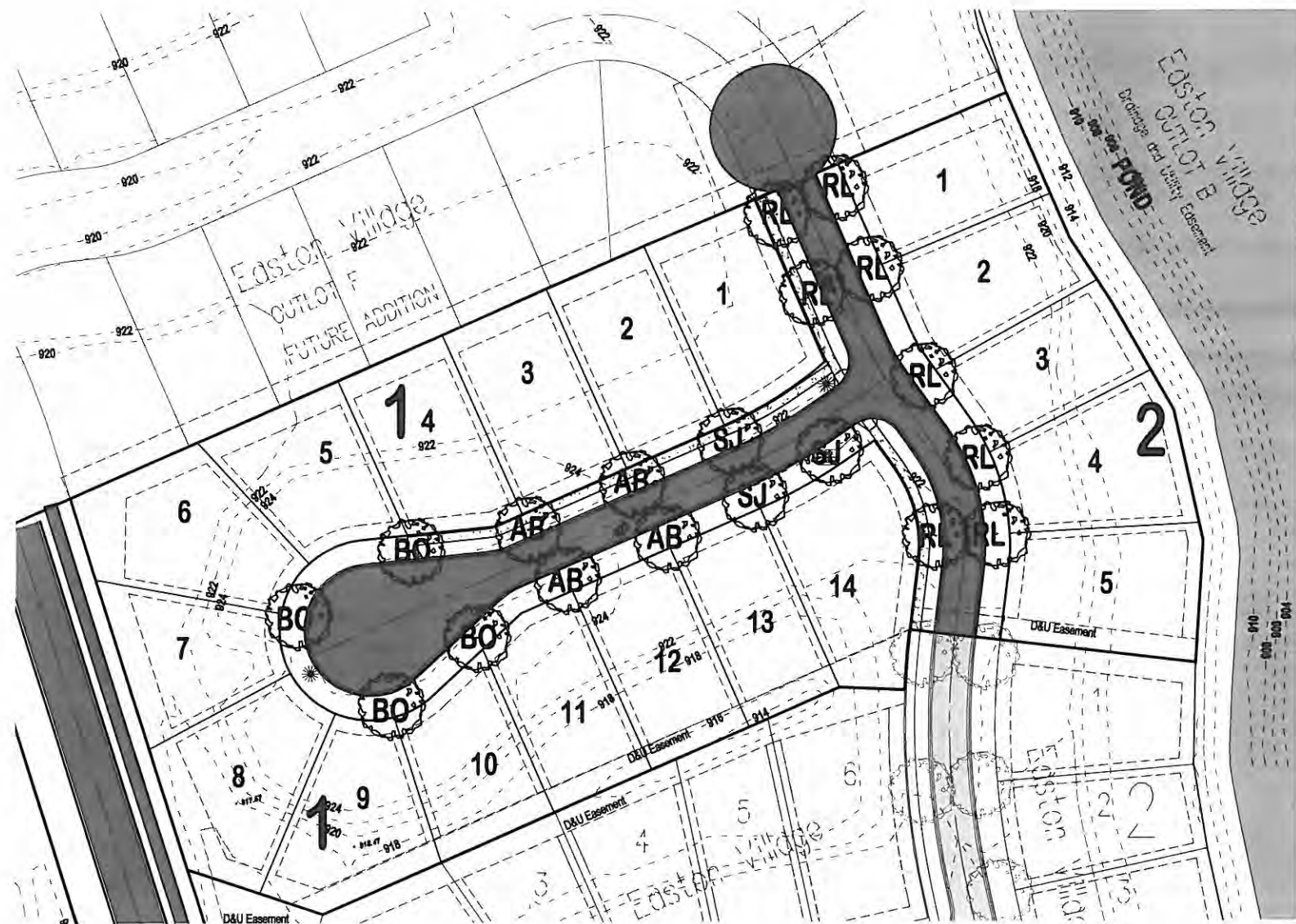
PROJECT TITLE
**EASTON VILLAGE
 2ND ADDITION
 FINAL PLAN
 LAKE ELMO, MINNESOTA**

NO.	REVISION DESCRIPTION	DATE

FIG NO. 16-175

SHEET TITLE
**CITY STANDARD
 DETAIL PLATES**

SHEET NO.
C21
 SHEET 21 OF 21



Legend

- EASTON VILLAGE 2ND ADDITION BOUNDARY
- 15-FT POLE WITH ORNAMENTAL LIGHT, XCEL ENERGY 'ACRON' LAMP.
- UTILITY EASEMENT
- PROPOSED DECIDUOUS TREE

NOTE:

- 1) Tree Planting Contractor to Field Stake all Trees located on City Outlots and All Right of Way Areas for Approval by City Landscape Architect Prior to Planting. Notify City Landscape Architect via writing once tree in locations are staked and allow for up to two weeks for Landscape Architect to schedule and complete on-site review with Tree Planting Contractor.

PLANTING SCHEDULE

	OVERSTORY TREES	Latin Name	Quantity	Size	Type	Notes
SJ	Scarlet Jewel Maple	Acer rubrum 'Scarlet Jewel'	3	2-1/2' Dia.	B+B	
AB	Autumn Blaze Maple	Acer x freemani 'Jeffersred'	4	2-1/2' Dia.	B+B	
BO	Swamp White Oak	Quercus bicolor	4	2-1/2' Dia.	B+B	
RL	Redmond Linden	Tilia americana 'Redmond'	8	2-1/2' Dia.	B+B	

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN

STAKE TREES ONLY UPON THE APPROVAL OF THE PROJECT & CITY LANDSCAPE ARCHITECT - OTHERWISE IT IS NOT ALLOWED

WRAP TREE TRUNKS BY NOV. 15TH WITH A WRAP APPROVED BY THE LANDSCAPE ARCHITECT

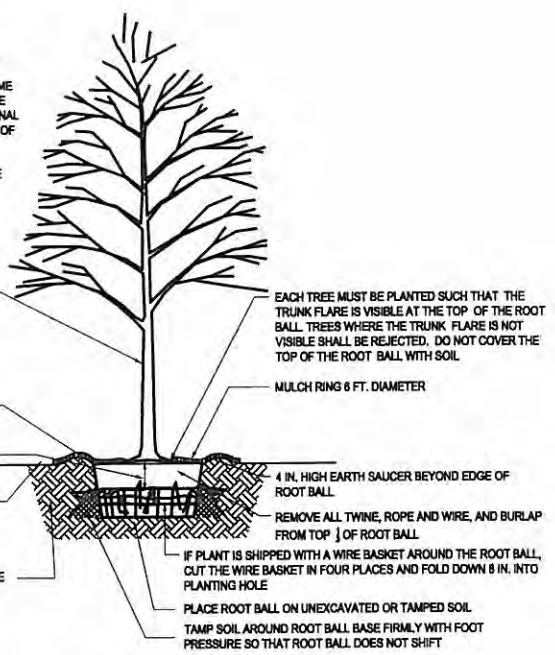
MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHEN EVER POSSIBLE

SET TOP OF ROOT BALL FLUSH TO GRADE OR 1-2 IN. HIGHER IN SLOWLY DRAINING SOILS

6 IN.

4 IN. MULCH DEPTH. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. MAINTAIN THE MULCH WEED-FREE FOR AFTER PLANTING

NOTE: FOR DIMENSIONS OF PLANTING AREAS SEE PLAN. SOIL BACKFILL - MN DOT SELECT TOPSOIL BORROW FOR BACKFILL



DECIDUOUS TREE PLANTING DETAIL - SECTION

NOT TO SCALE

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David Chmielewski
 DAVID CHMIELEWSKI
 40639
 LICENSE NO.
 03/17/2017
 DATE

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 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

EASTON VILLAGE
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 FINAL PLAN
 LAKE ELMO, MINNESOTA

NO.	DATE	REVISION DESCRIPTION

JOB NO. 16-175

SHEET TITLE
 LANDSCAPE PLAN & DETAILS

SHEET NO.
L1
 SHEET 1 OF 1

EASTON VILLAGE 2ND ADDITION

**ERICKSON
CIVIL**

333 North Main Street, Suite 201
Stillwater, Minnesota 55082
Phone (612) 309-3804

www.ericksoncivilsite.com

KNOW ALL PERSONS BY THESE PRESENTS: That Easton Village, LLC, a Minnesota Limited Liability Company, owner of the following described property:

That part of Outlot F, EASTON VILLAGE, WASHINGTON COUNTY, MINNESOTA, according to the recorded plat thereof, described as follows:

Beginning at the northeast corner of Lot 1, Block 2, EASTON VILLAGE, WASHINGTON COUNTY, MINNESOTA; thence North 83 degrees 16 minutes 38 seconds West, 190.00 feet, along the north line of said Lot 1, Block 2, EASTON VILLAGE; thence along a tangential curve concave to the south having a radius of 530.00 feet, a central angle of 04 degrees 19 minutes 32 seconds, chord bearing South 04 degrees 33 minutes 36 seconds West and chord of 40.00 feet, to a point on the northeast corner of Lot 6, Block 1, EASTON VILLAGE; thence North 87 degrees 36 minutes 09 seconds West, 43.21 feet, along the north line of Block 1, EASTON VILLAGE; thence South 66 degrees 16 minutes 38 seconds West, 371.54 feet, along the north line of said Block 1, EASTON VILLAGE; thence North 71 degrees 30 minutes 56 seconds West, 93.94 feet, along the north line of Outlot E, EASTON VILLAGE, WASHINGTON COUNTY, MINNESOTA; thence south easterly along a non-tangential curve concave west, radius 1040.00 feet, central angle 18 degrees 16 minutes 39 seconds, chord bearing North 09 degrees 35 minutes 54 seconds, chord 330.36 feet; thence North 00 degrees 27 minutes 34 seconds West, 205.83 feet; thence North 80 degrees 57 minutes 25 seconds East, 80.00 feet; thence North 00 degrees 27 minutes 37 seconds West, 205.83 feet; thence northwesterly along a tangential curve, concave west, radius 960.00 feet, central angle 18 degrees 16 minutes 39 seconds, chord bearing North 09 degrees 35 minutes 54 seconds West, chord 304.95 feet; thence North 17 degrees 27 minutes 59 seconds West, 250.82 feet; thence North 66 degrees 17 minutes 31 seconds East, 751.17 feet, to a point on the west line of Outlot B, EASTON VILLAGE, WASHINGTON COUNTY, MINNESOTA; thence South 23 degrees 43 minutes 22 seconds East, 107.10 feet, along the west line of said Outlot B, EASTON VILLAGE; thence South 33 degrees 22 minutes 53 seconds East, 49.34 feet, along the west line of said Outlot B, EASTON VILLAGE; thence South 30 degrees 10 minutes 23 seconds East, 83.58 feet, along the west line of said Outlot B, EASTON VILLAGE; thence South 12 degrees 46 minutes 50 seconds East, 88.75 feet, along the west line of said Outlot B, EASTON VILLAGE; thence South 03 degrees 28 minutes 33 seconds West, 80.98 feet along the west line of said Outlot B, EASTON VILLAGE, to the point of beginning.

Has caused the same to be surveyed and platted as EASTON VILLAGE 2ND ADDITION, and does hereby dedicate to the public for public use the public ways as shown on the plat, and the easements created by this plat for drainage and utility purposes only.

In witness whereof said Easton Village, LLC, a Minnesota Limited Liability Company, has caused these presents to be signed by its proper officer this _____ day of _____, 2017.

Signed: Easton Village, LLC

By: _____

Thomas Wolff, Vice President

STATE OF _____

COUNTY OF _____

This instrument was acknowledged before me on this _____ day of _____, 2017 by _____, President and _____, Vice President, of Easton Village, LLC, a Minnesota Limited Liability Company, on behalf of the company.

(Print Name) _____
Notary Public, _____
My commission expires _____

I, Paul A. Johnson, do hereby certify that this plat was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor in the State of Minnesota, that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been correctly set; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat. Signed and dated this _____ day of _____, 2017.

Paul A. Johnson, Licensed Land Surveyor
Minnesota License Number 10838

STATE OF MINNESOTA
COUNTY OF WASHINGTON

This instrument was acknowledged before me on this _____ day of _____, 2017 by Paul A. Johnson, Licensed Land Surveyor.

Todd A. Erickson, Notary Public, Minnesota
My commission expires January 31, 2018

This plat was approved by the City Council of Lake Elmo, Minnesota, this _____ day of _____, 2017, and hereby certifies compliance with all requirements as set forth in Minnesota Statutes, Section 505.03, Subd. 2.

Signed _____ Mayor Signed _____ Clerk

Approved by the Planning Commission of the City of Lake Elmo, Minnesota, this _____ day of _____, 2017.

Signed: _____ Chair, Planning Commission Signed _____ Secretary, Planning Commission

County Surveyor

Pursuant to Chapter 820, Laws of Minnesota, 1971, and in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this _____ day of _____, 2017.

By: _____ Washington County Surveyor

County Auditor/Treasurer

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, and Section 272.12, taxes payable in the year 2017, on real estate hereinbefore described, have been paid; and there are no delinquent taxes, and transfer has been entered, on this _____ day of _____, 2017.

By: _____ Washington County Auditor/Treasurer By: _____ Deputy

County Recorder

Document Number _____

I hereby certify that this instrument was recorded in the Office of the County Recorder for record on this _____ day of _____, 2017 at _____ o'clock _____ M. and was duly recorded in Washington County Records.

By: _____ Washington County Recorder By: _____ Deputy

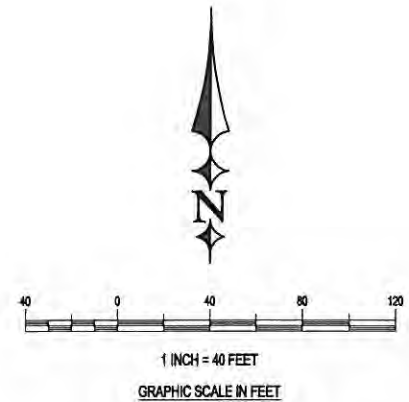
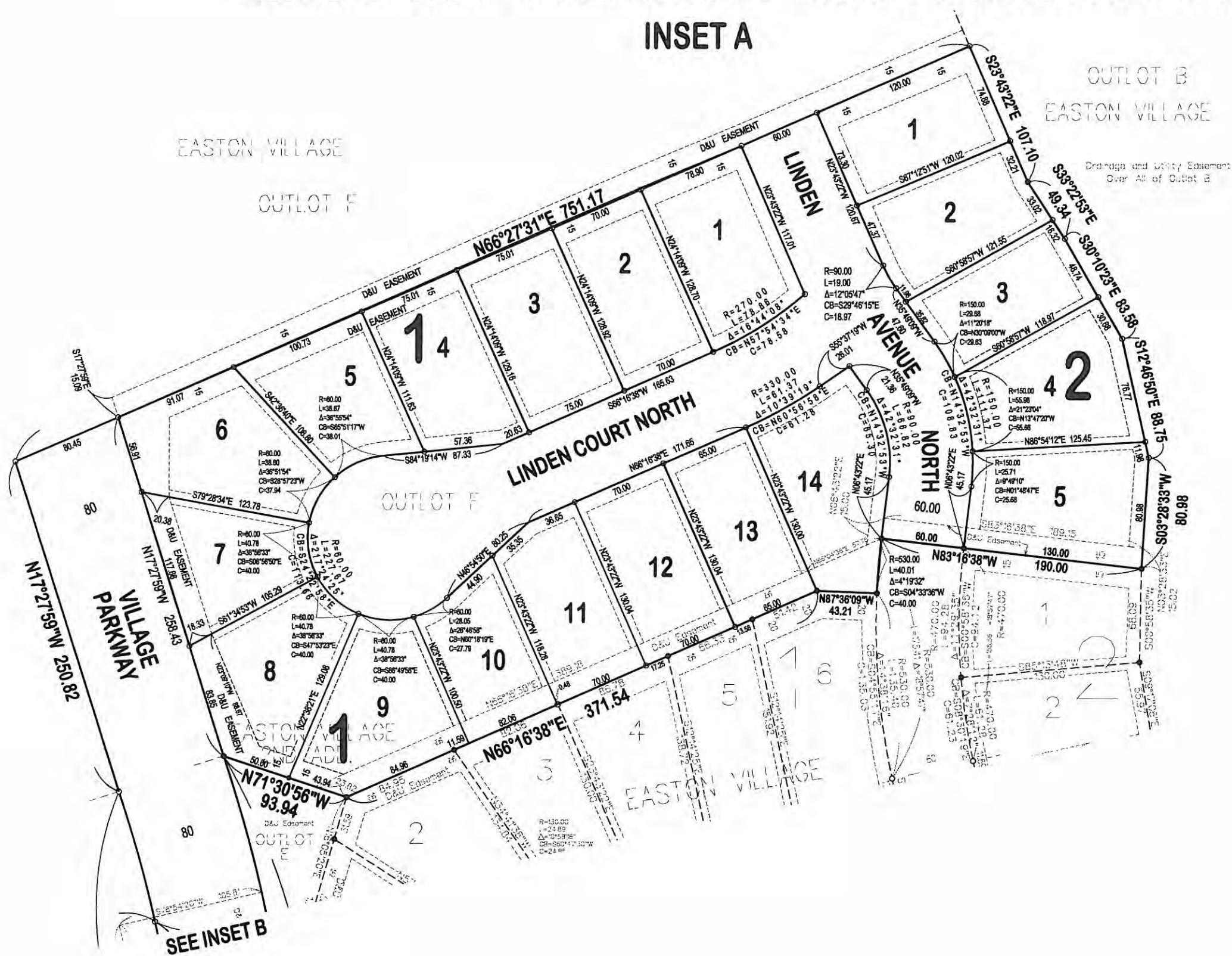
EASTON VILLAGE 2ND ADDITION

INSET A

ERICKSON CIVIL

333 North Main Street, Suite 201
Stillwater, Minnesota 55082
Phone (612) 309-3804

www.ericksoncivilsite.com



LEGEND

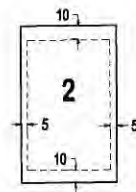
- DENOTES SET 1/2 INCH BY 1 1/2 INCH IRON PIPE MONUMENT INSCRIBED "JOHNSON L.S. #10938", UNLESS SHOWN OTHERWISE
- DENOTES FOUND MONUMENT, SIZE AND MARKINGS AS INDICATED

NOTES

- ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE WASHINGTON COUNTY COORDINATE SYSTEM (NAD 83).

EASEMENT DETAIL

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:
(NOT TO SCALE)



BEING 5 FEET IN WIDTH AND ADJOINING LOT LINES AND 10 FEET IN WIDTH AND ADJOINING RIGHT OF WAYS AND BLOCK LINES, AS SHOWN ON THE PLAT, UNLESS OTHERWISE INDICATED

SEE INSET B

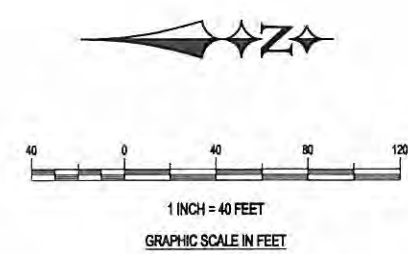
EASTON VILLAGE 2ND ADDITION

INSET B

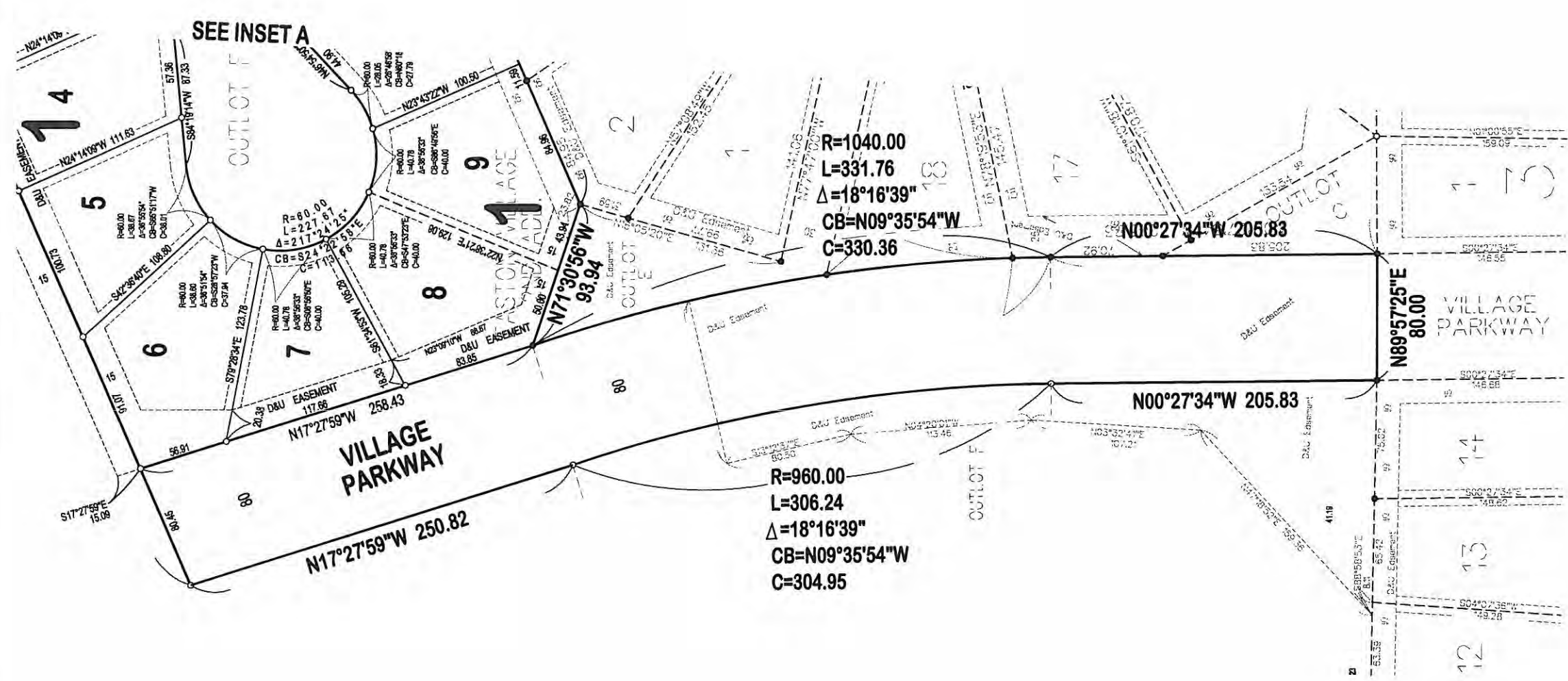
**ERICKSON
CIVIL**

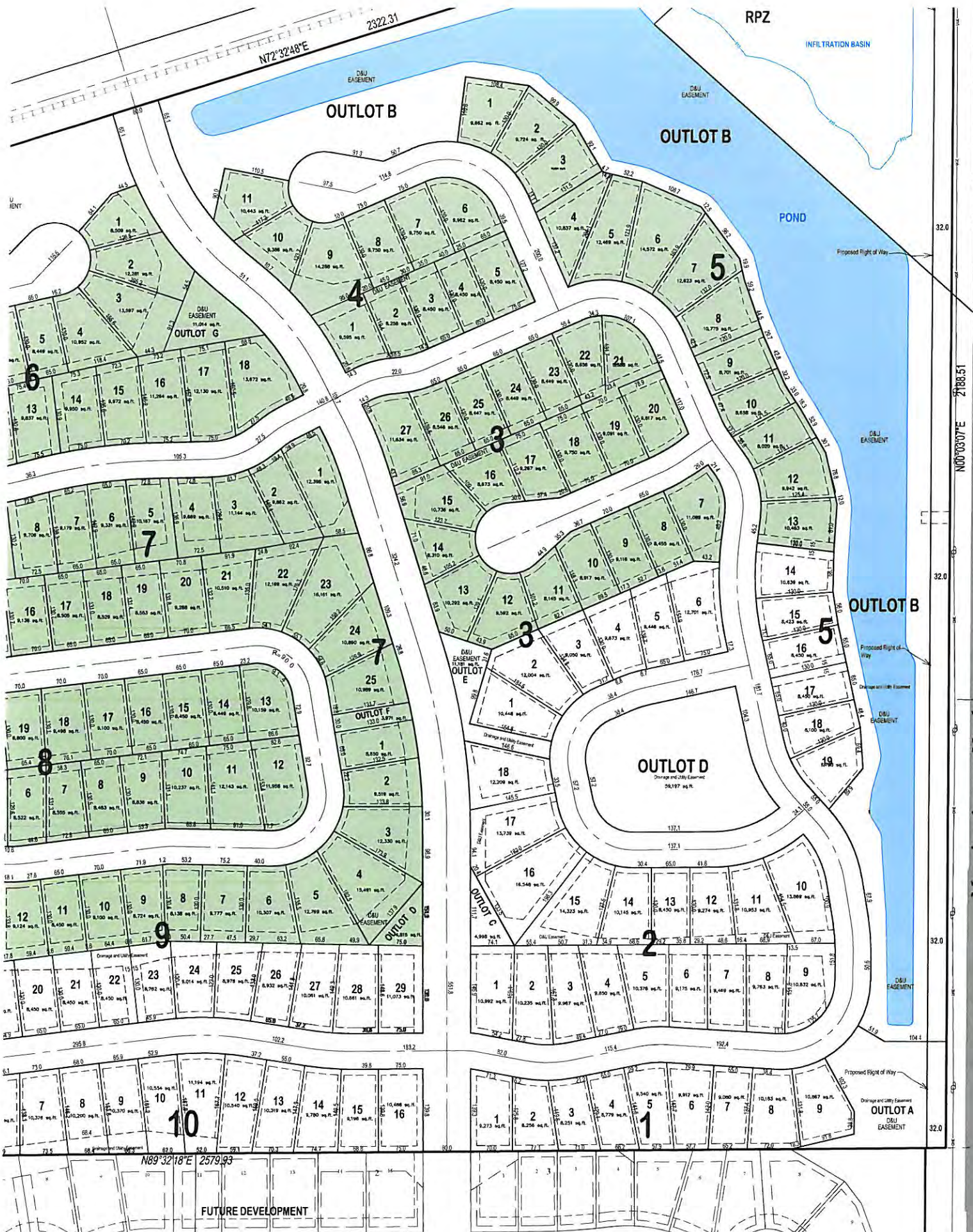
333 North Main Street, Suite 201
Stillwater, Minnesota 55082
Phone (612) 309-3804

www.ericksoncivilsite.com



- LEGEND**
- DENOTES SET 1/2 INCH BY 16 INCH IRON PIPE MONUMENT INSCRIBED "JOHNSON LS #10938", UNLESS SHOWN OTHERWISE
 - DENOTES FOUND MONUMENT, SIZE AND MARKINGS AS INDICATED
- NOTES**
- 1) ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE WASHINGTON COUNTY COORDINATE SYSTEM (NAD 83).



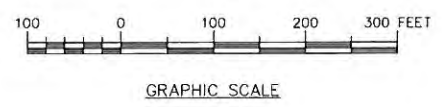


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 Stillwater, Minnesota 55082
 Phone (612) 309-3884
 www.ericksoncivilsite.com

DRAWING PHASE:

OWNER REVIEW
✓ AGENCY REVIEW
BID DOCUMENT
FOR CONSTRUCTION
AS-BUILT DOCUMENT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 TODD A. ERICKSON PE
 40418
 LICENSE NO.
 03/17/2017
 DATE



LEGEND

	PROPERTY BOUNDARY
	REVISED ROAD ALIGNMENT, UTILITY, GRADING AND LOT LINE ADJUSTMENT AREA

DEVELOPMENT STANDARDS

FRONT SETBACK	25'
GARAGE SIDE SETBACK	7.5'
SIDE SETBACK (CORNER LOTS)	15'
HOUSE SIDE SETBACK	7.5'
REAR SETBACK	20'
TYPICAL LOT WIDTH	65'
TYPICAL LOT DEPTH	130'
SIDE YARD EASEMENT	5' *
FRONT AND REAR EASEMENT	10' *
MINIMUM LOT SIZE	8,100 SQ. FT.
AVERAGE LOT SIZE	10,486 SQ. FT.
MIN. BASEMENT ELEVATION ABOVE 100 YEAR HWL	2'

* UNLESS SHOWN ON PRELIMINARY LAYOUT
 NOTE: DRAINAGE AND UTILITY EASEMENTS SHOWN FOR 100-YEAR HWL OF PONDING AREAS

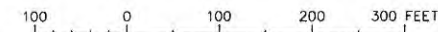
- NOTES**
- LAYOUT CHANGES REFLECT ALIGNMENT, LOT LINE, GRADING AND INTERNAL OUTLOT CHANGES ONLY. NO CHANGES TO LOT COUNT OR PARK AREA PROPOSED WITH REVISION TO ORIGINAL APPROVED PRELIMINARY PLAT.
 - GRADING CHANGES HAVE BEEN MADE TO STREET GRADES TO ALLOW FOR LESS STEPS FROM GARAGE TO FIRST FLOOR OF HOMES AND REDUCTION IN DRIVEWAY GRADES.

EASTON VILLAGE, LLC
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

**EASTON VILLAGE
 PRELIMINARY PLAT REV.
 LAKE ELMO, MINNESOTA**

NO.	REVISION DESCRIPTION	DATE

JOB NO. 13-114
 SHEET TITLE
**PRELIMINARY
 PLAT
 SITE PLAN
 REVISION**
 SHEET NO.
PR1
 SHEET 1 OF 11



GRAPHIC SCALE

LEGEND

- PROPERTY BOUNDARY
- REVISED ROAD ALIGNMENT, UTILITY, GRADING AND LOT LINE ADJUSTMENT AREA

DEVELOPMENT STANDARDS

FRONT SETBACK	25'
GARAGE SIDE SETBACK	7.5'
SIDE SETBACK (CORNER LOTS)	15'
HOUSE SIDE SETBACK	7.5'
REAR SETBACK	20'
TYPICAL LOT WIDTH	65'
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- 2) GRADING CHANGES HAVE BEEN MADE TO STREET GRADES TO ALLOW FOR LESS STEPS FROM GARAGE TO FIRST FLOOR OF HOMES AND REDUCTION IN DRIVEWAY GRADES.

ERICKSON CIVIL
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Stillwater, Minnesota 55082
Phone (612) 309-3804
www.ericksoncivilsite.com

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AGENCY REVIEW
BID DOCUMENT
FOR CONSTRUCTION
AS-BUILT DOCUMENT

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Todd A. Erickson
TODD A. ERICKSON, PE
40418
LICENSE NO.
03/17/2017
DATE

CONTRACT DEVELOPER
EASTON VILLAGE, LLC
2140 COUNTY ROAD 42 WEST
BURNSVILLE, MN 55337

PROJECT TITLE
**EASTON VILLAGE
PRELIMINARY PLAT REV.
LAKE ELMO, MINNESOTA**

NO.	REVISION	DESCRIPTION	DATE

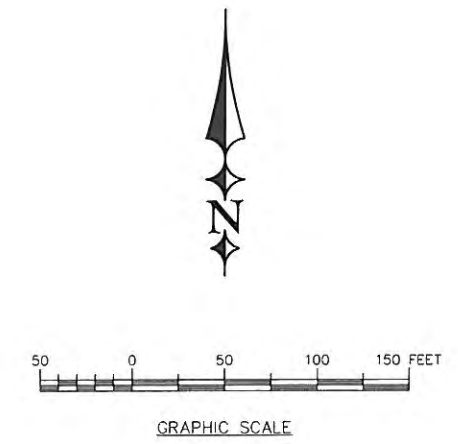
JOB NO. 13-114
SHEET NO.
**PRELIMINARY
PLAT
SITE PLAN
REVISION**
SHEET NO.
PR2
SHEET 2 OF 10



DRAWING PHASE:

OWNER REVIEW
AGENCY REVIEW
BID DOCUMENT
FOR CONSTRUCTION
AS-BUILT DOCUMENT

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TODD A. ERICKSON, PE
40418
 LICENSE NO
03/16/2015
 DATE



EASTON VILLAGE, LLC
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

EASTON VILLAGE
 PRELIMINARY PLAT REV.
 LAKE ELMO, MINNESOTA

LEGEND

- PROPERTY BOUNDARY
- PROPOSED SANITARY SEWER (LENGTH, TYPE, SLOPE AND ID NOTED)
- PROPOSED STORM SEWER (SIZE AND ID NOTED, 12"-15" CL. V. ALL OTHERS CL. III)
- PROPOSED WATER MAIN (DIP CL. 52, 8" UNLESS NOTED, 7.5' BURY DEPTH TO TOP OF PIPE)
- PROPOSED RIGID PERFORATED 4" PVC DRAIN TILE WITH SOCK REQUIRED AT ALL LOW POINT CATCH BASINS (50-FT EITHER SIDE OF BASIN)
- EXISTING OVERHEAD ELECTRICAL LINE AND POLE
- EXISTING UNDERGROUND ELECTRICAL LINE
- EXISTING UNDERGROUND GAS LINE
- REVISED SANITARY SEWER ALIGNMENT
- REVISED STORM SEWER ALIGNMENT
- REVISED WATER MAIN ALIGNMENT
- REVISED ROAD ALIGNMENT, UTILITY, GRADING AND LOT LINE ADJUSTMENT AREA

NOTES

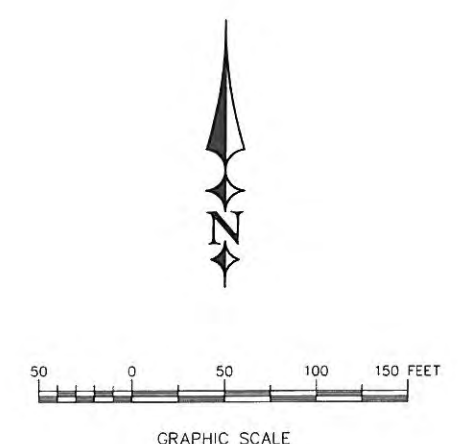
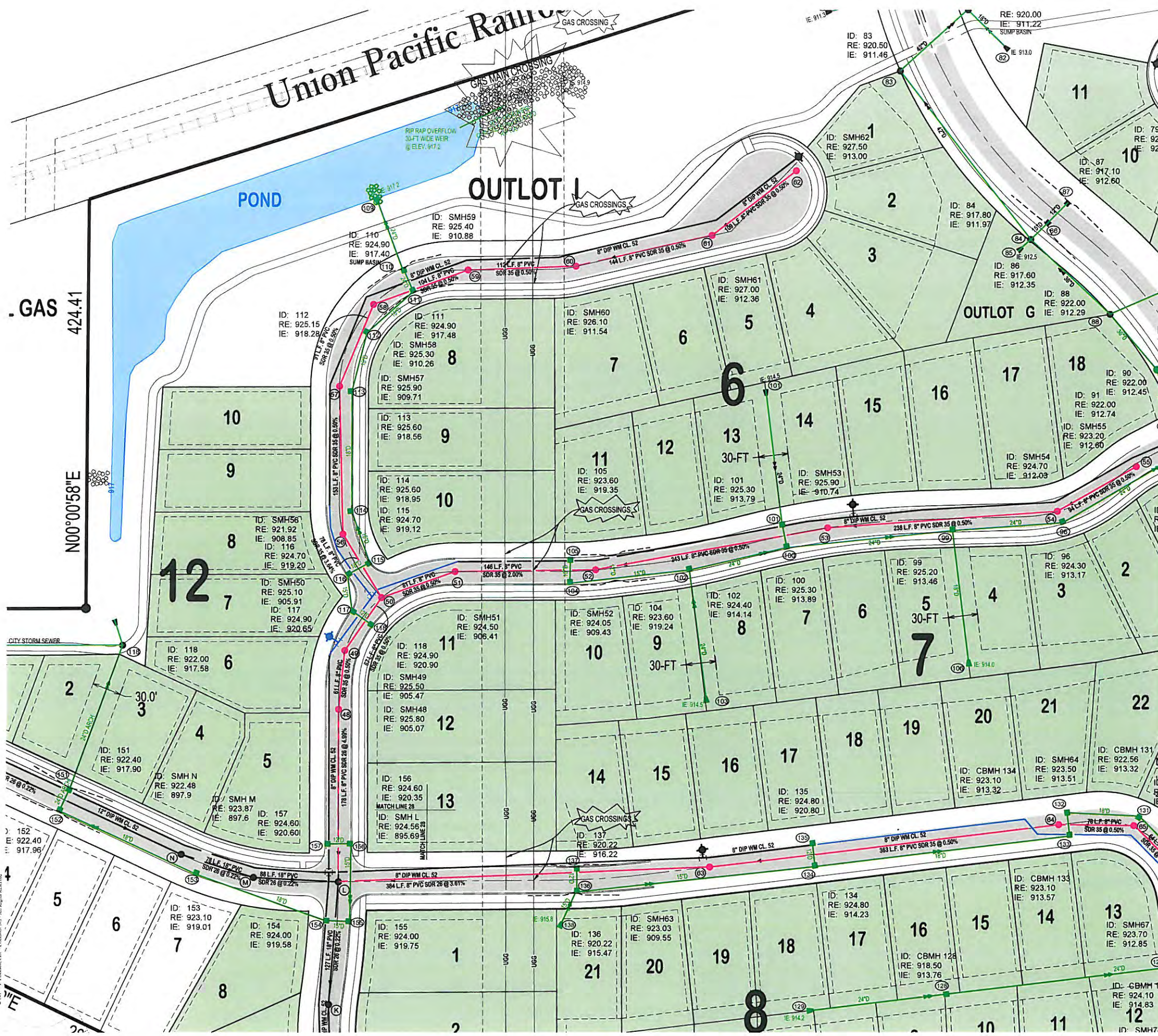
- 1) SEE DETAIL SHEETS FOR SPECIFIC REQUIREMENTS FOR UTILITY INSTALLATION
- 2) ALL UTILITIES SHALL BE INSTALLED PER CITY OF LAKE ELMO DETAILS AND SPECIFICATIONS, MINNESOTA CITY ENGINEER ASSOCIATION STANDARD SPECIFICATIONS SHALL ALSO GOVERN.

NO.	REVISION	DESCRIPTION	DATE

JOB NO. 13-114
 SHEET TITLE
PRELIMINARY PLAT UTILITY REVISION
 SHEET NO.
PR3
 SHEET 3 OF 11

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Union Pacific Railroad



LEGEND

- PROPERTY BOUNDARY
- PROPOSED SANITARY SEWER (LENGTH, TYPE, SLOPE AND ID NOTED)
- PROPOSED STORM SEWER (SIZE AND ID NOTED, 12\"/>

NOTES

SEE DETAIL SHEETS FOR SPECIFIC REQUIREMENTS FOR UTILITY INSTALLATION
 ALL UTILITIES SHALL BE INSTALLED PER CITY OF LAKE ELMO DETAILS AND SPECIFICATIONS. MINNESOTA CITY ENGINEER ASSOCIATION STANDARD SPECIFICATIONS SHALL ALSO GOVERN.

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 Stillwater, Minnesota 55082
 Phone (612) 309-3804
 www.ericksoncivilsite.com

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 OWNER REVIEW
 AGENCY REVIEW
 BID DOCUMENT
 FOR CONSTRUCTION
 AS-BUILT DOCUMENT

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Todd A. Erickson
 TODD A. ERICKSON, PE
 40418
 LICENSE NO.
 03/16/2015
 DATE

OWNER/DEVELOPER
EASTON VILLAGE, LLC
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

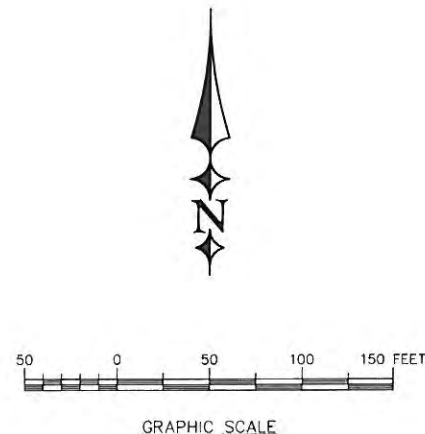
PROJECT TITLE
**EASTON VILLAGE
 PRELIMINARY PLAT REV.
 LAKE ELMO, MINNESOTA**

NO.	REVISION	DESCRIPTION	DATE

JOB NO. 13-114

SHEET TITLE
**PRELIMINARY
 PLAT
 UTILITY
 REVISION**

SHEET NO.
PR4
 SHEET 4 OF 11



LEGEND

- PROPERTY BOUNDARY
- PROPOSED SANITARY SEWER (LENGTH, TYPE, SLOPE AND ID NOTED)
- PROPOSED STORM SEWER (SIZE AND ID NOTED, 12" - 15" CL.V. ALL OTHERS CL. III)
- PROPOSED WATER MAIN (DIP CL. 52, 8" UNLESS NOTED, 7.5' BURY DEPTH TO TOP OF PIPE)
- PROPOSED RIGID PERFORATED 4" PVC DRAIN TILE WITH SOCK REQUIRED AT ALL LOW POINT CATCH BASINS (50-FT EITHER SIDE OF BASIN).
- EXISTING OVERHEAD ELECTRICAL LINE AND POLE
- EXISTING UNDERGROUND ELECTRICAL LINE
- EXISTING UNDERGROUND GAS LINE
- REVISED SANITARY SEWER ALIGNMENT
- REVISED STORM SEWER ALIGNMENT
- REVISED WATER MAIN ALIGNMENT
- REVISED ROAD ALIGNMENT, UTILITY, GRADING AND LOT LINE ADJUSTMENT AREA.

NOTES

- 1) SEE DETAIL SHEETS FOR SPECIFIC REQUIREMENTS FOR UTILITY INSTALLATION
- 2) ALL UTILITIES SHALL BE INSTALLED PER CITY OF LAKE ELMO DETAILS AND SPECIFICATIONS. MINNESOTA CITY ENGINEER ASSOCIATION STANDARD SPECIFICATIONS SHALL ALSO GOVERN.

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 TODD A. ERICKSON, PE
 40418
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 03/16/2015
 DATE

EASTON VILLAGE, LLC
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

EASTON VILLAGE PRELIMINARY PLAT REV. LAKE ELMO, MINNESOTA

NO.	REVISION	DESCRIPTION	DATE

JOB NO. 13-114

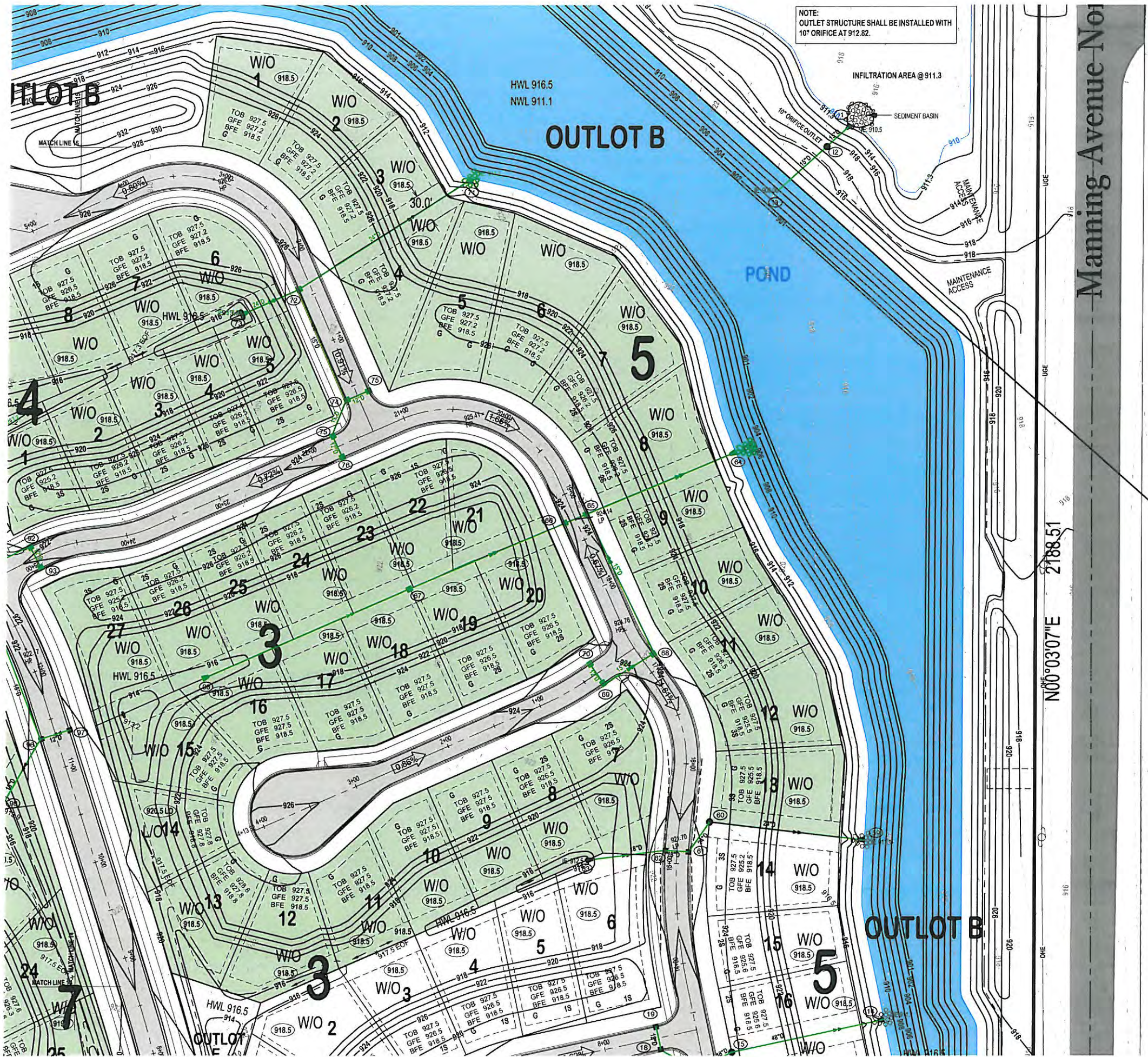
SHEET TITLE

PRELIMINARY PLAT UTILITY REVISION

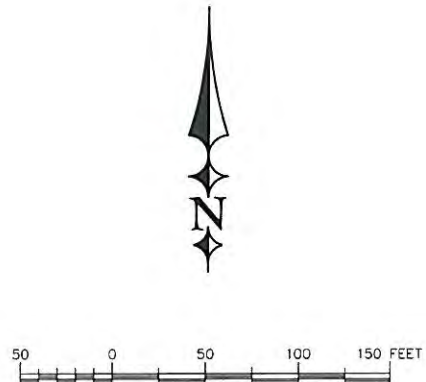
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PR5

SHEET 5 OF 11

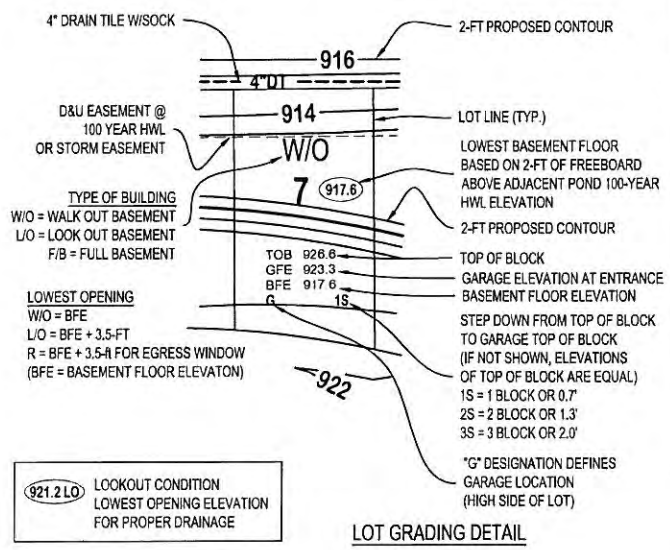


NOTE:
OUTLET STRUCTURE SHALL BE INSTALLED WITH
10" ORIFICE AT 912.82.



- LEGEND**
- PROPERTY BOUNDARY
 - EXISTING 2-FT CONTOUR INTERVAL
 - 922.85 LP / HP
HP = HIGH POINT, LP = LOW POINT
 - PROPOSED 2-FT CONTOUR INTERVAL
 - PROPOSED DRAINAGE ARROW
 - 0.74%
PROPOSED STREET GRADE PERCENT AND DIRECTION
 - 21"
PROPOSED STORM SEWER (SIZE INDICATED ON PLANS)
 - 100-YEAR HIGH WATER CONTOUR
 - REVISED ROAD ALIGNMENT, UTILITY, GRADING AND LOT LINE ADJUSTMENT AREA

- GRADING NOTES:**
- 1) SPOT ELEVATIONS ARE ALL GUTTER LINE OR FINISHED ELEVATION UNLESS NOTED OTHERWISE.
 - 2) ELEVATIONS/CONTOURS SHOWN AS FINISHED GRADE ELEVATIONS.
 - 3) REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
 - 4) WASHINGTON COUNTY PERMIT REQUIRED FOR GRADING AND ACCESS TO COUNTY RIGHT OF WAY.
 - 5) DO NOT SPREAD TOPSOIL WHILE IT IS FROZEN OR MUDDY OR WHEN THE SUBGRADE IS WET OR FROZEN. CORRECT ANY IRREGULARITIES IN THE SURFACE THAT RESULT FROM TOPSOIL SPREADING OR OTHER OPERATIONS TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. BERMING OR DOUBLE LAYERING OR BIO LOG MAY BE REQUIRED TO CONTAIN RUNOFF IF SILT FENCING CANNOT BE INSTALLED PROPERLY DURING FROZEN CONDITIONS.
 - 6) CONTRACTOR SHALL SCHEDULE SOILS TESTING FOR EACH STRUCTURAL FILL AREA, PAD AND STREET AREA.



921.2 LO
LOOKOUT CONDITION
LOWEST OPENING ELEVATION
FOR PROPER DRAINAGE

LOT GRADING DETAIL

Manning Avenue North

N00°03'07"E 2188.51

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333 North Main Street, Suite 201
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TODD A. ERICKSON, PE
40418
LICENSE NO
03/16/2015
DATE

EASTON VILLAGE, LLC
2140 COUNTY ROAD 42 WEST
BURNSVILLE, MN 55337

EASTON VILLAGE PRELIMINARY PLAT LAKE ELMO, MINNESOTA

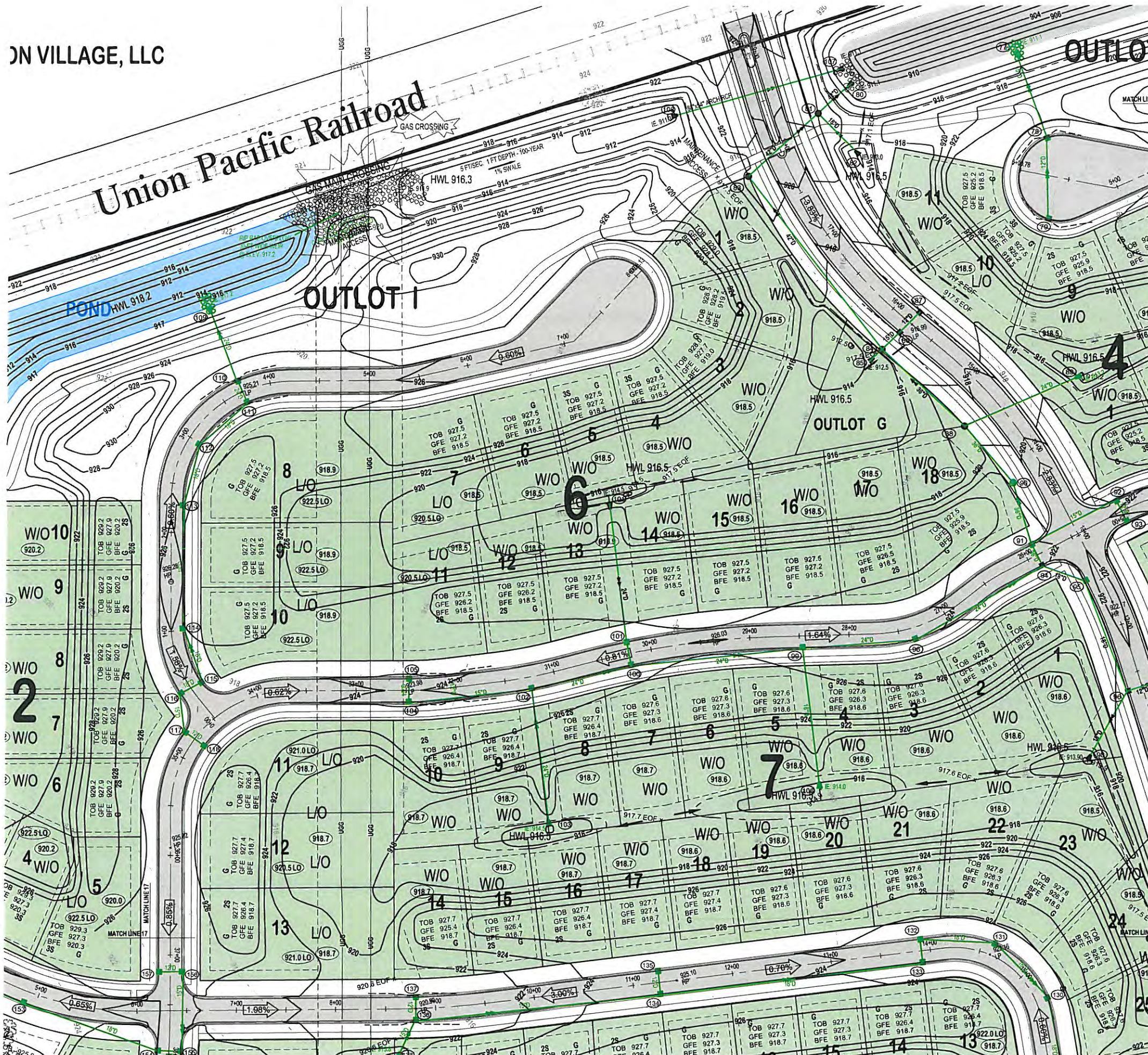
NO.	REVISION DESCRIPTION	DATE

JOB NO. 13-114

SHEET TITLE
PRELIMINARY PLAT GRADING REVISION

SHEET NO.
PR6
SHEET 6 OF 11

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OUTLOT

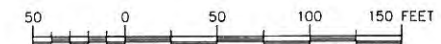
OUTLOT 1

OUTLOT G

LEGEND

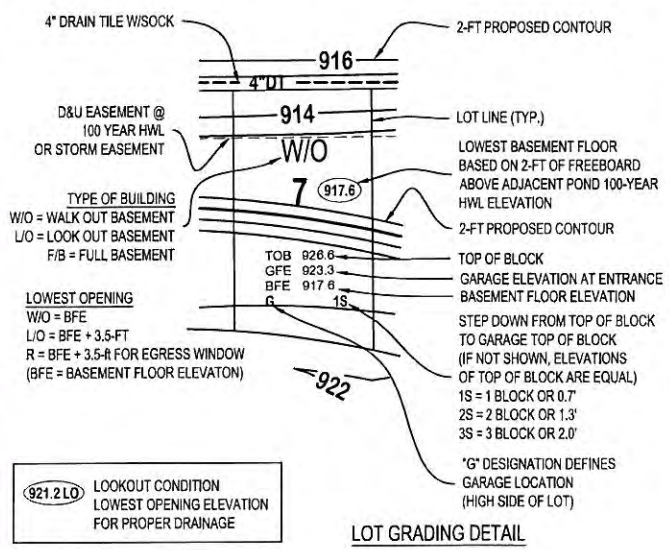
- PROPERTY BOUNDARY
- EXISTING 2-FT CONTOUR INTERVAL
- 922.85 LP/HP
HP = HIGH POINT LP = LOW POINT
- PROPOSED 2-FT CONTOUR INTERVAL
- PROPOSED DRAINAGE ARROW
- PROPOSED STREET GRADE PERCENT AND DIRECTION
- PROPOSED STORM SEWER (SIZE INDICATED ON PLANS)
- 100-YEAR HIGH WATER CONTOUR
- REVISED ROAD ALIGNMENT, UTILITY, GRADING AND LOT LINE ADJUSTMENT AREA

GRAPHIC SCALE



GRADING NOTES:

- 1) SPOT ELEVATIONS ARE ALL GUTTER LINE OR FINISHED ELEVATION UNLESS NOTED OTHERWISE.
- 2) ELEVATIONS/CONTOURS SHOWN AS FINISHED GRADE ELEVATIONS.
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2140 COUNTY ROAD 42 WEST
BURNSVILLE, MN 55337

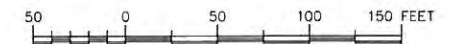
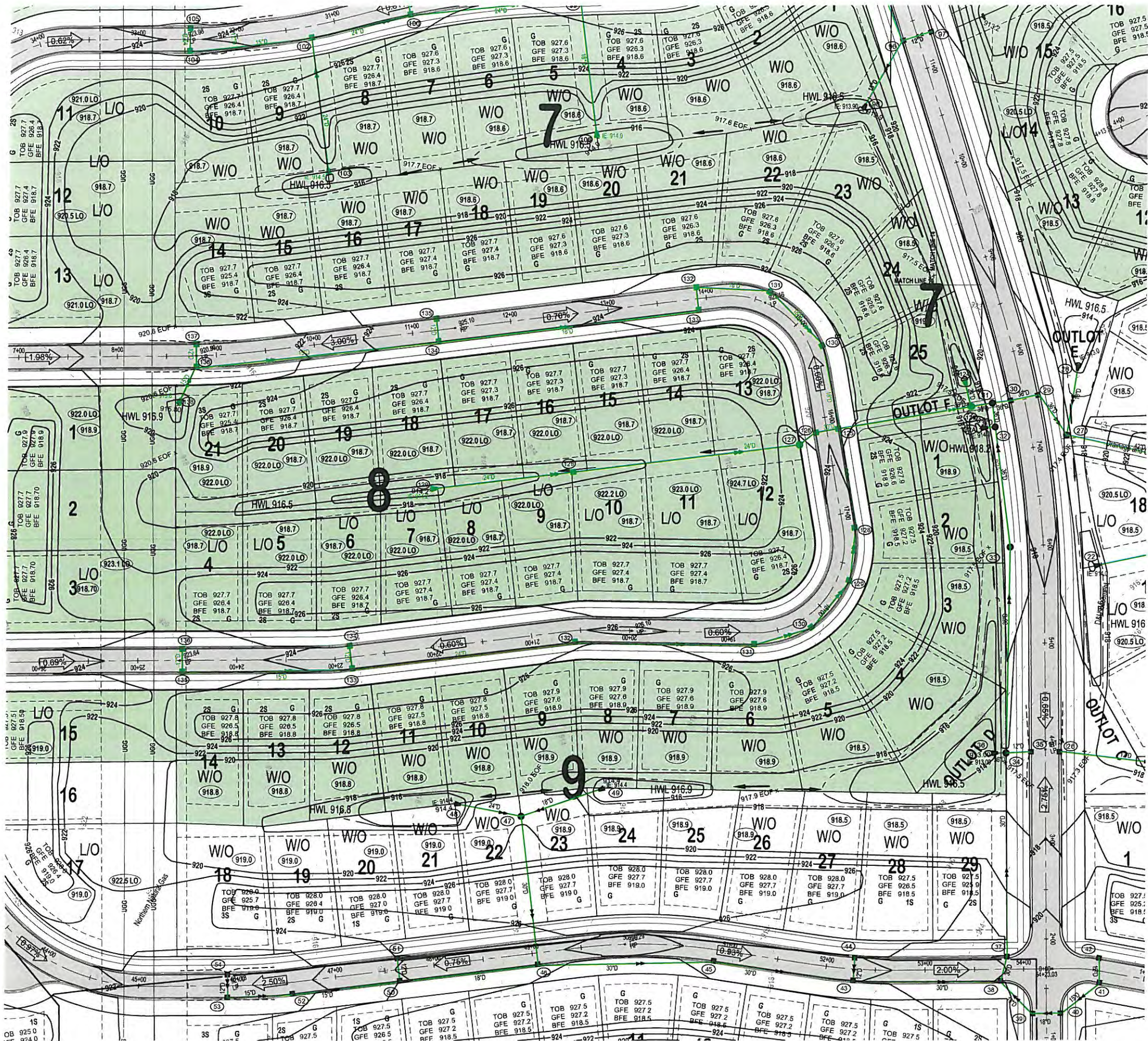
EASTON VILLAGE PRELIMINARY PLAT LAKE ELMO, MINNESOTA

NO.	REVISION	DESCRIPTION	DATE

JOB NO. 13-114

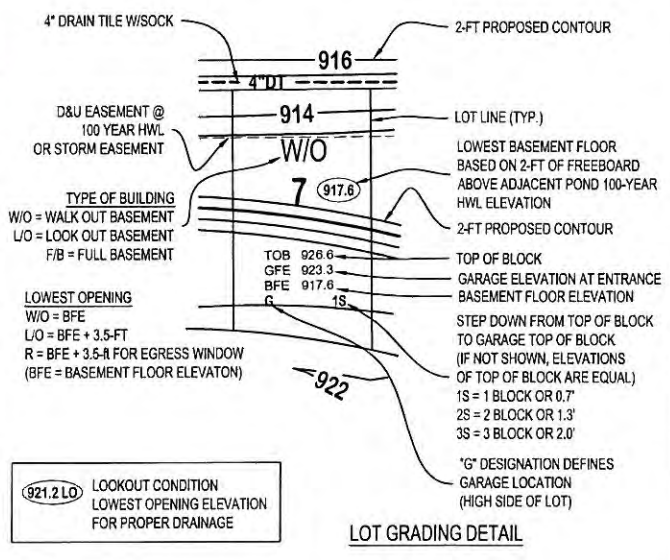
SHEET TITLE
PRELIMINARY PLAT GRADING REVISION

SHEET NO.
PR7
SHEET 7 OF 11



- LEGEND**
- PROPERTY BOUNDARY
 - EXISTING 2-FT CONTOUR INTERVAL
 - 922.85 LP/HP
 - PROPOSED 2-FT CONTOUR INTERVAL
 - PROPOSED DRAINAGE ARROW
 - PROPOSED STREET GRADE PERCENT AND DIRECTION
 - PROPOSED STORM SEWER (SIZE INDICATED ON PLANS)
 - 100-YEAR HIGH WATER CONTOUR
 - REVISED ROAD ALIGNMENT, UTILITY, GRADING AND LOT LINE ADJUSTMENT AREA.

- GRADING NOTES:**
- 1) SPOT ELEVATIONS ARE ALL GUTTER LINE OR FINISHED ELEVATION UNLESS NOTED OTHERWISE.
 - 2) ELEVATIONS/CONTOURS SHOWN AS FINISHED GRADE ELEVATIONS.
 - 3) REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
 - 4) WASHINGTON COUNTY PERMIT REQUIRED FOR GRADING AND ACCESS TO COUNTY RIGHT OF WAY
 - 5) DO NOT SPREAD TOPSOIL WHILE IT IS FROZEN OR MUDDY OR WHEN THE SUBGRADE IS WET OR FROZEN. CORRECT ANY IRREGULARITIES IN THE SURFACE THAT RESULT FROM TOPSOIL SPREADING OR OTHER OPERATIONS TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. BERMING OR DOUBLE LAYERING OR BIO LOGS MAY BE REQUIRED TO CONTAIN RUNOFF IF SILT FENCING CANNOT BE INSTALLED PROPERLY DURING FROZEN CONDITIONS.
 - 6) CONTRACTOR SHALL SCHEDULE SOILS TESTING FOR EACH STRUCTURAL FILL AREA, PAD AND STREET AREA.



ERICKSON CIVIL
 333 North Main Street, Suite 201
 Stillwater, Minnesota 55082
 Phone (612) 309-3804
 www.ericksoncivil.com

DRAWING PHASE:
 OWNER REVIEW
 AGENCY REVIEW
 BID DOCUMENT
 FOR CONSTRUCTION
 AS-BUILT DOCUMENT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Todd A. Erickson PE
 TODD A. ERICKSON PE
 40418
 LICENSE NO
 03/16/2015
 DATE

EASTON VILLAGE, LLC
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

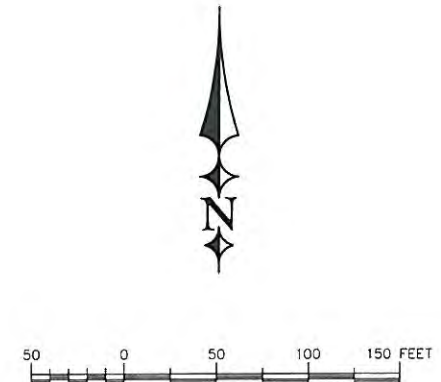
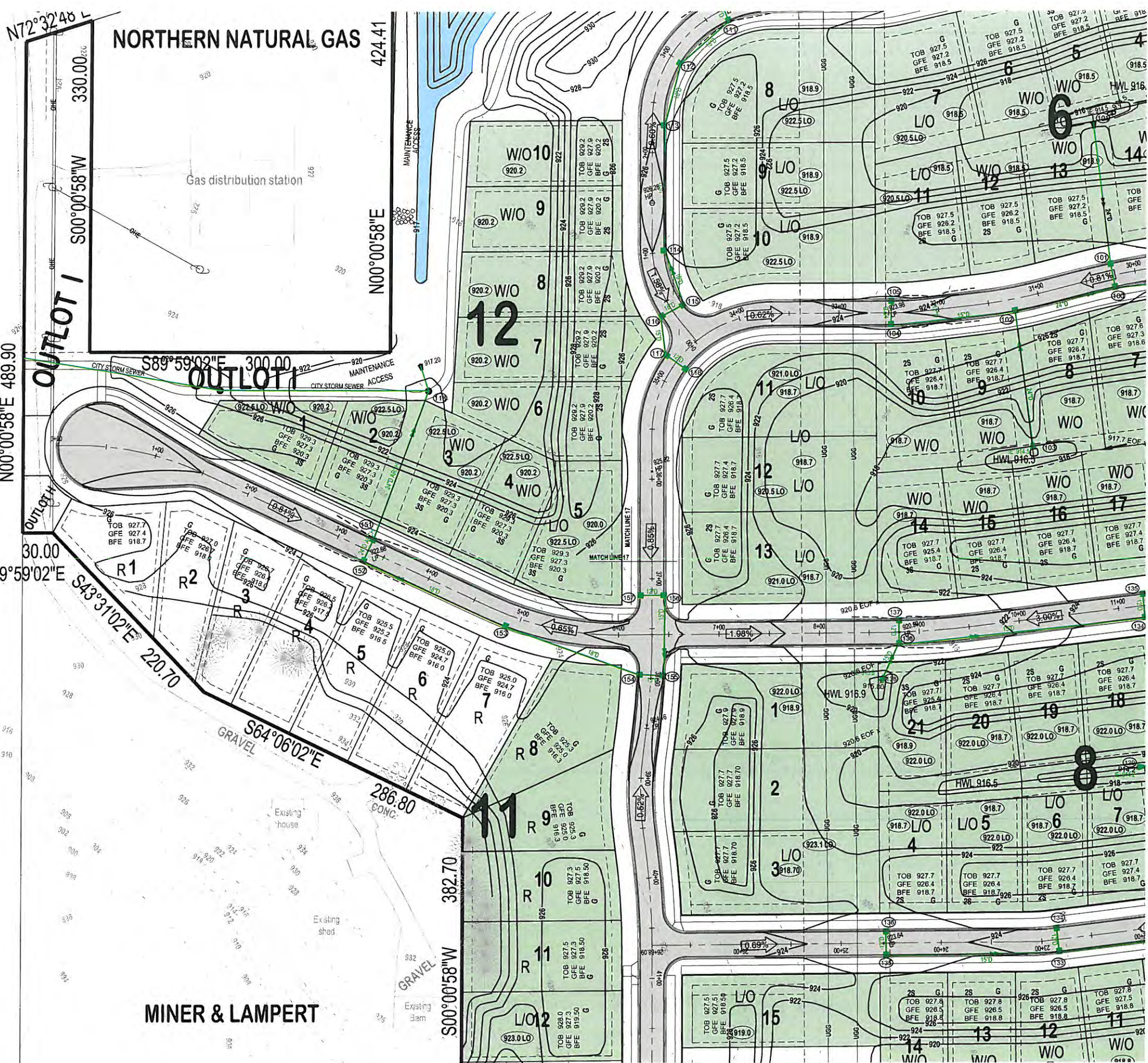
EASTON VILLAGE
 PRELIMINARY PLAT
 LAKE ELMO, MINNESOTA

REVISION	DESCRIPTION	DATE
NO.		

JOB NO. 13-114

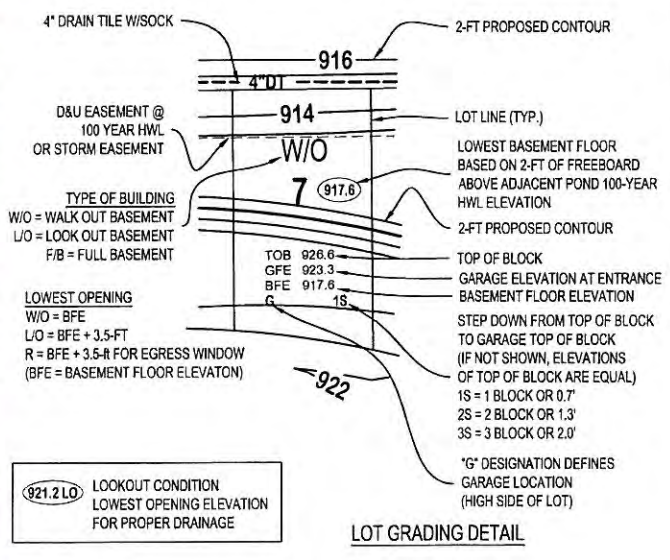
PRELIMINARY PLAT GRADING REVISION

SHEET NO. **PR8**
 SHEET 8 OF 11



- LEGEND**
- PROPERTY BOUNDARY
 - EXISTING 2-FT CONTOUR INTERVAL
 - 922.85 LP / HP
 - PROPOSED 2-FT CONTOUR INTERVAL
 - PROPOSED DRAINAGE ARROW
 - PROPOSED STREET GRADE PERCENT AND DIRECTION
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[Signature]
 TODD A. ERICKSON, PE
 40418
 LICENSE NO
 03/16/2015
 DATE

EASTON VILLAGE, LLC
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

EASTON VILLAGE PRELIMINARY PLAT LAKE ELMO, MINNESOTA

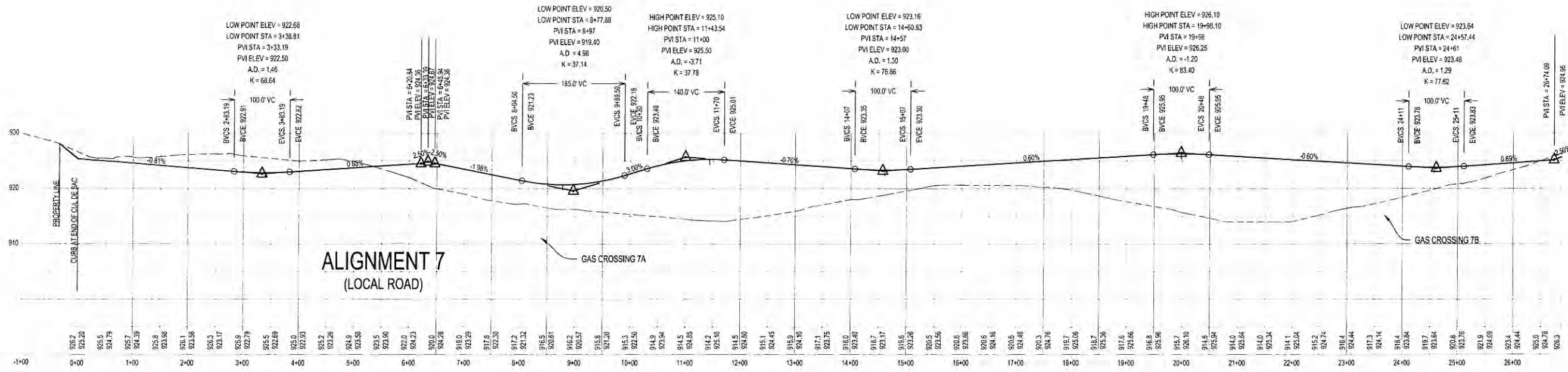
NO.	REVISION	DESCRIPTION	DATE

JOB NO. 13-114

PRELIMINARY PLAT GRADING REVISION

SHEET NO. **PR9**
 SHEET 9 OF 11

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Todd A. Erickson
TODD A. ERICKSON PE
40418
 LICENSE NO
03/16/2015
 DATE

OWNER/DEVELOPER
EASTON VILLAGE, LLC
 2140 COUNTY ROAD 42 WEST
 BURNSVILLE, MN 55337

PROJECT TITLE
EASTON VILLAGE PRELIMINARY PLAT LAKE ELMO, MINNESOTA

NO.	REVISION DESCRIPTION	DATE

JOB NO. 13-114
SHEET TITLE
 PRELIMINARY PLAT ROAD PROFILE REVISION
SHEET NO.
PR11
 SHEET 11 OF 11

Business Item – Easton Village 2 Final Plat

Becker started her presentation for Easton Village 2 Final Plat. This addition is for 19 single family lots in the 217 unit development. Prior to approval of Final Plat, Preliminary Plans were updated to meet conditions of Preliminary Plat approval. Revisions to these plans were required in order to address the following: 1) reconfigure temp access 2) grading plan revisions 3) Adjustments to property Boundaries 4) Slightly larger buffer from railroad tracks 5) revisions to stormwater mgmt. plan. The applicant has increased the number of lots for the 2nd Addition Final Plat application from 18, as proposed in Preliminary Plat, to 19 and there is a decrease in lot size. The developer has also removed a trail and outlot. There is 9.84 acres of required parkland dedication. 3.99 acres were dedicated with 1st addition which leaves a remaining 5.85 acres of cash payment in lieu of land. The developer was required to again update the preliminary plans prior to reviewing the 2nd Addition Final Plat to reflect the lot size and number changes. The issues with the landscape plans are as follows 1) there is no landscaping shown on Village Parkway 2) there are no utility locations 3) irrigation plans needed for ROW area 4) landscape maintenance agreement needed for ROW areas 5) condition of approval landscape plans updated and approved by City Landscape Architect. Staff is reviewing the Village Parkway Plan and the landscaping plans may be modified based on that review.

The final plat is generally compliant with preliminary plat with the following exceptions 1) plan revision and proper permits required 2) parkland dedication is required and needs to be re-evaluated with trail and outlot being eliminated 3) #14 distribution of future costs associated with Village Parkway railroad crossing improvements to be determined as part of developer's agreement 4) #17 applicant is proposing eliminating trail connection.

Dodson is concerned with the elimination of the trail connection. They pushed at preliminary plat to have that and doesn't know why it was removed. Becker stated that the trail connection was discussed at the Park Commission and they didn't see a problem with it.

Dodson asked about condition #7 encouraging builders to incorporate interior noise reduction measures. Dodson is wondering if that had been done in phase I. Wensman stated that he is not aware of if that is happening or not.

Kreimer asked if there was a net increase of the development with the extra lot for phase II. Becker stated that the overall development would still be 217 units. Kreimer asked about the Village Parkway and why it did not get built completely to 2nd addition as required with the first phase.

Tom Wolter, Easton Village Developer, they are eliminating the trail, however, there is still sidewalks in the cul-de-sac that connects to the other sidewalks in development. By

eliminating the trail, they have a variety of lot widths and can accommodate different home types. People also like the privacy of not having a trail at the end of the cul-de-sac. Dodson asked if there was a way to put the trail between 2 other lots. Wolter stated that this segment of trail really doesn't connect to anything.

Dodson asked about the sound abatement. Wolter stated that would go back to the building department. Dodson asked if the builders are being encouraged to do any sound abatement. Wolter stated that there is language in the HOA agreement regarding the airport. There is no agreement between the developer and the builders.

Dodson is concerned about the trail being removed as the discussion at preliminary plat was for connectivity. Williams doesn't think the trail should be removed. He thinks it does provide connectivity between the sidewalk and the cul-de-sac and Village Parkway. He doesn't buy the argument for privacy because the houses are so big and so close together that there isn't privacy anyway.

Dorschner feels that because the houses are so close, the trail should be removed because there really isn't a need with sidewalks on both sides. He feels the trail is intrusive into the yards of those 2 lots and the lots would be hard to sell with the easement. Larson is looking at this more as a jurisdictional issue. The Park Commission has seen this and reviewed this and they said that it could be taken out. Larson feels it is more the decision of the Park Commission. Williams recalls that the Park Commission isn't in favor of trails at the end of any Cul-de-Sac and he doesn't agree with their position. Williams stated that there are many sidewalks and trails that go along the side of houses. Fields does not like to see an amenity that was approved at preliminary plat removed when it comes to final plat. However, he does not see a great functionality of that piece of trail. He has mixed feelings about it. Kreimer is in favor of trails at the end of cul-de-sacs, but he is in favor of getting a better variety of lots in this development.

Williams stated that there is an easy way to get more variety and that would be to put smaller homes on some of these lots.

Williams made a friendly amendment to add to finding #2 the elimination of the trail at the cul-de-sac to the parkway, accepted by Dorschner.

M/S/P: Dorschner/Lundquist, move to recommend approval of the Easton Village 2nd Addition Final Plat with the 10 conditions of approval as drafted by staff and amended:
Vote: 6-1, motion carried.

Williams asked if any of the conditions mentioned that trail. Becker stated that the trail was a condition of approval for preliminary plat approval. Williams asked if any of the findings for this approval address taking out that trail. Wensman stated that a finding might be beneficial. Dodson feels it is covered as finding #3 states issues identified in staff report.

**CITY OF LAKE ELMO
WASHINGTON COUNTY
STATE OF MINNESOTA**

RESOLUTION NO. 2017-040

A RESOLUTION APPROVING A FINAL PLAT FOR EASTON VILLAGE 2ND ADDITION

WHEREAS, the City of Lake Elmo is a municipal corporation organized and existing under the laws of the State of Minnesota; and

WHEREAS, Chase Development, 2140 West County Road 42, Burnsville, MN has submitted an application to the City of Lake Elmo (“City”) for a Final Plat for Easton Village 2nd Addition Final Plat, a copy of which is on file in the City of Lake Elmo Planning Department; and

WHEREAS, the Easton Village Sketch Plan was reviewed by the Planning Commission on January 7, 2014 and approved by City Council on February 5, 2014; and

WHEREAS, the City approved the Easton Village Preliminary Plat subject to 21 conditions; and

WHEREAS, the proposed Easton Village 2nd Addition includes 19 single family residential lots within the Easton Village 217 unit residential development; and

WHEREAS, the Lake Elmo Planning Commission reviewed the Easton Village 2nd Addition Final plat at its April 24, 2017 meeting; and

WHEREAS, the Lake Elmo Planning Commission adopted a motion recommending approval of the Final Plat subject to 11 conditions of approval; and

WHEREAS, the Lake Elmo Planning Commission has submitted its report and recommendation concerning the Final Plat as part of a memorandum to the City Council for its May 2, 2017 meeting; and

WHEREAS, the City Council reviewed the Easton Village 2nd Addition Final Plat at its meeting held on May 2, 2017 and made the following findings:

- 1) That all the requirements of City Code Section 153.07 related to the Final Plan and Final Plat have been met by the Applicant.
- 2) That the proposed Final Plat for Easton Village consists of the creation of 19 single-family detached residential structures and the elimination of the trail from the cul-de-sac to Village Parkway.

- 3) That the Easton Village 2nd Addition Final Plat is generally consistent with the Preliminary Plat and Plans as approved by the City of Lake Elmo on July 15, 2014 and as amended to comply with conditions of preliminary plat approval with the exceptions of issues identified in the April 24, 2017 Staff report to the Planning Commission.
- 4) That the Easton Village 2nd Addition Final Plat is consistent with the Lake Elmo Comprehensive Plan and the Future Land Use Map for this area.
- 5) That the Easton Village 2nd Addition Final Plat complies with the City's Urban Low Density Residential zoning district regulations.
- 6) That the Easton Village 2nd Addition Final Plat complies with all other applicable zoning requirements, including the City's landscaping, storm water, sediment and erosion control and other ordinances with the exception of issues identified in the April 24, 2017 Staff report to the Planning Commission.
- 7) That the Easton Village 2nd Addition Final Plat complies with the City's subdivision ordinance.
- 8) That the Easton Village 2nd Addition Final Plat is generally consistent with the City's engineering standards with the exception of necessary plan revisions outlined by the City Engineer in his review comments to the City dated April 12, 2017.

NOW, THEREFORE, BE IT RESOLVED THAT the City Council does hereby approve the Easton Village 2nd Addition Final Plat subject to the following conditions:

- 1) Final grading, drainage, and erosion control plans, sanitary and storm water management plans, landscape plans, and street and utility construction plans shall be reviewed and approved by the City Engineer and applicable Staff prior to the recording of the Final Plat. All changes and modifications to the plans requested by the City Engineer in the memorandums addressing Easton Village 2nd Addition Final Plat and Easton Village 2nd Addition Construction Plan Review dated April 12, 2017 in the memo shall be incorporated into these documents before they are approved.
- 2) Prior to the execution of the Final Plat by City officials, the Developer shall enter into a Developer's Agreement acceptable to the City Attorney and approved by the City Council that delineates who is responsible for the design, construction, and payment of the required improvements for the Easton Village 2nd Addition Final Plat with financial guarantees therefore.
- 3) All easements as requested by the City Engineer and Public Works Department shall be documented on the Final Plat prior to its execution by City Officials.
- 4) The Applicant shall submit an updated Landscape Plan that is consistent with Preliminary Landscape Plans; shows utility locations; shows irrigation plans; and includes the right-of-way area along Village Parkway. The updated plans will need to be approved by the City's Landscape Architect. A Landscape Maintenance Agreement will need to be provided for all City right-of-way areas.

- 5) Temporary easements for the temporary cul-de-sacs shall be executed and recorded on the City standard easement agreement form.
- 6) The applicant shall provide a disclosure statement to all first homeowners in the development advising of the airport and associated over-flights.
- 7) All builders shall be encouraged to incorporate interior noise reduction measures into single family residential structures within the subdivision based on the Metropolitan Council's Builder Guide.
- 8) The proposed access to Manning Avenue will be permitted as a temporary access until such time that the Village Parkway is connected to 30th Street or 5 years has passed from the date of final plat approval of the 1st Addition (March 23, 2020), whichever is longer. The developer's agreement for Easton Village shall include appropriate financial securities concerning the future cost for removal of the temporary access.
- 9) Approval by the Valley Branch Watershed District is needed for revised stormwater plans.
- 10) That the Preliminary Plat and Preliminary Plans be revised and approved by the City prior to accepting applications for future phases of the development for Final Plat.

Passed and duly adopted this 2nd day of May, 2017 by the City Council of the City of Lake Elmo, Minnesota.

Mike Pearson, Mayor

ATTEST:

Julie Johnson, City Clerk