



STAFF REPORT

DATE: 9/7/2021

REGULAR

ITEM #17

MOTION

TO: Mayor and City Council

FROM: Jane Kansier, Planner
Harry Davis, Planner

AGENDA ITEM: **Zoning Code Text Amendment, Final Plat and Planned Unit Development (PUD) Plans and Conditional Use Permit for Motor Vehicle Sales and Rental Facility**

REVIEWED BY: Jack Griffin, City Engineer
Dustin Kalis, Fire Chief

BACKGROUND:

The City has received a set of land use applications from Enterprise Holdings for a Zoning Code Text Amendment, Final Plat and PUD Plans and a conditional use permit for Outlot F of Boulder Ponds. They have submitted these requests to allow for the development of an Enterprise facility that would include the sale and rental of vehicles on a property located on the east side of Jade Trail, just north of Hudson Boulevard. Please see the attached narrative, maps and project plans for more information about this request.

ISSUE BEFORE CITY COUNCIL:

The City Council is being asked to approve a zoning code text amendment, final plat, PUD plans, and a conditional use permit as requested by Enterprise Holdings. These requests are for the 4.29 acre Outlot F of Boulder Ponds for the development of a motor vehicle sales and rental facility.

PROPOSAL DETAILS/ANALYSIS:

Applicants: Joshua Calderon (Enterprise Holdings), 2775 Blue Waters Road, Eagan, MN 55121

Property Owners: Ray Pruban (Lakeview Investment Inc.), 2158 Oakgreen Avenue S., Afton, MN 55101

Location: Outlot F, Boulder Ponds, PID# 34.029.21.33.0027

<i>Requests::</i>	Zoning Code Text Amendment, Final Plat and PUD Plans and Conditional Use Permit for a motor vehicle sales and rental facility
<i>Existing Land Use:</i>	Vacant property
<i>Existing Zoning:</i>	C - Commercial
<i>Surrounding Land Use / Zoning:</i>	South – Storm Water Pond, Hudson Blvd and I-94; West – Boulder Ponds Senior Living across Jade Trail (HDR – High Density Residential) ; East – Mini Storage (C - Commercial); North – 5 th Street North and single dwellings
<i>Comprehensive Plan Guidance:</i>	C - Commercial
<i>Deadline(s) for Action:</i>	Application Complete – 7/09/2021 60 Day Deadline – 9/07/2021 Extension Letter Mailed – No 120 Day Deadline – N/A
<i>Applicable Regulations:</i>	Chapter 153 – Subdivision Regulations Section 154.106 – Conditional Use Permits § 154.210 – Off-Street Parking Article XIV: Commercial Districts Article VII – Specific Standards Section 150.270 – Storm Water, Erosion and Sediment Control § 154.258: Landscape Requirements

PLANNING AND ZONING ISSUES

ZONING CODE TEXT AMENDMENT

Section 154.012 (B) (6) of the Lake Elmo Zoning Code lists the definitions of possible land uses for Automotive and Vehicular related land uses in the city. This section defines sales and storage lots as:

Establishments engaged in the display for sale or lease of automobiles, trucks, machinery, recreational vehicles and manufactured homes, include automobile dealerships or the farm commercial storage of privately owned trailers, boats, campers or similar vehicles.

This definition does not now allow for the rental of vehicles on these sites. Enterprise wants to sell and rent vehicles at their proposed facility so they are asking the City to amend the zoning code to include the rental of vehicles in the possible uses at such vehicle lots. Staff is supportive of this proposed zoning text amendment as the use of a facility for sales, leasing or rental of vehicles should not create any different concerns or impacts when compared to a facility that only sells and leases vehicles.

To implement this zoning code change, staff is recommending the City amend the definition of sales and storage lots to include the rental of vehicles and amend Table 12-1: Permitted, Conditional and Interim Uses, Commercial Districts to ensure the rental of vehicles is noted as a Conditional Use in the Commercial District along with the sales and storage lots.

FINAL PLAT AND PUD PLANS

Minimum Lot Size Requirements. The parcel is consistent with the outlot created as part of the Boulder Ponds 1st Addition Final Plat and meets the minimum lot size and width requirements of the Commercial zoning district.

Parkland Dedication. The City requires a \$6000 per acre park dedication fee for commercial subdivisions. The proposed subdivision (final plat) will create one new buildable lot of 4.29 acres. Therefore, it is recommended that a condition of approval to require the applicant to pay \$25,740 (\$6000 X 4.29 acres) in park dedication fees for this development should the development plans move forward.

City Engineer Review. The City Engineer prepared a final plat review memo (dated August 2, 2021) and a site plan/construction review memo (dated August 2, 2021) related to these requests. I have attached these memos for your reference. The following is a summary of his review comments:

Application Information

- The application does not address if the site is adequately served by essential public facilities and services. Missing information includes:
 - Average daily traffic projects from full build out of the site.
 - Domestic sewer use projects. The City will need a SAC determination per the Met Council SAC manual.
 - Domestic water use projections. The City will need a SAC determination per Met Council SAC manual.
 - Needed fire flow from municipal water supply in GPM (gallons per minute and duration of flow (minutes).
 - Statement on whether the buildings will be equipped with fire sprinklers.

Stormwater Management

- The Boulder Ponds development was designed and constructed with an approved storm water management system to meet the requirements of both the City of Lake Elmo and the South Washington Watershed District. The existing stormwater pond located on City owned Outlot E was designed to accommodate an impervious surface coverage of 85% for this site.
- A private storm sewer is proposed interior to the site to capture and convey storm water runoff to the City owned storm water pond located on Boulder Ponds Outlot E. (immediately south of the development property). The private storm sewer system will connect to the existing 21-inch RCP storm sewer stub pipe located on the south property line.
- The 4.29-acre Enterprise site plan is shown with 75 percent impervious surface coverage. Because the site is assumed to be creating less impervious surface than planned, the existing storm water basin is assumed to have adequate capacity to fully accommodate this project without need for further storm water mitigation.
- The proposed development is subject to a storm water management plan meeting State, Watershed District and City rules. Permits will be required from the South Washington Watershed District and the Minnesota Pollution Control Agency.

- A stormwater easement and maintenance agreement in the City's standard form is required for the private storm water system.

Site Plan

- The site parking area is designed with two concrete commercial driveway accesses to Jade Trail North, located about 180 feet apart. The two access locations do not appear to align with the driveway locations on the west side of Jade Trail for Growing Explorers or for the senior living center.
- The site plan and the landscape plan improvements must be clarified. The landscape plans indicate boulevard trees as existing, while the existing conditions plan show no boulevard trees present. The site plans indicate the boulevard trees as proposed.

Sanitary Sewer and Water Main Plans

- No new fire hydrants have been proposed. There is one existing fire hydrant located along Jade trail about 220 feet from the proposed office building. If fire hydrant(s) are required interior to the site as may be required by the Lake Elmo Fire Department, the fire hydrants and connecting water main will be City owned and maintained. If required, the applicant must revise and resubmit the and project specifications for City review, showing the proposed hydrant(s) and connecting watermain using City design standards, details and specifications. Utility easements must be dedicated to the City that are at least 30-feet wide centered over the pipe and hydrants, and all easements must be shown on appropriate plans and on the final plat. **Note:** The Fire Department and the City Engineer have determined that the applicant will need to install a fire hydrant near the northwest corner of the building so the applicant will need to revise the project plans to show this hydrant and the watermain serving it.
- Connection to existing sanitary sewer service stubs. The project proposes to connect to existing 6-inch sanitary sewer service stubs located along Jade trail, one connection for each building. The sanitary sewer services interior to the site will be private services and must meet state plumbing code requirements.
- Connection to existing watermain stubs. The project proposes to connect to existing 6-inch watermain service stubs located along Jade Trail, one connection for each building. The water services interior to the site will be private services and must meet state building code requirements unless hydrants are required to be place interior to the site. The plans also must be revised to change the service pipe materials to meet City standards.

Preliminary Plat Conditions. Because conditions of approval for the preliminary plat for Boulder Ponds were related to the single family residential development, Staff will not be providing an analysis if preliminary plat conditions have been met.

Recommended Findings.

- 1) That the proposed Pingree (Enterprise) Final Plat and Final PUD Plan is generally consistent with the Preliminary Plat and Plans as approved by the City of Lake Elmo on September 16, 2014.
- 2) That the proposed Pingree (Enterprise) Final Plat and Final PUD Plan is consistent with the Lake Elmo Comprehensive Plan and the Future Land Use Map for this area.
- 3) That the proposed Pingree (Enterprise) Final Plat generally complies with the standards of the City's Commercial zoning district.

- 4) That the proposed Pingree (Enterprise) Final Plat complies with all other applicable zoning requirements, including the City's landscaping, storm water, sediment and erosion control and other ordinances, except as noted in this report or attachment thereof.
- 5) That the proposed Pingree (Enterprise) Final Plat complies with the City's subdivision ordinance.
- 6) That the proposed Pingree (Enterprise) Final Plat and Final PUD Plan complies with the City's Planned Unit Development Ordinance.
- 7) That the proposed Pingree (Enterprise) Final Plat is generally consistent with the City's engineering standards with the exceptions noted by the City Engineer in his review comments to the City dated August 2, 2021.

Recommended Conditions of Approval. Staff recommends the following conditions be attached to approval of the Pingree (Enterprise) Final Plat and PUD Plans:

- 1) Final grading, drainage, and erosion control plans, utility plans, sanitary and storm water management plans, and utility construction plans shall be reviewed and approved by the City Engineer prior to the recording of the Final Plat. All changes and modifications to the plat and plans requested by the City Engineer in the review memos dated August 2, 2021 shall be incorporated into these documents (including the addition of a fire hydrant near the northwest corner of the building) before the City signs the Final Plat for recording.
- 2) Prior to the release of the Final Plat for recording, the Developer shall enter into a Developer's Agreement or a Site Improvement Agreement acceptable to the City Attorney and approved by the City Council that delineates who is responsible for the design, construction, and payment of the required improvements with financial guarantees therefore.
- 3) All easements as requested by the City Engineer and Public Works Department shall be documented on the Final Plat prior to recording. Easements may need to be revised or added to the final plat pending review by the City of a detailed right-of-way boulevard plan and updated utility plans (including any on-site fire hydrants and watermains).
- 4) The Final Landscape and Irrigation Plans shall be submitted for review and approval by the City Landscape Architect before the City releases building permits for construction.
- 5) The applicant must obtain all other necessary City, State, and other governing body permits before starting any construction activity on the parcel including but not limited to building permits, conditional use permits, South Washington Watershed District permit, etc.
- 6) Any plans for construction on the newly created parcel must comply with the Lake Elmo Design Standards Manual and specific general site considerations and development standards for specific uses within the Commercial zoning district.
- 7) The site plan is subject to a storm water management plan meeting State, South Washington Watershed District and City rules and regulations. The applicant must obtain all applicable permits before the City releases the final plat for recording.
- 8) A Stormwater Maintenance and Easement Agreement in the City's Standard form is required for the privately-owned system.

- 9) The applicant shall pay the City a parkland dedication fee in the amount of \$25,740 before the City releases to the final plat for recording.

CONDITIONAL USE PERMIT

Request. An automotive sales and storage lot is a conditional use within the Commercial zoning district and as such requires City approval of a conditional use permit. The proposed Enterprise facility would sell and rent vehicles so the applicant has requested a zoning code text amendment as noted above to allow for the rental and sale of vehicles at this site. The proposed facility would have a sales and rental office building of about 5,800 square feet with 243 total parking spaces. They are proposing to have 141 car sales parking spaces, 71 parking spaces for light trucks and 31 parking spaces for customer and employee parking.

The site plan shows two 30-foot-wide driveways onto Jade Trail for access to the site.

At full capacity, the facility will have approximately 30 employees and operate from 7:30 am to 7:00 pm Monday through Friday, with rental hours from 9-12 and sales hours between 10:00 am to 6:00 pm on Saturday and closed on Sunday.

Setback and Impervious Surface Requirements. The following table outlines how the proposed use and site plan adheres to the setback and impervious surface requirements of the Commercial zoning district. The proposed site plan is meeting all the required zoning code standards.

Commercial District – Zoning Standards		
Standard	Required	Proposed
Maximum Height	45 feet	22 feet
Maximum Impervious Coverage	75%	74.6%
Front Yard Setback – Building	30 feet	171 feet
Interior Side Yard Setback – Building	10 feet	Approximately 200 feet
Rear Yard Setback - Building	30 feet	112 feet
Front Yard – Parking	15 feet	45 feet
Rear Yard - Parking	10 feet	15 feet
Minimum Building Floor Size	N/A	N/A

General Site Design Considerations, Commercial Districts. The following outlines how the proposed development adheres to the City's General Site Design considerations for the Commercial zoning district.

- *Circulation.*
 - *Internal connections when feasible.* There are no feasible internal connections to the site. The site will be accessed off of Jade Trail North by two proposed driveways.
 - *Curb cuts minimized.* There are two proposed curb cuts in order to provide better circulation.
- *Fencing and Screening.* There is an existing storm water pond on the south end of the property facing Hudson Boulevard and a commercial property (Mini-storage) to the east. Staff is not recommending the City require any special screening or fencing with this request.

- *Lighting Design.* The applicant submitted a photometric plan that meets the requirements of Sections 150.035-150.038 of the City Code.
- *Exterior Storage.* The project plans are not showing any exterior storage on the site other than areas proposed for vehicle parking. It is a recommended condition of approval that Enterprise not store any damaged or inoperable vehicles outside on their site.

Standards for Motor Vehicle Sales and Storage Lots within the Commercial Zoning District. There are four specific use standards for a vehicle sales and storage lot within the Zoning Code. They include:

1. The site shall have a minimum of 20,000 square feet and have access to collector or higher classification street. Staff Comment: The site of this proposal is 4.29 acres (186,872 square feet) and Jade Trail is noted as a collector street in the 2040 Comprehensive Plan.
2. All vehicle repairs shall be conducted in a completely enclosed building. Staff Comment: Enterprise is not proposing to conduct any vehicle service or repairs at this site.
3. A site plan shall be submitted showing the layout of vehicles, for sale, rent, employee parking and customer parking. Staff Comment: The applicant included the required site plan with their application materials.
4. Sound from any speakers used on the premises shall not be audible above a level of normal conversation at the boundary of any surrounding residential district or any residential property. Staff Comment: The applicant noted in their application materials that they do not use a public address system that would cause a disturbance to the neighbors.

Parking Lot Requirements

- *Marking of Parking Spaces.* Parking areas containing five or more spaces are required to be marked with painted lines at least four inches wide. This is shown on the plans.
- *Curbing.* Open off-street parking areas designed to have head-in parking along the property line shall provide a bumper curb or barrier of normal height. This is shown on the plans.
- *Accessible Parking.* The proposed number of parking spaces is 243, of these, two are handicap – accessible with van access, which meets the Americans with Disabilities Act (ADA) requirements.

Parking Lot Screening Standards

- *Interior Parking Lot Landscaping.* At least 5% of the parking lot is devoted to islands or corner planting beds as is required per the City’s interior parking lot landscaping standards. Additionally, the number of trees required to be provided within these interior islands and corner beds is not met.
- *Perimeter Parking Lot Landscaping.*
 - *Frontage Strip.* A well-over five-foot wide frontage strip is provided between the parking area and Jade Trail. The proposed landscape plan shows the planting of 12 coniferous trees to the north and west of the future parking area to help screen the site from the existing residential homes across Jade Trail.

The requirement that one deciduous tree be planted every 50 linear feet has been met along Jade Trail with the existing trees that were planted with the development of Boulder Ponds.

Landscape Plans. The applicant has submitted landscape plans which have been reviewed by the City’s landscape architect. Below is a summary of the review comments dated July 23, 2021:

- The submitted landscape plan does not include the required number of trees, as 75 are required, and 43 are proposed.
- Screening is required at the northern and western edge of the parcel due to the parcel to the across Jade Trail being of a less intense use.
- Ground cover material specifications are not included.
- The proposed landscape plan does not include required City standard notes and details.
- All utilities are not shown on the landscape plan to review for tree placement conflicts. All utility conflicts will need to be corrected.
- The plan does not include a quantity of shade trees to meet the interior parking lot planting requirements per the City Code.

Lake Elmo Design Guidelines and Standards. The property is located within the I-94 district, and therefore must adhere to the Lake Elmo Design Guidelines and Standards.

- *Site Design.* Building is set back at least 30 feet from the right-of-way and oriented parallel to the street, providing convenient access to entrances and efficient on-site circulation.
- *Streetscape.* Streetscape improvements were provided with the trees and landscaping previously installed along Jade Trail.
- *Landscaping.* Trees and plant beds are utilized. Parking, service, storage and utility areas are buffered by plantings.
- *Parking.* Parking areas utilize more than 60% of primary street frontage, but additional landscaping is provided adjacent to the primary street.
- *Building Design.* There are no blank facades without windows or doors, and continuous expanses of wall through façade articulation, recession and projection is utilized.
- *Building Materials.* The primary exterior building materials include EIFS (exterior insulation finish system) and a cast stone base. The roof will be flat.
- *Scale and Mass.* The building front has several doors and windows to help break up the mass and to avoid monotonous design.

City Engineer Review. This can be referenced in the Final Plat and PUD plan review section (above) of this report.

Fire Chief Review: Dustin Kalis, the Lake Elmo Fire Chief, review the proposed plans. I have attached his comments for your consideration. In summary, he did not note any major concerns or changes the Fire Department would be requiring to the plans. However, the Fire Chief and the City Engineer recently re-reviewed the project plans and they determined that the applicant needs to add a fire hydrant near the northwest corner of the building in order to ensure there will be proper fire protection to the building and site. As such, the applicant will need to update the utility plans to show this fire hydrant, with 30 foot-wide easements over the watermains and hydrants, and the Development Agreement or Site Improvement Agreement will require security for the cost of this public infrastructure.

Watershed District. The project area lies within the South Washington Watershed District (SWWD). It should be noted that the applicant must meet all the rules of the SWWD and will need to secure permits from the SWWD in order to proceed with the development as planned.

Recommendation Findings. Staff recommends the following findings:

1. The proposed use will not be detrimental to or endanger the public health, safety, comfort, convenience or general welfare of the neighborhood or the city. ***The proposed use will not be detrimental or in any way endanger the public health, safety, comfort.***

2. The use or development conforms to the City of Lake Elmo Comprehensive Plan. ***The property is guided for Commercial, in which a motor vehicle sales and storage facility is a conditional use.***
3. The use or development is compatible with the existing neighborhood. ***The proposed use is compatible with the existing neighborhood and will serve nearby residents and businesses in need of its services.***
4. The proposed use meets all specific development standards for such use listed in Article 7 of this Chapter. ***The proposed use will meet the specific development standards for a motor vehicle sales and storage facility and it should meet the general site design considerations of the Commercial district.***
5. If the proposed use is in a flood plain management or shoreland area, the proposed use meets all the specific standards for such use listed in Chapter 150, §150.250 through 150.257 (Shoreland Regulations) and Chapter 152 (Flood Plain Management). ***The property is located outside the 0.2% annual chance floodplain and shoreland area.***
6. The proposed use will be designed, constructed, operated and maintained so as to be compatible in appearance with the existing or intended character of the general vicinity and will not change the essential character of that area. ***The proposed use will be compatible in appearance with the existing and intended character of the general vicinity and will not change the essential character of the area.***
7. The proposed use will not be hazardous or create a nuisance as defined under this Chapter to existing or future neighboring structures. ***The proposed use will not be hazardous or create a nuisance. To help ensure the proposed use will not be hazardous or create a nuisance, staff is recommending that the City prohibit the fueling or repair vehicles on site while allowing vehicle washing.***
8. The proposed use will be served adequately by essential public facilities and services, including streets, police and fire protection, drainage structures, refuse disposal, water and sewer systems and schools or will be served adequately by such facilities and services provided by the persons or agencies responsible for the establishment of the proposed use. ***The proposed use will be adequately served by all of these.***
9. The proposed use will not create excessive additional requirements at public cost for public facilities and services and will not be detrimental to the economic welfare of the community. ***The proposed use will not create excessive additional requirements at public cost.***
10. The proposed use will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare because of excessive production of traffic, noise, smoke, fumes, glare or odors. ***The proposed use will generate an increase in the number of vehicle trips per day over a vacant property but the traffic volume should lower than many of the other possible commercial land uses that could occur on the site.***
11. Vehicular approaches to the property, where present, will not create traffic congestion or interfere with traffic on surrounding public thoroughfares. ***The proposed use should not create traffic congestion or interfere with traffic on surrounding public streets.***
12. The proposed use will not result in the destruction, loss or damage of a natural or scenic feature of major importance. N/A

Recommended Conditions of Approval. If the Planning Commission wishes to recommend approval, staff recommends the following conditions:

- 1) The applicant must obtain all other necessary City, State, and other governing body permits prior to the commencement of any construction activity on the parcel including but not limited to an approved stormwater management plan, utility plans, grading plan, street construction plans (if required), parking lot permit, building permits, etc.
- 2) That City Council approve the requested zoning code text amendment to allow the rental vehicles at sales and storage facilities by conditional use.
- 3) The applicant revise all project plans to address the review comments of the City Engineer in his memos dated August 2, 2021.
- 4) The applicant shall revise the project plans to show a fire hydrant near the northwest corner of the building at the direction of the Fire Department and the City Engineer. All fire hydrants shall be owned and maintained by the City.
- 5) Landscape plans must be revised and approved by the City's Landscape Architect prior to recording of the final plat. The landscape plans must meet all City parking lot landscaping and screening requirements including screening on the northern portion of the property from adjacent properties and the public right-of-way.
- 6) The applicant shall secure a sign permit from the City for all signage associated with the proposed motor vehicle sales and rental facility.
- 7) The proposed building shall meet the Lake Elmo Design Guidelines and Standards.
- 8) Enterprise and all future owners/operators on this site shall not store any damaged or inoperable vehicles outside on the site.
- 9) The City prohibits the fueling or the repair vehicles on site.
- 10) The City allows vehicle washing as part of this conditional use permit.

FISCAL IMPACT:

The City will collect Sewer Accessibility Charges and Water Accessibility Charges, building permit fees, and property taxes.

OPTIONS:

The Planning Commission may:

- Recommend approval of the Zoning Code Text Amendment, Final Plat and PUD Plans and Conditional Use Permit with recommended findings and conditions of approval.
- Recommend approval of the Zoning Code Text Amendment, Final Plat and PUD Plans and Conditional Use Permit with amended findings and conditions of approval.
- Recommend denial of Zoning Code Text Amendment, the Final Plat and PUD Plans, citing findings for denial.

RECOMMENDATIONS:

Staff and the Planning Commission recommend City Council approve a Zoning Code Text Amendment that adds the rental of vehicles as a conditional use for sales and storage lots in the C (commercial) zoning district.

“Move to adopt Ordinance 08-250 approving a zoning code text amendment(s) that adds the rental of vehicles as a conditional use for sales and storage lots in the commercial zoning district.”

Staff and the Planning Commission recommend City Council approve the Pingree Addition Final Plat and PUD Plans with recommended findings and conditions of approval:

“Move to adopt Resolution 2021-098, approving the Pingree Final Plat and PUD Plans with recommended findings and conditions of approval as drafted by Staff.”

Staff and the Planning Commission recommend City Council approve the Conditional Use Permit for a motor vehicle sales and rental facility as proposed by Enterprise Holdings for the property on the east side of Jade Trail, north of Hudson Boulevard:

“Move to adopt Resolution 2021-099, approving a Conditional Use Permit for a motor vehicle sales and rental facility as proposed by Enterprise Holdings for the property on the east side of Jade Trail, north of Hudson Boulevard, subject to the conditions of approval listed in the staff report and based on the findings of fact listed in the staff report.”

ATTACHMENTS:

- Zoning Text Amendment Ordinance
- PUD/Final Plat Resolution
- CUP Resolution
- Applications and Narrative
- Location Map
- Property Line Map
- Aerial Photo
- Pingree Addition Final Plat
- Project Plans (12 sheets)
- Proposed Landscape Plan
- Elevation and Floor Plans (3 sheets)
- City Engineer Final Plat review memo dated August 2, 2021
- City Engineer Site Plan/Construction Plan review memo dated August 2, 2021
- Fire Chief Review memo dated July 20, 2021
- Landscape Architects review memo dated July 23, 2021
- Neighbor comments dated August 2, 2021
- Neighbor comments dated August 4, 2021

**CITY OF LAKE ELMO
COUNTY OF WASHINGTON
STATE OF MINNESOTA**

ORDINANCE NO. 08-250

*AN ORDINANCE AMENDING SECTION 154.012 (B) (6) OF THE LAKE ELMO ZONING
CODE EXPANDING THE DEFINITIONS FOR POSSIBLE LAND USES RELATED TO
AUTOMOTIVE AND VEHICULAR USES ALLOWING VEHICLE AND MACHINE RENTAL AS
A CONDITIONAL USE ON SALES AND STORAGE LOTS IN THE COMMERCIAL ZONING
DISTRICT*

THE CITY COUNCIL OF THE CITY OF PLAINVIEW DOES ORDAIN (new material is underlined; deleted material is lined out; sections which are not proposed to be amended are omitted; sections which are only proposed to be re-numbered are only set forth below as to their number and title):

SECTION 1. Lake Elmo Zoning Code, Section 154.012 (B) (6) is hereby amended to read as follows:

6. Automotive/Vehicular Uses

Automobile Maintenance Service. Repair of automobiles, non-commercial trucks, motorcycles, motor homes, recreational vehicles, or boats, including the sale, installation, and servicing of equipment and parts. Typical uses include tire sales and installation, wheel and brake shops, oil and lubrication services and similar repair and service activities where minor repairs and routine maintenance are conducted.

Automobile Parts/Supply. Retail sales of automobile parts and accessories. Typical uses include automobile parts and supply stores which offer new and factory rebuilt parts and accessories, and include establishments, which offer minor automobile repair services as an accessory use.

Car Wash. Washing and cleaning of vehicles. Typical uses include automatic conveyor machines and self-service car washes.

Commercial Vehicle Repair. Repair of construction equipment, commercial trucks, agricultural implements and similar heavy equipment, including automobiles, where major engine and transmission repairs are conducted. Typical uses include automobile and truck repair garages, transmission shops, radiator shops, body and fender shops, equipment service centers, machine shops, and other similar uses where major repair activities are conducted.

Gasoline Station. Any place of business with fuel pumps and underground storage tanks that provide fuels and oil for motor vehicles. A neighborhood convenience store associated with automobile fuel sales shall be considered a gasoline station.

Parking Facility. Any structure associated with a non-residential use whose purpose is to provide the required off-street parking spaces for a principal use, or any site utilized for parking

which constitutes the principal use on a parcel of land. This category also includes community Lots, which are established to meet the parking needs in a residential area, and park + ride lots.

Sales and Storage Lots. Establishments engaged in the display for sale, lease, and/or rental of automobiles, trucks, machinery, recreational vehicles and manufactured homes, including auto dealerships or the farm commercial storage of privately owned trailers, boats, campers, or similar vehicles.

SECTION 2. That this ordinance shall take effect from and after its passage and publication.

Passed and duly adopted this _____ day of _____, 2021 by the City Council of the City of Lake Elmo, Minnesota.

Mayor Charles Cadenhead

ATTEST:

Julie Johnson, City Clerk

**CITY OF LAKE ELMO
COUNTY OF WASHINGTON
STATE OF MINNESOTA**

RESOLUTION NO. 2021-098

A RESOLUTION APPROVING A FINAL PLAT AND PUD FOR ENTERPRISE HOLDINGS

WHEREAS, Joshua Calderon from Enterprise Holdings (the “Applicant”) and Ray Pruban from Lakeview Investments Inc. (the “Owner”; Owner and Applicant known together as “Development Team”) are developing the parcel identified as PID 34.029.21.33.0027 and also known as Outlot F in Boulder Ponds (the “Property”). The Development Team has submitted an application to the City of Lake Elmo (the “City”) for an Enterprise facility that would include the sale and rental of vehicles; and

WHEREAS, notice has been published, mailed, and posted pursuant to the Lake Elmo Zoning Code, Section 154.109; and

WHEREAS, the Lake Elmo Planning Commission held a public hearing on said Final Plat and PUD on August 9, 2021; and

WHEREAS, the Lake Elmo Planning Commission has submitted its report and recommendations with respect to the requested variance to the City Council as part of the City Staff Memorandum dated September 7, 2021; and

WHEREAS, the City Council considered the variance request at its September 7, 2021 meeting; and

NOW, THEREFORE, based on the testimony elicited and information received, the City Council makes the following findings, conditions, and conclusions:

FINDINGS

1. That the proposed Pingree (Enterprise) Final Plat and Final PUD Plan is generally consistent with the Preliminary Plat and Plans as approved by the City of Lake Elmo on September 16, 2014.
2. That the proposed Pingree (Enterprise) Final Plat and Final PUD Plan is consistent with the Lake Elmo Comprehensive Plan and the Future Land Use Map for this area.
3. That the proposed Pingree (Enterprise) Final Plat generally complies with the standards of the City’s Commercial zoning district.

4. That the proposed Pingree (Enterprise) Final Plat complies with all other applicable zoning requirements, including the City's landscaping, storm water, sediment and erosion control and other ordinances, except as noted in this report or attachment thereof.
5. That the proposed Pingree (Enterprise) Final Plat complies with the City's subdivision ordinance.
6. That the proposed Pingree (Enterprise) Final Plat and Final PUD Plan complies with the City's Planned Unit Development Ordinance.
7. That the proposed Pingree (Enterprise) Final Plat is generally consistent with the City's engineering standards with the exceptions noted by the City Engineer in his review comments to the City dated August 2, 2021.

CONDITIONS OF APPROVAL

1. Final grading, drainage, and erosion control plans, utility plans, sanitary and storm water management plans, and utility construction plans shall be reviewed and approved by the City Engineer prior to the recording of the Final Plat. All changes and modifications to the plat and plans requested by the City Engineer in the review memos dated August 2, 2021 shall be incorporated into these documents (including the addition of a fire hydrant near the northwest corner of the building) before the City signs the Final Plat for recording.
2. Prior to the release of the Final Plat for recording, the Developer shall enter into a Developer's Agreement or a Site Improvement Agreement acceptable to the City Attorney and approved by the City Council that delineates who is responsible for the design, construction, and payment of the required improvements with financial guarantees therefore.
3. All easements as requested by the City Engineer and Public Works Department shall be documented on the Final Plat prior to recording. Easements may need to be revised or added to the final plat pending review by the City of a detailed right-of-way boulevard plan and updated utility plans (including any on-site fire hydrants and watermains).
4. The Final Landscape and Irrigation Plans shall be submitted for review and approval by the City Landscape Architect before the City releases building permits for construction.
5. The applicant must obtain all other necessary City, State, and other governing body permits before starting any construction activity on the parcel including but not limited to building permits, conditional use permits, South Washington Watershed District permit, etc.

6. Any plans for construction on the newly created parcel must comply with the Lake Elmo Design Standards Manual and specific general site considerations and development standards for specific uses within the Commercial zoning district.
7. The site plan is subject to a storm water management plan meeting State, South Washington Watershed District and City rules and regulations. The applicant must obtain all applicable permits before the City releases the final plat for recording.
8. A Stormwater Maintenance and Easement Agreement in the City's Standard form is required for the privately-owned system.
9. The applicant shall pay the City a parkland dedication fee in the amount of \$25,740 before the City releases to the final plat for recording.

CONCLUSIONS

1. Based on the above findings, the City Council hereby approves the requested Final Plat and PUD. The conditions of approval are set forth above.

Passed and duly adopted this 7th day of September, 2021 by the City Council of the City of Lake Elmo, Minnesota.

Mayor Charles Cadenhead

ATTEST:

Julie Johnson, City Clerk

**CITY OF LAKE ELMO
COUNTY OF WASHINGTON
STATE OF MINNESOTA**

RESOLUTION NO. 2021-099

A RESOLUTION APPROVING A CUP FOR ENTERPRISE HOLDINGS

WHEREAS, Joshua Calderon from Enterprise Holdings (the “Applicant”) and Ray Pruban from Lakeview Investments Inc. (the “Owner”; Owner and Applicant known together as “Development Team”) are developing the parcel identified as PID 34.029.21.33.0027 and also known as Outlot F in Boulder Ponds (the “Property”). The Development Team has submitted an application to the City of Lake Elmo (the “City”) for an Enterprise facility that would include the sale and rental of vehicles; and

WHEREAS, notice has been published, mailed, and posted pursuant to the Lake Elmo Zoning Code, Section 154.109; and

WHEREAS, the Lake Elmo Planning Commission held a public hearing on said CUP on August 9, 2021; and

WHEREAS, the Lake Elmo Planning Commission has submitted its report and recommendations with respect to the requested variance to the City Council as part of the City Staff Memorandum dated September 7, 2021; and

WHEREAS, the City Council considered the variance request at its September 7, 2021 meeting; and

NOW, THEREFORE, based on the testimony elicited and information received, the City Council makes the following findings, conditions, and conclusions:

FINDINGS

1. The proposed use will not be detrimental to or endanger the public health, safety, comfort, convenience or general welfare of the neighborhood or the city.
2. The use or development conforms to the City of Lake Elmo Comprehensive Plan. The property is guided for Commercial, in which a motor vehicle sales and storage facility is a conditional use.
3. The use or development is compatible with the existing neighborhood.
4. The proposed use meets all specific development standards for such use listed in Article 7 of this Chapter.

5. If the proposed use is in a flood plain management or shoreland area, the proposed use meets all the specific standards for such use listed in Chapter 150, §150.250 through 150.257 (Shoreland Regulations) and Chapter 152 (Flood Plain Management).
6. The proposed use will be designed, constructed, operated and maintained so as to be compatible in appearance with the existing or intended character of the general vicinity and will not change the essential character of that area.
7. The proposed use will not be hazardous or create a nuisance as defined under this Chapter to existing or future neighboring structures. The proposed use will not be hazardous or create a nuisance. To help ensure the proposed use will not be hazardous or create a nuisance, staff is recommending that the City prohibit the fueling or repair vehicles on site while allowing vehicle washing.
8. The proposed use will be served adequately by essential public facilities and services, including streets, police and fire protection, drainage structures, refuse disposal, water and sewer systems and schools or will be served adequately by such facilities and services provided by the persons or agencies responsible for the establishment of the proposed use.
9. The proposed use will not create excessive additional requirements at public cost for public facilities and services and will not be detrimental to the economic welfare of the community.
10. The proposed use will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare because of excessive production of traffic, noise, smoke, fumes, glare or odors. The proposed use will generate an increase in the number of vehicle trips per day over a vacant property but the traffic volume should lower than many of the other possible commercial land uses that could occur on the site.
11. Vehicular approaches to the property, where present, will not create traffic congestion or interfere with traffic on surrounding public thoroughfares.
12. The proposed use will not result in the destruction, loss or damage of a natural or scenic feature of major importance.

CONDITIONS OF APPROVAL

1. The applicant must obtain all other necessary City, State, and other governing body permits prior to the commencement of any construction activity on the parcel including but not limited to an approved stormwater management plan, utility plans, grading plan, street construction plans (if required), parking lot permit, building permits, etc.
2. That City Council approve the requested zoning code text amendment to allow the rental vehicles at sales and storage facilities by conditional use.
3. The applicant revise all project plans to address the review comments of the City Engineer in his memos dated August 2, 2021.
4. The applicant shall revise the project plans to show a fire hydrant near the northwest corner of the building at the direction of the Fire Department and the City Engineer. All fire hydrants shall be owned and maintained by the City.

5. Landscape plans must be revised and approved by the City's Landscape Architect prior to recording of the final plat. The landscape plans must meet all City parking lot landscaping and screening requirements including screening on the northern portion of the property from adjacent properties and the public right-of-way.
6. The applicant shall secure a sign permit from the City for all signage associated with the proposed motor vehicle sales and rental facility.
7. The proposed building shall meet the Lake Elmo Design Guidelines and Standards.
8. Enterprise and all future owners/operators on this site shall not store any damaged or inoperable vehicles outside on the site.
9. The City prohibits the fueling or the repair vehicles on site.
10. The City allows vehicle washing as part of this conditional use permit.

CONCLUSIONS

1. Based on the above findings, the City Council hereby approves the requested CUP. The conditions of approval are set forth above.

Passed and duly adopted this 7th day of September, 2021 by the City Council of the City of Lake Elmo, Minnesota.

Mayor Charles Cadenhead

ATTEST:

Julie Johnson, City Clerk

Friday, July 9, 2021

The City of Lake Elmo

LAND USE APPLICATION

651-747-3900

☐ Conditional Use Permit (C.U.P.)

3880 Laverne Avenue North

Lake Elmo, MN 55042

Applicant: Joshua Calderon – Group Property Development and Facilities Manager

Address: Enterprise Holdings – 2775 Blue Waters Road, Eagan, Minnesota 55121

Phone # 651-905-5085 (direct) 803-201-0574 (cell)

Email Address: Joshua.calderon@ehi.com

Property Owner: Ray Pruban - Lakeview Investment, LLC

Address: 2158 Oakgreen Ave S, Afton MN 5501

Phone # 651-242-4850

Email Address: raypruban@gmail.com

Property Address: 4.29 acres of Outlot F of Boulder Ponds,
northeast of intersection of Hudson Blvd & Jade Trail

PID#: 34-029-21-33-0027 (outlot F)

Detailed Reason for Request:

Enterprise Holdings is seeking a CUP to sell used vehicles from the site. In addition, a text amendment is being sought to be able to rent vehicles from the site. Consolidating the uses to one site instead of pursuing separate sites will allow us to provide a better developed building and site and provide greater customer service and convenience.

In signing this application, I hereby acknowledge that I have read and fully understand the applicable provisions of the Zoning ordinance and current administrative procedures. I further acknowledge the fee explanation as outlined in the application procedures and hereby agree to pay all statements received from the City pertaining to additional application expense.

Signature of applicant: _____ Date: _____

Signature of property owner: _____ Date: _____

Friday, July 9, 2021

1. A completed land use application form signed by all property owners along with payment of the proper filing fee.

2. Written statements providing information regarding your proposal. Please provide a separate answer for each of the lettered items listed below (answers must be submitted in both hard copy and electronic form--.txt files or MS Word format):

a. A listing of contact information including name(s), address(es) and phone number(s) of: the owner of record, authorized agents or representatives, engineer, surveyor, and any other relevant associates;

Facilities Manager: Enterprise Holdings
2775 Blue Waters Road, Eagan, Minnesota 55121
651-905-5084 – Joshua Calderon

Land Surveyors: E.G. Rud & Sons, Inc.
6776 Lake Dr. NE, Suite 110, Lino Lakes, Minnesota 55014
651-361-8200 – Jason Rud

Civil Engineer: Demarc Inc.
7601 – 73rd Avenue North, Minneapolis, Minnesota 55428
763-560-3093 - Jeffery Prasch

Geotech: Haugo GeoTechnical Services
2825 Cedar Avenue South, Minneapolis, Minnesota 55407
612-729-2959 – Paul Gionfriddo

Landscape Architect: B. E. Land Designs
708 NE 15th Avenue, Minneapolis, Minnesota 55418
612-382-0902 – Ben Erickson

Architect of Record: Grube Architects
P.O. Box 2183, Stillwater, Minnesota 55082
651-303-8155 – Kevin Grube

Project Designer: KRdesign
4921 Beard Avenue South, Minneapolis, Minnesota 55410
612-590-1513 – Kevin Rolfes

b. A listing of the following site data: Address, current zoning, parcel size in acres and square feet, property identification number(s) (PID), and current legal description(s);

Address: 4.29 acres of Outlot F of Boulder Ponds, northeast of intersection of Hudson Blvd & Jade Trail, Lake Elmo MN

Current Zoning: Commercial (C) with PUD Overlay

Parcel size: Outlot F – 186,947+/- (4.29 acres)

PID: 34-029-21-33-0027

c. A narrative regarding the history of the property (current and past uses) and any pre-application discussions with staff.

The site undeveloped at this time.

d. A specific written description of the proposed use(s).

i. Incorporate information describing how the use will work on the proposed site including proposed site changes, existing open spaces, landscaping, traffic circulation, transition areas to adjacent properties, individual uses for existing and proposed structures, and effects on natural areas (wetlands, forests, etc.) both on-site and in the general vicinity of the project.

We intend on purchasing the land and developing the site for a new Enterprise Car Sales and Enterprise Car Rental facility. Both business lines to be co-located in a single building structure with a separate building structure to accommodate the hand washing and sanitization of the vehicles. The site will facility the car rental needs for the local community as well as purchasing. We intend on developing a majority of the land while leaving a reserved amount on the north side of the property for future parking lot expansion if needed in the future. We intend the site to comply with all landscaping requirements and buffers. The traffic circulation on the site will be managed by guide signage that will be placed on the site directing car rental and car sales customers to the appropriate designated parking and entrances. A covered car return canopy will allow customers returning a vehicle to drive into the property and pull straight into the covered area to be serviced. Customer parking for both business lines will be located in front of the building. The south end parking will be designated for car sales inventory. We do not intend on adjoining our property with any of the adjacent neighbors just directly to the main road. onsite stormwater management will be managed by tying into the existing city stormwater system running parallel with the road.

ii. Provide specific details about the use including the number of employees, hours of operation, maximum number of animals (if applicable), proposed development schedule, etc.

Car rental hours will be similar to the following but may be subject to change:

M-F- 7:30am-5pm

Sat – 9am-12pm

Sun – closed

Car sales hours will be similar to the following but may be subject to change:

M- Thurs – 10am – 7pm

Fri – 9am-6pm

Sat – 10am-6pm

Sun – closed

Approximate total number of employees for both business lines: 12-15

e. Provide justification that the proposed use meets the following findings:

i. The proposed use will not be detrimental to or endanger the public health, safety, comfort, convenience or general welfare of the neighborhood or City.

The proposed Enterprise Car Rental and Car Sales business poses no danger to public health, safety, comfort, convenience or general welfare of the neighborhood or City. No hazardous materials will be used at the site. We do not service vehicles onsite. Unlike other typical car sale facilities, we do not use a PA system to cause a disturbance to the neighbors.

ii. The use or development conforms to the City of Lake Elmo Comprehensive Plan.

The proposed Enterprise Car Rental and car sales business will conform to the City of Lake Elmo Comprehensive Plan. We currently have connections with local business's and partners in the community we intend on servicing at this new location from both business lines (neighboring accounts, body shops, etc.). In addition, this new location will allow us to better serve the surrounding community and allowing us to provide the best customer service and an aesthetically pleasing customer environment.

iii. The use or development is compatible with the existing neighborhood.

There are similar auto related uses nearby such as body shops and used auto sales. The site is currently zoned for car sales and adjacent zoning does allow vehicle rental. The proposed Enterprise Car Rental and car sales business is compatible with the existing neighborhood.

iv. The proposed use meets all specific development standards for such use listed in Article 7 of the Zoning Code.

The proposed Enterprise Car Rental and car sales business meets all specific development standards for such use listed in Article 7 of the Zoning Code.

v. If the proposed use is in a flood plain management or shoreland area, the proposed use meets all the specific standards for such use.

The proposed Enterprise Car Rental and sales business is on Flood Zone X (area of minimal flooding), according to Flood Insurance Rate Map Community Panel No. 27163C0335E by the Federal Emergency Management Agency, effective date February 3, 2010.

vi. The proposed use will be designed, constructed, operated and maintained so as to be compatible in appearance with the existing or intended character of the general vicinity and will not change the essential character of that area.

The proposed Enterprise Car Rental and car sales business will be designed, constructed, operated and maintained so as to be compatible in appearance with the existing or intended character of the general vicinity and will not change the essential character of that area. See additional floor plans and elevations.

vii. The proposed use will not be hazardous or create a nuisance as defined in the zoning code to existing or future neighboring structures.

The proposed Enterprise Car Rental and car sales business will not be hazardous or create a nuisance as defined in the zoning code to existing or future neighboring structures. No hazardous materials will be used at the site. We do not service vehicles onsite. Unlike other typical car sale facilities, we do not use a PA system to cause a disturbance to the neighbors.

viii. The proposed use will be served adequately by essential public facilities and services, including streets, police and fire protection, drainage structures, refuse disposal, water and sewer systems and schools or will be served adequately by such facilities and services provided by the persons or agencies responsible for the establishment of the proposed use.

The proposed Enterprise Car Rental and car sales business will be served adequately by essential public facilities and services listed.

ix. The proposed use will not create excessive additional requirements at public cost for public facilities and services and will not be detrimental to the economic welfare of the community.

The proposed Enterprise Car Rental and car sales business will not create excessive additional requirements at public cost. The development of the land should actually increase the value of the surrounding properties.

x. The proposed use will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare because of excessive production of traffic, noise, smoke, fumes, glare or odors.

The proposed Enterprise Car Rental and car sales business will not involve these items listed. As noted above, we do not service vehicles onsite, no repair work will be done on site. No onsite fuel.

xi. Vehicular approaches to the property, where present, will not create traffic congestion or interfere with traffic on surrounding public thoroughfares.

The proposed Enterprise Car Rental and car sales business will not create traffic congestion or interfere with traffic on surrounding public thoroughfares. The development of the site will include detailed customer guide signage to assist customers with the intended flow of the lot. This will allow positive flow of circulation and avoid unnecessary congestion.

xii. The proposed use will not result in the destruction, loss or damage of a natural or scenic feature of major importance.

The proposed Enterprise Car Rental and car sales business will not result in the destruction, loss or damage of a natural or scenic feature of major importance. The land is bare. We intend on adding landscaping as required.

3. Verification of ownership (a copy of a current title report, purchase agreement, etc.)

A copy of the executed purchase agreement is included with this application. Enterprise intends on purchasing the property from the current owner Lakeview upon receiving full permits from the local municipality.

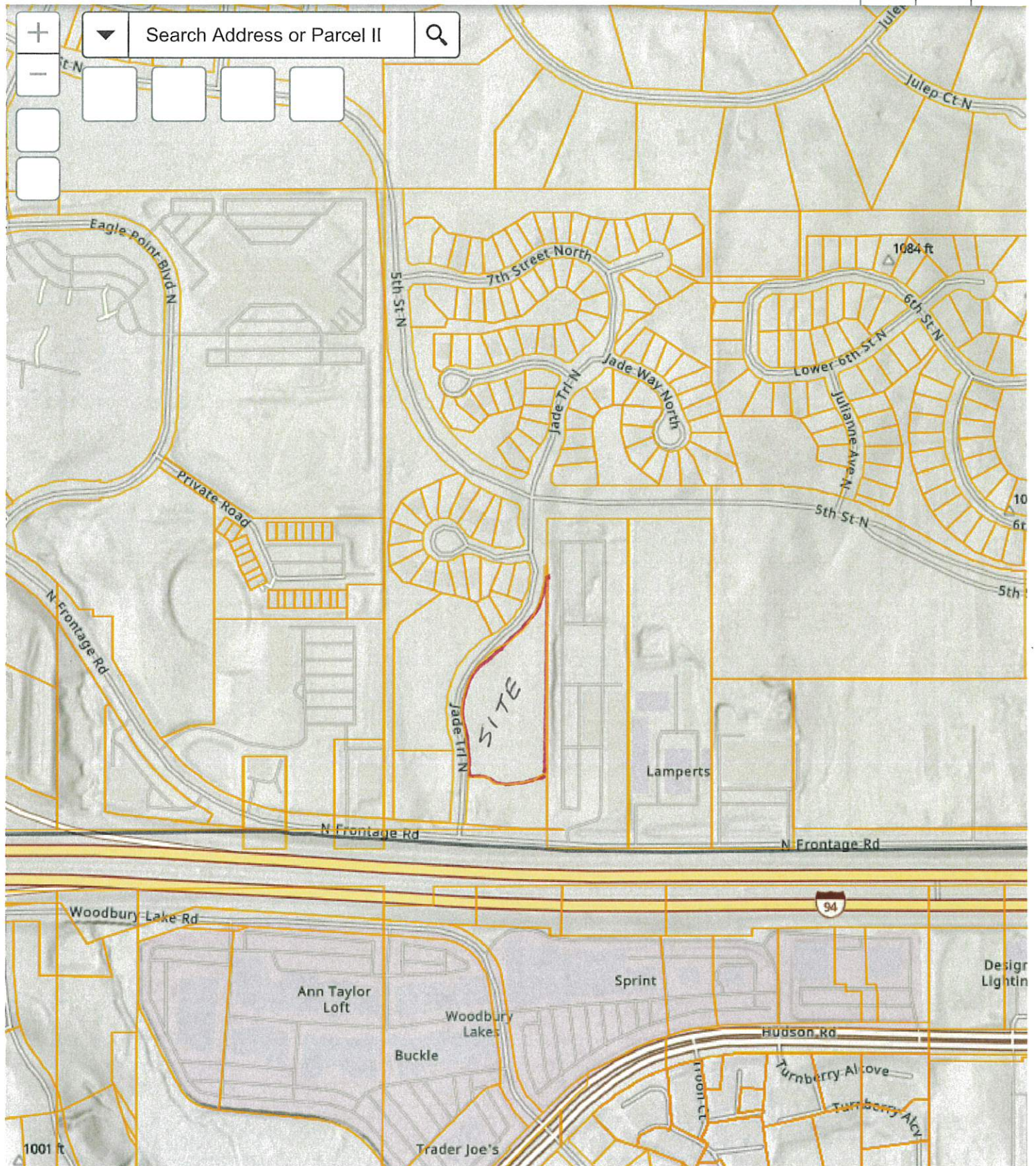
4. Address labels: A certified list of property owners located within three hundred fifty (350') feet of the subject property obtained from and certified by a licensed abstractor or through Washington County.

We intend on using the Washington county parcel search

Parcel Viewer - Quick Access

Beta

Washington Co.



LOCATION MAP

-92.889 44.956 Degrees

Diane Wendt

From: Christopher Beaudet <cjbeaudet@gmail.com>
Sent: Tuesday, August 3, 2021 7:21 AM
To: Ken Roberts
Subject: Potential Enterprise Rent-A-Car Facility

Caution: This email originated outside our organization; please use caution.

Dear Mr. Roberts,

As I am unable to attend the Lake Elmo Public Hearing scheduled for Monday, 9 August 2021, to discuss the proposed Enterprise Rent-A-Car facility to be built on the vacant lot on the east side of Jade Trail across from the newly built Boulder Ponds Senior Living.

I am the owner and resident of a villa in the Boulder Ponds development at 9043 Jade Circle North. Jade Trail is my usual route of entry and exit into the development. I have come to appreciate the newly built senior living since it maintains the residential feel of Boulder Ponds.

Regrettably, Boulder Ponds abuts a storage facility to the east with its large parking lot for stored vehicles. It is an unsightly property and undoubtedly lowers the property value of my home and those around it. I would not want a business with yet more vehicles in a lit parking lot to cross even closer to the Boulder Ponds development. A rent-a-car facility is not as high class a business as I would hope the neighborhood would develop. Hudson Road already has low-end businesses in old, antiquated buildings that haven't kept up with the new development of the area.

I stand in opposition to amending the zoning code for this purpose and I appreciate the opportunity to lodge my concern. If you have any questions, please feel free to contact me at the information below.

Very gratefully,

Christopher

Christopher J. Beaudet, JCD
cjbeaudet@gmail.com
612. 239. 4659

Diane Wendt

From: Torol Saddeus <jahanv@msn.com>
Sent: Wednesday, August 4, 2021 10:46 AM
To: Ken Roberts
Subject: Enterprise Rental Hearing

Caution: This email originated outside our organization; please use caution.

Hello,

I am unable to attend the hearing due to it occurring when I am working.

However, I do have some questions/comments/concerns about this proposal.

In the proposal they state that there is already an auto-body shop and that there are similar auto sales nearby (Which is false the nearest one that I can find on google is about 3 miles away - on the other side of the highway, in a large business center.) nearby so this shouldn't be any difference. I disagree with this sentiment, if you look at the auto-body shop that they're referring to, it is not really near any of the residences. It is also completely secluded by trees. Additionally, most of their clientele are towed there so there isn't as much traffic as one would think. Will they be required to also surround their business with a similar amount of foliage as to avoid being an eye sore? As it stands right now, we have a rental place which burned down last year - and doesn't seem like they're going to repair it. However they have made an effort to plant enough trees that in a few years it will be obscured from view for the neighborhoods.

Additionally, this states that their business will include both the rental and sale of vehicles. Does this imply that we're going to get people speeding through our neighborhoods to test out the cars? As it stands right now, our neighborhoods only get the traffic of the people living in them. So at the moment people feel safe letting their kids play in the street, bike around, etc... However the behavior of people driving a rental car vs their own car is quite a bit different, the same goes for when test driving and seeing 'what the vehicle can do.'

They also list, they only intend for their lot to be an outlet to the main road. however it isn't specific in this statement what the main road is, is the main road Jade Trail, or is the main road Hudson?

On the note of hazardous materials, they are a car rental place and typically those have gas stations built into them. Will this one have a fueling service, if so what measures will be taken to prevent contamination into the ground? Who will be accountable for any cleanup if in 10-20 years if they find the reservoir had been leaking into the ground? Same with having an on-site car wash. What assurances are there about the chemicals they will be using in the car wash, which will get into the air when the water mists? Car wash soaps do produce an odor that can travel distances as can be demonstrated by going near any car wash.

In section X it says that it will not generate excessive amounts of various pollutions. How is excessive defined? What happens if they do start to generate excessive traffic for instance?

In section xii. They declare that the land is bare. The land is certainly not bare. Bare is an empty parking lot. This land is a field with trees and wildlife.

I personally do not think this is a needed addition to the neighborhood and that this is going to be disruptive to many of the nearby residence lives. As I mentioned, the increase in vehicular traffic from people test driving vehicles will cause a nuisance for children playing in the immediate neighborhoods.

Seeing as I am unable to attend this hearing in person. How will I be able to hear the responses to these concerns?

Thanks,
Jahan.

Diane Wendt

From: Calderon, Joshua <Joshua.Calderon@ehi.com>
Sent: Wednesday, August 4, 2021 11:15 AM
To: Ken Roberts
Cc: kevin@krdesign.com; Kevin L. Grube
Subject: Re: Enterprise Rental Hearing

Caution: This email originated outside our organization; please use caution.

Thanks Ken we can address these concerns. I can outline the other nearby auto related property that we are specifically referring to. Whether it's considered nearby or close enough I guess is relative. I'm not sure what Jahan is referring to regarding hiding the "eye sore", we do not handle repairs on site or store wrecked vehicles. The plans provided show a professional car sales facility? I also don't understand the burned down facility comment, we don't have a burned down facility anywhere.

We also will not have on site fuel.

The wash bay is intended for hand washing vehicles. No auto wash included. As a majority of our existing locations just involve an individual using a pressure washer. No under the hood degreasing will be involved.

Should we respond to the rest of Jahans concerns in a formal letter prior to the meeting? Is Jahan an engineer or member of the council?

Sent from my T-Mobile 5G Device
Get [Outlook for Android](#)

From: Ken Roberts <KRoberts@lakeelmo.org>
Sent: Wednesday, August 4, 2021, 11:00 AM
To: Calderon, Joshua
Subject: FW: Enterprise Rental Hearing

Joshua –

Please be prepared to answer his questions and concerns at the PC meeting.

Thanks –

Ken

From: Torol Saddeus [mailto:jahanv@msn.com]
Sent: Wednesday, August 4, 2021 10:46 AM
To: Ken Roberts <KRoberts@lakeelmo.org>
Subject: Enterprise Rental Hearing

Caution: This email originated outside our organization; please use caution.

Hello,

I am unable to attend the hearing due to it occurring when I am working.

However, I do have some questions/comments/concerns about this proposal.

In the proposal they state that there is already an auto-body shop and that there are similar auto sales nearby(Which is false the nearest one that I can find on google is about 3 miles away - on the other side of the highway, in a large business center.) nearby so this shouldn't be any difference. I disagree with this sentiment, if you look at the auto-body shop that they're referring to, it is not really near any of the residences. It is also completely secluded by trees. Additionally, most of their clientel are towed there so there isn't as much traffic as one would think. Will they be required to also surround their business with a similar amount of foliage as to avoid being an eye sore? As it stands right now, we have a rental place which burned down last year - and doesn't seem like they're going to repair it. However they have made an effort to plant enough trees that in a few years it will be obscured from view for the neighborhoods.

Additionally, this states that their business will include both the rental and sale of vehicles. Does this imply that we're going to get people speeding through our neighborhoods to test our the cars? As it stands right now, our neighborhoods only get the traffic of the people living in them. So at the moment people feel safe letting their kids play in the street, bike around, etc... However the behavior of people driving a rental car vs their own car is quite a bit different, the same goes for when test driving and seeing 'what the vehicle can do.'

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In section xii. They declare that the land is bare. The land is certainly not bare. Bare is an empty parking lot. This land is a field with trees and wildlife.

I personally do not think this is a needed addition to the neighborhood and that this is going to be disruptive to many of the nearby residence lives. As I mentioned, the increase in vehicular traffic from people test driving vehicles will cause a nuisance for children playing in the immediate neighborhoods.

Seeing as I am unable to attend this hearing in person. How will I be able to hear the responses to these concerns?

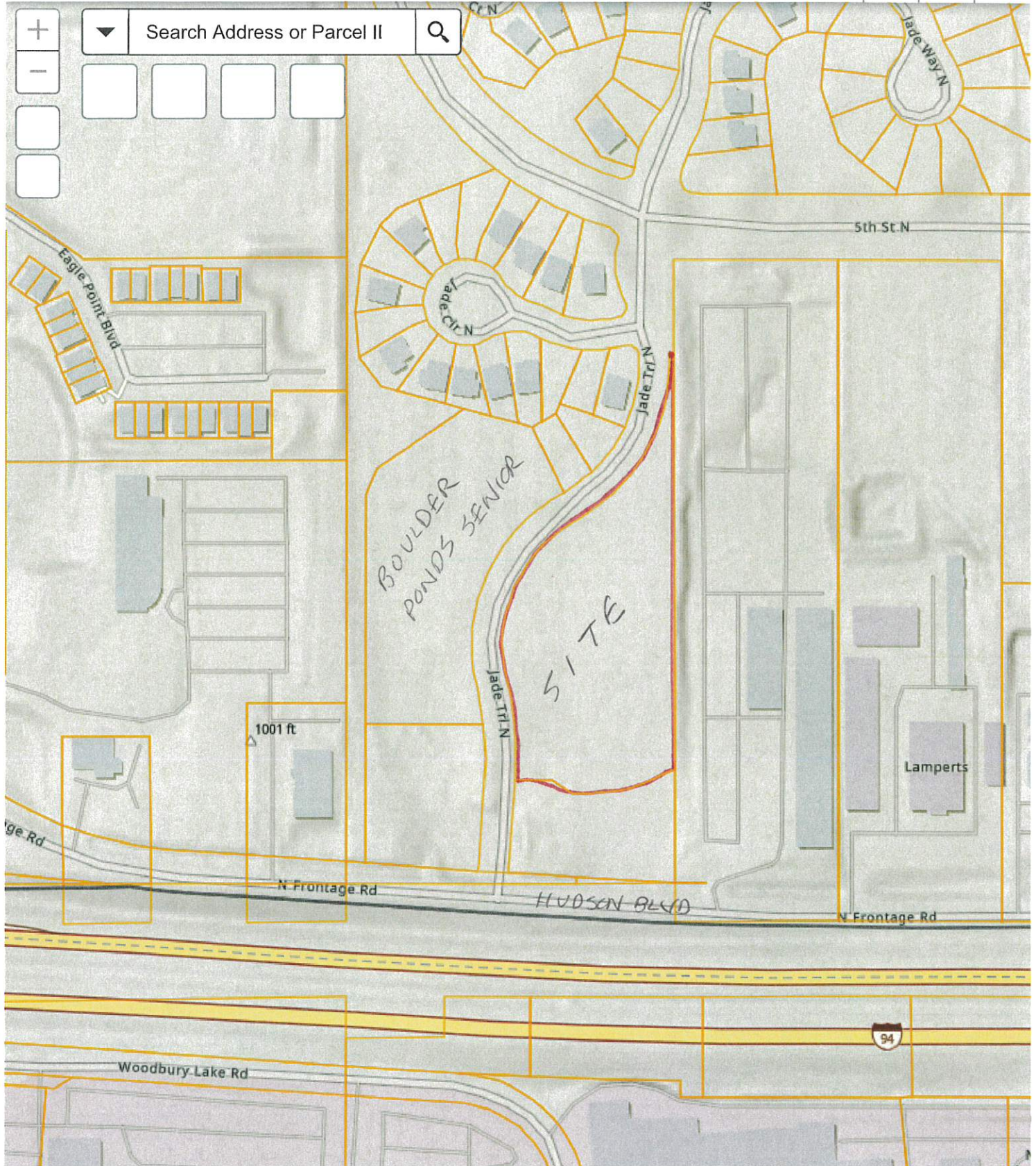
Thanks,
Jahan.

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Parcel Viewer - Quick Access

Beta

Washington Co.

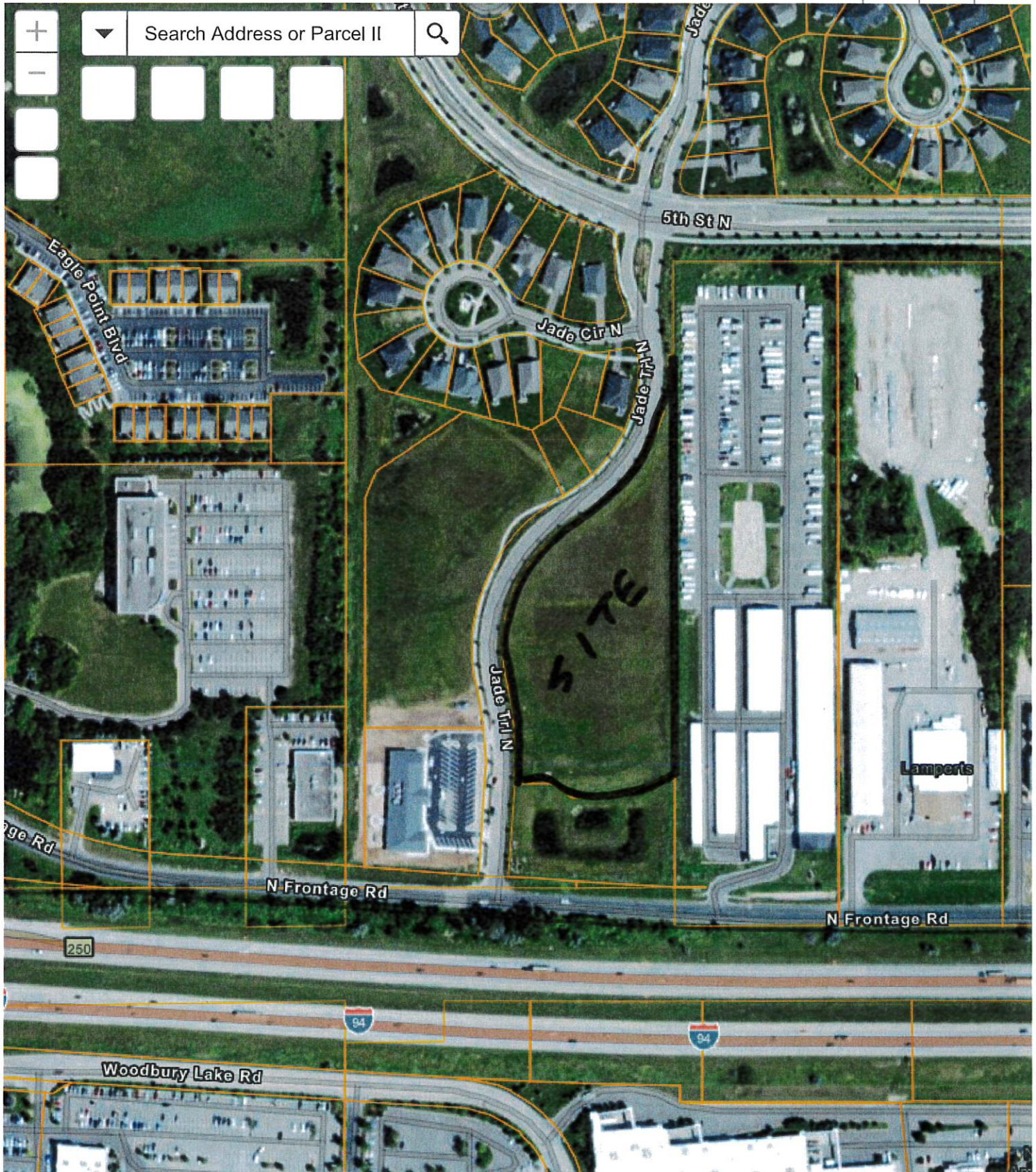


PROPERTY LINE MAP

Parcel Viewer - Quick Access

Beta

Washington Co



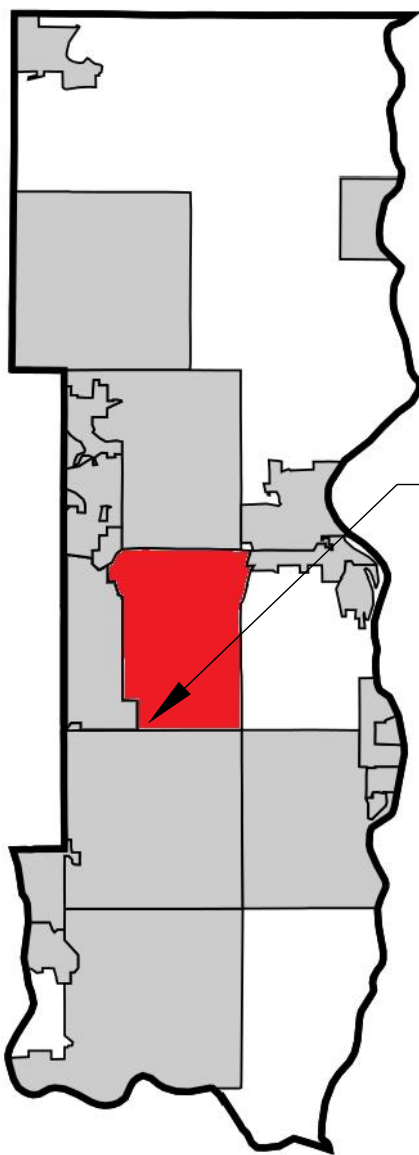
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AERIAL PHOTO

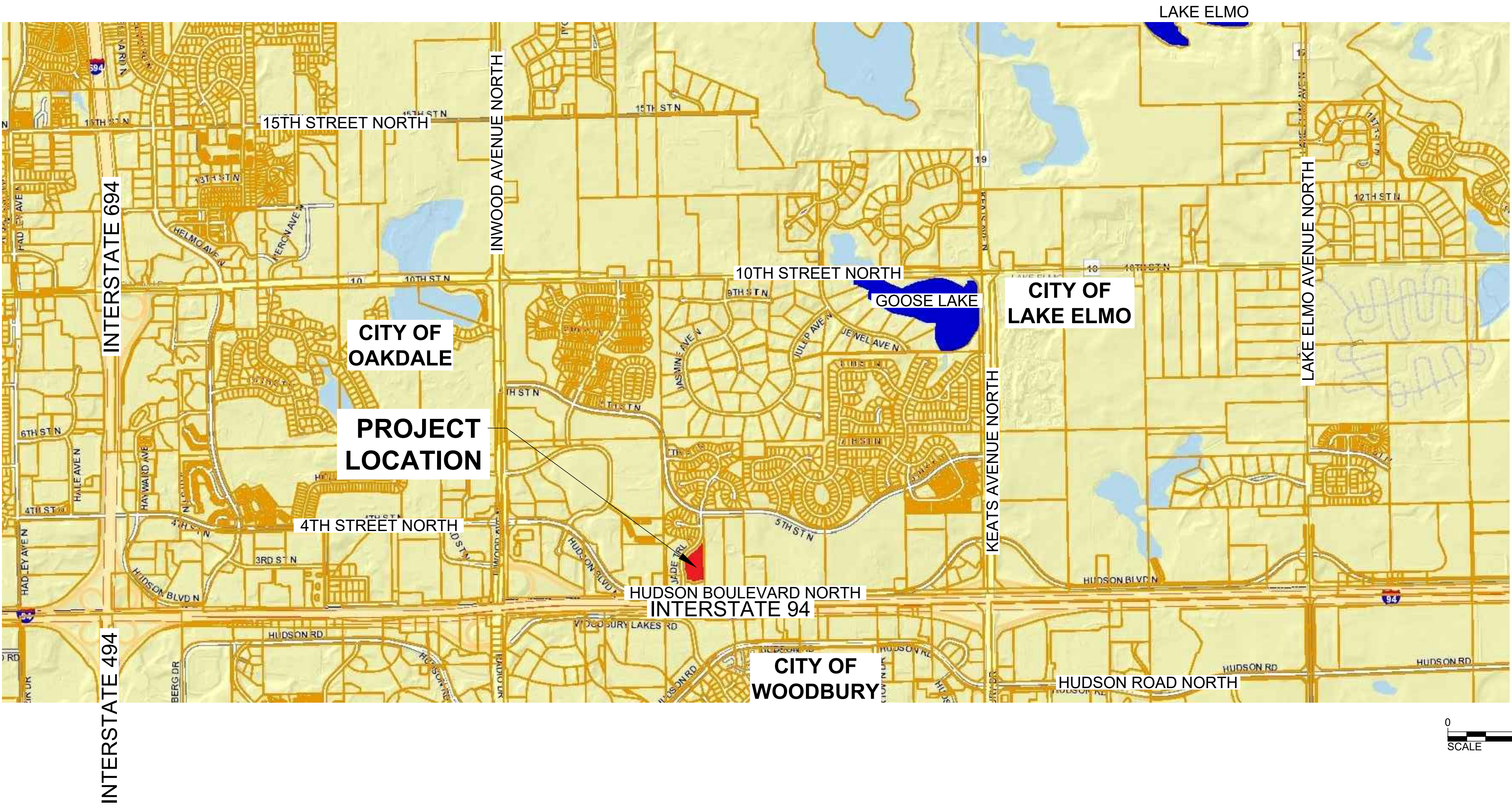
SITE DEVELOPMENT PLANS
FOR
ENTERPRISE RENT-A-CAR
XXX JADE TRAIL NORTH
LAKE ELMO, MINNESOTA



WASHINGTON COUNTY



CITY OF LAKE ELMO
SECTION 34, TOWNSHIP 29, RANGE 21



SHEET INDEX

THIS PLAN CONTAINS 12 SHEETS

SHEET NO.	DESCRIPTION
C1	TITLE SHEET
C2-C5	DETAILS
C6	DETAILS & CONSTRUCTION NOTES
C7	EXISTING CONDITIONS & REMOVALS PLAN
C8	SITE PLAN
C9	GRADING & DRAINAGE PLAN
C10	UTILITY PLAN
C11-C12	STORMWATER POLLUTION PREVENTION PLAN

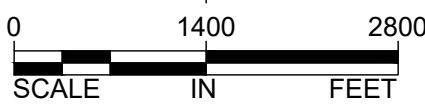


CALL BEFORE YOU DIG!
Gopher State One Call
Twin City Area: 651-454-0002
Toll Free: 1-800-252-1166


THE SUBSURFACE UTILITY INFORMATION
DEPICTED IN THESE PLANS ARE SHOWN
ACCORDING TO C1/ASCE 38-02, "STANDARD
GUIDELINES FOR THE COLLECTION AND
DEPICTION OF EXISTING SUBSURFACE UTILITY
DATA," LEVEL D STANDARDS.

LEGEND

IMPAIRED WATERS



f:\survey\houlder ponds - washington\02 engineering - 88862\01 CAD\05 Sheet Files\Title Sheet.dwg

DESIGNED BY: JAP	I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  PRELIMINARY _____ JEFFREY A. PRASCH, P.E. DATE: <u>07.09.21</u> LIC. NO.: <u>52706</u>
DRAWN BY: JRD	
CHECKED BY: GRP	

DEMARC
LAND SURVEYING & ENGINEERING
7601 73RD AVENUE N, BROOKLYN PARK, MN 55428
PHONE: 763.560.3093 FAX: 763.560.3522
www.DemarcInc.com

ENTERPRISE HOLDINGS
2775 BLUE WATER ROAD
EAGAN, MINNESOTA 55121

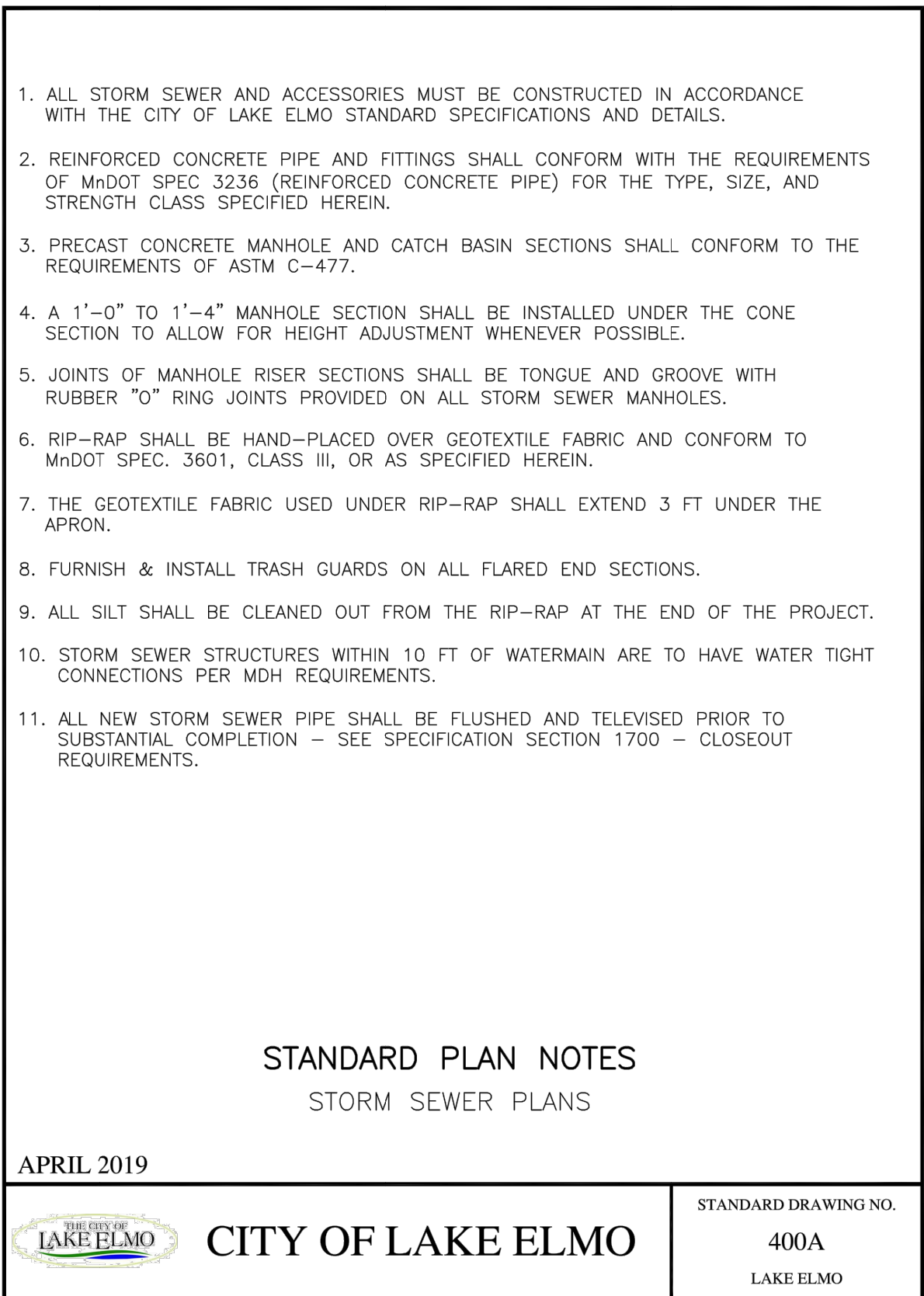
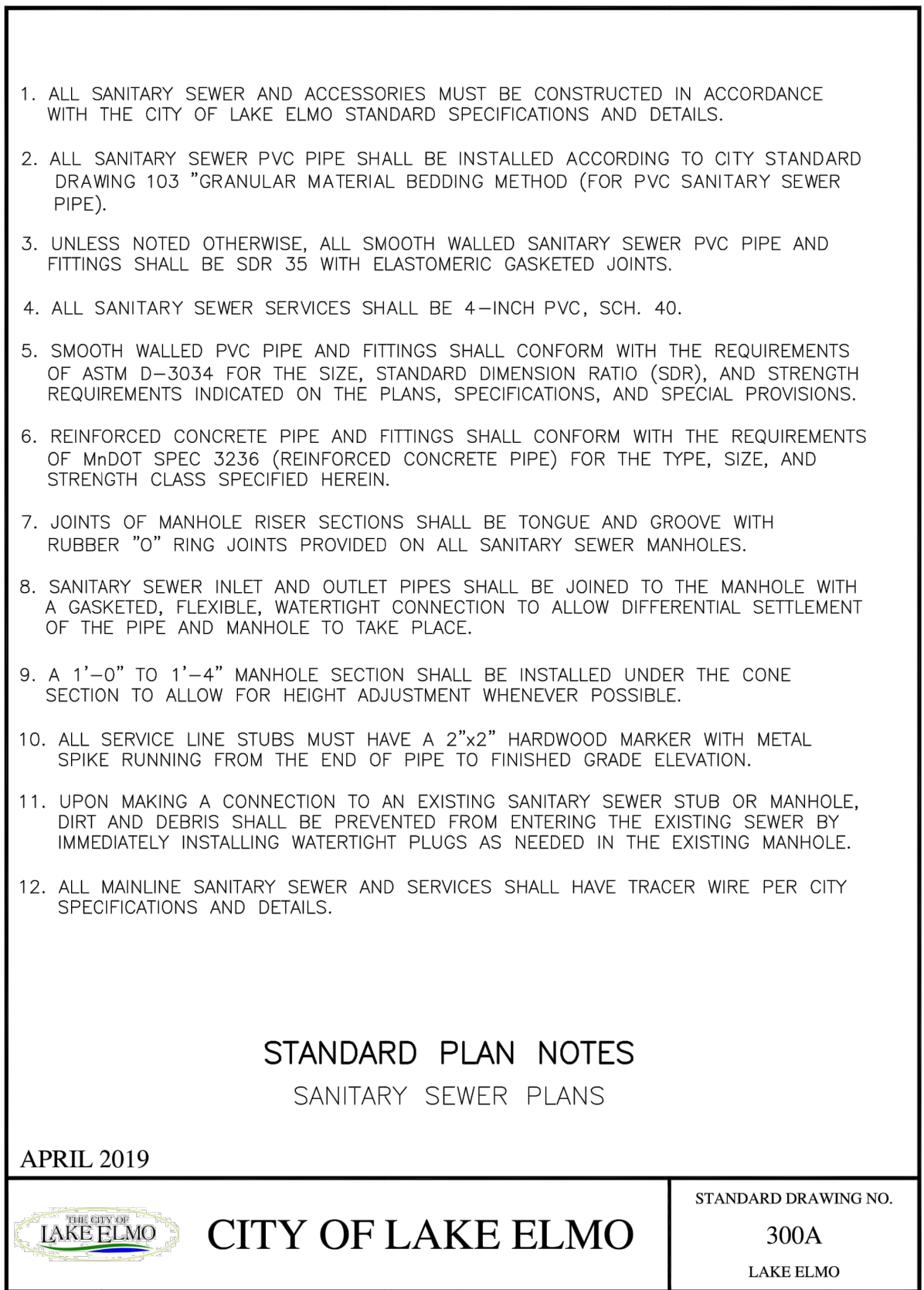
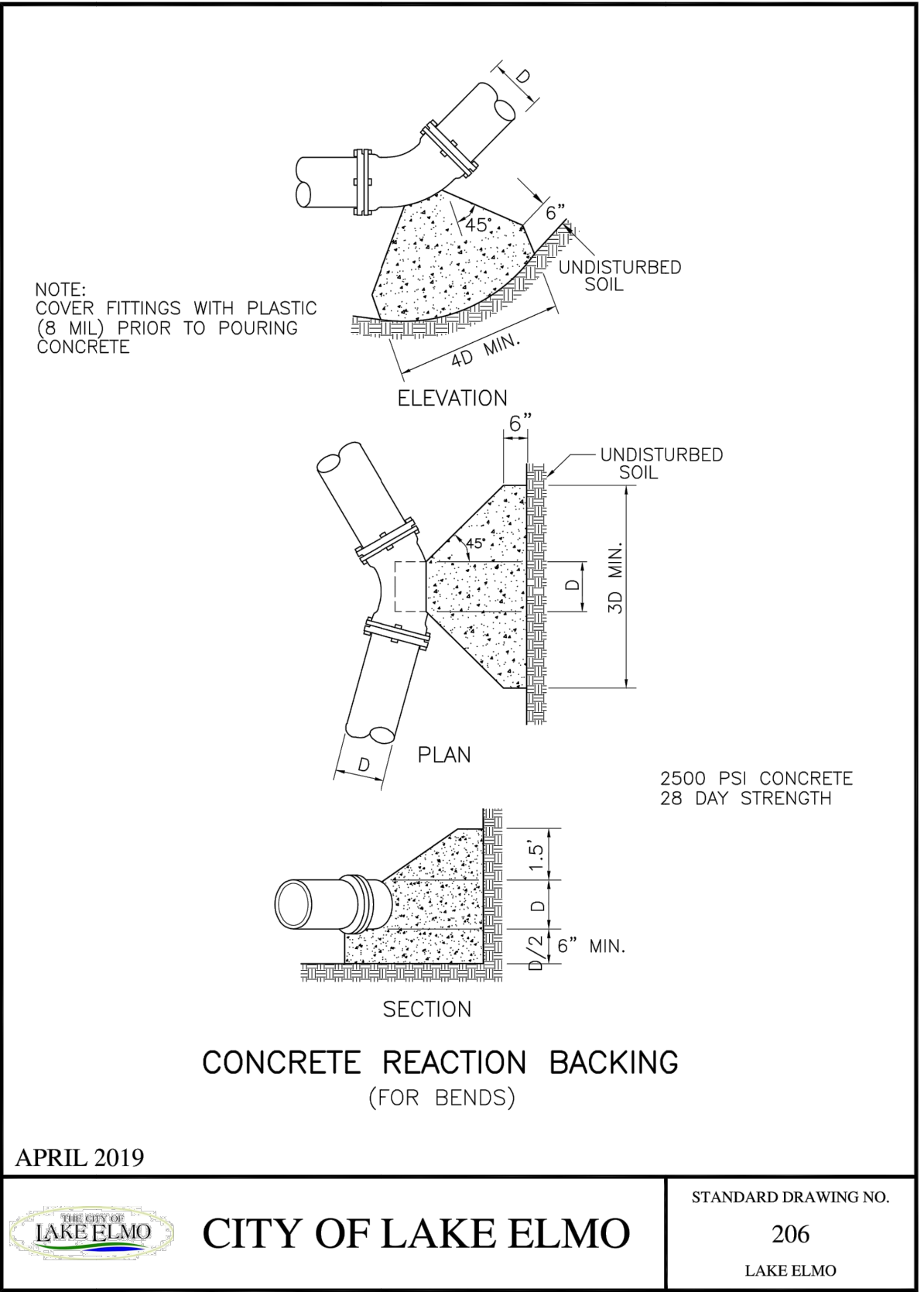
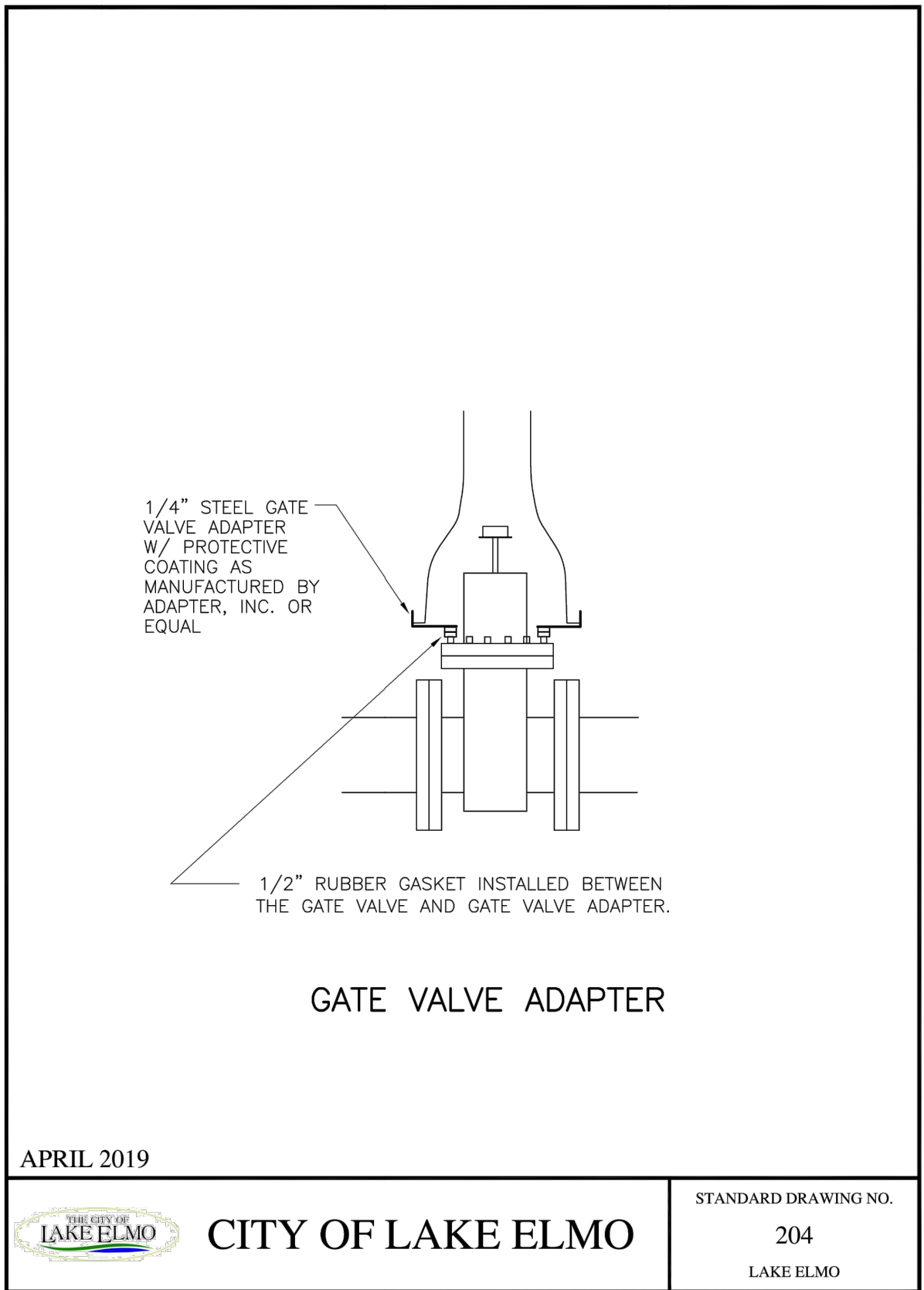
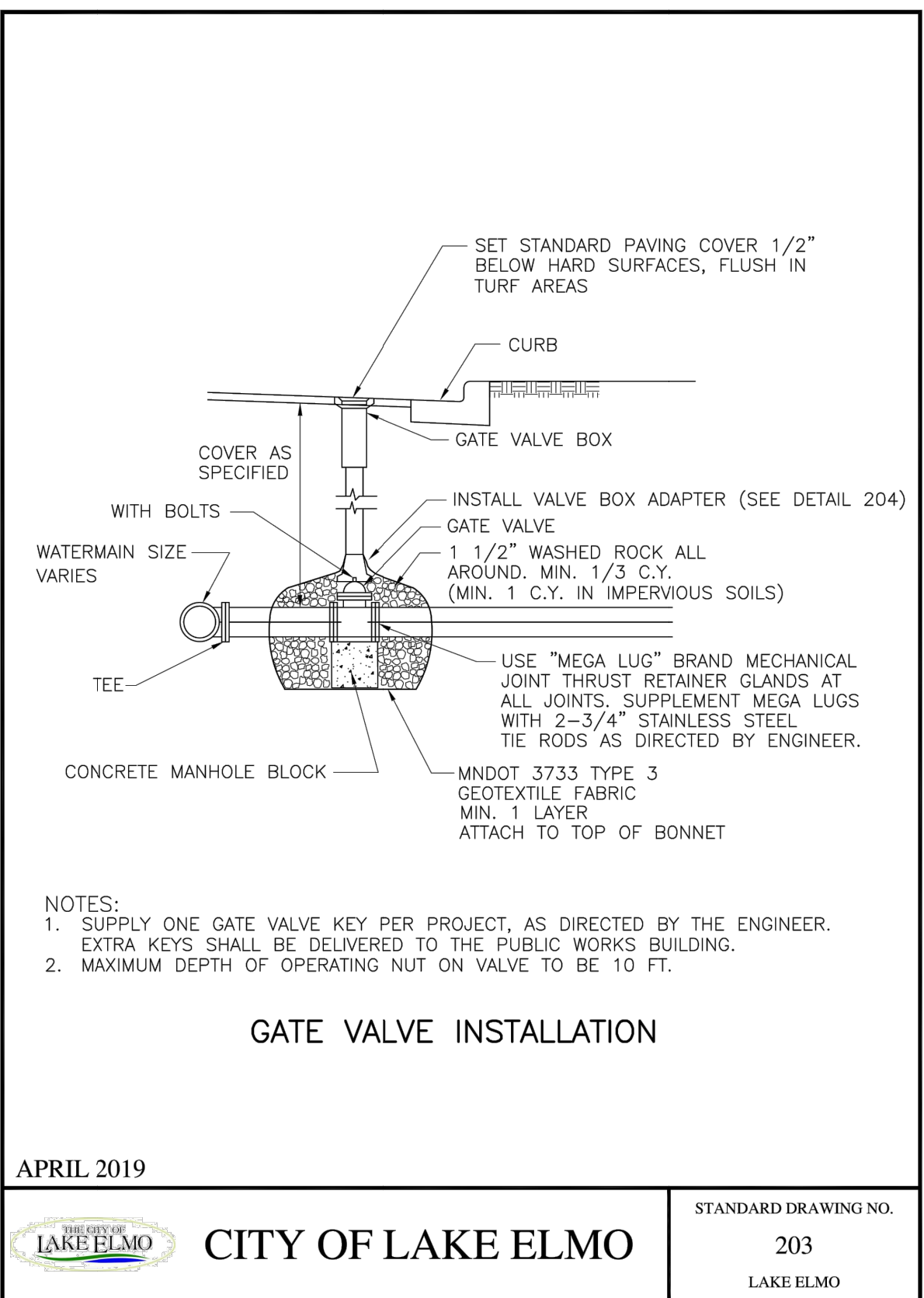
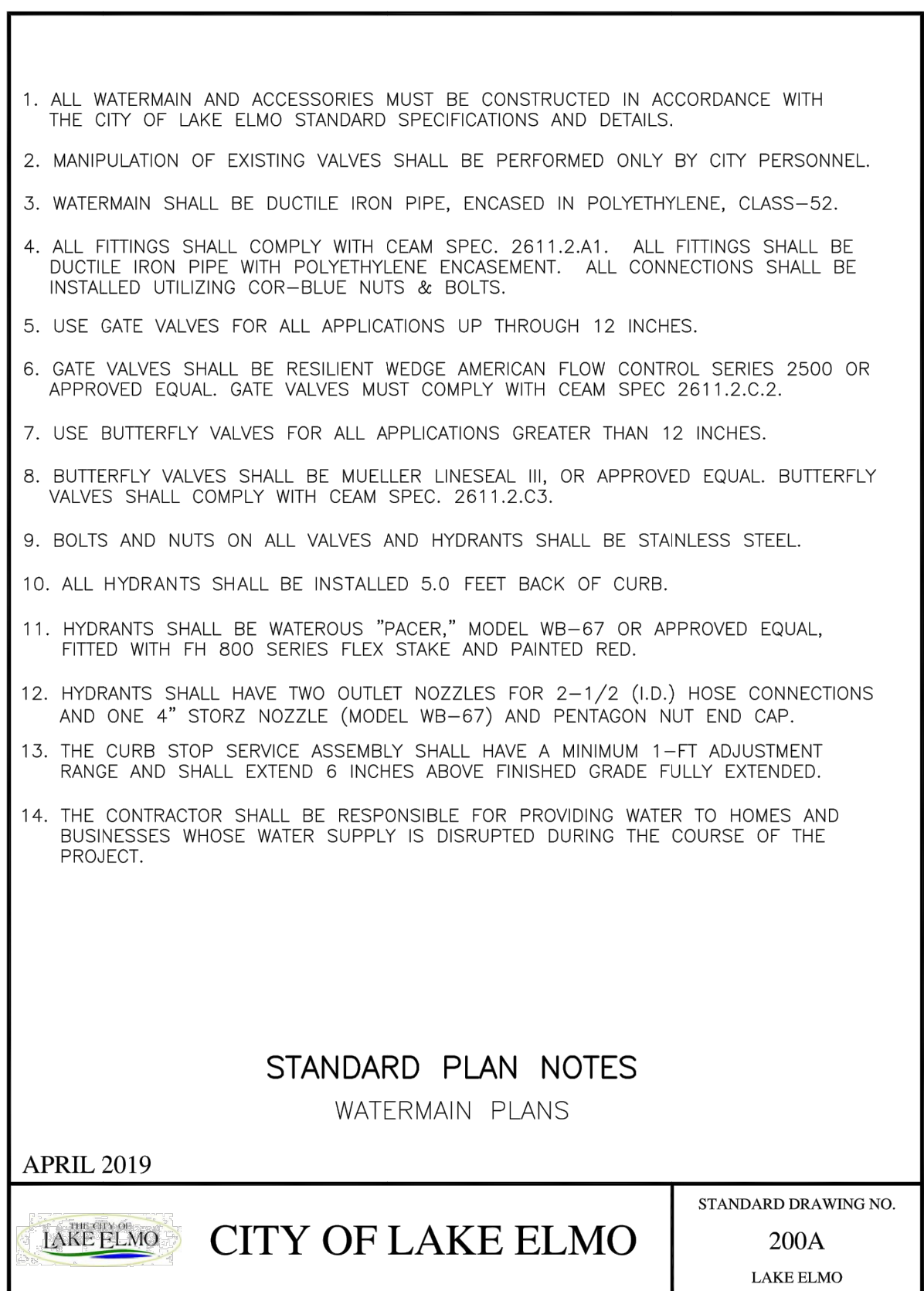
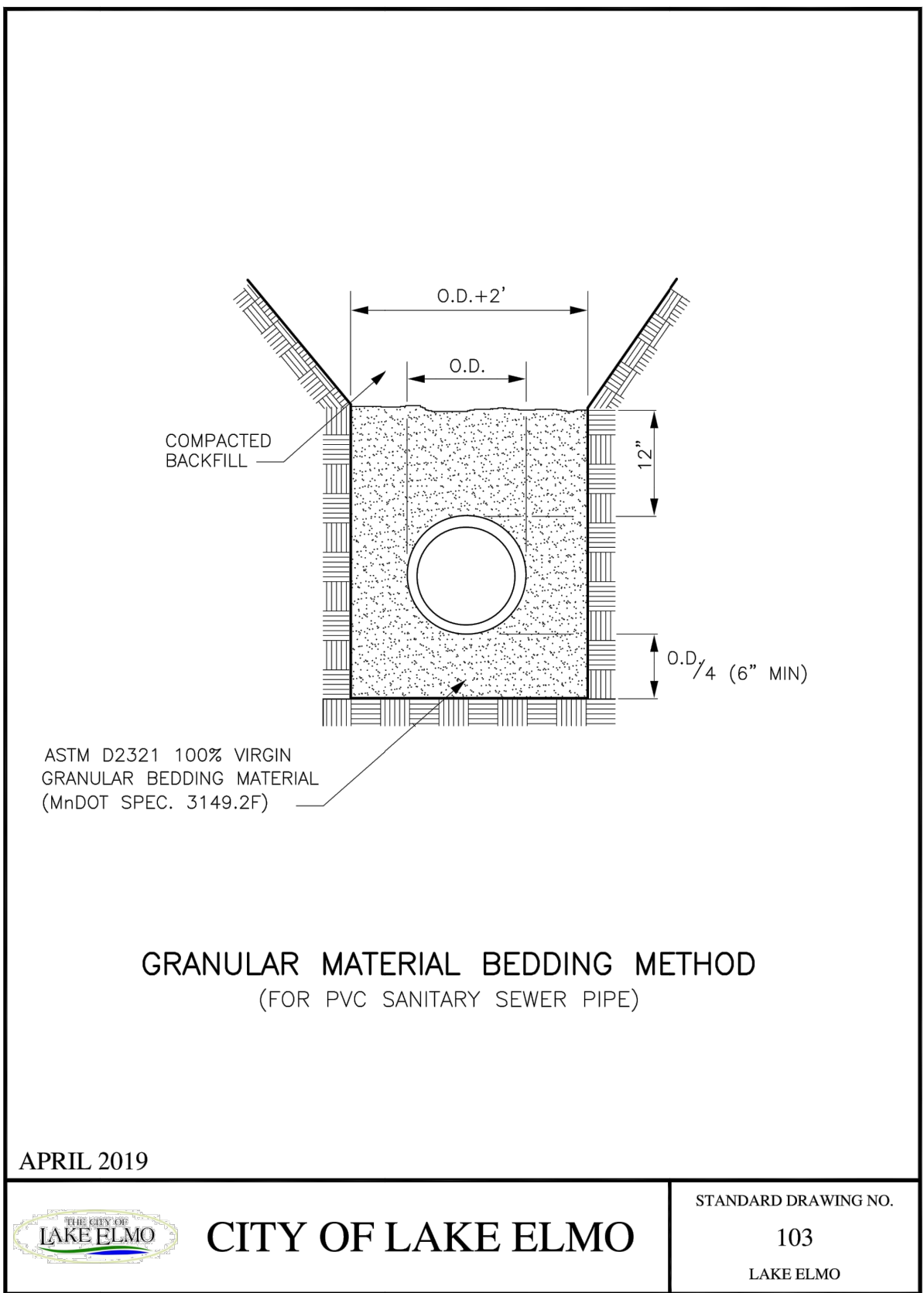
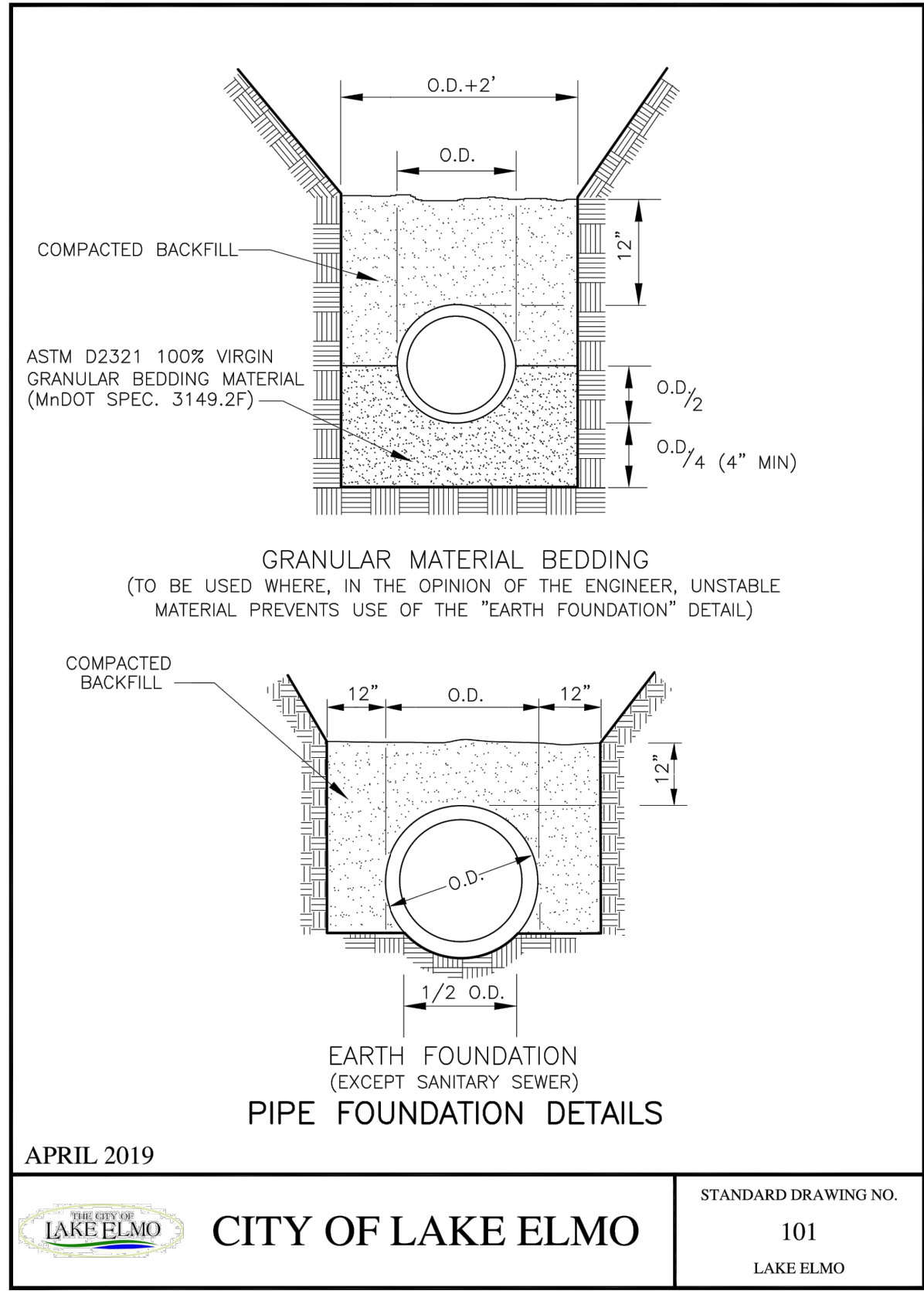
ENTERPRISE RENT-A-CAR
XXX JADE TRAIL NORTH
LAKE ELMO, MINNESOTA

TITLE SHEET

PROJECT: 88862

SHEET NO.
C1 OF C12

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DRAWN BY:	PRELIMINARY		
CHECKED BY:	JEFFREY A. PRASCH, P.E.		
GRP	DATE: 07.09.21	LIC. NO.: 52706	

REVISIONS	

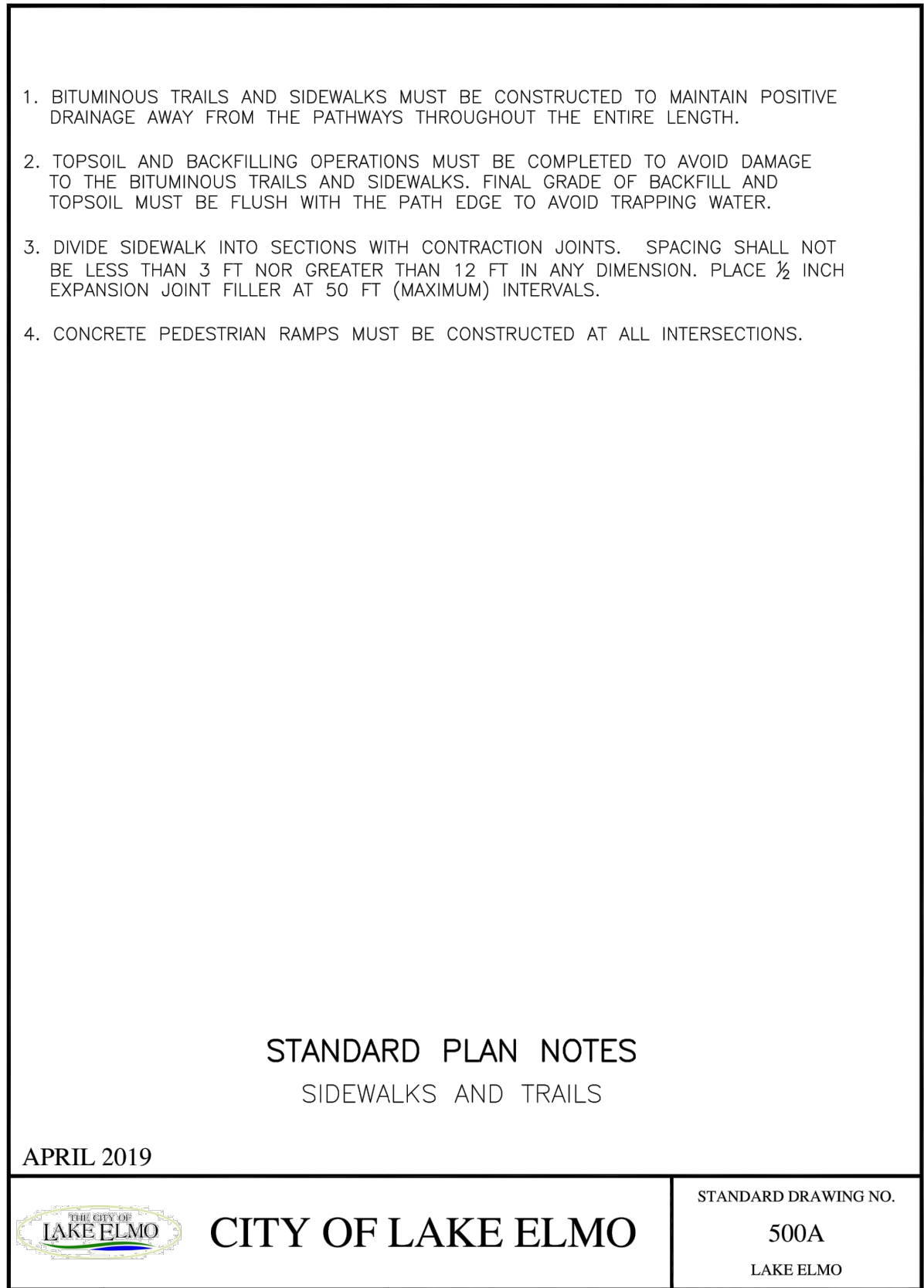
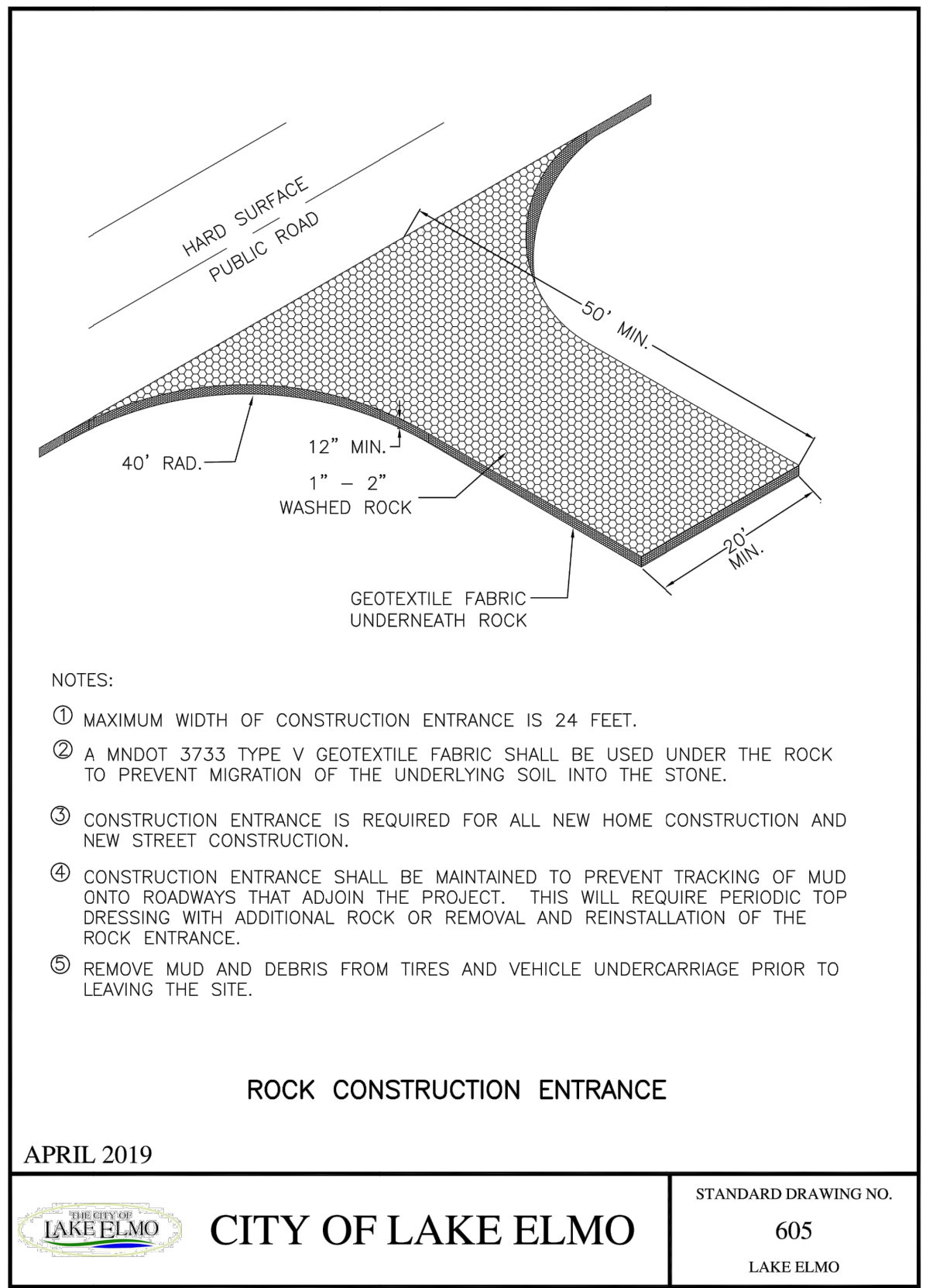
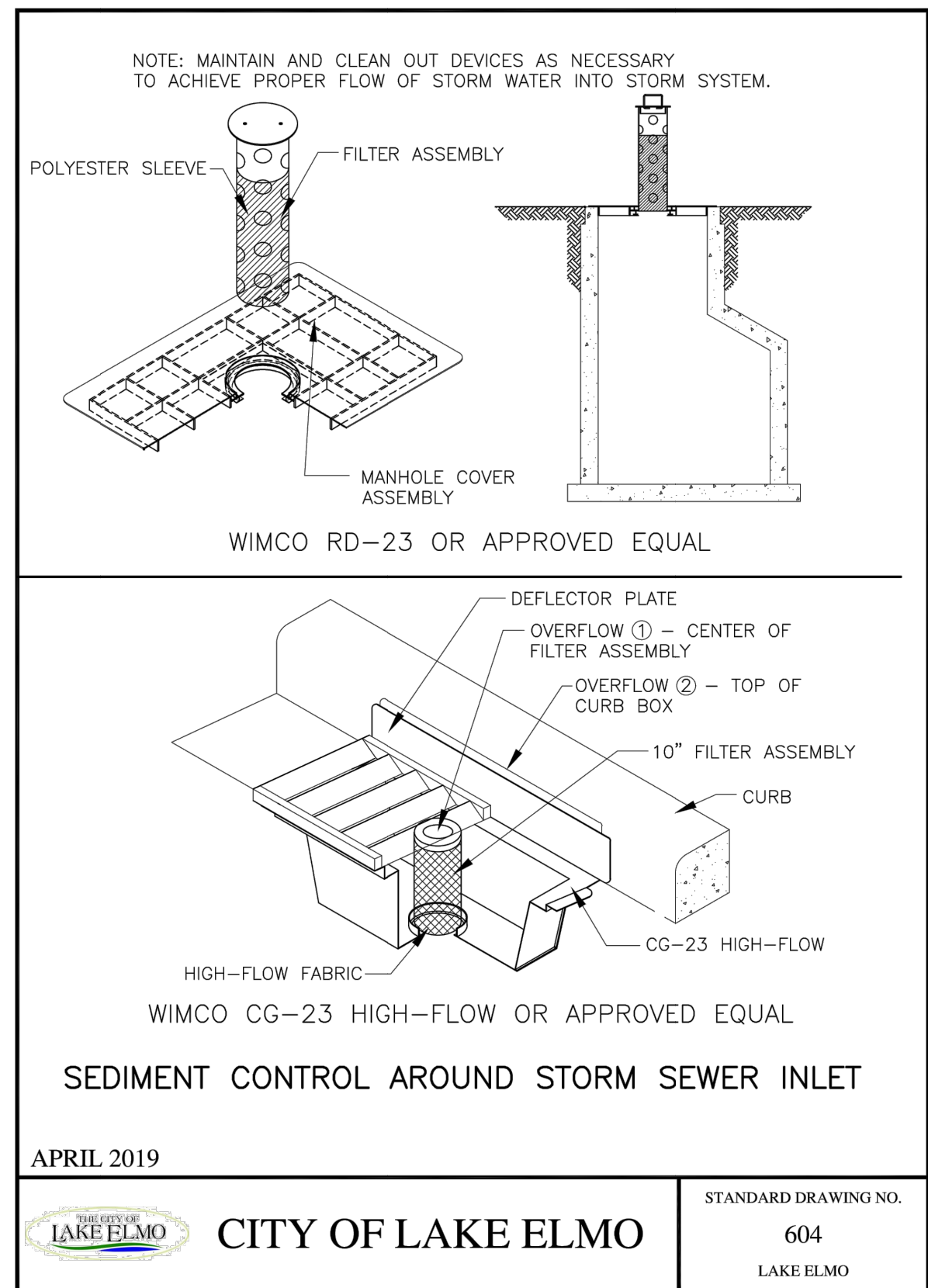
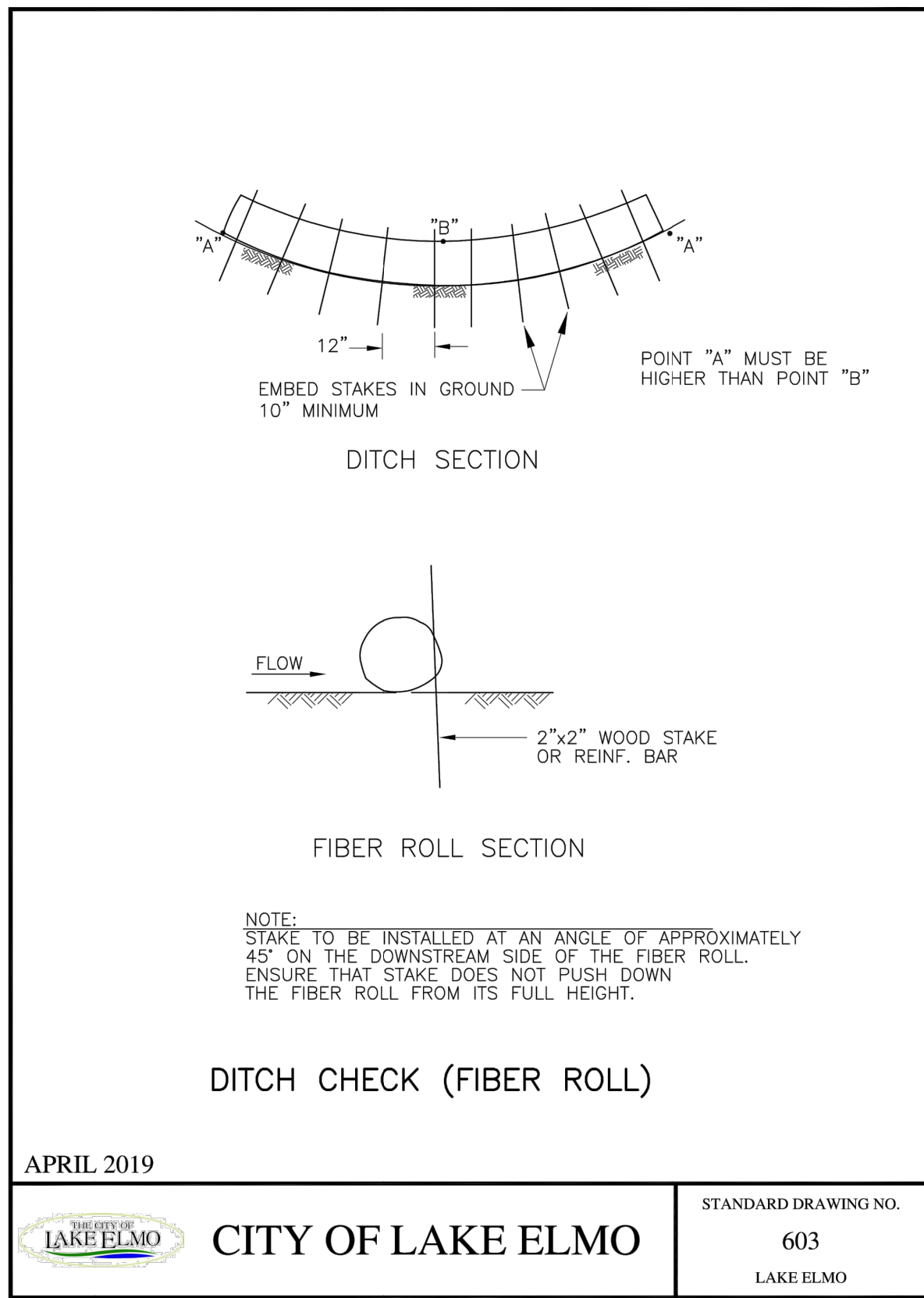
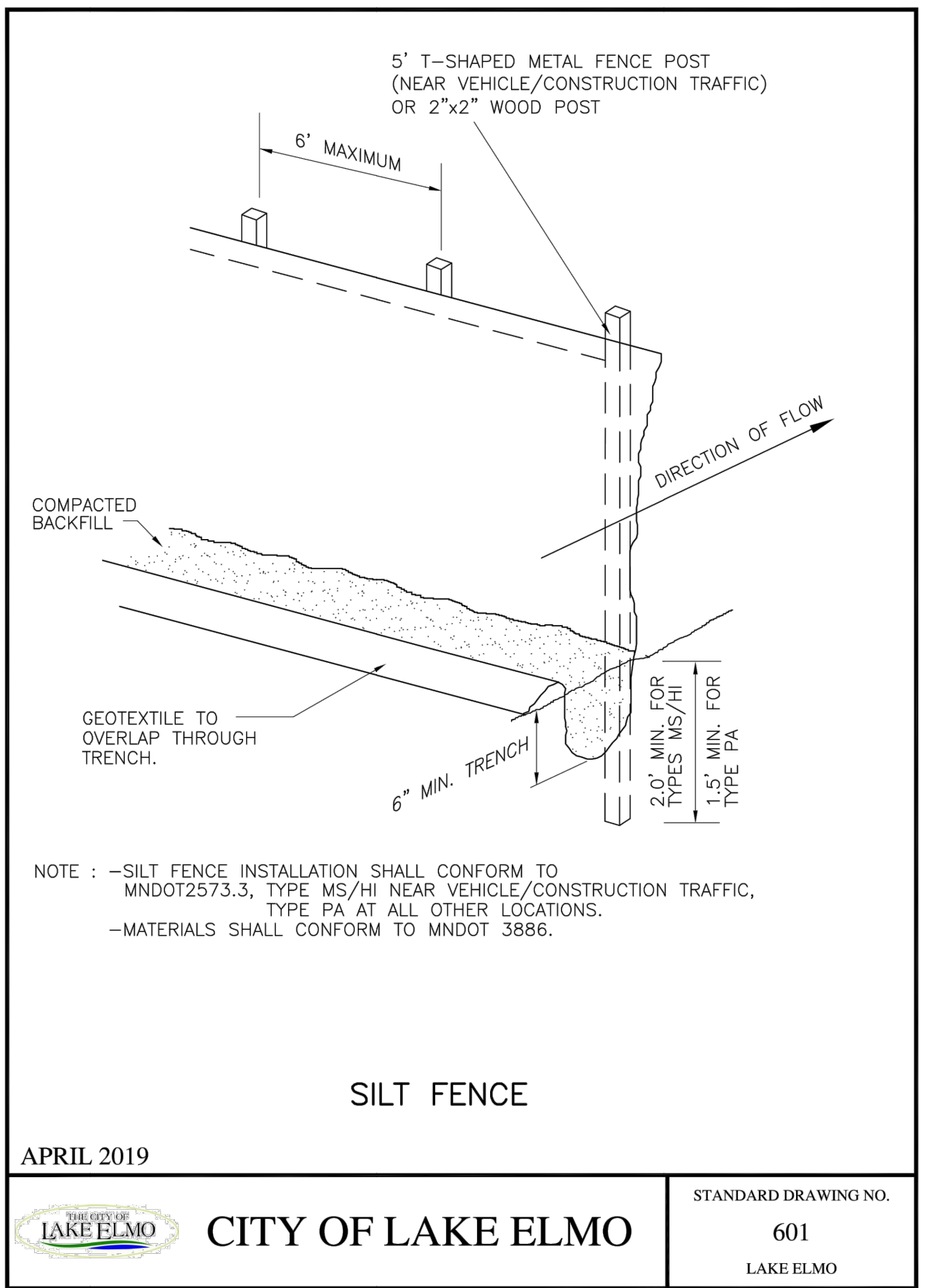
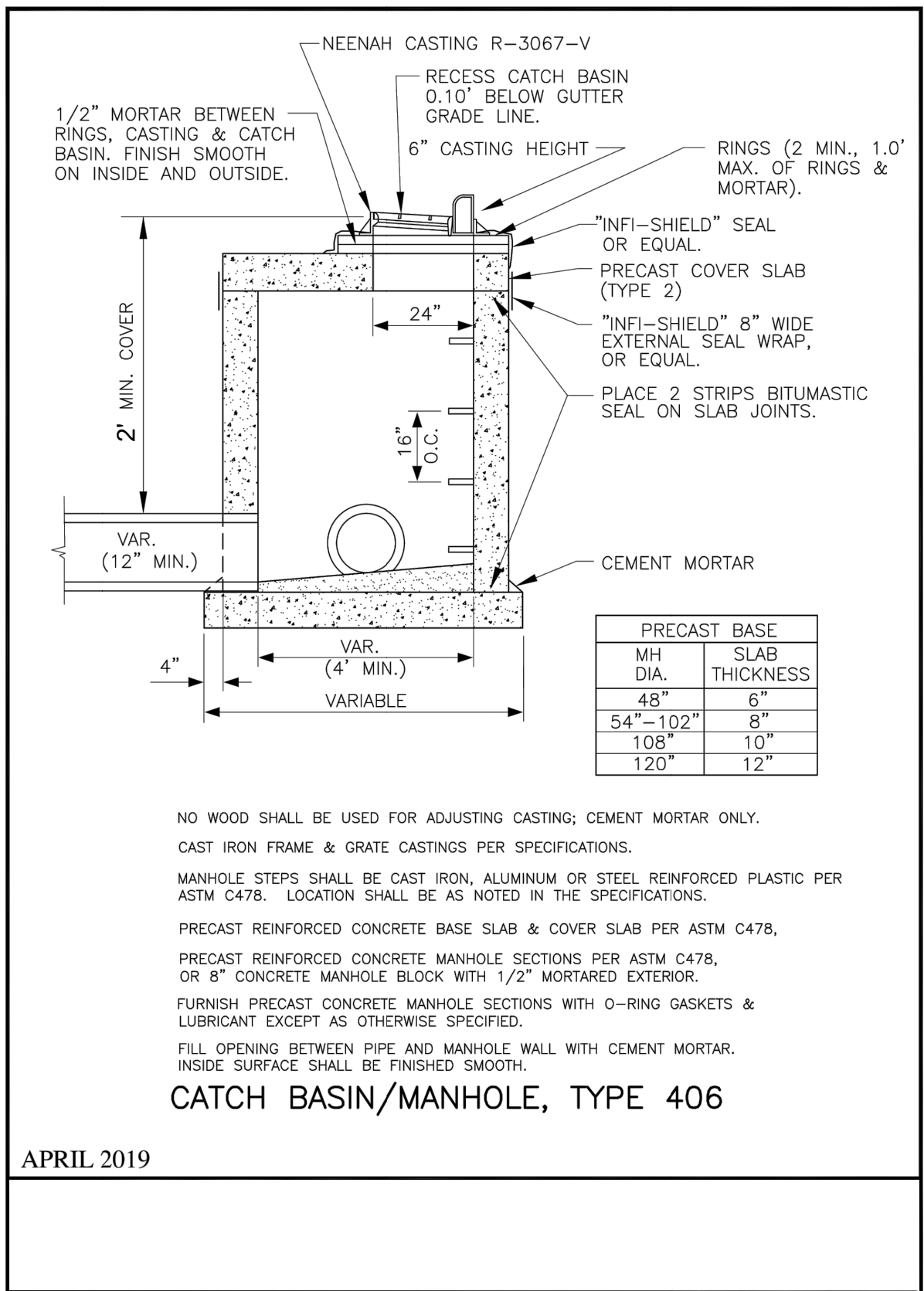
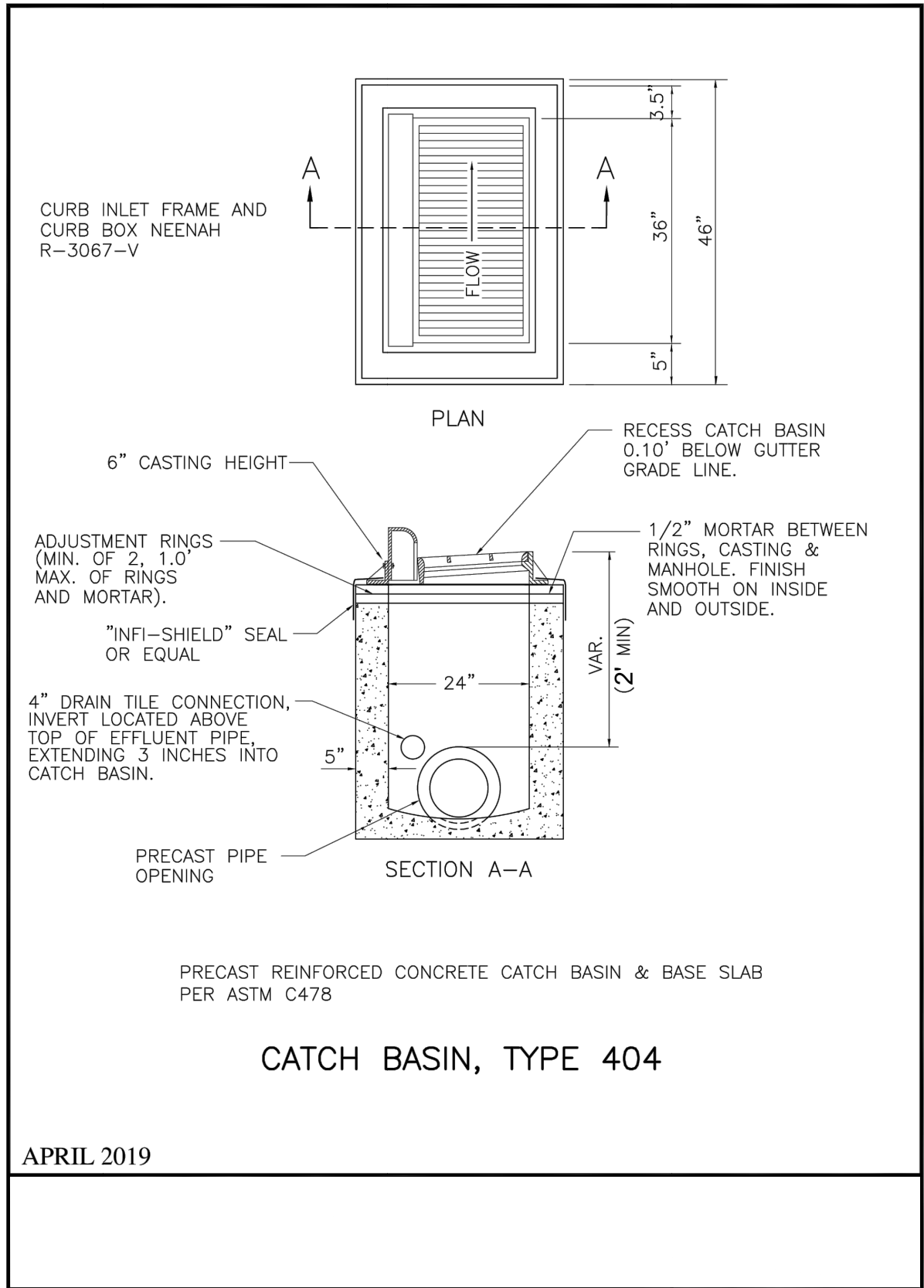
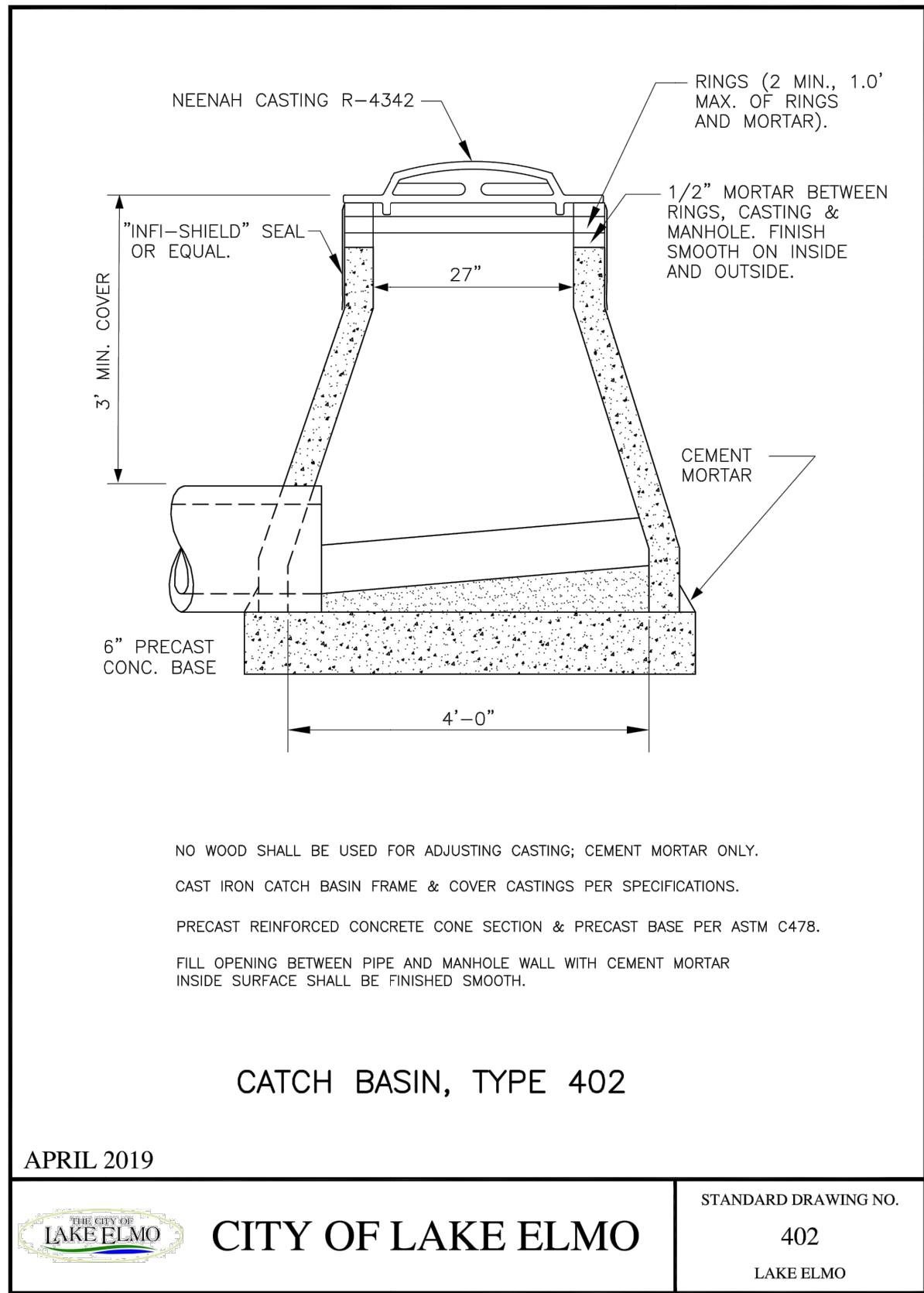
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ENTERPRISE HOLDINGS
2775 BLUE WATER ROAD
EAGAN, MINNESOTA 55121

ENTERPRISE RENT-A-CAR
XXX JADE TRAIL NORTH
LAKE ELMO, MINNESOTA

DETAILS

PROJECT: 88862
SHEET NO.
C2 of C12



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DRAWN BY:	JRD
CHECKED BY:	GRP
DATE:	07.09.21
LIC. NO.:	52706

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ENTERPRISE HOLDINGS 2775 BLUE WATER ROAD EAGAN, MINNESOTA 55121	ENTERPRISE RENT-A-CAR XXX JADE TRAIL NORTH LAKE ELMO, MINNESOTA	DETAILS	PROJECT: 88862
			SHEET NO. C3 OF C12

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SIZE DIMENSION	12 X 18
RADIUS	1.5
MARGIN	
BORDER	.5
a	3
b	2.8
c	5
d	3.7
e	1.6
f	1
g	1.1
h	3.1
i	3.2
j	1
k	6.5
l	.5
m	1.3
n	.8
o	1.2
p	9
q	1.9
r	2.3
s	2
t	1.3
u	4.2
v	
w	
x	
y	1D
z	1C

Diagram of a rectangular sign with a blue background and white border. It features a white wheelchair symbol, the text "PARKING VEHICLE ID REQUIRED", and "UP TO \$200 FINE FOR VIOLATION". Dimensions a-z are labeled around the sign.

Disabled Parking (with Symbol)		
APPROVED	DATE OF REV.	
9/1/79	1/1/05	R7-8m

NOTES:

- All dimensions are in inches.
- Color - White legend and border on blue reflectorized background.

- NOTES:
- MOUNTED SIGN MUST BE CENTERED AT THE HEAD OF THE SPACE, BETWEEN 60 INCHES (MINIMUM) AND 66 INCHES (MAXIMUM) FROM THE PARKING SURFACE TO THE BOTTOM OF THE SIGN.

Diagram showing a cross-section of a concrete curb and gutter. Dimensions include a 6" top width, 13 1/2" height, 8" base width, and 12" curb width. Radii of 0.5" and 3.0" are shown. Slope is 3/4" per foot. A 1/4" thick top layer is indicated.

MnDOT B612
CONCRETE CURB AND GUTTER

Diagram showing a cross-section of a concrete curb and gutter. Dimensions include a 6" top width, 13 1/2" height, 8" base width, and 18" curb width. Radii of 0.5" and 3.0" are shown. Slope is 3/4" per foot. A 1/4" thick top layer is indicated.

MnDOT B618
CONCRETE CURB AND GUTTER

Diagram showing a cross-section of a surmountable concrete curb and gutter. Dimensions include a 4" top width, 10 1/2" height, 17 1/2" base width, and 10 1/2" curb width. Radii of 12", 28", and 68" are shown. Slope is 1/2" per foot. A 1/4" thick top layer is indicated.

SURMOUNTABLE
CONCRETE CURB AND GUTTER

NOTE:
CONSTRUCT B618 CURB & GUTTER AT INTERSECTION RADI FROM P.C. TO P.T. PROVIDE 10-FOOT TRANSITION FROM SURMOUNTABLE CURB & GUTTER TO B618 CURB & GUTTER AT INTERSECTIONS AND CATCH BASINS.

CONCRETE CURB & GUTTER

APRIL 2019

CITY OF LAKE ELMO	STANDARD DRAWING NO.
501 LAKE ELMO	

Plan view shows a driveway layout with dimensions: WIDTH (SEE PLAN), 1/2" EXP. JOINT, EXIST. SIDEWALK, CROSSWALK, CONTRACTION JOINT, CONC. CURB & GUTTER, 1/2" EXP. JOINT (TYP.), RAD. (SEE PLAN), FLOW LINE, and 1/2" EXP. JOINT (TYP.).

SECTION A-A shows a cross-section with dimensions: CURB & GUTTER, VARIABLE, CROSSWALK, BIT. SURF., 0.1" LIP, 1/4" PER FOOT, 6" AGGREGATE BASE, CL. 5, and TO BE PAID FOR AS CONCRETE DRIVEWAY PAVEMENT.

PLAN

SECTION A-A

CONCRETE CURB & GUTTER

COMMERCIAL CONCRETE DRIVEWAY

APRIL 2019

CITY OF LAKE ELMO	STANDARD DRAWING NO.
502 LAKE ELMO	

Diagram showing rectangular and radial plates for a truncated dome. Dimensions include VARIABLE WIDTH, VARIABLE LONG CHORD WIDTH, and VARIABLE SHORT CHORD WIDTH. A table lists dimensions for rectangular plates.

RADIUS (FEET)	LONG CHORD WIDTH (INCHES)	SS. FT. PER PLATE	PLATES REQUIRED FOR 90 DEGREE TURN
10	23-1/2	5.53	8
15	18-15/16	2.93	15
15	23-1/2	3.67	12
20	18-15/16	3.00	20
20	18-7/8	2.98	20
25	23-1/2	3.28	23
25	23-5/16	3.77	20
30	22-5/8	3.65	25
35	22	3.56	30

RECTANGULAR PLATES

RADIAL PLATES

SECTION A-A TRUNCATED DOME

NOTES:

- DETECTABLE WARNING SURFACES SHALL FOLLOW THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG).
- DETECTABLE WARNING SURFACES SHALL BE PLACED IN THE FOLLOWING LOCATIONS:
 - WHERE PEDESTRIAN CROSSINGS CROSS COMMERCIAL DRIVEWAYS THAT ARE PROVIDED WITH TRAFFIC CONTROL DEVICES OR OTHERWISE PERMITTED TO OPERATE LIKE A PUBLIC ROADWAY.
 - AT PEDESTRIAN WALKWAY CROSSINGS.
 - ON RAIL PLATFORMS WHERE BOARDING EDGES ARE NOT PROTECTED.
- DETECTABLE WARNING SURFACES SHALL EXTEND:
 - A MINIMUM OF 24" IN THE DIRECTION OF TRAVEL.
 - THE FULL WIDTH OF THE RAMP, LANDING, OR BLENDING TRANSITION, WITHIN 3" OF FULL WIDTH ON EITHER END.
 - THE FULL LENGTH OF THE PUBLIC USE AREA OF A RAIL PLATFORM.
- DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT GUTTER, ROADWAY, OR WALKWAY, EITHER A LIGHT-ON-DARK OR DARK-ON-LIGHT. CONTRAST MAY BE PROVIDED ON THE FULL RAMP SURFACE, EXCLUDING THE FLARED SIDE.
- TRUNCATED DOME PANELS SHALL BE FROM MNDOT'S APPROVED/QUALIFIED PRODUCT LISTS. PANELS SHALL BE CUT FROM THE TRUNCATED DOME SYSTEMS SHALL BE PLACED IN STRICT ACCORDANCE WITH THE RECOMMENDATIONS OF THE MANUFACTURER.
- CENTER TO CENTER DOME SPACING: 1.6" MINIMUM, 2.4" MAXIMUM.
- BASE TO BASE DOME SPACING: 0.85" MINIMUM, 0.75" MAXIMUM.
- DOME BASE TO PLATE EDGE SPACING: 0.35" MINIMUM, 0.75" MAXIMUM.
- SPACING VARIES ON RADIAL PLATES.
- TYPICAL WIDTH AVAILABLE: 12", 16", 24", 36", 48".
- CHECK WITH MANUFACTURERS FOR AVAILABLE WIDTHS.
- ON RADIAL PLATE, RADIIUS DEFINED AT BACK OF CURB.
- TYPICAL RADII. CHECK WITH MANUFACTURERS FOR AVAILABLE RADII.

DETECTABLE WARNING SURFACE- TRUNCATED DOMES

APRIL 2019

CITY OF LAKE ELMO	STANDARD DRAWING NO.
508 LAKE ELMO	

Diagram showing a cross-section of a concrete sidewalk. Dimensions include 6" MIN. width, 5" CONCRETE, 4" MNDOT 3149 2.B SELECT GRANULAR BASE, PER SPECIFICATION 3210, and SUBGRADE (APPROVED BY CITY). Slopes of 4%, 2%, and 4% are indicated.

CONCRETE SIDEWALK

APRIL 2019

CITY OF LAKE ELMO	STANDARD DRAWING NO.
510 LAKE ELMO	

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JAP	
DRAWN BY:	
JRD	
CHECKED BY:	
GRP	

PRELIMINARY

JEFFREY A. PRASCH, P.E.

DATE: 07.09.21 LIC. NO.: 52706

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LAKE ELMO, MINNESOTA

DETAILS

PROJECT: 88862
SHEET NO.
C4 of C12

1. STREET LIGHTING SHALL BE INSTALLED PER CITY STANDARDS 5 FEET BACK OF CURB IN LOCATIONS SHOWN ON PLAN.
2. ALL SIGNS MUST MEET MMUTCD.
3. ALL SIGN SHEATHING TO BE TYPE IX DIAMOND GRADE (DG3).
4. SIGN POSTS TO BE SQUARE TUBE SIGN STANDARD WITH OMNI BASE.
5. DEVELOPER TO FURNISH AND INSTALL STREET SIGNS PER CITY STANDARDS.
6. EPOXY RESIN AND DROP-ON GLASS BEADS FOR ALL PAVEMENT MARKINGS, EXCEPT PAVEMENT SYMBOLS, SHALL MEET THE REQUIREMENTS OF MnDOT "SPECIFICATIONS FOR CONSTRUCTION, 2018 EDITION".
7. ALL PAVEMENT MARKING SYMBOLS SHALL BE GROUND IN PREFORMED THERMOPLASTIC PAVEMENT MATERIAL.

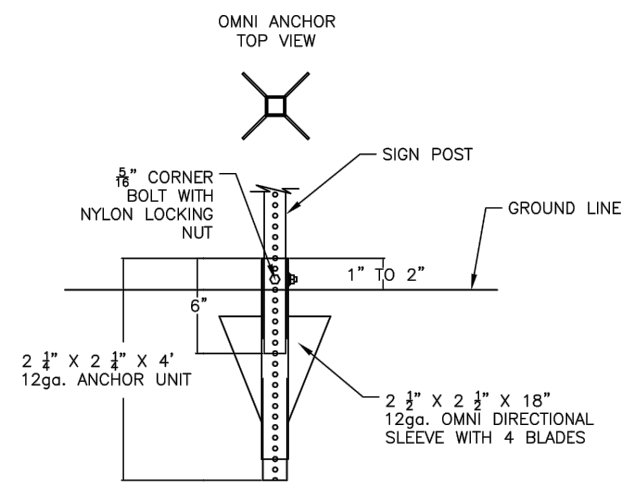
STANDARD PLAN NOTES
SIGNING/PAVEMENT MARKINGS/LIGHTING PLANS

APRIL 2019



CITY OF LAKE ELMO

STANDARD DRAWING NO.
900A
LAKE ELMO



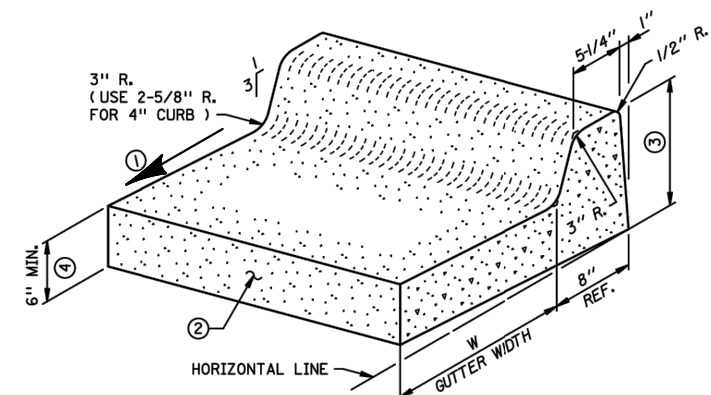
SQUARE TUBE SIGN STANDARD WITH OMNI BASE

APRIL 2019



CITY OF LAKE ELMO

STANDARD DRAWING NO.
902
LAKE ELMO



OPTIONAL DESIGN B4

B4 DESIGN NO.	GUTTER WIDTH "	CONCRETE			
		CU. YDS. PER LIN. FT.	LN. FT. PER CU. YD.	CU. YDS. PER LIN. FT.	LN. FT. PER CU. YD.
B412	12"	0.0370	27.0		
B418	18"	0.0463	21.7		
B424	24"	0.0556	18.0		
B436	36"	0.0742	13.3		
B448	48"	0.0928	10.8		

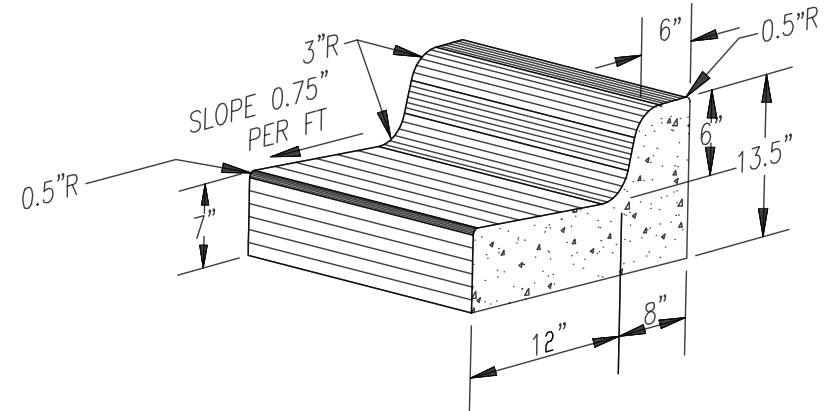
- NOTES:
- ① SLOPE 3/4" PER FT. NORMAL, UNLESS OTHERWISE SPECIFIED. IF A DIFFERENT GUTTER SLOPE IS PERMITTED, THE GUTTER FORM MAY BE TILTED.
 - ② LONGITUDINAL JOINT WHEN ADJACENT TO RIGID PAVEMENT OR BASE. SEE STANDARD PLANS MANUAL FOR JOINT INFORMATION.
 - ③ B4 MINIMUM HEIGHT = 10", B5 MINIMUM HEIGHT = 11-1/4".
 - ④ ANY ADDITIONAL BASE MATERIAL REQUIRED IS INCIDENTAL WITH THESE OPTIONAL DESIGNS.

APPROVED JULY 25, 2011
Michael R. Henn
STATE DESIGN ENGINEER

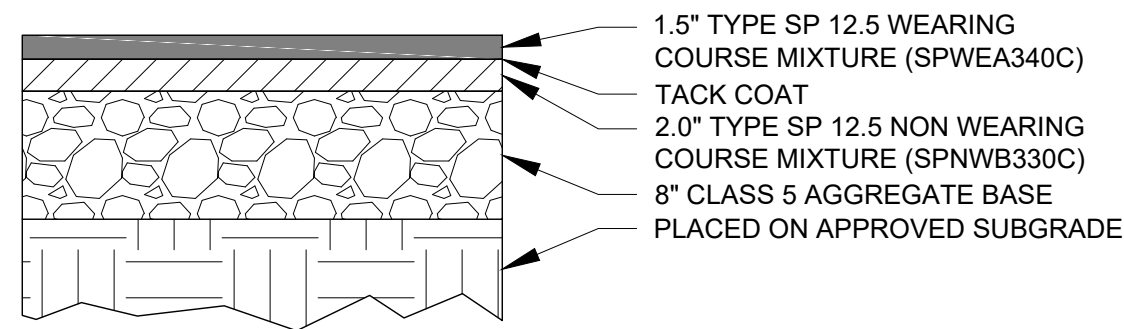
STATE OF MINNESOTA
DEPARTMENT OF TRANSPORTATION
CONCRETE CURB AND GUTTER
DESIGN D, DESIGN S, DESIGN B4, DESIGN B5, DESIGN D3

SPECIFICATION
REFERENCE
2531

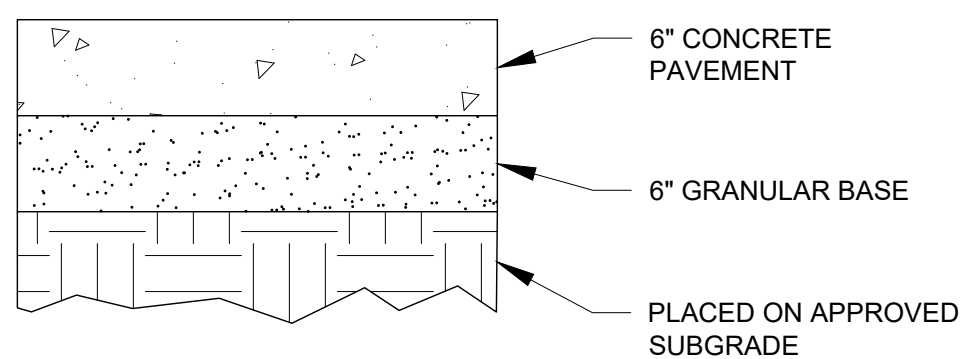
STANDARD
PLATE
NO.
7102J
2 OF 2



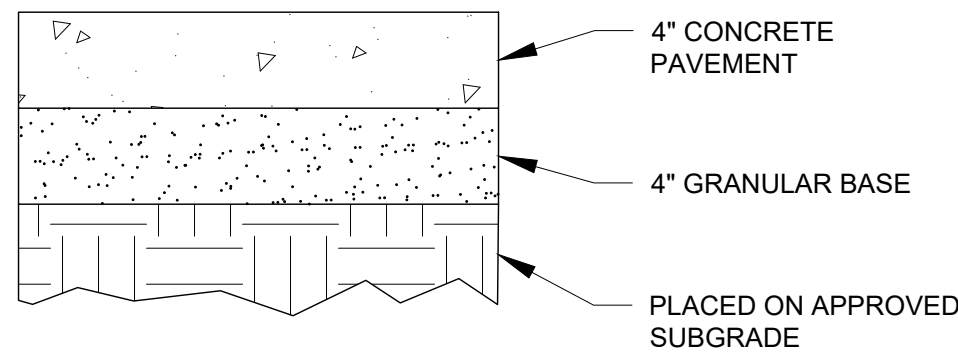
1
C6 B612 TIPOUT CURB & GUTTER
NOT TO SCALE



2
C6 LIGHT DUTY BITUMINOUS PAVEMENT
NOT TO SCALE




3
C6 CONCRETE DUMPSTER PAVEMENT
NOT TO SCALE



4
C6 PRIVATE CONCRETE SIDEWALK
NOT TO SCALE

GENERAL CONSTRUCTION AND SOILS NOTES:

1. THE 2018 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" SHALL APPLY.
2. THE 2013 EDITION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA "STANDARD SPECIFICATIONS" SHALL APPLY.
3. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES, LAWS AND ORDINANCES.
4. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR FOLLOWING ALL APPLICABLE OSHA STANDARDS.
5. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND CALL GOPHER STATE ONE CALL 48 HOURS PRIOR TO CONSTRUCTION WORK. EXISTING UTILITIES SHOWN ON THESE PLANS ARE ONLY APPROXIMATE AND MAY NOT BE RELIED UPON AS EXACT OR COMPLETE.
6. IF UTILITY RELOCATION IS NECESSARY, THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES.
7. MATERIAL UNSUITABLE FOR CONSTRUCTION (E.G. TOPSOIL, SILTS, ROOTS, ORGANIC MATERIALS, PEATS, DEBRIS, ETC.) ENCOUNTERED DURING EXCAVATION WITHIN THE PARKING LOT AND BUILDING SHALL BE REMOVED AND PROPERLY DISCARDED UNLESS OTHERWISE APPROVED BY THE SOILS ENGINEER.
8. FILL WITHIN THE PARKING LOT AND BUILDING SHALL BE SUITABLE MATERIAL AND PLACED IN LOOSE LIFTS NO THICKER THAN TWELVE (12) INCHES. COMPACTION WITHIN THE PARKING LOT AND BUILDING SHALL BE COMPACTED TO 100% OF THE MAXIMUM STANDARD PROCTOR DENSITY WITHIN THE TOP 3 FEET. SUITABLE MATERIAL SHALL CONSIST OF SW, SP, SP-SM, AND SM USCS CLASSIFICATIONS.
9. TOPSOIL SHALL BE SALVAGED AND STOCKPILED FOR USE AS TOPSOIL IN GREEN SPACES DISTURBED DUE TO CONSTRUCTION.
10. THE CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF BITUMINOUS AND CONCRETE MATERIALS DISTURBED BY CONSTRUCTION IN ACCORDANCE WITH MNDOT SPEC 2104.3.
11. ALL EXCESS MATERIAL SHALL BE DISPOSED OF OFFSITE.

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DRAWN BY: JRD	
CHECKED BY: GRP	
DATE: 07.09.21 LIC. NO.: 52706	

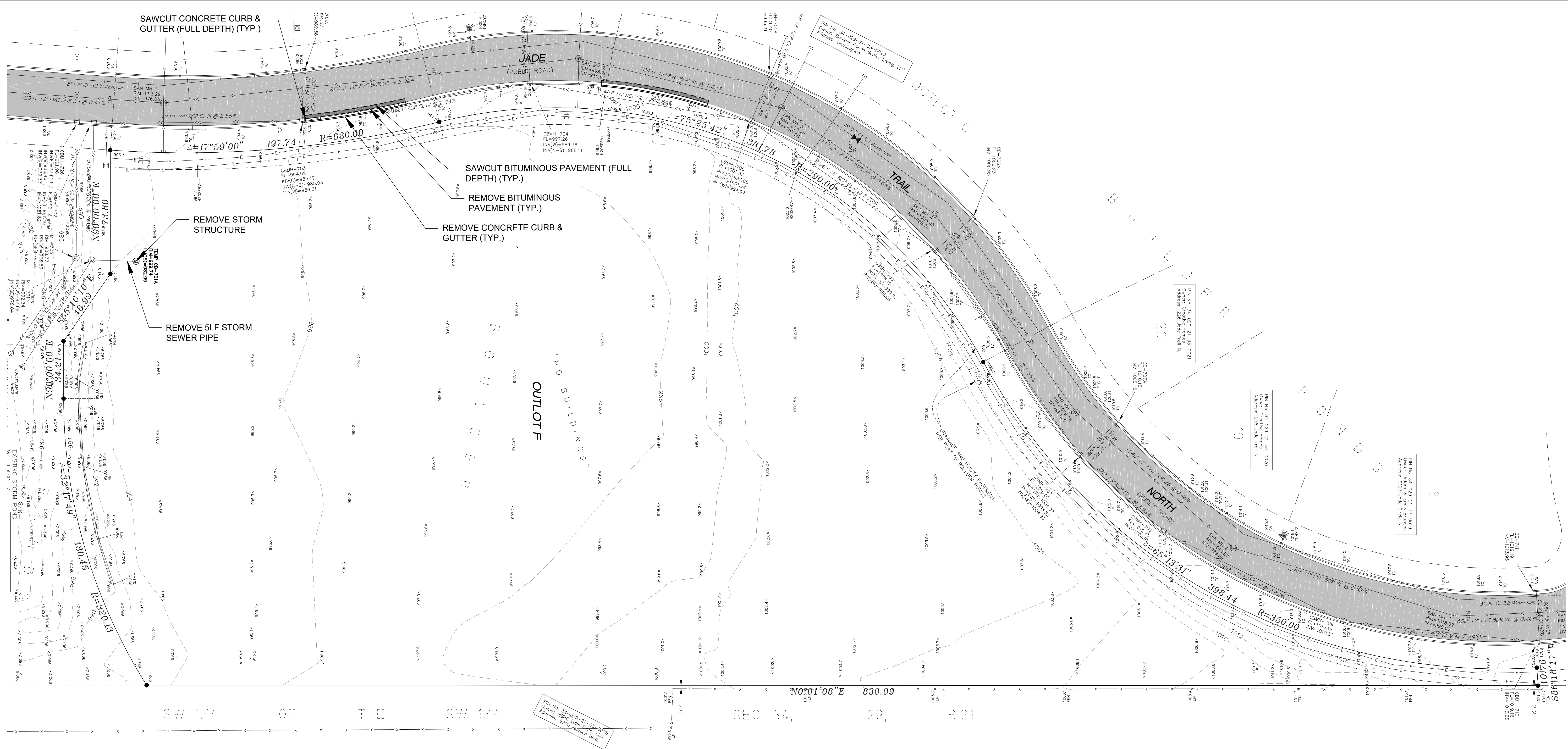
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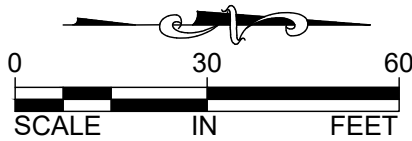
DETAILS & CONSTRUCTION
NOTES

PROJECT: 88862
SHEET NO.
C6 OF C12



LEGEND

- 99.8 --- EXISTING CONTOUR
- 99.8 --- PROPOSED SAWCUT
- ===== EXISTING CURB & GUTTER
- ===== PROPOSED CURB & GUTTER
- >> EXISTING STORM SEWER
- >> REMOVE STORM SEWER
- EXISTING WATERMAIN
- ===== EXISTING CONCRETE
- ===== EXISTING BITUMINOUS PAVEMENT
- ===== PROPOSED BITUMINOUS PAVEMENT
- ===== EXISTING CATCH BASIN
- ⊙ EXISTING SANITARY MANHOLE



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DRAWN BY:	PRELIMINARY
CHECKED BY:	JEFFREY A. PRASCH, P.E.
GRP	DATE: 07.09.21 LIC. NO.: 52706

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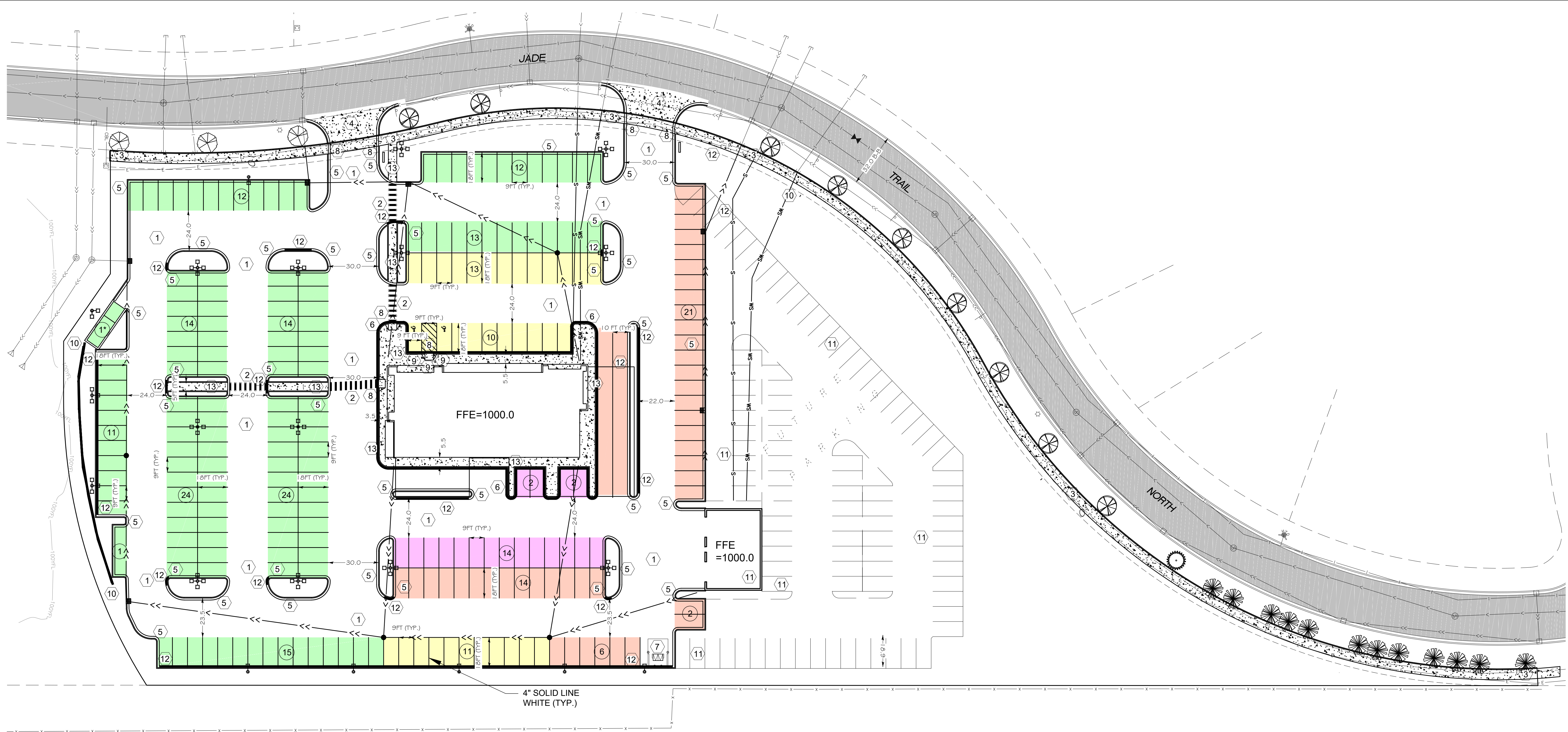
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LAKE ELMO, MINNESOTA

EXISTING CONDITIONS &
REMOVALS PLAN

PROJECT: 88862
SHEET NO.
C7 OF C12

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LEGEND

- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- PROPOSED TIPOUT CURB & GUTTER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING WATERMAIN
- PROPOSED WATER SERVICE
- EXISTING CONCRETE
- PROPOSED CONCRETE
- EXISTING BITUMINOUS PAVEMENT
- PROPOSED LIGHT DUTY BITUMINOUS PAVEMENT
- PROPOSED HEAVY DUTY BITUMINOUS PAVEMENT
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- EXISTING SANITARY MANHOLE
- RAISED DISPLAY
- NUMBER OF PARKING STALLS

ADDRESS:
XXX JADE TRAIL NORTH
LAKE ELMO, MINNESOTA

LOT AREA = 4.29 ACRES
EXISTING IMPERVIOUS AREA = 0.00 ACRES
PROPOSED IMPERVIOUS AREA = 3.20 ACRES - (74.6%)
INCLUDES FUTURE EXPANSION

SITE DATA:

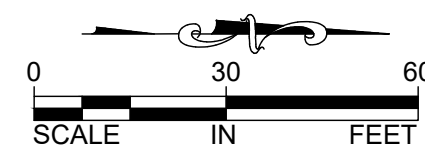
REFERENCE NOTES:

- 1 LIGHT DUTY BITUMINOUS PAVEMENT PER (2) C6
- 2 CROSSWALK EPOXY STRIPING (24" X5' STRIPES)
- 3 CONCRETE PAVEMENT PER CITY DETAIL 510
- 4 DRIVEWAY ENTRANCE PER CITY DETAIL 502
- 5 B612 CONCRETE CURB & GUTTER PER CITY DETAIL 501
- 6 B412 TIPOUT CONCRETE CURB & GUTTER PER MNDOT DETAIL 7102J
- 7 DUMPSTER ENCLOSURE WITH CONCRETE DUMPSTER PAVEMENT PER (3) C6
- 8 PEDESTRIAN RAMP MEETING ADA REQUIREMENTS PER MNDOT DETAIL 5-297.250
- 9 HANDICAP SIGNS (R7-8m) AND "ACCESS AISLE" SIGN
- 10 ADD TO RETAINING WALL (DESIGN BY OTHERS)
- 11 FUTURE PARKING
- 12 B612 TIPOUT CONCRETE CURB & GUTTER PER (1) C6
- 13 PRIVATE SIDEWALKS PER (4) C6

SPACE ALLOCATION LEGEND

- Car Sales
- DR / Light Truck Ready / Returns
- DR / Light Truck Stack
- Customer / Visitor / Employee

PARKING DATA			
DESCRIPTION:	ACTUAL	THROUGH PUT	+/-
Car Sales Spaces	141		
DR / Light Truck Ready	18		
DR / Light Truck Returns	10		
DR / Light Truck Stack	43		
Total Daily Rental:	71		
Customer / Employee Spaces	29		
Handicap Spaces	2		
Grand Total Spaces:	243		



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DRAWN BY:	JEFFREY A. PRASCH, P.E.
CHECKED BY:	DATE: 07.09.21 LIC. NO.: 52706

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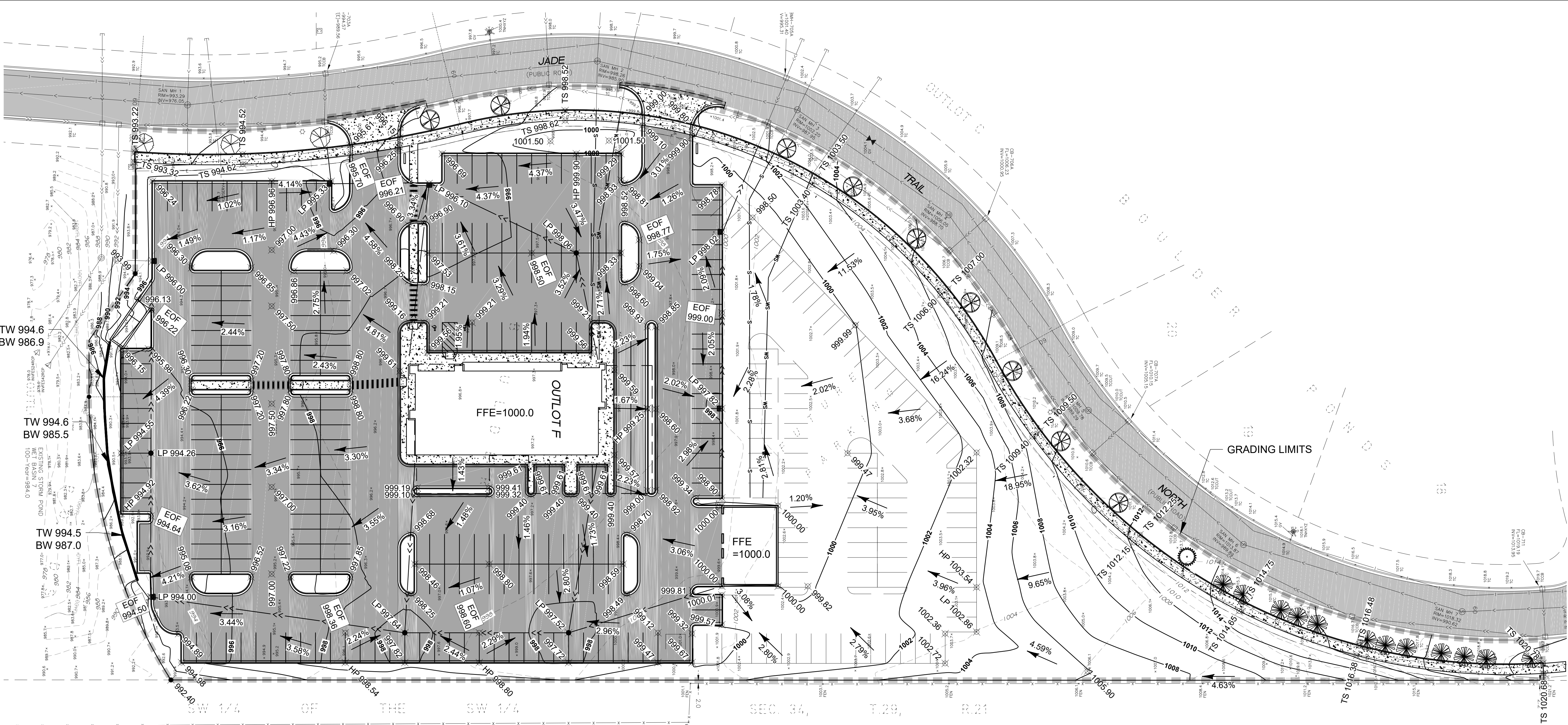
ENTERPRISE HOLDINGS
2775 BLUE WATER ROAD
EAGAN, MINNESOTA 55121

ENTERPRISE RENT-A-CAR
XXX JADE TRAIL NORTH
LAKE ELMO, MINNESOTA

SITE PLAN

PROJECT: 88862
SHEET NO.
C8 OF C12

flsurvey\houlder ponds - washington\02 engineering - 8886201 CAD\05 Sheet Files\Grading & Drainage Plan.dwg



LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED CONSTRUCTION/GRADING LIMITS
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- PROPOSED TIPOUT CURB & GUTTER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING WATERMAIN
- PROPOSED WATER SERVICE
- EXISTING CONCRETE
- PROPOSED CONCRETE
- EXISTING BITUMINOUS PAVEMENT
- PROPOSED LIGHT DUTY BITUMINOUS PAVEMENT
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- EXISTING SANITARY MANHOLE

- PROPOSED SLOPE
- PROPOSED HIGH POINT
- PROPOSED MATCH POINT
- PROPOSED LOW POINT
- PROPOSED TOP OF SLAB
- PROPOSED EMERGENCY OVERFLOW
- PROPOSED GUTTER LINE OR FINISHED GROUND ELEVATION

EARTHWORK SUMMARY

Fill Summary

Fill Volume = 4560 cu. yd
Fill Factor = x 1.3
Total Fill = 5930 cu. yd

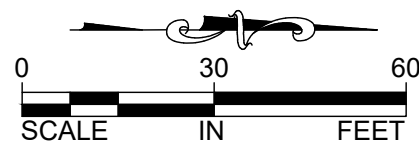
Cut Summary

Cut Volume = 5930 cu. yd
Total Cut = 5930 cu. yd

Site Earthwork Summary

Total Fill = 5930 cu. yd
Total Cut = 5930 cu. yd
*Soil to Export 0 cu. yd

Earthwork calculations include holddown (assumed average holddown depth of 1 ft under parking lot and buildings).



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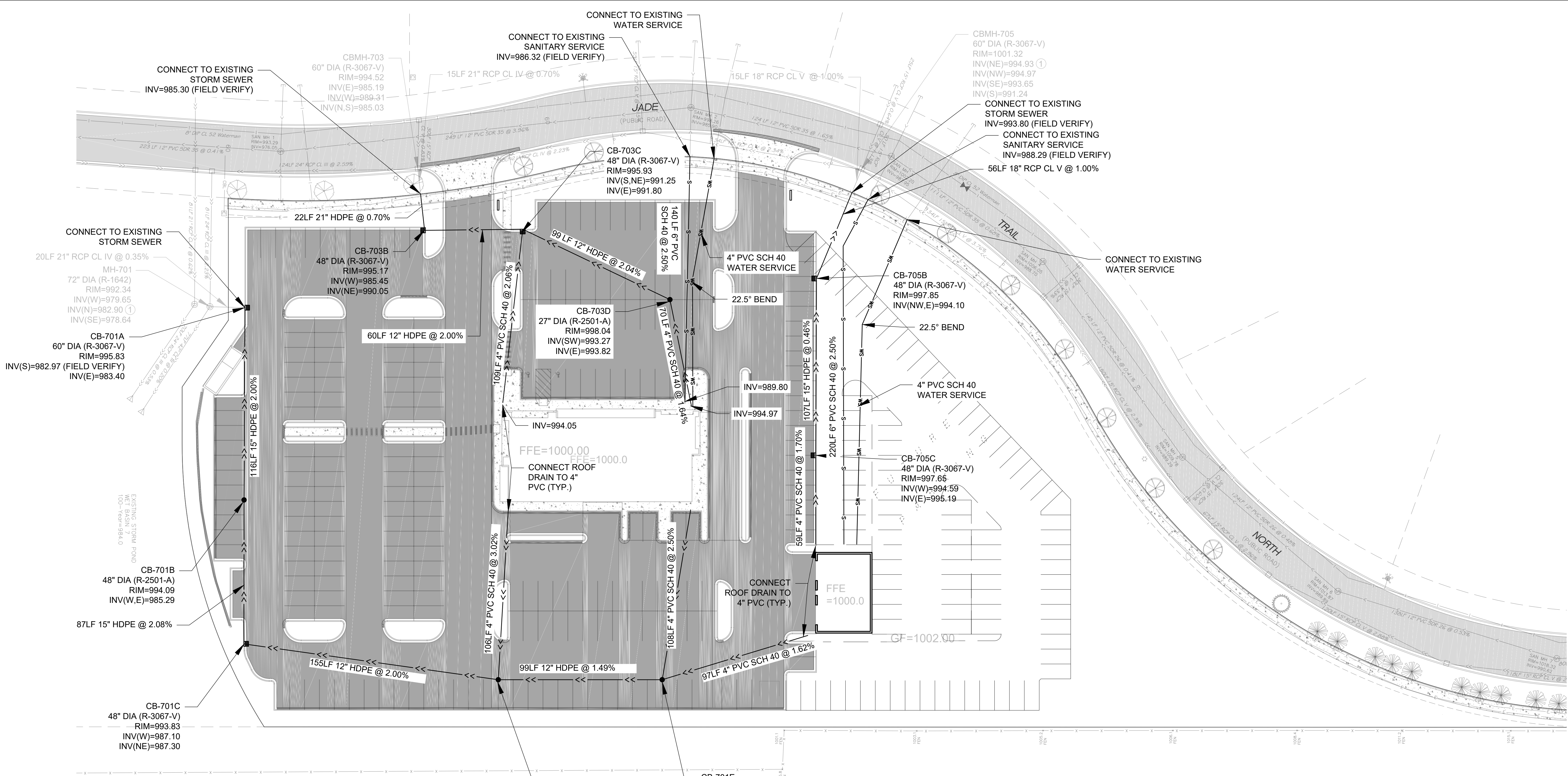
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GRADING & DRAINAGE PLAN

PROJECT: 88862
SHEET NO.
C9 OF C12

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LEGEND

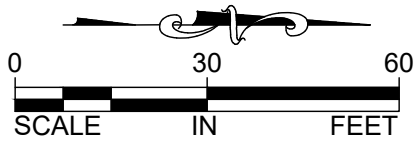
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- PROPOSED TIPOUT CURB & GUTTER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING WATERMAIN
- PROPOSED WATER SERVICE
- EXISTING CONCRETE
- PROPOSED CONCRETE
- EXISTING BITUMINOUS PAVEMENT
- PROPOSED LIGHT DUTY BITUMINOUS PAVEMENT
- PROPOSED HEAVY DUTY BITUMINOUS PAVEMENT
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- EXISTING SANITARY MANHOLE

REFERENCE NOTES:

- ① INVERT NOT SHOWN ON SURVEY. INVERT PER CONSTRUCTION PLANS DATED 06-02-2014. FIELD VERIFY ELEVATION.

UTILITY NOTES:

1. WATER SERVICES SHALL MAINTAIN A MINIMUM OF 7.5 FT OF COVER.
2. ALL HDPE STORM SEWER SHALL BE DUAL WALL.



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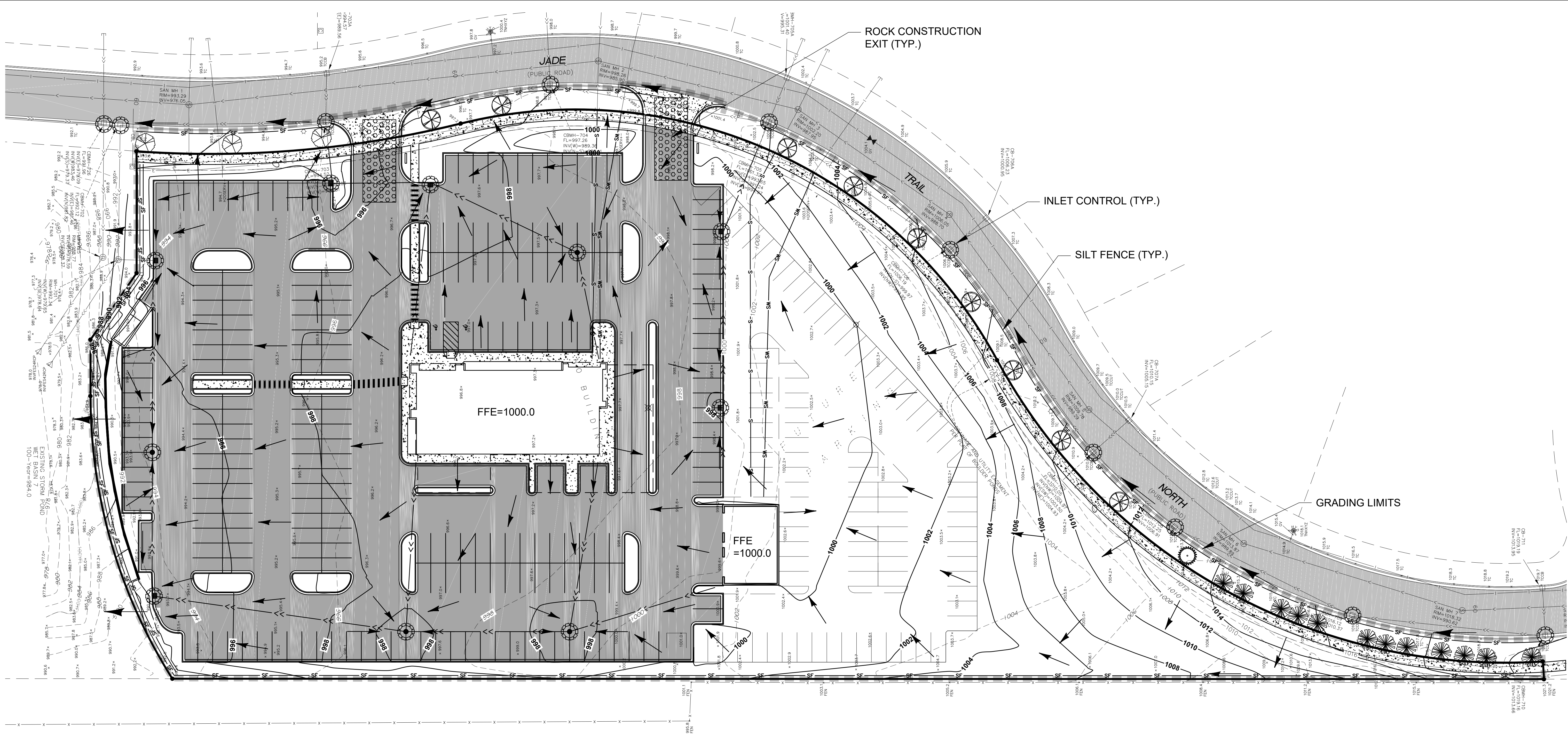
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UTILITY PLAN

PROJECT: 88862
SHEET NO.
C10 of C12

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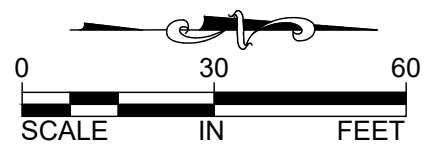


LEGEND

- 998 --- EXISTING CONTOUR
- 998 --- PROPOSED CONTOUR
- 998 --- PROPOSED CONSTRUCTION/GRADING LIMITS
- 998 --- EXISTING CURB & GUTTER
- 998 --- PROPOSED CURB & GUTTER
- 998 --- PROPOSED TIPOUT CURB & GUTTER
- 998 --- EXISTING STORM SEWER
- 998 --- PROPOSED STORM SEWER
- 998 --- EXISTING WATERMAIN
- 998 --- PROPOSED WATER SERVICE
- 998 --- EXISTING CONCRETE
- 998 --- PROPOSED CONCRETE
- 998 --- EXISTING BITUMINOUS PAVEMENT
- 998 --- PROPOSED LIGHT DUTY BITUMINOUS PAVEMENT
- 998 --- EXISTING CATCH BASIN
- 998 --- PROPOSED CATCH BASIN
- 998 --- EXISTING SANITARY MANHOLE

- 998 --- PROPOSED DRAINAGE PATH
- 998 --- PROPOSED SILT FENCE
- 998 --- PROPOSED INLET PROTECTION
- 998 --- PROPOSED ROCK CONSTRUCTION EXIT

ESTIMATED EROSION CONTROL QUANTITIES	
SILT FENCE	2,500 LF
MN/DOT SEED MIXTURE/SOD	SEE LANDSCAPE PLAN
FERTILIZER	SEE LANDSCAPE PLAN
STABILIZED ROCK EXIT	2 EACH
STORM DRAIN INLET PROTECTION	20 EACH
MULCH	SEE LANDSCAPE PLAN



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CHECKED BY:	DATE: 07.09.21 LIC. NO.: 52706

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STORMWATER POLLUTION PREVENTION PLAN

PROJECT: 88862
SHEET NO.
C11 OF C12

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PROJECT INFORMATION:

DISTURBED AREA: 4.62 ACRES
EXISTING IMPERVIOUS AREA: 0.00 ACRES
PROPOSED IMPERVIOUS AREA: 3.20 ACRES
NEW IMPERVIOUS AREA: 3.20 ACRES
EROSION CONTROL SUPERVISOR CONTACT: TBD

IMPAIRED WATERS WITHIN ONE (1) MILE THAT RECEIVE RUNOFF: NONE
ENTITY RESPONSIBLE FOR LONG-TERM OPERATION & MAINTENANCE OF PERMANENT UNDERGROUND STORM SEWER SYSTEMS: OWNER OF PROPERTY

A PROPOSED ENTERPRISE RENT-A-CAR FACILITY IS PROPOSED ON OUTLOT F - BOULDER PONDS IN LAKE ELMO, MINNESOTA. THE CURRENT SITE IS 4.29 ACRES AND VACANT. THERE ARE COMMERCIAL BUILDINGS ADJACENT TO THE SITE TO THE EAST AND ACROSS THE STREET TO THE WEST. THERE IS A RESIDENTIAL DEVELOPMENT LOCATED TO THE NORTHWEST OF THE SITE. CURRENTLY, THE ENTIRE SITE DRAINS TO "WET BASIN 7" TO THE SOUTH OF THE SITE VIA SURFACE FLOW.

THE PROPOSED IMPROVEMENTS INCLUDE A BUILDING, CAR WASH, AND PARKING LOT. THE PROPOSED STORMWATER IMPROVEMENTS WILL INCLUDE AN UNDERGROUND STORM SEWER SYSTEM. MOST OF THE SITE STORM WATER FROM THE PROPOSED IMPROVEMENTS WILL BE DIRECTED TO AN ON-SITE STORM SEWER SYSTEM. FROM THERE, THE STORMWATER WILL BE CONVEYED TO ONE OF THREE STORM SEWER STUBS. THE SITE STORMWATER WILL THEN BE DIRECTED TO STORMWATER POND "WET BASIN 7" VIA CITY STORM SEWER.

KNOWLEDGEABLE PERSON/CHAIN OF RESPONSIBILITY

THE CONTRACTOR SHALL IDENTIFY A PERSON KNOWLEDGEABLE AND EXPERIENCED IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL BMPS WHO WILL OVERSEE THE IMPLEMENTATION OF THE SWPPP, INCLUDING: INSTALLATION, INSPECTION AND MAINTENANCE OF THE EROSION PREVENTION AND SEDIMENT CONTROL BMPS. THE GENERAL CONTRACTOR SHALL ATTACH CONTACT INFORMATION TO THE SWPPP PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.

THE CONTRACTOR SHALL ESTABLISH A CHAIN OF RESPONSIBILITY FOR ALL CONTRACTORS AND SUB-CONTRACTORS ON SITE TO ENSURE THE SWPPP IS BEING PROPERLY IMPLEMENTED AND MAINTAINED. THE CONTRACTOR SHALL PROVIDE THE CHAIN OF RESPONSIBILITY TO THE OWNER AND ATTACH TO THE SWPPP PRIOR TO ANY CONSTRUCTION ACTIVITY.

STORMWATER POLLUTION PREVENTION PLAN NOTES:

- PRIOR TO ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL ACQUIRE THE NECESSARY MPCA NPDES STORM WATER PERMIT.
- ALL EROSION AND SEDIMENT CONTROL BMP'S SHALL BE INSTALLED PRIOR TO STARTING ANY CONSTRUCTION ACTIVITIES. BMP'S SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL EROSION PREVENTION AND SEDIMENT CONTROL MEASURES FOR THE PROJECT.
- EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS ARE THE ABSOLUTE MINIMUM REQUIREMENTS. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL MEASURES AS NECESSARY TO PROPERLY MANAGE THE PROJECT AREA.
- THE CONTRACTOR SHALL KEEP THE SWPPP, INCLUDING ALL AMENDMENTS AND INSPECTION AND MAINTENANCE RECORDS ON SITE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL DOCUMENT AMENDMENTS TO THE SWPPP AS A RESULT OF INSPECTION(S) WITHIN 7 DAYS.
- THE CONTRACTOR SHALL FILE A NOTICE OF TERMINATION WITHIN THIRTY (30) DAYS OF ACHIEVING PERMANENT STABILIZATION.
- THE CONTRACTOR SHALL SCHEDULE THEIR OPERATION TO MINIMIZE THE AMOUNT OF DISTURBED AREA AT ANY GIVEN TIME.
- THE INFILTRATION AREAS SHALL BE PROTECTED AND HAVE RIGOROUS EROSION AND SEDIMENT CONTROLS IF GRADED WITHIN 3 FEET OF THE FINAL GRADES. THE CONTROLS SHALL KEEP RUNOFF COMPLETELY AWAY FROM THE INFILTRATION AREAS UNTIL FINAL STABILIZATION IS COMPLETE.
- STABILIZE AREAS THAT ARE WITHIN 200 FEET OF AND DRAIN TO PUBLIC WATER WITHIN 24 HOURS DURING FISH SPAWNING TIMES.
- WATER SHALL BE USED, IF NECESSARY, FOR DUST CONTROL.
- ALL EROSION CONTROL SHALL CONFORM TO THE MNDOT EROSION CONTROL HANDBOOK.
- INLET PROTECTION SHALL BE INSTALLED AT ANY INLET THAT MAY RECEIVE RUNOFF FROM THE DISTURBED AREAS OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING AND MAINTAINING INLET PROECTIONS PLACED WITHIN THE PUBLIC RIGHT-OF-WAY UNTIL FINAL STABILIZATION IS ACHIEVED. IF A SPECIFIC SAFETY CONCERN HAS BEEN IDENTIFIED, WRITTEN AUTHORIZATION MUST BE RECEIVED BY THE CITY ENGINEER IN ORDER TO REMOVE THAT PARTICULAR INLET CONTROL.
- ALL EXPOSED SOILS, INCLUDING STOCKPILES, SHALL BE TEMPORARILY STABILIZED PER MNDOT SPECIFICATION 2575 WITHIN 7 DAYS AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED. STABILIZATION OF ALL EXPOSED AREAS MUST BE INITIATED IMMEDIATELY.
- STOCKPILES SHALL NOT BE PLACED ON ROADS, DRIVEWAYS, SURFACE WATERS OR SWALES. EFFECTIVE SEDIMENT CONTROL SHALL BE INSTALLED IMMEDIATELY AROUND ALL SOIL STOCKPILES.
- THE CONTRACTOR SHALL SWEEP AND REMOVE ALL SOILS AND SEDIMENT TRACKED OR OTHERWISE DEPOSITED ONTO PUBLIC ROADS OR PRIVATE DRIVEWAYS AS NEEDED OR AS DIRECTED BY THE CITY.
- THE NORMAL WETTED PERIMETER WITHIN 200 LINEAL FEET OF ANY PROJECT DISCHARGE LOCATION SHALL BE STABILIZED WITHIN 24 HOURS OF CONNECTING TO THE DISCHARGE LOCATION.
- IF DEWATERING IS NECESSARY, THE CONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL DEWATERING AND SURFACE DRAINAGE REGULATIONS. THE APPROPRIATE PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCING DEWATERING ACTIVITIES.
- TURBID AND SEDIMENT-LADEN WATERS SHALL BE DIRECTED TO A TEMPORARY SEDIMENT POND PRIOR TO DISCHARGING. A VISUAL CHECK SHALL BE CONDUCTED PRIOR TO DISCHARGING TREATED WATER FROM THE SEDIMENT POND TO ENSURE NUISANCE CONDITIONS WILL NOT RESULT FROM THE DISCHARGE.
- ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE REMOVED FROM THE SITE WITHIN THIRTY (30) DAYS AFTER PERMANENT STABILIZATION HAS BEEN ACHIEVED.
- THE CORRECTIVE ACTION MUST BE COMPLETED BY THE NEXT BUSINESS DAY AFTER DISCOVERY WHEN PERIMETER CONTROL DEVICES BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES ONE-HALF (1/2) THE HEIGHT OF THE DEVICE.
- PERMITEE MUST MINIMIZE SOIL COMPACTION. METHODS OF MINIMIZING SOIL COMPACTION INCLUDE THE USE OF TRACKED EQUIPMENT AND STAYING OFF AREAS TO BE LEFT COMPACTED. AREAS OF COMPACTED SOIL WILL BE REMOVED OR LOOSENED VIA TILLING TO A DEPTH OF NO LESS THAN 6 INCHES.
- CONTRACTOR SHALL CONSISTENTLY MAKE SURE INLET PROTECTIONS ARE IN GOOD WORKING ORDER AND EMERGENCY OVERFLOWS ARE NOT BLOCKED OF DEBRIS.
- SECTIONS 5.11, 5.13-5.16, 5.18, & 5.22 OF THE 2018 CONSTRUCTION STORMWATER GENERAL PERMIT DO NOT APPLY.

TRAINING DOCUMENTATION:

SWPPP DESIGNER: JEFF PRASCH (DEMARC LAND SURVEYING & ENGINEERING) - "DESIGN OF CONSTRUCTION SWPPP" TRAINING EXPIRES MAY 31, 2020.

THE CONTRACTOR (OPERATOR) SHALL ADD TO THE SWPPP TRAINING RECORDS FOR THE FOLLOWING PERSONNEL:

- INDIVIDUALS OVERSEEING THE IMPLEMENTATION OF, REVISING, AND AMENDING THE SWPPP
- INDIVIDUALS PERFORMING INSPECTIONS
- INDIVIDUALS PERFORMING OR SUPERVISING THE INSTALLATION, MAINTENANCE AND REPAIR OF BMPS

EXPECTED SEQUENCE OF CONSTRUCTION

- INSTALL ROCK STABILIZING EXIT(S), PERIMETER CONTROL, INLET CONTROL AND STABILIZE DOWN GRADIENT BOUNDARIES.
- COMPLETE SITE GRADING.
- INSTALL UTILITIES.
- APPLY EARLY APPLICATION OF BASE COURSE.
- INSTALL CURB AND GUTTER, AND PAVING.
- COMPLETE FINAL GRADING AND PERMANENT STABILIZATION.
- REMOVE EROSION AND SEDIMENT CONTROL BMPS AFTER PERMANENT STABILIZATION IS ACHIEVED.

TEMPORARY SEDIMENT BASINS

- THE CONTRACTOR SHALL INSTALL SEDIMENT BASIN(S) REQUIRED BY THE NPDES CONSTRUCTION PERMIT IF FIVE (5) OR MORE ACRES DISCHARGE TO A COMMON LOCATION.
- TEMPORARY SEDIMENT BASIN OUTLETS SHALL BE CONSTRUCTED TO PREVENT SHORT-CIRCUITING AND PREVENT THE DISCHARGE OF FLOATING DEBRIS.
- BASINS MUST HAVE THE ABILITY TO ALLOW COMPLETE DRAWDOWN, INCLUDE A STABILIZED EMERGENCY OVERFLOW, WITHDRAW WATER FROM THE SURFACE, AND PROVIDE ENERGY DISSIPATION AT THE OUTLET.
- TEMPORARY SEDIMENT BASINS SHALL BE PROVIDED WITH ENERGY DISSIPATION AT ANY BASIN OUTLET TO PREVENT SOIL EROSION.
- SEDIMENT BASINS MUST BE SITUATED OUTSIDE OF SURFACE WATERS AND ANY BUFFER ZONES, AND MUST BE DESIGNED TO AVOID THE DRAINING WATER FROM WETLANDS.
- BASINS SHALL BE SIZED ACCORDING TO THE CONSTRUCTION STORMWATER GENERAL PERMIT REQUIREMENTS. CALCULATIONS SHALL BE PROVIDED WITH THE SWPPP.
- SEDIMENT BASINS SHALL NOT BE PLACED IN FUTURE INFILTRATION AREAS.
- SEDIMENT BASINS SHALL BE DRAINED AND SEDIMENT REMOVED WHEN IT REACHES $\frac{1}{2}$ THE STORAGE VOLUME WITHIN 72 HOURS.

INSPECTIONS AND MAINTENANCE

- ALL INSPECTIONS, MAINTENANCE, REPAIRS, REPLACEMENTS AND REMOVAL OF BMPS SHALL BE CONSIDERED INCIDENTAL TO THE BMP BID ITEMS.
- THE CONTRACTOR SHALL COMPLETE SITE INSPECTIONS, AND BMP MAINTENANCE TO ENSURE COMPLIANCE WITH THE PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL PROVIDE A TRAINED PERSON TO INSPECT THE ENTIRE CONSTRUCTION SITE AT LEAST ONCE EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS. ALL INSPECTIONS MUST BE RECORDED IN WRITING WITHIN 24 HOURS OF CONDUCTING THE INSPECTIONS AND THE RECORDS MUST BE RETAINED WITH THE SWPPP. IF ANY DISCHARGE FROM THE SITE IS OBSERVED THE DISCHARGE MUST BE DESCRIBED AND PHOTOGRAPHED.
- TEMPORARY AND PERMANENT SEDIMENT BASINS SHALL BE DRAINED AND THE SEDIMENT REMOVED WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES $\frac{1}{2}$ THE STORAGE VOLUME. DRAINAGE AND REMOVAL MUST BE COMPLETED WITHIN 72 HOURS OF DISCOVERY.
- IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED IN A MANNER AND AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS.

POLLUTION PREVENTION MANAGEMENT MEASURES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL POLLUTION PREVENTION MANAGEMENT MEASURES.
- ALL POLLUTION PREVENTION MEASURES ARE CONSIDERED INCIDENTAL TO THE BMP BID ITEMS, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR INFORMING ALL VISITORS AND/OR PERSONNEL ON-SITE OF THE POLLUTION PREVENTION MANAGEMENT MEASURES. POLLUTION PREVENTION MANAGEMENT MEASURES INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - SOLID WASTE SUCH AS COLLECTED SEDIMENT, ASPHALT AND CONCRETE MILLINGS, CEMENT PRODUCT WASTE, FLOATING DEBRIS, PAPER, PLASTIC, CONSTRUCTION DEBRIS AND OTHER WASTES MUST BE DISPOSED OF PROPERLY OFF SITE.
 - HAZARDOUS WASTES SUCH AS OILS, GASOLINE, PAINT, CEMENT BASED PRODUCTS, ETC. SHALL BE PROPERLY STORED WITH SECONDARY CONTAINMENT TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGES. IF STORED ON THE PROJECT SITE, THEY SHALL BE STORED IN RESTRICTED ACCESS AREAS TO PROTECT AGAINST VANDALISM. STORAGE AND DISPOSAL SHALL BE IN COMPLIANCE WITH THE MPCA.
 - CEMENT BASED PRODUCT WASHOUTS ARE NOT PERMITTED ON SITE.
 - THE CONTRACTOR SHALL INCLUDE SPILL KITS WITH ALL FUELING SOURCES AND MAINTENANCE ACTIVITIES. SECONDARY CONTAINMENT MEASURES SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR.
 - THE CONTRACTOR SHALL ENSURE SPILLS ARE CONTAINED AND CLEANED UP IMMEDIATELY UPON DISCOVERY. SPILLS LARGE ENOUGH TO REACH THE STORMWATER CONVEYANCE SYSTEM SHALL BE REPORTED TO THE MINNESOTA DUTY OFFICER AT 1.800.422.0798.

FINAL STABILIZATION

- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING FINAL STABILIZATION OF THE ENTIRE SITE. FINAL STABILIZATION INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:
 - COMPLETION OF ALL CONSTRUCTION ACTIVITY.
 - INSTALLATION OF PERMANENT COVER OVER ALL AREAS PRIOR TO SUBMITTING THE NOTICE OF TERMINATION. PERMANENT COVER SHALL CONSIST OF 4 INCHES TOPSOIL, AND SOD, UNLESS OTHERWISE SPECIFIED.
 - VEGETATIVE COVER MUST CONSIST OF A UNIFORM PERENNIAL VEGETATION WITH A DENSITY OF 70 PERCENT OF ITS EXPECTED FINAL GROWTH. VEGETATION IS NOT REQUIRED WHERE THE FUNCTION OF A SPECIFIC AREA DICTATES NO VEGETATION, SUCH AS IMPERVIOUS SURFACES OR LANDSCAPED AREAS.
 - CLEAN THE PERMANENT STORMWATER TREATMENT SYSTEMS OF ANY ACCUMULATED SEDIMENT AND MUST ENSURE THE SYSTEM MEETS ALL APPLICABLE REQUIREMENTS AND IS OPERATING AS DESIGNED.
 - REMOVAL OF ALL SEDIMENT FROM CONVEYANCE SYSTEMS.
 - REMOVAL OF ALL TEMPORARY SYNTHETIC EROSION PREVENTION AND SEDIMENT CONTROL BMPS.
 - FINAL STABILIZATION SHALL BE PERFORMED IN ACCORDANCE WITH MNDOT 2018 SPECIFICATION 2575.

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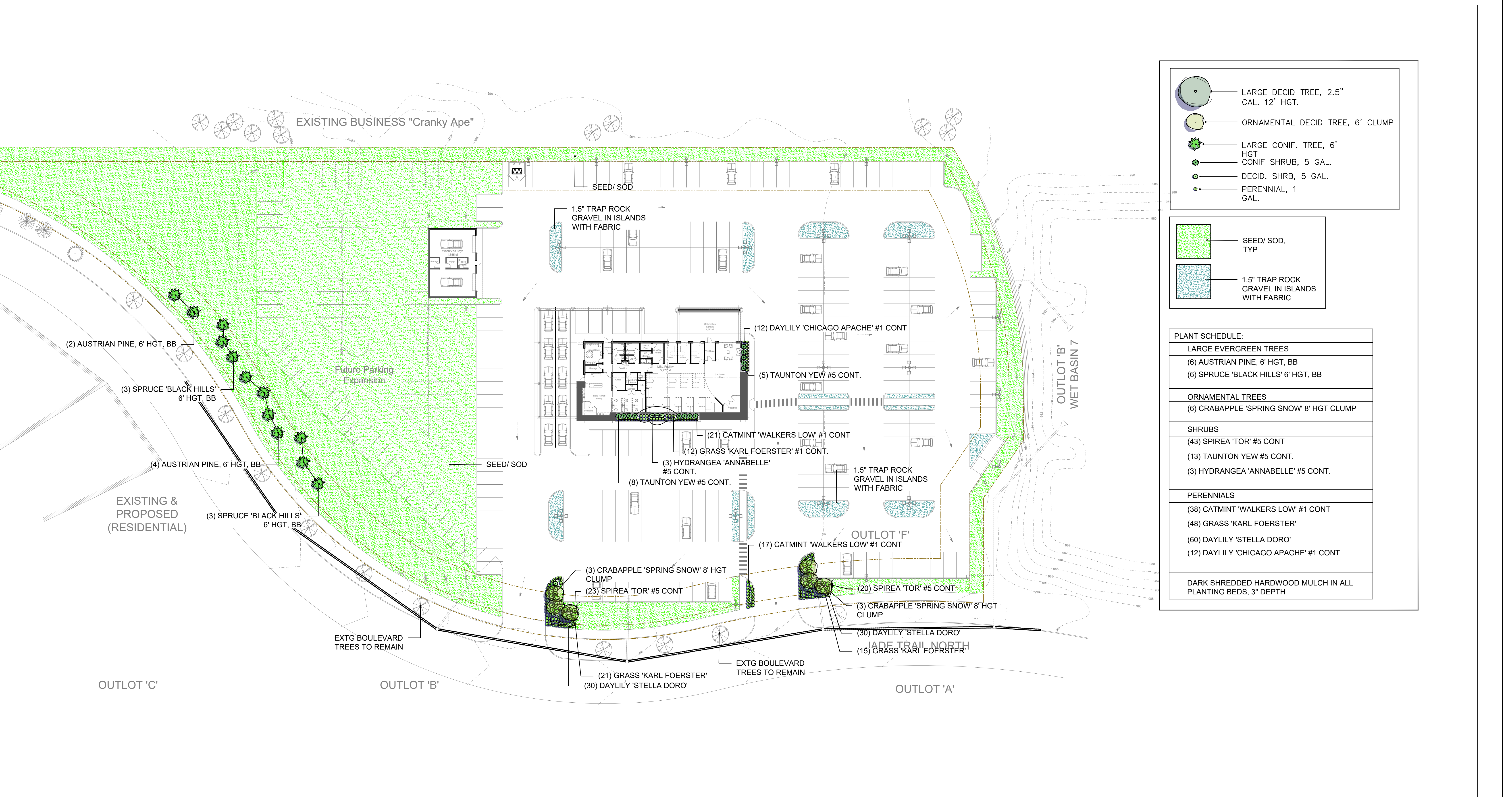


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LAKE ELMO, MINNESOTA

STORMWATER POLLUTION
PREVENTION PLAN NOTES

PROJECT: 88862
SHEET NO.
C12 OF C12



- LARGE DECID. TREE, 2.5" CAL. 12' HGT.
- ORNAMENTAL DECID. TREE, 6' CLUMP
- LARGE CONIF. TREE, 6' HGT
- CONIF. SHRUB, 5 GAL.
- DECID. SHRUB, 5 GAL.
- PERENNIAL, 1 GAL.

- SEED/ SOD, TYP
- 1.5" TRAP ROCK GRAVEL IN ISLANDS WITH FABRIC

PLANT SCHEDULE:
LARGE EVERGREEN TREES
(6) AUSTRIAN PINE, 6' HGT, BB
(6) SPRUCE 'BLACK HILLS' 6' HGT, BB
ORNAMENTAL TREES
(6) CRABAPPLE 'SPRING SNOW' 8' HGT CLUMP
SHRUBS
(43) SPIREA 'TOR' #5 CONT
(13) TAUNTON YEW #5 CONT.
(3) HYDRANGEA 'ANNABELLE' #5 CONT.
PERENNIALS
(38) CATMINT 'WALKERS LOW' #1 CONT
(48) GRASS 'KARL FOERSTER'
(60) DAYLILY 'STELLA DORO'
(12) DAYLILY 'CHICAGO APACHE' #1 CONT
DARK SHREDDED HARDWOOD MULCH IN ALL PLANTING BEDS, 3" DEPTH

1 LANDSCAPE PLAN
SCALE= 1" = 30'-0"

Qualification:
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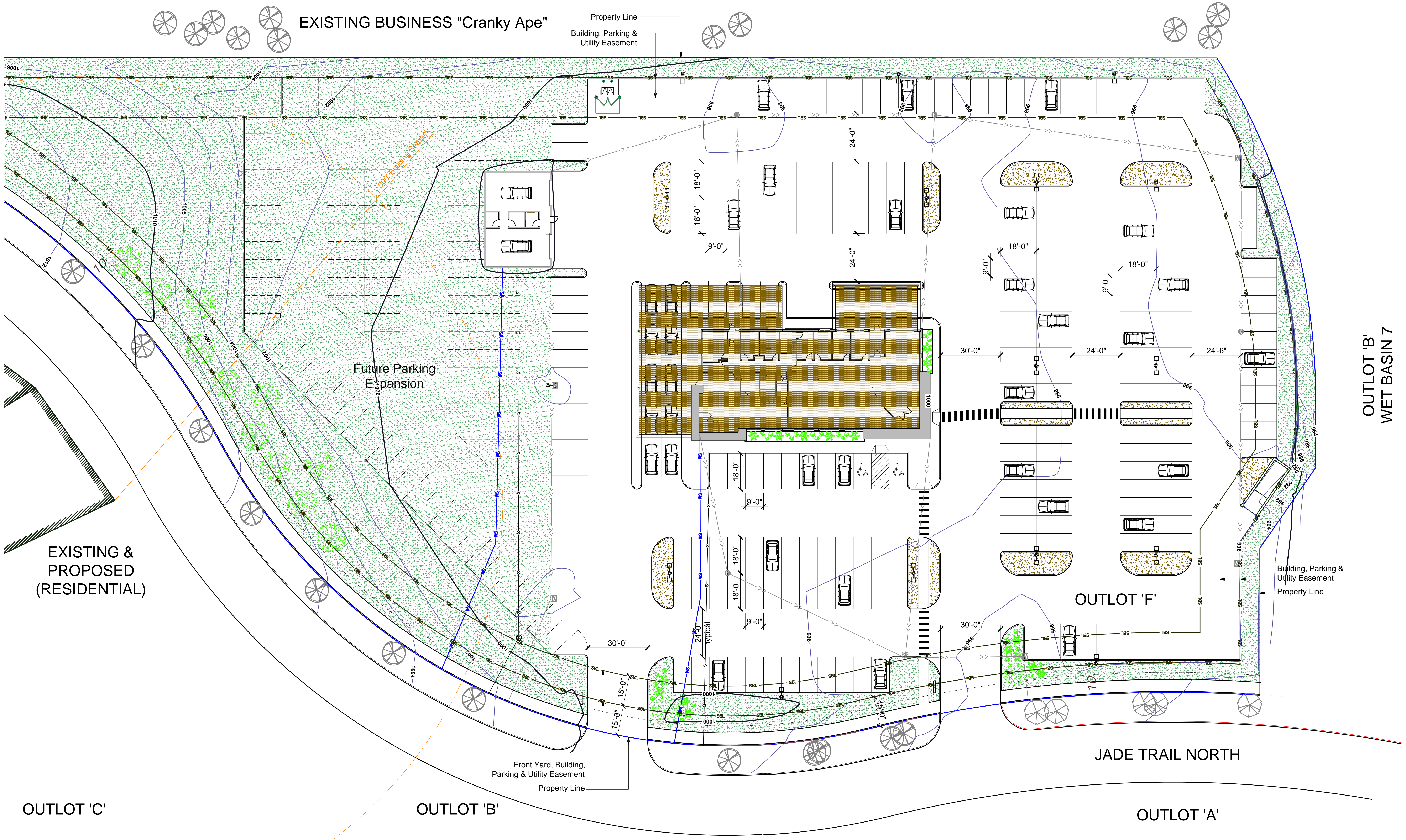


I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly registered Landscape Architect in the State of Minnesota.

Ben Erickson
SIGNATURE
REGISTRATION # 50130
DATE

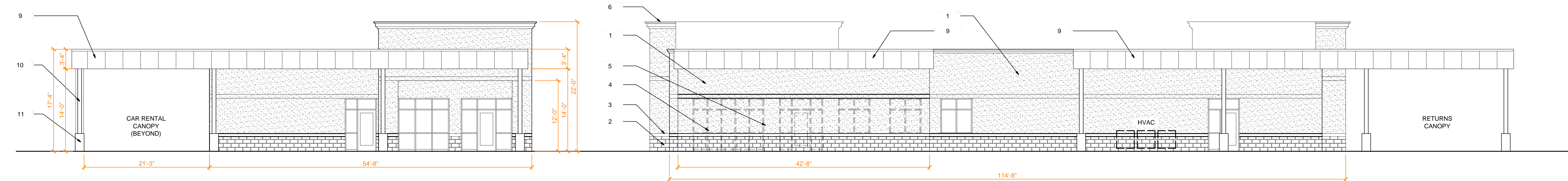
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LANDSCAPE
PLAN

ENTERPRISE RENTAL
LAKE ELMO, MN



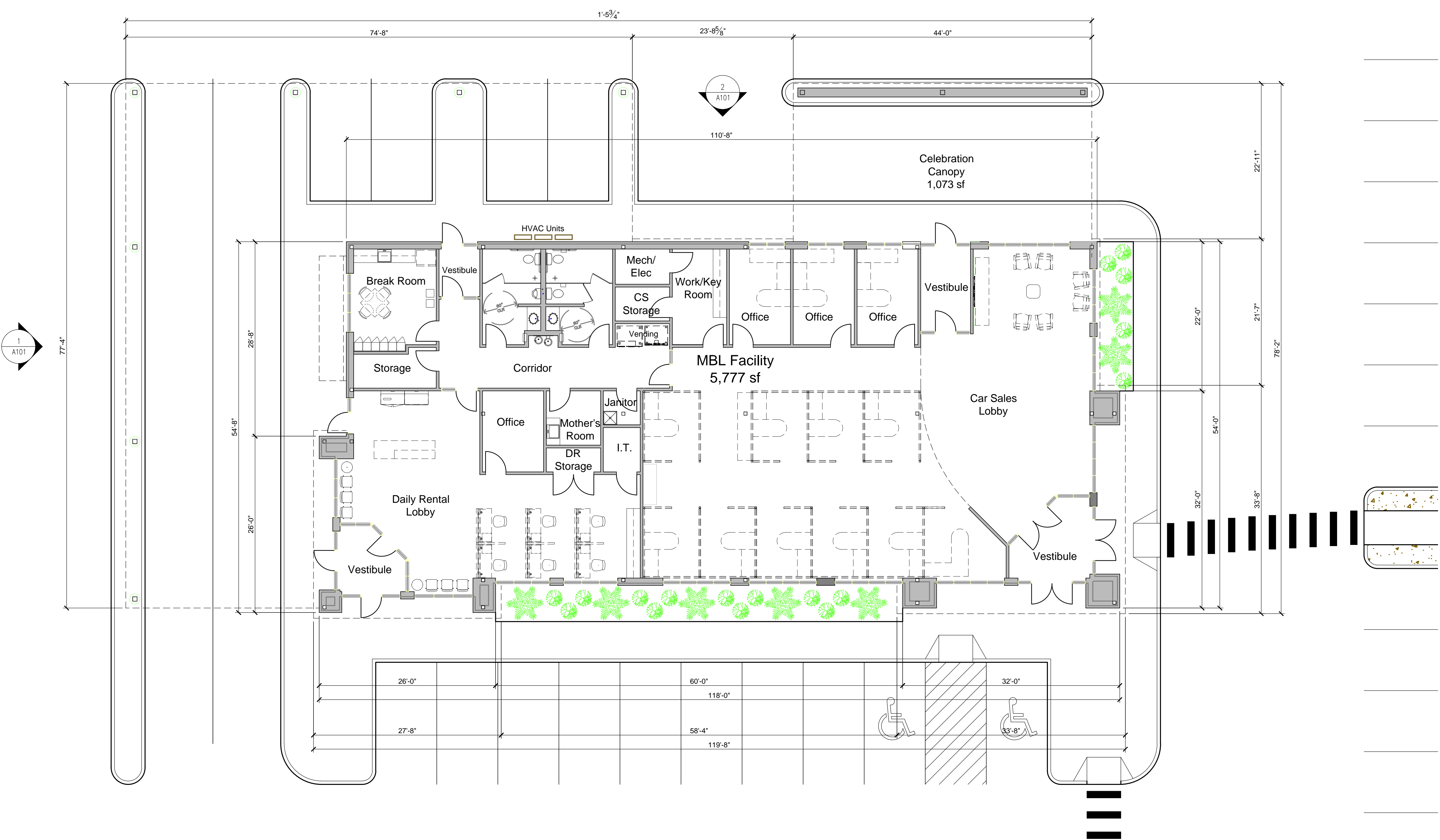


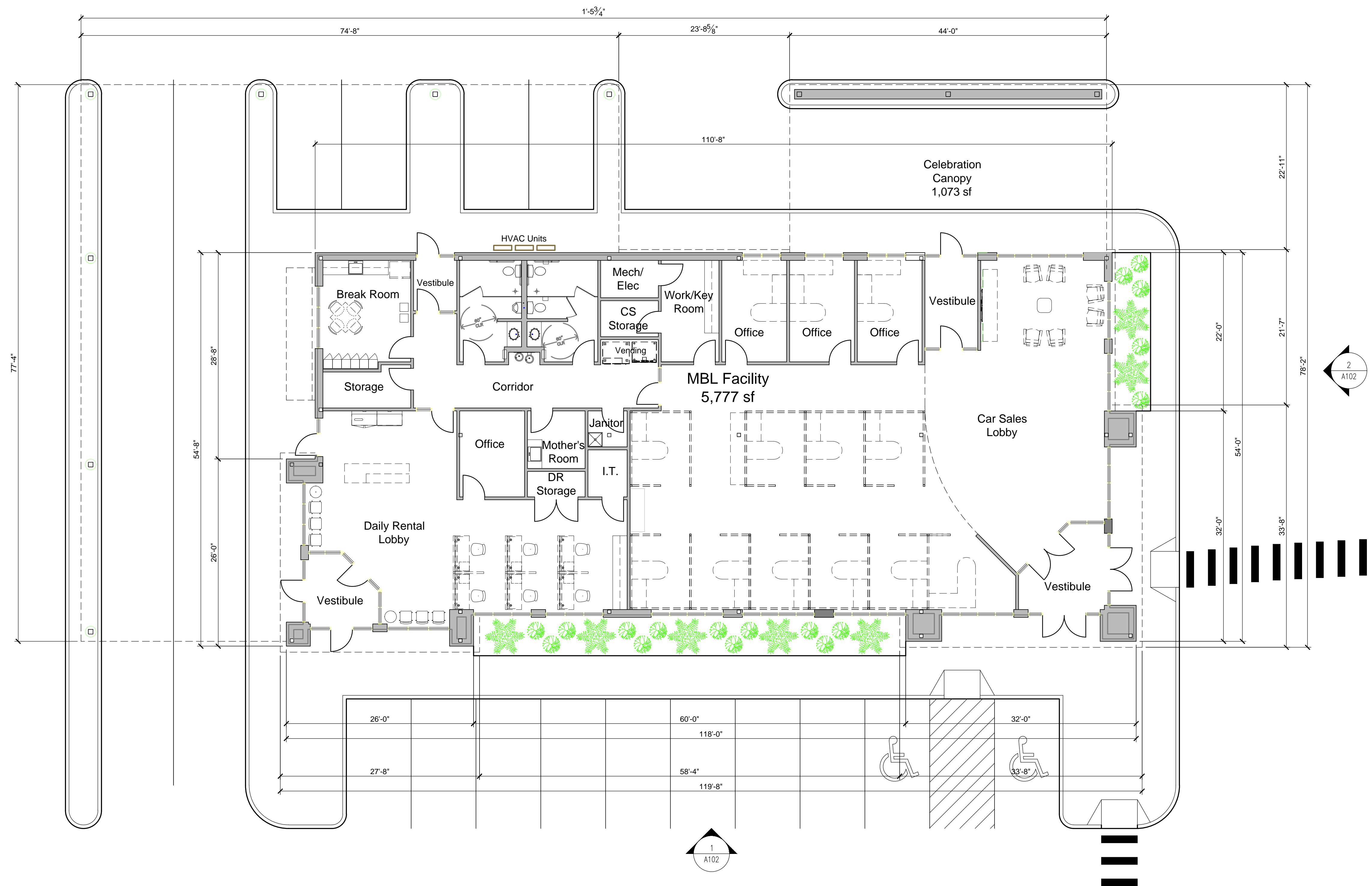
EXTERIOR ELEVATIONS KEYNOTE LEGEND:	
XX	
1	EXTERIOR INSULATION FINISH SYSTEM (EIFS)
2	CAST STONE BASE
3	PRECAST STONE WATERTABLE
4	ALUMINUM STOREFRONT DOOR AND FRAME
5	ALUMINUM STOREFRONT SYSTEM
6	METAL PARAPET CORING OVER CORNICE
7	ALUMINUM FRAME WINDOW SYSTEM
8	BUILDING SIGNAGE
9	ACM PANEL CANOPY
10	PAINTED STEEL CANOPY COLUMN
11	CONCRETE BASE AT COLUMN



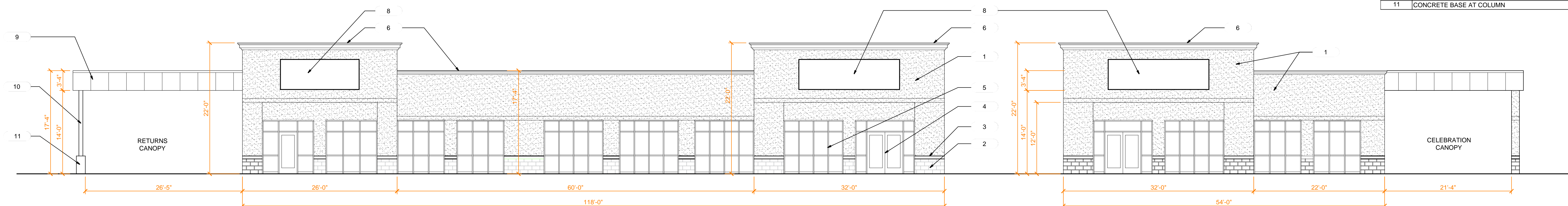
1 ELEVATION
A101 SCALE: 1/8" = 1'-0"

2 ELEVATION
A101 SCALE: 1/8" = 1'-0"





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1 ELEVATION
A102 SCALE: 1/8" = 1'-0"

2 ELEVATION
A102 SCALE: 1/8" = 1'-0"

MEMORANDUM

FOCUS ENGINEERING, inc.

Cara Geheren, P.E.	651.300.4261
Jack Griffin, P.E.	651.300.4264
Ryan Stempski, P.E.	651.300.4267
Chad Isakson, P.E.	651.300.4283

Date: August 2, 2021

To:	Ken Roberts, Planning Director	Re:	Enterprise Rent-A-Car (Boulder Ponds Outlot F)
Cc:	Marty Powers, Public Works Director Chad Isakson, Assistant City Engineer		Engineering Site Plan Review – Final plat
From:	Jack Griffin, P.E., City Engineer		

A engineering review has been completed for the Site Development Plans for Enterprise Rent-A-Car be located along Jade Trail North on Boulder Ponds Outlot F. The submittal consisted of the following documentation received on July 14, 2021:

- Pingree Addition Final Plat, preliminary draft dated July 8, 2021.
- Site Development Plans for Enterprise Rent-A-Car dated July 9, 2021.
- Landscape Plans and Details, not dated.
- “Partial” Stormwater Management Plan, dated July 9, 2021.

STATUS/FINDINGS: Engineering review comments have been provided in two separate memos; one for Final Plat/CUP approval, and one to assist with the completion of the final Construction Plans. Please see the following review comments relating to the Final Plat/CUP application.

FINAL PLAT/CONDITIONAL USE PERMIT

1. Boulder Ponds Outlot F will be platted into a single lot, Lot 1, Block 1 of the Pingree Addition. There are no Outlots being created by this Plat.
2. Ten (10) foot drainage and utility easements are proposed along all lot lines as required. The 10-foot drainage and utility easement must be reserved through the site plan for the purpose of small/dry utilities along Jade Trail.
3. The application does not address if the site is adequately served by essential public facilities and services. Information missing from the application includes the following:
 - Average daily traffic (trip generation) projections for the full buildout of the site.
 - Domestic sewer use projections. Submit SAC determination per Met Council SAC manual.
 - Domestic water use projections. Submit SAC determination per Met Council SAC manual.
 - Identify proposed water use for car washing facility (using Met Council SAC determination).
 - Needed Fire Flow (NFF) from the municipal water supply in GPM (gallons per minute) and duration of flow (minutes).
 - Statement on whether the building(s) are equipped with fire sprinklers.

MUNICIPAL WATER AND SANITARY SEWER SERVICE

1. Connection to existing sanitary sewer service stubs. The project proposes to connect to existing 6-inch sanitary sewer service stubs located along Jade Trail, one connection for each building. The sanitary sewer services interior to the site will be private services and must meet state plumbing code requirements.

2. Connection to existing watermain stubs. The project proposes to connect to existing 6-inch watermain service stubs located along the Jade Trail, one connection for each building. The water services interior to the site will be private services and must meet state building code requirements unless hydrants are required to be placed interior to the site (see comments below). The plans must also be revised to change the service pipe materials to meet city standards.
3. Fire Hydrant locations. No new fire hydrants have been proposed. There is one existing fire hydrant located along Jade Trail North approximately 220 feet from the proposed office building. If fire hydrants are required to be placed interior to the site of Outlot F, as may be required by the Lake Elmo Fire Department, the fire hydrants and connecting watermain will be city owned and maintained. If required, the site and utility plans, and project specifications must be revised and resubmitted for city review, showing the proposed hydrants and connecting watermain using city design standards, details and specifications. Utility easements must be dedicated to the city, minimum width of 30-feet centered over the pipe and hydrants, and all easements must be shown on the Site Plan, Utility Plan and Grading Plan.

STORMWATER MANAGEMENT

1. The proposed development is subject to a storm water management plan meeting State, Watershed District and City rules. Permits will be required from the South Washington Watershed District and the Minnesota Pollution Control Agency.
2. The applicant submitted a Stormwater Management Report dated July 9, 2021. The report remains incomplete to verify the report assumptions that stormwater management has been addressed for the development. The report must be resubmitted to include the following missing information:
 - Figure 2 (Drainage Areas Proposed Conditions) was not included with the submittal.
 - Figure 3 (Rational Method Storm Sewer Calculations) was not included with the submittal.
 - A breakdown of the proposed impervious surface areas, by building structures and pavement surfaces. Also, impervious surface breakdown by initial phase and future expansion areas.
 - Supporting documentation from the Boulder Ponds Stormwater Management Report dated May 7, 2015, demonstrating that the site was planned for 85% impervious surfaces.
3. A private storm sewer system is proposed interior to the site to capture and convey storm water runoff to the city owned storm water pond located on Boulder Ponds Outlot E (immediately south of the development property). The private storm sewer system will connect to the existing 21-inch RCP storm sewer stub pipe located on the south property line.
4. A Stormwater Easement and Maintenance Agreement in the city's standard form is required for the private owned storm sewer system.
5. The Boulder Ponds development was designed and constructed with an approved storm water management system to meet the requirements of both the City of Lake Elmo and the South Washington Watershed District. The most recent Boulder Ponds approved Stormwater Management Report is dated May 7, 2015. The existing storm water pond located on Outlot E, located immediately to the south of the proposed Enterprise Car-Rental site, was assumed to be designed to accommodate an impervious surface coverage of 85% for the Enterprise site (Outlot F).
6. The 4.29 acre Enterprise Site is creating a commercial building, car wash and parking lot that will result in 75% impervious surface coverage, including the proposed future parking lot area. Because the site is assumed to be creating less impervious surface than planned, the Outlot E storm water basin is assumed to have adequate capacity to fully accommodate this project without the need for further storm water mitigation.

SITE PLAN

1. The Enterprise Site parking area is designed with two concrete commercial driveway accesses to Jade Trail North, located approximately 180 feet apart. The access locations do not appear to align with the driveway locations along the west side of Jade Trail for Growing Explorers Daycare or for the Senior Living Center.
2. The Site Plan and Landscape Plan improvements must be clarified. The landscape plans indicate boulevard trees as existing, while the existing conditions plan show no boulevard trees present. The Site plans indicate the boulevard trees as proposed.

3. The existing conditions plan, grading plans and erosion control plans must include all exiting conditions, contours, utilities, and existing site features within the development site and to a minimum distance of 150 feet from all construction limits. This information must include all cub cuts and driveway locations along Jade Trail, street lights, signs, boulevard trees, and topographic survey information for the property located east of the site. The utility plans must include existing pipe sizes, materials and slopes, including water and sewer services.
4. The Site and Grading Plans must be revised as necessary to ensure the sidewalk, boulevard trees and boulevard grading is constructed per the city standard detail 805. Boulevard must be graded toward the street at 4% with 2% trail cross slope. Boulevard trees must be located 5-feet from back of curb. The 10-foot utility corridor must be graded at 4% per the city standard detail.
5. Specifications must be submitted for city review prior to construction. The City of Lake Elmo standard specifications dated April 2019 must be used for all public infrastructure, work within the public right-of-way, and for erosion control and restoration.
6. Engineering did not review impervious surface requirements, parking requirements, or the lighting and photometrics plan.

MEMORANDUM

FOCUS ENGINEERING, inc.

Cara Geheren, P.E.	651.300.4261
Jack Griffin, P.E.	651.300.4264
Ryan Stempski, P.E.	651.300.4267
Chad Isakson, P.E.	651.300.4283

Date: August 2, 2021

To:	Kevin Rolfes, KRdesign	Re:	Enterprise Rent-A-Car (Boulder Ponds Outlot F)
Cc:	Joshua Calderon, Enterprise Holdings		Engineering Site Plan/Construction Plan Review
	Ken Roberts, Planning Director		
	Marty Powers, Public Works Director		
	Chad Isakson, Assistant City Engineer		
From:	Jack Griffin, P.E., City Engineer		

An engineering review has been completed for the Site Development Plans for Enterprise Rent-A-Car be located along Jade Trail North on Outlot F of the Boulder Ponds 1st Addition. The submittal consisted of the following documentation received on July 14, 2021:

- Pingree Addition Final Plat, preliminary draft dated July 8, 2021.
 - Site Development Plans for Enterprise Rent-A-Car dated July 9, 2021.
 - Landscape Plans and Details, not dated.
 - "Partial" Stormwater Management Plan, dated July 9, 2021.
-

STATUS/FINDINGS: The following comments have been provided in addition to the Final Plat/CUP comment memo to direct plan corrections necessary for final construction plan approval. When submitting revised plans and specifications, please provide a point-by-point response letter that details all changes made to the plans.

FINAL CONSTRUCTION PLANS FOR ENTERPRISE RENT-A-CAR

1. C2-C6. Add city standard details 105, 201, 313, 315, 405, and 606.
2. C7-C9/L100. Clarify if existing conditions include existing boulevard trees along Jade Trail. The landscape plans indicate boulevard trees as existing, while the existing conditions plan show no boulevard trees present. The Site plans indicate the boulevard trees as proposed.
3. C7. The existing conditions plan must include all existing conditions, contours, utilities, and existing site features within the development site and to a minimum distance of 150 feet from all construction limits. This information must include all cut cuts and driveway locations along Jade Trail, street lights, signs, boulevard trees, and topographic survey information for the property located east of the site.
4. C7. Revise plans to include all existing pipe size, material and slopes, including water and sewer services.
5. C7. Add plan note to require all removals within the city right-of-way to be field marked and approved by the city prior to work being completed.
6. C8. Add Plan Note to require all construction parking, including deliveries and equipment loading/unloading, to be maintained interior to the construction site unless specifically Permitted by the city for specified limited dates through a right-of-way permit.
7. C8. Add plan dimensions and labeling for existing street width, right-of-way width, and easement width. Label easement and property lines.
8. C8. Add city standard detail 805 to the Site Plan and revise plans as necessary to ensure the sidewalk, boulevard tree and boulevard grading is constructed per the city standard detail. Boulevard must be graded

toward the street at 4% with 2% trail cross slope. Boulevard trees must be located 5-feet from back of curb. 10-foot utility corridor to be graded at 4%.

9. C9. Show existing conditions contours for a minimum distance of 150 feet from all construction limits to demonstrate matching design conditions. Contours are missing along the east property line and are required to facilitate city review.
10. C9. Revise grading plan as necessary to grade the right-of-way and easement corridor along Jade Trail per city standard detail 805.
11. C9. Revise grading plans to ensure minimum 2% grade for all non-paved areas.
12. C9 and C11. Add the City standard plan notes to the grading and erosion control plans, City details 600A, 600B, 600C, and 600D. Remove these plan notes from the detail plan sheets.
13. C10. Revise catch basin structure (replacing existing structure 701A) with city standard sump manhole.
14. C10. Revise storm sewer pipe material to RCP for the storm sewer connection from CB703B.
15. C10. Provide storm sewer profiles for all proposed storm sewer pipe, public or private.
16. C10. Provide proposed water and sewer service pipe size and materials. Also provide connection details and connection inverts as applicable.
17. C10. Add water service city standard detail and revise water service pipe to city standards.
18. C10. Fire Hydrants. No new fire hydrants have been proposed. If fire hydrants are required to be placed interior to the site of Outlot F, as may be required by the Lake Elmo Fire Department, the fire hydrants and connecting watermain will be city owned and maintained. If required, the site and utility plans, and project specifications must be revised and resubmitted for city review, showing the proposed hydrants and connecting watermain using city design standards, details and specifications. Utility easements must be dedicated to the city, minimum width of 30-feet centered over the pipe and hydrants, and all easements must be shown on the Site Plan, Utility Plan and Grading Plan.
19. C11. Revise SWPPP plan documentation to update expired training documentation.
20. L100. Clarify site and landscape plans. Landscape plans indicate boulevard trees as existing. Existing conditions plan show no boulevard trees. Site plan shows boulevard trees as proposed.
21. L100. Add city standard plan notes for landscaping, including requirement to field stake for city review prior to planting trees, and to place boulevard trees per city standard detail 805.
22. Specifications. Project Specifications must be submitted for city review prior to plan approval. The City of Lake Elmo standard specifications dated April 2019 must be used for all public infrastructure, work within the public right-of-way, and for erosion control and restoration.

STORMWATER MANAGEMENT

1. The proposed development is subject to a storm water management plan meeting State, Watershed District and City rules. Permits will be required from the South Washington Watershed District and the Minnesota Pollution Control Agency.
2. Revise and resubmit the Stormwater Management Report to provide supporting documentation for the report assumptions and to address the following missing information.
 - a. Figure 2 (Drainage Areas Proposed Conditions) was not included with the submittal.
 - b. Figure 3 (Rational Method Storm Sewer Calculations) was not included with the submittal.
 - c. A breakdown of the proposed impervious surface areas, by building structures and pavement surfaces. Also, impervious surface breakdown by initial phase and future expansion areas.
 - d. Supporting documentation from the Boulder Ponds Stormwater Management Report dated May 7, 2015, demonstrating that the site was planned for 85% impervious surfaces.

Lake Elmo Fire Department

Memorandum

To: Ken Roberts, Planning Director

From: Dustin Kalis, Fire Chief

Date: 7/20/2021

Re: Site Plan Review – Enterprise Holdings



The Lake Elmo Fire Department has completed a site plan review of Enterprise Holdings based on the Lake Elmo Planning Department packet dated 7/15/21 with the following comments:

1. All roads and drive lanes shall meet the Lake Elmo Fire Department requirements for widths and turning radiuses. The provided turning radius overlay is adequate and meets the requirements of the fire department.
2. An approved signage and marking plan shall be determined for all No Parking and Fire Lane access roads.
3. Fire hydrants shall be provided in approved locations following review by Engineering and Public Works.
4. Building address numbers shall be plainly visible from the street fronting the property and shall contrasting color from the background.
5. A Fire Department lock box is required for emergency access to building at an approved location(s) and provide keys for emergency access into and throughout the occupancy as required.
6. The fire sprinkler system shall be installed compliant with provisions of 2016 NFPA Standard 13, Installation of Sprinkler Systems.
7. Fire Department sprinkler connection location to be approved prior to installation.
8. The fire alarm system, shall be installed compliant with provisions of 2016 NFPA Standard 72, National Fire Alarm Code. City permit required prior to initiation of work.
9. The sprinkler system shall be properly monitored by a qualified monitoring company.
10. Install emergency egress illumination in the means of egress including exit discharge compliant with 2020 MSFC.
11. Install compliant exit signage as required by the 2020 MSFC.
12. Provide and install dry chemical fire extinguishers certified for service and tagged as required. Service classification rating shall be a minimum 2A classification rating and maximum travel distance of 75 feet

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to extinguishers. The minimum classification rating may be upgraded for special or extra hazard areas within the occupancy.

13. Rooms containing controls for air-conditioning systems, roof access, elevator equipment, sprinkler risers and valves, or other fire detection, suppression or control elements shall be identified for the use of the fire department. Approved signs required to identify fire protection equipment and equipment location, shall be constructed of durable materials, permanently installed and readily visible.

Codes and Standards Used for this Review

- This review is based on the following codes and standards as adopted and in effect in the State of Minnesota at the time of plan submittal.
 - 2020 Minnesota State Fire Code
 - NFPA 72, 2016 edition
 - NFPA 13, 2016 edition

To: Ken Roberts, City of Lake Elmo
Planning Director

From: Sarah Harding, Landscape Architect
Jenna Niday, Landscape Designer

File: City of Lake Elmo Landscape Plan Review
Enterprise Rent-A-Car, Review #1

Date: July 23, 2021

Submittals

- Land Use Application, not dated, received July 9, 2021
- Civil, Architectural, Photometrics, Survey, and Landscape Plans, not dated, received July 9, 2021.

Location: South of 5th Street North, along the east side of Jade Trail North, and north of Hudson Boulevard

Land Use Category: Commercial

Surrounding Land Use Concerns: None.

Special landscape provisions in addition to the zoning code: None.

Tree Preservation:

- A. A tree preservation plan has not been submitted. The only existing trees onsite are boulevard trees shown on the landscape plan which are shown as intended to remain.

Landscape Requirements:

The landscape plans **do not** meet the code required number of trees. The applicant is utilizing the 25 existing boulevard trees toward the required number of trees, but does not meet the minimum code required trees.

	Code Required	Proposed	
Street frontage	978		Lineal Feet
Lake Shore	0		Lineal Feet
Stream Frontage	0		Lineal Feet
Total Linear Feet	978		Lineal Feet
/50 Feet = Required Frontage Trees (Existing)	20	20	Trees
Development or Disturbed Area	-		SF
Development or Disturbed Area	4.29		Acres
*5 = Required Development Trees	22	12	Trees
Interior Parking Lot Spaces*	243		Spaces
/10 = Required Parking Lot Trees	25	0	Trees
Perimeter Parking Lot Frontage Length	400		Lineal Feet
/50 = Required Frontage Strip Trees	8	11	Trees
Required Mitigation Trees	0	0	

July 23, 2021

Ken Roberts
Planning Director
City of Lake Elmo
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Required Number of Trees	75		
Total Trees to Date		43	

The landscape plans **do** meet the minimum compositions of required trees when including the existing boulevard trees:

Master Plan	Qty	% Composition	
Deciduous Shade Trees	12	28%	>25% required
Coniferous Trees	25	58%	>25% required
Ornamental Trees	6	14%	<15% required
Tree Count	43		

- A. A landscape plan has been submitted that **does not include** all requirements.
1. Ground cover material specifications are not included.
 2. The landscape plan does not include required City standard notes and details.
 3. All utilities are not shown on the landscape plan to review for tree placement conflicts.
 4. The plan does not include a quantity of shade trees to meet the interior parking lot planting requirements per Code 154.258.D.

July 23, 2021

Ken Roberts
Planning Director
City of Lake Elmo
Page 3 of 3

Findings:

1. The applicant is utilizing the existing boulevard trees toward the minimum overall landscape requirements for the site.
 - a. The existing and proposed tree quantities shown do not meet the minimum landscape requirements.
 - b. Interior parking lot landscaping is not shown, however is required per section 154.258.D.
 - c. Revise and resubmit the landscape plan to fulfill the landscape requirements.
2. Provide the type of seed and where it is to be used and show where sod is to be used in place of seed.
3. City standard notes and details have not been provided.
4. Utilities are not shown on the landscape plan to check for planting conflicts. Please show utilities on the revised landscape plan.

Recommendation:

It is recommended that conditions of approval include:

1. Submit a revised landscape plan.

Stantec Consulting Services Inc.



Sarah Harding, PLA (MN)

City of Lake Elmo Municipal Landscape Architect
P: (952) 215-2661
E: sharding@wenck.com

Harry Davis

From: Christopher Beaudet <cjbeaudet@gmail.com>
Sent: Tuesday, August 3, 2021 7:21 AM
To: Ken Roberts
Subject: Potential Enterprise Rent-A-Car Facility

Caution: This email originated outside our organization; please use caution.

Dear Mr. Roberts,

As I am unable to attend the Lake Elmo Public Hearing scheduled for Monday, 9 August 2021, to discuss the proposed Enterprise Rent-A-Car facility to be built on the vacant lot on the east side of Jade Trail across from the newly built Boulder Ponds Senior Living.

I am the owner and resident of a villa in the Boulder Ponds development at 9043 Jade Circle North. Jade Trail is my usual route of entry and exit into the development. I have come to appreciate the newly built senior living since it maintains the residential feel of Boulder Ponds.

Regrettably, Boulder Ponds abuts a storage facility to the east with its large parking lot for stored vehicles. It is an unsightly property and undoubtedly lowers the property value of my home and those around it. I would not want a business with yet more vehicles in a lit parking lot to cross even closer to the Boulder Ponds development. A rent-a-car facility is not as high class a business as I would hope the neighborhood would develop. Hudson Road already has low-end businesses in old, antiquated buildings that haven't kept up with the new development of the area.

I stand in opposition to amending the zoning code for this purpose and I appreciate the opportunity to lodge my concern. If you have any questions, please feel free to contact me at the information below.

Very gratefully,

Christopher

Christopher J. Beaudet, JCD
cjbeaudet@gmail.com
612. 239. 4659

Harry Davis

From: Torol Saddeus <jahanv@msn.com>
Sent: Wednesday, August 4, 2021 10:46 AM
To: Ken Roberts
Subject: Enterprise Rental Hearing

Caution: This email originated outside our organization; please use caution.

Hello,

I am unable to attend the hearing due to it occurring when I am working.

However, I do have some questions/comments/concerns about this proposal.

In the proposal they state that there is already an auto-body shop and that there are similar auto sales nearby (Which is false the nearest one that I can find on google is about 3 miles away - on the other side of the highway, in a large business center.) nearby so this shouldn't be any difference. I disagree with this sentiment, if you look at the auto-body shop that they're referring to, it is not really near any of the residences. It is also completely secluded by trees. Additionally, most of their clientele are towed there so there isn't as much traffic as one would think. Will they be required to also surround their business with a similar amount of foliage as to avoid being an eye sore? As it stands right now, we have a rental place which burned down last year - and doesn't seem like they're going to repair it. However they have made an effort to plant enough trees that in a few years it will be obscured from view for the neighborhoods.

Additionally, this states that their business will include both the rental and sale of vehicles. Does this imply that we're going to get people speeding through our neighborhoods to test out the cars? As it stands right now, our neighborhoods only get the traffic of the people living in them. So at the moment people feel safe letting their kids play in the street, bike around, etc... However the behavior of people driving a rental car vs their own car is quite a bit different, the same goes for when test driving and seeing 'what the vehicle can do.'

They also list, they only intend for their lot to be an outlet to the main road. however it isn't specific in this statement what the main road is, is the main road Jade Trail, or is the main road Hudson?

On the note of hazardous materials, they are a car rental place and typically those have gas stations built into them. Will this one have a fueling service, if so what measures will be taken to prevent contamination into the ground? Who will be accountable for any cleanup if in 10-20 years if they find the reservoir had been leaking into the ground? Same with having an on-site car wash. What assurances are there about the chemicals they will be using in the car wash, which will get into the air when the water mists? Car wash soaps do produce an odor that can travel distances as can be demonstrated by going near any car wash.

In section X it says that it will not generate excessive amounts of various pollutions. How is excessive defined? What happens if they do start to generate excessive traffic for instance?

In section xii. They declare that the land is bare. The land is certainly not bare. Bare is an empty parking lot. This land is a field with trees and wildlife.

I personally do not think this is a needed addition to the neighborhood and that this is going to be disruptive to many of the nearby residence lives. As I mentioned, the increase in vehicular traffic from people test driving vehicles will cause a nuisance for children playing in the immediate neighborhoods.

Seeing as I am unable to attend this hearing in person. How will I be able to hear the responses to these concerns?

Thanks,
Jahan.

Harry Davis

From: Calderon, Joshua <Joshua.Calderon@ehi.com>
Sent: Wednesday, August 4, 2021 11:15 AM
To: Ken Roberts
Cc: kevin@krdesign.com; Kevin L. Grube
Subject: Re: Enterprise Rental Hearing

Caution: This email originated outside our organization; please use caution.

Thanks Ken we can address these concerns. I can outline the other nearby auto related property that we are specifically referring to. Whether it's considered nearby or close enough I guess is relative. I'm not sure what Jahan is referring to regarding hiding the "eye sore", we do not handle repairs on site or store wrecked vehicles. The plans provided show a professional car sales facility? I also don't understand the burned down facility comment, we don't have a burned down facility anywhere.

We also will not have on site fuel.

The wash bay is intended for hand washing vehicles. No auto wash included. As a majority of our existing locations just involve an individual using a pressure washer. No under the hood degreasing will be involved.

Should we respond to the rest of Jahans concerns in a formal letter prior to the meeting? Is Jahan an engineer or member of the council?

Sent from my T-Mobile 5G Device
Get [Outlook for Android](#)

From: Ken Roberts <KRoberts@lakeelmo.org>
Sent: Wednesday, August 4, 2021, 11:00 AM
To: Calderon, Joshua
Subject: FW: Enterprise Rental Hearing

Joshua –

Please be prepared to answer his questions and concerns at the PC meeting.

Thanks –

Ken

From: Torol Saddeus [mailto:jahanv@msn.com]
Sent: Wednesday, August 4, 2021 10:46 AM
To: Ken Roberts <KRoberts@lakeelmo.org>
Subject: Enterprise Rental Hearing

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Hello,

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However, I do have some questions/comments/concerns about this proposal.

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Additionally, this states that their business will include both the rental and sale of vehicles. Does this imply that we're going to get people speeding through our neighborhoods to test out the cars? As it stands right now, our neighborhoods only get the traffic of the people living in them. So at the moment people feel safe letting their kids play in the street, bike around, etc... However the behavior of people driving a rental car vs their own car is quite a bit different, the same goes for when test driving and seeing 'what the vehicle can do.'

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Thanks,
Jahan.

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