

LAKE ELMO INDEPENDENT LIVING, LLC

NEW INDEPENDENT LIVING FACILITY

LAKE ELMO, MINNESOTA

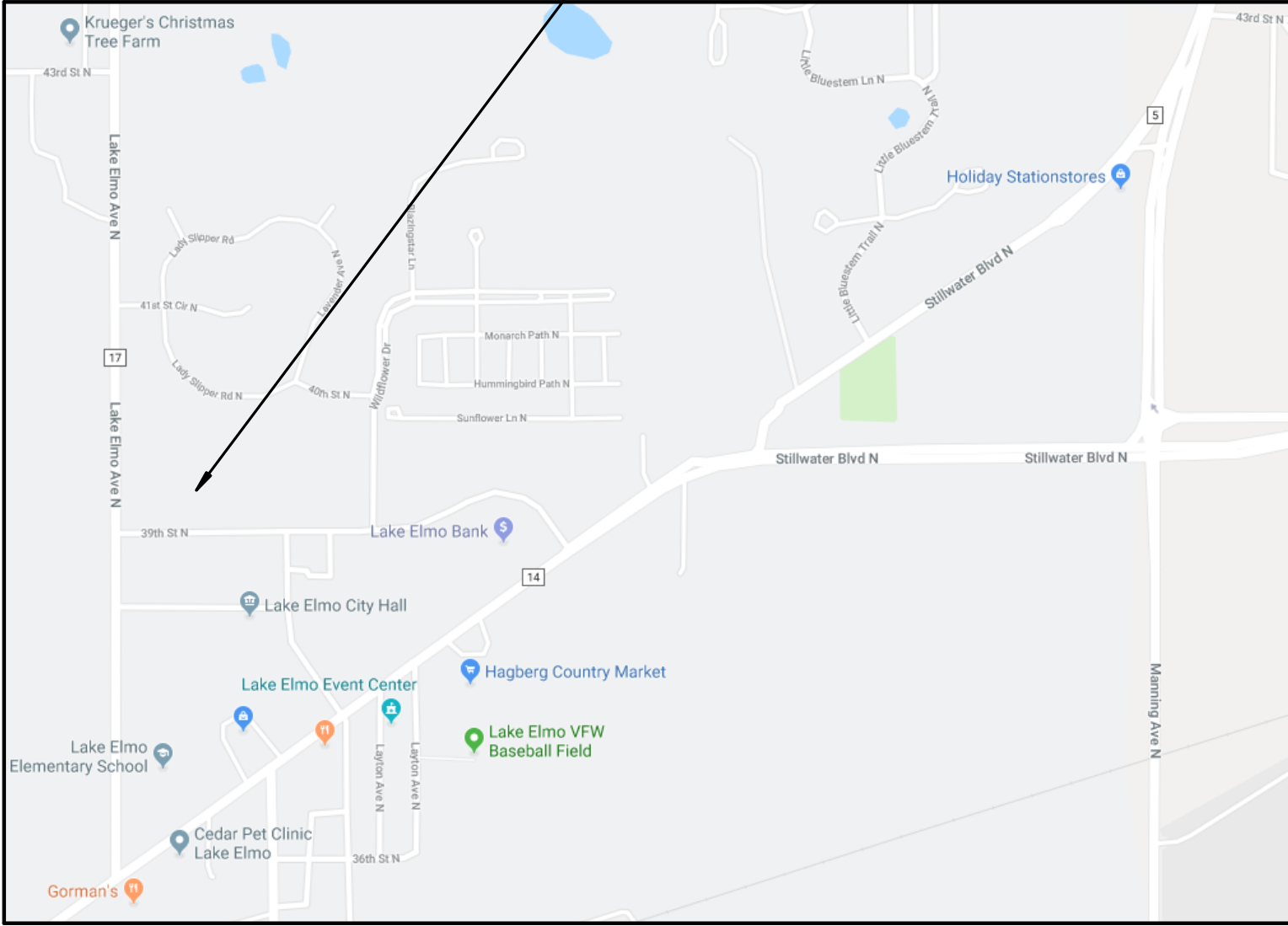
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A203	EXTERIOR ELEVATIONS

PROJECT LOCATION
PARCEL NUMBER: 13.029.21.22.0013
LEGAL DESCRIPTION: BROOKMAN 3RD ADD LOT 2
BLOCK 2 SUBDIVISION CD 37102



BUILDING CODE SUMMARY

NEW INDEPENDENT LIVING FACILITY - LAKE ELMO, MN

APPLICABLE CODES AND REGULATIONS:

- 2015 MINNESOTA BUILDING CODE
- 2012 INTERNATIONAL BUILDING CODE

I. OCCUPANCY:

CHAPTER 3

A. OCCUPANCIES IN BUILDING:

- GROUP "R-2" (42 DWELLING UNITS)
- GROUP "A-3" (COMMUNITY ROOM/FITNESS/ACTIVITY ROOM)
- GROUP "S-2" (PARKING AREA)

B.

NON-SEPARATED MIXED OCCUPANCY (SECTION 508.3)

- 508.3.1 NONSEPARATED OCCUPANCIES SHALL BE INDIVIDUALLY CLASSIFIED IN ACCORDANCE WITH SECTION 302.1. THE REQUIREMENTS OF THIS CODE SHALL APPLY TO EACH PORTION OF THE BUILDING BASED ON THE OCCUPANCY CLASSIFICATION OF THAT SPACE EXCEPT THAT THE MOST RESTRICTIVE APPLICABLE PROVISIONS OF SECTION 403 AND CHAPTER 9 THAT APPLY TO THE NONSEPARATED OCCUPANCIES SHALL APPLY TO THE TOTAL NONSEPARATED OCCUPANCY AREA.
- 508.3.2 THE ALLOWABLE BUILDING AREA AND HEIGHT OF THE BUILDING OR PORTIONS THEREOF SHALL BE BASED ON THE MOST RESTRICTIVE ALLOWANCE FOR THE OCCUPANCY GROUPS UNDER CONSIDERATION FOR THE TYPE OF CONSTRUCTION OF THE BUILDING IN ACCORDANCE WITH SECTION 503.1. THE GROUP "A-3" OCCUPANCY REQUIREMENTS ARE THE MOST RESTRICTIVE.

C.

THE BUILDING IS REQUIRED TO BE EQUIPPED THROUGHOUT WITH AN NFPA 13 AUTOMATIC SPRINKLER SYSTEM. (PER SECTIONS 903.2.1.3, 903.2.6 & 903.2.10)

II. CONSTRUCTION:

A. CONSTRUCTION TYPES: (TABLE 503 & CHAPTER 6)

- PARKING AREA = TYPE IIB
- DWELLING UNITS /ASSEMBLY AREAS = TYPE VA

B.

BUILDING HEIGHT AND AREAS - BASIC ALLOWABLE (TABLE 503)

OCCUPANCY	CONSTR. TYPE	BASIC ALLOW. HEIGHT	SPRINKLER INCREASE	ACT. NO. OF STORIES	BASIC ALLOW. AREA/FLOOR	FRONTAGE INCR. (36%)	SPRINKLER INCR. (200%)	TOTAL ALLOW. AREA/FLOOR
A-3	VA	2 STORIES & 50 FT.	1 STORY & 20 ST.	2	11,500 S.F.	4,140 S.F.	23,000 S.F.	38,640 S.F.
R-2	VA	3 STORIES & 50 FT.	1 STORY & 20 ST.	3	12,000 S.F.	4,320 S.F.	24,000 S.F.	40,320 S.F.
S-2	IIB	3 STORIES & 55 FT.	1 STORY & 20 ST.	1	26,000 S.F.	9,360 S.F.	52,000 S.F.	87,360 S.F.

C.

- ACTUAL BUILDING AREA:
- 1ST FLOOR (GROUPS S-2, A-3, & R-2) = 22,138 S.F.
 - 2ND FLOOR (GROUPS A-3 & R-2) = 21,580 S.F.
 - 3RD FLOOR (GROUP R-2) = 21,590 S.F.
- TOTAL BUILDING SQUARE FOOTAGE = 65,318 S.F.

D.

BUILDING ELEMENTS SHALL HAVE FIRE RESISTANCE RATINGS AS SPECIFIED IN TABLE 601.

BUILDING ELEMENT: TYPE IIB: TYPE VA:

- STRUCTURAL FRAME = (-) = (1) HR.
- BEARING WALLS (EXTERIOR & INTERIOR) = (-) = (1) HR.
- NONBEARING WALLS & PARTITIONS = (-) = (-)
- FLOOR / CEILING CONSTRUCTION = (-) = (1) HR.
- ROOF CONSTRUCTION = (-) = (1) HR.

E.

HORIZONTAL ASSEMBLIES - THE FIRE-RESISTANCE RATING OF FLOOR & ROOF ASSEMBLIES SHALL NOT BE LESS THAN THAT REQUIRED BY THE BUILDING TYPE OF CONSTRUCTION. WHERE FLOOR ASSEMBLIES SEPARATE MIXED OCCUPANCIES, THE ASSEMBLY SHALL HAVE A FIRE-RESISTANCE RATINGS OF NOT LESS THAN THAT REQUIRED BY SECTION 508.4. (SEC. 711.3) *ONE HOUR FIRE RESISTANCE RATING IS REQUIRED BETWEEN FLOORS.

III. EGRESS AND ACCESS REQUIREMENTS:

A. OCCUPANT LOAD: (TABLE 1004.1.2)

DESCRIPTION: S.F. ACTUAL: / LOAD FACTOR: OCC. LOAD: REQ'D. EXITS

FIRST FLOOR:					
1. PARKING EAST	5,740 S.F.	200 S.F.	29 PERSONS	1	
2. PARKING WEST	8,562 S.F.	200 S.F.	43 PERSONS	2	
3. LIVING UNITS	2,764 S.F.	200 S.F.	14 PERSONS	1	
4. FITNESS	231 S.F.	50 S.F.	5 PERSONS	1	
5. OFFICE	138 S.F.	100 S.F.	2 PERSONS	1	
6. COMMUNITY ROOM	660 S.F.	15 S.F.	44 PERSONS	1	
7. ENTRY/LIVING	300 S.F.	15 S.F.	20 PERSONS	1	
* FIRST FLOOR OCCUPANT LOAD			157 PERSONS	2	

SECOND FLOOR:					
1. LIVING UNITS	16,541 S.F.	200 S.F.	83 PERSONS	2	
2. CRAFT/ACTIVITY	577 S.F.	15 S.F.	39 PERSONS	1	
3. STORAGE	546 S.F.	300 S.F.	2 PERSONS	1	
* SECOND FLOOR OCCUPANT LOAD			124 PERSONS	2	

THIRD FLOOR:					
1. LIVING UNITS	17,866 S.F.	200 S.F.	90 PERSONS	2	
2. STAFF ROOM	94 S.F.	100 S.F.	1 PERSONS	1	
* THIRD FLOOR OCCUPANT LOAD			91 PERSONS	2	

* TOTAL BUILDING OCCUPANT LOAD = 372 PERSONS

PROJECT DIRECTORY

BUILDING OWNER

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N8654 1090TH STREET
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ARCHITECT OF RECORD: MARK PASCHKE
PROJECT MANAGER: STEVE HOECHERL

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112 EAST MAPLE STREET
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B.

WHERE MORE THAN ONE MEANS OF EGRESS IS REQUIRED BY SECTION 1015.1 OR 1021.1 EACH ACCESSIBLE PORTION OF THE SPACE SHALL BE SERVED BY NOT LESS THAN TWO ACCESSIBLE MEANS OF EGRESS. (PER SEC. 1007.1)

C.

EACH REQUIRED ACCESSIBLE MEANS OF EGRESS SHALL BE CONTINUOUS TO A PUBLIC WAY. (PER SEC. 1007.2)

D.

THE CLEAR WIDTH OF 48" BETWEEN HANDRAILS IS NOT REQUIRED AT EXIT STAIRWAYS IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM. (PER SEC. 1007.3 EXCEPTION 3)

E.

THE TOTAL WIDTH OF MEANS OF EGRESS IN INCHES SHALL NOT BE LESS THAN THE TOTAL OCCUPANT LOAD SERVED BY THE MEANS OF EGRESS MULTIPLIED BY 0.2 INCHES PER OCCUPANT FOR STAIRWAYS AND 0.15 INCHES PER OCCUPANT FOR OTHER EGRESS COMPONENTS. (PER SECTIONS 1005.3.1, EXCEPTION AND 1005.3.2, EXCEPTION)

F.

MAXIMUM TRAVEL DISTANCE TO EXIT: (SPRINKLERED BUILDING) - 250 FT. (PER TABLE 1016.2)

G.

SHAFT ENCLOSURES INCLUDING EXIT ENCLOSURES SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN (1) HOUR WHEN CONNECTING LESS THAN FOUR STORIES. (PER SECTIONS 707.3 & 1022.2) * PROVIDE 60 MINUTE RATED DOORS PER TABLE 716.5.

H.

EXIT ACCESS CORRIDOR WALLS SHALL BE (5) HOUR FIRE-RESISTANCE RATED PER TABLE 1018.1. (GROUP "I-1" REQUIREMENTS)

I.

THE COMMON PATH OF EGRESS TRAVEL SHALL NOT EXCEED 75'-0" (PER SEC. 1014.3 & TABLE 1014.3)

J.

OPENINGS IN EXIT ACCESS CORRIDOR WALLS SHALL BE PROTECTED IN ACCORDANCE WITH TABLE 716.5. (20 MINUTE RATING)

K.

EXITS SHALL DISCHARGE DIRECTLY TO THE EXTERIOR OF THE BUILDING. THE EXIT DISCHARGE SHALL BE AT GRADE OR SHALL PROVIDE DIRECT ACCESS TO GRADE. (PER SEC. 1027.1)

L.

A MAXIMUM OF 50% OF THE NUMBER AND CAPACITY OF THE EXIT ENCLOSURES IS PERMITTED TO EGRESS THROUGH AREAS ON THE LEVEL OF EXIT DISCHARGE, PROVIDED ITEMS 1.1, 1.2, AND 1.3 ARE MET. (PER SEC. 1027.1, EXCEPTION 1)

M.

WALLS SEPARATING DWELLING UNITS SHALL HAVE A FIRE-RESISTANCE RATING OF (1) HOUR AND COMPLY WITH SECTION 708.4. (PER SECTIONS 708.1 & 708.3.)

N.

DRAFTSTOPPING IS NOT REQUIRED IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM. (PER SEC. 718.3.3 EXCEPTION & 718.4.3 EXCEPTION)

O.

WALLS, PARTITIONS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS FROM EACH OTHER OR FROM PUBLIC OR SERVICE AREAS SHALL HAVE A SOUND TRANSMISSION CLASS (STC) & (IIC) OF NOT LESS THAN 50. (PER SEC. 1207.2 & 1207.3)

P.

DEAD-END CORRIDORS SHALL NOT EXCEED 20 FT. IN LENGTH IN GROUP 'A' OCCUPANCIES. DEAD-END CORRIDORS IN GROUP 'R-2 & S' OCCUPANCIES SHALL NOT EXCEED 50 FT. WHERE THE BUILDING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM. (PER SEC. 1018.4)

Q.

PEDESTRIAN CANOPY, ENTRY CANOPIES AND DRIVE-UNDER CANOPY AND SIMILAR PROJECTIONS ON BUILDINGS OF TYPE 'V' CONSTRUCTION SHALL NOT BE REQUIRED TO HAVE A FIRE-RESISTANCE RATING WHERE SPRINKLER PROTECTION IS EXTENDED TO THESE AREAS. (PER SEC. 1406.3 EXCEPTION 3)

IV. ELEVATOR REQUIREMENTS:

A.

IN ORDER TO BE CONSIDERED PART OF AN ACCESSIBLE MEANS OF EGRESS, AN ELEVATOR SHALL COMPLY WITH THE EMERGENCY OPERATION AND SIGNALING DEVICE REQUIREMENTS OF SECTION 2.27 OF ASME A117.1. STANDBY POWER SHALL BE PROVIDED IN ACCORDANCE WITH CHAPTER 27 AND SECTION 303. (PER SEC. 1007.4)

B.

ENCLOSED ELEVATOR LOBBIES ARE NOT REQUIRED SINCE THE ENTIRE BUILDING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1. (PER SECTION 713.14.1, EXCEPTIONS 1 & 4)

C.

ELEVATORS SHALL NOT BE IN A COMMON SHAFT ENCLOSURE WITH A STAIRWAY. (PER SEC. 3002.7)

D.

HOISTWAYS OF ELEVATORS HAVING A TRAVEL DISTANCE OF 25'-0" OR MORE SHALL BE PROVIDED WITH A MEANS FOR VENTING SMOKE & HOT GASES TO THE OUTER AIR IN CASE OF FIRE. (PER SEC. 3004.1)

E.

THE AREA OF HOISTWAY VENTS SHALL NOT BE LESS THAN 3.5 PERCENT OF THE HOISTWAY NOR LESS THAN 3 SQUARE FEET FOR EACH ELEVATOR CAR. (PER SEC. 3004.3)

V. ACCESSIBILITY: (2015 MINNESOTA ACCESSIBILITY CODE)

A.

AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE. (PER SEC. 1104.2)

B.

AT LEAST 80% OF ALL PUBLIC ENTRANCES TO EACH BUILDING, FACILITY AND TENANT SPACE SHALL BE ACCESSIBLE. (PER SEC. 1105.1)

GENERAL NOTES:

- THE CONTRACTOR SHALL ACCEPT THE PROJECT SITE AS IT EXISTS. ALL EXISTING CONDITIONS WHETHER OR NOT SPECIFICALLY NOTED ON THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL NOT PROCEED WITH ANY ITEM(S) OF WORK WHICH IS REASONABLY QUESTIONABLE WITHOUT CONSULTING THE OWNER OR ARCHITECT.
- ALL WORK, PROCEDURES, AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS AND CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND INSPECTIONS REQUIRED.
- ALL CONSTRUCTION SCHEDULING AND SEQUENCING SHALL BE COORDINATED WITH THE OWNER PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRASH REMOVAL AT INTERVALS SUCH THAT EXCESSIVE AMOUNTS OF TRASH AND DEBRIS ARE NOT ALLOWED TO ACCUMULATE IN THE WORK AREAS OR ON THE SITE. CONTRACTOR SHALL FURNISH CONTAINERS FOR PROPER STORAGE AND REMOVAL OF TRASH.
- SECURITY: GENERAL CONTRACTOR IS RESPONSIBLE FOR PROJECT SECURITY.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK SO AS TO MAINTAIN SOLE RESPONSIBILITY FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES AND SEQUENCES.
- PROVIDE SMOKE DETECTION AND FIRE ALARM SYSTEM AS REQUIRED BY CODE.
- THE FIRE PROTECTION SUBCONTRACTOR SHALL DESIGN, SUPPLY AND INSTALL THE AUTOMATIC SPRINKLER SYSTEM TO ACCOMMODATE THE WORK AND AS REQUIRED BY CURRENT CODES & STANDARDS.
- GENERAL CONTRACTOR COORDINATE WITH ALL SUBCONTRACTORS ALL REQUIRED OPENINGS, NOT INDICATED HEREIN.
- ALL PARTIES SHALL UNDERSTAND THAT CONSTRUCTION DOCUMENTS ARE NOT INTENDED TO BE A COMPLETE SET OF INSTRUCTIONS ON HOW TO CONSTRUCT A BUILDING. CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SITE SAFETY PRECAUTIONS ARE CUSTOMARILY ASSIGNED AS RESPONSIBILITIES OF THE CONTRACTOR TO GIVE THE CONTRACTOR FULL LATITUDE IN PREPARING BIDS AND CARRYING OUT THE CONSTRUCTION PHASE. THE CONTRACTOR DETERMINES THE ASSIGNMENT OF WORK TO SPECIFIC TRADES AND SUBCONTRACTORS. THE CONTRACTOR ALSO MANAGES LOGISTICAL MATTERS SUCH AS SEQUENCE OF OPERATIONS, SCHEDULING, DESIGN OF TEMPORARY SUPPORTS AND FACILITIES, SELECTION OF APPROPRIATE EQUIPMENT, AND PROJECT SAFETY.
- REFER TO SPECIFICATION MANUAL FOR ROOM FINISH SCHEDULE.
- REFER TO DWELLING UNIT DOOR SCHEDULE ON SHEETS FOR TYPICAL DOORS USED WITHIN EACH UNIT.

DESIGN/ BUILD MECHANICAL & ELECTRICAL:

- THE DESIGN / BUILD ELECTRICAL CONTRACTOR SHALL PROVIDE ADEQUATE ILLUMINATION LEVELS AND EMERGENCY / EXIT LIGHTING AS REQUIRED PER CODE. LIGHT FIXTURE LAYOUTS SHOWN ARE FOR REFERENCE ONLY.
- THE HVAC SYSTEM INCLUDING DIFFUSER LAYOUT WILL BE DESIGN / BUILD BY THE SELECTED MECHANICAL SUBCONTRACTOR(S).
- THE HVAC SUBCONTRACTOR WILL BE RESPONSIBLE FOR BALANCING AND ENSURING AN EFFICIENT SYSTEM.
- COORDINATE WITH ALL DESIGN / BUILD SUBCONTRACTORS ALL REQUIRED OPENINGS, NOT INDICATED HEREIN.

DISCIPLINE DESIGNATOR

G	GENERAL
C	CIVIL
L	LANDSCAPE
AE	ARCHITECTURAL EXISTING
AD	ARCHITECTURAL DEMO
F	INTERIOR DESIGN
S	STRUCTURAL
FP	FIRE PROTECTION
P	PLUMBING
M	MECHANICAL
E	ELECTRICAL
FS	FOOD SERVICE

SHEET TYPE DESIGNATOR

0	GENERAL
1	FLOOR, CEILING & ROOF PLANS
2	EXTERIOR ELEVATION
3	BUILDING SECTIONS/WALL SECTIONS
4	ENLARGED FLOOR PLANS
5	INTERIOR ELEVATIONS & VIEWS
6	SCHEDULES & LEGENDS
7	EXTERIOR DETAILS
8	INTERIOR DETAILS
9	RENDERED VIEWS

LAKE ELMO INDEPENDENT LIVING, LLC

NEW INDEPENDENT LIVING FACILITY

LAKE ELMO, MINNESOTA

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AYRES ASSOCIATES

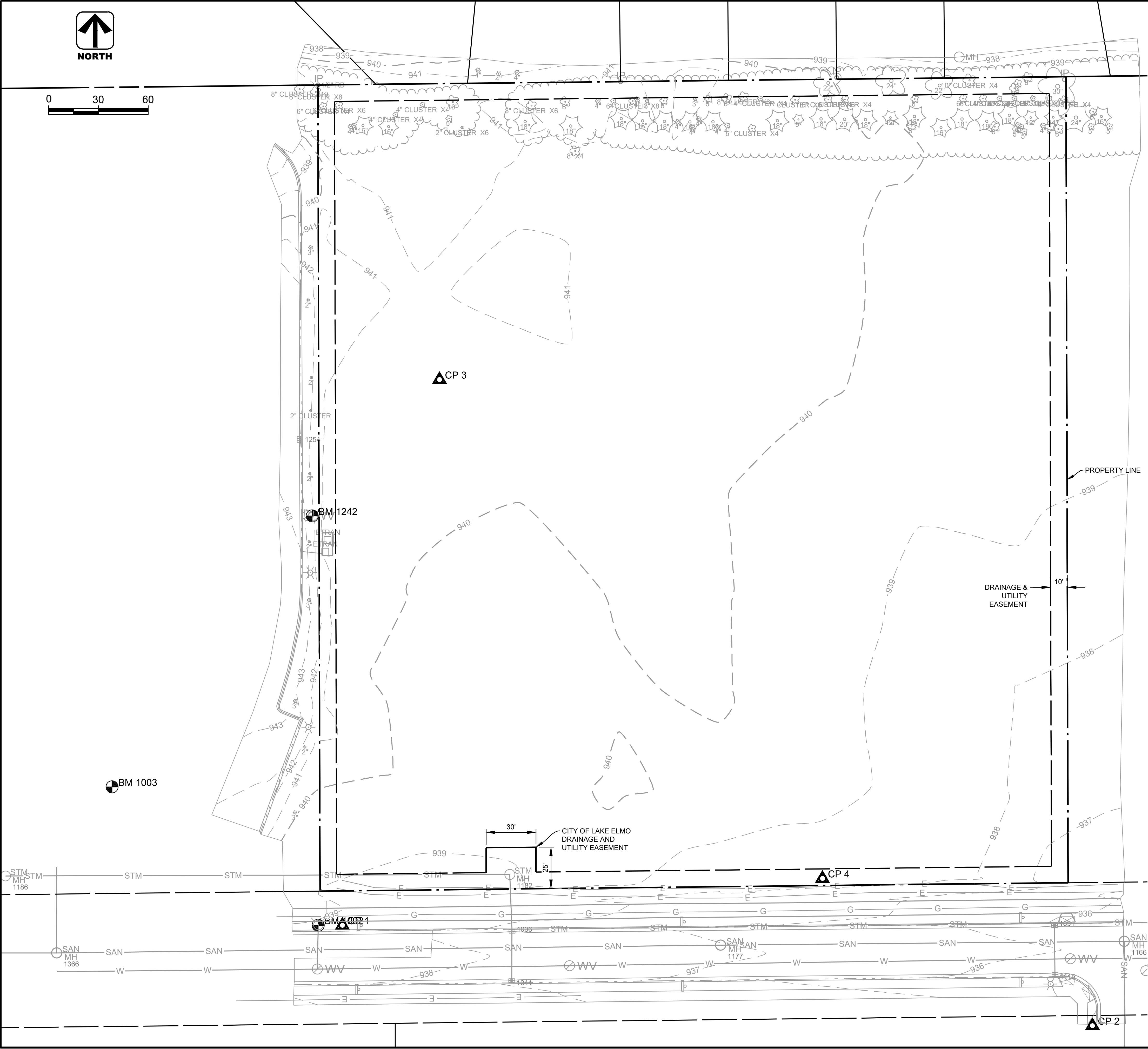
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11.06.2019

PROJECT No: 08-1893.00

COVER SHEET

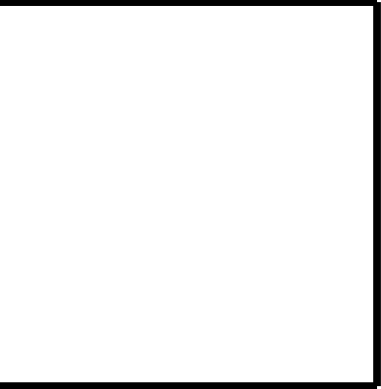
G001



EXISTING SITE LEGEND

SANITARY SEWER	SAN SAN
WATER MAIN	W WV W
STORM SEWER	STM STM
UNDERGROUND GAS	G G
UNDERGROUND ELECTRIC	E E
PROPERTY LINE	IRON PIPE
UTILITY EASEMENT LINE	
LIGHT POLE	
CURB AND GUTTER	
SIDEWALK / TRAIL	
TREES	DECIDUOUS CONIFEROUS
TREELINE	
CONTOURS	100 99
SIGN	

CONTROL / BENCHMARK POINT DATA					
POINT NO.	FEATURE	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	CP	194692.279	487519.037	938.66	12" NAIL
2	CP	194631.866	487970.221	935.34	12" NAIL
3	CP	195020.566	487577.468	940.54	12" NAIL
4	CP	194720.443	487807.817	938.50	12" NAIL
50	BM	194598.047	488011.517	937.52	TNH
1002	BM	194692.284	487504.493	941.50	
1003	BM	194775.492	487380.480	946.50	
1242	BM	194938.493	487500.909	945.51	



MARK	DATE	DESCRIPTION

LAKE ELMO INDEPENDENT LIVING, LLC

NEW INDEPENDENT LIVING FACILITY

LAKE ELMO, MINNESOTA

AVRES
ASSOCIATES

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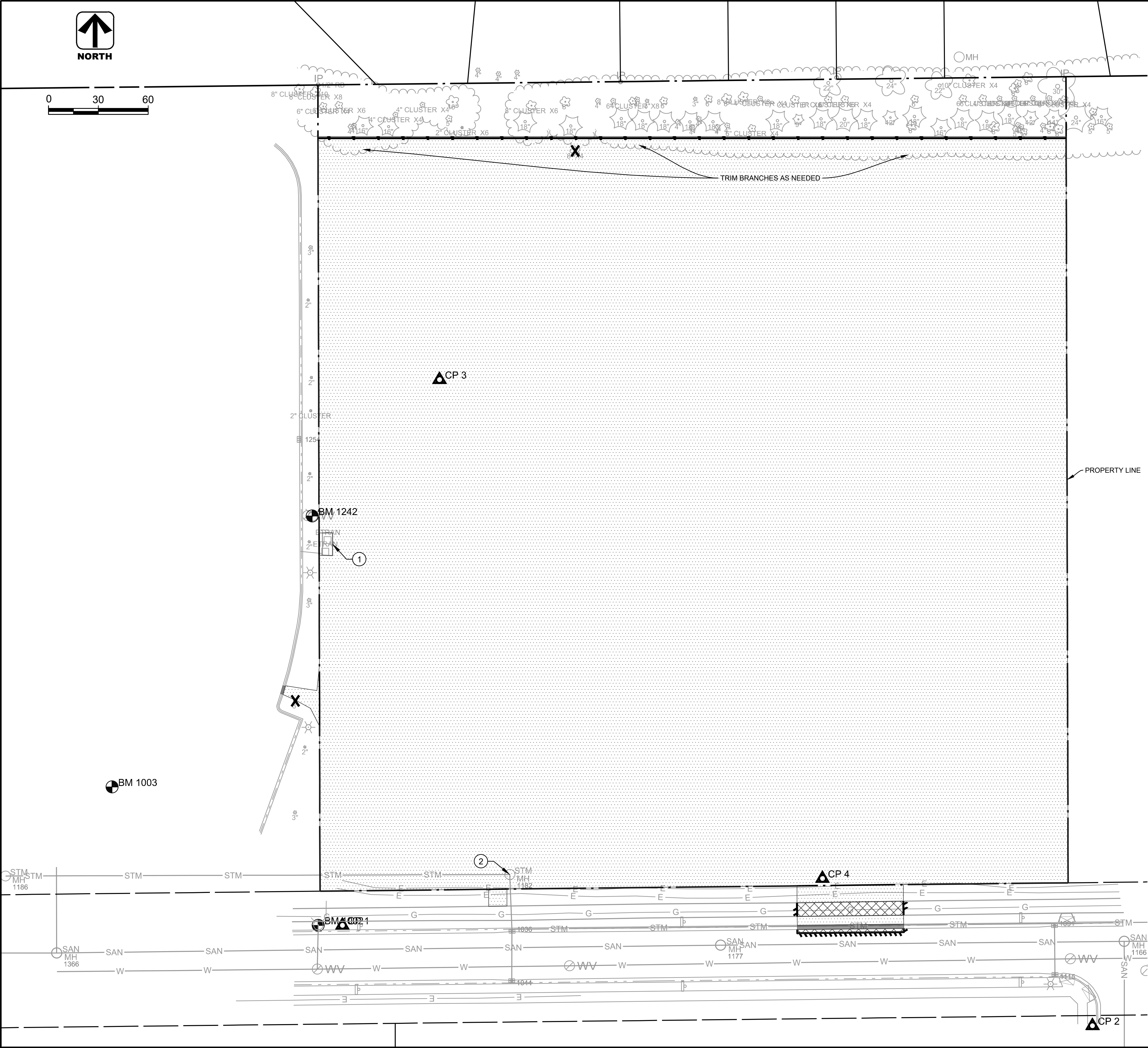
11/08/2019

PROJECT No: 08-1893.00

EXISTING SITE PLAN

C100

NOT FOR CONSTRUCTION - PRELIMINARY - CITY FINAL PUD SUBMITTAL



SITE DEMOLITION LEGEND

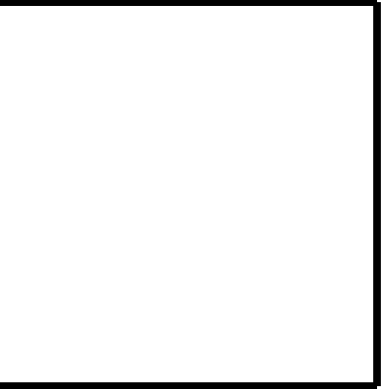
- REMOVE ASPHALT SECTION
- REMOVE GRASS AND TOPSOIL
- REMOVE CURB AND GUTTER TO NEAREST JOINT
- CLEAR AND GRUB TREE
- SAWCUT
- INSTALL 6' CHAIN LINK CONSTRUCTION FENCING TO PROTECT TREES

DEMOLITION NOTES

- A. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND RETENTION AND INFILTRATION NETWORK AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED: SEE SITE WORK SPECIFICATIONS.
- B. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- C. THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- D. **ENGINEERS NOTICE TO CONTRACTOR**
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- E. ALL PAVEMENT REMOVALS WITHIN PUBLIC RIGHT OF WAY SHALL BE REPLACED IN-KIND AND REMOVALS SHALL BE ACCOMPANIED BY A FULL DEPTH SAW CUT AND MILLED BITUMINOUS STEP JOINT PER CITY OF LAKE ELMO STANDARD DETAILS.
- F. ALL EXISTING TREES TO BE PROTECTED PER TREE PROTECTION DETAIL.
- G. SAWCUTS SHALL BE FULL PAVEMENT DEPTH

PROTECTION NOTES

- PROTECT ALL UNDERGROUND UTILITIES AND UTILITY STRUCTURES THAT ARE NOT SHOWN AS REMOVED OR ABANDONED IN PLACE
- PROTECT ALL REMAINING TREES. EQUIPMENT AND MATERIALS SHALL NOT BE STORED WITHIN DRIP LINES OF REMAINING TREES
- PROTECT TRANSFORMER AND CONCRETE TRANSFORMER PAD
- PROTECT STORM MANHOLE



MARK	DATE	DESCRIPTION

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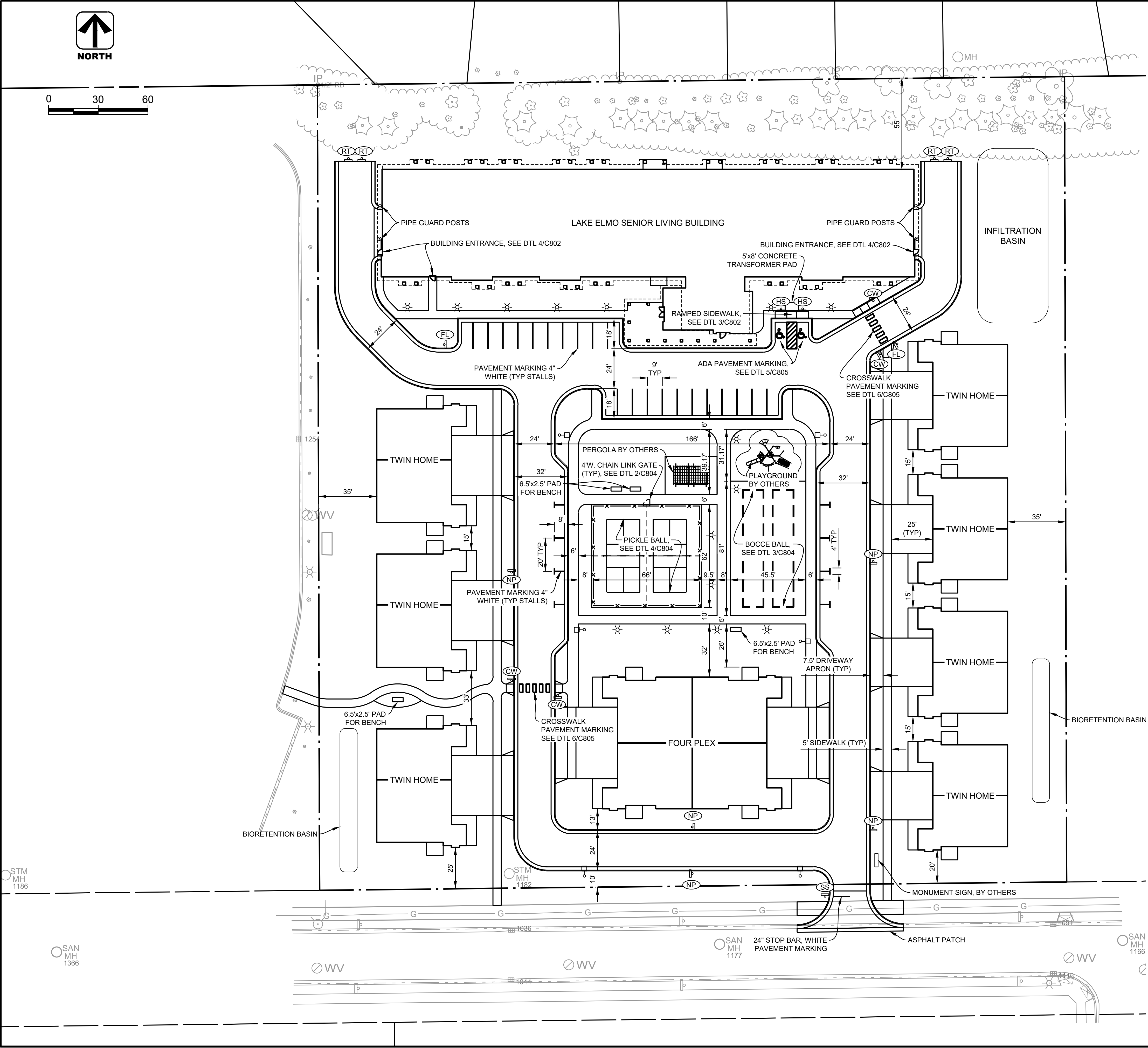
LAKE ELMO, MINNESOTA

AVRES ASSOCIATES

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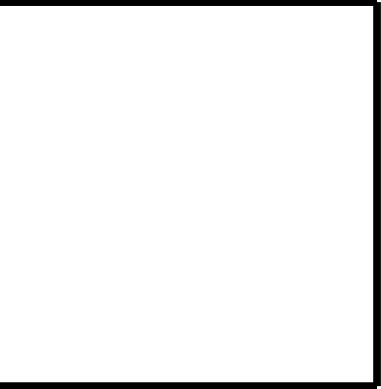
SITE LAYOUT LEGEND

10'H CHAIN LINK FENCE, SEE DTLs 1/C804 & 2/C804	
CROSSWALK SIGNS, SEE DTL 4/C805	
STOP SIGN, SEE DTL 1/C805	
NO PARKING / FIRE LANE SIGN, SEE DTL 3/C805	
HANDICAPPED PARKING SIGN, SEE DTL 2/C805	
NO PARKING SIGN, SEE DTL 7/C805	
END OF ROADWAY SIGN, SEE DTL 8/C805	
PED LIGHT BOLLARD, BY OTHERS SEE ELECTRICAL PLANS	
LIGHT POLES, BY OTHERS SEE ELECTRICAL PLANS	
SAW CUT LINES	
TIMBER BORDER, SEE DTL 3/C804	
BUILDING COLUMNS	
BUILDING OVERHANG	
PICKLE BALL NET (QTY = 2), SEE DTL 4/C804	
PIPE GUARD POSTS, SEE ARCHITECTURAL PLANS	

NOTES

1. STREET LIGHTING SHALL BE INSTALLED PER PLAN.
2. ALL SIGNS MUST MEET MMUTCD.
3. DEVELOPER TO FURNISH AND INSTALL STREET SIGNS PER DETAILS.
4. EPOXY RESIN AND DROP-ON-GLASS BEADS FOR PAVEMENT MARKINGS SHALL MEET THE REQUIREMENTS OF MnDOT "SPECIFICATIONS FOR CONSTRUCTION, 2018 EDITION".

PARKING DATA					
	SITE	APARTMENTS	TWIN HOMES	TOTAL	REQUIRED
STANDARD PARKING (9'X18')	33	40	42	115	
ACCESSIBLE PARKING (9'X18')	2	2		4	



MARK	DATE	DESCRIPTION

Lake Elmo Independent Living, LLC

New Independent Living Facility

Lake Elmo, Minnesota

Eau Claire Office

3433 Oakwood Hills Parkway

Eau Claire, Wisconsin 54701

(715) 834-3161

River Falls Office

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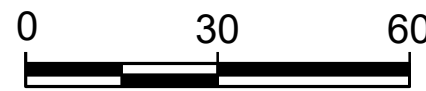
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11/08/2019

PROJECT No: 08-1893.00

SITE PLAN LAYOUT

C300



• 920.00

- 920.00 ME

• 920.00

- 920.00 LP

0.6%

670
660

— 670 —
— 669 —

PROTECT STORM MANHOLE

LAKE ELMO INDEPENDENT LIVING, LLC

NEW INDEPENDENT LIVING FACILITY

LAKE ELMO, MINNESOTA

[illegible]

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PROJECT No: 08-1893.00

SITE GRADING PLAN

C400



0 30 60

NEW UTILITY STRUCTURES

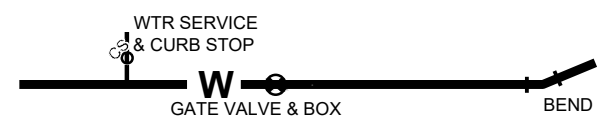
AEW1, 12" A.E., SEE DETAIL 7/C803 S 937.15	S79 MH 4-FT CASTING - H TC 939.79 S 934.19 (15") NW 934.63 (12") N 934.19 (15") S 934.38 (15")	S80 MH 4-FT CASTING - J RIM 940.67 NW 934.63 (12") SE 934.63 (12") S 934.38 (15")
AEW2, 12" A.E., SEE DETAIL 7/C803 N 936.70		
S01 INL 2X3-FT CASTING - H TC 937.30 N 933.73 (12")	S11 INL 2X3-FT CASTING - H TC 940.31 SE 935.06 (12")	S31 INL 2X3-FT CASTING - H TC 939.22 SW 934.80 (12") NE 934.80 (15")
S02 INL 2X3-FT CASTING - H TC 937.30 S 933.64 (12") NE 933.64 (15")	S12 INL 2X3-FT CASTING - H TC 941.37 NW 934.92 (12")	S32 INL 2X3-FT CASTING - H TC 938.12 SE 933.63 (12") W 933.63 (15")
S03 INL 2X3-FT CASTING - H TC 937.91 NW 933.75 (12")	S13 INL 2X3-FT CASTING - H TC 941.18 SE 935.10 (12")	S35 INL 2.5-FT CASTING - B RIM 939.50 S 938.00 (10")
S04 MH 4-FT CASTING - C RIM 938.82 E 933.59 (15") SW 933.59 (15") N 933.59 (18")	S14 MH 4-FT CASTING - H TC 941.20 NW 934.57 (12") E 934.57 (12") SW 934.47 (15")	S36 INL 2.5-FT CASTING - B RIM 937.90 S 936.40 (10")
S05 INL 2.5-FT CASTING - C RIM 936.50 W 934.18 (12") E 936.3 (24"x6" ORIFICE)	S15 MH 4-FT CASTING - H TC 941.24 NE 933.56 (15") SE 933.31 (18")	S40 SAN MH 4-FT CASTING - J-S RIM 937.36 S 919.54 (8") W 919.54 (8") E 919.54 (8")
S06 MH 4-FT CASTING - J RIM 938.69 S 933.49 (18") E 933.49 (12") N 933.49 (18")	S17, SEE DTL 1/C806 MH 4-FT CASTING - S RIM 939.50 W 935.00 (12") 935.50 (3" ORIFICE) 939.60 (WEIR)	
S07 MH 4-FT CASTING - H TC 938.88 S 933.36 (18") E 933.86 (12") N 933.36 (18")	S18, SEE DTL 2/C806 MH 4-FT CASTING - C RIM 939.52 W 933.20 (15") 934.00 (14"x6" ORIFICE) 933.20 (4"x4" ORIFICE) 935.00 (WEIR)	S42 SAN MH 4-FT CASTING - J-S RIM 937.99 E 921.82 (8") N 921.82 (8")
S08 INL 2.5-FT CASTING - C RIM 937.60 NE 935.20 (12")	S19 MH 4-FT CASTING - J RIM 939.20 E 932.83 (15") S 932.83 (15")	S43 SAN MH 4-FT CASTING - J-S RIM 939.68 S 926.60 (8")
S09 INL 2X3-FT CASTING - H TC 939.17 SW 934.67 (15") NE 935.75 (4") N 934.42 (15")	S26 CONNECT TO EX SS CASTING - 938.86 N 932.50 (15")	S45 SAN MH 4-FT CASTING - J-S RIM 937.55 W 920.96 (8") N 920.96 (8")
S10 MH 4-FT CASTING - H TC 938.64 S 933.20 (18") NW 933.20 (18") W 933.11 (18")	S30 INL 2X3-FT CASTING - H TC 939.12 W 934.02 (12")	S46 SAN MH 4-FT CASTING - J-S RIM 941.61 S 927.63 (8") W 927.63 (8")

SITE UTILITIES LEGEND

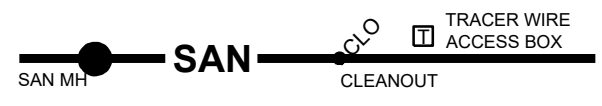
PROPOSED PUBLIC WATER MAIN,
SEE DTLS 207A/C800, 210/C800,
201/C800, & 206/C800



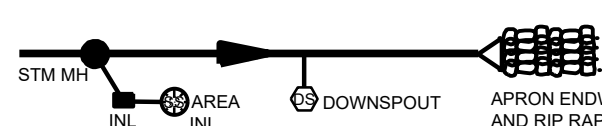
PROPOSED PRIVATE WATER MAIN,
SEE DTLS 207A/C800, 210/C800,
201/C800, & 206/C800



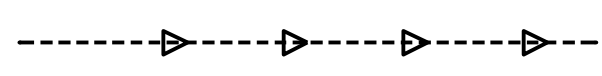
PROPOSED PRIVATE SANITARY
SEWER, SEE DTLS 1/C803, 2/C803,
& 3/C803



PROPOSED PRIVATE STORM
SEWER, SEE DTLS 4/C803,
5/C803, 6/C803, 7/C803, & 8/C803



PROPOSED 4" UNDERDRAIN,
SEE DTL 4/C804



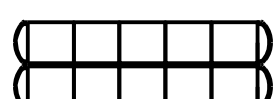
PED LIGHT BOLLARD BY OTHERS, SEE ELECTRICAL
PLANS



LIGHT POLES, BY OTHERS
SEE ELECTRICAL PLANS



SUBSURFACE INFILTRATION, SEE
ADS SHEETS 1-5 ON C806 & C807



LAKE ELMO WATERMAIN STANDARD NOTES

- ALL WATERMAIN AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
- MANIPULATION OF EXISTING VALVES SHALL BE PERFORMED ONLY BY CITY PERSONNEL.
- WATERMAIN SHALL BE DUCTILE IRON PIPE, ENCASED IN POLYETHYLENE, CLASS-S2.
- ALL FITTINGS SHALL COMPLY WITH CEAM SPEC. 2611.2A.1. ALL FITTINGS SHALL BE DUCTILE IRON PIPE WITH POLYETHYLENE ENCASEMENT. ALL CONNECTIONS SHALL BE INSTALLED UTILIZING COR-BLUE NUTS & BOLTS.
- USE GATE VALVES FOR ALL APPLICATIONS UP THROUGH 12 INCHES.
- GATE VALVES SHALL BE RESILIENT WEDGE AMERICAN FLOW CONTROL SERIES 2500 OR APPROVED EQUAL. GATE VALVES MUST COMPLY WITH CEAM SPEC 2611.2.C.2.
- USE BUTTERFLY VALVES FOR ALL APPLICATIONS GREATER THAN 12 INCHES.
- BUTTERFLY VALVES SHALL BE MUELLER LINSEAL III, OR APPROVED EQUAL. BUTTERFLY VALVES SHALL COMPLY WITH CEAM SPEC. 2611.2.C.3.
- BOLTS AND NUTS ON ALL VALVES AND HYDRANTS SHALL BE STAINLESS STEEL.
- ALL HYDRANTS SHALL BE INSTALLED 5.0 FEET BACK OF CURB.
- HYDRANTS SHALL BE WATEROUS "PACER," MODEL WB-67 OR APPROVED EQUAL, FITTED WITH FH 800 SERIES FLEX STAKE AND PAINTED RED.
- HYDRANTS SHALL HAVE TWO OUTLET NOZZLES FOR 2-1/2 (I.D.) HOSE CONNECTIONS AND ONE 4" STORZ NOZZLE (MODEL WB-67) AND PENTAGON NUT END CAP.
- THE CURB STOP SERVICE ASSEMBLY SHALL HAVE A MINIMUM 1-FT ADJUSTMENT RANGE AND SHALL EXTEND 6 INCHES ABOVE FINISHED GRADE FULLY EXTENDED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING WATER TO HOMES AND BUSINESSES WHOSE WATER SUPPLY IS DISRUPTED DURING THE COURSE OF THE PROJECT.

PROTECTION NOTES

PROTECT ALL UNDERGROUND UTILITIES AND UTILITY STRUCTURES THAT ARE NOT SHOWN AS REMOVED OR ABANDONED IN PLACE

PROTECT ALL REMAINING TREES. EQUIPMENT AND MATERIALS SHALL NOT BE STORED WITHIN DRIP LINES OF REMAINING TREES

PROTECT CONCRETE TRANSFORMER PAD

PROTECT STORM MANHOLE

LAKE ELMO INDEPENDENT LIVING, LLC

NEW INDEPENDENT LIVING FACILITY

LAKE ELMO, MINNESOTA

NOT FOR CONSTRUCTION - PRELIMINARY - CITY FINAL PUD SUBMITTAL

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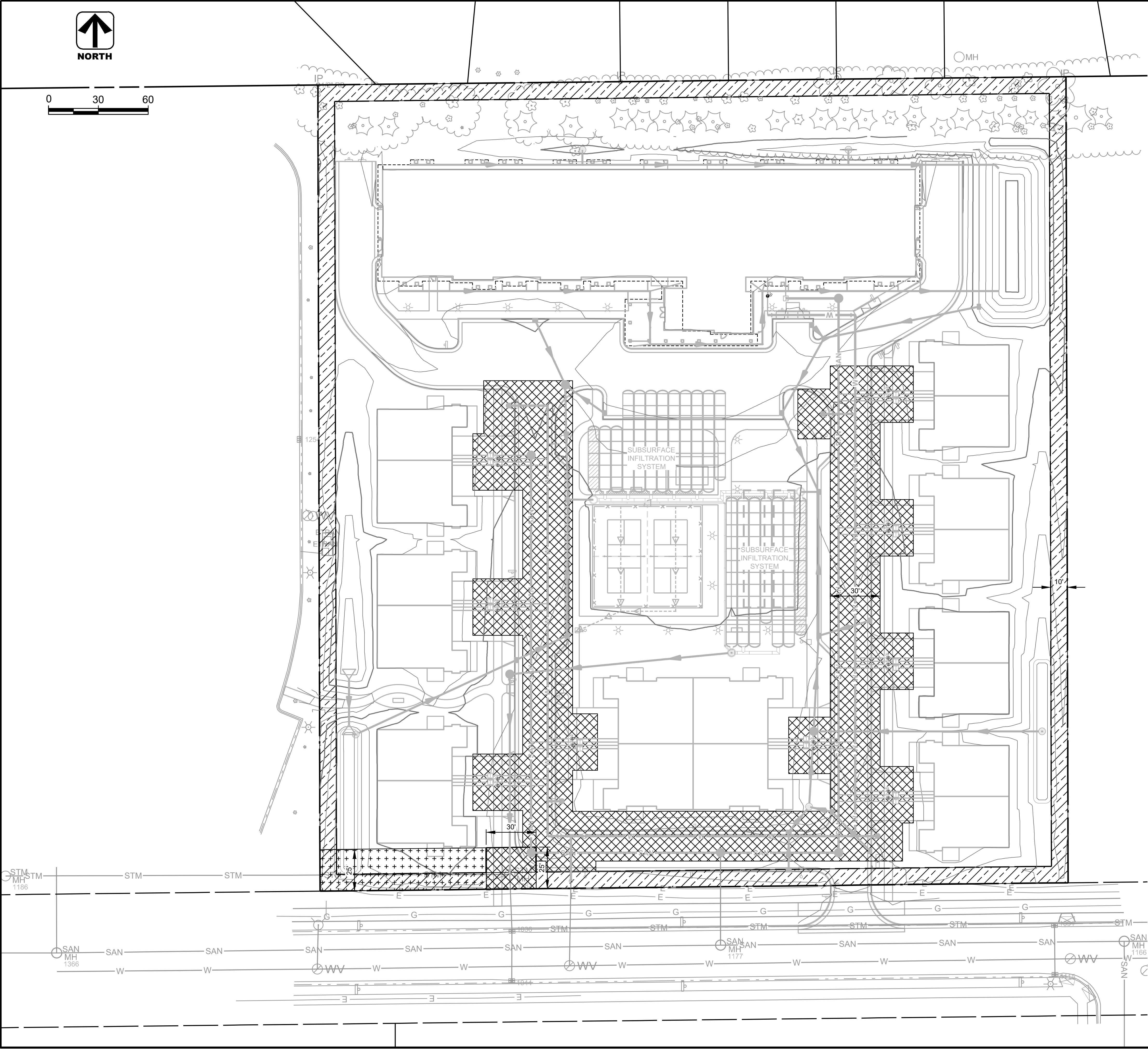
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SITE UTILITIES PLAN

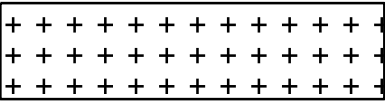
C500



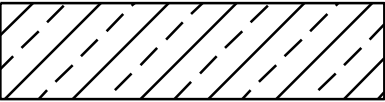
EASEMENT NOTES

A BLANKET EASEMENT FOR STORM WATER MAINTENANCE IS GRANTED TO THE CITY OF LAKE ELMO AND THE VALLEY BRANCH WATERSHED DISTRICT COVERING THE LAKE ELMO INDEPENDENT LIVING, LLC PROPERTY.

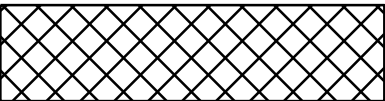
EXISTING VALLEY BRANCH WATERSHED DISTRICT STORM WATER MAINTENANCE EASEMENT



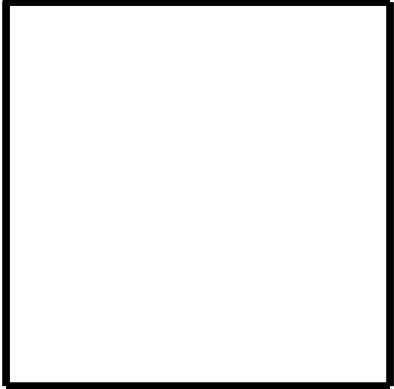
EXISTING 10' DRAINAGE AND UTILITY EASEMENT



PROPOSED CITY OF LAKE ELMO UTILITY EASEMENT



NOT FOR CONSTRUCTION - PRELIMINARY - CITY FINAL PUD SUBMITTAL



MARK	DATE	DESCRIPTION

LAKE ELMO INDEPENDENT LIVING, LLC

NEW INDEPENDENT LIVING FACILITY

LAKE ELMO, MINNESOTA

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(715) 834-3161

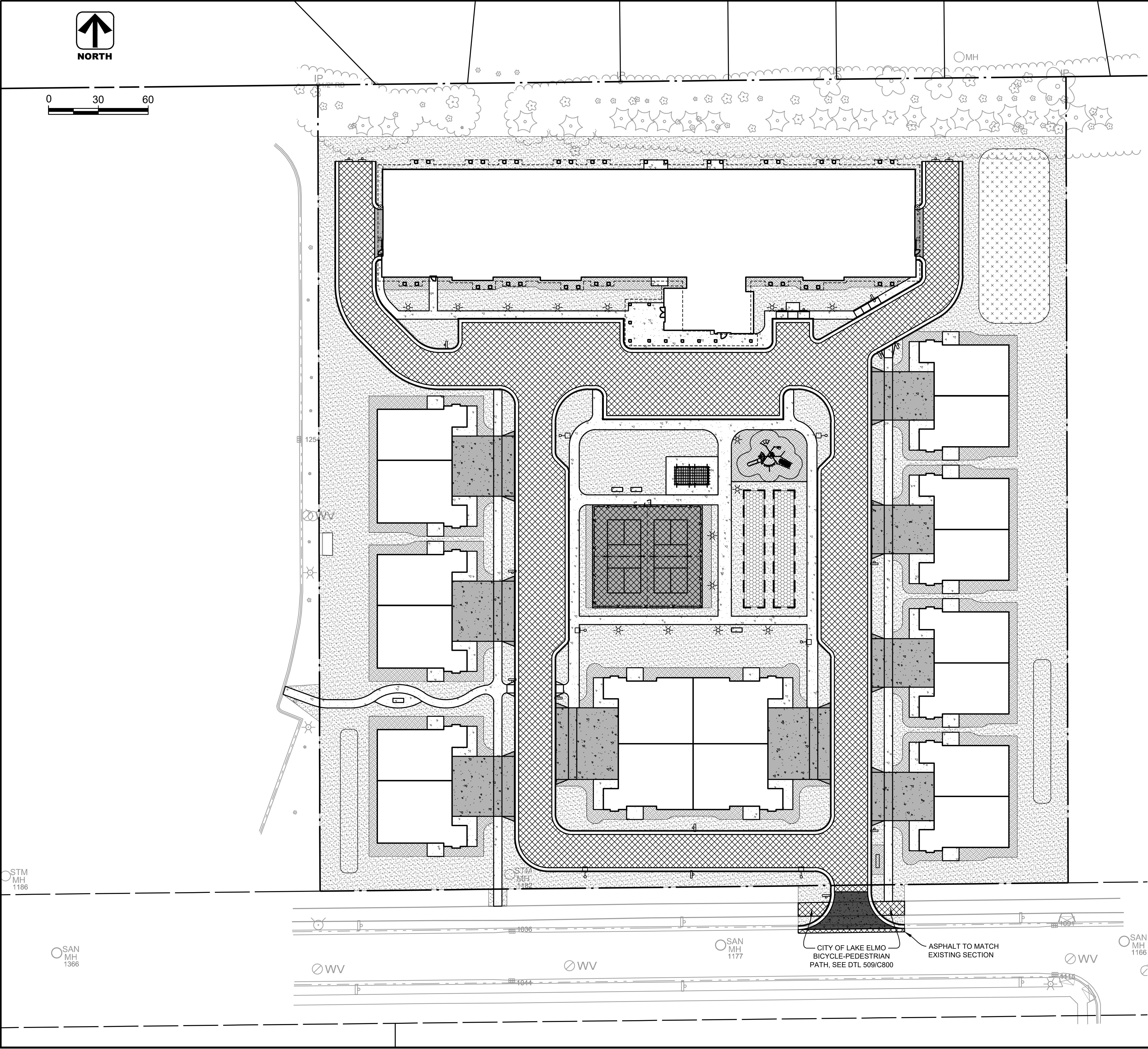
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215 N. Second Street Suite 204
River Falls, Wisconsin 54022
(715) 426-4808
Fax: (715) 426-5666

11/08/2019

PROJECT No: 08-1893.00

SITE EASEMENTS

C501

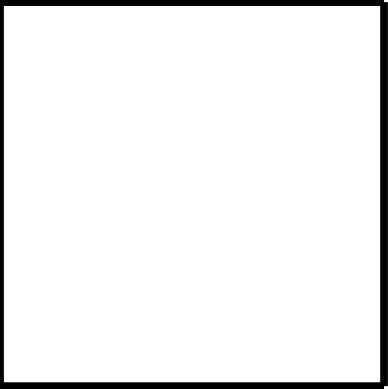


SITE MATERIALS LEGEND

ASPHALT PAVEMENT, SEE DTL 4/C801	
ASPHALT SPORTS SURFACE, SEE DTL 4/C804	
LIGHT DUTY CONCRETE, SEE DTLS 5/C801 & 5/C802	
HEAVY DUTY CONCRETE, SEE DTLS 5/C801, & 1/C802	
CITY OF LAKE ELMO COMMERCIAL CONCRETE DRIVEWAY, SEE DTL 502/C800	
GRASS & 6" TOPSOIL, SEE LANDSCAPE PLAN	
WOOD MULCH, SEE LANDSCAPE PLAN	
NATIVE SEED MIX & 6" TOPSOIL, SEE LANDSCAPE PLAN	
CRUSHED LIMESTONE, SEE DTL 3/C804	

MATERIALS NOTES: COORDINATE WITH LANDSCAPE PLAN

NOT FOR CONSTRUCTION - PRELIMINARY - CITY FINAL PUD SUBMITTAL



MARK	DATE	DESCRIPTION

LAKE ELMO INDEPENDENT LIVING, LLC

NEW INDEPENDENT LIVING FACILITY

LAKE ELMO, MINNESOTA

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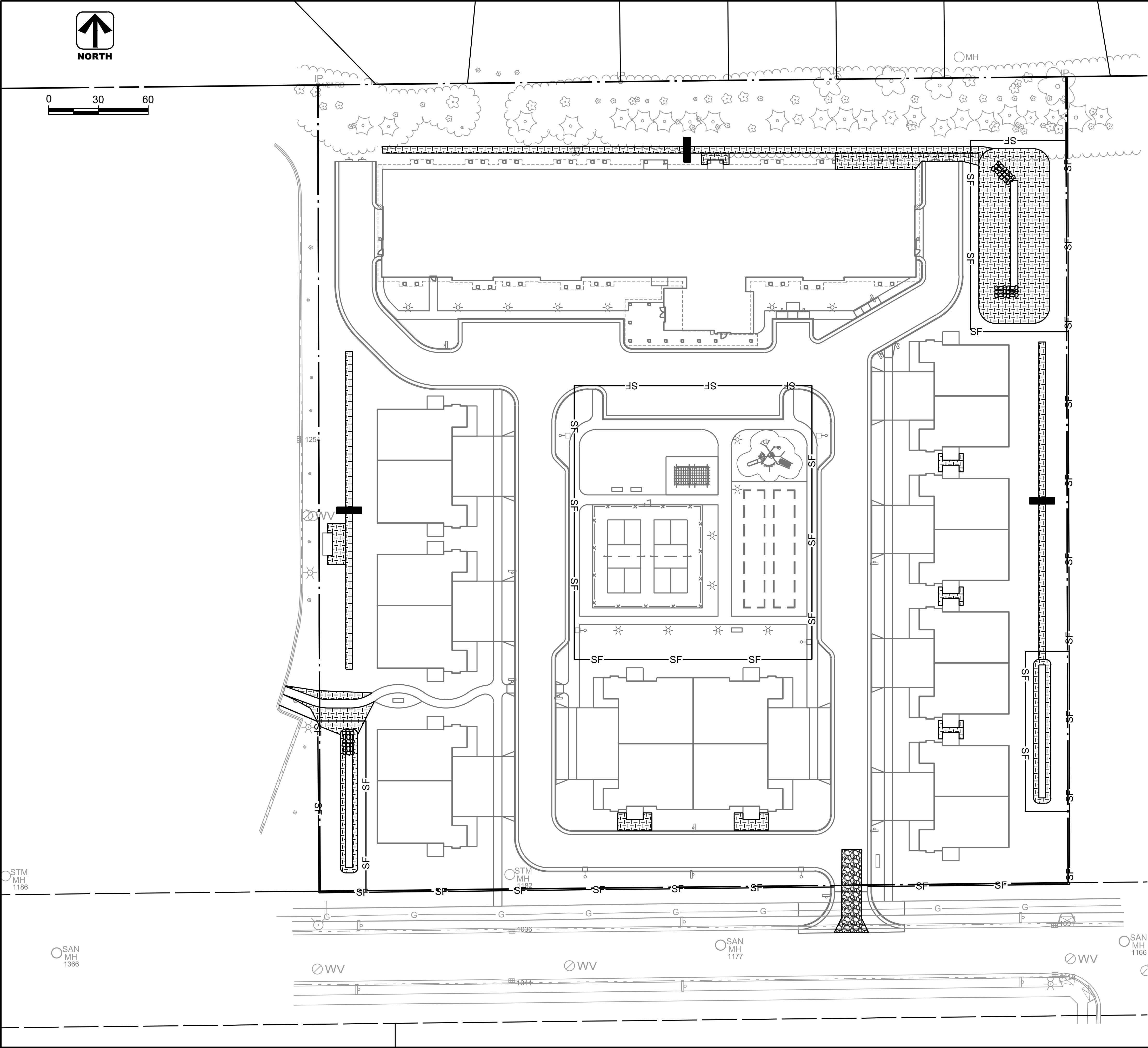
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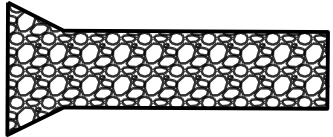
SITE MATERIALS PLAN

C600



EROSION CONTROL LEGEND

ROCK CONSTRUCTION ENTRANCE, SEE DTL 605/C800



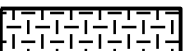
SILT FENCE, SEE DTL 3/C801



RIPRAP, SEE DTL 7/C803



EROSION MAT, SEE DTL 7/C802



SEDIMENT LOG, SEE DTL 2/C801

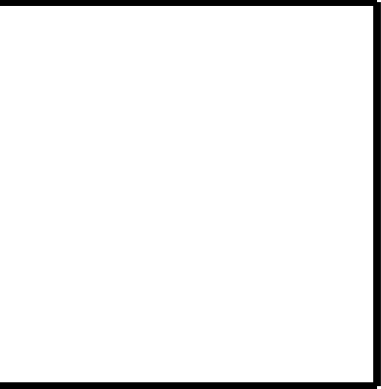


LAKE ELMO GRADING & EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL CONDUCT OPERATIONS AND IMPLEMENT MINNESOTA POLLUTION CONTROL AGENCY (MPCA) BEST MANAGEMENT PRACTICES (BMP) TO CONTROL SITE SILTATION AND EROSION INTO DRAINAGE WAYS. THE CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS AND COMPLETION DATES RELATIVE TO ALL PERMITS ISSUED FOR THE WORK TO BE COMPLETED. THE ENGINEER MAY ISSUE A STOP WORK ORDER FOR ALL DEVELOPMENT WORK AND BUILDING CONSTRUCTION FOR NONCOMPLIANCE WITH THESE MEASURES.
2. SEQUENCING. ALL SILT FENCE AND OTHER EROSION CONTROL MEASURES SHALL BE IN PLACE AND APPROVED BY ENGINEER PRIOR TO ANY REMOVALS, EXCAVATION OR CONSTRUCTION AND SHALL BE MAINTAINED UNTIL VIABLE TURF OR GROUND COVER HAS BEEN ESTABLISHED AND APPROVED BY THE ENGINEER.
3. SILT FENCE. THE CONTRACTOR SHALL INSTALL SILT FENCE AT THE LOCATIONS SHOWN ON THE PLANS AND IN ACCORDANCE WITH THE CITY STANDARD DETAILS. SILT FENCE DAMS AND INTERIM SUMPS SHALL BE PLACED TO INTERCEPT SILT FROM CONCENTRATED RUNOFF FROM OPEN GRADED AREAS. ADDITIONAL SILT FENCE SHALL BE REQUIRED AS DIRECTED BY THE ENGINEER.
4. STOCKPILES. ALL STOCKPILE AREAS SHALL HAVE SILT FENCE OR SEDIMENT TRAPPING SYSTEMS PLACED AROUND THE ENTIRE PERIMETER.
5. INLET PROTECTION. THE CONTRACTOR SHALL INSTALL INLET PROTECTION ON ALL EXISTING STORM SEWER INLETS IN ACCORDANCE WITH THE CITY STANDARD DETAILS. INLET PROTECTION SHALL ALSO BE PROVIDED ON ALL PROPOSED STORM SEWER INLETS IMMEDIATELY FOLLOWING CONSTRUCTION OF THE INLET. INLET PROTECTION MUST BE INSTALLED IN A MANNER THAT WILL NOT IMPOUND WATER FOR EXTENDED PERIODS OF TIME OR IN A MANNER THAT PRESENTS A HAZARD TO VEHICULAR OR PEDESTRIAN TRAFFIC.
6. TEMPORARY SEDIMENT BASINS. THE CONTRACTOR SHALL INCORPORATE TEMPORARY SEDIMENT BASINS THROUGHOUT THE CONSTRUCTION SITE TO CAPTURE RUNOFF AND SLOW THE FLOW OF WATER AND ALLOW SEDIMENT TO SETTLE OUT. TEMPORARY SEDIMENT BASINS SHALL BE INSTALLED AS DIRECTED BY THE CITY ENGINEER.
7. ROCK CONSTRUCTION ENTRANCE. A ROCK ENTRANCE SHALL BE CONSTRUCTED AND MAINTAINED AS SHOWN ON THE PLAN TO REDUCE TRACKING OF SILT AND DIRT ONTO THE PUBLIC STREETS. A GEOTEXTILE FABRIC SHALL BE PLACED UNDERNEATH THE ROCK. THE ROCK SHALL BE PERIODICALLY REPLENISHED TO MAINTAIN THE INTENDED PERFORMANCE. MUD AND DEBRIS SHALL BE REMOVED OR SCRAPED FROM TIRES AND VEHICLE UNDERCARRIAGE PRIOR TO LEAVING THE SITE.
8. STREET SWEEPING. ALL STREETS USED FOR ACCESS TO THE SITE AND HAUL ROUTES USED FOR CONSTRUCTION EQUIPMENT AND MATERIAL SUPPLIES SHALL BE CLEANED AT THE END OF EACH WORKING DAY. THE CITY OR ENGINEER MAY ORDER ADDITIONAL SWEEPING OF THE STREETS AS DEEMED REQUIRED AT DEVELOPER/CONTRACTOR EXPENSE.
9. DEWATERING. EACH EXCAVATION SHALL BE KEPT DRY DURING THE COURSE OF ALL WORK HEREIN, INCLUDING SUBGRADE CORRECTION, PIPE INSTALLATION, STRUCTURE CONSTRUCTION AND BACKFILLING, TO THE EXTENT THAT NO DAMAGE FROM HYDROSTATIC PRESSURE, FLOATATION OR OTHER DAMAGE RESULTS. ALL EXCAVATIONS SHALL BE DEWATERED TO A DEPTH OF AT LEAST 3 INCHES BELOW THE BOTTOM OF THE CONCRETE SLAB OR PIPE TO BE INSTALLED THEREIN. THE CONTRACTOR MAY USE ANY METHOD OR COMBINATION OF METHODS FOR DEWATERING HE CHOOSES; HOWEVER, ALL DEWATERING METHODS AND EQUIPMENT WHICH IN THE OPINION OF THE ENGINEER, ARE INEFFECTIVE SHALL BE ABANDONED, IMPROVED, REPLACED OR OTHERWISE ALTERED TO OBTAIN EFFECTIVE DEWATERING. THE CONTRACTOR SHALL PROVIDE ALL POWER, PUMPS, MATERIALS AND APPARATUS NECESSARY, AND SHALL BE RESPONSIBLE FOR DISPOSING OF THE WATER PUMPED FROM THE EXCAVATION IN A MANNER WHICH WILL NOT INTERFERE WITH OTHER WORK WITHIN THE AREA AND NOT TO DAMAGE PUBLIC OR PRIVATE PROPERTY. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE CONDITION OF ANY PIPE, CONDUIT, DITCH, CHANNEL OR NATURAL WATERCOURSE UTILIZED FOR DRAINAGE PURPOSES, AND ALL EROSION, SEDIMENT OR OTHER ADVERSE RESULTS OF THEIR USE SHALL BE REPAIRED.
10. POSITIVE DRAINAGE AND PROTECTION. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE THROUGHOUT THE SITE AT ALL TIMES. LOW POINTS WITHIN AND ALONG ROADWAYS ARE EXPRESSLY PROHIBITED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DITCHES, PIPING OR OTHER MEANS TO FACILITATE PROPER DRAINAGE DURING CONSTRUCTION. TO PROTECT PREVIOUSLY GRADED AREAS FROM EROSION, WOOD FIBER BLANKET SHALL BE PLACED IMMEDIATELY ON STEEP SLOPES (1:3 OR GREATER) AND EMBANKMENTS, PERMANENT AND TEMPORARY PONDS, AND OUTLETS AND OVERFLOWS TO PROTECT THE COMPLETED GRADE AND MINIMIZE SILT IN THE RUNOFF.
11. DRAINAGE DITCHES. THE NORMAL WETTED PERIMETER OF ANY TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE THAT DRAINS WATER FROM ANY PORTION OF THE CONSTRUCTION SITE, OR DIVERTS WATER AROUND THE SITE, MUST BE STABILIZED WITHIN 200 LINEAL FEET FROM THE PROPERTY EDGE, OR FROM THE POINT OF DISCHARGE INTO ANY SURFACE WATER. STABILIZATION OF THE LAST 200 LINEAL FEET MUST BE COMPLETED WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER. STABILIZATION OF THE REMAINING PORTIONS OF ANY TEMPORARY OR PERMANENT DITCHES OR SWALES MUST BE COMPLETE WITHIN 14 DAYS AFTER CONNECTING TO A SURFACE WATER AND CONSTRUCTION IN THAT PORTION OF THE DITCH HAS TEMPORARILY OR PERMANENTLY CEASED. TEMPORARY OR PERMANENT DITCHES OR SWALES THAT ARE BEING USED AS A SEDIMENT CONTAINMENT SYSTEM (WITH PROPERLY DESIGNED ROCK DITCH CHECKS, BIO ROLLS, SILT DIKES, ETC.) DO NOT NEED TO BE STABILIZED. THESE AREAS MUST BE STABILIZED WITHIN 24 HOURS AFTER NO LONGER BEING USED AS A SEDIMENT CONTAINMENT SYSTEM.
12. TURF ESTABLISHMENT. ALL EXPOSED SOIL AREAS MUST BE STABILIZED AS SOON AS POSSIBLE TO LIMIT SOIL EROSION BUT IN NO CASE LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
13. MAINTENANCE AND INSPECTION. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION AND UNTIL SATISFACTORY ESTABLISHMENT OF PERMANENT GROUND COVER IS OBTAINED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, AND STORMWATER OUTFALLS MUST BE INSPECTED WEEKLY, AND WITHIN 24 HOURS OF THE SITE RECEIVING 0.5 INCHES OF RAIN. REPAIRS MUST BE MADE ON THE SAME DAY OR FOLLOWING DAY OF THE INSPECTION. UNSATISFACTORY CONDITIONS NOT REPAIRED OR CLEANED UP WITHIN 48-HOURS OF NOTIFICATION SHALL RESULT IN A STOP WORK ORDER, AND/OR SAID WORK SHALL BE COMPLETED AT CONTRACTOR'S EXPENSE.
14. REMOVAL. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TEMPORARY EROSION CONTROL MEASURES, STRUCTURES AND DEVICES ONLY AFTER RECEIVING ENGINEER APPROVAL. ALL DEBRIS, STAKES, AND SILTS ALONG SILT FENCES SHALL BE REMOVED AND DISPOSED OFF SITE. THE CONTRACTOR SHALL HAND RAKE SILTED AREAS ALONG THE FENCE LOCATIONS TO PROVIDE A SMOOTH FINAL GRADE AND SHALL RESTORE THE GROUND SURFACE WITH SEED OR SOD, AS REQUIRED, TO MATCH THE FINISHED GRADE TO THE ADJACENT AREA.
15. FINAL STORM SEWER SYSTEM. AFTER COMPLETION OF THE WORK AND BEFORE THE FINAL WALK THROUGH, THE CONTRACTOR SHALL REMOVE STORM SEWER INLET PROTECTION MEASURES AND THOROUGHLY FLUSH THE STORM SEWER SYSTEM. SEDIMENT AND DEBRIS SHALL BE COMPLETELY REMOVED AND CLEANED AT THE INLETS, OUTLETS, AND DOWNSTREAM OF EACH OUTLET. RIPRAP AND GEOTEXTILE FABRIC MAY REQUIRE REPLACEMENT AS DIRECTED BY THE ENGINEER TO OBTAIN A LIKE NEW INSTALLATION ACCEPTABLE TO THE CITY.
16. DITCH CHECK (BIOROLL BLANKET SYSTEM). BIOROLL AND BLANKET SYSTEMS SHALL BE INSTALLED AS DITCH CHECKS ONLY IN SPECIFIED LOCATIONS AS APPROVED BY THE CITY ENGINEER. BIOROLLS ARE NOT TO BE UTILIZED IN AREAS WHERE VEHICLE AND CONSTRUCTION TRAFFIC OCCUR.
17. FLOTATION SILT CURTAIN. FLOTATION SILT CURTAIN SHALL BE UTILIZED WHEN CONSTRUCTION ACTIVITIES OCCUR DIRECTLY ADJACENT TO LAKES, STREAMS AND WETLANDS IN ORDER TO CONTAIN SEDIMENTS NEAR THE BANKS OF WORKING AREAS. THE INSTALLATION OF FLOTATION SILT CURTAINS WILL BE REQUIRED AS DIRECTED BY THE CITY ENGINEER.
18. CONCRETE WASHOUT ONSITE. ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER THAT DOES NOT ALLOW WASHOUT LIQUIDS TO ENTER GROUND WATER IS CONSIDERED AN IMPERMEABLE LINER. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA REGULATIONS. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.

LAKE ELMO SITE RESTORATION STANDARD NOTES

1. RESTORE ALL DISTURBED AREAS WITH 6 INCHES OF TOPSOIL CONFORMING TO MNDOT 3877.
2. PROTECT ALL STORM SEWER INLETS AS SPECIFIED HEREIN AND MAINTAIN UNTIL STREET CONSTRUCTION IS COMPLETED.
3. MAINTAIN ALL SILT FENCE AND REPAIR OR REPLACE AS NEEDED OR REQUIRED UNTIL TURF HAS BEEN ESTABLISHED.
4. RESTORATION WORK SHALL BEGIN WITHIN 7 DAYS OF FINAL GRADING.
5. BOULEVARD AND DITCH RESTORATION INCLUDES FINE GRADING, WHICH INCLUDES THE REMOVAL OF ROCKS, DEBRIS AND SOIL CHUNKS, WHILE MAINTAINING POSITIVE DRAINAGE.



MARK	DATE	DESCRIPTION

LAKE ELMO INDEPENDENT LIVING, LLC

NEW INDEPENDENT LIVING FACILITY

LAKE ELMO, MINNESOTA

NOT FOR CONSTRUCTION - PRELIMINARY - CITY FINAL PUD SUBMITTAL

AVRES ASSOCIATES

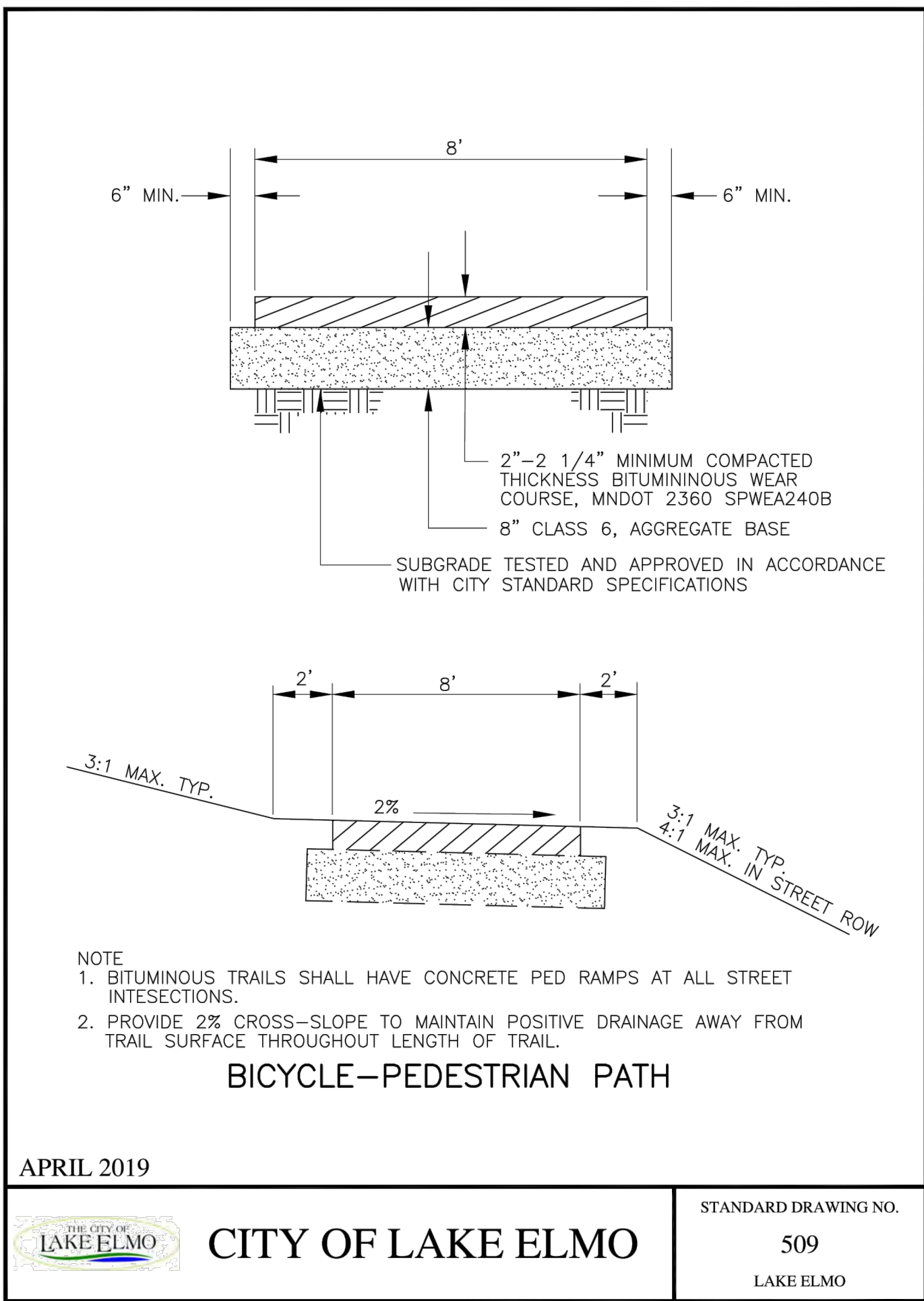
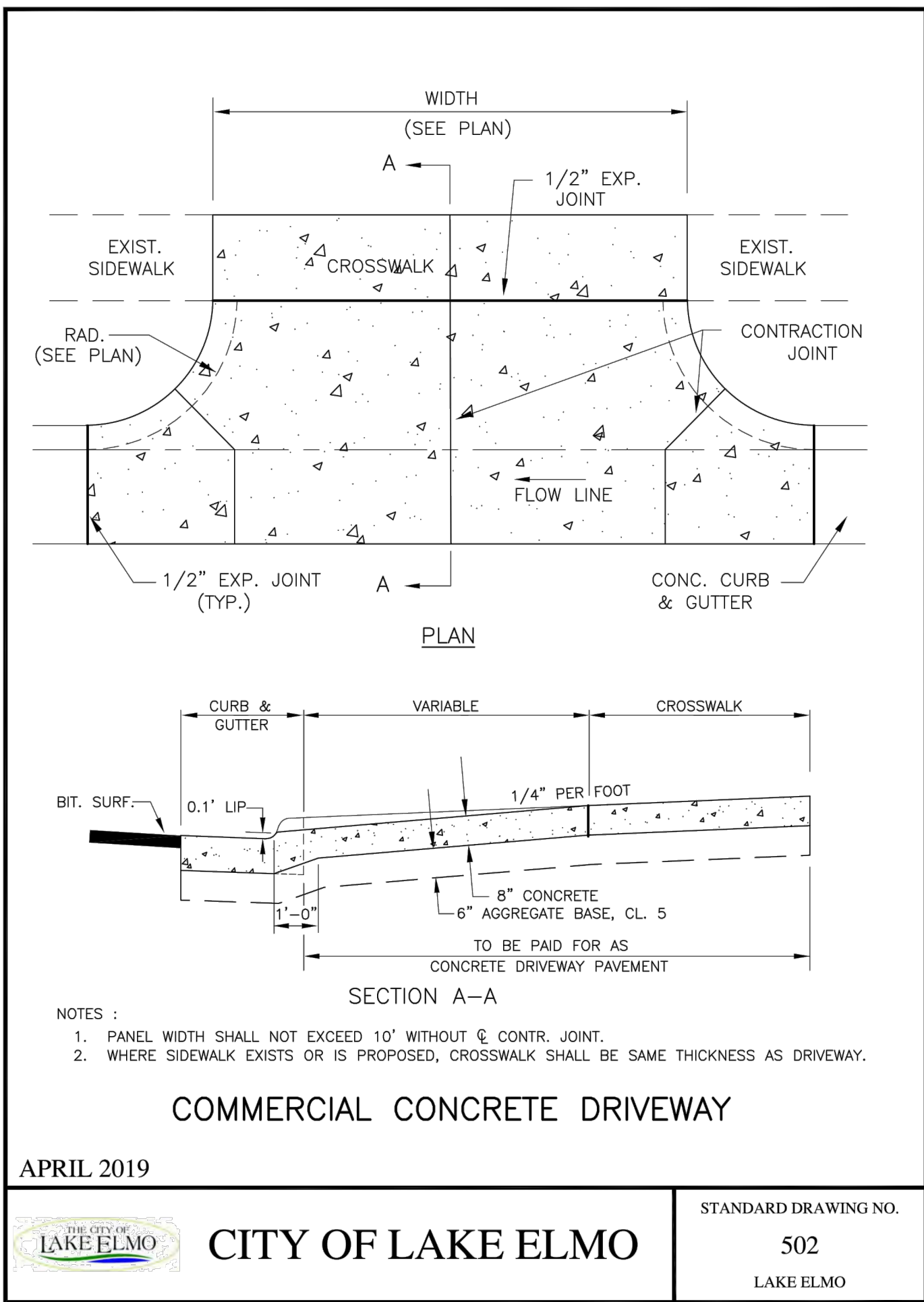
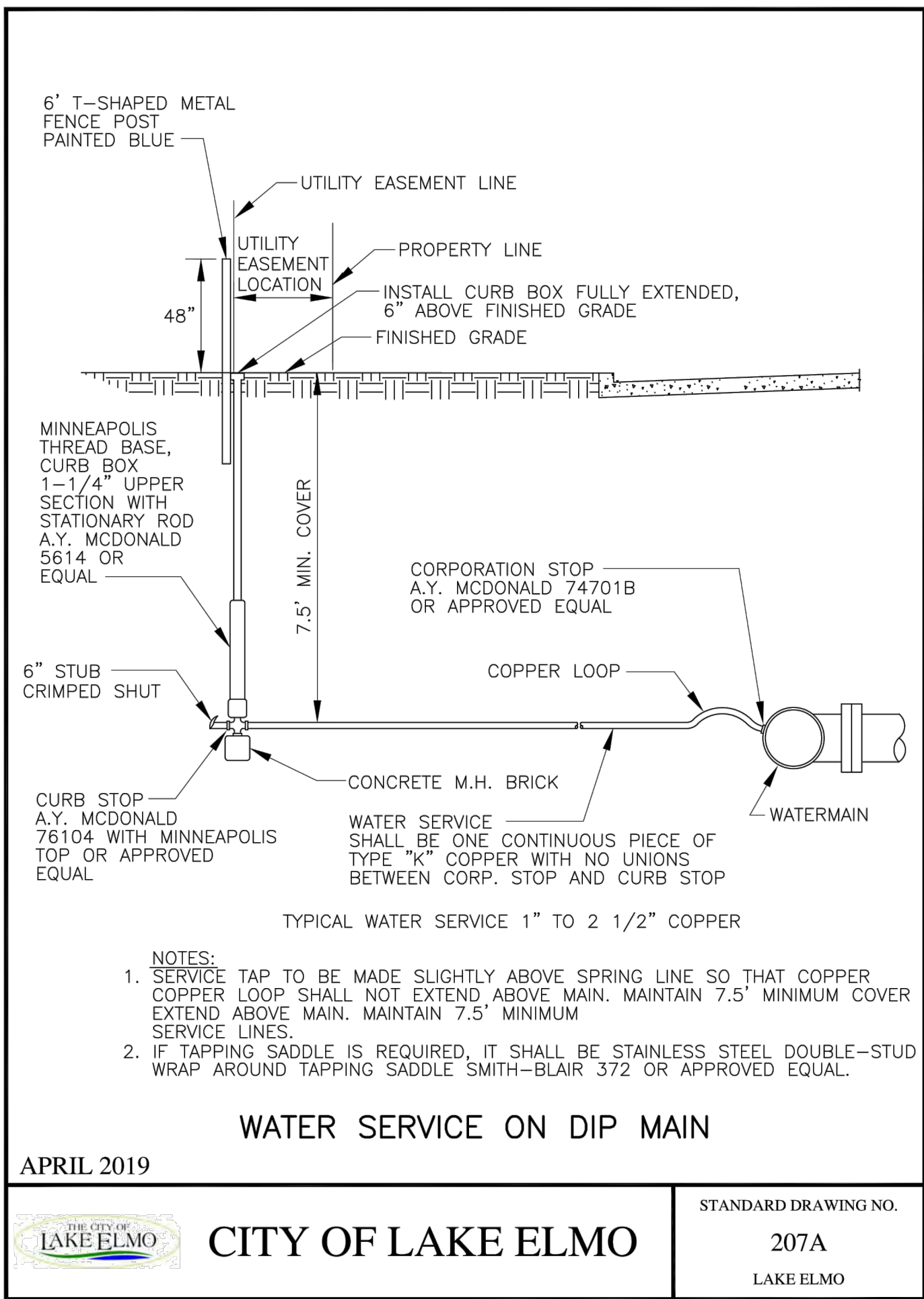
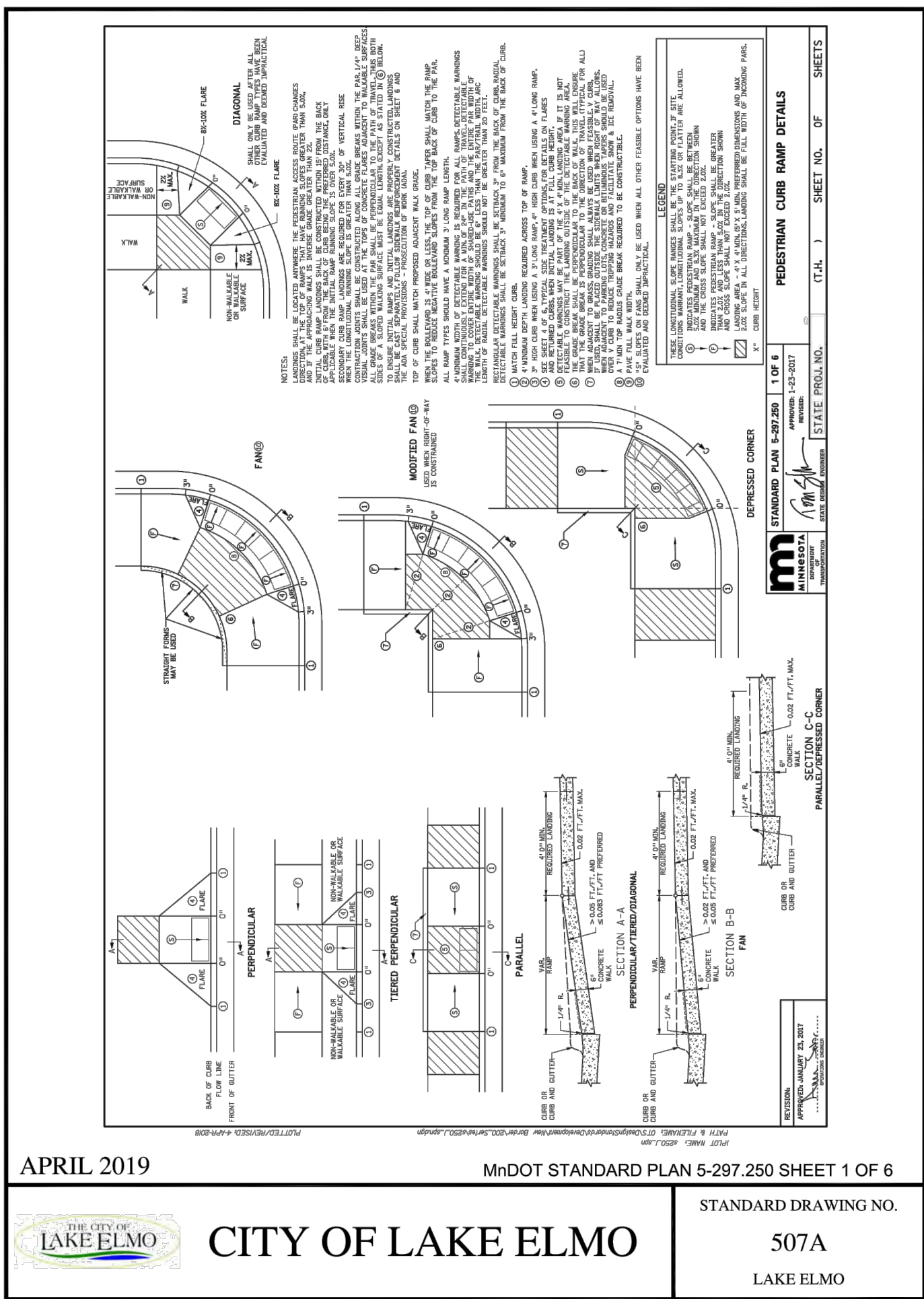
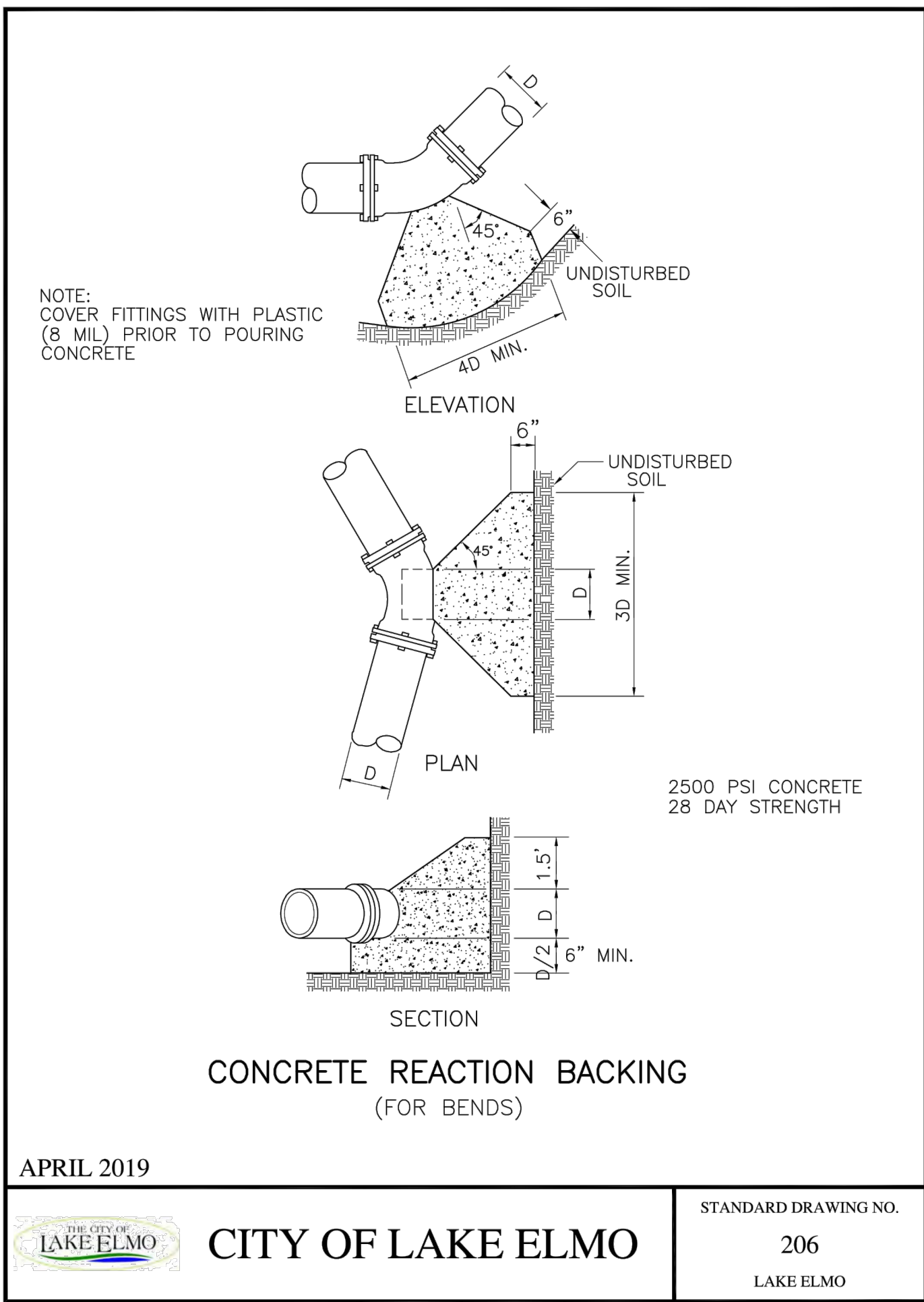
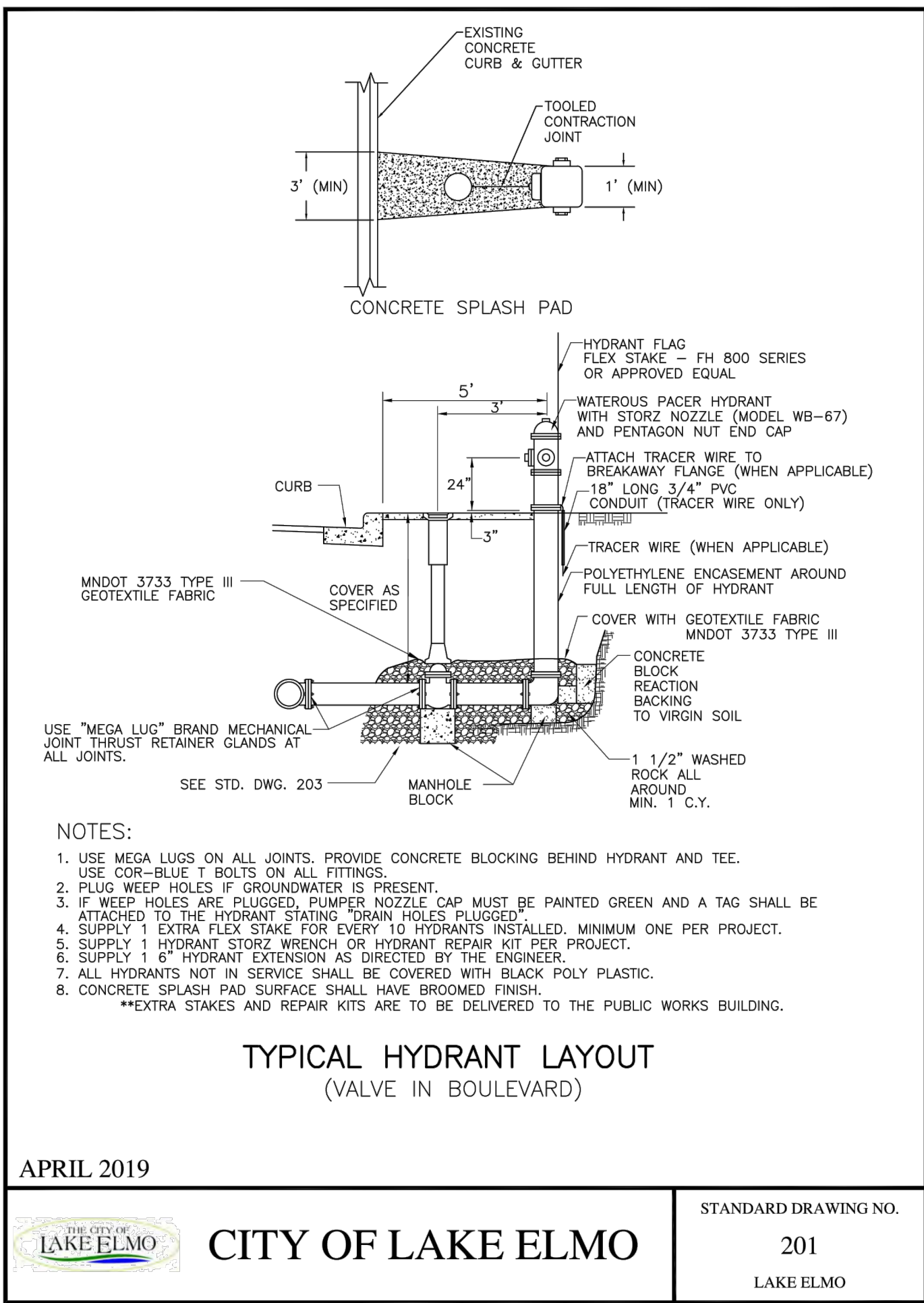
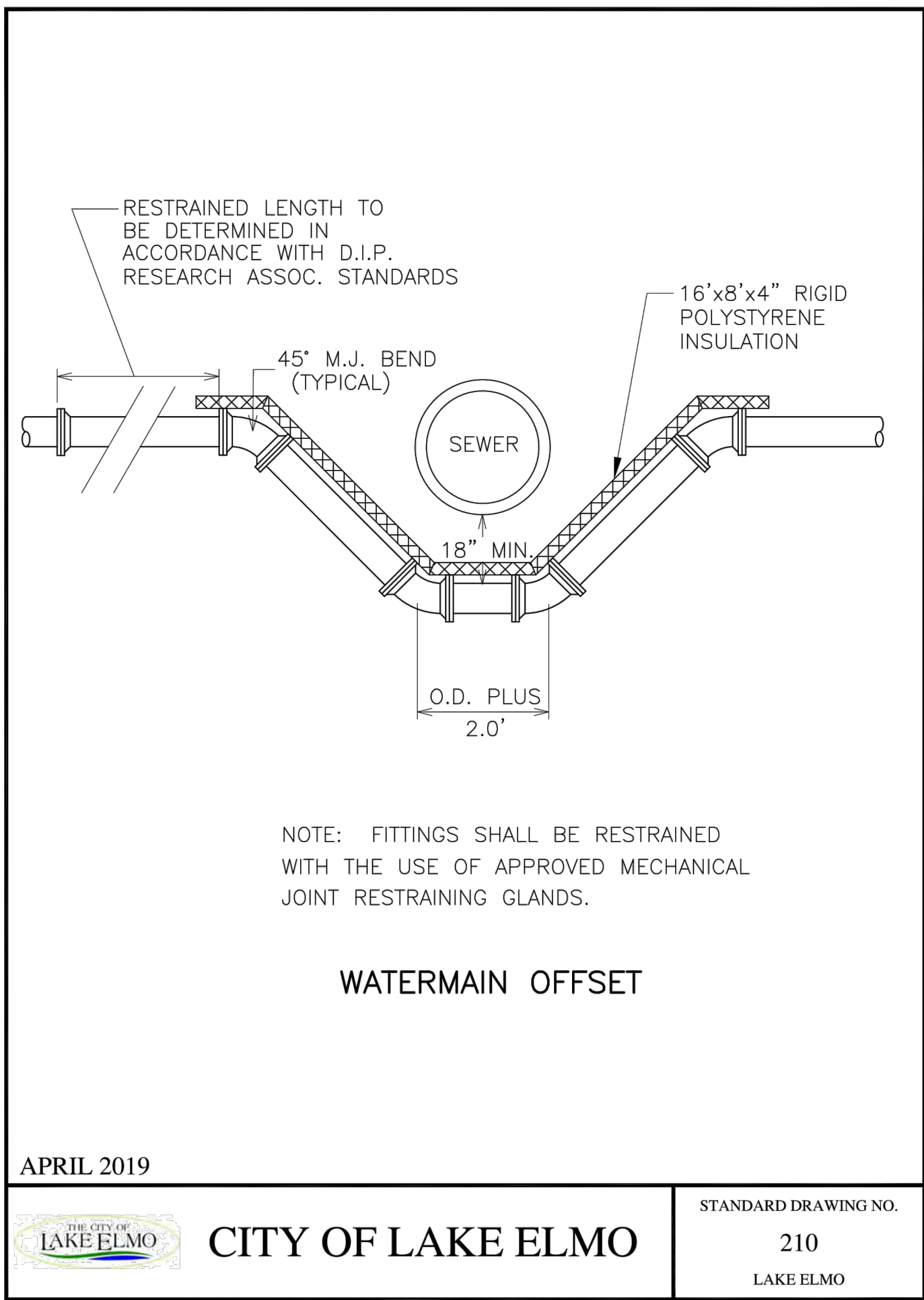
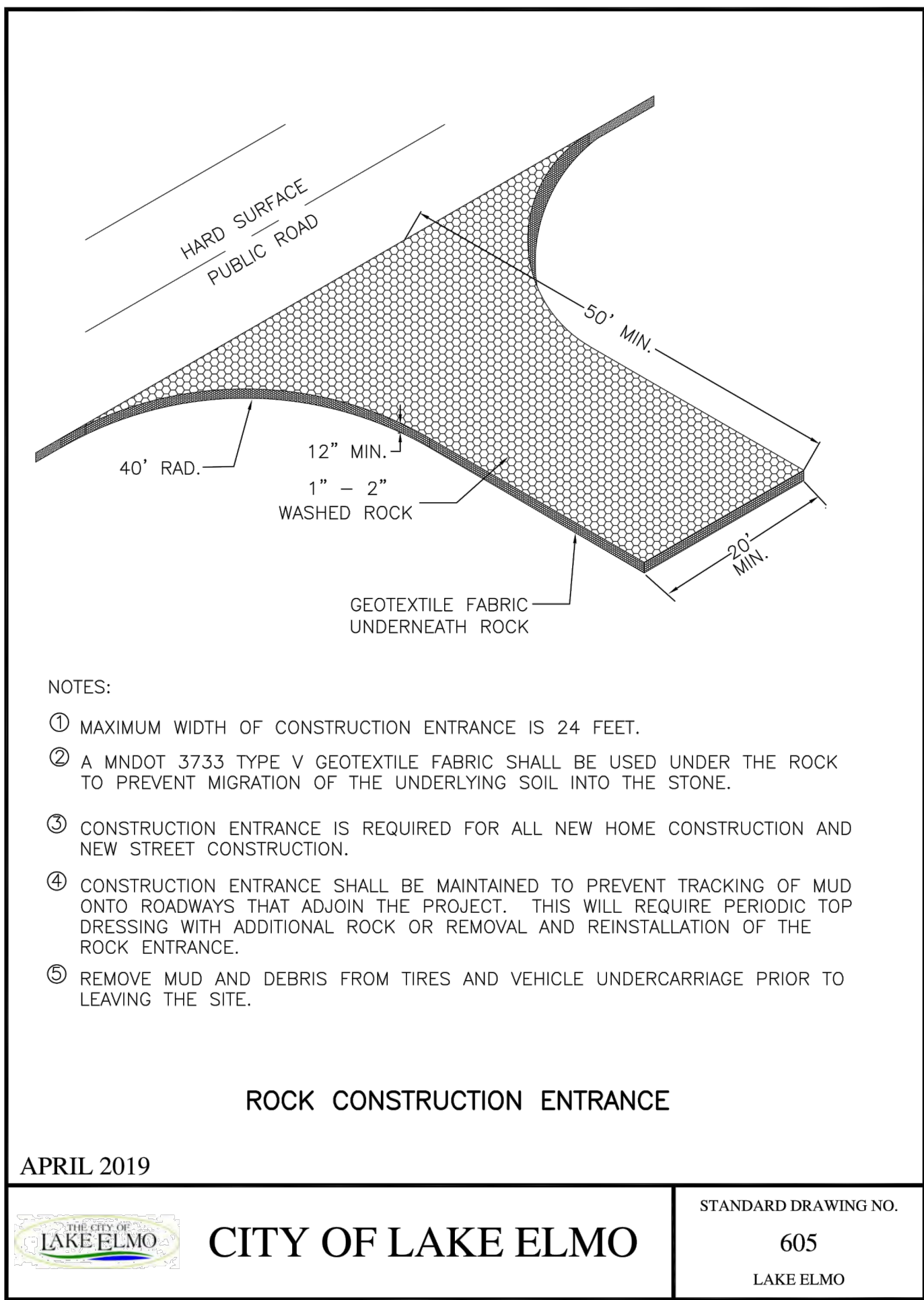
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11/08/2019

PROJECT No: 08-1893.00

EROSION CONTROL PLAN

C700



LAKE ELMO INDEPENDENT LIVING, LLC

NEW INDEPENDENT LIVING FACILITY

LAKE ELMO, MINNESOTA

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(715) 426-4808
Fax: (715) 426-5866

11/08/2019

PROJECT No: 08-1893.00

CIVIL DETAILS

C800



SILT FENCE

[illegible]

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AYRES
ASSOCIATES

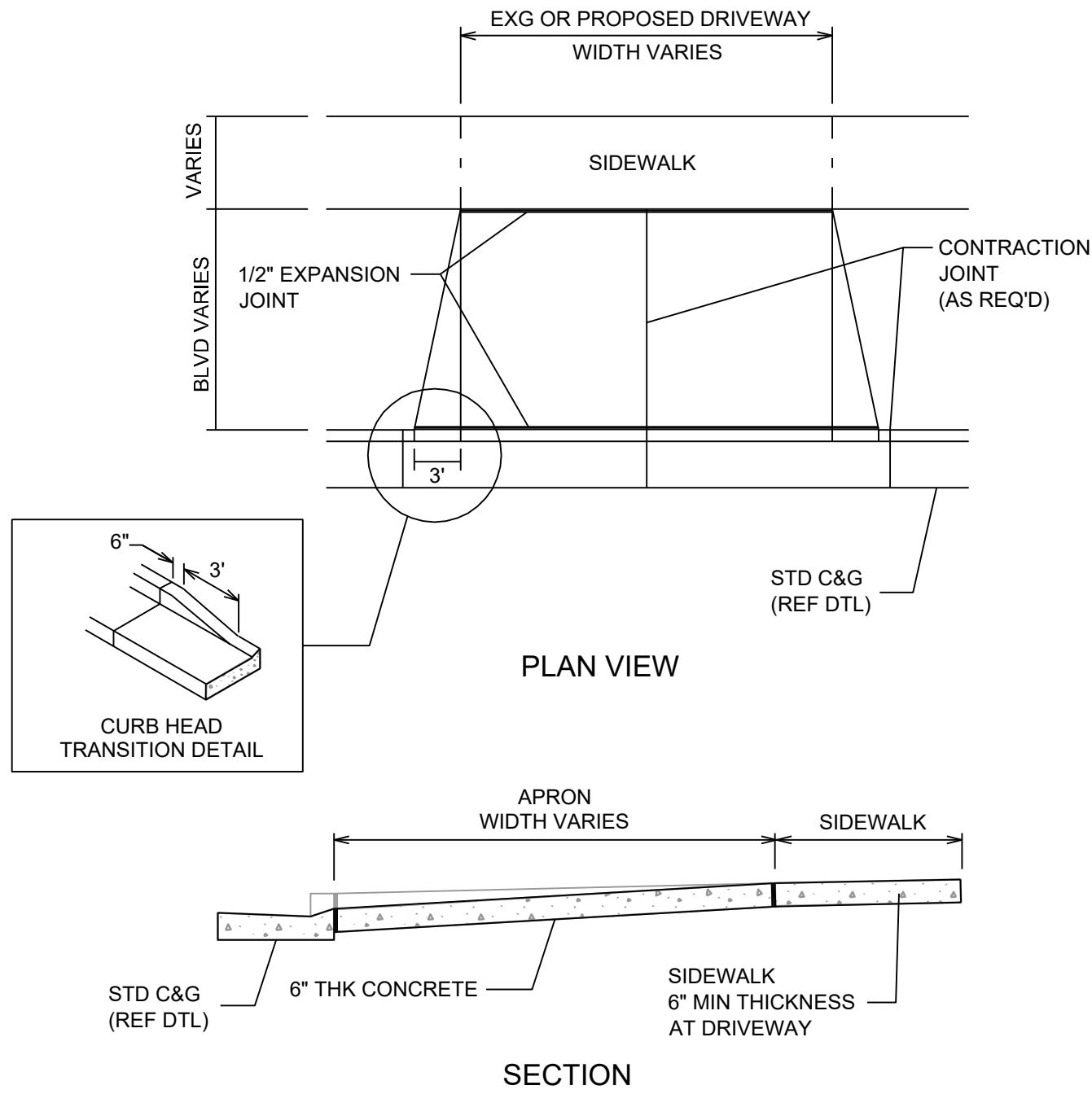
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11/08/2019

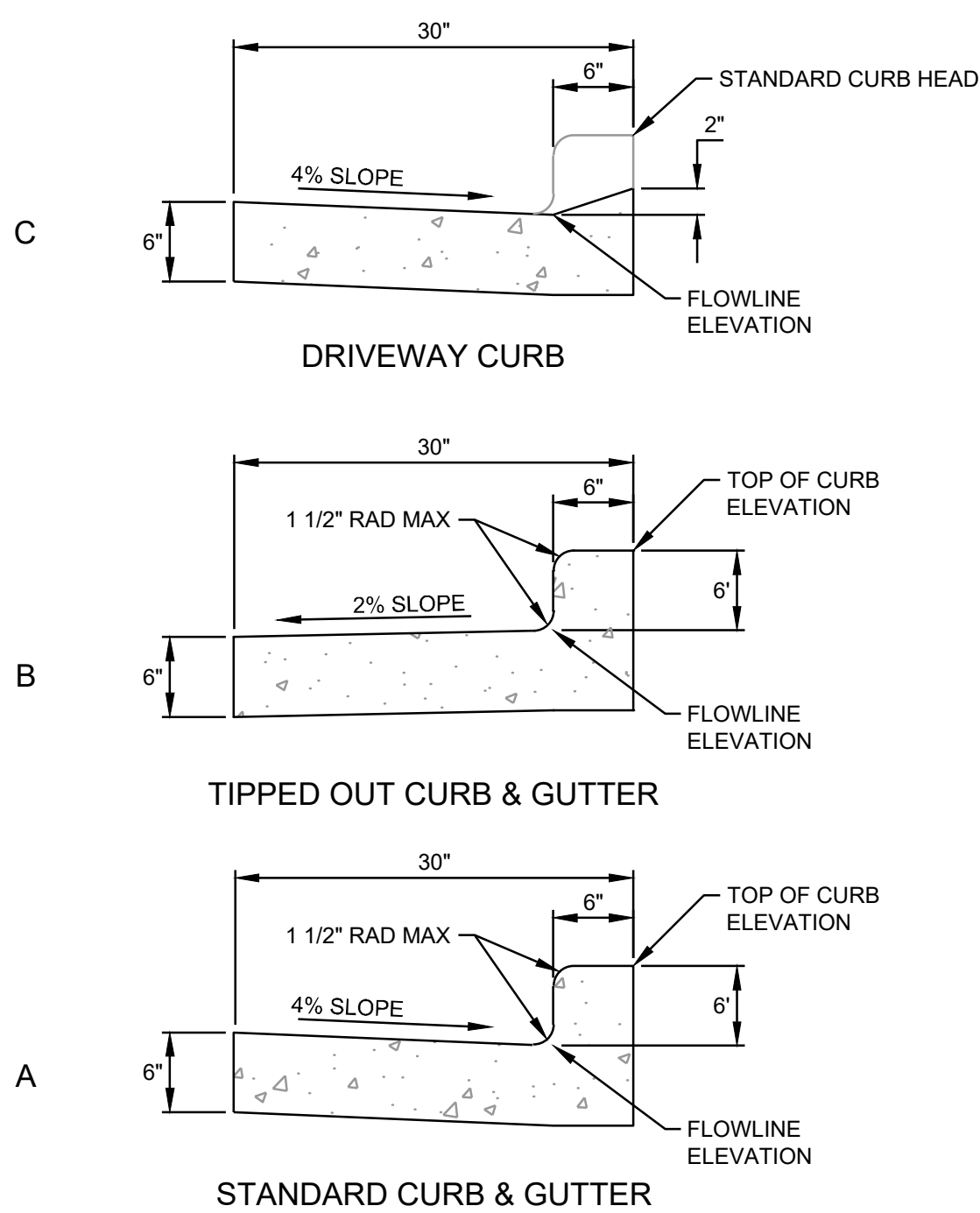
CIVIL DETAILS

C801

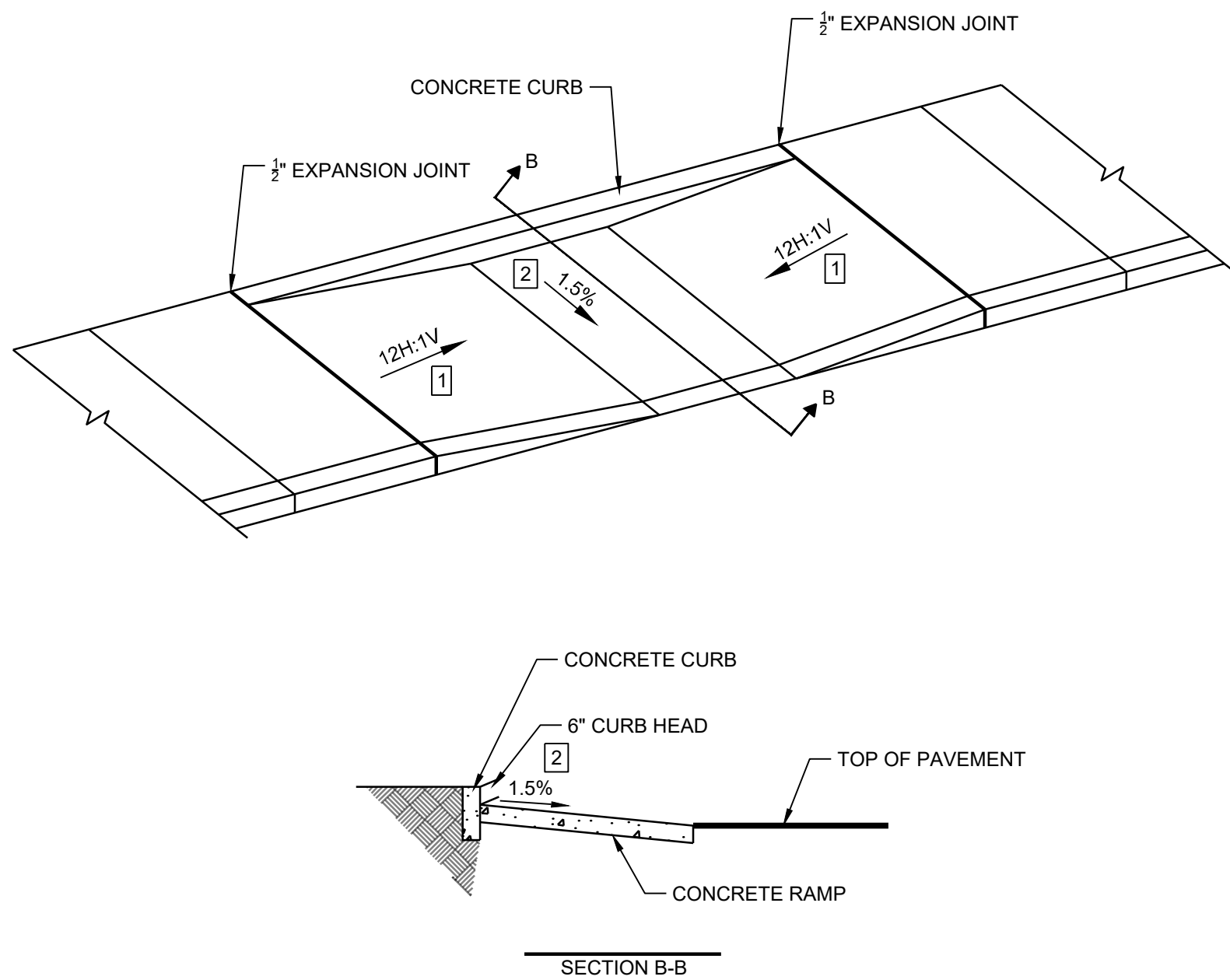
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1 **TWIN HOME & FOUR PLEX CONCRETE DRIVEWAY APRON - 3' TAPER**
NOT TO SCALE

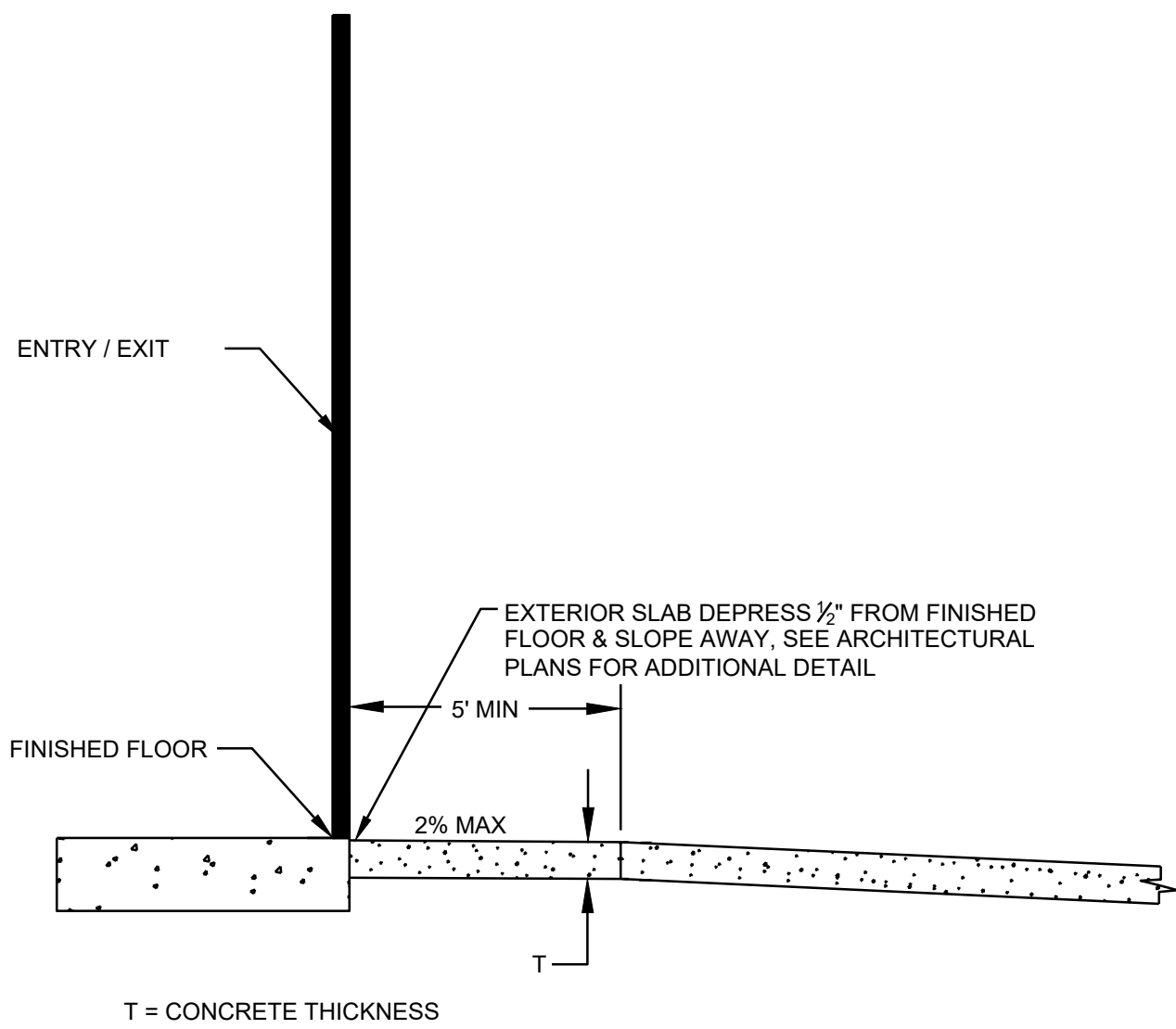


2 **30\"/>**

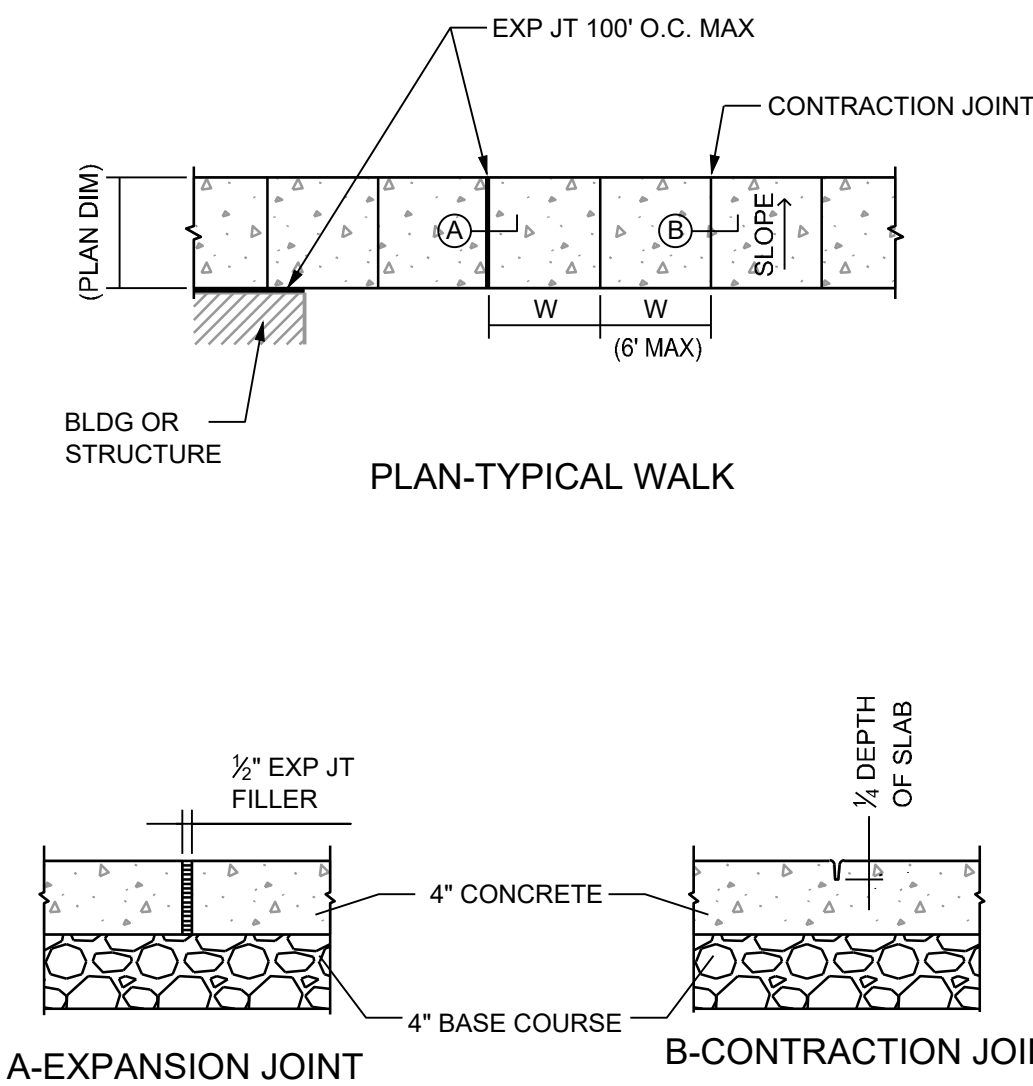


3 **RAMPED SIDEWALK**
NOT TO SCALE

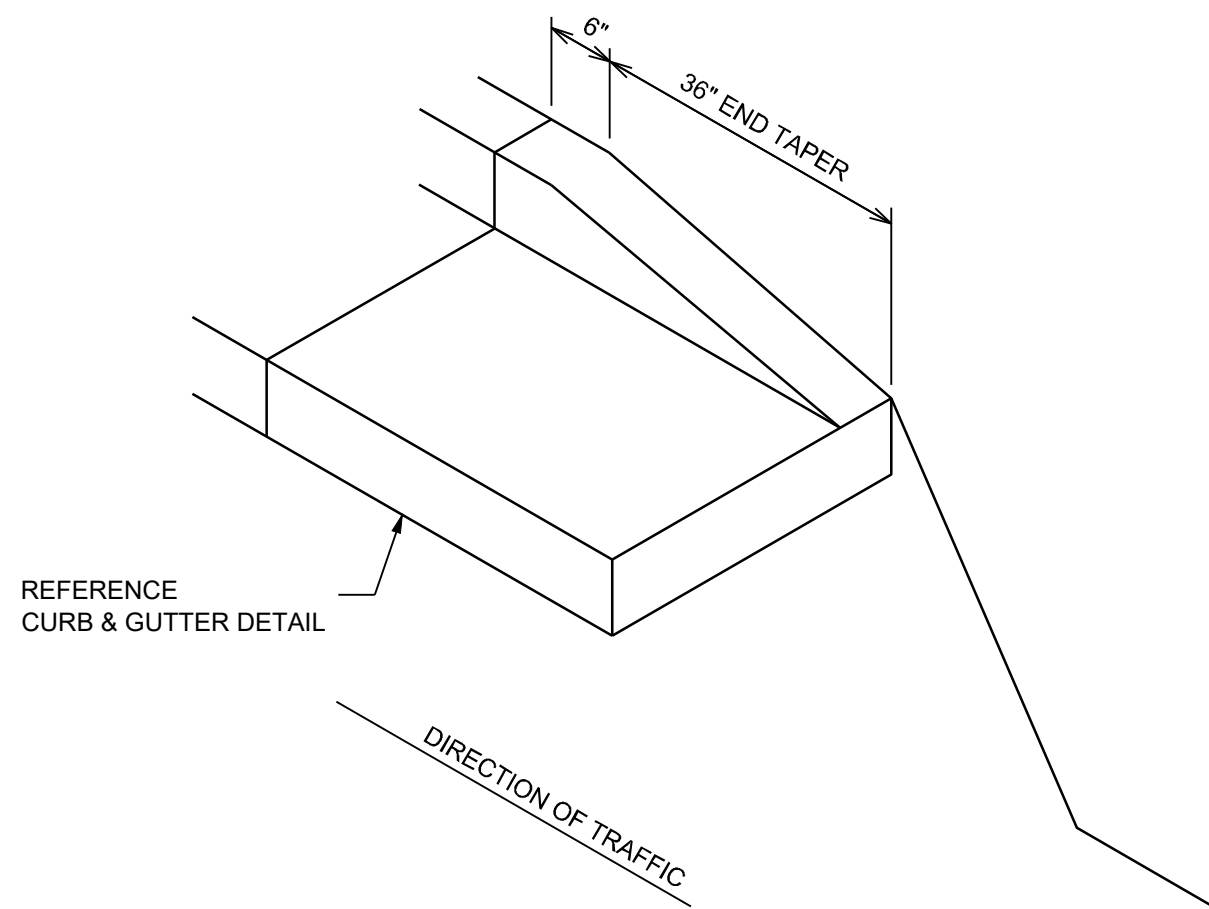
- GENERAL NOTES
- SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2%.
- INSTALL CURB TRANSITION INCIDENTAL TO OTHER PAY ITEMS
- 1 SLOPE SIDEWALK TOWARD LANDING AS SHOWN WHERE THERE IS NO TERRACE OR WHERE THE TERRACE IS LESS THEN 6 FEET WIDE.
- 2 +/- 0.5% CONSTRUCTION TOLERANCE IN SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2% WITHOUT PRIOR APPROVAL FROM THE ENGINEER.



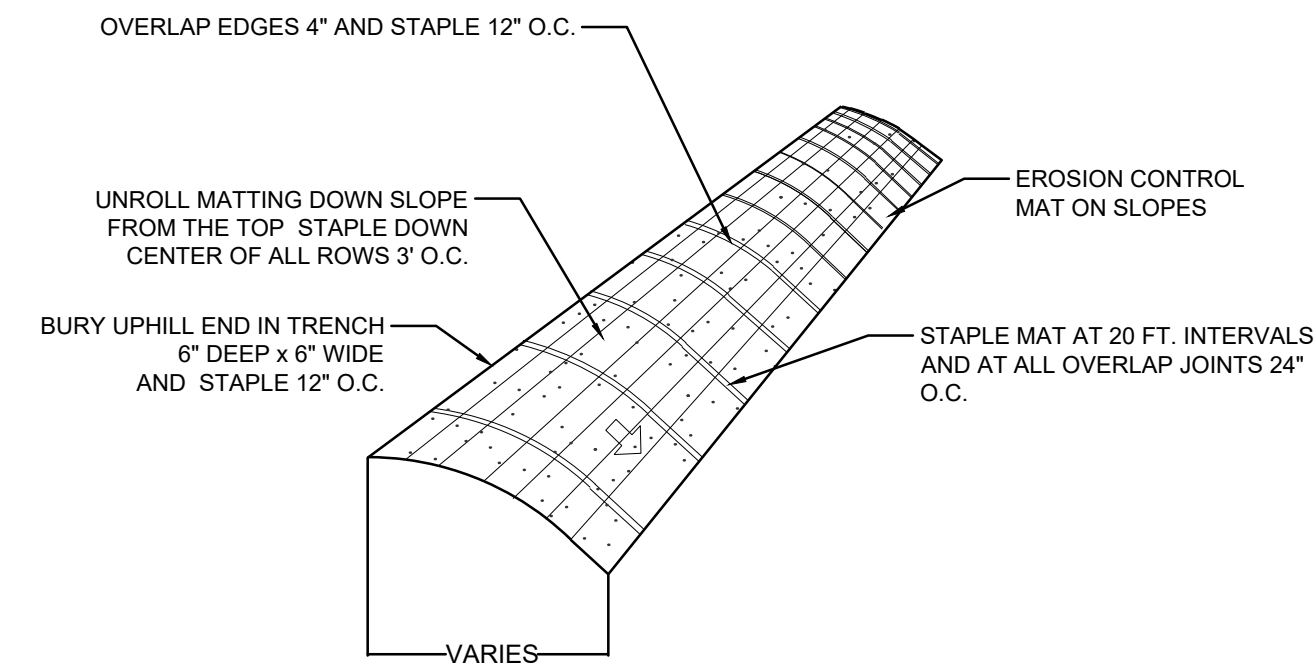
4 **BUILDING ENTRANCE**
NOT TO SCALE



5 **SIDEWALK**
NOT TO SCALE



6 **CURB & GUTTER TERMINATOR**
NOT TO SCALE



- NOTES
1. PREPARE SOIL BEFORE INSTALLING EROSION MAT INCLUDING ALL SOIL PREPARATION AND SEEDING ACCORDING TO SPECIFICATIONS.
 2. BEGIN AT TOP OF SLOPE BY ANCHORING MAT IN 6\"/>
 3. ROLL THE EROSION MAT DOWN THE SLOPE.
 4. THE EDGES OF PARALLEL EROSION MATS SHALL BE STAPLED WITH A 4\"/>
 5. WHEN EROSION MAT MUST BE SPLICED DOWN THE SLOPE, PLACE EROSION MAT END OVER END (SHINGLE STYLE) WITH 6\"/>
 6. ALL EROSION MATS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.
 7. SEE EROSION CONTROL PLANS FOR CLASS AND TYPES OF EROSION MAT.

7 **EROSION MAT INSTALLATION**
NOT TO SCALE

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AYRES ASSOCIATES

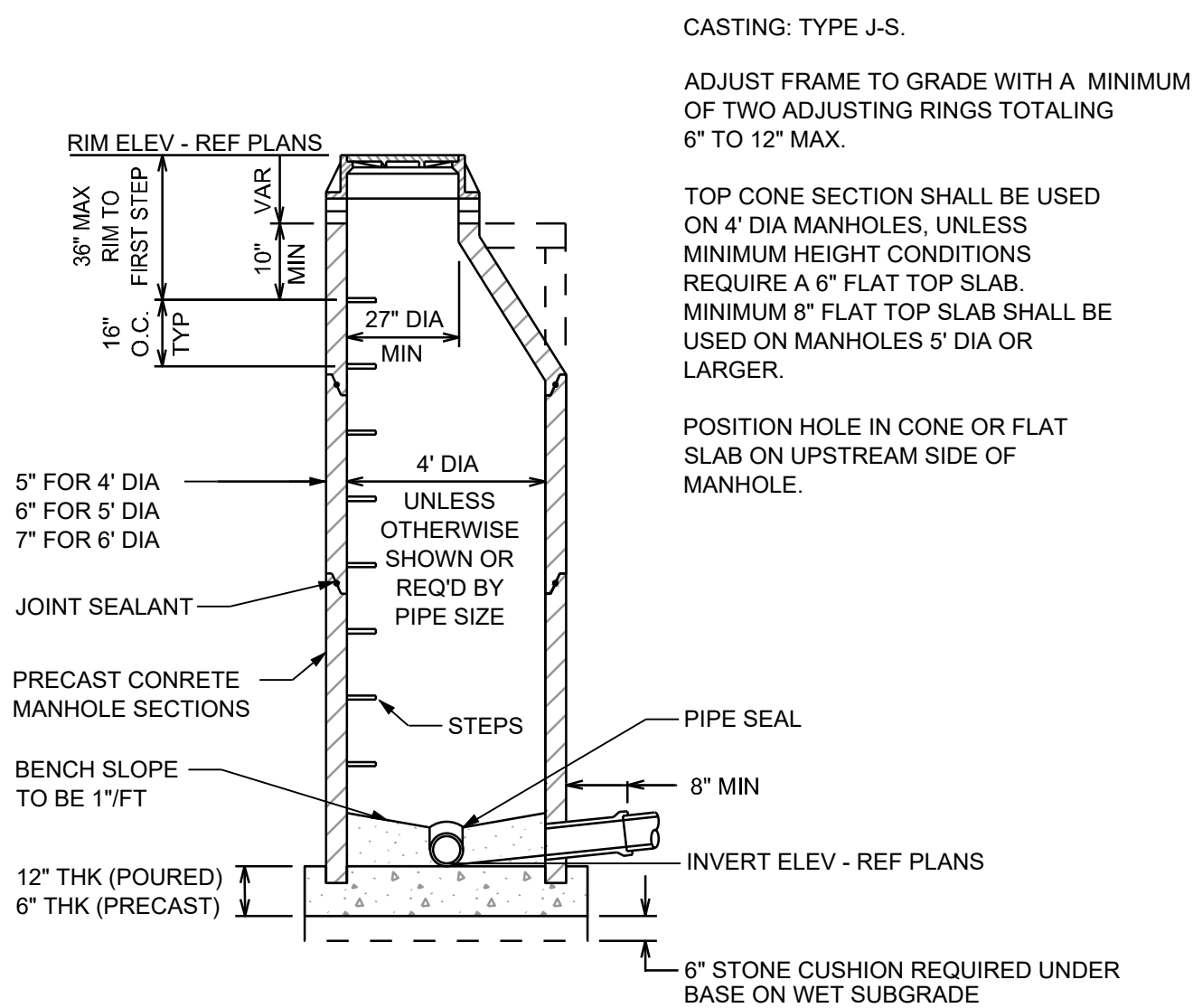
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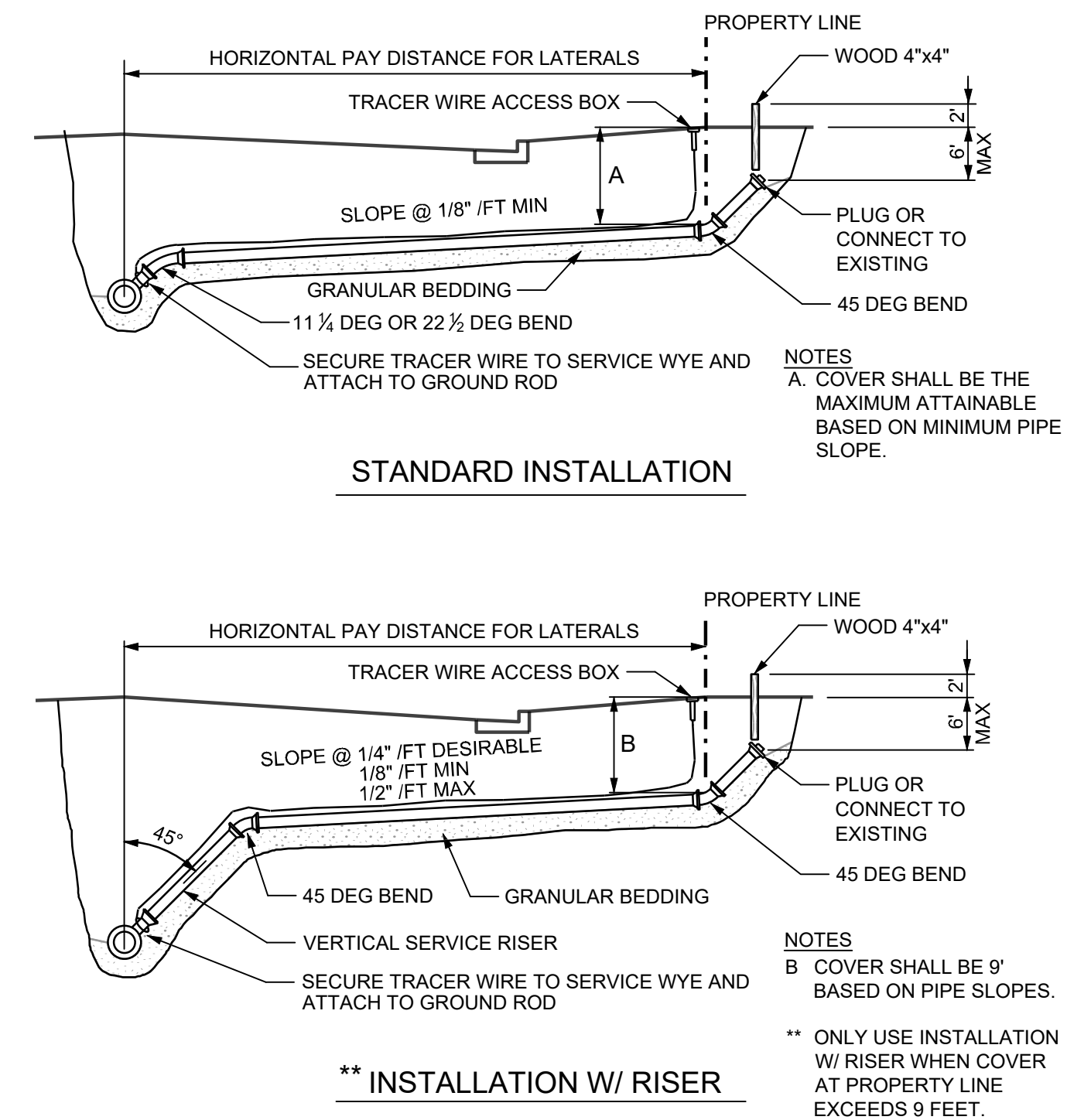
PROJECT No: 08-1893.00

CIVIL DETAILS

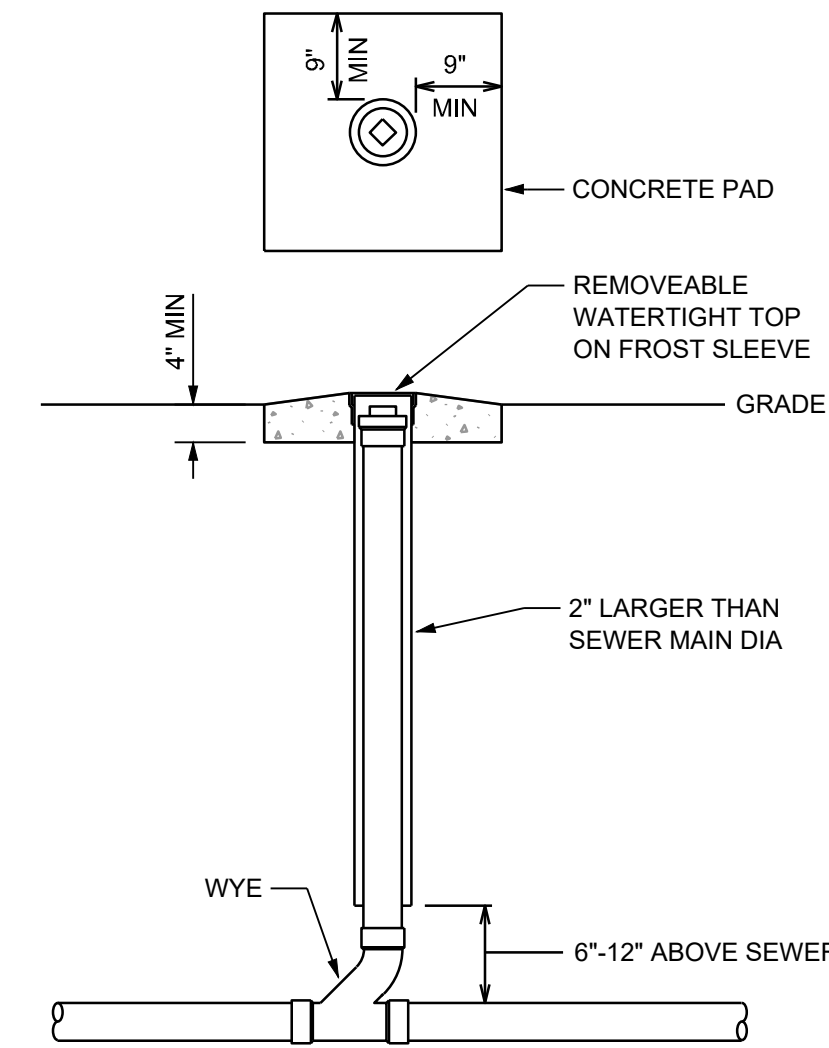
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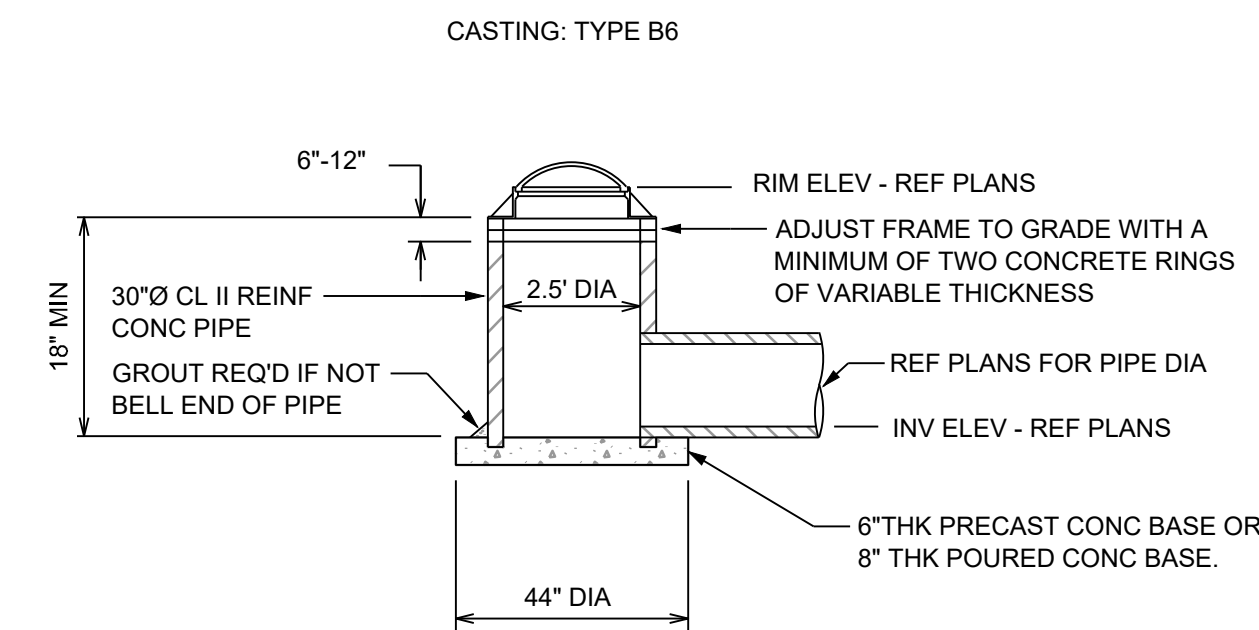
1 **STANDARD SANITARY MANHOLE**
NOT TO SCALE



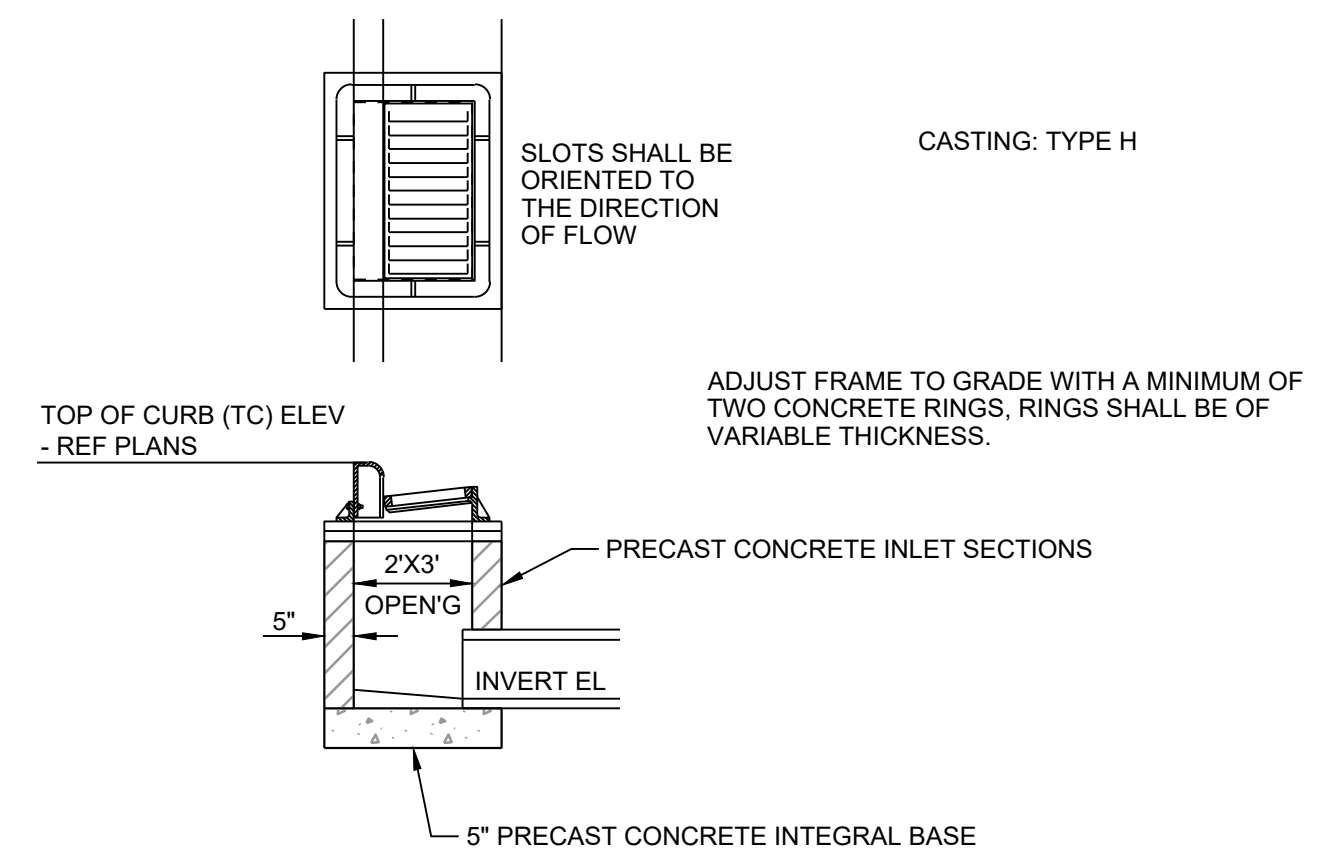
2 **SANITARY SEWER LATERAL**
NOT TO SCALE



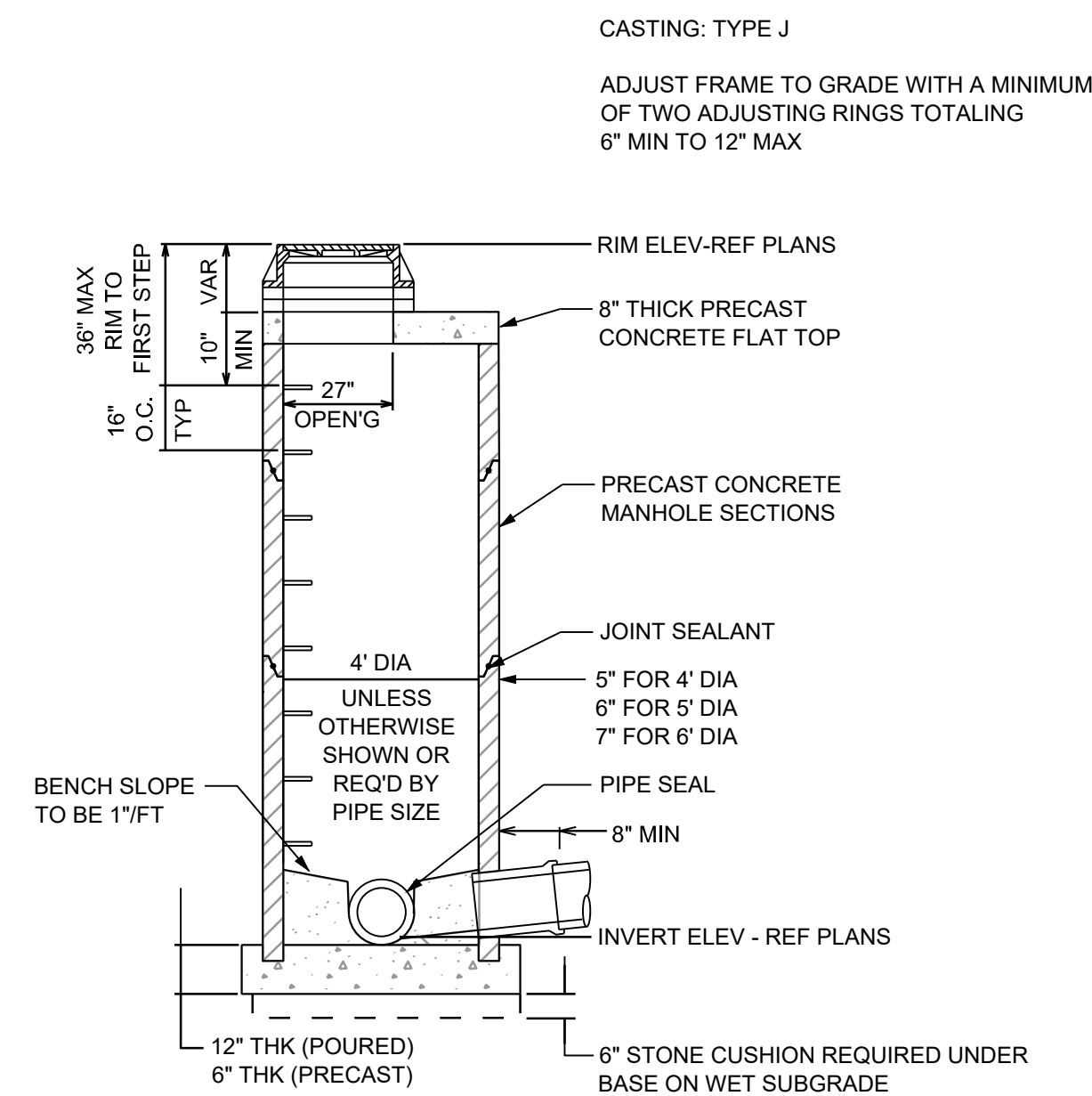
3 **CLEANOUT**
NOT TO SCALE



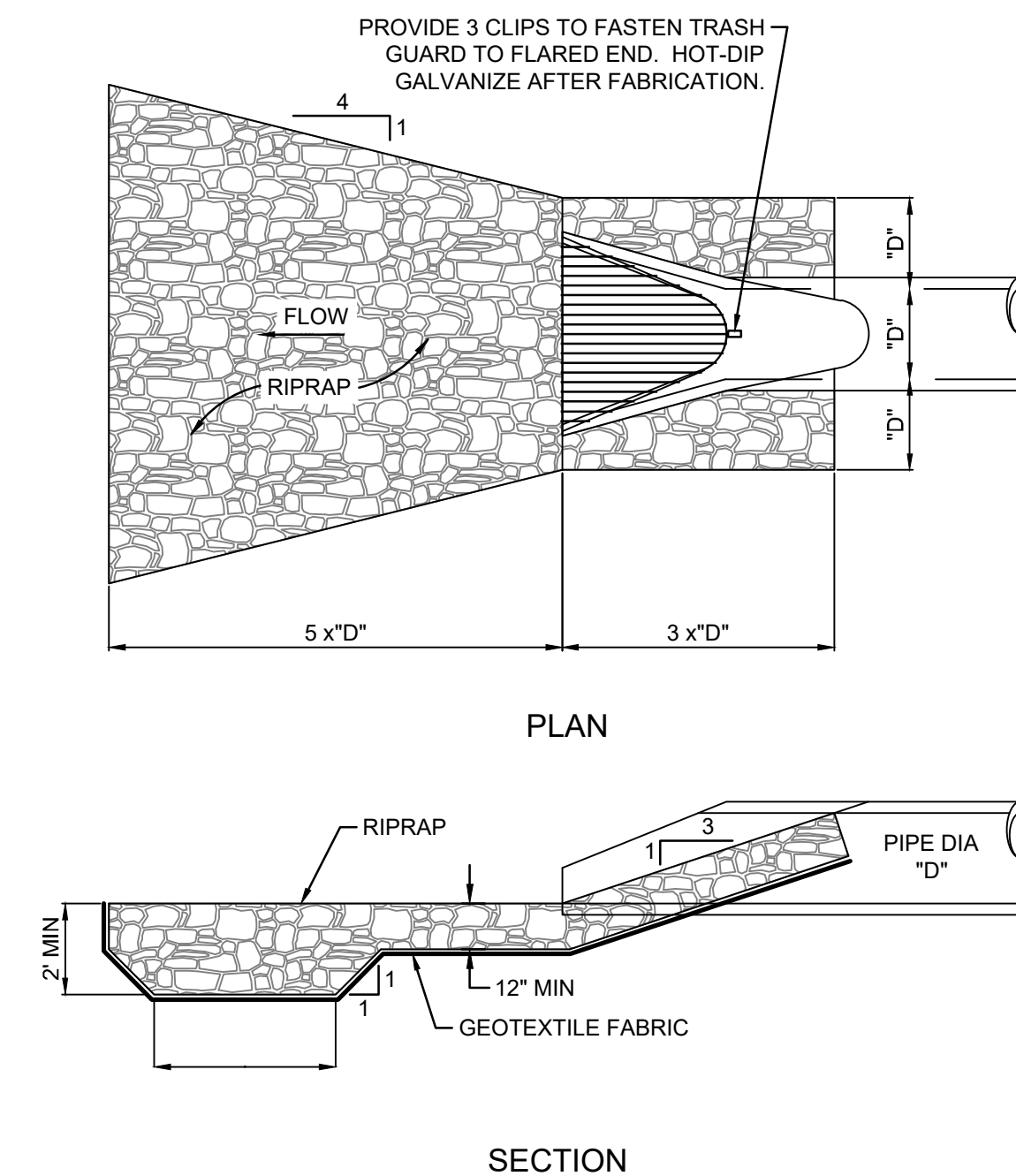
4 **2.5-FT AREA INLET (BEEHIVE GRATE)**
NOT TO SCALE



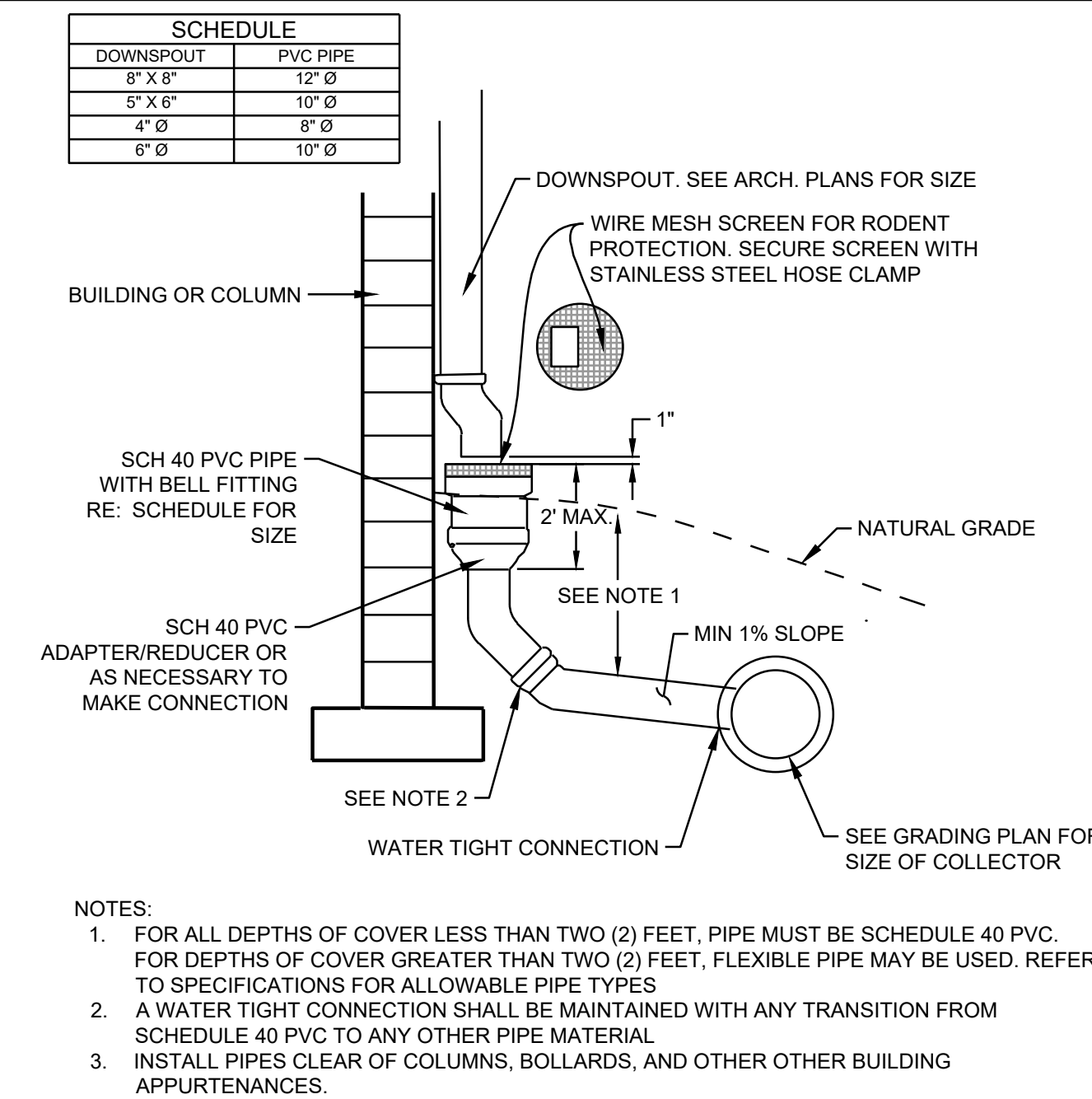
5 **2X3-FT CURB INLET**
NOT TO SCALE



6 **STANDARD STORM MANHOLE**
NOT TO SCALE



7 **APRON END WALL WITH TRASHGUARD AND RIPRAP**
NOT TO SCALE



8 **DOWNSPOUT COLLECTOR**
NOT TO SCALE

MARK	DATE	DESCRIPTION

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NEW INDEPENDENT LIVING FACILITY

LAKE ELMO, MINNESOTA

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AVRES ASSOCIATES

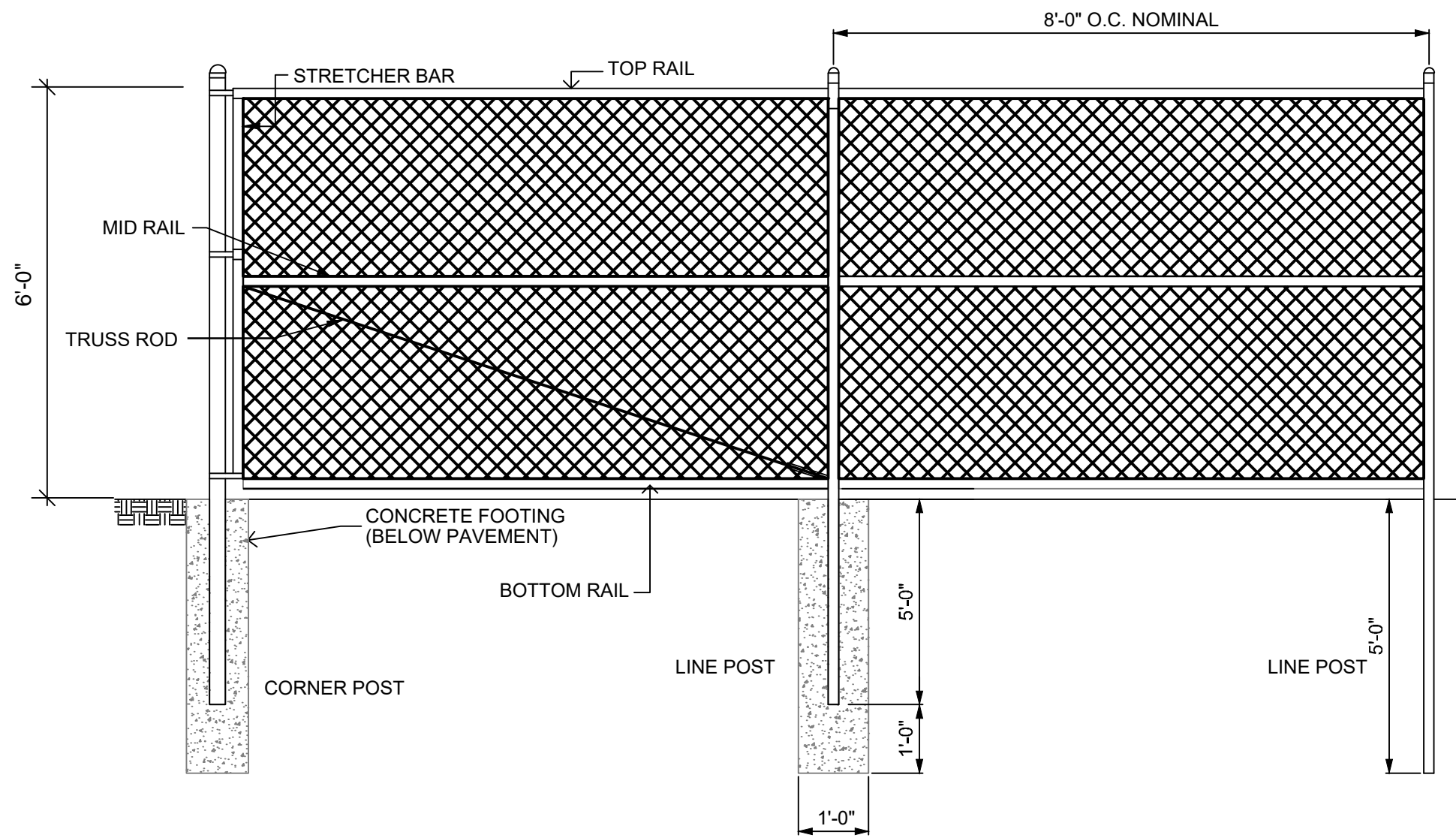
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11/08/2019

PROJECT No: 08-1893.00

CIVIL DETAILS

C803



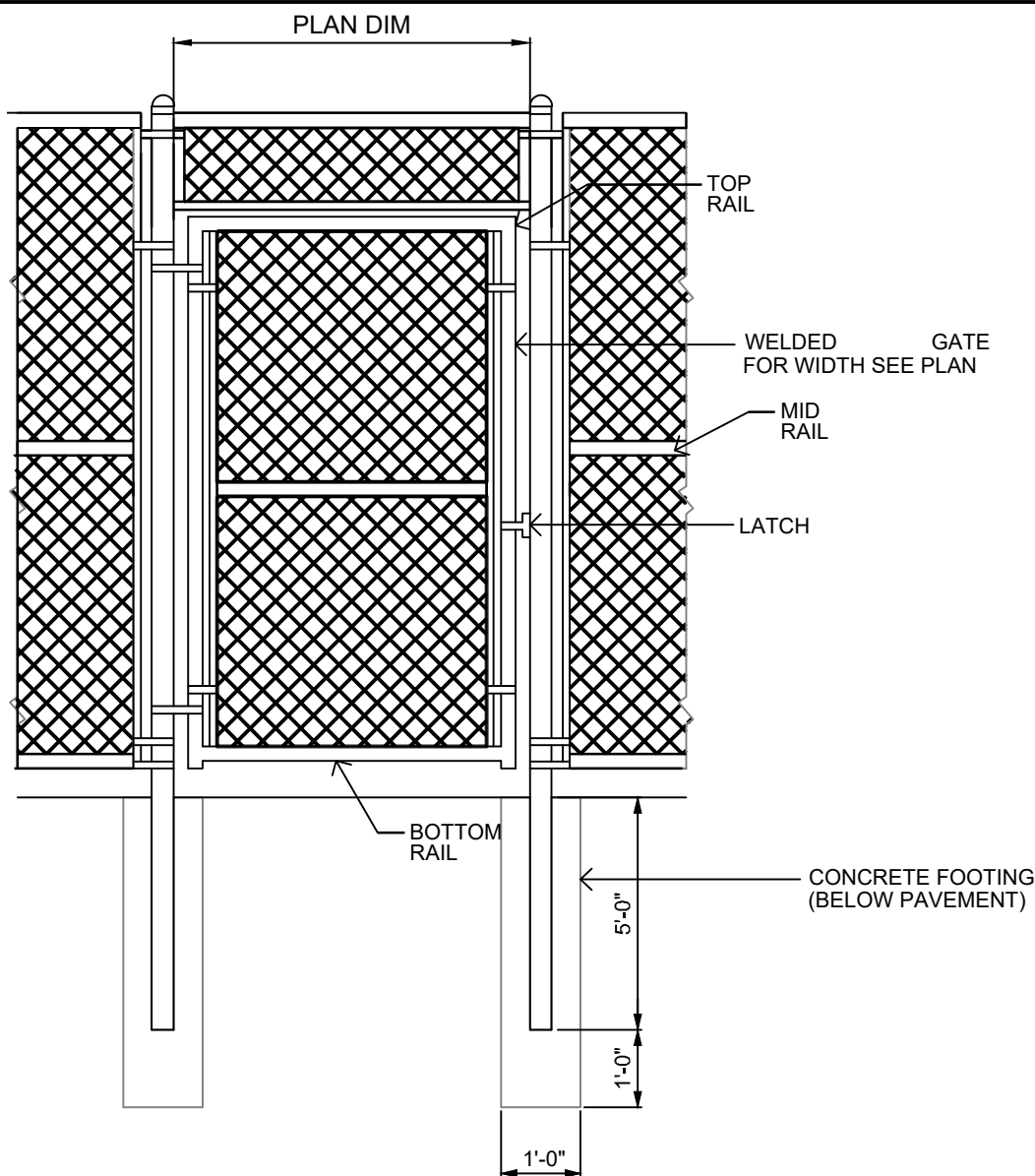
GENERAL NOTES:

- END, CORNER, GATE AND PULL POST SHALL BE 3/2" O.D. LINE POSTS SHALL BE 2 5/8" O.D.
- EMBED CORNER POSTS, GATE POSTS AND FIRST LINE POST AFTER CORNER & GATE POSTS IN CONCRETE 4 INCHES BELOW FINISH GRADE. OTHER LINE POSTS ARE NOT EMBEDDED IN CONCRETE
- LINE POSTS MAY BE AIR DRIVEN.
- POST SPACING SHALL NOT EXCEED 8' O.C.
- BOTTOM RAIL SHALL BE PLACED 2" ABOVE FINISH GRADE WITH FENCING FABRIC PLACED 2" ABOVE FINISHED GRADE

1

CHAIN LINK FENCE

NOT TO SCALE



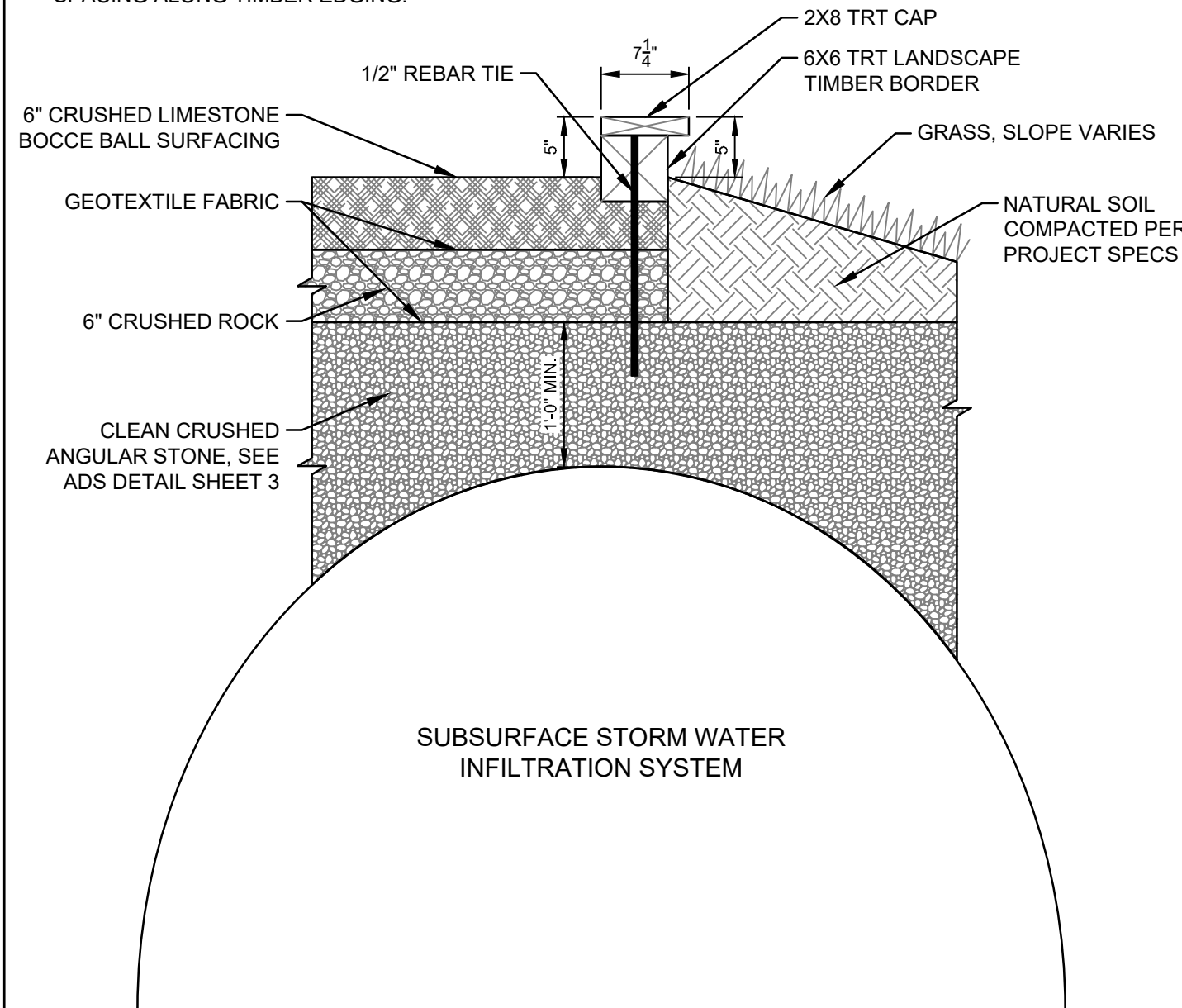
SINGLE SWING GATE

2

CHAIN LINK GATE

NOT TO SCALE

NOTES:
-CONNECT CAP TO TIMBER WITH EXTERIOR WOOD ADHESIVE AND THEN ANCHOR WITH EXTERIOR SPAX SCREWS
-ANCHOR TIMBER WITH 2" REBAR SECTIONS AT 2 FOOT SPACING ALONG TIMBER EDGING.

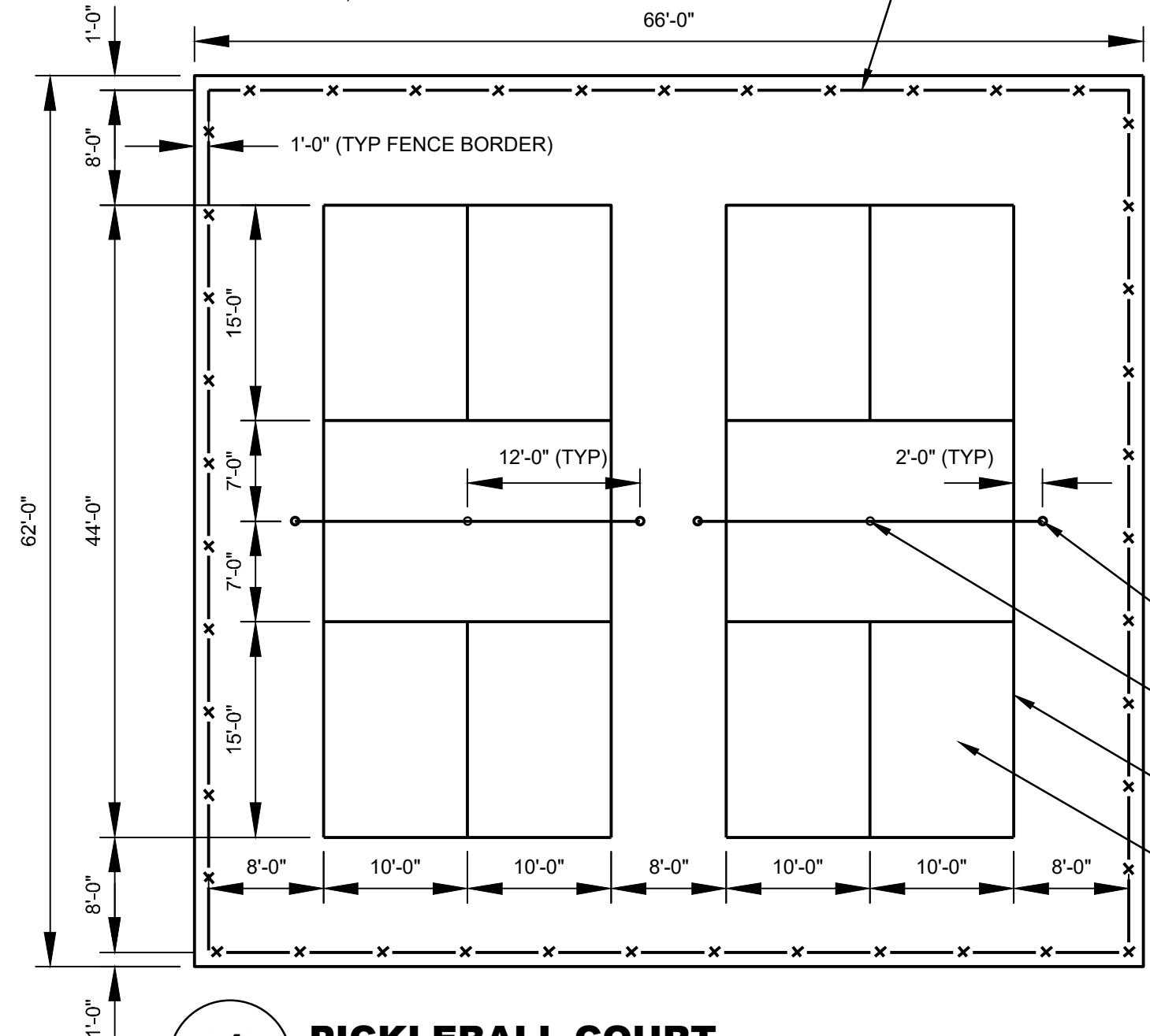


3

BOCCIE BALL SECTION

NOT TO SCALE

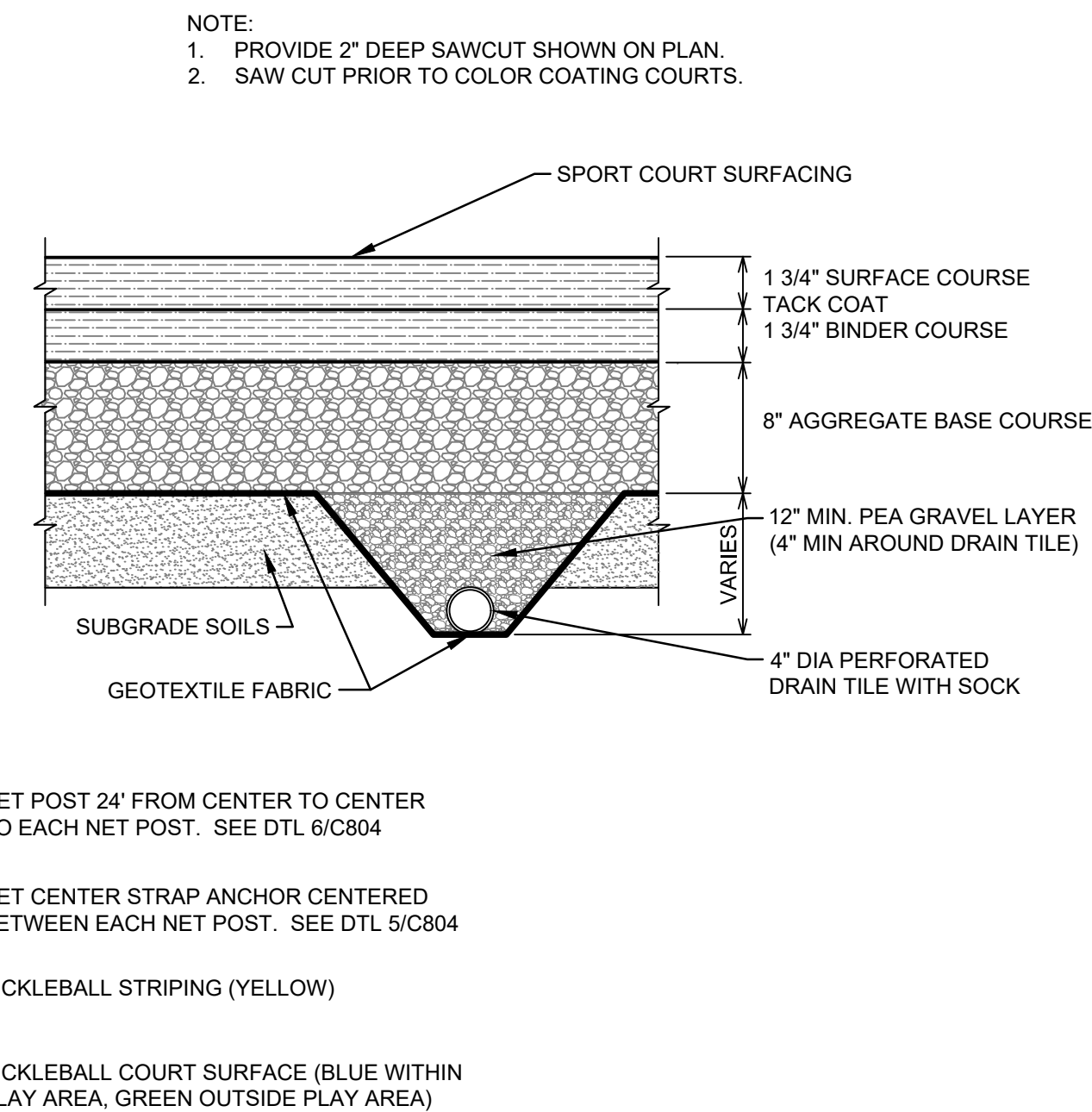
- NOTES:
- ALL DIMENSIONS ARE TO THE OUTSIDE EDGE OF LINES.
 - ALL PLAYING LINES ARE 2" IN WIDTH.
 - SEE DETAILS 5/C804 AND 6/C804 FOR NET INSTALLATION.
 - PROVIDE MARKING PLAN AND COLOR SELECTIONS (AS CALLED OUT IN DETAIL BELOW) FOR REVIEW.



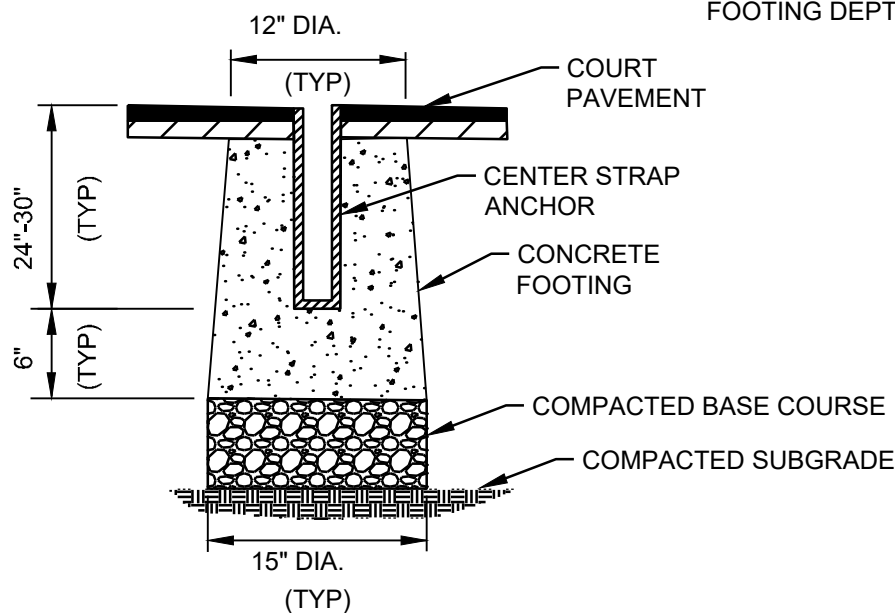
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PICKLEBALL COURT

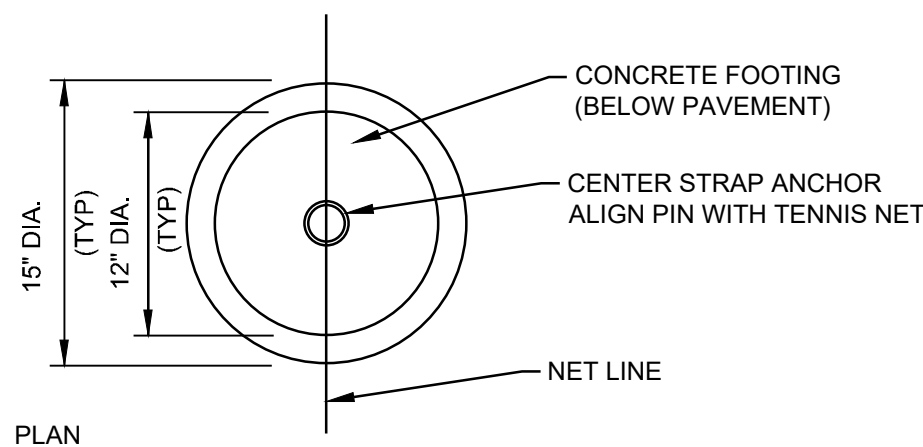
NOT TO SCALE



- NOTE:
- PROVIDE 2" DEEP SAWCUT SHOWN ON PLAN.
 - SAW CUT PRIOR TO COLOR COATING COURTS.



SECTION



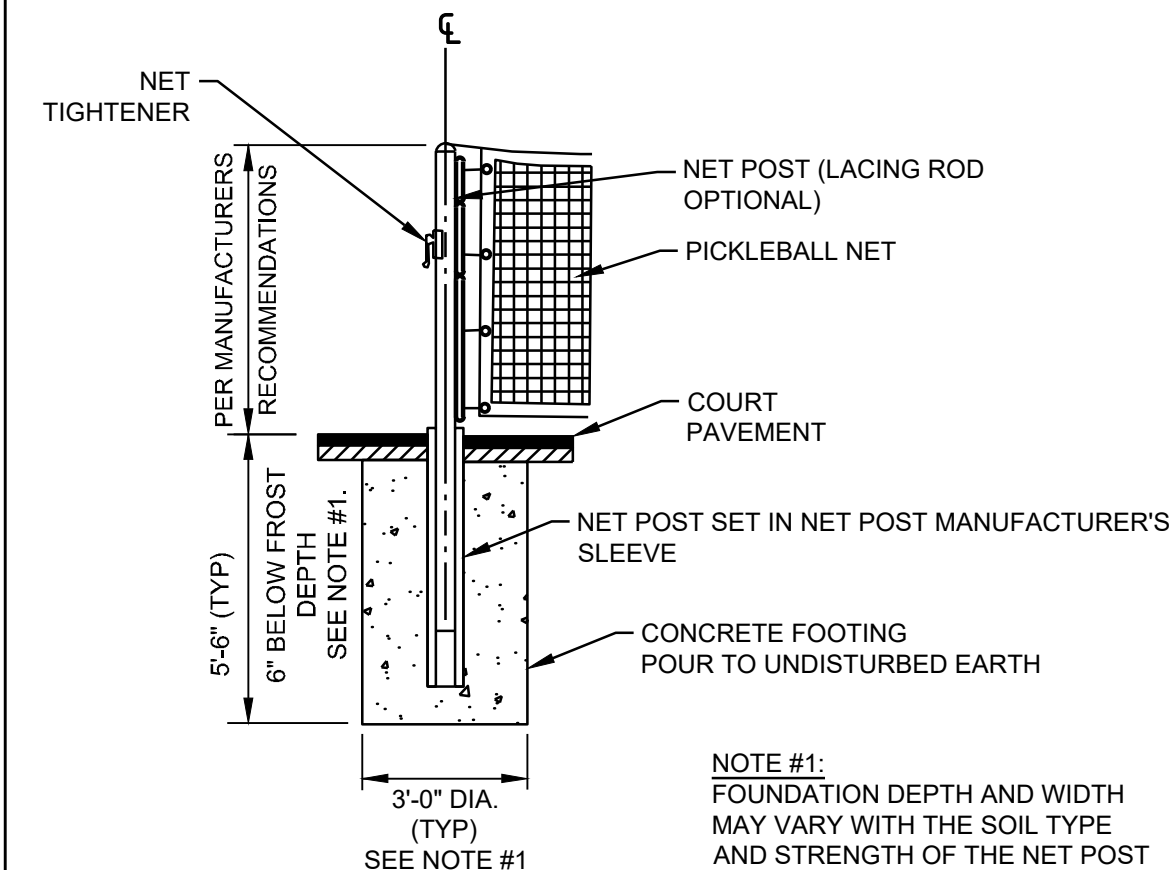
PLAN

- NOTE:
- INSTALL PER MANUFACTURER RECOMMENDATIONS. IF MANUFACTURER RECOMMENDATIONS DIFFER FROM THIS DETAIL, MANUFACTURER RECOMMENDATIONS SHALL PREVAIL.

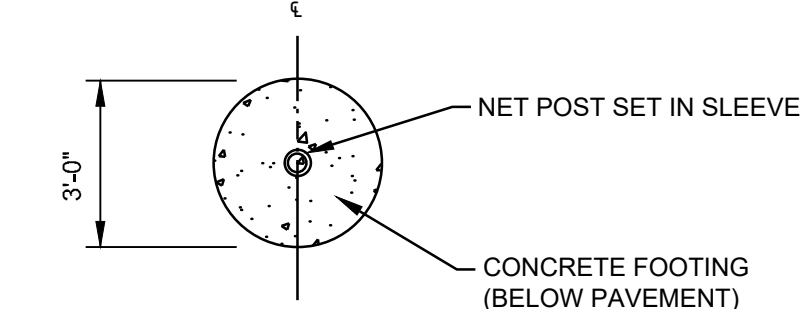
5

PICKLEBALL NET CENTER STRAP ANCHOR

NOT TO SCALE



SECTION



PLAN

- NOTE:
- INSTALL PER MANUFACTURER RECOMMENDATIONS. IF MANUFACTURER RECOMMENDATIONS DIFFER FROM THIS DETAIL, MANUFACTURER RECOMMENDATIONS SHALL PREVAIL.

6

PICKLEBALL NET POST AND FOOTING

NOT TO SCALE

MARK	DATE	DESCRIPTION

LAKE ELMO INDEPENDENT LIVING, LLC

NEW INDEPENDENT LIVING FACILITY

LAKE ELMO, MINNESOTA

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3433 Oakwood Hills Parkway
Eau Claire, Wisconsin 54701
(715) 834-3161

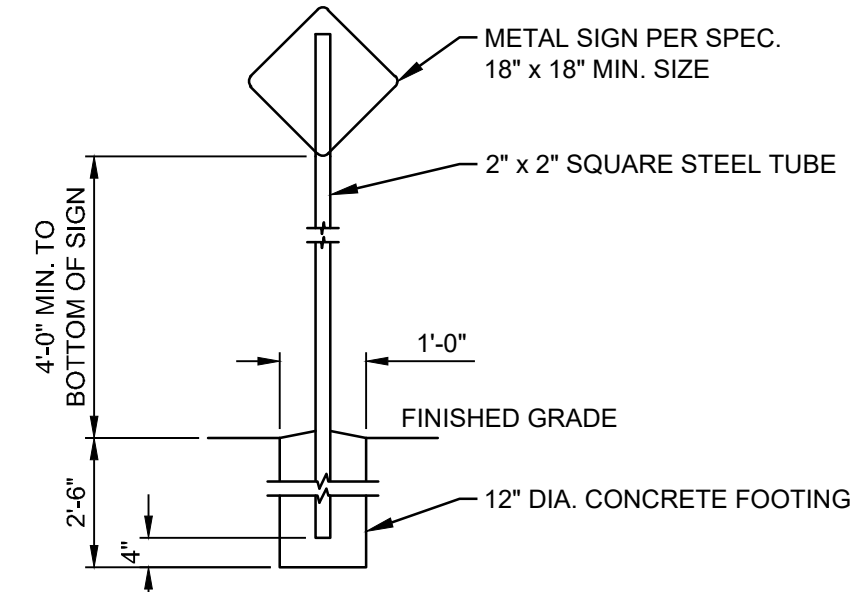
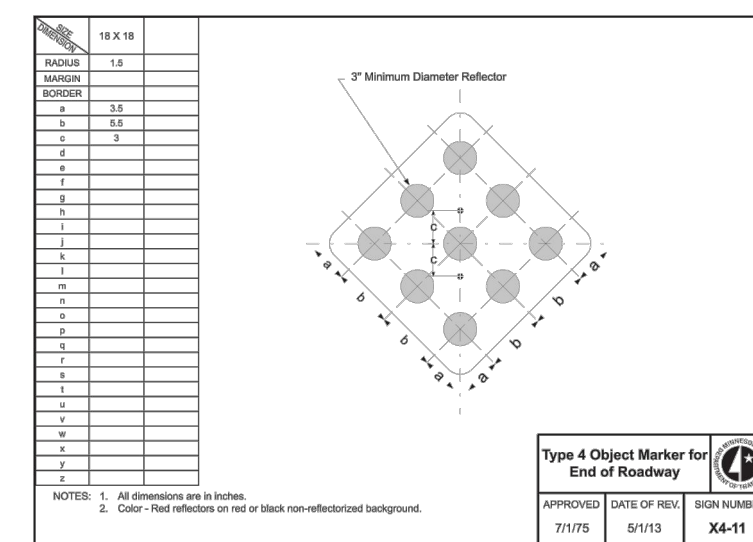
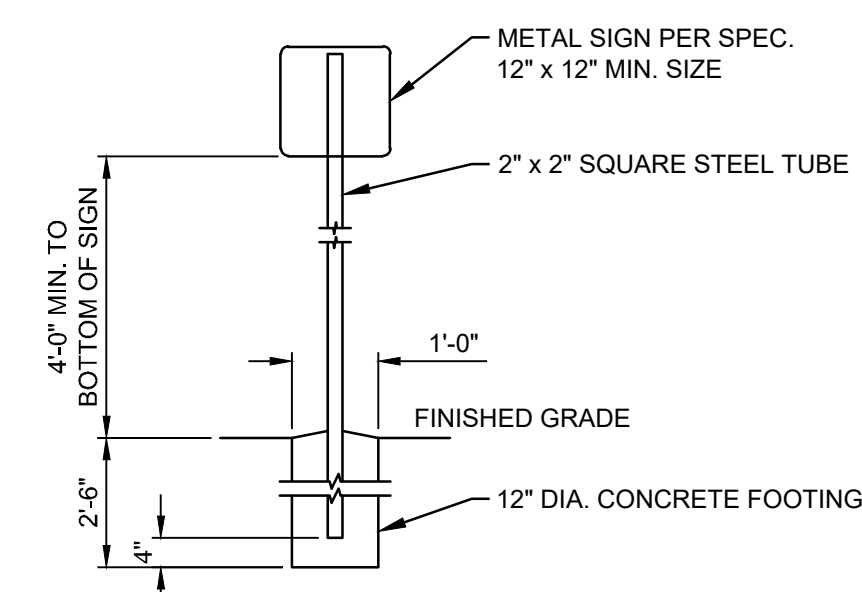
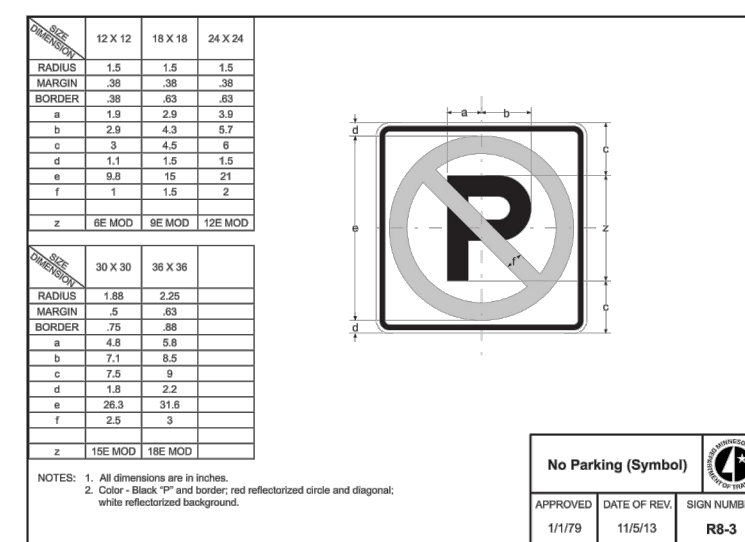
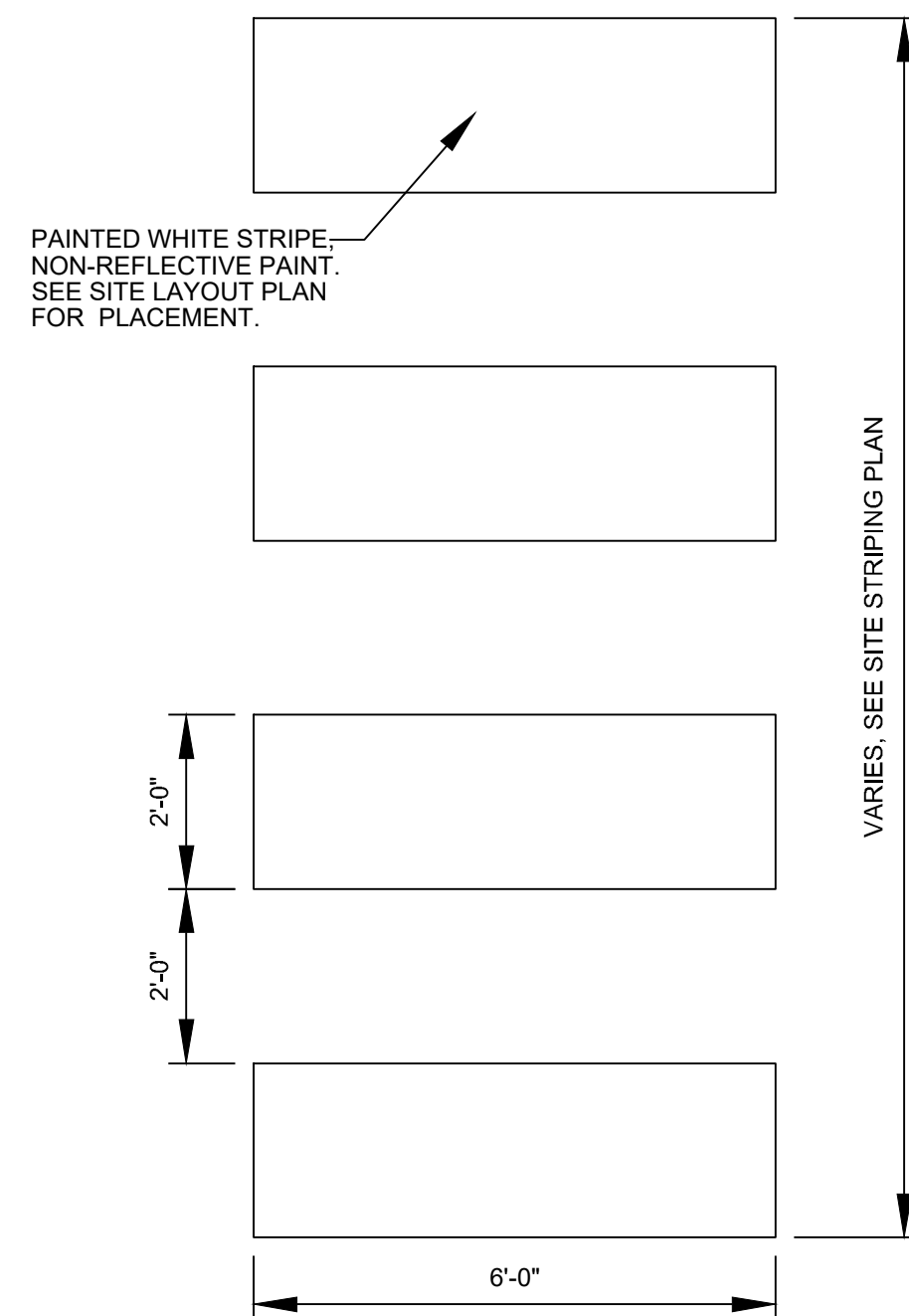
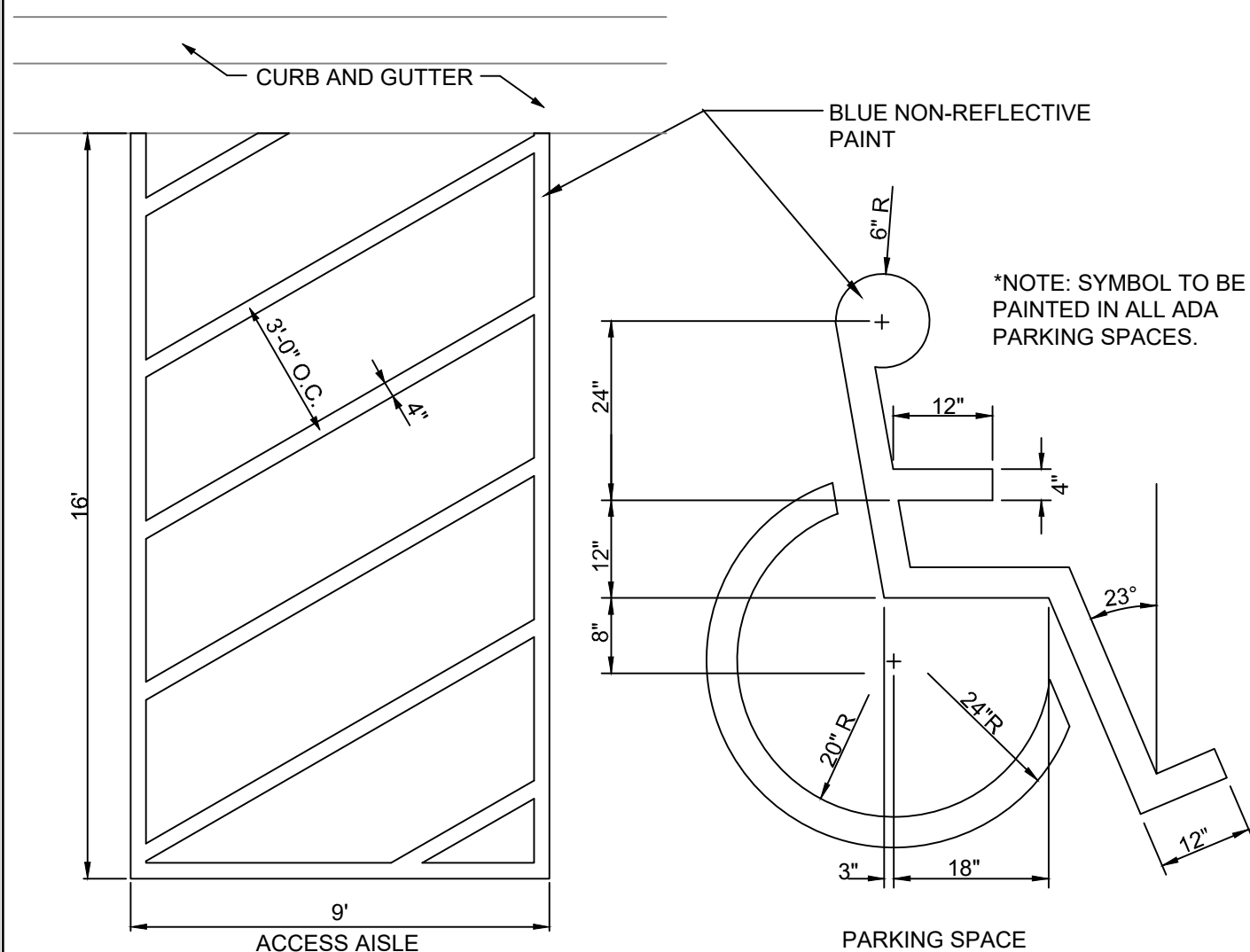
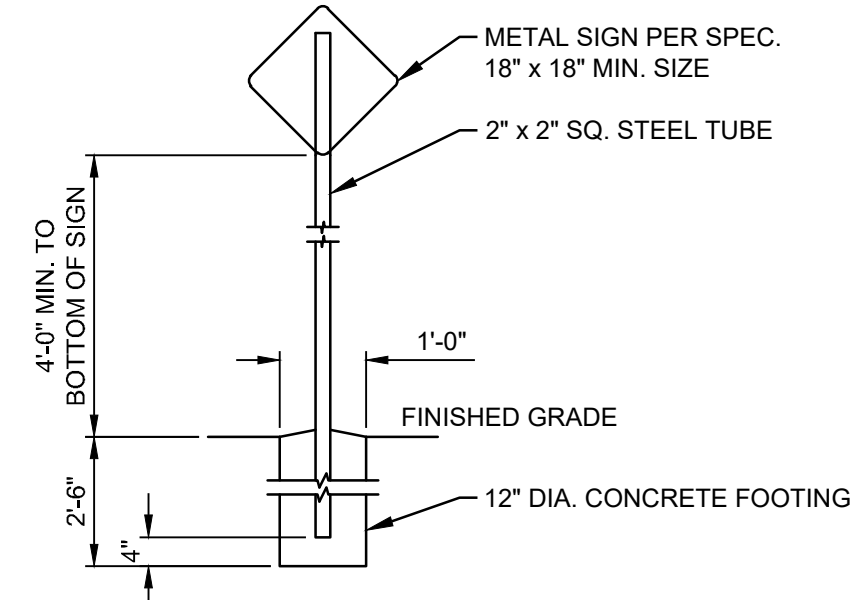
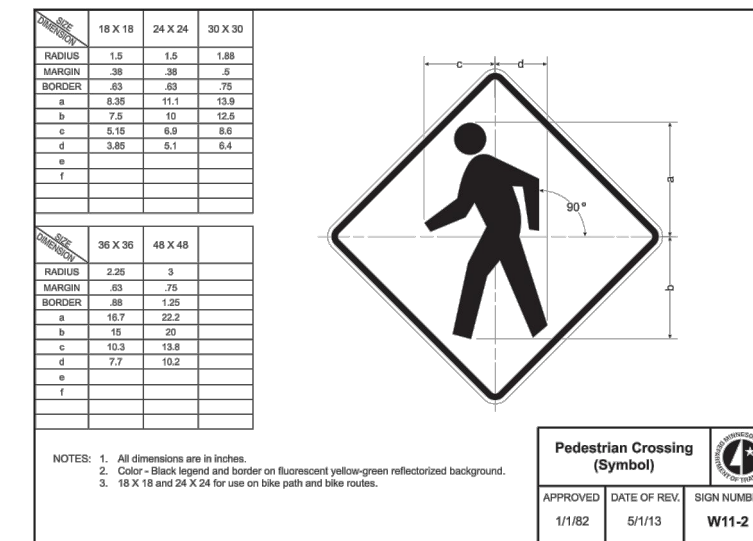
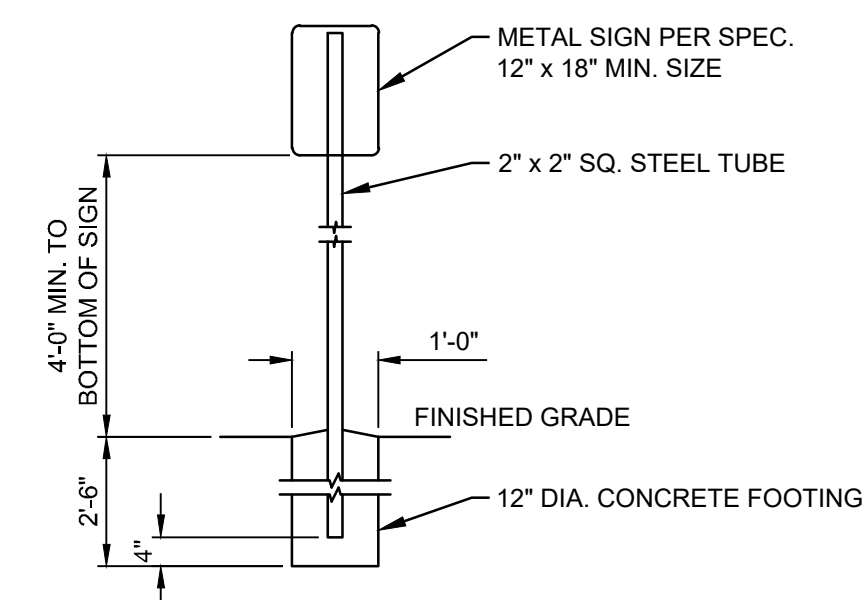
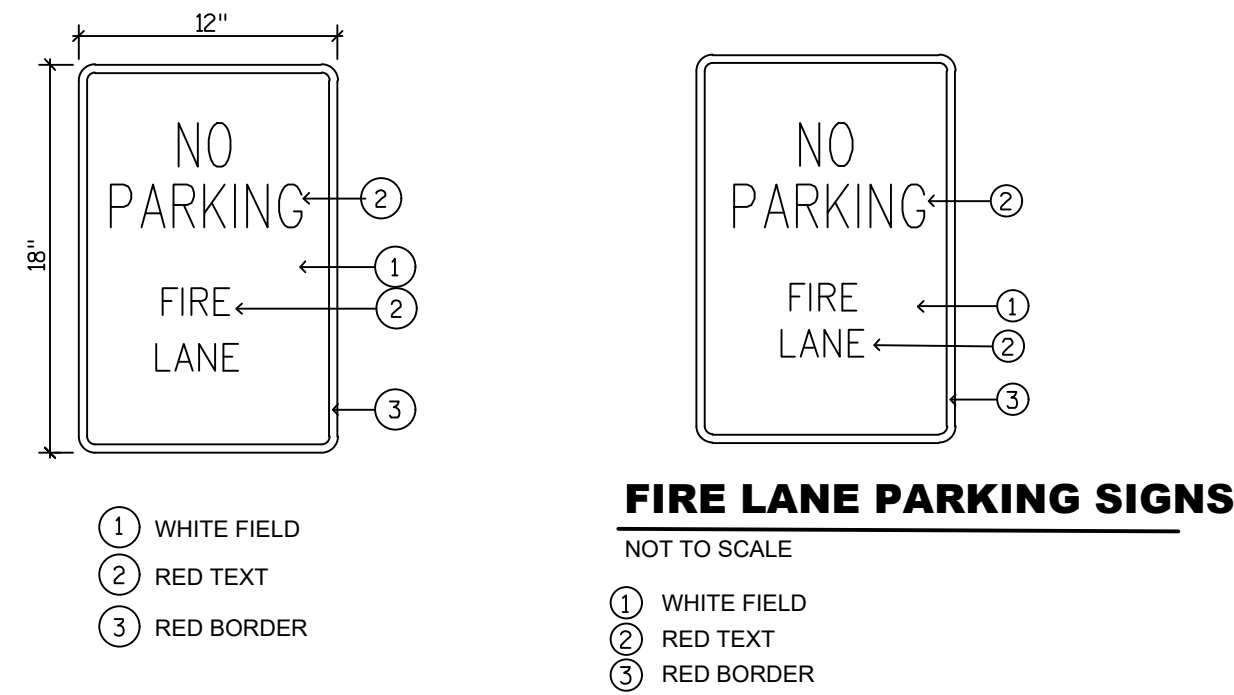
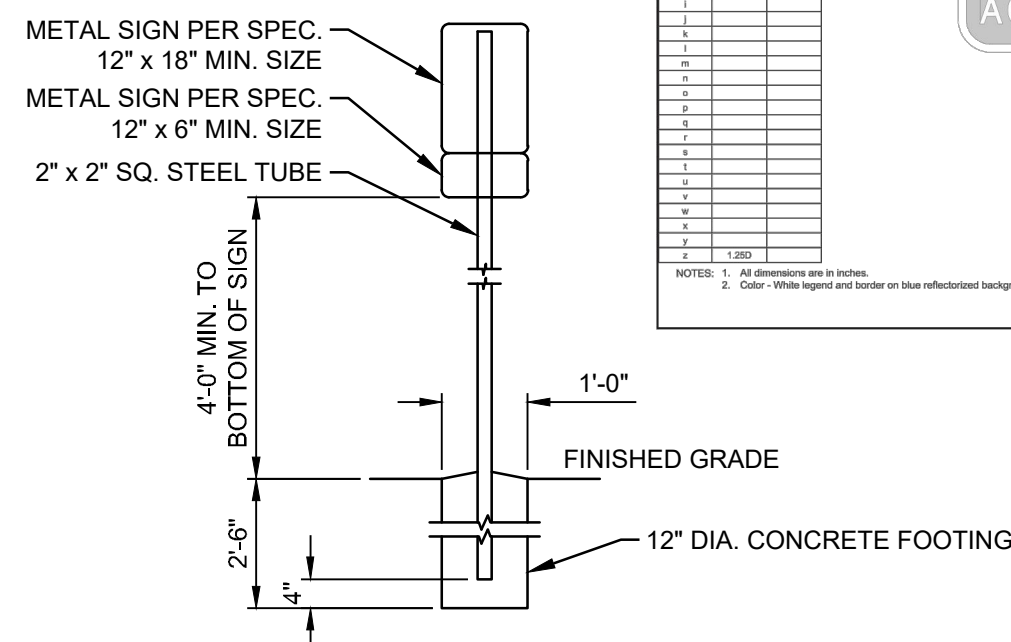
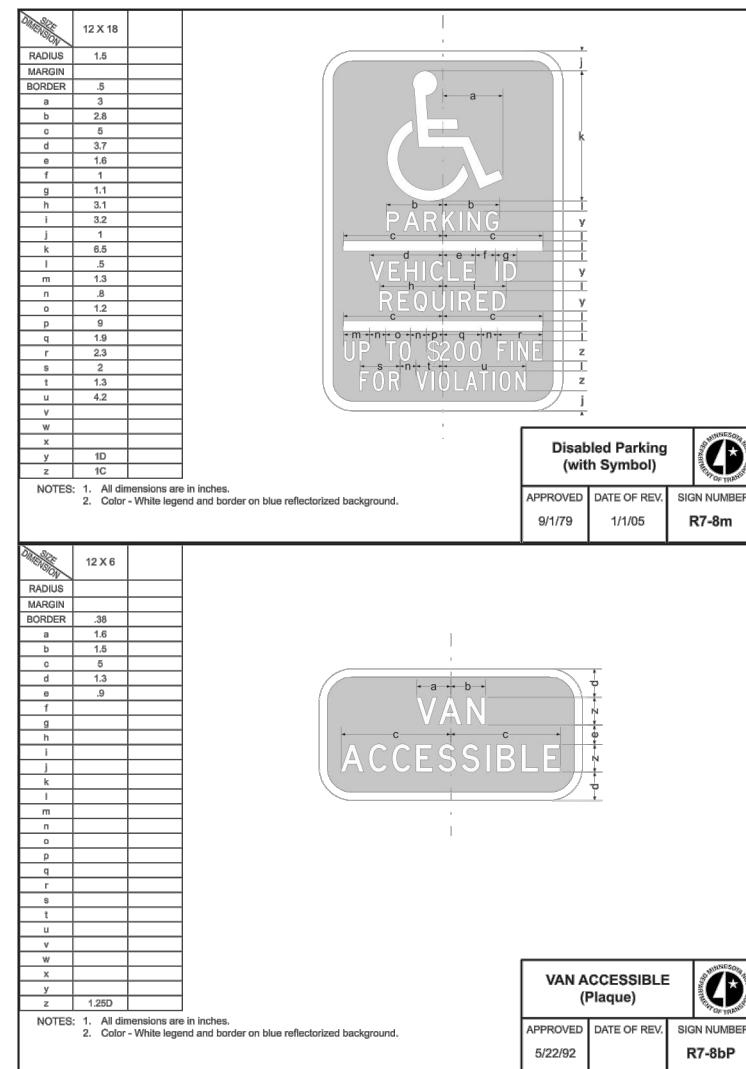
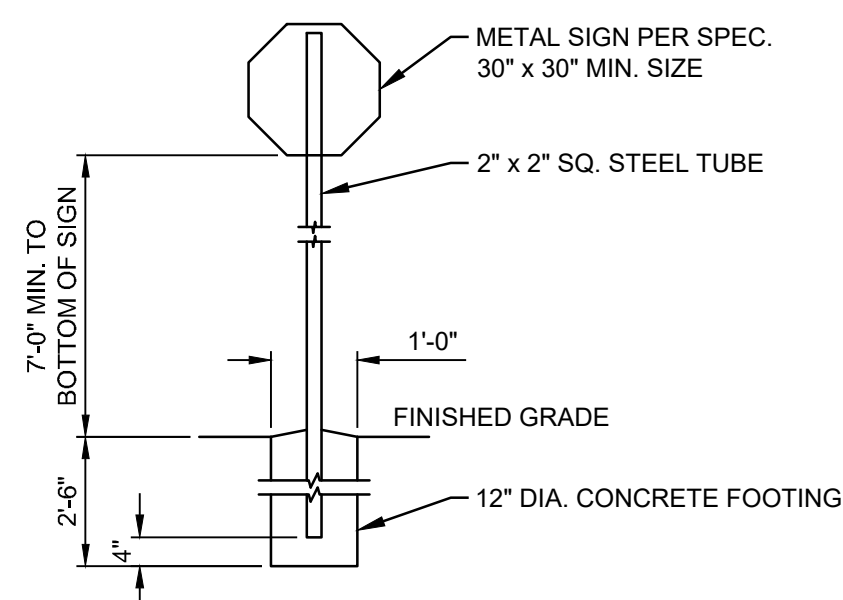
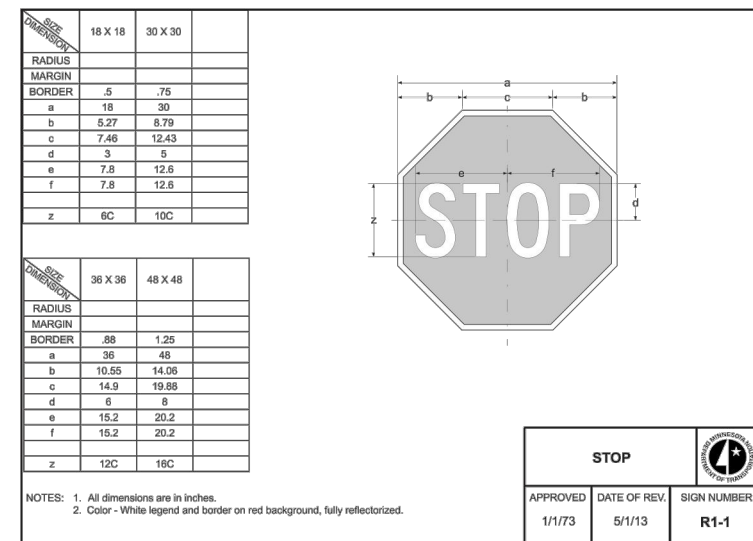
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11/08/2019
PROJECT No: 08-1893.00
CIVIL DETAILS

C804





POSITION HOLE IN CONE OR FLAT
SLAB ON UPSTREAM SIDE OF
MANHOLE.

[illegible]

LAKE ELMO INDEPENDENT LIVING, LLC

NEW INDEPENDENT LIVING FACILITY

LAKE ELMO, MINNESOTA

LAKE ELMO ASSISTED LIVING
LAKE ELMO, MN

MANHOLE SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECH SHEET #7 FOR MANHOLE SIZING GUIDANCE.

- DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANHOLE COMPONENTS IN THE FIELD.
- THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRAVING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET.
- THIS CHAMBER SYSTEM WAS DESIGNED WITHOUT SITE-SPECIFIC INFORMATION ON SOIL CONDITIONS OR BEARING CAPACITY. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR DETERMINING THE SUITABILITY OF THE SOIL AND PROVIDING THE BEARING CAPACITY OF THE INSITU SOILS. THE BASE STONE DEPTH MAY BE INCREASED OR DECREASED ONCE THIS INFORMATION IS PROVIDED.

SHEET
2 OF 5

NOT FOR CONSTRUCTION - PRELIMINARY - CITY FINAL PUD SUBMITTAL

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11/08/2019

PROJECT No: 08-1893.00

CIVIL DETAILS

C806

	MATERIAL LOCATION	DESCRIPTION	ASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER C STARTS FROM THE TOP OF THE C LAYER TO THE BOTTOM OF FILL AREA. PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE C LAYER	ANY SOIL/ROCK MATERIALS, NATIVE SOLS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBBASE REQUIREMENTS.	NA	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER C STARTS FROM THE TOP OF THE SUBGRADE TO THE TOP OF THE FINISHED GRADE. FILL ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE C LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE	ASHTO M45 ¹ A-1, A-2, A-3 OR ASHTO M3 ¹ 3, 357, 4, 407, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL, OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL, AND 90% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEMENTMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A LAYER) TO THE C LAYER ABOVE	CLEAN, CRUSHED, ANGULAR STONE	ASHTO M3 ¹ 3, 4	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	ASHTO M3 ¹ 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE ^{2,3}

1. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION #4878 DESIGNATION SS.



2. CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2737 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".

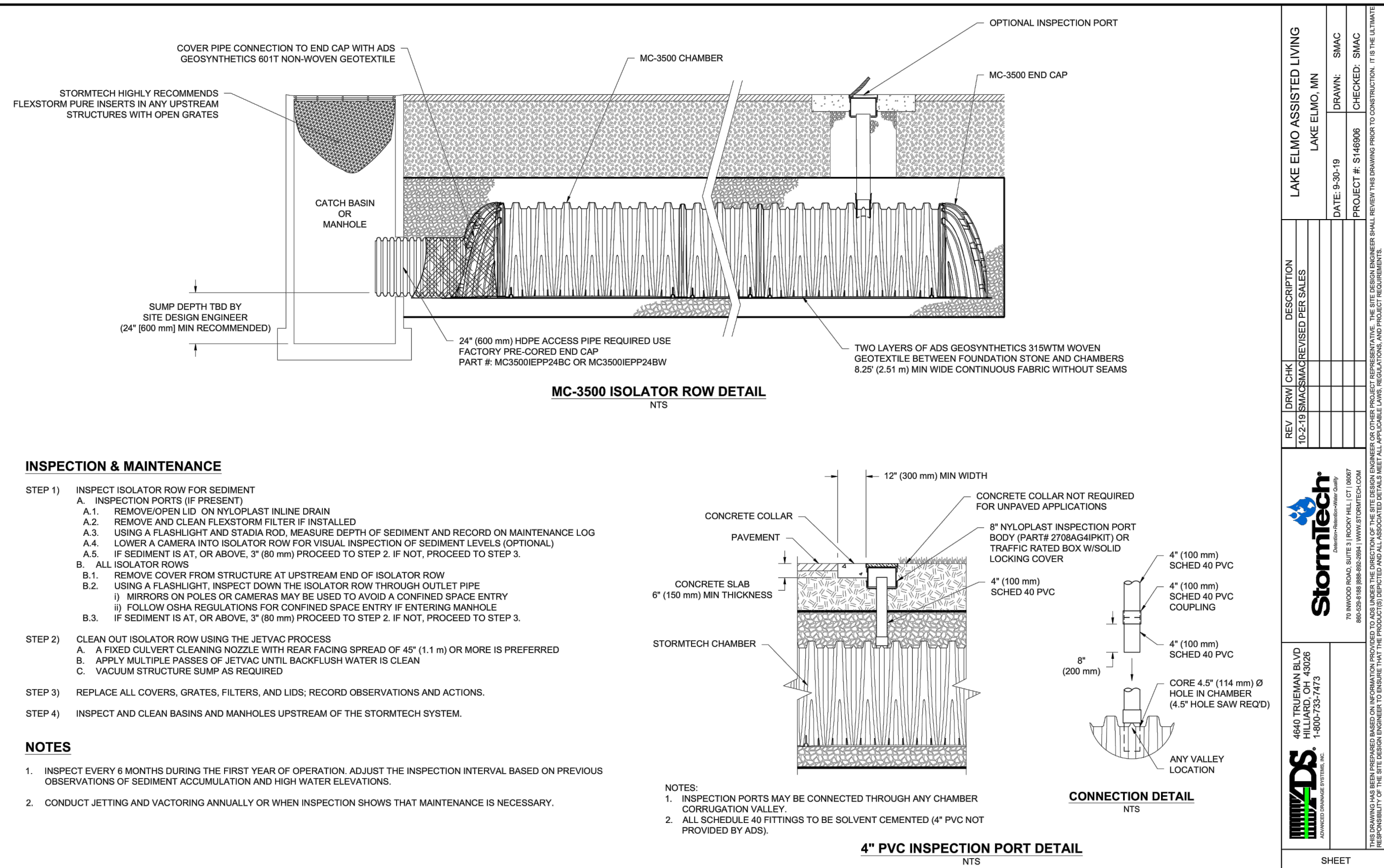
3. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.


4. PERMITTER STATE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.

REQUIREMENTS FOR HANDLING AND INSTALLATION

- TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
- TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
- TO PREVENT THE CHAMBERS FROM BEING ANCHORED TO THE EXCAVATION WALL, THE ANCHOR STRESSING CONSTANT AS DEFINED IN SECTION 05050 SHALL BE 0.8 IF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 500 LBS/SQ. YD.
- TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORED POLYPROPYLENE.

 <small>DESIGN SERVICES, INC.</small>	4400 TREHMAN BLVD HILLIARD, OH 43026 1-800-753-7473		 <small>Stormtech Inc.</small> 7000 WYOMING AVE 44024-1000		REV: (RW) CHK 02-19 SMC/MC/REVISED FOR SALES		LAKE ELMO ASSISTED LIVING LAKE ELMO, MN		DATE: 03-0-19		DRAWN: SMC SMC	
	SHEET 3 OF 5		PROJECT # S146906 PROJECT # S146906		PROJECT # S146906 PROJECT # S146906		PROJECT # S146906 PROJECT # S146906		PROJECT # S146906 PROJECT # S146906		PROJECT # S146906 PROJECT # S146906	



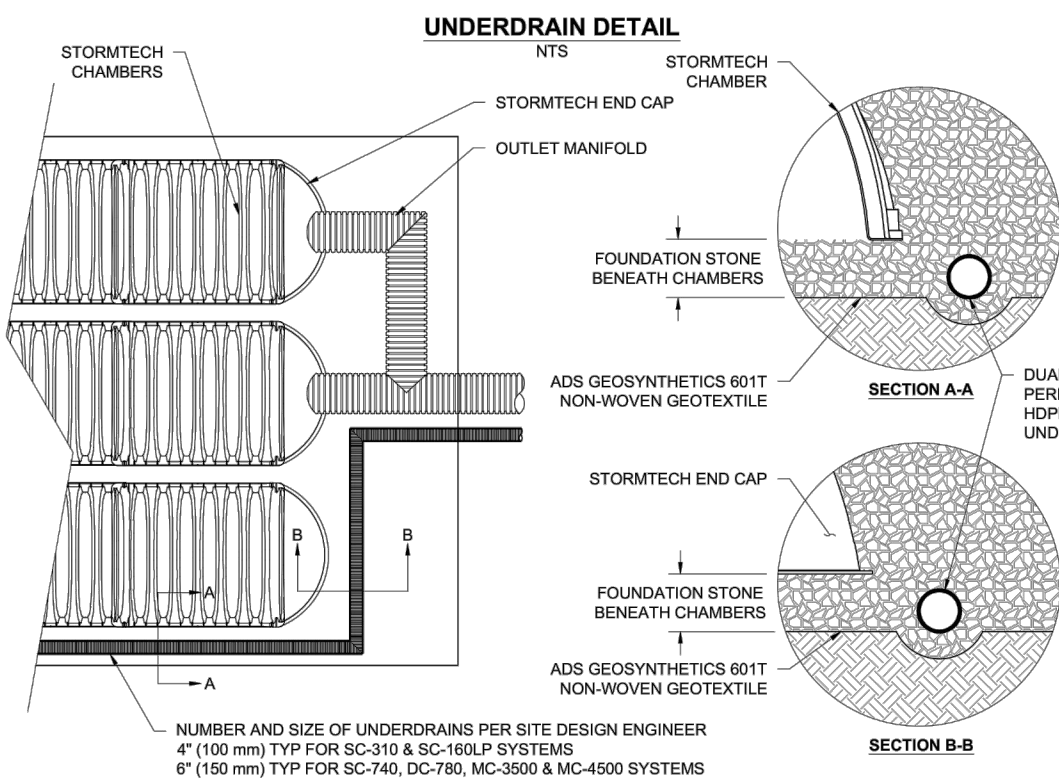
 Stormtech <small>Stormtech Roofing & Siding Inc.</small>		LAKELAND, FL 33909 TEL: 813-888-8888 FAX: 813-888-8888 WWW.STORMTECH.COM	
4640 TWINLAN BLVD HILLCREST, FL 33505 1-800-735-7473	REV. 02-19 DESCRIPTION 30x36x12 SHED FOR SALES	DATE 8-30-19 DRAWN: SMAC	LAKELAND, FL 33909 PROJECT # S146906
SHEET 4 OF 5		DATE 8-30-19 DRAWN: SMAC	

[illegible]

LAKE ELMO INDEPENDENT LIVING, LLC

NEW INDEPENDENT LIVING FACILITY

LAKE ELMO, MINNESOTA



NOTE: MANIFOLD STUB MUST BE LAID HORIZONTAL FOR A PROPER FIT IN END CAP OPENING.

NOMINAL CHAMBER SPECIFICATIONS		
SIZE (W X H X INSTALLED LENGTH)	77.0" X 45.0" X 86.0"	(1956 mm X 1143 mm X 2184 mm)
CHAMBER STORAGE	109.9 CUBIC FEET	(3.11 m ³)
MINIMUM INSTALLED STORAGE*	175.0 CUBIC FEET	(4.96 m ³)
WEIGHT	134 lbs.	(60.8 kg)

NOMINAL END CAP SPECIFICATIONS		
SIZE (W X H X INSTALLED LENGTH)	75.0" X 45.0" X 22.2"	(1905 mm X 1143 mm X 564 mm)
END CAP STORAGE	14.9 CUBIC FEET	(0.42 m ³)
MINIMUM INSTALLED STORAGE*	45.1 CUBIC FEET	(1.26 m ³)
WEIGHT	49 lbs.	(22.2 kg)

*ASSUMES 12" (305 mm) STONE ABOVE, 9" (229 mm) STONE FOUNDATION, 6" SPACING BETWEEN CHAMBERS, 6" (152 mm) STONE PERIMETER IN FRONT OF END CAPS AND 40% STONE POROSITY

STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"
END CAPS WITH A WELDED CROWN PLATE END WITH "C"
END CAPS WITH A PREFABRICATED WELDED STUB END WITH "W"

PART #	STUB	B	C
MC3000EPP06T	6" (150 mm)	33.21" (844 mm)	0.66" (17 mm)
MC3000EPP06B	---	---	---
MC3000EPP08T	8" (200 mm)	31.16" (791 mm)	0.81" (21 mm)
MC3000EPP08B	---	---	---
MC3000EPP10T	10" (250 mm)	29.40" (738 mm)	0.93" (24 mm)
MC3000EPP10B	---	---	---
MC3000EPP12T	12" (300 mm)	26.36" (670 mm)	1.35" (34 mm)
MC3000EPP12B	---	---	---
MC3000EPP15T	15" (375 mm)	23.39" (594 mm)	1.57" (38 mm)
MC3000EPP15B	---	---	---
MC3000EPP18TC	---	20.03" (509 mm)	---
MC3000EPP18TB	18" (450 mm)	---	---
MC3000EPP18BC	---	---	1.77" (45 mm)
MC3000EPP18BW	---	---	---
MC3000EPP24TC	---	14.48" (368 mm)	---
MC3000EPP24TB	24" (600 mm)	---	---
MC3000EPP24BC	---	---	2.06" (52 mm)
MC3000EPP24BW	---	---	---
MC3000EPP30BC	30" (750 mm)	---	2.75" (70 mm)

NOTE: ALL DIMENSIONS ARE NOMINAL

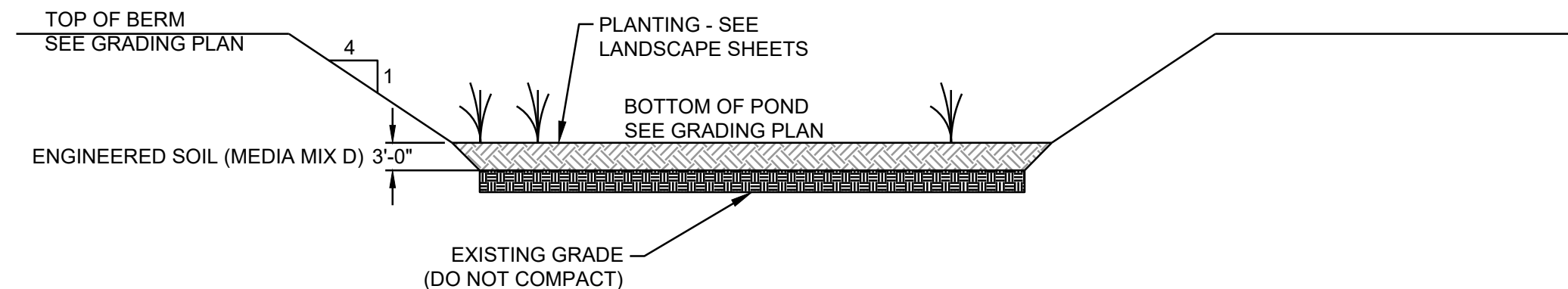
CUSTOM PRECURED INVERTS ARE AVAILABLE UPON REQUEST. INVENTORIED MANIFOLDS INCLUDE 12-24" (300-600 mm) SIZE ON SIZE AND 15-48" (375-1200 mm) ECCENTRIC MANIFOLDS. CUSTOM INVERT LOCATIONS ON THE MC-350 END CAP CUT IN THE FIELD ARE NOT RECOMMENDED FOR PIPE SIZES GREATER THAN 10" (250 mm). THE INVERT LOCATION IN COLUMN 'B' ARE THE HIGHEST POSSIBLE FOR THE PIPE SIZE.

Stormtech	REV	DRAWN	CHECKED	DESCRIPTION
STORMTECH INTERNATIONAL INC. 4600 TREHARNA RD HILLIARD OH 43026 1-800-753-7473	10/19	SMAAC	SMAAC	PER SALES
DATE: 8-30-10 DRAWN: SMAAC CHECKED: SMAAC				
PROJECT #: S146986				

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SHEET
5 OF **5**

- SEE PLAN FOR TOP OF BERM ELEVATION
- SEE PLAN FOR EMERGENCY OVERFLOW ELEVATION (IF REQ'D)
- SEE PLAN FOR POND BOTTOM AND OUTLET ELEVATIONS
- SEE PLAN FOR POND BOTTOM PLANTINGS



1

BIOFILTER SECTION

NOT TO SCALE

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AYRES
ASSOCIATES

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3433 Oakwood Hills Parkway
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River Falls Office
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River Falls, Wisconsin 54022
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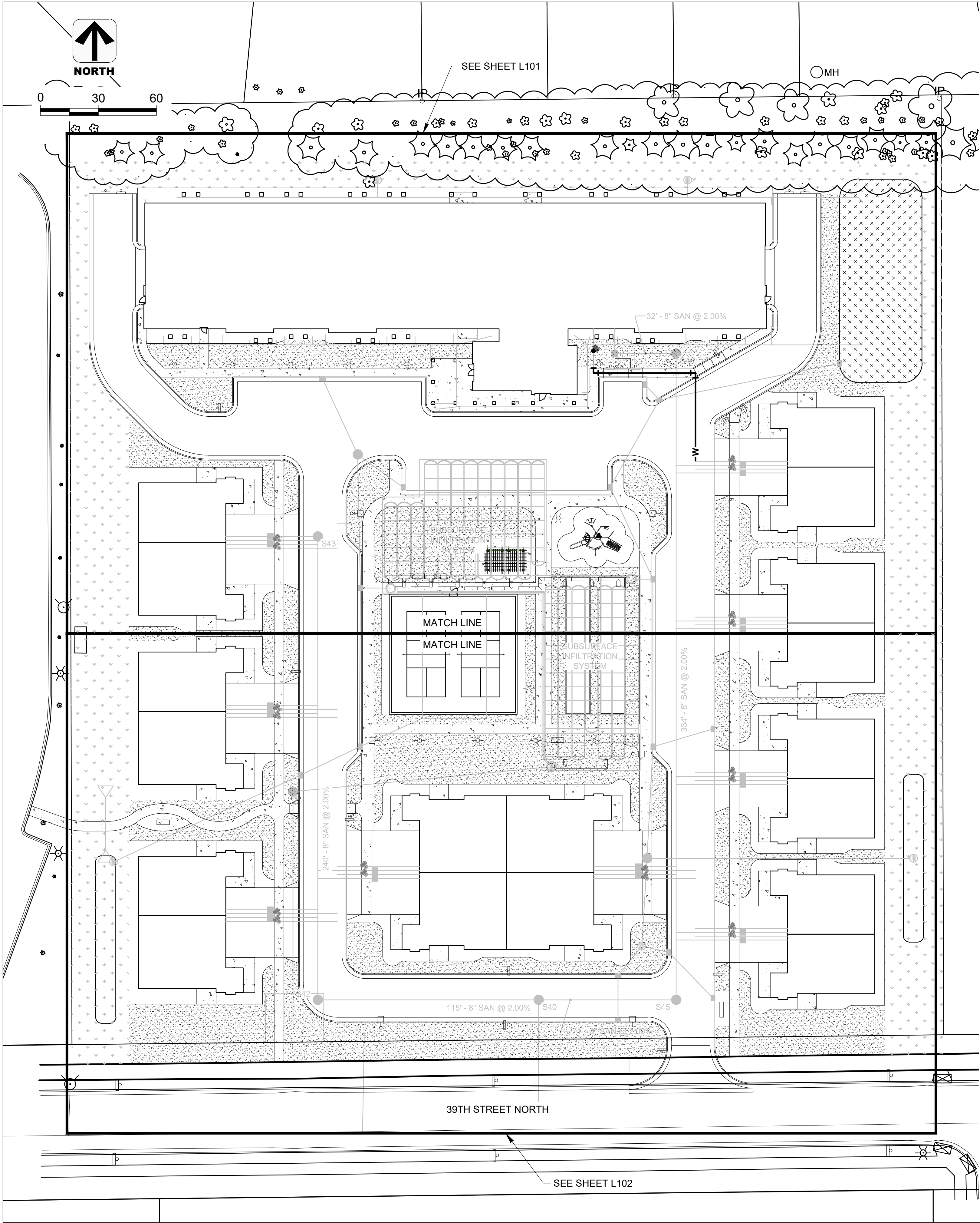
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11/08/2019

PROJECT No: 08-1893.00

CIVIL DETAILS

C807



LEGEND

- PROPERTY LINE
- APPROXIMATE LIMITS OF WORK
- ALUMINUM EDGING
- IRRIGATED SOD
- NON IRRIGATED LAWN SEED MIX

SOD AND LAWN SCHEDULE

GRASS MIX	31,054 sf	
Festuca brevipila / Hard Fescue	6,211 sf	20% - -
Festuca rubra / Red Fescue	6,211 sf	20% - -
Lolium perenne / Perennial Ryegrass	7,763 sf	25% - -
Poa pratensis / Kentucky Bluegrass	10,869 sf	35% - -
SOD	32,284 sf	
Poa pratensis / Kentucky Bluegrass		

GENERAL NOTES:

1. THIS PLAN DESCRIBES THE LANDSCAPE PORTION OF THE PROJECT ONLY. SEE OTHER SHEETS FOR SITE IMPROVEMENT INFORMATION.
2. AN IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED BY THE CONTRACTOR TO SUFFICIENTLY IRRIGATE THE PLANTED BEDS WITH DRIP IRRIGATION AND THE SOD AREAS WITH SPRAY OR ROTOR HEADS.
3. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON ALL DRAWINGS. IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE LABEL, PLAN SHALL GOVERN.
4. ALL PLANTS SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING, UNLESS OTHERWISE SPECIFIED OR DETAILED.
5. ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND.
6. WITH CONTAINER GROWN STOCK, THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN AT LEAST TWO VERTICAL LOCATIONS.
7. THE DAY PRIOR TO PLANTING. NOTIFY LANDSCAPE ARCHITECT ONE WEEK PRIOR TO DATE OF SITE VISIT.
8. ALL PLANTS SHALL BE INSTALLED PER DETAILS AND THE CONTRACT SPECIFICATIONS
9. ALL PLANTS AND STAKES SHALL BE SET PLUMB UNLESS OTHERWISE SPECIFIED
10. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST MAINTENANCE PERIOD.
11. THE LANDSCAPE CONTRACTOR SHALL REFER TO SPECIFICATIONS FOR SEASONAL REQUIREMENTS AND OTHER RESTRICTIONS RELATED TO THE TIME OF PLANTING.
12. PLANT MATERIAL SHALL NOT BE PRUNED UNLESS OTHERWISE INDICATED IN PLANTING SCHEDULE..
13. ALL PLANTING AREAS TO BE COVERED 3" DEEP WITH SPECIFIED MULCH. PLACE OVER WEED CONTROL FABRIC, UNLESS OTHERWISE NOTED
14. ANY PLANT SPECIES SUBSTITUTIONS MUST BE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT AND THE JURISDICTION HAVING AUTHORITY PRIOR TO INSTALLATION.

CITY OF LAKE ELMO STANDARD NOTES

1. PRIOR TO TREE STAKING AND PLANTING OPERATIONS CONTRACTOR MUST CONTACT GOPHER STATE ONE CALL (www.gopherstateonecall.org or 811) TO VERIFY UNDERGROUND UTILITIES. WHERE PRIVATE UTILITIES EXIST ON-SITE THE CONTRACTOR IS REQUIRED TO HAVE THOSE LOCATED AS WELL.
2. PLANT MATERIALS SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK: ANSI Z60.1 LATEST EDITION. [http://americanhort.org/documents/ANSI Nursery Stock Standards AmericanHort 2014.pdf](http://americanhort.org/documents/ANSI%20Nursery%20Stock%20Standards%20AmericanHort%202014.pdf)
3. NO PLANT SUBSTITUTIONS SHALL BE MADE WITHOUT THE PRIOR WRITTEN AUTHORIZATION FROM THE CITY.
4. ALL TREE PROTECTION MEASURES TO BE FIELD STAKED PRIOR TO INSTALLATION. CONTRACTOR TO COORDINATE FIELD REVIEW OF PROPOSED TREE PROTECTION LOCATIONS WITH THE CITY AND PROJECT LANDSCAPE ARCHITECT PRIOR TO ANY TREE PROTECTION INSTALLATION.
5. ALL TREE LOCATIONS TO BE FIELD STAKED PRIOR TO INSTALLATION. CONTRACTOR TO COORDINATE FIELD REVIEW OF PROPOSED TREE LOCATIONS WITH THE CITY AND PROJECT LANDSCAPE ARCHITECT PRIOR TO ANY TREE INSTALLATION.
6. ALL PLANTS SHALL BE PLANTED IMMEDIATELY UPON ARRIVAL TO PROJECT SITE. NO PLANT MATERIAL IS TO BE LEFT OVERNIGHT ON THE PROJECT SITE WITHOUT BEING INSTALLED UNLESS WRITTEN APPROVAL BY CITY.
7. ALL TREES, SHRUBS, PERENNIALS AND TURF LAWN TO HAVE A TWO YEAR WARRANTY BEGINNING UPON WRITTEN ACCEPTANCE BY THE CITY. DEFECTIVE PLANTS AS DETERMINED BY THE CITY SHALL BE REPLACED WITHIN 30 DAYS OF NOTICE DURING THE GROWING SEASON, AND REPLACEMENT MATERIALS SHALL RECEIVE THE SAME TWO YEAR WARRANTY UNTIL PLANTS ARE SUCCESSFULLY ESTABLISHED.
8. CONTRACTOR TO PROTECT AND MAINTAIN ALL PLANTINGS AND PLANT BEDS, INCLUDING PROTECTION FROM WILDLIFE, WEEDING, RE-MULCHING, FERTILIZATION, IRRIGATION AND ALL OTHER TYPICAL FORMS OF HORTICULTURAL CARE UNTIL THE END OF THE WARRANTY PERIOD AS DETERMINED AND APPROVED BY CITY.
9. ALL AREAS DISTURBED ADJACENT TO THE PROJECT SITE INCLUDING BOULEVARDS SHALL BE REPAIRED AND MAINTAINED PER CITY DIRECTION.
10. PROVIDE A THREE YEAR MAINTENANCE PLAN FOR ALL SEEDING OF PLANT MATERIALS/AREAS WITHIN ALL COMMERCIAL PROPERTIES, COMMONLY HELD HOA AREAS, CITY OUTLOTS AND R.O.W. AREAS.
11. ALL TREE, SHRUB AND PERENNIAL BEDS, WITHIN THE R.O.W. OR LOCATED ON COMMERCIAL PROPERTIES OR ON COMMONLY HELD HOA PROPERTY AND CITY OUTLOTS WITHIN DEVELOPMENTS ARE REQUIRED TO HAVE AN AUTOMATIC IRRIGATION SYSTEM DESIGNED BY AN EPA WATER SENSE CERTIFIED PROFESSIONAL. THIS PLAN IS REQUIRED FOR CITY REVIEW AT THE SAME TIME AS LANDSCAPE PLAN REVIEW.
12. ALL TRADITIONAL TURF LAWN AREAS WITHIN R.O.W. OR LOCATED ON COMMERCIAL PROPERTIES OR ON COMMONLY HELD HOA PROPERTY AND CITY OUTLOTS WITHIN DEVELOPMENTS ARE REQUIRED TO HAVE AN AUTOMATIC IRRIGATION SYSTEM DESIGNED BY AN EPA WATER SENSE CERTIFIED PROFESSIONAL. THIS PLAN IS REQUIRED FOR CITY REVIEW AT TIME OF LANDSCAPE PLAN REVIEW.

Landscape Architect

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota

Signature:

Typed or Printed Name BLAKE A. THEISEN

Date: 10-25-19 License Number: 53304

LAKE ELMO INDEPENDENT LIVING, LLC

NEW INDEPENDENT LIVING FACILITY

LAKE ELMO, MINNESOTA

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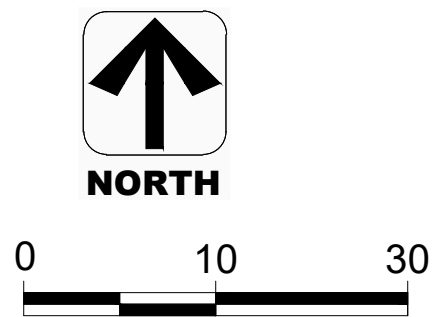
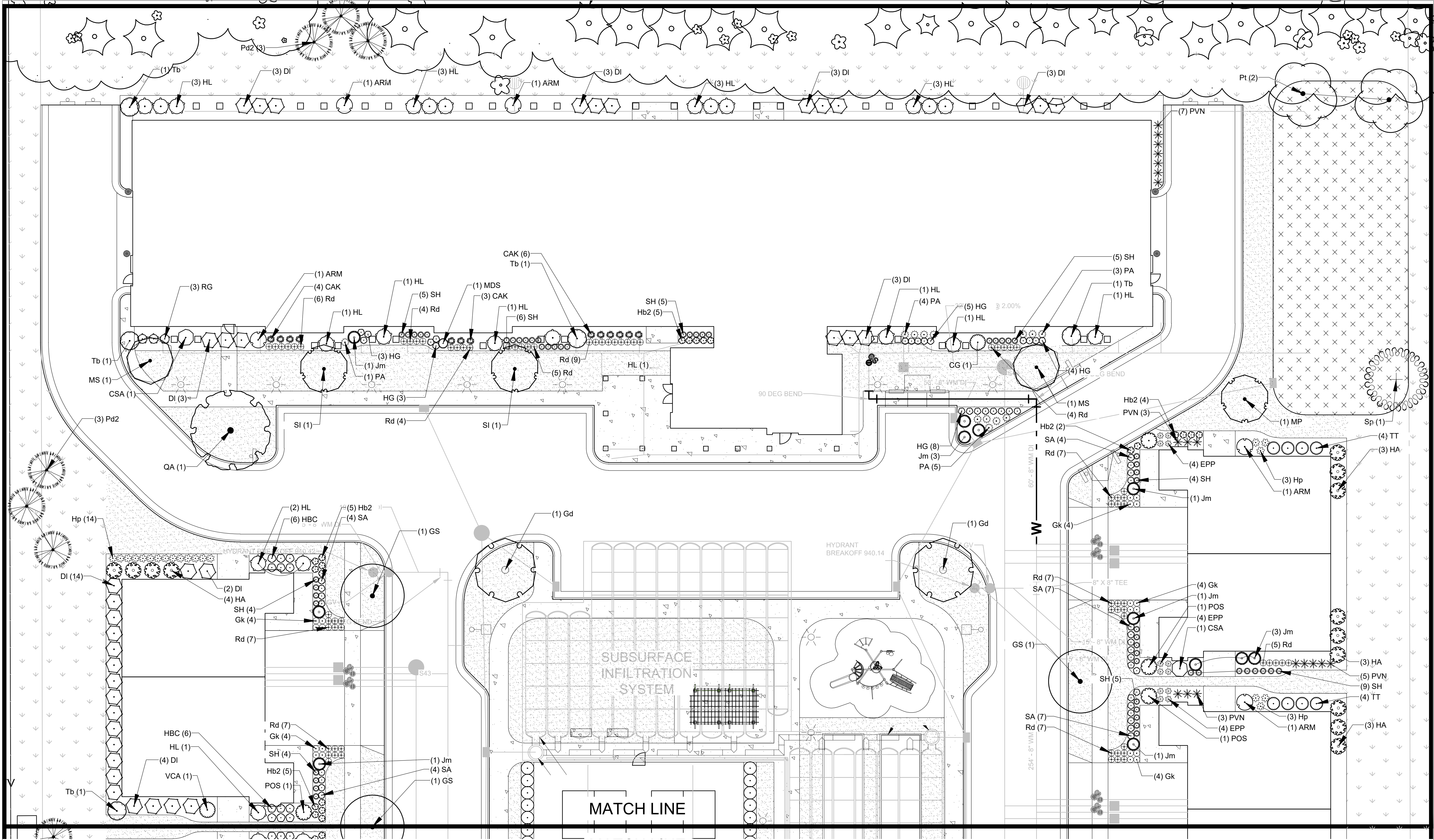
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River Falls Office
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River Falls, Wisconsin 54222
(715) 426-4808
Fax: (715) 426-5666

11/08/2019
PROJECT No: 08-1893.00
LANDSCAPE PLAN
L100



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MARK	DATE	DESCRIPTION

LAKE ELMO INDEPENDENT LIVING, LLC
NEW INDEPENDENT LIVING FACILITY
LAKE ELMO, MINNESOTA

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11/08/2019
PROJECT No: 08-1893.00
LANDSCAPE PLAN
L101



				Pf	AVERE	Eau Claire Office
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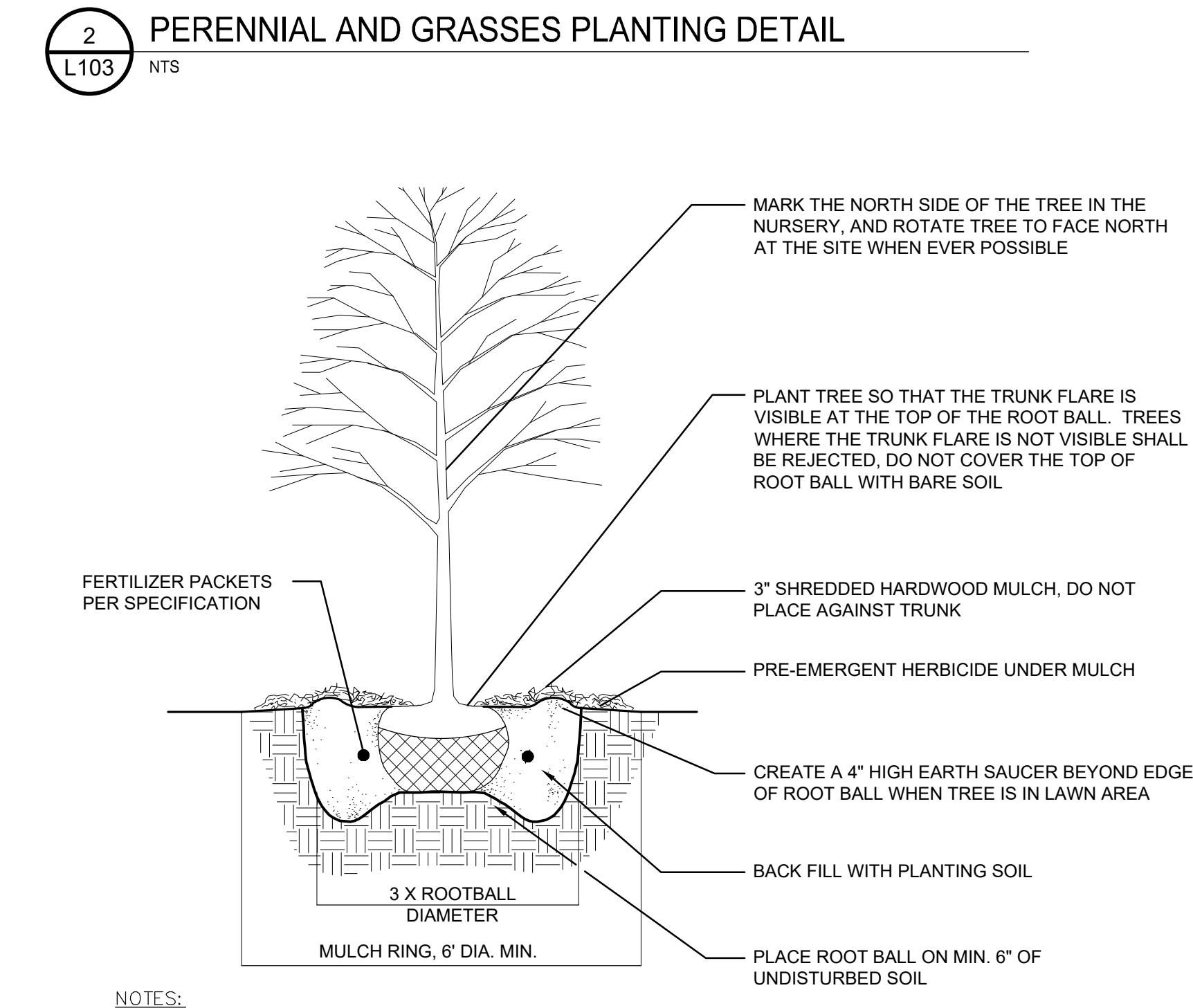
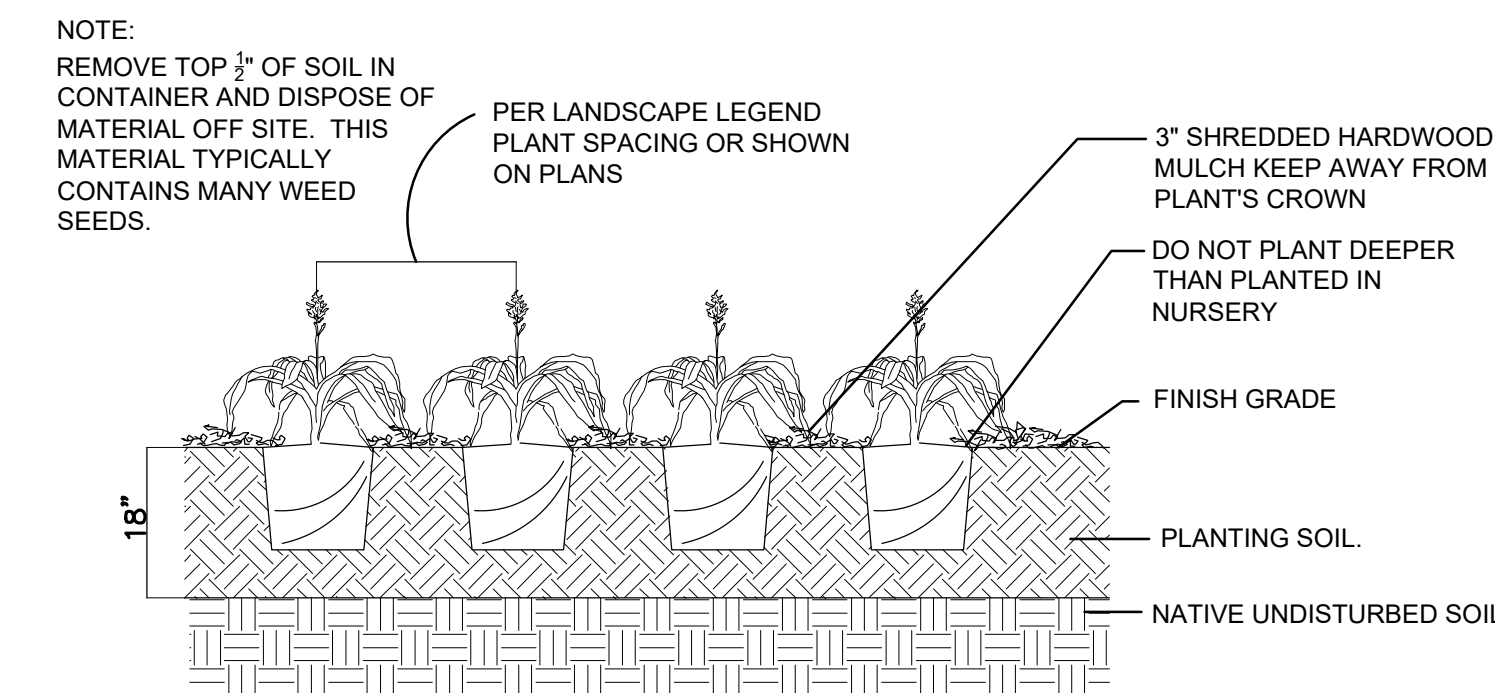
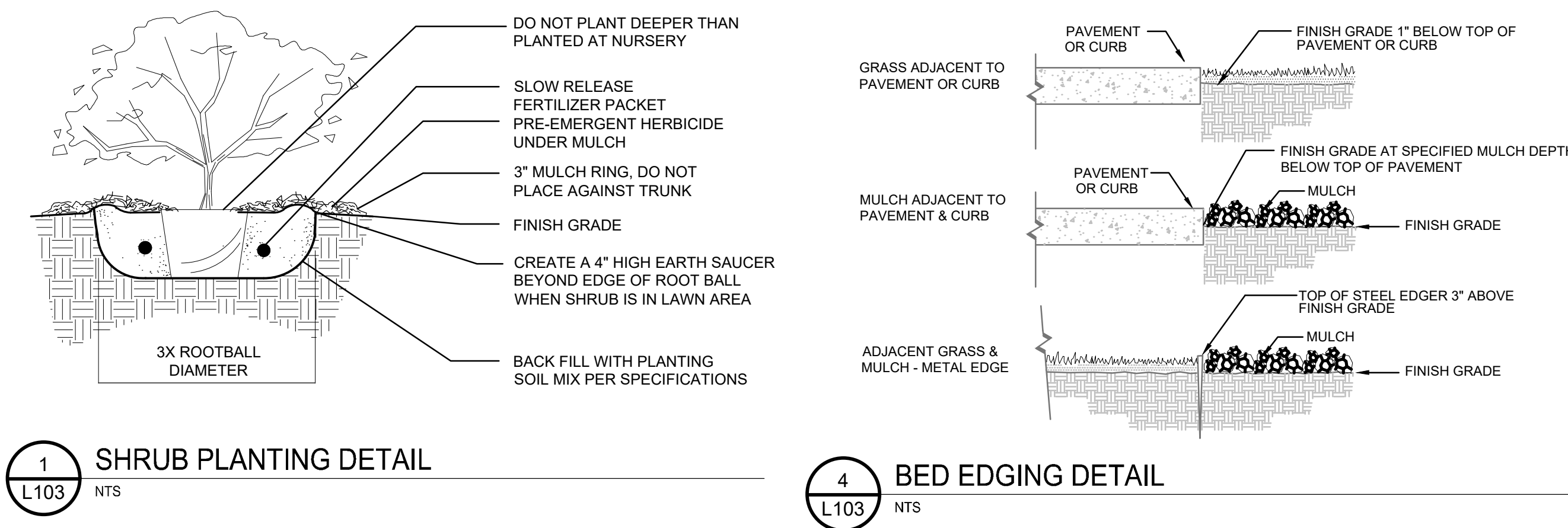
LAKE ELMO, MINNESOTA

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L102

Deciduous Trees	Botanical/Common
Aa2	ACER X FREEMANII `AUTUMN FANTASY` / FREEMAN MAPLE
GS	GLEDITSIA TRIACANTHOS `SKYLINE` / SKYLINE HONEY LOCUST
Gd	GYMNOCLADUS DIOICA `ESPRESSO` / KENTUCKY COFFEETREE
Pt	POPULUS TREMULOIDES / QUAKING ASPEN
QA	QUERCUS ACUMINATA / CHINKAPIN OAK
QB	QUERCUS BICOLOR / SWAMP WHITE OAK
UP	ULMUS AMERICANA `PRINCETON` / AMERICAN ELM
Evergreen Trees	Botanical/Common
Pd2	PICEA GLAUCA `DENSATA` / BLACK HILLS SPRUCE
PC	PICEA PUNGENS / COLORADO SPRUCE
Sp	SALIX X `PRAIRIE CASCADE` / PRAIRIE CASCADE WILLOW
Tb	THUJA OCCIDENTALIS `BRANDON` / BRANDON ARBORVITAE
Ornamental Trees	Botanical/Common
MS	MAGNOLIA STELLATA / STAR MAGNOLIA
MP	MALUS X `PRAIRIFIRE` / PRAIRIFIRE CRAB APPLE
SI	SYRINGA RETICULATA `IVORY SILK` / IVORY SILK JAPANESE TREE LILAC
Deciduous Shrubs	Botanical/Common
ARM	ARONIA MELANOCARPA `MORTON` TM / IROQUIS BEAUTY BLACK CHOKEBERRY
CSA	CORNUS STOLONIFERA `ARCTIC FIRE` / ARCTIC FIRE DOGWOOD
DI	DIERVILLA LONICERA / DWARF BUSH HONEYSUCKLE
HA	HYDRANGEA ARBORESCENS `ANNABELLE` / ANNABELLE SMOOTH HYDRANGEA
HL	HYDRANGEA PANICULATA `LIMELIGHT` TM / LIMELIGHT HYDRANGEA
POS	PHYSOCARPUS OPULIFOLIUS `SEWARD` / SEWARD NINEBARK
RG	RHUS AROMATICA `GRO-LOW` / GRO-LOW FRAGRANT SUMAC
RB	RHUS TYPHINA `BALTIMORE` TM / TIGER EYES SUMAC
VCA	VIBURNUM CARLESII / KOREAN SPICE VIBURNUM
Evergreen Shrubs	Botanical/Common
CG	CHAMAECYPARIS PISIFERA `GOLDEN MOP` / GOLDEN MOP THREADLEAF FALSE CYPRESS
Jm	JUNIPERUS SABINA `MINI-ARCADIA` / MINI ARCADIA JUNIPER
MDS	MICROBIOTA DECUSSATA / SIBERIAN CARPET CYPRESS
TT	TAXUS X MEDIA `TAUNTONI` / TAUNTON YEW
Perennials	Botanical/Common
EPP	ECHINACEA PURPUREA / PURPLE CONEFLOWER
Gk	GERANIUM X CANTABRIGIENSE `KARMINA` / BLOOMING CRANESBILL
HG	HEMEROCALLIS X `GOING BANANAS` / DAYLILY
Hb2	HEUCHERA X `BERRY SMOOTHIE` / BERRY SMOOTHIE CORAL BELLS
HBC	HOSTA X `BRIM CUP` / PLANTAIN LILY
Hp	HOSTA X `PARADIGM` / PLANTAIN LILY
PA	PEROVSKIA ATRIPLICIFOLIA / RUSSIAN SAGE
PI	PEROVSKIA ATRIPLICIFOLIA `LITTLE SPIRE` TM / LITTLE SPIRE RUSSIAN SAGE
Rd	RUDBECKIA FULGIDA DEAMII / DEAM'S CONEFLOWER
SA	SEDUM X `AUTUMN FIRE` / AUTUMN FIRE SEDUM
Grasses	Botanical/Common
CAK	CALAMAGROSTIS X ACUTIFLORA `KARL FOERSTER` / FEATHER REED GRASS
PVN	PANICUM VIRGATUM `NORTH WIND` / NORTHWIND SWITCH GRASS
SH	SPOROBOLUS HETEROLEPIS / PRAIRIE DROPSEED

Cont	Size	Quantity
B & B	2.5" CAL.	3
B & B	2.5" CAL.	6
B & B	2.5" CAL.	4
B & B	2.5" CAL.	5
B & B	2.5" CAL.	1
B & B	2.5" CAL.	2
B & B	2.5" CAL.	3
Cont	Size	Quantity
B & B	6-8` H	9
B & B	6-8` H	2
B & B	2" CAL.	2
B & B	4' H	7
Cont	Size	Quantity
B & B	2" CAL.	2
B & B	2" CAL.	6
B & B	2" CAL.	4
Cont		Quantity
Cont	5 GAL	9
5 GAL	5 GAL	7
2 GAL.	5 GAL	76
2 GAL	5 GAL	36
2 GAL	5 GAL	28
5 GAL	5 GAL	15
5 GAL	5 GAL	35
2 GAL	5 GAL	1
5 GAL	5 GAL	3
Cont		Quantity
5 GAL	5 GAL	1
2 GAL.	5 GAL	40
5 GAL	5 GAL	1
5 GAL	5 GAL	25
Cont		Quantity
Cont	1 GAL	48
2 GAL.	1 GAL	72
1 GAL	1 GAL	23
2 GAL.	1 GAL	89
1 GAL	1 GAL	36
2 GAL.	1 GAL	46
1 GAL	1 GAL	14
2 GAL.	1 GAL	8
2 GAL.	1 GAL	192
1 GAL	1 GAL	90
Cont		Quantity
2 GAL	1 GAL	17
1 GAL	1 GAL	54
1 GAL	1 GAL	170



- NOTES:**
1. DO NOT HEAVILY PRUNE THE TREE AT PLANTING, PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERNAL TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN
 2. STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
 3. WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
 4. REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM TOP AND SIDES OF ROOT BALL.

[illegible]

LAKE ELMO INDEPENDENT LIVING, LLC
NEW INDEPENDENT LIVING FACILITY
LAKE ELMO, MINNESOTA

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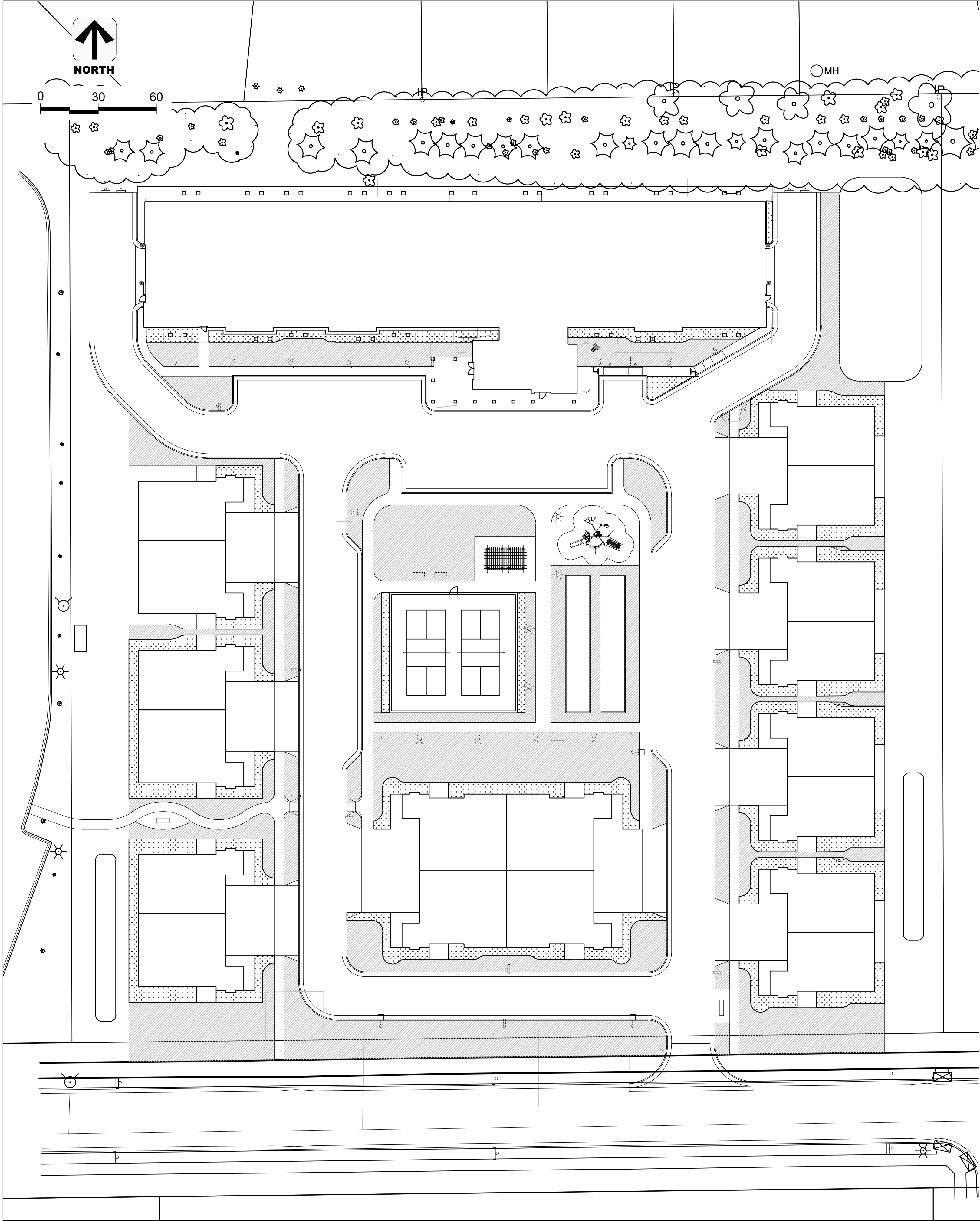
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11/08/2019
PROJECT No: 08-1893.00
LANDSCAPE DETAILS
L103



LEGEND

- IRRIGATED LAWN AREAS – LAWN AREAS TO BE IRRIGATED BY MICRO SPRAY OR ROTORS. CONTRACTOR TO MINIMIZE EXCESSIVE OVERSPRAY AND UTILIZE EFFICIENT FIXTURES.
- IRRIGATED LANDSCAPE BEDS – PLANTS IN THESE AREAS ARE TO BE IRRIGATED WITH MULTI-DRIIP EMITTERS. MINIMUM OF ONE EMITTER OUTLET PER PLANT.

NOTES:

- IRRIGATION LAYOUT IS SCHEMATIC ONLY. INSTALL ALL IRRIGATION COMPONENTS IN LANDSCAPE AREAS. ADJUST IRRIGATION LINES TO AVOID ANY AND ALL UTILITIES.
- CONTRACTOR TO USE EFFICIENT SPRAYS AND ROTORS TO MINIMIZE WATER LOSS.
- MIST STYLE SPRAY HEADS ARE NOT ALLOWED.
- IRRIGATION SYSTEM TO USE A SMART CONTROLLER THAT CONFORMS TO THE US EPA WATERSENSE PERFORMANCE CRITERIA. WATER SCHEDULING SHOULD ADJUST TO WEATHER CONDITIONS AND SEASONS.
- IRRIGATIONS SYSTEM TO USE A FLOW OR WATER LOSS SENSOR.
- CONTRACTOR TO ADJUST EXISTING CONTROLLER PROGRAM SCHEDULE TO GROWTH THROUGH ESTABLISHMENT AND MAINTENANCE PERIOD.
- IRRIGATION CONTRACTOR TO VERIFY LOCATION OF EXISTING WATER LINE AND TAP INTO.
- IRRIGATION CONTRACTOR TO SET BRASS BALL VALVE AFTER "T" CONNECTIONS.
- CONTRACTOR TO ENSURE ALL NEW LANDSCAPE MATERIAL TO RECEIVE ADEQUATE IRRIGATION. ENSURE EXISTING LANDSCAPE MAINTAINS POSITIVE IRRIGATION.
- CHECK AND VERIFY ALL SITE CONDITIONS, UTILITIES AND SERVICES PRIOR TO TRENCHING.
- ADJUST ANY SPRAY HEAD/EMITTERS THAT ARE IN CONFLICT WITH LIGHTS, BUILDING, OR ANY SITE IMPROVEMENTS.
- ALL VALVE AND BOX COVERS TO MATCH.
- ALL PIPING OR WIRING UNDER ROADS, DRIVES OR SIDEWALKS TO BE INSTALLED IN SCHEDULE 40 PVC SLEEVING
- ALL PIPING AND SLEEVES INSTALLED UNDER PAVING SHALL BE INSTALLED PRIOR TO PAVING WORK. CONTRACTOR TO COORDINATE. NO Ts, Ls, OR OTHER TURNS IN PIPING SHALL BE LOCATED UNDER PAVEMENT.
- CONTRACTOR TO LABEL ALL VALVES CLEARLY.
- PLACE ALL VALVES IN APPROPRIATE VALVE BOXES.
- COORDINATE IRRIGATION WORK WITH PLANTING PLANS TO AVOID CONFLICTING LOCATIONS BETWEEN PIPING AND PLANT PITTS.

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11/08/2019
PROJECT No: 08-1893.00

IRRIGATION PLAN

L104

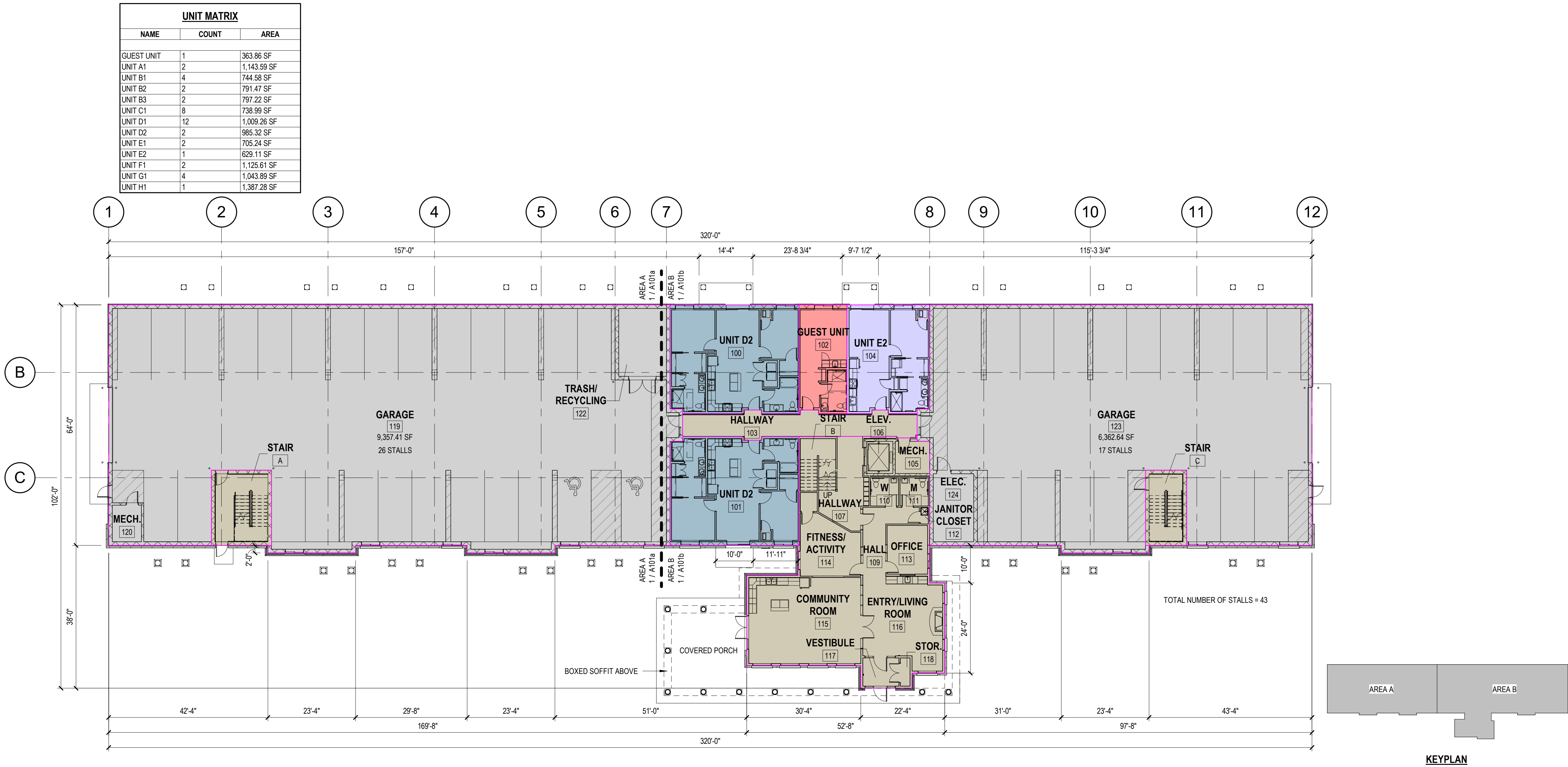
LAKE ELMO INDEPENDENT LIVING, LLC
NEW INDEPENDENT LIVING FACILITY
LAKE ELMO, MINNESOTA

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1
A101

FIRST FLOOR

SCALE: 1/16" = 1'-0"



FIRST FLOOR = 22,200 S.F. / TOTAL = 65,552 S.F.

KEYPLAN



NORTH

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PROJECT No: 08-1893.00

FIRST FLOOR PLAN

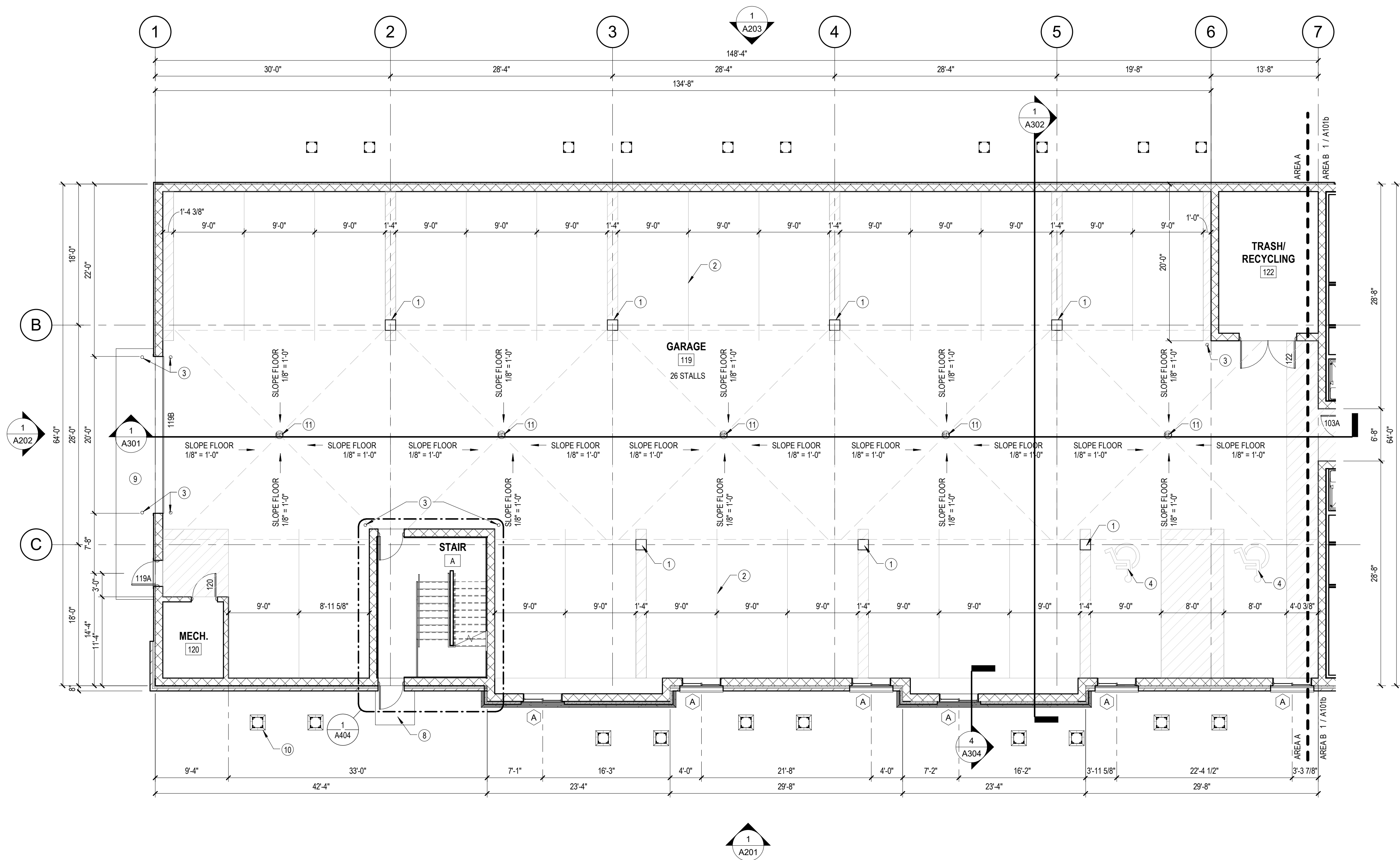
A101

LAKE ELMO INDEPENDENT LIVING, LLC

NEW INDEPENDENT LIVING FACILITY

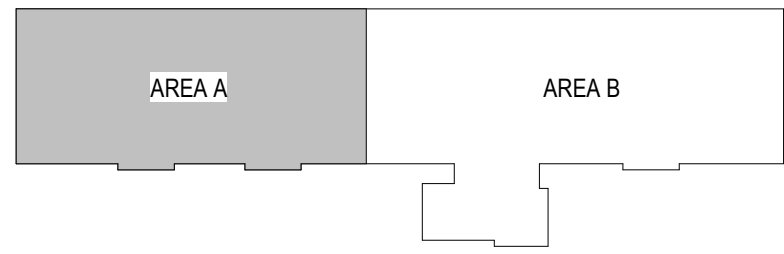
LAKE ELMO, MINNESOTA

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1
A101a
FIRST FLOOR - AREA A
SCALE: 1/8" = 1'-0"

FIRST FLOOR = 22,200 S.F. / TOTAL = 65,552 S.F.



KEYPLAN

KEYNOTES (PARKING LEVEL)	
KEYNOTE #	NOTE
1	PRECAST CONCRETE COLUMN (SEE STRUCTURAL)
2	4" WIDE "WHITE" PAINTED PARKING LINES, TYPICAL
3	6" DIA. CONCRETE FILLED STEEL PIPE BOLLARD (SEE DETAIL XXXXXXXX)
4	PAINTED ACCESSIBLE PARKING SYMBOL
5	WALL MOUNTED PUSH PLATE ACTUATOR
6	PROVIDE ELECTRIC HEATER IN CEILING (SEE MECHANICAL)
7	MOP SINK (SEE PLUMBING)
8	CONCRETE STOOP 5' X 5'
9	CONCRETE APRON 32' X 5'
10	COLUMN BASE
11	FLOOR DRAIN
12	FIREPLACE
13	STONE HEARTH
14	POLYMER COMPOSITE COLUMN
15	BOXED SOFFIT ABOVE

DESIGN/ BUILD MECHANICAL & ELECTRICAL:

- THE DESIGN / BUILD ELECTRICAL CONTRACTOR SHALL PROVIDE ADEQUATE ILLUMINATION LEVELS AND EMERGENCY / EXIT LIGHTING AS REQUIRED PER CODE. LIGHT FIXTURE LAYOUTS SHOWN ARE FOR REFERENCE ONLY.
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LAKE ELMO, MINNESOTA

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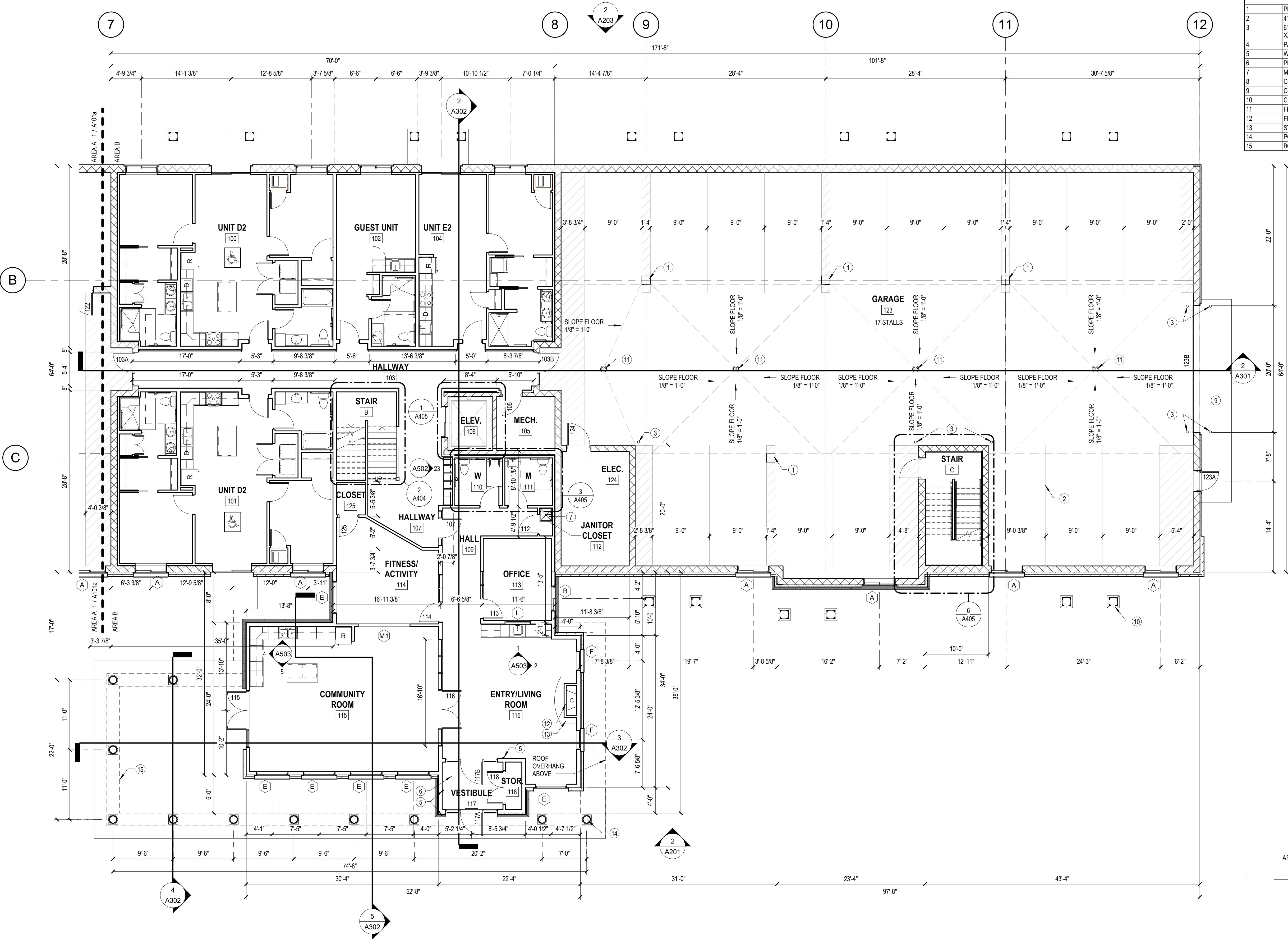
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PROJECT No: 08-1893.00
FIRST FLOOR AREA A PLAN

A101a

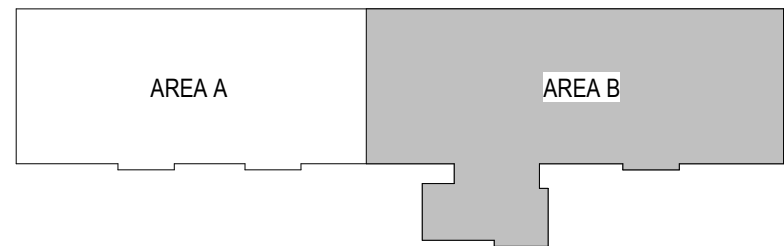
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1
A101b
FIRST FLOOR - AREA B
SCALE: 1/8" = 1'-0"



KEYNOTES (PARKING LEVEL)	
KEYNOTE #	NOTE
1	PRECAST CONCRETE COLUMN (SEE STRUCTURAL)
2	4" WIDE "WHITE" PAINTED PARKING LINES, TYPICAL
3	6" DIA. CONCRETE FILLED STEEL PIPE BOLLARD (SEE DETAIL XXXXXXXX)
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KEYPLAN



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LAKE ELMO, MINNESOTA

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FIRST FLOOR AREA B PLAN

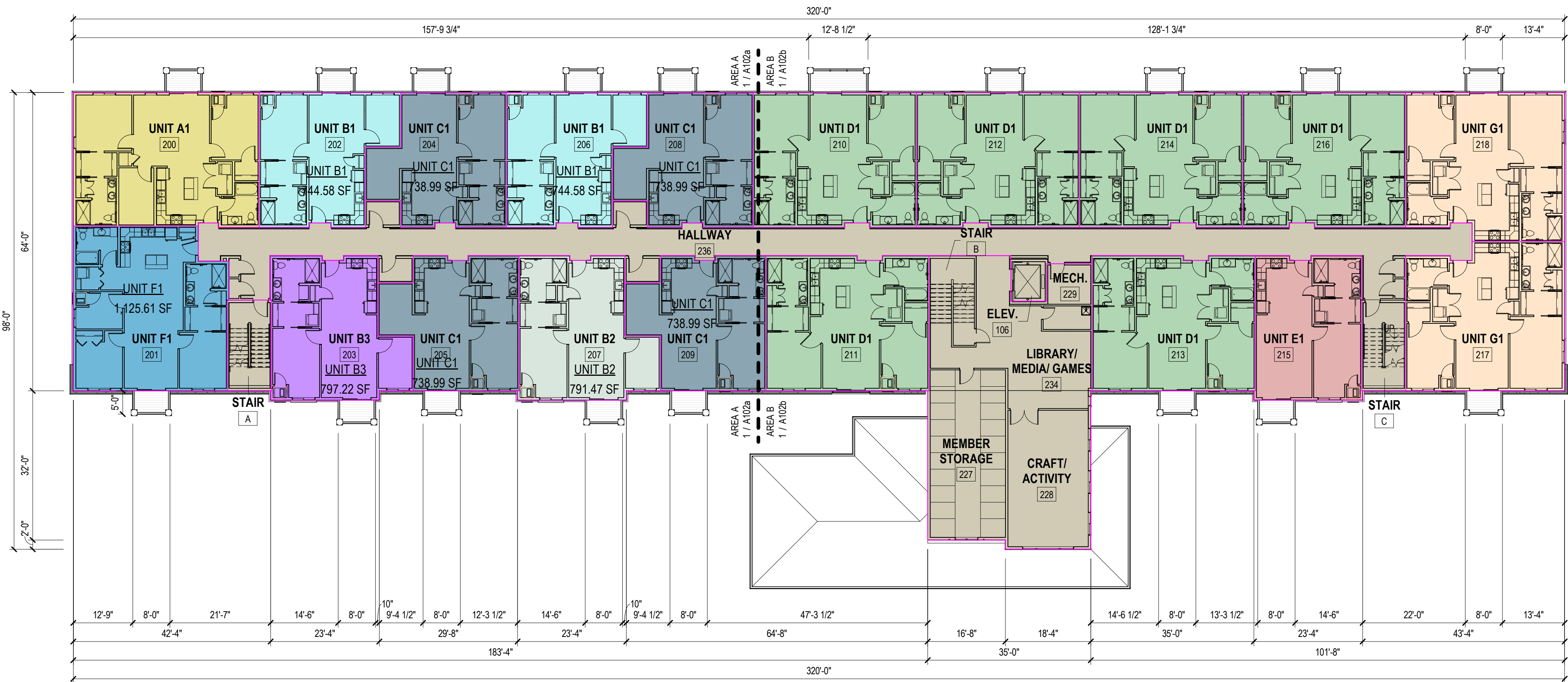
A101b

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1
A102

SECOND FLOOR

SCALE: 1/16" = 1'-0"



SECOND FLOOR = 21,776 S.F. / TOTAL = 65,552 S.F.

KEYPLAN



UNIT MATRIX		
NAME	COUNT	AREA
GUEST UNIT	1	363.86 SF
UNIT A1	2	1,143.59 SF
UNIT B1	4	744.58 SF
UNIT B2	2	791.47 SF
UNIT B3	2	797.22 SF
UNIT C1	8	738.99 SF
UNIT D1	12	1,009.26 SF
UNIT D2	2	985.32 SF
UNIT E1	2	705.24 SF
UNIT E2	1	629.11 SF
UNIT F1	2	1,125.61 SF
UNIT G1	4	1,043.89 SF
UNIT H1	1	1,387.28 SF

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11.06.2019
PROJECT No: 08-1893.00
SECOND FLOOR PLAN
A102

LAKE ELMO INDEPENDENT LIVING, LLC

NEW INDEPENDENT LIVING FACILITY

LAKE ELMO, MINNESOTA

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KEYNOTE (FLOOR PLANS)	
KEYNOTE #	NOTE
1	MOP SINK, SEE PLUMBING

MARK	DATE	DESCRIPTION

LAKE ELMO INDEPENDENT LIVING, LLC

NEW INDEPENDENT LIVING FACILITY

LAKE ELMO, MINNESOTA

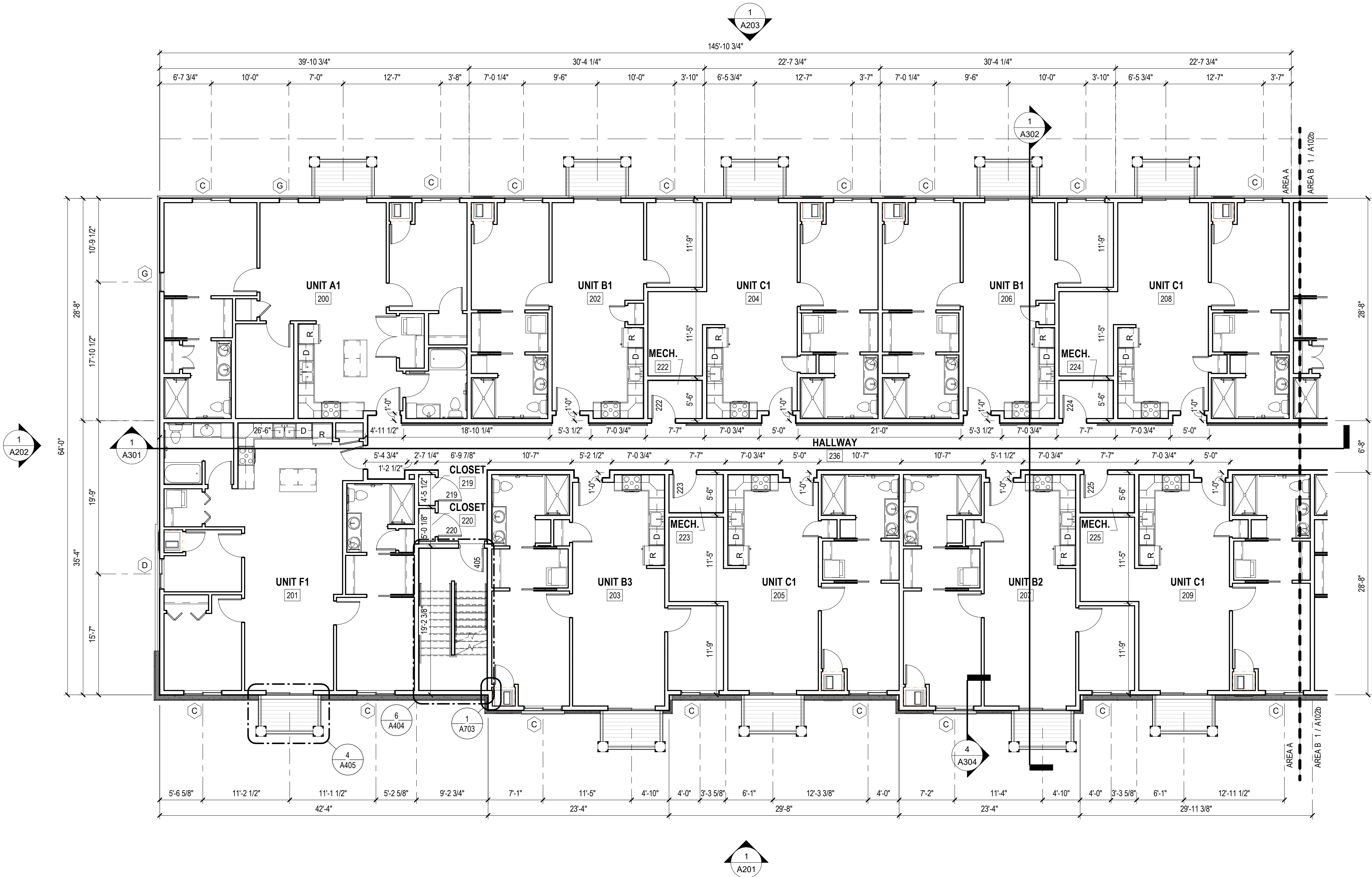
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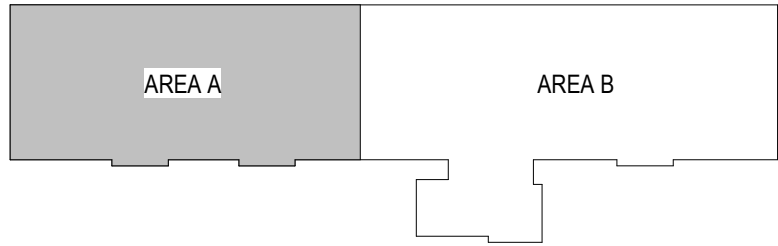
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PROJECT No: 08-1893.00
SECOND FLOOR AREA A PLAN
A102a



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KEYPLAN

1 A102a SECOND FLOOR - AREA A
SCALE: 1/8" = 1'-0"

SECOND FLOOR = 21,776 S.F. / TOTAL = 65,552 S.F.



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<u>KEYNOTE (FLOOR PLANS)</u>	
KEYNOTE #	NOTE
1	MOP SINK. SEE PLUMBING

[illegible]

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NEW INDEPENDENT LIVING FACILITY

LAKE ELMO, MINNESOTA

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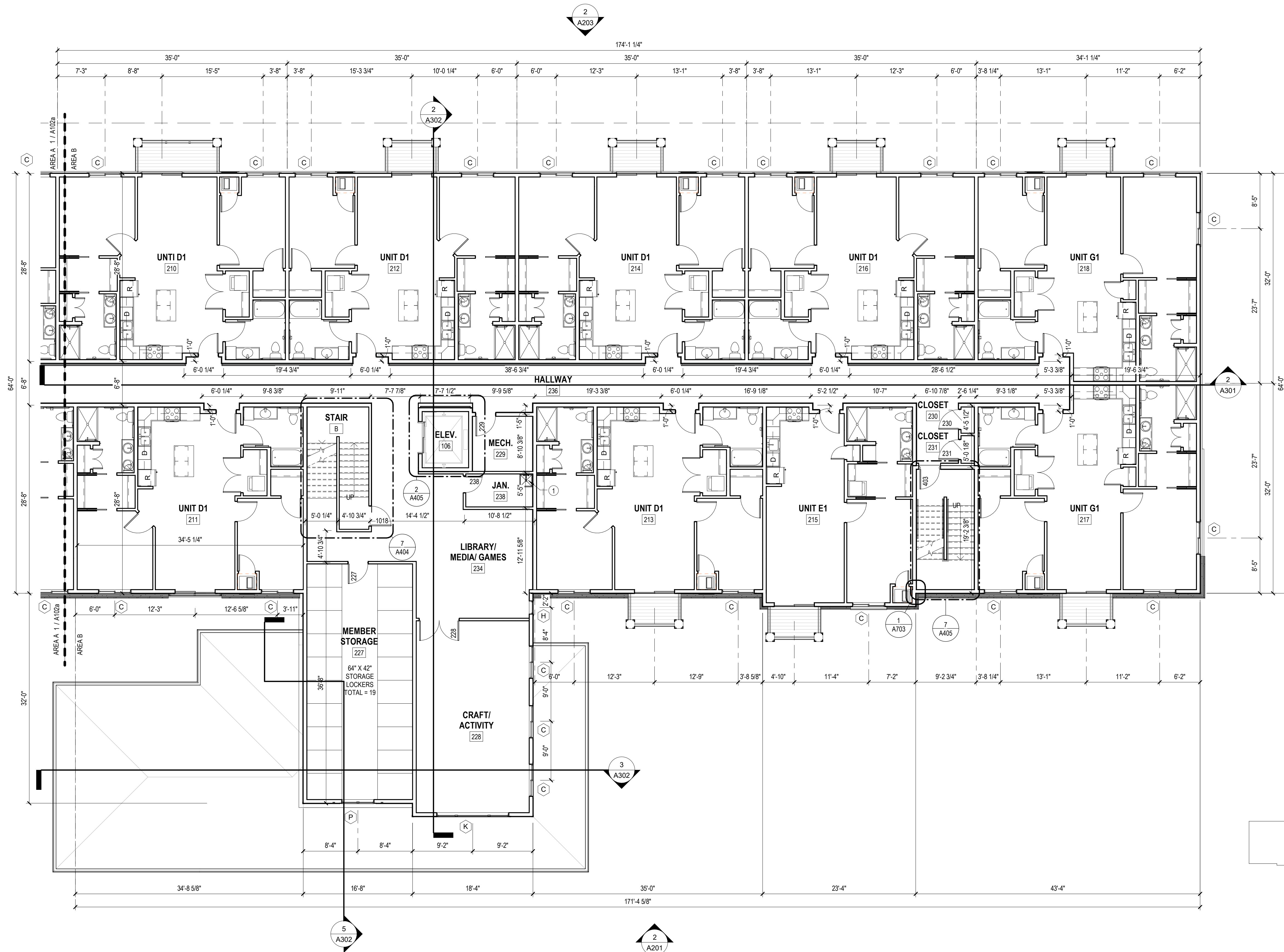
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PROJECT No: 08-1893.00

SECOND FLOOR AREA B PLAN

A102b



DESIGN/ BUILD MECHANICAL & ELECTRICAL:

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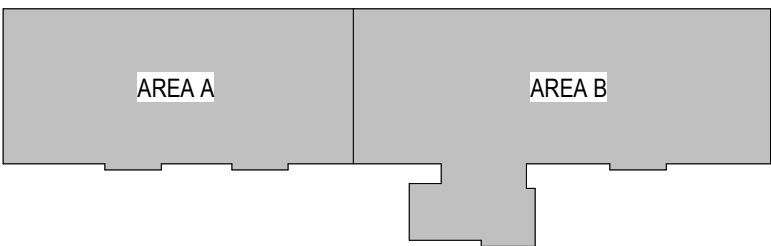
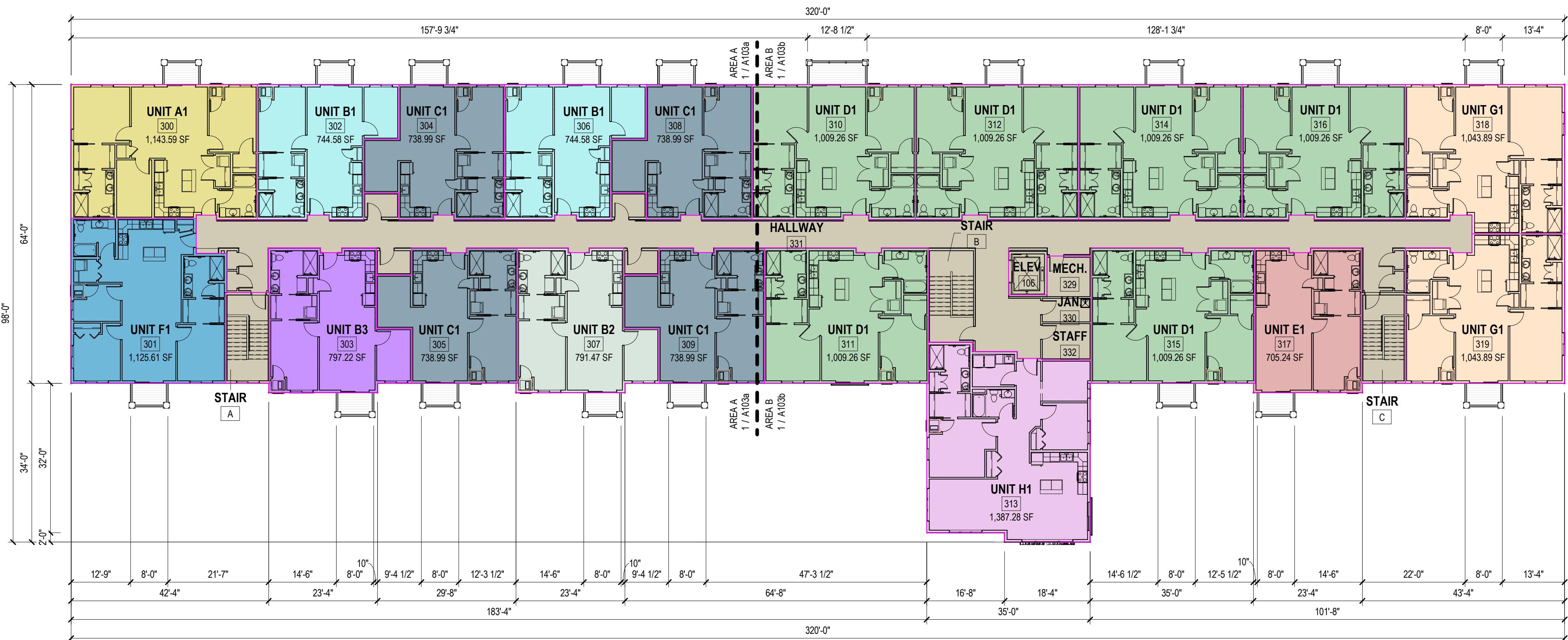
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1
A103

THIRD FLOOR

SCALE: 1/16" = 1'-0"



KEYPLAN



THIRD FLOOR = 21,776 S.F. / TOTAL = 65,552 S.F.

UNIT MATRIX		
NAME	COUNT	AREA
GUEST UNIT	1	363.86 SF
UNIT A1	2	1,143.59 SF
UNIT B1	4	744.58 SF
UNIT B2	2	791.47 SF
UNIT B3	2	797.22 SF
UNIT C1	8	738.99 SF
UNIT D1	12	1,009.26 SF
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UNIT E2	1	629.11 SF
UNIT F1	2	1,125.61 SF
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11.06.2019
PROJECT No: 08-1893.00
THIRD FLOOR PLAN
A103

LAKE ELMO INDEPENDENT LIVING, LLC

NEW INDEPENDENT LIVING FACILITY

LAKE ELMO, MINNESOTA

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KEYNOTE (FLOOR PLANS)	
KEYNOTE #	NOTE
1	MOP SINK, SEE PLUMBING

MARK	DATE	DESCRIPTION

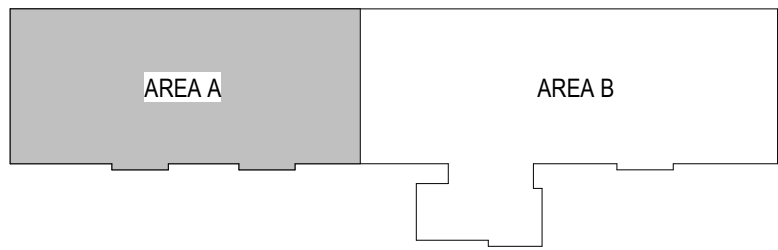
LAKE ELMO INDEPENDENT LIVING, LLC

NEW INDEPENDENT LIVING FACILITY

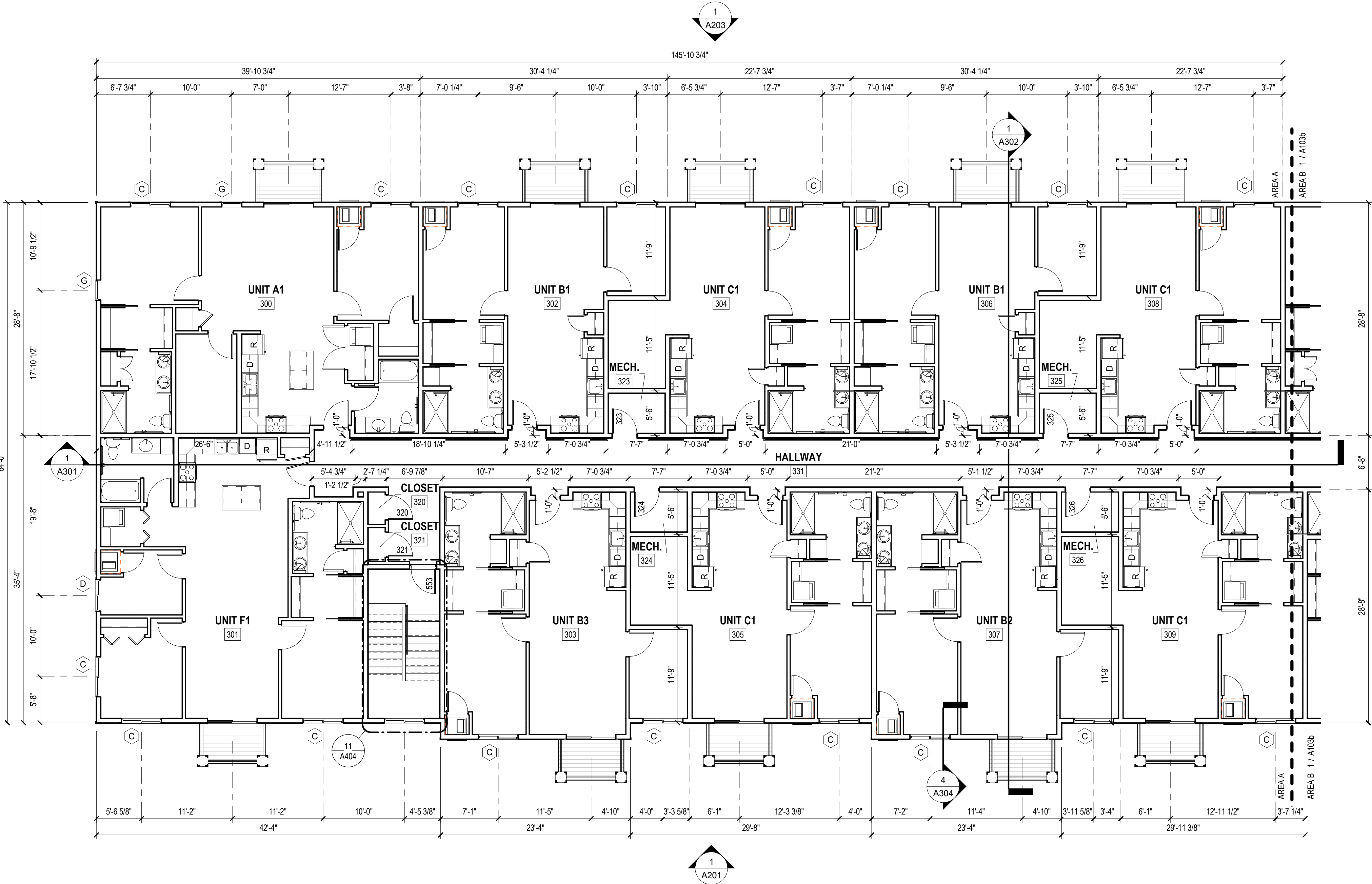
LAKE ELMO, MINNESOTA

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KEYPLAN



1 A103a THIRD FLOOR - AREA A
SCALE: 1/8" = 1'-0"

THIRD FLOOR = 21,776 S.F. / TOTAL = 65,552 S.F.



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THIRD FLOOR AREA A PLAN

A103a

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A103b

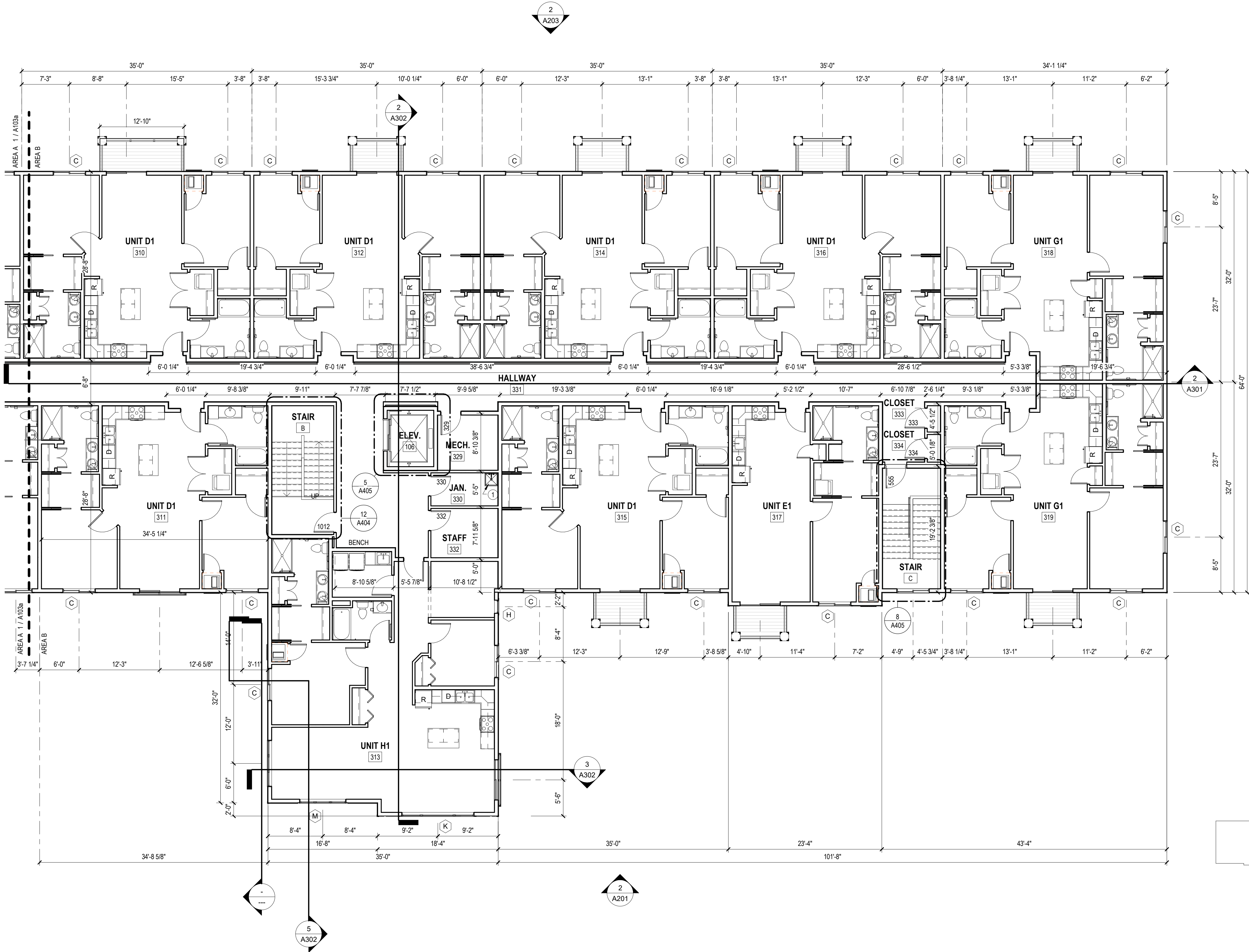
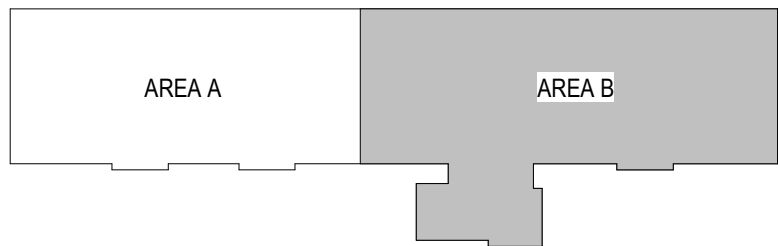
THIRD FLOOR - AREA B

SCALE: 1/8" = 1'-0"

THIRD FLOOR = 21,776 S.F. / TOTAL = 65,552 S.F.



KEYPLAN



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KEYNOTE (FLOOR PLANS)	
KEYNOTE #	NOTE
1	MOP SINK, SEE PLUMBING

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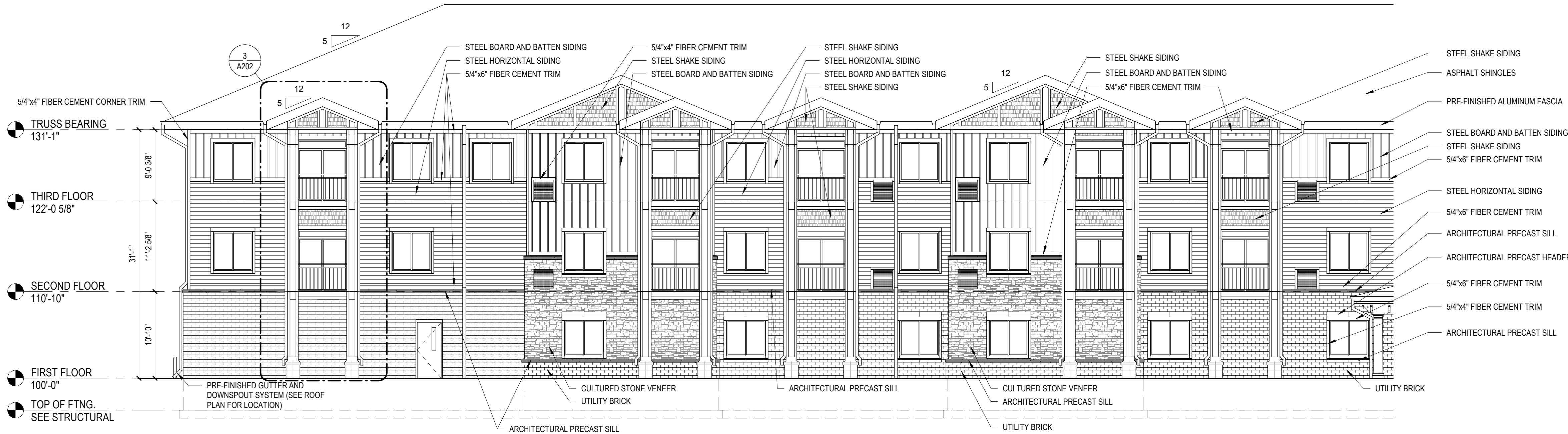
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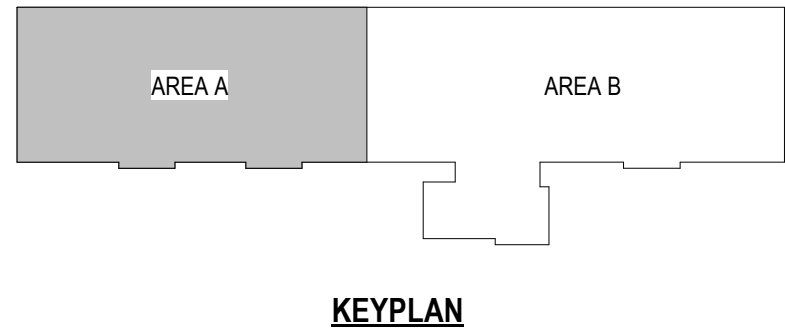
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PROJECT No: 08-1893.00
THIRD FLOOR AREA B PLAN

A103b

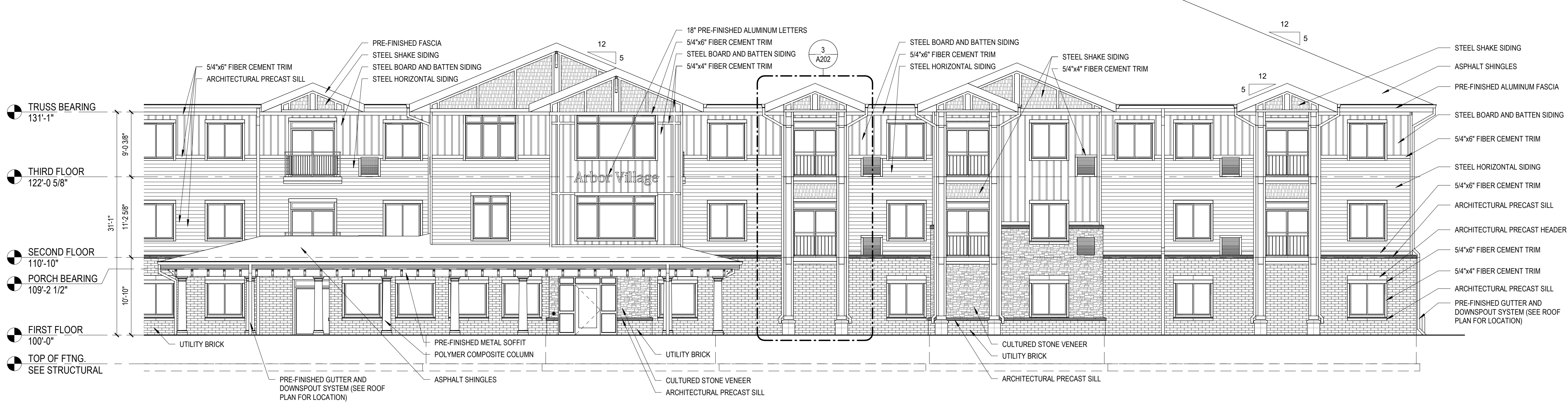
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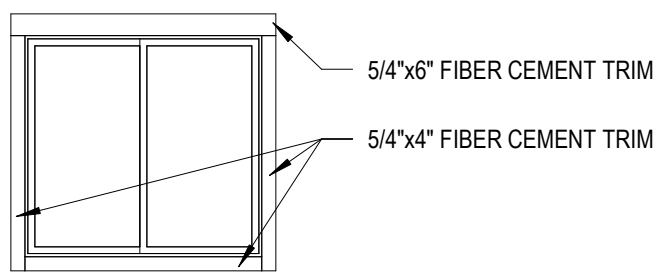
1 SOUTH ELEVATION - AREA A
SCALE: 1/8" = 1'-0"



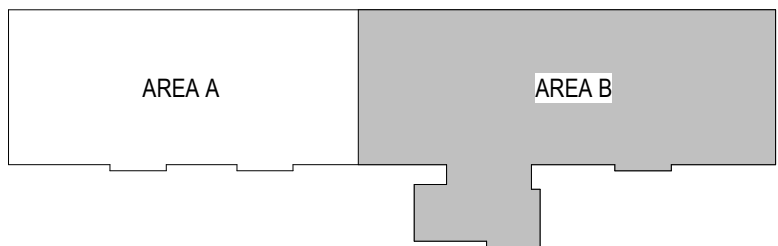
KEYPLAN



2 SOUTH ELEVATION - AREA B
SCALE: 1/8" = 1'-0"



EXTERIOR WINDOW TRIM
SCALE: 1/4" = 1'-0"



KEYPLAN

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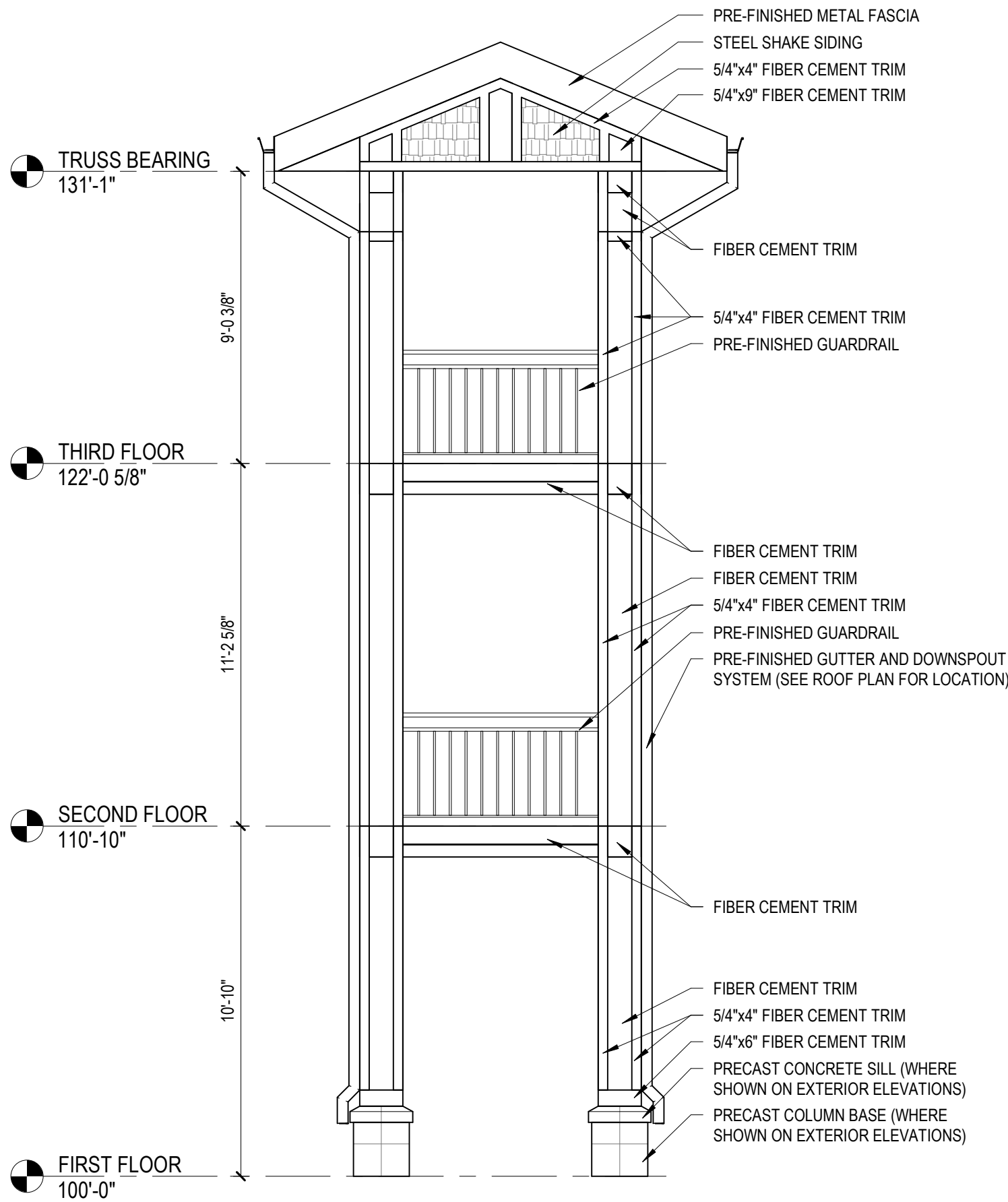
11.06.2019

PROJECT No: 08-1893.00

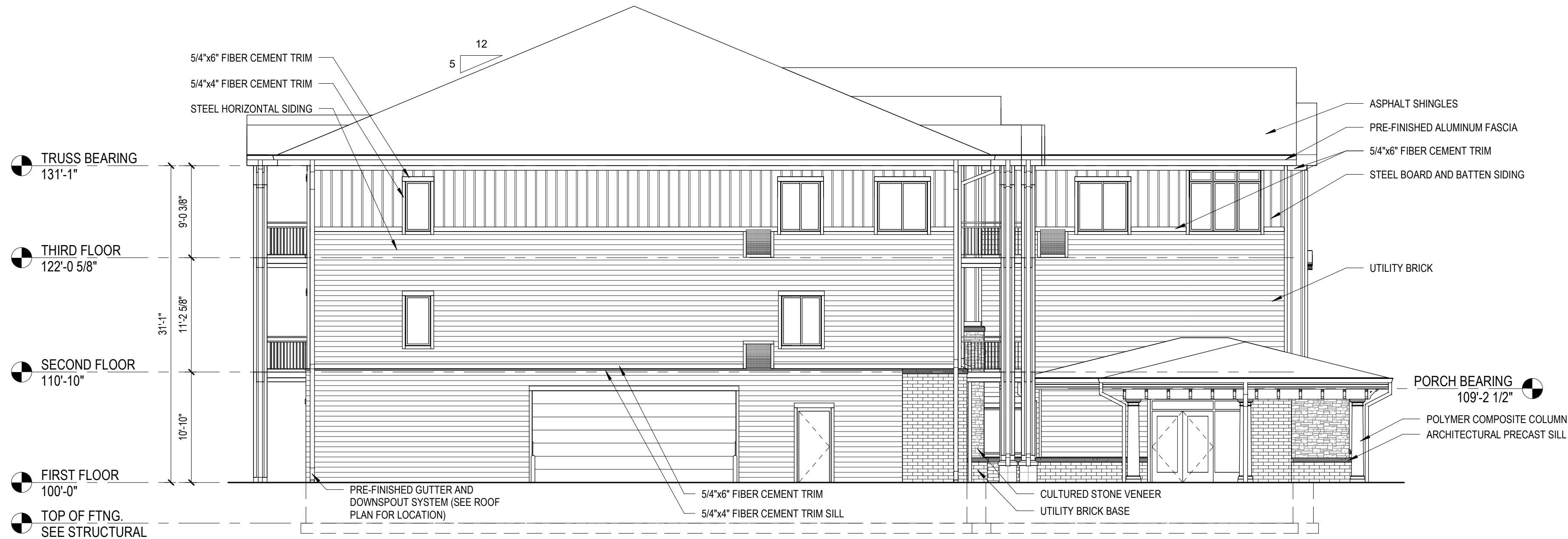
EXTERIOR ELEVATIONS

A201

11/4/2019 4:44:37 PM BIM 360://Lake ElmoLake Elmo Arch.rvt



3 DECK ELEVATION
A202 SCALE: 1/4" = 1'-0"



1 WEST ELEVATION
A202 SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
A202 SCALE: 1/8" = 1'-0"

MARK	DATE	DESCRIPTION

LAKE ELMO INDEPENDENT LIVING, LLC
NEW INDEPENDENT LIVING FACILITY
LAKE ELMO, MINNESOTA

Eau Claire Office
3433 Oakwood Hills Parkway
Eau Claire, Wisconsin 54701
(715) 834-3161

River Falls Office
215 N. Second Street Suite 204
River Falls, Wisconsin 54022
(715) 426-4908
Fax: (715) 426-5686

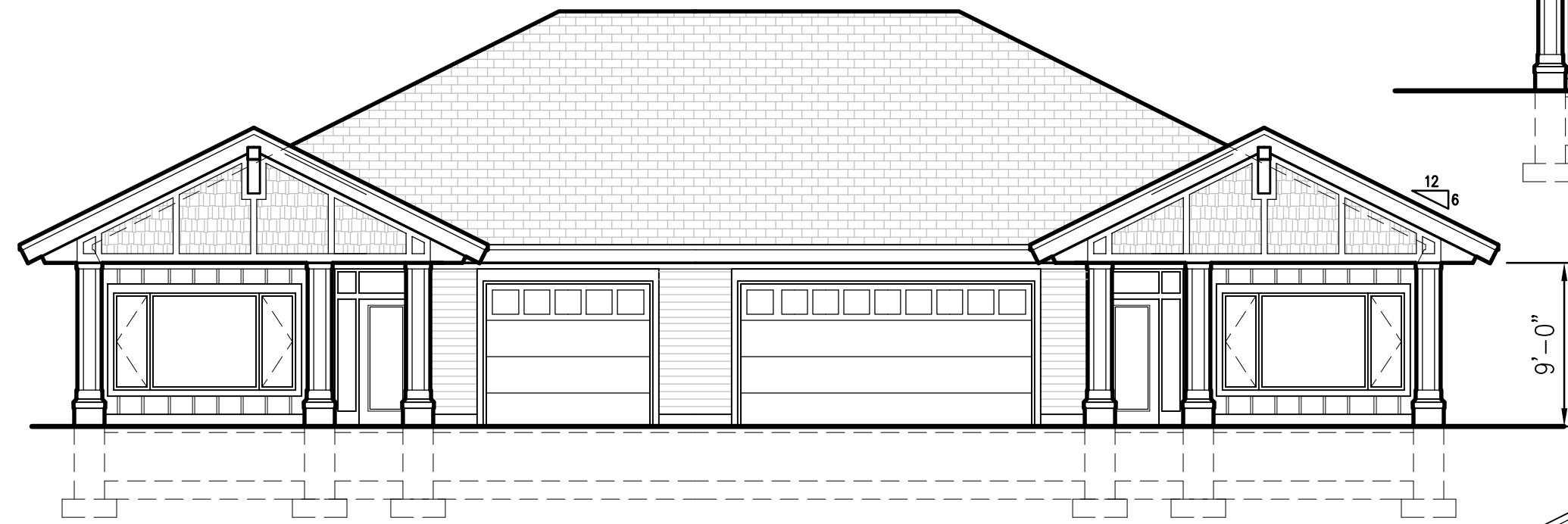
AYRES ASSOCIATES

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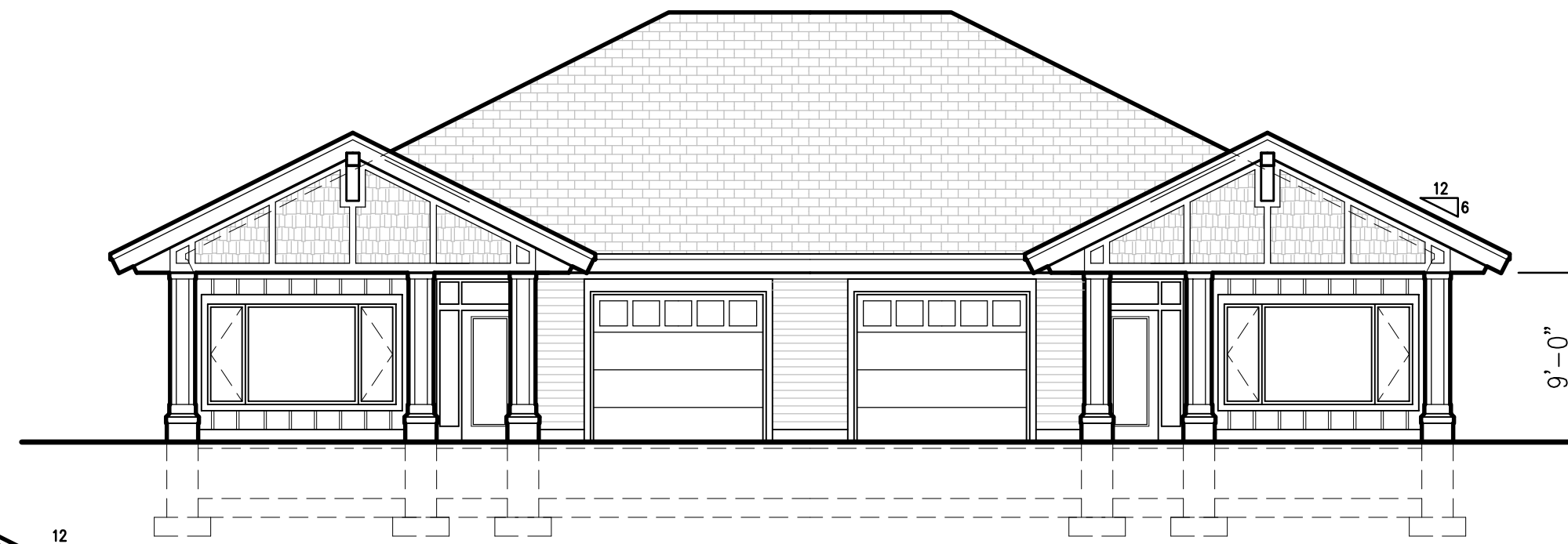
11.06.2019
PROJECT No: 08-1893.00
EXTERIOR ELEVATIONS
A202

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8/16/2012 3:05:41 File Path



TYPICAL FRONT EXTERIOR ELEVATION – WITH 3-BED UNIT



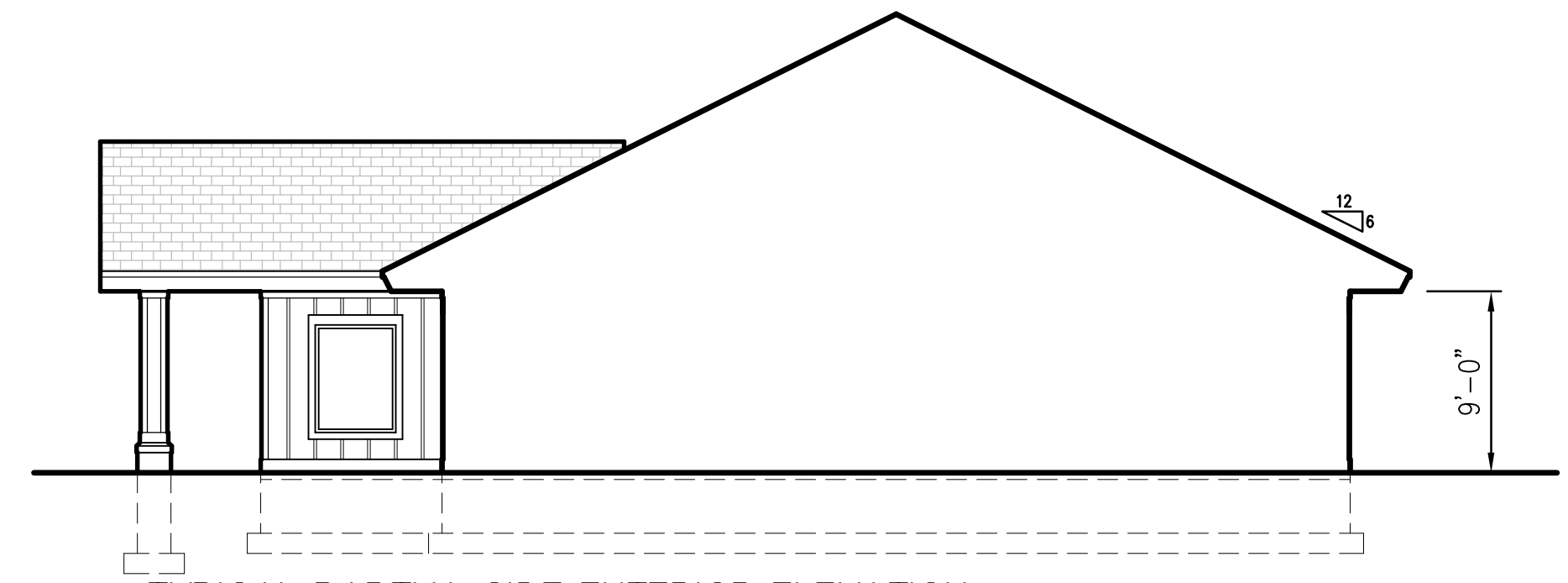
TYPICAL FRONT EXTERIOR ELEVATION



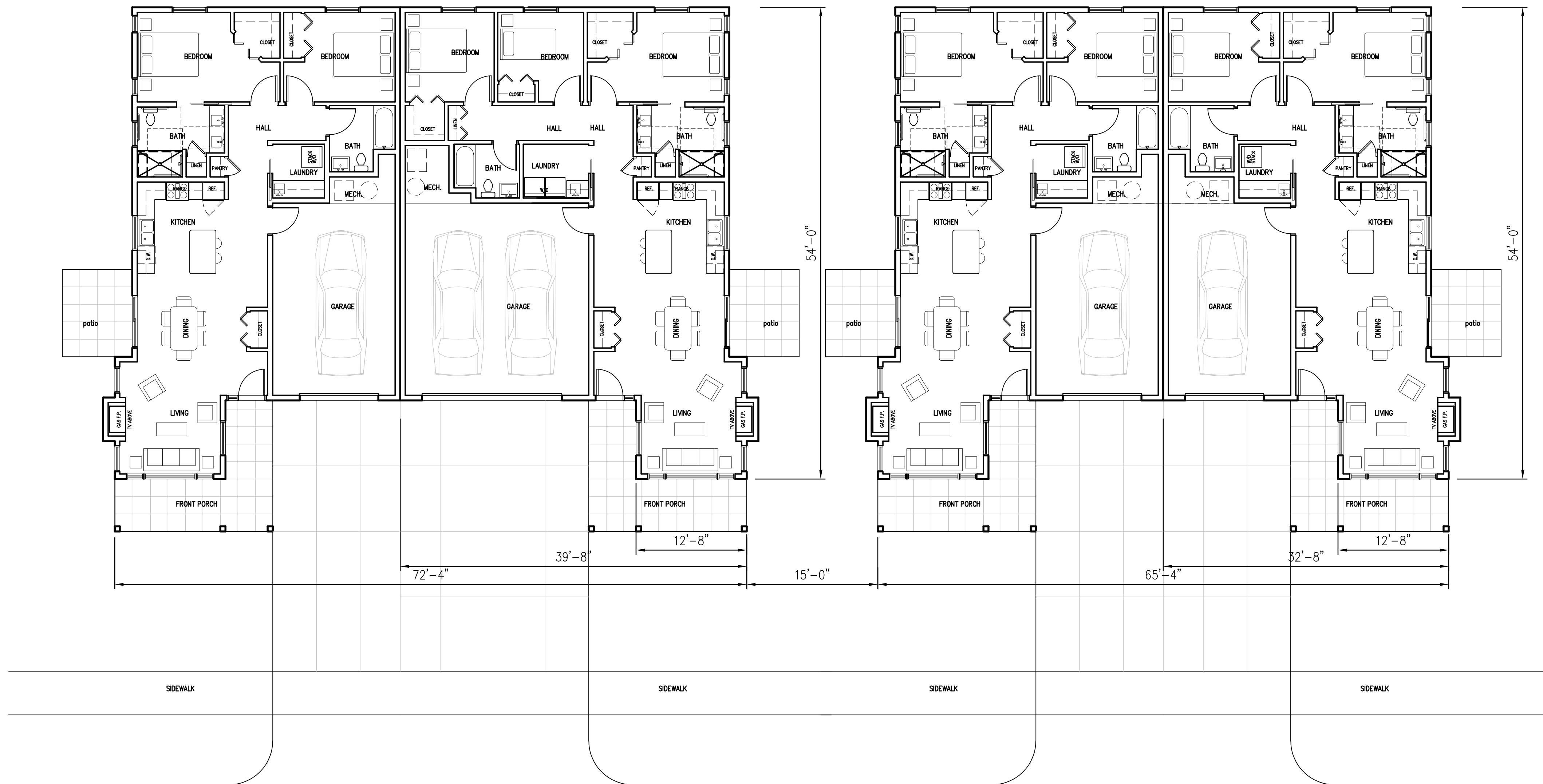
TYPICAL SIDE EXTERIOR ELEVATION



TYPICAL REAR EXTERIOR ELEVATION

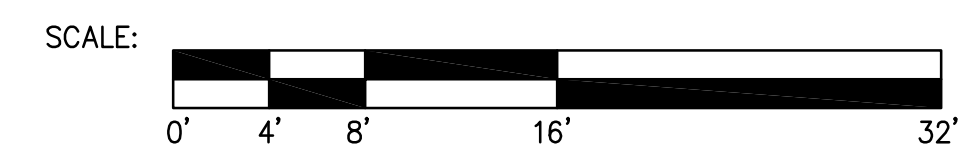


TYPICAL PARTIAL SIDE EXTERIOR ELEVATION



STREET
3-BEDROOM PATIO HOME PROTOTYPE
1,825 S.F. INCLUDING GARAGE
1,337 S.F. NOT INCLUDING GARAGE

STREET
PATIO HOME PROTOTYPE
1,510 S.F. INCLUDING GARAGE – EACH SIDE
1,180 S.F. NOT INCLUDING GARAGE – EACH SIDE



MARK	DATE	DESCRIPTION

LAKE ELMO INDEPENDENT LIVING, LLC
TWIN HOME PROTOTYPE PLANS
LAKE ELMO, MN

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TWIN HOMES PLANS

A1

11-08-2019