

STAFF REPORT



CITY COUNCIL

DATE: 3/21/23

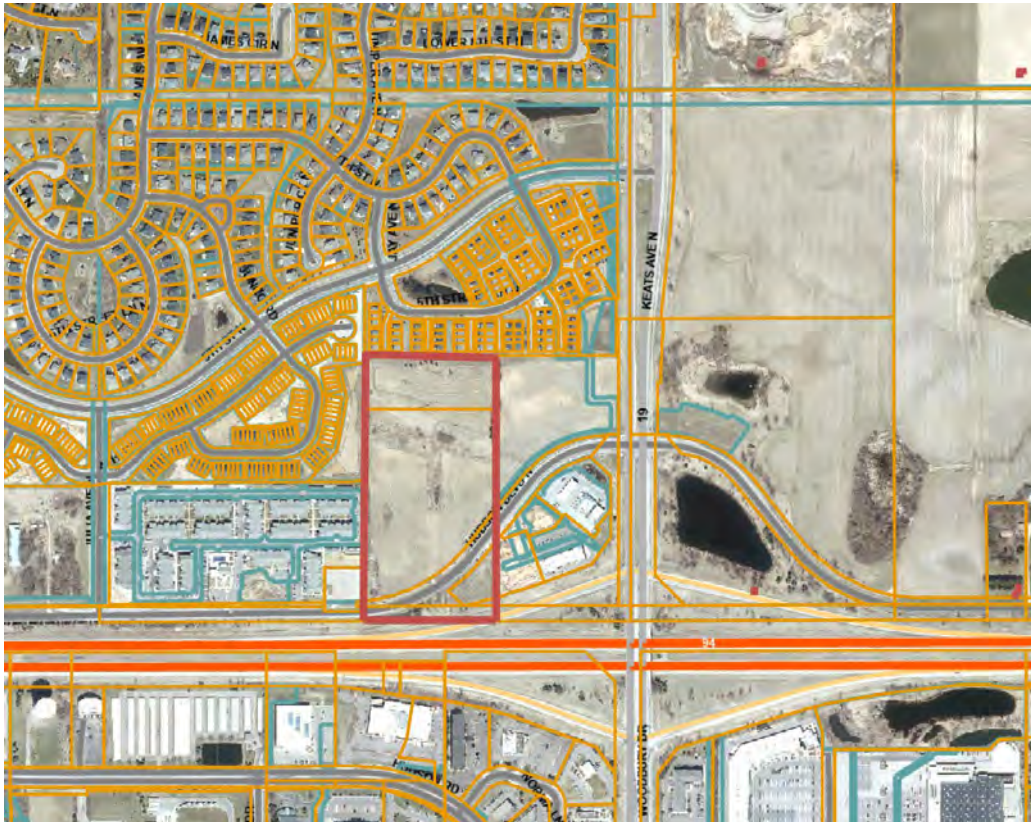
TO: City Council

FROM: Jenni Faulkner, Consulting Senior Planner
Nathan Fuerst, Consulting Planner

AGENDA ITEM: Drake Motor Partners for Preliminary Plat/Planned Unit Development

BACKGROUND:

Drake Motor Partners is requesting Preliminary Plat and Planned Unit Development (PUD) approval for a four-lot subdivision to facilitate the construction of an auto dealership (50,527 square feet) and a 3,270 square foot fast-food restaurant. The proposed development is located on Hudson Blvd west of Keats Avenue, abutting the Springs of Lake Elmo development. The developer will be rebuilding a portion of Hudson Blvd in conjunction with the proposed development. Users of two of the lots are currently unknown. The development is proposed as a PUD because the developer is requesting flexibility from the zoning and subdivision regulations.



ISSUE BEFORE THE CITY COUNCIL:

The City Council should review the application in the context of the Comprehensive Plan and City Code. The Council should discuss the proposed development and make a decision on the application by adoption of a resolution with findings and conditions.

GENERAL INFORMATION:

<i>Applicant:</i>	Jon Hauser, 496 S. Broadway, Denver, CO 80209
<i>Property Owner:</i>	Ebertz Enterprises, 1147 Clipper Way, Woodbury, MN
<i>Location:</i>	Two parcels west of Keats Ave and north of Interstate 94
<i>PID#s:</i>	34.029.21.44.0006 and 34.029.21.44.0004
<i>Request:</i>	Preliminary Plat/Planned Unit Development (PUD)
<i>Site Area:</i>	17.06 acres
<i>Land Use Map:</i>	Commercial (C)
<i>Current Zoning:</i>	C – Commercial
<i>Surrounding:</i>	MDR- Medium Density Residential (north); C- Commercial (east); I94/City of Woodbury (south); MDR- Medium Density Residential and HDR- High Density Residential (west)
<i>History:</i>	The parcel is undeveloped and currently zoned C. The City reviewed the PUD Concept Plan on November 28, 2022.
<i>Wetland:</i>	There is a small wetland located in the SW corner of the site
<i>Deadline:</i>	Application Complete – 2/13/23 60 Day Deadline – 4/14/23 Extension Letter – n/a 120 Day Deadline – n/a
<i>Applicable Code:</i>	Article 7- General Regulations Article 13 –Commercial District Article 18 – Planned Unit Development Regulations Title 103 – Subdivision Regulations Lake Elmo Design Guidelines

PROPOSAL DETAILS/ANALYSIS:

Block 2, on the north side of Hudson Boulevard, consists of three proposed lots with one shared private driveway. The proposed auto dealer on Lot 1 will consist of auto sales, service, parts, and a car wash. Automobile sales and storage lots, car wash, and automobile maintenance services are conditional use while automobile parts/supply are permitted uses. There is a large retaining wall on the adjacent residential property to the west. There are existing overhead powerlines along Hudson Boulevard which are proposed to remain. The users of Lots 2 and 3 are unknown at this

time. The developer has included a list of proposed allowed uses (commercial and light industrial) within the PUD, which should be reviewed and incorporated into the PUD by ordinance.

On the opposite side of Hudson Boulevard on Block 1, a fast-food restaurant (Dairy Queen) is proposed. The restaurant will have a drive-through and feature a small inside dining area as well as an outdoor dining area. The site will offer an internal driveway connection to the adjacent retail strip mall. Fast food restaurants are permitted use while drive-in (including drive-through's by definition) are a conditional use. Conditional uses are being requested as permitted uses within this PUD.

Site Data.

Total Site Area	17.06 acres
Right-of-Way (R/W)	0.09 acres
Wetlands	0.09 acres

SITE PLAN



PUD Minimum Requirements. The development is being proposed as a PUD because a private access drive is proposed along with shared stormwater ponding and signage. The developer proposes deviation from the zoning standards and from certain standards in the City's Engineering Design Standards Manual regulating public and private roads in Lake Elmo.

A PUD is a negotiated zoning district, and according to the Lake Elmo Zoning Code Article 18, Planned Unit Development Regulations, zoning flexibility can be granted in order to better utilize site features and to obtain a higher quality of development. When evaluating a PUD proposal, a PUD must meet one or more objectives contained in Article 18 and meet the minimum requirements for a PUD.

Identified Objectives. Staff has found that the following objectives **are** met with the proposed PUD.

- a) Innovation in land development techniques that may be more suitable for a given parcel than conventional approaches. ***The shared access drive and stormwater ponding areas allow for more efficient use of land.***
- b) Promotion of integrated land uses, allowing for a mixture of residential, commercial, and public facilities.
- c) Establishment of appropriate transitions between differing land uses. ***This overall PUD provides a buffer between the interstate highway and residential uses. There are site specific plantings proposed to buffer the adjacent high density residential uses and there is opportunity for future buffering with future uses on the northerly part of the PUD.***
- d) Provision of more adequate, usable, and suitably located open space, recreational amenities, natural resource protection and other public facilities than would otherwise be provided under conventional land development techniques. ***This is achieved with shared stormwater ponding.***
- e) Accommodation of housing of all types with convenient access to employment opportunities and/or commercial facilities; and especially to create additional opportunities for lifecycle housing to all income and age groups.
- f) Preservation and enhancement of important environmental features through careful and sensitive placement of buildings and facilities.
- h) Coordination of architectural styles and building forms to achieve greater compatibility within the development and surrounding land uses.
- i) Creation of more efficient provision of public utilities and services, lessened demand on transportation, and/or the promotion of energy resource conservation. ***With the proposed private access drive, there will be less demand on public services.***
- j) Establishing measures to protect and preserve groundwater storage.
- k) Allowing the development to operate in concert with a redevelopment plan in certain areas of the City and to ensure the redevelopment goals and objectives will be achieved.

Minimum Requirements for PUD. Staff has found that the proposed development **does** meet the following minimum requirements of a PUD:

- a. Lot Area: The site area exceeds the minimum lot area for of five acres for a PUD development. **Requirement met.**

- b. Open Space: The PUD ordinance indicates that at least 20% of the development area not within rights-of-way is to be reserved as open space. **Requirement met.** As a benefit to the PUD, the application is proposing future development on lots 2-3, Block 2 has a minimum of 25% open space. A condition is included.
- c. Street Layout: In existing developed area, the PUD should maintain the existing street grid, where present, and restore the street grid where it has been disrupted. In newly developing areas, streets shall be designed to maximize connectivity in each cardinal direction, except where environmental or physical constraints make this infeasible. All streets shall terminate at other streets, at public land, or at a park or other community facility, except that local streets may terminate in stub streets when those will be connected to other streets in future phases of the development or adjacent developments. **N/A**

Requested PUD Deviations:

1. Block 2 lots to have sole access from private driveway.
2. Lot 3, Block 2 to be created without street frontage.
3. Driveway width for combined Lots 1 & 2, Block 2.
4. A deviation to allow compatible, but not the same materials for trash enclosures.
5. Consider the longer front lot line of Lot 1 Block 1 the front (it's a corner lot).
6. Required screening from residential to not meet the ordinance along the westerly lot line of Lot 1 Block 2 due to steep grade and existing retaining wall.
7. Deviation to not meet the one tree per 50 feet of frontage (along Hudson Boulevard) and parking lot screening due to existing utilities and overhead powerlines that will remain in the boulevard area and proposed sidewalk/trail.
8. Lighting to exceed 0.4-foot candles at the property line between Lots 1-2, Block 2 and on Lot 1, Block 1.
9. Comprehensive Sign Plan to allow off-premises signs for entire PUD; multi-colored digital sign; digital sign exceeding 40 sq. feet; freestanding sign height of 50'; consider the private driveway to be street frontage; increase in number of wall signs; increase in size of wall signs; decreased ground sign setback; and increase in square footage allowed for ground sign and wall signs.
10. Deviations to design guidelines including allowing the trash enclosure on Lot 1 Block 2 to be within the setback area, allowing more than 60% parking frontage on a public street (Lot 1 Block 1), allow primary colors on Lot 1, Block 1.

PUD Ordinance: The City Code requires the Planning Commission review a draft PUD Ordinance as part of the a PUD approval. It is attached for review and Council consideration. The ordinance is adopted as part of the final PUD.

Required vs. Proposed C- Commercial Bulk Standards

Cells in the 'As Proposed' column shaded in **blue** indicate a deviation from City Code.

Lots 1-3 Block 2 are proposed to be accessed from a shared private driveway. Setbacks are measured from the actual property lines. The proposed development of Lot 1 meets setbacks as

measured from the back of curb (implied property line). A condition is included providing that setbacks are measured from the edge of the driveway for future development.

Lot 1, Block 1 is considered a corner lot due to the curve in Hudson Blvd. and the lot abutting the street right-of-way on both sides (see preliminary plat drawing). Generally, on a corner lot the side with the shortest dimension is considered the front, however given the side is excess right-of-way and not an actual street, and this is a PUD, the longer side fronting the street is being considered the front.

Standards (105.12.930)	C- Commercial	As Proposed Auto sales lot (L1 B2)	Vacant Lot (L2 B2)	Vacant Lot (L2 B2)	As proposed Fast Food Lot (L1 B1)
Minimum Lot Area	20,000 sq. feet	269,112 sq. ft	116,440 sq. feet	312,863 sq. ft	40,681 sq. ft
Minimum Lot Width	100 feet	603 feet	327 feet	n/a	248 feet
Max Impervious Cover	75%	74.1%			67%
Minimum Setback - Front	30 feet	295 feet			63 feet
Minimum Setback - Side	10 feet	107 feet west 98 feet east (to drive centerline)			35 feet
Minimum Setback- Corner side	25 feet	n/a			97 feet
Minimum Setback - Rear	30 feet	86 feet			40 feet
Setback from residential zones	50 feet	107 feet			n/a
Maximum Height	45 feet	30 feet			20 feet
Parking- Front Yard setback	15 feet	15 feet			15.7 feet
Parking – Interior side setback	10 feet	36 feet west 55 feet east (to drive centerline)			n/a
Parking- Corner side yard setback	15 feet	n/a			20 feet
Parking- Rear yard setback	10 feet	10 feet			11.2 feet
Parking setback from residential zones	35 feet	36 feet			n/a
Driveway Setback from intersection	n/a	n/a			n/a
Driveway setback from side lot line	5 feet	met			10.7 feet
Driveway Width	20-34 feet	41 feet, for the shared driveway			28 feet

The developer is proposing a maximum height of 30 feet for the future development of Lots 2-3, Block 2. A condition has been added.

Further, 105.12.950 Commercial Districts has specific regulations for automobile maintenance service and automobile parts/supply and requires that all repairs are conducted within an enclosed building and that the storage or display of inoperable or unlicensed vehicles or other equipment shall meet all setback requirements of a primary structure and shall be totally screened from view from adjacent public streets and adjacent residential properties. A condition has been added.

Architecture: There are two buildings proposed at this time within the PUD. An automobile dealership with sale, service, retail, and car wash are proposed on Lot 1, Block 2, and a fast-food restaurant (Dairy Queen) is proposed on Lot 1 Block 1.

The automobile dealership proposed materials are:

- Painted tip-up concrete panels in dark gray
- Stucco accent panels in light gray
- Metal wall panels (front) light gray
- Glass on front façade
- 2 overhead doors on front and one on each side, none on the rear

A trash enclosure is proposed with painted CMU blocks and steel gates. Section 105.12.940 requires exterior storage to be screened from streets and residential properties. Screen walls are to be of the same materials as the principal building. A deviation to allow compatible, but not the same materials is being requested. The trash enclosure is located 35 feet from the side lot line abutting residential and 30 feet from the rear lot line. This meets required zoning setbacks (but not the design guidelines, discussed further in this report). The enclosure is in the northwest corner of the site adjacent to the residential property to the west. Given the large retaining wall on the residential property to the west, it will be less visible if placed closer to the wall.

The fast food restaurant materials are:

- EFIS- dark panels on the entry façades, light panels on the side and rear, red accent panels on long sides of building, and blue accent for “Blizzard” wall sign.
- Glass throughout (except back façade)
- Metal panel (red around entry); metal coping; drive-up window
- Corrugated metal accent on top front and side facades
- Outdoor seating area is enclosed with decorative fence and stone accents

A trash enclosure is proposed to be located behind the building and is setback the required 10 feet from the side and rear property lines. It is proposed to be constructed of split face block painted with color to match the dark EFIS of the restaurant. Screen walls are to be of the same materials as the principal building. A deviation to allow compatible, but not the same materials is being requested. The gates are constructed of solid composite board materials.

Mechanical Equipment 105.04.040: Requires all mechanical equipment to be screened. The automobile building proposes four mechanical units and a roof-top exhaust. They are completely behind the parapet as viewed from the south (front). One or two are partially visible from the

other sides. On the restaurant building three mechanical units are proposed on the roof. They are partially screened with the proposed parapets. Attached are renderings with sightlines.

Design Review Guidelines: The standards in the guidelines call for aesthetically pleasing and compatible site design. The proposed two sites generally meet the standards. While not every suggested standard can be met, overall, this is an auto oriented commercial development that from a design standpoint, will be an asset to the City. The two buildings are modern in design and colors and of good architectural materials. The longer walls of the auto dealer are broken with panels of varying texture and color. The scale of the buildings as viewed from the public street is relative and human scale. The site design incorporates pedestrians ways and landscaping. Parking is oriented away from Hudson Boulevard, except on Lot 1 Block 1, where the site is very limited for alternatives. There is an outdoor dining space at the fast-food restaurant. Having a shared access point for multiple buildings is preferred as well as buildings oriented towards the street frontages. The trash enclosure on Lot 1, Block 2 will be screened better by placing it closer to the property line (within setback area) due to the grades in the vicinity.

Interstate Corridor Overlay District 105.04.590 : This overlay applies to lands near the interstate. The proposed PUD complies with the ten general requirements. Uses may also be subject to additional setbacks to mitigate from adjacent uses. In addition, there are architectural requirements that must be met:

No galvanized or unfinished steel, galvanized or unfinished aluminum buildings (walls or roofs), except those specifically intended to have a corrosive design finish, such as Corten steel, shall be permitted. Any exposed metal or fiberglass finish on all buildings shall be limited to 50 percent of any one wall. Exterior building finishes shall consist of materials comparable in grade and quality to the following: brick; natural stone; decorative concrete block; cast-in-place concrete or precast concrete panels; wood, provided the surfaces are finished for exterior use and wood of proven exterior durability is used such as cedar, redwood, and the like; curtain wall panels of steel, fiberglass, and aluminum (non-structural, non-load bearing), provided the panels are factory fabricated and finished with a durable non-fade surface with fasteners of a corrosive-resistant design; glass curtain wall panels; stucco.

Additional information is needed to determine compliance such as the percentage of metal, and types of metal and finishes. A condition has been added to provide additional detail with the final PUD/Plat submittal.

Parking 105.12.410: City code requires stalls to be 9' by 18' for 90-degree parking. This has been met along with minimum drive aisle of 20' and curbing. For the auto dealer, 351 stalls are proposed. Based on the ordinance for vehicle sales (and related uses) 1 space per 250 square feet of indoor sales area plus one space per 2,000 square feet of outside sales or display area and one space per 2,000 square feet of storage area. This results in 166 stalls being required. The applicant proposes 127 stalls for customers, 39 stalls for employees, and 200 for vehicle display/storage. The number of required parking stalls has been met.

For the restaurant, 31 stalls are proposed. Based on the ordinance, 1 space per three customer seats or each 100 square feet of interior space (the greater), plus one space per 200 square feet exterior seating area. This results in a minimum of 31 stalls being required. The proposed drive-through provides the minimum queuing space for at least three vehicles in advance of the menu board and three vehicles between the menu board and pick-up window.

Loading 105.12.420: City code requires one off-street loading berth shall be provided every 30,000 square feet gross floor area or fraction thereof and that it be designated on the site. A loading berth shall be located at least 25 feet from the intersection of two street rights-of-way and at least 50 feet from a residential district unless within a building. Loading berths shall not occupy the required front yard setback and not be less than 12 feet in width, 50 feet in length and 14 feet in height, exclusive of aisle maneuvering space. No loading areas is noted on the plans. A condition has been added.

Standards for Automotive/Vehicular uses 105.12.530

City code specifies specific standard for car washes and sales and storage lots. The proposed car wash is inside the building and not for general public use.

Car wash criteria are met:

1. The car wash shall be capable of being enclosed when not in operation.
2. Any access drive shall be located at least 30 feet from any public street intersection, measured from the interior curb line commencing at the intersection of the street.
3. Any car wash line exit shall be at least 30 feet distant from any street line.
4. Sound from any speakers used on the premises shall not be audible above a level of normal conversation at the boundary of any surrounding residential district or on any residential property. (Condition added)
5. Water from the car wash shall not drain across any sidewalk or into a public right-of-way.

Automobile sales and storage criteria are met with conditions:

1. Size and location. The site shall be a minimum of 20,000 square feet in size and shall have access to a collector or higher classification street. Vehicular access to the outdoor sales area shall be at least 60 feet from the intersection of any two streets.
2. All vehicle repairs shall be conducted in a completely enclosed building. (Condition added)
3. A site plan shall be submitted showing the layout of vehicles for sale or rent, employee parking and customer parking.
4. Sound from any speakers used on the premises shall not be audible above a level of normal conversation at the boundary of any surrounding residential district or on any residential property. (Condition added)

Standard for Food Service 105.12.520

City code specifies specific standard for restaurants with a drive-through. The proposed Dairy Queen will have a drive-through. The standards are met.

1. Drive-through elements shall not be located between the front facade of the principal building and the street. No service shall be rendered, deliveries made or sales conducted within the required front yard, although tables may be provided for customer use.

2. Site design shall accommodate a logical and safe vehicle and pedestrian circulation pattern. Adequate queuing lane space shall be provided, without interfering with on-site parking/circulation.
3. Drive-through canopies and other structures, where present, shall be constructed from the same materials as the primary building, and with a similar level of architectural quality and detailing.
4. Sound from any speakers used on the premises shall not be audible above a level of normal conversation at the boundary of any surrounding residential district or on any residential property. (Condition added)
5. Each food or beverage drive-through business shall place refuse receptacles at all exits. (Condition added)

Landscaping and Tree Preservation: The City's Consultant Landscape Architect has reviewed the proposed Landscape Plans and provide comments dated February 27, 2023. A revised tree preservation and landscape plan meeting ordinance requirements is required to be submitted with the final plat/PUD. The applicant is requesting PUD flexibility from the one tree per 50 feet of frontage due to existing utilities and overhead powerlines that will remain in the boulevard area.

Screening 105.04.040: Screening is required along Lot 1 Block 2 and Lot 3 Block 2 as they both abut residential uses. Required screening is to be minimum 6 feet tall (above elevation of less intensive use) and 90% opaque year-round. The ordinance says screening up to 8 feet may be required where automotive uses abut residential uses. On Lot 1 Block 2, The applicant is proposing a variety of 8' tall coniferous trees within the westerly buffer area. The grade difference ranges from 4-12' along that side lot line. The applicant is not proposing a fence in this area due to an existing retaining wall and the grades between the properties. The required trees/screen does not cover the entire side lot line abutting residential, however the slopes may be problematic for planting and maintenance. It is reasonable to grant a deviation for screening given the topography of the buffer area.

Screening will also be required along vacant Lot 3, Block 2. Because the use is not known, the developer is proposing a 6' tall privacy fence along the northerly lot line. Plantings are not proposed at this time; however a planting area is identified. A condition has been added that the future use must comply with the screening requirements.

Parkland Dedication 103.00.150: Chapter 6 Parks, Trails & Open Space has area and site-specific recommendations for future parks and trails. A future trail is shown north of this site within residential neighborhoods and east of the site along Keats Avenue. The City Code outlines the type of land that is considered acceptable for park dedication. For C- Commercial district cash payment in lieu of land is required in the amount of \$6,000 per acre. This equates to \$102,360 if the plat is recorded in 2023. A condition has been added that this is paid prior to recording of the final plat.

Wetlands: There is a small wetland located on Lot 1, Block 2 in the southwest corner. There will be approximately 1,500 sq. feet of this wetland filled which is adjacent to the Hudson Boulevard. A condition regarding required mitigation is included.

Streets and Access: Access to Lots 1-3, Block 2 will be provided from a private shared commercial drive that extends north from Hudson Boulevard through the center of the site. The private driveway is proposed at the approved Hudson Boulevard access location for the north parcel. Due to Fire Code regulations, there are limitations on the size of future buildings accessed from this private drive. A condition has been added limiting the total square feet of buildings on Lots 1-3 Block 2 to not exceed 124,000 sq. feet unless a secondary access is approved by the City. Lot 1, Block 1 is also proposing to connect driveways with the adjacent retail strip center. Pedestrian access is proposed with a marked crosswalk across Hudson Boulevard. Sidewalk and trails will be connected within the PUD and to the adjacent properties.

Subdivision requirements: The subdivision has been reviewed in conjunction with the PUD. Deviations from the standards are allowed with the PUD. The proposed lots meet minimum lot area and width requirements. A deviation is being request to allow lots to front on a private driveway versus a required public street (103.00.140) The City Attorney needs to review the title work and provide a plat opinion prior to review of the final plat. A condition is included. A Developers Agreement will be required as part of future plat approval. The City Engineer has reviewed for conformance with engineering standards. His memo is attached, and all items are to be addressed as part of the final plat submittal.

Lighting 105.04.070: City code requires that light fixtures be downcast and shielded. Light quantities shall exceed one footcandle meter reading as measured from the centerline of the street, nor shall any light or combination of lights, which cast light on an adjacent property, exceed 0.4 footcandles as measured from said property line.

The auto dealer is proposing downcast and shielded light fixtures that are wall mounted and on poles. Pole heights are 8 feet and 25 feet on 2.5-foot base. (Not taller than the building). Foot candles exceed .4 at the property lines along the private drive, between Lots 1-2, Block 2 and are close to zero at the front line (thus meeting centerline foot candles). On the fast-food site, 18-foot-tall poles on 2 foot base are proposed (same height as the building). Foot candles proposed are .6 on the corner side lot line, 1.4 on the rear lot line and 2.6 on the side abutting the retail strip mall. The footcandles meet the ordinance at the centerline of the street. Deviations are being requested to exceed the footcandles as noted on the plans.

Comprehensive Sign Plan: A Comprehensive sign plan is proposed for this PUD (attached). A deviation is being requested to consider the private driveway a street frontage for purposes of this PUD. The applicant is proposing wall signs, ground signs, and directional and informational signs. Sign permits are required and they must comply with the approved Comprehensive Sign Plan and City Ordinances. The sign ordinance has illumination standards. This information has not been provided. The Comprehensive Sign Plan shall be revised to show how this is met or language added that it will meet sign illumination requirements upon permit submittal.

One wall sign and one ground sign per street frontage is allowed with exceptions. For buildings with over 100 feet of frontage, up to 3 ancillary wall signs are allowed. The maximum allowed wall sign is 1 sq. foot per length of building frontage. The maximum size of any wall sign is 100 sq. feet.

Lot 1, Block 1, the fast-food restaurant has multiple wall signs on three of the four walls. No sizes are given to make a determination. The front façade is 80 feet, resulting in 80 sq. feet of wall signage being allowed on one façade. The proposed sign plan calls for up to 150 sq. feet per façade and 3 walls signs. A condition has been added to amend the Comprehensive Sign Plan to provide additional information and accurately reflect the number of signs proposed.

Lot 1, Block 2, the automobile dealer is proposing a 95 sq. foot primary wall sign on the front of the building along with a 12 sq. foot informational wall sign for the service garage and a 35 sq. foot logo sign. There is a 58 sq. foot wall sign proposed on the east elevation facing the private driveway. The front of the automobile dealer is 197 feet equating to 197 sq feet of signage on that façade. They are not exceeding this amount. However, the proposed sign plan calls for up to 300 sq. feet and the proposed sign plan indicates 150 sq. feet is allowed per façade. This should be updated to accurately reflect what the code allows.

Signage for Lot 2 and Lot 3 of Block 2 are unknown currently. The Comprehensive Sign Plan calls for 3 walls signs and 2 ancillary wall signs with a total of 300 sq. feet being allowed opposed to a total of 150 sq. feet allowed. And future signs are seeking to be up to 150 sq. feet each (rather than 100 sq. feet allowed).

Two ground signs are proposed. Due to the location near the interstate, ground signs may be up to 30' tall and 250 sq. feet. A 30' tall directory sign is proposed at the entrance to Lot 1 Block 2 and a 50' tall ground sign is proposed on the back of Lot 1, Block 1 (the fast-food restaurant) facing Interstate 94. Ground signs setbacks are the same as the height of the sign. The 30' tall sign at the entrance to the auto dealer meets the size, height, and setbacks allowed. The 50' tall sign proposed on the fast-food restaurant site faced the interstate. It is proposed to be 565 sq. feet. and containing a 108sq. foot digital sign panel. The applicant is seeking a deviation to allow multi-colored signs for the digital sign as well as a digital sign larger than 40 sq. feet. This sign would require a 50' setback given its height. It is shown to be up to the property line. A deviation is requested; however, it should not be located within any public easements. Landscape features are required to be installed at the base of ground signs. A condition has been added.

City Engineer Comments: See attached memo dated February 28, 2023. There are several comments regarding easements and proper dedication of easements. A condition of Preliminary Plat approval requires the applicant to revise the site plans, utility plans and grading plans to address each review comment and condition of approval to the satisfaction of City staff, as part of the Final Plat application. Further, a condition of Preliminary and Final Plat/Plan approval is that all public improvements constructed to support the development must be designed and constructed in accordance with the City Engineering Design Standards Manual dated January 2022, unless approved otherwise by the City Engineer.

Fire Chief Comments: See attached memo dated March 2, 2023.

Valley Branch Watershed District: The city has not received comments to date from the watershed district. The applicant will have to comply with comments and permits from the watershed.

City Attorney Review: The City Attorney has reviewed the Covenants and Restrictions for the PUD and finds them acceptable. A plat opinion is required prior to recording of the final plat. A condition has been added.

RECOMMENDED FINDINGS:

Recommended Findings for Preliminary Plat/Preliminary PUD. Staff recommends approval of the Preliminary Plat/Preliminary PUD for PID 34.029.21.44.0006 and 34.029.21.44.0004 based on the following findings:

1. That the Preliminary PUD Plan would be consistent with the intent of the 2040 Lake Elmo Comprehensive Plan and the 2040 Land Use Map for this area.
2. That the preliminary PUD Plan complies with the general intent of the C- Commercial zoning district with PUD modifications.
3. That the preliminary PUD Plan generally complies with the Lake Elmo Design Guidelines and Standards Manual.
4. That the preliminary plat generally complies with the City's Subdivision regulations.
5. That the preliminary plat generally complies with the City's design standards.
6. That the preliminary plat generally complies with the City's Zoning Code with the exceptions provided for in the PUD.
7. That the preliminary plat and PUD Plan must be revised to address the comments noted in the City Engineer's memorandum.
8. That the preliminary PUD Plan must be revised to be consistent with City's landscape plan and tree replacement standards pursuant to the Landscape Architects memo.
9. That the preliminary plat and PUD Plan must be revised to address the comments noted in the Fire Department memo.
10. That the preliminary PUD Plan meets the minimum requirements for a PUD.
11. That the preliminary PUD Plan meets items a, c, d, and i from the identified PUD objectives identified in Section 105.12.1130. Planned unit developments should not be allowed simply for the purpose of increasing overall density or allowing development that otherwise could not be approved.
 - a) Innovation in land development techniques that may be more suitable for a given parcel than conventional approaches. ***The shared access drive and stormwater ponding areas allow for more efficient use of land.***
 - b) Promotion of integrated land uses, allowing for a mixture of residential, commercial, and public facilities.
 - c) Establishment of appropriate transitions between differing land uses. ***This overall PUD provides a buffer between the interstate highway and residential uses. There are site specific plantings proposed to buffer the adjacent high density residential uses and there is opportunity for future buffering with future uses on the northerly part of the PUD.***
 - d) Provision of more adequate, usable, and suitably located open space, recreational

amenities, natural resource protection and other public facilities than would otherwise be provided under conventional land development techniques. ***This is achieved with shared stormwater ponding.***

e) Accommodation of housing of all types with convenient access to employment opportunities and/or commercial facilities; and especially to create additional opportunities for lifecycle housing to all income and age groups.

f) Preservation and enhancement of important environmental features through careful and sensitive placement of buildings and facilities.

h) Coordination of architectural styles and building forms to achieve greater compatibility within the development and surrounding land uses.

i) Creation of more efficient provision of public utilities and services, lessened demand on transportation, and/or the promotion of energy resource conservation. ***With the proposed private access drive, there will be less demand on public services.***

j) Establishing measures to protect and preserve groundwater storage.

k) Allowing the development to operate in concert with a redevelopment plan in certain areas of the City and to ensure the redevelopment goals and objectives will be achieved.

12. That the site will be served by public utilities, not have a detrimental impact on traffic, supply adequate off-street parking.
13. That the proposed land uses will be compatible both in terms of internal site plans, and with regard to adjacent land uses.
14. That the site complies with wetland, stormwater management requirements.
15. That the use will maintain standards of architectural design and building quality consistent with the uniform building code and all other applicable city codes,
16. That the proposed use will not create fiscal problems for the city or adversely impact the health, safety, or welfare of the city.
17. That the proposed uses will bring commerce and employment to the city.

Recommended Conditions of Approval. Staff and Planning Commission recommends the City Council approve the preliminary PUD and preliminary plat for PID 34.029.21.44.0006 and 34.029.21.44.0004 as proposed with the following conditions:

1. As part of final PUD submittal, plans shall be revised to indicate the location of the required off-street loading area for Lot 1 Block 2. Provision of City Code 105.12.420 Off Street Loading shall be met.
2. As part of final PUD submittal, the plans shall indicate the percentage of building materials and more detail of types of materials to show compliance with Interstate Corridor Overlay District architectural requirements (105.04.610)
3. As part of final PUD submittal, the Comprehensive Sign Plan shall be revised to accurately reflect the number and size of wall signs proposed for Lot 1, Block 1; to accurately reflect the maximum wall area allowed per façade; to incorporate landscape features around the

- base of all permanent ground signs; provide foot candle measurements or statement to meet the ordinance.
4. That the application for final plat and final PUD Plans identify all requests for flexibility from the City Code.
 5. The applicant shall revise the site plans, utility plans and grading plans to address each review comment and condition of approval to the satisfaction of City staff, as part of the Final Plat application.
 6. That prior to the City finding any application for final plat and PUD plan complete the applicant shall address all comments in the City Engineer's memo dated February 28, 2023 to the satisfaction of the City Engineer.
 7. That prior to the City finding any application for final plat and PUD plan complete the applicant shall revise the landscape plan and tree preservation plan in accordance with the City Landscape Architect's memo dated February 27, 2023 to the satisfaction of the City Landscape Architect.
 8. That prior to the City finding any application for final plat and PUD plan complete the applicant shall revise the preliminary plat and PUD Plan to address any comments received by Washington County.
 9. That prior to the City finding any application for final plat and PUD plan complete the applicant shall demonstrate compliance with the items listed in the March 1, 2023, memo from the Fire Department to the satisfaction of the Fire Chief.
 10. The City Attorney shall issue a plat opinion certifying that the plat, title evidence, and all agreements and documents required under this title meet the requirements of the city prior to City Council review or approval of the final plat.
 11. The Final Plat/Final PUD shall include all necessary and additional public right-of-way and easements.
 12. If necessary, the applicant shall provide the City with a copy of written permission for any off-site grading work and storm sewer discharges to adjacent properties before starting any site work, grading and as part of any final plat or final PUD application.
 13. The Preliminary Plat/Preliminary PUD approval is conditioned upon the applicant meeting all City standards and design requirements unless specifically addressed otherwise in these conditions.
 14. The total square feet of buildings on Lots 1, 2, and 3 Block 2 shall not exceed 124,000 sq. feet unless a secondary access is approved by the City.
 15. Future development of Lots 2-3 Block 2 shall provide a minimum of 25% open space.
 16. A maximum height of 30 feet shall be required for the future development of Lots 2 and 3, Block 2.
 17. Setbacks for Block 2 along the shared private drive shall be met as measured from the edge of the shared driveway. All other setbacks shall be that of the C underlying zoning district.
 18. The future use of Lot 3, Block 2 shall comply with the screening requirements from abutting residential uses to the north.
 19. For purposes of this PUD and allowed signage, the private driveway shall be considered street frontage.
 20. All automobile repairs are conducted within an enclosed building and the storage or display of inoperable vehicles or other equipment shall meet all setback requirements of a

- primary structure and shall be totally screened from view from adjacent public streets and adjacent residential properties.
21. Sound from any speakers used on the premises shall not be audible above a level of normal conversation at the boundary of any surrounding residential district or on any residential property.
 22. Each food or beverage drive-through business shall maintain refuse receptacles at all exits.
 23. Sign permits are required and they must comply with the approved Comprehensive Sign Plan and City Ordinances.
 24. All public improvements constructed to support the development must be designed and constructed in accordance with the City Engineering Design Standards Manual dated January 2022, unless approved otherwise by the City Engineer.
 25. The applicant shall verify compliance with Valley Branch Watershed (VBWD) comments and that the applicant provide the City evidence that all conditions attached to a VBWD permit will be met before the starting any grading activity on the site.
 26. That the applicant shall obtain all necessary permits including but not limited to all applicable City permits (building, grading, wetland, sign, etc.), NPDES/SWPPP permits and Valley Branch Watershed District approval before starting any grading or construction activities.
 27. A wetland permit is required for the proposed wetland filling. Required wetland mitigation shall be provided for at the time of permit.
 28. The applicant/developer is responsible, at their own expense, for installing all required right of way improvements. Improvements in Hudson Boulevard shall be consistent with Washington County and city standards.
 29. Park dedication in the amount of \$102,360.00 shall be paid prior to paid prior to recording of the final plat.
 30. A storm water maintenance and easement agreement in a form acceptable to the City shall be executed and recorded with the final plat.
 31. A landscape and irrigation license agreement in a form acceptable to the City shall be executed and recorded with the final plat.
 32. The finalization, adoption, and publication of an overlay district ordinance shall occur before the recording of the final plat.
 33. Before the execution and recording of a final plat for the development, the developer or applicant shall enter into a Developer's Agreement or a Site Work Agreement with the City. Such an Agreement must be approved by the City Attorney and by the City Council. The Agreement shall delineate who is responsible for the design, construction and payment for the required improvements with financial guarantees therefore. The Agreement shall outline any approved phasing plan.
 34. The applicant or developer shall enter into a separate grading agreement with the City before starting any grading activity in advance of final plat/ PUD approval. The City Engineer shall review any grading plan that is submitted in advance of a final plat or final PUD, and said plan shall document the extent of any proposed grading on the site.
 35. That the applicant shall submit revised preliminary plat and project plans meeting all conditions of approval for City review and approval. The revised applicant/developer project plans and other materials shall meet all of the above conditions before the City

will find complete any final plat or final PUD application for the development and before the start of any clearing or grading activity on the site.

36. That the City's preliminary plat/preliminary PUD approval is good for one year from the date of City Council action, unless the applicant requests and the City Council approves a time extension.

FISCAL IMPACT: Approval of a Preliminary Plat and Preliminary PUD grant entitlements to a developer however there would be no fiscal impact to the City at this time. A final plat/PUD is required along with a Development Agreement which will detail public improvements and address fiscal impacts. When the property begins to develop it will have urban services and will require development fees.

PLANNING COMMISSION REVIEW: The Planning Commission held a public hearing on March 13, 2023. Four written comments were received in advance of the hearing and five people spoke at the hearing. The written comments are attached. The public concerns are summarized to be primarily from the abutting residences about buffering and the views and lights from the proposed adjacent commercial uses. Most of the comments relate to the proposed auto dealer and it is the use that abuts the residential. There is concern about the loss of trees/open space, proposed inadequate buffering between uses with fencing and landscaping, and lighting. There were also comments about noise/speakers and odor from the trash. A couple of the comments asked for an environmental review and concern over property values with the loss of a view and a car lot abutting. There were not specific comments about the DQ restaurant as it was noted to be on the other side of Hudson and not abutting the homes. Although, one of the written comments is from the adjacent retail strip center supporting the project but not the 50' sign on the DQ site.

The applicant was not given the opportunity to respond to the comments at the hearing. The two Commissioners for voted to recommend dental noted concerns with:

- Inadequate landscaping, particularly along the westerly lot line
- The screening abutting residential needs more landscaping/fencing
- Defining the buffers areas to the residential uses to the west
- The proposed 50' tall sign does not fit in the neighborhood. 30' is what's in the neighborhood
- Concern about the future uses and asking for all permitted uses versus some conditional
- Lighting that exceeds footcandles in two places along internal lot lines
- The number of conditions and deviation overall

The Planning Commission Chair agreed with the two Commissioners, however, he supported adding more conditions versus a denial and cast a dissenting vote. He also noted the number of conditions was not out of the realm of what the Commission has seen before.

Since the Planning Commission hearing, the applicant is prepared to make changes to address some of the neighborhood concerns. Attached is a letter detailing the plan changes. In summary, they will:

- Relocate the trash enclosure to meet setbacks (thus eliminating the deviation, although it will likely be more visible given the grades)
- Add more landscaping to address city comments and provide more screening
- Extend the fence along the westerly lot line behind Union Park neighborhood (up to the retaining wall). The fence will be high quality composite materials.
- Significantly reduce the permitted uses within the PUD. Uses not listed will follow the C zoning district uses.
- Restrict wall signage to not face the north or west walls on Block 2 (not facing the residential).
- While they could reduce the lighting along internal property lines, they feel it should remain as is for safety reasons. The lighting exceeding the foot candles does not abut residential, the two areas along commercial to commercial uses.

RECOMMENDATIONS:

Preliminary PUD/Preliminary Plat

Staff recommend that the City Council approve the proposed preliminary PUD plan and preliminary plat for the subject property with the recommended conditions of approval listed in the staff report and with plan changes proposed by the applicant since the hearing. Should the Council modify the conditions, those should be clearly stated and part of the motion.:

“Motion to adopt Resolution 2023-023 approving the preliminary PUD plan and preliminary plat as requested by Jon Hauser, Drake Motor Partners Le LLC based on the findings of fact and recommended conditions of approval listed in the staff report and plans as proposed to be modified by the applicant dated 3/14/2023”

The Planning Commission has recommended that the City Council deny the proposed preliminary PUD plan and preliminary plat for the subject property. Attached is a resolution denying the application with findings as stated by the Planning Commission.

“ Motion to adopt Resolution 2023-023 deny the preliminary PUD plan and preliminary plat as requested by Jon Hauser, Drake Motor Partners Le LLC based on the findings of fact”

ATTACHMENTS:

1. Application Narrative, including proposed PUD uses
2. Preliminary Plat, PUD, Architectural Plans Auto Dealer
3. Preliminary Plat, PUD, Architectural Plans Fast Food
4. Comprehensive Sign Plan
5. Fire Chief Memo
6. City Engineer Memo
7. Landscape Architect Memo
8. Draft PUD Ordinance
9. Public Comments
10. Resolution of Approval

11. Resolution of Denial
12. Applicant Correspondence on plan modification



Preliminary Plat and Preliminary
Planned Unit Development
Narrative

Lake Elmo, MN

Prepared for:



February 28, 2023



SUBMITTED TO
Lake Elmo Planning & Zoning
3880 Laverne Avenue N
Lake Elmo, MN 55042



PREPARED BY
Landform Professional Services, LLC
105 5th Ave S, Suite 513
Minneapolis, MN 55401

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Introduction

On behalf of Drake Motor Partners LE LLC, Landform is please to submit this application for Preliminary Plat and Preliminary Planned Unit Development (PUD) approval to allow for the construction of an electric auto dealership and services building and fast food restaurant (Dairy Queen) on the Ebertz property along Hudson Boulevard. Our redevelopment plan includes a plat to create four lots from the two existing lots. We are excited about the improvements for this site.

The property includes the following PIDs:

Parcel #1 – PID 34.029.21.44.0006

Parcel #2 – PID 34.029.21.44.0004

The legal description of the property is as follows:

THE WEST ONE-HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 29, RANGE 21, EXCEPT THAT PART DEPICTED AS PARCEL 33B ON MINNESOTA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY PLAT NO. 82-43 FILED MARCH 22, 1982, AS DOCUMENT NO. 429592, WHICH WAS TAKEN BY THE STATE OF MINNESOTA IN FINAL CERTIFICATE DATED OCTOBER 4, 1989, FILED OCTOBER 24, 1989, AS DOCUMENT NO. 613150.

WASHINGTON COUNTY, MINNESOTA

Project Contacts

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Engineer: Tom Meyer, PE
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612-638-0241

Dairy Queen Engineer: Joseph Radach, PE
8915 Vernon Street
Rockford, MN 55373
jradach@contoured.com
612-730-2265

Existing Conditions

The site is currently vacant. There is an existing 0.12-acre wetland in the southwest corner of the site. The site is guided and zoned Commercial and surrounding properties are zoned Medium Density Residential PUD to the north, Commercial to the east and High Density Residential PUD to the west. Interstate 94 and the City of Woodbury are located to the south.

The existing south parcel is 14.2-acres in size and the north parcel is 4.0-acres in size. Hudson Boulevard divides the southern parcel into a 13.27-acre section north of the road and a 0.93-acre section south of the road. The northern parcel does not have any existing street frontage.

Preliminary Plat

We are requesting approval of a preliminary plat to establish four lots from two existing lots. The four proposed parcels comply with the minimum lot requirements with the exception of the Lot 3, Block 2 minimum lot width for which flexibility has been requested via the PUD.

Lot 1, Block 1:	0.93-acre lot south of Hudson Boulevard for a fast-food restaurant (Dairy Queen).
Lot 1, Block 2:	6.57-acre lot north of Hudson Boulevard for the auto sales and service.
Lot 2, Block 2:	2.07-acre outlot north of Hudson Boulevard for future commercial development.
Lot 3, Block 2:	7.49-acre outlot north of Hudson Boulevard for future commercial development.

Site Plan

Lots

The proposed development will create four lots, which will comply with the minimum lot requirements for the Commercial district:

	C District Allowed	Lot 1, Block 1 Proposed	Lot 1, Block 2 Proposed	Lot 2, Block 2** Proposed	Lot 3, Block 2** Proposed
Minimum Lot Area	20,000 sq. ft.	40,681 sq. ft.	269,112 sq. ft.	116,440 sq. ft.	312,863 sq. ft.
Maximum Impervious Coverage	75%	63.8%	74.1%	75%	75%
Minimum Lot Width	100 ft.	358.2 ft.	384.6 ft.	453 ft.	N/A
Maximum Building Height	45 ft.	20 ft.	30 ft.	30 ft.	30ft.
Minimum Building Setbacks					
Front Yard	30 ft.	63.3 ft. (Hudson)	275.2 ft.	30 ft.	30 ft.
Interior Side Yard*	10 ft.	38.7 ft.	82.2 ft.	10 ft.	10 ft.
Rear Yard	30 ft.	38.7 ft. (I-94)	86.5 ft.	30 ft.	30 ft.
Residential Zones	50 ft.	N/A	107 ft.	50 ft.	50 ft.
Minimum Parking Setbacks					
Front Yard	15 ft.	15.7 ft. (Hudson)	15 ft.	15 ft.	15 ft.
Interior Side Yard*	10 ft.	10.7 ft.	34.6 ft.	10 ft.	10 ft.
Rear Yard	10 ft.	10.7 ft. (I-94)	10 ft.	10 ft.	10 ft.
Residential Zones	35 ft.	N/A	35 ft.	35 ft.	35 ft.

* Interior side yard setbacks for Lots 1 and 2, Block 2 are measured to the curb line of the interior private drive.

** Future uses for proposed Lots 2 and 3, Block 2 will comply with the maximum lot standards required for the Commercial District.

The following is a summary of the proposed lot coverage:

Lot Number	Total Area	Proposed Open Space	% Open Space
Lot 1 – Block 1	40,681 sq. ft.	14,714 sq. ft.	36.2%
Lot 1 – Block 2	269,112 sq. ft.	69,723 sq. ft.	25.9%
Lot 2 – Block 2 (Future)	116,440 sq. ft.	29,110 sq. ft. (min)	25.0% (min)
Lot 3 – Block 2 (Future)	312,863 sq. ft.	78,216 sq. ft. (min)	25.0% (min)
Total	739,096 sq. ft.	191,763 sq. ft.	25.9%

Access

Access to Lot 1, Block 1 will be directly from Hudson Boulevard. Access to lots in Block 2 will be provided from a private drive that extends north from Hudson Boulevard through the center of the site. The private drive will be designed to meet the City standards for local streets. Sales and storage lots are required to have access to a collector or higher classification street and the site complies as it will have access to Hudson Boulevard which is classified as a major collector in the Comprehensive Plan. The location where the private drive has access from Hudson Boulevard aligns with the approved access location in the Hudson Boulevard Design Standards. None of the lots north of Hudson Boulevard will have direct access from Hudson Boulevard.

The Engineering Design and Construction Standards Manual requires a secondary access street for commercial developments with more than 124,000 square feet of sprinkled building area. The size of buildings for the three lots north of Hudson Boulevard will be restricted as to not exceed this standard. The heights of the building will also be restricted to a maximum of 30 feet. This item is discussed in further detail in the proposed buildings section below.

Proposed Buildings

The proposed Dairy Queen building on Lot 1, Block 1 is 2,875 square feet in size. The design of the Dairy Queen project will be completed by other applicants and no PUD flexibility is requested for that lot.

The proposed electric auto dealership building for Lot 1, Block 2 is 50,527 square feet in size and will house electric auto sales, maintenance and showroom areas. A car wash is included within the maintenance area of the building; this is not a commercial car wash and will be used for maintenance of vehicle inventory. The proposed building complies with the required principal building setbacks for the Commercial district. The dealership building has a 107-foot setback from the west property line which abuts residential lots where a minimum 50-foot setback is required. PUD flexibility is requested to allow the trash enclosures for Lot 1, Block 2 within the 50-foot setback. The PUD flexibility is discussed further in this narrative.

As noted in the prior section, providing a single access street to the site restricts the area north of Hudson Boulevard to a total of 124,000 square feet of sprinkled building area. A 50,527 square foot dealership building is proposed for Lot 1, Block 2. A combined 73,473 square feet of sprinkled building area to be permitted for Lots 2 and 3, Block 2. Plans conceptually show a 15,000 square foot building on Lot 2, Block 2 and a 58,000 square foot building on Lot 3, Block 2, which complies with the single-access building-area threshold. We understand that a condition of the PUD may restrict the building area and height for Lots 2 and 3, Block 2 so as not to exceed 124,000 square foot and 30 feet, respectively.

Parking and Storage Lots

The Zoning Ordinance requires 28 parking stalls for the drive-in fast food restaurant. The site plan for Dairy Queen on Lot 1, Block 1 provides 31 parking stalls in compliance with the parking standards.

The site plan for Lot 1, Block 2 complies with the parking requirements for sales/customer service and outside sales/display areas for auto sale and service. Section 105.12.410 of the Zoning Ordinance requires 151 parking stalls for the auto sales and service use and 351 parking stalls have been provided. The parking/storage lot for the auto sales and service will be used for customer and employee parking and for display and storage of vehicle inventory. The site plan identifies areas proposed for customer and employee parking. The parking lot complies with the 35-foot setback requirement from residential property to the west. Parking proposed along the front property line with Hudson

Boulevard will be buffered by green space and landscaping materials. Landscape islands are provided throughout the development which break up the continuous hardscape.

Proposed uses for Lots 2 and 3, Block 2 have not yet been identified, so the number of required parking spaces is not known. However, there is ample room on each lot to accommodate required parking, which will be determined when they are developed in a future phase.

Landscaping

Landscaping provided for Lot 1, Block 1 is in compliance with the Zoning Ordinance requirements. Eleven trees are provided along the perimeter of the site and existing trees will be preserved along Hudson Boulevard. The trees, in addition to 17 shrubs, will effectively screen the parking lot from adjacent properties and rights-of-way. The design of the Dairy Queen landscaping plan will be completed by other applicants.

Landscaping provided for Lot 1, Block 2 is also in general compliance with the Zoning Ordinance requirements. Trees are provided along adjacent residentially zoned properties which will effectively screen the development. Enhanced landscaping is provided along the private drive to differentiate it as a shared roadway from which each lot has driveway access. Lots 2 and 3, Block 2 show conceptual landscaping at this time and landscaping for these lots will comply with the City requirements when they are developed in the future. Additionally, the landscape plan shows that 77 trees will be provided to replace the 76 trees that are being removed for development.

Flexibility is requested from the one tree per 50 feet of street frontage requirement in Section 105.12.480 of the Zoning Ordinance. Existing utilities and overhead powerlines conflict with potential planting areas for the required trees. Flexibility from the boulevard tree requirement is discussed further in this report.

Phasing

Proposed Lot 1, Block 1 and Lot 1, Block 2 will be developed immediately along with improvements to Hudson Boulevard. Lots 2 and 3, Block 2 are conceptual at this time. Future development will be determined by market demand.

Comprehensive Sign Plan

A comprehensive sign plan has been provided to coordinate the location and copy area provided for each tenant. The comprehensive sign plan provides criteria to establish signage standards for both wall signs and ground signs within the development. The layout of the site, desired visibility to I-94 and requested PUD flexibility necessitates a comprehensive sign plan. The comprehensive sign plan narrative has been included with this submittal for your review. Requested PUD flexibility is discussed further below in this narrative in addition to the Comprehensive Sign Plan narrative.

The following is a summary of the proposed ground signage:

Lot	Ground Signs Allowed	Ground Signs Proposed	Maximum Area Allowed	Proposed Area (Each Side)	Maximum Height Allowed	Proposed Height
Lot 1, Block 1	1	1	250 sq. ft.	565 sq. ft.	30 ft.	50 ft.
Lot 1, Block 2	1	0	250 sq. ft.	N/A	30 ft.	N/A
Lot 2, Block 2	1	1	250 sq. ft.	250 sq. ft.	30 ft.	30 ft.
Lot 3, Block 2	1	0	250 sq. ft.	N/A	30 ft.	N/A
TOTAL	4	2	1,000 sq. ft.	815 sq. ft.		

The following is a summary of the proposed wall signage:

Lot	Wall Signs Allowed	Wall Signs Proposed	Ancillary Wall Signs Allowed per Façade	Ancillary Wall Signs Proposed per Façade	Maximum Area Allowed per Façade*	Proposed Area per Façade*
Lot 1, Block 1	2	3	3	1	150 sq. ft.	150 sq. ft.
Lot 1, Block 2	1	3	3	2	150 sq. ft.	300 sq. ft.
Lot 2, Block 2	1	3	3	2	150 sq. ft.	300 sq. ft.
Lot 3, Block 2	0	3	3	2	150 sq. ft.	300 sq. ft.
TOTAL	4	12	9	7		

* Includes combined principal and ancillary sign area.

Planned Unit Development

Based on the sketch plan review and several meetings with City staff, it was determined that a PUD is necessary to meet the project needs. This is primarily due to the approved access location on Hudson Boulevard. Relocating the approved access to better suit the property would require a redesign of the Hudson Boulevard Design Standards. The proposed private drive provides access to Lot 3, Block 2 because the City has indicated a preference against dedicating right-of-way through the project to provide street frontage for this lot. PUD flexibility is also requested for the location of trash enclosures, shared driveway access for Lot 1, Block 1, landscaping, screening, lighting and signage to place those items most effectively throughout the site.

The proposed project and PUD are intended to serve the commercial market and bring additional commercial business to the City of Lake Elmo. The project will be privately financed.

Flexibility Requested

PUD flexibility is requested to allow:

1. Lot 3, Block 2 without street frontage.
2. Access to lots in Block 2 by means of a private drive.
3. Shared driveway access for Lot 1, Block 1 and the previously approved adjacent commercial development.
4. Location of trash enclosures within the required setback for Lot 1, Block 2.
5. Up to 300 square feet of wall signage on three facades of the proposed buildings where up to 150 square feet of wall signage is permitted per street frontage.
6. Ground signage exceeding 30 feet tall and 250 square feet in area including increased surface area for a multi-color electronic variable message sign.
7. Street frontage trees to be relocated along the proposed private drive.
8. Screening between different land uses and parking lots abutting residential districts.
9. Lighting glare exceeding four-tenths footcandles at the property line between Lots 1 and 2, Block 2.

Lot 3, Block 2 Street Frontage

Flexibility is requested from the required 100-foot minimum lot width required for proposed Lot 3, Block 2. The proposed lot does not have frontage on a public right-of-way from which to measure lot width. As noted above, the City indicated a preference against dedicating a right-of-way through the project which would provide street frontage and lot width for Lot 3, Block 2. The private drive will be designed as a local street and a driveway will provide access

to Lot 3, Block 2 from the private drive. The south lot line where the driveway access is located will serve as the front lot line for Lot 3, Block 2. The proposed lot complies with the remaining Commercial district lot standards as shown on the plans.

Private Drive Access

Flexibility is also requested to provide access to Block 2 via a private drive extending north from the approved access point along Hudson Boulevard. Lots in Block 2 will have driveway access from the private drive which is being designed to meet City standards for a local street. Creating a public street and extending in each cardinal direction does not provide a benefit to the City, applicant or adjacent property owners. Existing topography with over 30 feet of grade change makes it difficult to extend a public road and right-of-way east for a possible future connection.

There will be no parking on either side of the private drive. Lighting, landscaping and pedestrian facilities are also provided along the private drive to distinguish it from driveway access points to the lots.

Shared Driveway Access

The proposed access to Lot 1, Block 1 will be shared with the existing, adjacent commercial property east of the site. This access was previously approved by the City.

Trash Enclosure

Flexibility is to allow the trash enclosure on Lot 1, Block 2 within the required 50-foot building setback from the residential property to the west. There is a steep slope towards the west property line and the adjacent residential property along the west property line is situated at a higher elevation than the proposed development. The difference in elevation creates challenges to effectively screen the trash enclosure from residential property. If the trash enclosure is placed along the west façade of the proposed building, in compliance with the 50-foot setback, it will be clearly visible at a higher elevation from the residential property. We are proposing to situate the trash enclosure at the 35-foot parking setback at the base of the hill rising towards the residential property. The slope of the hill and provided landscaping materials will more effectively screen the trash enclosures than locating the enclosures within the required 50-foot setback. Landscaping is provided along the slope between the parking lot and the residential property which will further enhance screening of the trash enclosures and entire development.

Ground and Wall Signage

Flexibility is requested for ground (monument) and wall signage which is being coordinate for the development as a whole. A Comprehensive Sign Plan has been included with the submittal and indicates the proposed sign standards for the development and where flexibility has been requested from the sign standards.

As a multi-tenant development each occupant will have a varying need for signage. The nature of the site creates challenges with respect to the location and visibility of tenant signs. Flexibility has been requested from the permitted height, sign area and setback standards for ground signs on properties located south of 5th Street and north of I-94. Two ground signs are proposed where four would be permitted. One multi-tenant monument sign for the entire development on Lot 1, Block 1. The proposed sign is 50 feet tall and 565 square feet in area and includes a multi-color electronic variable message sign on one of the panels. The ground sign on Lot 1, Block 1 is designed to increase visibility to the I-94 corridor where existing trees limit the visibility of a shorter sign. Signage along the interstate is an important component of the business design and model and the larger sign area will more effectively display tenant information to vehicles travelling along the I-94 corridor. One multi-tenant sign is also proposed on Lot 2, Block 2 for tenants in Block 2. The Block 2 sign is designed to meet permitted sign standards for lots south of 5th Street and north of I-94. The Zoning Ordinance permits each lot to have one ground sign 30 feet tall and 250 square

feet in area. The requested sign flexibility allows for coordinated signage which reduces the number of monument signs and provides a more uniform design.

Flexibility is requested to provide increased wall signage area and the number of facades eligible for wall signage. The flexibility requested would allow wall signage on building facades without street frontage. This is important because it will allow buildings on Block 2 to have wall signs facing Hudson Boulevard and along frontages with the private access drive. Hudson Boulevard is also a major collector with high-speed vehicle traffic and the proposed buildings on Block 2 exceed the required setbacks from Hudson Boulevard. The speed of vehicle traffic and distance of buildings to Hudson Boulevard supports larger wall signs to be visually effective. Lot 3, Block 2 is also set back a considerable distance from Hudson Boulevard, so increased wall signage area will help with visibility. Specific standards proposed for wall signage are discussed in the Comprehensive Sign Plan Narrative.

Street Frontage Trees

Flexibility is requested from the street frontage tree requirement in Section 105.12.480 of the Zoning Ordinance, which requires a minimum of one tree be planted for every 50 feet of street frontage. There is practical difficulty in meeting this requirement because there are buried utilities and overhead power lines along Hudson Boulevard which conflict with potential planting areas. We are requesting flexibility to provide the required boulevard trees along the private drive and Hudson Boulevard in locations where there will be less conflict with the existing utilities.

Screening Between Different Land Uses and Parking Lots Abutting Residential Districts

City Code requires 6-foot high screening between different uses or districts and 4-6 foot high screening for parking lots adjacent to residential districts. The residential properties adjacent to the west property line include a 20-foot tall retaining wall and a large stormwater pond. We feel that a privacy fence along the west property line will not provide a screening benefit due to the significant elevation difference and the existing separation provided by the stormwater pond. In lieu of a privacy fence, we have focused our landscaping along the west property line, including numerous coniferous trees that will provide year-round screening benefits.

Light Cast at Property Line

Flexibility is also requested from the maximum allowable light cast at the property lines that are shared with other commercial uses. Section 105.04.070(d) of the Zoning Ordinance regulates that light cast glare shall not exceed four-tenths footcandles at the property line. The property line between Lots 1 and 2, Block 2 is situated in the center of the proposed private drive. The footcandle measurement in the private drive may exceed four-tenths because streetlights are proposed along the private drive to illuminate the drive for vehicle and pedestrian safety. Lighting may also exceed four-tenths footcandles along the east property line of Lot 1, Block 1. This lot shares access with the existing commercial property to the east and additional lighting is necessary for vehicle and pedestrian safety. Therefore, we are requesting flexibility from the footcandle requirement on property lines shared with other commercial uses to allow for adequate illumination of the private drive and shared access area.

PUD Benefit

Consider the following list of benefits that will be provided with the development:

- Enhanced design of the private road, including, but not limited to boulevard landscaping, pedestrian connectivity through the site, pedestrian connectivity to Hudson Boulevard and street lighting.
- Building design which includes greater use of high-quality architectural materials such as anodized metal panels and glass storefront.
- Increased building setback to residential properties to the west.
- Coordinated ground signage for the entire development reduces the number of ground signs from four allowed to the two proposed creating less sign clutter.

- Additional landscaping to screen project elements from adjacent residential properties.
- Increased tax base provided through commercial development and site design with a private road versus dedicating public right-of-way.
- Increased opportunities for employment and commercial development in Lake Elmo.

Proposed Uses

The following uses are known proposed permitted uses within the PUD:

1. Sales and Storage Lot on Lot 1, Block 2
2. Automotive Maintenance on Lot 1, Block 2
3. Fast Food Restaurant on Lot 1, Block 1
4. Drive Through Facility on Lot 1, Block 1.

The above uses are proposed to allow for the sale of new and pre-owned automobiles; the sale of auto parts and accessories; test drives, parking and delivery of new and pre-owned automobiles; indoor and outdoor overnight storage of new and pre-owned automobiles; sale of solar panels, batteries and other energy products; general office use; inside car wash (not open to the public); fast food restaurant service, and; fast food drive-through facility.

The following are proposed within the PUD as allowed uses:

1. Public and Civic Uses
 - a. Day care center
 - b. Schools, public and private
 - c. Public assembly
 - d. Religious institutions
2. Services
 - a. Business service
 - b. Business center
 - c. Offices
 - d. Commercial kennel
 - e. Communication services
 - f. Educational services
 - g. Financial institution
 - h. Funeral home
 - i. Lodging
 - j. Medical facility
 - k. Membership organization
 - l. Nursing and personal care
 - m. Personal services
3. Services
 - a. Repair and maintenance shop
 - b. Veterinary services
4. Food Services
 - a. Standard restaurant
 - b. Drive-in restaurant
 - c. Drinking and entertainment
 - d. Fast food restaurant
5. Sales of Merchandise
 - a. General retail sales
 - b. Building supplies sales
 - c. Warehouse club sales
 - d. Furniture and appliance sales
 - e. Grocery, supermarket
 - f. Liquor store
 - g. Garden center
 - h. Neighborhood convenience store
 - i. Shopping center
6. Sales of Merchandise
 - a. Wholesaling
7. Automotive/Vehicular Uses
 - a. Automobile maintenance service
 - b. Automobile parts/supply
 - c. Car wash
 - d. Gasoline station

- e. Parking facility
- f. Sales and storage lots
- 8. Outdoor Recreation
 - a. Outdoor recreation facility
 - b. Parks and open areas
- 9. Indoor Recreation/Entertainment
 - a. Indoor athletic facility
 - b. Indoor recreation
- 10. Agricultural and Related Uses
 - a. Agricultural sales business
 - b. Agricultural sales
- 11. Industrial and Executive Uses
 - a. Light industrial
- b. Non-production industrial
- c. Motor freight and warehousing
- d. Research and testing
- 12. Transportation and Communications
 - a. Broadcasting and communications
- 13. Accessory Uses
 - a. Bed and breakfast
 - b. Drive-through facility
 - c. Parking facility
 - d. Outdoor storage
 - e. Outdoor display
 - f. Solar equipment
 - g. Other structures typically incidental and clearly subordinate to permitted use

Lots 2 and 3, Block 2

The proposed uses for Lots 2 and 3, Block 2 are not known at this time and are reserved for future development with one the allowed uses listed above.

Lot 1, Block 1

The proposed use for Lot 1, Block 1 is a Dairy Queen fast food and drive-through restaurant. The fast food restaurant is a permitted use and the drive-through is a conditional use in the Commercial district. Both uses are proposed permitted uses with the PUD. The conditional use permit standards for a drive-through restaurant are provided below in order to demonstrate the proposed use is compatible as a permitted use in the PUD.

The proposed drive-through use complies with the conditional use permit standards for food services in Section 105.12.520 of the Zoning Ordinance:

- (1) *Drive-through elements shall not be located between the front facade of the principal building and the street. No service shall be rendered, deliveries made or sales conducted within the required front yard, although tables may be provided for customer use.*

The drive-through elements and delivery door are located on the south side of the building, away from the front façade and Hudson Boulevard right-of-way. A concrete walk/patio is situated in the east side yard next to the building.

- (2) *Site design shall accommodate a logical and safe vehicle and pedestrian circulation pattern. Adequate queuing lane space shall be provided, without interfering with on-site parking/circulation.*

Vehicle and pedestrian circulation is typical of similar drive-through restaurants and adequate queuing is provided on site.

- (3) *Drive-through canopies and other structures, where present, shall be constructed from the same materials as the primary building, and with a similar level of architectural quality and detailing.*

The drive-through canopy will match the design of the primary building.

- (4) *Sound from any speakers used on the premises shall not be audible above a level of normal conversation at the boundary of any surrounding residential district or on any residential property.*

Sound will not be audible above a level of normal conversation beyond the property boundaries. The site does not abut residentially zoned property.

We have also reviewed the proposed site plan for Lot 1, Block 1 in accordance with general Conditional Use Permit standards in Section 105.12.290 and find that the ordinance standards have been met, specifically:

- (1) *The proposed use will not be detrimental to or endanger the public health, safety, comfort, convenience, or general welfare of the neighborhood or the city.*

The proposed use will not be detrimental to or endanger the public health, safety, comfort, convenience or general welfare of the neighborhood or the City.

- (2) *The use or development conforms to the city comprehensive plan.*

The property is guided and zoned Commercial. Drive-through establishments are permitted as a conditional use in Commercially zoned properties. The proposed development conforms with the Comprehensive Plan and Zoning Ordinance.

- (3) *The use or development is compatible with the existing neighborhood.*

The proposed use is compatible with the adjacent commercial and retail uses.

- (4) *The proposed use meets all specific development standards.*

The proposed use meets all specific development standards, including the Standards for Food Services in Section 105.12.520 of the Zoning Ordinance, as discussed above.

- (5) *If the proposed use is in a floodplain management or shore land area, the proposed use meets all the standards.*

The proposed use is not located in a floodplain management or shoreland area.

- (6) *The proposed use will be designed, constructed, operated, and maintained so it will not change the essential character of that area.*

The proposed use will be designed, constructed, operated and maintained so as to be compatible with the adjacent commercial and retail uses.

- (7) *The proposed use will not be hazardous or create a nuisance to existing or future neighboring structures.*

The proposed use will not be hazardous or create a nuisance to existing or future neighboring structures.

- (8) *The proposed use will be served adequately by essential public facilities and services, including streets, police and fire protection, drainage structures, refuse disposal, water and sewer systems and schools or will be served adequately by such facilities and services provided by the persons or agencies responsible for the establishment of the proposed use.*

The proposed use will be served adequately by essential public facilities and services.

- (9) *The proposed use will not create excessive additional requirements at public cost for public facilities and services and will not be detrimental to the economic welfare of the community.*

Adequate public facilities and services exist for the proposed use. No public costs are anticipated for the proposed use.

- (10) *The proposed use will not involve uses, activities, processes, materials, equipment, and conditions of operation that will be detrimental to any persons, property or the general welfare because of excessive production of traffic, noise, smoke, fumes, glare, or odors.*

The proposed use does not include any uses, activities, equipment or conditions of operation that will be detrimental to the general welfare of any person or property.

- (11) *Vehicular approaches to the property will not create traffic congestion or interfere with traffic on surrounding public thoroughfares.*

Vehicular approaches to the property will not create traffic congestion or interfere with traffic on surrounding public thoroughfares. The site complies with Hudson Boulevard design guidelines.

- (12) *The proposed use will not result in the destruction, loss, or damage of a natural or scenic features of major importance.*

Not applicable.

Lot 1, Block 2

The proposed use for Lot 1, Block 2 is an auto sales and service dealership (automotive sales and storage lots and automotive maintenance services. This includes the sale of new and pre-owned automobiles; the sale of auto parts and accessories; test drives, parking, and delivery of new and pre-owned automobiles; indoor and outdoor overnight storage of new and pre-owned vehicles; maintenance, repair and charging of new and pre-owned automobiles; sale of solar panels, batteries and other energy products; and general office use. All vehicle repairs for this facility will occur within the dealership building.

The proposed uses for Lot 1, Block 2 are permitted as conditional uses in the Commercial district. The Lot 1, Block 2 uses are proposed permitted uses with the PUD. The conditional use permit standards in Section 105.12.290 are provided below in order to demonstrate compatibility as a permitted use in the PUD. We find that the ordinance standards have been met, specifically:

- (1) *The proposed use will not be detrimental to or endanger the public health, safety, comfort, convenience, or general welfare of the neighborhood or the city.*

The auto dealership and service will not be detrimental or endanger the safety, comfort or welfare of the neighborhood or the city.

- (2) *The use or development conforms to the city comprehensive plan.*

The auto dealership and service is proposed for a lot that is guided and zoned Commercial. The proposed development conforms with the Comprehensive Plan and Zoning Ordinance.

- (3) *The use or development is compatible with the existing neighborhood.*

The auto sales and service dealership is compatible with the existing neighborhood. Adjacent residential developments are high density and provide an appropriate transition between commercial and lower density residential areas. The dealership will add to existing commercial and retail developments at the northwest corner of the I-94 interchange. The proposed use is likely to have a positive effect in the surrounding commercial area with the investment that is put into developing the property and providing access to additional commercial lots.

- (4) *The proposed use meets all specific development standards.*

The proposed use complies with all specific development standards, including additional standards for sales and storage lots and automobile maintenance services.

- (5) *If the proposed use is in a floodplain management or shore land area, the proposed use meets all the standards.*

The auto dealership and service is not located in a floodplain management or shoreland area.

- (6) *The proposed use will be designed, constructed, operated, and maintained so it will not change the essential character of that area.*

The auto dealership and service will be constructed to a high standard of design. Stucco facades and parapets break up the mass of the building. Glazed glass and accented metal panels mark the entrance which faces towards Hudson Boulevard. The dealership will be maintained as a sales lot and servicing facility and is not anticipated to have any negative effect on the essential character of the area.

- (7) *The proposed use will not be hazardous or create a nuisance to existing or future neighboring structures.*

The proposed use will not be hazardous or create a nuisance to existing or future neighboring structures. The facility will also sell and service electric vehicles which do not use carburetor engines or exhaust systems. Electric vehicles are mostly silent.

- (8) *The proposed use will be served adequately by essential public facilities and services, including streets, police and fire protection, drainage structures, refuse disposal, water and sewer systems and schools or will be served adequately by such facilities and services provided by the persons or agencies responsible for the establishment of the proposed use.*

The auto dealership and service will be served adequately by essential public facilities and services.

- (9) *The proposed use will not create excessive additional requirements at public cost for public facilities and services and will not be detrimental to the economic welfare of the community.*

The auto dealership and service will not create excessive additional requirements at public cost for public facilities and will not be detrimental to the economic welfare of the community. The proposed development will provide access to new commercial lots and promote the economic welfare of the community.

- (10) *The proposed use will not involve uses, activities, processes, materials, equipment, and conditions of operation that will be detrimental to any persons, property or the general welfare because of excessive production of traffic, noise, smoke, fumes, glare, or odors.*

The auto dealership and service does not include any uses, activities, equipment or conditions of operation that will be detrimental to the general welfare of any person or property. The facility will sell and service electric vehicles which do not use carburetor engines or exhaust systems.

- (11) *Vehicular approaches to the property will not create traffic congestion or interfere with traffic on surrounding public thoroughfares.*

Improvements to Hudson Boulevard are proposed that will adequately control and manage traffic on surrounding public thoroughfares. The improvement will follow the city's Hudson Boulevard design standards and include construction of turn lanes at previously approved access points into the site.

- (12) *The proposed use will not result in the destruction, loss, or damage of a natural or scenic features of major importance.*

There are no natural or scenic features of major importance on the site.

Summary

We respectfully request approval of the Preliminary Plat and Preliminary PUD to allow for the construction of the electric auto sales dealership and fast food restaurant (Dairy Queen) on the site. We anticipate the application will be heard at the Planning Commission on March 13th with the final action by City Council on April 4th.

Contact Information

This document was prepared by:

Nicholas Ouellette
Landform
105 South Fifth Avenue, Suite 513
Minneapolis, MN 55401

Any additional questions regarding this application can be directed to Tom Meyer at tmeyer@landform.net or 612.638.0241.



Preliminary Plat
Written Statements

Lake Elmo, MN

Prepared for:

Drake Real Estate Services



February 13, 2023



SUBMITTED TO
Lake Elmo Planning & Zoning
3880 Laverne Avenue N
Lake Elmo, MN 55042



PREPARED BY
Landform Professional Services, LLC
105 5th Ave S, Suite 513
Minneapolis, MN 55401

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Preliminary Plat Written Statements

On behalf of Drake Real Estates Services, Landform is pleased to submit this application for preliminary plat approval for "Ebertz Addition" a four lot subdivision located on 18.2 acres on Hudson Boulevard west of Keats Avenue North.

The following responses are provided as specified by the Preliminary Plat Application Requirements:

- A. *A listing of contact information including name(s), address(es) and phone number(s) of: the owner of record, authorized agents or representatives, engineer, surveyor, and any other relevant associates;*

Owner: Ebertz Enterprises
1147 Clipper Way
Woodbury, MN 55125
igebertz@aol.com

Applicant: Jon Hauser
496 South Broadway
Denver, CO 80209
hauser@drakeres.com
303-825-6200

Engineer: Tom Meyer, PE
105 South 5th Avenue
Suite 513
Minneapolis, MN 55401
tmeyer@landform.net
612-638-0241

Dairy Queen Engineer: Joseph Radach, PE
8915 Vernon Street
Rockford, MN 55373
jradach@contourcd.com
612-730-2265

- B. *A listing of the following site data: Address, current zoning, parcel size in acres and square feet, property identification number(s) (PID), and current legal description(s);*

Address: No property address assigned.
Current Zoning: Both parcels are currently zoned Commercial (C)
Parcel #1 PID: 34.029.21.44.0006
Parcel #1 Size: 14.2 acres (618,552 square feet)
Parcel #2 PID: 34.029.21.44.0004
Parcel #2 Size: 4.0 acres (174,240 square feet)
Current Legal: THE WEST ONE-HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 29, RANGE 21, EXCEPT THAT PART DEPICTED AS PARCEL 33B ON MINNESOTA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY PLAT NO. 82-43 FILED MARCH 22, 1982, AS DOCUMENT NO. 429592, WHICH WAS TAKEN BY THE STATE OF MINNESOTA IN FINAL CERTIFICATE DATED OCTOBER 4, 1989, FILED OCTOBER 24, 1989, AS DOCUMENT NO. 613150.

WASHINGTON COUNTY, MINNESOTA

- C. *A listing of general information including: the proposed name of the subdivision, the number of proposed lots, acreage dedicated for open space or public use, acreage dedicated within rights of way;*

Proposed Name: Ebertz Addition
Proposed Lots: Four lots are proposed.
Open Space: No acreage is dedicated for open space or public use.

ROW Acreage: 3,870 square feet (.09 acres) or right-of-way will be dedicated to the City for Hudson Boulevard.

- D. *An explanation of how issues have been addressed since the Sketch Plat phase of the development;*

The project team has met with City staff numerous times to address issues with the sketch plan, including the design of Hudson Boulevard and management of wetlands on site. A response to comments included with this submittal as a separate document describes how project staff have worked to address project issues raised by City staff.

- E. *A narrative explaining the intent of the project and/or your original or revised vision for the finished product;*

The intent and vision of the project is to develop a high quality business park for an electric automotive dealership and services business in addition to a fast food restaurant and two lots for future development. The preliminary PUD narrative included with this submittal describes the intent of the project in further detail.

- F. *A statement showing the proposed density of the project with the method of calculating said density shown;*

Not applicable. The proposed project is a commercial development.

- G. *Discuss proposed infrastructure improvements and phasing thereof (i.e. proposed roadways, sewer systems, water systems, sidewalks/trails, parking, etc) necessary to serve the subdivision;*

Hudson Boulevard will be reconstructed to the City's design standard. Utility lines will be extended into the property including services for future lots. The infrastructure improvements for this development will be constructed in one phase.

- H. *A narrative addressing concerns/issues raised by neighboring properties (discussing your proposal with the neighboring land owners is recommended to get a sense of what issues may arise as your application is processed);*

No issues have been raised by neighbors. Neighbors will have an opportunity to voice any concerns or issues at the preliminary plat public hearing.

- I. *A description of how conflicts with nearby land uses (livability, value, potential future development, etc.) and/or disturbances to wetlands or natural areas are being avoided or mitigated;*

The property is guided and zoned Commercial. The proposed development is consistent with the uses planned by the City and screening and landscaping are provided to minimize conflicts with nearby residential developments in compliance with the ordinance requirements. The site plan has been modified to minimize impacts to the wetland in the southwest corner of the site. Required improvements to Hudson Boulevard will have a minor impact on the wetland.

- J. *Provide justification that the proposal will not place an excessive burden on roads (traffic), sewage, water supply, parks, schools, fire, police, or other public facilities/services (including traffic flows) in the area.*

The property is zoned Commercial and the planned land use is Commercial in the 2040 Comprehensive Plan. Existing utilities are sufficient to service the proposed development. Hudson Boulevard is classified as a major collector roadway in the 2040 Comprehensive Plan and is sufficient to accommodate increased traffic from the proposed development.

- K. *If applicable, provide a description of proposed lakeshore access (i.e. shared dock with multiple slips, individual docks for each lot, etc.);*

Not applicable.

- L. *A description of proposed parks and/or open space. Please include a brief statement on the proposed ownership and maintenance of said areas;*

Not applicable.

- M. *A proposed development schedule indicating the approximate date when construction of the project, or stages of the same, can be expected to begin and be completed (including the proposed phasing of construction of public improvements and recreational and common space areas).*

The anticipated construction start date is June 1, 2023. Infrastructure and site improvements will be constructed in a single phase. Lots 1 and 3, Block 2 are reserved for future development.

Summary

We respectfully request approval of the Preliminary Plat to allow for the construction of the electric auto sales dealership and fast food restaurant (Dairy Queen) on the site. We are also requiring approval of Preliminary PUD and have submitted a separate narrative for that request. We request that both applications be processed currently and anticipate the application will be heard at the Planning Commission on March 13th and City Council on April 4th.

Contact Information

This document was prepared by:

Nicholas Ouellette
Landform
105 South Fifth Avenue, Suite 513
Minneapolis, MN 55401

Any additional questions regarding this application can be directed to Tom Meyer at tmeyer@landform.net or 612.638.0241.

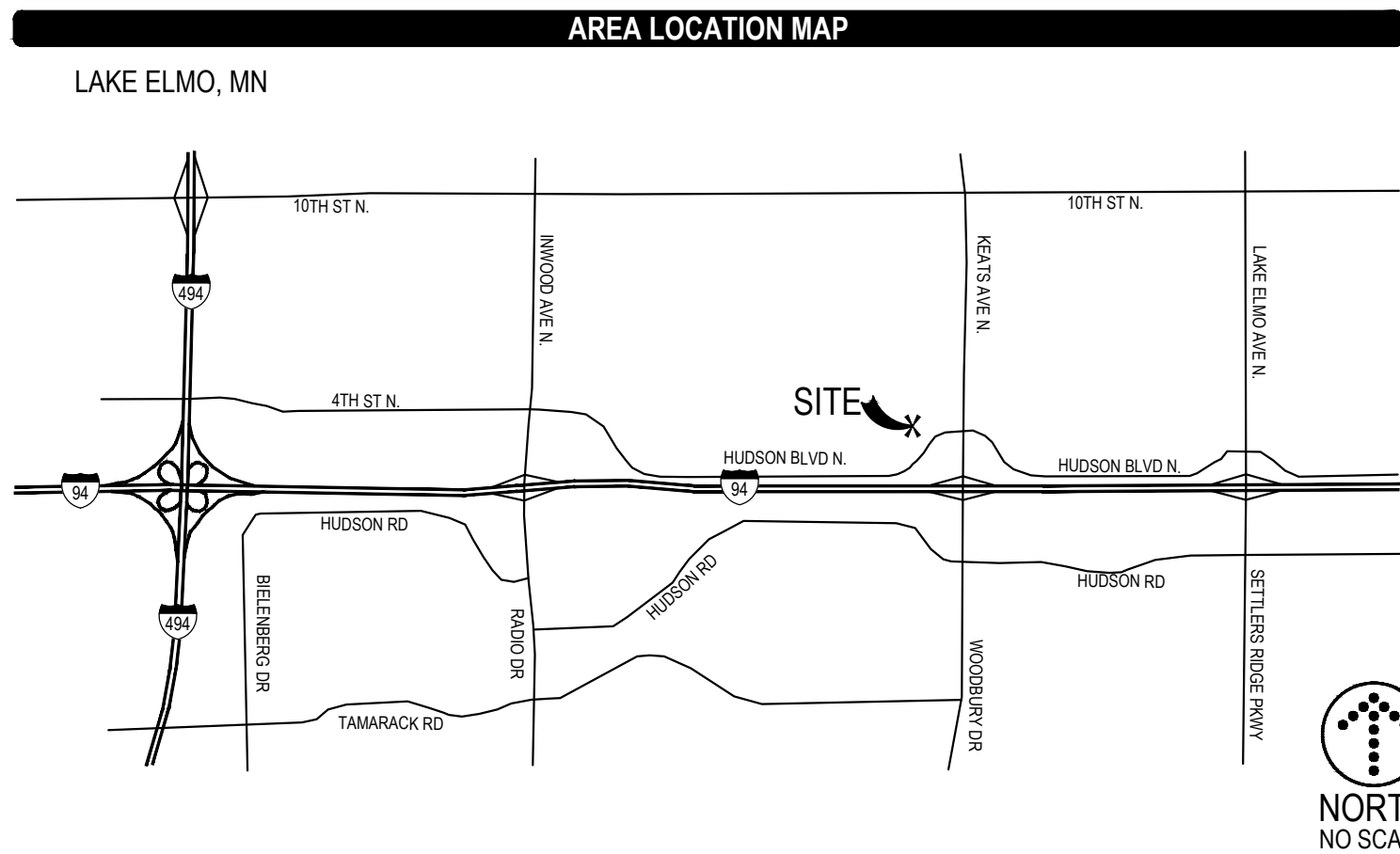


Highway 94

Site Rendering

AUTO DEALERSHIP • Lake Elmo, MN
City Submittal • 02.15.2023

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ELECTRIC AUTO SALES & SERVICE

LAKE ELMO, MINNESOTA

PRELIMINARY
NOT FOR
CONSTRUCTION

ABBREVIATIONS			
D & @ 100 YR.	Angle And At 100 Year Flood Elevation	LB.	Pound
A.B.	Anchor Bolt	LGU	Local Government Unit
A.D.	Area Drain	LB.	Longitudinal
A/C	Air Conditioning Unit	LT.	Light / Lighting
ADD.	Addendum	MAINT.	Maintenance
ADJ.	Adjacent / Adjust	MAS.	Masonry
AHU	Air Handling Unit	MATL.	Material
ALT.	Alternate	MAX.	Maximum
ALUM.	Aluminum	MECH.	Mechanical
ANOD.	Anodized	MED.	Medium
APPROX.	Approximate	MFR.	Manufacturer
ARCH.	Architect / Architectural	MH.	Manhole
AUTO.	Automatic	MIN.	Minimum / Minute
AVG.	Average	MISC.	Miscellaneous
B.C.	Back of Curb	MNDOT	Minnesota Department Of Transportation
B/W	Bottom of Wall	MOD.	Module / Modular
BFE	Basement Floor Elevation	MUL.	Mulch
BIT	Bituminous (Asphaltic)	N.	North
BLDG	Building	N.I.C.	Not In Contract
BM	Benchmark	NO. OR #	Number
BSMT.	Basement	NOM	Normal
C.F.	Cubic Feet	NTS	Not to Scale
C.F.S.	Cubic Feet Per Second	NWE	Normal Water Elevation
C.G.	Corner Guard	NWL	Normal Water Level
C.J.	Control Joint	O.F.	On Center
C.L.	Centerline	O.G.	Outside Dimension
C.M.U.	Concrete Masonry Unit	O.H.	Overhead Electric
C.O.	Cleanout	OH.	Overhead
C.O.E.	U.S. Army Corps Of Engineers	OH/WL	Ordinary High Water Level
C.Y.	Cubic Yards	OPNG.	Opening
CB	Catch Basin	ORIG.	Original
CBMH	Catch Basin Manhole	P.C.	Point of Curvature
CEM.	Cement	P.I.	Point of Intersection
CIP	Cast Iron Pipe	P.IV	Post Indicator Valve
CMF	Corrugated Metal Pipe	P.L. OR P/L	Property Line
CONC.	Concrete (Portland)	P.O.B.	Point of Beginning
CONN.	Connection	P.P.F.	Pounds Per Square Foot
CONST.	Construction	P.S.I.	Pounds Per Square Inch
CONT.	Continuous	P.T.	Point of Tangency
CONTR.	Contractor	P.V.C.	Point of Vertical Curvature
COP.	Copper	P.V.I.	Point of Vertical Intersection
CU.	Cubic	P.V.T.	Point of Vertical Tangency
D.S.	Down Spout	PE	Polyethylene
DEG.	Degree	PERF.	Perforated
DEMO.	Demolition / Demolish	PREP.	Preparation
DEPT.	Department	PROJ.	Project
DET.	Detail	PROP.	Proposed
DIA.	Diameter	PVC	Poly-Vinyl-Chloride (Piping)
DIAG.	Diagonal	P.V.M.T.	Pavement
DIM.	Dimension	QTR.	Quarter
DIP	Ductile Iron Pipe	QTY.	Quantity
DN	Down	R	Radius
DWG.	Drawing	RAD.	Radius
E.	East	RE	Rim Elevation (Casting)
E.E.	Expansion Joint	R.D.	Roof Drain
E.O.	Emergency Overflow	R.E.	Remove Existing
E.O.S.	Emergency Overflow Swale	R.O.	Rough Opening
E.W.	Each Way	R.P.	Radius Point
EA.	Each EL.	R.C.	Reinforced Concrete Pipe
ELEC.	Electrical	R.S.	Rough Slab
ELEV.	Elevation	RSD	Roof Storm Drain
EMER.	Emergency	RE	Regarding
ENGR.	Engineer	REINF.	Reinforced
ENTR.	Entrance	REQD	Required
EQ.	Equal	REV.	Revision / Revised
EQUIP.	Equipment	RGU	Regulatory Government Unit
EQUIV.	Equivalent	RIW OR RW	Right of Way
EXIST.	Existing	S.	South
EXP.	Expansion	S.F.	Square Feet
F & I	Furnish and Install	SAN.	Sanitary Sewer
F.B.O.	Furnished by Others	SECT.	Section
F.C.	Face of Curb	SE	Split Entry / Side Exit
F.D.	Floor Drain	SEWO	Split Entry Walk Out / Side Exit Walk Out
F.D.C.	Fire Department Connection	SHT.	Sheet
F.V.	Field Verify	SIM.	Similar
FB	Full Basement	SILT.	Silant
FBWO	Full Basement Walk Out	SPEC.	Specification
FBLO	Full Basement Look Out	SQ.	Square
FDN.	Foundation	SSD	Subsurface drain
FES	Flared End Section	STMH	Storm Sewer Manhole
FFE	Finished Floor Elevation	STD.	Standard
FLR.	Floor	STRUCT.	Structural
FT. OR (T)	Foot	SYM.	Symmetrical
FUT.	Future	T	Thickness
G.B.	Grade Break	TIR	Top of Rim
G.C.	General Contractor	T/W	Top of Wall
GAL.	Gallon	TEMP.	Temporary
GALV.	Galvanized	THK.	Thick / Thickness
GFE	Garage Floor Elevation	T.J.	Tooled Joint
GL.	Glass	T.NH	Top Nut Hydrant
GR.	Grade	TYP.	Typical
H.	Height	U.N.O.	Unless Noted Otherwise
H.P.	High Point	V.B.	Vapor Barrier
HDPEP	High Density Polyethylene Pipe	V.C.	Vertical Curve
HGT.	Height	V.I.F.	Verify In Field
HORIZ	Horizontal	VER.	Verify
HVAC	Heating, Ventilation, Air Conditioning	VEST.	Vestibule
HYD	Hydrant	W	Width
I.D.	Inside Dimension OR Identification	W.P.T.	Working Point
I.E. or IE	Invert Elevation	W.W.F.	Welded Wire Fabric
IN. OR (T)	Inches	W	Without
INFO.	Information	WO	Walk Out
INL.	Inlet Elevation	VER.	Welland
INSUL.	Insulation	WP	Waterproof
INV.	Invert Elevation	WETL.	Weight
JT.	Joint	YD.	Yard
L.F.	Linear Feet	YR.	Year
L.P.	Low Point / Liquid Petroleum		

SYMBOLS			
EXISTING	DESCRIPTION	NEW	DESCRIPTION
	MAJOR CONTOUR		MAJOR CONTOUR
	MINOR CONTOUR		MINOR CONTOUR
	SPOT ELEVATION		SPOT ELEVATION
	BUILDING		BUILDING
	CANOPY / OVERHANG		CANOPY/OVERHANG
	CONCRETE		UNDERGROUND STRUCTURE
	BITUMINOUS		CONCRETE
	LANDSCAPING		CONCRETE CURB
	GRAVEL		EDGE OF PAVEMENT
	PAVING BLOCK		FENCING
	PAVING BLOCK		GUARD RAIL
	STORM SEWER LINE		CONCRETE RETAINING WALL
	SANITARY SEWER LINE		MODULAR RETAINING WALL
	WATER MAIN		FIELDSTONE RETAINING WALL
	OVERHEAD ELECTRIC		EXIT LOCATION
	UNDERGROUND TELEPHONE		LIGHT STANDARD
	UNDERGROUND FIBER OPTIC		POWER POLE
	UNDERGROUND ELECTRIC		SLOPE DIRECTION
	GAS LINE		CATCH BASIN
	CONCRETE CURB		MANHOLE
	FENCING		STORM SEWER
	RETAINING WALL		SANITARY SEWER-WASTE
	SET 12" X 14" IRON PIPE		FORCE MAIN
	IRON MONUMENT FOUND		ROOF DRAIN SYSTEM
	SURVEY DISK (BENCHMARK)		WATERMAIN
	POWERPOLE		FIRE LINE (IF SEPARATE)
	GUY WIRE		FIRE DEPT. CONNECTION
	GUARD POST		SOIL SUBDRAIN
	GAS METER		GAS LINE-UNDERGROUND
	TRANSFORMER		ELECTRIC-UNDERGROUND
	WATER SHUT-OFF VALVE		TELEPHONE-UNDERGROUND
	TRAFFIC SIGN		UNDERGROUND CABLE/TV
	FLAG POLE		LAWN SPRINKLER SLEEVE
	LIGHT POLE		
	TREES		
	TREE LINE		
	MANHOLE		
	CATCH BASIN		
	FIRE HYDRANT		
	WATER VALVE		
	FLARED END SECTION		
	MAILBOX		
	NOTE NUMBER		
	MEASURED DISTANCE		
	DISTANCE PER RECORDED PLOT		
	SOIL BORING		

EROSION CONTROL SYMBOLS	
SYMBOL	DESCRIPTION
	SILT FENCE
	COMPOST BIO LOG
	INLET PROTECTION
	EROSION CONTROL BLANKET

DRAWING SYMBOLS	
SYMBOL	DESCRIPTION
	NOTE REFERENCE
	PARKING STALL COUNT
	LARGE SHEET DETAIL
	COORDINATE POINT
	REVISION - ADDENDUM, BULLETIN, ETC.
	REVISED AREA (THIS ISSUE)

LEGAL DESCRIPTION	
THE WEST ONE-HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 29, RANGE 21, EXCEPT THAT PART DESCRIBED AS PARCEL 338 ON MINNESOTA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY PLAT NO. 82-43 FILED MARCH 22, 1982, AS DOCUMENT NO. 429692, WHICH WAS TAKEN BY THE STATE OF MINNESOTA IN FINAL CERTIFICATE DATED OCTOBER 4, 1989, FILED OCTOBER 24, 1989, AS DOCUMENT NO. 613150.	
WASHINGTON COUNTY, MINNESOTA	

BENCHMARK	
PROJECT BENCHMARK:	
MNDOT NAME: 8282 AX	
IN LAKE ELMO, 0.05 MILE EAST ALONG INTERSTATE HIGHWAY 94 FROM THE JUNCTION OF INTERSTATE HIGHWAY 94 AND WOODBURY DRIVE (KEATS AVENUE NORTH) IN LAKE ELMO, AT INTERSTATE HIGHWAY 94 MILEPOINT 251.75, 69.8 FEET NORTH OF WESTBOUND INTERSTATE HIGHWAY 94 FOG LINE, 1.5 FEET SOUTH OF WITNESS POST.	
ELEVATION = 938.31 (NAVD 88)	
MNDOT NAME: 8282 AY	
IN LAKE ELMO, 0.7 MILE EAST ALONG INTERSTATE HIGHWAY 94 ROM THE JUNCTION OF INTERSTATE HIGHWAY 94 AND INWOOD AVENUE NORTH/RADIO DRIVE IN LAKE ELMO, AT INTERSTATE HIGHWAY 94 MILEPOINT 250.85, 38.7 FEET NORTH OF WESTBOUND INTERSTATE HIGHWAY 94 FOG LONE, 41.7 FEET SOUTH OF RIGHT-OF-WAY FENCE, 1.5 FEET SOUTH OF A WITNESS POST.	
ELEVATION = 985.73 (NAVD 88)	
SITE BENCHMARK:	
TBD	
ELEVATION = TBD (NAVD 88)	

OWNER	
DRAKE REAL ESTATE SERVICES	
496 S. BROADWAY DENVER, CO. 80209 TEL (303) 825-6200 CONTACT: JON HAUSER	

PROJECT CONTACTS	
CIVIL ENGINEER LANDFORM	SURVEYOR LANDFORM
105 SOUTH FIFTH AVENUE, SUITE 513 MINNEAPOLIS, MN 55401 TEL 612-252-9070 CONTACT: TOM MEYER	105 SOUTH FIFTH AVENUE, SUITE 513 MINNEAPOLIS, MN 55401 TEL 612-252-9070 CONTACT: LARRY HUHN
LANDSCAPE ARCHITECT LANDFORM	ARCHITECT NAMA PARTNERS
105 SOUTH FIFTH AVENUE, SUITE 513 MINNEAPOLIS, MN 55401 TEL 612-252-9070 CONTACT: JOSH POPEHN	6140 GREENWOOD PLAZA BOULEVARD, SUITE 100 GREENWOOD VILLAGE, CO 80111 TEL 720-289-0001 CONTACT: MIKE BRETTMANN

CIVIL / LANDSCAPE SHEET INDEX & REVISION MATRIX											
SHEETS ISSUED BY DATE		22	23	24	25	26	27	28	29	30	31
SHEET NO.	DESCRIPTION										
C0.1	CIVIL & LANDSCAPE TITLE SHEET	X	X	X	X						
C1.1	EXISTING CONDITIONS	X	X	X	X						
C1.2	PRELIMINARY PLAT										
C1.4	TREE PRESERVATION										
C2.0	OVERALL SITE PLAN	X	X	X	X						
C2.1	LOT 1 BLOCK 2 SITE PLAN										
C3.0	OVERALL GRADING, DRAINAGE, PAVING & EROSION CONTROL	X	X	X	X						
C3.1	ENLARGED BUILDING GRADING, DRAINAGE, PAVING & EROSION CONTROL										
C3.2	SOUTH GRADING, DRAINAGE, PAVING & EROSION CONTROL PLAN										
C3.3	NORTH GRADING, DRAINAGE, PAVING & EROSION CONTROL PLAN										
C3.4	SWPPP NOTES										
C4.0	OVERALL UTILITIES	X	X	X	X						
C4.1	STORM SEWER										
C4.2	SANITARY & WATER										
C5.1	HUDSON BOULEVARD EXISTING CONDITIONS & DEMOLITION										
C5.2	HUDSON BOULEVARD ALIGNMENT										
C5.3A	HUDSON BOULEVARD PLAN & PROFILE	X	X	X	X						
C5.3B	HUDSON BOULEVARD PLAN & PROFILE										
C5.4	HUDSON BOULEVARD TYPICAL SECTIONS										
C5.5	HUDSON BOULEVARD PAVING PLAN										
C5.6	HUDSON BOULEVARD CROSS SECTIONS										
C5.7	HUDSON BOULEVARD CROSS SECTIONS										
C5.8	HUDSON BOULEVARD CROSS SECTIONS										
C5.9	HUDSON BOULEVARD CROSS SECTIONS										
C5.10	HUDSON BOULEVARD CROSS SECTIONS										
C7.1	CIVIL CONSTRUCTION DETAILS										
C7.2	CIVIL CONSTRUCTION DETAILS										
C7.3	CIVIL CONSTRUCTION DETAILS										
C7.4	CIVIL CONSTRUCTION DETAILS										
L2.0	OVERALL LANDSCAPE PLAN										
L2.1	ENLARGED LANDSCAPE PLAN										
L4.1	PHOTOMETRICS										
L7.1	LANDSCAPE DETAILS										

CERTIFICATIONS	
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA. THIS CERTIFICATION IS FOR SHEET NUMBERS BEGINNING WITH "C".	
THOMAS O. MEYER, P.E.	
LICENSE NUMBER: 42016	DATE: 02/13/2023
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA. THIS CERTIFICATION IS FOR SHEET NUMBERS BEGINNING WITH "L".	
JOSH POPEHN, RLA	
LICENSE NUMBER: 44803	DATE: 02/13/2023

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From Site to Finish

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Minneapolis, MN 55401

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ELECTRIC AUTO SALES & SERVICE

HUDSON BLVD N.
LAKE ELMO, MN 55042

AUG. 29, 2022	CITY SUBMITTAL
OCT. 26, 2022	REVIEW SET
JAN. 25, 2023	PRELIM BID SET
FEB. 13, 2023	CITY SUBMITTAL

DRAWING TITLE

CIVIL & LANDSCAPE TITLE SHEET

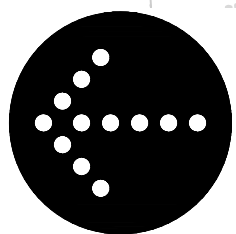
PROJECT NUMBER: DRS22002

SHEET NUMBER

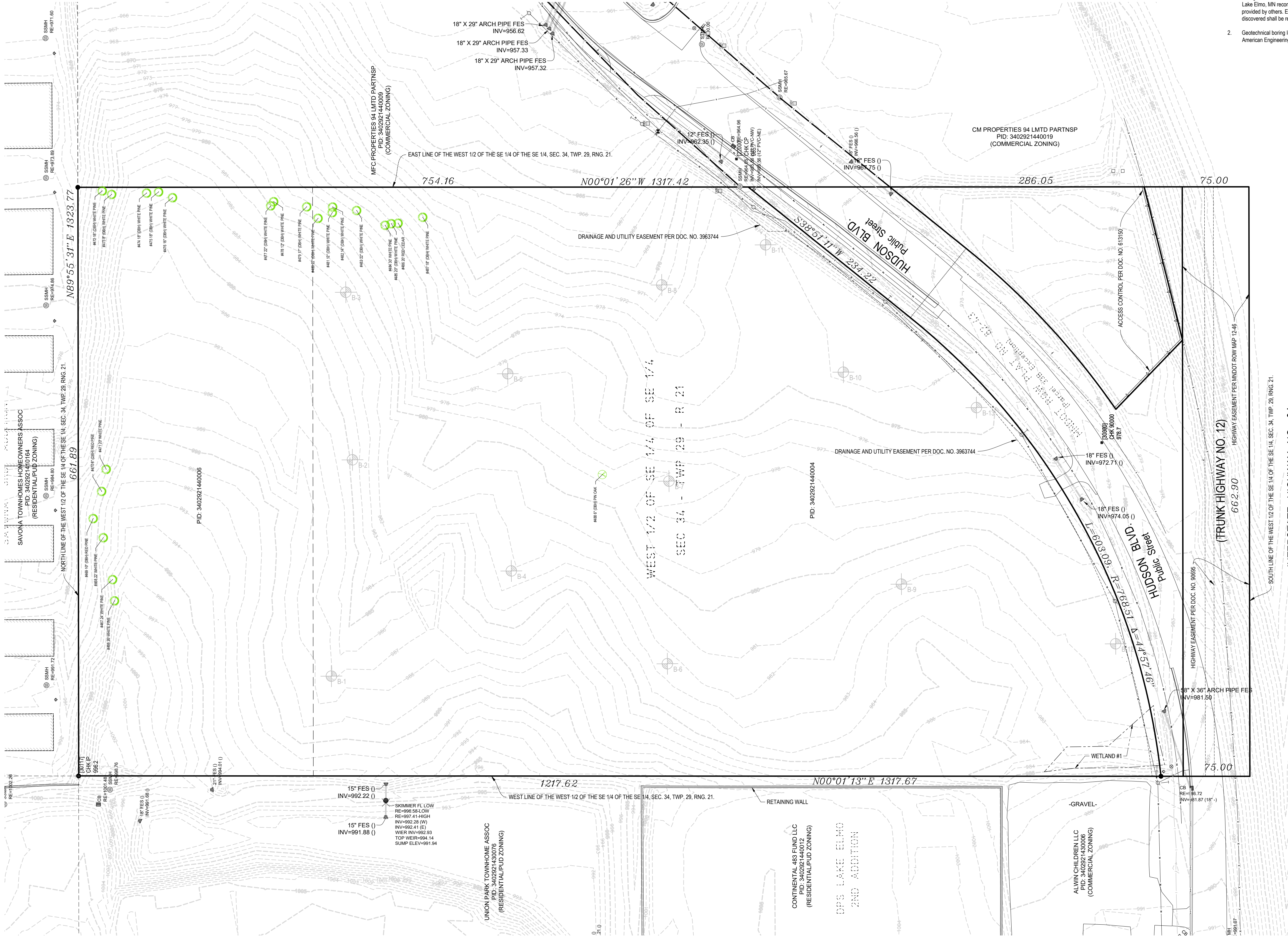
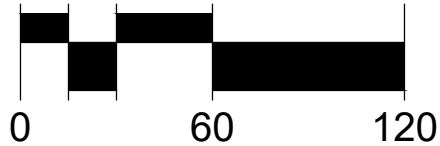
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NORTH



EXISTING CONDITIONS

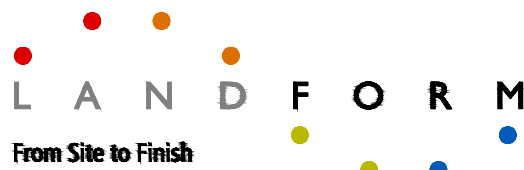
- Background information shown is from survey by Landform, Minneapolis, MN, on July 19, 2022, expressly for this project. City of Lake Elmo, MN record drawings, and utility service providers. Landform offers no warranty, expressed or written, for information provided by others. Existing project conditions shall be verified prior to beginning construction. Errors, inconsistencies, or omissions discovered shall be reported to the Engineer.
- Geotechnical boring locations are approximate and are based on information provided in the Geotechnical Report prepared by American Engineering Testing, Albertville, MN, on August 1, 2022.

PRELIMINARY
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CONSTRUCTION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

Tom O. Meyer
Tom O. Meyer
License No: 42016 Date:

Signature shown is a digital reproduction of original. Wet signed copy of this plan on file at Landform Professional Services, LLC office and is available upon request.



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EXISTING CONDITIONS

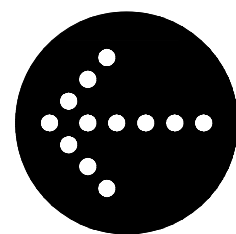
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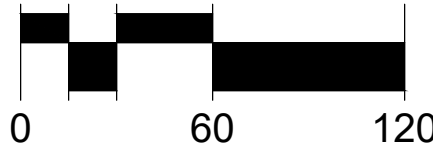
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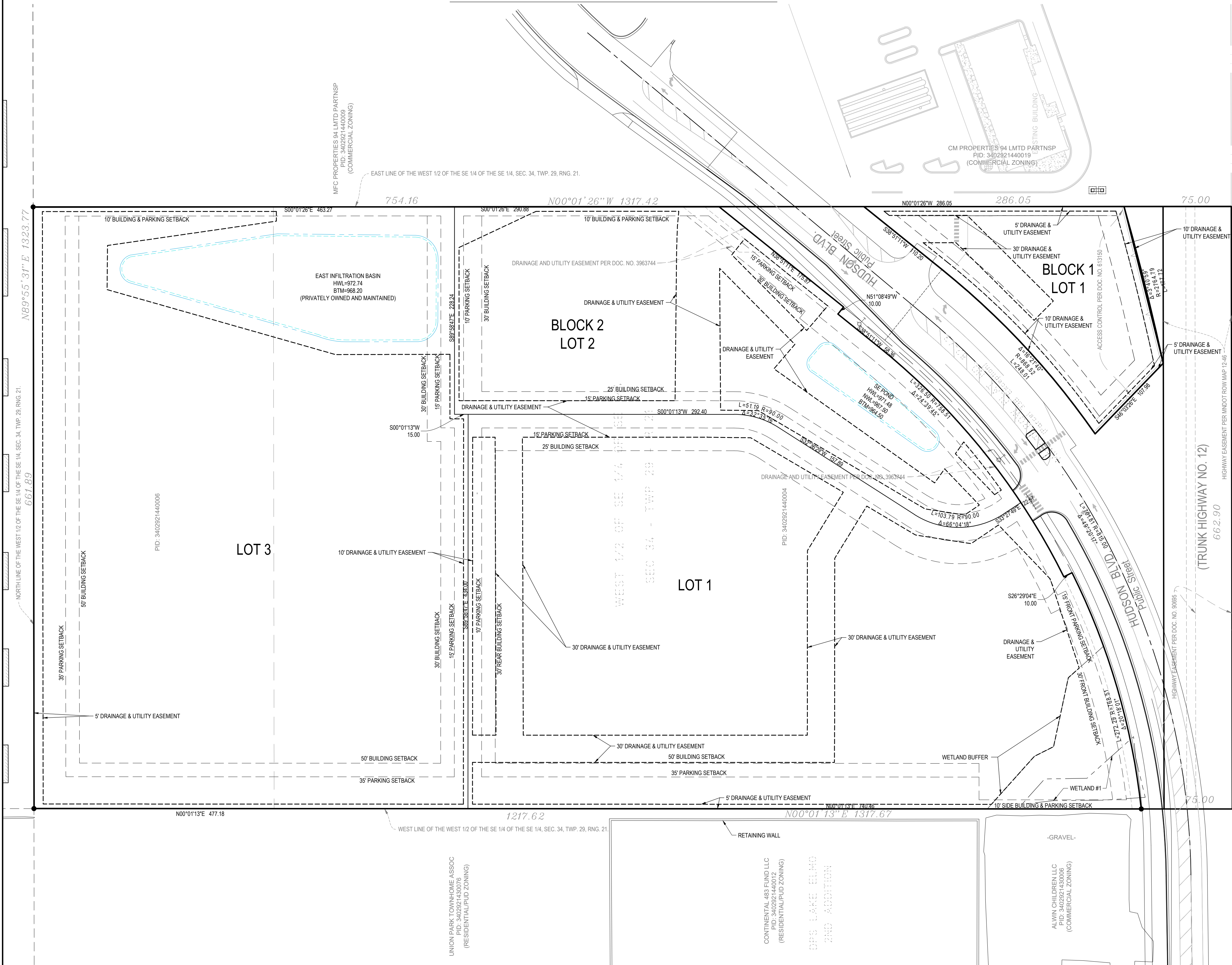
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NORTH



EBERTZ ADDITION



LEGAL DESCRIPTION

THE WEST ONE-HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 29, RANGE 21, EXCEPT THAT PART DEPICTED AS PARCEL 338 ON MINNESOTA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY PLAT NO. 82-43 FILED MARCH 22, 1982, AS DOCUMENT NO. 429592, WHICH WAS TAKEN BY THE STATE OF MINNESOTA IN FINAL CERTIFICATE DATED OCTOBER 4, 1989, FILED OCTOBER 24, 1989, AS DOCUMENT NO. 613150.

WASHINGTON COUNTY, MINNESOTA

BENCHMARK

PROJECT BENCHMARK:

MINDOT NAME: 8282 AX
IN LAKE ELMO, 0.05 MILE EAST ALONG INTERSTATE HIGHWAY 94 FROM THE JUNCTION OF INTERSTATE HIGHWAY 94 AND WOODBURY DRIVE (KEATS AVENUE NORTH) IN LAKE ELMO, AT INTERSTATE HIGHWAY 94 MILEPOINT 251.75, 89.8 FEET NORTH OF WESTBOUND INTERSTATE HIGHWAY 94 FOG LONE, 1.5 FEET SOUTH OF WITNESS POST.

ELEVATION = 938.31 (NAVD 88)

MINDOT NAME: 8282 AY

IN LAKE ELMO, 0.7 MILE EAST ALONG INTERSTATE HIGHWAY 94 ROM THE JUNCTION OF INTERSTATE HIGHWAY 94 AND INWOOD AVENUE NORTHRADIO DRIVE IN LAKE ELMO, AT INTERSTATE HIGHWAY 94 MILEPOINT 250.85, 38.7 FEET NORTH OF WESTBOUND INTERSTATE HIGHWAY 94 FOG LONE, 41.7 FEET SOUTH OF RIGHT-OF-WAY FENCE, 1.5 FEET SOUTH OF A WITNESS POST.

ELEVATION = 985.73 (NAVD 88)

SITE BENCHMARK:

TBD

ELEVATION = TBD (NAVD 88)

AREA SUMMARY

Total Existing Site Area: 742,966 S.F. = 17.06 AC.

Wetland Area: 3,944 S.F. = 0.09 AC.

Upland Area: 739,022 S.F. = 16.97 AC.

ZONING AND SETBACK SUMMARY

The Property is Zoned C- Commercial

Building Setback Information is as follows:

Front Yard = 30 ft.

Rear = 30 ft.

Side (Interior) = 10 ft.

Side (Corner) = 25 ft.

Parking Setback Information is as follows:

Front Yard = 15 ft.

Rear = 10 ft.

Side (Interior) = 10 ft.

Side (Corner) = 15 ft.

LOT AREA TABLE

Lot, Block:	LOT SIZE:
Lot 1, Blk 1	40,681 s.f.
Lot 1, Blk 2	289,112 s.f.
Lot 2, Blk 2	116,440 s.f.
Lot 3, Blk 2	312,863 s.f.
*3,870 s.f. Right-of-Way Dedication	

LEGEND

	Property Line
	Interior Lot Line
	Underlying Parcel Line
	Existing Easement
	Proposed Easement
	Proposed Setback

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ISSUE / REVISION

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OCT. 26, 2022	REVIEW SET
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FEB. 13, 2023	CITY SUBMITTAL

DRAWING TITLE

PRELIMINARY PLAT

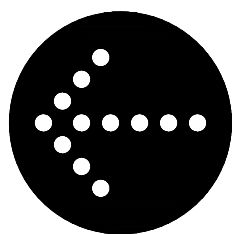
PROJECT NUMBER: DRS22002

SHEET NUMBER

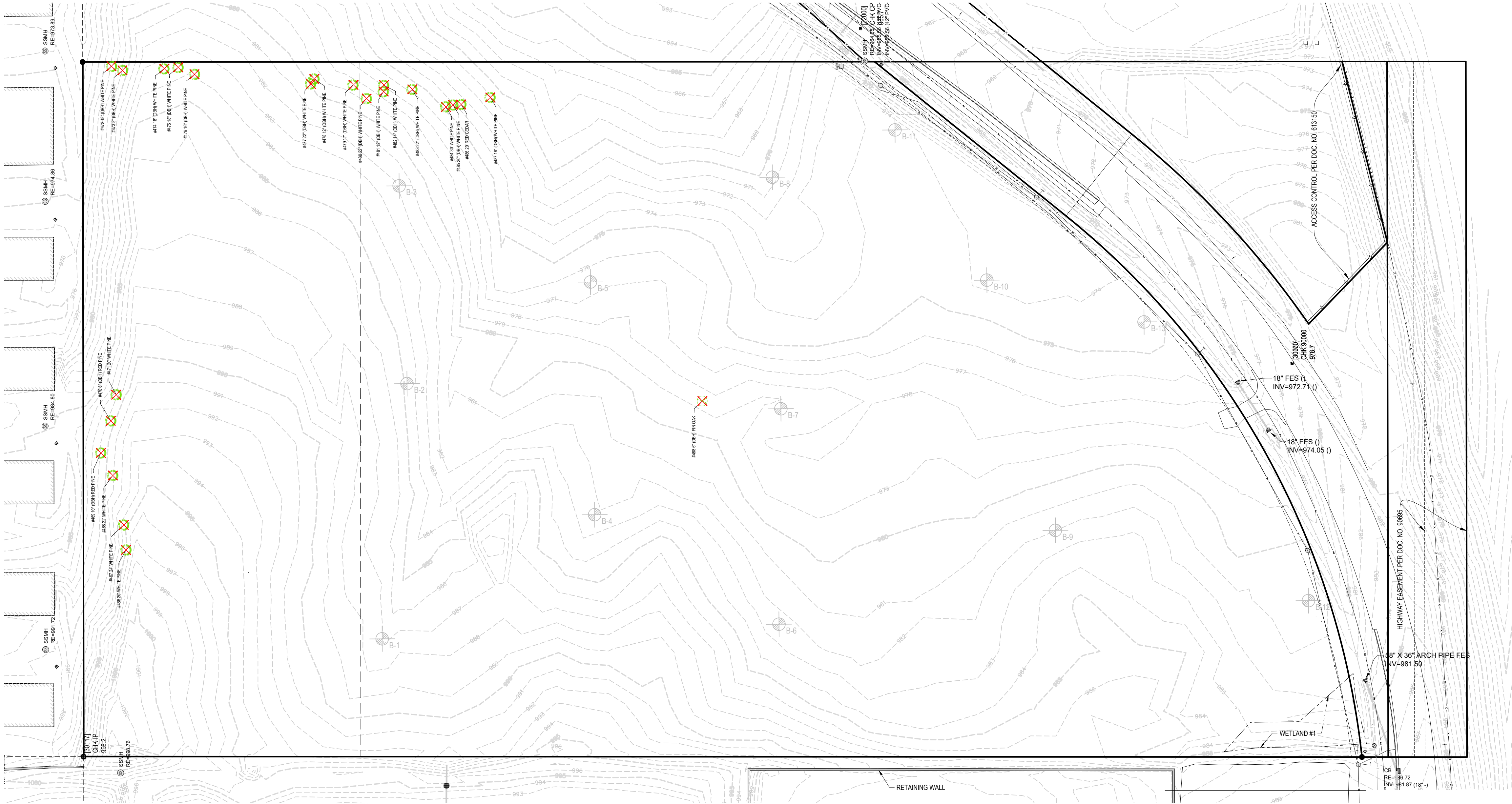
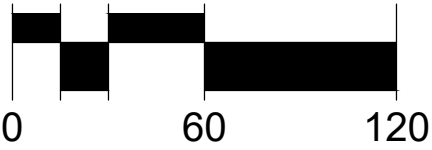
C1.2



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NORTH



LEGEND

✕ :Tree Removal

TREE PRESERVATION REQUIREMENTS

Code Sec. 105.12.470
Up to 30% removals without replacement. Removal calculations apply to each tree type individually and any replacements needed shall apply to each tree type (hardwood, coniferous, common).

Replacement multipliers
Hardwoods - 1/2 per inch lost
Coniferous - 1/2 per inch lost
Common - 1/4 per inch lost

Tree Type	Total inches	Inches Removed (30% allowed)	Inches Mitigated (70%)	Replacement Inches Required
Hardwoods	6	6	4	2
Coniferous	301	301	211	106 (27'-8" ht. trees)
Common	0	0	0	0

Coniferous

Tag #	Size	Species	Health	Category	Remove	Replacement Inches
466	8 Cal	White Pine	H	Conifer	1	4
467	9 Cal	White Pine	H	Conifer	1	4.5
468	9 Cal	White Pine	H	Conifer	1	4.5
469	8 Cal	Red Pine	H	Conifer	1	4
470	8 Cal	Red Pine	H	Conifer	1	4
471	8 Cal	White Pine	H	Conifer	1	4
472	8 Cal	White Pine	H	Conifer	1	4
473	18 Cal	White Pine	H	Conifer	1	9
474	18 Cal	White Pine	H	Conifer	1	9
475	18 Cal	White Pine	H	Conifer	1	9
476	16 Cal	White Pine	H	Conifer	1	8
477	22 Cal	White Pine	H	Conifer	1	11
478	12 Cal	White Pine	H	Conifer	1	6
479	17 Cal	White Pine	H	Conifer	1	8.5
480	20 Cal	White Pine	H	Conifer	1	10
481	12 Cal	White Pine	H	Conifer	1	6
482	14 Cal	White Pine	H	Conifer	1	7
483	22 Cal	White Pine	H	Conifer	1	11
484	20 Cal	White Pine	H	Conifer	1	10
485	8 Cal	White Pine	H	Conifer	1	4
486	8 Cal	Eastern Red Cedar	H	Conifer	1	4
487	18 Cal	White Pine	H	Conifer	1	9

Totals 301

Hardwoods

Tag #	Size	Species	Health	Category	Remove	Replacement Inches
488	6 Cal	Pin Oak	H	Hardwood	1	3

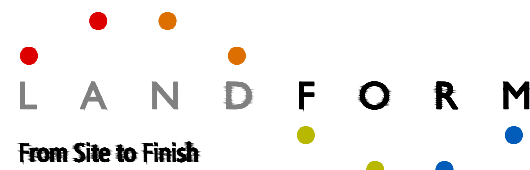
Totals 6

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I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Landscape Architect under the laws of the state of MINNESOTA.

Joshua K. Popeln
Joshua K. Popeln
License No: 4450.3 Date: 02/13/2023

Signature shown is a digital reproduction of original. Wet signed copy of this plan on file at Landform Professional Services, LLC office and is available upon request.



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DRAWING TITLE

TREE PRESERVATION

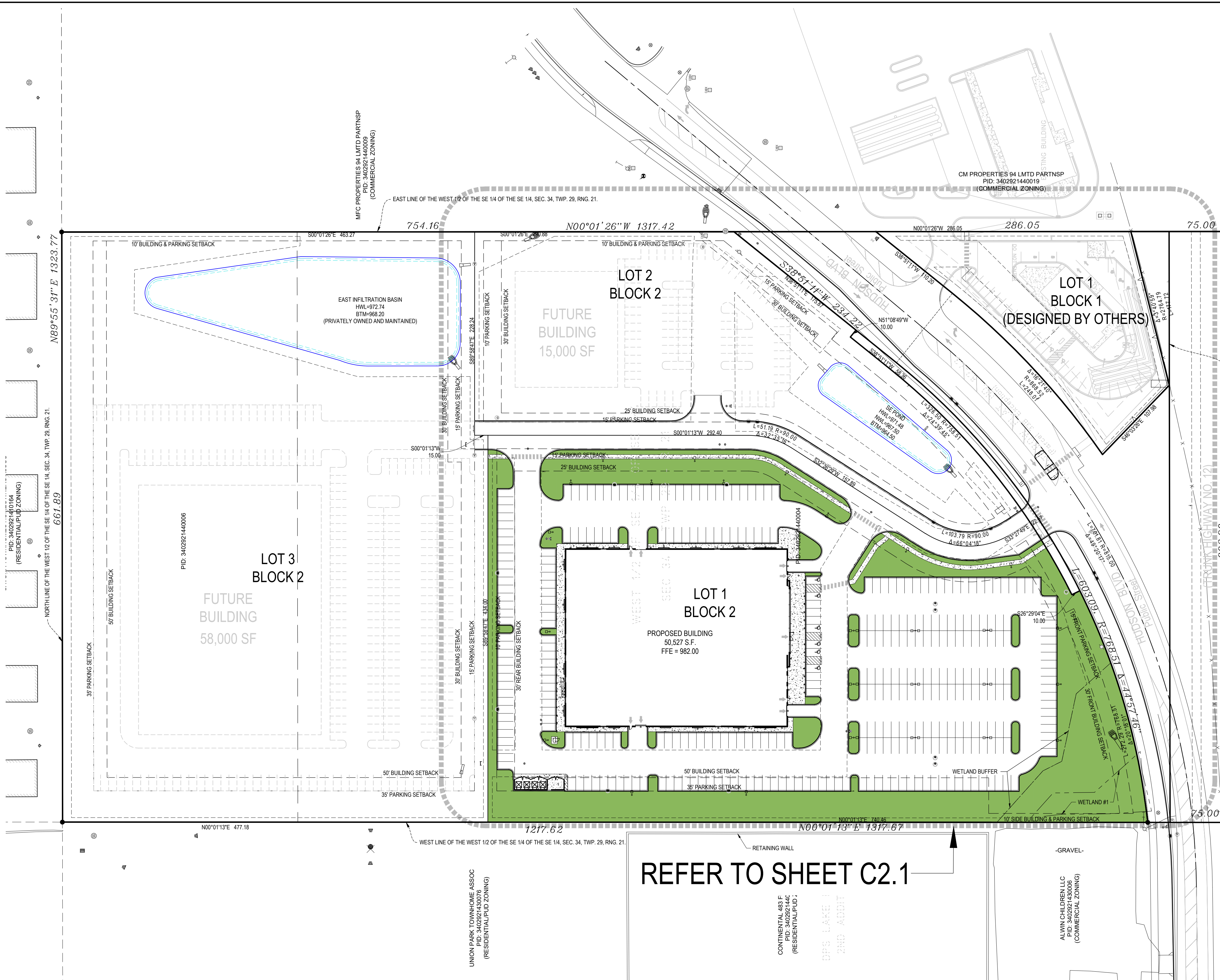
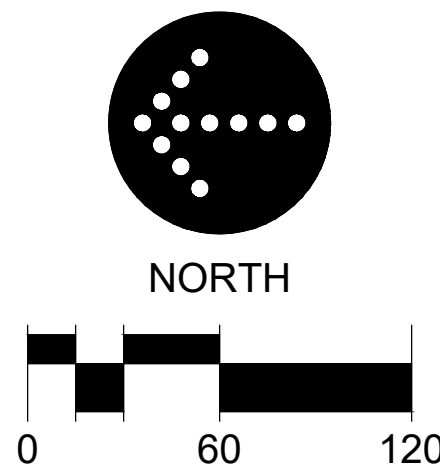
PROJECT NUMBER: DRS22002

SHEET NUMBER

C1.4



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GENERAL NOTES

- For construction staking and surveying services contact Landform at 612.252.9070.
- Obtain all necessary permits for construction within, or use of, public right-of-way.
- The digital file, which can be obtained from the Engineer, shall be used for staking. Discrepancies between the drawings and the digital file shall be reported to the Engineer. The building footprint, as shown on these drawings, and the digital file, shall be compared to the structural drawings prior to staking.
- Building layout angles are parallel with or perpendicular to the property line at the location indicated.
- Dimensions shown are to face of curb and exterior face of building unless noted otherwise.
- Delineate parking stalls with a 4-inch wide white painted stripe. Delineate access aisles with 4-inch wide white painted stripes 18 inches on center and at 45 degree angle to direction of travel.
- Trash / Recycling areas: See Architectural drawings.

ZONING AND SETBACK SUMMARY

The Property is Zoned C - Commercial

Building Setback Information is as follows:
Front Yard = 30 ft.
Rear = 30 ft.
Side (interior) = 10 ft.
Side (corner) = 25 ft.

Parking Setback Information is as follows:
Front Yard = 15 ft.
Rear = 10 ft.
Side (interior) = 10 ft.
Side (corner) = 15 ft.

Lot Coverage Information is as follows:
Lot Area Minimum = 20,000 s.f. = 0.46 ac.
Lot Width Minimum = 100 ft.
Total Site Area = 742,967 s.f. = 17.06 ac.

AREA SUMMARY (LOT 1 - BLOCK 1)

Existing:				
Pervious	40,681	s.f.	0.93	ac.
Impervious	0	s.f.	0.00	ac.
Total	40,681	s.f.	0.93	ac.
Proposed:				
Pervious	14,714	s.f.	0.33	ac.
Impervious	25,967	s.f.	0.60	ac.
Total	40,681	s.f.	0.93	ac.

AREA SUMMARY (LOT 1 - BLOCK 2)

Existing:				
Pervious	269,112	s.f.	6.18	ac.
Impervious	0	s.f.	0.00	ac.
Total	269,112	s.f.	6.18	ac.
Proposed:				
Pervious	69,723	s.f.	1.60	ac.
Impervious	199,389	s.f.	4.58	ac.
Total	269,112	s.f.	6.18	ac.

AREA SUMMARY (FUTURE LOT 2 - BLOCK 2)

Existing:				
Pervious	116,440	s.f.	2.67	ac.
Impervious	0	s.f.	0	ac.
Total	116,440	s.f.	2.67	ac.
Proposed (Assume 75% Max. Impervious Area):				
Pervious	29,110	s.f.	0.67	ac.
Impervious	87,330	s.f.	2.03	ac.
Total	116,440	s.f.	2.70	ac.

AREA SUMMARY (FUTURE LOT 3 - BLOCK 2)

Existing:				
Pervious	312,863	s.f.	7.18	ac.
Impervious	0	s.f.	0	ac.
Total	312,863	s.f.	7.18	ac.
Proposed (Assume 75% Max. Impervious Area):				
Pervious	78,216	s.f.	1.80	ac.
Impervious	234,647	s.f.	5.38	ac.
Total	312,863	s.f.	7.18	ac.

PARKING SUMMARY (LOT 1 - BLOCK 2)

Required Parking:		
One Stall per 250 s.f. of gross floor area used for sales or customer service. One stall per 2,000 s.f. of outside sales/display area.		
37,536 s.f. Total gross floor area		
37,536 s.f. / 250 = 151 stalls		
29,970 s.f. Total outside sales/display area		
29,970 s.f. / 2,000 = 15 stalls		
Total Parking Stalls Required	166	ea.
Provided Parking:		
Standard Stalls (8x18)	345	ea.
Accessible Stalls (8x18)	6	ea.
Total Parking Stalls Provided	351	ea.

LEGEND

- Green Space (Landscape Area)
- Customer Parking - 127 stalls
- Employee Parking - 39 stalls

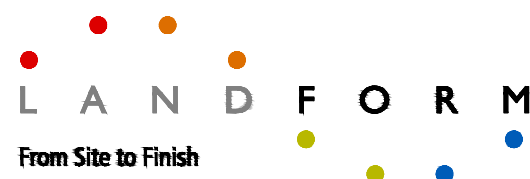
PRELIMINARY
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I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

Tom O. Meyer

Tom O. Meyer
License No: 42016
Date:

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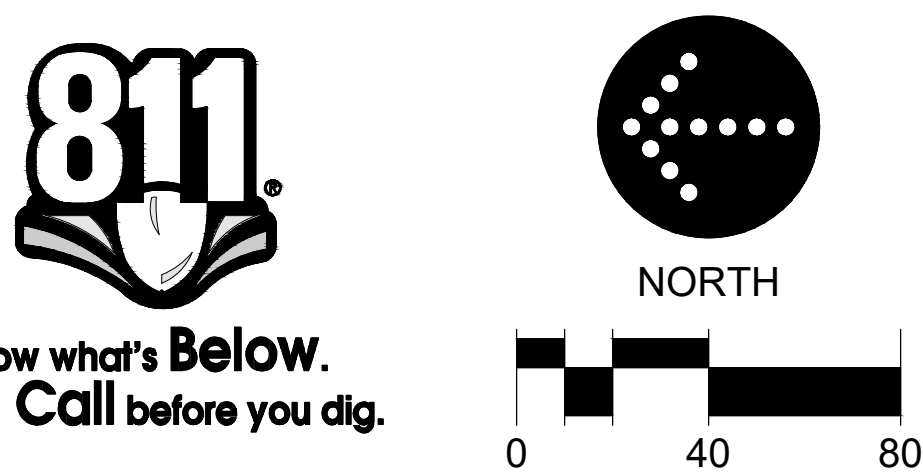
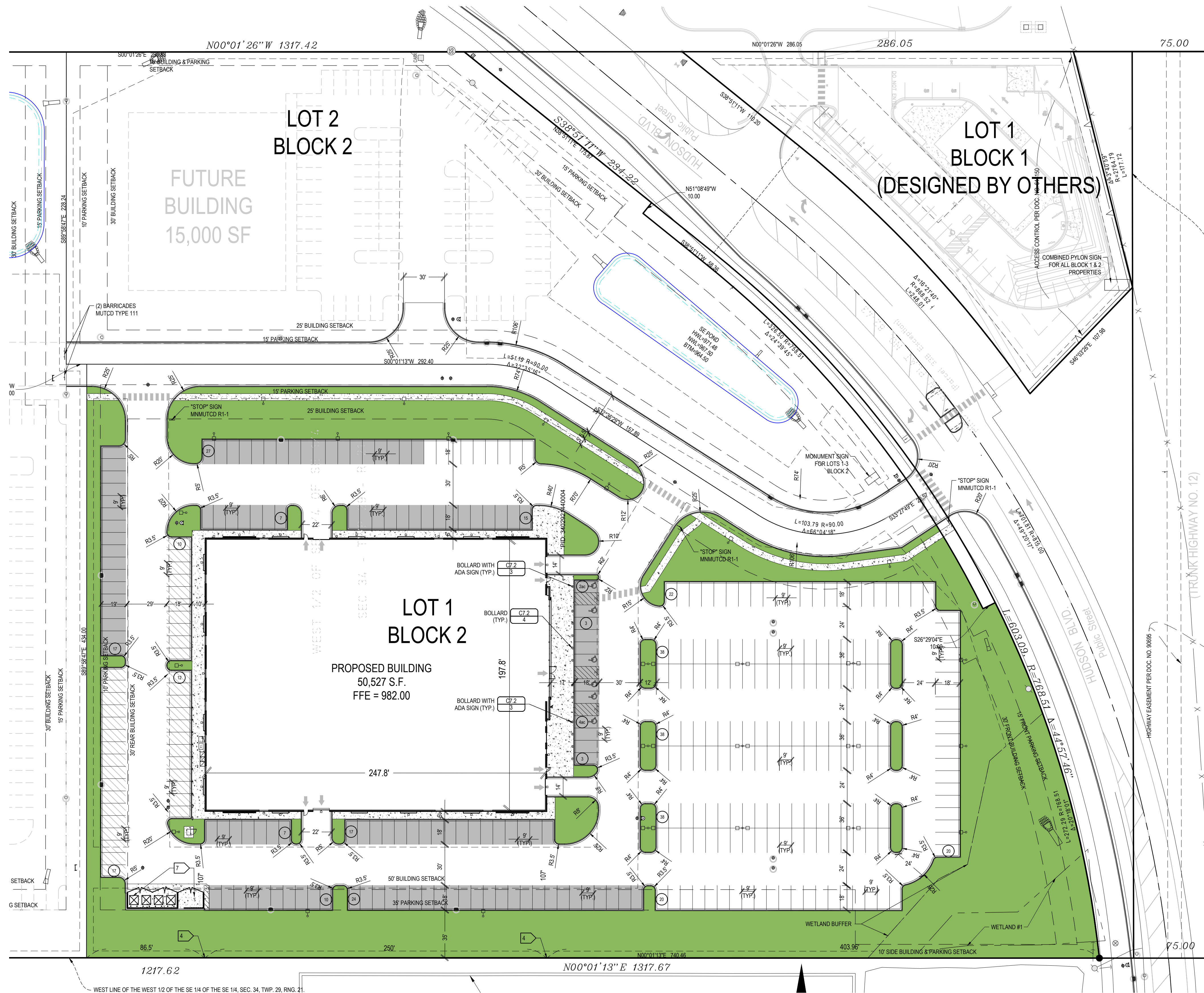
DRAWING TITLE

OVERALL
SITE PLAN

PROJECT NUMBER: DRS22002

SHEET NUMBER

C2.0



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Pervious	14,714	s.f.	0.33	ac.
Impervious	25,967	s.f.	0.60	ac.
Total	40,681	s.f.	0.93	ac.

AREA SUMMARY (LOT 1 - BLOCK 2)

Existing:				
Pervious	269,112	s.f.	6.18	ac.
Impervious	0	s.f.	0.00	ac.
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Impervious	199,389	s.f.	4.58	ac.
Total	269,112	s.f.	6.18	ac.

AREA SUMMARY (FUTURE LOT 2 - BLOCK 2)

Existing:				
Pervious	116,440	s.f.	2.67	ac.
Impervious	0	s.f.	0	ac.
Total	116,440	s.f.	2.67	ac.
Proposed (Assume 75% Max. Impervious Area):				
Pervious	29,110	s.f.	0.67	ac.
Impervious	87,330	s.f.	2.03	ac.
Total	116,440	s.f.	2.70	ac.

AREA SUMMARY (FUTURE LOT 3 - BLOCK 2)

Existing:				
Pervious	312,863	s.f.	7.18	ac.
Impervious	0	s.f.	0	ac.
Total	312,863	s.f.	7.18	ac.
Proposed (Assume 75% Max. Impervious Area):				
Pervious	78,216	s.f.	1.80	ac.
Impervious	234,647	s.f.	5.38	ac.
Total	312,863	s.f.	7.18	ac.

PARKING SUMMARY (LOT 1 - BLOCK 2)

Required Parking:		
One Stall per 250 s.f. of gross floor area used for sales or customer service. One stall per 2,000 s.f. of outside sales/display area.		
37,536 s.f. Total gross floor area		
37,536 s.f. / 250 = 151 stalls		
29,970 s.f. Total outside sales/display area		
29,970 s.f. / 2,000 = 15 stalls		
Total Parking Stalls Required	166	ea.
Provided Parking:		
Standard Stalls (8x18)	345	ea.
Accessible Stalls (8x18)	6	ea.
Total Parking Stalls Provided	351	ea.

LEGEND

- Green Space (Landscape Area)
- Customer Parking - 127 stalls
- Employee Parking - 39 stalls

PRELIMINARY
NOT FOR
CONSTRUCTION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

Tom O. Meyer
License No: 42016
Date:
Signature shown is a digital reproduction of original. Wet signed copy of this plan on file at Landform Professional Services, LLC office and is available upon request.

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ISSUE / REVISION
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DRAWING TITLE

LOT 1 BLOCK 2
SITE PLAN

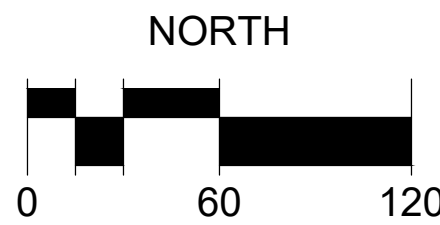
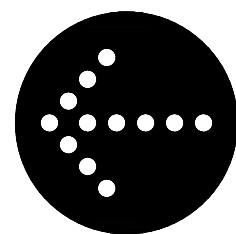
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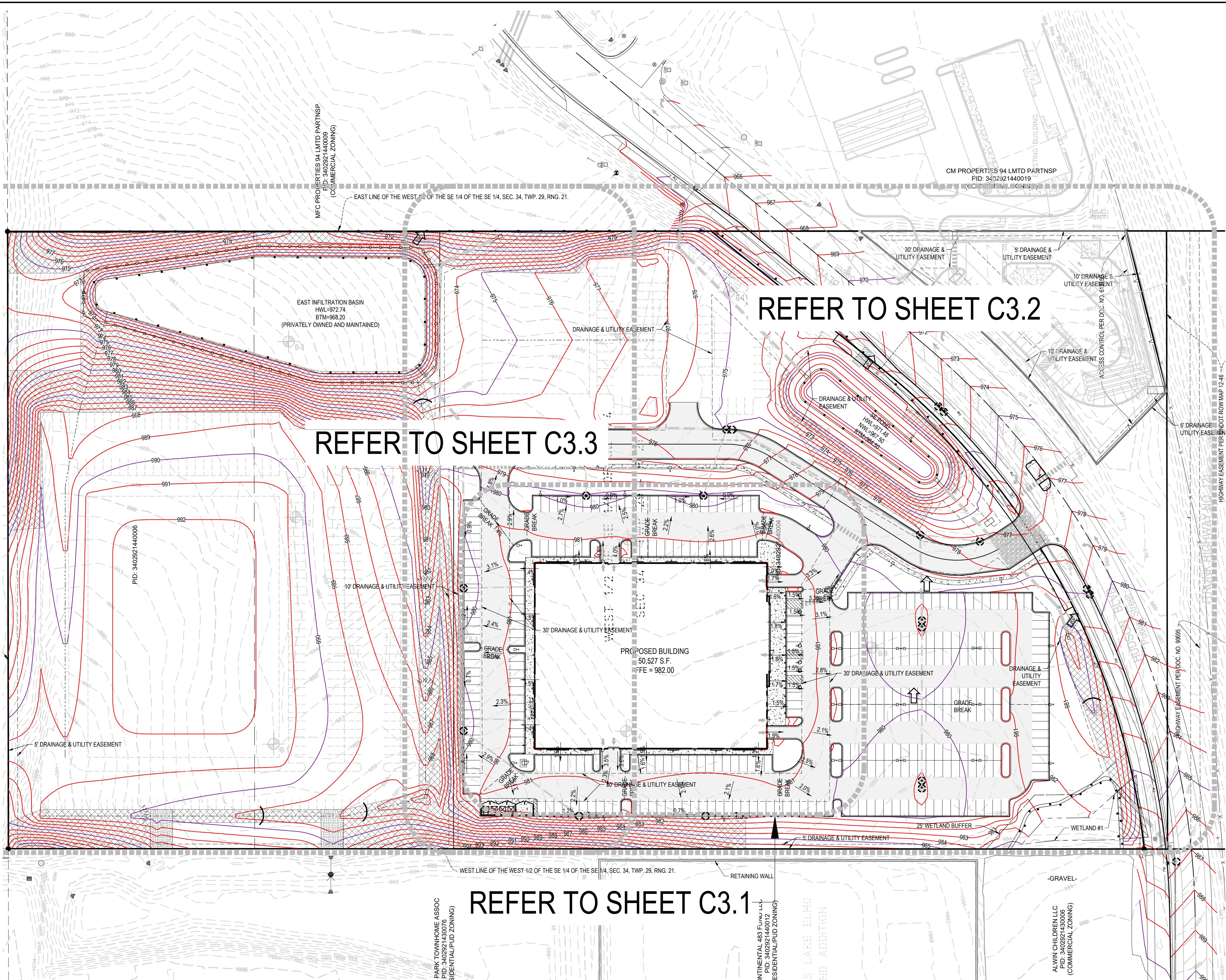
C2.1



Know what's Below.
Call before you dig.



LEGEND					
SYMBOL	DESCRIPTION	ESTIMATED QUANTITY	SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
	:Inlet Protection	21 ea.		:Pavement Sawcut	
	:Silt Fence	2,735 ft.		:Construction Limits	
	:Vehicle Tracking Pad	1 ea.		:Welland Fill	1,500 s.f.
	:Erosion Control Blanket			:Erikanmat 7020	x s.f.
	:Tip Out Curb			:Maintenance Access Route	



GENERAL NOTES

1. For construction staking and surveying services contact Landform at 612.252.9070.

EROSION PREVENTION AND SEDIMENT CONTROL NOTES

2. Install perimeter sediment controls prior to beginning work and maintain for duration of construction. Remove controls after areas contributing runoff are permanently stabilized and dispose of off site.
3. Install inlet protection: Winco RD or CG models as appropriate, or approved equal. Maintain protection until project is stabilized.
4. Limit soil disturbance to the grading limits shown. Schedule operations to minimize length of exposure of disturbed areas.
5. Management practices shown are the minimum requirement. Install and maintain additional controls as work proceeds to prevent erosion and control sediment carried by wind or water.
6. Refer to SWPPP Notes on Sheet C3.4 for additional requirements.
7. Reserved.
8. Contractor shall prevent sediment laden water from entering the filtration / infiltration system until the site is completely stabilized.
9. Stabilization must be started immediately to limit soil erosion when the construction activity in that portion of the site has temporarily or permanently ceased and will not resume for 14 calendar days.

Seed, Sod, Mulch, Erosion Control Blanket, and Fertilizer shall meet the following Specifications, as modified.

Item	Specification Number
Seed	MNDOT 3876
Seed	MNDOT 3876
MN Type 21-111 @ 100 lb./ac. - Temporary Erosion Control - Temporary Erosion Control, May 1 - Jul 31	
MN Type 21-112 @ 100 lb./ac. - Temporary Erosion Control - Temporary Erosion Control, Aug 1 - Oct 31	
Mulch	MNDOT 3882
(MNDOT Type 1 @ 2 ton/ac., Disc Anchored)	
Erosion Control Blanket	MNDOT 3885
(MNDOT Type 3N (for 12 mo.) 4N (for 24 mo.))	
Fertilizer	MNDOT 3881
General Placement	MNDOT 2575

10. See Landscape Sheets for permanent turf and landscape establishment.

11. Scrape adjacent streets clean daily and sweep clean weekly.

GRADING NOTES

12. Contact utility service providers for field location of services 72 hours prior to beginning grading.
13. Refer to the Geotechnical Report prepared by American Engineering Testing, Dated 09/14/22, for additional information on backfill material and groundwater conditions.
14. Remove topsoil from grading areas and stockpile sufficient quantity for reuse. Materials may be mined from landscape areas for use on site and replaced with excess organic material with prior Owner approval.
15. Remove surface and ground water from excavations. Provide initial lifts of stable foundation material if exposed soils are wet and unstable.
16. Rough grade Building Pad to 12 Inches below Finished Floor Elevation (FFE).
17. Refer to Structural Specifications for earthwork requirements for building pads.
18. An Independent Testing Firm shall verify the removal of organic and unsuitable soils, soil correction, and compaction and provide periodic reports to the Owner.
19. Place and compact fill using lift thicknesses matched to soil type and compaction equipment to obtain specified compaction throughout the lift.
20. Compact cohesive soils in paved areas to 95% of maximum dry density. Standard Proctor (ASTM D698) except the top 3 feet which shall be compacted to 100%. Compact to 96% density where fill depth exceeds 10 feet. The soils shall be within 3% of optimum moisture content. In granular soils all portions of the embankment shall be compacted to not less than 95% of Modified Proctor Density (ASTM D1557).
21. Coordinate with Architectural for building stoop locations. Slopes shown on adjacent walks and pavements should continue over stoops.

INFILTRATION BASIN INFORMATION & TESTING

22. Avoid soil compaction of infiltration practices. Any equipment used in infiltration areas should be small scaled and tracked. Install protective fencing as shown before work begins.
23. The bottom of surface infiltration basins (not underground) shall be scarified to a depth of 12" prior to placement of topsoil or planting media.
24. DESIGN PERMEABILITY RATES:
Infiltration 1 was designed with a permeability of 0.45 inches/hour.
25. TESTING:
a. Infiltration Basins: At the time of basin excavation, and prior to placement of any material (soil, chambers, etc.), permeability testing shall be performed.
b. Filtration Basins: Once filtration basin media has been placed, permeability testing shall be performed.
c. Contractor shall engage a qualified testing firm to measure the permeability of the basin surface utilizing a Double Ring Infiltrometer, Modified Philip Dunn (MPD) Infiltrometer, or other method approved by the Civil Engineer or Geotechnical Engineer. Test results shall be greater than or equal to the following rates to meet long term rates required for design:
Infiltration 1 needs a permeability of 0.9 inches/hour. -- DESIGNER: TESTED RATE SHALL BE TWICE REQD.
d. Contractor to contact the following to schedule testing. Representative staff from each entity may wish to observe the tests. Contact shall be made 72 hours prior to testing.

Civil Engineer: Tom Meyer, tmeyer@landform.net, 612.252.9070
Geotechnical Engineer: Rob Olson, rolson@teamAET.com, 651-659-1316
Valley Branch Watershed: John Hanson, jhanson@barr.com, 952-832-2622
City of Lake Elmo: Jack Griffin, jack.griffin@Focusengineering.com, 651-300-4264

26. RATE OF TESTING: Contractor shall coordinate with the testing firm to provide permeameter tests at the following rates:

Filtration/Infiltration Basin I.D.	Basin Area (s.f.)	No. of Tests Required
1	32,441	7

27. Test results shall be provided to the Civil Engineer, Geotechnical Engineer, Watershed & City.

PAVING NOTES

23. Spot Elevations at curblines indicate flowlines unless noted otherwise. See Sheet C4.2 for rim elevations of catch basins.
24. Grades between proposed spot elevations shall be continuous and nonvariable. Spot Elevations shall govern over contour lines.

25. Meet and Match existing curb. Transition as needed.

26. Paving Sections (Refer to Geotechnical Report by American Engineering Testing, Dated 09-14-2022)

- a. Bituminous Paving (Light Duty)
2-inch Bituminous Wear (MNDOT 2360, SPWEA330F)
Tack Coat (MNDOT 2357)
2.5-inch Bituminous Base (MNDOT 2360, SPNWB340F)
6-inch Aggregate Base (MNDOT 3138, Class 5)
12-inch Granular Sub-Base (MNDOT 3149, 2B4)
Compacted Subsoil
- b. Bituminous Paving (Heavy Duty)
2-inch Bituminous Wear (MNDOT 2360, SPWEA440F)
Tack Coat (MNDOT 2357)
2.5-inch Bituminous Base (MNDOT 2360, SPNWB330F)
8-inch Aggregate Base (MNDOT 3138, CLASS 5)
12-inch Granular Sub-Base (MNDOT 3149, 2B4)
Compacted Subsoil
- c. Concrete Walkways
4-inch Concrete Walk, 4000 PSI, 5%-8% Air Entrained, Max. 4" Slump (MNDOT 2301)
4-inch Aggregate Base (MNDOT 3138, CLASS 5)
Compacted Subsoil
- d. Concrete Drives, Aprons, and Exterior Slabs
8-inch Concrete, 4000 PSI, 5%-8% Air Entrained, Max. 4" Slump (MNDOT 2301)
6-inch Aggregate Base (MNDOT 3138, CLASS 5)
Compacted Subsoil

27. Concrete Joints

Install joints as shown and align across sidewalks, curbs, and pavement, paying attention to spacing of expansion joints.

Joint spacing shall be as follows:

- a. Tooled joints: Divide panels into nominally equal areas unless shown otherwise.
b. Expansion Joints: Sidewalks - 40 feet max.; Curbs - 60 feet max.; Pavement: 80 feet max.; Adjacent to building foundations and stoops.
c. Contraction Joints: Sidewalks - 8 to 10 feet; Curbs and Aprons - 12 to 15 feet.

28. Accessible Parking Stalls and adjacent access aisles shall not exceed a 2.00% slope in any direction.

29. Accessible Routes shall have a maximum cross slope of 2.00% and a maximum running slope of 5.00%.

30. Adjust all structure rims to match pavement elevations.

PRELIMINARY
NOT FOR
CONSTRUCTION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

Tom O. Meyer
License No. 42016 Date:

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ISSUE / REVISION

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DRAWING TITLE

OVERALL GRADING,
DRAINAGE, PAVING,
& EROSION CONTROL

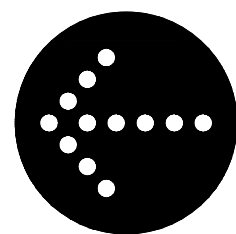
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SHEET NUMBER

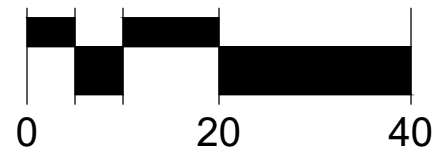
C3.0



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NORTH



PROPOSED BUILDING
50,527 S.F.
FFE = 982.00

LEGEND					
SYMBOL	DESCRIPTION	ESTIMATED QUANTITY	SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
	:Inlet Protection	21 ea.		:Pavement Sawcut	
	:Silt Fence	2,735 ft.		:Construction Limits	
	:Vehicle Tracking Pad	1 ea.		:Welland Fill	1,500 s.f.
	:Erosion Control Blanket			:Einkamat 7020	x s.f.
	:Tip Out Curb			:Maintenance Access Route	

GENERAL NOTES

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Seed, Sod, Mulch, Erosion Control Blanket, and Fertilizer shall meet the following Specifications, as modified.

Item	Specification Number
Seed	MNDOT 3878
Seed	MNDOT 3876
MN Type 21-111 @ 100 lb./ac. - Temporary Erosion Control - Temporary Erosion Control, May 1 - Jul 31	
MN Type 21-112 @ 100 lb./ac. - Temporary Erosion Control - Temporary Erosion Control, Aug 1 - Oct 31	
Mulch	MNDOT 3882
(MNDOT Type 1 @ 2 ton/ac., Disc Anchored)	
Erosion Control Blanket	MNDOT 3885
(MNDOT Type 3N (for 12 mo.) 4N (for 24 mo.))	
Fertilizer	MNDOT 3881
General Placement	MNDOT 2575

- See Landscape Sheets for permanent turf and landscape establishment.
- Scrape adjacent streets clean daily and sweep clean weekly.

GRADING NOTES

- Contact utility service providers for field location of services 72 hours prior to beginning grading.
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- Bituminous Paving (Light Duty)
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 - Tack Coat (MNDOT 2357)
 - 2.5-inch Bituminous Base (MNDOT 2360, SPNWB340F)
 - 6-inch Aggregate Base (MNDOT 3138, Class 5)
 - 12-inch Granular Sub-Base (MNDOT 3149,2B4)
 - Compacted Subsoil

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 - 8-inch Aggregate Base (MNDOT 3138, Class 5)
 - 12-inch Granular Sub-Base (MNDOT 3149,2B4)
 - Compacted Subsoil

- Concrete Walkways
 - 4-inch Concrete Walk, 4000 PSI, 5%-8% Air Entrained, Max. 4" Slump (MNDOT 2301)
 - 4-inch Aggregate Base (MNDOT 3138, CLASS 5)
 - Compacted Subsoil

- Concrete Drives, Aprons, and Exterior Slabs
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- Concrete Joints

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License No. 42016
Date:

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DRAWING TITLE

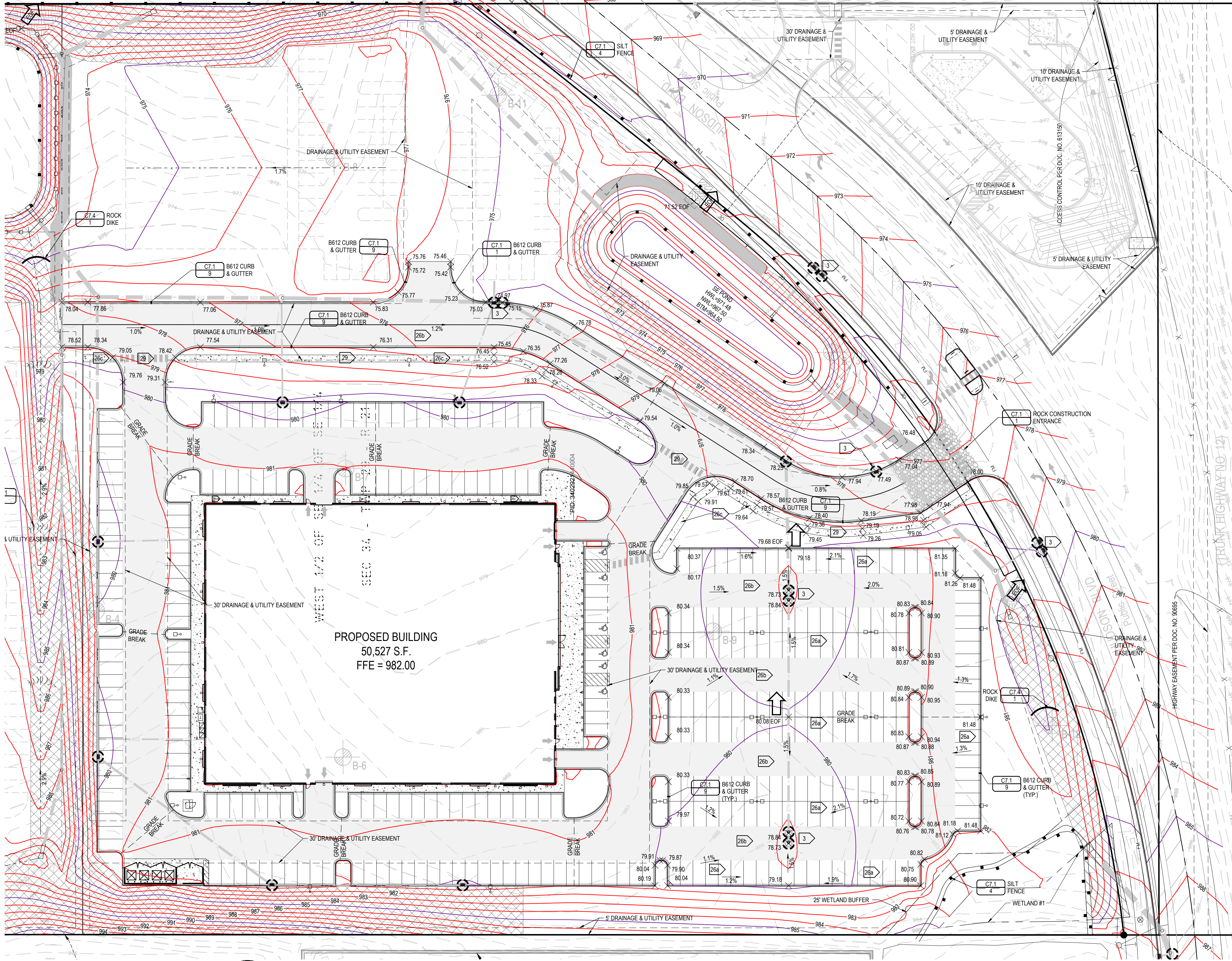
ENLARGED BLDG GRADING,
DRAINAGE, PAVING,
& EROSION CONTROL

PROJECT NUMBER: DRS22002

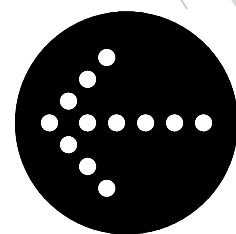
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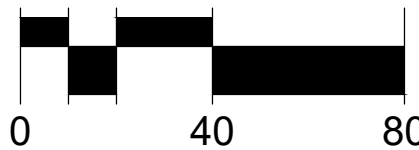
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Know what's Below.
Call before you dig.



NORTH



LEGEND

SYMBOL	DESCRIPTION	ESTIMATED QUANTITY	SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
	Inlet Protection	21 ea.		Pavement Sawcut	
	Silt Fence	2,735 ft.		Construction Limits	
	Vehicle Tracking Pad	1 ea.		Wetland Fill	1,500 s.f.
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	Tip Out Curb			Maintenance Access Route	

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General Placement	MNDOT 2575

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 - Contractor shall engage a qualified testing firm to measure the permeability of the basin surface utilizing a Double Ring Infiltrometer, Modified Philip Dunn (MPD) Infiltrometer, or other method approved by the Civil Engineer or Geotechnical Engineer. Test results shall be greater than or equal to the following rates to meet long term rates required for design:
Infiltration 1 needs a permeability of 0.9 inches/hour. -- DESIGNER. TESTED RATE SHALL BE TWICE REQD.
 - Contractor to contact the following to schedule testing. Representative staff from each entity may wish to observe the tests. Contact shall be made 72 hours prior to testing.

Civil Engineer: Tom Meyer, tmeyer@landform.net, 612.252.9070
Geotechnical Engineer: Rob Olson, rolson@teanAET.com, 651-659-1316
Valley Branch Watershed: John Hanson, jhanson@barr.com, 952-832-2622
City of Lake Elmo: Jack Griffin, jack.griffin@FocusEngineering.com, 651-300-4264

- RATE OF TESTING: Contractor shall coordinate with the testing firm to provide permeameter tests at the following rates:

Filtration/Infiltration Basin I.D.	Basin Area (s.f.)	No. of Tests Required
1	32,441	7

- Test results shall be provided to the Civil Engineer, Geotechnical Engineer, Watershed & City.

PAVING NOTES

- Spot Elevations at curblines indicate flowlines unless noted otherwise. See Sheet C4.2 for rim elevations of catch basins.
- Grades between proposed spot elevations shall be continuous and nonvariable. Spot Elevations shall govern over contour lines.

- Meet and Match existing curb. Transition as needed.

- Paving Sections (Refer to Geotechnical Report by American Engineering Testing, Dated 09-14-2022)

- Bituminous Paving (Light Duty)
 - 2-inch Bituminous Wear (MNDOT 2360, SPWEA330F)
 - Tack Coat (MNDOT 2357)
 - 2.5-inch Bituminous Base (MNDOT 2260, SPNWB340F)
 - 6-inch Aggregate Base (MNDOT 3138, Class 5)
 - 12-inch Granular Sub-Base (MNDOT 3149, 2B4)
 - Compacted Subsoil

- Bituminous Paving (Heavy Duty)
 - 2-inch Bituminous Wear (MNDOT 2360, SPWEA440F)
 - Tack Coat (MNDOT 2357)
 - 2.5-inch Bituminous Base (MNDOT 2260, SPNWB340F)
 - 8-inch Aggregate Base (MNDOT 3138, Class 5)
 - 12-inch Granular Sub-Base (MNDOT 3149, 2B4)
 - Compacted Subsoil

- Concrete Walkways
 - 4-inch Concrete Walk, 4000 PSI, 5%-8% Air Entrained, Max. 4" Slump (MNDOT 2301)
 - 4-inch Aggregate Base (MNDOT 3138, CLASS 5)
 - Compacted Subsoil

- Concrete Drives, Aprons, and Exterior Slabs
 - 8-inch Concrete, 4000 PSI, 5%-8% Air Entrained, Max. 4" Slump (MNDOT 2301)
 - 6-inch Aggregate Base (MNDOT 3138, CLASS 5)
 - Compacted Subsoil

- Concrete Joints

Install joints as shown and align across sidewalks, curbs, and pavement, paying attention to spacing of expansion joints.

Joint spacing shall be as follows:

- Tooled joints: Divide panels into nominally equal areas unless shown otherwise.
- Expansion Joints: Sidewalks - 40 feet max.; Curbs - 60 feet max.; Pavement: 80 feet max.; Adjacent to building foundations and stoops.
- Contraction Joints: Sidewalks - 8 to 10 feet; Curbs and Aprons - 12 to 15 feet.

- Accessible Parking Stalls and adjacent access aisles shall not exceed a 2.00% slope in any direction.

- Accessible Routes shall have a maximum cross slope of 2.00% and a maximum running slope of 5.00%.

- Adjust all structure rims to match pavement elevations.

PRELIMINARY
NOT FOR
CONSTRUCTION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

Tom O. Meyer

Tom O. Meyer

License No. 42016

Date:

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LAKE ELMO, MN 55042

ISSUE / REVISION

DATE	DESCRIPTION
AUG. 29, 2022	CITY SUBMITTAL
OCT. 26, 2022	REVIEW SET
JAN. 25, 2023	PRELIM BID SET
FEB. 13, 2023	CITY SUBMITTAL

DRAWING TITLE

SOUTH GRADING,
DRAINAGE, PAVING,
& EROSION CONTROL

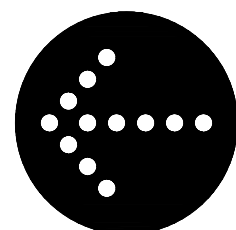
PROJECT NUMBER: DRS22002

SHEET NUMBER

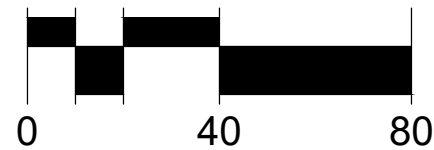
C3.2



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Call before you dig.



NORTH



LEGEND					
SYMBOL	DESCRIPTION	ESTIMATED QUANTITY	SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
	:Inlet Protection	21 ea.		:Pavement Sawcut	
	:Silt Fence	2,735 ft.		:Construction Limits	
	:Vehicle Tracking Pad	1 ea.		:Welland Fill	1,500 s.f.
	:Erosion Control Blanket			:Erikanmat 7020	x s.f.
	:Tip Out Curb			:Maintenance Access Route	

GENERAL NOTES

- For construction staking and surveying services contact Landform at 612.252.9070.

EROSION PREVENTION AND SEDIMENT CONTROL NOTES

- Install perimeter sediment controls prior to beginning work and maintain for duration of construction. Remove controls after areas contributing runoff are permanently stabilized and dispose of off site.
- Install inlet protection: Winco RD or CG models as appropriate, or approved equal. Maintain protection until project is stabilized.
- Limit soil disturbance to the grading limits shown. Schedule operations to minimize length of exposure of disturbed areas.
- Management practices shown are the minimum requirement. Install and maintain additional controls as work proceeds to prevent erosion and control sediment carried by wind or water.
- Refer to SWPPP Notes on Sheet C3.4 for additional requirements.
- Reserved.
- Contractor shall prevent sediment laden water from entering the filtration / infiltration system until the site is completely stabilized.
- Stabilization must be started immediately to limit soil erosion when the construction activity in that portion of the site has temporarily or permanently ceased and will not resume for 14 calendar days.

Seed, Sod, Mulch, Erosion Control Blanket, and Fertilizer shall meet the following Specifications, as modified.

Item	Specification Number
Seed	MNDOT 3878
Seed	MNDOT 3876
MN Type 21-111 @ 100 lb./ac. - Temporary Erosion Control - Temporary Erosion Control, May 1 - Jul 31	
MN Type 21-112 @ 100 lb./ac. - Temporary Erosion Control - Temporary Erosion Control, Aug 1 - Oct 31	
Mulch	MNDOT 3882
(MNDOT Type 1 @ 2 ton/ac., Disc Anchored)	
Erosion Control Blanket	MNDOT 3885
(MNDOT Type 3N (for 12 mo.) 4N (for 24 mo.))	
Fertilizer	MNDOT 3881
General Placement	MNDOT 2575

- See Landscape Sheets for permanent turf and landscape establishment.

- Scrape adjacent streets clean daily and sweep clean weekly.

GRADING NOTES

- Contact utility service providers for field location of services 72 hours prior to beginning grading.
- Refer to the Geotechnical Report prepared by American Engineering Testing, Dated 09/14/22, for additional information on backfill material and groundwater conditions.
- Remove topsoil from grading areas and stockpile sufficient quantity for reuse. Materials may be mined from landscape areas for use on site and replaced with excess organic material with prior Owner approval.
- Remove surface and ground water from excavations. Provide initial lifts of stable foundation material if exposed soils are wet and unstable.
- Rough grade Building Pad to 12 Inches below Finished Floor Elevation (FFE).
- Refer to Structural Specifications for earthwork requirements for building pads.
- An Independent Testing Firm shall verify the removal of organic and unsuitable soils, soil correction, and compaction and provide periodic reports to the Owner.
- Place and compact fill using lift thicknesses matched to soil type and compaction equipment to obtain specified compaction throughout the lift.
- Compact cohesive soils in paved areas to 95% of maximum dry density. Standard Proctor (ASTM D698) except the top 3 feet which shall be compacted to 100%. Compact to 98% density where fill depth exceeds 10 feet. The soils shall be within 3% of optimum moisture content. In granular soils all portions of the embankment shall be compacted to not less than 95% of Modified Proctor Density (ASTM D1557).
- Coordinate with Architectural for building stoop locations. Slopes shown on adjacent walks and pavements should continue over stoops.

INFILTRATION BASIN INFORMATION & TESTING

- Avoid soil compaction of infiltration practices. Any equipment used in infiltration areas should be small scaled and tracked. Install protective fencing as shown before work begins.
- The bottom of surface infiltration basins (not underground) shall be scarified to a depth of 12" prior to placement of topsoil or planting media.
- DESIGN PERMEABILITY RATES:
Infiltration 1 was designed with a permeability of 0.45 inches/hour.
- TESTING:
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Compacted Subsoil

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Tom O. Meyer

Tom O. Meyer

License No. 42016

Date:

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DRAWING TITLE

NORTH GRADING,
DRAINAGE, PAVING,
& EROSION CONTROL

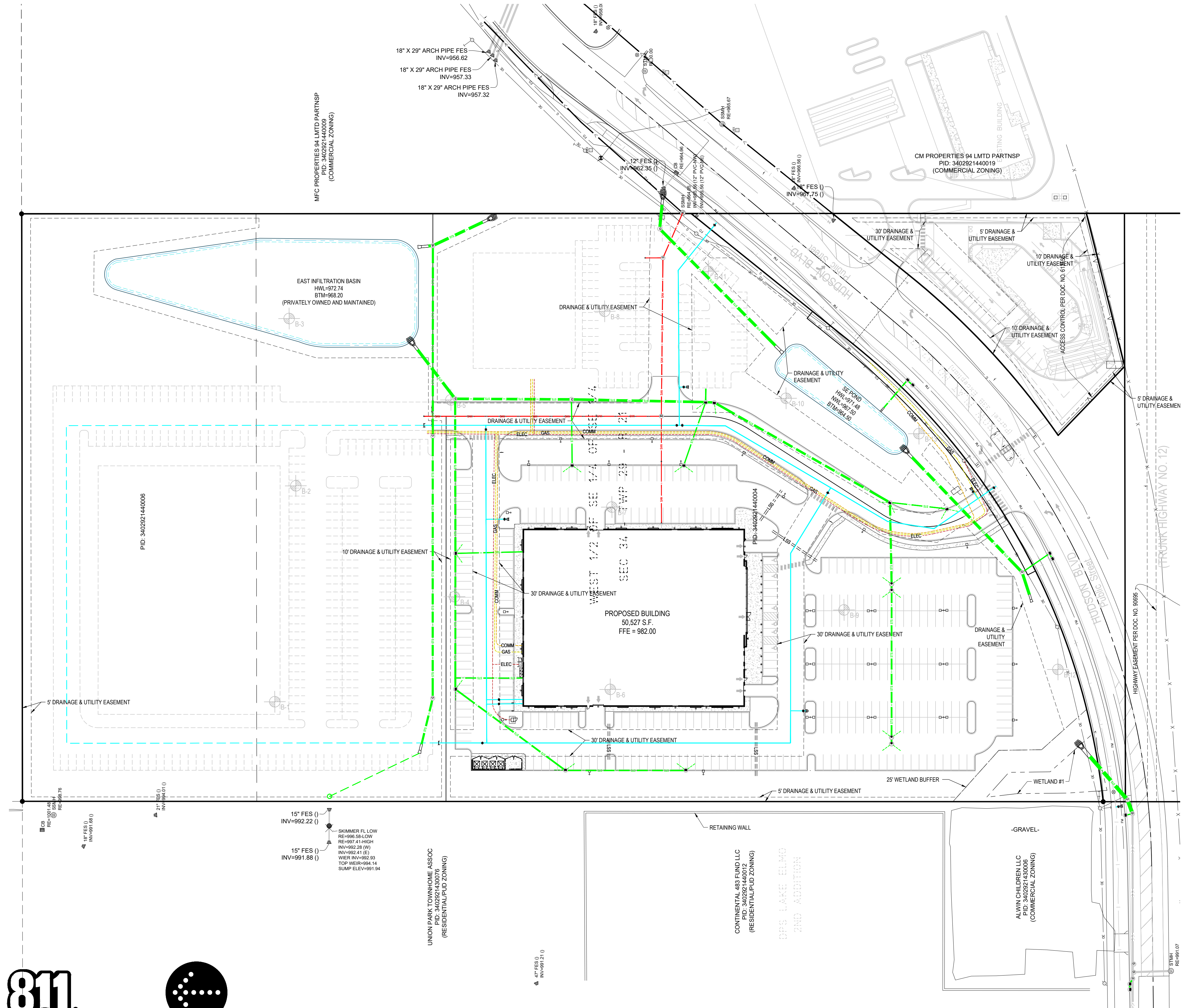
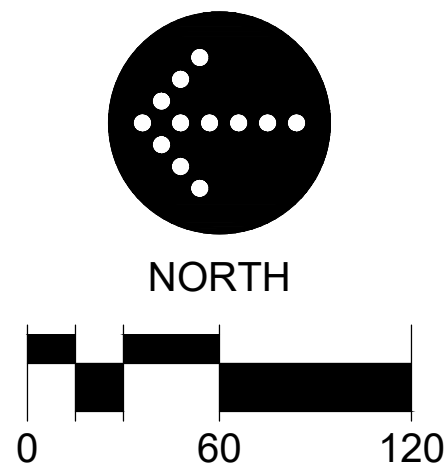
PROJECT NUMBER: DRS22002

SHEET NUMBER

C3.3



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GENERAL NOTES

- For construction staking and surveying services contact Landform at 612.252.9070.
- Lot 1, Block 1 designed by others and under separate application

UTILITY NOTES

- Pipe Materials
 - Watermain: DIP Class 52 (ANSI A21.51/AWWA C151)
 - Private Sanitary Sewer: PVC Schedule 40 (ASTM D1785, D2665, F891, F1488, F1760)
 - Storm Sewer: PVC Schedule 40 (ASTM D1785, D2665, F891, F1488, F1760)
 - RCP 12"-18" Class 5 (ASTM C76)
 - RCP 21" Class 4 (ASTM C76)
 - RCP 24"-48" Class 3 (ASTM C76)
 - PVC (ASTM D2729)
- Drain Tile
- Contact utility service providers for field location of services 72 hours prior to beginning.
- Contractor to field verify location and elevation of all utility points of connection prior to construction of any proposed utilities. Contractor to notify Engineer immediately if there is any discrepancy.
- Contractor to pothole all utility crossings prior to construction of new utilities to verify depths of existing lines. Contact Engineer immediately if any conflicts are discovered.
- Provide means and measures to protect adjacent property from damage during utility installation.
- Pipe lengths shown are from center of structure to center of structure or end of end section.
- Install tracer wire with all non-conductive utilities in accordance with City of Lake Elmo Standards.
- Connect to City utilities in accordance with City of Lake Elmo Standards.
- Contact City of Lake Elmo Public Works at 651.747.3940 for wet tap inspection.
- Maintain 7.5 feet of cover on water.
- Deflect water to maintain 18-inch minimum outside separation at sewer crossings. Center pipe lengths to provide greatest separation between joints.
- Contact City of Lake Elmo Public Works at 651.747.3940 for flushing and pressure test inspections.
- The water distribution system shall be disinfected per Minnesota Rules, Part 4714.
- Provide 4-inch rigid foam (ASTM D1621) insulation on sanitary sewer less than 6 feet deep.
- Refer to Plumbing plans for sand separator detail. The tank and top slab must be designed to handle traffic and soil loads. The tank must be protected from freezing and must comply with all local and state codes.
- All portions of the storm sewer system, located within 10 feet of the building or water service line must be tested in accordance with Minnesota Rules, Part 4714.
- All joints and connections in the storm sewer system shall be gaslight or water tight. Approved resilient rubber joints must be used to make watertight connections to manholes, catch basins, and other structures.
- Catch basins in curb and gutter are sumped 2 inches below the gutter grade. Refer to Detail 5 on Sheet C7.3.
- Rock media in infiltration or filtration systems shall be angular, non-calcareous rock.
- Irrigation sleeve to be 4 inch Schedule 80 PVC buried 24" below grade. Extend sleeves 3-feet beyond the edge of pavement. Mark each end of sleeve with 3/4-inch rebar 12 inches below finish grade. (Coordinate with irrigation contractor.)
- Coordinate with Private Utilities to provide electric, natural gas, and communications services to building.
- The primary electric feed, transformer, and meter are provided and installed by Xcel Energy. The transformer pad design is provided by the Utility and construction is by the Contractor. Contact Utility for pad detail. The secondary electric and conduits shall be installed by the Electrical Contractor.
- See site lighting plan for additional information.
- Xcel Energy will furnish and install gas service piping from the mainline to the meter and the meter. Gas service from the meter shall be installed by the Mechanical Contractor.
- Provide one 4-inch PVC conduit with pull-string from existing telephone service to building.
- Provide conduits for cable television and other electronic communication.
- Coordinate with Mechanical, Plumbing, and Electrical Drawings for locations of service connections and continuation of services within building.
- Compact cohesive soils in paved areas to 95% of maximum dry density, Standard Proctor (ASTM D698) except the top 3 feet which shall be compacted to 100%. compact to 98% density where fill depth exceeds 10 feet. The soils shall be within 3% of optimum moisture content. In granular soils all portions of the embankment shall be compacted to not less than 95% of Modified Proctor Density (ASTM D1557).
- Adjust structures to final grade where disturbed. Comply with requirements of Utility. Meet requirements for traffic loading in paved areas.
- Reinstall salvaged hydrant

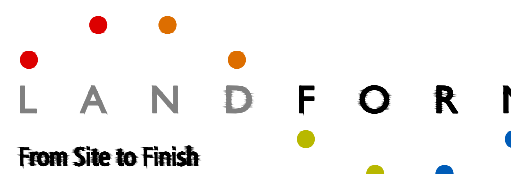
INFILTRATION / FILTRATION BASIN REQUIREMENTS

- Refer to the C3.1 sheet notes for requirements.

PRELIMINARY
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Tom O. Meyer
License No: 42016 Date:
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DRAWING TITLE

OVERALL
UTILITIES

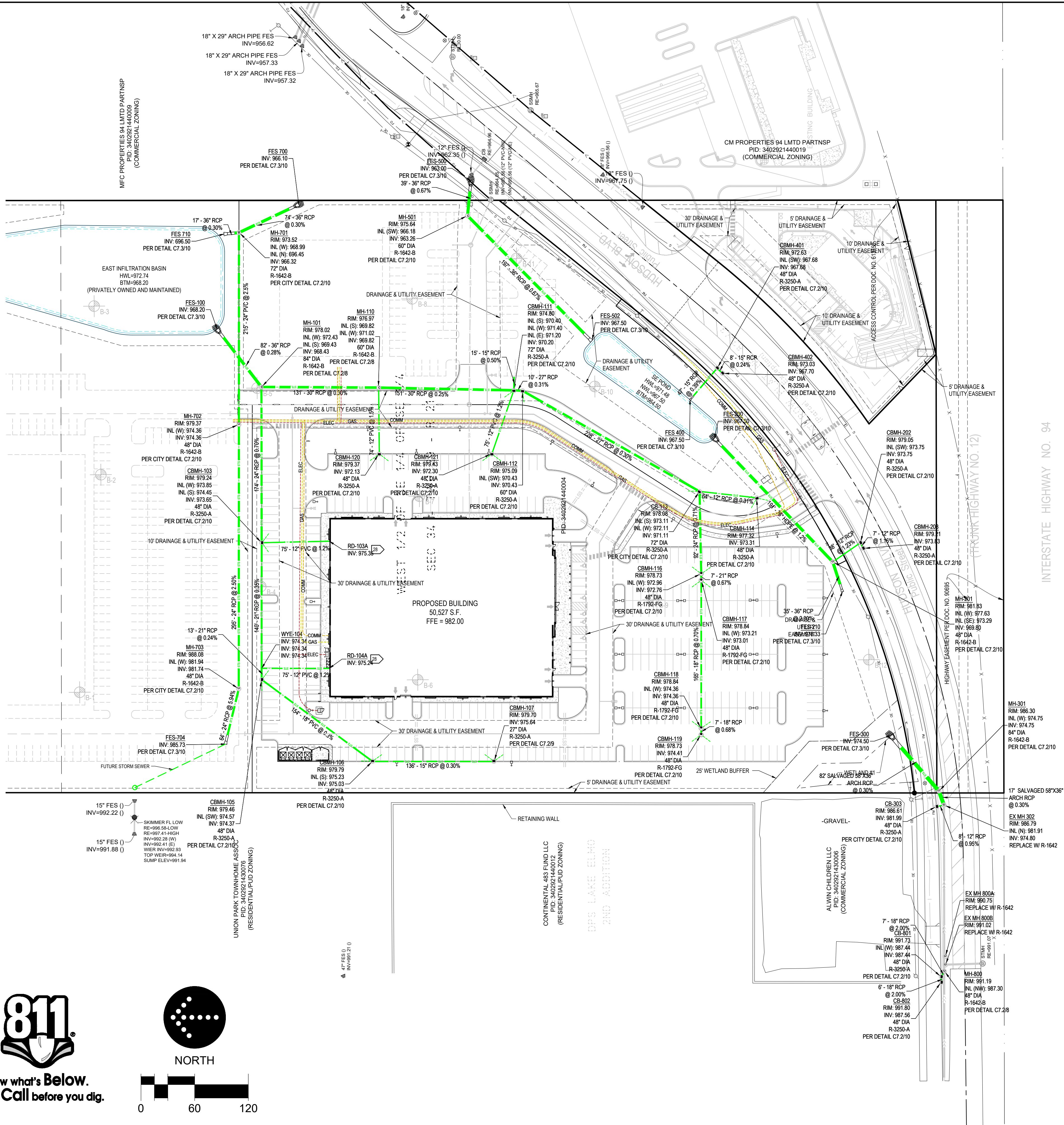
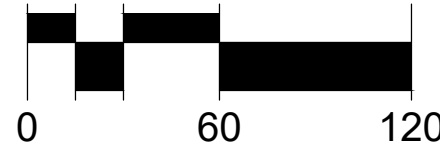
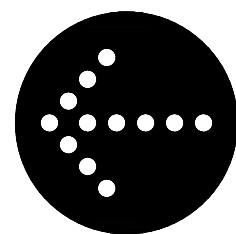
PROJECT NUMBER: DRS22002

SHEET NUMBER

C4.0



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GENERAL NOTES

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UTILITY NOTES

- Pipe Materials
Watermain: DIP Class 52 (ANSI A21.51/AWWA C151)
Private Sanitary Sewer: PVC Schedule 40 (ASTM D1785, D2665, F891, F1488, F1760)
Storm Sewer: PVC Schedule 40 (ASTM D1785, D2665, F891, F1488, F1760)
RCP 12"-18" Class 5 (ASTM C76)
RCP 21" Class 4 (ASTM C76)
RCP 24"-48" Class 3 (ASTM C76)
PVC (ASTM D2729)
Drain Tile: PVC (ASTM D2729)
- Contact utility service providers for field location of services 72 hours prior to beginning.
- Contractor to field verify location and elevation of all utility points of connection prior to construction of any proposed utilities. Contractor to notify Engineer immediately if there is any discrepancy.
- Contractor to pothole all utility crossings prior to construction of new utilities to verify depths of existing lines. Contact Engineer immediately if any conflicts are discovered.
- Provide means and measures to protect adjacent property from damage during utility installation.
- Pipe lengths shown are from center of structure to center of structure or end of end section.
- Install tracer wire with all non-conductive utilities in accordance with City of Lake Elmo Standards.
- Connect to City utilities in accordance with City of Lake Elmo Standards.
- Maintain 7.5 feet of cover on water.
- Contact City of Lake Elmo Public Works at 651.747.3940 for wet tap inspection.
- Deflect water to maintain 18-inch minimum outside separation at sewer crossings. Center pipe lengths to provide greatest separation between joints.
- Contact City of Lake Elmo Public Works at 651.747.3940 for flushing and pressure test inspections.
- The water distribution system shall be disinfected per Minnesota Rules, Part 4714.
- Provide 4-inch rigid foam (ASTM D1621) insulation on sanitary sewer less than 6 feet deep.
- Refer to Plumbing plans for sand separator detail. The tank and top slab must be designed to handle traffic and soil loads. The tank must be protected from freezing and must comply with all local and state codes.
- All portions of the storm sewer system, located within 10 feet of the building or water service line must be tested in accordance with Minnesota Rules, Part 4714.
- All joints and connections in the storm sewer system shall be gaslight or water tight. Approved resilient rubber joints must be used to make watertight connections to manholes, catch basins, and other structures.
- Catch basins in curb and gutter are sumped 2 inches below the gutter grade. Refer to Detail 5 on Sheet C7.3.
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- Irrigation sleeve to be 4 inch Schedule 80 PVC buried 24" below grade. Extend sleeves 3-feet beyond the edge of pavement. Mark each end of sleeve with 3/4-inch rebar 12 inches below finish grade. (Coordinate with irrigation contractor.)
- Coordinate with Private Utilities to provide electric, natural gas, and communications services to building.
- The primary electric feed, transformer, and meter are provided and installed by Xcel Energy. The transformer pad design is provided by the Utility and construction is by the Contractor. Contact Utility for pad detail. The secondary electric and conduits shall be installed by the Electrical Contractor.
- Xcel Energy will furnish and install gas service piping from the mainline to the meter and the meter. Gas service from the meter shall be installed by the Mechanical Contractor.
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- Provide conduits for cable television and other electronic communication.
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- Reinstall salvaged hydrant

INFILTRATION / FILTRATION BASIN REQUIREMENTS

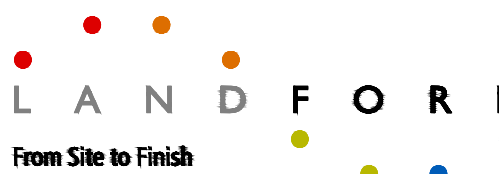
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DRAWING TITLE

STORM SEWER

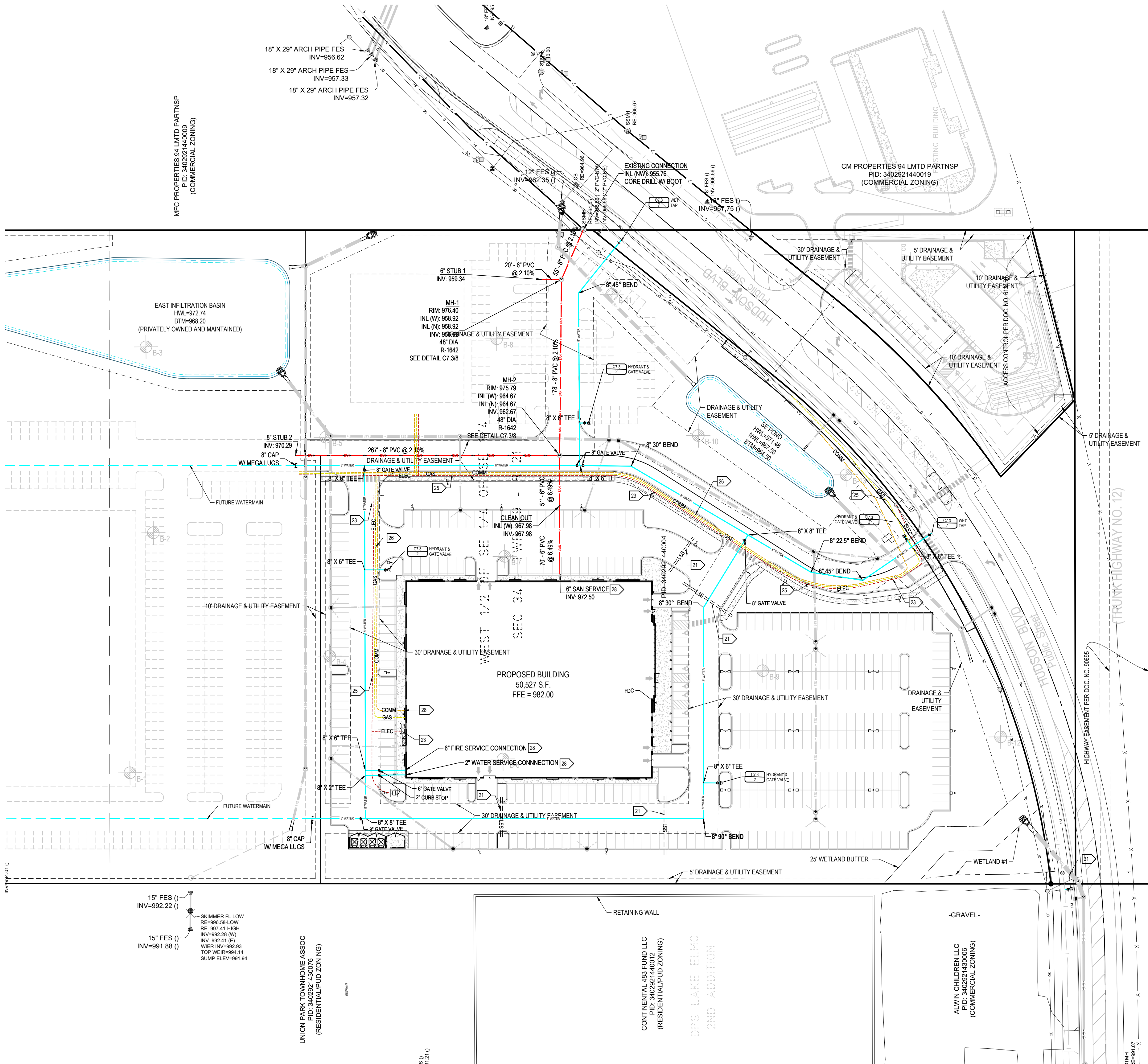
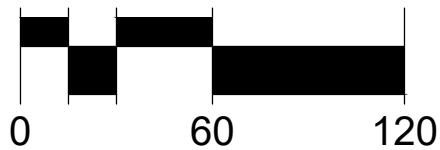
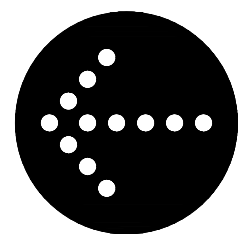
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UTILITY NOTES

- Pipe Materials
 - Watermain: DIP Class 52 (ANSI A21.5/AWWA C151)
 - Private Sanitary Sewer: PVC Schedule 40 (ASTM D1785, D2665, F891, F1488, F1760)
 - Storm Sewer: PVC Schedule 40 (ASTM D1785, D2665, F891, F1488, F1760)
 - RCP 12"-18" Class 5 (ASTM C76)
 - RCP 21" Class 4 (ASTM C76)
 - RCP 24"-48" Class 3 (ASTM C76)
 - PVC (ASTM D2729)
- Drain Tile
- Contact utility service providers for field location of services 72 hours prior to beginning.
- Contractor to field verify location and elevation of all utility points of connection prior to construction of any proposed utilities. Contractor to notify Engineer immediately if there is any discrepancy.
- Contractor to pothole all utility crossings prior to construction of new utilities to verify depths of existing lines. Contact Engineer immediately if any conflicts are discovered.
- Provide means and measures to protect adjacent property from damage during utility installation.
- Pipe lengths shown are from center of structure to center of structure or end of end section.
- Install tracer wire with all non-conductive utilities in accordance with City of Lake Elmo Standards.
- Connect to City utilities in accordance with City of Lake Elmo Standards.
- Contact City of Lake Elmo Public Works at 651.747.3940 for wet tap inspection.
- Maintain 7.5 feet of cover on water.
- Deflect water to maintain 18-inch minimum outside separation at sewer crossings. Center pipe lengths to provide greatest separation between joints.
- Contact City of Lake Elmo Public Works at 651.747.3940 for flushing and pressure test inspections.
- The water distribution system shall be disinfected per Minnesota Rules, Part 4714.
- Provide 4-inch rigid foam (ASTM D1621) insulation on sanitary sewer less than 6 feet deep.
- Refer to Plumbing plans for sand separator detail. The tank and top slab must be designed to handle traffic and soil loads. The tank must be protected from freezing and must comply with all local and state codes.
- All portions of the storm sewer system, located within 10 feet of the building or water service line must be tested in accordance with Minnesota Rules, Part 4714.
- All joints and connections in the storm sewer system shall be gaslight or water tight. Approved resilient rubber joints must be used to make watertight connections to manholes, catch basins, and other structures.
- Catch basins in curb and gutter are sumped 2 inches below the gutter grade. Refer to Detail 5 on Sheet C7.3.
- Rock media in infiltration or filtration systems shall be angular, non-calcareous rock.
- Irrigation sleeve to be 4 inch Schedule 80 PVC buried 24" below grade. Extend sleeves 3-feet beyond the edge of pavement. Mark each end of sleeve with 3/4-inch rebar 12 inches below finish grade. (Coordinate with irrigation contractor.)
- Coordinate with Private Utilities to provide electric, natural gas, and communications services to building.
- The primary electric feed, transformer, and meter are provided and installed by Xcel Energy. The transformer pad design is provided by the Utility and construction is by the Contractor. Contact Utility for pad detail. The secondary electric and conduits shall be installed by the Electrical Contractor.
- See site lighting plan for additional information.
- Xcel Energy will furnish and install gas service piping from the mainline to the meter and the meter. Gas service from the meter shall be installed by the Mechanical Contractor.
- Provide one 4-inch PVC conduit with pull-string from existing telephone service to building.
- Provide conduits for cable television and other electronic communication.
- Coordinate with Mechanical, Plumbing, and Electrical Drawings for locations of service connections and continuation of services within building.
- Compact cohesive soils in paved areas to 95% of maximum dry density, Standard Proctor (ASTM D698) except the top 3 feet which shall be compacted to 100%. compact to 98% density where fill depth exceeds 10 feet. The soils shall be within 3% of optimum moisture content. In granular soils all portions of the embankment shall be compacted to not less than 95% of Modified Proctor Density (ASTM D1557).
- Adjust structures to final grade where disturbed. Comply with requirements of Utility. Meet requirements for traffic loading in paved areas.
- Reinstall salvaged hydrant

INFILTRATION / FILTRATION BASIN REQUIREMENTS

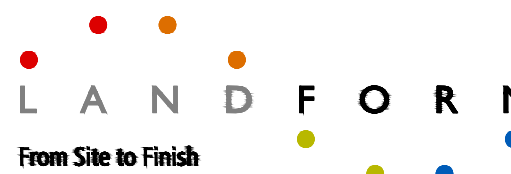
- Refer to the C3.1 sheet notes for requirements.

PRELIMINARY
NOT FOR
CONSTRUCTION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

Tom O. Meyer
License No: 42016 Date:

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OCT. 26, 2022	REVIEW SET	
JAN. 25, 2023	PRELIM BID SET	
FEB. 13, 2023	CITY SUBMITTAL	

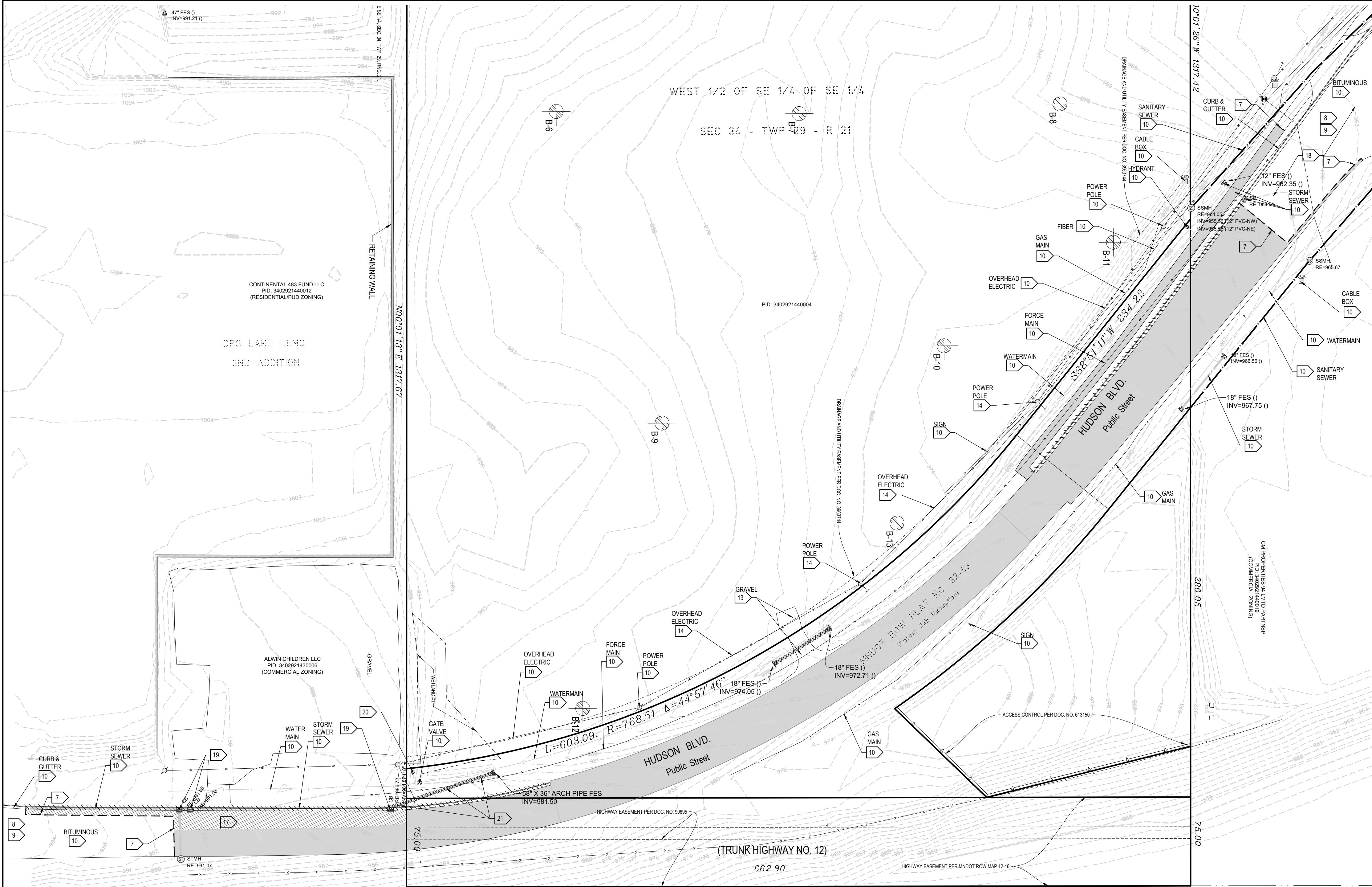
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WATER & SANITARY

PROJECT NUMBER: DRS22002

SHEET NUMBER

C4.2



EXISTING CONDITIONS

1.

Background information shown is from survey by Landform, Minneapolis, MN, on July 19, 2022, expressly for this project, City of Lake Elmo, MN record drawings; and utility service providers. Landform offers no warranty, expressed or written, for information provided by others. Existing project conditions shall be verified prior to beginning construction. Errors, inconsistencies, or omissions discovered shall be reported to the Engineer IMMEDIATELY.

2.

Geotechnical boring locations are approximate and are based on information provided in the Geotechnical Report prepared by American Engineering Testing, Albertville, MN, on August 1, 2022.

GENERAL NOTES

1.

For construction staking and surveying services contact Landform at 612.252.9070.

DEMOLITION AND CLEARING NOTES

2.

Obtain permits for demolition, clearing, and disposal prior to beginning.

3.

Contact utility service providers for field location of services 72 hours prior to beginning demolition and clearing.

4.

See Sheet C3.1 for erosion prevention and sediment control measures that must be in place prior to disturbances to site.

5.

Reserved.

6.

Dimensions shown for removal are approximate. Coordinate with new construction to ensure appropriate removal of existing facilities.

7.

Pavement sawcut. Remove concrete walks and curbing to the nearest existing joint beyond construction limits.

8.

Complete demolition with minimal disruption of traffic. Coordinate lane closures with the regulatory authority and provide advance notification to affected emergency response providers.

9.

Provide barricades, lights, signs, traffic control, and other measures necessary for protection and safety of the public and maintain throughout construction.

10.

Protect structures, utilities, trees, plant material, soil, and adjacent property from damage during construction unless noted for removal. Damage shall be repaired to equal or better condition at no additional cost.

11.

Reserved.

12.

Refer to tree preservation plan for additional information.

13.

Remove existing site features including, but not limited to, underground utilities, paving, curbing, walkways, aprons, related foundations, signage, and landscaping within the construction limits unless noted otherwise.

14.

Coordinate removal, relocation, termination, and re-use of existing private utility services and appurtenances with the utility companies. Restore electric handholes, pullboxes, powerpoles, guylines, and structures disturbed by construction in accordance with utility owner requirements.

15.

Existing piping and conduits may be abandoned in-place if filled with sand and if not in location of proposed building or in conflict with proposed utilities or structures. Terminate existing services at the supply side in conformance with provider's standards.

16.

Haul demolition debris off-site to a facility approved by regulatory authorities for the handling of demolition debris, unless noted otherwise.

17.

Mill 2" of bituminous surface. Provide a clean vertical edge at connection to existing streets. Refer to Sheets C5.4 and C5.5 for additional information.

18.

Remove existing pavement markings necessary for proposed layout. Follow MnDOT specifications for removal. Refer to Sheet C5.2 for proposed striping.

19.

Protect structure. Replace casting with Neenah R-1642

20.

Remove, salvage, and re-install existing hydrant. See sheet C4.2 for install location.

21.

Remove, salvage, and reinstall existing arch storm pipe. Refer to Utility Plan for proposed location.

LEGEND

✕

:Tree Removal

○

○

:Tree Protection

✓

:Tree To Be Protected and Transplanted
See Landscape Plan (L2.1) for Relocation

▨

:Mill Bituminous

■

:Full Depth Pavement Removal

⊙

B-X

:Soil Boring

|||||

:Curb Removal

XXXXXXXXXXXXXXXXXXXX

:Utility Line Removal

:Pavement Sawcut

PRELIMINARY
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I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

Tom O. Meyer

License No: 42016

Date:

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HUDSON BOULEVARD
EXISTING CONDITIONS &
DEMOLITION

PROJECT NUMBER: DRS22002

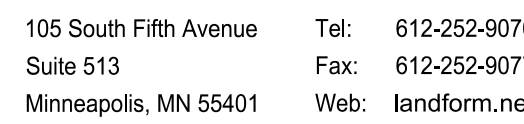
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C5.1

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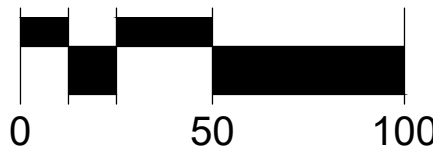
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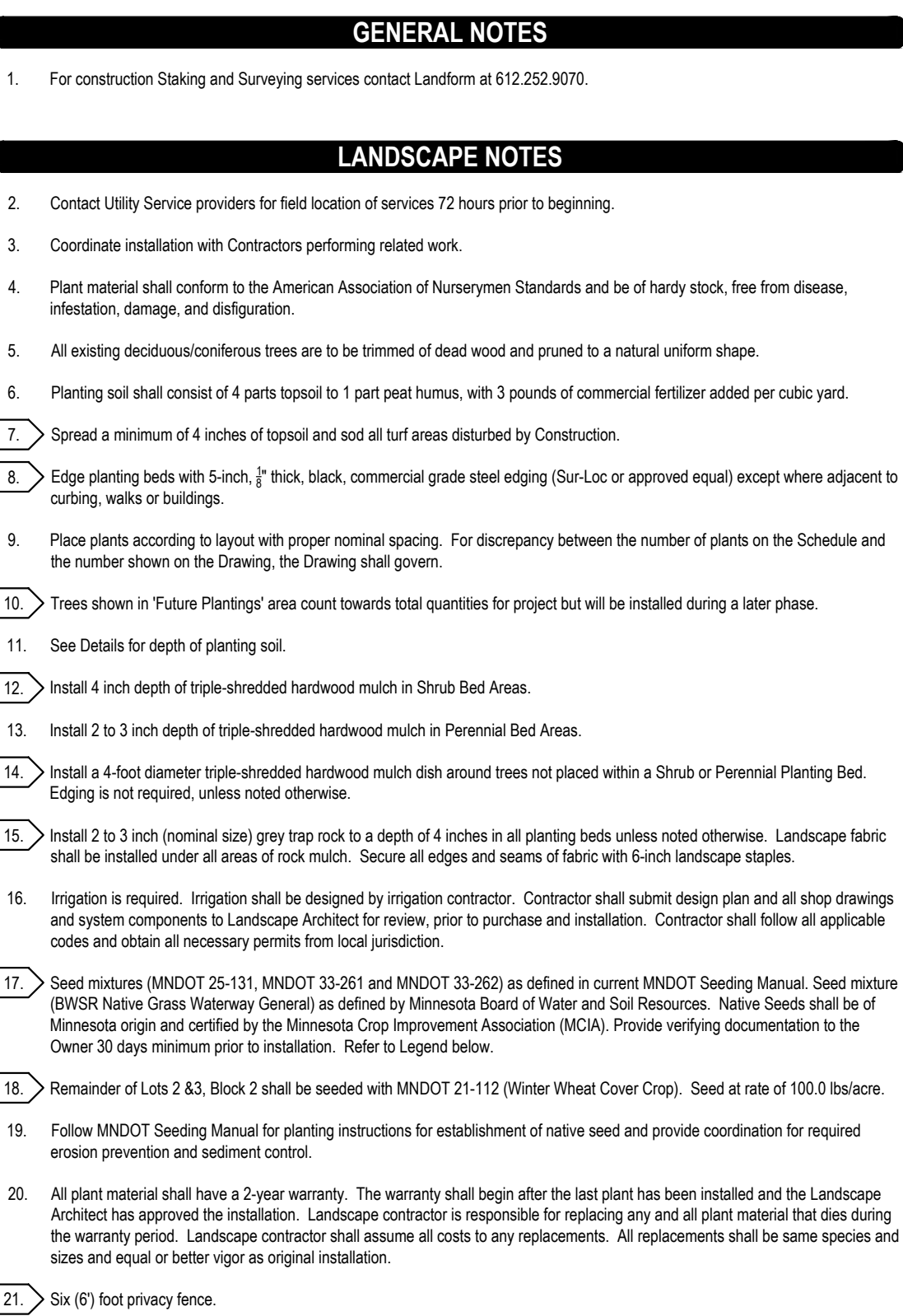
**HUDSON BOULEVARD
ALIGNMENT**

PROJECT NUMBER: DRS22002

SHEET NUMBER


C5.2





<u>City of Lake Elmo Code - Overall development requirements (16 acres)</u>			
	<u>Required</u>	<u>Provided</u>	
1. Disturbed land = 5 trees per acre disturbed	81 trees	108 trees*	
2. Existing tree replacements (Equivalent trees) See sheet C1.4 for calculations	153.5 inches (76 trees)	155.5 inches (77 trees)	
<u>City of Lake Elmo Code - Lot 1 Block 1 requirements (6.2 acres)</u>			
	<u>Required</u>	<u>Provided</u>	
1. Interior parking area + min 5% shall be landscaped	6,967 s.f.	7,675 s.f.	
2. Parking area trees = 1 tree per 15 spaces	23 trees	23 trees	
3. Parking at public R.O.W. = 1 deciduous tree per 50 l.f.	5 trees	5 trees	
4. Screening adjacent to Residential District = 1 tree per 40 l.f.	31 trees	31 trees	
5. Disturbed land = 5 trees per acre disturbed	31 trees	59 trees	
*40 of 108 proposed trees shall be planted when future Lot 3 Block 2 is developed.			

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Landscape Architect under the laws of the state of MINNESOTA.



Joshua K. Popelohn








License No: 44803 Date: 02/13/2023

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





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FUTURE PLANTINGS			
<u>DECIDUOUS SHADE TREES</u>	<u>QTY</u>	<u>COMMON NAME</u>	<u>PLANTING SIZE</u>
	4	SWAMP WHITE OAK	2.5' CAL.
	2	SUGAR MAPLE 'FALL FIESTA'	2.5' CAL.
<u>CONIFEROUS TREES</u>	<u>QTY</u>	<u>COMMON NAME</u>	<u>PLANTING SIZE</u>
	8	WHITE PINE	8' HT.
	8	NORWAY SPRUCE	8' HT.
	10	BLACK HILLS SPRUCE	8' HT.
	7	WHITE SPRUCE	8' HT.
	10	WHITE FIR (Species subject to change)	8' HT.

LEGEND

	Denotes area of sod		Denotes rock mulch
	Denotes Low Maintenance Turf seed mix (MNDOT 25-131) Seed at rate of 220 lbs/acre.		
	Denotes Stormwater seed mix (MNDOT 33-261) Seed at rate of 35 lbs/acre.		
	Denotes Native Grass Waterway seed mix (BWSR) Seed at rate of 45.21 lbs/acre.		
	Denotes Dry Swale/Pond seed mix (MNDOT 33-262) Seed at rate of 44.0 lbs/acre.		

OVERALL LANDSCAPE PLAN

PROJECT NUMBER: DRS22002

SHEET NUMBER

L2.0

E1.00

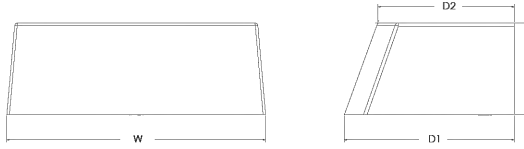


ARC2 LED Architectural Wall Luminaire



Specifications

Depth (D1): 9.25"
Depth (D2): 7.5"
Height: 5"
Width: 14"
Weight: 11 lbs
(without options)



Catalog Number	
Notes	
Type	

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The Lithonia Lighting ARC LED wall-mounted luminaires provide both architectural styling and visually comfortable illumination while providing the high energy savings and low initial costs for quick financial payback.

ARC2 delivers up to 6,500 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. It offers integrated emergency battery backup options, including an 8W cold temperature option, making it suitable for pedestrian scale applications in any environment.

ARC LED Family Overview

Luminaire	Standard ETL, 0°C	Cold ETL, -20°C	Approximate Lumens (4000K)				
			P1	P2	P3	P4	P5
ARC1 LED	4W	--	1,500	2,000	3,000	--	--
ARC2 LED	4W	8W	1,500	2,000	3,000	4,000	6,500

Ordering Information

EXAMPLE: ARC2 LED P2 40K MVOLT PE DDBXD

Series	Package	Color Temperature		Voltage	Options	Finish
ARC2 LED	P1 1,500 Lumens	30K	3000K	MVOLT 347 ¹	E4WH Emergency battery backup, CCC compliant (4W, 0°C min) ¹	DOBXD Dark bronze
	P2 2,000 Lumens	40K	4000K		EBWC Emergency battery backup, CCC compliant (8W, -20°C min) ¹	DBLXD Black
	P3 3,000 Lumens	50K	5000K		PE Button type photocell for dusk-to-dawn operation	DNAXD Natural aluminum
	P4 4,000 Lumens				DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) ²	DWHXD White
	P5 6,500 Lumens				SPD6KV 6kV surge protection ¹	DSSXD Sandstone
					FAO Field adjustable light output device. Allows for easy adjustment to the desired light levels, from 20% to 100% ²	DOBTXD Textured dark bronze
						DBLXND Textured black
						DNATXD Textured natural aluminum
						DWHGXD Textured white
						DSTXND Textured sandstone

Accessories

W588W DDBXD U Surface-mounted back box (specify finish)

NOTES

- 347V not available with E4WH, EBWC and SPD6KV.
- FAO not available with DMG.



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com

ARC2 LED Rev 03/02/22



PROJECT NAME		DATE	
CAT. NUMBER			
NOTES			

SPEC SHEET

Site Lighter (SL1)

EXTERIOR LED FIXTURE



KEY FEATURES

- Up to 174 LPW
- 8,500 to 62,000 lumens
- Up to 55°C
- 200-480V high-voltage driver (optional)
- Dimmable 0-10V
- Calculated L70 > 189,000 hours
- Patented Rapid Mount Bracket (optional)
- Turtle-friendly lighting option available



Guaranteed Performance

Performance of the light fixture is guaranteed for 10 years, including lumen output (L70), color temperature, and LED driver.



Superior Heat Dissipation

Extruded aluminum body is exceptional at moving thermal energy. Plus, the aesthetics are modern and attractive.



Controls and Sensors

Linmore LED driver with 0-10V dimming. Plus motion and dimming sensors, photocell and wireless controls available.

info@linmoreled.com

- 1 -

ORDERING

SERIES MODEL	HOUSING SIZE	WATTAGE (WD)	KELVIN	OPTIC	VOLTS
LL-SL1-	SM Small 50WD, 75WD, 100WD	50WD 75WD 100WD	22K* 2200K 28K* 2800K (turtle-friendly)	T2 Type 2 T3 Type 3	UNV 120-277V 0-10V dimming
	MD Medium 125WD, 150WD, 200WD	125WD 150WD 200WD	30K* 3000K 35K 3500K	T4 Type 4 T5 Type 5	HV 200-480V 0-10V dimming
	LG* Large 250WD, 300WD	250WD 300WD 400WD	40K 4000K 50K 5000K	FR Front Row Right FL Front Row Left	
	XL* Extra Large 400WD			F35 Flood 35 degrees F60 Flood 60 degrees	
		WD = wattage dimming			

GENERATION	HOUSING COLOR	MOUNTING	OPTIONS
G2 Generation 2	BRN Bronze BLK Black WH White CUS* Custom (special order)	RMB Rapid Mount Bracket SF Slip Fitter Bracket SA* Standard Arm Bracket TM Trunnion Mount Bracket	PC Photocell, button, mounted in side plate, 120-480V PC-TL Photocell, Twist Lock, 120-480V, depending on model SSP 20kA Surge Suppressor, 120-277V SSPH 20kA Surge Suppressor, 480V OSB* Glare Shield Back, contact factory GSS** Glare Shield Side, contact factory FSP-201 Waiststopper 0-10V dimming sensor, 12V FSP-211 Waiststopper 0-10V dimming sensor, 120-277V LL-QBM-WFC-12V-SIL* Linmore Bluetooth Wireless Fixture Controller, 12V Input, Silver Firmware ULTRAHGA* Linmore Bluetooth Wireless Fixture Controller, 12V Input, Silver Firmware, Includes 2.4GHz Omni Directional High-Gain Antenna. ULTRADIM20* UltraLink Wireless Fixture Controller with Sensor, PIR, 20FT, BLE ULTRADIM40* UltraLink Wireless Fixture Controller with Sensor, PIR, 40FT, BLE

ORDERING EXAMPLES

Standard: LL-SL1-MD-150WD-50K-T3-UNV-G2-BRN-SA

With Options: LL-SL1-MD-150WD-50K-T3-UNV-G2-BRN-SA-**ULTRADIM20-OSB**

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- 3 -

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LAKE ELMO, MN

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FEB. 09, 2023 CITY SUBMITTAL

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ELECTRICAL
CUT SHEETS

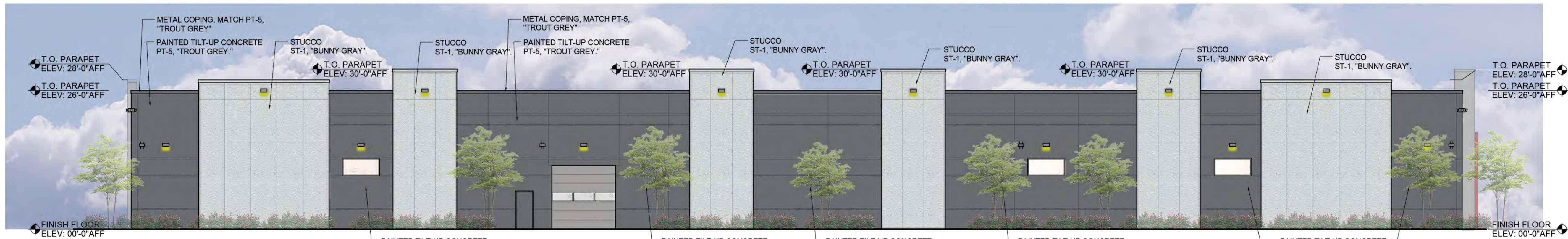
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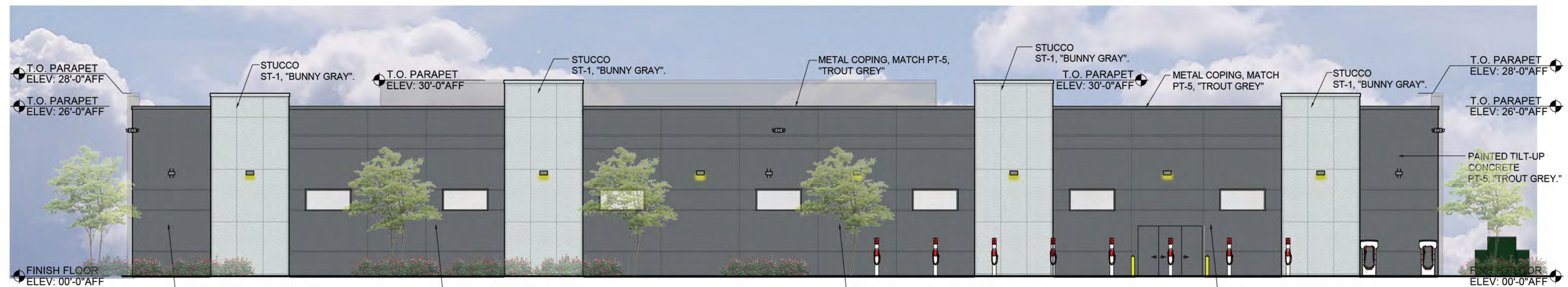
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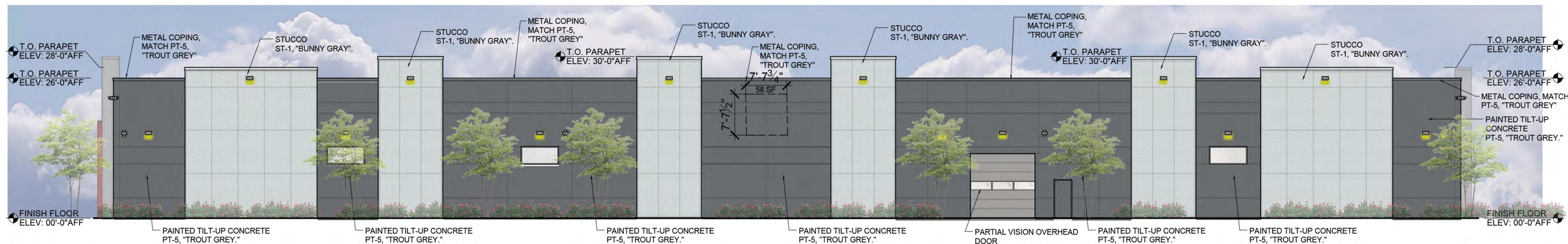
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SCALE: NOT SET SCALE



WEST ELEVATION 4
SCALE: 3/32" = 1'-0"



NORTH ELEVATION 3
SCALE: 3/32" = 1'-0"



EAST ELEVATION 2
SCALE: 3/32" = 1'-0"



SOUTH ELEVATION 1
SCALE: 3/32" = 1'-0"

LEGEND:

- PAIN: (COLORS BY BENJAMIN MOORE)
- PT-5, "TROUT GREY"
 - PT-8, "BUNNY GRAY"
- METAL WALL PANEL (ALUCOBOND)
- MWP-1, COLOR: "NEON RED"
 - MWP-2, COLOR: "CLEAR ANODIZED"
 - MWP-8, COLOR: "BUNNY GRAY"
- STUCCO: (COLORS BY BENJAMIN MOORE)
- ST-1, "BUNNY GRAY" SANDED FINISH
- STOREFRONT:
- SF-1 CLEAR ANODIZED #14 (KAWNEER) WITH CLEAR GLAZING
- COPING / FLASHING:
- TO MATCH ADJACENT COLOR
- DOORS:
- TO MATCH ADJACENT COLOR
- SECURITY CAMERA
- EXTERIOR WIRELESS ACCESS POINT
- LIGHT FIXTURE

TIRE/TRASH ENCLOSURE 5
SCALE: 3/32" = 1'-0"

ARCHITECT:
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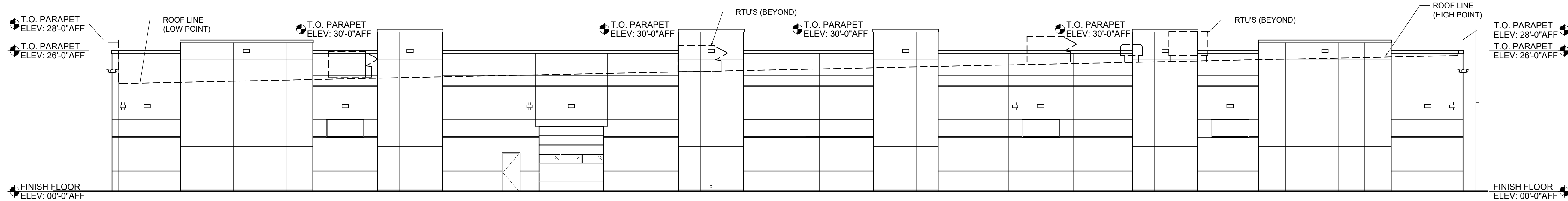
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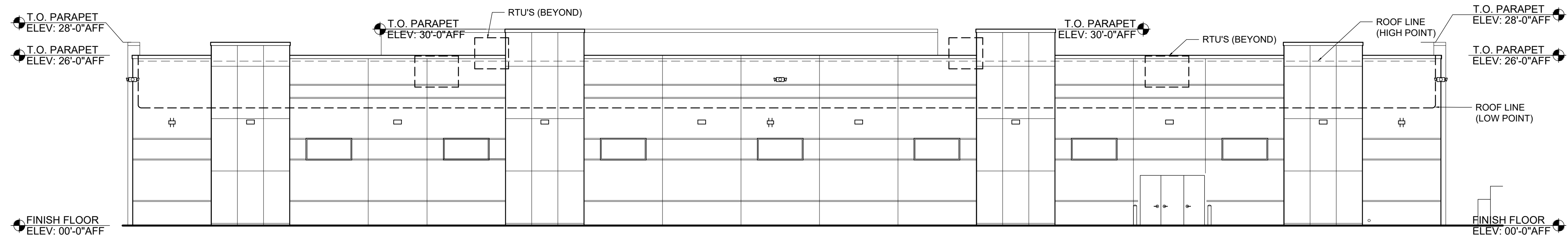
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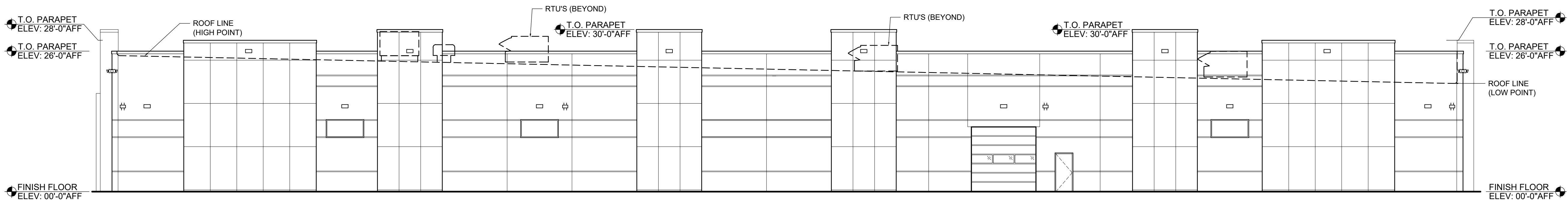
RENDERED
EXTERIOR
ELEVATIONS



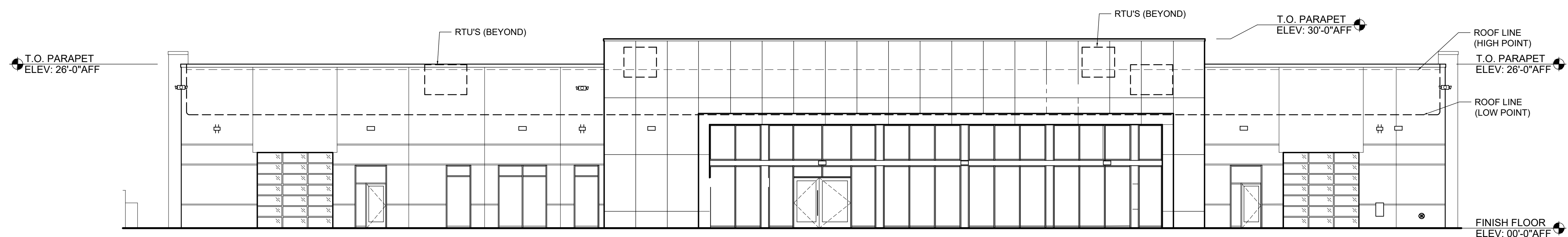
WEST ELEVATION 4
SCALE: 3/32" = 1'-0"



NORTH ELEVATION 3
SCALE: 3/32" = 1'-0"



EAST ELEVATION 2
SCALE: 3/32" = 1'-0"



SOUTH ELEVATION 1
SCALE: 3/32" = 1'-0"

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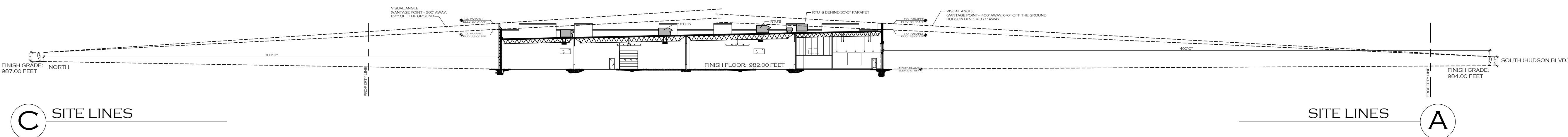
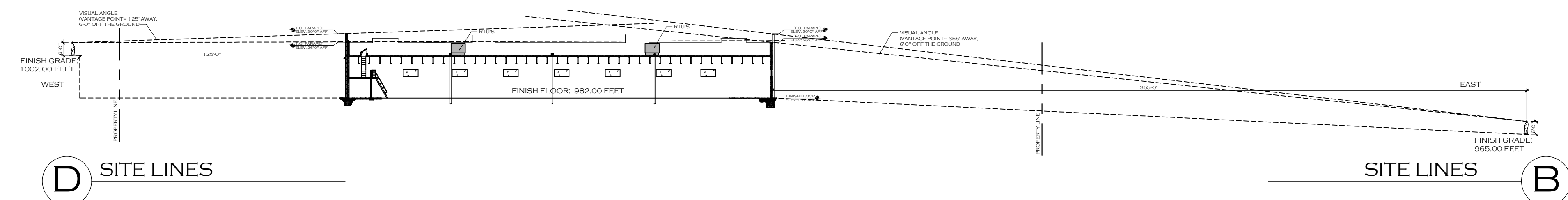
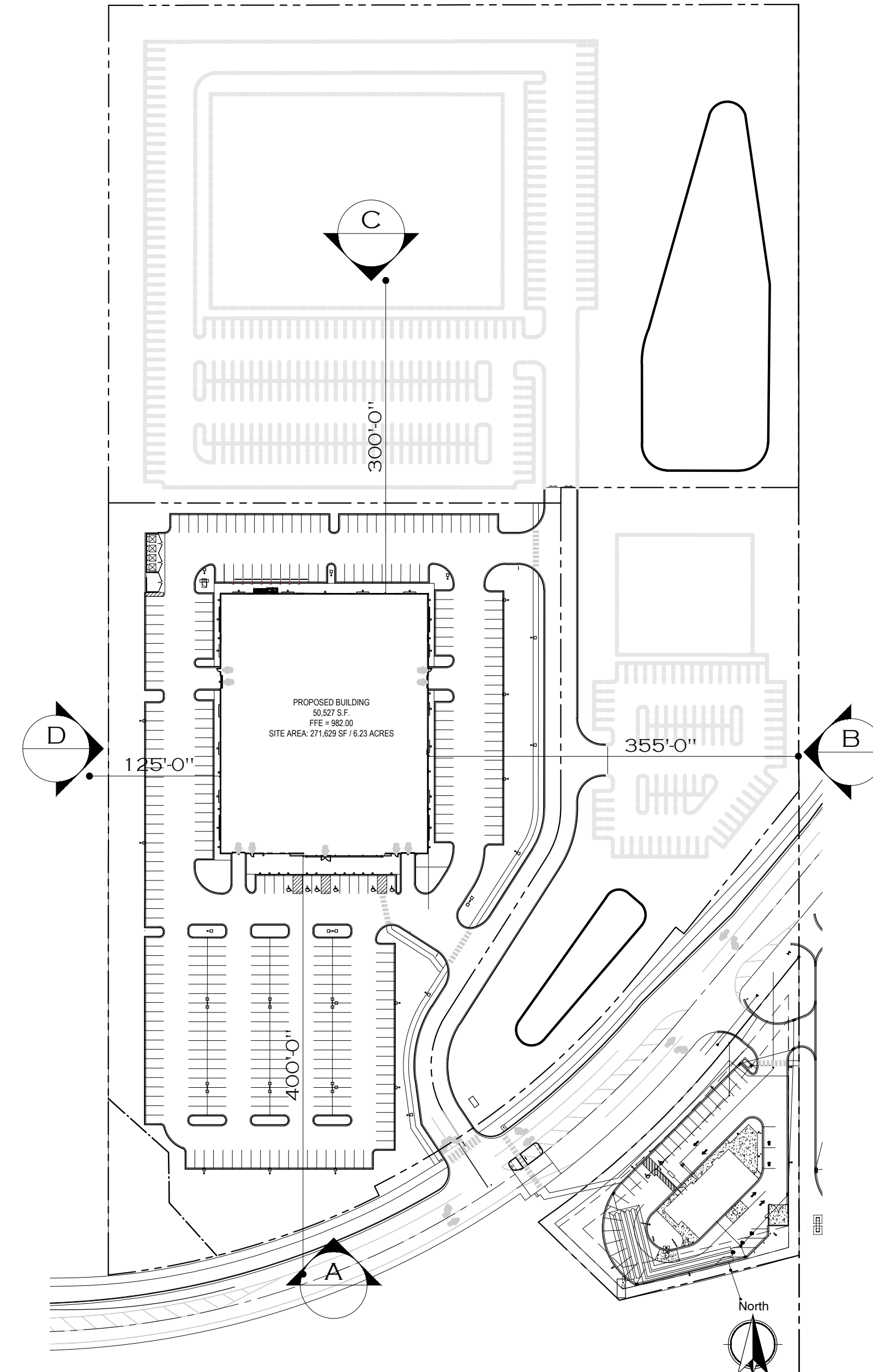
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TRD ID: 27755

DRAWING TITLE

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Tel. 303.905.7567

DRAKE
MOTOR PARTNERS LE, LLC
496 S. BROADWAY
DENVER, CO 80209
TEL. 303.825.6200
WWW.DRAKES.COM

SERVICE CENTER
LAKE ELMO, MN

TRD ID: 27755

DRAWING TITLE

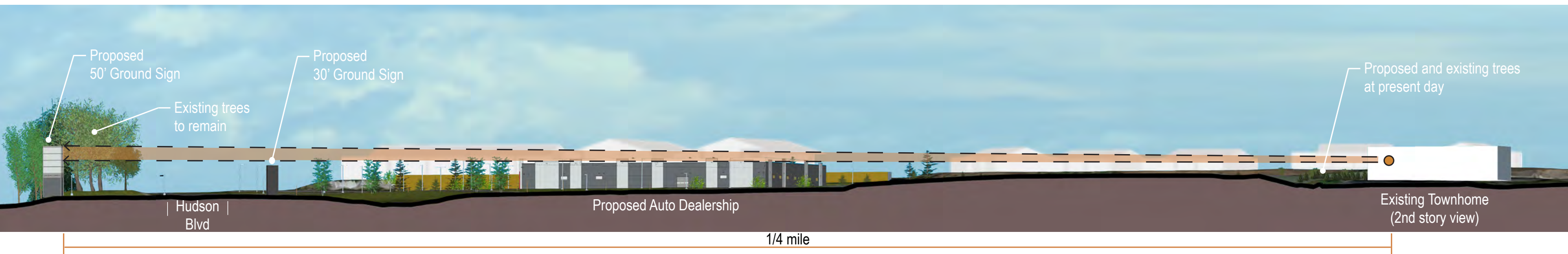
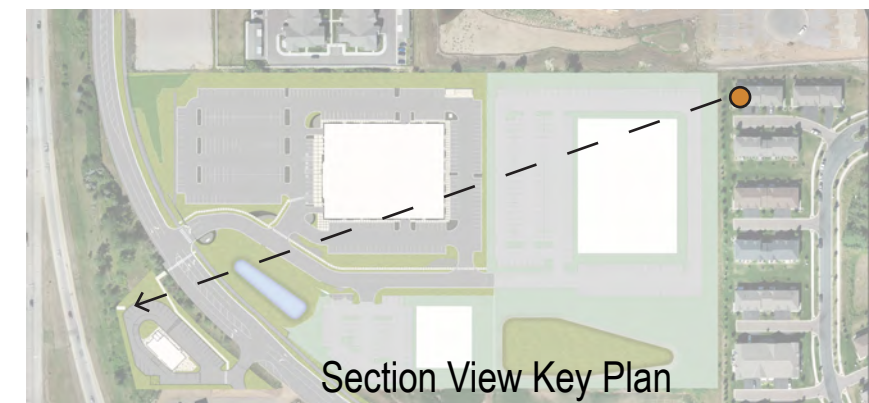
BUILDING
SECTIONS

AS NOTED









Section View - Phase 1

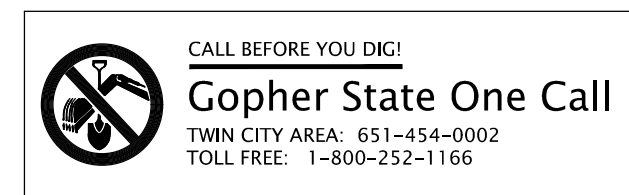


Section View - Future Phase

●	FOUND MONUMENT 1/2" IP	⊙	WATER VALVE
○	SET 1/2" IRON PIPE MARKED RLS NO. 25718	⊙	ROLLARD
⊙	CABLE TV PEDESTAL	⊙	FLAG POLE
⊙	AIR CONDITIONER	⊙	MAIL BOX
⊙	ELECTRIC MANHOLE	⊙	TRAFFIC SIGN
⊙	ELECTRIC METER	⊙	UNKNOWN MANHOLE
⊙	ELECTRIC PEDESTAL	⊙	SOIL BORING
⊙	ELECTRIC TRANSFORMER	⊙	PEET ELEVATION
⊙	LIGHT POLE	⊙	TRAFFIC SIGNAL
⊙	GUY WIRE	⊙	CONFIDURUS TREE
⊙	POWER POLE	⊙	DECIDUOUS TREE
⊙	GAS MANHOLE	⊙	FLARED END SECTION
⊙	GAS METER	⊙	STORM MANHOLE
⊙	TELEPHONE MANHOLE	⊙	FIRE DETECT. CONNECTION
⊙	TELEPHONE PEDESTAL	⊙	HYDRANT
⊙	SANITARY CLEANOUT	⊙	CURB STOP
⊙	SANITARY MANHOLE	⊙	WATER WELL
⊙	CATCH BASIN	⊙	WATER MANHOLE
⊙	STORM DRAIN	⊙	WATER METER
⊙		⊙	POST INDICATOR VALVE
—	UR	—	UNDERGROUND ELECTRIC
—	UTV	—	UNDERGROUND CABLE TV
—	UF	—	UNDERGROUND FIBER OPTIC
—	UT	—	UNDERGROUND TELEPHONE
—	OU	—	OVERHEAD UTILITY
—	UG	—	UNDERGROUND GAS
—	SS	—	SANITARY SEWER
—	WS	—	STORM SEWER
—	I	—	WATERMAIN
—	X	—	FENCE
—	1230	—	CURB [TYPICAL]
—		—	CONTOURS
—		—	DENOTES EXISTING ACCESS CONTROL AS SHOWN ON RECORD PLAN
—		—	BUILDING LINE
—		—	BITUMINOUS SURFACE
—		—	CONCRETE SURFACE



THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THIS SURVEY HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. COPPER STATE ONE CALL LOCATE TICKET NUMBER(S) 221081552. SOME MAPS WERE RECEIVED, WHILE OTHER UTILITIES DID NOT RESPOND TO THE LOCATE REQUEST. ADDITIONAL UTILITIES OF WHICH WE ARE UNAWARE MAY EXIST.



SURVEY NOTES:

1. BEARINGS ARE BASED ON THE WASHINGTON COUNTY COORDINATE SYSTEM NAD 1983. BEARINGS/AZIMUTHS SHOWN ARE DIFFERENT THAN SHOWN ON THE MNDOT RECORDED PLAT. ALL INTERIOR ANGLES MATCH THE RECORDED MNDOT PLAT ANGLES.
2. UNDERGROUND UTILITIES SHOWN PER GOPHER ONE LOCATES AND AS-BUILTS PLANS PROVIDED BY THE CITY OF LAKE ELMO ENGINEERING DEPARTMENT.
3. THERE MAY BE SOME UNDERGROUND UTILITIES, GAS, ELECTRIC, ETC. NOT SHOWN OR LOCATED.
4. SURVEY INFORMATION SHOWN FROM FIELD COLLECTED DATED ON 3-7-22 AND 4-29-22.
5. EXISTING ICE AND SNOW AT THE TIME OF THE SURVEY MAY HAVE HINDERED OUR ABILITY TO LOCATE OBVIOUS IMPROVEMENTS.

EXISTING PARKING:

THERE ARE NO VISIBLE PARKING STALLS DESIGNATED ON THIS PARCEL INCLUDING 0 HANDICAP STALLS.

FLOOD INFORMATION:

THIS PROPERTY LIES WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP NUMBER 27163C335E HAVING AN EFFECTIVE DATE OF FEBRUARY 3RD, 2010.

AREA:

TOTAL AREA AS SHOWN = 40,681 SQ.FT.

CERTIFICATION:

To: FSA Title Services, First American Title Insurance Company and BKJ RE LLC:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7, 8, 9, 11, 16, 18, and 19 of Table A thereof. The field work was completed on April 29th, 2022.

CORNERSTONE LAND SURVEYING, INC.
Dated: 5-18-22
Revised: _____

By : *Daniel L. Thurmes*
Daniel L. Thurmes
Minnesota License No. 25718

The FSA Title Services, as agent for First American Title Insurance Company Title Commitment No. 220241, dated March 28th, 2022, as listed on this survey was relied upon for matters of record. Other easements may exist that were not shown in this commitment and are not shown on this survey. (COVERS ADDITIONAL PROPERTY)

TABLE A NOTES:

8. SUBSTANTIAL FEATURES OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK ARE SHOWN ON THE SURVEY.
16. THERE IS OBSERVABLE EVIDENCE OF RECENT EARTH MOVING WORK ON THIS SITE.
18. NO MARKERS OF WETLANDS DELINEATED BY A QUALIFIED SPECIALIST WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
19. PLOTTABLE OFFSITE EASEMENTS OR SERVITUDES ARE SHOWN ON THE SURVEY.

PROPOSED LEGAL DESCRIPTION:

(THE FOLLOWING LEGAL DESCRIPTION WILL BE A
RESULT OF AN ADMINISTRATIVE LOT DIVISION OF
THE OVERALL PARCEL FOR PID# 3402921440004
AND 3402921440004 (WALTER EBERTZ PARCEL)
(NOT RECORDED)

That part of the West Half of the Southeast Quarter of the Southeast Quarter of Section 34, Township 29, Range 21, Washington County, Minnesota, described as follows: BEGINNING at a point on the east line of said West Half of the Southeast Quarter of the Southeast Quarter of Section 34, distant 117.90 feet north of the southwest corner thereof, said point also being on the boundary of Parcel 33B, Minnesota Department of Transportation Right of Way Plat Numbered 82-43, according to the recorded plats thereof; thence North 00 degrees 01 minutes 26 seconds West, assumed bearing, along said east line 286.05 feet to said Parcel 33B boundary; thence South 38 degrees 51 minutes 11 seconds West, along said boundary, 110.20 feet a point designated as B16 on said plat; thence southwesterly 248.01 feet along said boundary, being a tangential curve concave to the northwest having a radius of 868.51 feet and a central angle of 16 degrees 21 minutes 41 seconds to a point designated as B15 on said plat; thence South 46 degrees 03 minutes 26 seconds East, along said boundary, 107.98 feet to a point designated as B14 on said plat; thence northeasterly 177.72 feet along said boundary, being a tangential curve concave to the northwest having a radius of 2764.79 feet, a central angle of 03 degrees 40 minutes 59 seconds and a chord which bears North 75 degrees 56 minutes 35 seconds East to the POINT OF BEGINNING.

EASEMENT NOTES:

The following survey related easements and encumbrances appear on the FSA Title Services, as agent for First American Title Insurance Company Title Commitment No. 220241, dated March 28th, 2022.

Easement for highway purposes together with the right to construct and maintain temporary snow fences on lands adjacent thereto, as evidenced by Final Certificate, recorded as Document No. 200753, in Book 220 of Deeds, page 11. (AFFECTS SUBJECT PROPERTY, NOT SHOWN)

Easement for electric transmission line purposes per Document No. 243694, in Book 277 of Deeds, page 553. Assigned to Xcell Energy Inc. per Document No. 3145752. (APPEARS TO LIE NORTH OF SUBJECT PROPERTY)

Minnesota Department of Transportation Right of Way
Plat No. 82-43, recorded as Document No. 429592.
Right of access from the Land to N. Frontage Rd (aka
Hudson Blvd. N.) is restricted, amended and conveyed to
the City of Lake Elmo, as shown by Quit Claim Deed
dated 11/13/2013, recorded 12/30/2013, as Document
No. 3975938. (RESTRICTED ACCESS SHOWN)

Assessments, covenants, conditions, terms, restrictions, easements, and obligations contained per Document No. 3963742. (AFFECTS SUBJECT PROPERTY, NOT SHOWN)

Assessments, covenants, conditions, terms, restrictions, easements, and obligations contained per Document No. 3963743. (AFFECTS SUBJECT PROPERTY, NOT SHOWN)

Covenants, conditions, terms, restrictions, and easements contained in PERMANENT PUBLIC DRAINAGE & UTILITY EASEMENT AND AGREEMENT, per Document No. 3963744. (LIES NORTH OF SUBJECT PROPERTY)

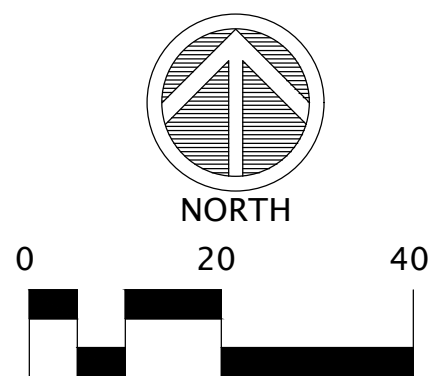
BENCHMARKS

ELEVATIONS SHOWN ARE BASED ON GPS DERIVED
VALUES FOR NAVD 88.

CONTACT:

LYNSKEY AND CLARK CO.
Mick Lynskey
PO Box 36, 118 S. Main Street
Stillwater, MN 55082
Office: 651-439-1412
Cell: 651-210-0075
Fax: 651-439-8071
E-mail: mick@lynkeyclark.com

COUNTY/CITY:

WASHINGTON
COUNTYCITY OF
LAKE ELMO

REVISIONS:

DATE	REVISION
5-18-22	INITIAL ISSUE

PROJECT LOCATION:

9XXX
HUDSON BLVD. N.
PART OF PID#3402921440004
PART OF PID#3402921440006

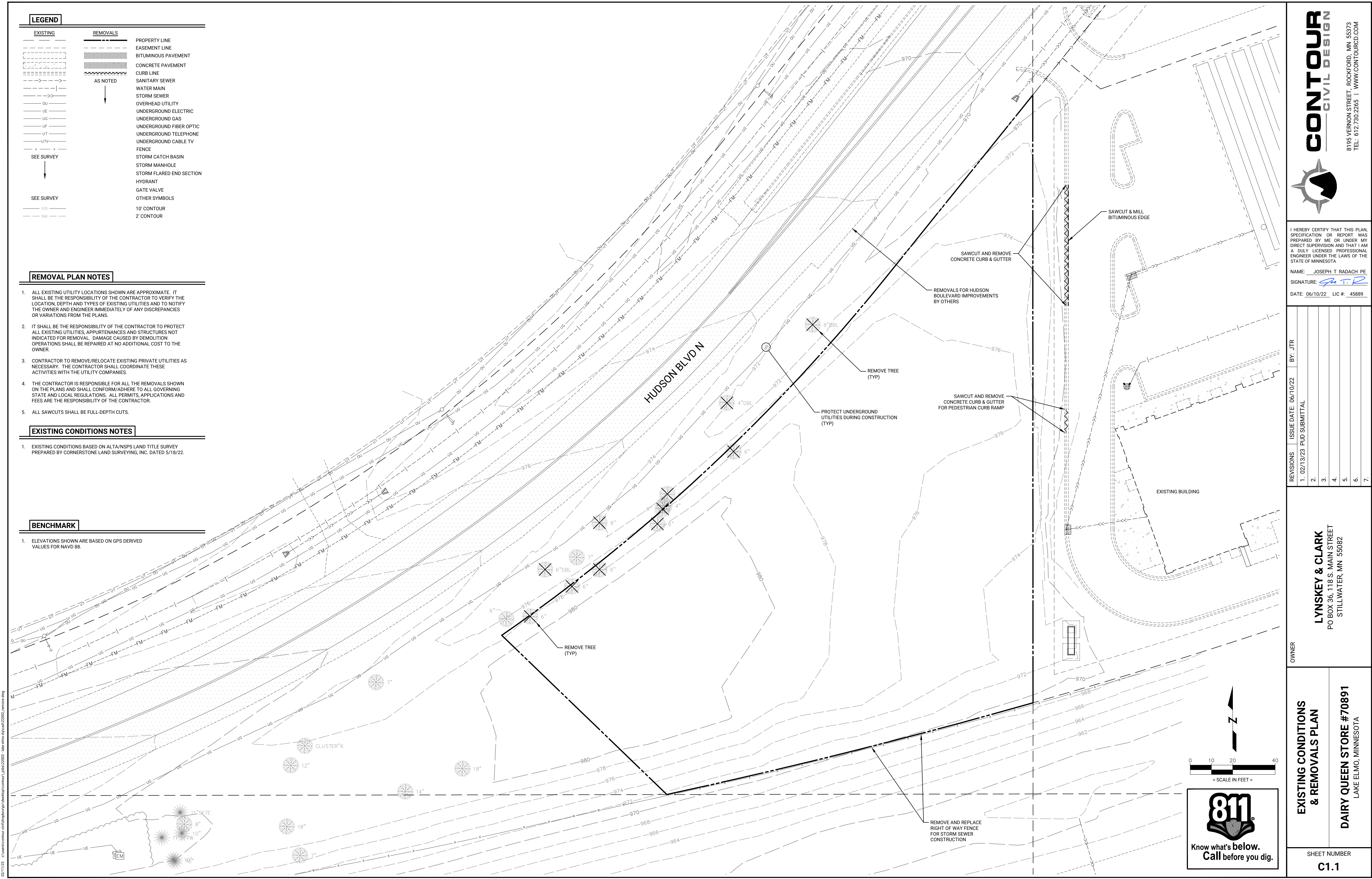
Suite #200
1970 Northwestern Ave.
Stillwater, MN 55082
Phone 651.275.8969
dan@cssurvey
.net

CORNERSTONE
LAND SURVEYING, INC.

FILE NAME
PROJECT NO.

SURVLC83
LC22083

BOUNDARY/TOPOGRAPHY SURVEY



LEGEND

- EXISTING

REMOVALS

PROPERTY LINE

EASEMENT LINE

BITUMINOUS PAVEMENT

CONCRETE PAVEMENT

CURB LINE

SANITARY SEWER

WATER MAIN

STORM SEWER

OVERHEAD UTILITY

UNDERGROUND ELECTRIC

UNDERGROUND GAS

UNDERGROUND FIBER OPTIC

UNDERGROUND TELEPHONE

UNDERGROUND CABLE TV

FENCE

STORM CATCH BASIN

STORM MANHOLE

STORM FLARED END SECTION

HYDRANT

GATE VALVE

OTHER SYMBOLS

10' CONTOUR

2' CONTOUR
- SEE SURVEY

SEE SURVEY

970

968

REMOVAL PLAN NOTES

- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION, DEPTH AND TYPES OF EXISTING UTILITIES AND TO NOTIFY THE OWNER AND ENGINEER IMMEDIATELY OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES, APPURTENANCES AND STRUCTURES NOT INDICATED FOR REMOVAL. DAMAGE CAUSED BY DEMOLITION OPERATIONS SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR TO REMOVE/RELOCATE EXISTING PRIVATE UTILITIES AS NECESSARY. THE CONTRACTOR SHALL COORDINATE THESE ACTIVITIES WITH THE UTILITY COMPANIES.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL THE REMOVALS SHOWN ON THE PLANS AND SHALL CONFORM/ADHERE TO ALL GOVERNING STATE AND LOCAL REGULATIONS. ALL PERMITS, APPLICATIONS AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL SAWCUTS SHALL BE FULL-DEPTH CUTS.

EXISTING CONDITIONS NOTES

- EXISTING CONDITIONS BASED ON ALTA/NSPS LAND TITLE SURVEY PREPARED BY CORNERSTONE LAND SURVEYING, INC. DATED 5/18/22.

BENCHMARK

- ELEVATIONS SHOWN ARE BASED ON GPS DERIVED VALUES FOR NAVD 88.



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA

NAME: JOSEPH T RADACH PE

SIGNATURE: *Joseph T. Radach*

DATE: 06/10/22 LIC #: 45889

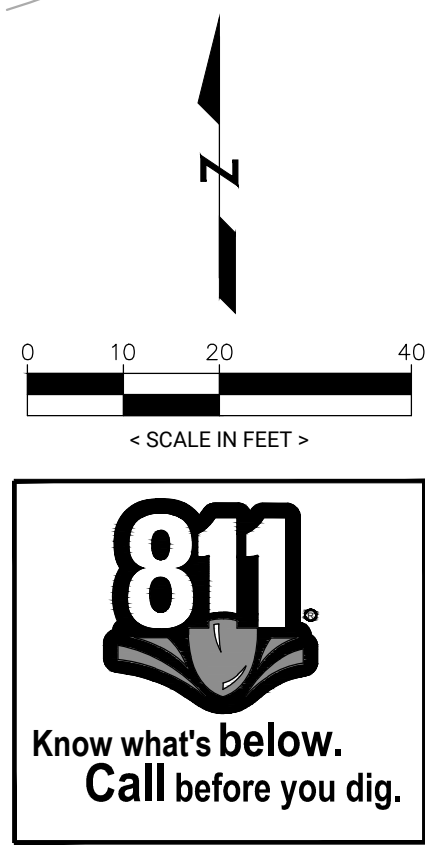
REVISIONS	ISSUE DATE	BY
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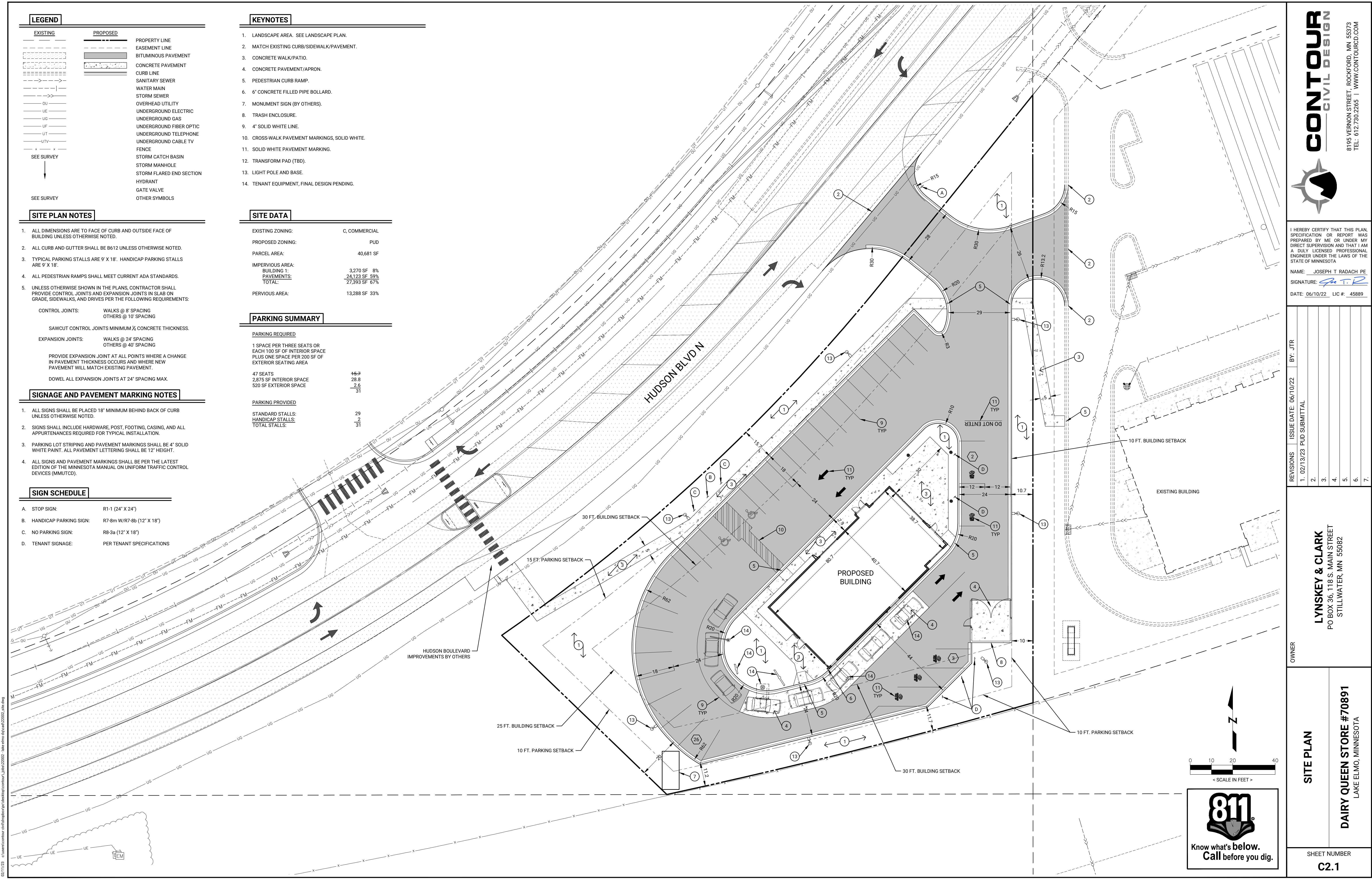
LYNSKEY & CLARK
PO BOX 36, 118 S. MAIN STREET
STILLWATER, MN 55082

EXISTING CONDITIONS
& REMOVALS PLAN

DAIRY QUEEN STORE #70891
LAKE ELMO, MINNESOTA

SHEET NUMBER
C.1.1





LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		EASEMENT LINE
		BITUMINOUS PAVEMENT
		CONCRETE PAVEMENT
		CURB LINE
		SANITARY SEWER
		WATER MAIN
		STORM SEWER
		OVERHEAD UTILITY
		UNDERGROUND ELECTRIC
		UNDERGROUND GAS
		UNDERGROUND FIBER OPTIC
		UNDERGROUND TELEPHONE
		UNDERGROUND CABLE TV
		FENCE
		STORM CATCH BASIN
		STORM MANHOLE
		STORM FLARED END SECTION
		HYDRANT
		GATE VALVE
		OTHER SYMBOLS

SITE PLAN NOTES

- ALL DIMENSIONS ARE TO FACE OF CURB AND OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
- ALL CURB AND GUTTER SHALL BE B612 UNLESS OTHERWISE NOTED.
- TYPICAL PARKING STALLS ARE 9' X 18". HANDICAP PARKING STALLS ARE 9' X 18".
- ALL PEDESTRIAN RAMPS SHALL MEET CURRENT ADA STANDARDS.
- UNLESS OTHERWISE SHOWN IN THE PLANS, CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND EXPANSION JOINTS IN SLAB ON GRADE, SIDEWALKS, AND DRIVES PER THE FOLLOWING REQUIREMENTS:

CONTROL JOINTS: WALKS @ 8' SPACING
OTHERS @ 10' SPACING

SAWCUT CONTROL JOINTS MINIMUM 1/2" CONCRETE THICKNESS.

EXPANSION JOINTS: WALKS @ 24' SPACING
OTHERS @ 40' SPACING

PROVIDE EXPANSION JOINT AT ALL POINTS WHERE A CHANGE IN PAVEMENT THICKNESS OCCURS AND WHERE NEW PAVEMENT WILL MATCH EXISTING PAVEMENT.

DOWEL ALL EXPANSION JOINTS AT 24' SPACING MAX.

SIGNAGE AND PAVEMENT MARKING NOTES

- ALL SIGNS SHALL BE PLACED 18" MINIMUM BEHIND BACK OF CURB UNLESS OTHERWISE NOTED.
- SIGNS SHALL INCLUDE HARDWARE, POST, FOOTING, CASING, AND ALL APPURTENANCES REQUIRED FOR TYPICAL INSTALLATION.
- PARKING LOT STRIPING AND PAVEMENT MARKINGS SHALL BE 4" SOLID WHITE PAINT. ALL PAVEMENT LETTERING SHALL BE 12" HEIGHT.
- ALL SIGNS AND PAVEMENT MARKINGS SHALL BE PER THE LATEST EDITION OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).

SIGN SCHEDULE

A. STOP SIGN:	R1-1 (24" X 24")
B. HANDICAP PARKING SIGN:	R7-8m W/R7-8b (12" X 18")
C. NO PARKING SIGN:	R8-3a (12" X 18")
D. TENANT SIGNAGE:	PER TENANT SPECIFICATIONS

KEYNOTES

- LANDSCAPE AREA. SEE LANDSCAPE PLAN.
- MATCH EXISTING CURB/SIDEWALK/PAVEMENT.
- CONCRETE WALK/PATIO.
- CONCRETE PAVEMENT/APRON.
- PEDESTRIAN CURB RAMP.
- 6" CONCRETE FILLED PIPE BOLLARD.
- MONUMENT SIGN (BY OTHERS).
- TRASH ENCLOSURE.
- 4" SOLID WHITE LINE.
- CROSS-WALK PAVEMENT MARKINGS, SOLID WHITE.
- SOLID WHITE PAVEMENT MARKING.
- TRANSFORM PAD (TBD).
- LIGHT POLE AND BASE.
- TENANT EQUIPMENT, FINAL DESIGN PENDING.

SITE DATA

EXISTING ZONING:	C, COMMERCIAL
PROPOSED ZONING:	PUD
PARCEL AREA:	40,681 SF
IMPERVIOUS AREA:	
BUILDING 1:	3,270 SF 8%
PAVEMENTS:	24,123 SF 59%
TOTAL:	27,393 SF 67%
PERVIOUS AREA:	13,288 SF 33%

PARKING SUMMARY

PARKING REQUIRED

1 SPACE PER THREE SEATS OR
EACH 100 SF OF INTERIOR SPACE
PLUS ONE SPACE PER 200 SF OF
EXTERIOR SEATING AREA

47 SEATS	16.7
2,875 SF INTERIOR SPACE	28.8
520 SF EXTERIOR SPACE	2.6
	31

PARKING PROVIDED

STANDARD STALLS:	29
HANDICAP STALLS:	2
TOTAL STALLS:	31



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NAME: JOSEPH T RADACH PE

SIGNATURE:

DATE: 06/10/22 LIC #: 45889

REVISIONS	ISSUE DATE:	BY:
1.	02/13/23	JTR
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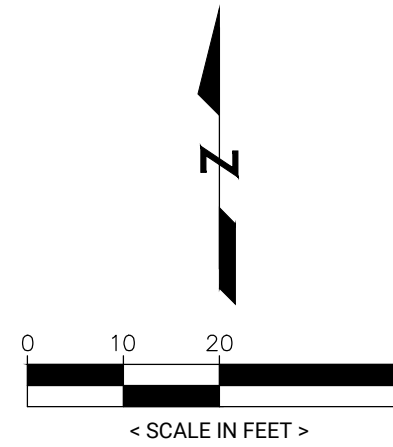
LYNSKEY & CLARK
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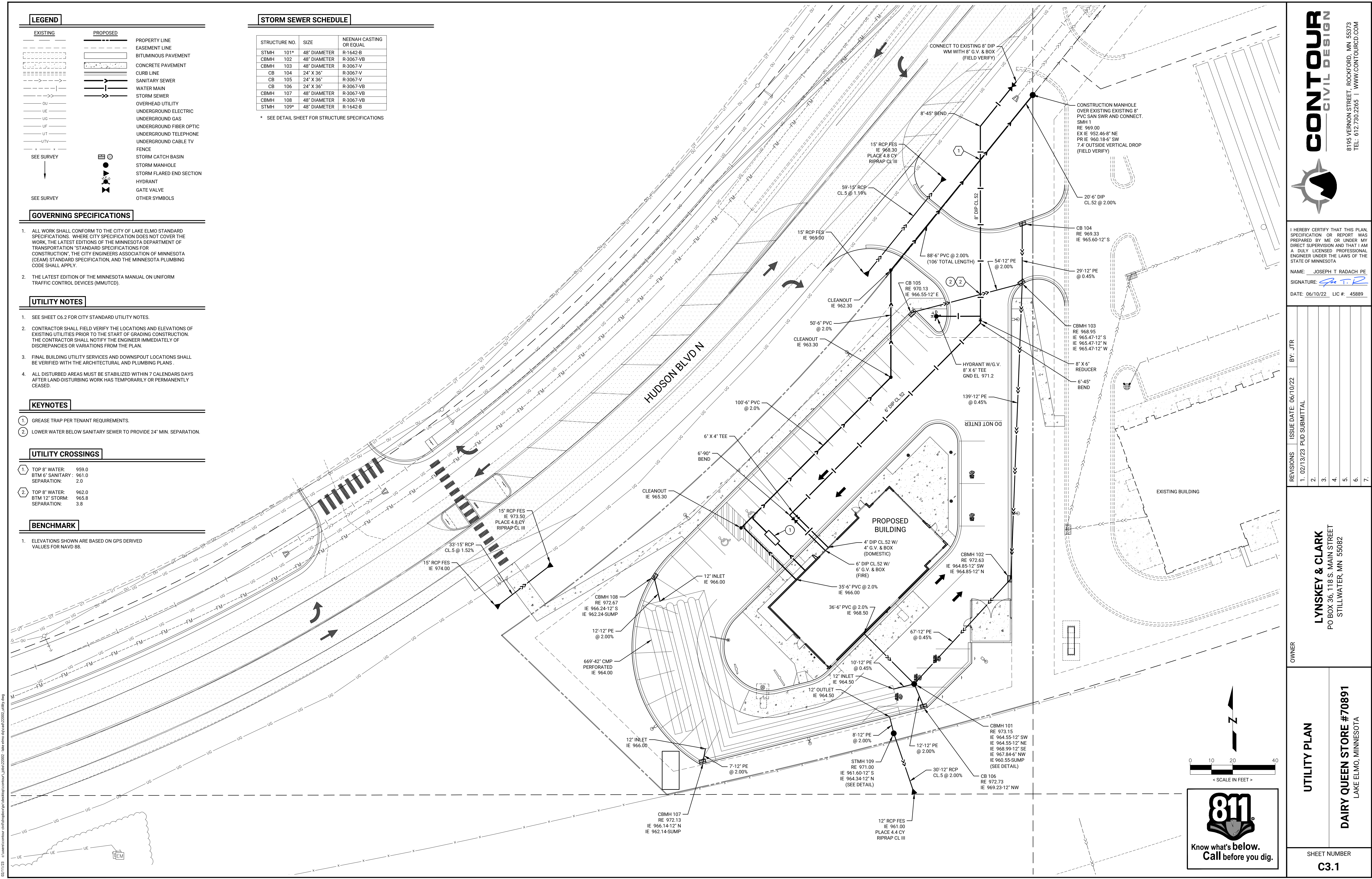
OWNER

SITE PLAN

SHEET NUMBER
C2.1

DAIRY QUEEN STORE #70891
LAKE ELMO, MINNESOTA





LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		EASEMENT LINE
		BITUMINOUS PAVEMENT
		CONCRETE PAVEMENT
		CURB LINE
		SANITARY SEWER
		WATER MAIN
		STORM SEWER
		OVERHEAD UTILITY
		UNDERGROUND ELECTRIC
		UNDERGROUND GAS
		UNDERGROUND FIBER OPTIC
		UNDERGROUND TELEPHONE
		UNDERGROUND CABLE TV
		FENCE
		STORM CATCH BASIN
		STORM MANHOLE
		STORM FLARED END SECTION
		HYDRANT
		GATE VALVE
		OTHER SYMBOLS

GOVERNING SPECIFICATIONS

- ALL WORK SHALL CONFORM TO THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS, WHERE CITY SPECIFICATION DOES NOT COVER THE WORK, THE LATEST EDITIONS OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM) STANDARD SPECIFICATION, AND THE MINNESOTA PLUMBING CODE SHALL APPLY.
- THE LATEST EDITION OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).

UTILITY NOTES

- SEE SHEET C6.2 FOR CITY STANDARD UTILITY NOTES.
- CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO THE START OF GRADING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF DISCREPANCIES OR VARIATIONS FROM THE PLAN.
- FINAL BUILDING UTILITY SERVICES AND DOWNSPOUT LOCATIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND PLUMBING PLANS.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN 7 CALENDARS DAYS AFTER LAND-DISTURBING WORK HAS TEMPORARILY OR PERMANENTLY CEASED.

KEYNOTES

- GREASE TRAP PER TENANT REQUIREMENTS.
- LOWER WATER BELOW SANITARY SEWER TO PROVIDE 24" MIN. SEPARATION.

UTILITY CROSSINGS

- TOP 8" WATER: 959.0
BTM 6" SANITARY: 961.0
SEPARATION: 2.0
- TOP 8" WATER: 962.0
BTM 12" STORM: 965.8
SEPARATION: 3.8

BENCHMARK

- ELEVATIONS SHOWN ARE BASED ON GPS DERIVED VALUES FOR NAVD 88.

STORM SEWER SCHEDULE

STRUCTURE NO.	SIZE	NEENAH CASTING OR EQUAL
STMH 101*	48" DIAMETER	R-1642-B
CBMH 102	48" DIAMETER	R-3067-VB
CBMH 103	48" DIAMETER	R-3067-V
CB 104	24" X 36"	R-3067-V
CB 105	24" X 36"	R-3067-V
CB 106	24" X 36"	R-3067-VB
CBMH 107	48" DIAMETER	R-3067-VB
CBMH 108	48" DIAMETER	R-3067-VB
STMH 109*	48" DIAMETER	R-1642-B

* SEE DETAIL SHEET FOR STRUCTURE SPECIFICATIONS

CONTOUR
CIVIL DESIGN

8195 VERNON STREET, ROCKFORD, MN 55973
TEL: 612.730.2265 | WWW.CONTOURCD.COM

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA

NAME: JOSEPH T RADACH PE
SIGNATURE:
DATE: 06/10/22 LIC #: 45889

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OWNER

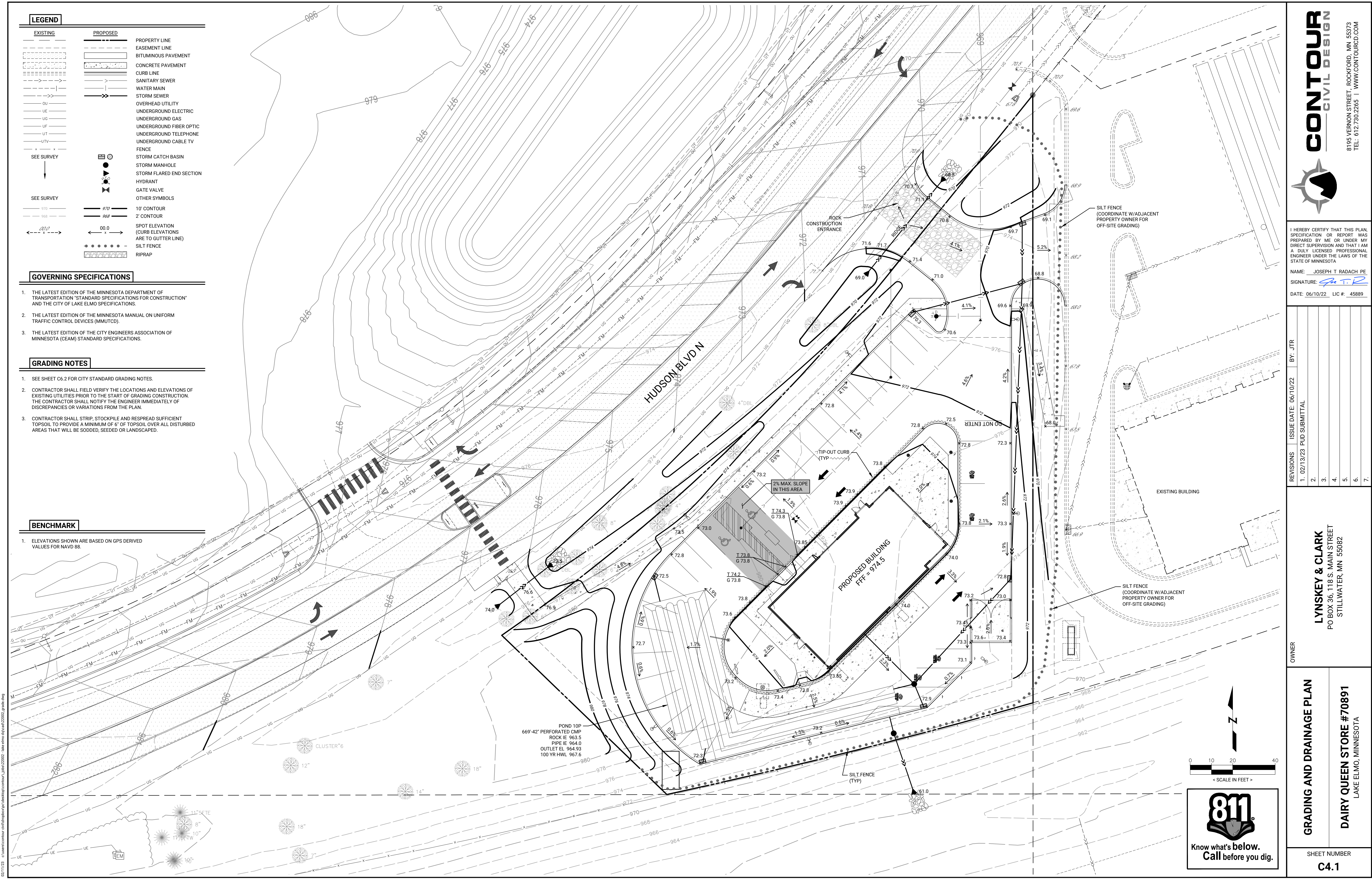
LYNSKEY & CLARK
PO BOX 36, 118 S. MAIN STREET
STILLWATER, MN 55082

UTILITY PLAN

DAIRY QUEEN STORE #70891
LAKE ELMO, MINNESOTA

SHEET NUMBER

C3.1



LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		EASEMENT LINE
		BITUMINOUS PAVEMENT
		CONCRETE PAVEMENT
		CURB LINE
		SANITARY SEWER
		WATER MAIN
		STORM SEWER
		OVERHEAD UTILITY
		UNDERGROUND ELECTRIC
		UNDERGROUND GAS
		UNDERGROUND FIBER OPTIC
		UNDERGROUND TELEPHONE
		UNDERGROUND CABLE TV

GOVERNING SPECIFICATIONS

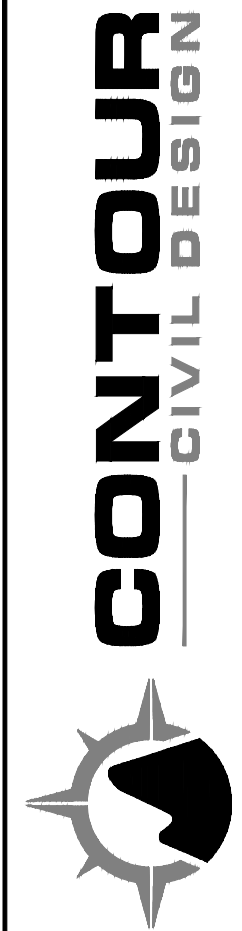
1. THE LATEST EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" AND THE CITY OF LAKE ELMO SPECIFICATIONS.
2. THE LATEST EDITION OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).
3. THE LATEST EDITION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM) STANDARD SPECIFICATIONS.

GRADING NOTES

1. SEE SHEET C6.2 FOR CITY STANDARD GRADING NOTES.
2. CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO THE START OF GRADING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF DISCREPANCIES OR VARIATIONS FROM THE PLAN.
3. CONTRACTOR SHALL STRIP, STOCKPILE AND RESPREAD SUFFICIENT TOPSOIL TO PROVIDE A MINIMUM OF 6" OF TOPSOIL OVER ALL DISTURBED AREAS THAT WILL BE SODDED, SEEDDED OR LANDSCAPED.

BENCHMARK

1. ELEVATIONS SHOWN ARE BASED ON GPS DERIVED VALUES FOR NAVD 88.



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA

NAME: JOSEPH T RADACH PE

SIGNATURE:

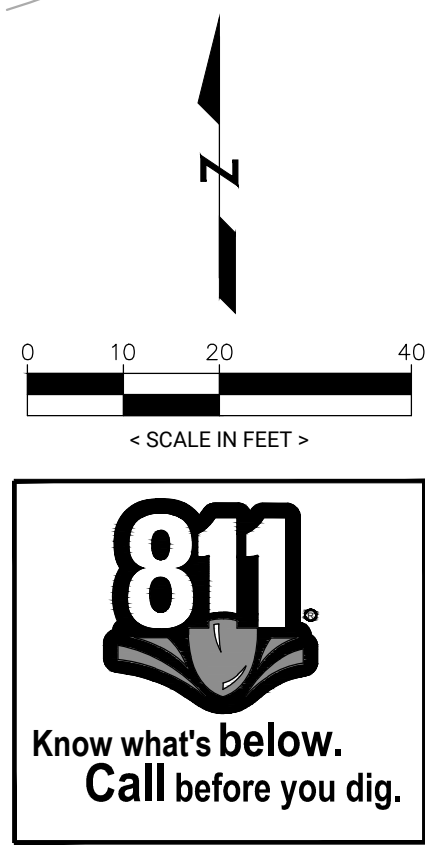
DATE: 06/10/22 LIC #: 45889

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1.	02/13/23 PUD SUBMITTAL	
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7.		

LYNSKEY & CLARK
PO BOX 36, 118 S. MAIN STREET
STILLWATER, MN 55082

GRADING AND DRAINAGE PLAN
DAIRY QUEEN STORE #70891
LAKE ELMO, MINNESOTA

SHEET NUMBER
C4.1





8 DUMPSTER ENCLOSURE
6" PIPE BOLLARD DETAIL
3/4" = 1'-0"





NOTE: THIS IS A PROTOTYPICAL SCHEDULE, ALL FINISHES MAY NOT BE USED.

- | | | | |
|--|--|---|---|
| <p>A STONE:
MFRG: BORAL STONE PRODUCTS LLC
STYLE: PRO-FIT LEDESTONE, DRY STACK
COLOR: PLATINUM
NOTE: CAPSTONE: ELDERADO STONE - CHISELED EDGE COLUMN CAP, COLOR: SMOKE</p> | <p>E <u>PAIN PATIO RAILING, LIGHTS, PERGOLA COLUMNS:</u>
MFRG: BENJAMIN MOORE
COLOR: P28 COBBLESTONE PATH 1606
PRODUCT: ULTRA SPEC HP DTM ACRYLIC SEMI-GLOSS ENAMEL HP28
PRIMER: ULTRA SPEC HP DTM ACRYLIC METAL PRIMER HP04</p> | <p>L <u>EIFS: (MEDIUM)</u>
MFRG: STO CORPORATION
COLOR: NA20-0019 (MATCHES BENJAMIN MOORE, WILLOW CREEK #1468)
FINISH: 310 STO (FINE SAND)
NOTE: PROVIDE HIGH IMPACT EIFS FROM GRADE TO 3'-0" A.F.F.</p> | <p>G <u>TRASH ENCLOSURE PAINT:</u>
MFRG: BENJAMIN MOORE
COLOR: DEEP CREEK 1477
PRODUCT: AURA EXTERIOR PAINT, EGG SHELL LOW LUSTRE #634
PRIMER: FIRST COAT - AURA EXTERIOR PAINT</p> |
| <p>B EIFS: (LIGHT)
MFRG: STO CORPORATION
COLOR: NA19-0021 (MATCHES BENJAMIN MOORE, TEMPORAL SPIRIT 965)
FINISH: 310 STO (FINE SAND)
NOTE: PROVIDE HIGH IMPACT EIFS FROM GRADE TO 3'-0" A.F.F.</p> | <p>F <u>METAL PANEL:</u>
MFRG: ALPOLIC
STYLE: 4MM
COLOR: SHIMMER DQS MAROON GOLD
NOTE: MUST BE INSTALLED HORIZONTALLY. REFERENCE ARROWS ON BACK OF PANEL MUST BE ALIGNED IN THE SAME DIRECTION.
VENDOR: ARCHITECTURAL METALS, SEE NATIONAL VENDORS LIST</p> | <p>M <u>CORRUGATED METAL:</u>
MFRG: METAL SALES MANUFACTURING CORPORATION
MATL: 7/8" CORRUGATED 24 GA. STEEL
COLOR: ACRYLIC COATED GALVALUME
VENDOR: ARCHITECTURAL METALS, SEE NATIONAL VENDORS LIST</p> | <p>R <u>METAL PANEL:</u>
MFRG: ALPOLIC
STYLE: 3MM
COLOR: TBX SILVER
NOTE: MUST BE INSTALLED HORIZONTALLY. REFERENCE ARROWS ON BACK OF PANEL MUST BE ALIGNED IN THE SAME DIRECTION.
VENDOR: ARCHITECTURAL METALS, SEE NATIONAL VENDORS LIST</p> |
| <p>C EIFS: (RED)
MFRG: STO CORPORATION
COLOR: NA19-0022 (MATCHES BENJAMIN MOORE, CALIENTE AF-290)
FINISH: 130D STOLIT 1.0D (FINE SAND)
NOTE: PROVIDE HIGH IMPACT EIFS FROM GRADE TO 3'-0" A.F.F.</p> | <p>G <u>METAL EYEBROW, OUTRIGGERS, & FLASHINGS:</u>
MFRG: FIRESTONE UNA-CLAD
MATL: .040 ALUMINUM
COLOR: EXTRA DARK BRONZE
FINISH: KYNAR 500
VENDOR: ARCHITECTURAL METALS, SEE NATIONAL VENDORS LIST</p> | <p>N <u>METAL EYEBROW, OUTRIGGERS, & FLASHINGS:</u>
MFRG: FIRESTONE UNA-CLAD
MATL: .040 ALUMINUM
COLOR: CLEAR ANODIZED
FINISH: SATIN
VENDOR: ARCHITECTURAL METALS, SEE NATIONAL VENDORS LIST</p> | <p>I <u>AWNING:</u>
MFRG: SUNBRELLA
COLOR: CHARCOAL TWEED 6007-000
VENDOR: SIGN SOURCE</p> |
| <p>D EIFS: (DARK)
MFRG: STO CORPORATION
COLOR: NA19-0023 (MATCHES BENJAMIN MOORE, DEEP CREEK 1477)
FINISH: 130D STOLIT 1.0D (FINE SAND)
NOTE: PROVIDE HIGH IMPACT EIFS FROM GRADE TO 3'-0" A.F.F.</p> | <p>H <u>EIFS: (BLUE)</u>
MFRG: STO CORPORATION
COLOR: NA19-0024 (MATCHES BENJAMIN MOORE, BIG COUNTRY BLUE #2066-30)
FINISH: 130D STOLIT 1.0 (FINE SAND)
NOTE: PROVIDE HIGH IMPACT EIFS FROM GRADE TO 3'-0" A.F.F.</p> | <p>P <u>PAINT:</u>
MFRG: BENJAMIN MOORE
COLOR: TEMPORAL SPIRIT 965
PRODUCT: AURA EXTERIOR PAINT, EGG SHELL LOW LUSTRE #634
PRIMER: FIRST COAT - AURA EXTERIOR PAINT</p> | <p>W <u>PERGOLA SOLID COLOR STAIN:</u>
MFRG: BENJAMIN MOORE
COLOR: COBBLESTONE PATH 1606
PRODUCT: ARBORCOAT WATERBORNE SOLID DECK & SIDING STAIN #640
PRIMER: SELF PRIMING ON MOST SURFACES (SEE TECH. DATA SHEET FOR DETAILS)</p> |
| <p>E <u>COPING & SCUPPERS:</u>
MFRG: FIRESTONE UNA-CLAD
MATL: 24 GA. STEEL
COLOR: SILVER METALLIC
FINISH: KYNAR 500
VENDOR: ARCHITECTURAL METALS, SEE NATIONAL VENDORS LIST</p> | <p>K <u>STOREFRONT:</u>
STYLE: 2"x4 1/2"
FINISH: DARK BRONZE
GLAZING: CLEAR, 1" INSULATED, LOW E</p> | <p>Q <u>TRASH ENCLOSURE SOLID COLOR STAIN:</u>
MFRG: BENJAMIN MOORE
COLOR: DEEP CREEK 1477
PRODUCT: ARBORCOAT WATERBORNE SOLID DECK & SIDING STAIN #640
PRIMER: SELF PRIMING ON MOST SURFACES (SEE TECH. DATA SHEET FOR DETAILS)</p> | <p>X <u>WALKIN COOLER/FREEZER:</u>
MFRG: KOLPAK
COLOR: FACTORY FINISH
VENDOR: WASSERSTROM
NOTE: SEE EQUIPMENT SCHEDULE FOR DETAILS</p> |

PROFESSIONAL SEAL:

[illegible]

PLAN START DATE:	7/14/2022
------------------	-----------

APPROVED FOR

APPROVED FOR

APPROVED FOR
CONSTRUCTION

PROJECT INFO:

22-039

PLAN FOR SITE PLAN APPROVAL

DAIRY QUEEN

LAKE ELMO
WASHINGTON COUNTY, MN

CURRENT 2/13/2023 12:16:39 PM

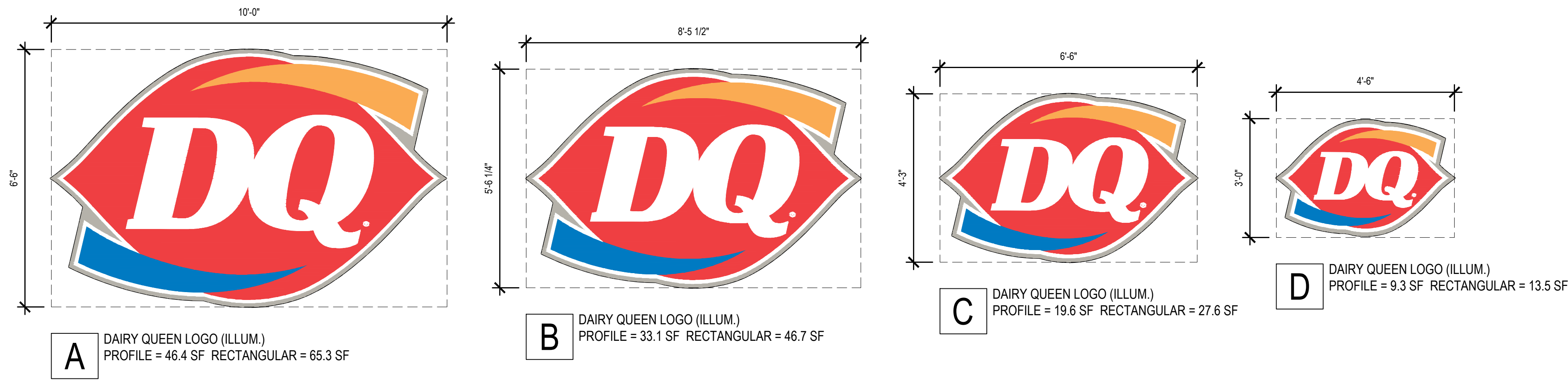
DRAWN BY: O.R.V.

SCALE: 1/4" = 1'-0"

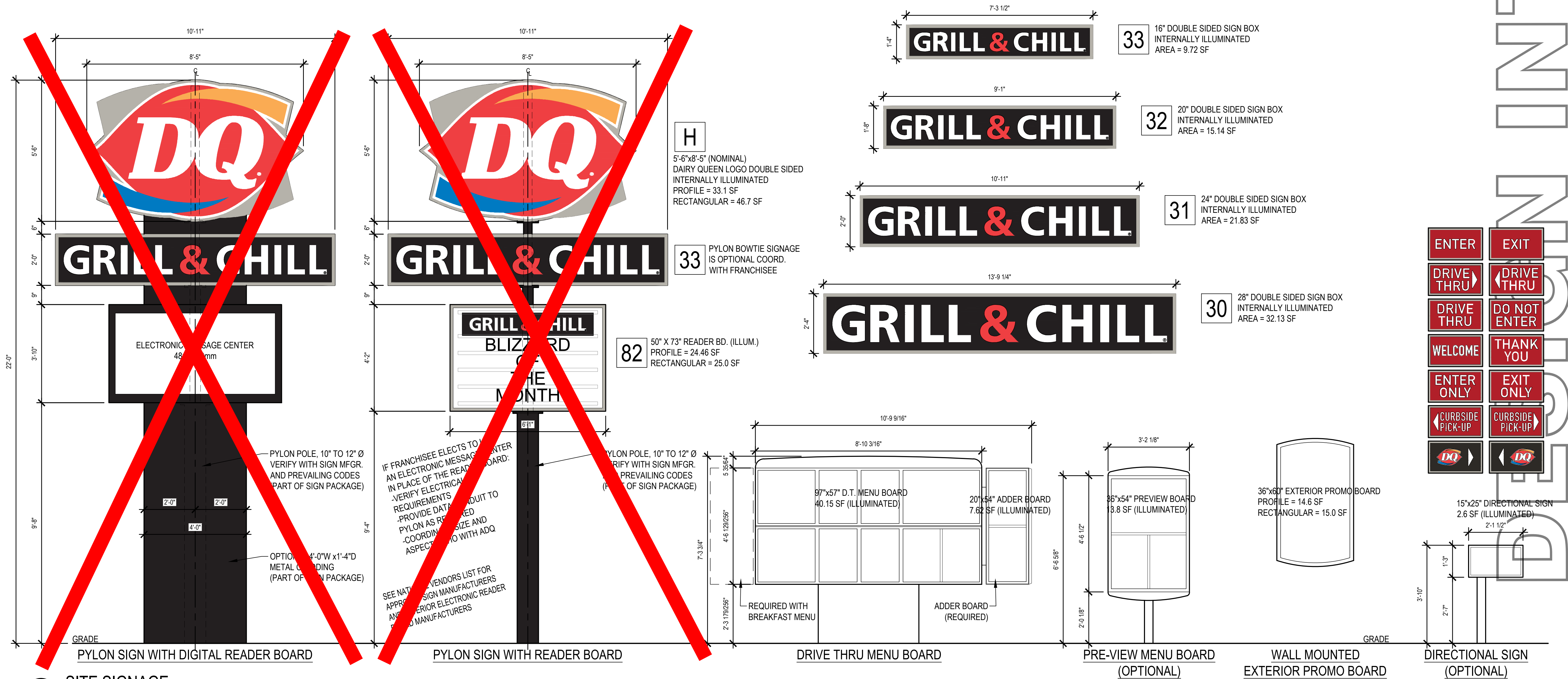
SHEET NAME:

ELEVATIONS

240



2 BUILDING SIGNAGE
A3.3 SCALE: 1/2" = 1'-0"



1 SITE SIGNAGE
A3.3 SCALE: 1/2" = 1'-0"

MAIN STREET
TOWN SQUARE
ANY TOWN, USA.



AMERICAN DAIRY QUEEN
MINNEAPOLIS, MN U.S.A.

*REGISTERED U.S. PATENT OFFICE, AMERICAN DAIRY QUEEN CORPORATION. THIS DRAWING, ITS DESIGN DETAIL AND INVENTION ARE THE PROPERTY OF AMERICAN DAIRY QUEEN INC. (ADQ) AND SHALL NOT BE COPIED IN ANY MANNER NOR DISCLOSED TO ANY OUTSIDE PARTY WITHOUT ADQ CONSENT.

BUILDING TYPE:
DAIRY QUEEN GRILL & CHILL
CORE46

DRAWN, CHECKED, & APPROVED BY: ADQ
DESIGN-ARCHITECTURE-CONSTRUCTION (DAC)
DEPARTMENT

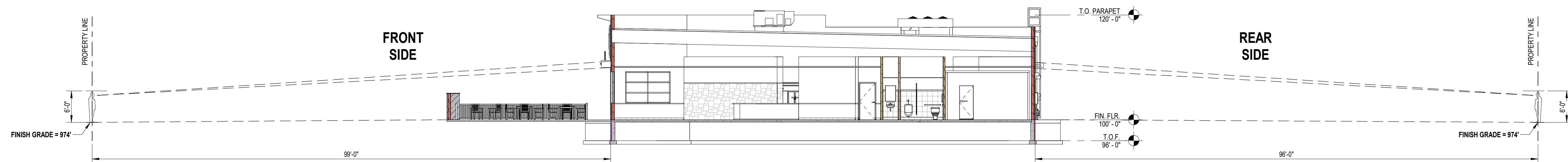
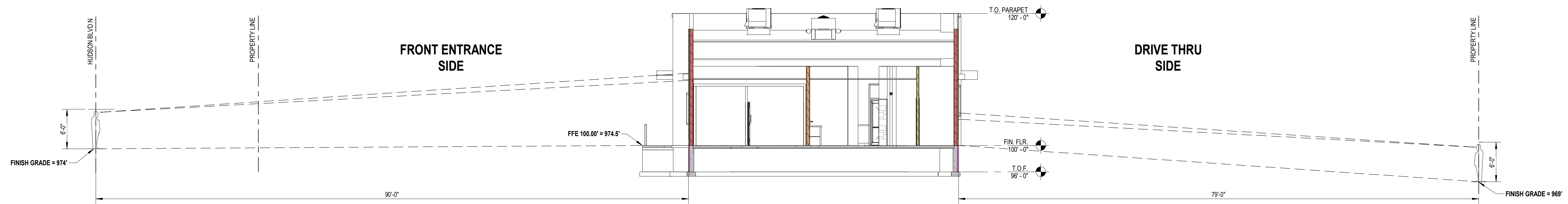
THIS IS "PLAN" NORTH FOR ACTUAL BUILDING ORIENTATION REFER TO SITE PLAN (BY OTHERS)

ISSUE DATE: 6-19-2020

REVISION DATE:	
7-30-2020	PLAN REVISION BULLETIN #1
12-16-2020	PLAN REVISION BULLETIN #2
7-16-2021	PLAN REVISION BULLETIN #3
11-30-2021	PLAN REVISION BULLETIN #4
7-5-2022	PLAN REVISION BULLETIN #5
1-6-2023	PLAN REVISION BULLETIN #6

SIGNAGE MATRIX

SHEET NUMBER:
A3.3



FOR SITE PLAN APPROVAL
NOT FOR CONSTRUCTION

PROFESSIONAL SEAL:

[illegible]

PLAN START DATE:	7/14/2022
APPROVED FOR BID	
APPROVED FOR REVIEW	
APPROVED FOR CONSTRUCTION	

PROJECT INFO:
22-039
FOR SITE PLAN APPROVAL
DAIRY QUEEN
LAKE ELMO
WASHINGTON COUNTY, MN

CURRENT AS OF: 2/23/2023 10:49:20 AM

DRAWN BY: O.R.V.

SCALE: As indicated

SHEET NAME:

SIGHTLINES

246



Comprehensive Sign Plan Narrative

Lake Elmo, MN

Prepared for:

Drake Real Estate Services



February 28, 2023



SUBMITTED TO
Lake Elmo Planning & Zoning
3880 Laverne Avenue N
Lake Elmo, MN 55042



PREPARED BY
Landform Professional Services, LLC
105 5th Ave S, Suite 513
Minneapolis, MN 55401

TABLE OF CONTENTS

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Comprehensive Sign Plan

This narrative provides a summary of the Comprehensive Sign Plan as requested as part of the PUD.

The *italicized text* below indicates sign standards from Section 105.12.430 of the Zoning Ordinance. This text has been included to highlight where flexibility from sign standards has been requested.

Ground Sign Standards

Two ground signs are proposed where the development would be permitted four ground signs (one for each lot). The two proposed ground signs will have multiple sign panels to be shared by the lot users. The ground signs will be located on Lot 1, Block 1 and Lot 2, Block 2. Tenants in the development will be allocated a certain amount of sign area for each ground sign. The total permitted area for ground signs shall in addition to the permitted wall sign area.

The following is a summary of the proposed ground signage:

Lot	Ground Signs Allowed	Ground Signs Proposed	Maximum Area Allowed	Proposed Area (Each Side)	Maximum Height Allowed	Proposed Height
Lot 1, Block 1	1	1	250 sq. ft.	565 sq. ft.	30 ft.	50 ft.
Lot 1, Block 2	1	0	250 sq. ft.	N/A	30 ft.	N/A
Lot 2, Block 2	1	1	250 sq. ft.	250 sq. ft.	30 ft.	30 ft.
Lot 3, Block 2	1	0	250 sq. ft.	N/A	30 ft.	N/A
TOTAL	4	2	1,000 sq. ft.	815 sq. ft.		

Block 1 Ground Sign Standards

The following standards are proposed for the ground sign on Block 1:

- One ground sign is permitted for Lot 1, Block 1 with a maximum height of 50 feet and sign area of 565 square feet.
 - Section 105.12.430(h.2) permits one ground sign with a maximum height of 30 feet and up to 250 square feet in area.*
- An electronic variable message sign displaying multi-colored copy is allowed and shall not exceed 20% of the permitted sign area. Electronic variable message sign area will be included with the maximum aggregate sign area allowed.
 - Section 105.12.430(h.4) of the Zoning Ordinance permits electronic variable message signs up to 40 square feet in area.*
 - Section 105.12.430(h.4) limits electronic variable message signs to one color only, with light copy on a dark background.*
- The total permitted ground sign area is in addition to the permitted wall sign area.

Block 2 Ground Sign Standards

The following standards are proposed for the ground sign on Block 2:

- One ground sign is permitted for Block 2 and shall be located on Lot 2, Block 2 with a maximum height of 30 feet and up to 250 square feet.
 - Section 105.12.430(h.2) permits one ground sign with a maximum height of 30 feet and up to 250 square feet in area for each lot.* The Zoning Ordinance would allow for three ground signs (one on each lot in Block 2).

2. An electronic variable message sign is not proposed for the ground sign on Block 2.

Wall Sign Standards

The following is a summary of the proposed wall signage:

Lot	Wall Signs Allowed	Wall Signs Proposed	Ancillary Wall Signs Allowed per Façade	Ancillary Wall Signs Proposed per Façade	Maximum Area Allowed per Façade*	Proposed Area per Façade*
Lot 1, Block 1	2	3	3	1	150 sq. ft.	150 sq. ft.
Lot 1, Block 2	1	3	3	2	150 sq. ft.	300 sq. ft.
Lot 2, Block 2	1	3	3	2	150 sq. ft.	300 sq. ft.
Lot 3, Block 2	0	3	3	2	150 sq. ft.	300 sq. ft.
TOTAL	4	12	9	7		

* Including allowable principal and ancillary sign area.

Block 1 Wall Sign Standards

The following standards are proposed for wall signs on Block 1:

1. No building occupant shall display more than one wall sign per building façade except as provided for below:
 - a. Signage will be allowed on three facades of each building.
 - i. *Section 105.12.430(h.1) permits one wall sign per street frontage.*
 - b. Up to one ancillary sign will be allowed. Any ancillary sign shall not exceed 50% of the net area of the largest permitted wall sign displayed on that façade.
 - i. *Section 105.12.430(h.1) permits up to three (3) ancillary wall signs on buildings measuring at least 100 feet in length along the front property line.*
 - c. The aggregate area of the principal and ancillary signs shall not exceed 150 square feet per façade.
2. No individual wall sign shall exceed 100 square feet in area.
3. The total permitted wall sign area for a building shall be in addition to the permitted ground sign area.

Block 2 Wall Sign Standards

The following standards are proposed for wall signs on Block 2:

1. No building occupant shall display more than one wall sign per building façade except as provided for below:
 - a. Signage will be allowed on three facades of the building.
 - i. *Section 105.12.430(h.1) permits one wall sign per street frontage.*
 - b. Up to two ancillary sign may be displayed on buildings. Any ancillary sign shall not exceed 50% of the net area of the largest permitted wall sign displayed on that façade.
 - i. *Section 105.12.430(h.1) permits up to three (3) ancillary wall signs on buildings measuring at least 100 feet in length along the front property line.*
 - c. The aggregate area of the principal and ancillary signs sign shall not exceed 300 square feet per façade.
2. No individual wall sign shall exceed 150 square feet in area.
 - a. Section 105.12.430(h.1) of the Zoning Ordinance restricts that no individual wall sign shall exceed 100 square feet in area.
3. The total permitted wall sign area for a building shall be in addition to the permitted ground sign area.

Other Signage

Directional Signage

Directional signage within the development will comply with the directional sign standards in Section 105.12.430(h.0).

1. No more than three directional signs are permitted per lot, not including a maximum of one directional sign allowed per driveway entrance/exit.
2. Directional signage shall not serve an additional advertising purpose.
3. Surface area per sign shall not exceed three feet.
4. Logos shall not exceed two square feet per sign.
5. Sign height shall not exceed five feet above the ground elevation at the base of the sign.

Menu Signs

Menu signs are proposed for the Dairy Queen fast food restaurant. All menu signs within the development will comply with the menu sign standards in Section 105.12.430(k.12).

1. Menu signs up to 55 square feet in area and six feet in height, provided they are located within 15 feet of the commercial building with which they are associated or advertise and in a manner such that the copy is not readily viewable from the public right-of-way or a residential occupancy on an adjacent lot.

Contact Information

This document was prepared by:

Nicholas Ouellette
Landform
105 South Fifth Avenue, Suite 513
Minneapolis, MN 55401

Any additional questions regarding this application can be directed to Tom Meyer at tmeyer@landform.net or 612.638.0241.

LAKE ELMO COMMONS

AN OFFICIAL SIGN DEVELOPMENT PLAN

CITY OF LAKE ELMO, COUNTY OF WASHINGTON, STATE OF MINNESOTA

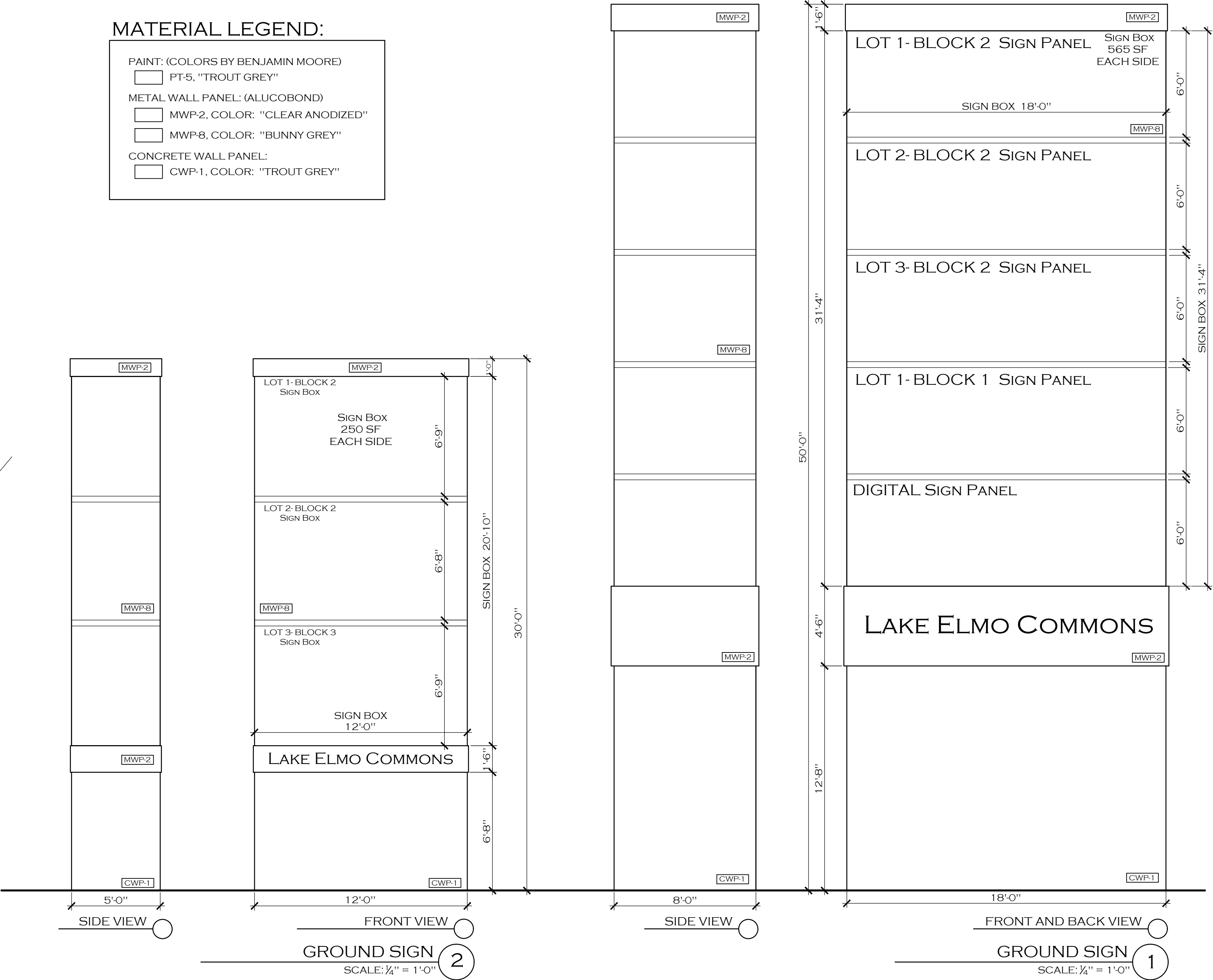
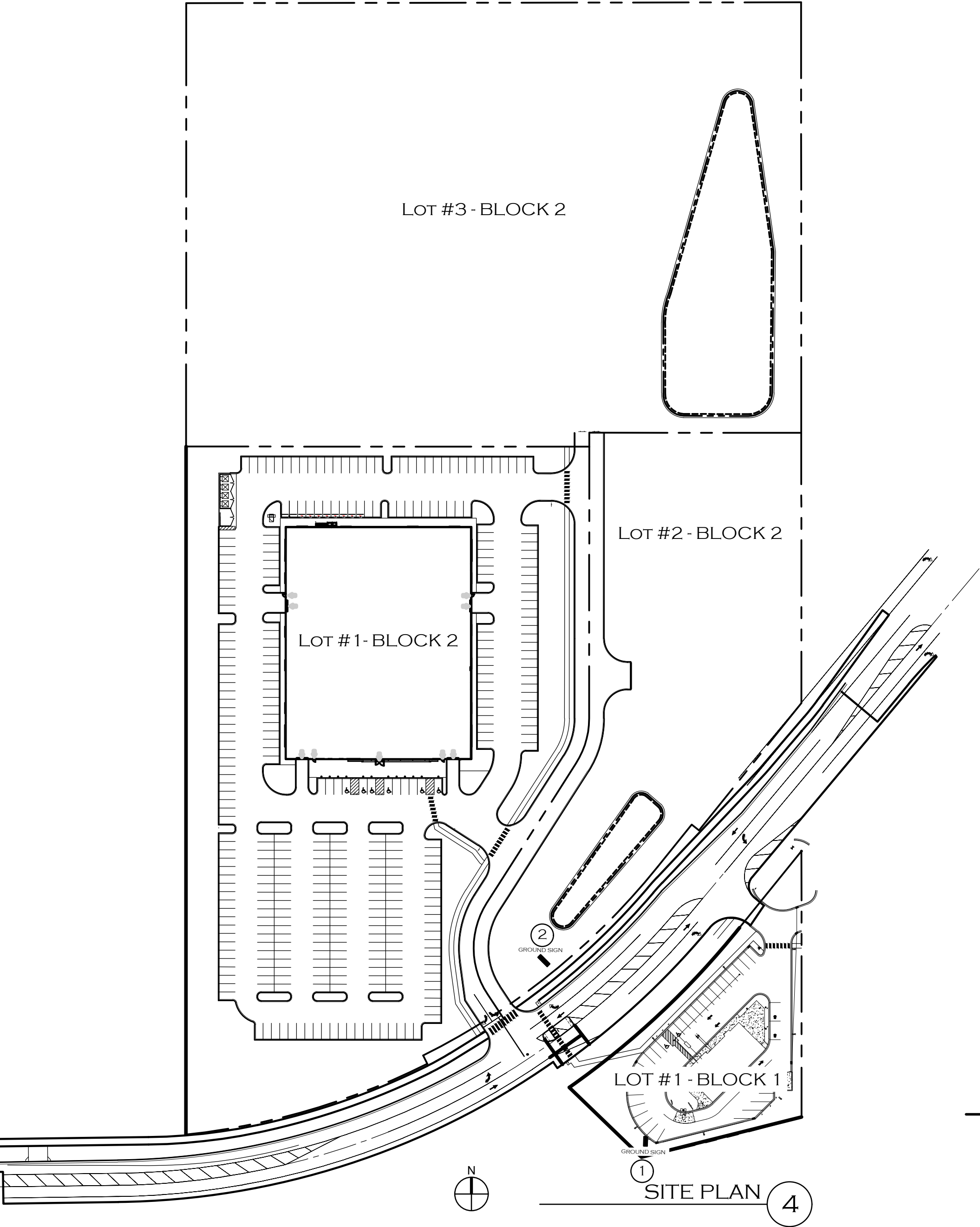
LAKE ELMO COMMONS - GROUND SIGNAGE SUMMARY:

LOT #:	MAX ALLOWED:	PROPOSED:	MAX AREA (SF)	PROPOSED SIGN AREA (SF)	MAX HEIGHT (FT)	PROPOSED HEIGHT (FT)
LOT 1 - BLOCK 1	1	1	250	565 (EACH SIDE)	30	50
LOT 2 - BLOCK 2	1	1	250	250 (EACH SIDE)	30	30
TOTAL:	2	2	500	815 (EACH SIDE)		

SIGN SIZE JUSTIFICATION:
1. VERTICAL SIGNS HAVE A SMALLER FOOTPRINT AND ALLOW MORE LANDSCAPING AND FIT IN SMALLER AREAS.
2. PANEL SIZE: PANELS TO BE EQUAL IN SIZE BUT LARGE ENOUGH FOR TENANT BRANDING.
3. "LAKE ELMO COMMONS" WILL BE ON EACH SIGN, LETTERS MOUNTED HIGH ENOUGH TO AVOID BEING COVERED BY LANDSCAPING.
4. MULTI-TENANT SIGNS MAY PROVIDE SIGNAGE FOR TENANTS FOR ANY LOT.
5. SIGN DESIGN IS FOR EASY PANEL RECONFIGURATION.
6. FREESTANDING SIGNS MAY BE CHANGED OR UPDATED WITHOUT MASTER SIGN PLAN CHANGES.

MATERIAL LEGEND:

- PAIN: (COLORS BY BENJAMIN MOORE)
- PT-5, "TROUT GREY"
- METAL WALL PANEL: (ALUCOBOND)
- MWP-2, COLOR: "CLEAR ANODIZED"
- MWP-8, COLOR: "BUNNY GREY"
- CONCRETE WALL PANEL:
- CWP-1, COLOR: "TROUT GREY"



nama
partners llc
Architecture · Interior Design · Planning · Graphics
2287 Pinto Trail, Elizabeth, CO
Tel. 303.905.7567

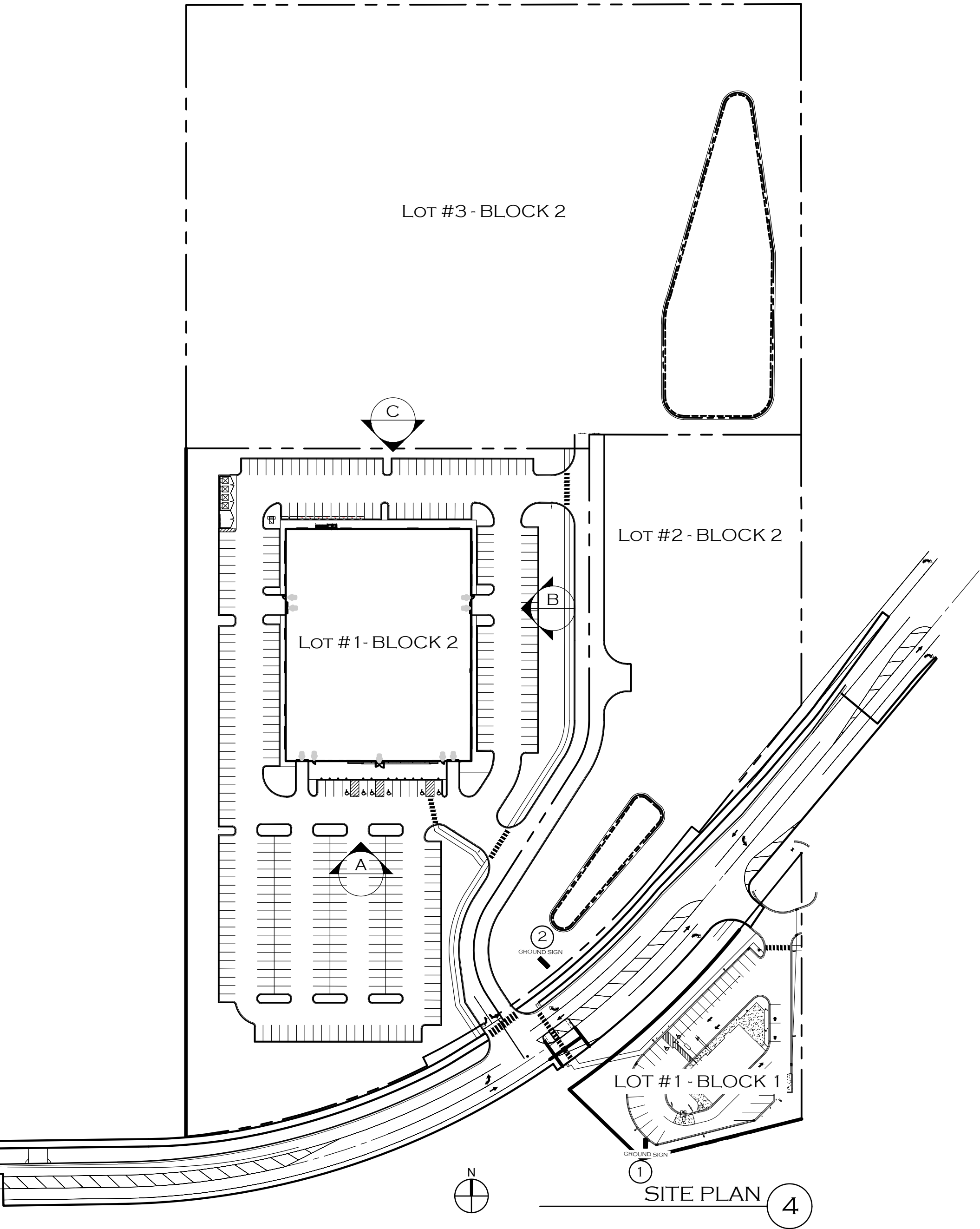
DRAKE
MOTOR PARTNERS L.L.C.
496 S. BROADWAY
DENVER, CO 80209
TEL. 303.825.6200
WWW.DRAKERES.COM

LAKE ELMO
COMMONS
LAKE ELMO, MN

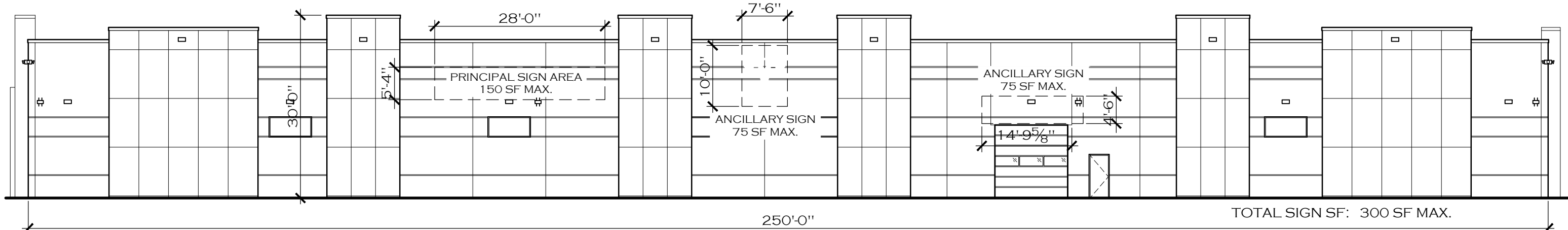
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SIGN DESIGN
STANDARDS

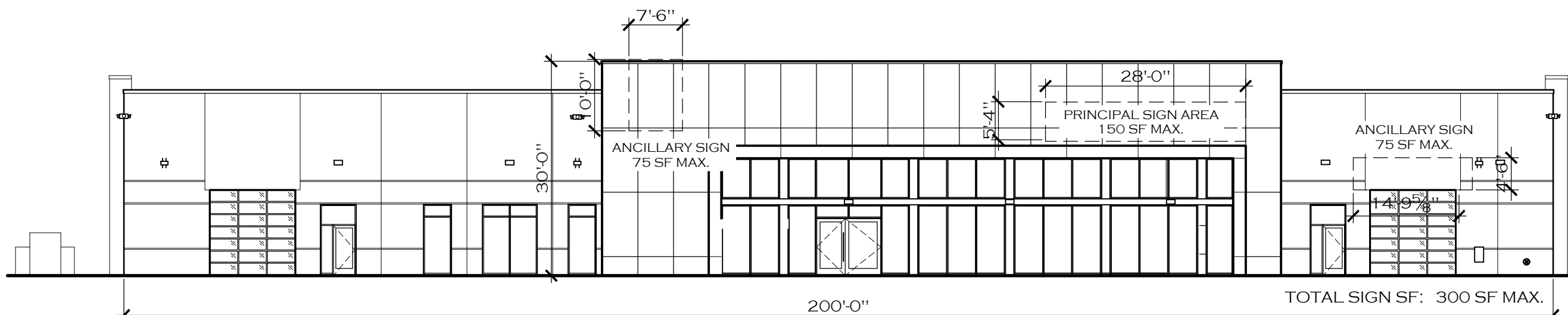
LAKE ELMO COMMONS
AN OFFICIAL SIGN DEVELOPMENT PLAN
CITY OF LAKE ELMO, COUNTY OF WASHINGTON, STATE OF MINNESOTA



BUILDING SIGNAGE EXAMPLES



EAST ELEVATION (B)
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION (A)
SCALE: 1/8" = 1'-0"

nama
partners llc
Architecture - Interior Design - Planning - Graphics
2287 Pinto Trail, Elizabeth, CO
Tel. 303.905.7567

DRAKE
MOTOR PARTNERS L.P., LLC
496 S. BROADWAY
DENVER, CO 80209
TEL. 303.825.6200
WWW.DRAKERES.COM

LAKE ELMO
COMMONS
LAKE ELMO, MN

DRAWING TITLE

SIGN DESIGN
STANDARDS

Lake Elmo Fire Department

Memorandum



To: Sophia Jensen, City Planner

From: Dustin Kalis, Fire Chief

Date: 3/1/23

Re: Preliminary Plat / PUD: Drake Motor Partners, LE LLC

The Lake Elmo Fire Department has completed a Preliminary Plat / PUD review for Drake Motor Partners, LE LLC based on submittals dated 2/16/23 with the following comments:

Lot 1, Block 1 & Block 2, Lots 1, 2, 3:

- 1) All roads and drive lanes shall meet the Lake Elmo Fire Department requirements for widths and turning radiuses.
- 2) An approved signage and marking plan shall be determined for all "No Parking and Fire Lane" access roads.
- 3) Fire hydrants shall be provided in approved locations following review by Engineering and Public Works.
- 4) Building address numbers shall be plainly visible from the street fronting the property and shall contrasting color from the background. Size and placement of address numbers shall be approved by the fire and planning departments.
- 5) A Fire Department approved lock box (KNOX) is required for emergency access to buildings at an approved location. Provide keys for emergency access into and throughout the occupancies as required.
- 6) The fire sprinkler system shall be installed compliant with provisions of "2016 NFPA Standard 13, Installation of Sprinkler Systems" and the Minnesota State Fire Code. City permit required prior to initiation of work.
- 7) Fire Department sprinkler connection locations to be approved prior to installation.
- 8) The fire alarm system shall be installed compliant with provisions of "2016 NFPA Standard 72, National Fire Alarm Code" and the Minnesota State Fire Code. City permit required prior to initiation of work.
- 9) The sprinkler system shall be properly monitored by a qualified monitoring company.
- 10) Install emergency egress illumination in the means of egress including exit discharge compliant with 2020 MSFC.
- 11) Install compliant exit signage as required by the 2020 MSFC.

"Proudly Serving Neighbors & Friends"

- 12) Provide and install dry chemical fire extinguishers certified for service and tagged as required. Service classification rating shall be a minimum 2A classification rating and maximum travel distance of 75 feet to extinguishers. The minimum classification rating may be upgraded for special or extra hazard areas within the occupancy.
- 13) Rooms containing controls for air-conditioning systems, roof access, elevator equipment, sprinkler risers and valves, or other fire detection, suppression or control elements shall be identified for the use of the fire department. Approved signs required to identify fire protection equipment and equipment location, shall be constructed of durable materials, permanently installed and readily visible.

Lot 1, Block 1

- 14) All parking areas shall be capable of supporting the imposed load of fire apparatus weighing up to 75,000 pounds. Area of underground storm water storage shall also meet this requirement.
- 15) Commercial kitchens will require a review of fire suppression, ventilation and fuel source systems. Type I hood and duct systems shall be in compliance with code.
- 16) The hood and duct wet chemical extinguishing system(s) shall be installed compliant with provisions of 2016 NFPA Standard 17A, Installation of Standard for Wet Chemical Extinguishing Systems. City permit required prior to initiation of work.
- 17) A minimum of one Class K extinguisher shall be installed in the commercial kitchen at an approved location. The minimum classification rating may be upgraded for special or extra hazard areas within the occupancy.

Block 2, Lots 1,2,3:

- 18) The gross building area of Lots 1, 2, and 3 of Block 2 shall not exceed 124,000 square feet unless an approved secondary access road is provided.
- 19) A review of hazardous/flammable/combustible liquids, battery and parts storage layout including commodities, quantities and rack construction and heights is required. The developer and architect shall provide the fire department a detailed plan for all storage, storage systems, racks and fluids management within the building.
- 20) The fire department will review operations with the developer and tenant to address specific emergency response and fire department training needs related to the service, storage and replacement of battery packs and power cells and any other emergency hazards related to their automobiles and energy systems.

Codes and Standards Used for this Review

This review is based on the following codes and standards as adopted and in effect in the State of Minnesota at the time of plan submittal.

- 2020 Minnesota State Fire Code
- Lake Elmo Fire Department Fire Code Policy
- NFPA 72, 2016 edition
- NFPA 13, 2016 edition
- NFPA 17A, 2016 edition

“Proudly Serving Neighbors & Friends”

MEMORANDUM

FOCUS ENGINEERING, inc.

Cara Geheren, P.E. 651.300.4261
Jack Griffin, P.E. 651.300.4264
Ryan Stempski, P.E. 651.300.4267
Chad Isakson, P.E. 651.300.4285

Date: February 28, 2023

To: Sophia Jensen, City Planner
Cc: Jenni Faulkner, Planning Director
Marty Powers, Public Works Director
Chad Isakson, PE, Assistant City Engineer
From: Jack Griffin, PE, City Engineer
Re: Ebertz (Drake-Electric Auto Sales & DQ)
PID 3402921440004 and 3402921440006
Preliminary PUD Plat/Plans

Engineering has reviewed the Ebertz (Drake-Electric Auto Sales and Dairy Queen) Preliminary PUD Plat/Plans received on February 15, 2023. The review consisted of the following documentation:

- Preliminary Plat and Preliminary PUD Narrative dated February 13, 2023.
- Civil Site Plans for Electric Auto Sales and Service dated February 13, 2023.
- Stormwater Management Plan for Electric Auto Sales and Service dated February 13, 2023.
- Site Construction Plans for Dairy Queen Store dated February 13, 2023.
- Stormwater Management Plan for Dairy Queen Store dated February 13, 2023.

STATUS/FINDINGS: A condition of Preliminary Plat approval must require the applicant to revise the site plans, utility plans and grading plans to address each review comment and condition of approval to the satisfaction of City staff, as part of the Final Plat application. Engineering has prepared the following review comments to be addressed. A point-by-point response letter must accompany the plan resubmittal.

In addition, it is recommended that it be a condition of Preliminary and Final Plat/Plan approval that all public improvements constructed to support the development must be designed and constructed in accordance with the [City Engineering Design Standards Manual dated January 2022](#), unless approved otherwise by the City Engineer.

PRELIMINARY AND FINAL PLAT/EASEMENTS

1. The Preliminary and Final Plat must be revised to clarify and revise the existing and proposed right-of-way dedication along Hudson Boulevard.
 - Right-of-way dedication along Hudson Boulevard must include a minimum distance of 50-feet north and 50-feet south of the existing Hudson Boulevard roadway centerline.
 - Right-of-way dedication must include the portion of property covered by the Highway Easement Document No. 90695.
 - Additional right-of-way dedication is required along the north boulevard of Hudson Boulevard to ensure the proposed trail and 2-foot clear zone is fully incorporated into the right-of-way.
2. All easement areas must be free from all encroachments other than those approved by the City Engineer and upon execution of an easement encroachment agreement. Prohibited encroachments include, but are not limited to trees, landscaping, fences, retaining walls, and building structures.
3. Drainage and utility easements are shown to be dedicated on the Preliminary Plat along all lot lines as required. The site plans, utility plans and grading plans must be revised as needed to show the easements

- on the plans. The Site plans must also be revised as needed to preserve all easements along the public right-of-way for use by small/dry utilities, free from encroachments and at grades that do not exceed 4:1.
- A 10-ft drainage and utility easement abutting the full length of the Hudson Boulevard right-of-way must be provided as part of the Final Plat on both the north and south sides of the roadway.
 - All easements must be shown on the site plans for the Dairy Queen Store. The Site plans must be revised to remove all easement encroachments.
4. The drainage and utility easement along the south property line of Lot 3, Block 2 must be increased to 40-feet to fully incorporate and protect the proposed drainage swale.
 5. The drainage and utility easement over the East Infiltration basin (Lots 2 and 3, Block 2) must be revised to incorporate the 100-year HWL elevation/contour, and to incorporate the BMP maintenance access road needed to access both the storm sewer inlet and outfall structures. The BMP access road must be provided in accordance with the city engineering design standards.
 6. The drainage and utility easement at the northeast corner of Lot 2, Block must be revised to maintain a minimum distance of 15-feet from the storm sewer run from STMH 710 to FES 700.
 7. The drainage and utility easements over Lot 1, Block 2 must be revised to fully incorporate the 100-year HWL elevation/contour for the SE Pond, including the BMP maintenance access road to the pond maintenance bench. The BMP access road must be provided in accordance with the city engineering design standards.
 8. Drainage and utility easements over Lot 1, Block 2 must be provided to fully incorporate the drainage pathways and 100-year HWL elevations/contours for the localized low areas from FES 300 to FES 210. The 100-year HWL elevation and contour for each localized low area must be shown on the grading plans.
 9. A dedicated drainage and utility easements must be provided over the existing wetland, including the 100-year HWL and wetland buffer. The post development 100-year HWL elevation and contour for the wetland must be shown on the grading plans.
 10. Public watermain and sanitary sewer easements must be provided to maintain a minimum 15-ft from centerline of pipe/hydrant or pipe/structure in all directions. Utility easements must be free from all encroachments, including retaining walls, trees, other small/dry utilities, or storm water management BMPs. Easements must be dedicated to the city as part of the plat. Dedicated watermain and sanitary sewer easements must be shown on all site, grading, utility, and landscape plans when submitting a Preliminary and Final Plat application.
 - Private utilities internal to the site (gas/electric/telecom) must be relocated outside of the dedicated water/sewer easements.
 - Watermain and sanitary sewer easement revisions are necessary to cover all proposed hydrants and the water/sewer service stubs to Lot 3, Block 2.
 - Easement revisions may be necessary to reflect any changes to the utility layout and alignments, including Lot 1, Block 1 on the south side of Hudson Boulevard.
 11. The storm water pond, infiltration basin and underground storm water BMP will remain privately owned and maintained. As part of the development approvals, the applicant(s) will be required to sign a Storm Water Maintenance and Easement Agreement in the city's standard form of agreement. The storm water BMPs must be shown on the Preliminary Plat, site plans, utility plans and grading plans, including the 100-year high water level areas, maintenance access roadways and maintenance benches.
 - The Preliminary Plat, and site plans must be revised to include the underground storm water BMP for Lot 1, Block 1.
 12. All off-site permanent and temporary easements necessary to construct the proposed subdivision improvements must be acquired and provided to the city prior to the approval of the construction plans. Each easement must be provided in the city standard form of easement agreement.
 - A permanent off-site drainage and utility easement is required for the proposed storm sewer run from STMH 501 to FES 500 and to incorporate the 100-year HWL elevation.
 - A temporary construction easement is needed to facilitate the construction and grading for FES 700.
 13. No Outlots are proposed as part of the Preliminary and Final Plat.

TRANSPORTATION IMPROVEMENTS

1. Site Access and Access Management. Access to Lots 1-3, Block 2 will be provided from a private shared commercial drive that extends north from Hudson Boulevard through the center of the site. The private driveway is proposed at the approved Hudson Boulevard access location for the north parcel. Access to Lot 1, Block 1 will extend south directly from Hudson Boulevard at the approved Hudson Boulevard access location for the south parcel. However, per agreement with the property owners, the south access location can only be permitted with the closure of the adjacent temporary Lakewood Crossing access.
 - The scope of the subdivision and Hudson Boulevard improvements (and development agreement for the subdivision) must include the removal/phasing of the adjacent strip mall entrance. The proposed new access to Lot 1, Block 1 (Dairy Queen Site) cannot be opened for public use until the adjacent access is permanently closed.
2. Secondary Access. No secondary access is proposed for any lot within this subdivision. As a condition of Preliminary and Final Plat approval, the future uses and build-out for Lots 2 and 3, Block 2 must be limited to developments not requiring secondary access per the State Fire Code.
3. Preliminary and Final Plat approval must be contingent upon the applicant completing improvements to Hudson Boulevard as part of the subdivision improvements. The Hudson Boulevard Improvements must be completed in conformance with the Hudson Boulevard Design Standards, with an Urban section on both the north and south boulevards with a bituminous trail along the north side across the full frontage of the development parcel, and a sidewalk or trail along the south side across the full frontage of the south development parcel. Revisions to the Hudson Boulevard construction plans will be required as directed and approved by the City Engineer.
4. Pedestrian Crossing. A mid-block pedestrian crossing must be provided as shown on the city provided 2D linework, and a minimum 6-ft wide sidewalk constructed along the south boulevard to the existing Lakewood Crossing development.
 - The proposed Hudson Boulevard Improvements will need to be revised to urbanize the south side of the roadway along the entire frontage of Lot 1, Block 1, with a public sidewalk/trail extended within the right-of-way from the pedestrian crossing to the adjacent Lakewood Crossing subdivision. The proposed plans show a sidewalk across the property to be privately owned and terminating at the Dairy Queen. The sidewalk is not located in the right-of-way or within a public easement.
 - Hudson Boulevard plans will need to be revised to depict the existing conditions, in particular as it relates to existing trails, curb and gutter, storm sewer on each end of improvements, and including the location of the existing trail installed by Springs Apartments.
 - An overall Hudson Boulevard improvement plan must be provided with the Final Plat application (as part of the overall subdivision improvements) that includes all lane configurations, lane widths, turn lane lengths, taper rates and lengths, and pavement markings.
 - The raised island for the pedestrian crossing should be revised to provide a minimum 8-ft. opening to match the 8-ft. trail on the north side.
 - The plans will need to be revised to label all plan contours to facilitate review by the city. Cross sections will be required as part of the Hudson Boulevard construction plans.

GRADING PLANS, STORMWATER MANAGEMENT AND STORM SEWER SYSTEM

1. The subdivision improvements are subject to a storm water management plan (SWMP) meeting State, Valley Branch Watershed District (VBWD) and city rules. Storm water facilities proposed as part of the development to meet State and watershed permitting requirements must be constructed in accordance with the City Engineering Design Standards Manual dated January 2022.
2. The SWMP will be required to accommodate all site improvements and all public improvements needed to support the development of the property, including the required Hudson Boulevard Improvements. Stormwater Management must be constructed to serve each proposed lot.
 - The SWMP must be revised to identify impervious surface calculations by lot and by public improvements. The site design breakdown is required to establish and memorialize the allowable impervious surfaces for development on future lots.

3. The SWMP will be required to verify that rate control and volume control requirements are met for all points of discharge from the site, and for each phase of the subdivision build-out. The existing and proposed drainage exhibits must be revised to label all points of discharge from the site. The SWMP rate control summary tables must reference each discharge location independently and combined using the same labeling as depicted on the exhibits. SWMP revisions are necessary to provide rate control for all points of discharge and for all storm events.
4. Soil borings are required in accordance with the City Engineering Design Standards Manual dated January 2022 to determine the design infiltration rates. Borings must be taken as part of the SWMP submitted for preliminary and final plat and must be taken within the foot print of the proposed basin.
 - Infiltration rates used for design purposes must be based on actual soil borings taken within the proposed BMP footprint. Soil borings are required in the number and depth as outlined in the City Engineering Design Standards. Geotechnical reports must provide analysis and recommendations on proposed design infiltration rates.
 - The assumed infiltration rate for the proposed underground infiltration system must be revised to be at a rate of 50% of the recommended infiltration rate based on actual soil borings.
 - A soil boring map must be included in the Geotechnical Reports and overlaying the proposed improvements to detail soil boring locations relative to the proposed BMPs.
5. The SWMP must be revised to provide a summary table of all proposed site BMPs necessary to provide storm water management for the Project. The table must label each BMP consistent with the project plans and must identify the 100-year HWL elevation for each BMP.
6. The storm water facilities constructed for this development should remain privately owned and maintained. The applicant will be required to execute and record a Stormwater Maintenance and Easement Agreement in the City's standard form of agreement. The grading plans must indicate that the storm water basins are "Privately Owned and Maintained" and to include the drainage and utility easement areas.
7. The grading plans must be revised to show all emergency overflow (EOF) locations and elevations for all BMPs and localized low areas. All EOFs and flow pathways must be protected by easement.
8. Revise the storm sewer layout as necessary to maintain all discharge velocities to be less than 5 fps. The storm sewer calculations show FES 200 at 10.3 fps and FES 300 at 6.3 fps. The Dairy Queen storm sewer calculations show the FES discharge to be 6.41 fps. Storm sewer calculations must be updated to include all proposed storm sewer pipe runs. The dairy queen store pipe discharge
9. Revise the storm sewer pipe from CBMH-202 to MH-201 to be minimum 15-inch RCP.
10. Revise the DQ storm sewer pipe run from STMH 109 to FES to be minimum 15-inch RCP.

MUNICIPAL WATER AND SANITARY SEWER

1. Public watermain and sanitary sewer are available to serve the subdivision with existing utilities located in the Hudson Boulevard right-of-way. The developer will be responsible for all costs to extend utilities within and throughout the subdivision to fully serve each proposed lot.
2. Hydrant locations and system valves must be placed internal to the site as directed by the Lake Elmo Public Works and Fire Departments. Plan and easement revisions will be required accordingly. All internal site hydrants, and watermains feeding any hydrant, will remain city owned and operated. Minimum 30-foot easements centered over the pipe/hydrant will be required without encroachments.
3. The watermain and sanitary sewer plans must be revised to specify the public watermain and public sewer mains vs. the "begin location" for each private water/sewer service to each lot. A curb-stop or gate valve is required and the end point of the public watermain and each private service must be clearly labeled. Plan notes must be added to indicate that the private water/sewer services are to be constructed per state building code.
4. The applicant has indicated that the estimated WAC and SAC units for the subdivision include 19 WAC/SAC units for the auto service and office, 10 WAC/SAC units for the restaurant, and an additional 30 WAC/SAC units for the future development of Lots 2 and 3, Block 2. In addition, the estimated fire flow demand has been reported to be 1,200 GPM for a 4-hour duration.

MEMORANDUM

TO: Sophia Jensen
FROM: Tim Solomonson, PLA
DATE: 2/27/2023
RE: Preliminary Plat and PUD Review - Ebertz Property

The Hendrix Apartments – Permit Set Addendum 1

Submittals

The Preliminary Plat and PUD dated 2/13/23

Review History

- Initial Sketch Plat landscape review on 9/20/2022.
- PUD Pre-Application and plan documents dated 10/26/2022.

Location: HUDSON BLVD N. LAKE ELMO, MN 55042

Current Land Use Category: Commercial (C)

Adjacent and Surrounding Land Use: Medium Density Residential PUD (MDR PUD) to the north and west, High Density Residential PUD (HDR PUD) to the west, Public ROW to the south, and Commercial (C) to the east.

Special Landscape Provisions in addition to the zoning code: none

Tree Preservation: 105. 12. 470

- A tree preservation plan has been submitted that does not meet all Code requirements.
 - Site mass graded without reasonable effort made to preserve existing specimen trees
 - Plan missing required information, see 105.12.470 requirements

Landscape Requirements: 105. 12. 480

- A landscape plan has been submitted and does not meet all requirements.
 - Plan missing required information, see 105. 12. 480 requirements
 - Provide details and cross section of all required screening
 - Parking lot tree requirements not met
 - Street frontage tree requirements not met

- Landscape frontage strip requirement not met
- Residential buffer strip requirement not met

Recommendation:

- Landscape and tree preservation plans are incomplete and lack basic information (scale, north arrow, linework, etc.) required to evaluate for compliance.
- Bulleted items listed above are major items of concern, but are not inclusive of all missing or omitted information.
- It is recommended that the landscape and tree preservation plans be resubmitted to meet landscape and tree preservation code (and plan) requirements.

Hoisington Koegler Group, Inc.

A handwritten signature in black ink, appearing to read 'Tim Solomonson', with a stylized, flowing script.

Tim Solomonson, PLA (MN)

City of Lake Elmo Municipal Landscape Architect

P: (612) 802-0142

E: tim@hkgi.com

	City Code for C- Commercial	Proposed PUD
Residential Uses		
Single Family Attached	C	
Multi-family dwelling	C	
Live-work unit	C	
Group Living		
Semi-transient accommodations	C	
Congregate housing	C	
Public and Civic Uses		
Colleges and universities	C	
Community service	C	
Day care center	C	P
Schools, public and private	C	
Public assembly	C	
Religious institutions	C	
Services		
Business service	P	P
Business center	P	P
Offices	P	P
Commercial kennel	C	
Communication services	P	P
Educational services	P	P
Financial institution	P	P
Funeral home	P	P
Lodging	P	P

	City Code for C- Commercial	Proposed PUD
Services (continued)		
Medical facility	C	
Membership organization	P	P
Nursing and personal care	C	
Personal services	P	P
Repair and maintenance shop	P	P
Veterinary services	P	P
Food Services		
Standard restaurant	P	P
Drive-in restaurant	C	P
Drinking and entertainment	P	P
Fast food restaurant	P	P
Sales of Merchandise		
General retail sales	P	P
Building supplies sales	C	
Warehouse club sales	C	
Furniture and appliance sales	P	P
Grocery, supermarket	P	P
Liquor store	P	P
Garden center	P	P
Neighborhood convenience store	P	P
Shopping center	P	P
Wholesaling	P	P

Automotive/Vehicular Uses		
Automobile maintenance service	C	P
Automobile parts/supply	P	P
Car wash	C	P
Gasoline station	C	P
Parking facility	C	P
Sales and storage lots	C	P
Outdoor Recreation		
Outdoor recreation facility	C	
Parks and open areas	P	P
Indoor Recreation/Entertainment		
Indoor athletic facility	P	P
Indoor recreation	C	P
Agricultural and Related Uses		
Agricultural sales business	P	P
Agricultural sales	C	P
Agriculture support	C	
Waysides Stand	P	P
Transportation and Communications		
Broadcasting and communications	P	P

Accessory Uses		P
Bed and breakfast	P	P
Drive-through facility	C	
Parking facility	P	P
Outdoor storage	C	
Outdoor display	C	
Solar equipment	P	P
Wind generator- ground mounted	C	
Wind Generator- roof/structure mounted	C	
Other structures typically incidental and clearly subordination to permitted use	P	P

CITY OF LAKE ELMO
COUNTY OF WASHINGTON
STATE OF MINNESOTA

ORDINANCE NO. XX-YYY

AN ORDINANCE AMENDING CHAPTER 105 OF THE LAKE ELMO CITY
CODE OF ORDINANCES BY REZONING ALL PROPERTY AT PID
34.029.21.44.0006 and 34.029.21.44.0004 FROM C (COMMERCIAL)
TO C-PUD (COMMERCIAL PLANNED UNIT DEVELOPMENT)

SECTION 1. Zoning Map Amendment. The following property is hereby rezoned from C-Commercial to C-PUD-Commercial Planned Unit Development:

THE WEST ONE-HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 29, RANGE 21, EXCEPT THAT PART DEPICTED AS PARCEL 33B ON MINNESOTA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY PLAT NO. 82-43 FILED MARCH 22, 1982, AS DOCUMENT NO. 429592, WHICH WAS TAKEN BY THE STATE OF MINNESOTA IN FINAL CERTIFICATE DATED OCTOBER 4, 1989, FILED OCTOBER 24, 1989, AS DOCUMENT NO. 613150.

Washington County, Minnesota.

SECTION 2. PUD District Regulations. Permitted uses and regulations acceptable to the PUD are hereby established as follows:

1. Land Use - Use of the property shall be the same as the C-Commercial district and the following industrial uses are allowed as conditional uses within this PUD.
 - A. Light industrial
 - B. Non-production industrial
 - C. Motor freight and warehousing
 - D. Research and testing
2. Accessory Uses - Accessory uses shall be incidental to the principle uses of the property and as allowed in the C- Commercial district.
3. Bulk Standards - Unless a PUD deviation has been granted or conditions imposed, the standards for this property shall be those found in the C-Commercial zoning District, Article XV of the Zoning Ordinance.

SECTION 3. Zoning Map. The zoning map of the City of Lake Elmo shall be republished in the ordinary course to show the aforesaid zoning, and in the interim the Clerk shall appropriately mark the zoning map on file in the Clerk's Office for the purpose of indicating the rezoning hereinabove provided for in this ordinance, and all of the notations, references, and other information shown thereon are hereby incorporated by reference and made a part of this ordinance.

SECTION 4. Effective Date. This ordinance shall become effective immediately upon adoption and publication in the official newspaper of the City of Lake Elmo.

SECTION 5. Adoption Date. This Ordinance **XX-YYY** was adopted on this ____ day of _____, 2023, by a vote of ____ Ayes and ____ Nays.

LAKE ELMO CITY COUNCIL

Mike Pearson, Mayor

ATTEST:

Julie Johnson, City Clerk

This Ordinance **XX-YYY** was published on the _____ day of _____, 2023

- a. Bed and breakfast
- b. Drive-through facility
- c. Parking facility
- d. Outdoor storage
- e. Outdoor display
- f. Solar equipment
- g. Other structures typically incidental and clearly subordinate to permitted use

3. Bulk Standards - Unless a PUD deviation has been granted or conditions imposed, the standards for this property shall be those found in the C- Commercial zoning District, Article XV of the Zoning Ordinance.

SECTION 3. Zoning Map. The zoning map of the City of Lake Elmo shall be republished in the ordinary course to show the aforesaid zoning, and in the interim the Clerk shall appropriately mark the zoning map on file in the Clerk's Office for the purpose of indicating the rezoning hereinabove provided for in this ordinance, and all of the notations, references, and other information shown thereon are hereby incorporated by reference and made a part of this ordinance.

SECTION 4. Effective Date. This ordinance shall become effective immediately upon adoption and publication in the official newspaper of the City of Lake Elmo.

SECTION 5. Adoption Date. This Ordinance XX-YYY was adopted on this ____ day of _____, 2023, by a vote of ____ Ayes and ____ Nays.

LAKE ELMO CITY COUNCIL

Mike Pearson, Mayor

ATTEST:

Julie Johnson, City Clerk

This Ordinance XX-YYY was published on the _____ day of _____, 2023

From: [Sophia Jensen](#)
To: [Jenni Faulkner](#)
Subject: FW: Subject: Preliminary Plat and Planned Unit Development (PUD). Property ID # 34.029.21.44.0006 and 34.029.21.44.0004. Drake Motor Partners LE LLC - four lot subdivision with one lot proposed as an auto dealership, one as fast-food restaurant and two va
Date: Tuesday, March 7, 2023 3:49:39 PM

From: Nita Dave <ndave5@icloud.com>
Sent: Tuesday, March 7, 2023 3:49 PM
To: Sophia Jensen <SJensen@lakeelmo.org>
Subject: Subject: Preliminary Plat and Planned Unit Development (PUD). Property ID # 34.029.21.44.0006 and 34.029.21.44.0004. Drake Motor Partners LE LLC - four lot subdivision with one lot proposed as an auto dealership, one as fast-food restaurant and two vac...

You don't often get email from ndave5@icloud.com. [Learn why this is important](#)

Caution: This email originated outside our organization; please use caution.

Nita Dave
181 Junco Road N
Lake Elmo, MN 55042
520-271-7707
Email: ndave5@icloud.com

3/7/2023

To: sjensen@lakeelmo.org
City Hall
3880 Laverne Ave. N.,
Lake Elmo, MN 55042

Subject: Preliminary Plat and Planned Unit Development (PUD). Property ID # 34.029.21.44.0006 and 34.029.21.44.0004. Drake Motor Partners LE LLC - four lot subdivision with one lot proposed as an auto dealership, one as fast-food restaurant and two vacant lots.

Dear Council Members:

I am writing as a concerned resident. Although we are in favor of developing Lake Elmo, we are not happy to have auto dealership with bright lights right adjacent to this proposed development. Higher traffic and loss of unobstructed view from our home citing the reason why we decided to buy. We leave our blinds open at night to see the natural night light. We don't want to see bright lights at night and disturb our sleep. We bought our house with the intention of clear view.

We are not in favor of auto dealership development adjacent to our home.

Thank you,

Nita Dave
520-271-7707

From: [Sophia Jensen](#)
To: [Jenni Faulkner](#)
Subject: FW: Public Hearing, City Council Mtg. Tues., March 13, 2023
Date: Friday, March 10, 2023 1:53:41 PM

Public comment for Ebertz below.

-----Original Message-----

From: pmdworak@gmail.com <pmdworak@gmail.com>
Sent: Friday, March 10, 2023 1:51 PM
To: Sophia Jensen <SJensen@lakeelmo.org>
Subject: Public Hearing, City Council Mtg. Tues., March 13, 2023

[You don't often get email from pmdworak@gmail.com. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification>]

Caution: This email originated outside our organization; please use caution.

In regard to ID#34.029.21.44.0006 and 34.029.21.44.0004, I oppose the building of two businesses in view of my back yard.

I recently move to Lake Elmo and at 70 yrs old this will be my last purchased home. I never would have moved here if I knew my view out my backyard would have been a car lot and fast food business. Not only would it be an eye sore looking out my windows, but the lights from the car lot and the noise and extra traffic would be annoying from the fast food business. This residential area should remain a beautiful residential area.

Patrice Dworak
177 Junco Road N
Lake Elmo, MN 55042

March 10, 2023

From: [Sophia Jensen](#)
To: [Jenni Faulkner](#)
Subject: FW: Tesla/DQ Application
Date: Monday, March 13, 2023 3:54:22 PM

See public comment for Ebertz property below.

-----Original Message-----

From: Bruce Miller <bmill@mfcproperties.com>
Sent: Monday, March 13, 2023 3:52 PM
To: Sophia Jensen <SJensen@lakeelmo.org>
Subject: Tesla/DQ Application

[You don't often get email from bmill@mfcproperties.com. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification>]

Caution: This email originated outside our organization; please use caution.

Hi Sophia,

It was nice talking with you today.

As discussed, MFC Properties would like to go on record that although we are in support of the above referenced development, we do object to the proposed 50' pylon sign. Our adjacent Lakewood Crossing development was allowed a maximum 30' tall pylon and we respectfully ask the Planning Commission and City Council allow the sign, but to be no more than 30' high.

Unfortunately I am out of town and will not be able attend the public hearing today, but appreciate you making the Planning Commission aware of our concerns.

Thanks.

Bruce Miller
MFC Properties

Sent from my iPhone

Dear Lake Elmo Planning Commission and City Council,

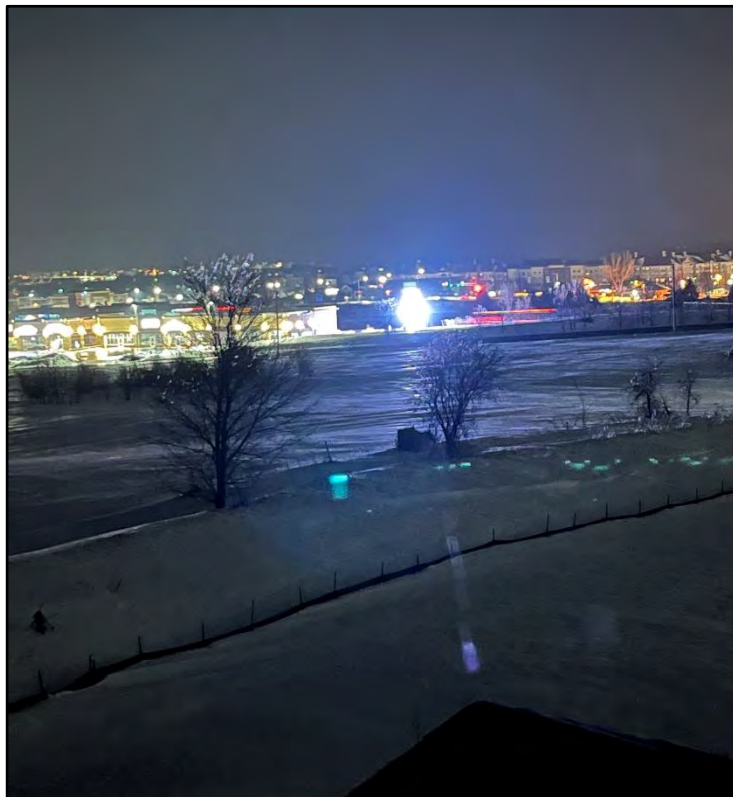
This letter is in regards to the requested Planned Unit Development and Preliminary Plat for Drake Motor Partners. As a city planner in the East Metro, I have significant experience analyzing these types of requests. In reviewing the PUD deviations for this application, I found several items to be striking. These deviations include reducing the required amount of landscape screening along Lot 1, Block 2, placement of trash enclosures in the side yard setback area (without providing additional landscape screening), and to exceed the foot-candles requirement.

Given the high intensity of the proposed commercial uses (car dealership and restaurant) the requested deviations would create a significant impact on the abutting and nearby residential properties, which include the Union Park Second Addition townhomes, the Springs at Lake Elmo apartments, and the Savonna 3rd Addition townhomes. The existing commercial properties in this area already cause a profound effect on nearby residences (please see nighttime picture of area below).

I respectfully request that the Planning Commission and City Council require, as conditions of approval to the PUD and plat, higher standards for this development in order to minimize its impacts on neighboring residential properties.

Thank you,

Luke McClanahan
197 Junco Road North, Lake Elmo



**CITY OF LAKE ELMO
WASHINGTON COUNTY
STATE OF MINNESOTA**

RESOLUTION NO. 2023- 023

***RESOLUTION APPROVING PRELIMINARY PLAT AND PRELIMINARY PUD PLAN FOR
JON HAUSER, DRAKE MOTOR PARTNERS LE LLC, FOR THE EBERTZ SITE (PID
34.029.21.44.0006 AND 34.029.21.44.0004)***

WHEREAS, the City of Lake Elmo is a municipal corporation organized and existing under the laws of the State of Minnesota; and

WHEREAS, Jon Hauser, Drake Motor Partners LE LLC, has submitted application to the City of Lake Elmo (City) for a Preliminary Plat and Preliminary PUD Plan for four lot subdivision with one lot proposed as an auto dealership, one lot as a fast food restaurant, and two vacant lots located on the north and south sides of Hudson Blvd, west of Keats Avenue, a copy of which is on file in the City of Lake Elmo Planning Department; and

WHEREAS, notice was published, mailed and posted pursuant to the Lake Elmo Zoning Ordinance, Section 105.12.250; and

WHEREAS, the Lake Elmo Planning Commission held a public hearing on March 13, 2023 and voted to recommend denial of the project. The Planning Commission found that there were too many deviations, additional buffering/landscaping needed, lighting concerns, PUD sign along I94 is too tall, and proposed PUD uses were not supported as proposed; and

WHEREAS, since the Planning Commission meeting, the applicant has offered to make changes to the plans to address screening abutting the residential to the west and north, the lighting, increasing the landscaping, reducing the number of deviations, and significantly reducing the PUD permitted uses; and

WHEREAS, the City Council reviewed the Preliminary Plat and Preliminary PUD application for Jon Hauser, Drake Motor Partners project at its meeting held on March 21, 2023 and made the following findings of fact:

1. That the Preliminary PUD Plan would be consistent with the intent of the 2040 Lake Elmo Comprehensive Plan and the 2040 Land Use Map for this area.
2. That the preliminary PUD Plan complies with the general intent of the C- Commercial zoning district with PUD modifications.
3. That the preliminary PUD Plan generally complies with the Lake Elmo Design Guidelines and Standards Manual.
4. That the preliminary plat generally complies with the City's Subdivision regulations.
5. That the preliminary plat generally complies with the City's design standards.
6. That the preliminary plat generally complies with the City's Zoning Code with the exceptions provided for in the PUD.

7. That the preliminary plat and PUD Plan must be revised to address the comments noted in the City Engineer's memorandum.
8. That the preliminary PUD Plan must be revised to be consistent with City's landscape plan and tree replacement standards pursuant to the Landscape Architects memo.
9. That the preliminary plat and PUD Plan must be revised to address the comments noted in the Fire Department memo.
10. That the preliminary PUD Plan meets the minimum requirements for a PUD.
11. That the preliminary PUD Plan meets items a, c, d, and i from the identified PUD objectives identified in Section 105.12.1130. Planned unit developments should not be allowed simply for the purpose of increasing overall density or allowing development that otherwise could not be approved.
 - a) Innovation in land development techniques that may be more suitable for a given parcel than conventional approaches. ***The shared access drive and stormwater ponding areas allow for more efficient use of land.***
 - c) Establishment of appropriate transitions between differing land uses. ***This overall PUD provides a buffer between the interstate highway and residential uses. There are site specific plantings proposed to buffer the adjacent high density residential uses and there is opportunity for future buffering with future uses on the northerly part of the PUD.***
 - d) Provision of more adequate, usable, and suitably located open space, recreational amenities, natural resource protection and other public facilities than would otherwise be provided under conventional land development techniques. ***This is achieved with shared stormwater ponding.***
 - i) Creation of more efficient provision of public utilities and services, lessened demand on transportation, and/or the promotion of energy resource conservation. ***With the proposed private access drive, there will be less demand on public services.***
12. That the site will be served by public utilities, not have a detrimental impact on traffic, supply adequate off-street parking.
13. That the proposed land uses will be compatible both in terms of internal site plans, and with regard to adjacent land uses.
14. That the site complies with wetland, stormwater management requirements.
15. That the use will maintain standards of architectural design and building quality consistent with the uniform building code and all other applicable city codes,
16. That the proposed use will not create fiscal problems for the city or adversely impact the health, safety, or welfare of the city.
17. That the proposed uses will bring commerce and employment to the city.

NOW, THEREFORE, BE IT RESOLVED THAT the City Council does hereby approve the Preliminary Plat and Preliminary PUD Plan for Jon Hauser, Drake Motor Partners subject to the following conditions:

1. As part of final PUD submittal, plans shall be revised to indicate the location of the required off-street loading area for Lot 1 Block 2. Provision of City Code 105.12.420 Off Street Loading shall be met.
2. As part of final PUD submittal, the plans shall indicate the percentage of building materials and more detail of types of materials to show compliance with Interstate Corridor Overlay District architectural requirements (105.04.610)
3. As part of final PUD submittal, the Comprehensive Sign Plan shall be revised to accurately reflect the number and size of wall signs proposed for Lot 1, Block 1; to accurately reflect the maximum wall area allowed per façade; to incorporate landscape features around the base of all permanent ground signs; provide foot candle measurements or statement to meet the ordinance.
4. That the application for final plat and final PUD Plans identify all requests for flexibility from the City Code.
5. The applicant shall revise the site plans, utility plans and grading plans to address each review comment and condition of approval to the satisfaction of City staff, as part of the Final Plat application.
6. That prior to the City finding any application for final plat and PUD plan complete the applicant shall address all comments in the City Engineer's memo dated February 28, 2023 to the satisfaction of the City Engineer.
7. That prior to the City finding any application for final plat and PUD plan complete the applicant shall revise the landscape plan and tree preservation plan in accordance with the City Landscape Architect's memo dated February 27, 2023 to the satisfaction of the City Landscape Architect.
8. That prior to the City finding any application for final plat and PUD plan complete the applicant shall revise the preliminary plat and PUD Plan to address any comments received by Washington County.
9. That prior to the City finding any application for final plat and PUD plan complete the applicant shall demonstrate compliance with the items listed in the March 1, 2023, memo from the Fire Department to the satisfaction of the Fire Chief.
10. The City Attorney shall issue a plat opinion certifying that the plat, title evidence, and all agreements and documents required under this title meet the requirements of the city prior to City Council review or approval of the final plat.
11. The Final Plat/Final PUD shall include all necessary and additional public right-of-way and easements.
12. If necessary, the applicant shall provide the City with a copy of written permission for any off-site grading work and storm sewer discharges to adjacent properties before starting any site work, grading and as part of any final plat or final PUD application.
13. The Preliminary Plat/Preliminary PUD approval is conditioned upon the applicant meeting all City standards and design requirements unless specifically addressed otherwise in these conditions.
14. The total square feet of buildings on Lots 1, 2, and 3 Block 2 shall not exceed 124,000 sq. feet unless a secondary access is approved by the City.
15. Future development of Lots 2-3 Block 2 shall provide a minimum of 25% open space.
16. A maximum height of 30 feet shall be required for the future development of Lots 2 and 3, Block 2.
17. Setbacks for Block 2 along the shared private drive shall be met as measured from the edge of the shared driveway. All other setbacks shall be that of the C underlying zoning district.

18. The future use of Lot 3, Block 2 shall comply with the screening requirements from abutting residential uses to the north.
19. For purposes of this PUD and allowed signage, the private driveway shall be considered street frontage.
20. All automobile repairs are conducted within an enclosed building and the storage or display of inoperable vehicles or other equipment shall meet all setback requirements of a primary structure and shall be totally screened from view from adjacent public streets and adjacent residential properties.
21. Sound from any speakers used on the premises shall not be audible above a level of normal conversation at the boundary of any surrounding residential district or on any residential property.
22. Each food or beverage drive-through business shall maintain refuse receptacles at all exits.
23. Sign permits are required and they must comply with the approved Comprehensive Sign Plan and City Ordinances.
24. All public improvements constructed to support the development must be designed and constructed in accordance with the City Engineering Design Standards Manual dated January 2022, unless approved otherwise by the City Engineer.
25. The applicant shall verify compliance with Valley Branch Watershed (VBWD) comments and that the applicant provide the City evidence that all conditions attached to a VBWD permit will be met before the starting any grading activity on the site.
26. That the applicant shall obtain all necessary permits including but not limited to all applicable City permits (building, grading, wetland, sign, etc.), NPDES/SWPPP permits and Valley Branch Watershed District approval before starting any grading or construction activities.
27. A wetland permit is required for the proposed wetland filling. Required wetland mitigation shall be provided for at the time of permit.
28. The applicant/developer is responsible, at their own expense, for installing all required right of way improvements. Improvements in Hudson Boulevard shall be consistent with Washington County and city standards.
29. Park dedication in the amount of \$102,360.00 shall be paid prior to recording of the final plat.
30. A storm water maintenance and easement agreement in a form acceptable to the City shall be executed and recorded with the final plat.
31. A landscape and irrigation license agreement in a form acceptable to the City shall be executed and recorded with the final plat.
32. The finalization, adoption, and publication of an overlay district ordinance shall occur before the recording of the final plat.
33. Before the execution and recording of a final plat for the development, the developer or applicant shall enter into a Developer's Agreement or a Site Work Agreement with the City. Such an Agreement must be approved by the City Attorney and by the City Council. The Agreement shall delineate who is responsible for the design, construction and payment for the required improvements with financial guarantees therefore. The Agreement shall outline any approved phasing plan.
34. The applicant or developer shall enter into a separate grading agreement with the City before starting any grading activity in advance of final plat/ PUD approval. The City Engineer shall review any grading plan that is submitted in advance of a final plat or final PUD, and said plan shall document the extent of any proposed grading on the site.

35. That the applicant shall submit revised preliminary plat and project plans meeting all conditions of approval for City review and approval. The revised applicant/developer project plans and other materials shall meet all of the above conditions before the City will find complete any final plat or final PUD application for the development and before the start of any clearing or grading activity on the site.
36. That the City's preliminary plat/preliminary PUD approval is good for one year from the date of City Council action, unless the applicant requests and the City Council approves a time extension.

Passed and duly adopted this 21st day of March, 2023 by the Lake Elmo Minnesota City Council.

Charles Cadenhead, Mayor

ATTEST:

Julie Johnson, City Clerk

**CITY OF LAKE ELMO
WASHINGTON COUNTY
STATE OF MINNESOTA**

RESOLUTION NO. 2023-023

***RESOLUTION DENYING PRELIMINARY PLAT AND PRELIMINARY PUD PLAN FOR
JON HAUSER, DRAKE MOTOR PARTNERS LE LLC, FOR THE EBERTZ SITE (PID
34.029.21.44.0006 AND 34.029.21.44.0004)***

WHEREAS, the City of Lake Elmo is a municipal corporation organized and existing under the laws of the State of Minnesota; and

WHEREAS, Jon Hauser, Drake Motor Partners LE LLC, has submitted application to the City of Lake Elmo (City) for a Preliminary Plat and Preliminary PUD Plan for four lot subdivision with one lot proposed as an auto dealership, one lot as a fast food restaurant, and two vacant lots located on the north and south sides of Hudson Blvd, west of Keats Avenue, a copy of which is on file in the City of Lake Elmo Planning Department; and

WHEREAS, notice was published, mailed and posted pursuant to the Lake Elmo Zoning Ordinance, Section 105.12.250; and

WHEREAS, the Lake Elmo Planning Commission held a public hearing on March 13, 2023 and heard from several adjacent residents with concerns about tree preservation, screening, landscaping, lighting, buffering, compatibility, noise, and odors; and

WHEREAS, the Planning Commission voted to recommend denial of the project. The Planning Commission found that there were too many deviations, additional buffering/landscaping needed, lighting concerns, PUD sign along I94 is too tall, and proposed PUD uses were not supported as proposed; and

WHEREAS, the City Council reviewed the Preliminary Plat and Preliminary PUD application for Jon Hauser, Drake Motor Partners project at its meeting held on March 21, 2023 and made the following findings of fact:

1. That the preliminary PUD Plan landscaping plan needs to be improved and needs further review.
2. That the preliminary PUD Plan lacks adequate screening between the proposed commercial and the abutting residential to the west and north of Block 2.
3. That the westerly border abutting residential needs to be defined and specific buffer yard between uses known and provided for.
4. That the proposed sign of 50 feet tall does not fit the neighborhood.
5. That the proposed future permitted uses are not acceptable at this stage of approval. There are too many unknowns with the proposed screening, buffer yard, and landscaping to support approval of the uses as proposed.

6. That the preliminary PUD Plan is requesting too many deviations or variances from the code and here are opportunities to meet the code.
7. That the preliminary plat and PUD staff report has too many conditions to approve.
8. That the preliminary PUD Plan lighting plan exceeds ordinance requirements and there are concerns about lighting impacts on adjacent properties.
9. That the preliminary PUD Plan does not meet the required PUD Objectives or provide benefits beyond general code requirements,
10. That the proposed land uses have not been presented to be compatible with regard to adjacent land uses.

NOW, THEREFORE, BE IT RESOLVED THAT the City Council does hereby deny the Preliminary Plat and Preliminary PUD Plan for Jon Hauser, Drake Motor Partners.

Passed and duly adopted this 21st day of March 2023 by the Lake Elmo Minnesota City Council.

Charles Cadenhead, Mayor

ATTEST:

Julie Johnson, City Clerk

March 14, 2023

Ms. Jenni Faulkner
Planning Consultant
City of Lake Elmo
3880 Laverne Ave. N.
Lake Elmo, MN 55042

RE: Ebertz Property/Drake Motor Partners PUD/Preliminary Plat Application

Dear Ms. Faulkner,

The following letter is a follow-up to the Lake Elmo Planning Commission meeting that was held on March 13, 2023. A few neighboring property owners voiced concerns during the public hearing regarding the PUD/Preliminary Plat application submitted by Drake Motor Partners. We were not allowed to respond to the neighbors concerns during the meeting and therefore we are offering this written response to outline the ways in which the applicant is willing to work with staff to address the concerns. We offer the following clarifications and summary of design changes that we are working to address:

1. Lighting – The PUD flexibility requested in the application is internal to the site for Block 2 as well as the east property line of Block 1 where it adjoins the adjacent commercial property. The reasons we feel that flexibility is warranted include:
 - a. Staff previously indicated a desire for the private drive to function as similar to a public street. As such, proper lighting along the length of the private drive will improve pedestrian and vehicle safety.
 - b. Lot 1-Block 1 will share an access with the commercial property to the east. Again, pedestrian and vehicle safety warrant lighting levels above the 0.4 footcandles that is allowed by code.
 - c. The areas where we are seeking flexibility on the lighting requirements do not impact the residential properties. The lighting levels adjacent to the residential properties are at or below the required 0.4 footcandles.
2. Noise - There are no outdoor speakers at the Automotive Dealership facility and all service work will be done in the building as is required by city code. We can commit to stay within the city ordinance sound levels.
3. Trash - We will move the trash enclosure to meet setback requirements, therefore eliminating the need for any PUD flexibility on the location.
4. Landscaping – The previously submitted landscape plan exceeded the number of trees required for the site. However, we will make adjustments to the landscape plan to address city comments and to provide additional trees adjacent to the residential property lines. We will also provide a screening exhibit with a cross-section view from the three residential developments.
5. Screening Fence – A 6-foot screening fence was previously proposed along the north property line. We are proposing to revise the site plan to extend the fence along the west property line, adjacent to the Union Park development, until reaching the area of the existing retaining wall on the Springs development. The fence will be constructed of a composite material and provide year-round screening. Details will be provided with revised plans.
6. Uses – We are willing to reduce our permitted “use by right” uses to just the following: a). All the commercial uses already zoned as permitted, b). All of the Auto Dealership uses listed in the PUD, c). All the DQ requirements listed in the PUD, d). Indoor Recreational Facility and e). Daycare Operations. We are fine with keeping all the other uses that would normally be subject to conditional use remain that way, as recommended by staff.
7. Signage – We will restrict all Block 2 building signs from facing north or west to minimize any impacts to the residential neighborhoods.



We look forward to discussing these items at the City Council meeting on March 21, 2023. Please let me know if there is any additional information that will be beneficial for you or the Council.

Sincerely,
Landform

A handwritten signature in blue ink that reads "Tom Meyer".

Tom Meyer, PE
Project Lead

COPY: FILE

March 16, 2023

Ms. Kristina Handt
City Administrator
City of Lake Elmo
3800 Laverne Avenue North
Lake Elmo, MN 55042

RE: Response to Comments from March 13, 2023 Planning Commission Meeting

Dear Ms. Handt,

This letter is a follow-up to address the main concerns raised at the Planning Commission meeting held on March 13, 2023 regarding the Ebertz Property/Drake Motor Partners Preliminary Plat and PUD application. The development team was not given the opportunity to respond to the concerns raised by Commissioners and residents during the meeting. This letter is a written response to concerns raised by residents and Commissioners and further detail the ways in which the applicant will work with City Staff to address these concerns.

PRIVATE DRIVEWAY/LIGHTING

PUD flexibility is requested to allow for a private driveway to serve the lots on Block 2. This single design feature includes four areas of flexibility: (1) to allow sole access from a private driveway, (2) to allow the creation of Lot 3, Block 2 without public street frontage (frontage is provided on the private driveway), (3) driveway width to allow a 41-foot wide private driveway at the point it intersects the right-of-way line, (4) increased lighting levels internal to the site along the shared property line of Lots 1 and 2, Block 2. City Staff has indicated a desire for the private driveway on Block 2 to function similar to a public street, which includes pedestrian connections, turn lanes and adequate lighting along the length of the driveway for pedestrian and vehicle safety. The private driveway has been proposed because creating a public street and right-of-way dedication does not provide a benefit to the City, applicant or adjacent property owners. Because the private driveway on Block 2 is situated along the internal property lines between Lots 1 and 2, Block 2, lighting levels above the allowed 0.4 footcandles along this shared property line are warranted for adequate pedestrian and vehicle safety measures. The Code provides an exception for the maximum light cast for lighting located within and intended for a right-of-way which aligns with our requested flexibility to design the private driveway to the standards of a public street. Lighting will exceed the maximum 0.4 footcandles only along the private driveway between Lots 1 and 2, Block 2. The lighting along the private driveway is consistent with the lighting that would be provided if it were a public street.

Flexibility is also sought for the lighting levels at the shared private driveway between the existing commercial property and Lot 1, Block 1. The shared private driveway that was previously approved by the City warrants lighting levels above the allowed 0.4 footcandles to improve pedestrian and vehicle safety.

We are not requesting to increase the allowed footcandles along any property lines adjacent to residential. The lighting levels adjacent to residential are at or below the required 0.4 footcandles.

LANDSCAPING

Some residents voiced concerns over the preservation of existing trees and the proposed screening adjacent to their properties. The previously submitted landscape plan exceeded the number of trees required for the site and included a 6-foot fence was previously proposed along the north property line. However, in response to the resident's concerns and to address City comments we have revised the landscape plan to provide additional trees adjacent to the residential property lines. Furthermore, the plans have been updated to include planting the trees on the future Lot 3, Block 2 in the first phase of development, rather than when that lot is developed. We have also updated the plans to add a 6-foot high fence along





the west property line until reaching the existing retaining wall in addition to the fence on the north property line that was previously proposed on the plans. Revised screening exhibits with cross section views and additional fence details will be provided to illustrate the enhanced screening.

We have also revised the grading along the north side of Lot 3, Block 2 to preserve a few of the existing specimen trees on the property during phase one of construction. However, it should be noted that final development of Lot 3, Block 2 may require the removal of these trees.

SIGNAGE

Concerns were also raised on the potential impact of the proposed signage on residential properties. We are proposing less signage than allowed by the ordinance with only two ground signs totaling 815 sq. ft. where four ground signs totaling 1,000 sq. ft. could be permitted for the development. Flexibility for the 50-foot ground sign on Block 1 has been requested to provide additional height to give adequate visibility to Interstate 94 south of the development. The 50-foot ground sign is located at the furthest location possible from existing residential developments. The limited number and location of proposed ground signs and sign area will minimize the impact of commercial signage on the surrounding residential properties. The proposed ground signs will be illuminated in compliance with the City sign illumination and brightness standards. We will also prohibit wall signs on the north and west building elevations in Block 2 to further reduce potential impacts to residential neighborhoods.

The following is a summary of the proposed ground signage:

Lot	Ground Signs Allowed	Ground Signs Proposed	Maximum Area Allowed	Proposed Area (Each Side)	Maximum Height Allowed	Proposed Height
Lot 1, Block 1	1	1	250 sq. ft.	565 sq. ft.	30 ft.	50 ft.
Lot 1, Block 2	1	0	250 sq. ft.	N/A	30 ft.	N/A
Lot 2, Block 2	1	1	250 sq. ft.	250 sq. ft.	30 ft.	30 ft.
Lot 3, Block 2	1	0	250 sq. ft.	N/A	30 ft.	N/A
TOTAL	4	2	1,000 sq. ft.	815 sq. ft.		

TRASH ENCLOSURE

We have adjusted the location of the trash enclosure on Lot 1, Block 2 to comply with the required setbacks to alleviate any concerns over the location of the trash enclosure. PUD flexibility for the trash enclosure setback is no longer required or requested.

PROPOSED USES

We are no longer requesting PUD flexibility to permit Light Industrial uses. We are also no longer requesting all Conditional and Interim uses within the Commercial district be permitted “by right”. Our revised proposed permitted uses are the following: (a) uses already Permitted in the Commercial district. (b) all of the auto dealership uses listed in the PUD, (c) all of the Dairy Queen/fast food restaurant proposed uses listed in the PUD, (d) indoor recreational facilities, and (e) daycare operations. If proposed for in future development, Conditional and Interim uses shall be subject to conditions of approval as outlined in the City Code.



NOISE

The proposed auto dealership on Lot 1, Block 2 will not have any outdoor speakers. All service work will be conducted inside the building per city requirements; outside service work is not permitted or proposed. The applicant has committed to complying with the maximum sound levels as allowed by City Code.

CONDITIONS OF APPROVAL

We have reviewed staff comments and are comfortable with the proposed approval conditions for this project as drafted by staff. Commissioners questioned the number of conditions and we note that many of the proposed conditions simply restate the standards in the City Code and required permits for the approval process.

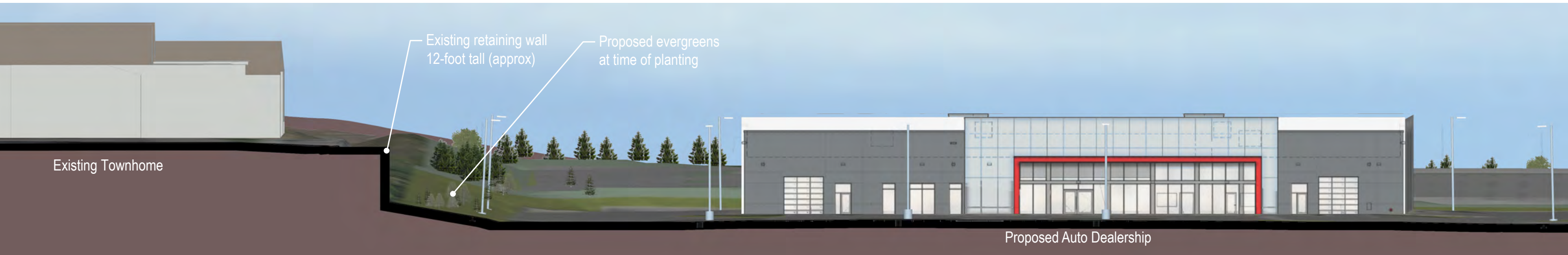
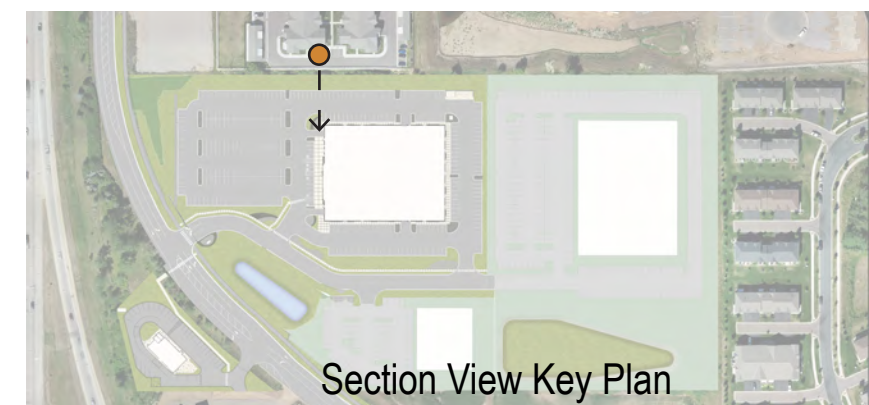
We look forward to presenting our project and discussing these items at the Council meeting on March 21, 2023.

Sincerely,
Landform

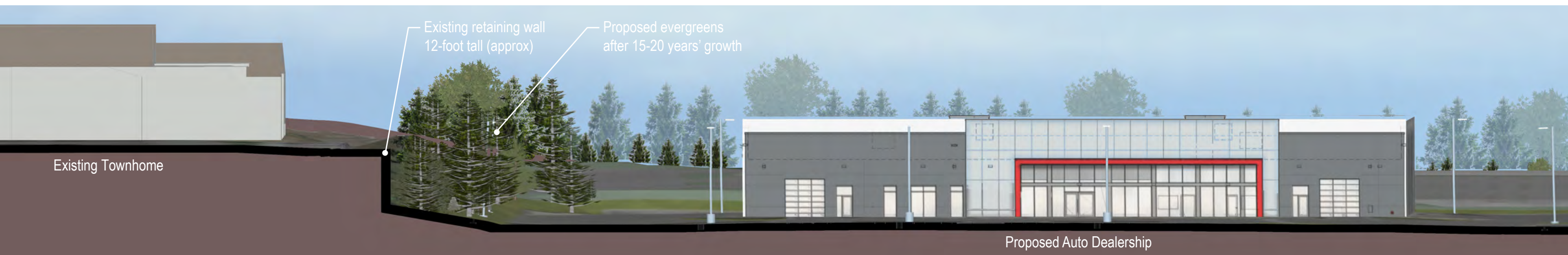
A handwritten signature in blue ink that reads "Tom Meyer".

Tom Meyer, PE
Project Lead

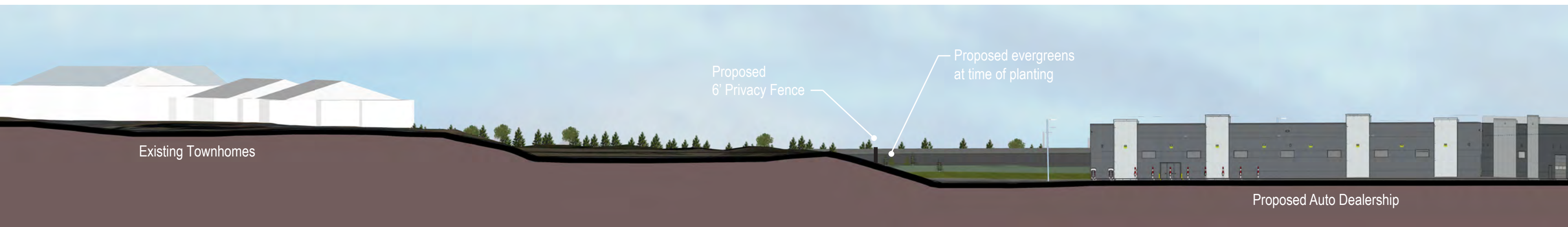
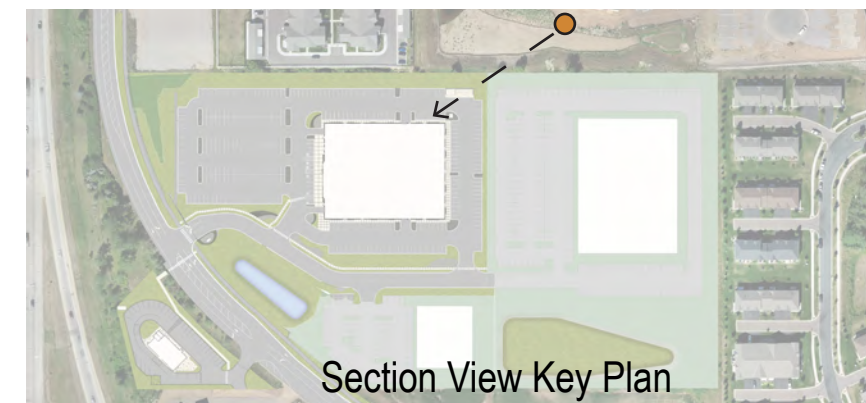
COPY: Jon Hauser, Drake Real Estate
Jenni Faulkner, Consulting City Planner



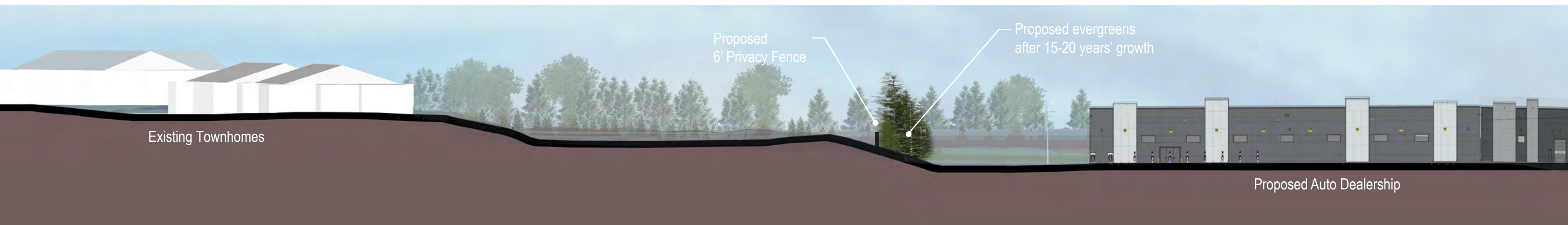
Section View - Phase 1



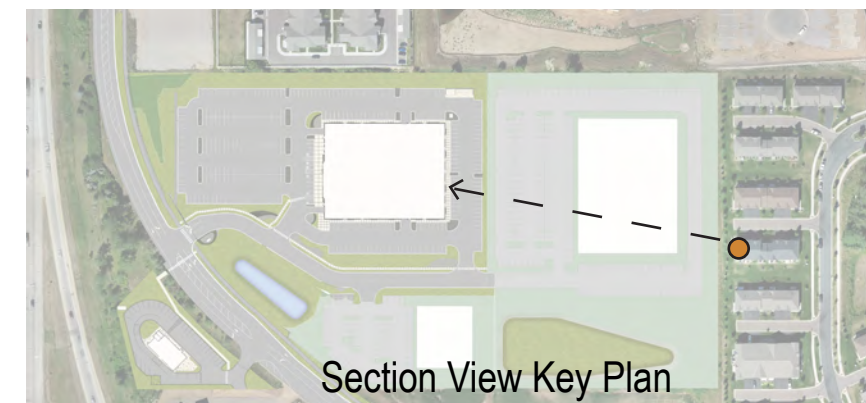
Section View - Future



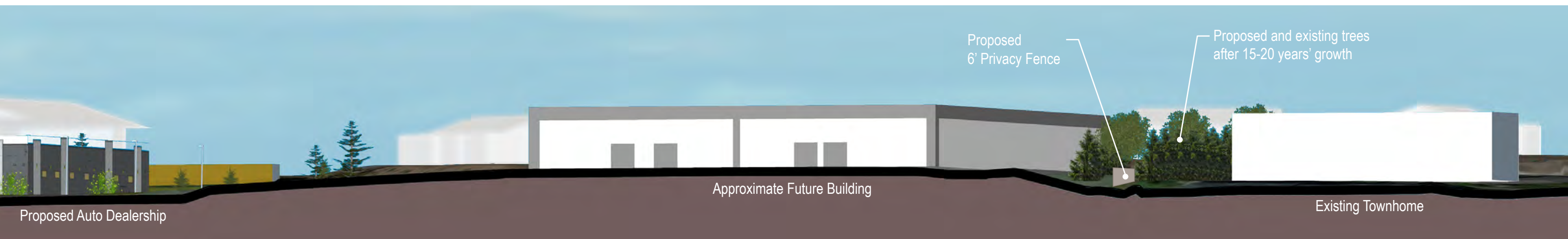
Section View - Phase 1



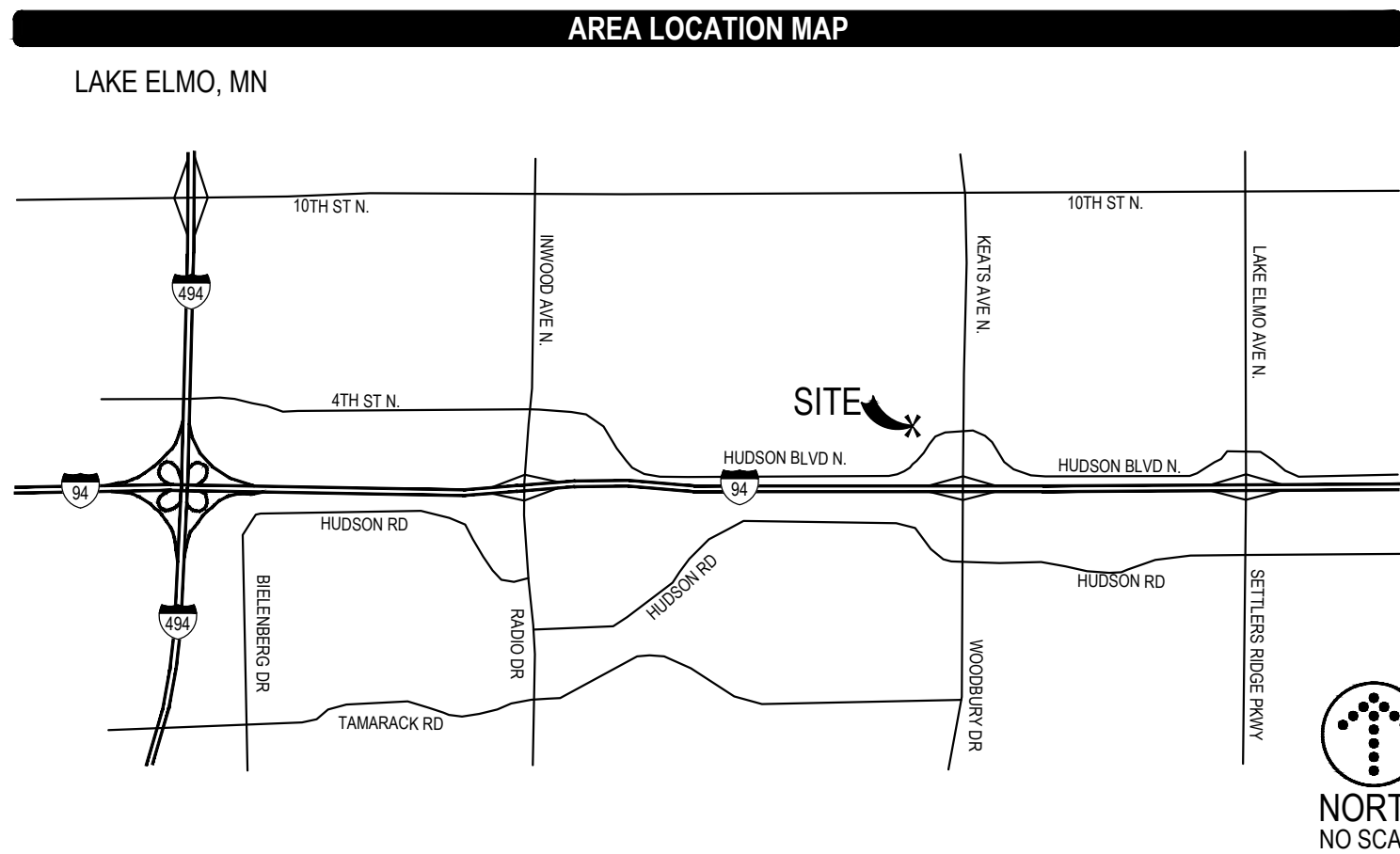
Section View - Future



Section View - Phase 1



Section View - Future



ELECTRIC AUTO SALES & SERVICE

LAKE ELMO, MINNESOTA

PRELIMINARY
NOT FOR
CONSTRUCTION

ABBREVIATIONS			
D & @ 100 YR.	Angle And At 100 Year Flood Elevation	LB.	Pound
A.B.	Anchor Bolt	LGU	Local Government Unit
A.D.	Area Drain	LB.	Longitudinal
A/C	Air Conditioning Unit	LT.	Light / Lighting
ADD.	Addendum	MAINT.	Maintenance
ADJ.	Adjacent / Adjust	MAS.	Masonry
AHU	Air Handling Unit	MATL.	Material
ALT.	Alternate	MAX.	Maximum
ALUM.	Aluminum	MECH.	Mechanical
ANOD.	Anodized	MED.	Medium
APPROX.	Approximate	MFR.	Manufacturer
ARCH.	Architect / Architectural	MH.	Manhole
AUTO.	Automatic	MIN.	Minimum / Minute
AVG.	Average	MISC.	Miscellaneous
B.C.	Back of Curb	MNDOT	Minnesota Department Of Transportation
B/W	Bottom of Wall	MOD.	Module / Modular
BFE	Basement Floor Elevation	MUL.	Mulch
BIT	Bituminous (Asphaltic)	N.	North
BLDG	Building	N.I.C.	Not In Contract
BM	Benchmark	NO. OR #	Number
BSMT.	Basement	NOM	Normal
C.F.	Cubic Feet	NTS	Not to Scale
C.F.S.	Cubic Feet Per Second	NWE	Normal Water Elevation
C.G.	Corner Guard	NWL	Normal Water Level
C.J.	Control Joint	O.F.	On Center
C.L.	Centerline	O.G.	Outside Dimension
C.M.U.	Concrete Masonry Unit	O.H.	Overhead Electric
C.O.	Cleanout	OH.	Overhead
C.O.E.	U.S. Army Corps Of Engineers	OPWL	Ordinary High Water Level
C.Y.	Cubic Yards	OPNG.	Opening
CB	Catch Basin	ORIG.	Original
CBMH	Catch Basin Manhole	P.C.	Point of Curvature
CEM.	Cement	P.I.	Point of Intersection
CIP	Cast Iron Pipe	PIV	Post Indicator Valve
CMF	Corrugated Metal Pipe	P.L. OR P/L	Property Line
CONC.	Concrete (Portland)	P.O.B.	Point of Beginning
CONN.	Connection	P.P.F.	Pounds Per Square Foot
CONST.	Construction	P.S.I.	Pounds Per Square Inch
CONT.	Continuous	P.T.	Point of Tangency
CONTR.	Contractor	P.V.C.	Point of Vertical Curvature
COP.	Copper	P.V.I.	Point of Vertical Intersection
CU.	Cubic	P.V.T.	Point of Vertical Tangency
D.S.	Down Spout	PE	Polyethylene
DEG.	Degree	PERF.	Perforated
DEMO.	Demolition / Demolish	PREP.	Preparation
DEPT.	Department	PROJ.	Project
DET.	Detail	PROP.	Proposed
DIA.	Diameter	PVC	Poly-Vinyl-Chloride (Piping)
DIAG.	Diagonal	P.V.M.T.	Pavement
DIM.	Dimension	QTR.	Quarter
DIP	Ductile Iron Pipe	QTY.	Quantity
DN	Down	R	Radius
DWG.	Drawing	RAD.	Radius
E.	East	RE	Rim Elevation (Casting)
E.J.	Expansion Joint	R.D.	Roof Drain
E.O.	Emergency Overflow	R.E.	Remove Existing
E.O.S.	Emergency Overflow Swale	R.O.	Rough Opening
E.W.	Each Way	R.P.	Radius Point
EA.	Each EL. Elevation	RC	Reinforced Concrete Pipe
ELEC.	Electrical	R.S.	Rough Slab
ELEV.	Elevation	RSD	Rough Storm Drain
EMER.	Emergency	RE	Regarding
ENGR.	Engineer	REINF.	Reinforced
ENTR.	Entrance	REQD	Required
EQ.	Equal	REV.	Revision / Revised
EQUIP.	Equipment	RGU	Regulatory Government Unit
EQUIV.	Equivalent	RHW OR RW	Right of Way
EXIST.	Existing	S.	South
EXP.	Expansion	S.F.	Square Feet
F & I	Furnish and Install	SAN.	Sanitary Sewer
F.B.O.	Furnished by Others	SECT.	Section
F.C.	Face of Curb	SE	Section
F.D.	Floor Drain	SEWO	Split Entry Walk Out / Side Exit Walk Out
F.D.C.	Fire Department Connection	SHT.	Sheet
F.V.	Field Verify	SIM.	Similar
FB	Full Basement	SINT.	Sealant
FBWO	Full Basement Walk Out	SPEC.	Specification
FBLO	Full Basement Look Out	SQ.	Square
FDN.	Foundation	SSD	Subsurface drain
FES	Flared End Section	STMH	Storm Sewer Manhole
FFE	Finished Floor Elevation	STD.	Standard
FLR.	Floor	STRUCT.	Structural
FT. OR (T)	Foot	SYM.	Symmetrical
FUT.	Future	T	Thickness
G.B.	Grade Break	TIR	Top of Rim
G.C.	General Contractor	T/W	Top of Wall
GAL.	Gallon	TEMP.	Temporary
GALV.	Galvanized	THK.	Thick / Thickness
GFE	Garage Floor Elevation	T.J.	Tooled Joint
GL.	Glass	T.NH	Top Nut Hydrant
GR.	Grade	TYP.	Typical
H.	Height	U.N.O.	Unless Noted Otherwise
H.P.	High Point	V.B.	Vapor Barrier
HDPEP	High Density Polyethylene Pipe	V.C.	Vertical Curve
HGT.	Height	V.I.F.	Verify In Field
HORIZ	Horizontal	VER.	Verify
HVAC	Heating, Ventilation, Air Conditioning	VEST.	Vestibule
HYD	Hydrant	W	Width
I.D.	Inside Dimension OR Identification	W.P.T.	Working Point
I.E. or IE	Invert Elevation	W.W.F.	Welded Wire Fabric
IN. OR (T)	Inches	W	Without
INFO.	Information	WO	Walk Out
INL.	Inlet Elevation	WP	Welland
INSUL.	Insulation	WPT	Waterproof
INV.	Invert Elevation	WTL.	Weight
JT.	Joint	YD.	Yard
L.F.	Linear Feet	YR.	Year
L.P.	Low Point / Liquid Petroleum		

SYMBOLS			
EXISTING	DESCRIPTION	NEW	DESCRIPTION
	MAJOR CONTOUR		MAJOR CONTOUR
	MINOR CONTOUR		MINOR CONTOUR
	SPOT ELEVATION		SPOT ELEVATION
	BUILDING		BUILDING
	CANOPY / OVERHANG		CANOPY/OVERHANG
	CONCRETE		UNDERGROUND STRUCTURE
	BITUMINOUS		CONCRETE
	LANDSCAPING		CONCRETE CURB
	GRAVEL		EDGE OF PAVEMENT
	PAVING BLOCK		FENCING
	PAVING BLOCK		GUARD RAIL
	STORM SEWER LINE		CONCRETE RETAINING WALL
	SANITARY SEWER LINE		MODULAR RETAINING WALL
	WATER MAIN		FIELDSTONE RETAINING WALL
	OVERHEAD ELECTRIC		EXIT LOCATION
	UNDERGROUND TELEPHONE		LIGHT STANDARD
	UNDERGROUND FIBER OPTIC		POWER POLE
	UNDERGROUND ELECTRIC		SLOPE DIRECTION
	GAS LINE		CATCH BASIN
	CONCRETE CURB		MANHOLE
	FENCING		BOLLARD
	RETAINING WALL		STORM SEWER
	SET 12" X 14" IRON PIPE		SANITARY SEWER-WASTE
	SURVEY DISK (BENCHMARK)		FORCE MAIN
	POWERPOLE		ROOF DRAIN SYSTEM
	GUY WIRE		WATERMAIN
	GUARD POST		FIRE LINE (IF SEPARATE)
	GAS METER		FIRE DEPT. CONNECTION
	TRANSFORMER		SOIL SUBDRAIN
	WATER SHUT-OFF VALVE		GAS LINE-UNDERGROUND
	TRAFFIC SIGN		ELECTRIC-UNDERGROUND
	FLAG POLE		TELEPHONE-UNDERGROUND
	LIGHT POLE		UNDERGROUND CABLE/TV
	TREES		LAWN SPRINKLER SLEEVE
	TREE LINE		
	MANHOLE		
	CATCH BASIN		
	FIRE HYDRANT		
	WATER VALVE		
	FLARED END SECTION		
	MAILBOX		
	NOTE NUMBER		
	MEASURED DISTANCE		
	DISTANCE PER RECORDED PLOT		
	SOIL BORING		

EROSION CONTROL SYMBOLS	
SYMBOL	DESCRIPTION
	SILT FENCE
	COMPOST BIO LOG
	INLET PROTECTION
	EROSION CONTROL BLANKET

DRAWING SYMBOLS	
SYMBOL	DESCRIPTION
	NOTE REFERENCE
	PARKING STALL COUNT
	LARGE SHEET DETAIL
	COORDINATE POINT
	REVISION - ADDENDUM, BULLETIN, ETC.
	REVISED AREA (THIS ISSUE)

LEGAL DESCRIPTION	
THE WEST ONE-HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 34, TOWNSHIP 29, RANGE 21, EXCEPT THAT PART DESCRIBED AS PARCEL 338 ON MINNESOTA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY PLAT NO. 82-43 FILED MARCH 22, 1982, AS DOCUMENT NO. 429692, WHICH WAS TAKEN BY THE STATE OF MINNESOTA IN FINAL CERTIFICATE DATED OCTOBER 4, 1989, FILED OCTOBER 24, 1989, AS DOCUMENT NO. 613150.	
WASHINGTON COUNTY, MINNESOTA	

BENCHMARK	
PROJECT BENCHMARK:	
MNDOT NAME: 8282 AX IN LAKE ELMO, 0.05 MILE EAST ALONG INTERSTATE HIGHWAY 94 FROM THE JUNCTION OF INTERSTATE HIGHWAY 94 AND WOODBURY DRIVE (KEATS AVENUE NORTH) IN LAKE ELMO, AT INTERSTATE HIGHWAY 94 MILEPOINT 251.75, 69.8 FEET NORTH OF WESTBOUND INTERSTATE HIGHWAY 94 FOG LINE, 1.5 FEET SOUTH OF WITNESS POST.	
ELEVATION = 938.31 (NAVD 88)	
MNDOT NAME: 8282 AY IN LAKE ELMO, 0.7 MILE EAST ALONG INTERSTATE HIGHWAY 94 ROM THE JUNCTION OF INTERSTATE HIGHWAY 94 AND INWOOD AVENUE NORTH/RADIO DRIVE IN LAKE ELMO, AT INTERSTATE HIGHWAY 94 MILEPOINT 250.85, 38.7 FEET NORTH OF WESTBOUND INTERSTATE HIGHWAY 94 FOG LONE, 41.7 FEET SOUTH OF RIGHT-OF-WAY FENCE, 1.5 FEET SOUTH OF A WITNESS POST.	
ELEVATION = 985.73 (NAVD 88)	
SITE BENCHMARK: TBD	
ELEVATION = TBD (NAVD 88)	

OWNER	
DRAKE REAL ESTATE SERVICES	
496 S. BROADWAY DENVER, CO. 80209 TEL (303) 825-6200 CONTACT: JON HAUSER	

PROJECT CONTACTS	
CIVIL ENGINEER LANDFORM	SURVEYOR LANDFORM
105 SOUTH FIFTH AVENUE, SUITE 513 MINNEAPOLIS, MN 55401 TEL 612-252-9070 CONTACT: TOM MEYER	105 SOUTH FIFTH AVENUE, SUITE 513 MINNEAPOLIS, MN 55401 TEL 612-252-9070 CONTACT: LARRY HUHN
LANDSCAPE ARCHITECT LANDFORM	ARCHITECT NAMA PARTNERS
105 SOUTH FIFTH AVENUE, SUITE 513 MINNEAPOLIS, MN 55401 TEL 612-252-9070 CONTACT: JOSH POPEHN	6140 GREENWOOD PLAZA BOULEVARD, SUITE 100 GREENWOOD VILLAGE, CO 80111 TEL 720-289-0001 CONTACT: MIKE BRETTMANN

CIVIL / LANDSCAPE SHEET INDEX & REVISION MATRIX												
SHEETS ISSUED BY DATE												
SHEET NO.	DESCRIPTION	2/23	2/23	2/23	2/23	2/23	2/23	2/23	2/23	2/23	2/23	2/23
C0.1	CIVIL & LANDSCAPE TITLE SHEET	X	X	X	X	X	X	X	X	X	X	X
C1.1	EXISTING CONDITIONS	X	X	X	X	X	X	X	X	X	X	X
C1.2	PRELIMINARY PLAT											
C1.4	TREE PRESERVATION											
C2.0	OVERALL SITE PLAN	X	X	X	X	X	X	X	X	X	X	X
C2.1	LOT 1 BLOCK 2 SITE PLAN											
C3.0	OVERALL GRADING, DRAINAGE, PAVING & EROSION CONTROL	X	X	X	X	X	X	X	X	X	X	X
C3.1	ENLARGED BUILDING GRADING, DRAINAGE, PAVING & EROSION CONTROL											
C3.2	SOUTH GRADING, DRAINAGE, PAVING & EROSION CONTROL PLAN											
C3.3	NORTH GRADING, DRAINAGE, PAVING & EROSION CONTROL PLAN											
C3.4	SWPPP NOTES											
C4.0	OVERALL UTILITIES	X	X	X	X	X	X	X	X	X	X	X
C4.1	STORM SEWER											
C4.2	SANITARY & WATER											
C5.1	HUDSON BOULEVARD EXISTING CONDITIONS & DEMOLITION											
C5.2	HUDSON BOULEVARD ALIGNMENT											
C5.3A	HUDSON BOULEVARD PLAN & PROFILE	X	X	X	X	X	X	X	X	X	X	X
C5.3B	HUDSON BOULEVARD PLAN & PROFILE											
C5.4	HUDSON BOULEVARD TYPICAL SECTIONS											
C5.5	HUDSON BOULEVARD PAVING PLAN											
C5.6	HUDSON BOULEVARD CROSS SECTIONS											
C5.7	HUDSON BOULEVARD CROSS SECTIONS											
C5.8	HUDSON BOULEVARD CROSS SECTIONS											
C5.9	HUDSON BOULEVARD CROSS SECTIONS											
C5.10	HUDSON BOULEVARD CROSS SECTIONS											
C7.1	CIVIL CONSTRUCTION DETAILS											
C7.2	CIVIL CONSTRUCTION DETAILS											
C7.3	CIVIL CONSTRUCTION DETAILS											
C7.4	CIVIL CONSTRUCTION DETAILS											
L2.0	OVERALL LANDSCAPE PLAN											
L2.1	ENLARGED LANDSCAPE PLAN											
L3.0	SOIL AMENDMENT PLAN											
L4.1	PHOTOMETRICS											
L7.1	LANDSCAPE DETAILS											

CERTIFICATIONS	
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA. THIS CERTIFICATION IS FOR SHEET NUMBERS BEGINNING WITH "C".	
THOMAS O. MEYER, P.E.	
LICENSE NUMBER: 42016	DATE: 03/16/2023
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA. THIS CERTIFICATION IS FOR SHEET NUMBERS BEGINNING WITH "L".	
JOSH POPEHN, RLA	
LICENSE NUMBER: 44803	DATE: 03/16/2023

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From Site to Finish

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Fax: 612-252-9077
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DENVER, CO 80209
TEL. 303.825.6200
WWW.DRAKERES.COM

ELECTRIC AUTO SALES & SERVICE

HUDSON BLVD N.
LAKE ELMO, MN 55042

AUG. 29, 2021	CITY SUBMITTAL
OCT. 26, 2022	REVIEW SET
JAN. 25, 2023	PRELIM BID SET
FEB. 13, 2023	CITY SUBMITTAL
MAR. 07, 2023	WATERSHED SUBMITTAL
MAR. 16, 2023	CITY SUBMITTAL

DRAWING TITLE

CIVIL & LANDSCAPE TITLE SHEET

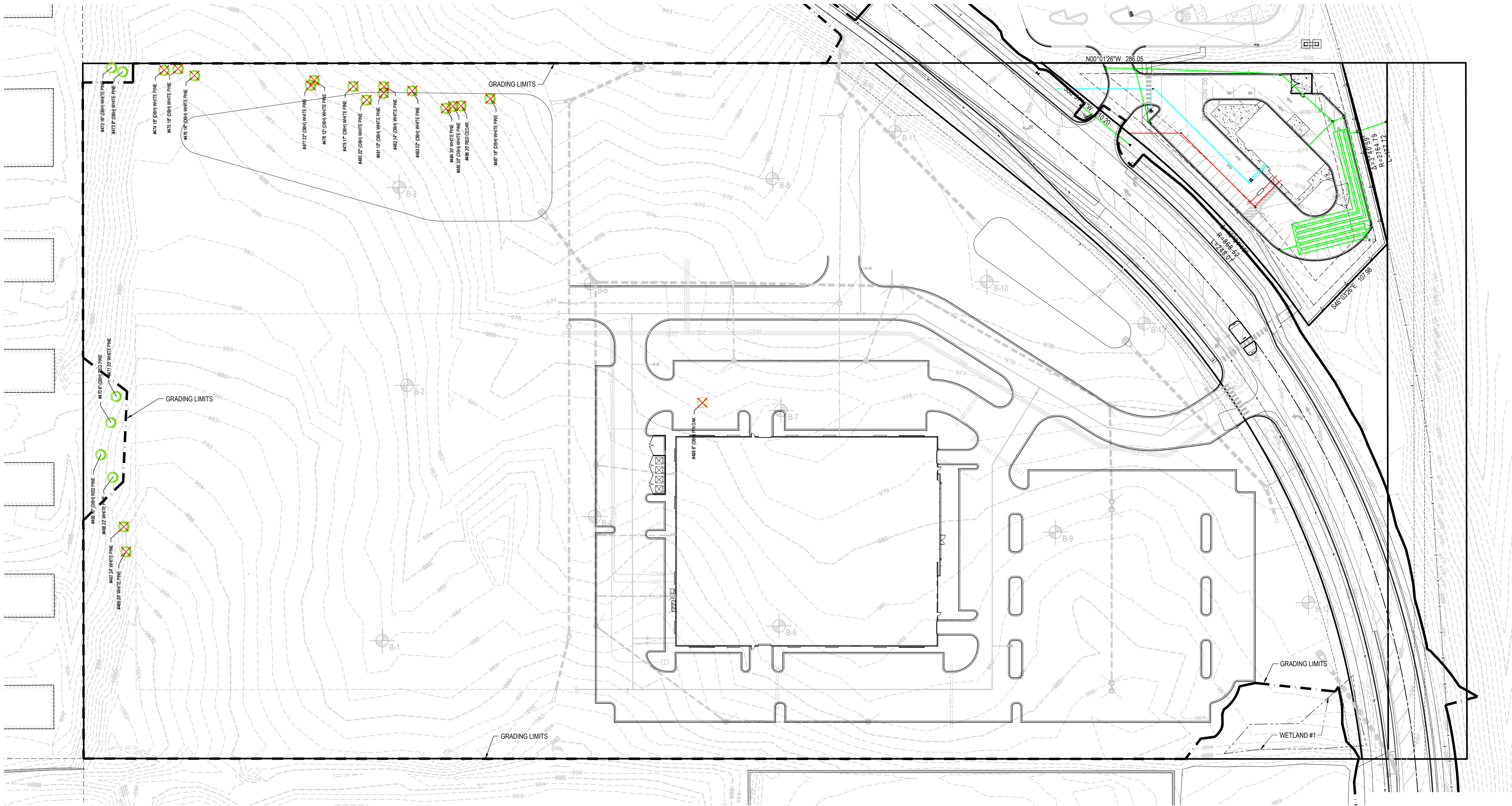
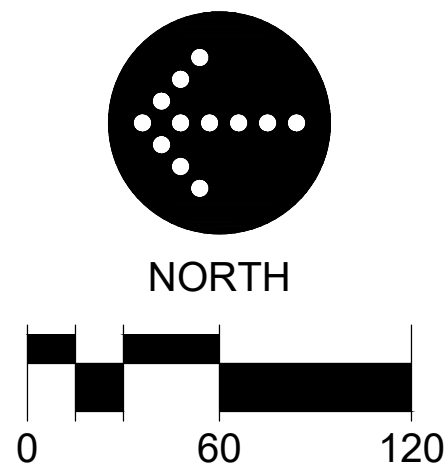
PROJECT NUMBER: DRS22002

SHEET NUMBER

C0.1



Know what's Below.
Call before you dig.



LEGEND

✕

Tree Removal

Grading Limits

TREE PRESERVATION REQUIREMENTS

Code Sec. 105.12.470
Up to 30% removals without replacement. Removal calculations apply to each tree type individually and any replacements needed shall apply to each tree type (hardwood, coniferous, common).

Replacement multipliers
Hardwoods - 1/2 per inch lost
Coniferous - 1/2 per inch lost
Common - 1/4 per inch lost

Tree Type	Total inches	Inches Removed (30% allowed)	Inches Mitigated	Replacement Inches Required
Hardwoods	6	6	4	2
Coniferous	301	271 (90%)	181 (60%)	91 (23-8' ht. trees)
Common	0	0	0	0

Coniferous							
Tag #	Size	Cal	Species	Health	Category	Remove	Replacement Inches
466	8	Cal	White Pine	H	Conifer	1	4
467	9	Cal	White Pine	H	Conifer	1	4.5
468	9	Cal	White Pine	H	Conifer		4.5
469	8	Cal	Red Pine	H	Conifer		4
470	8	Cal	Red Pine	H	Conifer		4
471	8	Cal	White Pine	H	Conifer		4
472	8	Cal	White Pine	H	Conifer		4
473	18	Cal	White Pine	H	Conifer		9
474	18	Cal	White Pine	H	Conifer	1	9
475	18	Cal	White Pine	H	Conifer	1	9
476	16	Cal	White Pine	H	Conifer	1	8
477	22	Cal	White Pine	H	Conifer	1	11
478	12	Cal	White Pine	H	Conifer	1	6
479	17	Cal	White Pine	H	Conifer	1	8.5
480	20	Cal	White Pine	H	Conifer	1	10
481	12	Cal	White Pine	H	Conifer	1	6
482	14	Cal	White Pine	H	Conifer	1	7
483	22	Cal	White Pine	H	Conifer	1	11
484	20	Cal	White Pine	H	Conifer	1	10
485	8	Cal	White Pine	H	Conifer	1	4
486	8	Cal	Eastern Red Cedar	H	Conifer	1	4
487	18	Cal	White Pine	H	Conifer	1	9

Totals 301

Hardwoods						
Tag #	Size	Cal	Species	Health	Category	Remove
488	6	Cal	Pin Oak	H	Hardwood	1
Totals						6

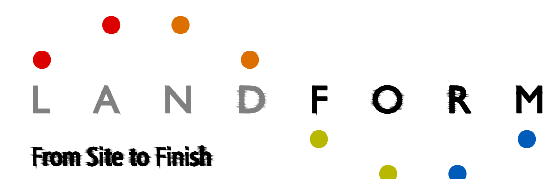
PRELIMINARY
NOT FOR
CONSTRUCTION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Landscape Architect under the laws of the state of MINNESOTA.

Joshua K. Poppe

Joshua K. Poppe
License No: 4450.3
Date: 03/16/2023

Signature shown is a digital reproduction of original. Wet signed copy of this plan on file at Landform Professional Services, LLC office and is available upon request.



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MAR. 16, 2023	CITY SUBMITTAL

DRAWING TITLE

TREE PRESERVATION

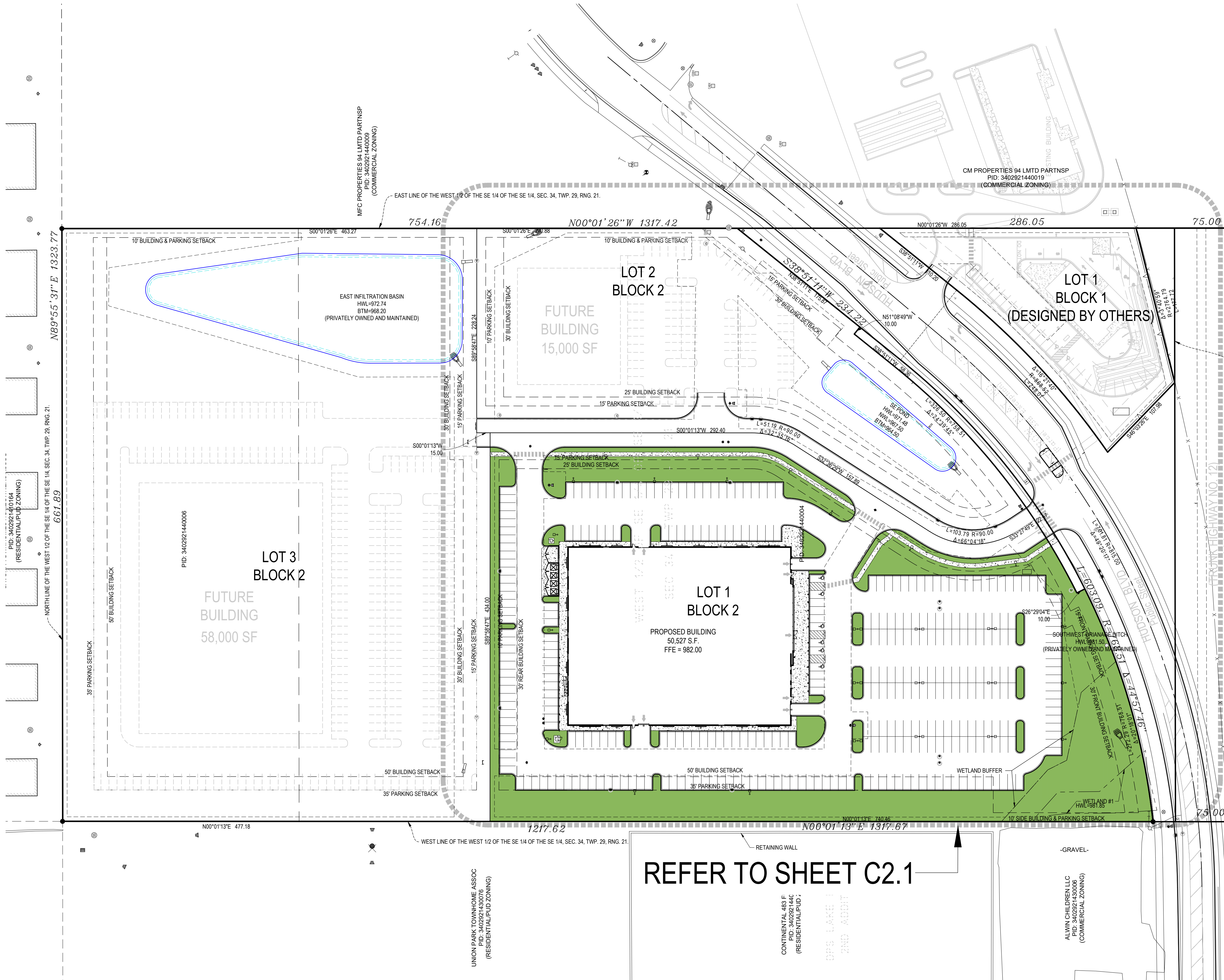
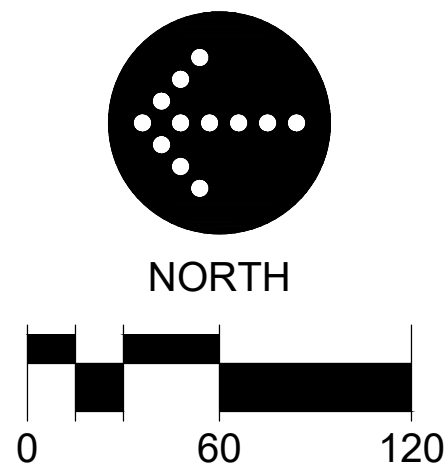
PROJECT NUMBER: DRS22002

SHEET NUMBER

C1.4



Know what's Below.
Call before you dig.



GENERAL NOTES

- For construction staking and surveying services contact Landform at 612.252.9070.
- Obtain all necessary permits for construction within, or use of, public right-of-way.
- The digital file, which can be obtained from the Engineer, shall be used for staking. Discrepancies between the drawings and the digital file shall be reported to the Engineer. The building footprint, as shown on these drawings, and the digital file, shall be compared to the structural drawings prior to staking.
- Building layout angles are parallel with or perpendicular to the property line at the location indicated.
- Dimensions shown are to face of curb and exterior face of building unless noted otherwise.
- Delineate parking stalls with a 4-inch wide white painted stripe. Delineate access aisles with 4-inch wide white painted stripes 18 inches on center and at 45 degree angle to direction of travel.
- Trash / Recycling areas: See Architectural drawings.

ZONING AND SETBACK SUMMARY

The Property is Zoned C - Commercial

Building Setback Information is as follows:
Front Yard = 30 ft.
Rear = 30 ft.
Side (interior) = 10 ft.
Side (corner) = 25 ft.

Parking Setback Information is as follows:
Front Yard = 15 ft.
Rear = 10 ft.
Side (interior) = 10 ft.
Side (corner) = 15 ft.

Lot Coverage Information is as follows:
Lot Area Minimum = 20,000 s.f. = 0.46 ac.
Lot Width Minimum = 100 ft.
Total Site Area = 742,967 s.f. = 17.06 ac.

AREA SUMMARY (LOT 1 - BLOCK 1)

Existing:				
Pervious	40,681	s.f.	0.93	ac.
Impervious	0	s.f.	0.00	ac.
Total	40,681	s.f.	0.93	ac.
Proposed:				
Pervious	14,714	s.f.	0.33	ac.
Impervious	25,967	s.f.	0.60	ac.
Total	40,681	s.f.	0.93	ac.

AREA SUMMARY (LOT 1 - BLOCK 2)

Existing:				
Pervious	269,112	s.f.	6.18	ac.
Impervious	0	s.f.	0.00	ac.
Total	269,112	s.f.	6.18	ac.
Proposed:				
Pervious	69,723	s.f.	1.60	ac.
Impervious	199,389	s.f.	4.58	ac.
Total	269,112	s.f.	6.18	ac.

AREA SUMMARY (FUTURE LOT 2 - BLOCK 2)

Existing:				
Pervious	116,440	s.f.	2.67	ac.
Impervious	0	s.f.	0	ac.
Total	116,440	s.f.	2.67	ac.
Proposed (Assume 75% Max. Impervious Area):				
Pervious	29,110	s.f.	0.67	ac.
Impervious	87,330	s.f.	2.03	ac.
Total	116,440	s.f.	2.70	ac.

AREA SUMMARY (FUTURE LOT 3 - BLOCK 2)

Existing:				
Pervious	312,863	s.f.	7.18	ac.
Impervious	0	s.f.	0	ac.
Total	312,863	s.f.	7.18	ac.
Proposed (Assume 75% Max. Impervious Area):				
Pervious	78,216	s.f.	1.80	ac.
Impervious	234,647	s.f.	5.38	ac.
Total	312,863	s.f.	7.18	ac.

PARKING SUMMARY (LOT 1 - BLOCK 2)

Required Parking:		
One Stall per 250 s.f. of gross floor area used for sales or customer service. One stall per 2,000 s.f. of outside sales/display area.		
37,536 s.f. Total gross floor area		
37,536 s.f. / 250 = 151 stalls		
29,970 s.f. Total outside sales/display area		
29,970 s.f. / 2,000 = 15 stalls		
Total Parking Stalls Required	166	ea.
Provided Parking:		
Standard Stalls (9x18)	346	ea.
Accessible Stalls (9x18)	6	ea.
Total Parking Stalls Provided	352	ea.

LEGEND

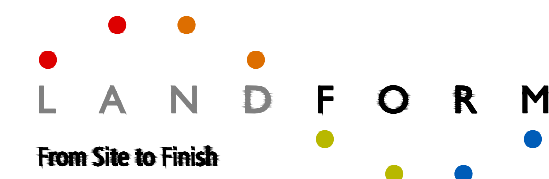
	Green Space (Landscape Area)
	Customer Parking - 126 stalls
	Employee Parking - 40 stalls
	Off-Street Loading Area - 12' x 50'

PRELIMINARY
NOT FOR
CONSTRUCTION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

Tom O. Meyer
License No: 42016
Date:

Signature shown is a digital reproduction of original. Wet signed copy of this plan on file at Landform Professional Services, LLC office and is available upon request.



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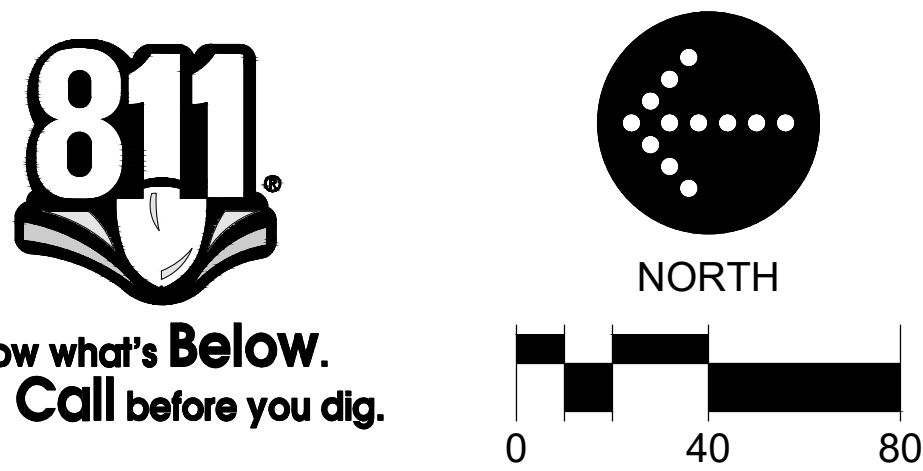
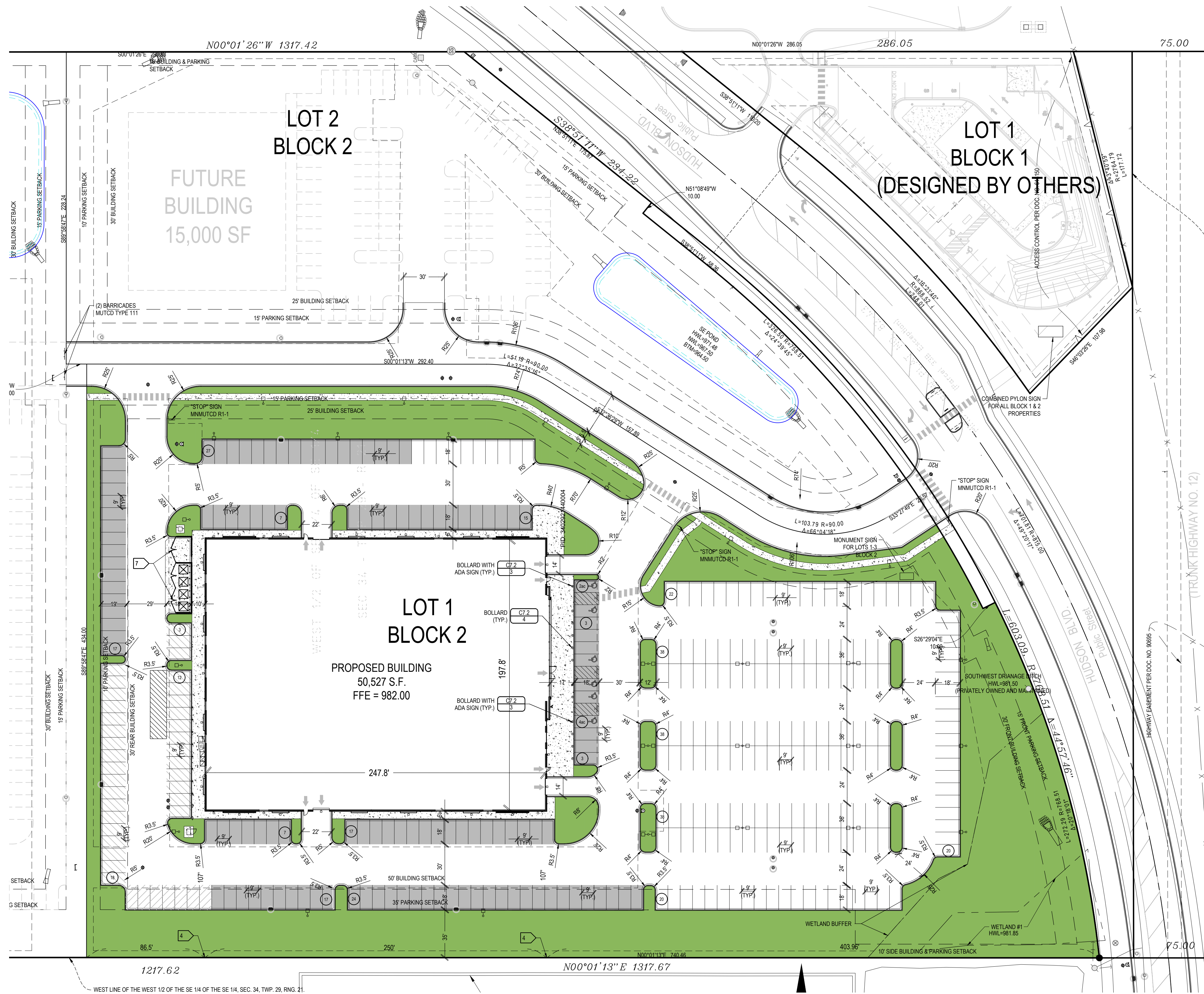
DRAWING TITLE

OVERALL
SITE PLAN

PROJECT NUMBER: DRS22002

SHEET NUMBER

C2.0



GENERAL NOTES

1. For construction staking and surveying services contact Landform at 612.252.9070.

SITE PLAN NOTES

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LEGEND

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Tom O. Meyer

License No: 42016 Date:

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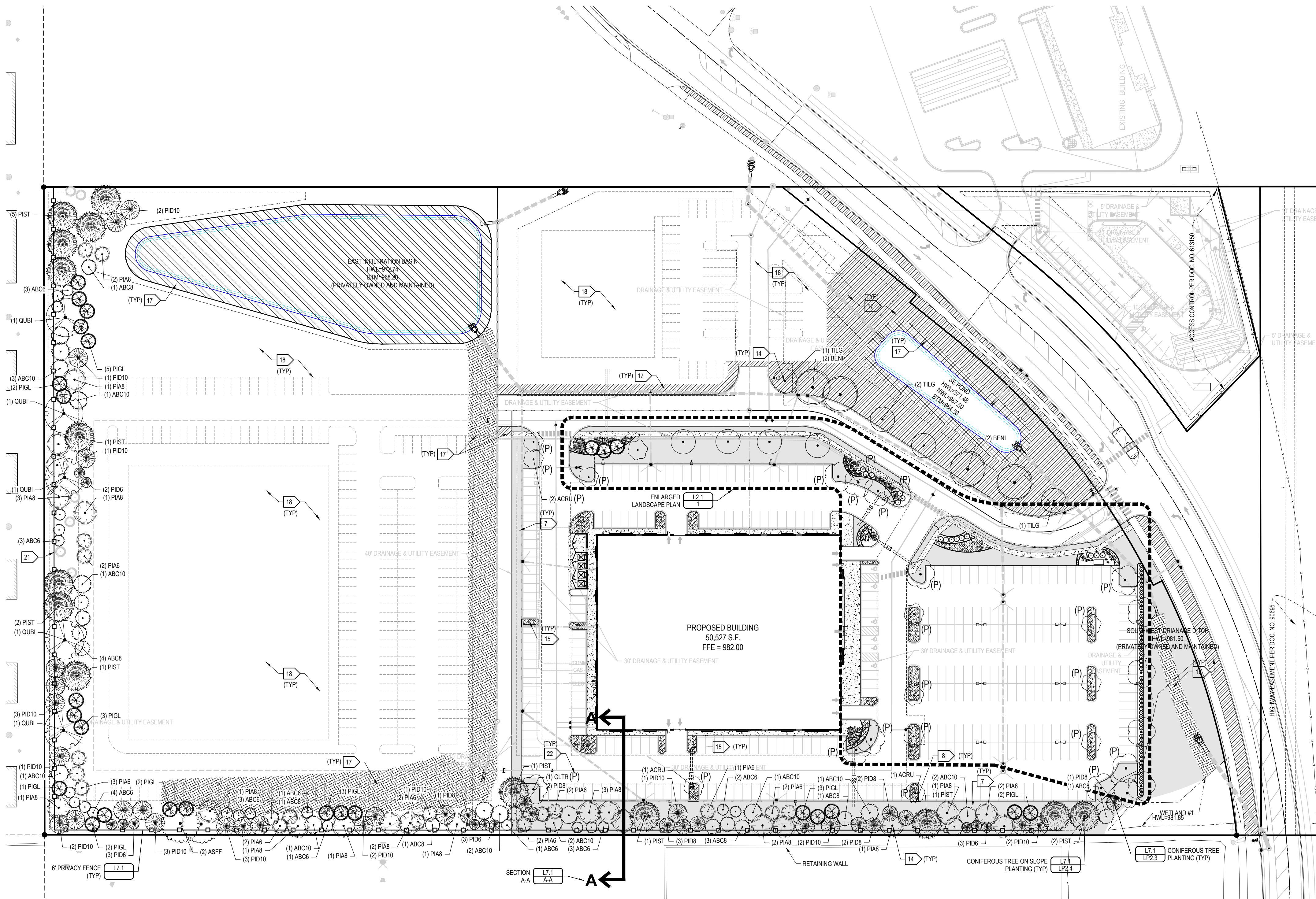
DRAWING TITLE

**LOT 1 BLOCK 2
SITE PLAN**

PROJECT NUMBER: DRS22002

SHEET NUMBER

C2.1



- GENERAL NOTES**
- LANDSCAPE NOTES**
1. For construction Staking and Surveying services contact Landform at 612.252.9070.

2. Contact Utility Service providers for field location of services 72 hours prior to beginning.

3. Coordinate installation with Contractors performing related work.

4. Plant material shall conform to the American Association of Nurserymen Standards and be of hardy stock, free from disease, infestation, damage, and disfigurement.

5. All existing deciduous/coniferous trees are to be trimmed of dead wood and pruned to a natural uniform shape.

6. Planting soil shall consist of 4 parts topsoil to 1 part peat humus, with 3 pounds of commercial fertilizer added per cubic yard.

7. Spread a minimum of 4 inches of topsoil and sod all turf areas disturbed by construction.

8. Edge planting beds with 5-inch, 1/2" thick, black, commercial grade steel edging (Sur-Loc or approved equal) except where adjacent to curbing, walks or buildings.

9. Place plants according to layout with proper nominal spacing. For discrepancy between the number of plants on the Schedule and the number shown on the Drawing, the Drawing shall govern.

10. Trees shown in 'Future Plantings' area count towards total quantities for project but will be installed during a later phase.

11. See Details for depth of planting soil.

12. Install 4 inch depth of triple-shredded hardwood mulch in Shrub Bed Areas.

13. Install 2 to 3 inch depth of triple-shredded hardwood mulch in Perennial Bed Areas.

14. Install a 4-foot diameter triple-shredded hardwood mulch dish around trees not placed within a Shrub or Perennial Planting Bed. Edging is not required, unless noted otherwise.

15. Install 2 to 3 inch (nominal size) grey trap rock to a depth of 4 inches in all planting beds unless noted otherwise. Landscape fabric shall be installed under all areas of rock mulch. Secure all edges and seams of fabric with 6-inch landscape staples.

16. Irrigation is required. Irrigation shall be designed by irrigation contractor. Contractor shall submit design plan and all shop drawings and system components to Landscape Architect for review, prior to purchase and installation. Contractor shall follow all applicable codes and obtain all necessary permits from local jurisdiction.

17. Seed mixtures (MNDOT 25-131, MNDOT 33-261 and MNDOT 33-262) as defined in current MNDOT Seeding Manual. Seed mixture (BWSR Native Grass Waterway General) as defined by Minnesota Board of Water and Soil Resources. Native Seeds shall be of Minnesota origin and certified by the Minnesota Crop Improvement Association (MCIA). Provide verifying documentation to the Owner 30 days minimum prior to installation. Refer to Legend below.

18. Remainder of Lots 2 & 3, Block 2 shall be seeded with MNDOT 21-112 (Winter Wheat Cover Crop). Seed at rate of 100.0 lbs/acre.

19. Follow MNDOT Seeding Manual for planting instructions for establishment of native seed and provide coordination for required erosion prevention and sediment control.

20. All plant material shall have a 2-year warranty. The warranty shall begin after the last plant has been installed and the Landscape Architect has approved the installation. Landscape contractor is responsible for replacing any and all plant material that dies during the warranty period. Landscape contractor shall assume all costs to any replacements. All replacements shall be same species and sizes and equal or better vigor as original installation.

21. Six (6') foot privacy fence. Trex or other selected by Owner. Color: TBD.

22. Callout (P) designates a required Interior Parking Area shade tree. See summary in table below.

CITY REQUIREMENTS

City of Lake Elmo Code - Overall development requirements (16 acres)

	Required	Provided
1. Disturbed land = 5 trees per acre disturbed	81 trees	204 trees
2. Existing tree replacements (Equivalent trees) See sheet C1.4 for calculations	153.5 inches (76 trees)	155.5 inches (77 trees)

City of Lake Elmo Code - Lot 1 Block 1 requirements (6.2 acres)

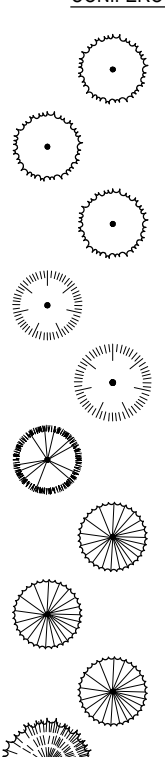
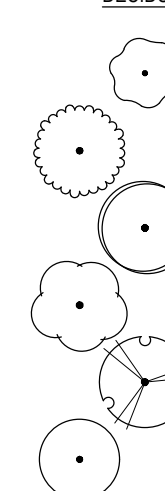
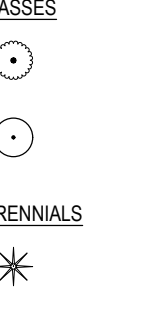
	Required	Provided
1. Interior parking area = min 5% shall be landscaped	6,967 s.f.	7,675 s.f.
2. Parking area trees = 1 tree per 15 spaces	23 trees	23 trees
3. Screening adjacent to Residential District = 1 deciduous tree per 50 l.f.	5 trees	5 trees
4. Screening adjacent to Residential District = 1 tree per 40 l.f.	31 trees	31 trees
5. Disturbed land = 5 trees per acre disturbed	31 trees	59 trees


Notes and Additional Plantings

	Required	Provided
1. Additional trees for screening on north and west	not required	86 trees
2. Required street trees along Hudson Blvd are not proposed due to 10' min. separation from utility lines per City Code. Applicant has asked for PUD flexibility for this requirement.		
3. Total required tree and shrub quantities are provided on-site.		

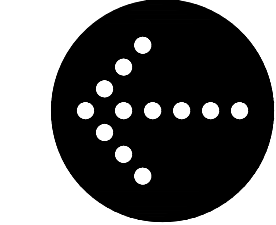
LEGEND

	Denotes area of sod		Denotes rock mulch
	Denotes Low Maintenance Turf seed mix (MNDOT 25-131) Seed at rate of 220 lbs/acre.		
	Denotes Stormwater seed mix (MNDOT 33-261) Seed at rate of 35 lbs/acre.		
	Denotes Native Grass Waterway seed mix (BWSR) Seed at rate of 45.21 lbs/acre.		
	Denotes Dry Swale/Pond seed mix (MNDOT 33-262) Seed at rate of 44.0 lbs/acre.		


OVERALL PLANT SCHEDULE																								
CONIFEROUS TREES			CODE	QTY	BOTANICAL NAME	COMMON NAME	MATURE SIZE	PLANTING SIZE	ROOT CONDITION	DECIDUOUS SHADE TREES			CODE	QTY	BOTANICAL NAME	COMMON NAME	MATURE SIZE	PLANTING SIZE	ROOT CONDITION	GRASSES				
	ABC10	15	Abies concolor	White Fir	40'H x 20'W	10' HT.	B & B		ACRU	15	Acer rubrum 'Autumn Spire'	Autumn Spire Maple	50'H x 25'W	2.5' Cal.	B & B		SCSB	14	Schizachyrium scoparium 'Blue Heaven'	Blue Heaven Little Bluestem	2'H x 3'W	1 GAL.	POT	
	ABC6	21	Abies concolor	White Fir	40'H x 20'W	6' HT.	B & B		ASFF	2	Acer saccharum 'Fall Fiesta'	Fall Fiesta Sugar Maple	60'H x 50'W	2.5' Cal.	B & B		SPHE	147	Sporobolus heterolepis	Prairie Dropseed	3'H x 3'W	#2	POT	
	ABC8	12	Abies concolor	White Fir	40'H x 20'W	8' HT.	B & B		BENI	4	Betula nigra	River Birch	60'H x 50'W	2.5' Cal.	B & B			CODE	QTY	BOTANICAL NAME	COMMON NAME	MATURE SIZE	PLANTING SIZE	ROOT CONDITION
	PIA6	18	Picea abies	Norway Spruce	50'H x 30'W	6' HT.	B & B		GLTR	15	Gleditsia triacanthos 'Impcole' TM	Impcole Honeylocust	30'H x 35'W	2.5' Cal.	B & B			YUCI	20	Yucca filamentosa 'Ivory Tower'	Ivory Tower Yucca	4'H x 4'W	1 GAL.	POT
	PIA8	21	Picea abies	Norway Spruce	50'H x 30'W	8' HT.	B & B		QUBI	5	Quercus bicolor	Swamp White Oak	55'H x 55'W	2.5' Cal.	B & B									
	PIGL	26	Picea glauca	White Spruce	50'H x 20'W	8' HT.	B & B	TILG	8	Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	60'H x 40'W	2.5' Cal.	B & B										
	PID10	24	Picea glauca 'Densata'	Black Hills Spruce	45'H x 20'W	10' HT.	B & B	CODE	QTY	BOTANICAL NAME	COMMON NAME	MATURE SIZE	PLANTING SIZE	ROOT CONDITION										
	PID6	11	Picea glauca 'Densata'	Black Hills Spruce	45'H x 20'W	6' HT.	B & B	JUHU	15	Juniperus horizontalis 'Hughes'	Hughes Juniper	0.5'H x 7'W	5 GAL.	POT										
	PID8	11	Picea glauca 'Densata'	Black Hills Spruce	45'H x 20'W	8' HT.	B & B	JUKA	13	Juniperus x pfitzeriana 'Kallay's Compact'	Kallay's Compact Juniper	3'H x 5'W	5 GAL.	POT										
	PIST	14	Pinus strobus	Eastern White Pine	80'H x 40'W	8' HT.	B & B	TAXT	56	Taxus x media 'Tauntonii'	Tauton Yew	4'H x 5'W	#5	POT										



Know what's Below.
Call before you dig.



NORTH



0 60 120

PRELIMINARY
NOT FOR
CONSTRUCTION

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Landscape Architect under the laws of the state of MINNESOTA.

Joshua K. Popeln
License No: 4480.3
Date: 03/16/2023

Signature shown is a digital reproduction of original. Wet signed copy of this plan on file at Landform Professional Services, LLC office and is available upon request.

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ISSUE / REVISION
AUG. 29, 2022 CITY SUBMITTAL
OCT. 26, 2022 REVIEW SET
JAN. 25, 2023 PRELIM BID SET
FEB. 13, 2023 CITY SUBMITTAL
MAR. 07, 2023 WATERSHED SUBMITTAL
MAR. 16, 2023 CITY SUBMITTAL

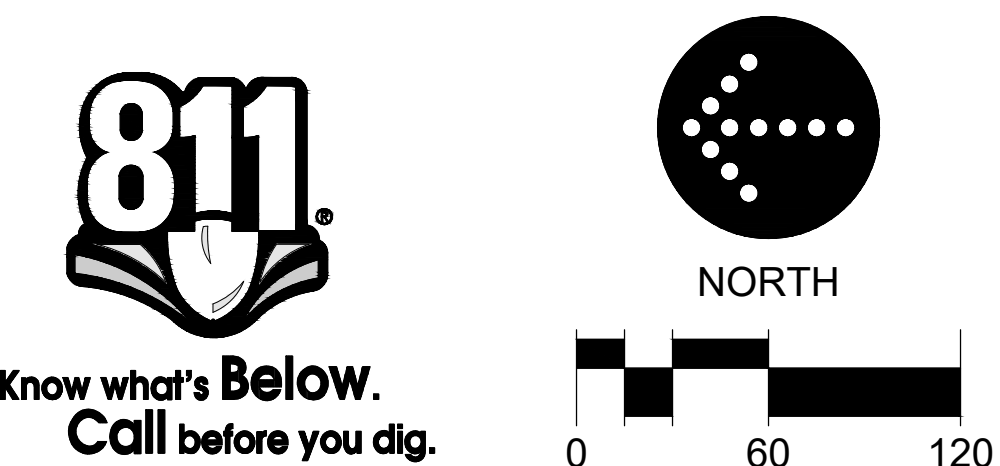
DRAWING TITLE

OVERALL
LANDSCAPE PLAN

PROJECT NUMBER: DRS22002

SHEET NUMBER


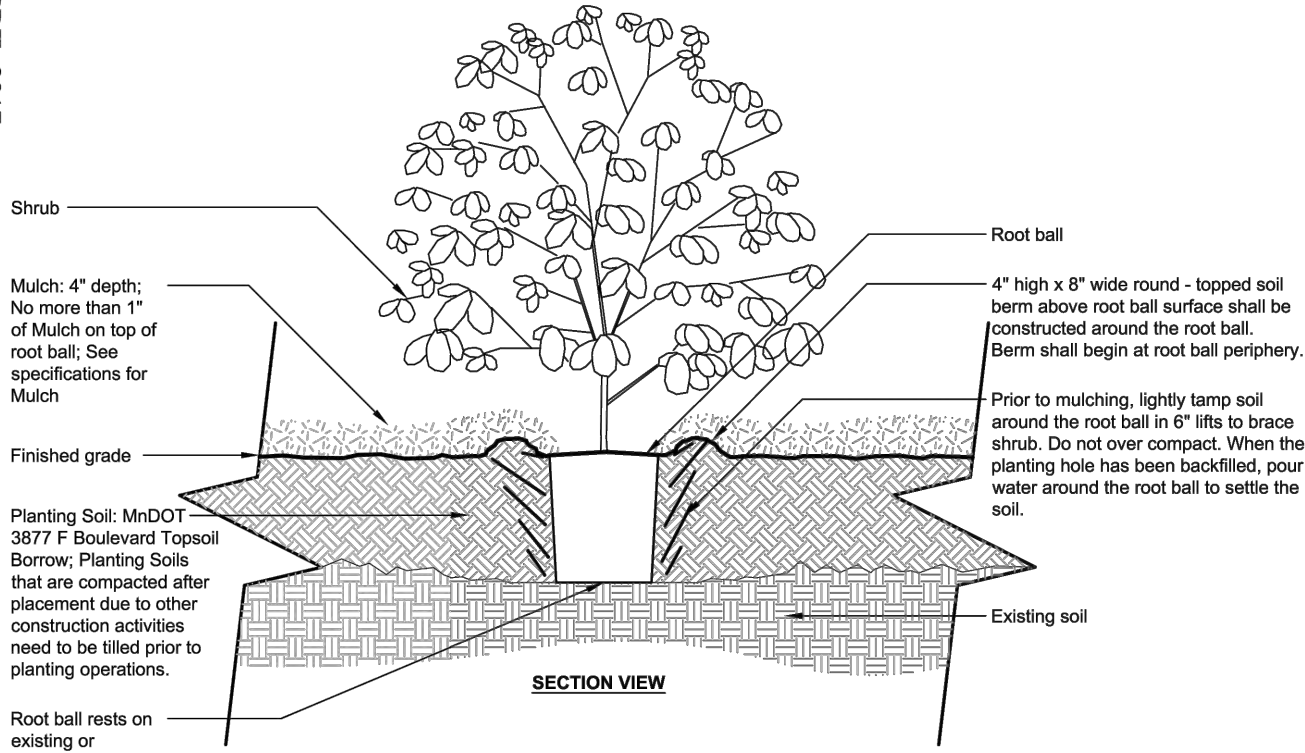
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5

SECTION A-A

NO SCALE

	<h1 style="margin: 0;">CITY OF LAKE ELMO</h1>	STANDARD DRAWING NO. LP.5 LAKE ELMO	APRIL 2017		
				<p>Notes:</p> <ol style="list-style-type: none"> 1- Refer to specification 329000 for additional requirements. 2- Shrubs shall be of quality as prescribed in the root observations detail and specification. 	
				<div style="border: 1px solid black; border-radius: 50%; width: 40px; height: 40px; display: flex; align-items: center; justify-content: center; margin: 0 auto;"> LP.5 </div> <h2 style="margin: 0;">SHRUB</h2>	

Notes:

- 1- Refer to specification 329000 for additional requirements.
- 2- Amend Planting Soil with MnDOT 3881 B.4 Type 4 Natural Based Fertilizer and MnDOT 3896C or 3896C Additives
- 3- Mulch ring for individually planted trees shall be a minimum diameter of 4-feet.
- 4- Remove all nursery twine at trunk at time of planting.
- 5- No staking allowed unless requested and granted in writing by City.

Trunk caliper shall meet ANSI Z60.1 latest edition for root ball size

Position tree so root flare is at or slightly above finished grade

Round-topped soil berm 4" high x 6" wide above root ball surface shall be centered on the downhill side of the root ball for 240°. Berm shall begin at root ball periphery

Planting Soil: MnDOT 3877 F
Boulevard Topsoil Borrow;
Planting Soils that are compacted after placement due to other construction activities need to be tilled prior to planting operations.

SECTION VIEW

Central leader

Original slope should pass through the point where the trunk base meets substrate/soll

Prior to mulching, lightly tamp soil around the root ball in 6" lifts to brace tree. Do not over compact. When the planting hole has been backfilled, pour water around the root ball to settle the soil.

Mulch: 4" depth: No more than 1" of Mulch on top of root ball; See specifications for Mulch

Original grade

Bottom of root ball rests on existing or re-compact soll

DECIDUOUS TREE ON SLOPE 5% TO 50%

1/4" = 1'-0"

APRIL 2017

NOTES:

- 1- Refer to specification 32900 for additional requirements.
- 2- Amend Planting Soil with MnDOT 3881 B.4 Type 4 Natural Based Fertilizer and MnDOT 3896C or 3896G Additives
- 3- Mulch ring for individually planted trees shall be a minimum diameter of 6'-feet, or to extent of lower limbs whichever is greater.
- 4- Remove all nursery twine at trunk at time of planting.
- 5- No staking allowed unless requested and granted in writing by City.

Trunk caliper shall meet ANSI Z60.1 latest edition for root ball size

Round-topped soil berm 4" high x 8" wide above root ball surface shall be constructed around the root ball; berm shall begin at root ball periphery

Bottom of root ball rests on existing or re-compacted soil

3x widest dimension of root ball.

SECTION VIEW

Central leader

Position tree so root flare is at or slightly above finished grade

Prior to mulching, lightly tamp soil around the root ball in 6" lifts to brace tree. Do not over compact. When the planting hole has been backfilled, pour water around the root ball to settle the soil

Create a smooth transition from the top of the raised root ball to the finished grade at a 15% max. slope.

Mulch: 4" depth; No more than 1" of Mulch on top of root ball. See specifications for Mulch

Finished grade

Planting Soil: MnDOT 3877 F Boulevard Topsoil Borrow; Planting Soils that are compacted after placement due to other construction activities need to be filled prior to planting operations.

Existing soil

CITY OF LAKE ELMO

STANDARD DRAWING NO. LP2.3

LAKE ELMO

CONIFEROUS TREE

L7.0