

Preliminary Site Development Plans
for
Springs at Lake Elmo
Lake Elmo, Minnesota
Presented by:
Continental Properties

CONSULTANT CONTACT LIST:

DEVELOPER/OWNER
CONTINENTAL 483 FUND LLC
W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051
TEL 262-653-9352
CONTACT: GWYN WHEELER

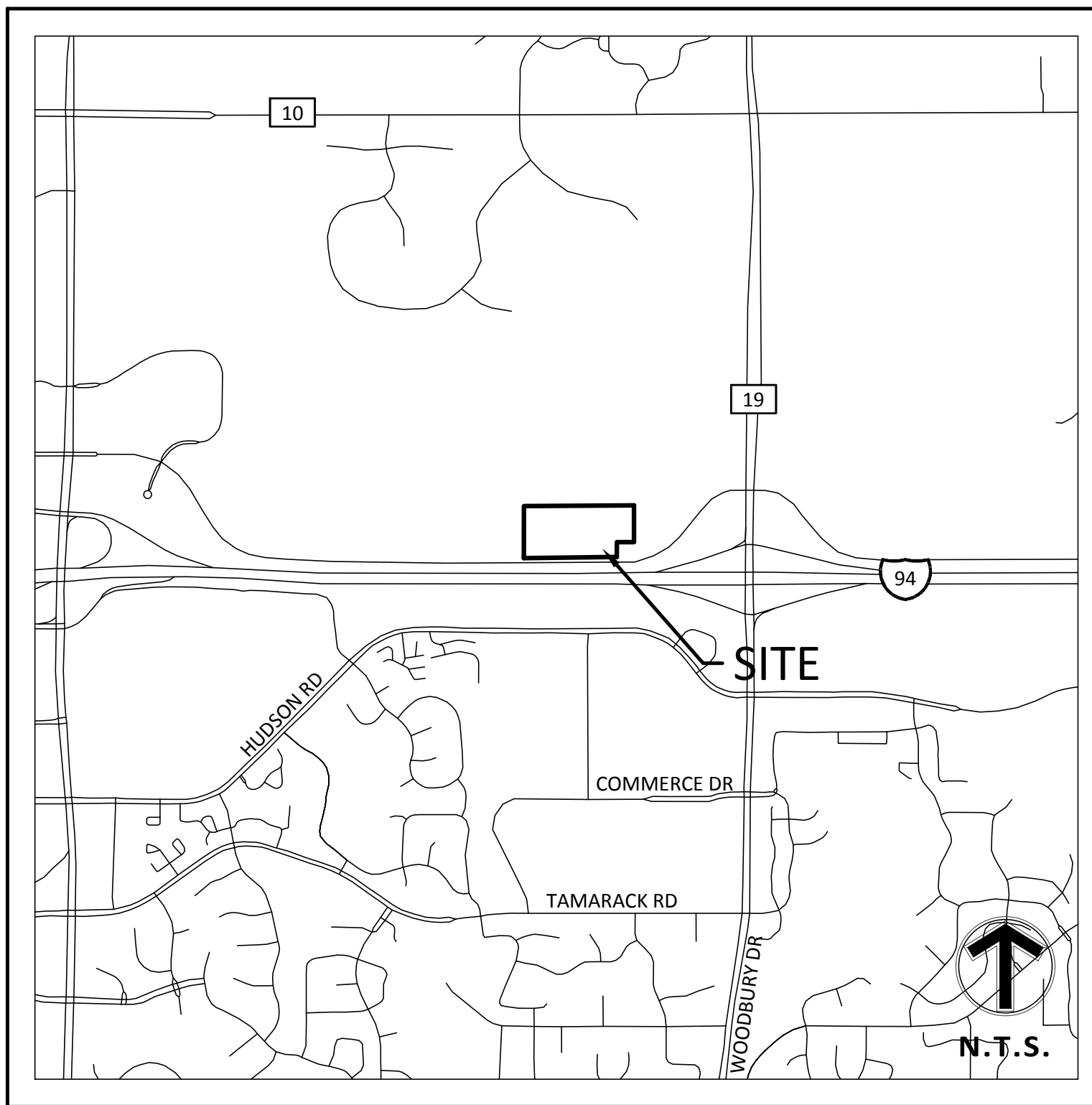
CIVIL ENGINEER
SAMBATEK
 12800 WHITEWATER DRIVE, SUITE 300
 MINNETONKA, MN 55343
 TEL 763-476-6010
 FAX 763-476-8532
 CONTACT: ERIC VOGEL, PE

ARCHITECT
KHALER SLATER
111 W WISCONSIN AVE
MILWAUKEE, WI 53203
TEL 414-373-2000
FAX 414-272-2001
CONTACT: DENNIS POHLMAN

SURVEYOR
SAMBATEK
12800 WHITEWATER DRIVE, SUITE 300
MINNETONKA, MN 55343
TEL 763-476-6010
FAX 763-476-8532
CONTACT: CRAIG JOHNSON, LS

**GEOTECHNICAL
PROFESSIONAL SERVICE INDUSTRIES, INC.
2915 WATERS ROAD, SUITE 112
EAGAN, MN 55121
TEL 651-646-8148
CONTACT: JOSEPH ROZMIAREK**

LANDSCAPE ARCHITECT
SAMBATEK
12800 WHITEWATER DRIVE, SUITE 300
MINNETONKA, MN 55343
TEL 763-476-6010
FAX 763-476-8532
CONTACT: WILLIAM DELANEY, PLA



VICINITY MAP
NO SCALE

BENCHMARKS

BENCHMARK #1 = MNDOT Disc "8282 AX" - Elev=938.31
Located at NE Quad. of Int. Hwy. 94 & Keats Ave.
BENCHMARK #2 = TNH - ELEV=1001.01
South property line of subject property @ midpoint of line.

SHEET INDEX

SHEET	DESCRIPTION
C1.01	TITLE SHEET
C2.01	ALTA SURVEY
C2.02	FINAL PLAT (1 OF 2)
C2.03	FINAL PLAT (2 OF 2)
C2.04	EXISTING CONDITIONS
C2.05	DEMOLITION PLAN
C3.01	SITE PLAN
C4.01	GRADING PLAN
C5.01	EROSION CONTROL PHASE I
C5.02	EROSION CONTROL PHASE II
C5.03	EROSION CONTROL NOTES AND DETAILS
C6.01	SANITARY SEWER AND WATERMAIN PLAN
C6.02	STORM SEWER PLAN
C9.01	DETAILS
L1.01	LANDSCAPE PLAN
L1.02	SHRUB PLAN WEST
L1.03	SHRUB PLAN EAST
L1.04	LANDSCAPE NOTE AND DETAILS
L1.05	TREE INVENTORY

GOVERNING SPECIFICATIONS

CITY OF LAKE ELMO ENGINEERING DESIGN STANDARDS (MARCH 2017)
CITY ENGINEER'S ASSOCIATION OF MINNESOTA STANDARD SPECIFICATIONS (2013)
MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION (2016 EDITION)



Client
CONTINENTAL
483 FUND LLC

W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051

Project SPRINGS AT LAKE ELMO

Location
LAKE ELMO,
MINNESOTA
9955 HUDSON BOULEVARD NORTH

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Eric A. Vogel
Registration #: 54914 Date: 4/12/2019

If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

Summary

Designed: EAV Drawn: CJL
Approved: EAV Book / Page:
Phase: PRELIMINARY Initial Issue: 4/12/2019

Revision History

No. Date By	Submittal / Revision
4/12/2019	CITY SUBMITTAL

Sheet Title
TITLE SHEET

Sheet No. Revision
C1.01

Project No. 21654

Client

CONTINENTAL

483 FUND LLC

W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051

Project

SPRINGS AT

LAKE ELMO

Location
LAKE ELMO,
MINNESOTA
9955 HUDSON BOULEVARD NORTH

Certification

PRELIMINARY

Summary

Designed: EAV Drawn: CIL
Approved: EAV Book / Page:
Phase: PRELIMINARY Initial Issue: 4/12/2019

Revision History

No.	Date	By	Submittal / Revision
	4/12/2019		CITY SUBMITTAL
A.	01/11/19		TITLE COMMITMENT
B.	01/24/19		WELLS LOCATED
C.	03/11/19		ATTORNEY COMMENTS

Sheet Title

ALTA/NSPS

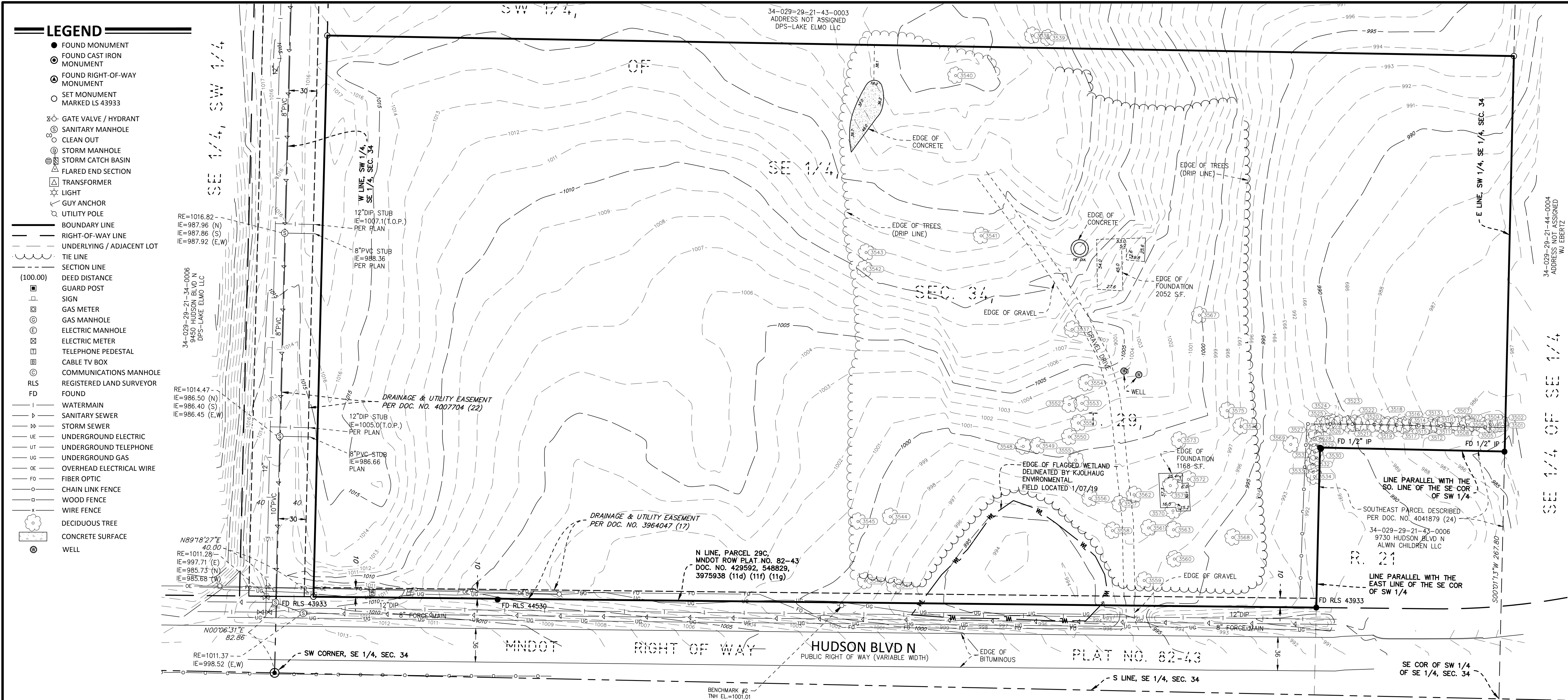
LAND TITLE

SURVEY

Sheet No. Revision

C1.02

Project No. 21654



"TABLE A" NOTES

- The surveyor has observed the property corner monuments, or the witness to the corner that were found during the field work, and set property corner monuments, or witnesses to the corner, at the locations where there did not appear to be any evidence of an existing monument.
- The property does not have an assigned address.
- The subject property lies within Flood Plain Zone X -- "Area Of Minimal Flood Hazard", according to FEMA per FIRM Map No. 27163C0245E dated 2/3/2010.
- The gross area information of subject property 17.0159 Acres or 741,214 Square Feet.
- The vertical relief is shown on the graphical portion of the survey.
- The zoning information has not been provided by the client.
- There are no buildings on the subject property.
- There is a building foundation on the subject property as shown and dimensioned.
- There are no buildings or heights to measure on subject property. The building foundations as shown, are at ground level.
- Visible substantial features observed in the process of conducting the fieldwork are shown hereon.
- There are no parking areas on the subject property.
- There are no division or party walls designated by the client to be shown on the survey.
- A Gopher State One Call (GSOC) request was placed on 12/26/2018 for utility locates on this site and assigned GSOC Ticket No. 183600380. The surveyor makes no guarantees that the underground utilities shown hereon comprise all such utilities in the area, either in service or abandoned. Utility suppliers often do not respond to these requests in the field but may provide maps, plans, and drawings in lieu of physical location. Utility information shown hereon is a compilation of the provided map information and those visible utilities and marked utilities which were located during the survey field work. The surveyor further does not warrant that the underground utilities shown hereon are in the exact location as indicated, although they are located as accurately as possible from the available information. The surveyor has not physically located the underground utilities. Pursuant to MS 216.0 contact Gopher State One Call at (651-454-0002) prior to any excavation.
- The names of adjoining land owners according to the current county tax records are shown on the survey.
- The distance to the nearest intersecting street is 1000 feet to 5th St. N. & Keats Ave.
- There is no evidence of recent earth moving work, building construction or building additions observed in the process of conducting the fieldwork.
- No changes in street right of ways are proposed per City of Lake Elmo Bay. There is no observable evidence of recent street or sidewalk construction or repair.
- There were wetland delineation markers observed in the process of conducting the field work. See survey, per a letter by the Department of the Navy, dated February 8, 2019, File No. MVP-2018-03459-MMW, the wetland was delineated by Kjolhaug Environmental. The Department of the Navy agrees with the delineated location per said letter. A permit from the Department of the Navy must be obtained prior to any fill or dredging of the wetland.
- Plottable off site easements and servitudes disclosed in the provided title documents and/or observed during the field work that appear to benefit and/or affect the subject property are shown hereon.
- A Sambatek Professional Liability Insurance Certificate of Insurance will be provided upon request.

SURVEY NOTES

- Referencing Title Commitment No. NCS-938972-MKE, dated December 17, 2018, First American Title Insurance Company.
- The bearing system is based on the Washington County coordinate system, NAD83 (1986 Adjust). With an assumed bearing of South 00 degrees 01 minutes 13 seconds West for the east line of the Southwest Quarter of the Southeast Quarter, Section 34, Township 29, Range 21.
- The vertical datum is based on NAVD83.
BENCHMARK #1 = MNDOT disc "8382 AV" - Elev=938.31
Located at NE Quad. of Int. Hwy. 94 & Keats Ave.
BENCHMARK #2 = TNH - ELEV=1001.01
South property line of subject property @ midpoint of line.

SUBJECT PROPERTY

Proposed Description

That part of the Southwest Quarter of the Southeast Quarter, Section 34, Township 29, Range 21, Washington County, Minnesota described as follows:
Commencing at the southwest corner of said Southwest Quarter of the Southeast Quarter; thence North 00 degrees 06 minutes 31 seconds East, assumed bearing, along the west line of said Southwest Quarter of the Southeast Quarter, a distance of 82.86 feet to the north line of Parcel 29C of Minnesota Department of Transportation Right of Way Plat No. 82-43; thence North 89 degrees 18 minutes 27 seconds East, along said north line, a distance of 40.00 to the point of beginning; thence North 00 degrees 06 minutes 31 seconds East, a distance of 607.73 feet; thence North 89 degrees 40 minutes 54 seconds East, a distance of 1284.76 feet to the east line of said Southwest Quarter of the Southeast Quarter; thence South 00 degrees 01 minutes 13 seconds West, along said east line, a distance of 428.20 feet to a point 267.8 feet north of the southeast corner of said Southwest Quarter of the Southeast Quarter; thence South 89 degrees 54 minutes 16 seconds West, parallel to the south line of said Southwest Quarter of the Southeast Quarter, a distance of 200.00 feet; thence South 00 degrees 01 minutes 13 seconds West, parallel to the east line of said Southwest Quarter of the Southeast Quarter, a distance of 173.21 feet to said north line of Parcel 29C; thence South 89 degrees 18 minutes 27 seconds West, along said north line, a distance of 1085.76 feet to the point of beginning.

The following notes correspond to the reference numbers listed in Schedule B, Section 2 of the title commitment.

- The right to erect and to maintain temporary on land adjoining Trunk Highway 12 and Interstate Highway 94, and also limitations on access to said Highways, as contained or shown in the following:
 - Highway Easement, dated January 17, 1927, recorded February 18, 1927, in Book 111 of Deeds, at page 1; (**Easement does not affect subject property**)
 - Highway Easement, dated January 19, 1927, recorded June 23, 1927, in Book 111 of Deeds, at page 206; (**Easement does not affect subject property - lies within existing R.O.W.**)
 - Final Certificate by the State of Minnesota, recorded April 30, 1959, in Book 220 of Deeds, at page 11; (**Easement does not affect subject property - lies within existing R.O.W.**)
 - Minnesota Department of Transportation Right of Way Plat No. 82-43 recorded March 22, 1882 as Doc. No. 429592; (**Affects property and is depicted hereon**)
 - Warranty Deed, to the State of Minnesota, recorded September 30, 1983, as Doc. No. 452990 conveying Parcel 29G in the above Right of Way Plat No. 82-43; (**does not affect subject property**)
 - Final Certificate by the State of Minnesota, recorded August 17, 1987, as Doc. No. 548829 [acquiring Parcel 29C in the above Right of Way Plat No. 82-43]; and (**R.O.W. Plot shown on survey**)
 - Quitclaim Deed, from the State of Minnesota, to the City of Lake Elmo, dated November 13, 2013, recorded December 30, 2013, as Doc. No. 3975938 (**R.O.W. Plot shown on survey**)
- Reservation of 50% of all minerals and mineral rights in the East Half of the Southwest Quarter of Section 34, as reserved in the following:
 - Limited Warranty Deed, from the Federal Farm Mortgage Corporation, as grantor, to Lawrence Fehlen and Marie A. Fehlen, as grantees, dated November 8, 1939, recorded November 21, 1939, in Book 135 of Deeds, at page 632; and (**does not affect subject property**)
 - Quit Claim Deed, from the Federal Farm Mortgage Corporation, to the United States of America, dated September 6, 1957, recorded November 22, 1957, in Book 209 of Deeds, at page 493. (**Does not affect subject property**)
- Terms and conditions, including an easement for pipeline purposes, as contained in the following:
 - Right of Way Conveyance in favor of Standard Oil Company, dated August 7, 1946, recorded August 26, 1946, in Book 150 of Deeds, at page 219; (**does not affect subject property**)
 - Assignment of Rights of Way, from Standard Oil Company, to The American Oil Company, dated December 31, 1960, recorded January 25, 1961, in Book 236 of Deeds, at page 240; (**does not affect subject property**)
 - Partial Release of Right of Way Conveyance, dated May 5, 1972, recorded May 8, 1972, as Doc. No. 298638; (**does not affect subject property**)
 - Quit Claim Deed, from Amoco Oil Company, to the State of Minnesota, dated October 25, 1983, recorded December 29, 1983, as Doc. No. 457465; (**does not affect subject property**)

- Agreement Limiting Right of Way Easement, dated July 19, 2001, recorded August 3, 2001, as Doc. No. 3172091; (**does not affect subject property**)
 - Non Fee Property Assignment Agreement, from BP Products North America Inc., to BP Pipelines (North America) Inc., dated January 1, 2015, recorded April 10, 2015, as Doc. No. 4021457; and (**affects subject property-blanket in nature therefor not shown**)
 - Agreement and Acknowledgement, between BP Pipelines (North America) Inc., the City of Lake Elmo, and U.S. Home Corporation, dated June 15, 2016, recorded July 28, 2016, as Doc. No. 4076835. (**Does not affect subject property**)
- Easement for power line purposes as contained in the following:
 - Final Decree, recorded April 13, 1972, in Book 316 of Deeds, at page 69; and (**does not affect subject property**)
 - Assignment and Assumption of Easements, from XCEL Energy Inc., to Northern States Power Company, dated February 7, 2001, recorded March 8, 2001, as Doc. No. 3145752. (**Affects property - no easements to depict on survey**)
 - Terms and conditions of the Petition and Waiver Agreement, dated September 4, 2013, recorded September 12, 2013, as Doc. No. 3964045. (**Affects property - no easements to depict on survey**)
 - Terms and conditions of the Petition and Waiver Agreement, dated September 4, 2013, recorded September 12, 2013, as Doc. No. 3964046. (**Affects property - no easements to depict on survey**)
 - Terms and conditions, including an easement for drainage and utility purposes in favor of the City of Lake Elmo, as contained in the Public Drainage & Utility Easement, dated September 4, 2013, recorded September 12, 2013, as Doc. No. 3964047. (**Affects property and easement is depicted hereon**)
 - Terms and conditions, including an easement for public and drainage purposes in favor of the City of Lake Elmo, as contained in the Public Drainage & Utility Easement, dated September 4, 2013, recorded September 12, 2013, as Doc. No. 3964048. (**Does not affect subject property**)
 - Terms and conditions, including an easement for public and drainage purposes in favor of the City of Lake Elmo, as contained in the Public Drainage and Utility Easement, dated September 4, 2013, recorded September 12, 2013, as Doc. No. 3964049. (**Does not affect subject property**)
 - Terms and conditions, including an easement for street purposes in favor of the City of Lake Elmo, as contained in the Permanent Public Street Easement Agreement, recorded November 20, 2014, as Doc. No. 4007702. (**Does not affect subject property**)
 - Terms and conditions, including easements for drainage and utility purposes in favor of the City of Lake Elmo, as contained in the Drainage and Utility Easement Agreement, recorded November 20, 2014, as Doc. No. 4007703. (**Does not affect subject property**)
 - Terms and conditions, including an easement for utility purposes in favor of the City of Lake Elmo, as contained in the Utility Easement, recorded November 20, 2014, as Doc. No. 4007704. (**Easement affects property as shown - falls within proposed R.O.W.**)
 - Terms and conditions of the Memorandum of Understanding, between U.S. Home Corporation, and DPS-Lake Elmo, LLC, dated October 3, 2014, which is unrecorded, and of the Notice of Lien Rights by DPS-Lake Elmo, LLC, recorded November 20, 2014, as Doc. No. 4007705, which refers to said Memorandum of Understanding. (**Affects property - no easements to depict on survey**)
 - Possible overlap of the Land with the parcel to the southeast, said parcel is described in the Warranty Deed, recorded September 21, 2015, as Doc. No. 4041879. **The legal description prepared by Sambatek, shown as proposed on this survey is contiguous to, and creates no gaps or overlaps with the southeast parcel as described in said document.**

CERTIFICATION

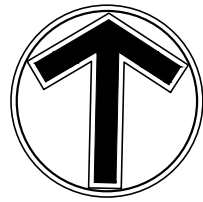
To Continental 483 Fund LLC, DPS-Lake Elmo, LLC, a Minnesota limited liability company and First American Title Insurance Company:

This is to certify that this map or plat, and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10, 11, 13, 14, 16, 17, 18, 19, and 20 of Table A thereof. The field work was completed on 01/21/2019.

Dated this 12th day of March, 2019

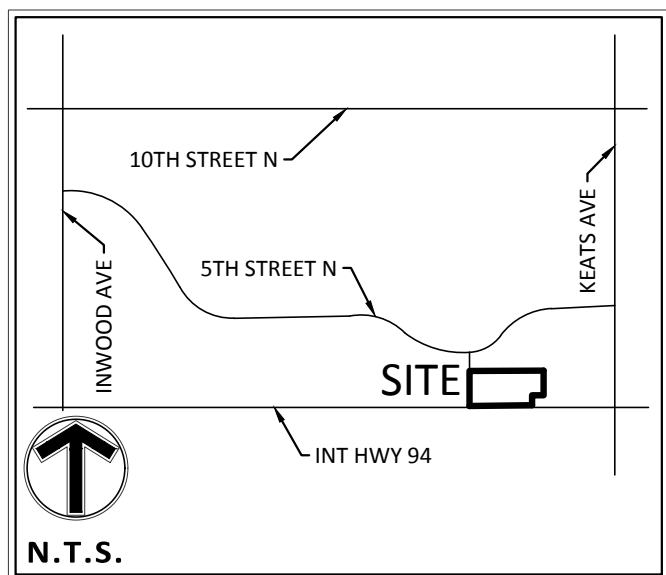
Sambatek, Inc.

Craig E. Johnson, LS
Minnesota License No. 44530
cjohnson@sambatek.com



0 60 120
SCALE IN FEET

VICINITY MAP



SPRINGS AT LAKE ELMO

Know all persons by these presents: That Continental 483 Fund LLC, a Minnesota limited liability company, owner, of the following described property situated in the County of Washington, State of Minnesota, to wit:

That part of the Southwest Quarter of the Southeast Quarter, Section 34, Township 29, Range 21, Washington County, Minnesota described as follows:

Commencing at the southwest corner of said Southwest Quarter of the Southeast Quarter; thence North 00 degrees 06 minutes 31 seconds East, assumed bearing, along the west line of said Southwest Quarter of the Southeast Quarter, a distance of 82.86 feet to the north line of Parcel 29C of Minnesota Department of Transportation Right of Way Plat No. 82-43; thence North 89 degrees 18 minutes 27 seconds East, along said north line, a distance of 40.00 to the point of beginning; thence North 00 degrees 06 minutes 31 seconds East, a distance of 607.73 feet; thence North 89 degrees 40 minutes 54 seconds East, a distance of 1284.76 feet to the east line of said Southwest Quarter of the Southeast Quarter; thence South 00 degrees 01 minutes 13 seconds West, along said east line, a distance of 428.20 feet to a point 267.8 feet north of the southeast corner of said Southwest Quarter of the Southeast Quarter; thence South 89 degrees 54 minutes 16 seconds West, parallel to the south line of said Southwest Quarter of the Southeast Quarter, a distance of 200.00 feet; thence South 00 degrees 01 minutes 13 seconds West, parallel to the east line of said Southwest Quarter of the Southeast Quarter, a distance of 173.21 feet to said north line of Parcel 29C; thence South 89 degrees 18 minutes 27 seconds West, along said north line, a distance of 1085.76 feet to the point of beginning.

Has caused the same to be surveyed and platted as SPRINGS AT LAKE ELMO and does hereby dedicate to the public for public use the public way, and the drainage and utility easements as created by this plat.

In witness whereof said Continental 483 Fund LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officer this _____ day of _____, 20_____.

Signed: Continental 483 Fund LLC, a Minnesota limited liability company

By: _____, its _____

STATE OF _____
COUNTY OF _____

The foregoing instrument was acknowledged before me on this _____ day of _____, 20_____, by

_____, _____, of Continental 483 Fund LLC, a Minnesota limited liability company, on behalf of the company.

Notary Public, _____ County, Minnesota
My Commission Expires _____

Notary Printed Name

I Craig E. Johnson do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, existing as of the date of this certificate are shown and labeled on this Plat; and all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 20_____.

Craig E. Johnson, Licensed Land Surveyor,
Minnesota License No. 44530

STATE OF MINNESOTA
COUNTY OF _____

The foregoing instrument was acknowledged before me on this _____ day of _____, 20_____, by
Craig E. Johnson, a Licensed Land Surveyor.

Notary Public, _____ County, Minnesota
My Commission Expires _____

Notary Printed Name

CITY COUNCIL, Lake Elmo, Minnesota

This plat was approved by the City Council of Lake Elmo, Minnesota, this _____ day of _____, 20_____, and hereby certifies compliance with all requirements as set forth in the Minnesota Statutes, Section 505.03, Subdivision 2.

Signed: _____ Attest: _____
Mayor Clerk

COUNTY SURVEYOR, Washington County, Minnesota

Pursuant to Chapter 820, Laws of Minnesota, 1971, and in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this _____ day of _____, 20_____.

By _____ By _____
Washington County Surveyor

COUNTY AUDITOR/TREASURER, Washington County, Minnesota

Pursuant to Minnesota Statutes, Section 505.021, Subd.9 and Section 272.12, taxes payable in the year 20____, on real estate hereinbefore described, have been paid; and there are no delinquent taxes and transfer has been entered, on this _____ day of _____, 20_____.

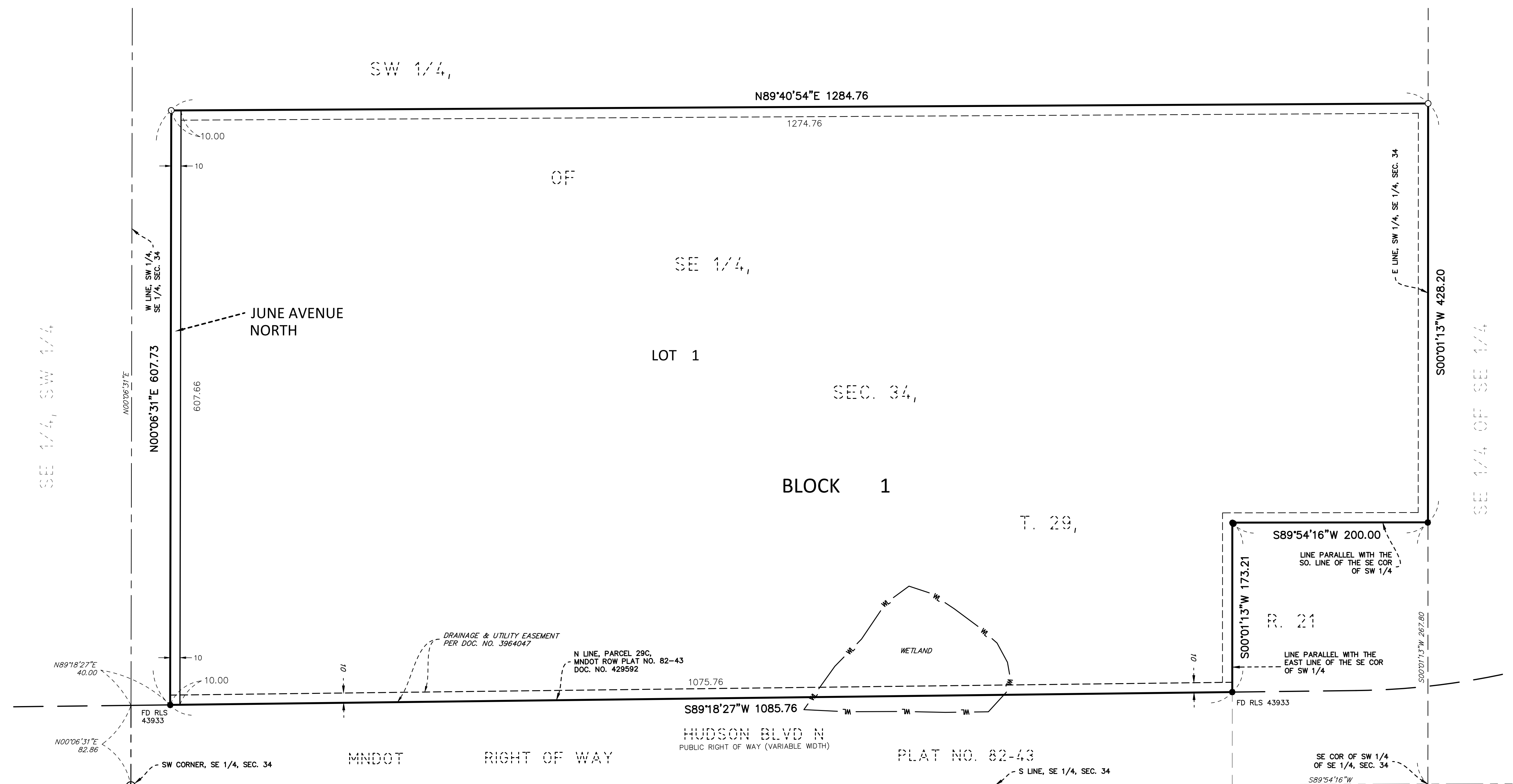
By _____ By _____
Washington County Auditor / Treasurer Deputy

COUNTY RECORDER, Washington County, Minnesota Document Number _____

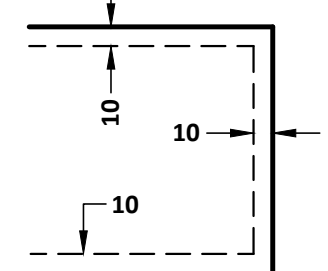
I hereby certify that this instrument was filed in the office of the County Recorder for record on this ____ day of _____, 20_____, at _____ o'clock ____M. and was duly recorded in Washington County Records.

By: _____ By: _____
Washington County Recorder Deputy

SPRINGS AT LAKE ELMO



**DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:
(NOT TO SCALE)**

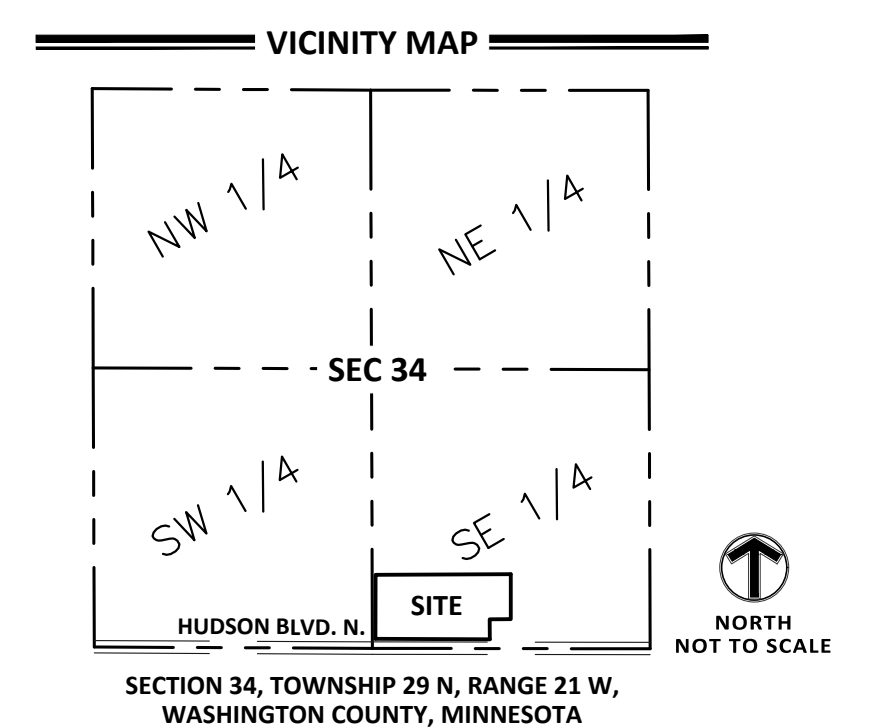
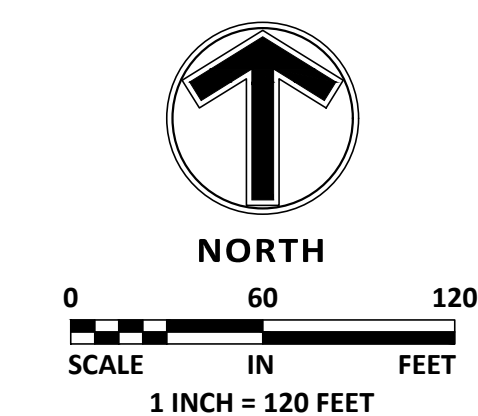


BEING 10 FEET IN WIDTH, UNLESS OTHERWISE INDICATED, AND ADJOINING RIGHT-OF-WAY LINES, FRONT, REAR AND SIDE LOT LINES AS SHOWN ON THE PLAT.

SAMBATEK, INC.
ENGINEERING, PLANNING
AND LAND SURVEYING

- DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET AND MARKED BY LICENSE NO. 44530.
- DENOTES 1/2 INCH OPEN END IRON MONUMENT FOUND UNLESS NOTED OTHERWISE.

THE EAST LINE OF THE OF THE SW 1/4 OF THE SE 1/4 IS ASSUMED TO HAVE A BEARING OF NORTH 00 DEGREES 10 MINUTES 13 SECONDS WEST.



Client
**CONTINENTAL
483 FUND LLC**

W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051

Project
**SPRINGS AT
LAKE ELMO**

Location
**LAKE ELMO,
MINNESOTA**
9955 HUDSON BOULEVARD NORTH

Certification

PRELIMINARY

Summary

Designed: EAV Drawn: CIL
Approved: EAV Book / Page:
Phase: PRELIMINARY Initial Issue: 4/12/2019

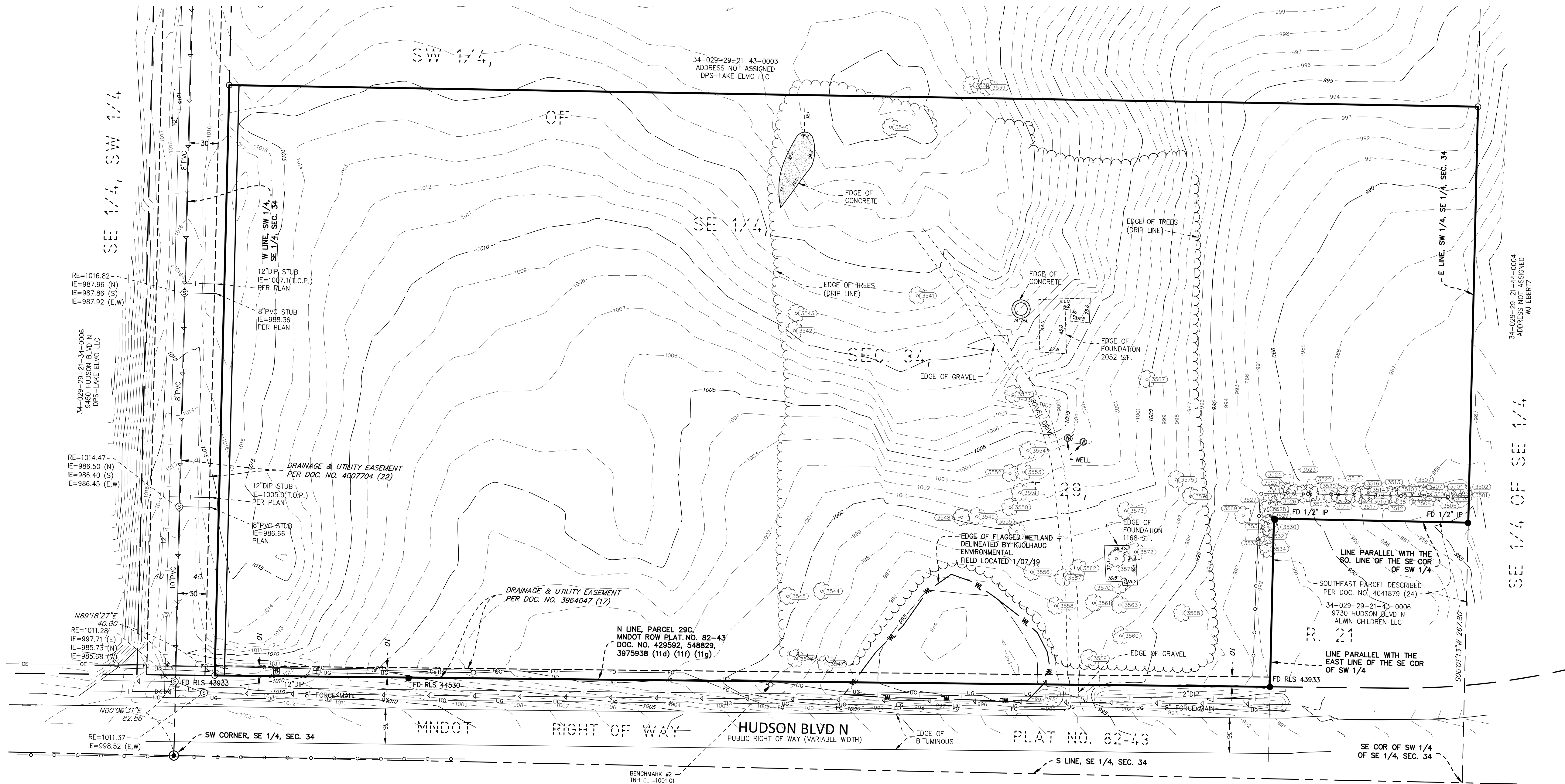
Revision History

No.	Date	By	Submittal / Revision
	4/12/2019		CITY SUBMITTAL

Sheet Title
**EXISTING
CONDITIONS**

Sheet No. Revision
C2.04

Project No. 21654



SUBJECT PROPERTY

That part of the Southwest Quarter of the Southeast Quarter, Section 34, Township 29, Range 21, Washington County, Minnesota described as follows:

Commencing at the southwest corner of said Southwest Quarter of the Southeast Quarter; thence North 00 degrees 06 minutes 31 seconds East, assumed bearing, along the west line of said Southwest Quarter of the Southeast Quarter, a distance of 82.86 feet to the north line of Parcel 29C of Minnesota Department of Transportation Right of Way Plat No. 82-43; thence North 89 degrees 18 minutes 27 seconds East, along said north line, a distance of 40.00 to the point of beginning; thence North 00 degrees 06 minutes 31 seconds East, a distance of 607.73 feet; thence North 89 degrees 40 minutes 54 seconds East, a distance of 1284.76 feet to the east line of said Southwest Quarter of the Southeast Quarter; thence South 00 degrees 01 minutes 13 seconds West, along said east line, a distance of 428.20 feet to a point 267.8 feet north of the southeast corner of said Southwest Quarter of the Southeast Quarter; thence South 89 degrees 54 minutes 16 seconds West, parallel to the south line of said Southwest Quarter of the Southeast Quarter, a distance of 200.00 feet; thence South 00 degrees 01 minutes 13 seconds West, parallel to the east line of said Southwest Quarter of the Southeast Quarter, a distance of 173.21 feet to said north line of Parcel 29C; thence South 89 degrees 18 minutes 27 seconds West, along said north line, a distance of 1085.76 feet to the point of beginning.

PROPERTY SUMMARY

- SUBJECT PROPERTY IDENTIFICATION NUMBER IS 3402921430003.
- THE GROSS AREA OF THE SUBJECT PROPERTY IS 17.0159 ACRES OR 741,214 SQUARE FEET.

SURVEY NOTES

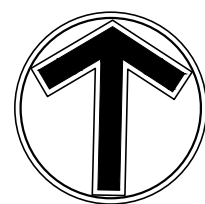
- SURVEY COORDINATE BASIS: WASHINGTON COUNTY COORDINATE SYATEM NAD 83 (1986)
- FIELD WORK WAS COMPLETED ON 01/21/2019.
- THE VERTICAL DATUM IS BASED ON NAVD88.

BENCHMARK #1 = MNDOT DISC "8282 AX" - ELEV=938.31,
LOCATED AT NE QUAD. OF INT. HWY. 94 & KEATS AVE.

BENCHMARK #2 = TNH - ELEV=1001.01,
SOUTH PROPERTY LINE OF SUBJECT PROPERTY @ MIDPOINT OF LINE.

LEGEND

● FOUND MONUMENT	☒ GAS METER
⊙ FOUND CAST IRON MONUMENT	⊙ GAS MANHOLE
⊙ FOUND RIGHT-OF-WAY MONUMENT	⊙ ELECTRIC MANHOLE
⊙ SET MONUMENT	⊙ ELECTRIC METER
○ MARKED LS 43933	⊙ TELEPHONE PEDESTAL
⊙ GATE VALVE / HYDRANT	⊙ CABLE TV BOX
⊙ SANITARY MANHOLE	⊙ COMMUNICATIONS MANHOLE
⊙ CLEAN OUT	RLS REGISTERED LAND SURVEYOR
⊙ STORM MANHOLE	FD FOUND
⊙ STORM CATCH BASIN	— I — WATERMAIN
⊙ FLARED END SECTION	— D — SANITARY SEWER
⊙ TRANSFORMER	— S — STORM SEWER
⊙ LIGHT	— UE — UNDERGROUND ELECTRIC
⊙ GUY ANCHOR	— UT — UNDERGROUND TELEPHONE
⊙ UTILITY POLE	— UG — UNDERGROUND GAS
— BOUNDARY LINE	— OE — OVERHEAD ELECTRICAL WIRE
— RIGHT-OF-WAY LINE	— FO — FIBER OPTIC
— UNDERLYING / ADJACENT LOT	— O — CHAIN LINK FENCE
— TIE LINE	— □ — WOOD FENCE
— SECTION LINE	— X — WIRE FENCE
(100.00) DEED DISTANCE	⊙ DECIDUOUS TREE
⊙ GUARD POST	⊙ CONCRETE SURFACE
⊙ SIGN	⊙ WELL



0 60 120
SCALE IN FEET

Client
**CONTINENTAL
483 FUND LLC**

W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051

Project
**SPRINGS AT
LAKE ELMO**

Location
**LAKE ELMO,
MINNESOTA**
9955 HUDSON BOULEVARD NORTH

Certification
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Eric A. Vogel
Registration No. 1214 Date: 4/12/2019
If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

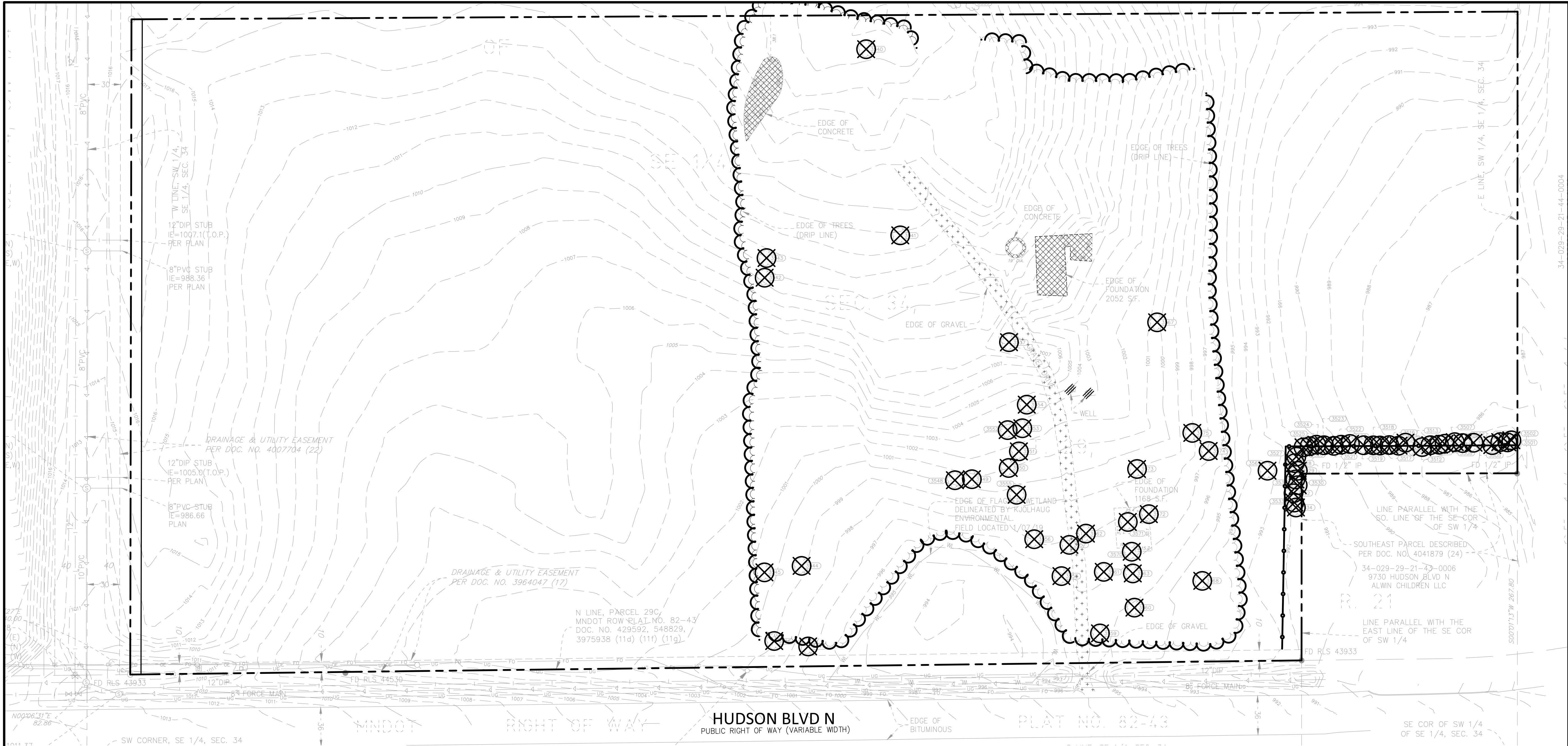
Summary
Designed: EAV Drawn: CIL
Approved: EAV Book / Page:
Phase: PRELIMINARY Initial Issue: 4/12/2019

Revision History
No. Date By Submittal / Revision
4/12/2019 CITY SUBMITTAL

Sheet Title
**DEMOLITION
PLAN**

Sheet No. Revision
C2.05

Project No. 21654



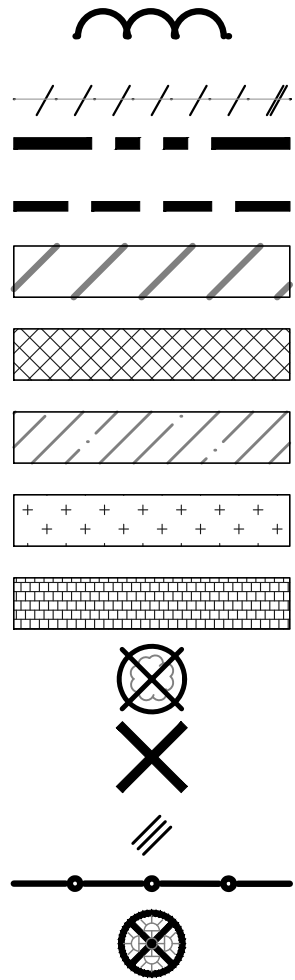
LEGEND	
EXISTING	
GAS METER	
HYDRANT	
LIGHT	
STORM SEWER	
WATERMAIN	
SANITARY SEWER	
OVERHEAD ELECTRIC	
UNDERGROUND TELEPHONE	
UNDERGROUND CABLE TV	
UNDERGROUND ELECTRIC	
UNDERGROUND GAS	
CHAIN LINK FENCE	
STONE RETAINING WALL	
SPRINKLER HEAD	
SPRINKLER VALVE	
EDGE OF TREES	
TREES / SHRUBS	
CONCRETE	
CONCRETE CURB	
BITUMINOUS CURB	

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL 1. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS ACTIVE. NO DRAIN TILE SHALL BE BACKFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER.

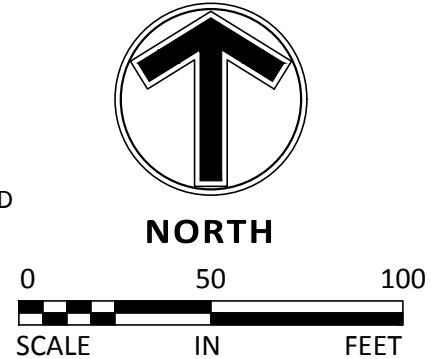
IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

- REMOVE TREE LINE
- REMOVE EXISTING UTILITY LINE
- REMOVE EXIST CONCRETE CURB
- SAW CUT EXIST BITUMINOUS PAVEMENT
- REMOVE EXISTING BITUMINOUS PAVEMENT
- REMOVE EXISTING CONCRETE PAVEMENT
- REMOVE EXISTING BUILDING
- REMOVE EXISTING GRAVEL DRIVE
- REMOVE EXISTING LANDSCAPING
- REMOVE EXISTING TREE
- REMOVE EXISTING
- REMOVE EXISTING UTILITY
- REMOVE EXISTING CHAIN LINK FENCE
- REMOVE EXISTING LIGHT FIXTURE



DEMOLITION NOTES

- DEMOLITION NOTES ARE NOT COMPREHENSIVE. CONTRACTOR SHALL VISIT THE SITE PRIOR TO CONSTRUCTION TO OBTAIN A CLEAR UNDERSTANDING OF THE INTENDED SCOPE OF WORK.
- THE DESIGN SHOWN IS BASED ON ENGINEER'S UNDERSTANDING OF EXISTING CONDITIONS. THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON ALTA AND TOPOGRAPHIC MAPPING PREPARED BY XXXX DATED XXXX-XXXX. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS WITHOUT EXCEPTION, CONTRACTOR SHALL HAVE MADE, AT OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- THE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES AND IN ACCORDANCE WITH APPLICABLE CODES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE GEOTECHNICAL REPORT AND/OR GEOTECHNICAL ENGINEER.
- CLEARING AND GRUBBING: CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- CONTRACTOR IS RESPONSIBLE FOR THE DISCONNECTION OF UTILITY SERVICES TO EXISTING BUILDINGS PRIOR TO DEMOLITION OF THE BUILDINGS.
- CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO REMOVAL AND/OR RELOCATION OF UTILITIES. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANIES' FORCES AND ANY FEES WHICH ARE TO BE PAID TO UTILITY COMPANIES FOR SERVICES. CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- CONTRACTOR IS SPECIFICALLY CAUTIONED THAT LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM INFORMATION AVAILABLE. ENGINEER ASSUMES NO RESPONSIBILITY FOR THE UTILITY MAPPING ACCURACY. PRIOR TO START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES 48 HOURS PRIOR TO ANY EXCAVATION FOR ON-SITE LOCATIONS OF EXISTING UTILITIES. THE LOCATIONS OF UTILITIES SHALL BE OBTAINED BY THE CONTRACTOR BY CALLING MINNESOTA GOPHER STATE ONE CALL AT 800-252-1166 OR 651-454-0002.
- THE MAPPING LOCATION OF ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH WORK. UTILITIES DETERMINED TO BE ABANDONED SHALL BE REMOVED IF UNDER THE BUILDING INCLUDING 10' BEYOND FOUNDATIONS.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ROAD RIGHT OF WAY DURING CONSTRUCTION.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., TO THE BEST PRACTICES.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
- PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED AND APPROVED BY THE LOCAL AUTHORITY.
- CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- CONTRACTOR TO PROTECT EXISTING FEATURES WHICH ARE TO REMAIN. DAMAGE TO ANY EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
- ABANDON OR REMOVE ALL SANITARY, WATER AND STORM SERVICES PER CITY STANDARDS. COORDINATE ALL WORK WITH CITY. ALL STREET RESTORATION SHALL BE COMPLETED IN COMPLIANCE WITH LOCAL STANDARDS.
- CONTRACTOR SHALL PREPARE AND SUBMIT TO THE GOVERNING AUTHORITY A TRAFFIC AND/OR PEDESTRIAN TRAFFIC PLAN PER CITY/COUNTY/STATE STANDARDS TO BE APPROVED BY THE LOCAL GOVERNING AUTHORITY.



Client
CONTINENTAL
483 FUND LLC

W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051

Project
SPRINGS AT
LAKE ELMO

Location
LAKE ELMO,
MINNESOTA
9955 HUDSON BOULEVARD NORTH

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Eric A. Vogel
Registration No. 14 Date: 4/12/2019
If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

Summary

Designed: EAV Drawn: CIL
Approved: EAV Book / Page:
Phase: PRELIMINARY Initial Issue: 4/12/2019

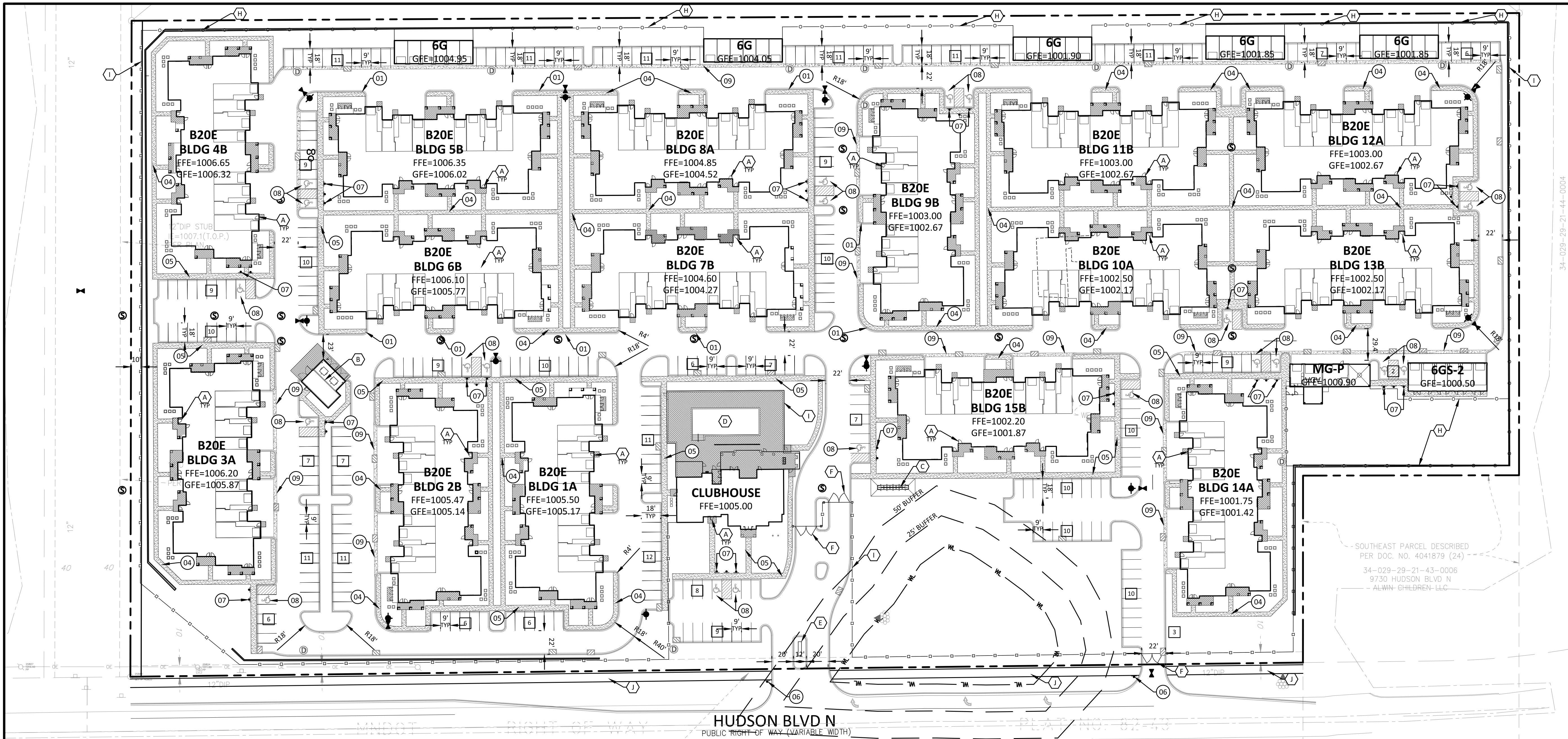
Revision History

No. Date By Submittal / Revision
4/12/2019 CITY SUBMITTAL

Sheet Title
SITE PLAN

Sheet No. Revision
C3.01

Project No. 21654



LEGEND			
PROPERTY LIMIT	PROPOSED	EXISTING	
CURB & GUTTER	---	---	
EASEMENT	---	---	
BUILDING	---	---	
RETAINING WALL	---	---	
WETLAND LIMITS	---	---	
TREELINE	---	---	
SAWCUT LINE	---	---	
SIGN	---	---	
PIPE BOLLARD	---	---	
NUMBER OF PARKING STALLS PER ROW	XX	XX	
KEY NOTE	XX	XX	
DETAIL	XX	XX	
CHAIN LINK FENCE	---	---	
DECORATIVE WOODEN FENCE	---	---	
AIR CONDITIONING UNIT	---	---	

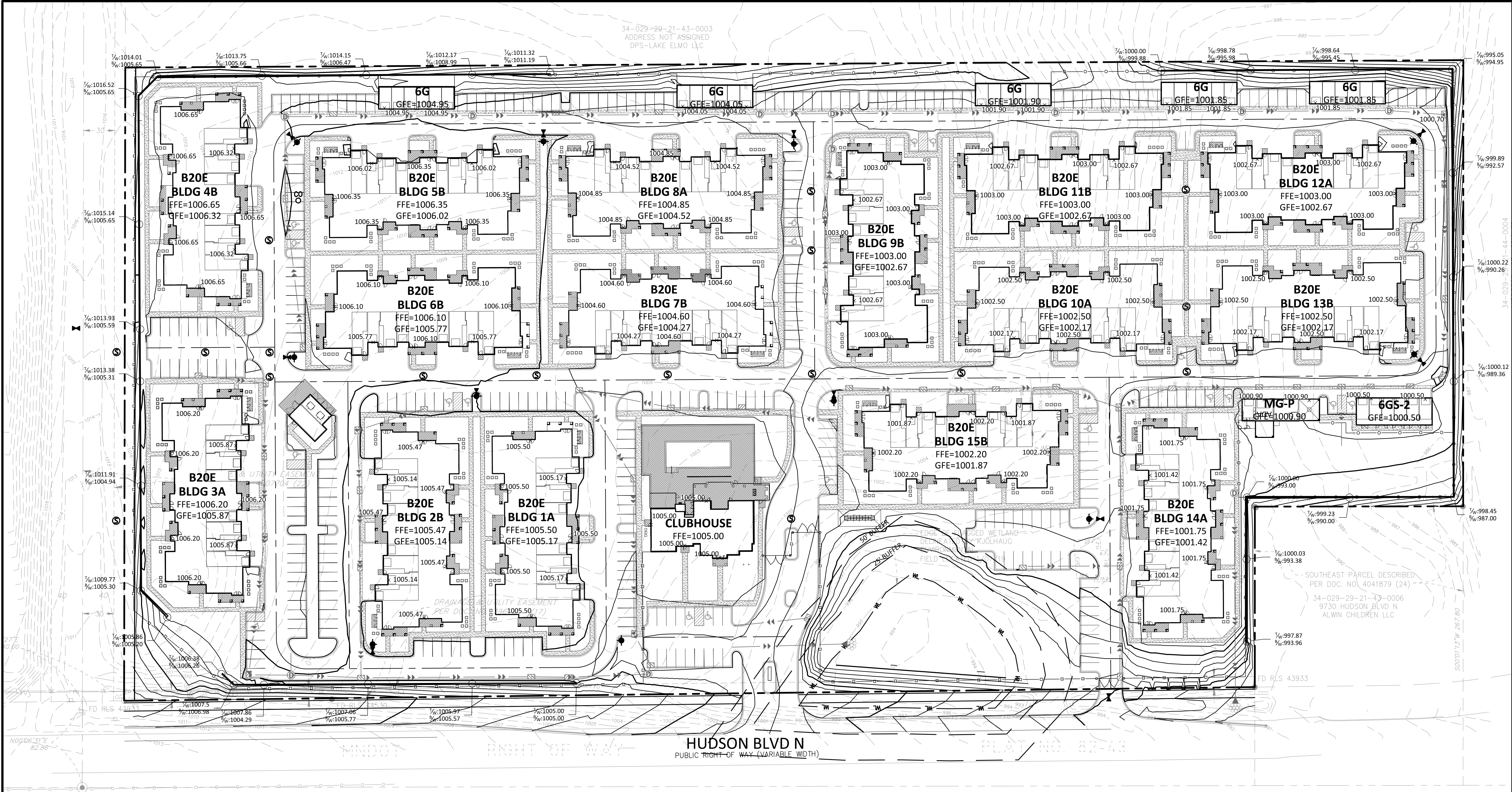
DEVELOPMENT SUMMARY			
AREA	741,214 SF	17.02 AC	
GROSS SITE AREA			
BUILDING INFORMATION	QUANTITY	HEIGHT	
B20E (20 DU/BUILDING)	15 UNITS	2-STORY / 35' 15 UNITS	
TOTAL RESIDENT BUILDINGS			
GENERAL HOME MIX	HOMES	PERCENTAGE	
STUDIO	30	10%	
1-BEDROOM	120	40%	
2-BEDROOM	120	40%	
3-BEDROOM	30	10%	
TOTAL HOMES	300	100%	
ZONING			
EXISTING ZONING			
PROPOSED ZONING			
PARKING INFORMATION			
GARAGE TOTALS:			
NUMBER OF ATTACHED	120 GARAGES		
MAINTENANCE GARAGES	1		
NUMBER OF STAND ALONE	42 GARAGES		
TOTAL GARAGE	163 GARAGES		
PARKING REQUIRED PER CODE	525 SPACES		
SURFACE PARKING AMOUNT	399 SPACES		
TOTAL PARKING PROVIDED	562 SPACES		
UNIT PARKING RATIO	1.87		
COVERED PARKING RATIO	0.29		
CLUBHOUSE PARKING	17 SPACES		
*INCLUDED IN PARKING CALCS	(24 ADA)		

- DEVELOPMENT NOTES**
- ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
 - ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "GUTTER OUT" WHERE WATER DRAINS AWAY FROM CURB. ALL OTHER AREAS SHALL BE CONSTRUCTED AS "GUTTER IN" CURB. COORDINATE WITH GRADING CONTRACTOR.
 - ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
 - ALL PARKING STALLS TO BE 9' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - SEE ARCHITECTURAL PLANS FOR LIGHT POLE FOUNDATION DETAIL AND FOR EXACT LOCATIONS OF LIGHT POLE.
 - REFER TO FINAL PLAT FOR LOT BOUNDARIES, LOT NUMBERS, LOT AREAS, AND LOT DIMENSIONS.
 - ALL GRADIENTS ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 2.08% (1:48). THE MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS AISLE SHALL BE 2.08% (1:48). THE CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS PAVEMENT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT AND COORDINATE WITH GRADING CONTRACTOR.
 - "NO PARKING" SIGNS SHALL BE PLACED ALONG ALL DRIVEWAYS AS REQUIRED BY CITY.

- KEY NOTES**
- (A) BUILDING, STOOPS, STAIRS SEE ARCHITECTURAL PLANS
 - (B) TRASH/RECYCLING PICKUP AREA - SEE ARCHITECTURAL PLANS
 - (C) MAIL KIOSK - SEE ARCHITECTURAL PLANS
 - (D) POOL - SEE ARCHITECTURAL PLANS
 - (E) MONUMENT SIGN - SEE ARCHITECTURAL PLANS
 - (F) VEHICLE GATE - SEE ARCHITECTURAL PLANS
 - (G) TRANSFORMER - LOCATION TBD
 - (H) CHAIN LINK FENCE - SEE ARCHITECTURAL PLANS
 - (I) DECORATIVE WOODEN FENCE - SEE ARCHITECTURAL PLANS
 - (J) BITUMINOUS PATH
- DETAILS**
- (01) 8-612 CONCRETE CURB AND GUTTER - SEE SHEET C9.01
 - (02) 8-618 CONCRETE CURB AND GUTTER - SEE SHEET C9.01
 - (03) TAPERED CURB - SEE SHEET C9.01
 - (04) 4" SIDEWALK - SEE SHEET C9.01
 - (05) 5" SIDEWALK - SEE SHEET C9.01
 - (06) STOP SIGN - SEE SHEET C9.01
 - (07) ACCESSIBLE PARKING SIGN - SEE SHEET C9.01
 - (08) ACCESSIBLE PARKING STALL - SEE SHEET C9.01
 - (09) VALLEY GUTTER - SEE SHEET C9.01

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA". THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOMPER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS ACTIVE. NO DRAIN TILE SHALL BE BACKFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



LEGEND

	PROPOSED	EXISTING
PROPERTY LIMIT	---	---
CURB & GUTTER	---	---
STORM SEWER	---	---
DRAIN TILE	---	---
BUILDING	---	---
RETAINING WALL	---	---
WETLAND LIMITS	---	---
TREELINE	---	---
SPOT ELEVATION	---	---
CONTOUR	---	---
RIP RAP	---	---
OVERFLOW ELEV.	---	---
SOIL BORINGS	---	---

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOMER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS ACTIVE. NO DRAIN TILE SHALL BE BACKFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

GRADING NOTES

- PROPOSED CONTOURS ARE TO FINISHED SURFACE ELEVATION. SPOT ELEVATIONS ALONG PROPOSED CURB DENOTE GUTTER GRADE.
- CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "GUTTER OUT" WHERE WATER DRAINS AWAY FROM CURB. ALL OTHER AREAS SHALL BE CONSTRUCTED AS "GUTTER IN" CURB.
- ALL GRADIENT ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 2.08% (1:48). MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS AISLE SHALL BE IN 2.08% (1:48). CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT. COORDINATE ALL WORK WITH PAVING CONTRACTOR.
- CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- SAFETY NOTICE TO CONTRACTORS: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER OR THE DEVELOPER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON OR NEAR THE CONSTRUCTION SITE.
- CONTRACTOR SHALL COMPLETE THE SITE GRADING CONSTRUCTION IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER'S SOILS ENGINEER. ALL SOIL TESTING SHALL BE COMPLETED BY THE OWNER'S SOILS ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOIL TESTS AND INSPECTIONS WITH THE SOILS ENGINEER.

A GEOTECHNICAL ENGINEERING SOILS REPORT HAS BEEN COMPLETED BY:

COMPANY: INTERTEK PSI
ADDRESS: 2915 WATERS ROAD, SUITE 112 EAGAN, MN 55121
PHONE: 651-646-8148
DATED: FEBRUARY 11, 2019

CONTRACTOR SHALL OBTAIN A COPY OF THE SOILS REPORT.

- CONTRACTOR SHALL COMPLETE DEWATERING AS REQUIRED TO COMPLETE THE SITE GRADING CONSTRUCTION.
- PRIOR TO PLACEMENT OF THE AGGREGATE BASE, A TEST ROLL SHALL BE PERFORMED ON THE STREET AND PARKING AREA SUBGRADE. CONTRACTOR SHALL PROVIDE A LOADED TANDY AXLE TRUCK WITH A GROSS WEIGHT OF 25 TONS. THE TEST ROLLING SHALL BE AT THE DIRECTION OF THE SOILS ENGINEER AND SHALL BE COMPLETED IN AREAS AS DIRECTED BY THE SOILS ENGINEER. CORRECTION OF THE SUBGRADE SOILS SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER.
- REPLACE ALL SUBGRADE SOIL DISTURBED DURING THE CONSTRUCTION THAT HAVE BECOME UNSUITABLE AND WILL NOT PASS A TEST ROLL. REMOVE UNSUITABLE SOIL FROM THE SITE AND IMPORT SUITABLE SOIL AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING VEHICULAR AND PEDESTRIAN TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS.
- EXCAVATE TOPSOIL FROM AREAS TO BE FURTHER EXCAVATED OR REGRADED AND STOCKPILE IN AREAS DESIGNATED ON THE SITE. CONTRACTOR SHALL SALVAGE ENOUGH TOPSOIL FOR RESPREADING ON THE SITE AS SPECIFIED. EXCESS TOPSOIL SHALL BE PLACED IN EMBANKMENT AREAS, OUTSIDE OF BUILDING PADS, ROADWAYS AND PARKING AREAS. CONTRACTOR SHALL SUBCUT CUT AREAS, WHERE TURF IS TO BE ESTABLISHED, TO A DEPTH OF 6 INCHES. RESPREAD TOPSOIL IN AREAS WHERE TURF IS TO BE ESTABLISHED TO A MINIMUM DEPTH OF 6 INCHES.
- TRENCH BORROW CONSTRUCTION: IF ALLOWED BY THE OWNER, CONTRACTOR SHALL COMPLETE "TRENCH BORROW" EXCAVATION IN AREAS DIRECTED BY THE ENGINEER IN ORDER TO OBTAIN STRUCTURAL MATERIAL. TREES SHALL NOT BE REMOVED OR DAMAGED AS A RESULT OF THE EXCAVATION, UNLESS APPROVED BY THE ENGINEER. THE EXCAVATION SHALL COMMENCE A MINIMUM OF 10 FEET FROM THE LIMIT OF THE BUILDING PAD. THE EXCAVATION FROM THIS LIMIT SHALL EXTEND AT A MINIMUM SLOPE OF 1 FOOT HORIZONTAL TO 1 FOOT VERTICAL (1:1) DOWNWARD AND OUTWARD FROM THE FINISHED SURFACE GRADE ELEVATION. THE TRENCH BORROW EXCAVATION SHALL BE BACKFILLED TO THE PROPOSED FINISHED GRADE ELEVATION, AND SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE QUALITY COMPACTION METHOD AS OUTLINED IN MN/DOT SPECIFICATION 2105-3F2. SNOW FENCE SHALL BE FURNISHED AND PLACED ALONG THE PERIMETER OF THE TRENCH BORROW AREA WHERE THE SLOPES EXCEED 2 FOOT HORIZONTAL TO 1 FOOT VERTICAL (2:1).
- FINISHED GRADING SHALL BE COMPLETED. CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING, INCLUDING ADJACENT TRANSITION AREAS. PROVIDE A SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCES, WITH UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN, OR BETWEEN SUCH POINTS AND EXISTING GRADES. AREAS THAT HAVE BEEN FINISHED GRADED SHALL BE PROTECTED FROM SUBSEQUENT CONSTRUCTION OPERATIONS, TRAFFIC AND EROSION. REPAIR ALL AREAS THAT HAVE BECOME RUTTED, GRODED OR HAS SETTLED BELOW THE CORRECT GRADE. ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO EQUAL OR BETTER THAN ORIGINAL CONDITION OR TO THE REQUIREMENTS OF THE NEW WORK.
- TOLERANCES
14.a. THE RESIDENTIAL BUILDING SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.30 FOOT ABOVE, OR 0.30 FOOT BELOW, THE PRESCRIBED ELEVATION AT ANY POINT WHERE MEASUREMENT IS MADE.
14.b. THE COMMERCIAL BUILDING SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.10 FOOT ABOVE, OR 0.10 FOOT BELOW, THE PRESCRIBED ELEVATION AT ANY POINT WHERE MEASUREMENT IS MADE.
14.c. THE STREET OR PARKING AREA SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.05 FOOT ABOVE, OR 0.10 FOOT BELOW, THE PRESCRIBED ELEVATION AT ANY POINT WHERE MEASUREMENT IS MADE.
- AREAS WHICH ARE TO RECEIVE TOPSOIL SHALL BE GRADED TO WITHIN 0.30 FOOT ABOVE OR BELOW THE REQUIRED ELEVATION, UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
- 14.e. TOPSOIL SHALL BE GRADED TO PLUS OR MINUS 1/2 INCH OF THE SPECIFIED THICKNESS.
- AFTER THE SITE GRADING IS COMPLETED, IF EXCESS OR SHORTAGE OF SOIL MATERIAL EXISTS, CONTRACTOR SHALL TRANSPORT ALL EXCESS SOIL MATERIAL OFF THE SITE TO AN AREA SELECTED BY THE CONTRACTOR, OR IMPORT SUITABLE MATERIAL TO THE SITE.
- CONTRACTOR SHALL DETERMINE THE LOCATION OF ANY HAUL ROADS THAT MAY BE REQUIRED TO COMPLETE THE SITE GRADING CONSTRUCTION AND SHALL INDICATE HAUL ROADS ON EROSION AND SEDIMENT CONTROL "SITE MAP". CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE GOVERNING AUTHORITY OF EACH ROADWAY. CONTRACTOR SHALL NOT WHATSOEVER SECURITY, AND COMPLY WITH ALL CONDITIONS WHICH ARE REQUIRED BY EACH GOVERNING AUTHORITY OF EACH ROADWAY.
- DISTURBED AREAS WITHIN WETLAND MITIGATION SITE AND ANY DISTURBED AREAS WITHIN THE WETLAND SHALL BE RESTORED WITH 6 TO 12 INCHES OF ORGANIC SOILS, PREFERABLY SOILS THAT WERE PREVIOUSLY REMOVED FROM WETLAND AREAS. SEEDING IN THE WETLAND MITIGATION AREAS ABOVE THE NORMAL WATER LEVEL SHALL BE MN STATE SEED MIX 34-271, WET MEADOW SOUTH AND WEST, OR APPROVED EQUAL. FOR STATE SEED MIXES, OATS AND WINTER WHEAT SHOULD BE SELECTED BASED ON THE TIME OF YEAR THAT THE MIX IS BEING USED. OATS SHOULD BE INCLUDED IN MIXES IF BEING USED BETWEEN OCTOBER 15TH AND AUGUST 1ST. WINTER WHEAT SHOULD BE USED BETWEEN AUGUST 1ST AND OCTOBER 15TH. THE SEEDING RATE IS THE SAME FOR OATS AND WINTER WHEAT. MIX 34-271 SHOULD BE APPLIED AT 12 POUNDS PER ACRE. SEED SHALL BE WATERED UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
- FILL PLACED WITHIN THE BUILDING PAD AREAS SHALL BE IN CONFORMANCE WITH HUD/FHA PROCEDURES AND DATA SHEET 79G.
- RETAINING WALL(S) SHALL BE CONSTRUCTED OF (MODULAR BLOCK, TREATED TIMBER, BOULDER, ETC.) MATERIAL. CONTRACTOR SHALL SUBMIT TO THE ENGINEER AND LOCAL AUTHORITY CERTIFIED ENGINEERING DRAWINGS, DESIGN CALCULATIONS AND SOIL BORINGS. THE CERTIFIED ENGINEER FOR THE RETAINING WALL(S) SHALL PROVIDE CONSTRUCTION OBSERVATIONS OF THE RETAINING WALL IMPROVEMENT, AND A LETTER CERTIFYING THE INSTALLATION OF THE WALL(S) WAS CONSTRUCTED IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.

Sambatek
www.sambatek.com
12800 Whitewater Drive, Suite 300
Minnetonka, MN 55343
763.476.6010 telephone
763.476.8532 facsimile
Engineering | Surveying | Planning | Environmental

Client
CONTINENTAL
483 FUND LLC

W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051

Project
SPRINGS AT
LAKE ELMO

Location
LAKE ELMO,
MINNESOTA
9955 HUDSON BOULEVARD NORTH

Certification
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Eric A. Vogel
Registration No. 14 Date: 4/12/2019
If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

Summary
Designed: EAV Drawn: CIL
Approved: EAV Book / Page:
Phase: PRELIMINARY Initial Issue: 4/12/2019

Revision History
No. Date By Submittal / Revision
4/12/2019 CITY SUBMITTAL

Sheet Title
GRADING PLAN

Sheet No. Revision
C4.01

Project No. 21654



Client
CONTINENTAL
483 FUND LLC

Project SPRINGS AT LAKE ELMO

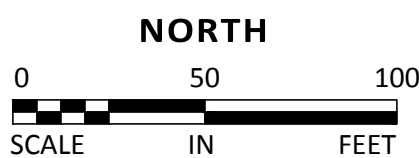
Location
LAKE ELMO,
MINNESOTA
9955 HUDSON BOULEVARD NORTH

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Designed: EAV Drawn: CJL
Approved: EAV Book / Page:
Phase: PRELIMINARY Initial Issue: 4/12/2019

No.	Date	By	Submittal / Revision
	4/12/2019		CITY SUBMITTAL

NOTE: CONTRACTOR OR GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE



Project No. 21654



THE EROSION CONTROL PLAN SHEETS ALONG WITH THE REST OF THE SWPPP MUST BE KEPT ONSITE UNTIL THE NOTICE OF TERMINATION IS FILED WITH THE MPCA. THE CONTRACTOR MUST UPDATE THE SWPPP, INCLUDING THE EROSION CONTROL PLAN SHEETS AS NECESSARY TO INCLUDE ADDITIONAL REQUIREMENTS, SUCH AS ADDITIONAL OR MODIFIED BMPs DESIGNED TO CORRECT PROBLEMS IDENTIFIED. AFTER FILING THE NOTICE OF TERMINATION, THE SWPPP, INCLUDING THE EROSION CONTROL PLAN SHEETS, AND ALL REVISIONS TO IT MUST BE SUBMITTED TO THE OWNER, TO BE KEPT ON FILE IN ACCORDANCE WITH THE RECORD RETENTION REQUIREMENTS DESCRIBED IN THE SWPPP NARRATIVE.

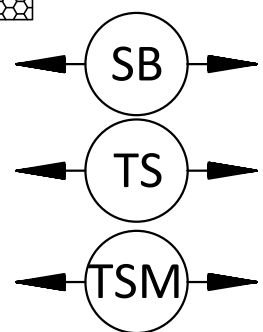
ITEM	UNIT	QUANTITY
SILT FENCE	LINEAR FEET	4183
SILT DIKE	LINEAR FEET	0
BIO-ROLL	LINEAR FEET	6
CONSTRUCTION ENTRANCE	UNIT	1

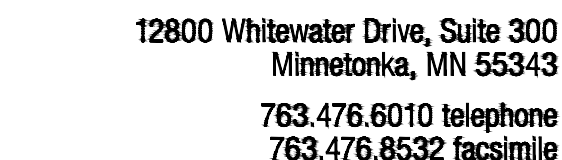
THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL 2. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CES 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS ACTIVE. NO DRAIN TILE SHALL BE BACKFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

TEMPORARY STABILIZATION MEASURES
(SEED, MULCH, MATS OR BLANKETS AS
OUTLINED IN THE SWPPP)

[illegible]



Client
CONTINENTAL
483 FUND LLC

Project SPRINGS AT LAKE ELMO

9955 HUDSON BOULEVARD NORTH

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Eric A. Vogel
Registration No. 54914 Date: 4/12/2019

Designed: EAV Drawn: CJL
Approved: EAV Book / Page:
Phase: PRELIMINARY Initial Issue: 4/12/2019

No.	Date	By	Submittal / Revision
	4/12/2019		CITY SUBMITTAL

Sheet No. Revision
C5.02

Project No. 21654



THE EROSION CONTROL PLAN SHEETS ALONG WITH THE REST OF THE SWPPP MUST BE KEPT ONSITE UNTIL THE NOTICE OF TERMINATION IS FILED WITH THE MPCA, THE CONTRACTOR MUST UPDATE THE SWPPP, INCLUDING THE EROSION CONTROL PLAN SHEETS AS NECESSARY TO INCLUDE ADDITIONAL REQUIREMENTS, SUCH AS ADDITIONAL OR MODIFIED BMPs DESIGNED TO CORRECT PROBLEMS IDENTIFIED. AFTER FILING THE NOTICE OF TERMINATION, THE SWPPP, INCLUDING THE EROSION CONTROL PLAN SHEETS, AND ALL REVISIONS TO IT MUST BE SUBMITTED TO THE OWNER, TO BE KEPT ON FILE IN ACCORDANCE WITH THE RECORD RETENTION REQUIREMENTS DESCRIBED IN THE SWPPP NARRATIVE.

ITEM	UNIT	QUANTITY
SILT FENCE	LINEAR FEET	2360
SILT DIKE	LINEAR FEET	493
CONSTRUCTION ENTRANCE	UNIT	1
INLET PROTECTION DEVICE (IP-1)	UNIT	51
INLET PROTECTION DEVICE (IP-2)	UNIT	51

3. SURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED CONSIDERING THE GUIDELINES OF ASCE/318-02, TITLE "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

4. IF THE CONTRACTOR ENCOUNTERS ANY DRAIN LINE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, DEPTH AND DIRECTION OF DRAIN LINE. THE DRAIN LINE SHALL BE BACFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER.

5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED PROMOVEMENTS SHOWN ON THE PLANS.

PROPOSED

CURB & GUTTER

STORM SEWER

DRAINTILE

CONTOUR

OVERFLOW ELEV.

SILT FENCE

SILT DIKE

LIMITS OF DISTURBANCE

SOIL BORINGS

DIRECTION OF OVERLAND FLOW

TEMPORARY DIVERSION DITCH

CHECK DAM

LIMITS OF DRAINAGE SUB-BASIN

BIO-ROLL

INLET PROTECTION DEVICE 1

INLET PROTECTION DEVICE 2

TEMPORARY STONE CONSTRUCTION ENTRANCE

TEMPORARY SEDIMENT BASIN

TEMPORARY STORAGE AND PARKING AREA

TEMPORARY STABILIZATION MEASURES (SEED, MULCH, MATS OR BLANKETS AS OUTLINED IN THE SWPPP)

UNDERGROUND STORM SEWER SYSTEM

EXISTING

902.5

902.5

ST 5

902.5

IP-1

IP-2

SB

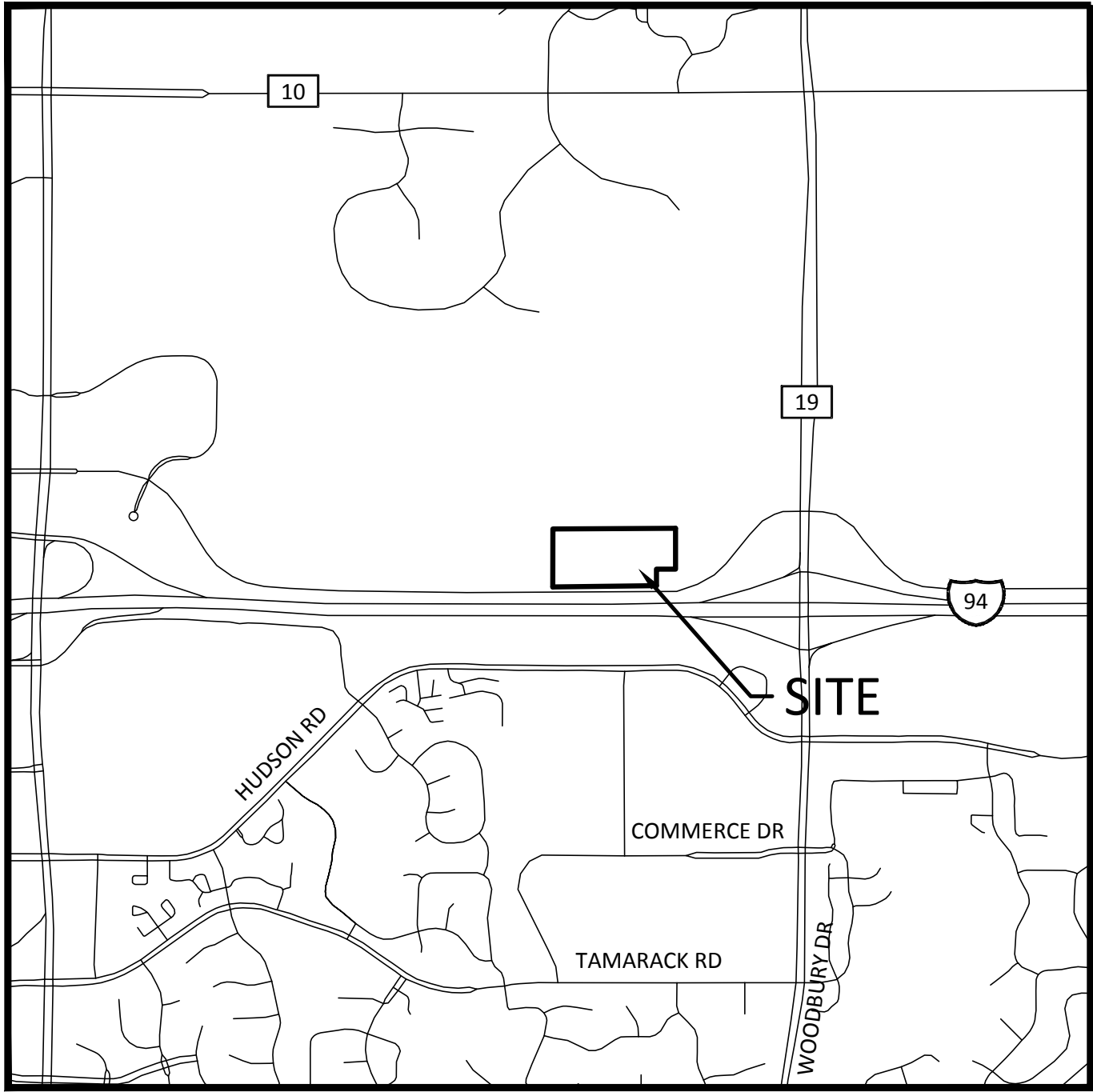
TS

TSM

[illegible]

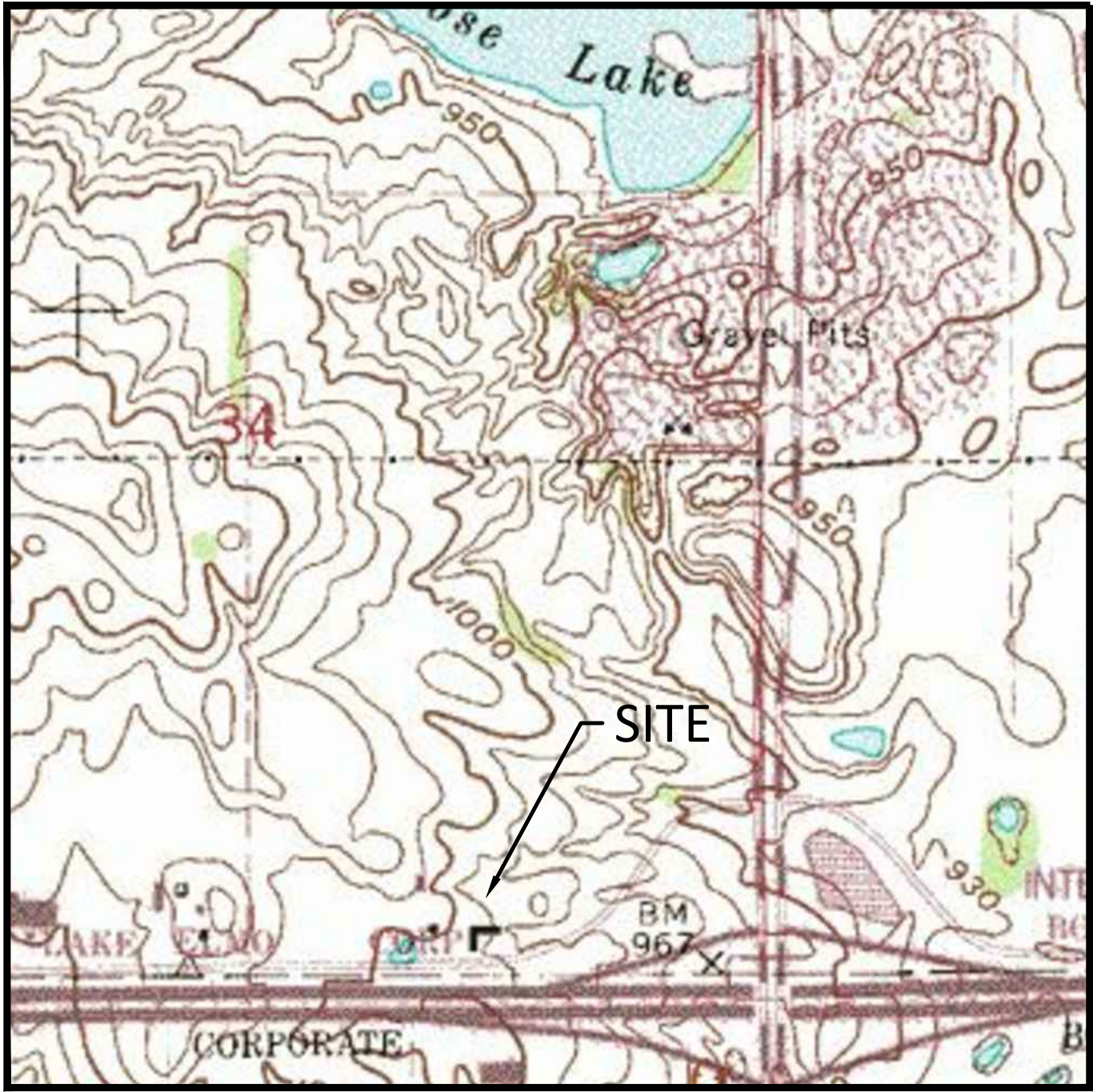
A north arrow pointing upwards, enclosed in a circle. Below it is a scale bar with markings for 0, 50, and 100 feet. The scale bar is divided into two sections: the first section is labeled 'SCALE' and 'IN' and the second section is labeled 'FEET'.

EROSION & SEDIMENTATION CONTROL NOTES & DETAILS / "SITE MAP"



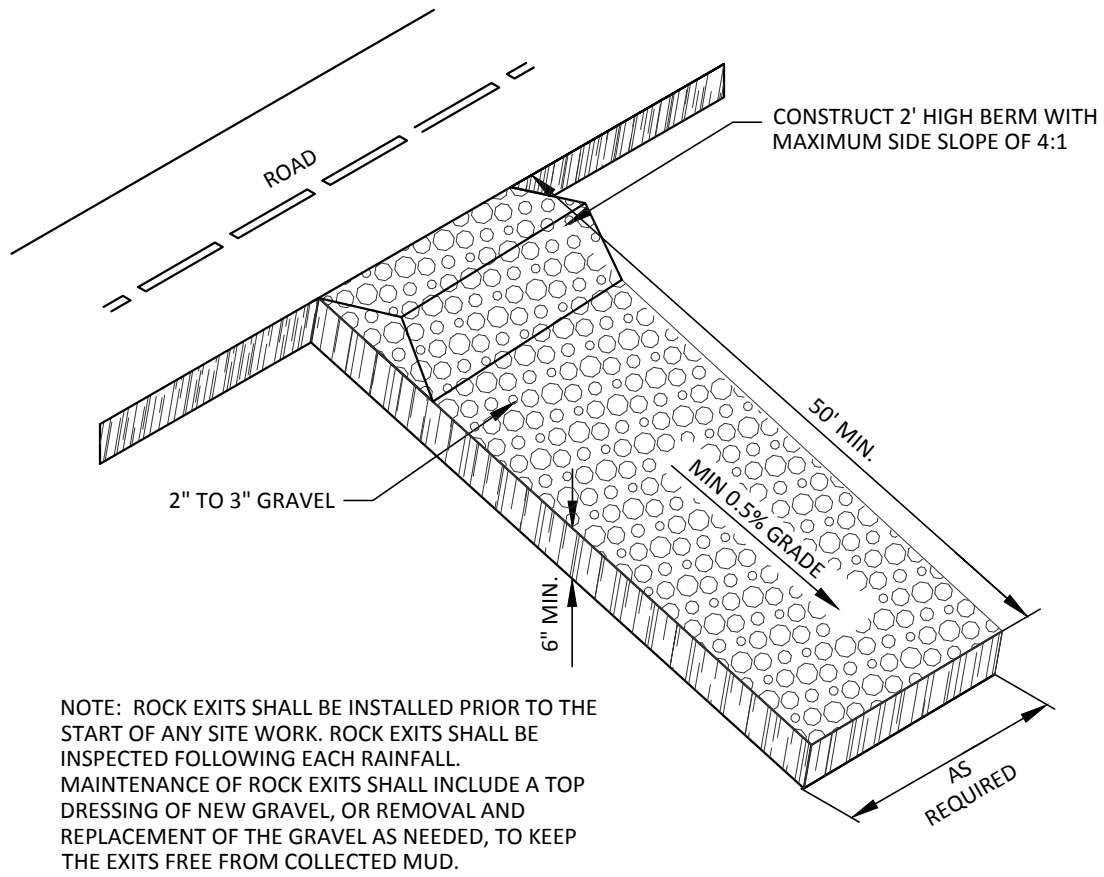
SITE LOCATION MAP

NOT TO SCALE



USGS MAP

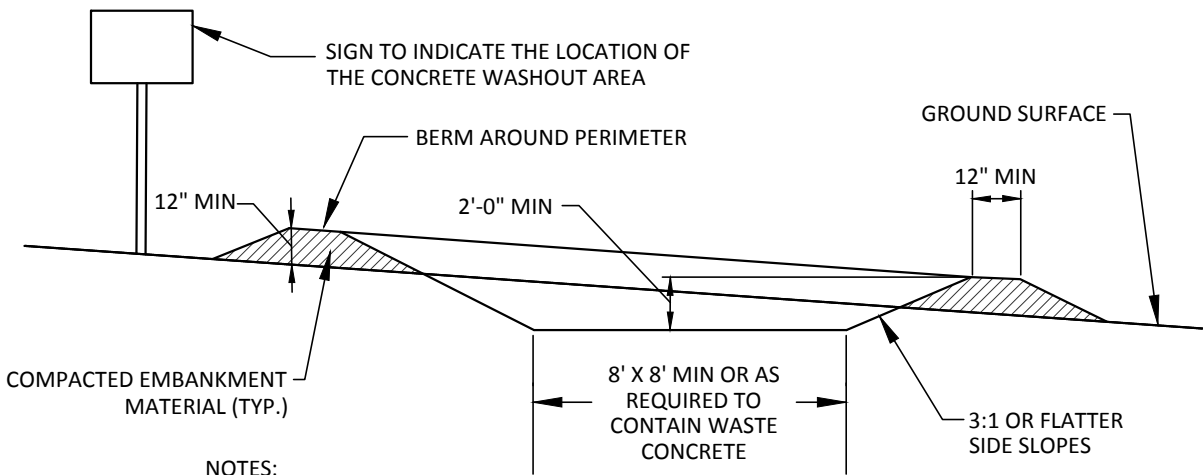
NOT TO SCALE



NOTE: ROCK EXITS SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE WORK. ROCK EXITS SHALL BE INSPECTED FOLLOWING EACH RAINFALL. MAINTENANCE OF ROCK EXITS SHALL INCLUDE A TOP DRESSING OF NEW GRAVEL, OR REMOVAL AND REPLACEMENT OF THE GRAVEL AS NEEDED, TO KEEP THE EXITS FREE FROM COLLECTED MUD.

ROCK EXIT DRIVE

NOT TO SCALE

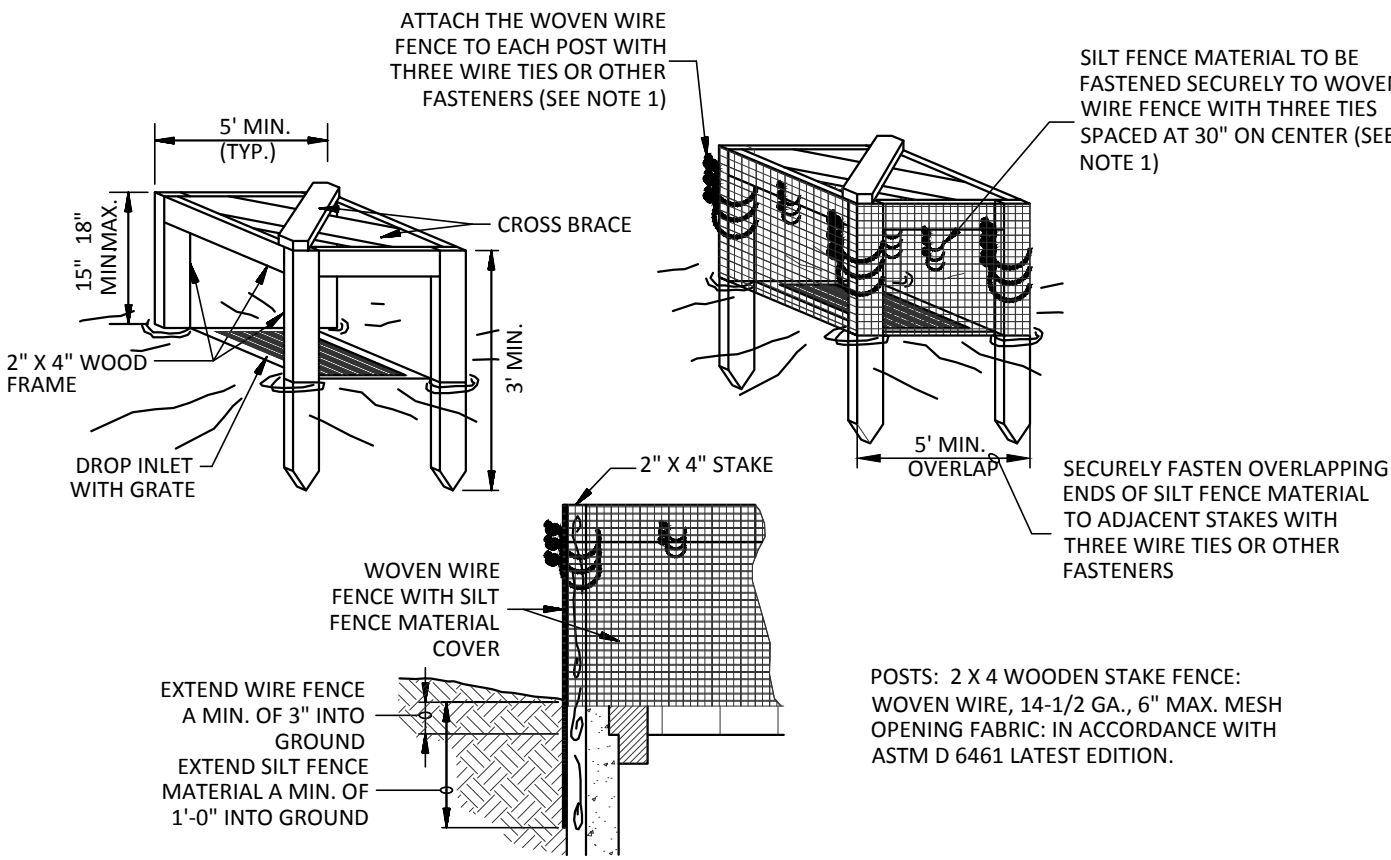


NOTES:

1. CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
2. CONCRETE WASHOUT AREA SHALL BE LINED WITH MINIMUM 10 MIL THICK PLASTIC LINER.
3. VEHICLE TRACKING CONTROL IS REQUIRED IF ACCESS TO CONCRETE WASHOUT AREA IS OFF PAVEMENT.
4. SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE WASHOUT AREA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT AREA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
5. THE CONCRETE WASHOUT AREA SHALL BE REPAIRED AND ENLARGED OR CLEANED OUT AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE.
6. AT THE END OF CONSTRUCTION, ALL CONCRETE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN ACCEPTED WASTE SITE.
7. WHEN THE CONCRETE WASHOUT AREA IS REMOVED, THE DISTURBED AREA SHALL BE SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER ACCEPTED BY THE CITY.

CONCRETE WASHOUT AREA

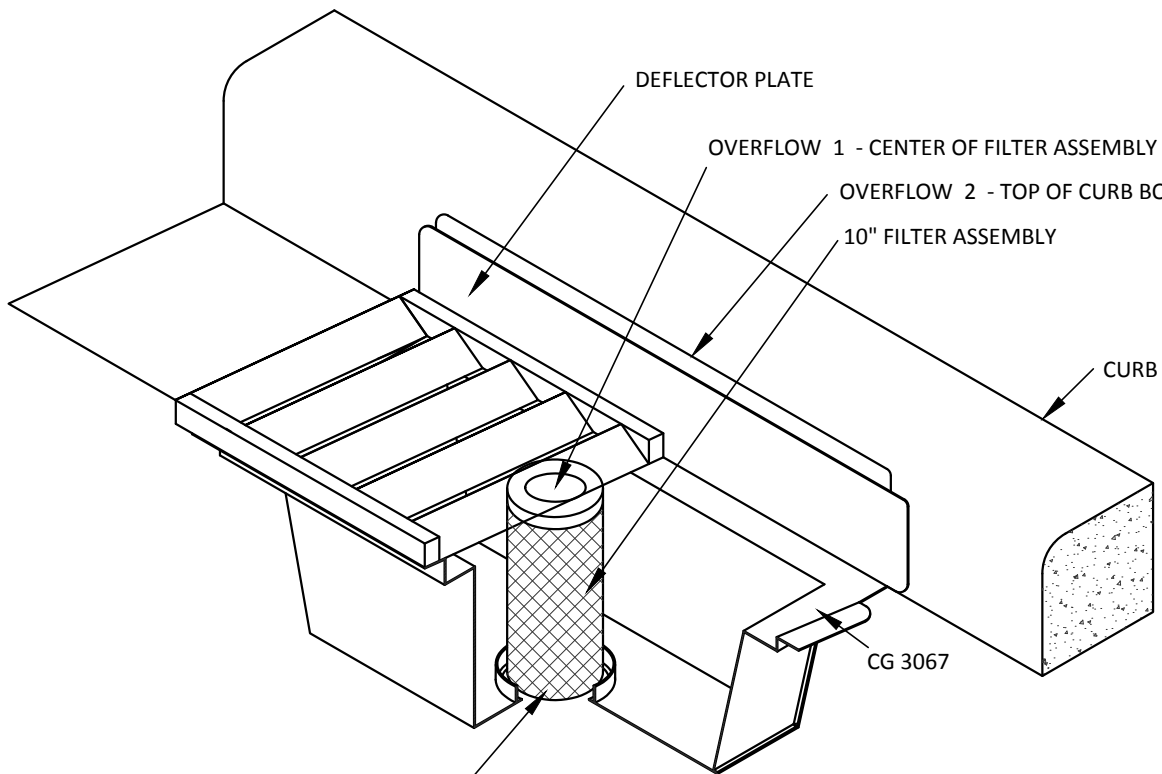
NOT TO SCALE



1. ATTACH THE WOVEN WIRE FENCE TO EACH POST AND THE GEOTEXTILE TO THE WOVEN WIRE FENCE (SPACED EVERY 30") WITH THREE WIRE TIES OR OTHER FASTENERS. ALL SPACED WITHIN THE TOP 8" OF THE FABRIC. ATTACH EACH TIE DIAGONALLY 45 DEGREES THROUGH THE FABRIC, WITH EACH PUNCTURE AT LEAST 1" VERTICALLY APART.
2. WHEN TWO SECTIONS OF SILT FENCE MATERIAL ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED ACROSS TWO POSTS.
3. MAINTENANCE SHALL BE PERFORMED AS NOTED IN THE SWPPP. DEPTH OF ACCUMULATED SEDIMENTS MAY NOT EXCEED ONE-HALF THE HEIGHT OF THE FABRIC. MAINTENANCE CLEANOUT MUST BE CONDUCTED REGULARLY TO PREVENT ACCUMULATED SEDIMENTS FROM REACHING ONE-HALF THE HEIGHT OF THE SILT FENCE MATERIAL ABOVE GRADE.
4. ALL SILT FENCE INLETS SHALL INCLUDE WIRE SUPPORT.

SILT FENCE INLET PROTECTION (IP-1)

NOT TO SCALE



- HIGH-FLOW FABRIC
MIRAFI FF101
- ROAD DRAIN CASTING APPLICABILITY
- NEENAH R-3067
 - NEENAH R-3512

ROAD DRAIN INLET PROTECTION (IP-2)

NOT TO SCALE

GENERAL EROSION NOTES:

1. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME. WHERE A CONFLICT EXISTS BETWEEN LOCAL JURISDICTIONAL STANDARD SPECIFICATIONS AND SAMBATEK STANDARD SPECIFICATIONS, THE MORE STRINGENT SPECIFICATION SHALL APPLY.
2. THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THIS DRAWING (EROSION & SEDIMENTATION CONTROL PLAN-ESC PLAN), THE STANDARD DETAILS, THE PLAN NARRATIVE, AND ITS APPENDICES, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING & SUBMITTING THE APPLICATION FOR THE MPCA GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE SWPPP AND THE STATE OF MINNESOTA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT, ISSUED AUGUST 1, 2018) AND BECOME FAMILIAR WITH THE CONTENTS. THE SWPPP AND ALL OTHER RELATED DOCUMENTS MUST BE KEPT AT THE SITE DURING CONSTRUCTION.
4. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMP'S) AS REQUIRED BY THE SWPPP & PERMITS. CONTRACTOR SHALL OVERSEE THE INSPECTION & MAINTENANCE OF THE BMP'S AND EROSION PREVENTION FROM BEGINNING OF CONSTRUCTION AND UNTIL CONSTRUCTION IS COMPLETED, IS APPROVED BY ALL AUTHORITIES, AND THE NOTICE OF TERMINATION (NOT) HAS BEEN FILED WITH THE MPCA BY EITHER THE OWNER OR OPERATOR AS APPROVED ON PERMIT. ADDITIONAL BMP'S SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
5. CONTRACTOR SHALL COMPLY WITH TRAINING REQUIREMENTS IN PART 21.1-21.3 OF THE GENERAL PERMIT.
6. BMP'S AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
7. ESC PLAN MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
8. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THE ESC PLANS SHALL BE CLEARLY DELINEATED (E.G. WITH FLAGS, STAKES, SIGNS, SILT FENCE, ETC.) ON THE DEVELOPMENT SITE BEFORE WORK BEGINS. GROUND DISTURBING ACTIVITIES MUST NOT OCCUR OUTSIDE THE LIMITS OF DISTURBANCE.
9. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
10. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) MUST BE LIMITED TO A DEFINED AREA OF THE SITE AND SHALL BE CONTAINED AND PROPERLY TREATED OR DISPOSED. NO ENGINE DEGREASING IS ALLOWED ON SITE.
11. ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER IS NOT ACCEPTABLE. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA REGULATIONS. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES. SELF-CONTAINED CONCRETE WASHOUTS ON CONCRETE DELIVERY TRUCKS ARE ALLOWED.
12. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
13. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
14. SOLID WASTE: COLLECTED SEDIMENT, ASPHALT & CONCRETE MILLINGS, FLOATING DEBRIS, PAPER, PLASTIC, FABRIC, CONSTRUCTION & DEMOLITION DEBRIS & OTHER WASTES MUST BE DISPOSED OF PROPERLY & MUST COMPLY WITH MPCA DISPOSAL REQUIREMENTS.
15. HAZARDOUS MATERIALS: OIL, GASOLINE, PAINT & ANY HAZARDOUS SUBSTANCES MUST BE PROPERLY STORED, INCLUDING SECONDARY CONTAINMENT, TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. RESTRICTED ACCESS TO STORAGE AREAS MUST BE PROVIDED TO PREVENT VANDALISM. STORAGE & DISPOSAL OF HAZARDOUS WASTE MUST BE IN COMPLIANCE WITH MPCA REGULATIONS.
16. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE SWPPP, SHALL BE INITIATED AS SOON AS PRACTICABLE AND PRIOR TO SOIL DISTURBING ACTIVITIES UPSLOPE.
17. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED SHALL BE TEMPORARILY SEEDED, WITHIN 14 DAYS OF INACTIVITY. SEEDING SHALL BE IN ACCORDANCE WITH MN/DOT SEED MIXTURE NUMBER 21-111 OR 21-112 DEPENDING ON THE SEASON OF PLANTING (SEE MN/DOT SPECIFICATION SECTION 2575.3) SEEDING METHOD AND APPLICATION RATE SHALL CONFORM TO MN/DOT SPECIFICATION SECTION 2575.3. TEMPORARY MULCH SHALL BE APPLIED IN ACCORDANCE WITH MN/DOT SPECIFICATION SECTION 2575.3F1 AND 2575.3G. ALTERNATIVELY, HYDRAULIC SOIL STABILIZER IN ACCORDANCE WITH MN/DOT SPECIFICATION SECTION 2575.3H MAY BE USED IN PLACE OF TEMPORARY MULCH.
18. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED. THESE AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE TIME TABLE DESCRIBED ABOVE. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN FOR VEGETATIVE COVER.

AREA SUMMARY IN ACRES

PAVEMENT AREA	6.56 AC±
BUILDING AREA	4.67 AC±
SEEDED AREA	5.79 AC±
TOTAL DISTURBED	17.02 AC±
PRE - CONSTRUCTION IMPERVIOUS	0.05 AC±
POST - CONSTRUCTION IMPERVIOUS	11.23 AC±

MAINTENANCE NOTES:

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. THE DESIGNATED CONTACT PERSON NOTED ON THIS PLAN MUST ROUTINELY INSPECT THE CONSTRUCTION ON SITE ONCE EVERY SEVEN DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. ALL SILT FENCES MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/2 OF THE HEIGHT OF THE FENCE. THESE REPAIRS MUST BE MADE WITHIN 24 HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
2. TEMPORARY AND PERMANENT SEDIMENTATION BASINS MUST BE DRAINED AND THE SEDIMENT REMOVED WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES 1/2 THE STORAGE VOLUME. DRAINAGE AND REMOVAL MUST BE COMPLETED WITHIN 72 HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS (SEE PART 10.1-10.5 OF THE GENERAL PERMIT).
3. SURFACE WATERS, INCLUDING DRAINAGE DITCHES AND CONVEYANCE SYSTEMS, MUST BE INSPECTED FOR EVIDENCE OF SEDIMENT BEING DEPOSITED BY EROSION. CONTRACTOR MUST REMOVE ALL DELTAS AND SEDIMENT DEPOSITED IN SURFACE WATERS, INCLUDING DRAINAGE WAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS, AND RESTABILIZE THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED SOIL. THE REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) DAYS OF DISCOVERY UNLESS PRECLUDED BY LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS. CONTRACTOR SHALL USE ALL REASONABLE EFFORTS TO OBTAIN ACCESS. IF PRECLUDED, REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) CALENDAR DAYS OF OBTAINING ACCESS. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL LOCAL, REGIONAL, STATE AND FEDERAL AUTHORITIES AND RECEIVING ANY APPLICABLE PERMITS, PRIOR TO CONDUCTING ANY WORK.
4. CONSTRUCTION SITE VEHICLE EXIT LOCATIONS MUST BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING ONTO PAVED SURFACES. TRACKED SEDIMENT MUST BE REMOVED FROM ALL OFF-SITE PAVED SURFACES, WITHIN 24 HOURS OF DISCOVERY, OR IF APPLICABLE, WITHIN A SHORTER TIME TO COMPLY WITH PART 9.11-9.12 OF THE GENERAL PERMIT.
5. CONTRACTOR IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF TEMPORARY AND PERMANENT WATER QUALITY MANAGEMENT BMP'S, AS WELL AS ALL EROSION PREVENTION AND SEDIMENT CONTROL BMP'S, FOR THE DURATION OF THE CONSTRUCTION WORK AT THE SITE. THE PERMITTEE(S) ARE RESPONSIBLE UNTIL ANOTHER PERMITTEE HAS ASSUMED CONTROL (ACCORDING TO PART 3.1 TO 3.8 OF THE MPCA GENERAL PERMIT) OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED OR THE SITE HAS UNDERGONE FINAL STABILIZATION, AND A (N.O.T.) HAS BEEN SUBMITTED TO THE MPCA.
6. IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED IN A MANNER AND AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS (E.G., FUGITIVE SEDIMENT IN STREETS COULD BE WASHED INTO STORM SEWERS BY THE NEXT RAIN AND/OR POSE A SAFETY HAZARD TO USERS OF PUBLIC STREETS).
7. ALL INFILTRATION AREAS MUST BE INSPECTED TO ENSURE THAT NO SEDIMENT FROM ONGOING CONSTRUCTION ACTIVITIES IS REACHING THE INFILTRATION AREA AND THESE AREAS ARE PROTECTED FROM COMPACTION DUE TO CONSTRUCTION EQUIPMENT DRIVING ACROSS THE INFILTRATION AREA.

SEQUENCE OF CONSTRUCTION

PHASE I:

1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
2. PREPARE TEMPORARY PARKING AND STORAGE AREA.
3. CONSTRUCT THE SILT FENCES ON THE SITE.
4. INSTALL INLET PROTECTION DEVICES ON EXISTING STORM STRUCTURES, AS SHOWN ON THE PLAN.
5. CONSTRUCT THE SEDIMENTATION AND SEDIMENT TRAP BASINS, AS REQUIRED.
6. HALT ALL ACTIVITIES AND CONTACT THE CIVIL ENGINEERING CONSULTANT TO PERFORM INSPECTION OF BMP'S. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER PRE-CONSTRUCTION MEETING WITH ENGINEER AND ALL GROUND DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.
7. CLEAR AND GRUB THE SITE.
8. BEGIN GRADING THE SITE.
9. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.

PHASE II:

1. TEMPORARILY SEED DENUDED AREAS.
2. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
3. INSTALL RIP RAP AROUND OUTLET STRUCTURES.
4. INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES.
5. PREPARE SITE FOR PAVING.
6. PAVE SITE.
7. INSTALL INLET PROTECTION DEVICES.
8. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
9. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED), IF REQUIRED BY THE CONTRACT.



12800 Whitewater Drive, Suite 300
Minnetonka, MN 55343
763.476.6010 telephone
763.476.8532 facsimile

Engineering | Surveying | Planning | Environmental

Client
CONTINENTAL
483 FUND LLC

W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051

Project
SPRINGS AT
LAKE ELMO

Location
LAKE ELMO,
MINNESOTA

9955 HUDSON BOULEVARD NORTH

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Eric A. Vogel
Registration No. 14 Date: 4/12/2019

If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

Summary

Designed: EAV Drawn: CIL
Approved: EAV Book / Page:
Phase: PRELIMINARY Initial Issue: 4/12/2019

Revision History

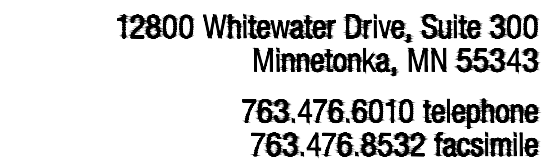
No. Date By Submittal / Revision
4/12/2019 CITY SUBMITTAL

Sheet Title
EROSION
CONTROL
NOTES AND
DETAILS

Sheet No. Revision

C5.03

Project No. 21654



W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051

Location
LAKE ELMO,
MINNESOTA
9955 HUDSON BOULEVARD NORTH

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Eric A. Vogel
Registration No. 54914 Date: 4/12/2019

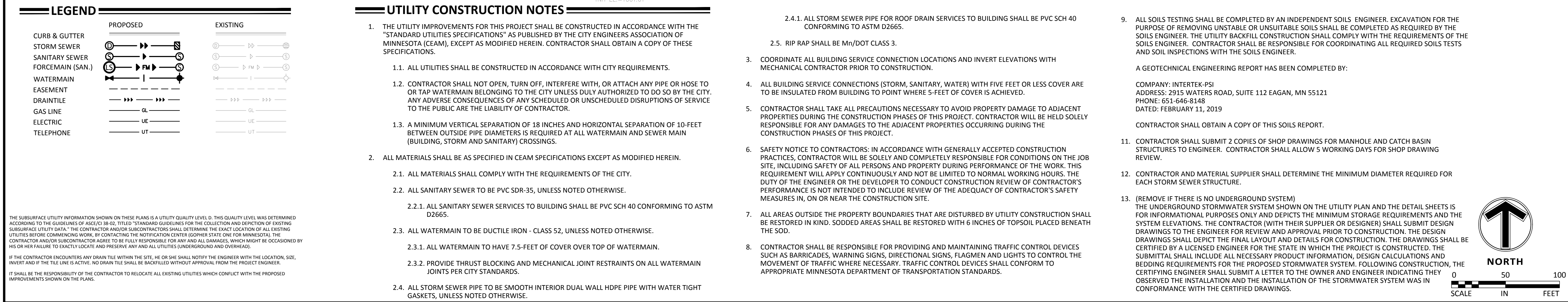
If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

Designed: EAV Drawn: CJL
Approved: EAV Book / Page:
Phase: PRELIMINARY Initial Issue: 4/12/2019

No.	Date	By	Submittal / Revision
	4/12/2019		CITY SUBMITTAL

Sheet No. Revision
C6.01

21654



Apr 12, 2019 - 3:13pm - User:dlkhty L:\PROJECTS\21654\CAD\Civil\Sheets\21654-C6-UTIL.dwg

Client CONTINENTAL 483 FUND LLC

W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051

Project SPRINGS AT LAKE ELMO

Location LAKE ELMO, MINNESOTA

9955 HUDSON BOULEVARD NORTH

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Eric A. Vogel
Registration No. 14 Date: 4/12/2019
If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

Summary

Designed: EAV Drawn: CIL
Approved: EAV Book / Page:
Phase: PRELIMINARY Initial Issue: 4/12/2019

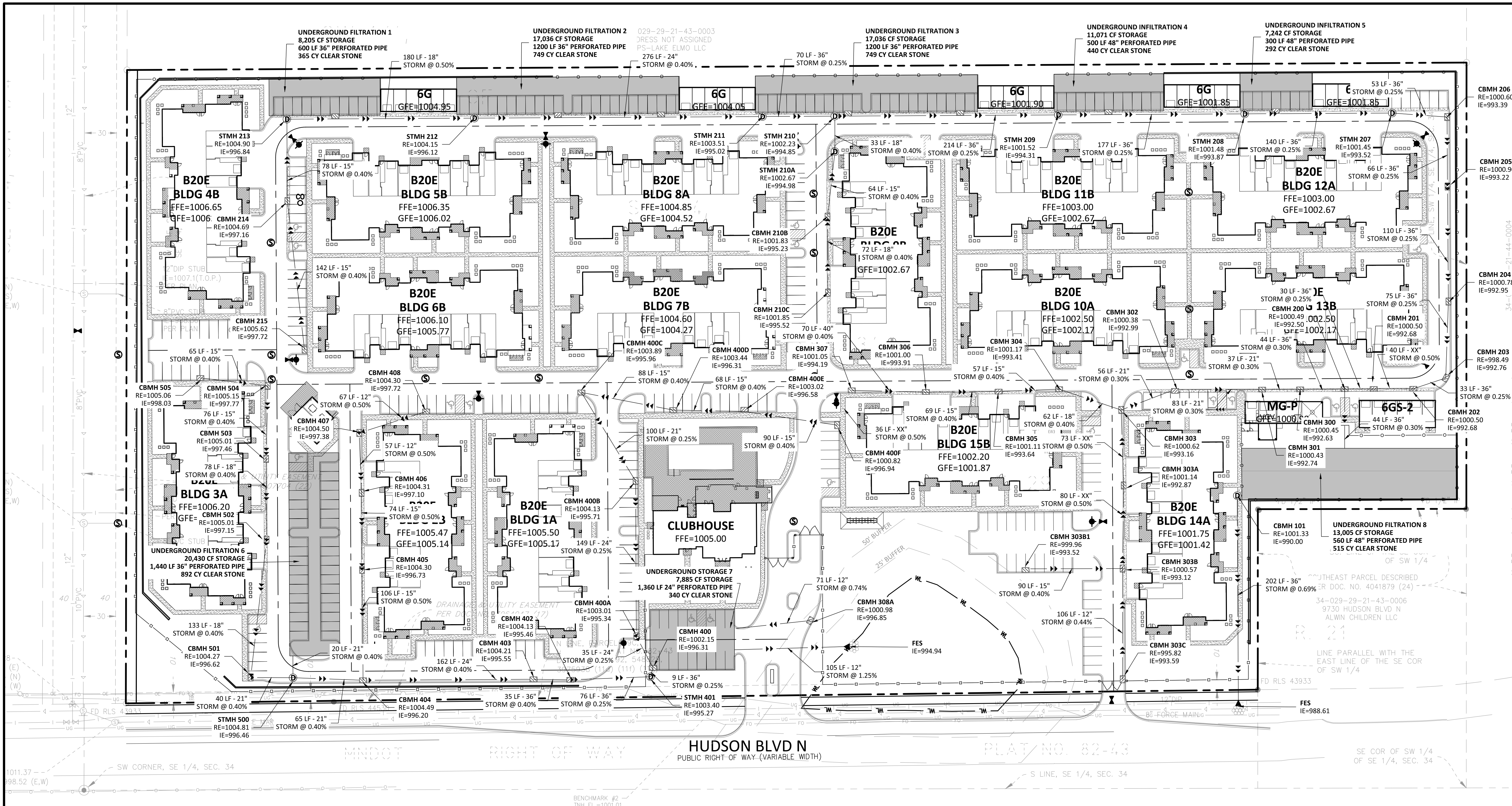
Revision History

No.	Date By	Submittal / Revision
1	4/12/2019	CITY SUBMITTAL

Sheet Title STORM SEWER PLAN

Sheet No. Revision C6.02

Project No. 21654



LEGEND	
PROPOSED	EXISTING
CURB & GUTTER	
STORM SEWER	
SANITARY SEWER	
FORCE MAIN (SAN.)	
WATERMAIN	
EASEMENT	
DRAIN TILE	
GAS LINE	
ELECTRIC	
TELEPHONE	
UNDERGROUND STORM SEWER SYSTEM	

- ### UTILITY CONSTRUCTION NOTES
- THE UTILITY IMPROVEMENTS FOR THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "STANDARD UTILITIES SPECIFICATIONS" AS PUBLISHED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), EXCEPT AS MODIFIED HEREIN. CONTRACTOR SHALL OBTAIN A COPY OF THESE SPECIFICATIONS.
 - ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY REQUIREMENTS.
 - CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP WATERMAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE THE LIABILITY OF CONTRACTOR.
 - A MINIMUM VERTICAL SEPARATION OF 18 INCHES AND HORIZONTAL SEPARATION OF 10-FEET BETWEEN OUTSIDE PIPE DIAMETERS IS REQUIRED AT ALL WATERMAIN AND SEWER MAIN (BUILDING, STORM AND SANITARY) CROSSINGS.
 - ALL MATERIALS SHALL BE AS SPECIFIED IN CEAM SPECIFICATIONS EXCEPT AS MODIFIED HEREIN.
 - ALL MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY.
 - ALL SANITARY SEWER TO BE PVC SDR-35, UNLESS NOTED OTHERWISE.
 - ALL SANITARY SEWER SERVICES TO BUILDING SHALL BE PVC SCH 40 CONFORMING TO ASTM D2665.
 - ALL WATERMAIN TO BE DUCTILE IRON - CLASS 52, UNLESS NOTED OTHERWISE.
 - ALL WATERMAIN TO HAVE 7.5-FEET OF COVER OVER TOP OF WATERMAIN.
 - PROVIDE THRUST BLOCKING AND MECHANICAL JOINT RESTRAINTS ON ALL WATERMAIN JOINTS PER CITY STANDARDS.
 - ALL STORM SEWER PIPE TO BE SMOOTH INTERIOR DUAL WALL HDPE PIPE WITH WATER TIGHT GASKETS, UNLESS NOTED OTHERWISE.

- ALL STORM SEWER PIPE FOR ROOF DRAIN SERVICES TO BUILDING SHALL BE PVC SCH 40 CONFORMING TO ASTM D2665.
- RIP RAP SHALL BE MNDOT CLASS 3.
- COORDINATE ALL BUILDING SERVICE CONNECTION LOCATIONS AND INVERT ELEVATIONS WITH MECHANICAL CONTRACTOR PRIOR TO CONSTRUCTION.
- ALL BUILDING SERVICE CONNECTIONS (STORM, SANITARY, WATER) WITH FIVE FEET OR LESS COVER ARE TO BE INSULATED FROM BUILDING TO POINT WHERE 5-FEET OF COVER IS ACHIEVED.
- CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- SAFETY NOTICE TO CONTRACTORS: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER OR THE DEVELOPER TO CONDUCT CONSTRUCTION REVIEW OF CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF CONTRACTOR'S SAFETY MEASURES IN, ON OR NEAR THE CONSTRUCTION SITE.
- ALL AREAS OUTSIDE THE PROPERTY BOUNDARIES THAT ARE DISTURBED BY UTILITY CONSTRUCTION SHALL BE RESTORED IN KIND. SODDED AREAS SHALL BE RESTORED WITH 6 INCHES OF TOPSOIL PLACED BENEATH THE SOD.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS.

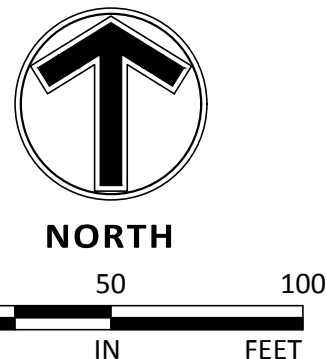
- ALL SOILS TESTING SHALL BE COMPLETED BY AN INDEPENDENT SOILS ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE SOILS ENGINEER. THE UTILITY BACKFILL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE SOILS ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND SOIL INSPECTIONS WITH THE SOILS ENGINEER.

A GEOTECHNICAL ENGINEERING REPORT HAS BEEN COMPLETED BY:

COMPANY: INTERTEK-PSI
ADDRESS: 2915 WATERS ROAD, SUITE 112 EAGAN, MN 55121
PHONE: 651-646-8148
DATED: FEBRUARY 11, 2019

CONTRACTOR SHALL OBTAIN A COPY OF THIS SOILS REPORT.
- CONTRACTOR SHALL SUBMIT 2 COPIES OF SHOP DRAWINGS FOR MANHOLE AND CATCH BASIN STRUCTURES TO ENGINEER. CONTRACTOR SHALL ALLOW 5 WORKING DAYS FOR SHOP DRAWING REVIEW.
- CONTRACTOR AND MATERIAL SUPPLIER SHALL DETERMINE THE MINIMUM DIAMETER REQUIRED FOR EACH STORM SEWER STRUCTURE.
- (REMOVE IF THERE IS NO UNDERGROUND SYSTEM)

THE UNDERGROUND STORMWATER SYSTEM SHOWN ON THE UTILITY PLAN AND THE DETAIL SHEETS IS FOR INFORMATIONAL PURPOSES ONLY AND DEPICTS THE MINIMUM STORAGE REQUIREMENTS AND THE SYSTEM ELEVATIONS. THE CONTRACTOR (WITH THEIR SUPPLIER OR DESIGNER) SHALL SUBMIT DESIGN DRAWINGS TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. THE DESIGN DRAWINGS SHALL DEPICT THE FINAL LAYOUT AND DETAILS FOR CONSTRUCTION. THE DRAWINGS SHALL BE CERTIFIED BY A LICENSED ENGINEER FOR THE STATE IN WHICH THE PROJECT IS CONSTRUCTED. THE SUBMITTAL SHALL INCLUDE ALL NECESSARY PRODUCT INFORMATION, DESIGN CALCULATIONS AND BEDDING REQUIREMENTS FOR THE PROPOSED STORMWATER SYSTEM. FOLLOWING CONSTRUCTION, THE CERTIFYING ENGINEER SHALL SUBMIT A LETTER TO THE OWNER AND ENGINEER INDICATING THEY OBSERVED THE INSTALLATION AND THE INSTALLATION OF THE STORMWATER SYSTEM WAS IN CONFORMANCE WITH THE CERTIFIED DRAWINGS.



THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CES 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOVERNOR STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS LIVE. NO DRAIN TILE LINE SHALL BE BACKFILLED UNTIL IT HAS BEEN APPROVED BY THE PROJECT ENGINEER.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

Client
**CONTINENTAL
483 FUND LLC**

W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051

Project
**SPRINGS AT
LAKE ELMO**

Location
**LAKE ELMO,
MINNESOTA**
9955 HUDSON BOULEVARD NORTH

Certification
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Eric A. Vogel
Registration No. 14 Date: 4/12/2019
If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

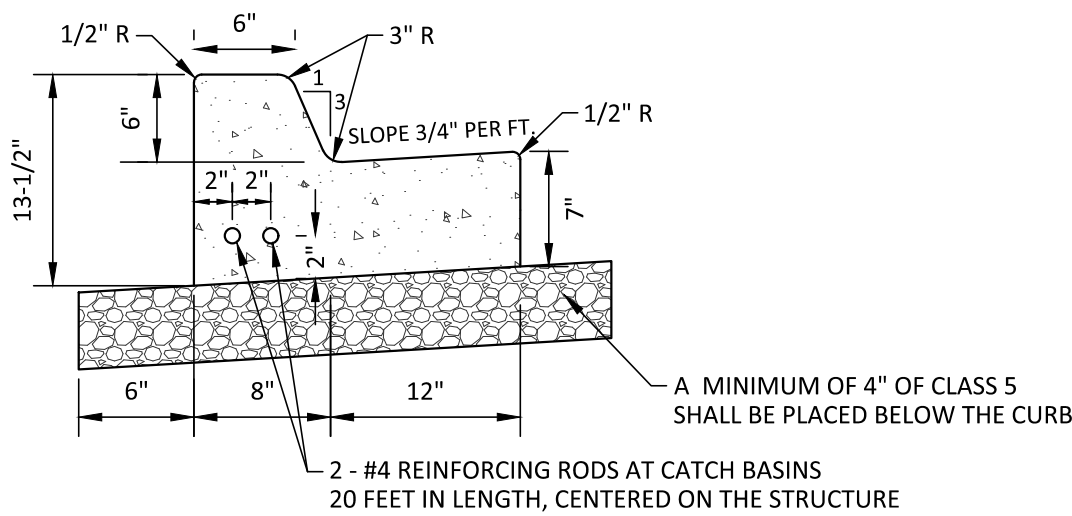
Summary
Designed: EAV Drawn: CIL
Approved: EAV Book / Page:
Phase: PRELIMINARY Initial Issue: 4/12/2019

Revision History
No. Date By Submittal / Revision
4/12/2019 CITY SUBMITTAL

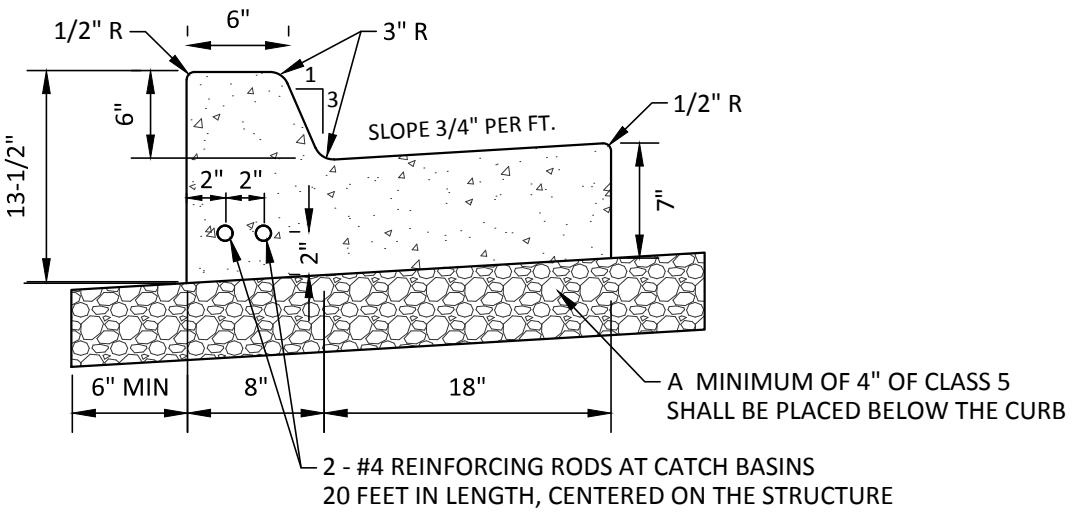
**Sheet Title
DETAILS**

Sheet No. Revision
C9.01

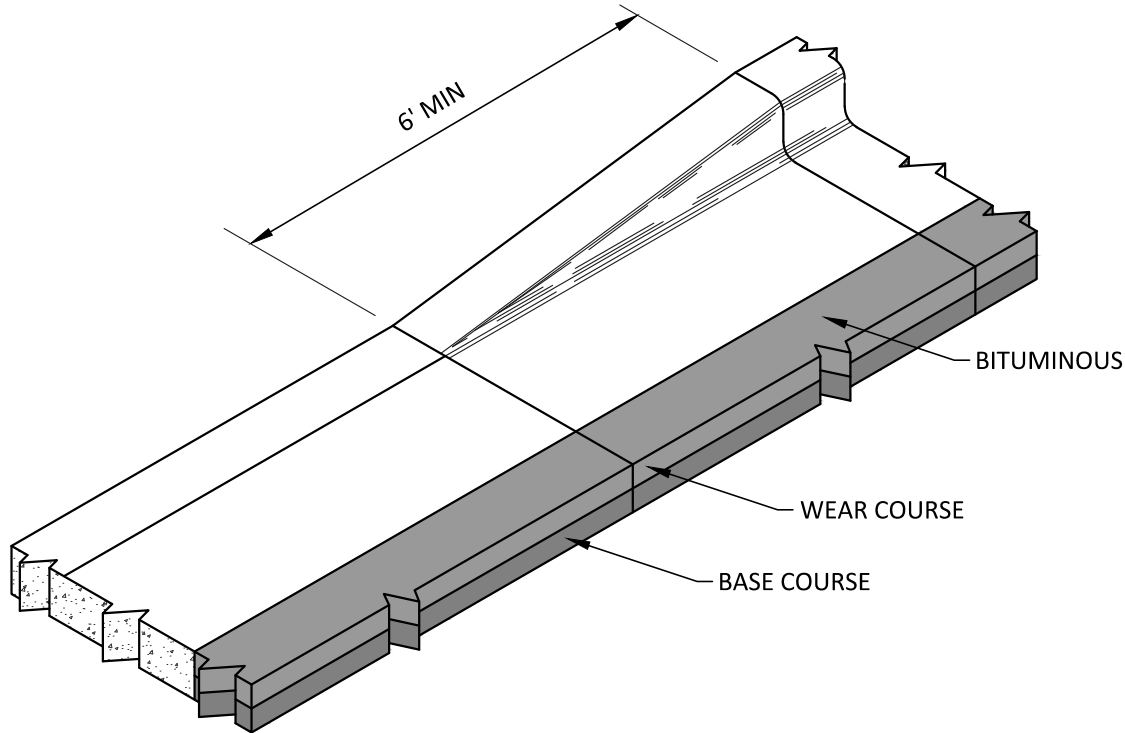
Project No. 21654



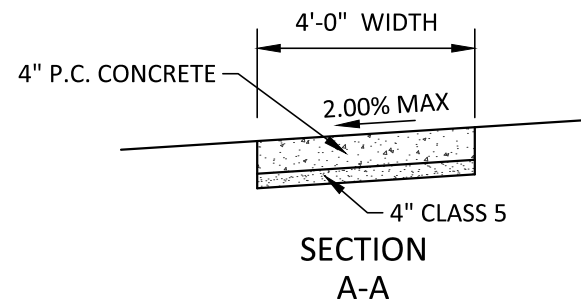
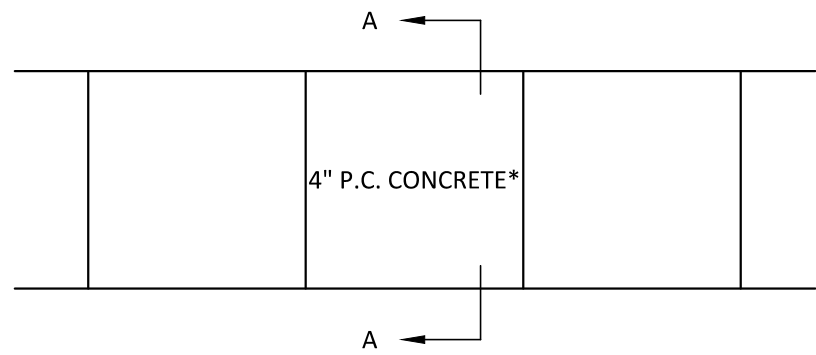
01 B612 CONCRETE CURB & GUTTER
N.T.S.



02 B618 CONCRETE CURB & GUTTER
N.T.S.



03 CURB TRANSITION
N.T.S.

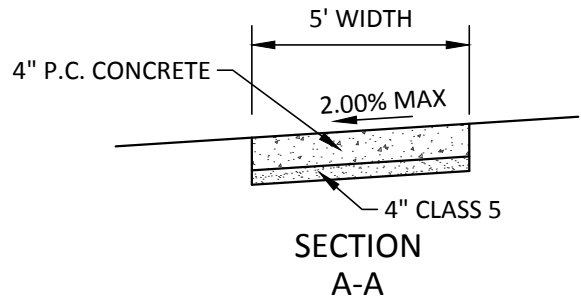
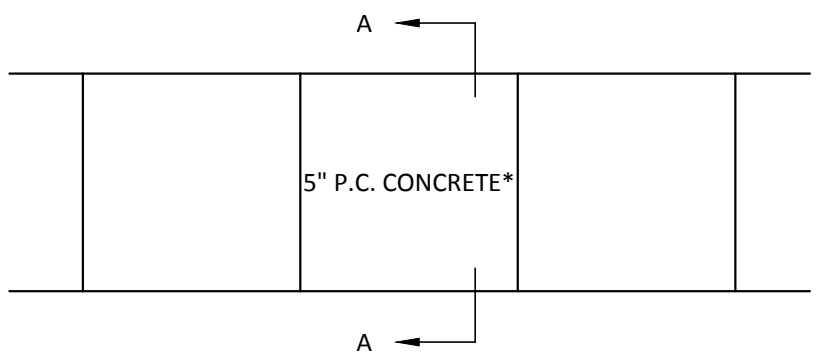


GENERAL NOTES FOR CONCRETE CONSTRUCTION:

1. THE CONCRETE SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF MN/DOT "STANDARD SPECIFICATIONS FOR CONSTRUCTION".
2. SIDEWALK CONTROL JOINTS SHALL BE LOCATED AT 5 FEET ON CENTER. SIDEWALK EXPANSION JOINTS SHALL BE LOCATED AT A MAXIMUM OF 100 FEET ON CENTER, AND WHERE SIDEWALK ABUTS CURB, STRUCTURES, AND OTHER FIXED OBJECTS. SEAL ALL EXPANSION JOINTS. BROOM FINISH SHALL BE PERPENDICULAR TO THE LINE OF TRAFFIC.

*THE THICKNESS SHALL BE INCREASED TO A MINIMUM DEPTH OF 6 INCHES AT DRIVEWAY CROSSINGS.

04 4' CONCRETE SIDEWALK
N.T.S.

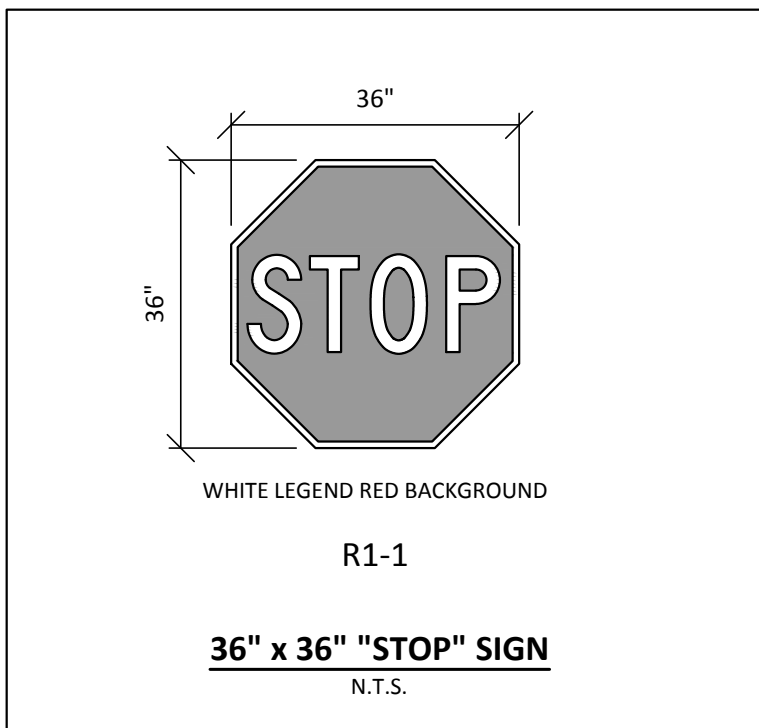


GENERAL NOTES FOR CONCRETE CONSTRUCTION:

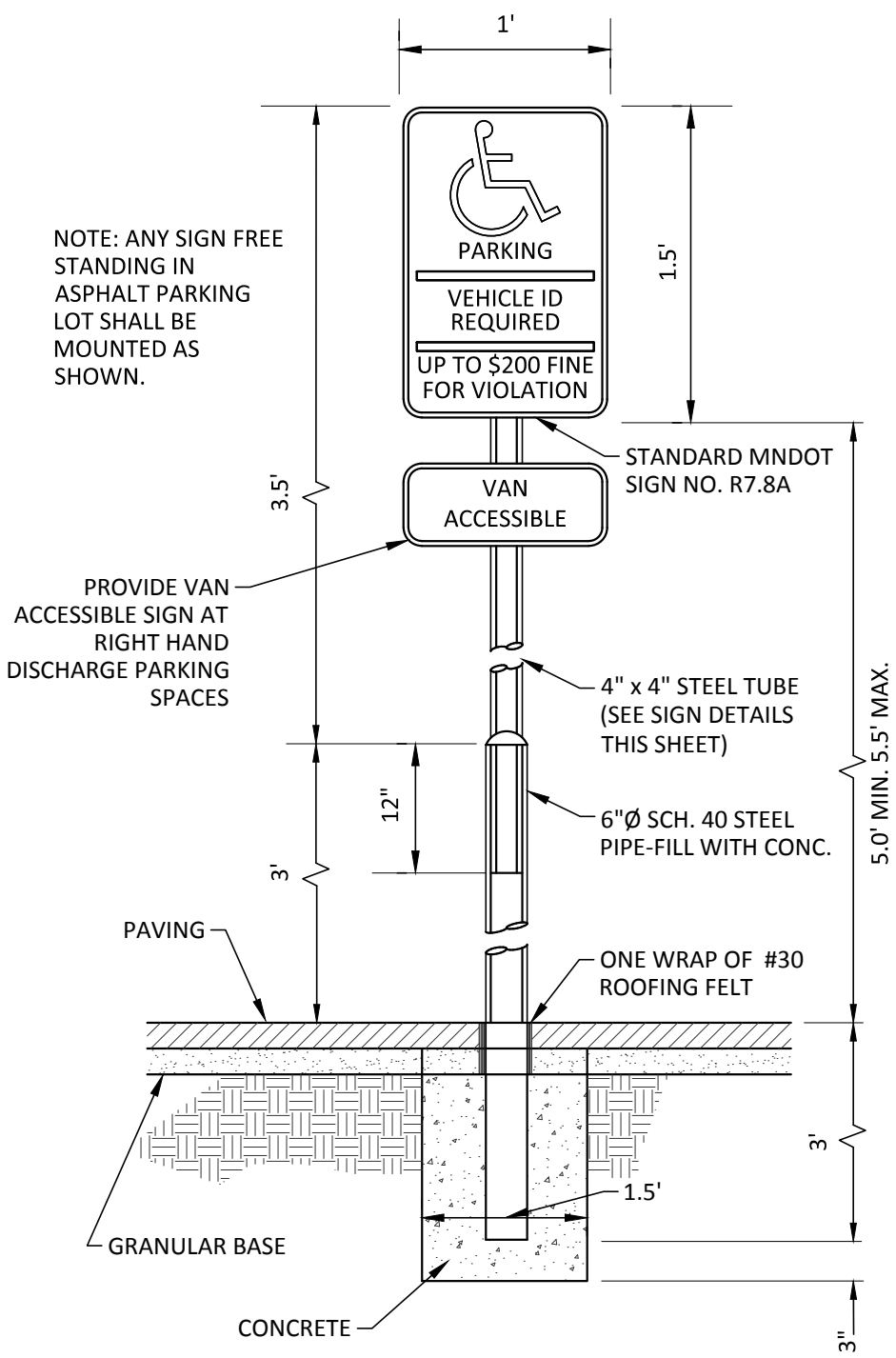
1. THE CONCRETE SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF MN/DOT "STANDARD SPECIFICATIONS FOR CONSTRUCTION".
2. SIDEWALK CONTROL JOINTS SHALL BE LOCATED AT 5 FEET ON CENTER. SIDEWALK EXPANSION JOINTS SHALL BE LOCATED AT A MAXIMUM OF 100 FEET ON CENTER, AND WHERE SIDEWALK ABUTS CURB, STRUCTURES, AND OTHER FIXED OBJECTS. SEAL ALL EXPANSION JOINTS. BROOM FINISH SHALL BE PERPENDICULAR TO THE LINE OF TRAFFIC.

*THE THICKNESS SHALL BE INCREASED TO A MINIMUM DEPTH OF 6 INCHES AT DRIVEWAY CROSSINGS.

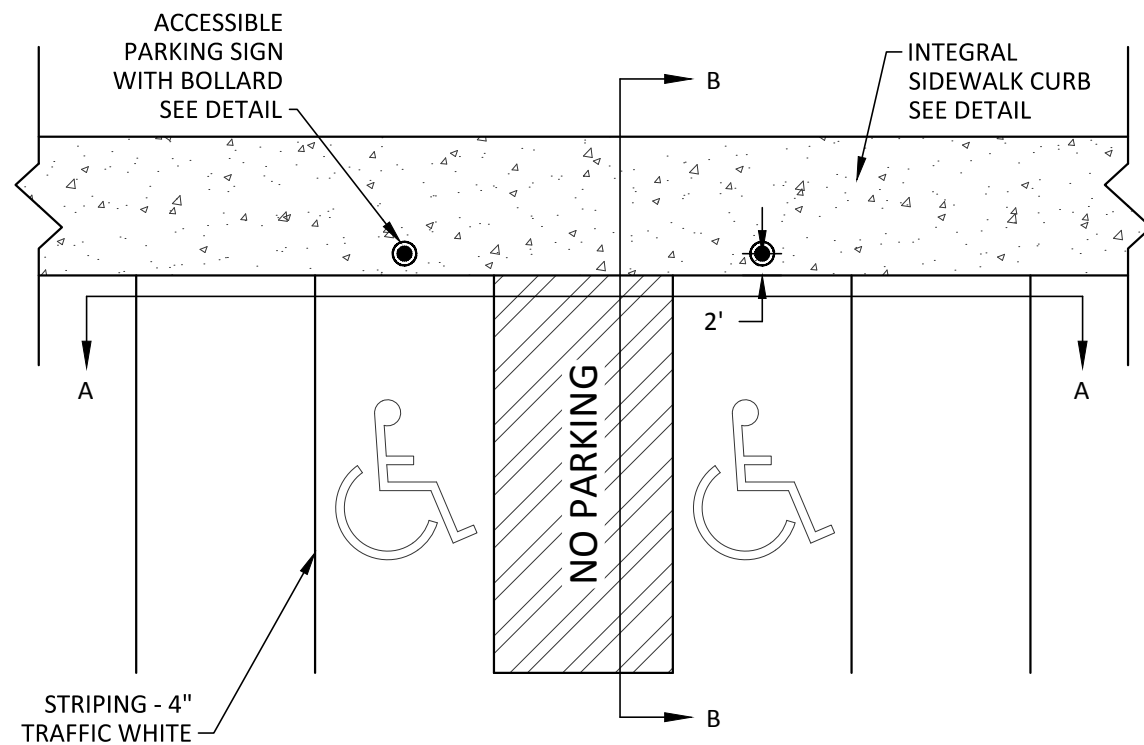
05 CONCRETE SIDEWALK
N.T.S.



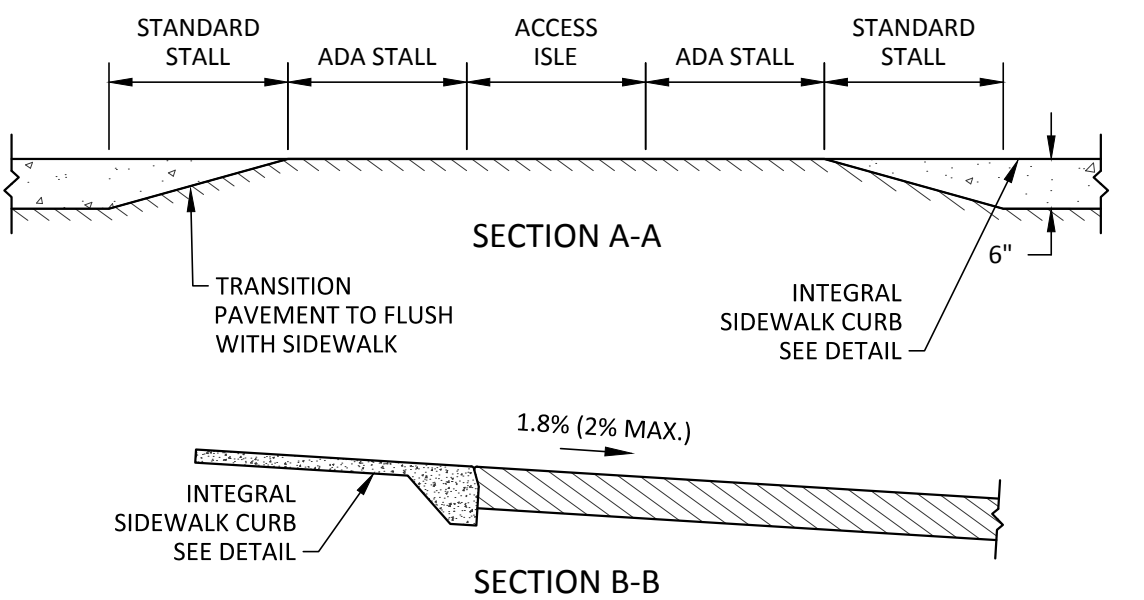
06 STOP SIGN DETAIL
N.T.S.



07 ACCESSIBLE PARKING SIGN
N.T.S.

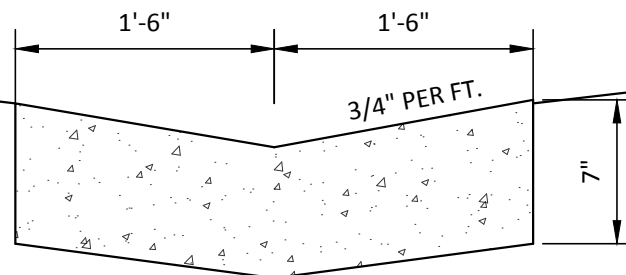


PLAN VIEW OF ADA PARKING



08 ADA PARKING
N.T.S.

AT ALL UTILITY TRENCH CROSSINGS, 2 #4 REINFORCING RODS SHALL BE PLACED IN THE LOWER PORTION OF THE GUTTER; RODS TO BE 20 FEET IN LENGTH.



09 CONCRETE VALLEY GUTTER
N.T.S.

Client
**CONTINENTAL
483 FUND LLC**

W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051

Project
**SPRINGS AT
LAKE ELMO**

Location
**LAKE ELMO,
MINNESOTA**
9955 HUDSON BOULEVARD NORTH

Certification

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed LANDSCAPE ARCHITECT under the laws of the State of Minnesota.

William L. Delaney
Registration No. 1552 Date: 4/12/2019

This certification is not valid unless wet signed in blue ink. If applicable, contact us for a wet signed copy of this survey which is available upon request at Sambatek, Minnetonka, MN office.

Summary

Designed: EAV Drawn: CIL
Approved: EAV Book / Page:
Phase: PRELIMINARY Initial Issue: 4/12/2019

Revision History

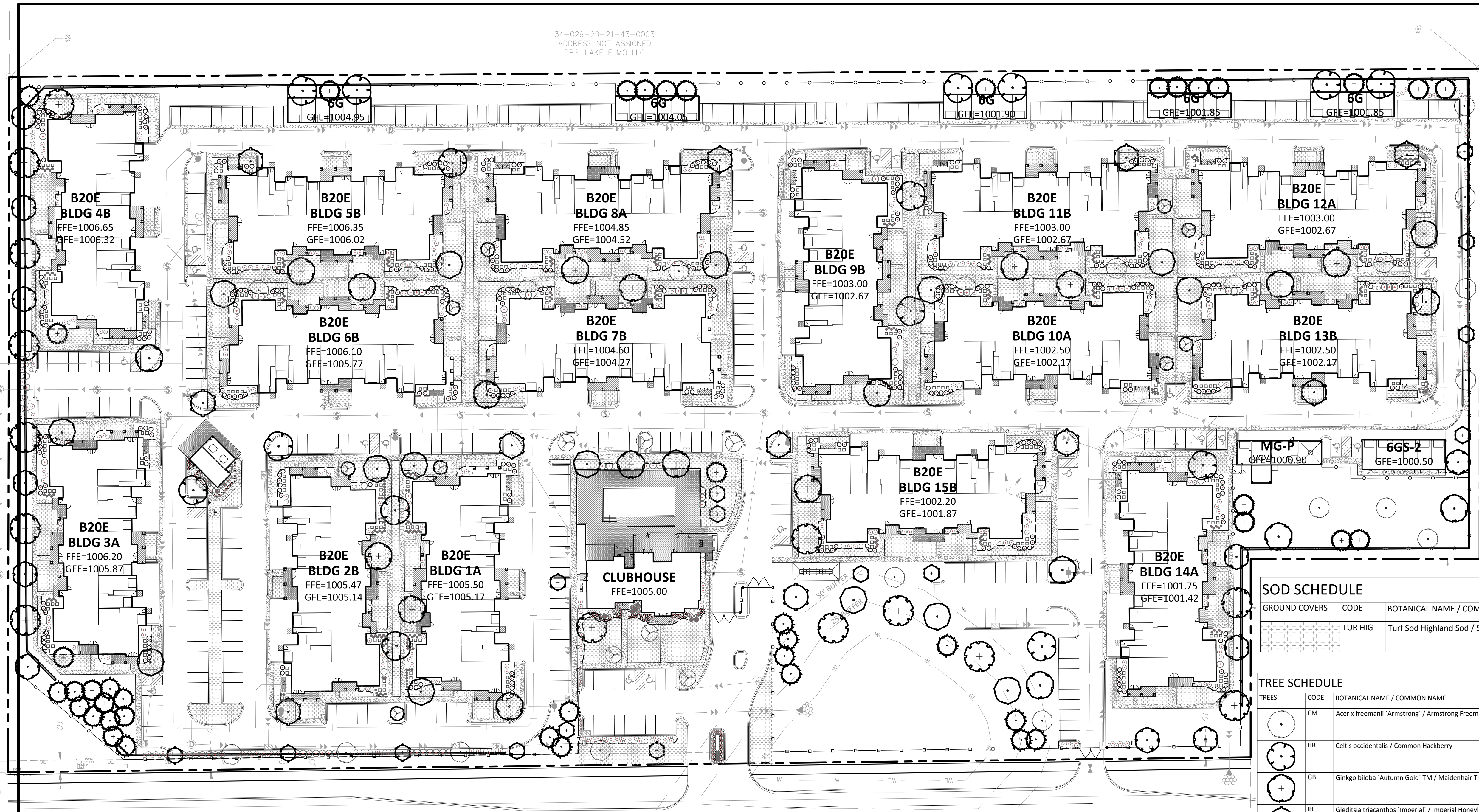
No. Date By Submittal / Revision
4/12/2019 CITY SUBMITTAL

Sheet Title
**LANDSCAPE
PLAN**

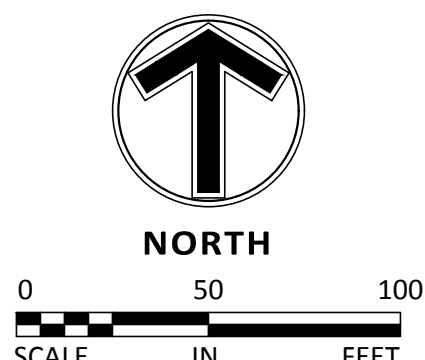
Sheet No. Revision
L1.01

Project No. 21654

34-029-29-21-43-0003
ADDRESS NOT ASSIGNED
DPS-LAKE ELMO LLC



34-029-29-21-44-0004
ADDRESS NOT ASSIGNED
DPS-LAKE ELMO LLC

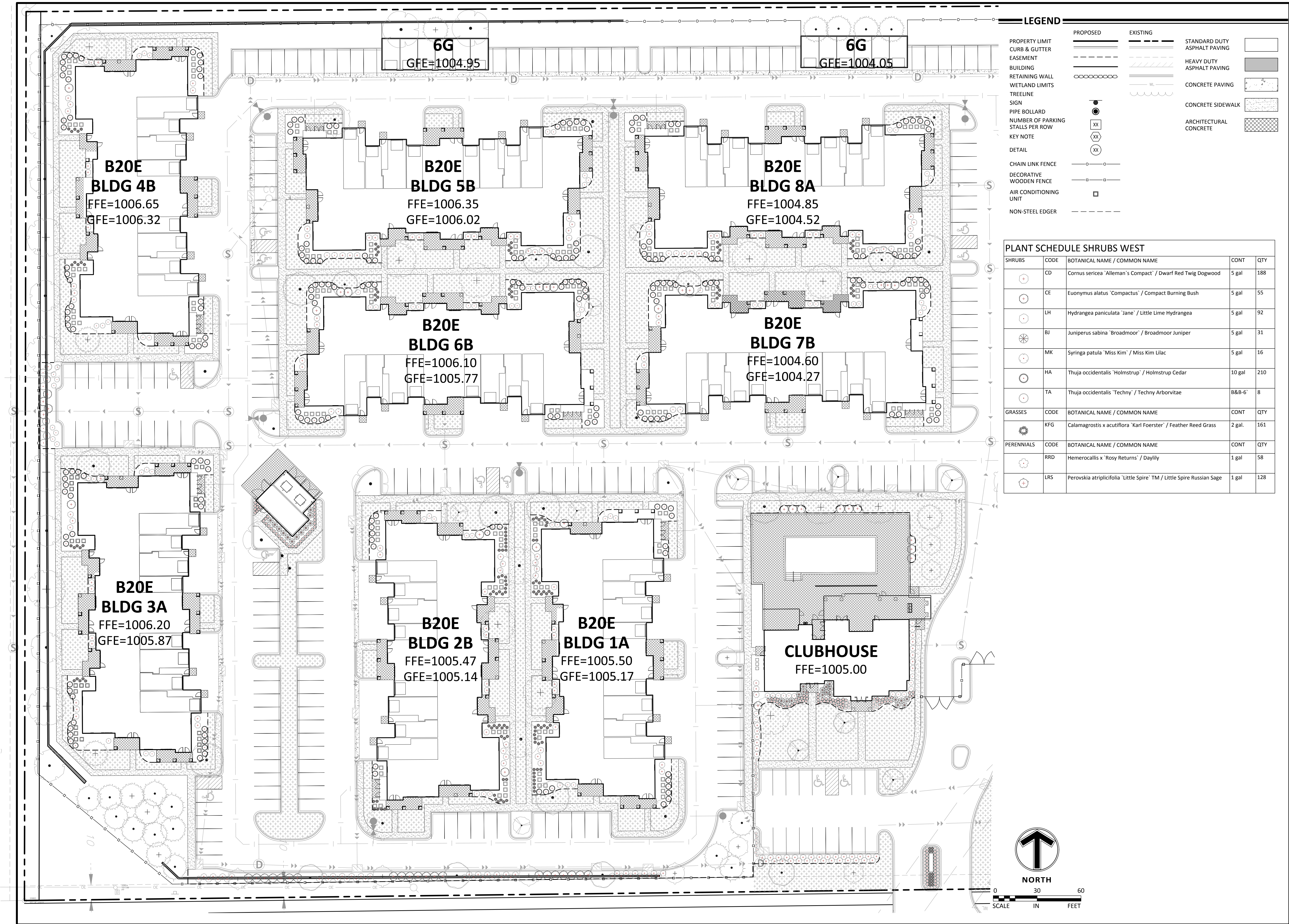


SOD SCHEDULE				
GROUND COVERS	CODE	BOTANICAL NAME / COMMON NAME	CONT	QTY
	TUR HIG	Turf Sod Highland Sod / Sod	Sod	76,939 sf

TREE SCHEDULE						
TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
	CM	Acer x freemanii 'Armstrong' / Armstrong Freeman Maple	B & B	3"Cal.		21
	HB	Celtis occidentalis / Common Hackberry	B & B	3"Cal.		15
	GB	Ginkgo biloba 'Autumn Gold' TM / Maidenhair Tree	B & B	3"Cal.		13
	IH	Gleditsia triacanthos 'Imperial' / Imperial Honeylocust	B & B	3"Cal.		11
	KC	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree	B & B	3"Cal.		11
	SO	Quercus bicolor / Swamp White Oak	B & B	3"Cal.		14
	RP	Quercus robur x warei 'Long' / Regal Prince Oak	B & B	3"Cal.		15
	BL	Tilia americana 'Boulevard' / Boulevard Linden	B & B	3"Cal.		9
	PE	Ulmus americana 'Princeton' / American Elm	B & B	3"Cal.		16
CONIFERS						
TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
	NS	Picea abies / Norway Spruce	B & B		6'	18
	AP	Pinus nigra / Austrian Black Pine	B & B		6'	15
	WP	Pinus strobus / White Pine	B & B		6'	11
ORN. TREES						
TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
	SB	Amelanchier canadensis 'Autumn Brilliance' / Autumn Brilliance Serviceberry	B & B	2"Cal		9
	JL	Syringa reticulata / Japanese Tree Lilac	B & B	2"Cal		6

LEGEND		LAKE ELMO, MN LANDSCAPE CODE	
PROPERTY LIMIT		MITIGATION FROM TREE PRESERVATION PLAN	
CURB & GUTTER		COMMON TREES (46" @ 3" TREES)	REQUIRED 15 TREES
EASEMENT		CONIFER TREES (149" @ 6" TREES)	50 TREES
BUILDING		HARDWOOD TREES (129" @ 3" TREES)	43 TREES
RETAINING WALL		TOTAL	108 TREES
WETLAND LIMITS		SETBACK AREA LANDSCAPE REQUIREMENTS	
TREELINE		STREET FRONTAGE (1100 FT / 50 = 22 TREES @ 2.5")	REQUIRED 18 TREES
SIGN		(22 X 2.5" = 55" @ 3" TREES)	
PIPE BOLLARD		DISTURBED AREA (17 ACRES X 5 = 85 TREES @ 2.5")	REQUIRED 71 TREES
NUMBER OF PARKING STALLS PER ROW		(85 X 2.5" = 213" @ 3" TREES)	89 TREES
KEY NOTE		PROPOSED PLANTINGS	
DETAIL		OVERSTORY TREES	REQUIRED 125 TREES
CHAIN LINK FENCE		CONIFEROUS TREES	44 TREES
DECORATIVE WOODEN FENCE		ORNAMENTAL TREES*	15 TREES
AIR CONDITIONING UNIT		TOTAL	197 TREES
NON-STEEL EDGER		SHRUBS AND PERENNIALS	1,449 UNITS
			PERCENTAGE 74% 26%

*DOES NOT COUNT TOWARDS REPLACEMENT TREE TOTALS.



Client
CONTINENTAL
483 FUND LLC

W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051

Project
SPRINGS AT
LAKE ELMO

Location
LAKE ELMO,
MINNESOTA
9955 HUDSON BOULEVARD NORTH

Certification
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed LANDSCAPE ARCHITECT under the laws of the State of Minnesota.

William L. Delaney
Registration No. 1352 Date: 4/12/2019
This certification is not valid unless wet signed in blue ink. If applicable, contact us for a wet signed copy of this survey which is available upon request at Sambatek, Minnetonka, MN office.

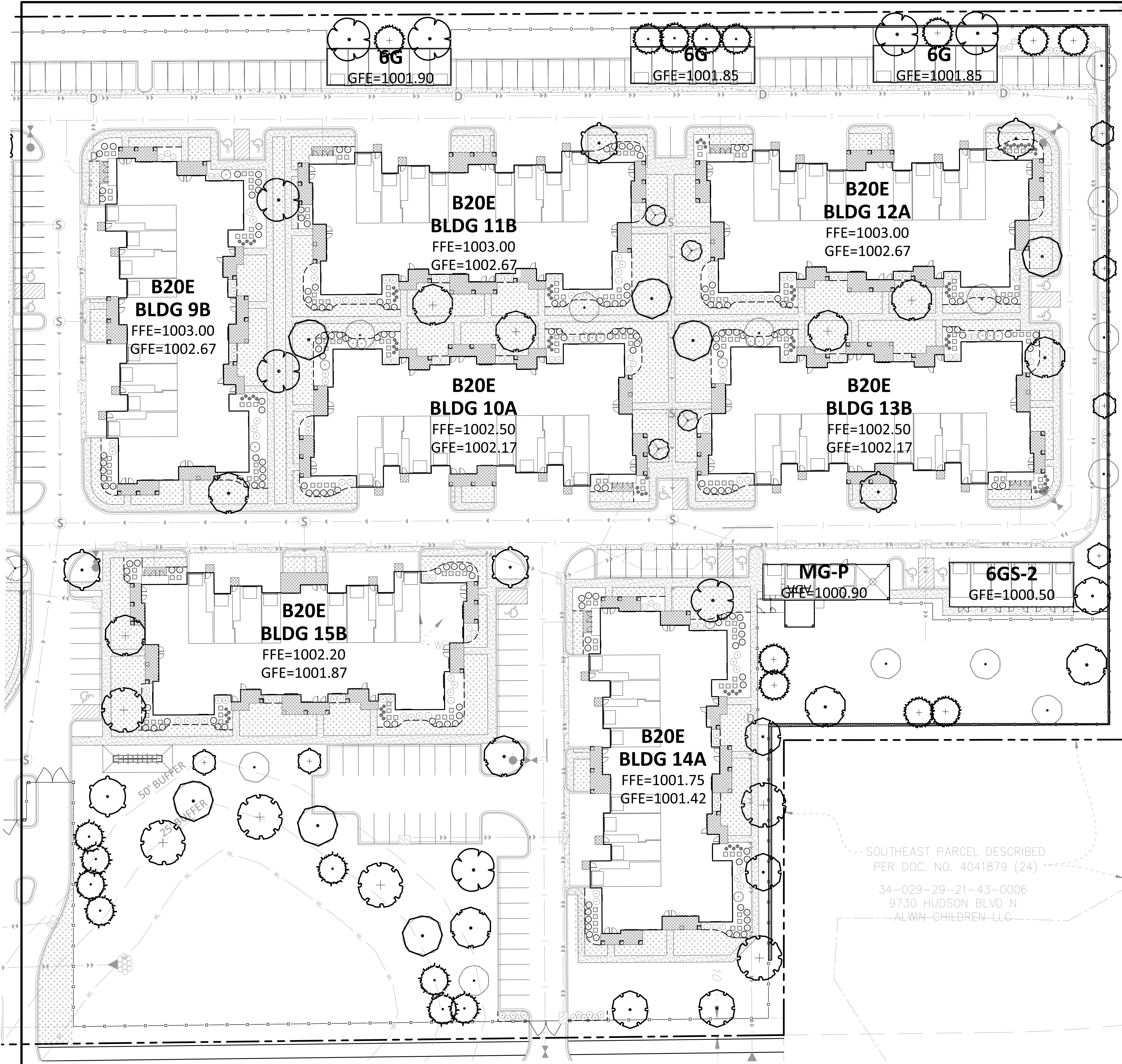
Summary
Designed: EAV Drawn: CIL
Approved: EAV Book / Page:
Phase: PRELIMINARY Initial Issue: 4/12/2019

Revision History
No. Date By Submittal / Revision
4/12/2019 CITY SUBMITTAL

Sheet Title
SHRUB PLAN
WEST

Sheet No. Revision
L1.02

Project No. 21654



LEGEND

PROPERTY LIMIT	PROPOSED	EXISTING	STANDARD DUTY ASPHALT PAVING	
CURB & GUTTER			HEAVY DUTY ASPHALT PAVING	
EASEMENT			CONCRETE PAVING	
BUILDING			CONCRETE SIDEWALK	
RETAINING WALL			ARCHITECTURAL CONCRETE	
WETLAND LIMITS				
TREELINE				
SIGN				
PIPE BOLLARD				
NUMBER OF PARKING STALLS PER ROW				
KEY NOTE				
DETAIL				
CHAIN LINK FENCE				
DECORATIVE WOODEN FENCE				
AIR CONDITIONING UNIT				
NON-STEEL EDGER				

PLANT SCHEDULE SHRUBS EAST

SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	QTY
	CD	Cornus sericea 'Alleman's Compact' / Dwarf Red Twig Dogwood	5 gal	114
	CE	Euonymus alatus 'Compactus' / Compact Burning Bush	5 gal	16
	LH	Hydrangea paniculata 'Jane' / Little Lime Hydrangea	5 gal	72
	MK	Syringa patula 'Miss Kim' / Miss Kim Lilac	5 gal	17
	HA	Thuja occidentalis 'Holmstrup' / Holmstrup Cedar	10 gal	184
GRASSES	CODE	BOTANICAL NAME / COMMON NAME	CONT	QTY
	KFG	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	2 gal.	99

Client
CONTINENTAL
483 FUND LLC

W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051

Project
SPRINGS AT
LAKE ELMO

Location
LAKE ELMO,
MINNESOTA
9955 HUDSON BOULEVARD NORTH

Certification
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed LANDSCAPE ARCHITECT under the laws of the State of Minnesota.

William L. Delaney
Registration No. 352 Date: 4/12/2019
This certification is not valid unless wet signed in blue ink. If applicable, contact us for a wet signed copy of this survey which is available upon request at Sambatek, Minnetonka, MN office.

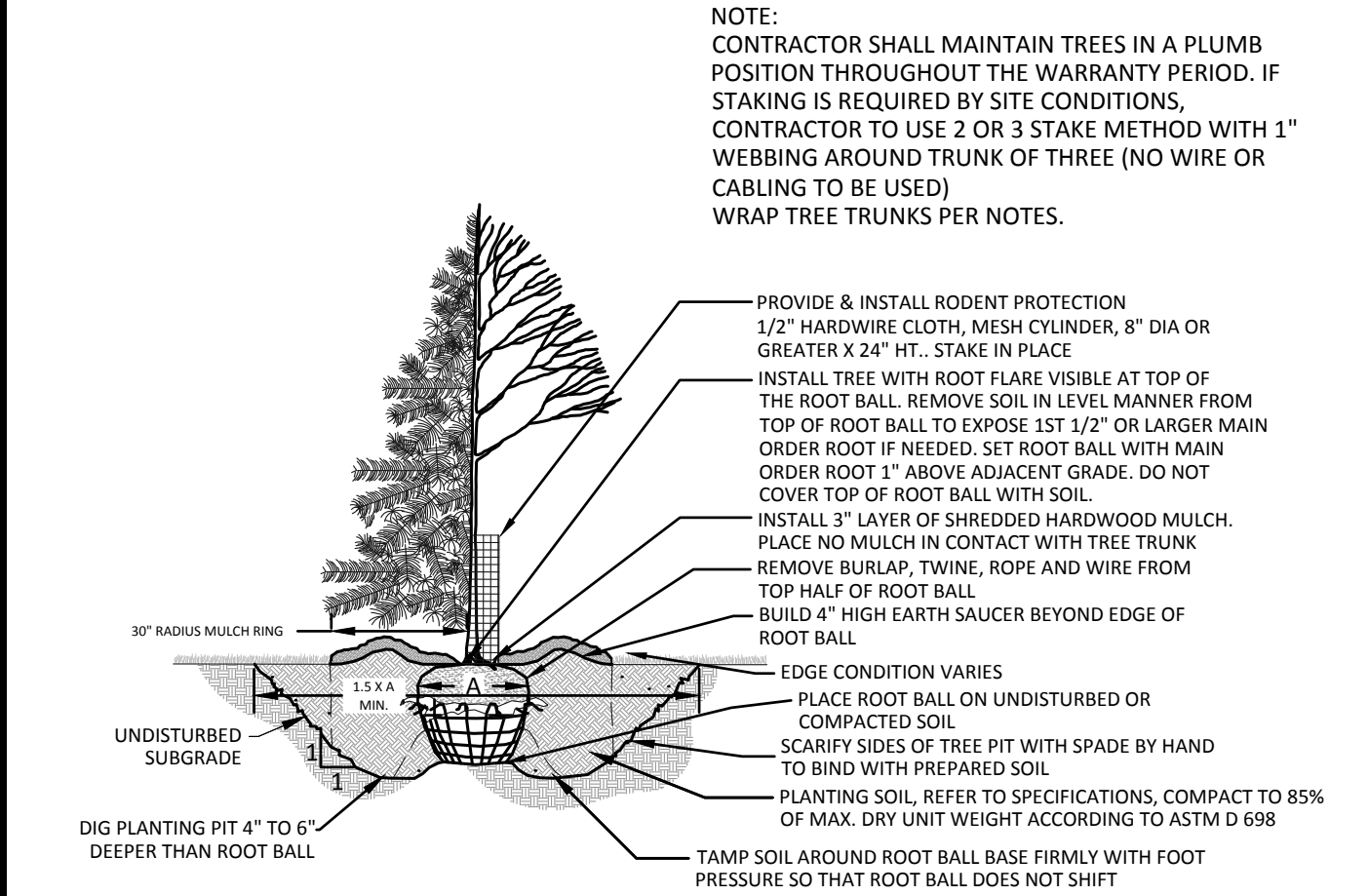
Summary
Designed: EAV Drawn: CIL
Approved: EAV Book / Page:
Phase: PRELIMINARY Initial Issue: 4/12/2019

Revision History
No. Date By Submittal / Revision
4/12/2019 CITY SUBMITTAL

Sheet Title
SHRUB PLAN
EAST

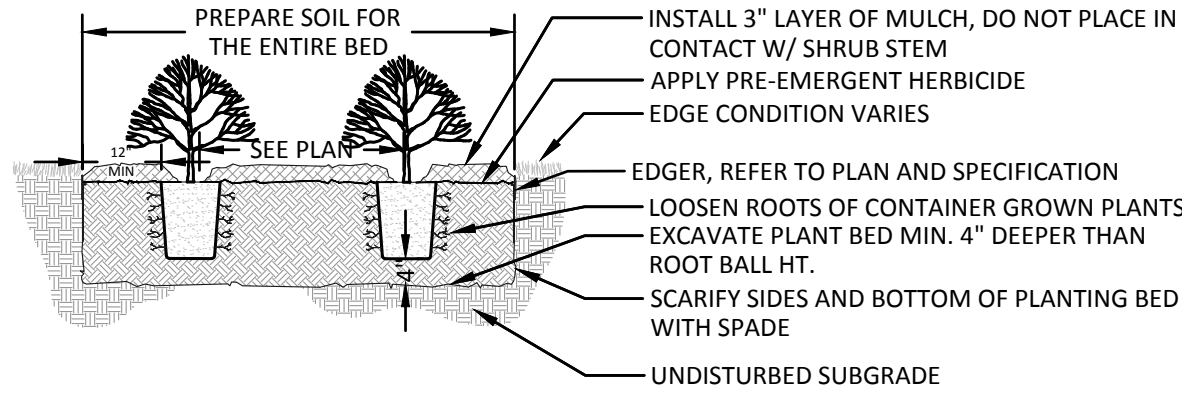
Sheet No. Revision
L1.03

Project No. 21654



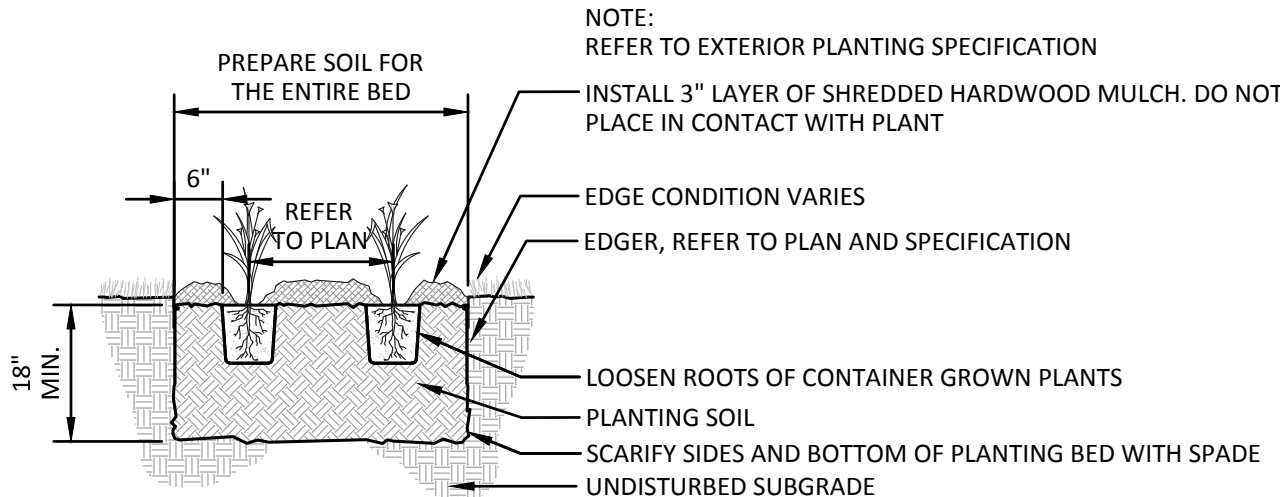
1 TREE PLANTING DETAIL
1/4" = 1'-0"

P-01



2 SHRUB PLANTING DETAIL
3/8" = 1'-0"

P-02



3 PERENNIAL PLANTING DETAIL
1/2" = 1'-0"

P-03

NOTES

GENERAL NOTES:

- THE CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF THE WORK.
- THE CONTRACTOR SHALL VERIFY PLAN LAYOUT AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN OR INTENT OF THE LAYOUT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS, AND PERMITS GOVERNING THE WORK.
- THE CONTRACTOR SHALL PROTECT EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION. DAMAGE TO SAME SHALL BE REPAIRED AND/OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- LOCATE AND VERIFY ALL UTILITIES, INCLUDING IRRIGATION LINES, WITH THE OWNER FOR PROPRIETARY UTILITIES AND GOPHER STATE ONE CALL 48 HOURS BEFORE DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ANY DAMAGES TO SAME. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS TO FACILITATE PLANT RELOCATION.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.**
- THE CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.
- THE PLAN TAKES PRECEDENCE OVER THE LANDSCAPE LEGEND IF DISCREPANCIES EXIST. QUANTITIES SHOWN IN THE PLANTING SCHEDULE ARE FOR THE CONTRACTOR'S CONVENIENCE. CONTRACTOR TO VERIFY QUANTITIES SHOWN ON THE PLAN.
- THE SPECIFICATIONS TAKE PRECEDENCE OVER THE PLANTING NOTES AND GENERAL NOTES.
- EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED TO THE DRIP LINE FROM ALL CONSTRUCTION TRAFFIC, STORAGE OF MATERIALS ETC. WITH 4' HT. ORANGE PLASTIC SAFETY FENCING ADEQUATELY SUPPORTED BY STEEL FENCE POSTS 6' O.C. MAXIMUM SPACING.
- LONG-TERM STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE ALLOWED.
- CONTRACTOR SHALL REQUEST IN WRITING, A FINAL ACCEPTANCE INSPECTION.

PLANTING NOTES:

- NO PLANTS SHALL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- A GRANULAR PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANT BEDS AT THE MANUFACTURERS RECOMMENDED RATE PRIOR TO PLANT INSTALLATION.
- ALL PLANTING STOCK SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK," ANSI-Z60, LATEST EDITION, OF THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIALS.
- OVERSTORY TREES SHALL BEGIN BRANCHING NO LOWER THAN 6' ABOVE PAVED SURFACES.
- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE AND BE CONTAINER GROWN OR Balled and BURLAPPED AS INDICATED IN THE LANDSCAPE LEGEND.
- PLANT MATERIALS TO BE INSTALLED PER PLANTING DETAILS.
- ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY BEFORE, DURING, OR AFTER INSTALLATION.
- NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE ACCEPTED UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL QUANTITIES, SHAPES OF BEDS AND LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN AND ADJUSTED TO CONFORM TO THE EXACT CONDITIONS OF THE SITE. THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIALS PRIOR TO INSTALLATION.
- ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
- MULCH: SHREDDED HARDWOOD MULCH, COLOR: DARK CHOCOLATE BROWN, CLEAN AND FREE OF NOXIOUS WEEDS OR OTHER DELETERIOUS MATERIAL, IN ALL MASS PLANTING BEDS AND FOR TREES, UNLESS INDICATED AS ROCK MULCH ON DRAWINGS. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT PRIOR TO DELIVERY ON-SITE FOR APPROVAL. DELIVER MULCH ON DAY OF INSTALLATION. USE 3" FOR SHRUB BEDS, TREE RINGS, AND 3" FOR PERENNIAL/GROUND COVER BEDS, UNLESS OTHERWISE DIRECTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MULCHES AND PLANTING SOIL QUANTITIES TO COMPLETE THE WORK SHOWN ON THE PLAN.
- USE ANTI-DESICCANT (WILTFRUIT OR APPROVED EQUAL) ON DECIDUOUS PLANTS MOVED IN LEAF AND FOR EVERGREENS MOVED ANYTIME. APPLY AS PER MANUFACTURER'S INSTRUCTION. ALL EVERGREENS SHALL BE SPRAYED IN THE LATE FALL FOR WINTER PROTECTION DURING WARRANTY PERIOD.
- WRAP ALL SMOOTH-BARKED DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO DECEMBER 1 AND REMOVE WRAPPING AFTER MAY 1. TREE WRAPPING MATERIAL SHALL BE WHITE TWO-WALLED PLASTIC SHEETING APPLIED FROM TRUNK FLARE TO THE FIRST BRANCH.
- ALL DECIDUOUS, PINE, AND LARCH PLANTINGS SHALL RECEIVE RODENT PROTECTION PER MNDOT 2571.31.2
- PLANTING SOIL FOR TREES, SHRUBS AND GROUND COVERS: FERTILE FRIABLE LOAM CONTAINING A LIBERAL AMOUNT (4% MIN.) OF HUMUS AND CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. IT SHALL COMPLY WITH MNDOT SPECIFICATION 3877 TYPE B SELECT TOPSOIL. MIXTURE SHALL BE FREE FROM HARDPACK SUBSOIL, STONES, CHEMICALS, NOXIOUS WEEDS, ETC. SOIL MIXTURE SHALL HAVE A PH BETWEEN 6.1 AND 7.5 AND 10-0-10 FERTILIZER AT THE RATE OF 3 POUNDS PER CUBIC YARD. IN PLANTING BEDS INCORPORATE THIS MIXTURE THROUGHOUT THE ENTIRE BED IN A 8" LAYER AND ROTO-TILLING IT INTO THE TOP 12" OF SOIL AT A 1:1 RATIO. ANY PLANT STOCK NOT PLANTED ON DAY OF DELIVERY SHALL BE HELED IN AND WATERED UNTIL INSTALLATION. PLANTS NOT MAINTAINED IN THIS MANNER WILL BE REJECTED.
- CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT EACH EXCAVATED TREE AND SHRUB PIT WILL PERCOLATE PRIOR TO INSTALLING PLANTING MEDIUM AND PLANTS. THE CONTRACTOR SHALL FILL THE BOTTOM OF SELECTED HOLES WITH SIX INCHES OF WATER AND CONFIRM THAT THIS WATER WILL PERCOLATE WITHIN A 24-HOUR PERIOD. IF THE SOIL AT A GIVEN AREA DOES NOT DRAIN PROPERLY, A PVC DRAIN OR GRAVEL SUMP SHALL BE INSTALLED OR THE PLANTING SHALL BE RELOCATED IF DIRECTED BY THE LANDSCAPE ARCHITECT.
- ALL PLANTS SHALL BE GUARANTEED FOR TWO COMPLETE GROWING SEASONS (APRIL 1 - NOVEMBER 1), UNLESS OTHERWISE SPECIFIED. THE GUARANTEE SHALL COVER THE FULL COST OF REPLACEMENT INCLUDING LABOR AND PLANTS.

- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 3 DAYS PRIOR TO PLANNED DELIVERY. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 24 HOURS IN ADVANCE OF BEGINNING PLANT INSTALLATION.
- SEASONS/TIME OF PLANTING AND SEEDING: NOTE: THE CONTRACTOR MAY ELECT TO PLANT IN OFF-SEASONS ENTIRELY AT HIS/HER RISK. DECIDUOUS
 - POTTED PLANTS: 4/1 - 6/1; 9/21 - 11/1
 - DECIDUOUS/B&B: 4/1 - 6/1; 9/21 - 11/1
 - EVERGREEN POTTED PLANTS: 4/1 - 6/1; 9/21-11/1
 - EVERGREEN B&B: 4/1 - 5/1; 9/21 - 11/1
 - TURF/LAWN SEEDING: 4/1 - 6/1; 7/20 - 9/20
 - NATIVE MIX SEEDING: 4/15 - 7/20; 9/20-10/20
- MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PORTION OF THE WORK IS IN PLACE. PLANT MATERIAL SHALL BE PROTECTED AND MAINTAINED UNTIL THE INSTALLATION OF THE PLANTS IS COMPLETE, INSPECTION HAS BEEN MADE, AND PLANTINGS ARE ACCEPTED EXCLUSIVE OF THE GUARANTEE. MAINTENANCE SHALL INCLUDE WATERING, CULTIVATING, MULCHING, REMOVAL OF DEAD MATERIALS, RE-SETTING PLANTS TO PROPER GRADE AND KEEPING PLANTS IN A PLUMB POSITION. AFTER ACCEPTANCE, THE OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES. HOWEVER, THE CONTRACTOR SHALL CONTINUE TO BE RESPONSIBLE FOR KEEPING THE TREES PLUMB THROUGHOUT THE GUARANTEE PERIOD.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL LANDSCAPE LEGEND SPECIFICATIONS.
- WATERING: MAINTAIN A WATERING SCHEDULE WHICH WILL THOROUGHLY WATER ALL PLANTS ONCE A WEEK. IN EXTREMELY HOT, DRY WEATHER, WATER MORE OFTEN AS REQUIRED BY INDICATIONS OF HEAT STRESS SUCH AS WILTING LEAVES. CHECK MOISTURE UNDER MULCH PRIOR TO WATERING TO DETERMINE NEED. CONTRACTOR SHALL MAKE THE NECESSARY ARRANGEMENTS FOR WATER.
- WEED PRE-EMERGENT TREATMENTS SHALL BE SPREAD IN ALL LANDSCAPE BEDS

TURF NOTES:

- TURF ESTABLISHMENT SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROVISIONS OF THE MN/DOT 2105 AND 2575 EXCEPT AS MODIFIED BELOW:
- ALL AREAS TO RECEIVE SOD SHALL ALSO RECEIVE 6" OF TOPSOIL PRIOR TO INSTALLING SOD. TOPSOIL SHALL BE FREE OF TREE ROOTS, STUMPS, BUILDING MATERIAL, AND TRASH, AND SHALL BE FREE OF STONES LARGER THAN 1 1/2" INCHES IN ANY DIMENSION.
 - WHERE SOD ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
 - SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, SOD SHALL BE STAKED SECURELY.
 - TURF ON ALL OTHER AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED BY SEEDING, MULCHING AND FERTILIZING. SEED MIXTURE NO. 25-151 WILL BE PLACED AT THE RATE OF 120 POUNDS PER ACRE.
 - ALL DISTURBED AREAS TO BE TURF SEEDED, ARE TO RECEIVE 6" TOP SOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. FOR SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES INSTALL EROSION CONTROL BLANKET.
 - ALL DISTURBED AREAS TO RECEIVE NATIVE SEED, ARE TO RECEIVE PLANTING SOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. FOR SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES INSTALL EROSION CONTROL BLANKET.

GENERAL TREE SPECIFICATIONS:

- ALL STREET AND PARKING LOT TREES SHALL BE LIMBED UP TO THE FOLLOWING HEIGHTS:
 - 2" CAL. TREES: LOWEST BRANCH 6' HT.
 - 3" CAL.+ TREES: LOWEST BRANCH 7' HT.
- TREE CANOPY WIDTH SHALL BE RELATIVE TO HEIGHT/CALIPER OF TREE AND TYPE OF TREE.
 - 1" CALIPER/6-8' HT: 3-4' WIDTH MIN.
 - 2" CALIPER/12-14' HT: 4-5' WIDTH MIN.
 - 3" CALIPER/14-16' HT: 6-7' WIDTH MIN.
- CANOPY TREES SHALL NOT HAVE CO-DOMINATE LEADERS IN LOWER HALF OF TREE CROWN. ALL TREES SHALL HAVE SYMMETRICAL OR BALANCED BRANCHING ON ALL SIDES OF THE TREE.
- TREES SHALL NOT BE TIPPED PRUNED.
- TREES SHALL BE FREE OF PHYSICAL DAMAGE FROM SHIPPING AND HANDLING. DAMAGED TREES SHALL BE REJECTED.
- SUMMER DUG TREES SHALL HAVE ROOTBALL SIZE INCREASED BY 20%
- TREES WHICH EXCEED RECOMMENDED CALIPER TO HEIGHT RELATIONSHIP SHALL BE REJECTED.

IRRIGATION NOTES:

- IRRIGATION SYSTEM TO BE DESIGN/BUILD. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL OF SYSTEM LAYOUT PRIOR TO INSTALLATION.
- ALL SOD TO RECEIVE SPRAY OR ROTOR IRRIGATION HEADS WITH MINIMUM DESIGN OF 1" IRRIGATION PER WEEK.
- ALL PLANT BEDS TO RECEIVE DRIP LINE IRRIGATION, WITH A MINIMUM DESIGN OF .25" IRRIGATION PER WEEK.
- CONTRACTOR TO INSTALL A TOTAL OF 4 QUICK COUPLERS AT THE CORNERS OF THE PROPERTY. A 2.5" TYPE K SOURCE PIPE IS PROVIDED BY MECHANICAL.

Client CONTINENTAL 483 FUND LLC

W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051

Project SPRINGS AT LAKE ELMO

Location LAKE ELMO, MINNESOTA

9955 HUDSON BOULEVARD NORTH

Certification

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed LANDSCAPE ARCHITECT under the laws of the State of Minnesota.

William L. Delaney
Registration No. 2532 Date: 4/12/2019
This certification is not valid unless wet signed in blue ink. If applicable, contact us for a wet signed copy of this survey which is available upon request at Sambatek, Minnetonka, MN office.

Summary

Designed: EAV Drawn: CIL
Approved: EAV Book / Page:
Phase: PRELIMINARY Initial Issue: 4/12/2019

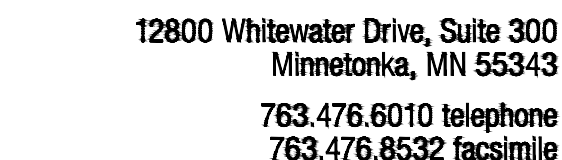
Revision History

No.	Date By	Submittal / Revision
4/12/2019		CITY SUBMITTAL

Sheet Title LANDSCAPE NOTE AND DETAILS

Sheet No. Revision L1.04

Project No. 21654



Client
CONTINENTAL
483 FUND, LLC

Project SPRINGS AT LAKE ELMO

Location
9955 HUDSON
BLVD. N.
LAKE ELMO, MN

Certification

Summary

Designed: Drawn: LCC
Approved: CEJ Book / Page:
Phase: Initial Issue: 01/09/19

Revision History

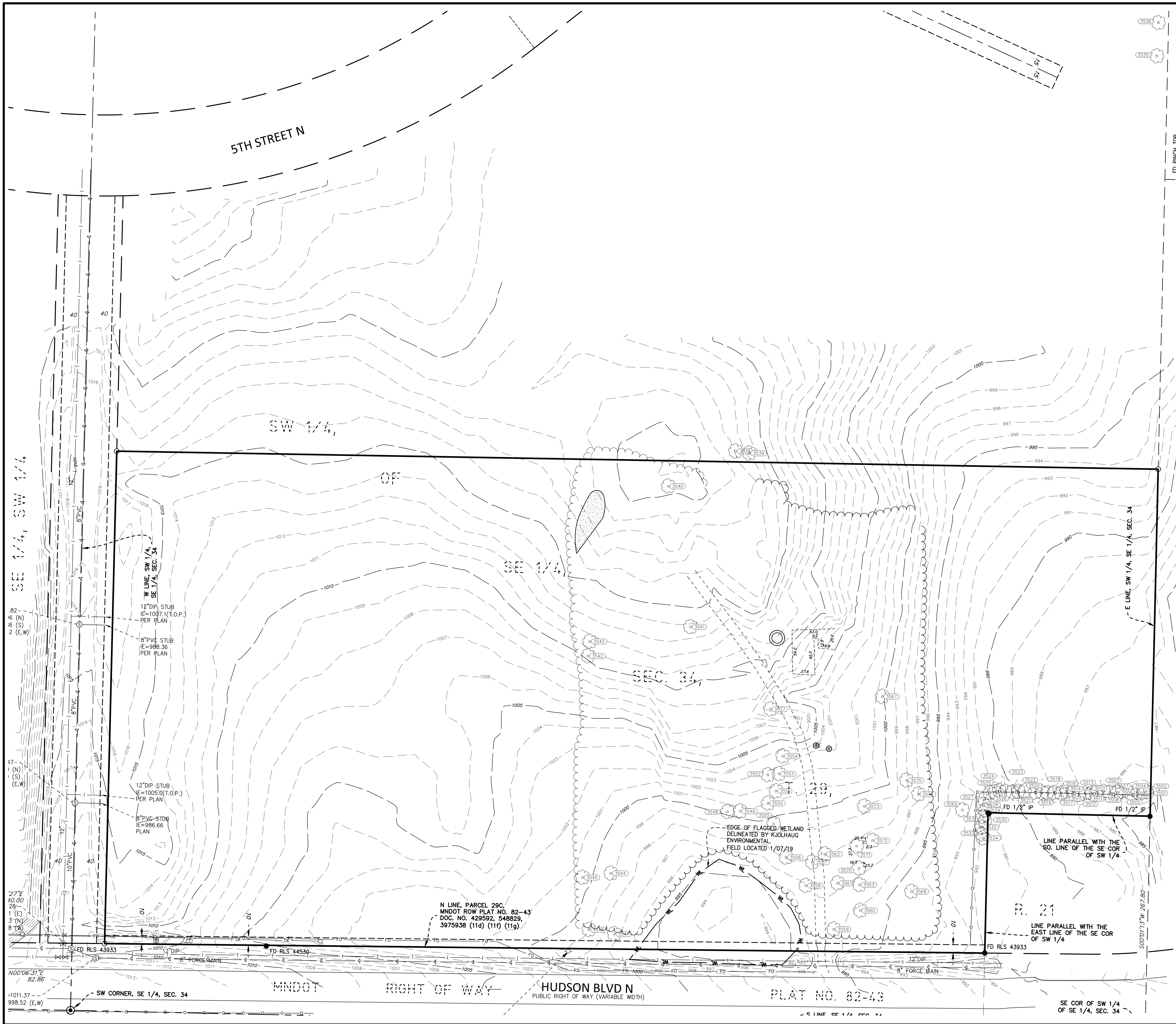
No.	Date	By	Submittal / Revision
-----	------	----	----------------------

Sheet Title
**TREE
INVENTORY**

Sheet No. Revision

L1.05

Project No. 21654.01



Apr 12, 2019 - 3:15pm - User:clikhty L:\PROJECTS\21654.01\CAD\Survey\Sheets\2165401-TREE.dwg