



3800 Laverne Avenue North
Lake Elmo, MN 55042

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NOTICE OF MEETING

The City of Lake Elmo
Planning Commission will conduct a meeting on
Monday August 9, 2021
at 7:00 p.m.

AGENDA

1. Pledge of Allegiance
2. Approve Agenda
3. Approve Minutes
 - a. July 26, 2021
4. Public Hearings
 - a. **VARAINE:** The Carmelite Hermitage of the Blessed Virgin Mary (aka Carmel of the Blessed Virgin Mary) have a requested City approval of a variance to the City requirement about having direct access onto a collector street for their facilities located at 8249 Demontreville Trail. The Lake Elmo Zoning Code requires places of worship, such as chapels, to have “direct access” onto a collector or arterial public street. Their current request is to construct a new driveway to Demontreville Trail rather than use the existing driveway through the adjacent property owned by the Jesuits to create a new access to Demontreville Trail (a collector street). This proposed new driveway would be to the north and east of the existing driveway, would serve their entire property and would be used as the access for the existing Hermitage and the proposed future chapel.
 - b. **ZONING CODE TEXT AMENDMENT, FINAL PLAT AND CONDITIONAL USE PERMIT.** Mr. Joshua Calederon, representing Enterprise Holdings, is requesting several City approvals to allow for the development of an Enterprise Rent-A-Car facility. They are proposing this new facility for the vacant lot on the east side of Jade Trail, north of Hudson Boulevard. The requests include:
 1. An amendment to the City Zoning Code to allow for the rental and sale of motor vehicles on the same site; and
 2. Approval of a final plat for the property; and
 3. Approval of a conditional use permit (CUP) to have a motor vehicle sales and rental facility on a property in the commercial zoning district.
 - c. **FINAL PUD PLAN AND FINAL PLAT:** Mr. Robert Engstrom is requesting City approval of the Final PUD Plan and Final Plat for Wildflower and Lake Elmo 4th Addition. This request is for the 4th and final phase of the development and would create 19 prairie-style lots for single-family homes and 22 courtyard lots for villa-style single-family homes.
5. New/Unfinished Business
 - a. None

6. Communications/Updates

a. City Council Update

07-20-2021 Meeting – Zoning Code Text Amendment (Accessory Structures in Shoreland District), Tree Preservation Ordinance Amendment

08-04-2021 Meeting – Launch/Crossroads Properties Preliminary PUD (Hudson Blvd and Lake Elmo Avenue), Zoning Ordinance Text Amendment – Setbacks in Agricultural Zoning District

b. Staff Updates

c. Upcoming PC Meetings:

1. August 23, 2021
2. September 13, 2021

7. Adjourn

***Note: Every effort will be made to accommodate person or persons that need special considerations to attend this meeting due to a health condition or disability. Please contact the Lake Elmo City Clerk if you are in need of special accommodations.



**City of Lake Elmo
Planning Commission Meeting
Minutes of July 26, 2021**

Commission Chair Risner called to order the meeting of the Lake Elmo Planning Commission at 7:00 p.m.

COMMISSIONERS PRESENT: Risner, Graen, Mueller, Steil, Vrieze, Weeks

COMMISSIONERS ABSENT: none

STAFF PRESENT: Planning Director Roberts, City Planner Prchal

Pledge of Allegiance at 7:00 PM

Commissioner Introduction: New Planning Commissioner Micah Vrieze

Approve Agenda:

M/S/P: Steil/Weeks moved to approve the agenda. **Vote: 6-0, motion carried unanimously.**

Approve Minutes:

M/S/P: Graen/Mueller moved to approve the Planning Commission minutes of June 28th, 2021.

Vote: 6-0, motion carried unanimously.

Public Hearings:

- a. Variances and Lot Division – 3100 Lake Elmo Avenue (Dorschner)

City Planner Ben Prchal presented the staff report. He explained that City has received two variance requests from applicant Dale Dorschner, for the property located at 3100 Lake Elmo Ave. The first request is for a variance from the City Code minimum lot width requirement of 125 feet in the Rural Single Family (RS) district. He also noted that the second variance request is to have a front yard setback of 30 feet from the County Road right-of-way instead of 50 feet as required for properties within the Shoreland District. The proposed lots would meet the allowed size for the property and should meet all other setbacks and impervious surface requirements.

Prchal explained that the Commission is being asked to hold a public hearing, review, and make a recommendation on the variance requests that would allow for a lot to be subdivided into two lots, resulting in a one lot that would meet all zoning requirements (there is an existing home on the lot) and one lot that would not meet the zoning district's minimum lot width requirement or required setback from the County Road right-of-way.

Mr. Prchal noted that City staff notified all the property owners within 350 feet of this property about the public hearing about the variance requests. City staff received three comments:

- Theodore & Ellen Kohn 3160 Lake Elmo Ave – Not Supportive.
- Mark Zdechlik 3078 Lake Elmo Ave. – Not Supportive.

- Todd & Marjorie Williams 3025 Lake Elmo Ave. – Supports the lot split but does not support the setback variance request.

Applicant Dale Dorschner spoke about the history of the lot and the reasoning behind the variance requests. Mr. Dorschner reiterated that there is no plan to build a home on this site at this time.

Commissioner Risner opened the public hearing at 7:42 PM

Mark Zdechlik - 3078 Lake Elmo Ave – spoke against this variance and lot division.

William Charlton 3095 Lake Elmo Ave N – spoke against this variance and lot division.

M/S/P: Risner/Weeks moved to close the public hearing **Vote: 6-0, motion carried unanimously.**

Commissioner Risner closed the public hearing at 7:52 PM.

M/S/P: Weeks/Steil moved to recommend approval of the variance request of 13 feet for the proposed Parcel B for the property located at 3100 Lake Elmo Ave that will allow for the creation of a new lot with a minimum lot width of 112 feet which allows the proposed lot split to occur.

There was discussion amongst the Commission, brought up by Commissioner Graen, that the language of the motion needed to be made clear.

M/S/P: Graen/Risner moved to amend the motion which calls for the striking the verbiage that allows for the proposed lot split to occur, and the creation of Parcel A potentially non-conforming, given the measurements that were provided by the applicant to the City at time of review. **Vote: 6-0, amendment carried unanimous.**

M/S/P: Weeks/Steil moved to recommend approval of the variance request of 13 feet for the proposed Parcel B for the property located at 3100 Lake Elmo Ave creation of a new lot with the minimum lot width of 112 feet and the creation of Parcel A potentially becoming non-conforming based off of measurements provided to the City. **Vote: 5-1, 5 Ayes, 1 Nay (Vrieze) motion carried.**

M/S/P: Steil/Vrieze moved to recommend denial of the front yard setback variance request of 20 feet, which would allow a 30 foot front yard setback instead of the required 50 feet for the property identified as Parcel B, south of the property addressed as 3100 Lake Elmo Avenue with recommended findings and conditions. **Vote: 5-1, 5 Ayes, 1 Nay (Weeks) motion carried.**

b. Zoning Code Text Amendment – Setback Requirements in the Agricultural (A) Zoning District

City Planner Ben Prchal presented the staff report. He explained that the Agricultural (A) zoning district now requires a 200 foot setback from all property lines for all buildings. Staff has done a review of surrounding Cities to understand if Lake Elmo has a larger than normal setback for buildings in the agricultural district. Being that zoning district descriptions can vary from City to City it should be known that Staffs evaluation was primarily focused on districts obviously classified as agricultural or rural. Also, the setback(s) measurements that were reviewed were only from property lines not wells, HWL, etc.

Prchal explained that the Planning Commission is being asked to hold a public hearing and review the proposed ordinance amendments about the required setbacks for buildings within the Agricultural Zoning District.

Commissioner Risner opened the public hearing at 8:34 PM

There were no comments from the public.

Commissioner Risner closed the public hearing at 8:34 PM.

The Commission then discussed the pros and cons of the proposed ordinance amendment that would change the minimum required setback for buildings in the Agricultural Zoning District from 200 feet to 100 feet.

M/S/P: Vrieze/Graen moved to recommend approval of the proposed code amendment(s) that would reduce the required setback(s) for buildings within the Agricultural Zoning District as they have been drafted. **Vote: 4 Ayes– 2 Nay (Steil, Weeks). Motion passed.**

Communications/Updates

City Council Update

07-06 2021 Meeting – Planning Commission Appointment – Micah Vrieze

07-20-2021 Meeting – Zoning Code Text Amendment (Accessory Structures in Shoreland District), Tree Preservation Ordinance Amendment

Staff Updates: Director Roberts noted that August 2, 2021 would be Mr. Prchal's last day working for the City. He publicly thanked him for his service to the City.

Upcoming PC Meetings:

- August 9, 2021
- August 23, 2021

Meeting adjourned at 8:51 PM.

Respectfully submitted,

Diane Wendt
Permit Technician

Land Use Application – Variance
Carmelite Hermitage of the Blessed Virgin Mary
9 July 2021

Property Location

All of Government Lot 4 in Section 9, Township 29 north, Range 21 west, City of Lake Elmo, Washington County, Minnesota, according to government survey containing 59.4 acres of land. Also the south 30.6 acres of Government Lot 4 in Section 4, and of the southwest quarter of the southeast quarter of said Section 4, all in Township 29 north, Range 21 west, according to government survey, being the south 688 feet thereof.

Detailed Reason for the Request

In 1954, the Discalced Carmelite Nuns of Saint Paul, a non-profit corporation under the laws of the State of Minnesota, were looking for property upon which to build a permanent monastery. They were advised of the property which they now own and entered into negotiations with the owners of the property.

On 2 February 1954, Phillip C. Mackey and his wife Bernadine R. Mackey conveyed their property, along with its easement, to the Discalced Carmelite Nuns of Saint Paul by warranty deed, dated that day, and filed for record in Washington County, Minnesota, on 4 February 1954. As part of their deed of purchase, they obtained a right of way across the neighboring property to the north (owned by the Jesuit Retreat House) which gave them access to Demontreville Trail. This right of way has existed since 1904. At the time that the Carmelite Nuns purchased their property, the right of way across the Jesuit property was the only access from a public road to the Carmelite property, and it remains the only access today. The Carmelite Nuns have used this right of way continuously for 66 years.

In 1987 Carmel of the Blessed Virgin Mary (aka Carmelite Hermitage, Carmelite Hermitage of the Blessed Virgin Mary) was incorporated in the State of Minnesota as a community of Carmelite Priests and Brothers. In December of 1991, the City of Lake Elmo approved a master plan for the Carmelite Hermitage consisting of four phases: Phase 1, consisting of a community building and garage was constructed in 1991/92. Phase 2, consisting of a central courtyard with covered walkways (cloister) was constructed in 2001/2002. Phase 3 consists of a chapel and is the building we would now like to construct. Phase 4 will consist of a guest building and library. We hope to commence Phase 4 around 2022. Additionally, in 1991 the City of Lake Elmo granted a variance to the Carmelite Hermitage because the Hermitage also uses the easement over Jesuit land to access Demontreville Trail. The Jesuit Retreat House made no objection to the variance. The Carmelite Fathers and Brothers have used the easement continuously for 34 years.

In the intervening years, the Carmelite Hermitage has built four new buildings. In 2007, it requested and received an amendment to its master plan to add an additional building. This building was built in 2008. The Carmelite Hermitage was not asked to obtain a new variance for any of these construction projects.

In 2020, the Carmelite Hermitage applied for and received a CUP from the City of Lake Elmo to construct a small chapel, shown as phase three on its master plan. An objection was raised by the Jesuit Retreat House which maintained that the Carmelite Hermitage needed a new variance to proceed with its chapel project because it does not meet the CUP requirements established by the City in 2000 and amended in 2006. Since there was doubt about the scope and language of the original variance granted to the Carmelite Hermitage, as well as doubt about the meaning of the word *direct* in the City's CUP requirements, City staff suggested that the Carmelite Hermitage apply for a new variance which would clarify all issues related to access to our property. In a spirit of cooperation, The Carmelite Hermitage agreed to apply for a new variance. The City Council granted the variance in August 2020 as well as the CUP to build the chapel.

Because of the City Council's approval of the variance and the CUP, the Jesuit Retreat House sued the City of Lake Elmo, the Carmelite Hermitage, and the Discalced Carmelite Nuns. The Carmelite Hermitage and the Discalced Carmelite Nuns reached an out-of-court settlement with the Jesuit Retreat House on November 1, 2020. The Jesuit Retreat House agreed to give the two Carmelite monasteries a new easement through its property, farther away from its retreat buildings. In return, the Carmelite Hermitage agreed to relinquish its approved variance and CUP, and to apply for a new variance and CUP based upon a new driveway to be built over the new easement. It was agreed that the new driveway would be built before the new chapel was commenced. It was further agreed that, once the the new driveway is built, the Discalced Carmelite Nuns would relinquish their existing easement, and that all future traffic to the Carmelite monasteries would utilize the new driveway. It was agreed, however, that for emergencies, either road could be used by any institution or by first responders. Another clause of the agreement states that the new driveway must built before construction on the new chapel could begin. For this reason, the Carmelite Hermitage is now applying only for a variance for the new driveway. It intends to apply for a new CUP in late fall or winter of 2021.

Variance Request, Practical Difficulties:

The Carmelite Hermitage of the Blessed Virgin Mary requests a variance from the direct access requirement of Section 154.600(B)(2) of the City Code. It further requests that the variance apply to all 90 acres of the property owned by the Discalced Carmelite Nuns of St. Paul and that the variance apply to all buildings currently existing on the property as well as all buildings shown on its approved master plan which remain to be built.

Strict enforcement of the City Code requiring direct access creates not only a practical difficulty but a serious hardship in that we would be unable to complete our monastery as planned and approved in 1991 by the City of Lake Elmo. In 1991, The City Council recognized the hardship that existed with regard to access to our property, and the Council granted us a variance at that time.

2.a.

Owner of Record

Discalced Carmelite Nuns of Saint Paul
8251 Demontreville Trail

Lake Elmo, MN 55042
651-777-3882

Officers of the Corporation

Sr. Angela Barrett
Sr. Maravillas Schwab
Sr. Marie Siegmund

Applicant

Carmelite Hermitage of the Blessed Virgin Mary
8249 Demontreville Trail
Lake Elmo, MN 55042
651-779-7351
carmelbvm@gmail.com

Officers of the Corporation

Reverend John Burns
Br. Joseph Bubanko
Br. Christopher Burnside

2.b.

Legal Description of the Property

All of Government Lot 4 in Section 9, Township 29 north, Range 21 west, City of Lake Elmo, Washington County, Minnesota, according to government survey containing 59.4 acres of land. Also the south 30.6 acres of Government Lot 4 in Section 4, and of the southwest quarter of the southeast quarter of said section 4, all in Township 29 north, Range 21 west, according to government survey, being the south 688 feet thereof.

PID

0902921120002

(Please note that the new driveway will pass over Jesuit property: PID 0402921340001)

Parcel Size

90.109 acres
3,924,760 square feet

Existing Use of the Land

Religious. Two religious communities reside on the property. The members of the communities engage in a life of prayer, worship, gardening, arts, and crafts. The public is welcome to visit the monasteries at suitable hours and to worship with them.

Current Zoning

Public Facility (PF)

2.c.

Section 154.600(B)(2)a. “Direct access is provided to a public street classified by the Comprehensive Plan as major collector or arterials.”

2.d.

The Carmelite Hermitage of the Blessed Virgin Mary and the Discalced Carmelite Nuns of St. Paul intend to build a new driveway over land owned by the Disabled Carmelite Nuns and the Jesuit Retreat House and terminating on Demontreville Trail which is a major collector street. The Carmelite monasteries request a variance from the direct access requirement of Section 154.600(B)(2) of the City Code. It further requests that the variance apply to all 90 acres of the property owned by the Discalced Carmelite Nuns of St. Paul and that the variance apply to all buildings currently existing on the property as well as all buildings shown on its master plan which remain to be built.

2.e.

In December of 1991, the City of Lake Elmo approved the master plan of the Carmelite Hermitage consisting of four phases: Phase 1, consisting of a community building and garage was constructed in 1991/92. Phase 2, consisting of a central court yard with covered walkways (cloister) was constructed in 2001/2002. Phase 3 consists of a chapel and is the building we would now like to construct. Phase 4 will consist of a guest building and library. Additionally, the City of Lake Elmo granted a variance to the Carmelite Hermitage in 1991 since the Hermitage also used the easement over Jesuit land to access Demontreville Trail. The Jesuit Retreat House made no objection to the variance.

When the Carmelite Hermitage applied in 2019 for a CUP in order to build a chapel (phase 3 of its master plan), an attorney for the Jesuit Retreat House sent a letter to the City Attorney contending that the variance of 1991 is not valid for the construction of the chapel because the CUP code enacted by the City in 2000 and amended in 2006 requires direct access to a collector road or major arterials. The City Attorney stated that an argument can be made that the Carmelite Hermitage do not have direct access. Furthermore the City Attorney contended that the 1991 variance applied only to the building which we built in 1991. We disputed this interpretation because it contradicted the practice of the City to date. We have built several buildings since 1991, including one in 2007 which required an amendment to our master plan, and in none of these cases did the City require a new variance. Nevertheless, we have agreed to apply for a new variance in order to clarify all issues related to access to our property.

2.f.

The circumstances of our property are quite unique in that the property has never bordered a public road since it was divided from the property to the north of it in 1904. At that time, an unrestricted easement through the northern property was given in order that the southern property could have access to Demontreville Trail. The Discalced Carmelite Nuns received this easement as part of their deed of purchase.

In 2011 the Carmelite nuns acquired three small lots that border their property as well as Hidden Bay Trail. The lots are undeveloped and have no driveways into them. Hidden Bay Trail is not a collector road or major arterial street. It is not suitable as an access road to our property.

Strict enforcement of the City Code requiring direct access creates not only a practical difficulty but a serious hardship in that we would be unable to complete our monastery as planned and as approved by the City of Lake Elmo in 1991.

2.g.

Our plight was in no way created by ourselves; it is rather the result of the division of the property in 1904. Our circumstances were recognized as unique by the City Council in 1991, and for this reason the Council granted us a variance.

2.h.

Granting a variance will in no way alter the essential character of the neighborhood. The only change to the existing neighborhood will be the addition of a new driveway onto Demontreville Trail a few hundred feet east of the existing driveway to the Jesuit Retreat House. The new driveway will enter Demontreville Trail at a point which is removed from other existing driveways and with good visibility in both directions. This section of Demontreville Trail contains only a few homes with very large lot sizes. There will be no disturbance to neighbors. Traffic to the monasteries will remain more or less as it has been in the past ten years.



Demontreville Jesuit Retreat House

8243 Demontreville Trail N

Lake Elmo, MN 55042-9545

Phone: 651-777-1311 E-mail: demontreville@aol.com

Mr. Ken Roberts
Planning Director
City of Lake Elmo
3800 Laverne Avenue North
Lake Elmo, MN 55042

July 14, 2021

Dear Ken,

I am writing in regard to the proposed driveway for the Carmelite Nuns and Hermits on the property of the Demontreville Jesuit Retreat House (8243 Demontreville Trail N, Lake Elmo, MN 55042).

With the approval of the Board of Directors of Jesuit Retreat House, and as its Director, I approve the proposed construction of a driveway for the Carmelite Nuns and the Carmelite Hermits which will run from Demontreville Trail to the Carmelite property through land owned by Jesuit Retreat House.

Sincerely,

Thomas A. Lawler S.J.

Fr. Thomas Lawler, S.J.

Director

RECEIVED

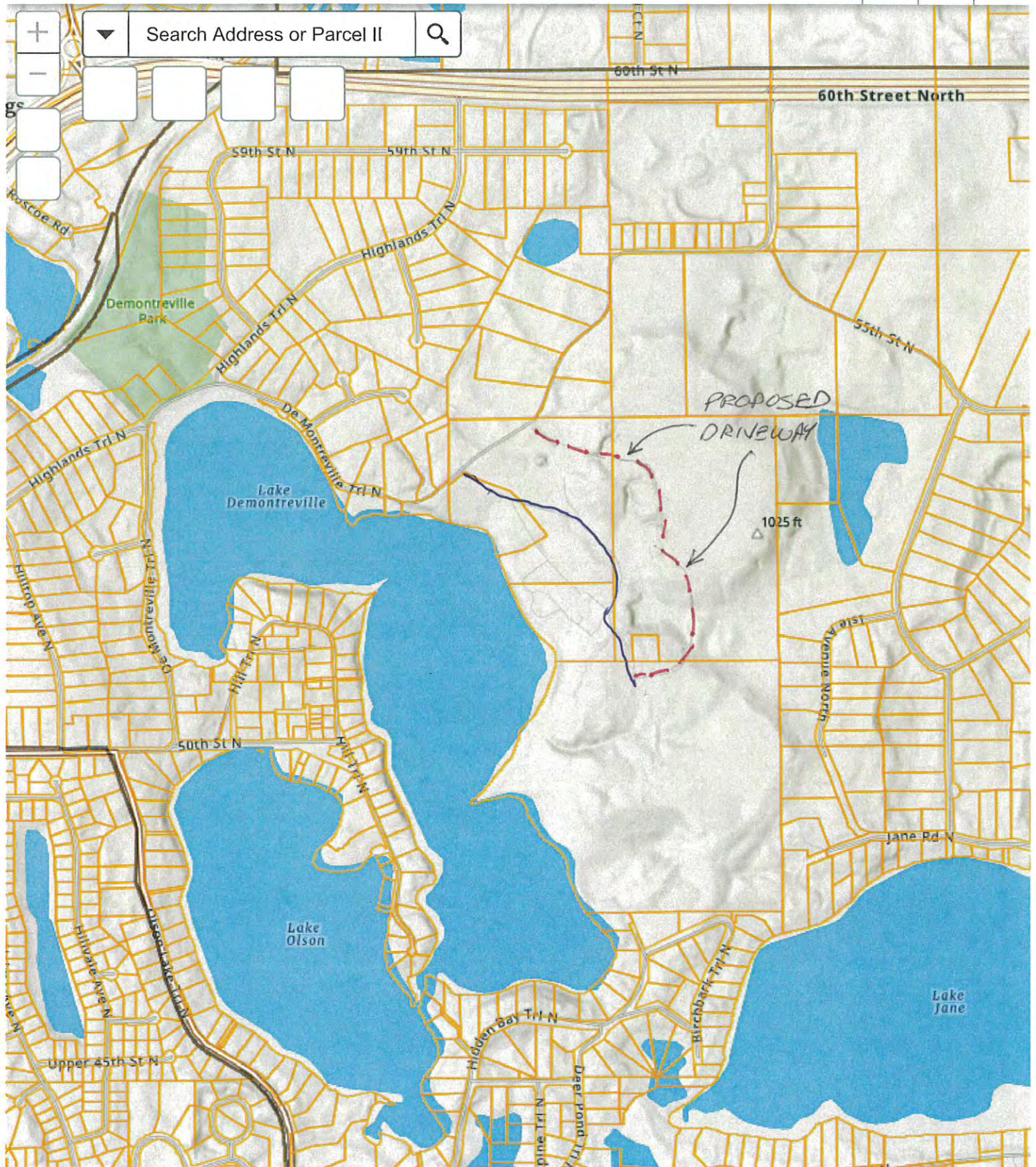
JUL 16 2021

CITY OF LAKE ELMO

Parcel Viewer - Quick Access

Beta

Washington Co.



0.2mi

-92 877 45 037 Degrees

LOCATION MAP

Parcel Viewer - Quick Access

Beta

Washington Co.



600ft

-92 902 45 025 Degrees

PROPERTY LINE MAP

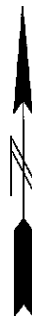
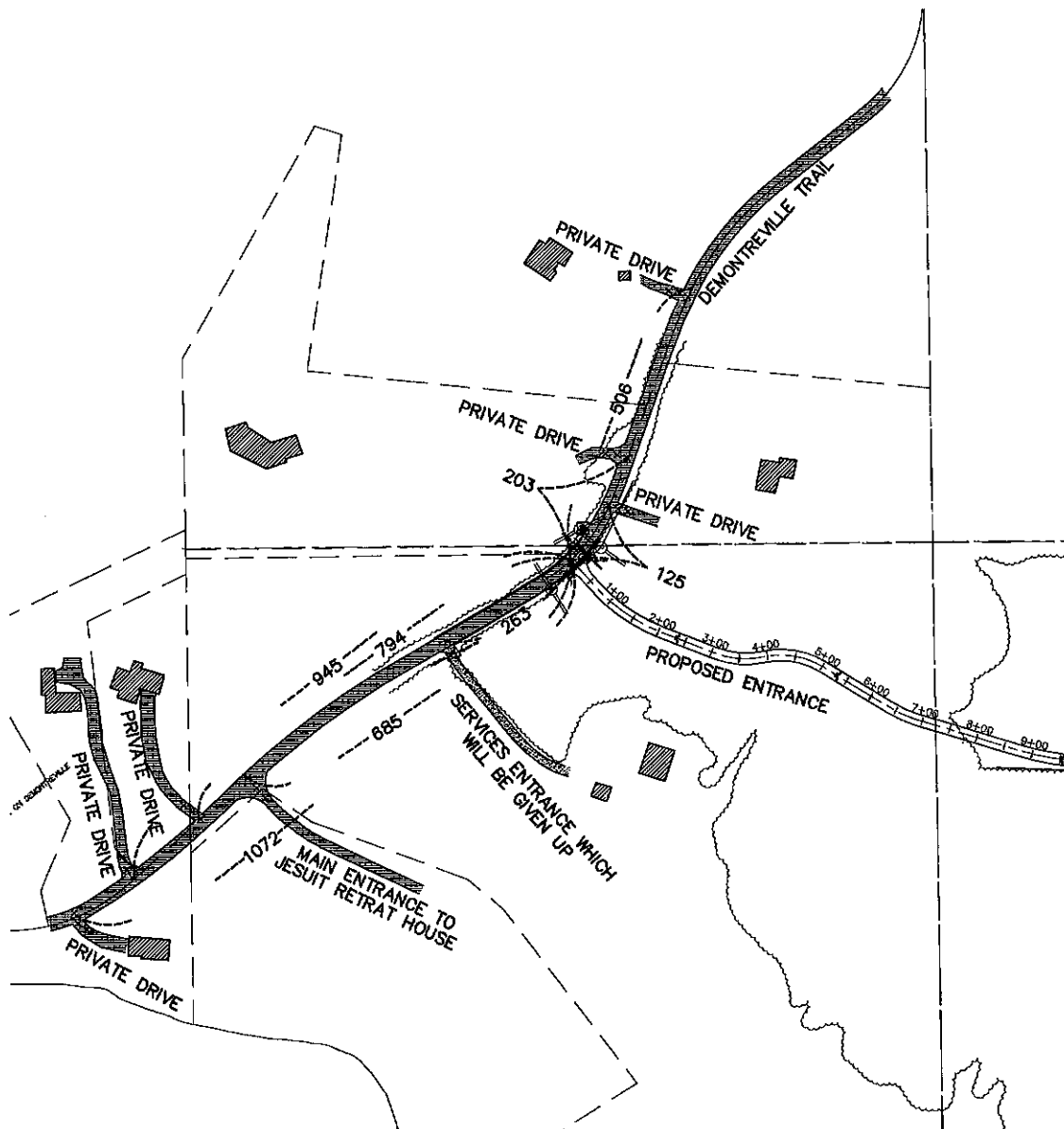
Parcel Viewer - Quick Access

Beta

Washington Co.



AERIAL PHOTO



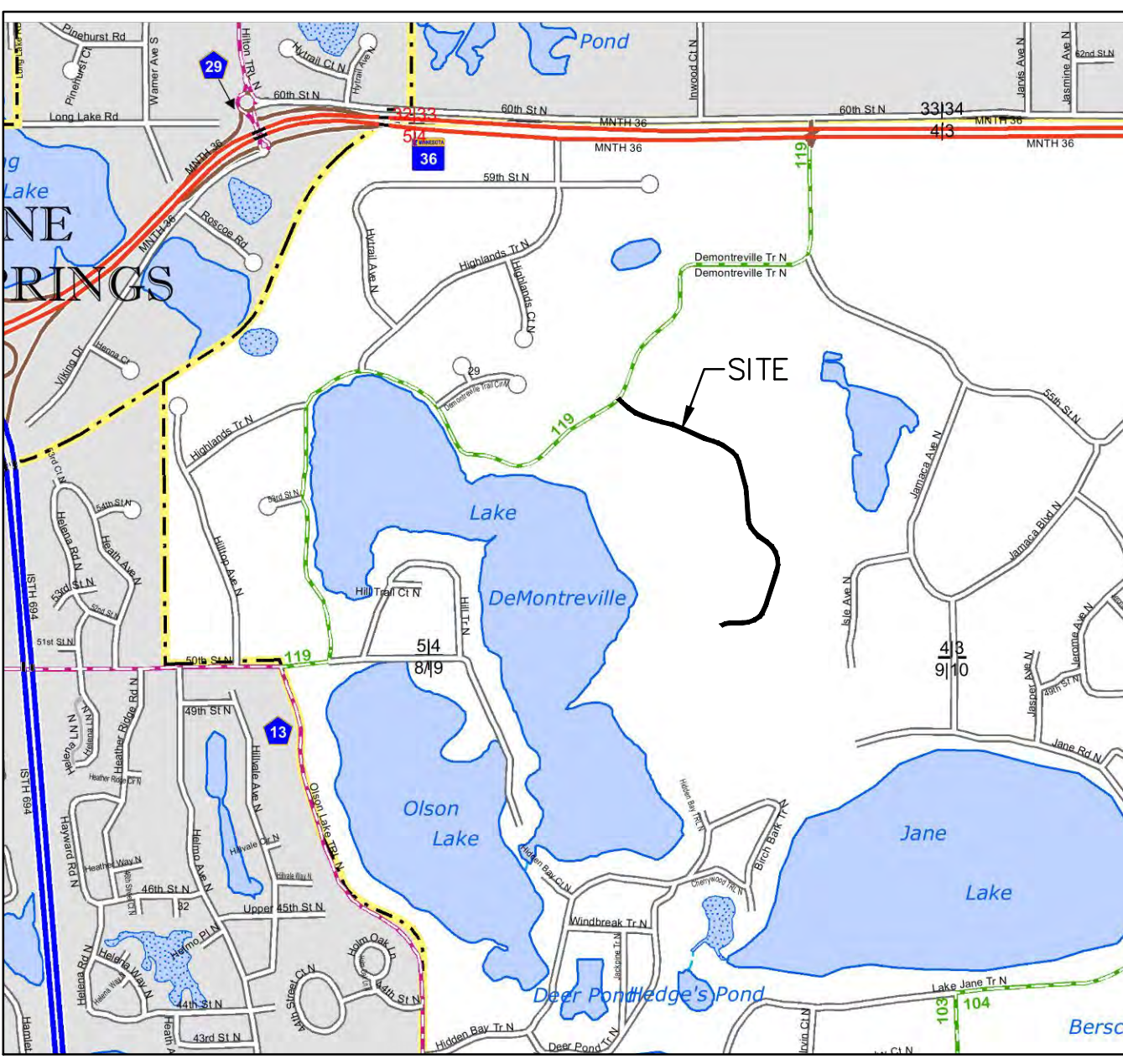
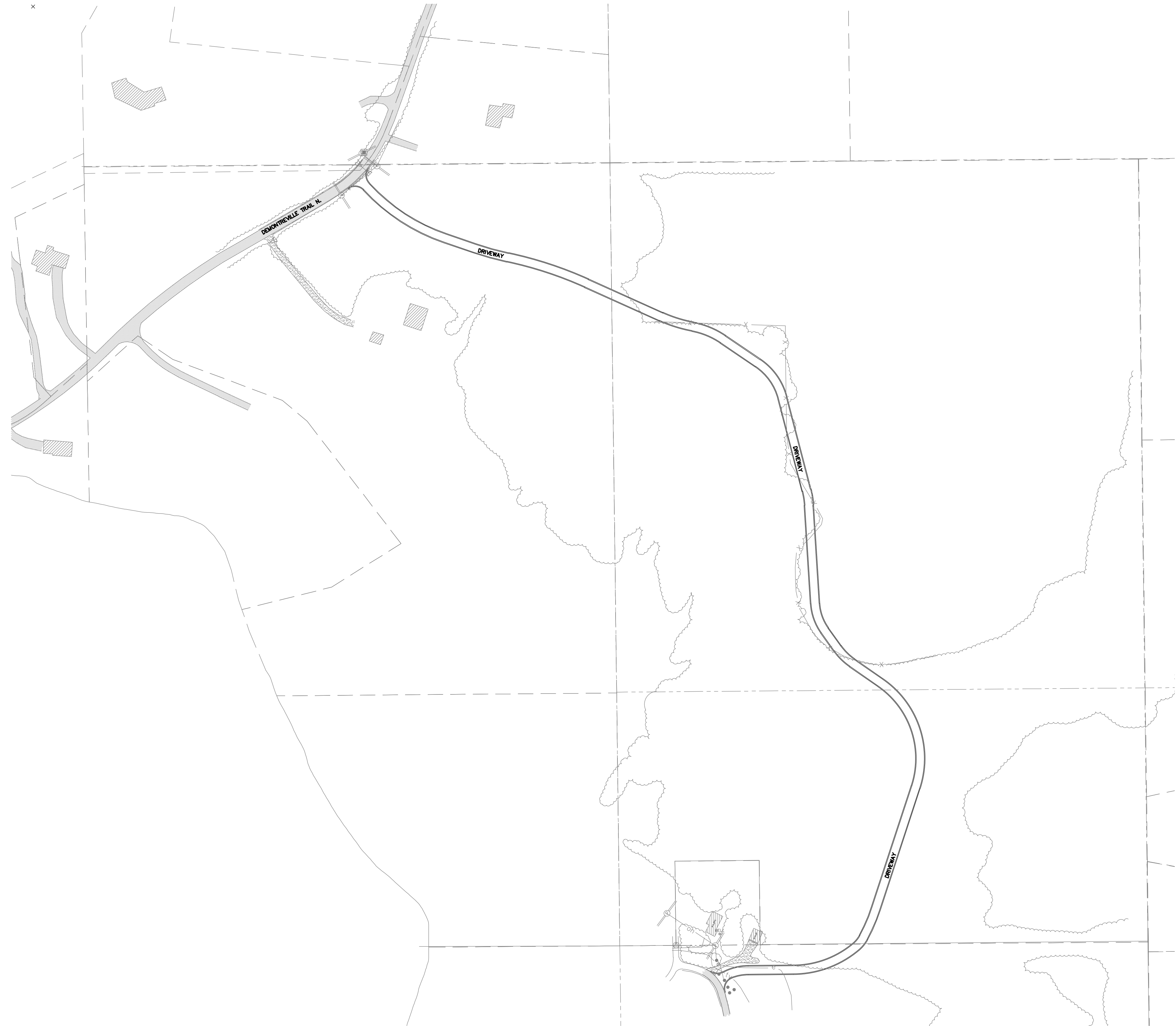
Sheet
1 of 1

PIONEERengineering
CIVIL ENGINEERS LAND PLANNING LAND SURVEYORS LANDSCAPE ARCHITECTS
2422 Butzprize Drive
Menota Heights, MN 55120
(651) 681-1914
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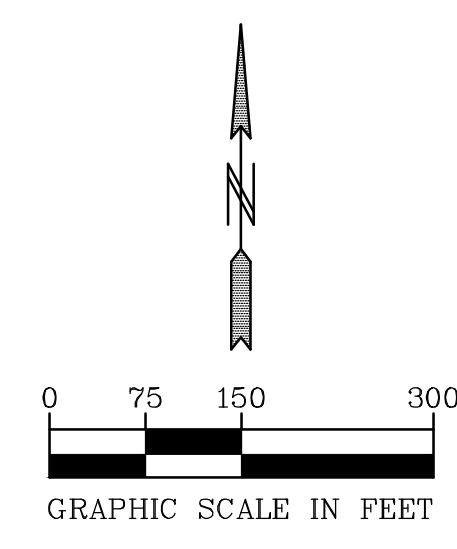
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Date: 2-4-21
Revised: 2-16-21, 2-17-21
Folder #: 8345
Drawn by: NJK

Sketch for:
**CARMELITE MONASTERY
DRIVEWAY**

CARMELITE MONASTERY DRIVEWAY FINAL GRADING UTILITY & STREET CONSTRUCTION PLAN LAKE ELMO, MINNESOTA



LOCATION MAP



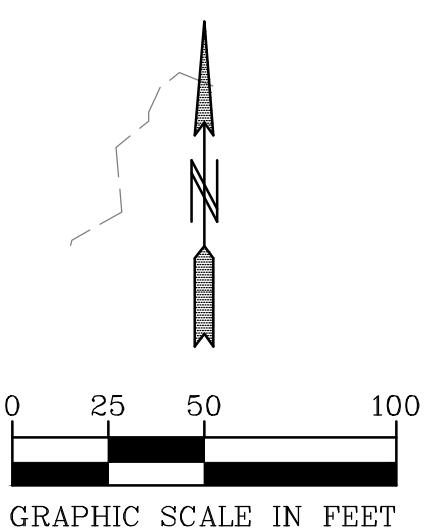
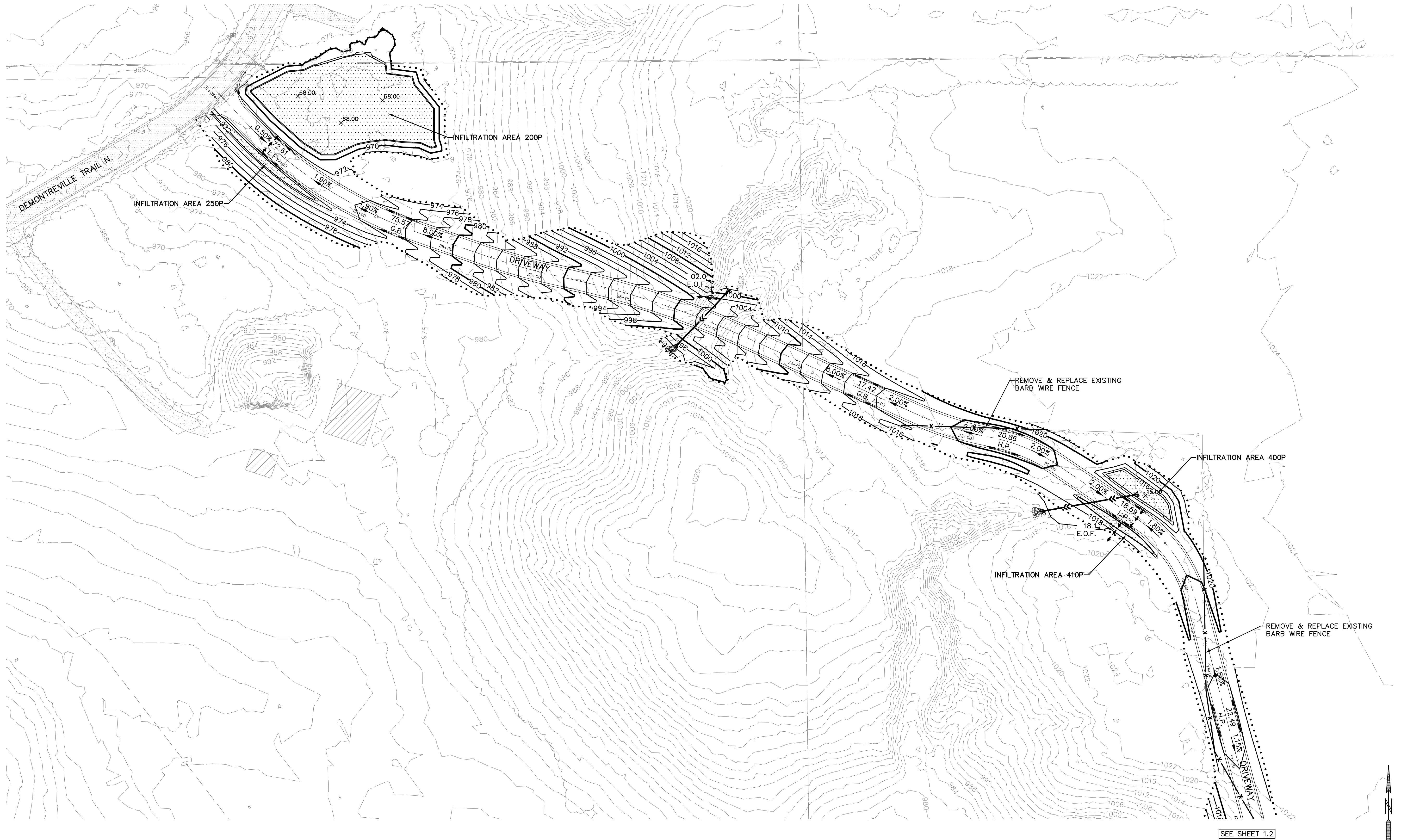
SHEET INDEX

- 0.1 COVER
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- 2.1-2.3 EROSION CONTROL PLAN
- 3.1 SEEDING PLAN
- 4.1 SWPPP
- 5.1-5.2 GRADING DETAILS
- 6.1 WALKING PATH CONSTRUCTION
- 7.1 STORM SEWER CONSTRUCTION
- 8.1-8.3 DRIVEWAY CONSTRUCTION
- 9.1 CITY DETAILS

LEGEND			
EXISTING	PROPOSED	FUTURE	DESCRIPTION
			SANITARY MANHOLE
			SANITARY SEWER (SANITARY & WATERMAIN PLANS)
			SANITARY SEWER (STORM SEWER PLANS)
			FORCE MAIN
			HYDRANT
			GATE VALVE
			REDUCER
			CURB STOP
			WATERMAIN (SANITARY & WATERMAIN PLANS)
			WATERMAIN (STORM SEWER PLANS)
			CATCH BASIN
			BEEHIVE
			STORM MANHOLE
			FLARED END SECTION
			CONTROL STRUCTURE
			STORM SEWER (SANITARY & WATERMAIN PLANS)
			STORM SEWER (STORM SEWER PLANS)
			CULVERT
			PERFORATED DRAINTILE
			SOLID DRAINTILE SERVICE
			CASING
			UNDERGROUND ELECTRIC LINE
			UNDERGROUND FIBER OPTIC LINE
			UNDERGROUND GAS PIPELINE
			UNDERGROUND PETROLEUM PIPELINE
			UNDERGROUND TELEPHONE LINES
			UNDERGROUND TELEVISION LINE
			OVERHEAD UTILITY LINES
			SURMOUNTABLE CURB & GUTTER
			B-STYLE CURB & GUTTER
			RIBBON CURB & GUTTER
			EDGE OF BITUMINOUS
			YELLOW PAVEMENT STRIPING (SINGLE/DOUBLE)
			WHITE PAVEMENT STRIPING (SINGLE/DOUBLE)
			PHASE LINE
			CENTERLINE
			2' CONTOUR LINE
			10' CONTOUR LINE
			BASIN OUTLET LINE
			BASIN HIGH WATER LINE
			PROPOSED SPOT ELEVATION
			EMERGENCY OVERFLOW
			DRAINAGE FLOW ARROW
			DELINEATED / PROPOSED WETLAND LINE
			WETLAND BUFFER
			TREE LINE
			FEMA FLOODPLAIN BOUNDARY
			RETAINING WALL
			FENCE (BARBED WIRE)
			FENCE (CHAIN LINK)
			FENCE (WOOD)
			CONSERVATION AREA SIGN
			WETLAND BUFFER SIGN
			TYPE III BARRICADE
			LIGHT POLE
			STREET SIGNS
			PEDESTRIAN RAMP
			BOUNDARY
			RIGHT OF WAY
			LOT LINE
			EASEMENT
			SET BACK LINE
			SECTION LINE
			RESTRICTED ACCESS
HATCH PATTERNS			
	GRAVEL SURFACE		WETLAND
	BITUMINOUS SURFACE		WETLAND UPLAND BUFFER
	CONCRETE SURFACE		WETLAND MITIGATION
	RIP RAP		PERMANENT TURF RESTORATION
	SELECT BACKFILL MATERIAL		PERMANENT WET BASIN SEEDING
	EROSION CONTROL BLANKET MNDOT CATEGORY PER PLAN		UPLAND/NATURAL AREA SEEDING

TOPOGRAPHIC SYMBOLS	
	CATCH BASIN
	CATCH BASIN BEEHIVE
	FLARED END SECTION
	GATE VALVE
	HYDRANT
	WATER SERVICE
	WATER WELL
	MONITORING WELL
	CLEANOUT
	HAND HOLE
	MANHOLE OTHER THAN SANITARY OR STORM
	SANITARY OR STORM MANHOLE
	LAWN SPRINKLER VALVE
	LAWN SPRINKLER HEAD
	UTILITY POLE
	TRANSFORMER BOX
	FIBER OPTIC BOX
	ELECTRIC BOX
	NATURAL GAS METER
	LIGHT POLE
	SEMAPHORE
	TELEPHONE BOX
	CABLE BOX
	CAST IRON MONUMENT
	FOUND IRON PIPE
	JUDICIAL LAND MARK
	PK NAIL
	CONTROL POINT
	SPIKE
	FLAG POLE
	TEST HOLE
	MAILBOX
	SIGN
	BOLLARD
	CONSERVATION POST
	DECIDUOUS TREE
	CONIFEROUS TREE
	SHRUB / BUSH
EROSION & SEDIMENT CONTROL	
	STANDARD EROSION CONTROL
	HEAVY-DUTY EROSION CONTROL
	SECONDARY EROSION CONTROL FENCE
	EROSION CONTROL AT BACK OF CURB
	TREE FENCE
	TEMPORARY DIVERSION DITCH
	CATCH BASIN INLET PROTECTION
	STRAW BIO ROLLS
	ROCK BERM
	SUMPED RIP RAP PERMANENT ENERGY DISSIPATER
	DISCHARGE LOCATION
	GRAVEL CONSTRUCTION ENTRANCE
	TEMPORARY OUTLET FLOATING SKIMMER
	BASIN ACCESS 8% SLOPE MAX.
	STABILIZED EMERGENCY OVERFLOW
	STEEP SLOPE 3:1 (H:V) (33.3%) OR STEEPER GRADE
CURB LEGEND	
	= TOP OF CURB ELEVATION FOR SURMOUNTABLE CURB
	= TOP OF CURB ELEVATION FOR SURMOUNTABLE CURB (TIP OUT GUTTER)
	= TOP OF CURB ELEVATION FOR B618 CURB
	= TOP OF CURB ELEVATION FOR B618 CURB (TIP OUT GUTTER)
	= BITUMINOUS ELEVATION

ABBREVIATIONS	
A	ALGEBRAIC DIFFERENCE
B-B	BACK TO BACK
BV	BUTTERFLY VALVE
BOC	BACK OF CURB
BFE	BASE FLOOD ELEVATION
BMP	BEST MANAGEMENT PRACTICE
CL	CENTER LINE
CB	CATCHBASIN
CBMH	CATCHBASIN MANHOLE
CMP	CORRUGATED METAL PIPE
CO	CLEAN OUT
CS	CURB STOP
DIP	DUCTILE IRON PIPE
DT	DRAINTILE
EL/ELEV	ELEVATION
EX	EXISTING
FES	FLARED END SECTION
F-F	FACE TO FACE
FM	FORCEMAIN
GB	GRADE BREAK
GND	GROUND
GV	GATE VALVE
HP	HIGH POINT
HYD	HYDRANT
HWL	HIGH WATER LEVEL
INV	INVERT
K	CURVE COEFFICIENT
L	LENGTH
LF	LOWEST FLOOR
LO	LOOKOUT
LO	LOWEST OPENING
LP	LIQUID PETROLEUM
LP	LOW POINT
MH	MANHOLE
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
PI	POINT OF INTERSECTION
PL	PROPERTY LINE
PRC	POINT OF REVERSE CURVATURE
PVT	POINT OF TANGENCY
PVC	POINT OF VERTICAL CURVATURE
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
R	RADIUS
R	RAMBLER
RCP	REINFORCED CONCRETE PIPE
ROW	RIGHT OF WAY
SSWR	SANITARY SEWER
STA	STATION
STRM	STORM SEWER
SWPPP	STORM WATER POLLUTION PROTECTION PLAN
TNH	TOP NUT HYDRANT
TYP	TYPICAL
WM	WATER MAIN
WO	WALKOUT
LOT INFORMATION	
(TYPICAL SECTION NOT TO SCALE)	
	<p>BLOCK NO.</p> <p>LOT NO.</p> <p>HOUSE TYPES</p> <p>R — RAMBLER OR SPLIT ENTRY</p> <p>LO — RAMBLER LOOKOUT OR SPLIT ENTRY WALKOUT</p> <p>WO — RAMBLER WALKOUT</p> <p>SE — SPLIT ENTRY</p> <p>SEWO — SPLIT ENTRY WALK OUT</p> <p>SLO — SIDE LOOKOUT</p> <p>SWO — SIDE WALKOUT</p>



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Name: Paul J. Chernie
Reg. No.: 19860 Date: 06-25-2021

Revisions

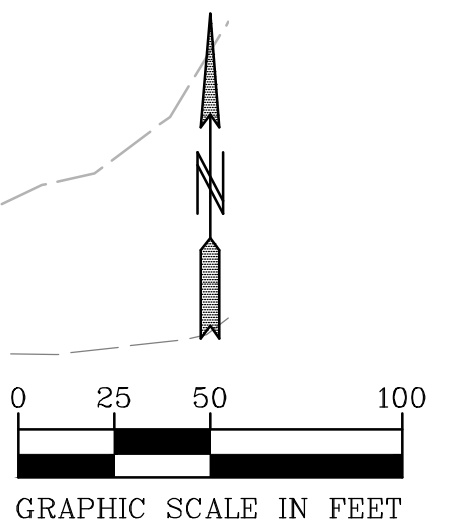
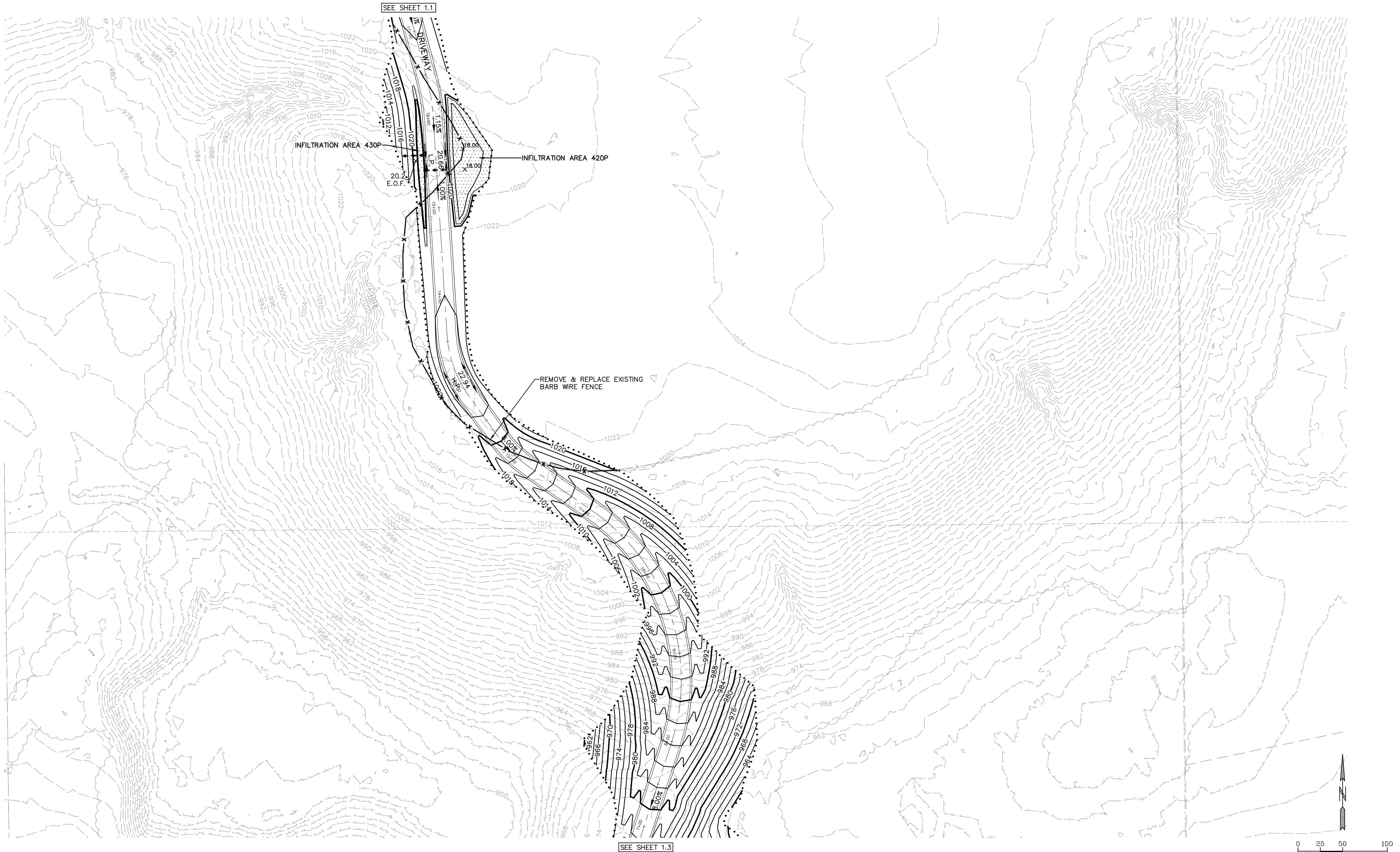
Date: 06-25-2021
Designed: PIC
Drawn: MSN

GRADING PLAN

CARMELITE HERMITAGE
8249 DEMONTREVILLE TRAIL NORTH
LAKE ELMO, MN 55042

CARMELITE MONASTERY DRIVEWAY
LAKE ELMO, MINNESOTA

1.1 OF 18



SEE SHEET 1.2



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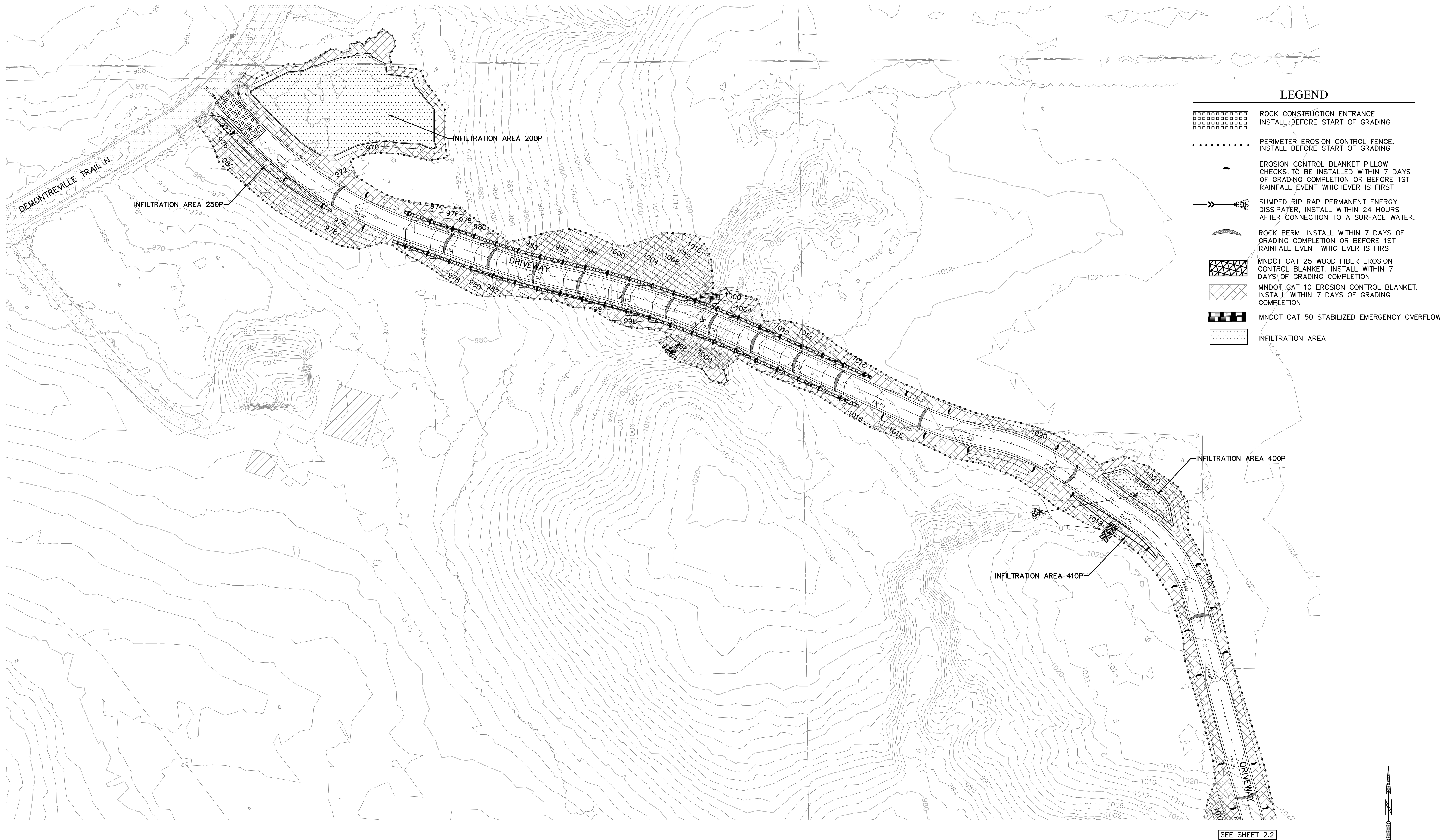
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Designed PJC
Drawn MSN

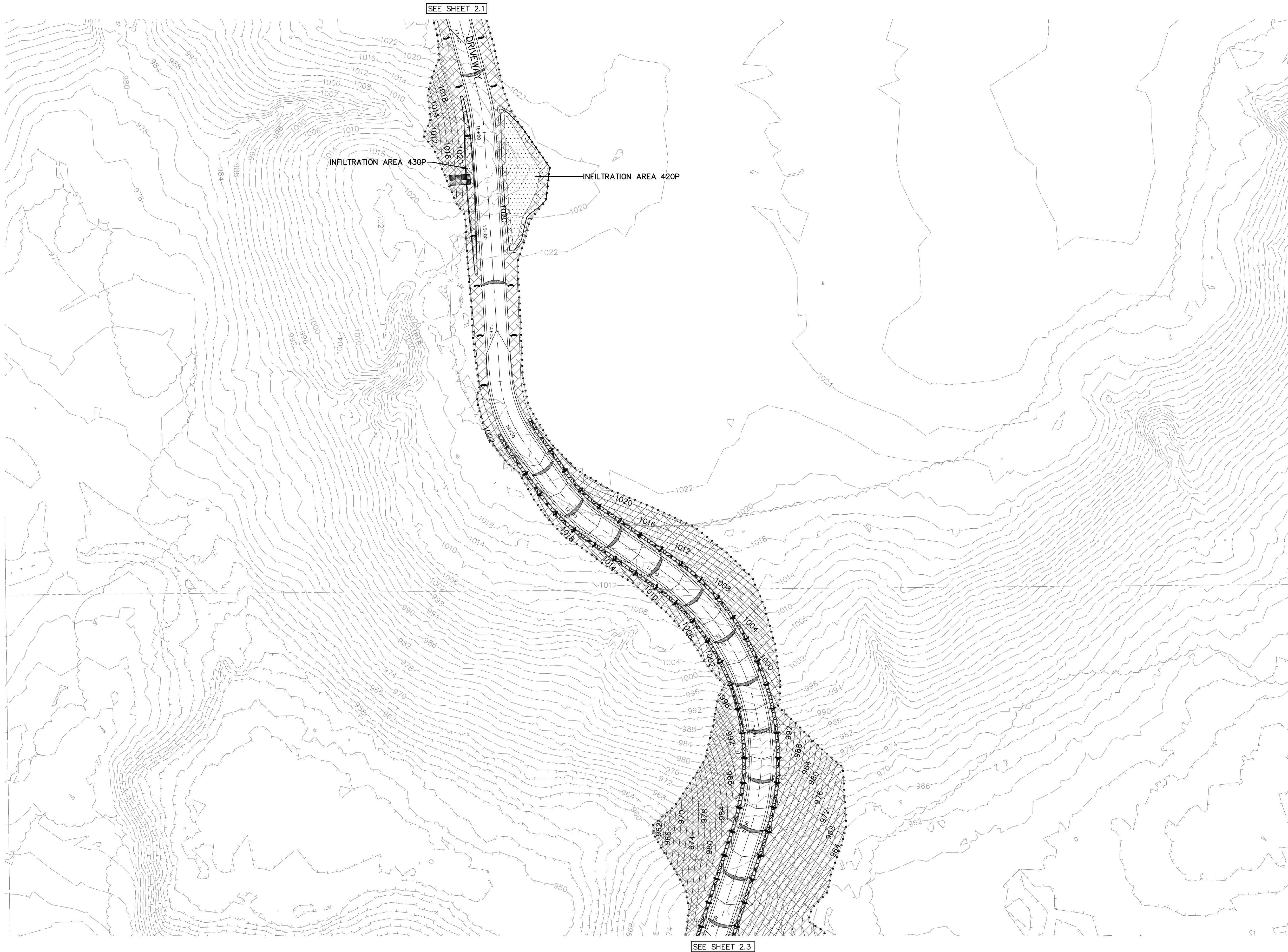
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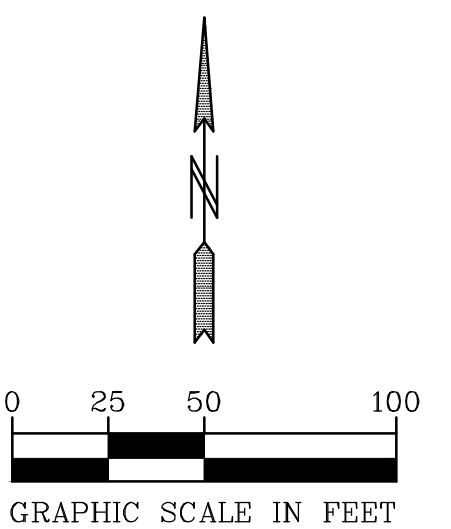
1.3 OF 18





LEGEND

- ROCK CONSTRUCTION ENTRANCE
INSTALL BEFORE START OF GRADING
- PERIMETER EROSION CONTROL FENCE.
INSTALL BEFORE START OF GRADING
- EROSION CONTROL BLANKET PILLOW
CHECKS TO BE INSTALLED WITHIN 7 DAYS
OF GRADING COMPLETION OR BEFORE 1ST
RAINFALL EVENT WHICHEVER IS FIRST
- SUMPED RIP RAP PERMANENT ENERGY
DISSIPATER, INSTALL WITHIN 24 HOURS
AFTER CONNECTION TO A SURFACE WATER.
- ROCK BERM. INSTALL WITHIN 7 DAYS OF
GRADING COMPLETION OR BEFORE 1ST
RAINFALL EVENT WHICHEVER IS FIRST
- MNDOT CAT 25 WOOD FIBER EROSION
CONTROL BLANKET. INSTALL WITHIN 7
DAYS OF GRADING COMPLETION
- MNDOT CAT 10 EROSION CONTROL BLANKET.
INSTALL WITHIN 7 DAYS OF GRADING
COMPLETION
- MNDOT CAT 50 STABILIZED EMERGENCY OVERFLOW
- INFILTRATION AREA



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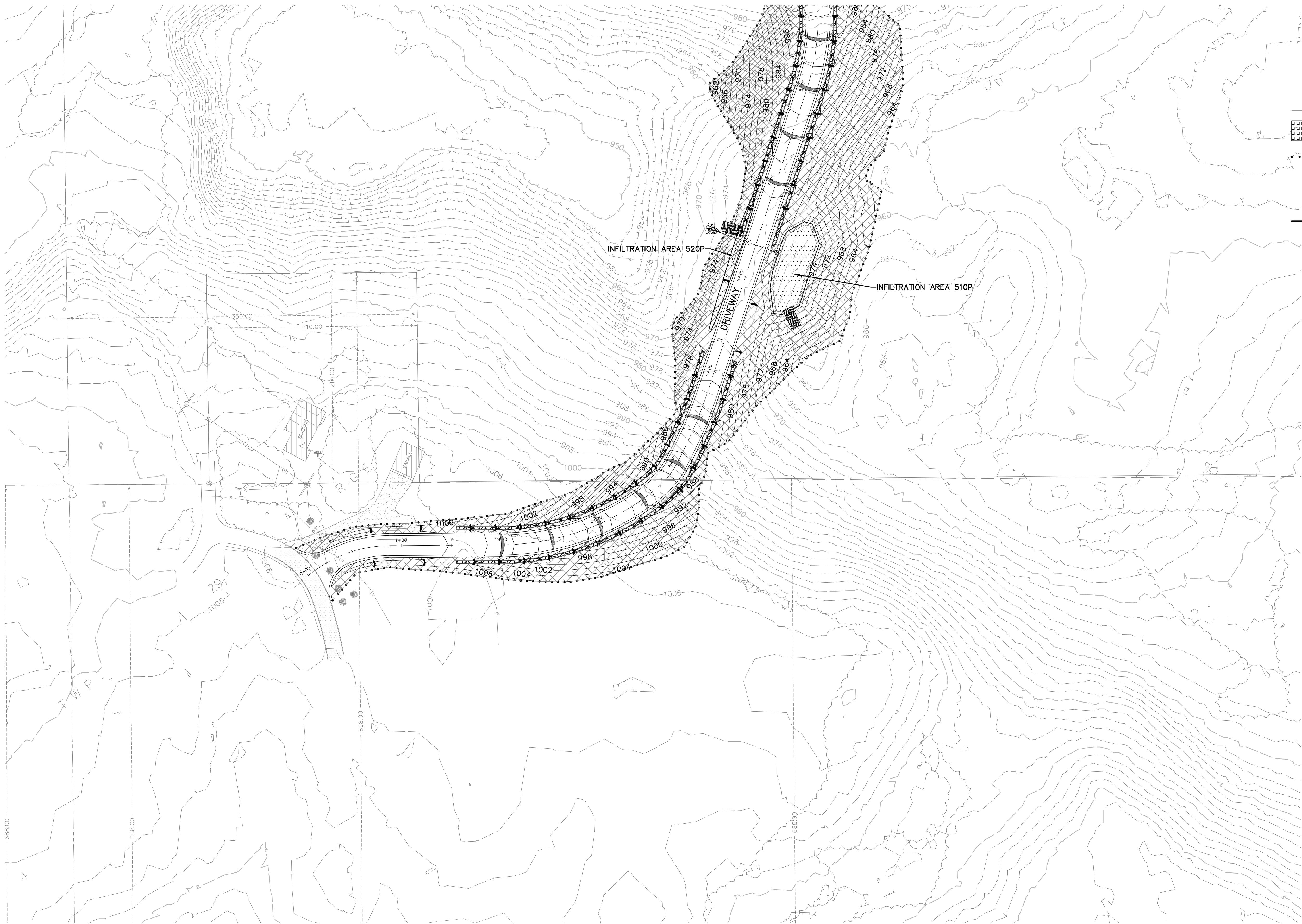
EROSION CONTROL PLAN

CARMELITE HERMITAGE
8249 DEMONTREVILLE TRAIL NORTH
LAKE ELMO, MN 55042

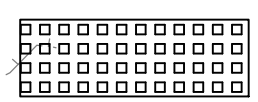
CARMELITE MONASTERY DRIVEWAY
LAKE ELMO, MINNESOTA

2.2 OF 18

SEE SHEET 2.2



LEGEND



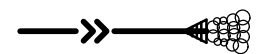
ROCK CONSTRUCTION ENTRANCE
INSTALL BEFORE START OF GRADING



PERIMETER EROSION CONTROL FENCE.
INSTALL BEFORE START OF GRADING



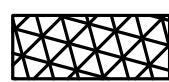
EROSION CONTROL BLANKET PILLOW
CHECKS TO BE INSTALLED WITHIN 7 DAYS
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SUMPED RIP RAP PERMANENT ENERGY
DISSIPATER, INSTALL WITHIN 24 HOURS
AFTER CONNECTION TO A SURFACE WATER.



ROCK BERM. INSTALL WITHIN 7 DAYS OF
GRADING COMPLETION OR BEFORE 1ST
RAINFALL EVENT WHICHEVER IS FIRST



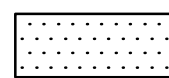
MNDOT CAT 25 WOOD FIBER EROSION
CONTROL BLANKET. INSTALL WITHIN 7
DAYS OF GRADING COMPLETION



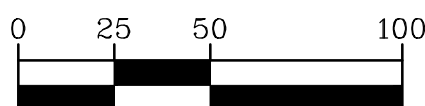
MNDOT CAT 10 EROSION CONTROL BLANKET.
INSTALL WITHIN 7 DAYS OF GRADING
COMPLETION



MNDOT CAT 50 STABILIZED EMERGENCY OVERFLOW



INFILTRATION AREA



GRAPHIC SCALE IN FEET

00-ENG-120111-SHEET-EROS

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Revisions

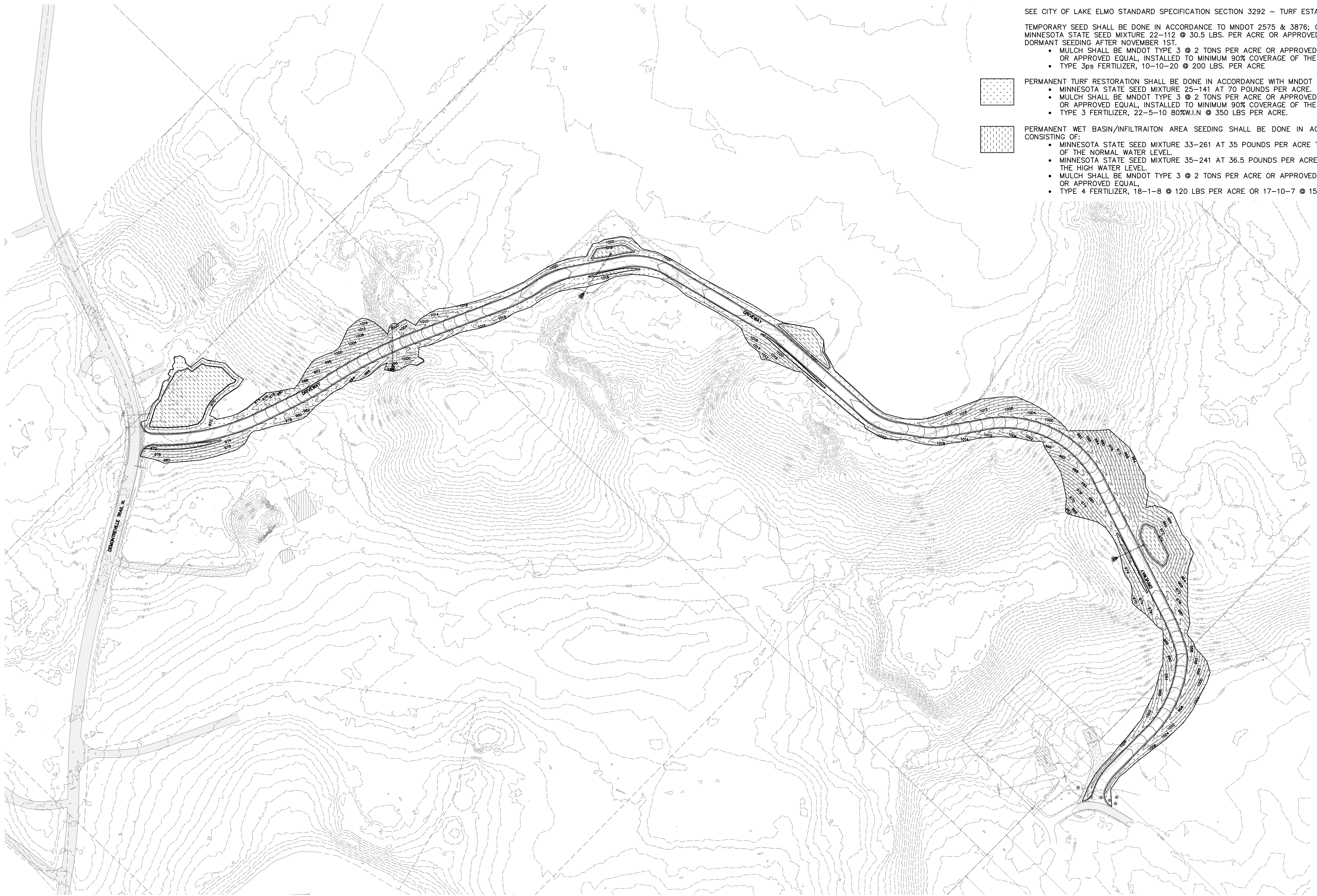
Date 06-25-2021
Designed PJC
Drawn MSN

EROSION CONTROL PLAN

CARMELITE HERMITAGE
8249 DEMONTREVILLE TRAIL NORTH
LAKE ELMO, MN 55042

CARMELITE MONASTERY DRIVEWAY
LAKE ELMO, MINNESOTA

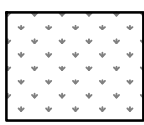
2.3 OF 18



SEE CITY OF LAKE ELMO STANDARD SPECIFICATION SECTION 3292 - TURF ESTABLISHMENT AND RESTORATION

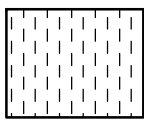
TEMPORARY SEED SHALL BE DONE IN ACCORDANCE TO MNDOT 2575 & 3876; CONSISTING OF:
MINNESOTA STATE SEED MIXTURE 22-112 @ 30.5 LBS. PER ACRE OR APPROVED EQUAL. DOUBLE SEED RATE FOR DORMANT SEEDING AFTER NOVEMBER 1ST.

- MULCH SHALL BE MNDOT TYPE 3 @ 2 TONS PER ACRE OR APPROVED EQUAL AND DISK ANCHORED IN PLACE OR APPROVED EQUAL, INSTALLED TO MINIMUM 90% COVERAGE OF THE SURFACE AREA DISTURBED.
- TYPE 3ps FERTILIZER, 10-10-20 @ 200 LBS. PER ACRE



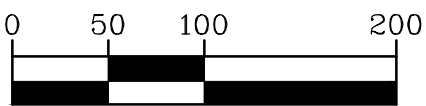
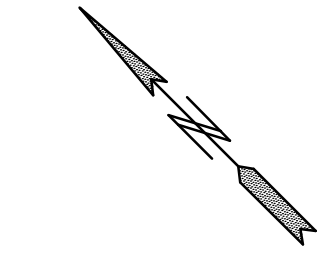
PERMANENT TURF RESTORATION SHALL BE DONE IN ACCORDANCE WITH MNDOT 2575 & 3876 CONSISTING OF:

- MINNESOTA STATE SEED MIXTURE 25-141 AT 70 POUNDS PER ACRE.
- MULCH SHALL BE MNDOT TYPE 3 @ 2 TONS PER ACRE OR APPROVED EQUAL AND DISK ANCHORED IN PLACE OR APPROVED EQUAL, INSTALLED TO MINIMUM 90% COVERAGE OF THE SURFACE AREA DISTURBED.
- TYPE 3 FERTILIZER, 22-5-10 80%W.I.N @ 350 LBS PER ACRE.



PERMANENT WET BASIN/INFILTRATION AREA SEEDING SHALL BE DONE IN ACCORDANCE WITH MNDOT 2575 & 3876 CONSISTING OF:

- MINNESOTA STATE SEED MIXTURE 33-261 AT 35 POUNDS PER ACRE TO BE PLANTED 10 FEET ON EITHER SIDE OF THE NORMAL WATER LEVEL.
- MINNESOTA STATE SEED MIXTURE 35-241 AT 36.5 POUNDS PER ACRE TO BE PLANTED FROM THE 33-261 TO THE HIGH WATER LEVEL.
- MULCH SHALL BE MNDOT TYPE 3 @ 2 TONS PER ACRE OR APPROVED EQUAL AND DISK ANCHORED IN PLACE OR APPROVED EQUAL.
- TYPE 4 FERTILIZER, 18-1-8 @ 120 LBS PER ACRE OR 17-10-7 @ 150 LBS PER ACRE



GRAPHIC SCALE IN FEET

00-ENG-120111-SHEET-SEED

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Name

Paul J. Cherno

Reg. No.

19860

Date

06-25-2021

Revisions

Date

06-25-2021

Designed

PJC

Drawn

MSN

SEEDING PLAN

CARMELITE HERMITAGE
8249 DEMONTREVILLE TRAIL NORTH
LAKE ELMO, MN 55042

CARMELITE MONASTERY DRIVEWAY
LAKE ELMO, MINNESOTA

3.1 OF 18

STORMWATER POLLUTION PREVENTION PLAN (SWPPP)

TO COMPLY WITH THE GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY

THE FULL SWPPP IS A SEPARATE DOCUMENT AVAILABLE UPON REQUEST

CONSTRUCTION ACTIVITY INFORMATION

PROJECT NAME: CARMELITE MONASTERY DRIVEWAY/CARMELITE HERMITAGE CHAPEL
PROJECT LOCATION:
DEMONTREVILLE TRAIL N, LAKE ELMO, MN
WASHINGTON COUNTY
LATITUDE/LONGITUDE: 45.028218, -92.936335

TOTAL PROJECT AREA DISTURBED: 8.9 ACRES
TOTAL EXISTING IMPERVIOUS AREA: 0.7 ACRES
TOTAL PROPOSED IMPERVIOUS AREA: 2.8 ACRES

RECEIVING WATERS:
LAKE DE MONTREVILLE

DATES OF CONSTRUCTION:

CONSTRUCTION START DATE: SEPTEMBER 1, 2021 EST. COMPLETION DATE: DECEMBER 31, 2023

CONTACT INFORMATION

PROJECT OWNER
CARMELITE HERMITAGE
REV. JOHN BURNS
8249 DEMONTREVILLE TRAIL NORTH
LAKE ELMO, MINNESOTA 55042
CARMELBVM@GMAIL.COM

CONTRACTOR:
T.A. SCHIFSKEY & SONS, INC.
2370 HIGHWAY 36 E
NORTH ST. PAUL, MINNESOTA 55109
651-777-1313

GENERAL CONSTRUCTION PROJECT INFORMATION

THE CONSTRUCTION OF NEW CHAPEL & PARKING LOT FOR CARMELITE HERMATICE. THIS WILL INCLUDE THE DRIVEWAY CONNECTION BEING CONSTRUCTED TO DEMONTREVILLE TRAIL N. THIS CONSTRUCTION WILL COMPLETE GRADING, INSTALLATION OF WATER SERVICE, STORM SEWER, CONCRETE CURB AND GUTTER, BITUMINOUS RURAL DRIVEWAY SECTION, LANDSCAPING, EROSION CONTROL AND TURF ESTABLISHMENT.

BASED ON THE NRCS SOIL REPORT GENERATED FOR THE SITE, SOILS ENCOUNTERED ON SITE ARE EXPECTED TO BE PRIMARILY SAND AND SILTY SAND.

GENERAL SITE INFORMATION (III.A)

- THE PROJECT IS REQUIRED TO MEET THE CONSTRUCTION STORMWATER REQUIREMENTS FOR THE NPDES GENERAL STORMWATER PERMIT AND MNDOT SPEC. 1717, 2573, AND 2575.
- THE CONTRACTOR SHALL INSTALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO STARTING WORK WITHIN THE APPLICABLE PORTION OF THE SITE.
- LOCATIONS, TYPE AND QUANTITY OF TEMPORARY AND PERMANENT EROSION CONTROL MEASURES CAN BE FOUND WITHIN THE CONSTRUCTION PLANS.
- THE PROJECT IS NOT LOCATED WITHIN 1 MILE AND FLOWS TO AN IMPAIRED WATER BODY. THEREFORE, THE PROJECT WILL NEED TO STABILIZE ALL EXPOSED SOILS NO LATER THAN 7 DAYS. DITCHES OR RAVINES THROUGHOUT THE PROJECT THAT ARE DISTURBED SHALL BE STABILIZED WITHIN 24 HOURS.
- THE CONTRACTOR SHALL INSTALL ADDITIONAL BMP'S AS NECESSARY AS DIRECTED BY THE ENGINEER TO PREVENT SEDIMENT TRANSPORT.
- INLET PROTECTION, SILT FENCE AND BIOROLLS SHALL BE INSTALLED IN THE FIELD AS SHOWN ON THE PLANS AS DIRECTED BY THE ENGINEER.

ENVIRONMENTALLY SENSITIVE AREAS:

- IMPAIRED WATERS – THERE ARE **NO** IMPAIRED WATERS.
- TMDL – THERE ARE **NO** ESTABLISHED TMDL PLANS.
- SCIENTIFIC OR NATURAL AREAS – THERE ARE **NO** SNA WITHIN 1 MILE OF THE PROJECT.
- KARST AREA – THE PROJECT IS **NOT** LOCATED WITHIN A KARST AREA.
- CALCAREOUS FENS – THE PROJECT DOES **NOT** DISCHARGE TO A FEN.

TRAINING (21.1)

THE CONTRACTOR SHALL ENSURE THAT THE TRAINING REQUIREMENTS IN PART 21.1 OF THE GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY ARE COMPLIED WITH. THE INDIVIDUALS TRAINED WILL BE RECORDED IN THE SWPPP BEFORE THE START OF CONSTRUCTION OR AS SOON AS PERSONNEL FOR THE PROJECT HAVE BEEN DETERMINED.

PROVIDE INFORMATION IN THE SPACE PROVIDED BELOW FOR ADDITIONAL PERSONNEL ON THE PROJECT AS REQUIRED BY THE PERMIT.

NAME	DATE	TRAINING PROGRAM

PERMANENT STORMWATER MANAGEMENT SYSTEM (15.1)

- THE PROJECT WILL CREATE A NEW CUMULATIVE IMPERVIOUS SURFACE GREATER THAN OR EQUAL TO ONE ACRE. THE PROJECT PROPOSES TO CONSTRUCT A STORMWATER TREATMENT SYSTEM TO COLLECT RUNOFF TO BE DISCHARGED OFFSITE. TREATMENT FOR THE RUNOFF IS TO BE EXECUTED BY THE PROPOSED STORMWATER MANAGEMENT SYSTEM. CALCULATIONS DETAILING THE BASINS ARE AVAILABLE UPON REQUEST.

EROSION PREVENTION PRACTICES (8.1)

- THE CONTRACTOR SHALL PHASE THE WORK TO LIMIT THE OVERALL DISTURBANCE OF THE PROJECT AT ANY GIVEN TIME. NATURAL VEGETATIVE BUFFERS SHALL BE MAINTAINED BETWEEN THE WORK LIMITS AND ALL SURFACE WATERS OR WETLANDS THROUGHOUT THE COURSE OF CONSTRUCTION.
- THE AREAS NOT TO BE DISTURBED WILL BE DELINEATED THROUGH THE USE OF SILT FENCE, BIOROLLS AND CONSTRUCTION STAKING.
- THE CONTRACTOR SHALL MAINTAIN A NATURAL, VEGETATED BUFFER ADJACENT TO THE WETLANDS WHEREVER POSSIBLE DURING CONSTRUCTION.
- TEMPORARY COVER SHALL BE PROVIDED USING TEMPORARY SEED WITH EROSION CONTROL BLANKET OR HYDROMULCH.
- PERMANENT COVER SHALL BE PROVIDED AS DETAILED ON THE CONSTRUCTION PLANS USING SEED WITH EROSION CONTROL BLANKET OR HYDROMULCH.
- THE CONTRACTOR IS REQUIRED TO PROVIDE ANY ADDITIONAL EROSION PREVENTION MEASURES NECESSARY FOR CONFORMANCE TO THE NPDES CONSTRUCTION PERMIT THROUGHOUT CONSTRUCTION.

SEDIMENT CONTROL PRACTICES (9.1)

- SILT FENCE AND ALL OTHER DOWN GRADIENT PERIMETER CONTROL DEVICES SHALL BE INSTALLED AS SHOWN ON THE PLAN SHEETS PRIOR TO ANY LAND DISTURBANCE ACTIVITY.
- EROSION CONTROL BLANKET AND BIOROLLS SHALL BE PLACED WITHIN THE DITCH BOTTOMS WITHIN 24 HOURS AFTER FINE GRADING.
- TEMPORARY STOCKPILES LOCATED ON SITE SHALL BE SEEDED, MULCHED OR BLANKETED AND HAVE SILT FENCE OR A BMP APPROVED BY THE ENGINEER IN THE FIELD PLACED AROUND THE BASE OF THE STOCKPILE.

DEWATERING AND BASIN DRAINING (10.1)

- DEWATERING IS NOT ANTICIPATED ON THIS PROJECT. HOWEVER, IF DEWATERING IS NECESSARY, THE CONTRACTOR SHALL SUBMIT A PLAN TO THE ENGINEER FOR ACCEPTANCE.
- IF THE DEWATERING OR PUMPING PROCESS IS TURBID OR CONTAINS SEDIMENT LADEN WATER, IT MUST BE TREATED THROUGH THE USE OF SEDIMENT TRAPS, VEGETATIVE FILTER STRIPS, FLOCCULANTS OR OTHER SEDIMENT REDUCING MEASURES SUCH THAT DISCHARGE IS NOT VISIBLY DIFFERENT THAN THE RECEIVING WATER.
- DISCHARGE DIRECTLY INTO A SURFACE WATER OR WETLAND IS NOT PERMITTED.**
- ALL CONSTRUCTION DEWATERING SHALL BE DISCHARGED TO AN APPROVED LOCATION FOR TREATMENT PRIOR TO DISCHARGE TO THE RECEIVING WATER. THE DEWATERING PLAN SHALL BE DEVELOPED AND SUBMITTED TO THE ENGINEER FOR REVIEW IN ACCORDANCE WITH MNDOT SPEC. 1717.2E.
- CONDITIONS OF THE SITE MAY REQUIRE A PERMIT TO BE OBTAINED FROM THE MINNESOTA DEPARTMENT OF NATURAL RESOURCES FOR WATER APPROPRIATIONS. THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS FOR DEWATERING.

INSPECTIONS AND MAINTENANCE (11.1)

- THE CONTRACTOR SHALL IDENTIFY A CERTIFIED EROSION AND SEDIMENT CONTROL SUPERVISOR TO CONDUCT WEEKLY SITE INSPECTIONS FOR THE PROJECT.
- THE CONSTRUCTION SITE SHALL BE OBSERVED AT LEAST ONCE EVERY 7 DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS AND 7 DAYS AFTER THAT.
- WHEN SEDIMENT IS OBSERVED UP TO APPROXIMATELY ONE-THIRD OF THE HEIGHT OF SILT FENCE, SEDIMENT SHALL BE REMOVED. SILT FENCE WILL BE REPLACED, OR SUPPLEMENTED IF IT BECOMES NON-FUNCTIONAL.
- WHEN NON-FUNCTIONAL BMP'S ARE FOUND THEY MUST BE REPAIRED, REPLACED OR SUPPLEMENTED WITH FUNCTIONAL BMP'S WITHIN 24 HOURS OF DISCOVERY OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.

POLLUTION PREVENTION MANAGEMENT MEASURES (12.1)

ALL WORK NECESSARY TO PROVIDE PROPER POLLUTION PREVENTION MEASURES SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT.

- COLLECTED SEDIMENT, ASPHALT AND CONCRETE MILLINGS, FLOATING DEBRIS, AND OTHER WASTE MUST BE DISPOSED OF PROPERLY AND MUST COMPLY WITH MPCA DISPOSAL REQUIREMENTS.
- OIL, GASOLINE, PAINT AND ANY HAZARDOUS SUBSTANCES MUST BE PROPERLY STORED, INCLUDING SECONDARY CONTAINMENT TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGES. RESTRICTED ACCESS TO STORAGE AREAS MUST BE PROVIDED TO PREVENT VANDALISM. STORAGE AND DISPOSAL OF HAZARDOUS WASTE MUST BE IN COMPLIANCE WITH MPCA REGULATIONS.
- EXTERNAL WASHING OF TRUCKS AND OTHER CONSTRUCTION VEHICLES IS NOT ALLOWED ON SITE. RUNOFF MUST BE CONTAINED AND WASTE PROPERLY DISPOSED OF. NO ENGINE DEGREASING IS ALLOWED ON SITE.
- ALL LIQUID AND SOLID WASTE GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER THAT DOES NOT ALLOW WASHOUT LIQUIDS TO ENTER THE GROUND WATER IS CONSIDERED AN IMPERMEABLE LINER. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTE MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA REGULATIONS. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
- ANY SPILLS OF HAZARDOUS MATERIALS AND/OR A MINIMUM OF 5-GALLONS PETROLEUM SHALL BE IMMEDIATELY REPORTED TO THE MPCA (STATE DUTY OFFICER: 1.800.422.0798 OR 651.297.8610). ANY SPILLS ABOVE THE REPORTABLE QUANTITIES LIMITS IN THE CODE OF FEDERAL REGULATIONS (CFR) TITLE 40, PART 302 SHALL BE REPORTED TO THE EPA NATIONAL RESPONSE CENTER (1.800.424.8802). IN ORDER TO REDUCE THE RISK OF HAZARDOUS MATERIALS COMING INTO CONTACT WITH STORM WATER, THE FOLLOWING PRACTICES WILL BE FOLLOWED: A) AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCTS REQUIRED TO DO THE WORK, B) ALL MATERIALS STORED ON SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND IF POSSIBLE, UNDER COVER, C) PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL UNLESS THE ORIGINAL CONTAINER CANNOT BE RESEALED, IN WHICH CASE THE ORIGINAL LABEL AND MATERIALS SAFETY DATA SHALL BE RETAINED, D) SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER, E) WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED BEFORE DISPOSING OF THE CONTAINER, F) THE MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED, AND G) THE OPERATOR WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ON SITE. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- ALL SANITARY WASTE WILL BE COLLECTED BY TEMPORARY SANITARY FACILITIES PROVIDED AT THE SITE BY THE CONTRACTOR THROUGHOUT THE CONSTRUCTION PROJECT. ALL CONSTRUCTION PERSONNEL SHALL UTILIZE TEMPORARY SANITARY FACILITIES, WHICH SHALL BE REGULARLY SERVICE BY A COMMERCIAL OPERATOR. TEMPORARY SANITARY FACILITIES SHALL BE PLACED IN A LOCATION WHERE ACCIDENTAL SPILLAGE OF THE FACILITY SHALL NOT DISCHARGE TO THE STORM SEWER SYSTEM.

FINAL STABILIZATION (4.1)

- ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED AS SHOWN ON THE CONSTRUCTION PLANS. METHODS TO ACHIEVE FINAL STABILIZATION INCLUDE: SEED WITH MULCH OR EROSION CONTROL BLANKET AND SOD.
- ALL AREAS SEEDED BY MEANS OF BROADCAST SEEDING SHALL BE HAND RAKED TO INCORPORATE THE SEEDS INTO THE TOPSOIL.
- EROSION CONTROL BLANKETS SHALL BE PLACED IN THE DITCH BOTTOM WITHIN 24 HOURS AFTER FINE GRADING. BIOROLLS SHALL BE PLACED IN CONJUNCTION WITH THE BLANKET IN THE DITCH BOTTOMS. THE BIOROLLS ARE INTENDED TO SERVE AS PERMANENT DITCH CHECKS.
- THE PERMITTEE WILL SUBMIT A NOTICE OF TERMINATION (NOT) WITHIN 30 DAYS AFTER FINAL STABILIZATION.

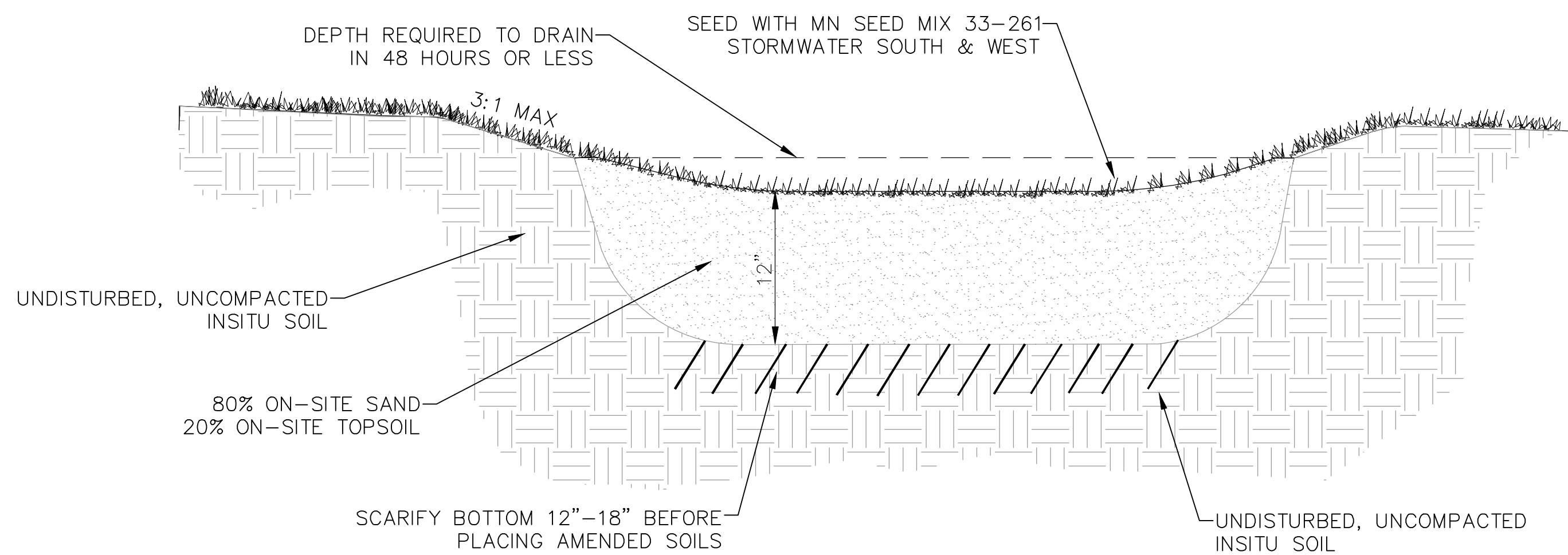
RECORDS RETENTION (5.1&6.1)

- RECORDS TO BE KEPT ON SITE DURING CONSTRUCTION INCLUDE:
 - COPY OF THE SWPPP AND AMENDMENTS
 - TRAINING DOCUMENTATION
 - INSPECTION AND MAINTENANCE RECORDS
- THIS SWPPP WILL BE AMENDED AS NEEDED AND/OR AS REQUIRED BY PROVISIONS OF THE PERMIT. ANY CHANGES TO TEH SWPPP SHALL BE NOTED BELOW AND ON THE APPLICABLE PLAN SHEETS.
- THE CONTRACTOR WILL RECORD CHANGES TO THE SWPPP AND MAINTAIN DOCUMENTATION OF THESE CHANGES ON SITE AT ALL TIMES. A SUMMARY MAINTENANCE/CONSTRUCTION OBSERVATION REPORT WILL BE RECORDED AFTER EACH SITE INSPECTION/OBSERVATION.
- THE CONTRACTOR WILL BE RESPONSIBLE TO MAINTAIN AND REPAIR THE EROSION AND SEDIMENT CONTROL BMP'S UNTIL FINAL STABILIZATION IS COMPLETE AND A NOTICE OF TERMINATION (NOT) IS SUBMITTED.

PROVIDE INFORMATION IN THE SPACE PROVIDED BELOW FOR AMENDMENTS TO THE SWPPP AS REQUIRED BY THE PERMIT.

AMENDMENT	BY	DATE

ITEM DESCRIPTION	UNIT	ESTIMATED QUANTITY
ROCK CONSTRUCTION ENTRANCE	EA	2
ROCK CONSTRUCTION MAINTENANCE	EA	2
EROSION CONTROL FENCE	LF	9742
MAINTENANCE OF PERIMETER EROSION CONTROL FENCE	YR	1
ROCK DITCH CHECK	EA	34
EROSION CONTROL BLANKET PILLOW CHECK	EA	158
STREET SWEEPING AND VACUUMING	YR	1
STORM DRAIN INLET PROTECTION	EA	2
PERMANENT SEED AND MULCH	AC	5.6
MAINTAIN SEED AND MULCH	AC	5.6
EROSION CONTROL BLANKET (MNDOT CAT. 20)	SY	20684
EROSION CONTROL BLANKET (MNDOT CAT. 25)	SY	1042
SPILL PREVENTION AND CONTROL	LS	1



INFILTRATION FACILITY CROSS SECTION

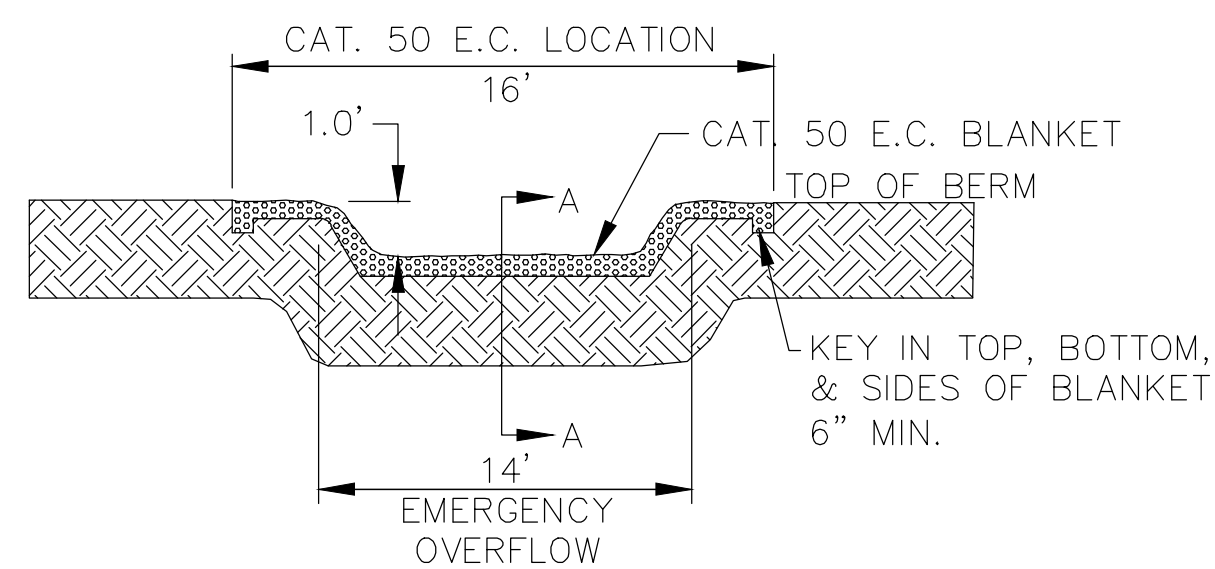
INFILTRATION BASIN CONSTRUCTION NOTES

CONSTRUCTION SEQUENCING

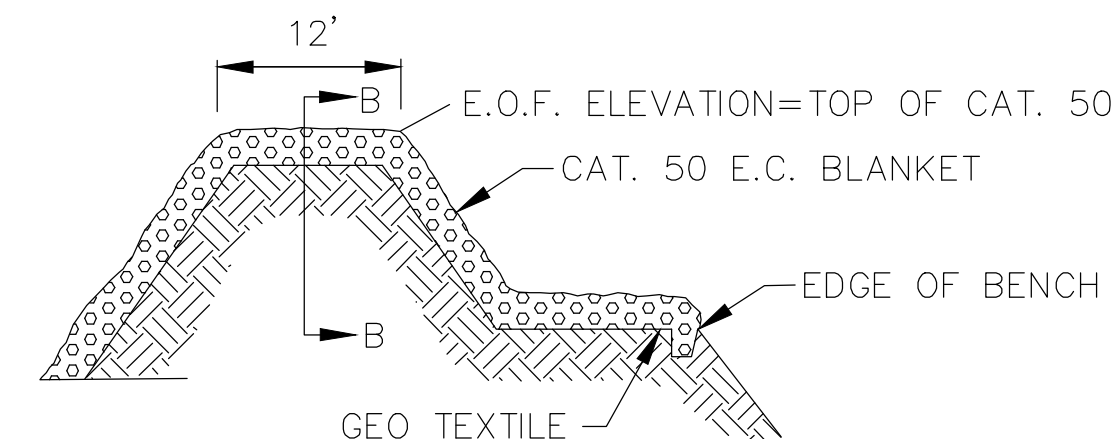
1. INSTALL SILT FENCE AND/OR OTHER APPROPRIATE EROSION CONTROL DEVICES TO PREVENT SEDIMENT FROM LEAVING OR ENTERING THE PRACTICE DURING CONSTRUCTION.
2. ALL DOWN-GRADIENT PERIMETER SEDIMENT CONTROL BMP'S MUST BE IN PLACE BEFORE ANY UP GRADIENT LAND DISTURBING ACTIVITY BEGINS.
3. PERFORM CONTINUOUS INSPECTIONS OF EROSION CONTROL PRACTICES.
4. INSTALL UTILITIES (WATER, SANITARY SEWER, ELECTRIC, PHONE, FIBER OPTIC, ETC) PRIOR TO SETTING FINAL GRADE OF RETENTION DEVICE.
5. ROUGH GRADE THE SITE. DO NOT USE RETENTION AREA AS TEMPORARY SEDIMENT BASINS.
6. PERFORM ALL OTHER SITE IMPROVEMENTS.
7. SEED AND MULCH ALL AREAS AFTER DISTURBANCE.
8. CONSTRUCT RETENTION DEVICE UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA.
9. IMPLEMENT TEMPORARY AND PERMANENT EROSION CONTROL PRACTICES.
10. PLANT AND MULCH RETENTION DEVICE.
11. REMOVE TEMPORARY EROSION CONTROL DEVICES AFTER THE CONTRIBUTING DRAINAGE AREA IS ADEQUATELY VEGETATED.

GENERAL NOTES

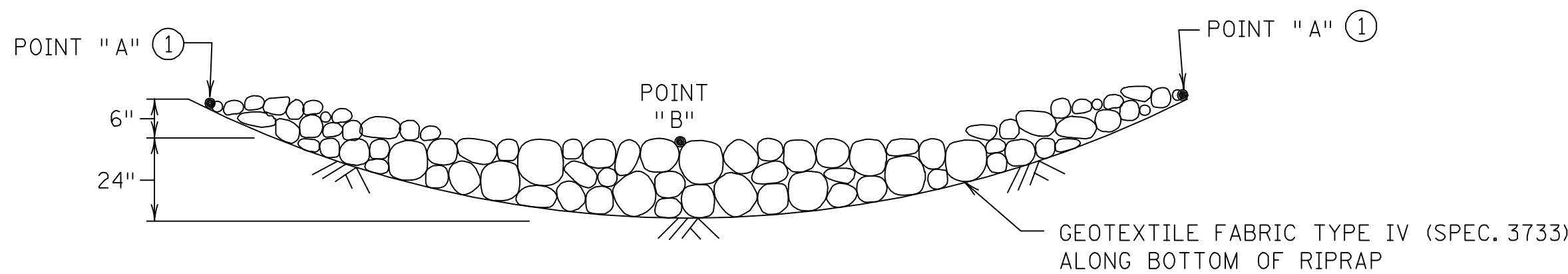
1. IN THE EVENT THAT SEDIMENT IS INTRODUCED INTO THE BMP DURING OR IMMEDIATELY FOLLOWING EXCAVATION, THIS MATERIAL SHALL BE REMOVED FROM THE PRACTICE PRIOR TO CONTINUING CONSTRUCTION.
2. GRADING OF RETENTION DEVICES SHALL BE ACCOMPLISHED USING LOW-COMPACTION EARTH-MOVING EQUIPMENT TO PREVENT COMPACTION OF UNDERLYING SOILS.
3. ALL SUB MATERIALS BELOW THE SPECIFIED BIORETENTION DEPTH (ELEVATION) SHALL BE UNDISTURBED, UNLESS OTHERWISE NOTED.
4. POST CONSTRUCTION TEST ON INFILTRATION BASIN SHALL BE REQUIRED. BASIN SHALL BE FILLED WITH WATER TO A MINIMUM DEPTH OF SIX INCHES (6") AND THE TIME TO DRAIN MUST BE DOCUMENTED. THE CITY OF LAKE ELMO MUST BE NOTIFIED PRIOR TO TESTING TO OBSERVE THE RESULTS.



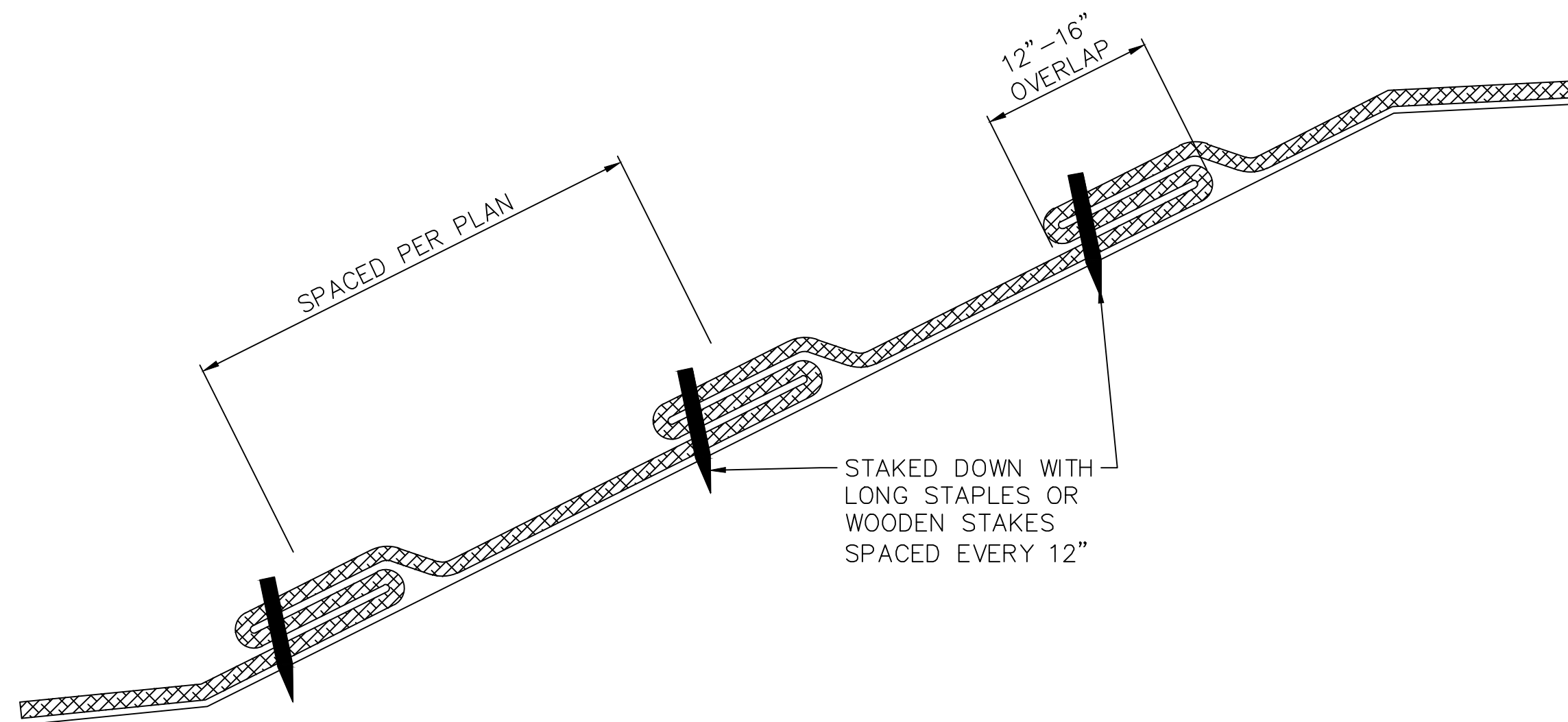
STABILIZED EMERGENCY OVERFLOW DETAIL
SECTION B-B



STABILIZED EMERGENCY OVERFLOW DETAIL
SECTION A-A



ROCK DITCH CHECKS
FILTER BERMS TYPE 3 (ROCK WEEPER) OR FILTER TYPE 5 (ROCK) ③
FOR USE ON ROUGH-GRADED AREAS
ONLY FOR USE OUTSIDE CLEAR ZONE ②



EROSION CONTROL BLANKET PILLOW CHECK DETAIL

1. THE CONTRACTOR SHALL CONDUCT OPERATIONS AND IMPLEMENT MINNESOTA POLLUTION CONTROL AGENCY (MPCA) BEST MANAGEMENT PRACTICES (BMP) TO CONTROL SITE SILTATION AND EROSION INTO DRAINAGE WAYS. THE CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS AND COMPLETION DATES RELATIVE TO ALL PERMITS ISSUED FOR THE WORK TO BE COMPLETED. THE ENGINEER MAY ISSUE A STOP WORK ORDER FOR ALL DEVELOPMENT WORK AND BUILDING CONSTRUCTION FOR NONCOMPLIANCE WITH THESE MEASURES.
2. SEQUENCING. ALL SILT FENCE AND OTHER EROSION CONTROL MEASURES SHALL BE IN PLACE AND APPROVED BY ENGINEER PRIOR TO ANY REMOVALS, EXCAVATION OR CONSTRUCTION AND SHALL BE MAINTAINED UNTIL Viable TURF OR GROUND COVER HAS BEEN ESTABLISHED AND APPROVED BY THE ENGINEER.
3. SILT FENCE. THE CONTRACTOR SHALL INSTALL SILT FENCE AT THE LOCATIONS SHOWN ON THE PLANS AND IN ACCORDANCE WITH THE CITY STANDARD DETAILS. SILT FENCE DAMS AND INTERIM SUMPS SHALL BE PLACED TO INTERCEPT SILT FROM CONCENTRATED RUNOFF FROM OPEN GRADED AREAS. ADDITIONAL SILT FENCE SHALL BE REQUIRED AS DIRECTED BY THE ENGINEER.
4. STOCKPILES. ALL STOCKPILE AREAS SHALL HAVE SILT FENCE OR SEDIMENT TRAPPING SYSTEMS PLACED AROUND THE ENTIRE PERIMETER.
5. INLET PROTECTION. THE CONTRACTOR SHALL INSTALL INLET PROTECTION ON ALL EXISTING STORM SEWER INLETS IN ACCORDANCE WITH THE CITY STANDARD DETAILS. INLET PROTECTION SHALL ALSO BE PROVIDED ON ALL PROPOSED STORM SEWER INLETS IMMEDIATELY FOLLOWING CONSTRUCTION OF THE INLET. INLET PROTECTION MUST BE INSTALLED IN A MANNER THAT WILL NOT IMPOUND WATER FOR EXTENDED PERIODS OF TIME OR IN A MANNER THAT PRESENTS A HAZARD TO VEHICULAR OR PEDESTRIAN TRAFFIC.
6. TEMPORARY SEDIMENT BASINS. THE CONTRACTOR SHALL INCORPORATE TEMPORARY SEDIMENT BASINS THROUGHOUT THE CONSTRUCTION SITE TO CAPTURE RUNOFF AND SLOW THE FLOW OF WATER AND ALLOW SEDIMENT TO SETTLE OUT. TEMPORARY SEDIMENT BASINS SHALL BE INSTALLED AS DIRECTED BY THE CITY ENGINEER.
7. ROCK CONSTRUCTION ENTRANCE. A ROCK ENTRANCE SHALL BE CONSTRUCTED AND MAINTAINED AS SHOWN ON THE PLAN TO REDUCE TRACKING OF SILT AND DIRT ONTO THE PUBLIC STREETS. A GEOTEXTILE FABRIC SHALL BE PLACED UNDERNEATH THE ROCK. THE ROCK SHALL BE PERIODICALLY REPLENISHED TO MAINTAIN THE INTENDED PERFORMANCE. MUD AND DEBRIS SHALL BE REMOVED OR SCRAPED FROM TIRES AND VEHICLE UNDERCARRIAGE PRIOR TO LEAVING THE SITE.
8. STREET SWEEPING. ALL STREETS USED FOR ACCESS TO THE SITE AND HAUL ROUTES USED FOR CONSTRUCTION EQUIPMENT AND MATERIAL SUPPLIES SHALL BE CLEANED AT THE END OF EACH WORKING DAY. THE CITY OR ENGINEER MAY ORDER ADDITIONAL SWEEPING OF THE STREETS AS DEEMED REQUIRED AT DEVELOPER/CONTRACTOR EXPENSE.

STANDARD PLAN NOTES
GRADING AND EROSION CONTROL PLANS

APRIL 2019



CITY OF LAKE ELMO

STANDARD DRAWING NO.

600A

LAKE ELMO

9. DEWATERING. EACH EXCAVATION SHALL BE KEPT DRY DURING THE COURSE OF ALL WORK HEREIN, INCLUDING SUBGRADE CORRECTION, PIPE INSTALLATION, STRUCTURE CONSTRUCTION AND BACKFILLING, TO THE EXTENT THAT NO DAMAGE FROM HYDROSTATIC PRESSURE, FLOATION OR OTHER DAMAGE RESULTS. ALL EXCAVATIONS SHALL BE DEWATERED TO A DEPTH OF AT LEAST 3 INCHES BELOW THE BOTTOM OF THE CONCRETE SLAB OR PIPE TO BE INSTALLED THEREIN. THE CONTRACTOR MAY USE ANY METHOD OR COMBINATION OF METHODS FOR FOR DEWATERING HE CHOOSES; HOWEVER, ALL DEWATERING METHODS AND EQUIPMENT WHICH IN THE OPINION OF THE ENGINEER, ARE INEFFECTIVE SHALL BE ABANDONED, IMPROVED, REPLACED OR THERWISE ALTERED TO OBTAIN EFFECTIVE DEWATERING. THE CONTRACTOR SHALL PROVIDE ALL POWER, PUMPS, MATERIALS AND APPARATUS NECESSARY, AND SHALL BE RESPONSIBLE FOR DISPOSING OF THE WATER PUMPED FROM THE EXCAVATION IN A MANNER WHICH WILL NOT INTERFERE WITH OTHER WORK WITHIN THE AREA AND NOT TO DAMAGE PUBLIC OR PRIVATE PROPERTY. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE CONDITION OF ANY PIPE, CONDUIT, DITCH, CHANNEL OR NATURAL WATERCOURSE UTILIZED FOR DRAINAGE PURPOSES, AND ALL EROSION, SEDIMENT OR OTHER ADVERSE RESULTS OF THEIR USE SHALL BE REPAIRED.
10. POSITIVE DRAINAGE AND PROTECTION. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE THROUGHOUT THE SITE AT ALL TIMES. LOW POINTS WITHIN AND ALONG ROADWAYS ARE EXPRESSLY PROHIBITED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DITCHES, PIPING OR OTHER MEANS TO FACILITATE PROPER DRAINAGE DURING CONSTRUCTION. TO PROTECT PREVIOUSLY GRADED AREAS FROM EROSION, WOOD FIBER BLANKET SHALL BE PLACED IMMEDIATELY ON STEEP SLOPES (1:3 OR GREATER) AND EMBANKMENTS, PERMANENT AND TEMPORARY PONDS, AND OUTLETS AND OVERFLOWS TO PROTECT THE COMPLETED GRADE AND MINIMIZE SILT IN THE RUNOFF.
11. DRAINAGE DITCHES. THE NORMAL WETTED PERIMETER OF ANY TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE THAT DRAINS WATER FROM ANY PORTION OF THE CONSTRUCTION SITE, OR DIVERTS WATER AROUND THE SITE, MUST BE STABILIZED WITHIN 200 LINEAL FEET FROM THE PROPERTY EDGE, OR FROM THE POINT OF DISCHARGE INTO ANY SURFACE WATER. STABILIZATION OF THE LAST 200 LINEAL FEET MUST BE COMPLETED WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER. STABILIZATION OF THE REMAINING PORTIONS OF ANY TEMPORARY OR PERMANENT DITCHES OR SWALES MUST BE COMPLETE WITHIN 14 DAYS AFTER CONNECTING TO A SURFACE WATER AND CONSTRUCTION IN THAT PORTION OF THE DITCH HAS TEMPORARILY OR PERMANENTLY CEASED. TEMPORARY OR PERMANENT DITCHES OR SWALES THAT ARE BEING USED AS A SEDIMENT CONTAINMENT SYSTEM (WITH PROPERLY DESIGNED ROCK DITCH CHECKS, BIO ROLLS, SILT DIKES, ETC.) DO NOT NEED TO BE STABILIZED. THESE AREAS MUST BE STABILIZED WITHIN 24 HOURS AFTER NO LONGER BEING USED AS A SEDIMENT CONTAINMENT SYSTEM.
12. TURF ESTABLISHMENT. ALL EXPOSED SOIL AREAS MUST BE STABILIZED AS SOON AS POSSIBLE TO LIMIT SOIL EROSION BUT IN NO CASE LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.

STANDARD PLAN NOTES
GRADING AND EROSION CONTOL PLANS

APRIL 2019



CITY OF LAKE ELMO

STANDARD DRAWING NO.

600B

LAKE ELMO

13. MAINTENANCE AND INSPECTION. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION AND UNTIL SATISFACTORY ESTABLISHMENT OF PERMANENT GROUND COVER IS OBTAINED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, AND STORMWATER OUTFALLS MUST BE INSPECTED WEEKLY, AND WITHIN 24 HOURS OF THE SITE RECEIVING 0.5 INCHES OF RAIN. REPAIRS MUST BE MADE ON THE SAME DAY OR FOLLOWING DAY OF THE INSPECTION. UNSATISFACTORY CONDITIONS NOT REPAIRED OR CLEANED UP WITHIN 48-HOURS OF NOTIFICATION SHALL RESULT IN A STOP WORK ORDER, AND/OR SAID WORK SHALL BE COMPLETED AT CONTRACTOR'S EXPENSE.
14. REMOVAL. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TEMPORARY EROSION CONTROL MEASURES, STRUCTURES AND DEVICES ONLY AFTER RECEIVING ENGINEER APPROVAL. ALL DEBRIS, STAKES, AND SILTS ALONG SILT FENCES SHALL BE REMOVED AND DISPOSED OFF SITE. THE CONTRACTOR SHALL HAND RAKE SILTED AREAS ALONG THE FENCE LOCATIONS TO PROVIDE A SMOOTH FINAL GRADE AND SHALL RESTORE THE GROUND SURFACE WITH SEED OR SOD, AS REQUIRED, TO MATCH THE FINISHED GRADE TO THE ADJACENT AREA.
15. FINAL STORM SEWER SYSTEM. AT THE COMPLETION OF THE WORK AND BEFORE THE FINAL WALK THROUGH, THE CONTRACTOR SHALL REMOVE STORM SEWER INLET PROTECTION MEASURES AND THOROUGHLY FLUSH THE STORM SEWER SYSTEM. SEDIMENT AND DEBRIS SHALL BE COMPLETELY REMOVED AND CLEANED AT THE INLETS, OUTLETS, AND DOWNSTREAM OF EACH OUTLET. RIPRAP AND GEOTEXTILE FABRIC MAY REQUIRE REPLACEMENT AS DIRECTED BY THE ENGINEER TO OBTAIN A LIKE NEW INSTALLATION ACCEPTABLE TO THE CITY.
16. DITCH CHECK (BIOROLL BLANKET SYSTEM). BIOROLL AND BLANKET SYSTEMS SHALL BE BE INSTALLED AS DITCH CHECKS ONLY IN SPECIFIED LOCATIONS AS APPROVED BY THE CITY ENGINEER. BIOROLLS ARE NOT TO BE UTILIZED IN AREAS WHERE VEHICLE AND CONSTRUCTION TRAFFIC OCCUR.
17. FLOTATION SILT CURTAIN. FLOTATION SILT CURTAIN SHALL BE UTILIZED WHEN CONSTRUCTION ACTIVITIES OCCUR DIRECTLY ADJACENT TO LAKES, STREAMS OR WETLANDS IN ORDER TO CONTAIN SEDIMENTS NEAR THE BANKS OF WORKING AREAS. THE INSTALLATION OF FLOTATION SILT CURTAINS WILL BE REQUIRED AS DIRECTED BY THE CITY ENGINEER.
18. CONCRETE WASHOUT ONSITE. ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER THAT DOES NOT ALLOW WASHOUT LIQUIDS TO ENTER GROUND WATER IS CONSIDERED AN IMPERMEABLE LINER. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA REGULATIONS. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.

STANDARD PLAN NOTES
GRADING AND EROSION CONTOL PLANS

APRIL 2019



CITY OF LAKE ELMO

STANDARD DRAWING NO.

600C

LAKE ELMO

1. RESTORE ALL DISTURBED AREAS WITH 6 INCHES OF TOPSOIL CONFORMING TO MNDOT 3877.
2. PROTECT ALL STORM SEWER INLETS AS SPECIFIED HEREIN AND MAINTAIN UNTIL STREET CONSTRUCTION IS COMPLETED.
3. MAINTAIN ALL SILT FENCE AND REPAIR OR REPLACE AS NEEDED OR REQUIRED UNTIL TURF HAS BEEN ESTABLISHED.
4. RESTORATION WORK SHALL BEGIN WITHIN 7 DAYS OF FINAL GRADING.
5. BOULEVARD AND DITCH RESTORATION INCLUDES FINE GRADING, WHICH INCLUDES THE REMOVAL OF ROCKS, DEBRIS AND SOIL CHUNKS, WHILE MAINTAINING POSITIVE DRAINAGE.

STANDARD PLAN NOTES
SITE RESTORATION PLANS

APRIL 2019

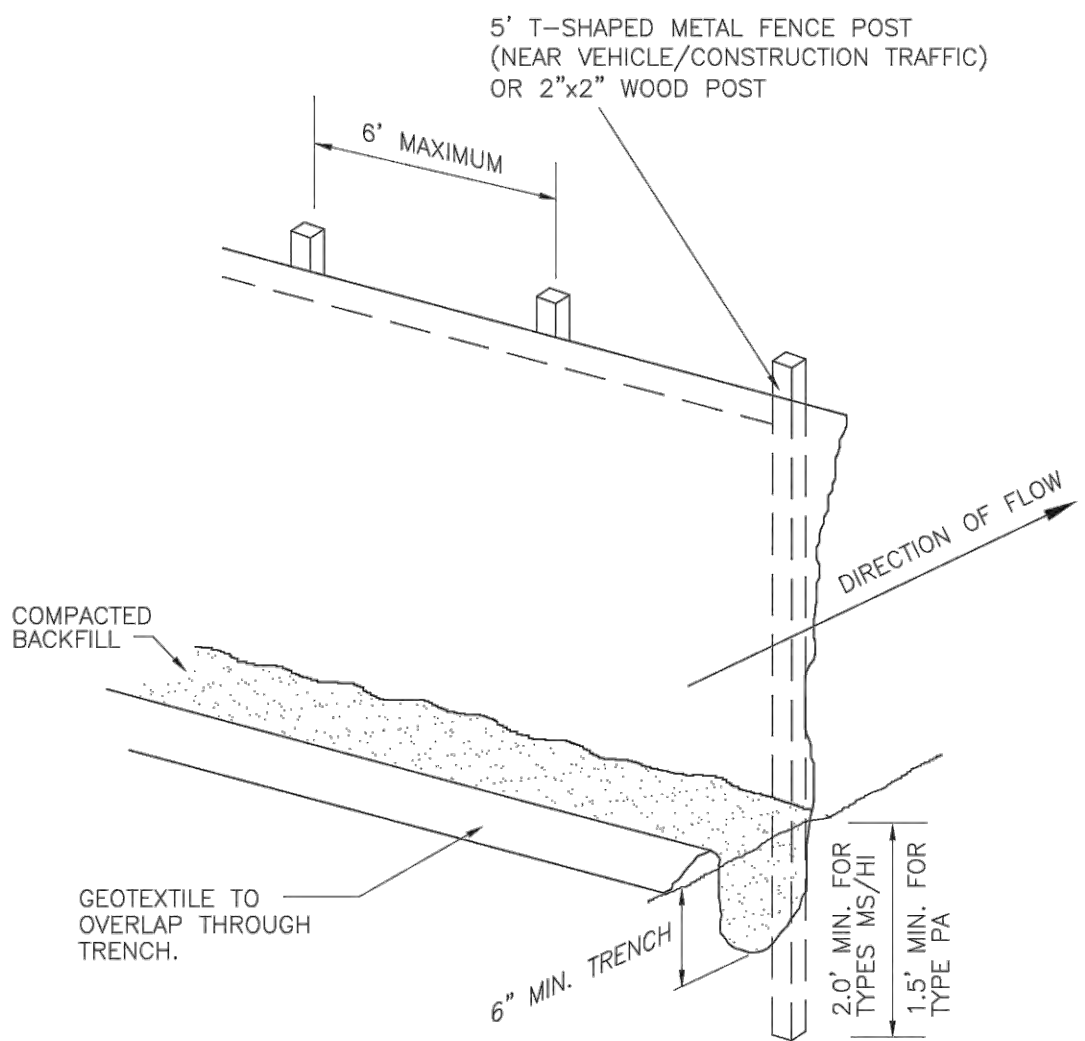


CITY OF LAKE ELMO

STANDARD DRAWING NO.

600D

LAKE ELMO



NOTE : -SILT FENCE INSTALLATION SHALL CONFORM TO MNDOT2573.3, TYPE MS/Hi NEAR VEHICLE/CONSTRUCTION TRAFFIC, TYPE PA AT ALL OTHER LOCATIONS.
-MATERIALS SHALL CONFORM TO MNDOT 3886.

SILT FENCE

APRIL 2019

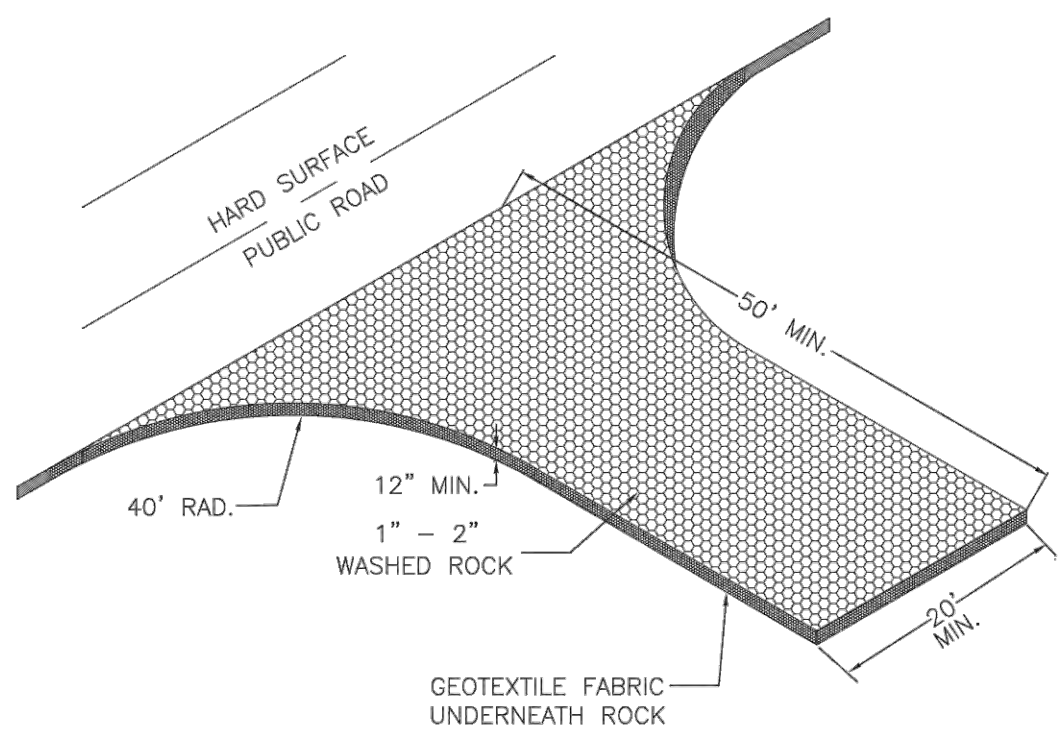


CITY OF LAKE ELMO

STANDARD DRAWING NO.

601

LAKE ELMO



- NOTES:
- ① MAXIMUM WIDTH OF CONSTRUCTION ENTRANCE IS 24 FEET.
 - ② A MNDOT 3733 TYPE V GEOTEXTILE FABRIC SHALL BE USED UNDER THE ROCK TO PREVENT MIGRATION OF THE UNDERLYING SOIL INTO THE STONE.
 - ③ CONSTRUCTION ENTRANCE IS REQUIRED FOR ALL NEW HOME CONSTRUCTION AND NEW STREET CONSTRUCTION.
 - ④ CONSTRUCTION ENTRANCE SHALL BE MAINTAINED TO PREVENT TRACKING OF MUD ONTO ROADWAYS THAT ADJOIN THE PROJECT. THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL ROCK OR REMOVAL AND REINSTALLATION OF THE ROCK ENTRANCE.
 - ⑤ REMOVE MUD AND DEBRIS FROM TIRES AND VEHICLE UNDERCARRIAGE PRIOR TO LEAVING THE SITE.

ROCK CONSTRUCTION ENTRANCE

APRIL 2019



CITY OF LAKE ELMO

STANDARD DRAWING NO.

605

LAKE ELMO



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I hereby certify that this plan was prepared by
me or under my direct supervision and that I
am a duly Licensed Professional Engineer
under the laws of the State of Minnesota

Name
Paul J. Chernie
Reg. No. 19860 Date 06-25-2021

Revisions

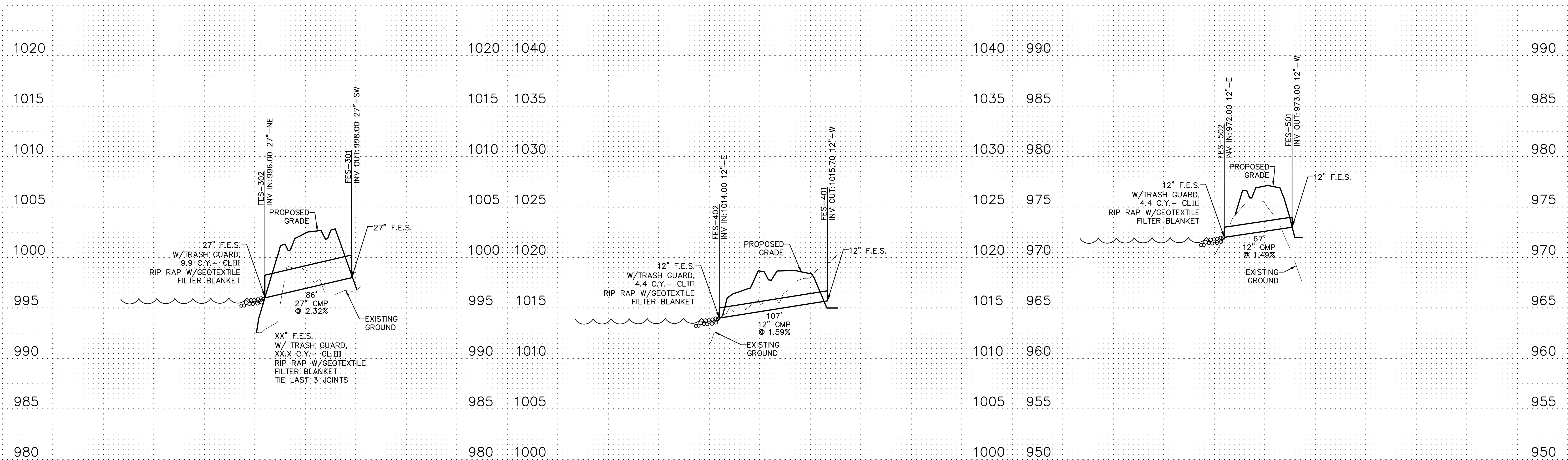
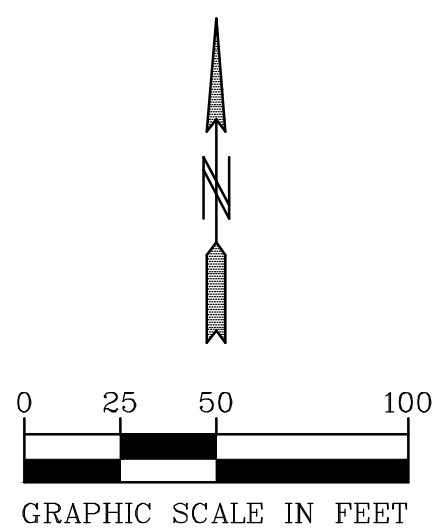
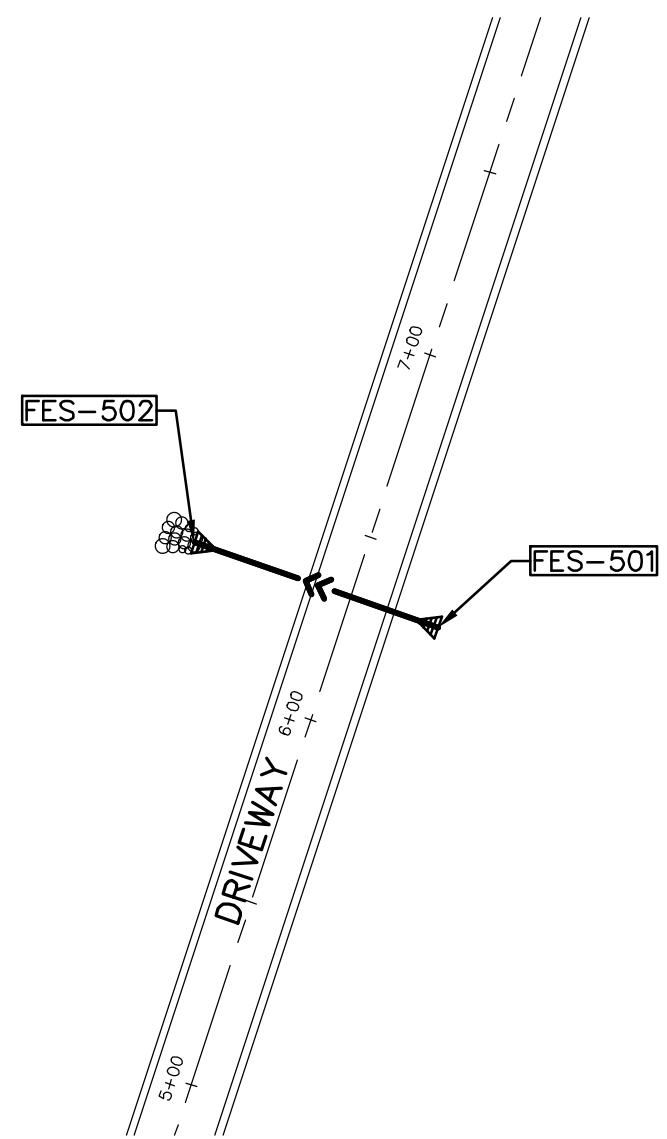
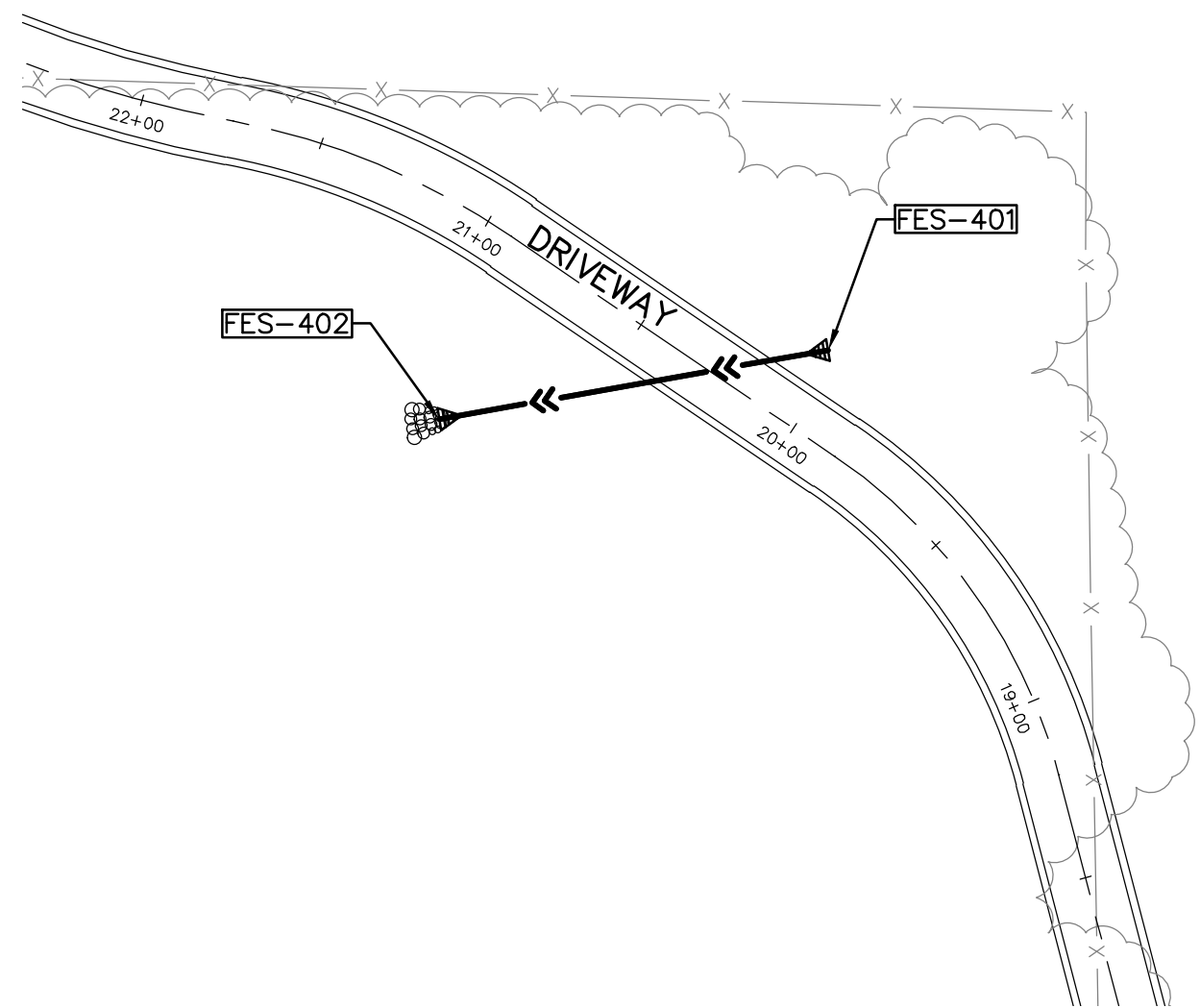
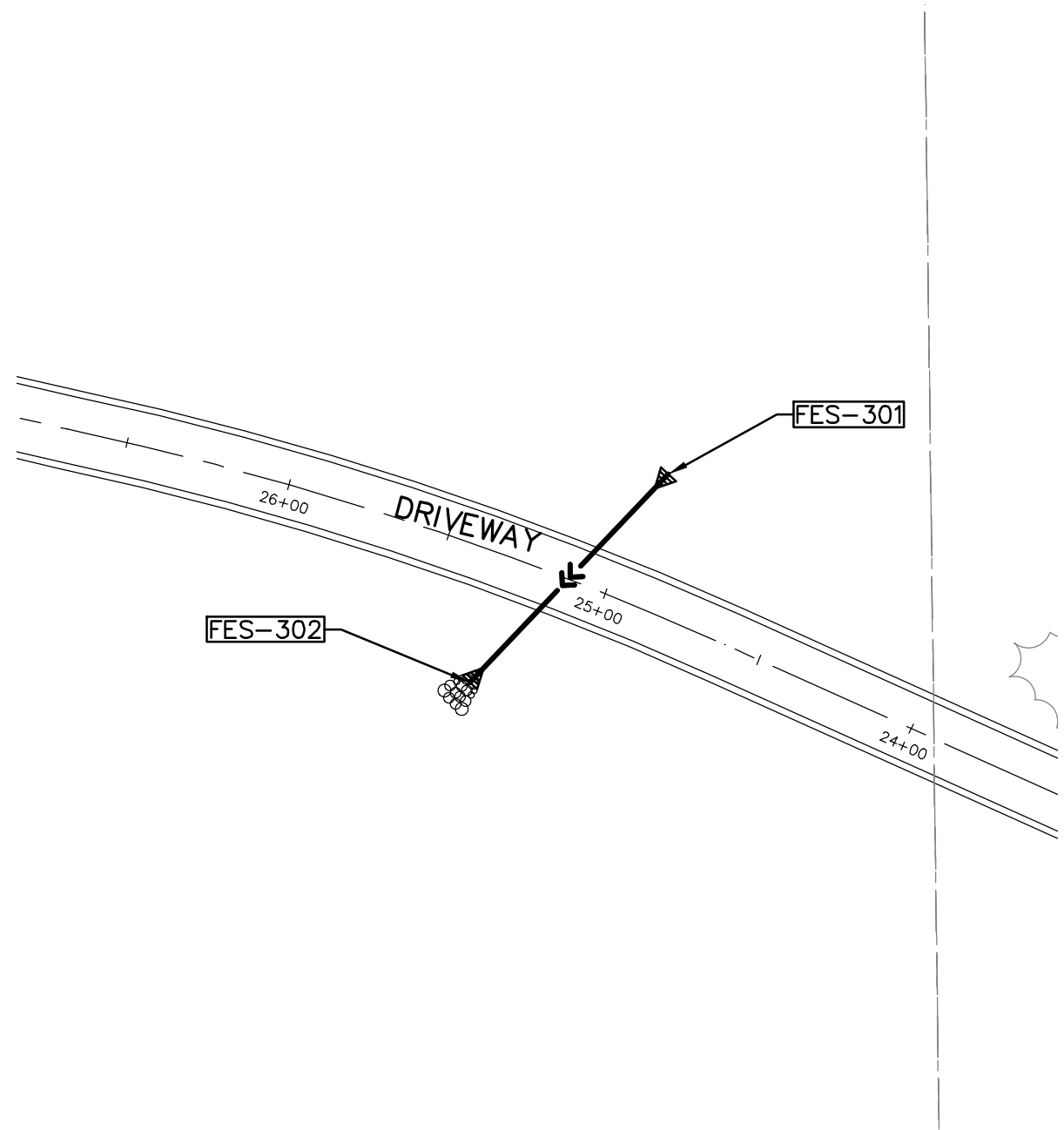
Date 06-25-2021
Designed PJC
Drawn MSN

WALKING PATH CONSTRUCTION

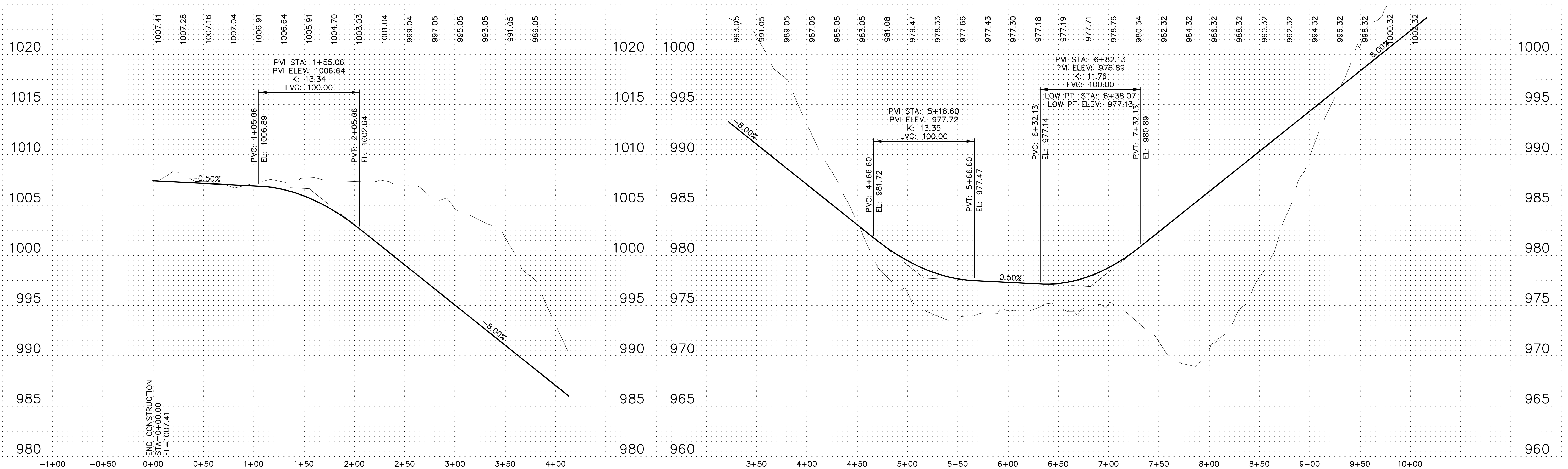
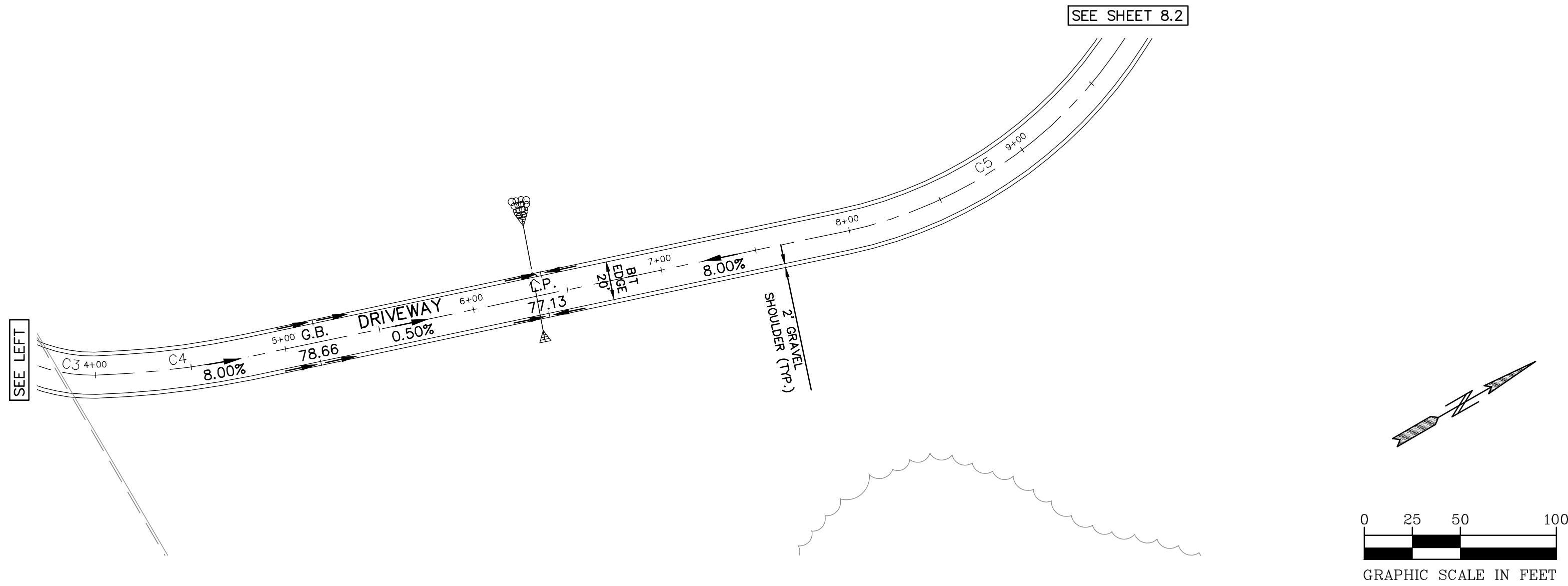
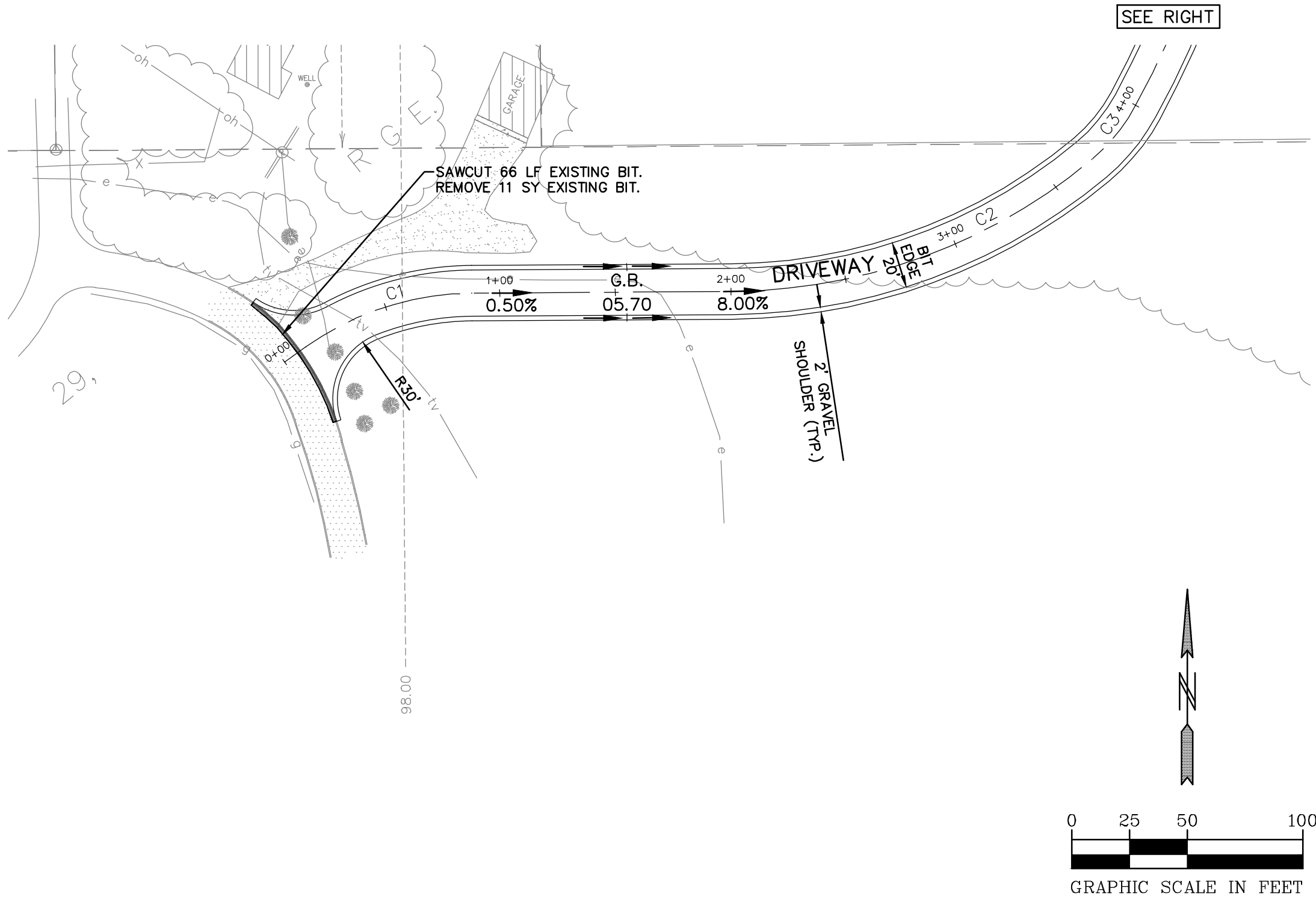
CARMELITE HERMITAGE
8249 DEMONTREVILLE TRAIL NORTH
LAKE ELMO, MN 55042

CARMELITE MONASTERY DRIVEWAY
LAKE ELMO, MINNESOTA

6.1 OF 18



CURVE TABLE						
CURVE	DELTA	LENGTH	RADIUS	TANGENT	PC	PT
C1	35°11'59"	76.79	125.00	39.65	0+11.05	0+87.84
C2	39°29'57"	168.90	245.00	87.96	2+00.60	3+69.50
C3	21°42'44"	30.32	80.00	15.34	3+69.50	3+99.82
C4	10°15'33"	80.29	448.43	40.25	3+99.82	4+80.11
C5	73°21'56"	294.51	230.00	171.33	7+97.25	10+91.76



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I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Name Paul J. Chernie
Reg. No. 19860 Date 06-25-2021

Revisions

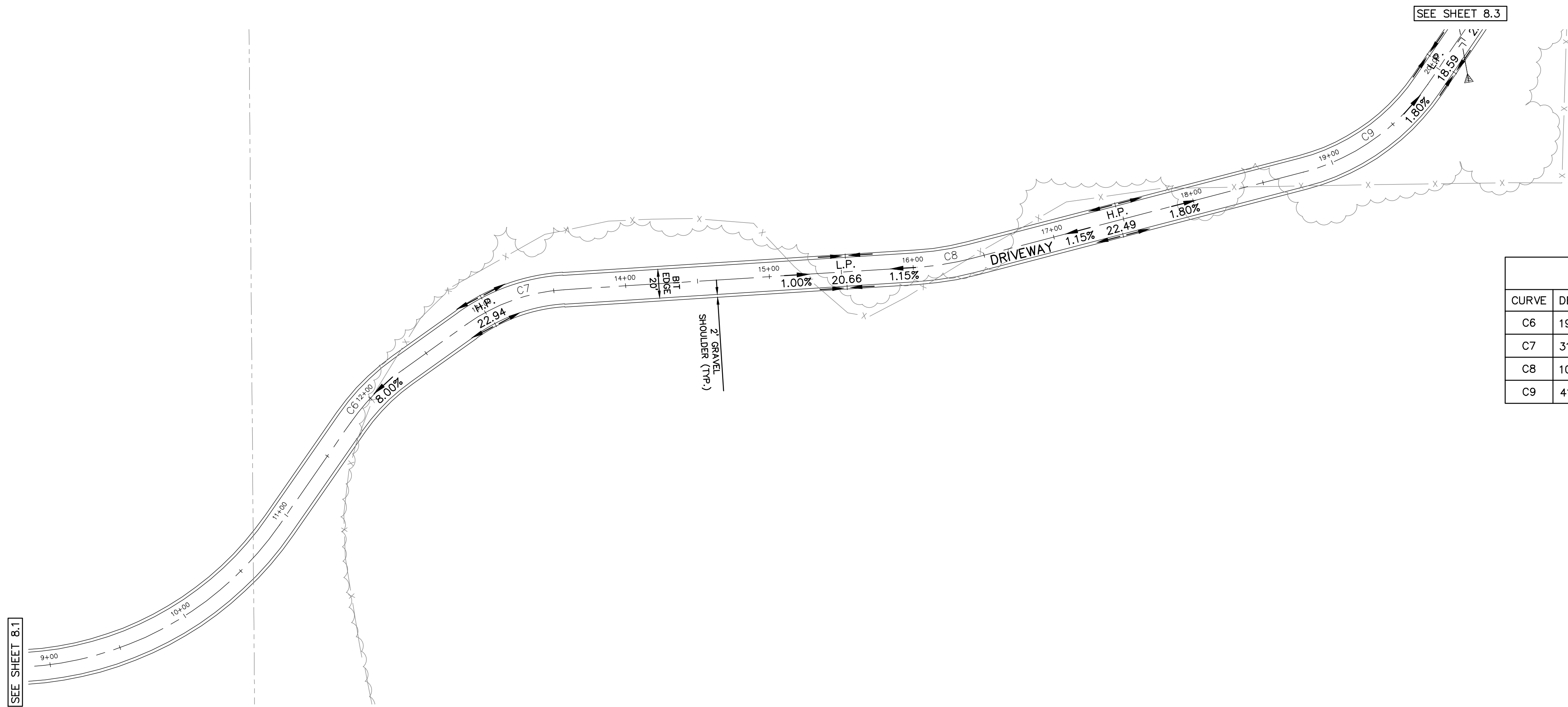
Date 06-25-2021
Designed PIC
Drawn MSN

DRIVEWAY CONSTRUCTION

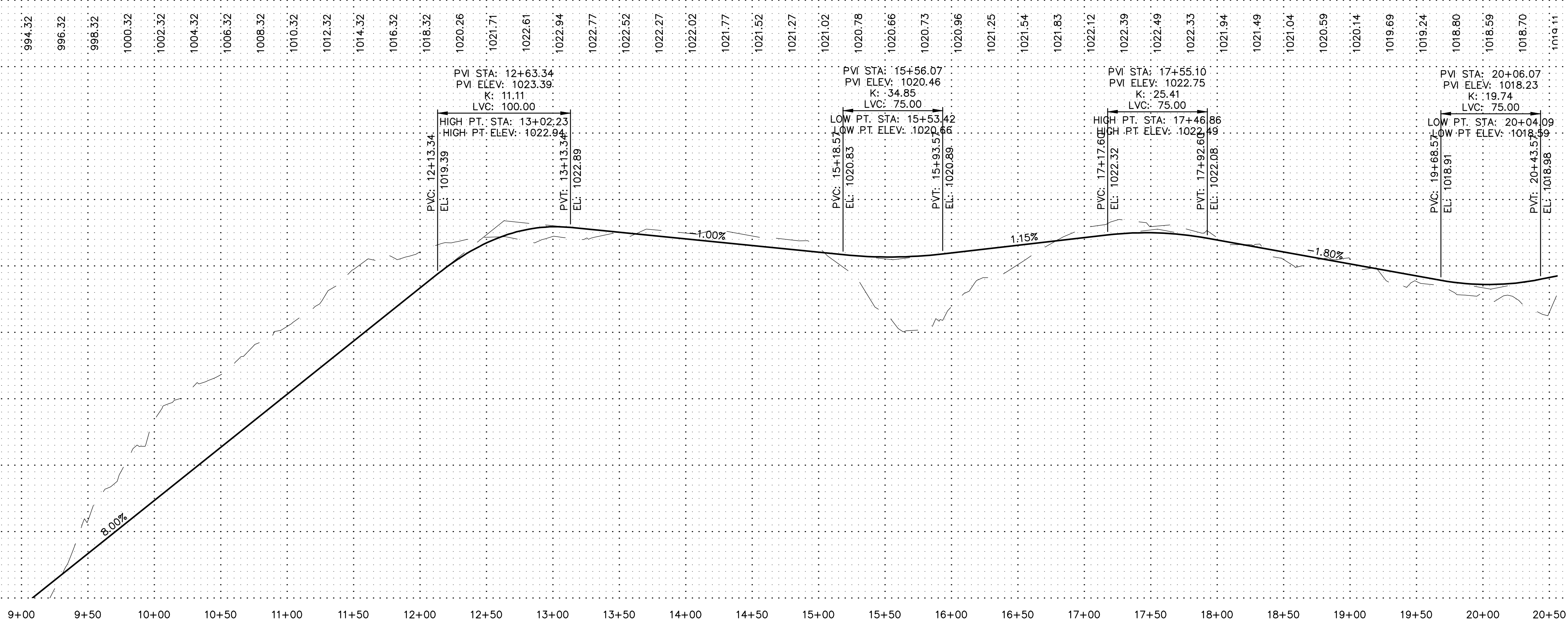
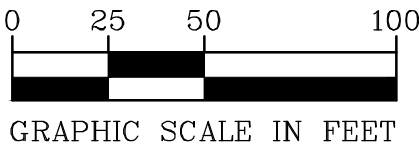
CARMELITE HERMITAGE
8249 DEMONTREVILLE TRAIL NORTH
LAKE ELMO, MN 55042

CARMELITE MONASTERY DRIVEWAY
LAKE ELMO, MINNESOTA

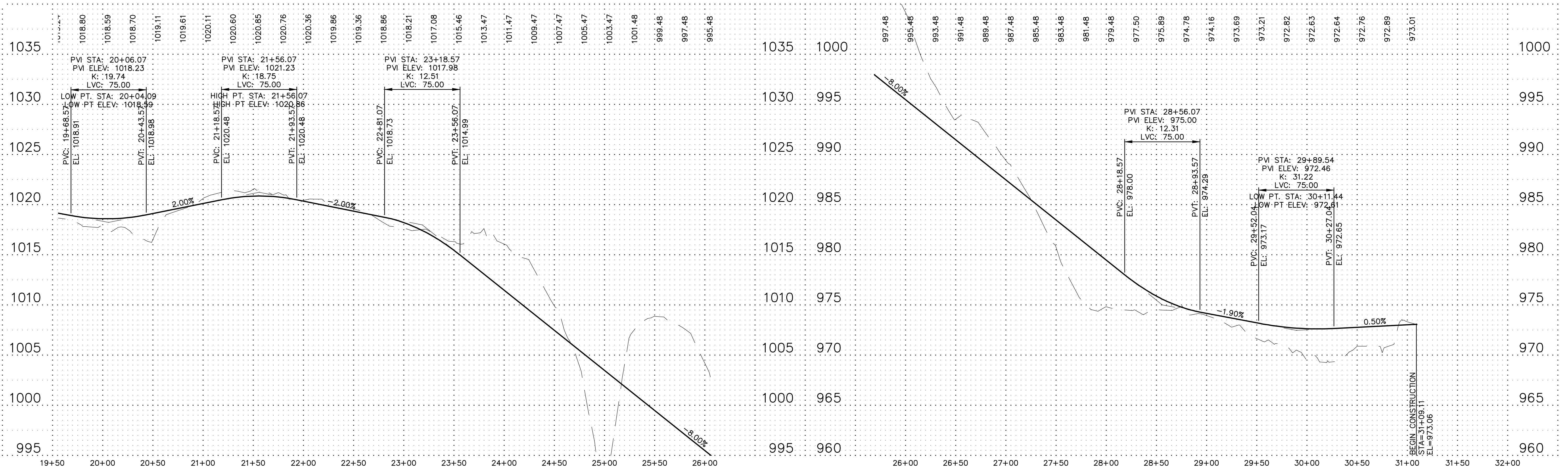
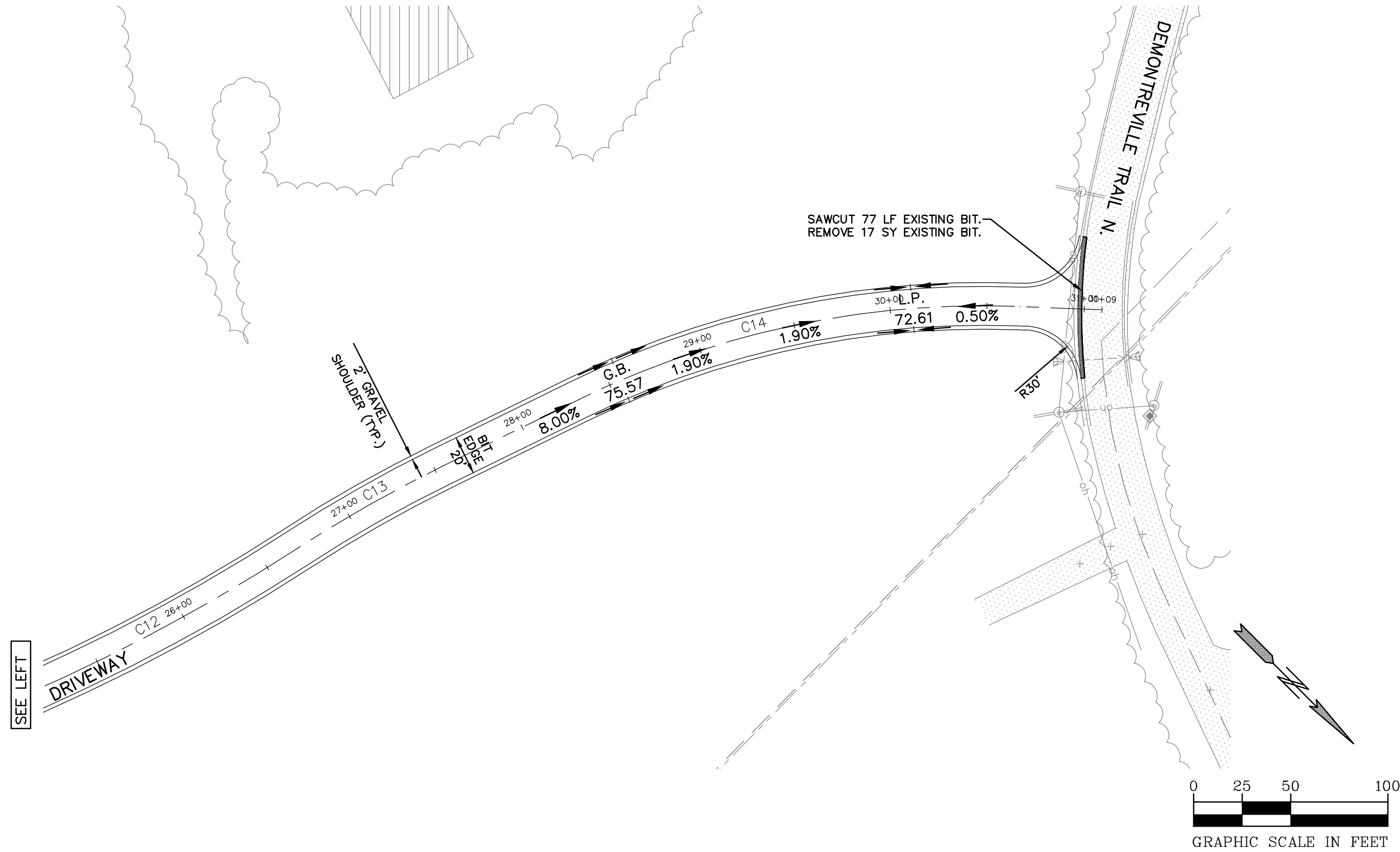
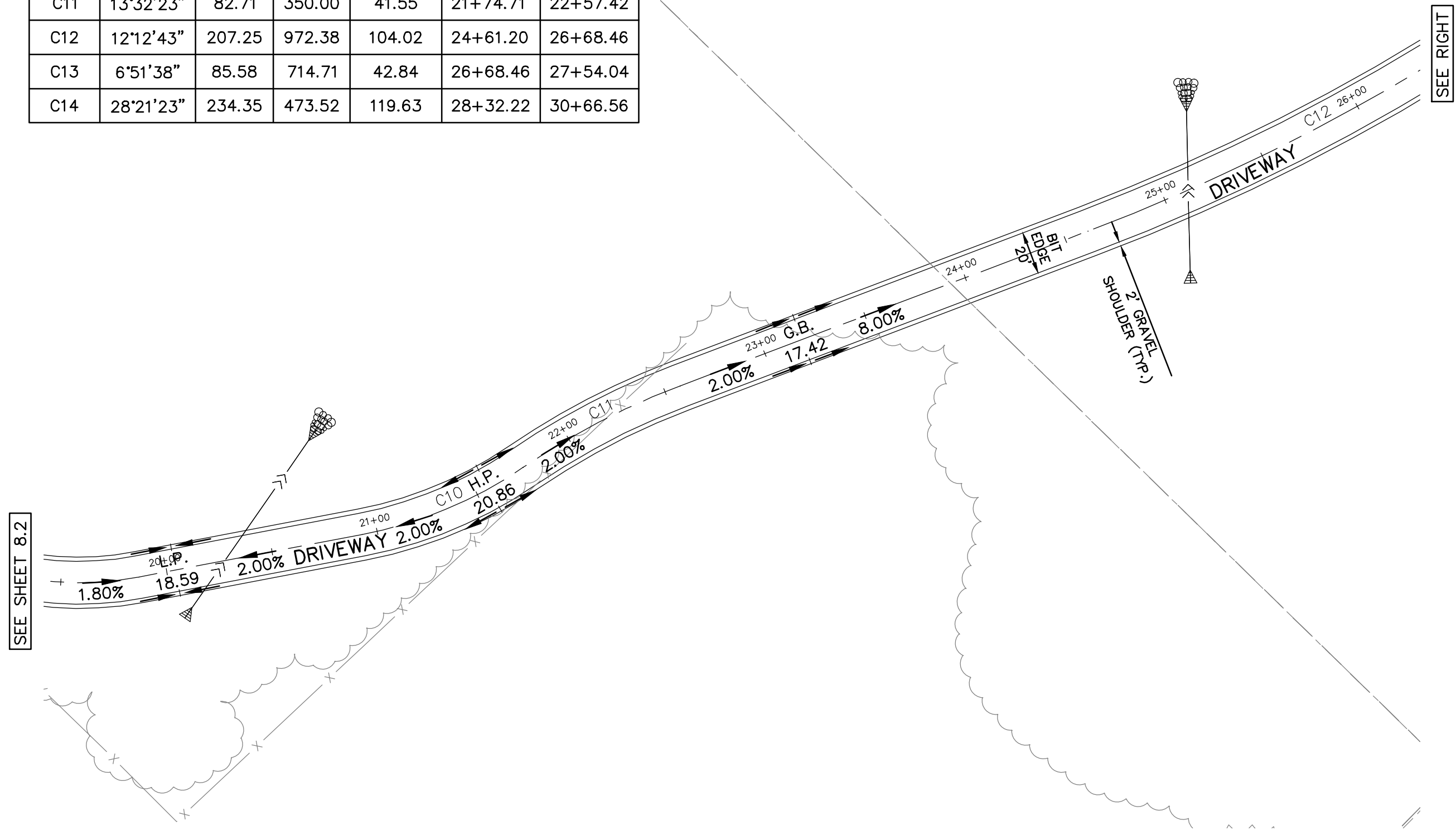
8.1 OF 18



CURVE TABLE						
CURVE	DELTA	LENGTH	RADIUS	TANGENT	PC	PT
C6	19°45'00"	51.72	150.03	26.12	11+78.30	12+30.02
C7	31°50'44"	72.26	130.00	37.09	12+84.72	13+56.98
C8	10°56'39"	38.20	200.00	19.16	16+02.61	16+40.81
C9	41°12'05"	107.86	150.00	56.38	18+78.84	19+86.70



CURVE TABLE						
CURVE	DELTA	LENGTH	RADIUS	TANGENT	PC	PT
C10	23°30'33"	82.06	200.00	41.62	20+92.64	21+74.71
C11	13°32'23"	82.71	350.00	41.55	21+74.71	22+57.42
C12	12°12'43"	207.25	972.38	104.02	24+61.20	26+68.46
C13	6°51'38"	85.58	714.71	42.84	26+68.46	27+54.04
C14	28°21'23"	234.35	473.52	119.63	28+32.22	30+66.56



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I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Name
Paul J. Chernie
Reg. No. 19860 Date 06-25-2021

Revisions

Date 06-25-2021
Designed PIC
Drawn MSN

DRIVEWAY CONSTRUCTION

CARMELITE HERMITAGE
8249 DEMONTREVILLE TRAIL NORTH
LAKE ELMO, MN 55042

CARMELITE MONASTERY DRIVEWAY
LAKE ELMO, MINNESOTA

8.3 OF 18

Lake Elmo Fire Department

Memorandum

To: Ken Roberts, Planning Director

From: Dustin Kalis, Fire Chief

Date: 7/20/2021

Re: Land Use Review – Variance Request - Carmelite Hermitage, 8249 Demontreville Trail



The Lake Elmo Fire Department has completed a land use review of Carmelite Hermitage, 8249 Demontreville Trail based on the Lake Elmo Planning Department packet dated 7/15/21 with the following comments:

- 1) All roads and drive lanes shall meet the Lake Elmo Fire Department requirements for widths and turning radiuses.
- 2) The approved fire apparatus access road shall be constructed with an asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing up to 75,000 pounds.
- 3) An approved fire apparatus turnaround shall be constructed at the end of the road if the road is a dead end. Proper fire apparatus turnaround shall be maintained if using existing drive or parking areas at the end of the new driveway.
- 4) The installation and use of gates shall be in compliance with the fire code. If a gate(s) is to be installed, provide more detailed information for review.
- 5) Building address numbers shall be plainly visible from the street fronting the property and shall contrasting color from the background.

Codes and Standards Used for this Review

This review is based on the following codes and standards as adopted and in effect in the State of Minnesota at the time of plan submittal.

- 2020 Minnesota State Fire Code

“Proudly Serving Neighbors & Friends”

MEMORANDUM

FOCUS ENGINEERING, inc.

Cara Geheren, P.E.	651.300.4261
Jack Griffin, P.E.	651.300.4264
Ryan Stempski, P.E.	651.300.4267
Chad Isakson, P.E.	651.300.4283

Date: August 4, 2021

To:	Ken Roberts, Planning Director	Re:	Carmelite Monastery Driveway
Cc:	Marty Powers, Public Works Director Chad Isakson, Assistant City Engineer		Engineering Construction Plan Review
From:	Jack Griffin, P.E., City Engineer		

An engineering review has been completed for the Carmelite Monastery Driveway Construction Plans to extend from Demontreville Trail. The submittal consisted of the following documentation received on July 12, 2021:

- Carmelite Monastery Driveway Construction Plans dated June 25, 2021.
- No Stormwater Management Plan was provided.

STATUS/FINDINGS: Engineering review comments have been provided for the above referenced Construction Plans. When submitting revised plans and specifications, please provide a point-by-point response letter that details all changes made to the plans.

FINAL CONSTRUCTION PLANS

1. Access to DeMontreville Trail North. The proposed driveway connects to DeMontreville Trail a distance of approximately 650 feet north of the Jesuit Driveway Access. The location of the proposed access must be referenced on the plans with the spacing dimensions listed from the adjacent existing driveways in both directions.
2. The proposed driveway is proposed with a 20-foot bituminous width and 2-foot gravel shoulders.
3. At the connection point to DeMontreville Trail, the proposed driveway appears to be designed to collect and divert runoff to proposed infiltration basins (Area 200P and Area 250P) on either side of the driveway. The design and construction of the driveway must be verified that runoff from the driveway is not permitted to flow into the DeMontreville Trail roadway or right-of-way for any storm event.
4. Revise plans to clearly show all property lines, right-of-way and easements.
5. Sheet 0.1. Add plan note to identify the standard of care guideline for the collection and depiction of existing subsurface utility data per CI/ASCE 38-02.
6. Sheet 1.1 – 1.3. Add culvert pipe size, material, and invert for all proposed and existing culverts.
7. Sheet 1.1 – 1.3. Add the 100-year HWL elevation and contour for all proposed infiltration basins. Add emergency overflow elevations and flow paths.
8. Sheet 1.1 – 1.3. Add proposed drainage and utility easements for each infiltration basin, incorporating the 100-year HWL elevation and contour, and maintenance access routes to all drainage structures.
9. Sheet 1.1. Revise grading plan to eliminate infiltration basin encroachments for areas 200P and 250P from the DeMontreville Trail right-of-way. Revise plans as needed to ensure the EOF flow path from 200P and 250P remain outside of the public right-of-way.

STORMWATER MANAGEMENT

1. The proposed grading and driveway construction is subject to a storm water management plan meeting State, Watershed District and City rules. Permits will be required from the Valley Branch Watershed District and the Minnesota Pollution Control Agency.
2. No Stormwater Management Plan was submitted for city review. Approval of the plans must be conditioned on the applicant submitting a Storm Water Management Report and storm sewer calculations supporting the proposed design and consistent with all city and watershed rules.
3. All storm sewer proposed for the work will remain privately owned. A Stormwater Easement and Maintenance Agreement in the city's standard form will be required for the private owned storm water management system.



STAFF REPORT

DATE: 8/09/2021

REGULAR

ITEM#: 4A – PUBLIC HEARING

MOTION

TO: Planning Commission

FROM: Ken Roberts, Planning Director

AGENDA ITEM: Variance – Direct Access for a Place of Worship

REVIEWED BY: Ben Prchal, City Planner

INTRODUCTION:

The City has received a request from Rev. John Burns of the Carmelite Hermitage for a variance from the City Code requirement about direct access for a place of worship. He is making this request in order to eventually add a chapel to the Carmelite's site located at 8249 Demontreville Trail. In this case, the applicant is asking for City approval for a variance as part of constructing a new driveway to provide access to their property. (Please see his letter, maps and attached plans for more information about this request.)

BACKGROUND:

On December 3, 1991, the City Council approved a variance from the section of the City Code about having frontage a public road for the Carmelite Monastery. The Carmelites made this request so they could construct a building on their parcel (which does not have frontage on a public road).

On August 12, 2019, the Planning Commission held a public hearing about a similar driveway access request for the Carmelites. In this case, they were proposing to use an existing driveway for access for their proposed chapel. The Planning Commission reviewed the applicant's request and application materials, took testimony from several interested parties and then made a recommendation that the City Council should approve the variance as requested.

On August 20, 2019, the City Council approved the requests of the Carmelites for a variance to the City standard requiring direct access for a place of worship and a conditional use permit for the construction of a chapel on their property located 8249 Demontreville Trail.

On August 18, 2020, the City Council approved the extension of the CUP as contemplated by Condition No. 7 of the 2019 approval resolution and City Code § 154.106(K). Specifically, staff recommended the City Council approve a time extension that provided the Carmelites one year after the resolution of both lawsuits to build their chapel.

ISSUE BEFORE PLANNING COMMISSION:

The Commission is being asked to hold a public hearing, review and make recommendation on the above mentioned variance request.

VARIANCE REQUEST DETAILS/ANALYSIS:

<i>Deadline for Action:</i>	Application Complete – 7/12/2021 60 Day Deadline – 9/11/2021 Extension Letter Mailed – N/A 120 Day Deadline – N/A
<i>Applicable Regulations:</i>	Article V - Zoning Administration and Enforcement Article XIV – Public and Semi-Public Districts Variance Request: The Carmelite Hermitage of the Blessed Virgin Mary requests a variance from the direct access requirement for places of worship as outlined in Section 154.600(B)(2) of the City Code.

Reason for Request. The reason for the variance request is to facilitate the construction of a chapel on their site. The City Code requires places of worship (such as chapels and churches) to have “direct access” to a public street classified by the Comprehensive Plan as a major collector or arterial. The Carmelites property is land locked and does not have frontage on Demontreville Trail. The Comprehensive Plan classifies Demontreville Trail as a major collector street.

The applicants are proposing to construct a new 20-foot-wide bituminous driveway to the north and east of the existing driveway that now crosses the Jesuits property that provides access to the Carmelites facility. The proposed driveway will provide access to the Carmelites facility and should not interfere with the Jesuits use of their property. The Jesuits submitted a letter of support dated July 14, 2021 for the proposed location of the new driveway.

REVIEW AND ANALYSIS/DRAFT FINDINGS

An applicant must establish and demonstrate compliance with the variance criteria set forth in Lake Elmo City Code Section 154.109 before the City may grant an exception or modification to city code requirements. These criteria are listed below, along with comments from Staff about the applicability of these criteria to the applicant’s request.

- 1) Practical Difficulties.** A variance to the provision of this chapter may be granted by the Board of Adjustment upon the application by the owner of the affected property where the strict enforcement of this chapter would cause practical difficulties because of circumstances unique to the individual property under consideration and then only when it is demonstrated that such actions will be in keeping with the spirit and intent of this chapter. Definition of practical difficulties - “Practical difficulties” as used in connection with the granting of a variance, means that the property owner proposes to use the property in a reasonable manner not permitted by an official control.

FINDINGS: *The addition of a chapel to Carmelites site has been planned since at least 1991 when the City first approved a Master Plan for their site. The Carmelites have been using the existing driveway to Demontreville Trail for access to their site since that time. The proposed chapel is a reasonable additional use of the Carmelites facility and property and the addition of a new driveway to Demontreville Trail for access purposes solves their access needs.*

- 2) **Unique Circumstances.** The plight of the landowner is due to circumstances unique to the property not created by the landowner.

FINDINGS: *According to the applicant, the existing lot layout with the access easement to Demontreville Trail has been in place since 1904. This is a unique situation with circumstances not created by the landowner or the current land users – the Carmelite Monks.*

- 3) **Character of Locality.** The proposed variance will not alter the essential character of the locality in which the property in question is located.

FINDINGS: *The proposed variance will allow the Carmelites to use the proposed driveway for access for their facilities including the proposed chapel. By using the proposed driveway to Demontreville Trail, the Carmelites will not be altering the essential character of the locality (or area) in which their property is located.*

- 4) **Adjacent Properties and Traffic.** The proposed variance will not impair an adequate supply of light and air to properties adjacent to the property in question or substantially increase the congestion of the public streets or substantially diminish or impair property values within the neighborhood.

FINDINGS. *The proposed variance to allow the use of the proposed driveway for access for their facilities and the proposed chapel. It will not impair an adequate supply of light and air to properties adjacent to the subject property, increase congestion of public streets or substantially diminish or impair property values within the neighborhood. The expected traffic levels on Demontreville Trail with the addition of the proposed chapel and the new driveway is expected to remain about the same as it has been for the past ten years.*

CITY ENGINEER REVIEW:

The applicant submitted to the City the proposed construction plans for the new driveway. The City Engineer reviewed the proposed plans and provided comments about them in his memo dated August 4, 2021. He noted that this driveway project will require a permit from the Valley Branch Watershed District and that he will need to approve the final construction plans before the applicant starts the project. This review will be to ensure the driveway can support emergency vehicles and fire apparatus and that drainage or run-off from the new driveway will be controlled and managed as it is not permitted to flow into the Demontreville Trail roadway or right-of-way in any storm event.

FIRE DEPARTMENT REVIEW:

Dustin Kalis, the City Fire Chief provided planning staff with review comments about the proposed driveway plans. He noted that the driveway will need to meet the Fire Department requirements for widths and turning radiuses and shall be constructed to support up to 75,000 pounds.

FISCAL IMPACT:

Staff has not found that the proposed variance will have any impact to the City.

OPTIONS:

The Planning Commission may:

- Recommend approval of the proposed variance.
- Recommend approval of the proposed variance with recommended conditions.
- Recommend denial of the variance, citing recommended findings of fact for denial.

RECOMMENDATION:

Staff recommends that the Planning Commission recommend approval of the request from Rev. John Burns of the Carmelite Hermitage for a variance from the City's requirement for direct access to a major collector or arterial street for a place of worship for the property located at 8249 Demontreville Trail.

“Move to recommend approval of the request from Rev. John Burns of the Carmelite Hermitage for a variance from the City's requirement for direct access to a major collector or arterial street for a place of worship for the property located at 8249 Demontreville Trail. This approval shall be subject to the City Engineer and Fire Chief approving the final driveway construction plans and the applicant receiving a permit from the Valley Branch Watershed District before starting the construction of the new driveway.”

ATTACHMENTS:

- 1) Variance request narrative dated July 9, 2021 (5 pages)
- 2) July 14, 2021 letter from the Jesuit Retreat House
- 3) Location Map
- 4) Property Line Map
- 5) Proposed driveway plans dated June 25, 2021 (18 pages)
- 6) Fire Department Review dated July 20, 2021
- 7) Engineering Review comments dated August 4, 2021

Friday, July 9, 2021

The City of Lake Elmo

LAND USE APPLICATION

651-747-3900

□ Conditional Use Permit (C.U.P.)

3880 Laverne Avenue North

Lake Elmo, MN 55042

Applicant: Joshua Calderon – Group Property Development and Facilities Manager

Address: Enterprise Holdings – 2775 Blue Waters Road, Eagan, Minnesota 55121

Phone # 651-905-5085 (direct) 803-201-0574 (cell)

Email Address: Joshua.calderon@ehi.com

Property Owner: Ray Pruban - Lakeview Investment, LLC

Address: 2158 Oakgreen Ave S, Afton MN 5501

Phone # 651-242-4850

Email Address: raypruban@gmail.com

Property Address: 4.29 acres of Outlot F of Boulder Ponds,
northeast of intersection of Hudson Blvd & Jade Trail

PID#: 34-029-21-33-0027 (outlot F)

Detailed Reason for Request:

Enterprise Holdings is seeking a CUP to sell used vehicles from the site. In addition, a text amendment is being sought to be able to rent vehicles from the site. Consolidating the uses to one site instead of pursuing separate sites will allow us to provide a better developed building and site and provide greater customer service and convenience.

In signing this application, I hereby acknowledge that I have read and fully understand the applicable provisions of the Zoning ordinance and current administrative procedures. I further acknowledge the fee explanation as outlined in the application procedures and hereby agree to pay all statements received from the City pertaining to additional application expense.

Signature of applicant: _____ Date: _____

Signature of property owner: _____ Date: _____

Friday, July 9, 2021

1. A completed land use application form signed by all property owners along with payment of the proper filing fee.

2. Written statements providing information regarding your proposal. Please provide a separate answer for each of the lettered items listed below (answers must be submitted in both hard copy and electronic form---.txt files or MS Word format):

a. A listing of contact information including name(s), address(es) and phone number(s) of: the owner of record, authorized agents or representatives, engineer, surveyor, and any other relevant associates;

Facilities Manager: Enterprise Holdings
2775 Blue Waters Road, Eagan, Minnesota 55121
651-905-5084 – Joshua Calderon

Land Surveyors: E.G. Rud & Sons, Inc.
6776 Lake Dr. NE, Suite 110, Lino Lakes, Minnesota 55014
651-361-8200 – Jason Rud

Civil Engineer: Demarc Inc.
7601 – 73rd Avenue North, Minneapolis, Minnesota 55428
763-560-3093 - Jeffery Prasch

Geotech: Haugo GeoTechnical Services
2825 Cedar Avenue South, Minneapolis, Minnesota 55407
612-729-2959 – Paul Gionfriddo

Landscape Architect: B. E. Land Designs
708 NE 15th Avenue, Minneapolis, Minnesota 55418
612-382-0902 – Ben Erickson

Architect of Record: Grube Architects
P.O. Box 2183, Stillwater, Minnesota 55082
651-303-8155 – Kevin Grube

Project Designer: KRdesign
4921 Beard Avenue South, Minneapolis, Minnesota 55410
612-590-1513 – Kevin Rolfes

b. A listing of the following site data: Address, current zoning, parcel size in acres and square feet, property identification number(s) (PID), and current legal description(s);

Address: 4.29 acres of Outlot F of Boulder Ponds, northeast of intersection of Hudson Blvd & Jade Trail, Lake Elmo MN

Current Zoning: Commercial (C) with PUD Overlay

Parcel size: Outlot F – 186,947+/- (4.29 acres)

PID: 34-029-21-33-0027

c. A narrative regarding the history of the property (current and past uses) and any pre-application discussions with staff.

The site undeveloped at this time.

d. A specific written description of the proposed use(s).

i. Incorporate information describing how the use will work on the proposed site including proposed site changes, existing open spaces, landscaping, traffic circulation, transition areas to adjacent properties, individual uses for existing and proposed structures, and effects on natural areas (wetlands, forests, etc.) both on-site and in the general vicinity of the project.

We intend on purchasing the land and developing the site for a new Enterprise Car Sales and Enterprise Car Rental facility. Both business lines to be co-located in a single building structure with a separate building structure to accommodate the hand washing and sanitization of the vehicles. The site will facility the car rental needs for the local community as well as purchasing. We intend on developing a majority of the land while leaving a reserved amount on the north side of the property for future parking lot expansion if needed in the future. We intend the site to comply with all landscaping requirements and buffers. The traffic circulation on the site will be managed by guide signage that will be placed on the site directing car rental and car sales customers to the appropriate designated parking and entrances. A covered car return canopy will allow customers returning a vehicle to drive into the property and pull straight into the covered area to be serviced. Customer parking for both business lines will be located in front of the building. The south end parking will be designated for car sales inventory. We do not intend on adjoining our property with any of the adjacent neighbors just directly to the main road. onsite stormwater management will be managed by tying into the existing city stormwater system running parallel with the road.

ii. Provide specific details about the use including the number of employees, hours of operation, maximum number of animals (if applicable), proposed development schedule, etc.

Car rental hours will be similar to the following but may be subject to change:

M-F- 7:30am-5pm

Sat – 9am-12pm

Sun – closed

Car sales hours will be similar to the following but may be subject to change:

M- Thurs – 10am – 7pm

Fri – 9am-6pm

Sat – 10am-6pm

Sun – closed

Approximate total number of employees for both business lines: 12-15

e. Provide justification that the proposed use meets the following findings:

i. The proposed use will not be detrimental to or endanger the public health, safety, comfort, convenience or general welfare of the neighborhood or City.

The proposed Enterprise Car Rental and Car Sales business poses no danger to public health, safety, comfort, convenience or general welfare of the neighborhood or City. No hazardous materials will be used at the site. We do not service vehicles onsite. Unlike other typical car sale facilities, we do not use a PA system to cause a disturbance to the neighbors.

ii. The use or development conforms to the City of Lake Elmo Comprehensive Plan.

The proposed Enterprise Car Rental and car sales business will conform to the City of Lake Elmo Comprehensive Plan. We currently have connections with local business's and partners in the community we intend on servicing at this new location from both business lines (neighboring accounts, body shops, etc.). In addition, this new location will allow us to better serve the surrounding community and allowing us to provide the best customer service and an aesthetically pleasing customer environment.

iii. The use or development is compatible with the existing neighborhood.

There are similar auto related uses nearby such as body shops and used auto sales. The site is currently zoned for car sales and adjacent zoning does allow vehicle rental. The proposed Enterprise Car Rental and car sales business is compatible with the existing neighborhood.

iv. The proposed use meets all specific development standards for such use listed in Article 7 of the Zoning Code.

The proposed Enterprise Car Rental and car sales business meets all specific development standards for such use listed in Article 7 of the Zoning Code.

v. If the proposed use is in a flood plain management or shoreland area, the proposed use meets all the specific standards for such use.

The proposed Enterprise Car Rental and sales business is on Flood Zone X (area of minimal flooding), according to Flood Insurance Rate Map Community Panel No. 27163C0335E by the Federal Emergency Management Agency, effective date February 3, 2010.

vi. The proposed use will be designed, constructed, operated and maintained so as to be compatible in appearance with the existing or intended character of the general vicinity and will not change the essential character of that area.

The proposed Enterprise Car Rental and car sales business will be designed, constructed, operated and maintained so as to be compatible in appearance with the existing or intended character of the general vicinity and will not change the essential character of that area. See additional floor plans and elevations.

vii. The proposed use will not be hazardous or create a nuisance as defined in the zoning code to existing or future neighboring structures.

The proposed Enterprise Car Rental and car sales business will not be hazardous or create a nuisance as defined in the zoning code to existing or future neighboring structures. No hazardous materials will be used at the site. We do not service vehicles onsite. Unlike other typical car sale facilities, we do not use a PA system to cause a disturbance to the neighbors.

viii. The proposed use will be served adequately by essential public facilities and services, including streets, police and fire protection, drainage structures, refuse disposal, water and sewer systems and schools or will be served adequately by such facilities and services provided by the persons or agencies responsible for the establishment of the proposed use.

The proposed Enterprise Car Rental and car sales business will be served adequately by essential public facilities and services listed.

ix. The proposed use will not create excessive additional requirements at public cost for public facilities and services and will not be detrimental to the economic welfare of the community.

The proposed Enterprise Car Rental and car sales business will not create excessive additional requirements at public cost. The development of the land should actually increase the value of the surrounding properties.

x. The proposed use will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare because of excessive production of traffic, noise, smoke, fumes, glare or odors.

The proposed Enterprise Car Rental and car sales business will not involve these items listed. As noted above, we do not service vehicles onsite, no repair work will be done on site. No onsite fuel.

xi. Vehicular approaches to the property, where present, will not create traffic congestion or interfere with traffic on surrounding public thoroughfares.

The proposed Enterprise Car Rental and car sales business will not create traffic congestion or interfere with traffic on surrounding public thoroughfares. The development of the site will include detailed customer guide signage to assist customers with the intended flow of the lot. This will allow positive flow of circulation and avoid unnecessary congestion.

xii. The proposed use will not result in the destruction, loss or damage of a natural or scenic feature of major importance.

The proposed Enterprise Car Rental and car sales business will not result in the destruction, loss or damage of a natural or scenic feature of major importance. The land is bare. We intend on adding landscaping as required.

3. Verification of ownership (a copy of a current title report, purchase agreement, etc.)

A copy of the executed purchase agreement is included with this application. Enterprise intends on purchasing the property from the current owner Lakeview upon receiving full permits from the local municipality.

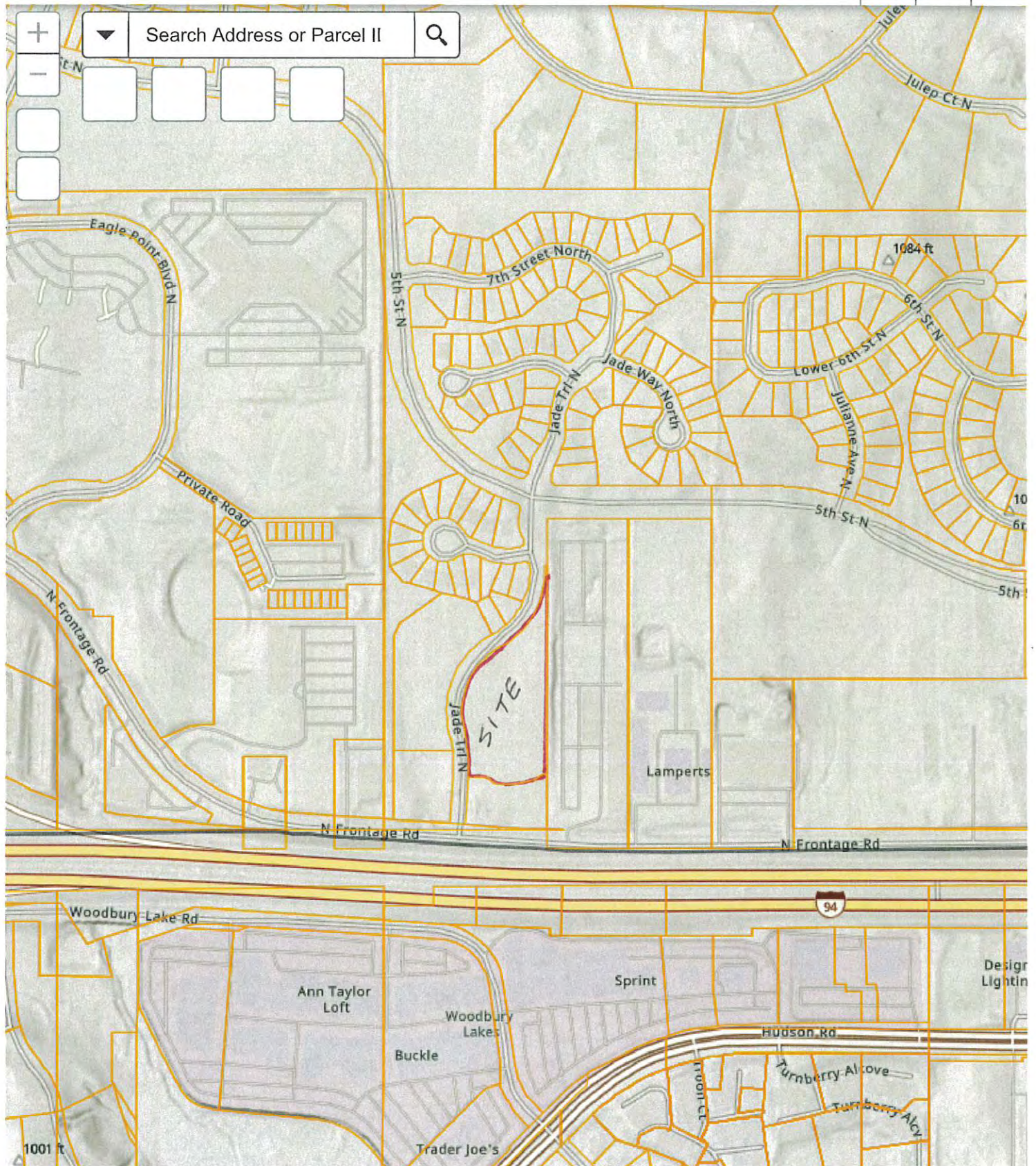
4. Address labels: A certified list of property owners located within three hundred fifty (350') feet of the subject property obtained from and certified by a licensed abstractor or through Washington County.

We intend on using the Washington county parcel search

Parcel Viewer - Quick Access

Beta

Washington Co.



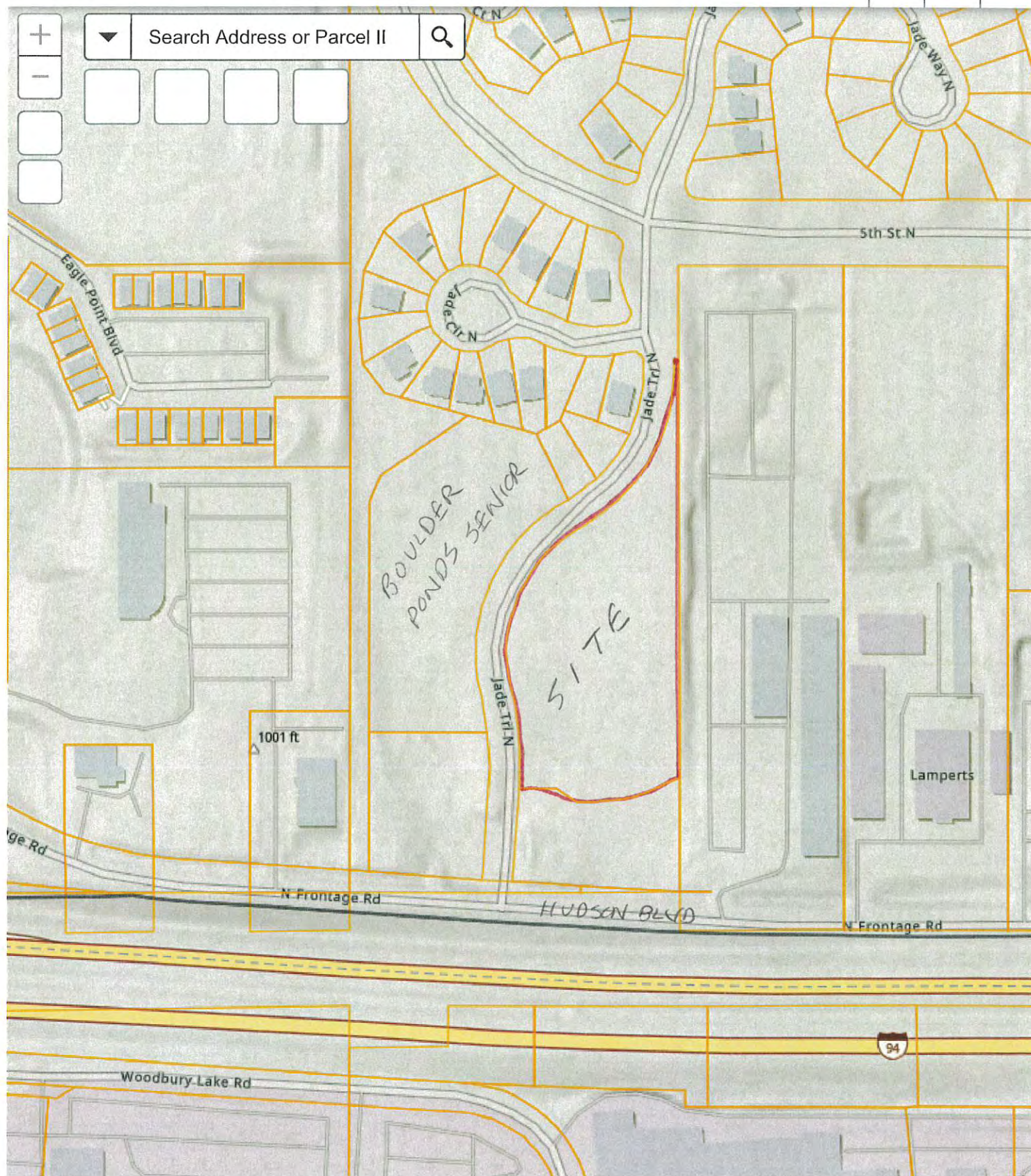
LOCATION MAP

600ft
-92.889 44.956 Degrees

Parcel Viewer - Quick Access

Beta

Washington Co.



PROPERTY LINE MAP

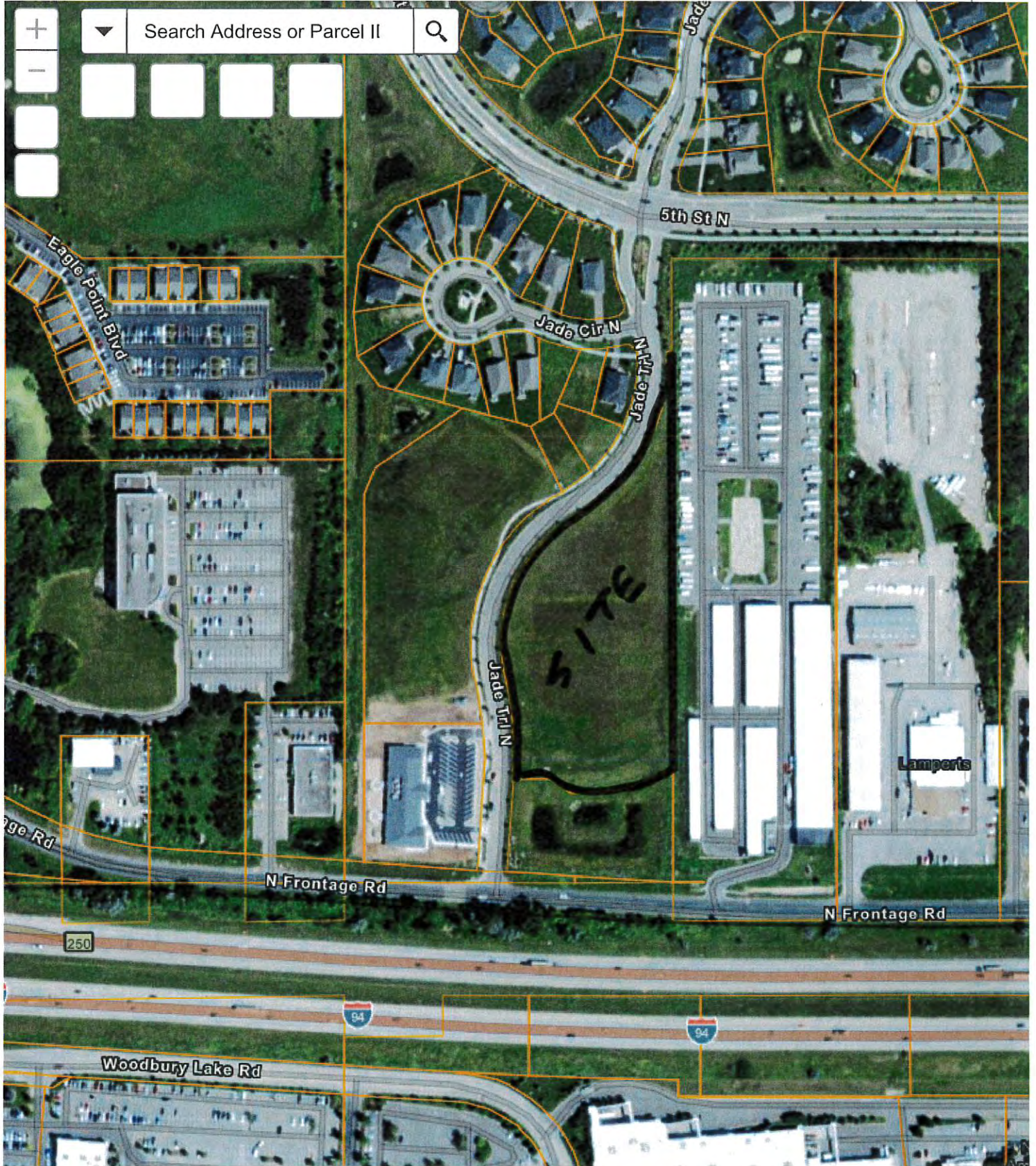
300ft

-92.907 44.954 Degrees

Parcel Viewer - Quick Access

Beta

Washington Co., NY



300ft

-92 906 44 954 Degrees

AERIAL PHOTO

PINGREE ADDITION

KNOW ALL PERSONS BY THESE PRESENTS: Pingree 2000 Real Estate Holdings, LLC, a Missouri limited liability company, fee owner of the following described property situated in the County of Washington, State of Minnesota, to wit:

Outlot F, BOULDER PONDS, Washington County, Minnesota.

Has caused the same to be surveyed and platted as PINGREE ADDITION and does hereby dedicate to the public for public use the drainage and utility easements created by this plat.

In witness whereof said Pingree 2000 Real Estate Holdings, LLC, a Missouri limited liability company, has caused these presents to be signed by _____ as _____ this ____ day of _____, 20____,

PINGREE 2000 REAL ESTATE HOLDINGS, LLC

as _____

STATE OF _____
COUNTY OF _____
This instrument was acknowledged before me on this ____ day of _____, 20____, by _____, as _____ of Pingree 2000 Real Estate Holdings, LLC, a Missouri limited liability company, on behalf of the company.

(signature)

(printed)

Notary Public, _____ County, _____
My Commission Expires _____

I Jason E. Rud do hereby certify that I have surveyed and platted or directly supervised the survey and platting of the property described on this plat as PINGREE ADDITION; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on the plat; that all monuments depicted on the plat have been or will be correctly set within one year as indicated on the plat; that all water boundaries and wet lands as defined in MS Section 505.01, Subd. 3 existing as of the date of this certification are shown and labeled on the plat; and that all public ways are shown and labeled on the plat.

Dated this ____ day of _____, 20____

Jason E. Rud, Licensed Land Surveyor
Minnesota License No. 41578

STATE OF MINNESOTA
COUNTY OF _____

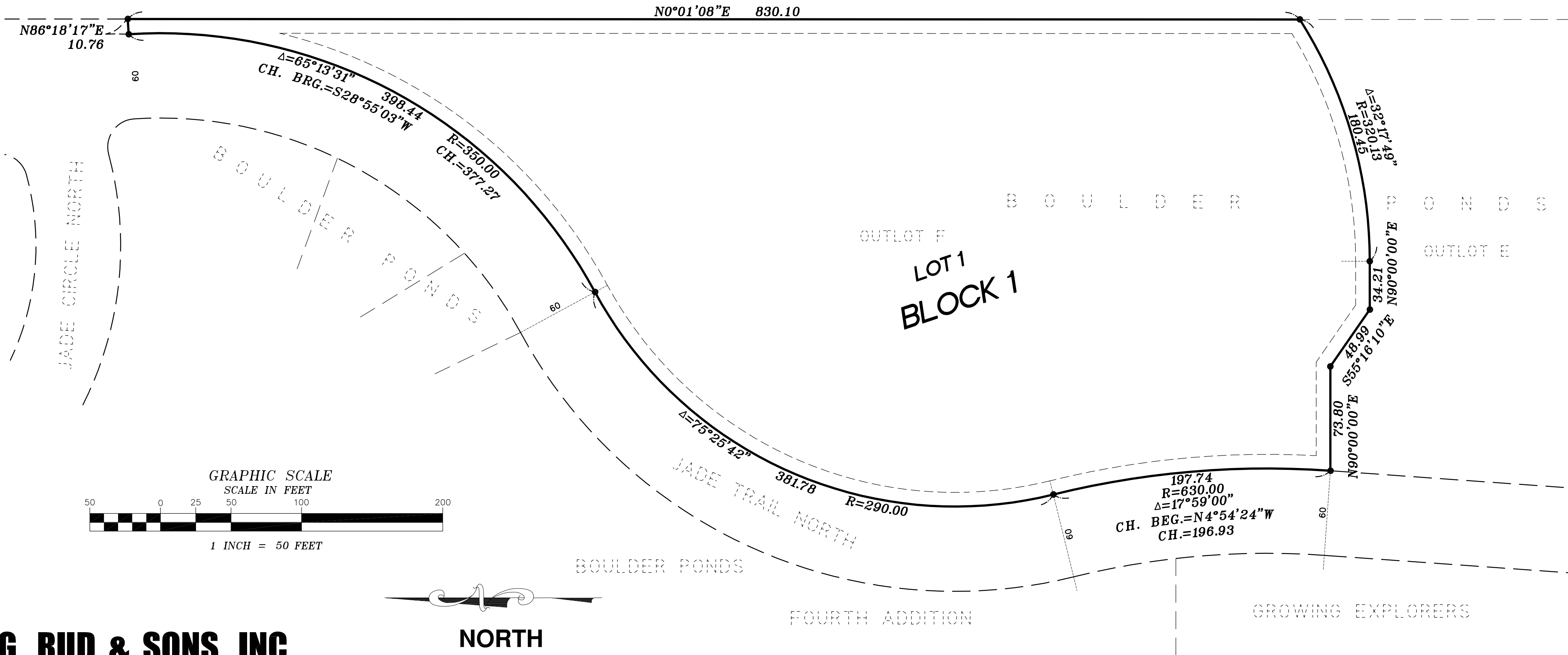
The foregoing Surveyor's Certificate was acknowledged before me on this ____ day of _____, 20____, by Jason E. Rud, Licensed Land Surveyor, Minnesota License No. 41578.

(signature)

(printed)

Notary Public, _____ County, Minnesota
My Commission Expires _____

SW 1/4 OF THE SW 1/4
SEC. 34, T.29, R.21



LAKE ELMO PLANNING COMMISSION
Approved by the Planning Commission of the City of Lake Elmo, Minnesota, this ____ day of _____, 20____.

PLANNING COMMISSION, CITY OF LAKE ELMO, MINNESOTA

By _____ Chairman By _____ Secretary

CITY OF LAKE ELMO, MINNESOTA
The foregoing plat of PINGREE ADDITION was approved by the City Council of Lake Elmo, Minnesota, this ____ day of _____, 20____, and hereby certifies compliance with all requirements as set forth in Minnesota Statutes, Section 505.03, Subdivision 2.

CITY OF LAKE ELMO, MINNESOTA

By _____ Mayor By _____ Clerk

COUNTY SURVEYOR
Pursuant to Chapter 820, Laws of Minnesota, 1971, and in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this ____ day of _____, 20____.

By _____ Washington County Surveyor By _____

COUNTY AUDITOR/TREASURER
Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20____ on the land hereinbefore described have been paid. Also pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer has been entered on this ____ day of _____, 20____.

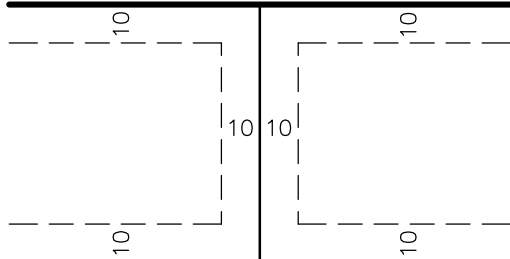
By _____ Washington County Auditor/Treasurer By _____ Deputy

COUNTY RECORDER
Document Number _____
I hereby certify that this instrument was recorded in the Office of the County Recorder for record on this ____ day of _____, 20____, at _____ o'clock ____ M., and was duly recorded in Washington County Records.

By _____ Washington County Recorder By _____ Deputy

EASEMENT DETAIL

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



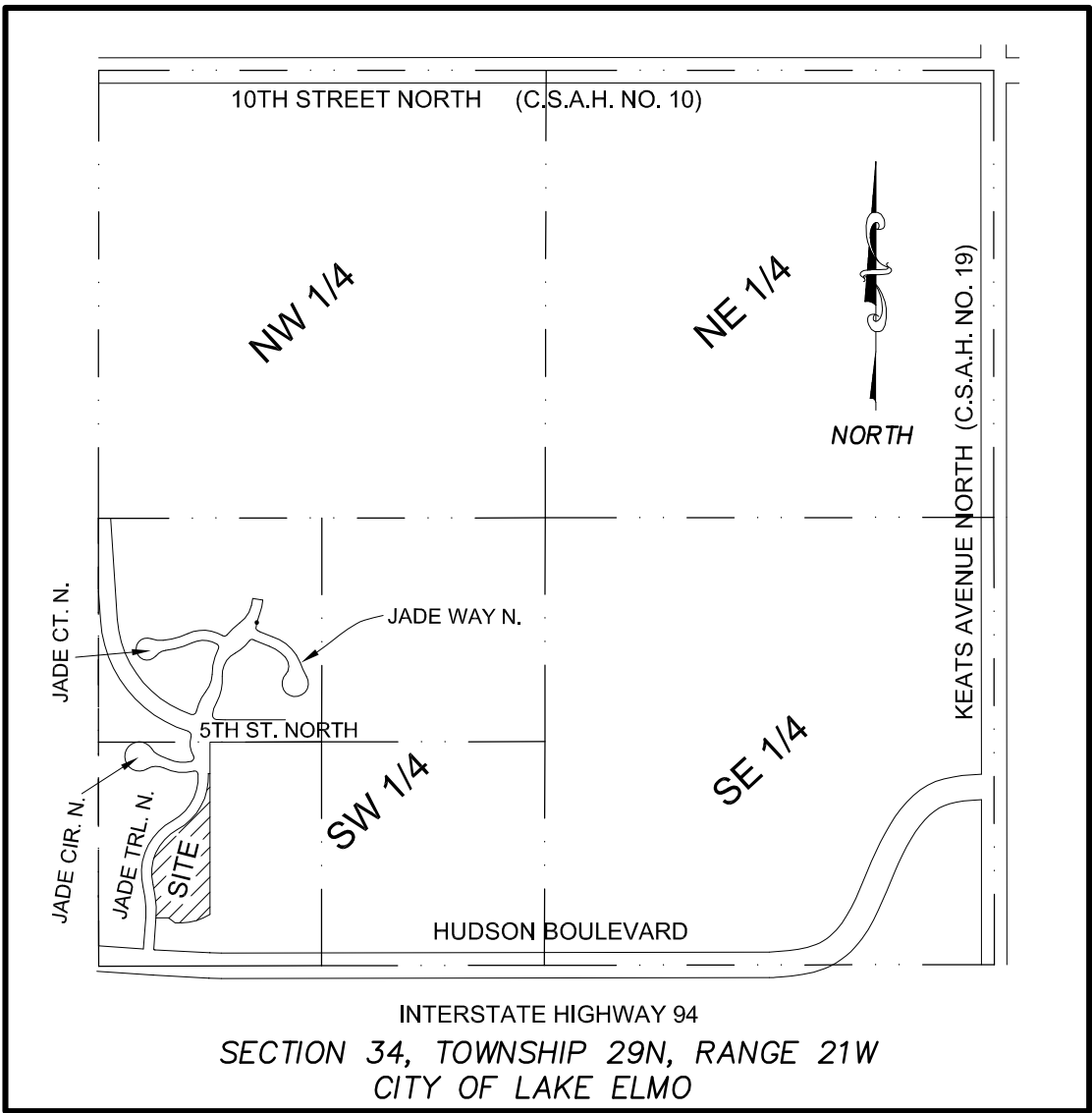
BEING 10 FEET IN WIDTH AND ADJOINING ALL LOT LINES, UNLESS OTHERWISE SHOWN ON THIS PLAT.

● DENOTES FOUND IRON MONUMENT MARKED BY RLS NO. 41578.

ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE WASHINGTON COUNTY COORDINATE SYSTEM. (NAD 83)

VICINITY MAP

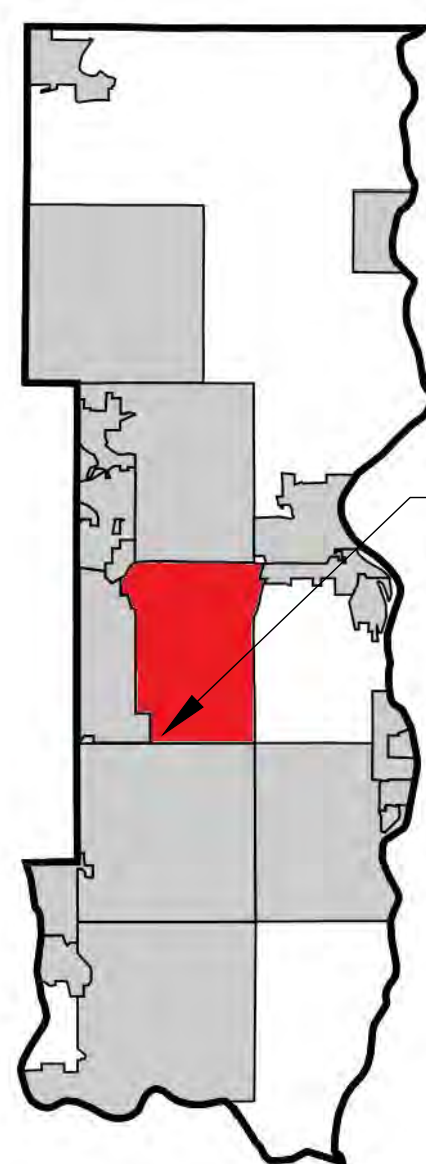
NOT TO SCALE



SITE DEVELOPMENT PLANS
FOR
ENTERPRISE RENT-A-CAR
XXX JADE TRAIL NORTH
LAKE ELMO, MINNESOTA

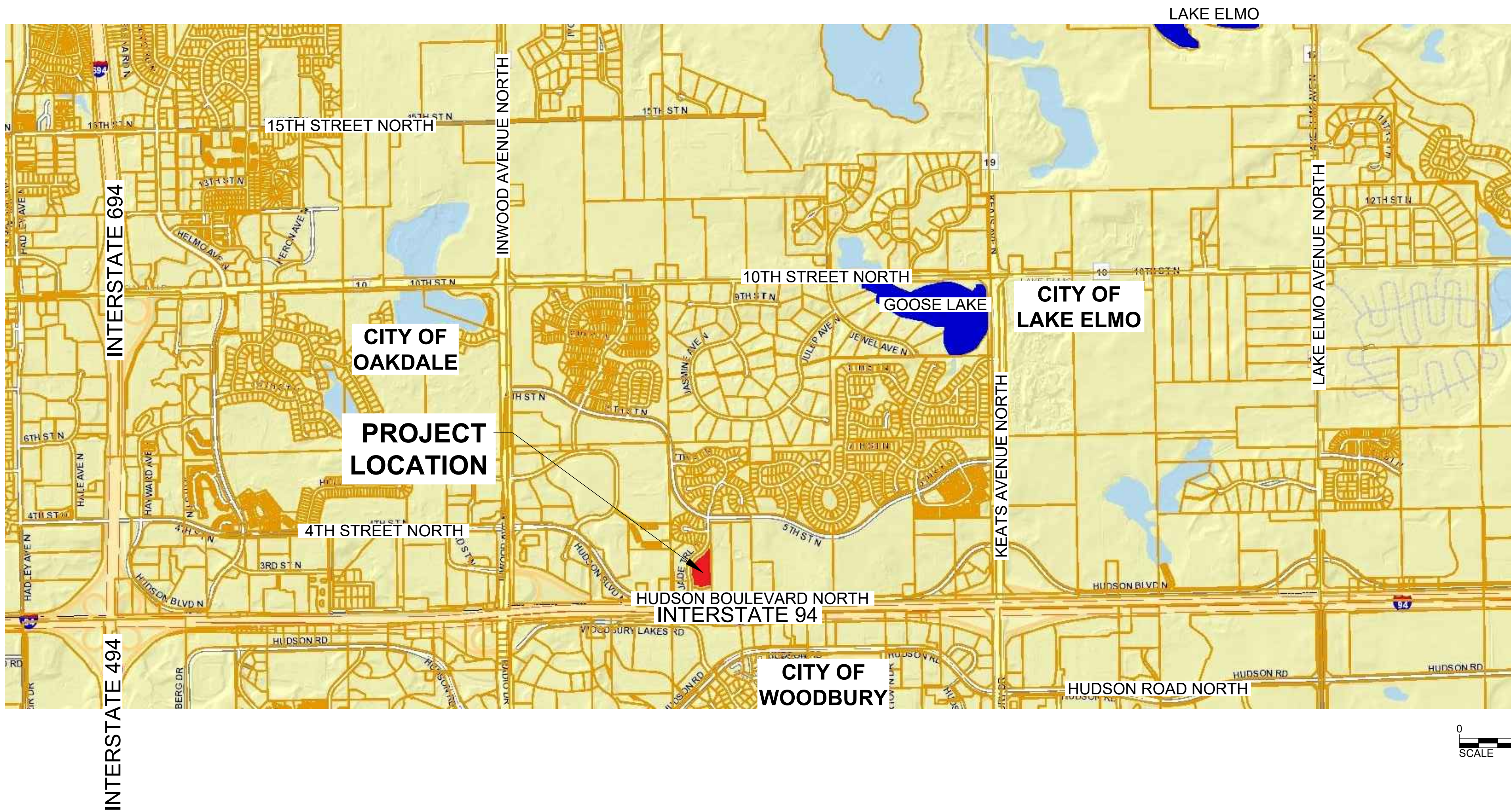


WASHINGTON COUNTY



SITE LOCATION

CITY OF LAKE ELMO
SECTION 34, TOWNSHIP 29, RANGE 21



SHEET INDEX

THIS PLAN CONTAINS 12 SHEETS

SHEET NO.	DESCRIPTION
C1	TITLE SHEET
C2-C5	DETAILS
C6	DETAILS & CONSTRUCTION NOTES
C7	EXISTING CONDITIONS & REMOVALS PLAN
C8	SITE PLAN
C9	GRADING & DRAINAGE PLAN
C10	UTILITY PLAN
C11-C12	STORMWATER POLLUTION PREVENTION PLAN

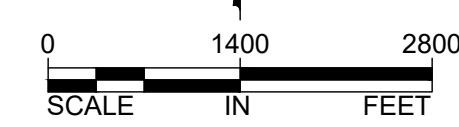


CALL BEFORE YOU DIG!
Gopher State One Call
Twin City Area: 651-454-0002
Toll Free: 1-800-252-1166

THE SUBSURFACE UTILITY INFORMATION
DEPICTED IN THESE PLANS ARE SHOWN
ACCORDING TO C1/ASCE 38-02, "STANDARD
GUIDELINES FOR THE COLLECTION AND
DEPICTION OF EXISTING SUBSURFACE UTILITY
DATA," LEVEL D STANDARDS.

LEGEND

IMPAIRED WATERS



f:\survey\houlder ponds - washington\02 engineering - 88862\01 CAD\05 Sheet Files\Title Sheet.dwg

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DRAWN BY: JRD		
CHECKED BY: GRP		

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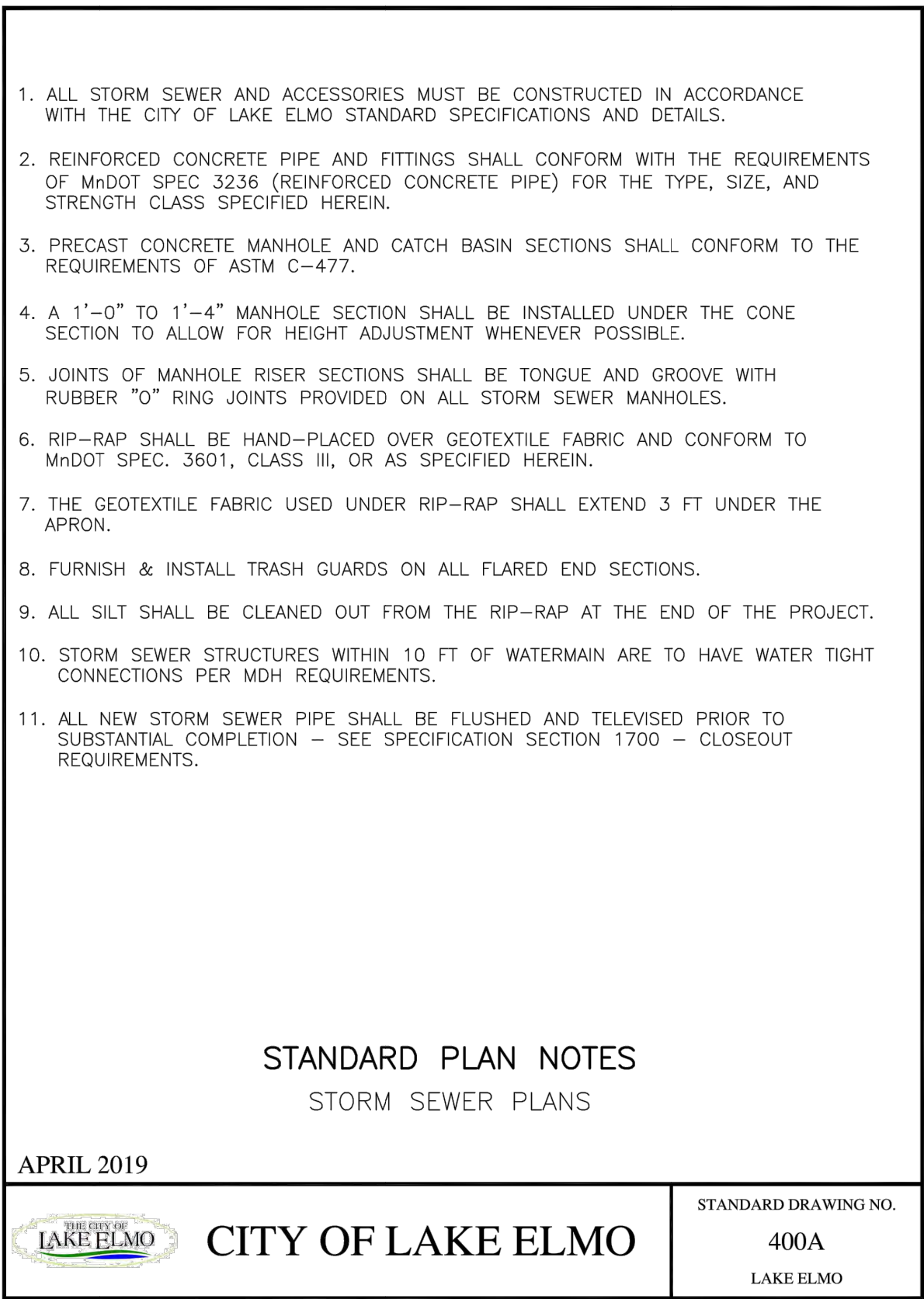
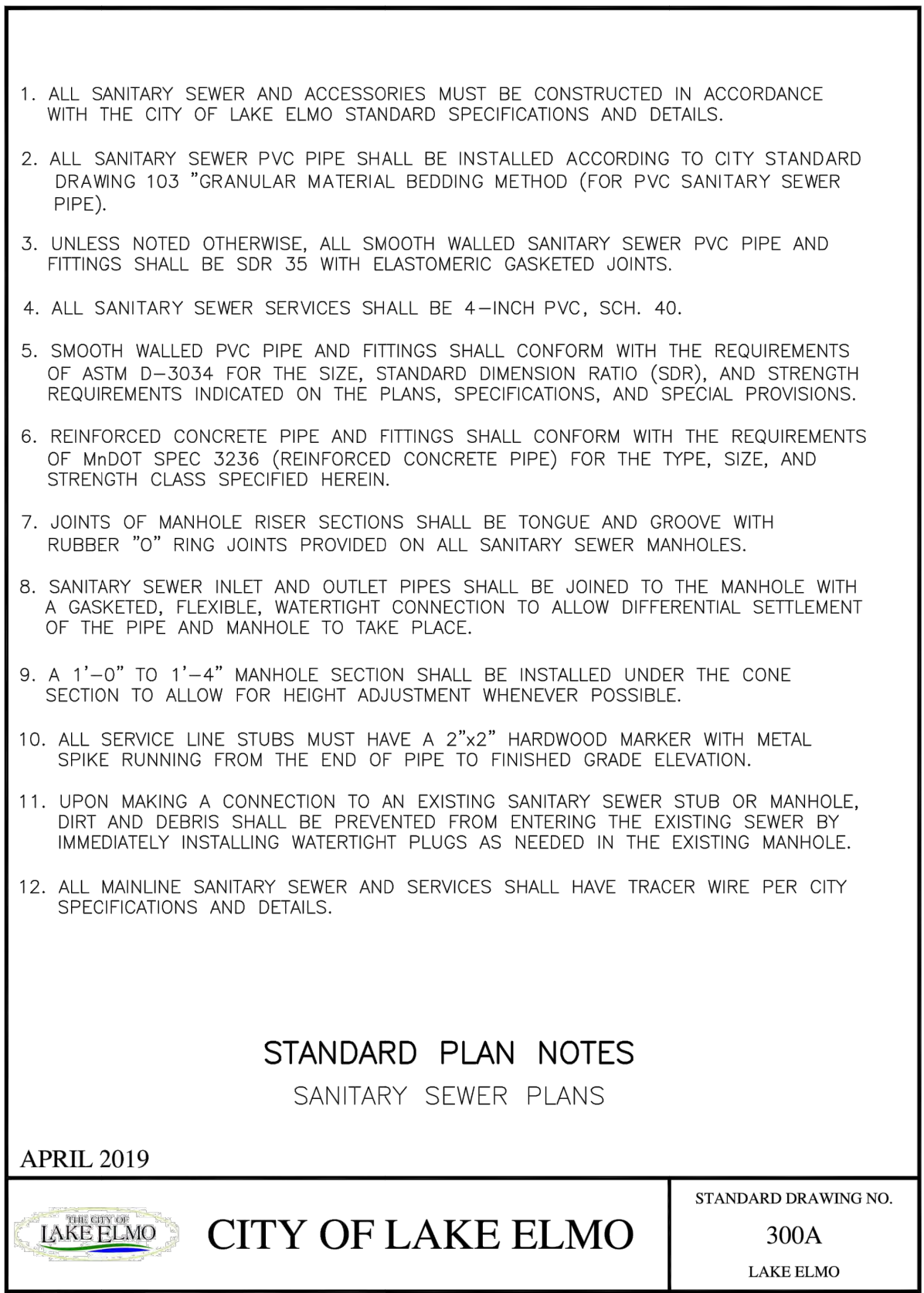
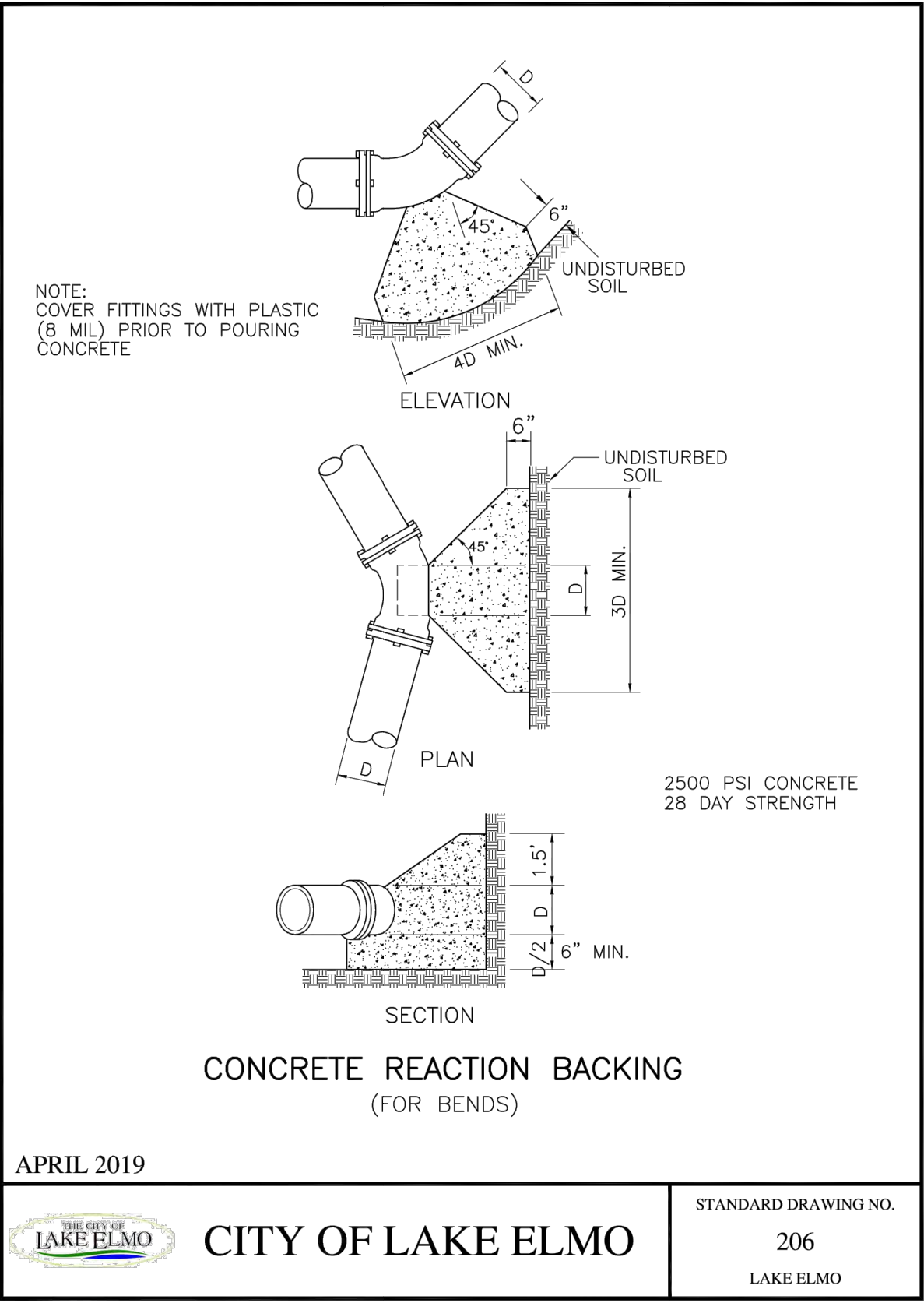
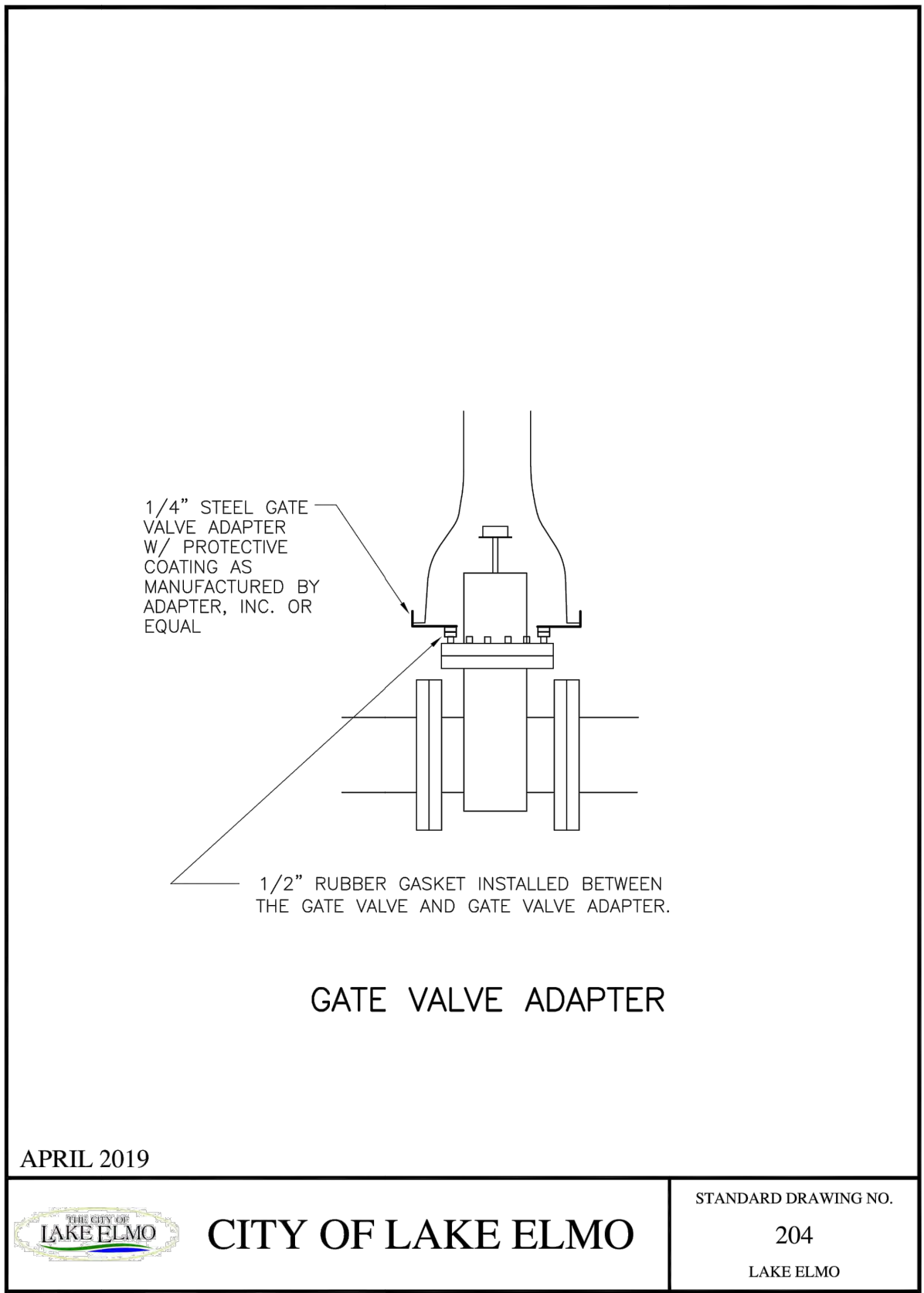
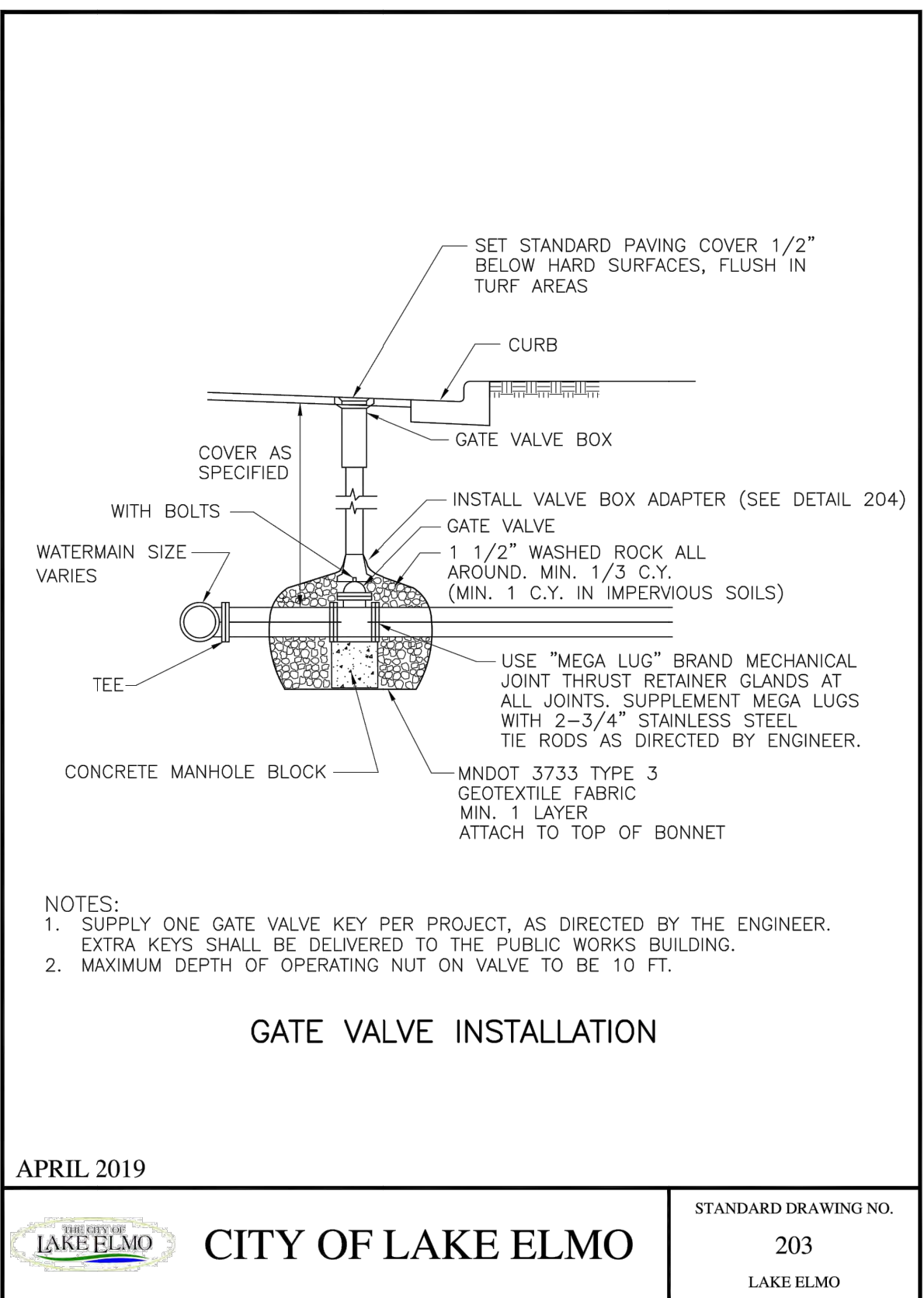
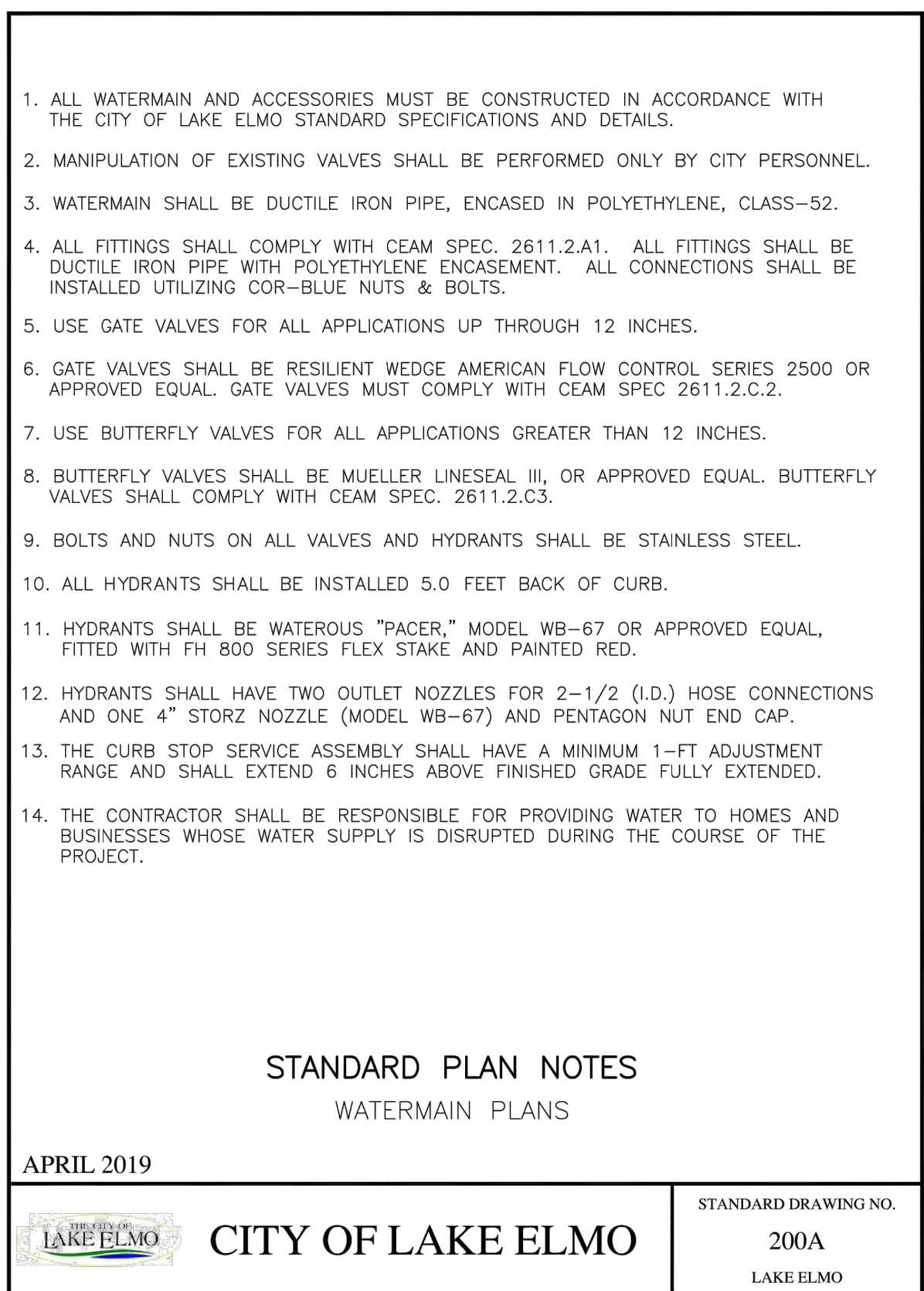
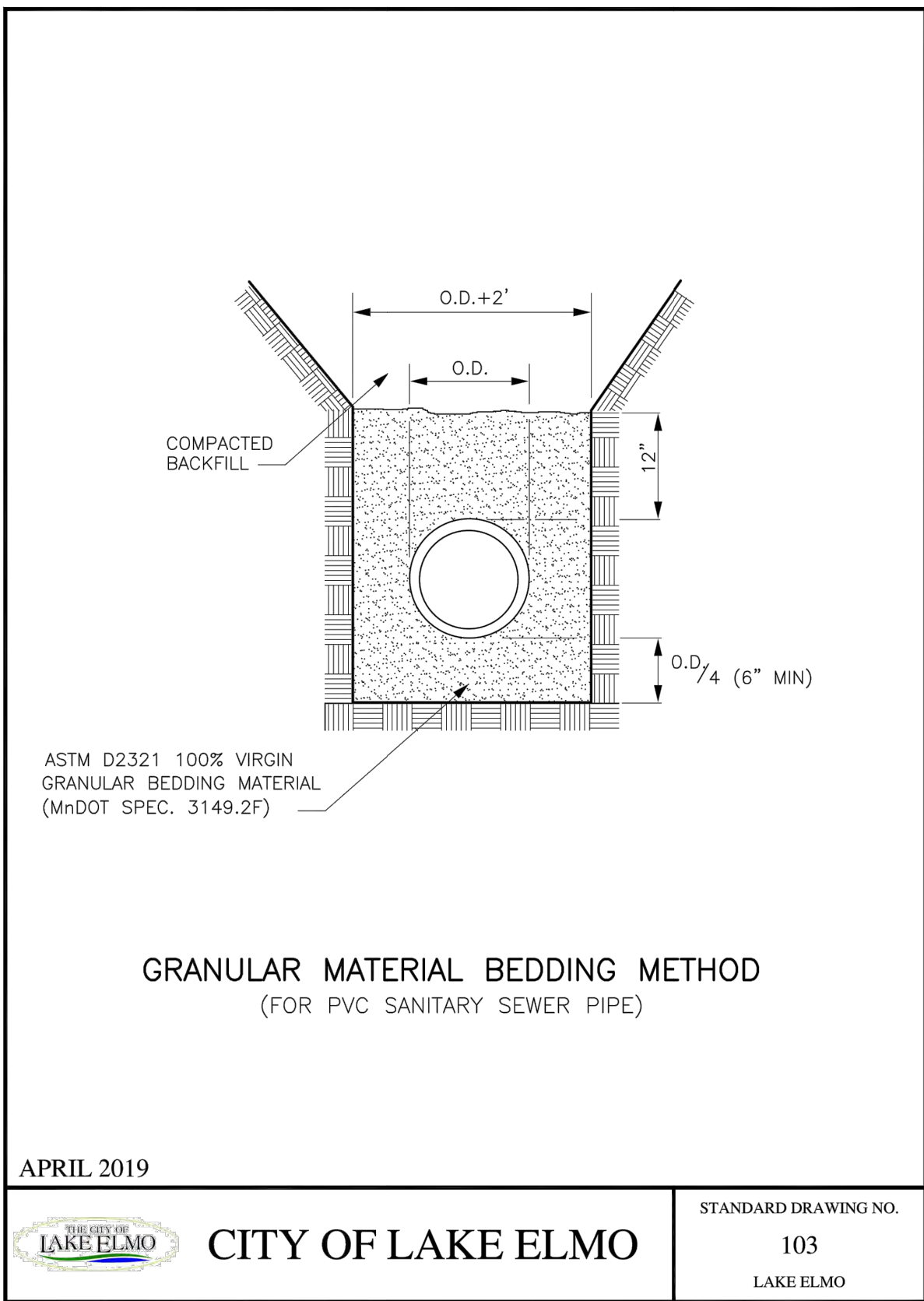
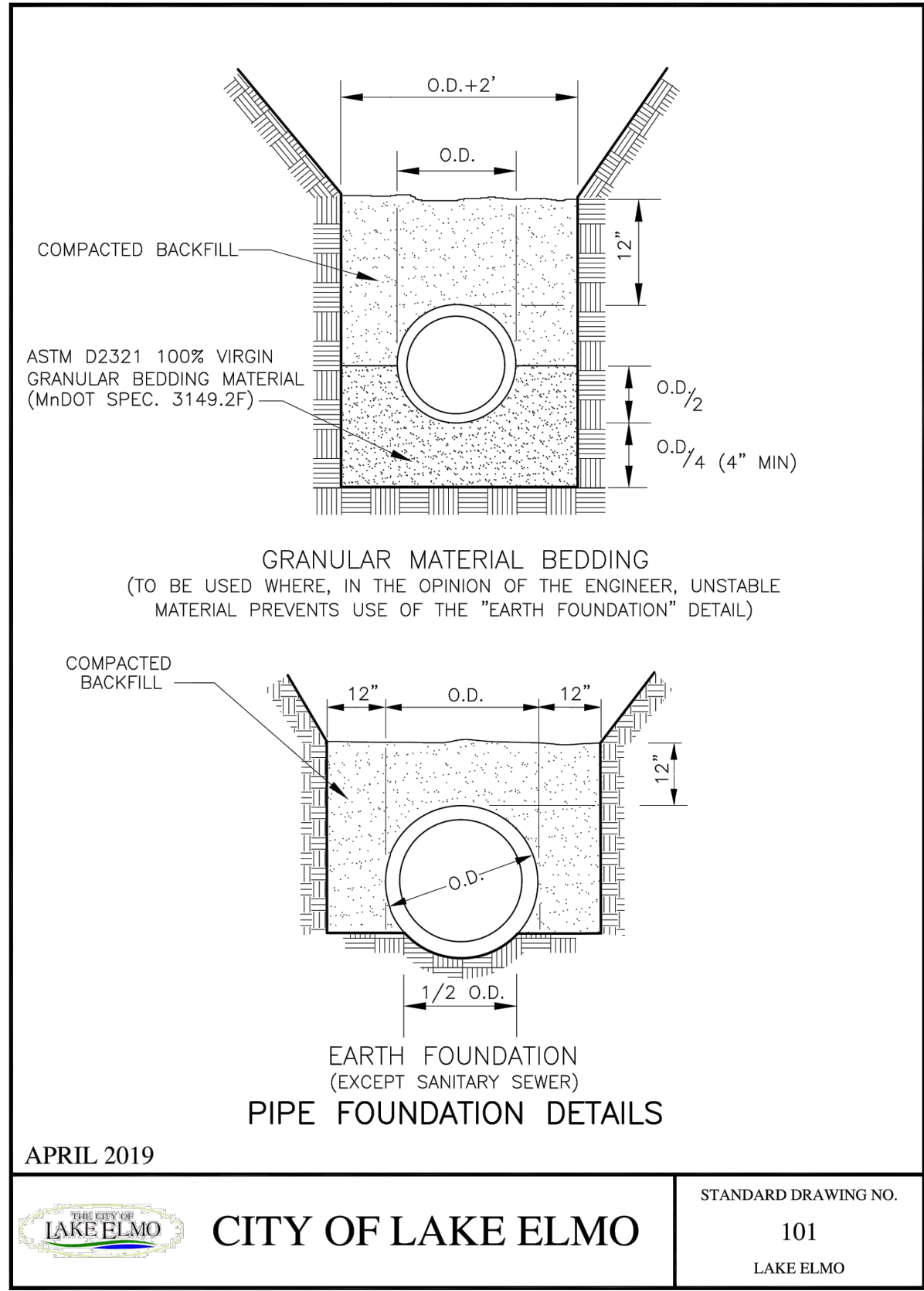
ENTERPRISE HOLDINGS
2775 BLUE WATER ROAD
EAGAN, MINNESOTA 55121

ENTERPRISE RENT-A-CAR
XXX JADE TRAIL NORTH
LAKE ELMO, MINNESOTA

TITLE SHEET

PROJECT: 88862
SHEET NO.
C1 of C12

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DRAWN BY: JRD		
CHECKED BY: GRP		
DATE: 07.09.21 LIC. NO.: 52706		

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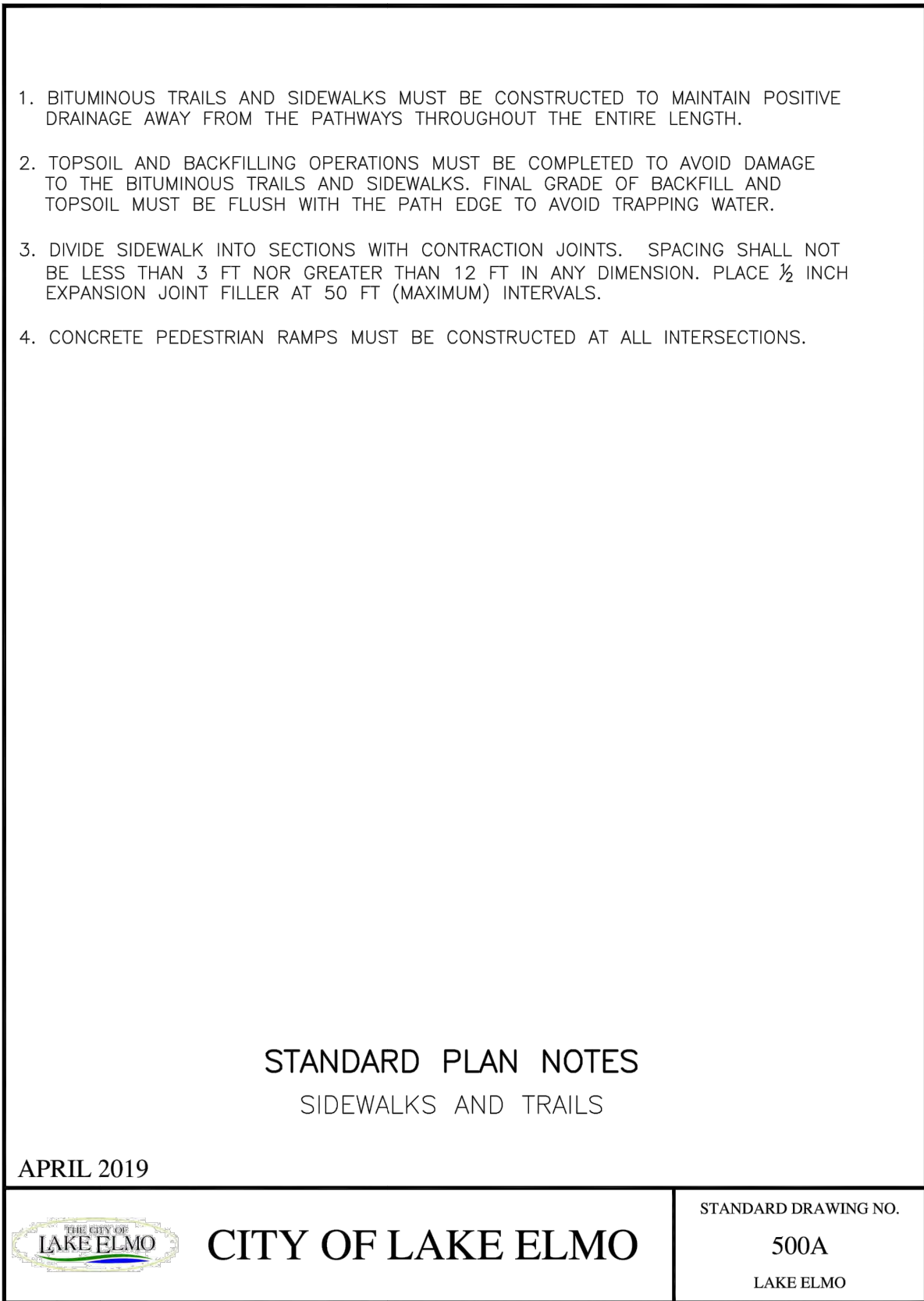
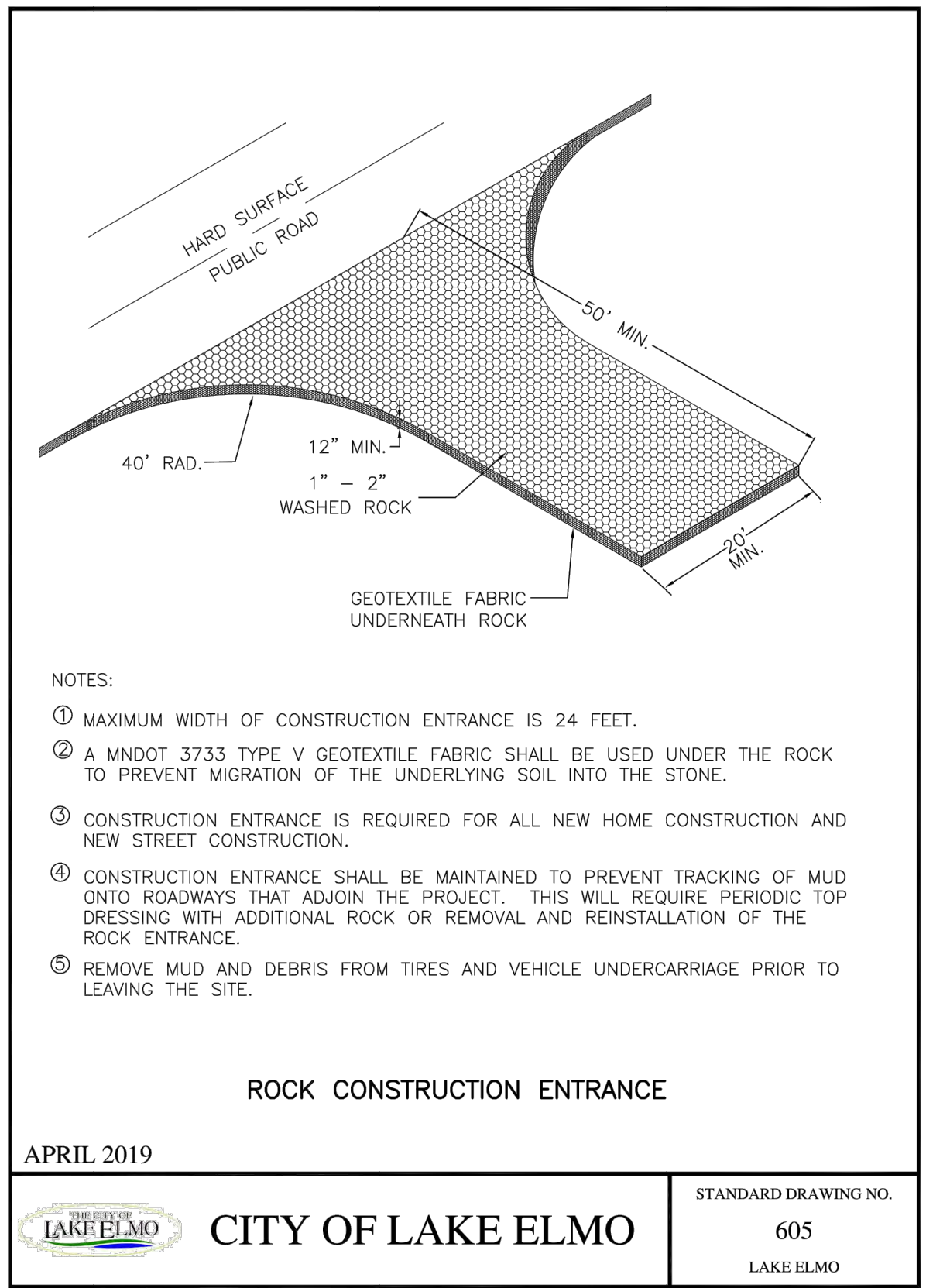
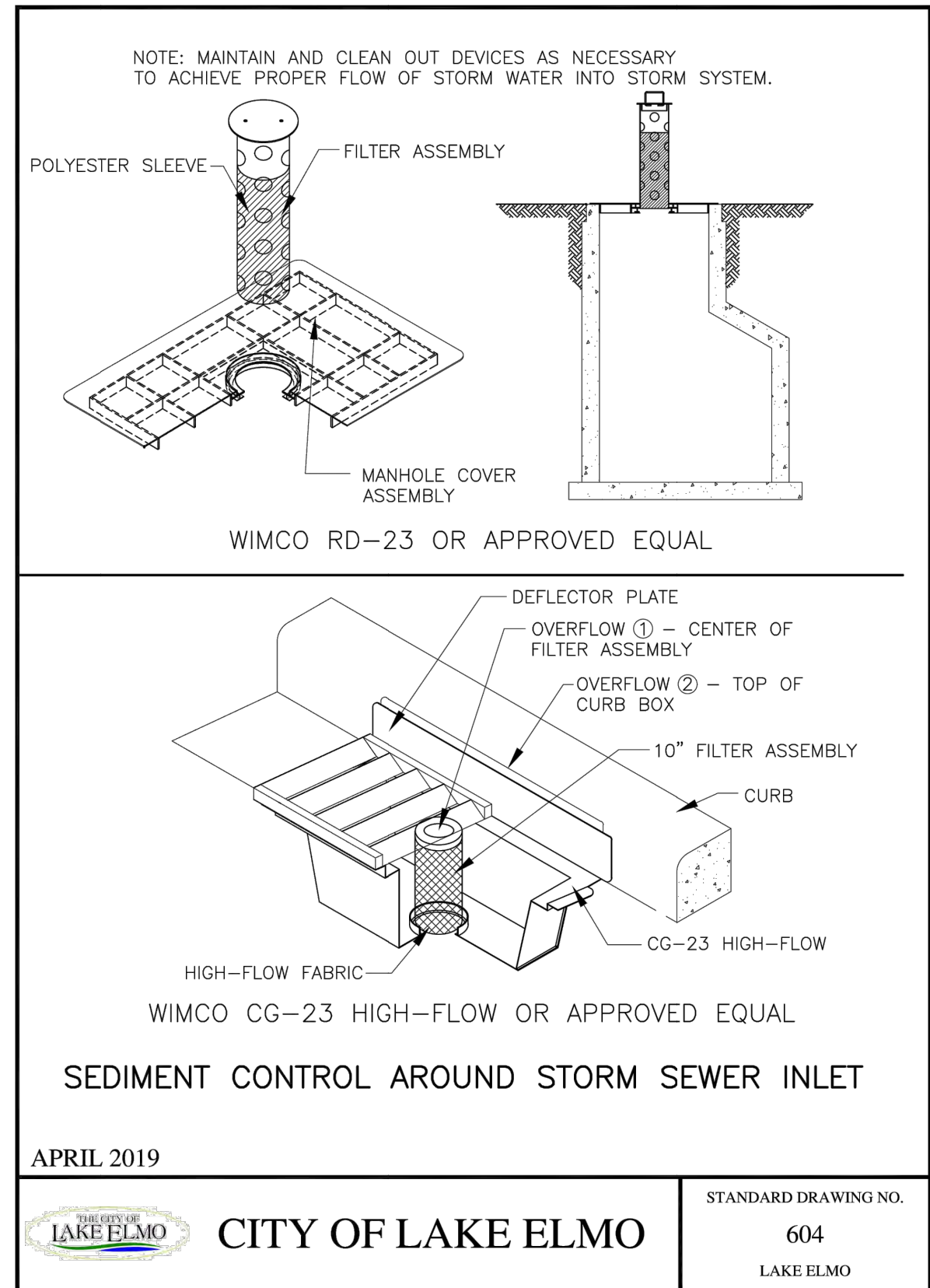
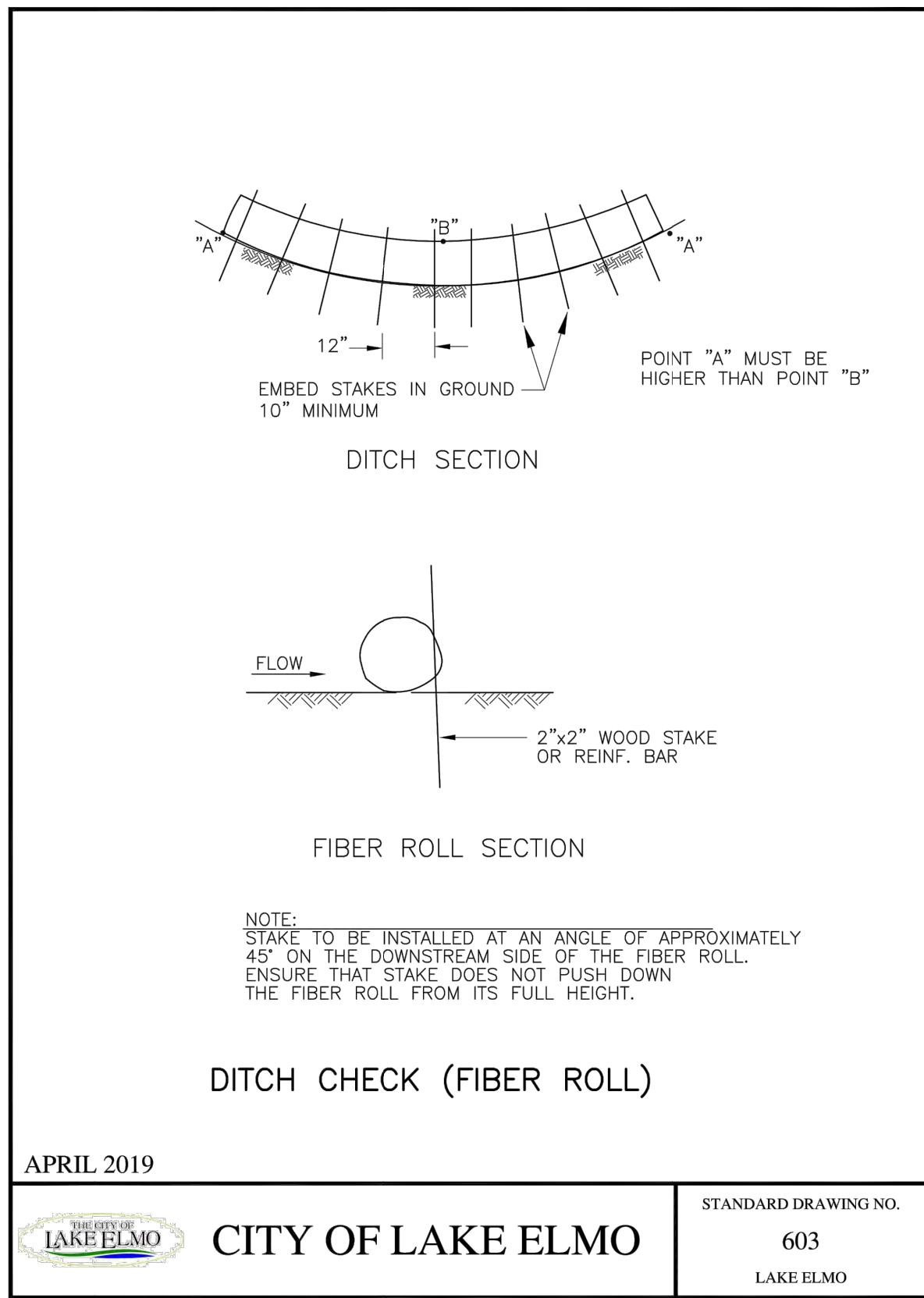
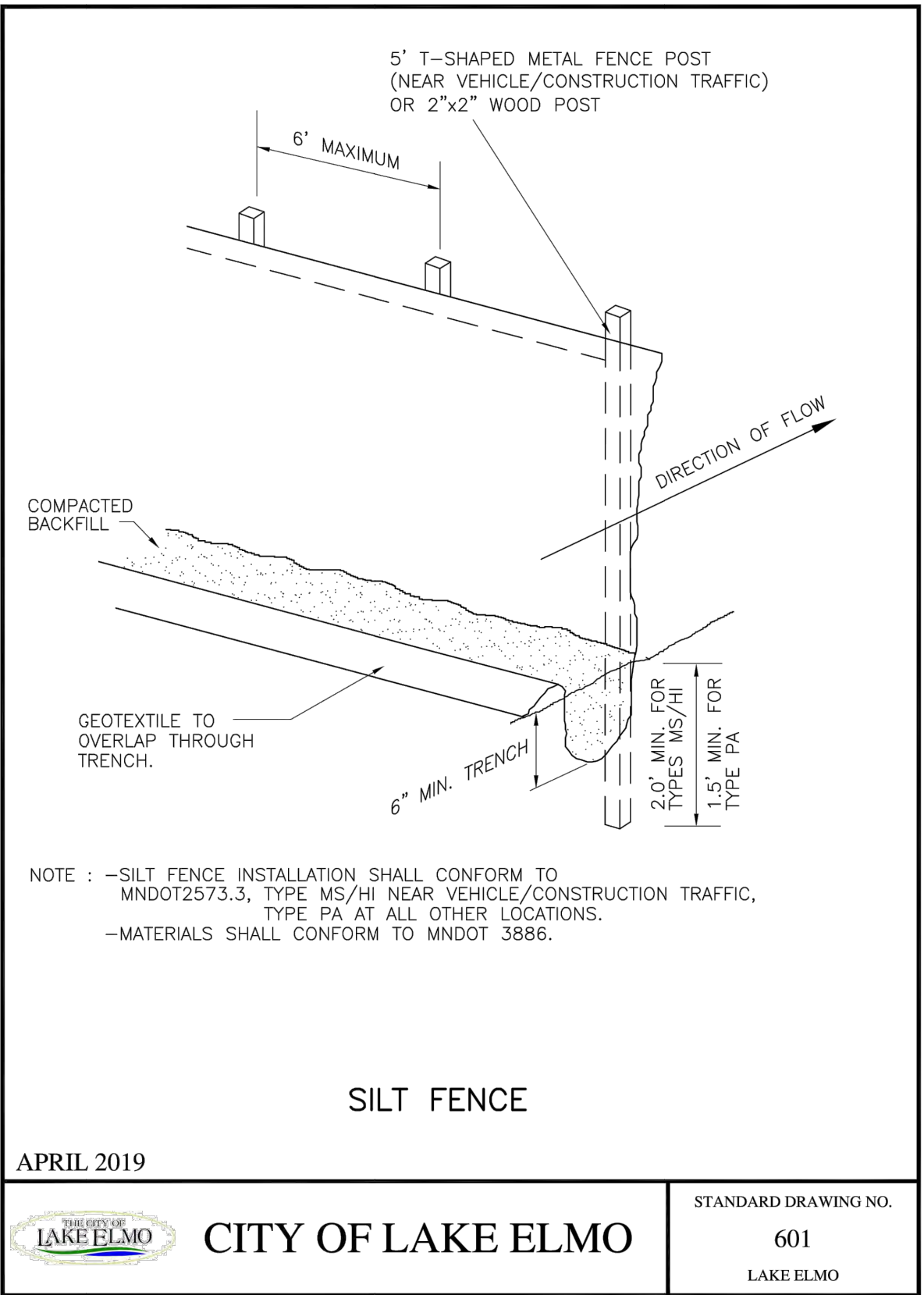
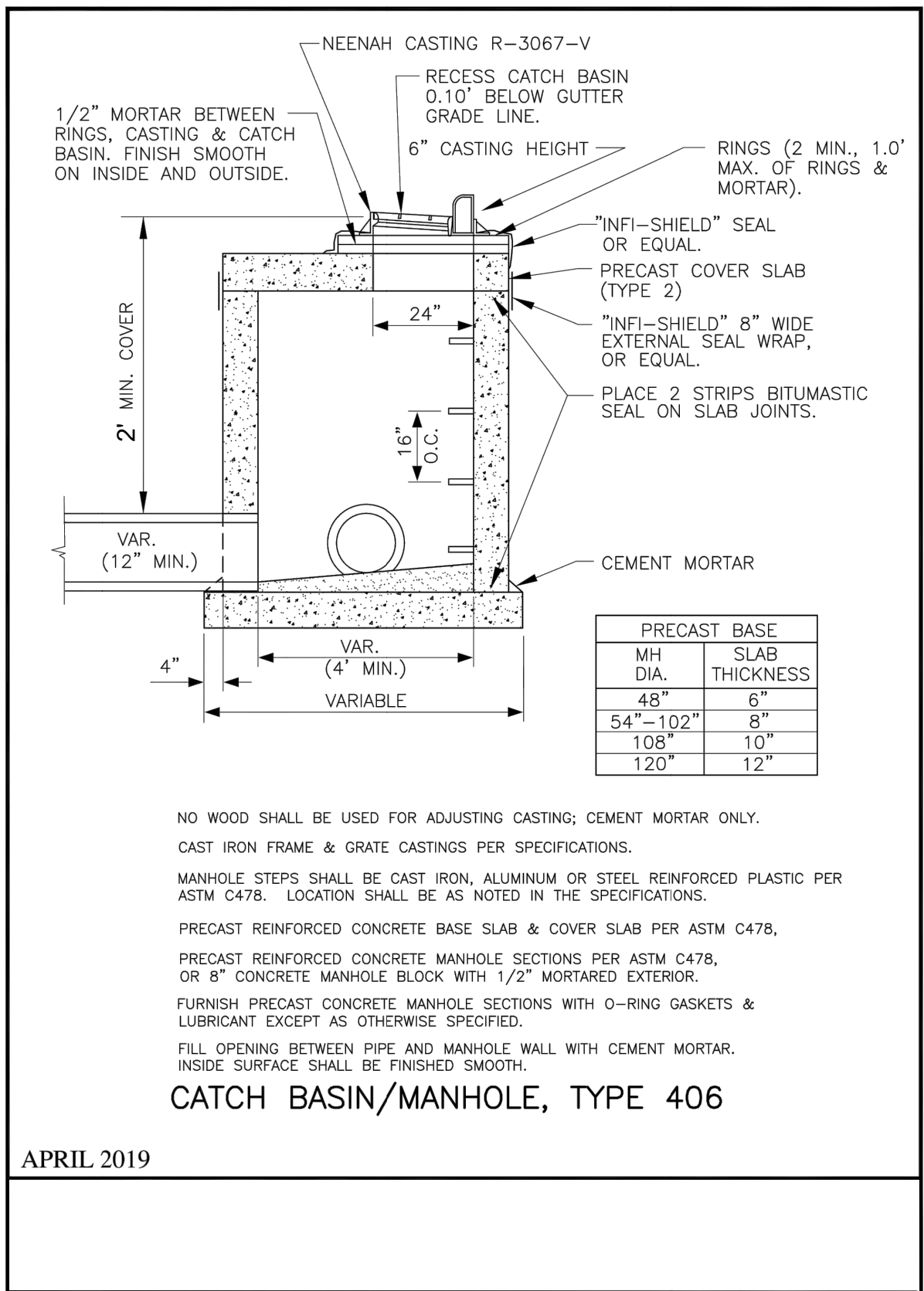
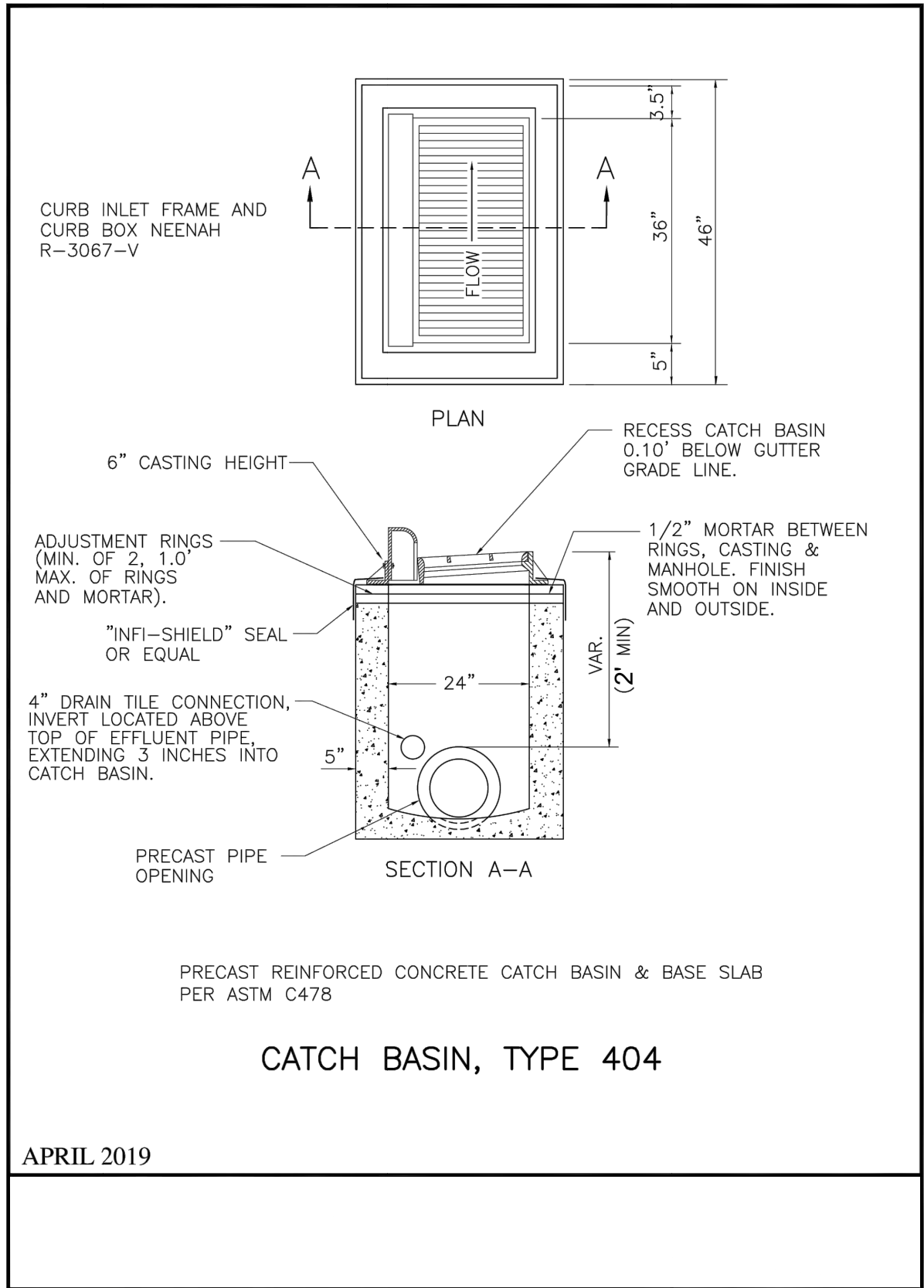
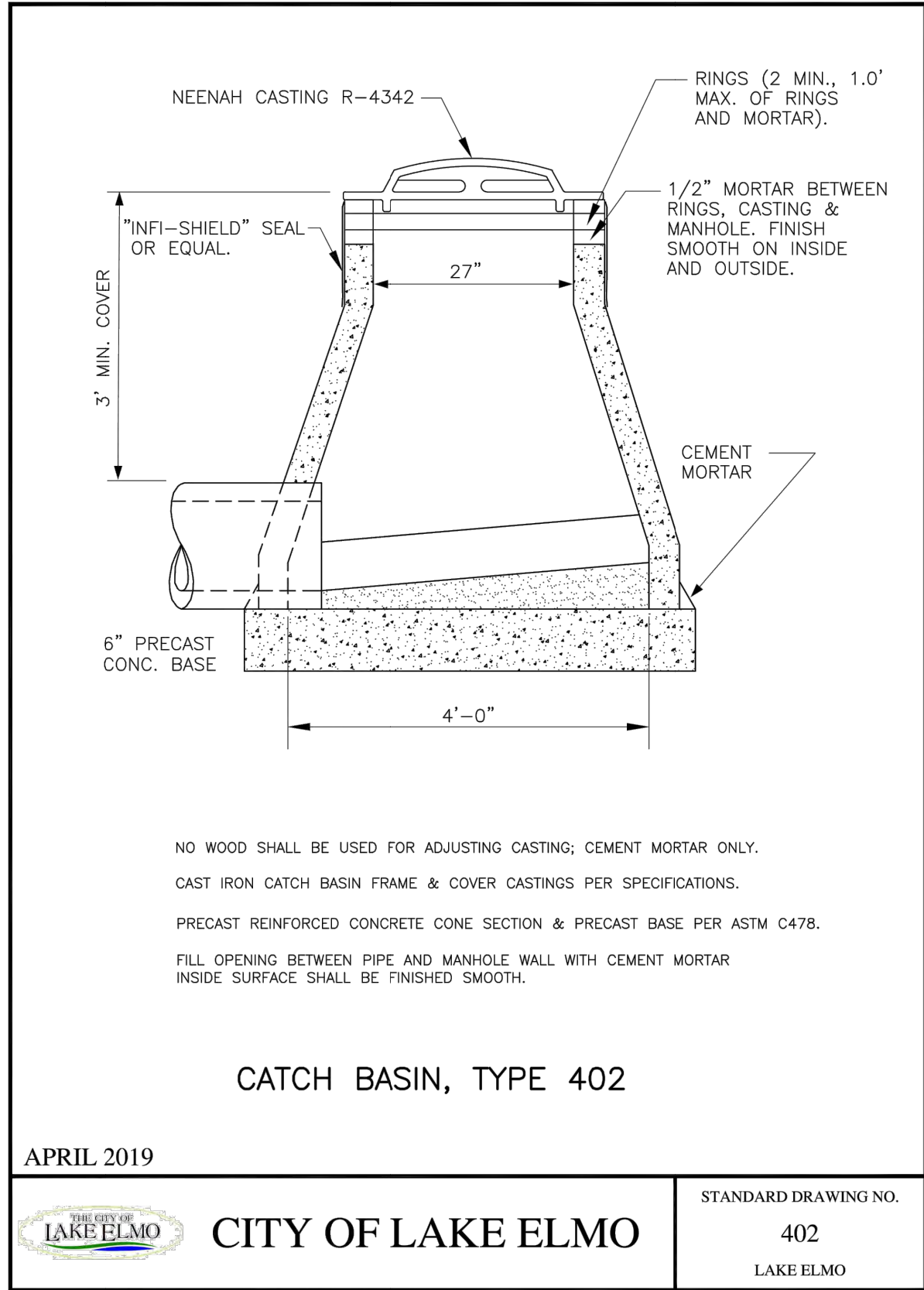
ENTERPRISE HOLDINGS
2775 BLUE WATER ROAD
EAGAN, MINNESOTA 55121

ENTERPRISE RENT-A-CAR
XXX JADE TRAIL NORTH
LAKE ELMO, MINNESOTA

DETAILS

PROJECT: 88862
SHEET NO.
C2 of C12

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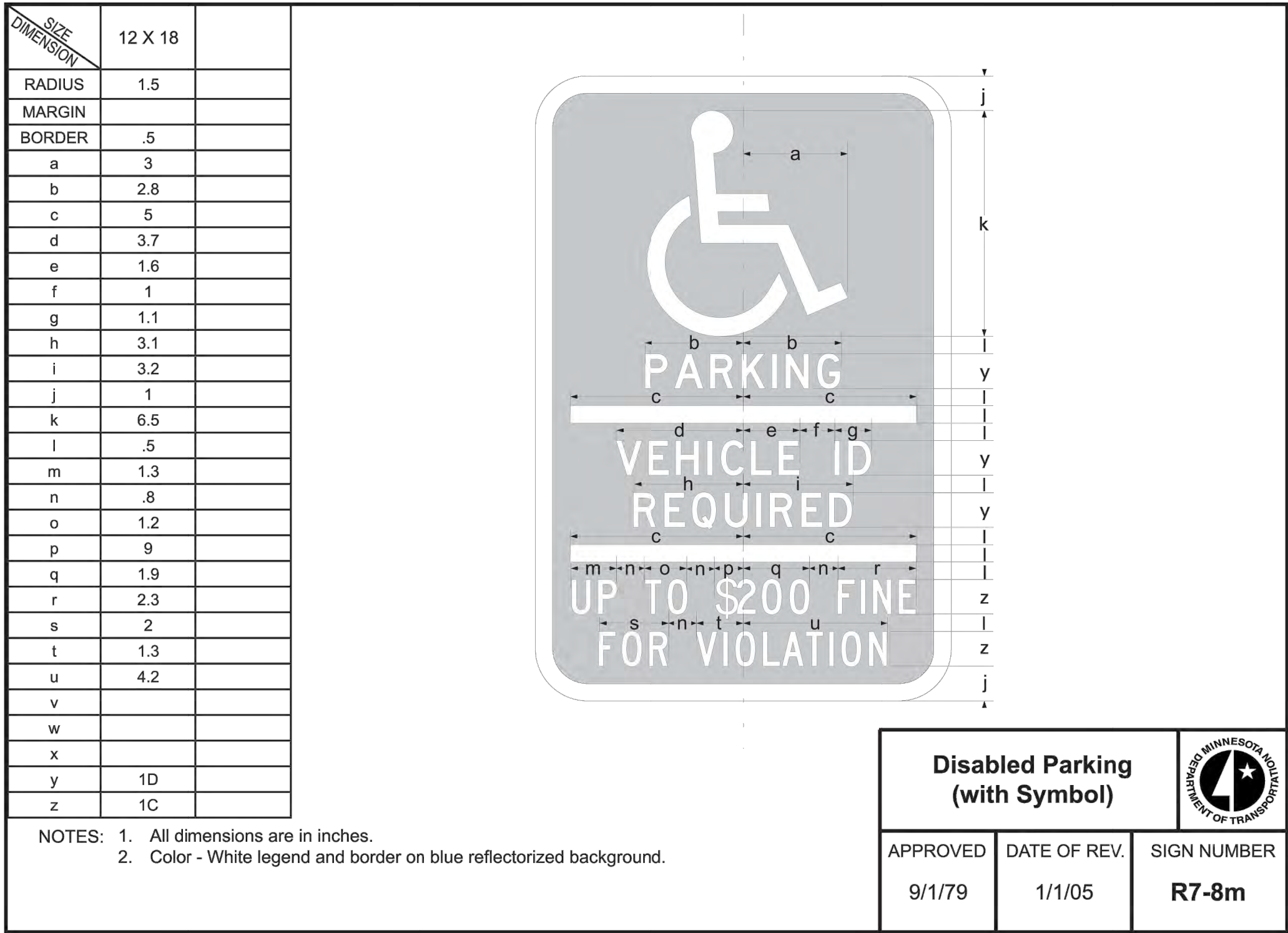
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DATE:	07.09.21
LIC. NO.:	52706

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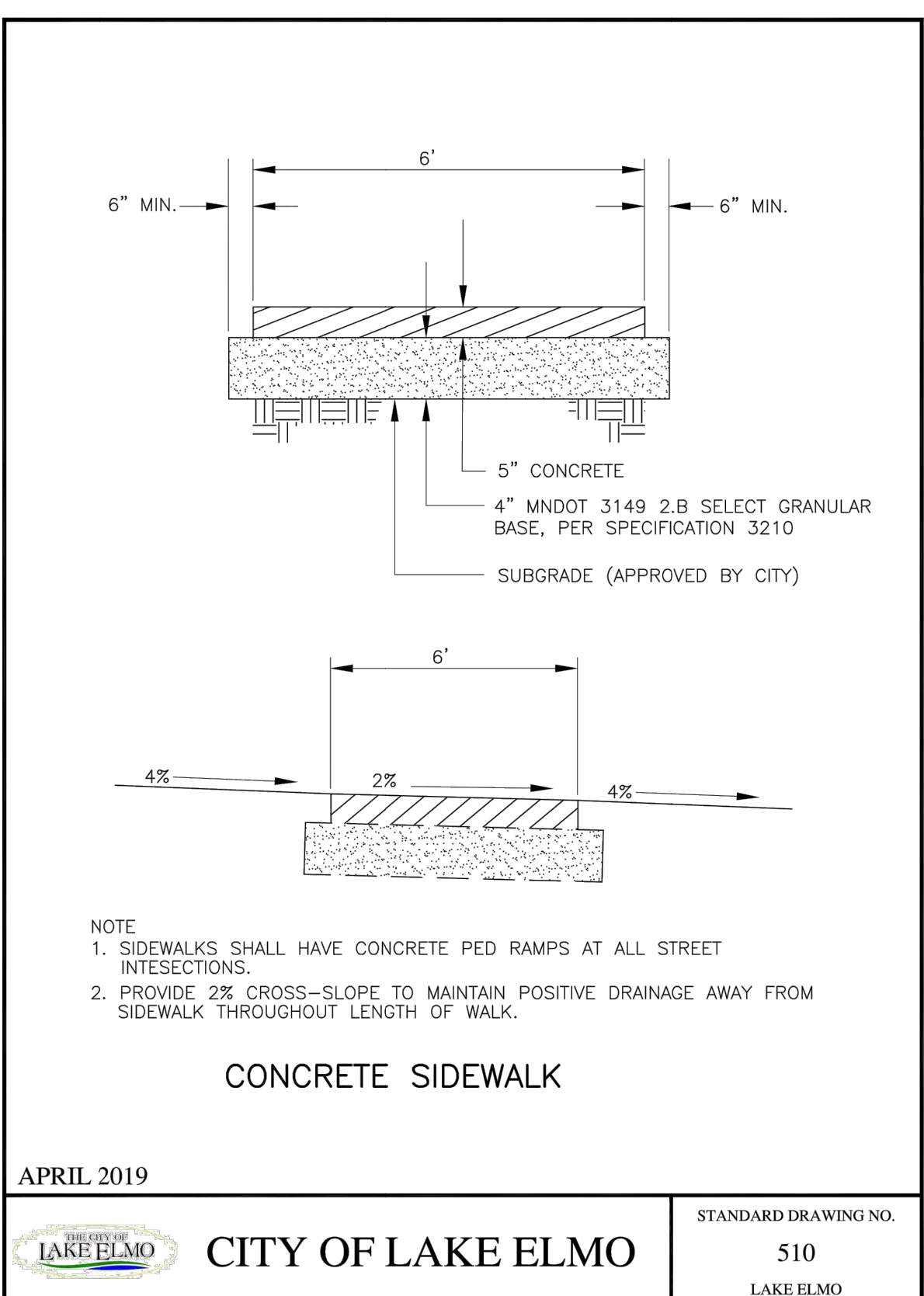
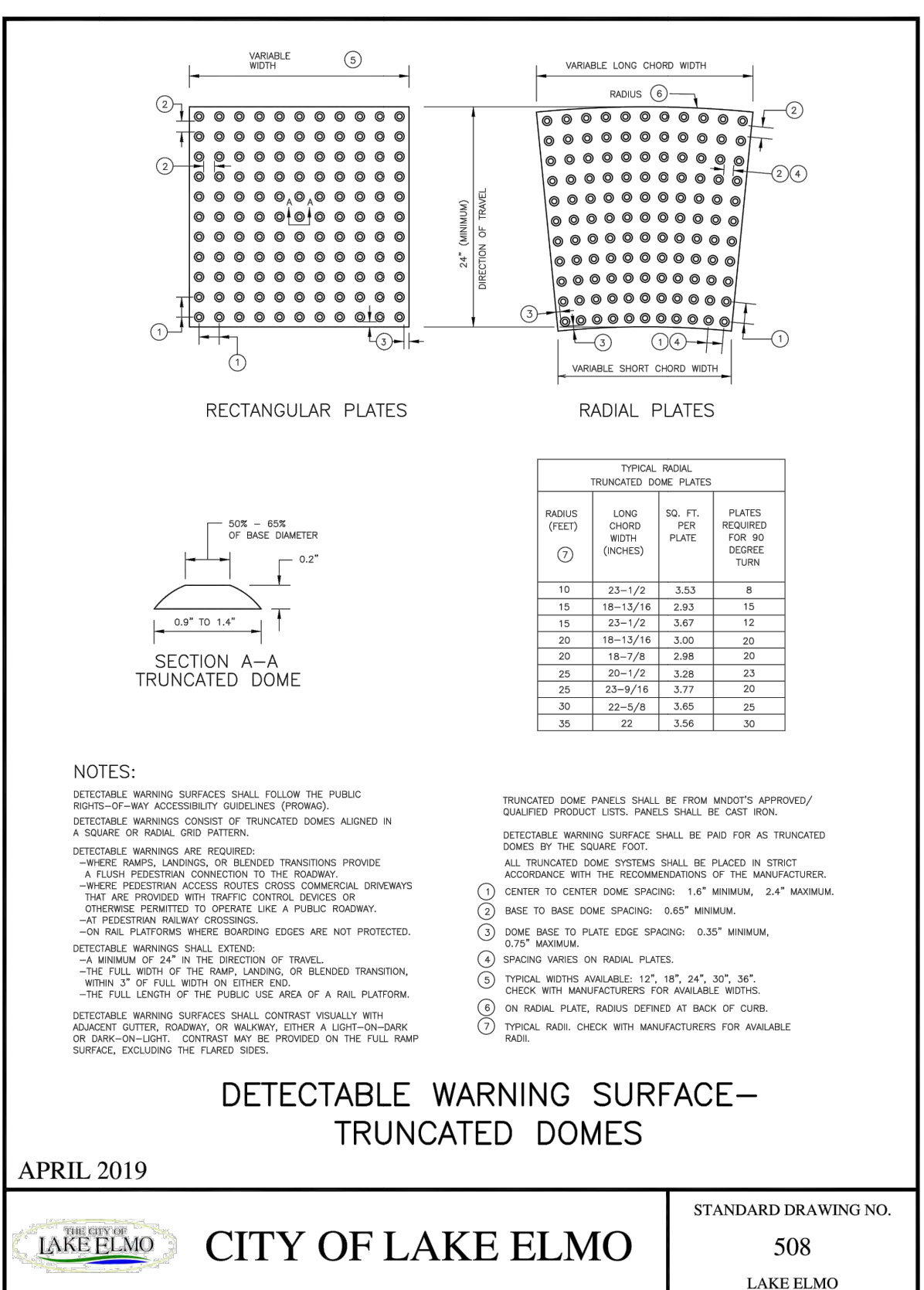
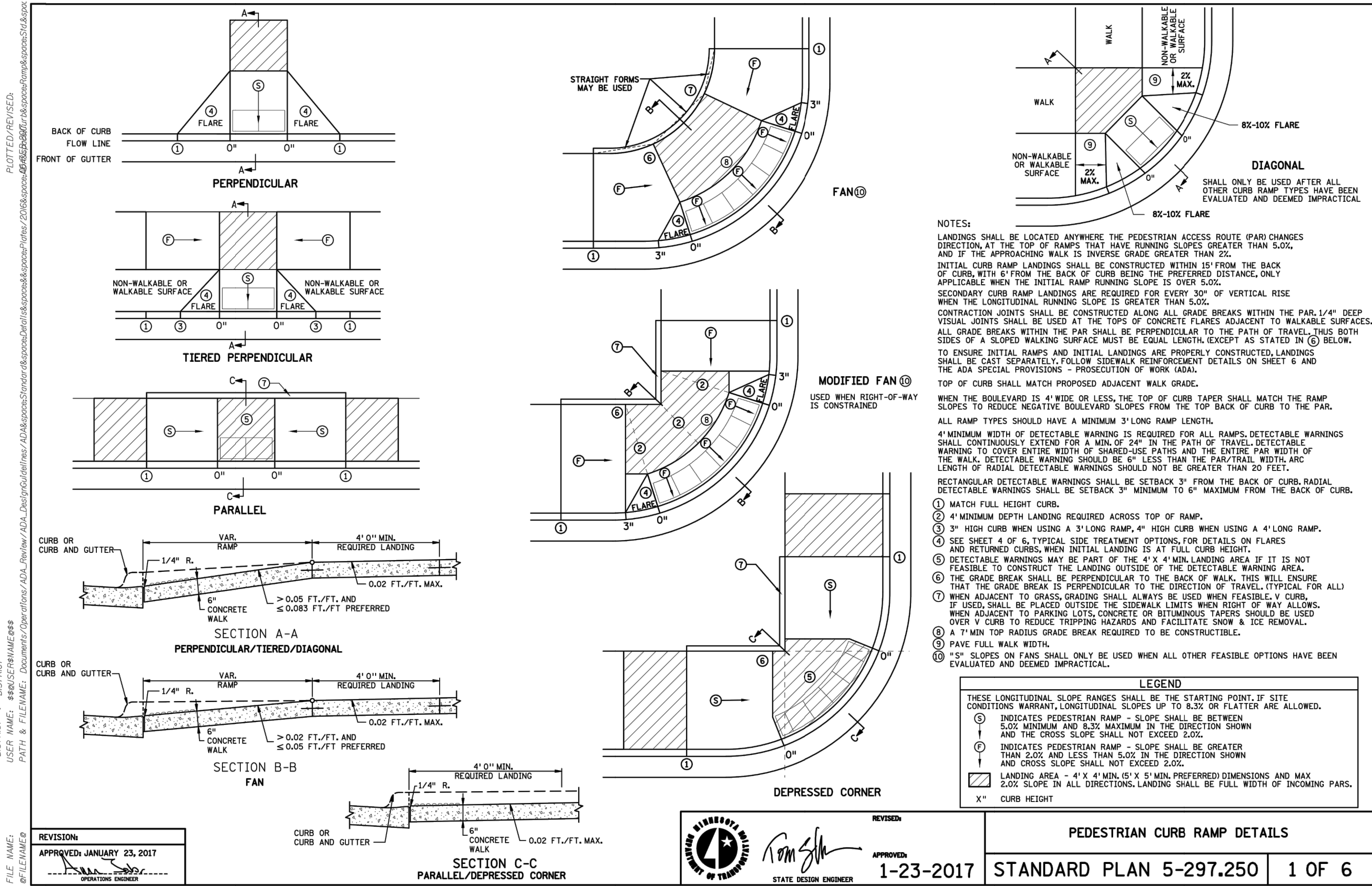
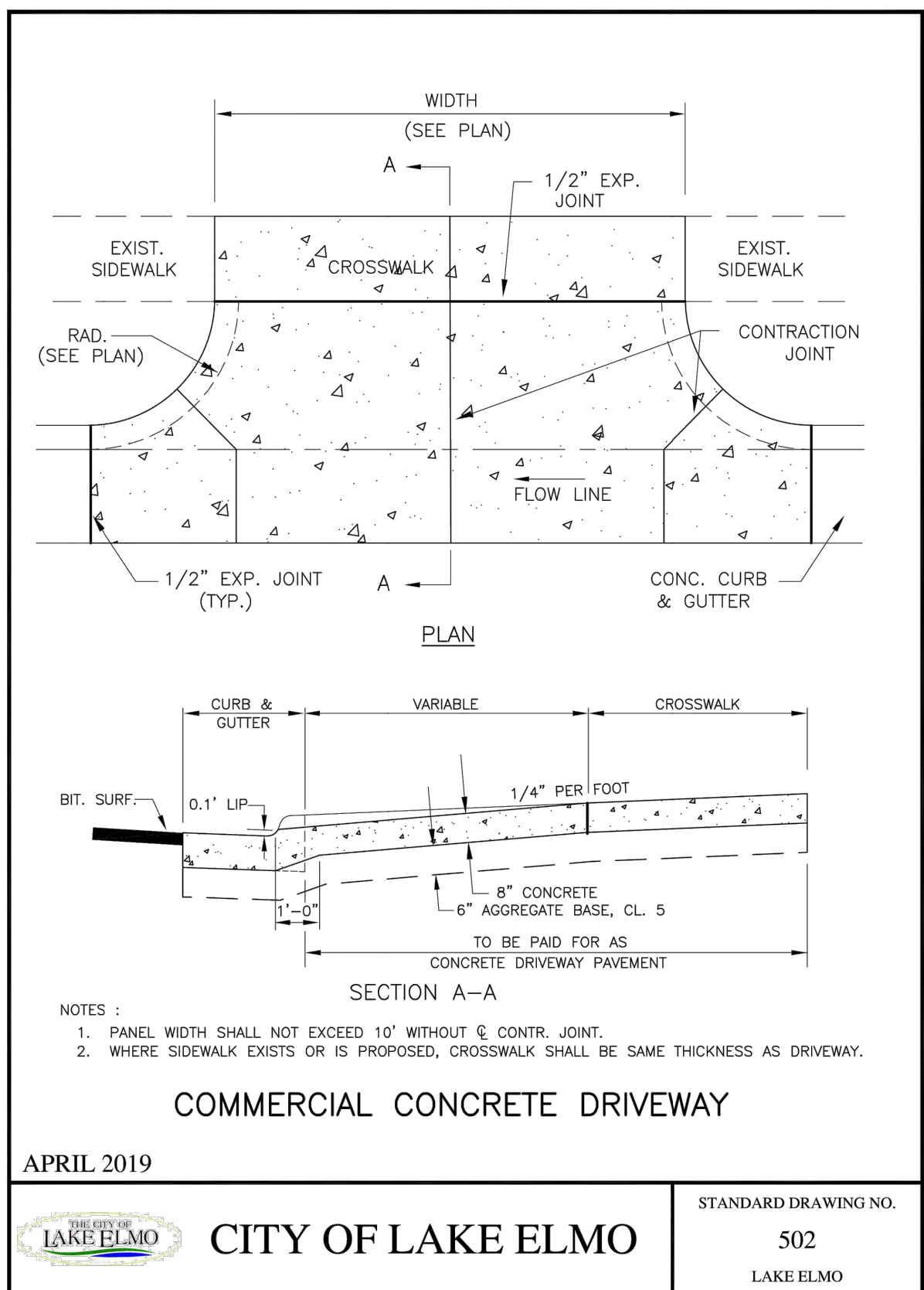
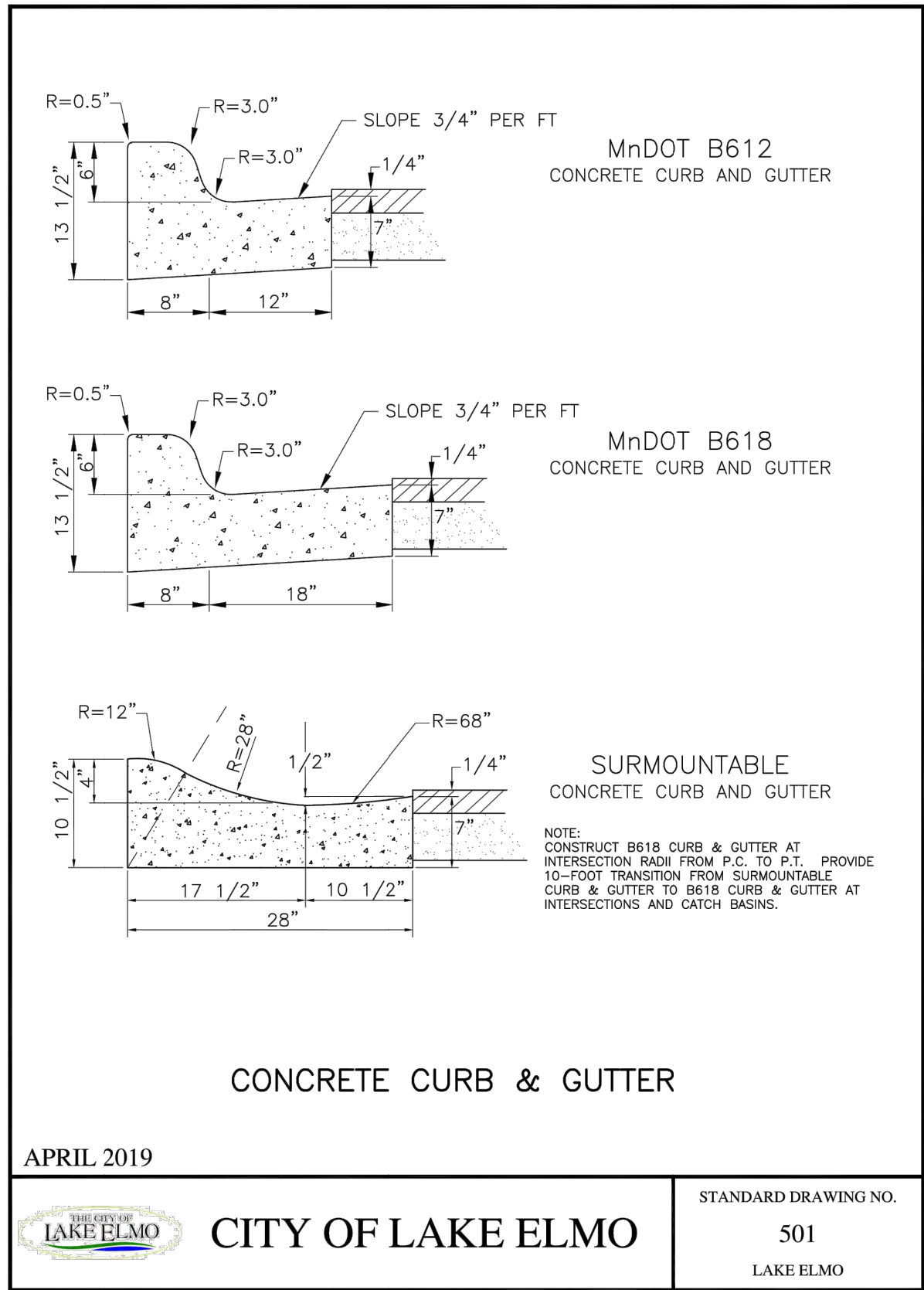
ENTERPRISE HOLDINGS 2775 BLUE WATER ROAD EAGAN, MINNESOTA 55121	ENTERPRISE RENT-A-CAR XXX JADE TRAIL NORTH LAKE ELMO, MINNESOTA	DETAILS	PROJECT: 88862 SHEET NO. C3 OF C12
-----------------------------------------------------------------------	-----------------------------------------------------------------------	---------	------------------------------------------

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NOTES:

1. MOUNTED SIGN MUST BE CENTERED AT THE HEAD OF THE SPACE, BETWEEN 60 INCHES (MINIMUM) AND 66 INCHES (MAXIMUM) FROM THE PARKING SURFACE TO THE BOTTOM OF THE SIGN.



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DETAILS

PROJECT: 88862

SHEET NO. C4 of C12

1. STREET LIGHTING SHALL BE INSTALLED PER CITY STANDARDS 5 FEET BACK OF CURB IN LOCATIONS SHOWN ON PLAN.
2. ALL SIGNS MUST MEET MMUTCD.
3. ALL SIGN SHEATHING TO BE TYPE IX DIAMOND GRADE (DG3).
4. SIGN POSTS TO BE SQUARE TUBE SIGN STANDARD WITH OMNI BASE.
5. DEVELOPER TO FURNISH AND INSTALL STREET SIGNS PER CITY STANDARDS.
6. EPOXY RESIN AND DROP-ON GLASS BEADS FOR ALL PAVEMENT MARKINGS, EXCEPT PAVEMENT SYMBOLS, SHALL MEET THE REQUIREMENTS OF MnDOT "SPECIFICATIONS FOR CONSTRUCTION, 2018 EDITION".
7. ALL PAVEMENT MARKING SYMBOLS SHALL BE GROUND IN PREFORMED THERMOPLASTIC PAVEMENT MATERIAL.

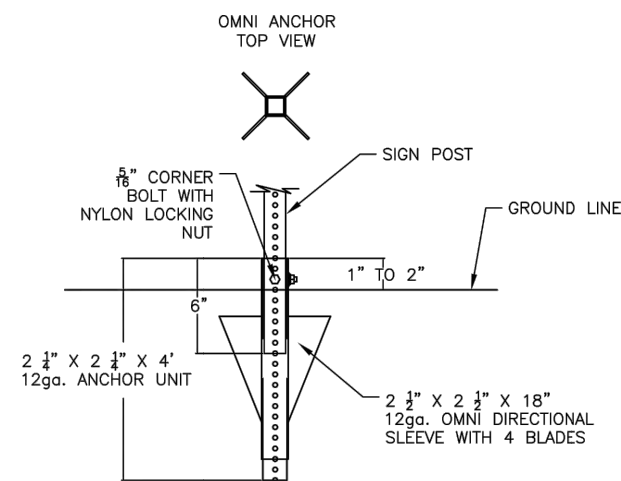
STANDARD PLAN NOTES
SIGNING/PAVEMENT MARKINGS/LIGHTING PLANS

APRIL 2019



CITY OF LAKE ELMO

STANDARD DRAWING NO.
900A
LAKE ELMO



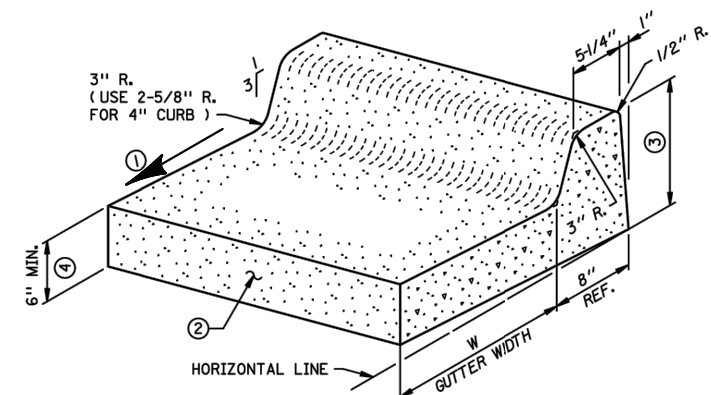
SQUARE TUBE SIGN STANDARD WITH OMNI BASE

APRIL 2019



CITY OF LAKE ELMO

STANDARD DRAWING NO.
902
LAKE ELMO



OPTIONAL DESIGN B4

B4 DESIGN NO.	GUTTER WIDTH "	CONCRETE			
		CU. YDS. PER LIN. FT.	LN. FT. PER CU. YD.	CU. YDS. PER LIN. FT.	LN. FT. PER CU. YD.
B412	12"	0.0370	27.0		
B418	18"	0.0463	21.7		
B424	24"	0.0556	18.0		
B436	36"	0.0742	13.5		
B448	48"	0.0928	10.8		

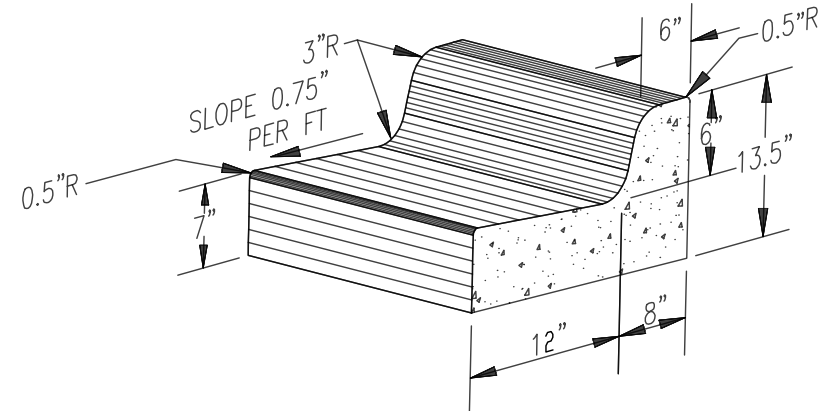
- NOTES:
- ① SLOPE 3/4" PER FT. NORMAL, UNLESS OTHERWISE SPECIFIED. IF A DIFFERENT GUTTER SLOPE IS PERMITTED, THE GUTTER FORM MAY BE TILTED.
- ② LONGITUDINAL JOINT WHEN ADJACENT TO RIGID PAVEMENT OR BASE. SEE STANDARD PLANS MANUAL FOR JOINT INFORMATION.
- ③ B4 MINIMUM HEIGHT = 10", B5 MINIMUM HEIGHT = 11-1/4".
- ④ ANY ADDITIONAL BASE MATERIAL REQUIRED IS INCIDENTAL WITH THESE OPTIONAL DESIGNS.

APPROVED JULY 25, 2011
Michael R. Henn
STATE DESIGN ENGINEER

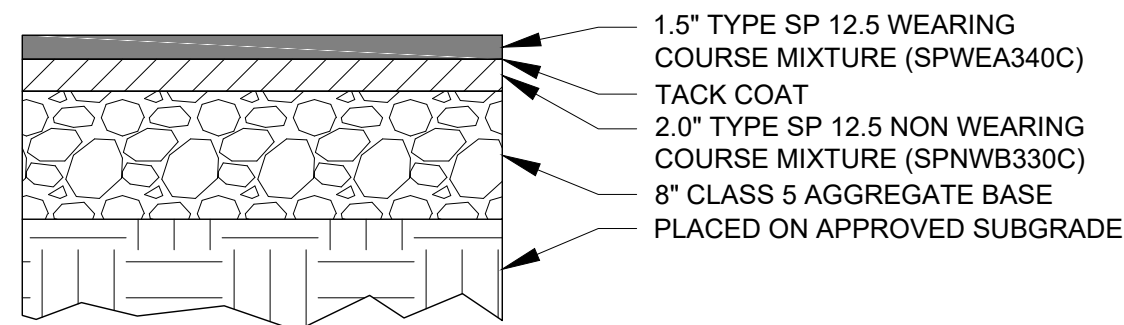
STATE OF MINNESOTA
DEPARTMENT OF TRANSPORTATION
CONCRETE CURB AND GUTTER
DESIGN D, DESIGN S, DESIGN B4, DESIGN B5, DESIGN D3

SPECIFICATION
REFERENCE
2531

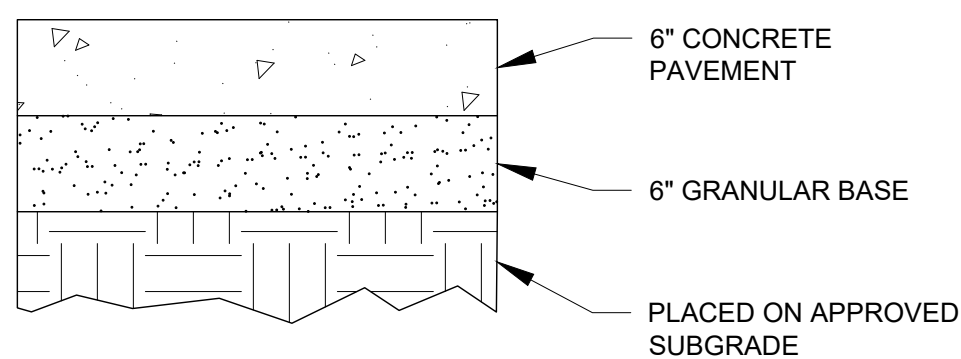
STANDARD
PLATE
NO.
7102J
2 OF 2



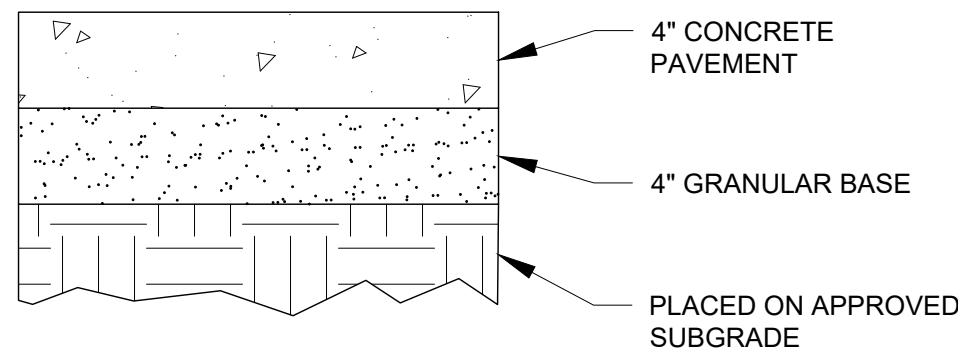
1 B612 TIPOUT CURB & GUTTER
C6 NOT TO SCALE



2 LIGHT DUTY BITUMINOUS PAVEMENT
C6 NOT TO SCALE




3 CONCRETE DUMPSTER PAVEMENT
C6 NOT TO SCALE



4 PRIVATE CONCRETE SIDEWALK
C6 NOT TO SCALE

GENERAL CONSTRUCTION AND SOILS NOTES:

- THE 2018 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" SHALL APPLY.
- THE 2013 EDITION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA "STANDARD SPECIFICATIONS" SHALL APPLY.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES, LAWS AND ORDINANCES.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR FOLLOWING ALL APPLICABLE OSHA STANDARDS.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND CALL GOPHER STATE ONE CALL 48 HOURS PRIOR TO CONSTRUCTION WORK. EXISTING UTILITIES SHOWN ON THESE PLANS ARE ONLY APPROXIMATE AND MAY NOT BE RELIED UPON AS EXACT OR COMPLETE.
- IF UTILITY RELOCATION IS NECESSARY, THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES.
- MATERIAL UNSUITABLE FOR CONSTRUCTION (E.G. TOPSOIL, SILTS, ROOTS, ORGANIC MATERIALS, PEATS, DEBRIS, ETC.) ENCOUNTERED DURING EXCAVATION WITHIN THE PARKING LOT AND BUILDING SHALL BE REMOVED AND PROPERLY DISCARDED UNLESS OTHERWISE APPROVED BY THE SOILS ENGINEER.
- FILL WITHIN THE PARKING LOT AND BUILDING SHALL BE SUITABLE MATERIAL AND PLACED IN LOOSE LIFTS NO THICKER THAN TWELVE (12) INCHES. COMPACTION WITHIN THE PARKING LOT AND BUILDING SHALL BE COMPACTED TO 100% OF THE MAXIMUM STANDARD PROCTOR DENSITY WITHIN THE TOP 3 FEET. SUITABLE MATERIAL SHALL CONSIST OF SW, SP, SP-SM, AND SM USCS CLASSIFICATIONS.
- TOPSOIL SHALL BE SALVAGED AND STOCKPILED FOR USE AS TOPSOIL IN GREEN SPACES DISTURBED DUE TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF BITUMINOUS AND CONCRETE MATERIALS DISTURBED BY CONSTRUCTION IN ACCORDANCE WITH MNDOT SPEC 2104.3.
- ALL EXCESS MATERIAL SHALL BE DISPOSED OF OFFSITE.

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DATE: 07.09.21 LIC. NO.: 52706	

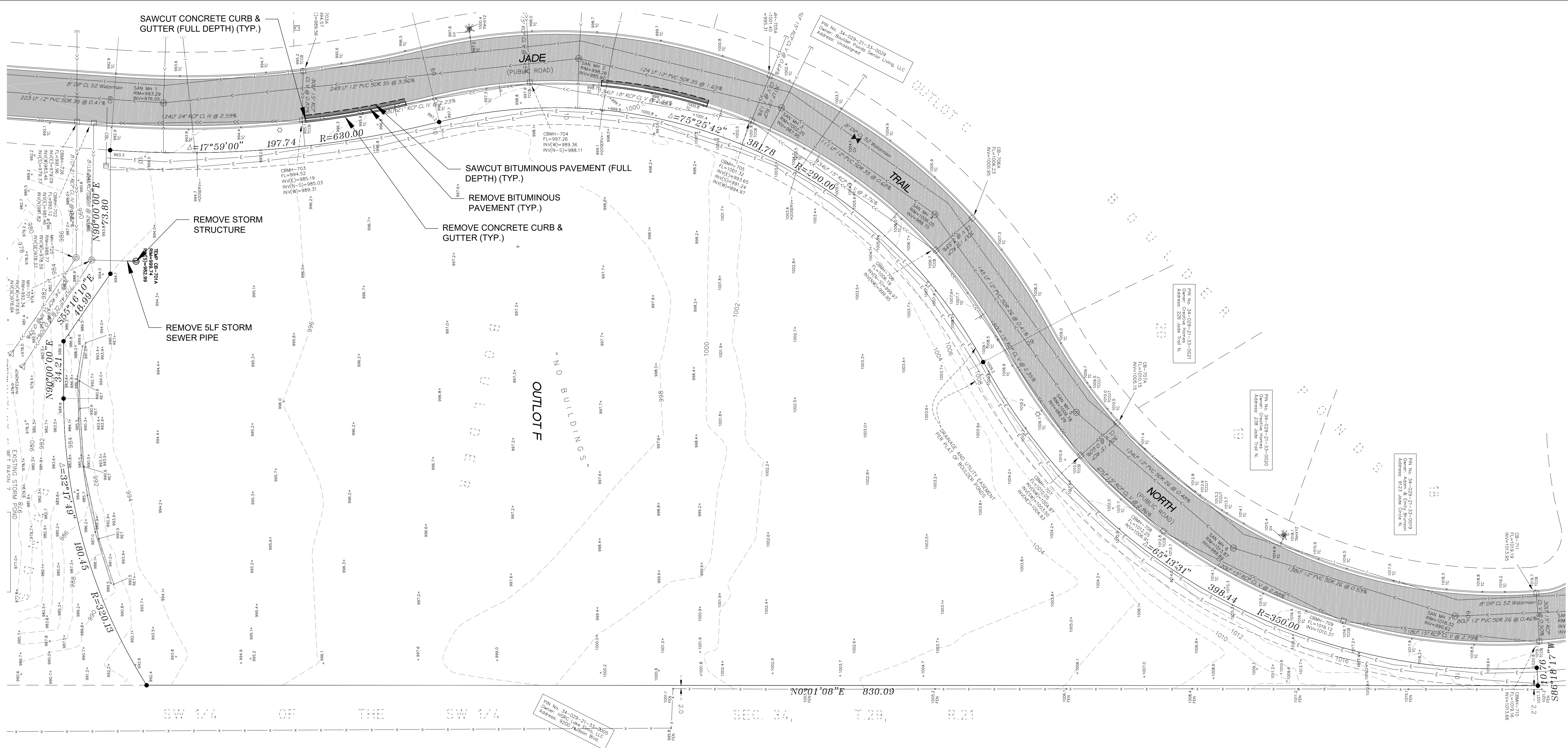
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XXX JADE TRAIL NORTH
LAKE ELMO, MINNESOTA

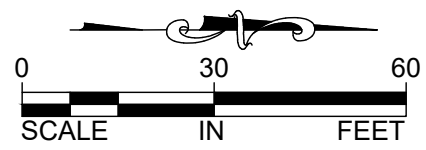
DETAILS & CONSTRUCTION
NOTES

PROJECT: 88862
SHEET NO.
C6 OF C12



LEGEND

- 998 --- EXISTING CONTOUR
- 998 --- PROPOSED SAWCUT
- ===== EXISTING CURB & GUTTER
- ===== PROPOSED CURB & GUTTER
- >> EXISTING STORM SEWER
- >> REMOVE STORM SEWER
- EXISTING WATERMAIN
- EXISTING CONCRETE
- EXISTING BITUMINOUS PAVEMENT
- PROPOSED BITUMINOUS PAVEMENT
- EXISTING CATCH BASIN
- EXISTING SANITARY MANHOLE



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GRP	DATE: 07.09.21 LIC. NO.: 52706

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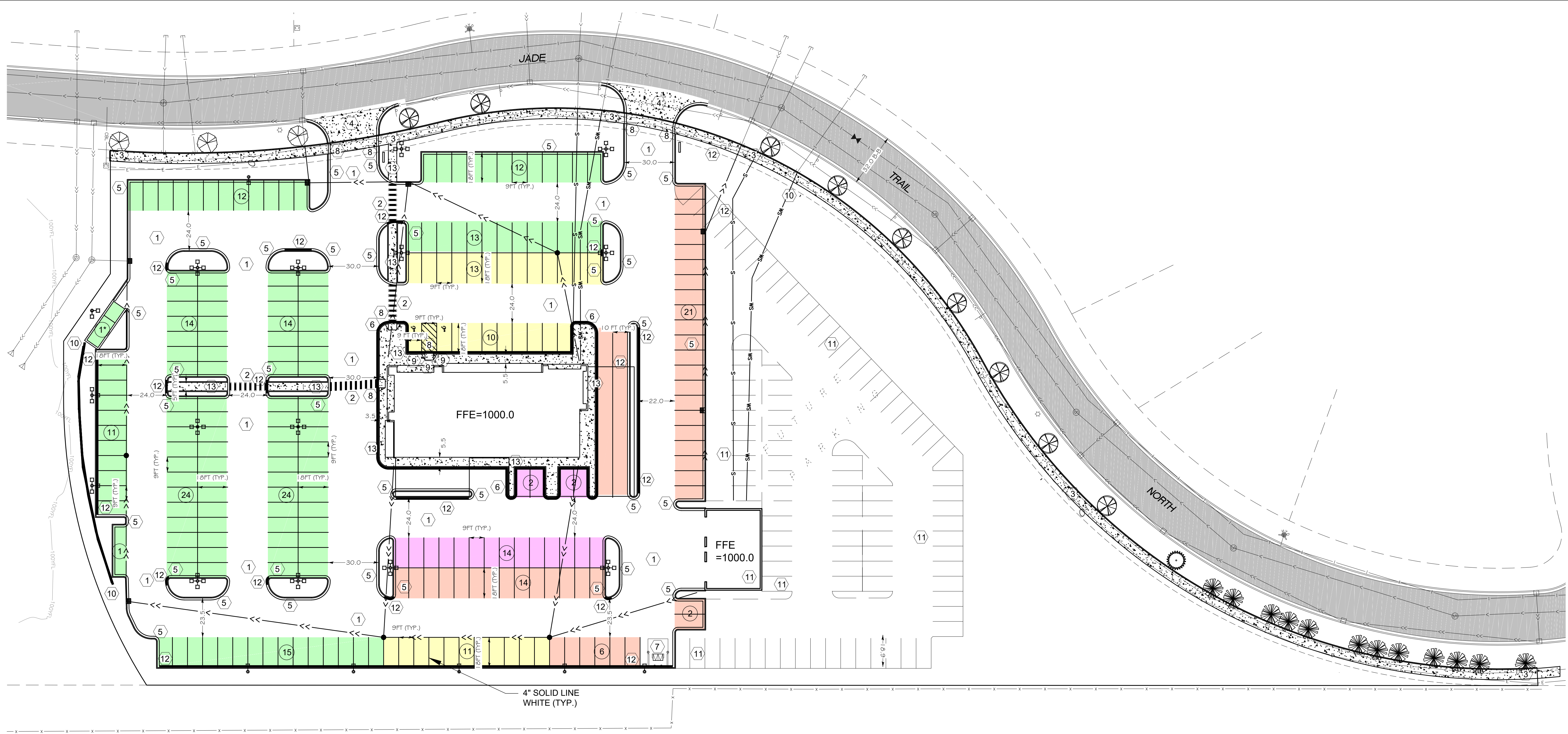
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LAKE ELMO, MINNESOTA

EXISTING CONDITIONS &
REMOVALS PLAN

PROJECT: 88862
SHEET NO.
C7 OF C12

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LEGEND

- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- PROPOSED TIPOUT CURB & GUTTER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING WATERMAIN
- PROPOSED WATER SERVICE
- EXISTING CONCRETE
- PROPOSED CONCRETE
- EXISTING BITUMINOUS PAVEMENT
- PROPOSED LIGHT DUTY BITUMINOUS PAVEMENT
- PROPOSED HEAVY DUTY BITUMINOUS PAVEMENT
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- EXISTING SANITARY MANHOLE
- RAISED DISPLAY
- NUMBER OF PARKING STALLS

ADDRESS:
XXX JADE TRAIL NORTH
LAKE ELMO, MINNESOTA

LOT AREA = 4.29 ACRES
EXISTING IMPERVIOUS AREA = 0.00 ACRES
PROPOSED IMPERVIOUS AREA = 3.20 ACRES - (74.6%)
INCLUDES FUTURE EXPANSION

SITE DATA:

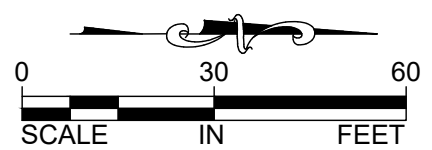
REFERENCE NOTES:

- 1 LIGHT DUTY BITUMINOUS PAVEMENT PER (2) C6
- 2 CROSSWALK EPOXY STRIPING (24" X5' STRIPES)
- 3 CONCRETE PAVEMENT PER CITY DETAIL 510
- 4 DRIVEWAY ENTRANCE PER CITY DETAIL 502
- 5 B612 CONCRETE CURB & GUTTER PER CITY DETAIL 501
- 6 B412 TIPOUT CONCRETE CURB & GUTTER PER MNDOT DETAIL 7102J
- 7 DUMPSTER ENCLOSURE WITH CONCRETE DUMPSTER PAVEMENT PER (3) C6
- 8 PEDESTRIAN RAMP MEETING ADA REQUIREMENTS PER MNDOT DETAIL 5-297.250
- 9 HANDICAP SIGNS (R7-8m) AND "ACCESS AISLE" SIGN
- 10 ADD TO RETAINING WALL (DESIGN BY OTHERS)
- 11 FUTURE PARKING
- 12 B612 TIPOUT CONCRETE CURB & GUTTER PER (1) C6
- 13 PRIVATE SIDEWALKS PER (4) C6

SPACE ALLOCATION LEGEND

- Car Sales
- DR / Light Truck Ready / Returns
- DR / Light Truck Stack
- Customer / Visitor / Employee

PARKING DATA			
DESCRIPTION:	ACTUAL	THROUGH PUT	+/-
Car Sales Spaces	141		
DR / Light Truck Ready	18		
DR / Light Truck Returns	10		
DR / Light Truck Stack	43		
Total Daily Rental:	71		
Customer / Employee Spaces	29		
Handicap Spaces	2		
Grand Total Spaces:	243		



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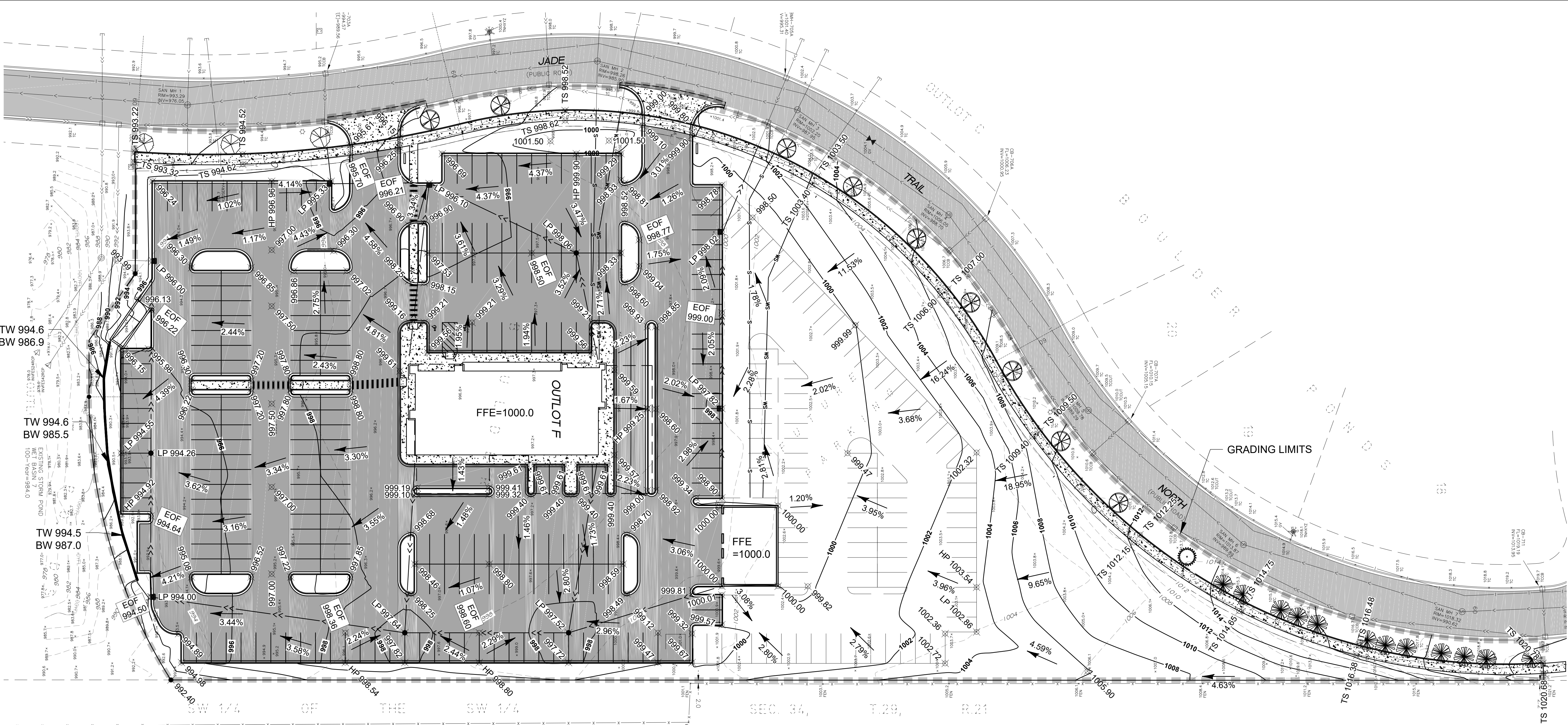
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SITE PLAN

PROJECT: 88862
SHEET NO.
C8 OF C12

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LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED CONSTRUCTION/GRADING LIMITS
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- PROPOSED TIPOUT CURB & GUTTER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING WATERMAIN
- PROPOSED WATER SERVICE
- EXISTING CONCRETE
- PROPOSED CONCRETE
- EXISTING BITUMINOUS PAVEMENT
- PROPOSED LIGHT DUTY BITUMINOUS PAVEMENT
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- EXISTING SANITARY MANHOLE

- PROPOSED SLOPE
- PROPOSED HIGH POINT
- PROPOSED MATCH POINT
- PROPOSED LOW POINT
- PROPOSED TOP OF SLAB
- PROPOSED EMERGENCY OVERFLOW
- PROPOSED GUTTER LINE OR FINISHED GROUND ELEVATION

EARTHWORK SUMMARY

Fill Summary
Fill Volume = 4560 cu. yd
Fill Factor = x 1.3
Total Fill = 5930 cu. yd

Cut Summary
Cut Volume = 5930 cu. yd
Total Cut = 5930 cu. yd

Site Earthwork Summary
Total Fill = 5930 cu. yd
Total Cut = 5930 cu. yd
*Soil to Export 0 cu. yd

Earthwork calculations include holddown (assumed average holddown depth of 1 ft under parking lot and buildings).

0 30 60
SCALE IN FEET

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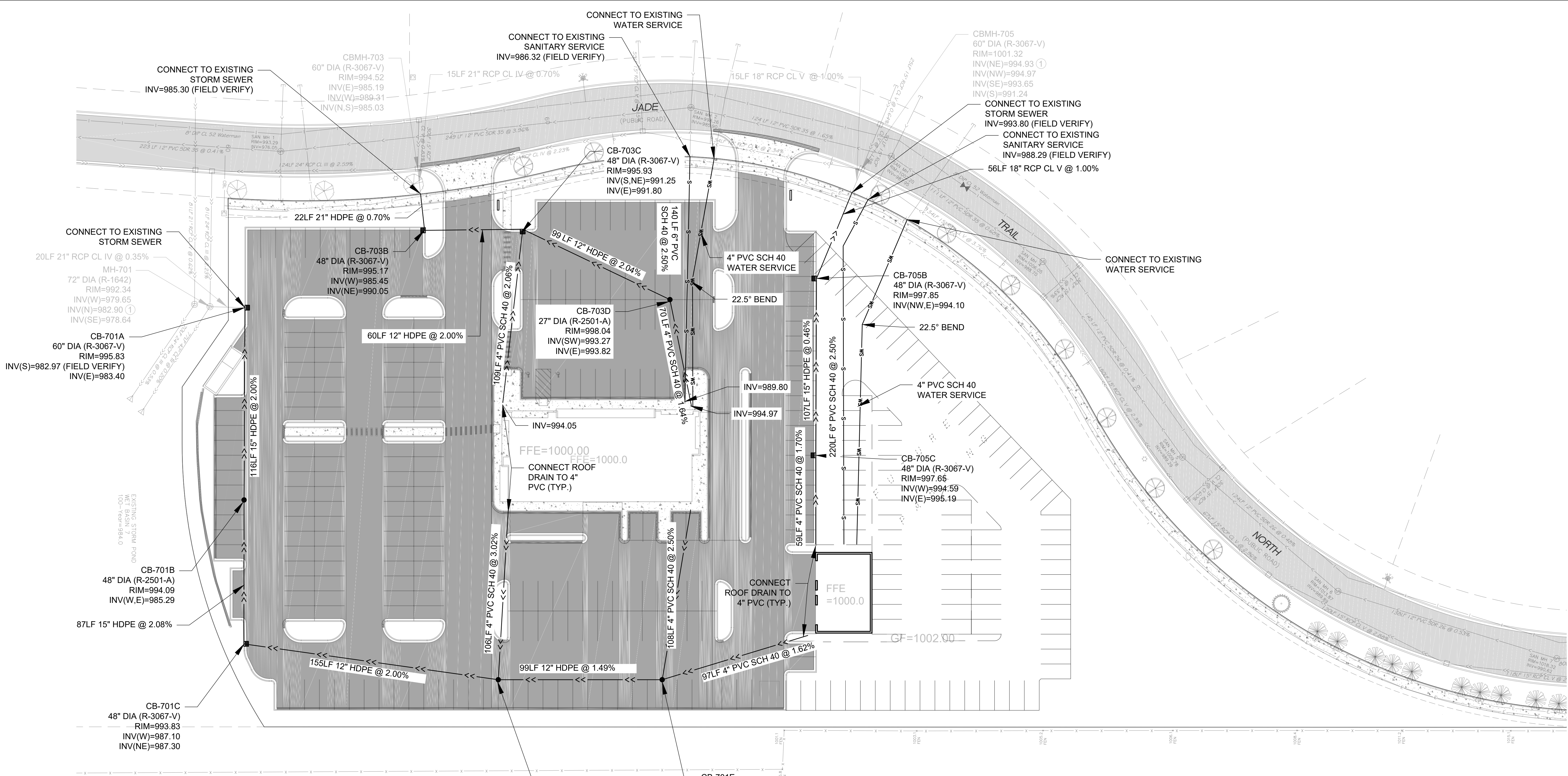
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2775 BLUE WATER ROAD
EAGAN, MINNESOTA 55121
651.905.5000

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GRADING & DRAINAGE PLAN

PROJECT: 88862
SHEET NO.
C9 OF C12

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LEGEND

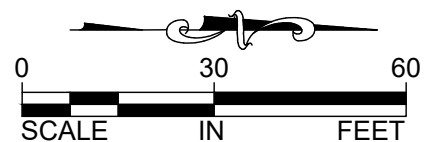
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- PROPOSED TIPOUT CURB & GUTTER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING WATERMAIN
- PROPOSED WATER SERVICE
- EXISTING CONCRETE
- PROPOSED CONCRETE
- EXISTING BITUMINOUS PAVEMENT
- PROPOSED LIGHT DUTY BITUMINOUS PAVEMENT
- PROPOSED HEAVY DUTY BITUMINOUS PAVEMENT
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- EXISTING SANITARY MANHOLE

REFERENCE NOTES:

- ① INVERT NOT SHOWN ON SURVEY. INVERT PER CONSTRUCTION PLANS DATED 06-02-2014. FIELD VERIFY ELEVATION.

UTILITY NOTES:

1. WATER SERVICES SHALL MAINTAIN A MINIMUM OF 7.5 FT OF COVER.
2. ALL HDPE STORM SEWER SHALL BE DUAL WALL.



DESIGNED BY:	I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
DRAWN BY:	
CHECKED BY:	
GRP	

PRELIMINARY

JEFFREY A. PRASCH, P.E.

DATE: 07.09.21 LIC. NO.: 52706

REVISIONS

DEMARC
LAND SURVEYING & ENGINEERING
7601 73RD AVENUE N, BROOKLYN PARK, MN 55428
PHONE: 763.560.3093 FAX: 763.560.3522
www.Demarclnc.com

ENTERPRISE HOLDINGS
2775 BLUE WATER ROAD
EAGAN, MINNESOTA 55121

ENTERPRISE RENT-A-CAR
XXX JADE TRAIL NORTH
LAKE ELMO, MINNESOTA

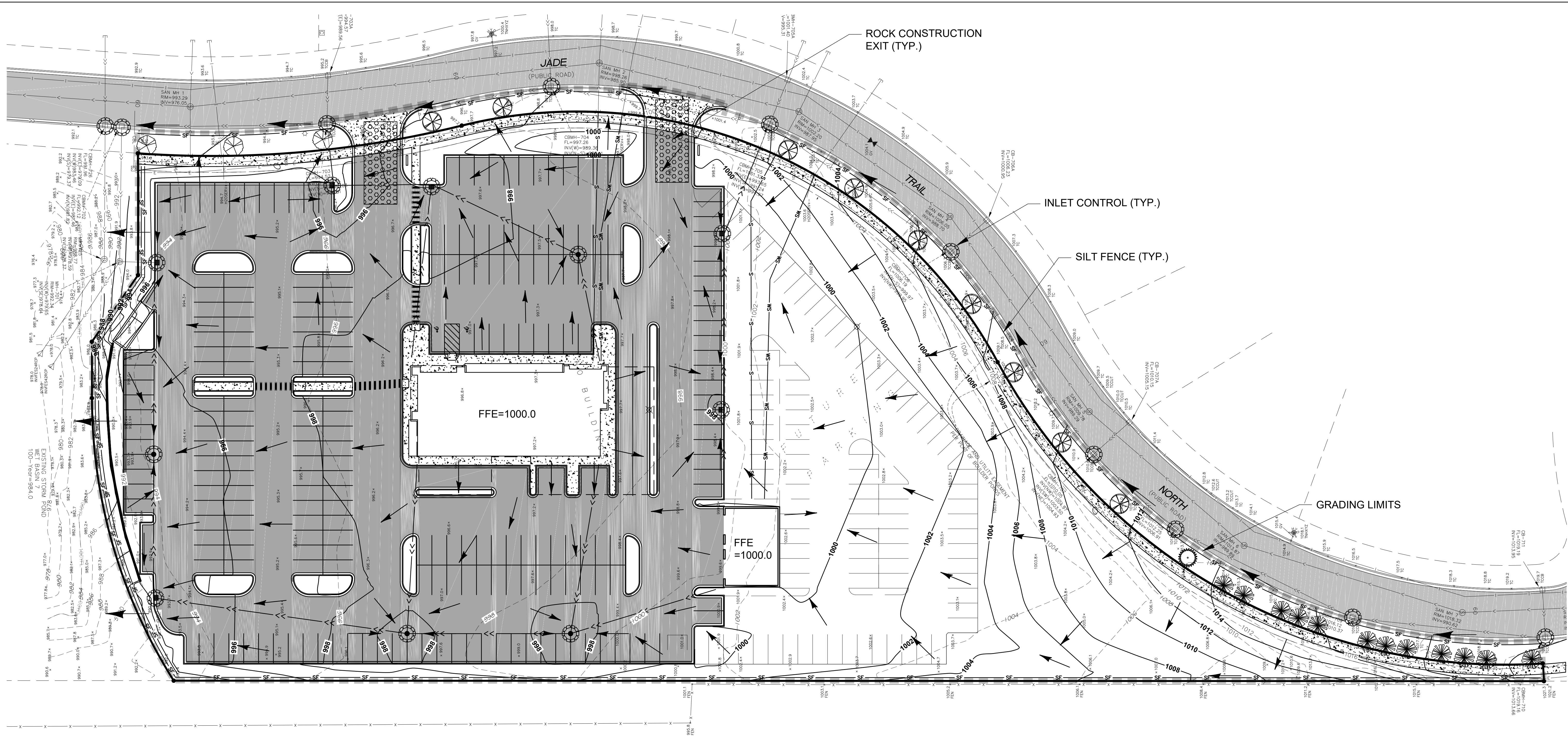
UTILITY PLAN

PROJECT: 88862

SHEET NO.

C10 of C12

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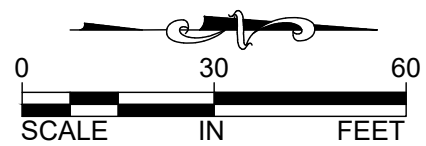


LEGEND

- 998 --- EXISTING CONTOUR
- 998 --- PROPOSED CONTOUR
- ■ ■ PROPOSED CONSTRUCTION/GRADING LIMITS
- ▤ ▤ ▤ EXISTING CURB & GUTTER
- ▤ ▤ ▤ PROPOSED CURB & GUTTER
- ▤ ▤ ▤ PROPOSED TIPOUT CURB & GUTTER
- > EXISTING STORM SEWER
- > PROPOSED STORM SEWER
- WS --- EXISTING WATERMAIN
- WS --- PROPOSED WATER SERVICE
- ▤ ▤ ▤ EXISTING CONCRETE
- ▤ ▤ ▤ PROPOSED CONCRETE
- ▤ ▤ ▤ EXISTING BITUMINOUS PAVEMENT
- ▤ ▤ ▤ PROPOSED LIGHT DUTY BITUMINOUS PAVEMENT
- ▤ ▤ ▤ EXISTING CATCH BASIN
- ▤ ▤ ▤ PROPOSED CATCH BASIN
- ⊙ EXISTING SANITARY MANHOLE

- PROPOSED DRAINAGE PATH
- SF — PROPOSED SILT FENCE
- ⊙ PROPOSED INLET PROTECTION
- ⊙ ⊙ ⊙ PROPOSED ROCK CONSTRUCTION EXIT

ESTIMATED EROSION CONTROL QUANTITIES	
SILT FENCE	2,500 LF
MN/DOT SEED MIXTURE/SOD	SEE LANDSCAPE PLAN
FERTILIZER	SEE LANDSCAPE PLAN
STABILIZED ROCK EXIT	2 EACH
STORM DRAIN INLET PROTECTION	20 EACH
MULCH	SEE LANDSCAPE PLAN



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DRAWN BY:	JEFFREY A. PRASCH, P.E.
CHECKED BY:	DATE: 07.09.21 LIC. NO.: 52706

REVISIONS

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ENTERPRISE RENT-A-CAR
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LAKE ELMO, MINNESOTA

STORMWATER POLLUTION
PREVENTION PLAN

PROJECT: 88862
SHEET NO.
C11 OF C12

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PROJECT INFORMATION:

DISTURBED AREA: 4.62 ACRES
EXISTING IMPERVIOUS AREA: 0.00 ACRES
PROPOSED IMPERVIOUS AREA: 3.20 ACRES
NEW IMPERVIOUS AREA: 3.20 ACRES
EROSION CONTROL SUPERVISOR CONTACT: TBD

IMPAIRED WATERS WITHIN ONE (1) MILE THAT RECEIVE RUNOFF: NONE
ENTITY RESPONSIBLE FOR LONG-TERM OPERATION & MAINTENANCE OF PERMANENT UNDERGROUND STORM SEWER SYSTEMS: OWNER OF PROPERTY

A PROPOSED ENTERPRISE RENT-A-CAR FACILITY IS PROPOSED ON OUTLOT F - BOULDER PONDS IN LAKE ELMO, MINNESOTA. THE CURRENT SITE IS 4.29 ACRES AND VACANT. THERE ARE COMMERCIAL BUILDINGS ADJACENT TO THE SITE TO THE EAST AND ACROSS THE STREET TO THE WEST. THERE IS A RESIDENTIAL DEVELOPMENT LOCATED TO THE NORTHWEST OF THE SITE. CURRENTLY, THE ENTIRE SITE DRAINS TO "WET BASIN 7" TO THE SOUTH OF THE SITE VIA SURFACE FLOW.

THE PROPOSED IMPROVEMENTS INCLUDE A BUILDING, CAR WASH, AND PARKING LOT. THE PROPOSED STORMWATER IMPROVEMENTS WILL INCLUDE AN UNDERGROUND STORM SEWER SYSTEM. MOST OF THE SITE STORM WATER FROM THE PROPOSED IMPROVEMENTS WILL BE DIRECTED TO AN ON-SITE STORM SEWER SYSTEM. FROM THERE, THE STORMWATER WILL BE CONVEYED TO ONE OF THREE STORM SEWER STUBS. THE SITE STORMWATER WILL THEN BE DIRECTED TO STORMWATER POND "WET BASIN 7" VIA CITY STORM SEWER.

KNOWLEDGEABLE PERSON/CHAIN OF RESPONSIBILITY

THE CONTRACTOR SHALL IDENTIFY A PERSON KNOWLEDGEABLE AND EXPERIENCED IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL BMPS WHO WILL OVERSEE THE IMPLEMENTATION OF THE SWPPP, INCLUDING: INSTALLATION, INSPECTION AND MAINTENANCE OF THE EROSION PREVENTION AND SEDIMENT CONTROL BMPS. THE GENERAL CONTRACTOR SHALL ATTACH CONTACT INFORMATION TO THE SWPPP PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.

THE CONTRACTOR SHALL ESTABLISH A CHAIN OF RESPONSIBILITY FOR ALL CONTRACTORS AND SUB-CONTRACTORS ON SITE TO ENSURE THE SWPPP IS BEING PROPERLY IMPLEMENTED AND MAINTAINED. THE CONTRACTOR SHALL PROVIDE THE CHAIN OF RESPONSIBILITY TO THE OWNER AND ATTACH TO THE SWPPP PRIOR TO ANY CONSTRUCTION ACTIVITY.

STORMWATER POLLUTION PREVENTION PLAN NOTES:

- PRIOR TO ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL ACQUIRE THE NECESSARY MPCA NPDES STORM WATER PERMIT.
- ALL EROSION AND SEDIMENT CONTROL BMP'S SHALL BE INSTALLED PRIOR TO STARTING ANY CONSTRUCTION ACTIVITIES. BMP'S SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL EROSION PREVENTION AND SEDIMENT CONTROL MEASURES FOR THE PROJECT.
- EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS ARE THE ABSOLUTE MINIMUM REQUIREMENTS. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL MEASURES AS NECESSARY TO PROPERLY MANAGE THE PROJECT AREA.
- THE CONTRACTOR SHALL KEEP THE SWPPP, INCLUDING ALL AMENDMENTS AND INSPECTION AND MAINTENANCE RECORDS ON SITE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL DOCUMENT AMENDMENTS TO THE SWPPP AS A RESULT OF INSPECTION(S) WITHIN 7 DAYS.
- THE CONTRACTOR SHALL FILE A NOTICE OF TERMINATION WITHIN THIRTY (30) DAYS OF ACHIEVING PERMANENT STABILIZATION.
- THE CONTRACTOR SHALL SCHEDULE THEIR OPERATION TO MINIMIZE THE AMOUNT OF DISTURBED AREA AT ANY GIVEN TIME.
- THE INFILTRATION AREAS SHALL BE PROTECTED AND HAVE RIGOROUS EROSION AND SEDIMENT CONTROLS IF GRADED WITHIN 3 FEET OF THE FINAL GRADES. THE CONTROLS SHALL KEEP RUNOFF COMPLETELY AWAY FROM THE INFILTRATION AREAS UNTIL FINAL STABILIZATION IS COMPLETE.
- STABILIZE AREAS THAT ARE WITHIN 200 FEET OF AND DRAIN TO PUBLIC WATER WITHIN 24 HOURS DURING FISH SPAWNING TIMES.
- WATER SHALL BE USED, IF NECESSARY, FOR DUST CONTROL.
- ALL EROSION CONTROL SHALL CONFORM TO THE MNDOT EROSION CONTROL HANDBOOK.
- INLET PROTECTION SHALL BE INSTALLED AT ANY INLET THAT MAY RECEIVE RUNOFF FROM THE DISTURBED AREAS OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING AND MAINTAINING INLET PROECTIONS PLACED WITHIN THE PUBLIC RIGHT-OF-WAY UNTIL FINAL STABILIZATION IS ACHIEVED. IF A SPECIFIC SAFETY CONCERN HAS BEEN IDENTIFIED, WRITTEN AUTHORIZATION MUST BE RECEIVED BY THE CITY ENGINEER IN ORDER TO REMOVE THAT PARTICULAR INLET CONTROL.
- ALL EXPOSED SOILS, INCLUDING STOCKPILES, SHALL BE TEMPORARILY STABILIZED PER MNDOT SPECIFICATION 2575 WITHIN 7 DAYS AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED. STABILIZATION OF ALL EXPOSED AREAS MUST BE INITIATED IMMEDIATELY.
- STOCKPILES SHALL NOT BE PLACED ON ROADS, DRIVEWAYS, SURFACE WATERS OR SWALES. EFFECTIVE SEDIMENT CONTROL SHALL BE INSTALLED IMMEDIATELY AROUND ALL SOIL STOCKPILES.
- THE CONTRACTOR SHALL SWEEP AND REMOVE ALL SOILS AND SEDIMENT TRACKED OR OTHERWISE DEPOSITED ONTO PUBLIC ROADS OR PRIVATE DRIVEWAYS AS NEEDED OR AS DIRECTED BY THE CITY.
- THE NORMAL WETTED PERIMETER WITHIN 200 LINEAL FEET OF ANY PROJECT DISCHARGE LOCATION SHALL BE STABILIZED WITHIN 24 HOURS OF CONNECTING TO THE DISCHARGE LOCATION.
- IF DEWATERING IS NECESSARY, THE CONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL DEWATERING AND SURFACE DRAINAGE REGULATIONS. THE APPROPRIATE PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCING DEWATERING ACTIVITIES.
- TURBID AND SEDIMENT-LADEN WATERS SHALL BE DIRECTED TO A TEMPORARY SEDIMENT POND PRIOR TO DISCHARGING. A VISUAL CHECK SHALL BE CONDUCTED PRIOR TO DISCHARGING TREATED WATER FROM THE SEDIMENT POND TO ENSURE NUISANCE CONDITIONS WILL NOT RESULT FROM THE DISCHARGE.
- ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE REMOVED FROM THE SITE WITHIN THIRTY (30) DAYS AFTER PERMANENT STABILIZATION HAS BEEN ACHIEVED.
- THE CORRECTIVE ACTION MUST BE COMPLETED BY THE NEXT BUSINESS DAY AFTER DISCOVERY WHEN PERIMETER CONTROL DEVICES BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES ONE-HALF (1/2) THE HEIGHT OF THE DEVICE.
- PERMITEE MUST MINIMIZE SOIL COMPACTION. METHODS OF MINIMIZING SOIL COMPACTION INCLUDE THE USE OF TRACKED EQUIPMENT AND STAYING OFF AREAS TO BE LEFT COMPACTED. AREAS OF COMPACTED SOIL WILL BE REMOVED OR LOOSENED VIA TILLING TO A DEPTH OF NO LESS THAN 6 INCHES.
- CONTRACTOR SHALL CONSISTENTLY MAKE SURE INLET PROTECTIONS ARE IN GOOD WORKING ORDER AND EMERGENCY OVERFLOWS ARE NOT BLOCKED OF DEBRIS.
- SECTIONS 5.11, 5.13-5.16, 5.18, & 5.22 OF THE 2018 CONSTRUCTION STORMWATER GENERAL PERMIT DO NOT APPLY.

TRAINING DOCUMENTATION:

SWPPP DESIGNER: JEFF PRASCH (DEMARC LAND SURVEYING & ENGINEERING) - "DESIGN OF CONSTRUCTION SWPPP" TRAINING EXPIRES MAY 31, 2020.

THE CONTRACTOR (OPERATOR) SHALL ADD TO THE SWPPP TRAINING RECORDS FOR THE FOLLOWING PERSONNEL:

- INDIVIDUALS OVERSEEING THE IMPLEMENTATION OF, REVISING, AND AMENDING THE SWPPP
- INDIVIDUALS PERFORMING INSPECTIONS
- INDIVIDUALS PERFORMING OR SUPERVISING THE INSTALLATION, MAINTENANCE AND REPAIR OF BMPS

EXPECTED SEQUENCE OF CONSTRUCTION

- INSTALL ROCK STABILIZING EXIT(S), PERIMETER CONTROL, INLET CONTROL AND STABILIZE DOWN GRADIENT BOUNDARIES.
- COMPLETE SITE GRADING.
- INSTALL UTILITIES.
- APPLY EARLY APPLICATION OF BASE COURSE.
- INSTALL CURB AND GUTTER, AND PAVING.
- COMPLETE FINAL GRADING AND PERMANENT STABILIZATION.
- REMOVE EROSION AND SEDIMENT CONTROL BMPS AFTER PERMANENT STABILIZATION IS ACHIEVED.

TEMPORARY SEDIMENT BASINS

- THE CONTRACTOR SHALL INSTALL SEDIMENT BASIN(S) REQUIRED BY THE NPDES CONSTRUCTION PERMIT IF FIVE (5) OR MORE ACRES DISCHARGE TO A COMMON LOCATION.
- TEMPORARY SEDIMENT BASIN OUTLETS SHALL BE CONSTRUCTED TO PREVENT SHORT-CIRCUITING AND PREVENT THE DISCHARGE OF FLOATING DEBRIS.
- BASINS MUST HAVE THE ABILITY TO ALLOW COMPLETE DRAWDOWN, INCLUDE A STABILIZED EMERGENCY OVERFLOW, WITHDRAW WATER FROM THE SURFACE, AND PROVIDE ENERGY DISSIPATION AT THE OUTLET.
- TEMPORARY SEDIMENT BASINS SHALL BE PROVIDED WITH ENERGY DISSIPATION AT ANY BASIN OUTLET TO PREVENT SOIL EROSION.
- SEDIMENT BASINS MUST BE SITUATED OUTSIDE OF SURFACE WATERS AND ANY BUFFER ZONES, AND MUST BE DESIGNED TO AVOID THE DRAINING WATER FROM WETLANDS.
- BASINS SHALL BE SIZED ACCORDING TO THE CONSTRUCTION STORMWATER GENERAL PERMIT REQUIREMENTS. CALCULATIONS SHALL BE PROVIDED WITH THE SWPPP.
- SEDIMENT BASINS SHALL NOT BE PLACED IN FUTURE INFILTRATION AREAS.
- SEDIMENT BASINS SHALL BE DRAINED AND SEDIMENT REMOVED WHEN IT REACHES ½ THE STORAGE VOLUME WITHIN 72 HOURS.

INSPECTIONS AND MAINTENANCE

- ALL INSPECTIONS, MAINTENANCE, REPAIRS, REPLACEMENTS AND REMOVAL OF BMPS SHALL BE CONSIDERED INCIDENTAL TO THE BMP BID ITEMS.
- THE CONTRACTOR SHALL COMPLETE SITE INSPECTIONS, AND BMP MAINTENANCE TO ENSURE COMPLIANCE WITH THE PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL PROVIDE A TRAINED PERSON TO INSPECT THE ENTIRE CONSTRUCTION SITE AT LEAST ONCE EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS. ALL INSPECTIONS MUST BE RECORDED IN WRITING WITHIN 24 HOURS OF CONDUCTING THE INSPECTIONS AND THE RECORDS MUST BE RETAINED WITH THE SWPPP. IF ANY DISCHARGE FROM THE SITE IS OBSERVED THE DISCHARGE MUST BE DESCRIBED AND PHOTOGRAPHED.
- TEMPORARY AND PERMANENT SEDIMENT BASINS SHALL BE DRAINED AND THE SEDIMENT REMOVED WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES ½ THE STORAGE VOLUME. DRAINAGE AND REMOVAL MUST BE COMPLETED WITHIN 72 HOURS OF DISCOVERY.
- IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED IN A MANNER AND AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS.

POLLUTION PREVENTION MANAGEMENT MEASURES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL POLLUTION PREVENTION MANAGEMENT MEASURES.
- ALL POLLUTION PREVENTION MEASURES ARE CONSIDERED INCIDENTAL TO THE BMP BID ITEMS, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR INFORMING ALL VISITORS AND/OR PERSONNEL ON-SITE OF THE POLLUTION PREVENTION MANAGEMENT MEASURES. POLLUTION PREVENTION MANAGEMENT MEASURES INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - SOLID WASTE SUCH AS COLLECTED SEDIMENT, ASPHALT AND CONCRETE MILLINGS, CEMENT PRODUCT WASTE, FLOATING DEBRIS, PAPER, PLASTIC, CONSTRUCTION DEBRIS AND OTHER WASTES MUST BE DISPOSED OF PROPERLY OFF SITE.
 - HAZARDOUS WASTES SUCH AS OILS, GASOLINE, PAINT, CEMENT BASED PRODUCTS, ETC. SHALL BE PROPERLY STORED WITH SECONDARY CONTAINMENT TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGES. IF STORED ON THE PROJECT SITE, THEY SHALL BE STORED IN RESTRICTED ACCESS AREAS TO PROTECT AGAINST VANDALISM. STORAGE AND DISPOSAL SHALL BE IN COMPLIANCE WITH THE MPCA.
 - CEMENT BASED PRODUCT WASHOUTS ARE NOT PERMITTED ON SITE.
 - THE CONTRACTOR SHALL INCLUDE SPILL KITS WITH ALL FUELING SOURCES AND MAINTENANCE ACTIVITIES. SECONDARY CONTAINMENT MEASURES SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR.
 - THE CONTRACTOR SHALL ENSURE SPILLS ARE CONTAINED AND CLEANED UP IMMEDIATELY UPON DISCOVERY. SPILLS LARGE ENOUGH TO REACH THE STORMWATER CONVEYANCE SYSTEM SHALL BE REPORTED TO THE MINNESOTA DUTY OFFICER AT 1.800.422.0798.

FINAL STABILIZATION

- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING FINAL STABILIZATION OF THE ENTIRE SITE. FINAL STABILIZATION INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:
 - COMPLETION OF ALL CONSTRUCTION ACTIVITY.
 - INSTALLATION OF PERMANENT COVER OVER ALL AREAS PRIOR TO SUBMITTING THE NOTICE OF TERMINATION. PERMANENT COVER SHALL CONSIST OF 4 INCHES TOPSOIL, AND SOD, UNLESS OTHERWISE SPECIFIED.
 - VEGETATIVE COVER MUST CONSIST OF A UNIFORM PERENNIAL VEGETATION WITH A DENSITY OF 70 PERCENT OF ITS EXPECTED FINAL GROWTH. VEGETATION IS NOT REQUIRED WHERE THE FUNCTION OF A SPECIFIC AREA DICTATES NO VEGETATION, SUCH AS IMPERVIOUS SURFACES OR LANDSCAPED AREAS.
 - CLEAN THE PERMANENT STORMWATER TREATMENT SYSTEMS OF ANY ACCUMULATED SEDIMENT AND MUST ENSURE THE SYSTEM MEETS ALL APPLICABLE REQUIREMENTS AND IS OPERATING AS DESIGNED.
 - REMOVAL OF ALL SEDIMENT FROM CONVEYANCE SYSTEMS.
 - REMOVAL OF ALL TEMPORARY SYNTHETIC EROSION PREVENTION AND SEDIMENT CONTROL BMPS.
 - FINAL STABILIZATION SHALL BE PERFORMED IN ACCORDANCE WITH MNDOT 2018 SPECIFICATION 2575.

DESIGNED BY:	I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.		
DRAWN BY:	<div>PRELIMINARY</div> <div>JEFFREY A. PRASCH, P.E.</div>		
CHECKED BY:			
GRP			
	DATE: 07.09.21	LIC. NO.: 52706	

REVISIONS

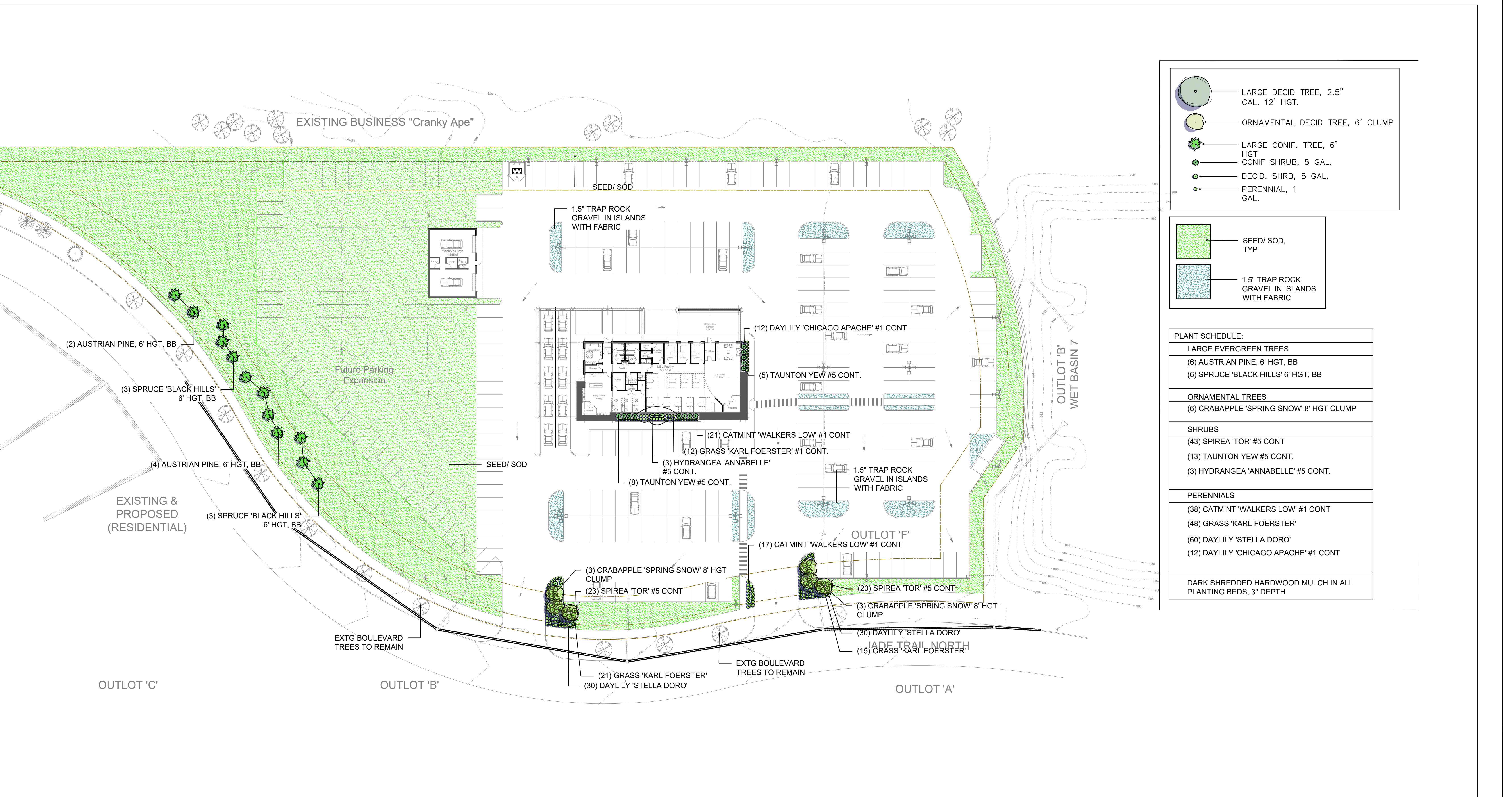


ENTERPRISE HOLDINGS
2775 BLUE WATER ROAD
EAGAN, MINNESOTA 55121
651.905.5000

ENTERPRISE RENT-A-CAR
XXX JADE TRAIL NORTH
LAKE ELMO, MINNESOTA

STORMWATER POLLUTION
PREVENTION PLAN NOTES

PROJECT: 88862
SHEET NO.
C12 OF C12



- LARGE DECID. TREE, 2.5" CAL. 12' HGT.
- ORNAMENTAL DECID. TREE, 6' CLUMP
- LARGE CONIF. TREE, 6' HGT
- CONIF. SHRUB, 5 GAL.
- DECID. SHRUB, 5 GAL.
- PERENNIAL, 1 GAL.

- SEED/ SOD, TYP
- 1.5" TRAP ROCK GRAVEL IN ISLANDS WITH FABRIC

PLANT SCHEDULE:	
LARGE EVERGREEN TREES	
(6) AUSTRIAN PINE, 6' HGT, BB	
(6) SPRUCE 'BLACK HILLS' 6' HGT, BB	
ORNAMENTAL TREES	
(6) CRABAPPLE 'SPRING SNOW' 8' HGT CLUMP	
SHRUBS	
(43) SPIREA 'TOR' #5 CONT	
(13) TAUNTON YEW #5 CONT.	
(3) HYDRANGEA 'ANNABELLE' #5 CONT.	
PERENNIALS	
(38) CATMINT 'WALKERS LOW' #1 CONT	
(48) GRASS 'KARL FOERSTER'	
(60) DAYLILY 'STELLA DORO'	
(12) DAYLILY 'CHICAGO APACHE' #1 CONT	
DARK SHREDDED HARDWOOD MULCH IN ALL PLANTING BEDS, 3" DEPTH	

1 LANDSCAPE PLAN
SCALE= 1" = 30'-0"

Qualification:
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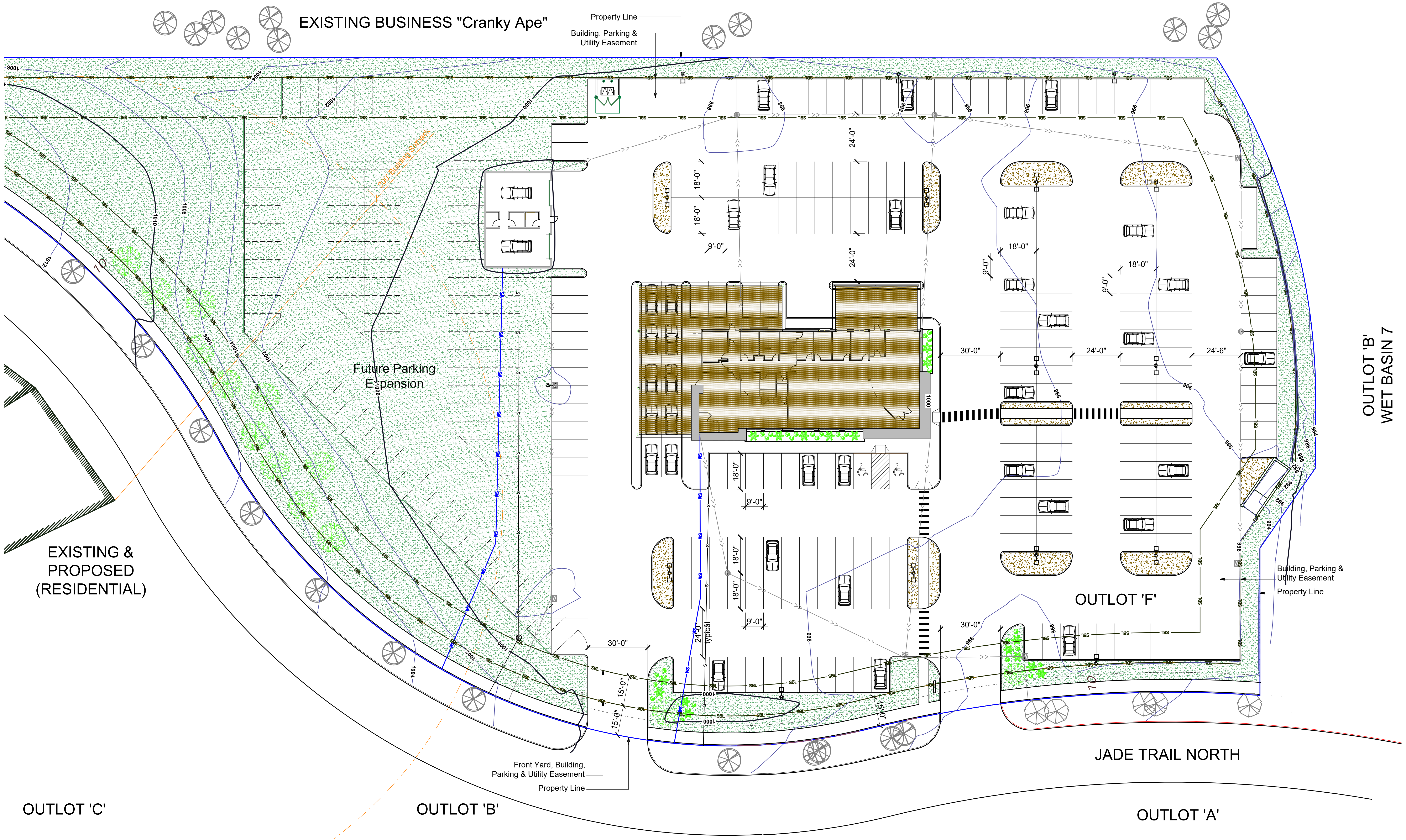


I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly registered Landscape Architect in the State of Minnesota.

Ben Erickson
SIGNATURE
REGISTRATION # 50130
DATE

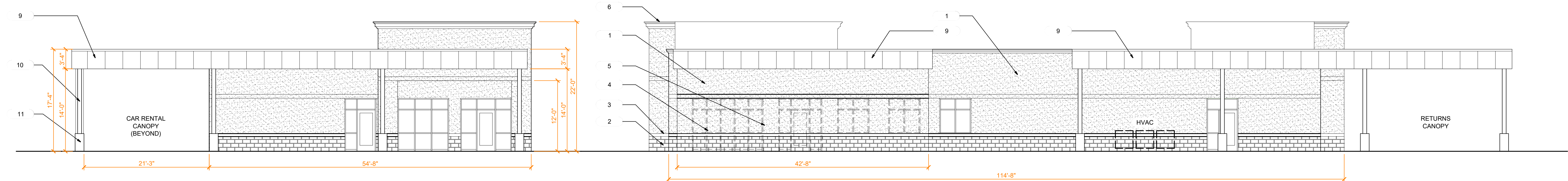
L100
LANDSCAPE
PLAN

ENTERPRISE RENTAL
LAKE ELMO, MN



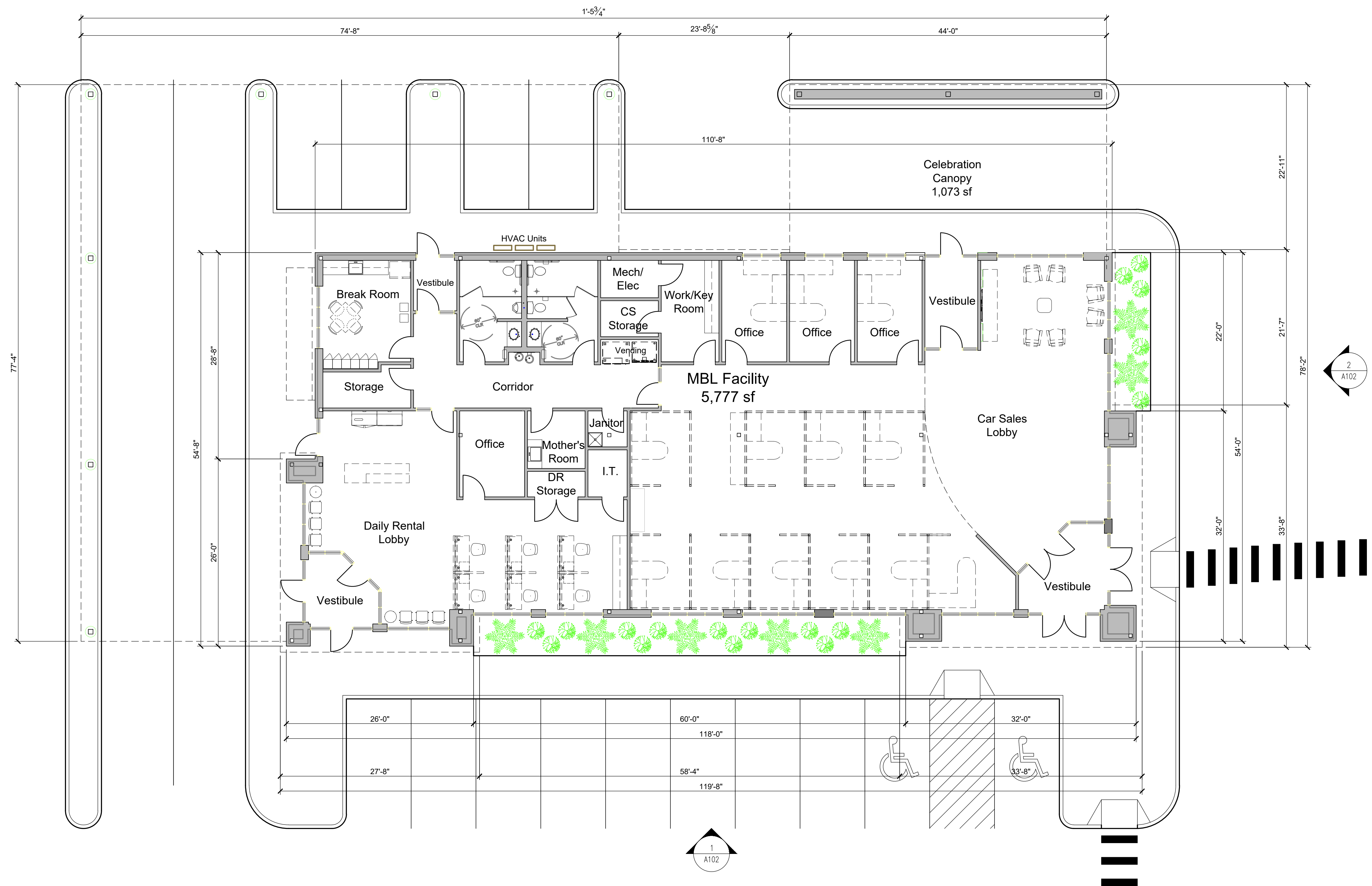


EXTERIOR ELEVATIONS KEYNOTE LEGEND:	
XX	
1	EXTERIOR INSULATION FINISH SYSTEM (EIFS)
2	CAST STONE BASE
3	PRECAST STONE WATERTABLE
4	ALUMINUM STOREFRONT DOOR AND FRAME
5	ALUMINUM STOREFRONT SYSTEM
6	METAL PARAPET COOPING OVER CORNICE
7	ALUMINUM FRAME WINDOW SYSTEM
8	BUILDING SIGNAGE
9	ACM PANEL CANOPY
10	PAINTED STEEL CANOPY COLUMN
11	CONCRETE BASE AT COLUMN

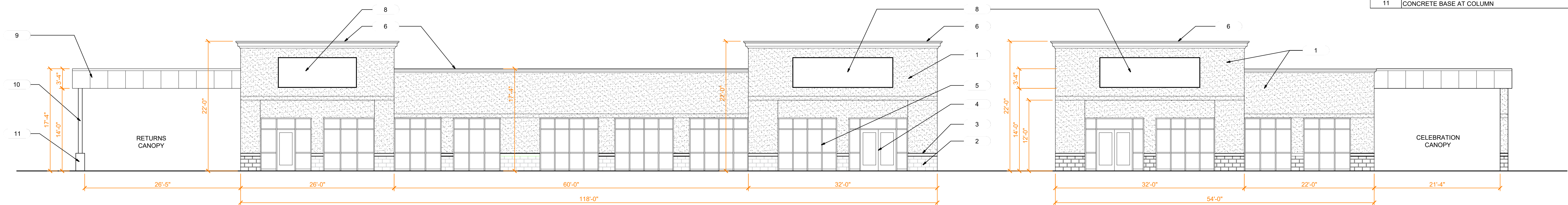


1 ELEVATION
A101 SCALE: 1/8" = 1'-0"

2 ELEVATION
A101 SCALE: 1/8" = 1'-0"



EXTERIOR ELEVATIONS KEYNOTE LEGEND:	
XX	
1	EXTERIOR INSULATION FINISH SYSTEM (EIFS)
2	CAST STONE BASE
3	PRECAST STONE WATERTABLE
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10	PAINTED STEEL CANOPY COLUMN
11	CONCRETE BASE AT COLUMN



1 ELEVATION
A102 SCALE: 1/8" = 1'-0"

2 ELEVATION
A102 SCALE: 1/8" = 1'-0"

MEMORANDUM

FOCUS ENGINEERING, inc.

Cara Geheren, P.E.	651.300.4261
Jack Griffin, P.E.	651.300.4264
Ryan Stempski, P.E.	651.300.4267
Chad Isakson, P.E.	651.300.4283

Date: August 2, 2021

To:	Ken Roberts, Planning Director	Re:	Enterprise Rent-A-Car (Boulder Ponds Outlot F)
Cc:	Marty Powers, Public Works Director Chad Isakson, Assistant City Engineer		Engineering Site Plan Review – Final plat
From:	Jack Griffin, P.E., City Engineer		

A engineering review has been completed for the Site Development Plans for Enterprise Rent-A-Car be located along Jade Trail North on Boulder Ponds Outlot F. The submittal consisted of the following documentation received on July 14, 2021:

- Pingree Addition Final Plat, preliminary draft dated July 8, 2021.
- Site Development Plans for Enterprise Rent-A-Car dated July 9, 2021.
- Landscape Plans and Details, not dated.
- “Partial” Stormwater Management Plan, dated July 9, 2021.

STATUS/FINDINGS: Engineering review comments have been provided in two separate memos; one for Final Plat/CUP approval, and one to assist with the completion of the final Construction Plans. Please see the following review comments relating to the Final Plat/CUP application.

FINAL PLAT/CONDITIONAL USE PERMIT

1. Boulder Ponds Outlot F will be platted into a single lot, Lot 1, Block 1 of the Pingree Addition. There are no Outlots being created by this Plat.
2. Ten (10) foot drainage and utility easements are proposed along all lot lines as required. The 10-foot drainage and utility easement must be reserved through the site plan for the purpose of small/dry utilities along Jade Trail.
3. The application does not address if the site is adequately served by essential public facilities and services. Information missing from the application includes the following:
 - Average daily traffic (trip generation) projections for the full buildout of the site.
 - Domestic sewer use projections. Submit SAC determination per Met Council SAC manual.
 - Domestic water use projections. Submit SAC determination per Met Council SAC manual.
 - Identify proposed water use for car washing facility (using Met Council SAC determination).
 - Needed Fire Flow (NFF) from the municipal water supply in GPM (gallons per minute) and duration of flow (minutes).
 - Statement on whether the building(s) are equipped with fire sprinklers.

MUNICIPAL WATER AND SANITARY SEWER SERVICE

1. Connection to existing sanitary sewer service stubs. The project proposes to connect to existing 6-inch sanitary sewer service stubs located along Jade Trail, one connection for each building. The sanitary sewer services interior to the site will be private services and must meet state plumbing code requirements.

2. Connection to existing watermain stubs. The project proposes to connect to existing 6-inch watermain service stubs located along the Jade Trail, one connection for each building. The water services interior to the site will be private services and must meet state building code requirements unless hydrants are required to be placed interior to the site (see comments below). The plans must also be revised to change the service pipe materials to meet city standards.
3. Fire Hydrant locations. No new fire hydrants have been proposed. There is one existing fire hydrant located along Jade Trail North approximately 220 feet from the proposed office building. If fire hydrants are required to be placed interior to the site of Outlot F, as may be required by the Lake Elmo Fire Department, the fire hydrants and connecting watermain will be city owned and maintained. If required, the site and utility plans, and project specifications must be revised and resubmitted for city review, showing the proposed hydrants and connecting watermain using city design standards, details and specifications. Utility easements must be dedicated to the city, minimum width of 30-feet centered over the pipe and hydrants, and all easements must be shown on the Site Plan, Utility Plan and Grading Plan.

STORMWATER MANAGEMENT

1. The proposed development is subject to a storm water management plan meeting State, Watershed District and City rules. Permits will be required from the South Washington Watershed District and the Minnesota Pollution Control Agency.
2. The applicant submitted a Stormwater Management Report dated July 9, 2021. The report remains incomplete to verify the report assumptions that stormwater management has been addressed for the development. The report must be resubmitted to include the following missing information:
 - Figure 2 (Drainage Areas Proposed Conditions) was not included with the submittal.
 - Figure 3 (Rational Method Storm Sewer Calculations) was not included with the submittal.
 - A breakdown of the proposed impervious surface areas, by building structures and pavement surfaces. Also, impervious surface breakdown by initial phase and future expansion areas.
 - Supporting documentation from the Boulder Ponds Stormwater Management Report dated May 7, 2015, demonstrating that the site was planned for 85% impervious surfaces.
3. A private storm sewer system is proposed interior to the site to capture and convey storm water runoff to the city owned storm water pond located on Boulder Ponds Outlot E (immediately south of the development property). The private storm sewer system will connect to the existing 21-inch RCP storm sewer stub pipe located on the south property line.
4. A Stormwater Easement and Maintenance Agreement in the city's standard form is required for the private owned storm sewer system.
5. The Boulder Ponds development was designed and constructed with an approved storm water management system to meet the requirements of both the City of Lake Elmo and the South Washington Watershed District. The most recent Boulder Ponds approved Stormwater Management Report is dated May 7, 2015. The existing storm water pond located on Outlot E, located immediately to the south of the proposed Enterprise Car-Rental site, was assumed to be designed to accommodate an impervious surface coverage of 85% for the Enterprise site (Outlot F).
6. The 4.29 acre Enterprise Site is creating a commercial building, car wash and parking lot that will result in 75% impervious surface coverage, including the proposed future parking lot area. Because the site is assumed to be creating less impervious surface than planned, the Outlot E storm water basin is assumed to have adequate capacity to fully accommodate this project without the need for further storm water mitigation.

SITE PLAN

1. The Enterprise Site parking area is designed with two concrete commercial driveway accesses to Jade Trail North, located approximately 180 feet apart. The access locations do not appear to align with the driveway locations along the west side of Jade Trail for Growing Explorers Daycare or for the Senior Living Center.
2. The Site Plan and Landscape Plan improvements must be clarified. The landscape plans indicate boulevard trees as existing, while the existing conditions plan show no boulevard trees present. The Site plans indicate the boulevard trees as proposed.

3. The existing conditions plan, grading plans and erosion control plans must include all existing conditions, contours, utilities, and existing site features within the development site and to a minimum distance of 150 feet from all construction limits. This information must include all cut cuts and driveway locations along Jade Trail, street lights, signs, boulevard trees, and topographic survey information for the property located east of the site. The utility plans must include existing pipe sizes, materials and slopes, including water and sewer services.
4. The Site and Grading Plans must be revised as necessary to ensure the sidewalk, boulevard trees and boulevard grading is constructed per the city standard detail 805. Boulevard must be graded toward the street at 4% with 2% trail cross slope. Boulevard trees must be located 5-feet from back of curb. The 10-foot utility corridor must be graded at 4% per the city standard detail.
5. Specifications must be submitted for city review prior to construction. The City of Lake Elmo standard specifications dated April 2019 must be used for all public infrastructure, work within the public right-of-way, and for erosion control and restoration.
6. Engineering did not review impervious surface requirements, parking requirements, or the lighting and photometrics plan.

MEMORANDUM

FOCUS ENGINEERING, inc.

Cara Geheren, P.E.	651.300.4261
Jack Griffin, P.E.	651.300.4264
Ryan Stempski, P.E.	651.300.4267
Chad Isakson, P.E.	651.300.4283

Date: August 2, 2021

To:	Kevin Rolfes, KRdesign	Re:	Enterprise Rent-A-Car (Boulder Ponds Outlot F)
Cc:	Joshua Calderon, Enterprise Holdings		Engineering Site Plan/Construction Plan Review
	Ken Roberts, Planning Director		
	Marty Powers, Public Works Director		
	Chad Isakson, Assistant City Engineer		
From:	Jack Griffin, P.E., City Engineer		

An engineering review has been completed for the Site Development Plans for Enterprise Rent-A-Car be located along Jade Trail North on Outlot F of the Boulder Ponds 1st Addition. The submittal consisted of the following documentation received on July 14, 2021:

- Pingree Addition Final Plat, preliminary draft dated July 8, 2021.
 - Site Development Plans for Enterprise Rent-A-Car dated July 9, 2021.
 - Landscape Plans and Details, not dated.
 - "Partial" Stormwater Management Plan, dated July 9, 2021.
-

STATUS/FINDINGS: The following comments have been provided in addition to the Final Plat/CUP comment memo to direct plan corrections necessary for final construction plan approval. When submitting revised plans and specifications, please provide a point-by-point response letter that details all changes made to the plans.

FINAL CONSTRUCTION PLANS FOR ENTERPRISE RENT-A-CAR

1. C2-C6. Add city standard details 105, 201, 313, 315, 405, and 606.
2. C7-C9/L100. Clarify if existing conditions include existing boulevard trees along Jade Trail. The landscape plans indicate boulevard trees as existing, while the existing conditions plan show no boulevard trees present. The Site plans indicate the boulevard trees as proposed.
3. C7. The existing conditions plan must include all existing conditions, contours, utilities, and existing site features within the development site and to a minimum distance of 150 feet from all construction limits. This information must include all cut cuts and driveway locations along Jade Trail, street lights, signs, boulevard trees, and topographic survey information for the property located east of the site.
4. C7. Revise plans to include all existing pipe size, material and slopes, including water and sewer services.
5. C7. Add plan note to require all removals within the city right-of-way to be field marked and approved by the city prior to work being completed.
6. C8. Add Plan Note to require all construction parking, including deliveries and equipment loading/unloading, to be maintained interior to the construction site unless specifically Permitted by the city for specified limited dates through a right-of-way permit.
7. C8. Add plan dimensions and labeling for existing street width, right-of-way width, and easement width. Label easement and property lines.
8. C8. Add city standard detail 805 to the Site Plan and revise plans as necessary to ensure the sidewalk, boulevard tree and boulevard grading is constructed per the city standard detail. Boulevard must be graded

toward the street at 4% with 2% trail cross slope. Boulevard trees must be located 5-feet from back of curb. 10-foot utility corridor to be graded at 4%.

9. C9. Show existing conditions contours for a minimum distance of 150 feet from all construction limits to demonstrate matching design conditions. Contours are missing along the east property line and are required to facilitate city review.
10. C9. Revise grading plan as necessary to grade the right-of-way and easement corridor along Jade Trail per city standard detail 805.
11. C9. Revise grading plans to ensure minimum 2% grade for all non-paved areas.
12. C9 and C11. Add the City standard plan notes to the grading and erosion control plans, City details 600A, 600B, 600C, and 600D. Remove these plan notes from the detail plan sheets.
13. C10. Revise catch basin structure (replacing existing structure 701A) with city standard sump manhole.
14. C10. Revise storm sewer pipe material to RCP for the storm sewer connection from CB703B.
15. C10. Provide storm sewer profiles for all proposed storm sewer pipe, public or private.
16. C10. Provide proposed water and sewer service pipe size and materials. Also provide connection details and connection inverts as applicable.
17. C10. Add water service city standard detail and revise water service pipe to city standards.
18. C10. Fire Hydrants. No new fire hydrants have been proposed. If fire hydrants are required to be placed interior to the site of Outlot F, as may be required by the Lake Elmo Fire Department, the fire hydrants and connecting watermain will be city owned and maintained. If required, the site and utility plans, and project specifications must be revised and resubmitted for city review, showing the proposed hydrants and connecting watermain using city design standards, details and specifications. Utility easements must be dedicated to the city, minimum width of 30-feet centered over the pipe and hydrants, and all easements must be shown on the Site Plan, Utility Plan and Grading Plan.
19. C11. Revise SWPPP plan documentation to update expired training documentation.
20. L100. Clarify site and landscape plans. Landscape plans indicate boulevard trees as existing. Existing conditions plan show no boulevard trees. Site plan shows boulevard trees as proposed.
21. L100. Add city standard plan notes for landscaping, including requirement to field stake for city review prior to planting trees, and to place boulevard trees per city standard detail 805.
22. Specifications. Project Specifications must be submitted for city review prior to plan approval. The City of Lake Elmo standard specifications dated April 2019 must be used for all public infrastructure, work within the public right-of-way, and for erosion control and restoration.

STORMWATER MANAGEMENT

1. The proposed development is subject to a storm water management plan meeting State, Watershed District and City rules. Permits will be required from the South Washington Watershed District and the Minnesota Pollution Control Agency.
2. Revise and resubmit the Stormwater Management Report to provide supporting documentation for the report assumptions and to address the following missing information.
 - a. Figure 2 (Drainage Areas Proposed Conditions) was not included with the submittal.
 - b. Figure 3 (Rational Method Storm Sewer Calculations) was not included with the submittal.
 - c. A breakdown of the proposed impervious surface areas, by building structures and pavement surfaces. Also, impervious surface breakdown by initial phase and future expansion areas.
 - d. Supporting documentation from the Boulder Ponds Stormwater Management Report dated May 7, 2015, demonstrating that the site was planned for 85% impervious surfaces.

Lake Elmo Fire Department

Memorandum

To: Ken Roberts, Planning Director

From: Dustin Kalis, Fire Chief

Date: 7/20/2021

Re: Site Plan Review – Enterprise Holdings



The Lake Elmo Fire Department has completed a site plan review of Enterprise Holdings based on the Lake Elmo Planning Department packet dated 7/15/21 with the following comments:

1. All roads and drive lanes shall meet the Lake Elmo Fire Department requirements for widths and turning radiuses. The provided turning radius overlay is adequate and meets the requirements of the fire department.
2. An approved signage and marking plan shall be determined for all No Parking and Fire Lane access roads.
3. Fire hydrants shall be provided in approved locations following review by Engineering and Public Works.
4. Building address numbers shall be plainly visible from the street fronting the property and shall contrasting color from the background.
5. A Fire Department lock box is required for emergency access to building at an approved location(s) and provide keys for emergency access into and throughout the occupancy as required.
6. The fire sprinkler system shall be installed compliant with provisions of 2016 NFPA Standard 13, Installation of Sprinkler Systems.
7. Fire Department sprinkler connection location to be approved prior to installation.
8. The fire alarm system, shall be installed compliant with provisions of 2016 NFPA Standard 72, National Fire Alarm Code. City permit required prior to initiation of work.
9. The sprinkler system shall be properly monitored by a qualified monitoring company.
10. Install emergency egress illumination in the means of egress including exit discharge compliant with 2020 MSFC.
11. Install compliant exit signage as required by the 2020 MSFC.
12. Provide and install dry chemical fire extinguishers certified for service and tagged as required. Service classification rating shall be a minimum 2A classification rating and maximum travel distance of 75 feet

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to extinguishers. The minimum classification rating may be upgraded for special or extra hazard areas within the occupancy.

13. Rooms containing controls for air-conditioning systems, roof access, elevator equipment, sprinkler risers and valves, or other fire detection, suppression or control elements shall be identified for the use of the fire department. Approved signs required to identify fire protection equipment and equipment location, shall be constructed of durable materials, permanently installed and readily visible.

Codes and Standards Used for this Review

- This review is based on the following codes and standards as adopted and in effect in the State of Minnesota at the time of plan submittal.
 - 2020 Minnesota State Fire Code
 - NFPA 72, 2016 edition
 - NFPA 13, 2016 edition

To: Ken Roberts, City of Lake Elmo
Planning Director

From: Sarah Harding, Landscape Architect
Jenna Niday, Landscape Designer

File: City of Lake Elmo Landscape Plan Review
Enterprise Rent-A-Car, Review #1

Date: July 23, 2021

Submittals

- Land Use Application, not dated, received July 9, 2021
- Civil, Architectural, Photometrics, Survey, and Landscape Plans, not dated, received July 9, 2021.

Location: South of 5th Street North, along the east side of Jade Trail North, and north of Hudson Boulevard

Land Use Category: Commercial

Surrounding Land Use Concerns: None.

Special landscape provisions in addition to the zoning code: None.

Tree Preservation:

- A. A tree preservation plan has not been submitted. The only existing trees onsite are boulevard trees shown on the landscape plan which are shown as intended to remain.

Landscape Requirements:

The landscape plans **do not** meet the code required number of trees. The applicant is utilizing the 25 existing boulevard trees toward the required number of trees, but does not meet the minimum code required trees.

	Code Required	Proposed	
Street frontage	978		Lineal Feet
Lake Shore	0		Lineal Feet
Stream Frontage	0		Lineal Feet
Total Linear Feet	978		Lineal Feet
/50 Feet = Required Frontage Trees (Existing)	20	20	Trees
Development or Disturbed Area	-		SF
Development or Disturbed Area	4.29		Acres
*5 = Required Development Trees	22	12	Trees
Interior Parking Lot Spaces*	243		Spaces
/10 = Required Parking Lot Trees	25	0	Trees
Perimeter Parking Lot Frontage Length	400		Lineal Feet
/50 = Required Frontage Strip Trees	8	11	Trees
Required Mitigation Trees	0	0	

July 23, 2021

Ken Roberts
Planning Director
City of Lake Elmo
Page 2 of 3

Required Number of Trees	75		
Total Trees to Date		43	

The landscape plans **do** meet the minimum compositions of required trees when including the existing boulevard trees:

Master Plan	Qty	% Composition	
Deciduous Shade Trees	12	28%	>25% required
Coniferous Trees	25	58%	>25% required
Ornamental Trees	6	14%	<15% required
Tree Count		43	

- A. A landscape plan has been submitted that **does not include** all requirements.
1. Ground cover material specifications are not included.
 2. The landscape plan does not include required City standard notes and details.
 3. All utilities are not shown on the landscape plan to review for tree placement conflicts.
 4. The plan does not include a quantity of shade trees to meet the interior parking lot planting requirements per Code 154.258.D.

July 23, 2021

Ken Roberts
Planning Director
City of Lake Elmo
Page 3 of 3

Findings:

1. The applicant is utilizing the existing boulevard trees toward the minimum overall landscape requirements for the site.
 - a. The existing and proposed tree quantities shown do not meet the minimum landscape requirements.
 - b. Interior parking lot landscaping is not shown, however is required per section 154.258.D.
 - c. Revise and resubmit the landscape plan to fulfill the landscape requirements.
2. Provide the type of seed and where it is to be used and show where sod is to be used in place of seed.
3. City standard notes and details have not been provided.
4. Utilities are not shown on the landscape plan to check for planting conflicts. Please show utilities on the revised landscape plan.

Recommendation:

It is recommended that conditions of approval include:

1. Submit a revised landscape plan.

Stantec Consulting Services Inc.



Sarah Harding, PLA (MN)

City of Lake Elmo Municipal Landscape Architect
P: (952) 215-2661
E: sharding@wenck.com

Diane Wendt

From: Christopher Beaudet <cjbeaudet@gmail.com>
Sent: Tuesday, August 3, 2021 7:21 AM
To: Ken Roberts
Subject: Potential Enterprise Rent-A-Car Facility

Caution: This email originated outside our organization; please use caution.

Dear Mr. Roberts,

As I am unable to attend the Lake Elmo Public Hearing scheduled for Monday, 9 August 2021, to discuss the proposed Enterprise Rent-A-Car facility to be built on the vacant lot on the east side of Jade Trail across from the newly built Boulder Ponds Senior Living.

I am the owner and resident of a villa in the Boulder Ponds development at 9043 Jade Circle North. Jade Trail is my usual route of entry and exit into the development. I have come to appreciate the newly built senior living since it maintains the residential feel of Boulder Ponds.

Regrettably, Boulder Ponds abuts a storage facility to the east with its large parking lot for stored vehicles. It is an unsightly property and undoubtedly lowers the property value of my home and those around it. I would not want a business with yet more vehicles in a lit parking lot to cross even closer to the Boulder Ponds development. A rent-a-car facility is not as high class a business as I would hope the neighborhood would develop. Hudson Road already has low-end businesses in old, antiquated buildings that haven't kept up with the new development of the area.

I stand in opposition to amending the zoning code for this purpose and I appreciate the opportunity to lodge my concern. If you have any questions, please feel free to contact me at the information below.

Very gratefully,

Christopher

Christopher J. Beaudet, JCD
cjbeaudet@gmail.com
612. 239. 4659

Diane Wendt

From: Torol Saddeus <jahanv@msn.com>
Sent: Wednesday, August 4, 2021 10:46 AM
To: Ken Roberts
Subject: Enterprise Rental Hearing

Caution: This email originated outside our organization; please use caution.

Hello,

I am unable to attend the hearing due to it occurring when I am working.

However, I do have some questions/comments/concerns about this proposal.

In the proposal they state that there is already an auto-body shop and that there are similar auto sales nearby (Which is false the nearest one that I can find on google is about 3 miles away - on the other side of the highway, in a large business center.) nearby so this shouldn't be any difference. I disagree with this sentiment, if you look at the auto-body shop that they're referring to, it is not really near any of the residences. It is also completely secluded by trees. Additionally, most of their clientele are towed there so there isn't as much traffic as one would think. Will they be required to also surround their business with a similar amount of foliage as to avoid being an eye sore? As it stands right now, we have a rental place which burned down last year - and doesn't seem like they're going to repair it. However they have made an effort to plant enough trees that in a few years it will be obscured from view for the neighborhoods.

Additionally, this states that their business will include both the rental and sale of vehicles. Does this imply that we're going to get people speeding through our neighborhoods to test out the cars? As it stands right now, our neighborhoods only get the traffic of the people living in them. So at the moment people feel safe letting their kids play in the street, bike around, etc... However the behavior of people driving a rental car vs their own car is quite a bit different, the same goes for when test driving and seeing 'what the vehicle can do.'

They also list, they only intend for their lot to be an outlet to the main road. however it isn't specific in this statement what the main road is, is the main road Jade Trail, or is the main road Hudson?

On the note of hazardous materials, they are a car rental place and typically those have gas stations built into them. Will this one have a fueling service, if so what measures will be taken to prevent contamination into the ground? Who will be accountable for any cleanup if in 10-20 years if they find the reservoir had been leaking into the ground? Same with having an on-site car wash. What assurances are there about the chemicals they will be using in the car wash, which will get into the air when the water mists? Car wash soaps do produce an odor that can travel distances as can be demonstrated by going near any car wash.

In section X it says that it will not generate excessive amounts of various pollutions. How is excessive defined? What happens if they do start to generate excessive traffic for instance?

In section xii. They declare that the land is bare. The land is certainly not bare. Bare is an empty parking lot. This land is a field with trees and wildlife.

I personally do not think this is a needed addition to the neighborhood and that this is going to be disruptive to many of the nearby residence lives. As I mentioned, the increase in vehicular traffic from people test driving vehicles will cause a nuisance for children playing in the immediate neighborhoods.

Seeing as I am unable to attend this hearing in person. How will I be able to hear the responses to these concerns?

Thanks,
Jahan.

Diane Wendt

From: Calderon, Joshua <Joshua.Calderon@ehi.com>
Sent: Wednesday, August 4, 2021 11:15 AM
To: Ken Roberts
Cc: kevin@krdesign.com; Kevin L. Grube
Subject: Re: Enterprise Rental Hearing

Caution: This email originated outside our organization; please use caution.

Thanks Ken we can address these concerns. I can outline the other nearby auto related property that we are specifically referring to. Whether it's considered nearby or close enough I guess is relative. I'm not sure what Jahan is referring to regarding hiding the "eye sore", we do not handle repairs on site or store wrecked vehicles. The plans provided show a professional car sales facility? I also don't understand the burned down facility comment, we don't have a burned down facility anywhere.

We also will not have on site fuel.

The wash bay is intended for hand washing vehicles. No auto wash included. As a majority of our existing locations just involve an individual using a pressure washer. No under the hood degreasing will be involved.

Should we respond to the rest of Jahans concerns in a formal letter prior to the meeting? Is Jahan an engineer or member of the council?

Sent from my T-Mobile 5G Device
Get [Outlook for Android](#)

From: Ken Roberts <KRoberts@lakeelmo.org>
Sent: Wednesday, August 4, 2021, 11:00 AM
To: Calderon, Joshua
Subject: FW: Enterprise Rental Hearing

Joshua –

Please be prepared to answer his questions and concerns at the PC meeting.

Thanks –

Ken

From: Torol Saddeus [mailto:jahanv@msn.com]
Sent: Wednesday, August 4, 2021 10:46 AM
To: Ken Roberts <KRoberts@lakeelmo.org>
Subject: Enterprise Rental Hearing

Caution: This email originated outside our organization; please use caution.

Hello,

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However, I do have some questions/comments/concerns about this proposal.

In the proposal they state that there is already an auto-body shop and that there are similar auto sales nearby(Which is false the nearest one that I can find on google is about 3 miles away - on the other side of the highway, in a large business center.) nearby so this shouldn't be any difference. I disagree with this sentiment, if you look at the auto-body shop that they're referring to, it is not really near any of the residences. It is also completely secluded by trees. Additionally, most of their clientel are towed there so there isn't as much traffic as one would think. Will they be required to also surround their business with a similar amount of foliage as to avoid being an eye sore? As it stands right now, we have a rental place which burned down last year - and doesn't seem like they're going to repair it. However they have made an effort to plant enough trees that in a few years it will be obscured from view for the neighborhoods.

Additionally, this states that their business will include both the rental and sale of vehicles. Does this imply that we're going to get people speeding through our neighborhoods to test our the cars? As it stands right now, our neighborhoods only get the traffic of the people living in them. So at the moment people feel safe letting their kids play in the street, bike around, etc... However the behavior of people driving a rental car vs their own car is quite a bit different, the same goes for when test driving and seeing 'what the vehicle can do.'

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Seeing as I am unable to attend this hearing in person. How will I be able to hear the responses to these concerns?

Thanks,
Jahan.

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STAFF REPORT

DATE: 8/09/2021

REGULAR

ITEM # _____

MOTION

TO: Planning Commission

FROM: Ken Roberts, Planning Director

AGENDA ITEM: **Zoning Code Text Amendment, Final Plat and Planned Unit Development (PUD) Plans and Conditional Use Permit for Motor Vehicle Sales and Rental Facility**

REVIEWED BY: Jack Griffin, City Engineer
Dustin Kalis, Fire Chief

BACKGROUND:

The City has received a set of land use applications from Enterprise Holdings for a Zoning Code Text Amendment, Final Plat and PUD Plans and a conditional use permit for Outlot F of Boulder Ponds. They have submitted these requests to allow for the development of an Enterprise facility that would include the sale and rental of vehicles on a property located on the east side of Jade Trail, just north of Hudson Boulevard. Please see the attached narrative, maps and project plans for more information about this request.

ISSUE BEFORE PLANNING COMMISSION:

The Planning Commission is being asked to hold a public hearing and make recommendation on the requests for approval of a zoning code text amendment, final plat and PUD plans and a conditional use permit as requested by Enterprise Holdings. These requests are for the 4.29 acre Outlot F of Boulder Ponds for the development of a motor vehicle sales and rental facility.

PROPOSAL DETAILS/ANALYSIS:

Applicants: Joshua Calderon (Enterprise Holdings), 2775 Blue Waters Road, Eagan, MN 55121

Property Owners: Ray Pruban (Lakeview Investment Inc.), 2158 Oakgreen Avenue S., Afton, MN 55101

Location: Outlot F, Boulder Ponds, PID# 34.029.21.33.0027

<i>Requests::</i>	Zoning Code Text Amendment, Final Plat and PUD Plans and Conditional Use Permit for a motor vehicle sales and rental facility
<i>Existing Land Use:</i>	Vacant property
<i>Existing Zoning:</i>	C - Commercial
<i>Surrounding Land Use / Zoning:</i>	South – Storm Water Pond, Hudson Blvd and I-94; West – Boulder Ponds Senior Living across Jade Trail (HDR – High Density Residential) ; East – Mini Storage (C - Commercial); North – 5 th Street North and single dwellings
<i>Comprehensive Plan Guidance:</i>	C - Commercial
<i>Deadline(s) for Action:</i>	Application Complete – 7/09/2021 60 Day Deadline – 9/07/2021 Extension Letter Mailed – No 120 Day Deadline – N/A
<i>Applicable Regulations:</i>	Chapter 153 – Subdivision Regulations Section 154.106 – Conditional Use Permits §154.210 – Off-Street Parking Article XIV: Commercial Districts Article VII – Specific Standards Section 150.270 – Storm Water, Erosion and Sediment Control §154.258: Landscape Requirements

PLANNING AND ZONING ISSUES

ZONING CODE TEXT AMENDMENT

Section 154.012 (B) (6) of the Lake Elmo Zoning Code lists the definitions of possible land uses for Automotive and Vehicular related land uses in the city. This section defines sales and storage lots as:

Establishments engaged in the display for sale or lease of automobiles, trucks, machinery, recreational vehicles and manufactured homes, include automobile dealerships or thee farm commercial storage of privately owned trailers, boats, campers or similar vehicles.

This definition does not now allow for the rental of vehicles on these sites. Enterprise wants to sell and rent vehicles at their proposed facility so they are asking the City to amend the zoning code to include the rental of vehicles in the possible uses at such vehicle lots. Staff is supportive of this proposed zoning text amendment as the use of a facility for sales, leasing or rental of vehicles should not create any different concerns or impacts when compared to a facility that only sells and leases vehicles.

To implement this zoning code change, staff is recommending the City amend the definition of sales and storage lots to include the rental of vehicles and amend Table 12-1: Permitted, Conditional and Interim Uses, Commercial Districts to ensure the rental of vehicles is noted as a Conditional Use in the Commercial District along with the sales and storage lots.

FINAL PLAT AND PUD PLANS

Minimum Lot Size Requirements. The parcel is consistent with the outlot created as part of the Boulder Ponds 1st Addition Final Plat and meets the minimum lot size and width requirements of the Commercial zoning district.

Parkland Dedication. The City requires a \$6000 per acre park dedication fee for commercial subdivisions. The proposed subdivision (final plat) will create one new buildable lot of 4.29 acres. Therefore, it is recommended that a condition of approval to require the applicant to pay \$25,740 (\$6000 X 4.29 acres) in park dedication fees for this development should the development plans move forward.

City Engineer Review. The City Engineer prepared a final plat review memo (dated August 2, 2021) and a site plan/construction review memo (dated August 2, 2021) related to these requests. I have attached these memos for your reference. The following is a summary of his review comments:

Application Information

- The application does not address if the site is adequately served by essential public facilities and services. Missing information includes:
 - Average daily traffic projects from full build out of the site.
 - Domestic sewer use projects. The City will need a SAC determination per the Met Council SAC manual.
 - Domestic water use projections. The City will need a SAC determination per Met Council SAC manual.
 - Needed fire flow from municipal water supply in GPM (gallons per minute and duration of flow (minutes).
 - Statement on whether the buildings will be equipped with fire sprinklers.

Stormwater Management

- The Boulder Ponds development was designed and constructed with an approved storm water management system to meet the requirements of both the City of Lake Elmo and the South Washington Watershed District. The existing stormwater pond located on City owned Outlot E was designed to accommodate an impervious surface coverage of 85% for this site.
- A private storm sewer is proposed interior to the site to capture and convey storm water runoff to the City owned storm water pond located on Boulder Ponds Outlot E. (immediately south of the development property). The private storm sewer system will connect to the existing 21-inch RCP storm sewer stub pipe located on the south property line.
- The 4.29-acre Enterprise site plan is shown with 75 percent impervious surface coverage. Because the site is assumed to be creating less impervious surface than planned, the existing storm water basin is assumed to have adequate capacity to fully accommodate this project without need for further storm water mitigation.
- The proposed development is subject to a storm water management plan meeting State, Watershed District and City rules. Permits will be required from the South Washington Watershed District and the Minnesota Pollution Control Agency.

- A stormwater easement and maintenance agreement in the City's standard form is required for the private storm water system.

Site Plan

- The site parking area is designed with two concrete commercial driveway accesses to Jade Trail North, located about 180 feet apart. The two access locations do not appear to align with the driveway locations on the west side of Jade Trail for Growing Explorers or for the senior living center.
- The site plan and the landscape plan improvements must be clarified. The landscape plans indicate boulevard trees as existing, while the existing conditions plan show no boulevard trees present. The site plans indicate the boulevard trees as proposed.

Sanitary Sewer and Water Main Plans

- No new fire hydrants have been proposed. There is one existing fire hydrant located along Jade trail about 220 feet from the proposed office building. If fire hydrant(s) are required interior to the site as may be required by the Lake Elmo Fire Department, the fire hydrants and connecting water main will be City owned and maintained. If required, the applicant must revise and resubmit the and project specifications for City review, showing the proposed hydrant(s) and connecting watermain using City design standards, details and specifications. Utility easements must be dedicated to the City that are at least 30-feet wide centered over the pipe and hydrants, and all easements must be shown on appropriate plans and on the final plat. **Note:** The Fire Department and the City Engineer have determined that the applicant will need to install a fire hydrant near the northwest corner of the building so the applicant will need to revise the project plans to show this hydrant and the watermain serving it.
- Connection to existing sanitary sewer service stubs. The project proposes to connect to existing 6-inch sanitary sewer service stubs located along Jade trail, one connection for each building. The sanitary sewer services interior to the site will be private services and must meet state plumbing code requirements.
- Connection to existing watermain stubs. The project proposes to connect to existing 6-inch watermain service stubs located along Jade Trail, one connection for each building. The water services interior to the site will be private services and must meet state building code requirements unless hydrants are required to be place interior to the site. The plans also must be revised to change the service pipe materials to meet City standards.

Preliminary Plat Conditions. Because conditions of approval for the preliminary plat for Boulder Ponds were related to the single family residential development, Staff will not be providing an analysis if preliminary plat conditions have been met.

Recommended Findings.

- 1) That the proposed Pingree (Enterprise) Final Plat and Final PUD Plan is generally consistent with the Preliminary Plat and Plans as approved by the City of Lake Elmo on September 16, 2014.
- 2) That the proposed Pingree (Enterprise) Final Plat and Final PUD Plan is consistent with the Lake Elmo Comprehensive Plan and the Future Land Use Map for this area.
- 3) That the proposed Pingree (Enterprise) Final Plat generally complies with the standards of the City's Commercial zoning district.

- 4) That the proposed Pingree (Enterprise) Final Plat complies with all other applicable zoning requirements, including the City's landscaping, storm water, sediment and erosion control and other ordinances, except as noted in this report or attachment thereof.
- 5) That the proposed Pingree (Enterprise) Final Plat complies with the City's subdivision ordinance.
- 6) That the proposed Pingree (Enterprise) Final Plat and Final PUD Plan complies with the City's Planned Unit Development Ordinance.
- 7) That the proposed Pingree (Enterprise) Final Plat is generally consistent with the City's engineering standards with the exceptions noted by the City Engineer in his review comments to the City dated August 2, 2021.

Recommended Conditions of Approval. Staff recommends the following conditions be attached to approval of the Pingree (Enterprise) Final Plat and PUD Plans:

- 1) Final grading, drainage, and erosion control plans, utility plans, sanitary and storm water management plans, and utility construction plans shall be reviewed and approved by the City Engineer prior to the recording of the Final Plat. All changes and modifications to the plat and plans requested by the City Engineer in the review memos dated August 2, 2021 shall be incorporated into these documents (including the addition of a fire hydrant near the northwest corner of the building) before the City signs the Final Plat for recording.
- 2) Prior to the release of the Final Plat for recording, the Developer shall enter into a Developer's Agreement or a Site Improvement Agreement acceptable to the City Attorney and approved by the City Council that delineates who is responsible for the design, construction, and payment of the required improvements with financial guarantees therefore.
- 3) All easements as requested by the City Engineer and Public Works Department shall be documented on the Final Plat prior to recording. Easements may need to be revised or added to the final plat pending review by the City of a detailed right-of-way boulevard plan and updated utility plans (including any on-site fire hydrants and watermains).
- 4) The Final Landscape and Irrigation Plans shall be submitted for review and approval by the City Landscape Architect before the City releases building permits for construction.
- 5) The applicant must obtain all other necessary City, State, and other governing body permits before starting any construction activity on the parcel including but not limited to building permits, conditional use permits, South Washington Watershed District permit, etc.
- 6) Any plans for construction on the newly created parcel must comply with the Lake Elmo Design Standards Manual and specific general site considerations and development standards for specific uses within the Commercial zoning district.
- 7) The site plan is subject to a storm water management plan meeting State, South Washington Watershed District and City rules and regulations. The applicant must obtain all applicable permits before the City releases the final plat for recording.
- 8) A Stormwater Maintenance and Easement Agreement in the City's Standard form is required for the privately-owned system.

- 9) The applicant shall pay the City a parkland dedication fee in the amount of \$25,740 before the City releases to the final plat for recording.

CONDITIONAL USE PERMIT

Request. An automotive sales and storage lot is a conditional use within the Commercial zoning district and as such requires City approval of a conditional use permit. The proposed Enterprise facility would sell and rent vehicles so the applicant has requested a zoning code text amendment as noted above to allow for the rental and sale of vehicles at this site. The proposed facility would have a sales and rental office building of about 5,800 square feet with 243 total parking spaces. They are proposing to have 141 car sales parking spaces, 71 parking spaces for light trucks and 31 parking spaces for customer and employee parking.

The site plan shows two 30-foot-wide driveways onto Jade Trail for access to the site.

At full capacity, the facility will have approximately 30 employees and operate from 7:30 am to 7:00 pm Monday through Friday, with rental hours from 9-12 and sales hours between 10:00 am to 6:00 pm on Saturday and closed on Sunday.

Setback and Impervious Surface Requirements. The following table outlines how the proposed use and site plan adheres to the setback and impervious surface requirements of the Commercial zoning district. The proposed site plan is meeting all the required zoning code standards.

Commercial District – Zoning Standards		
Standard	Required	Proposed
Maximum Height	45 feet	22 feet
Maximum Impervious Coverage	75%	74.6%
Front Yard Setback – Building	30 feet	171 feet
Interior Side Yard Setback – Building	10 feet	Approximately 200 feet
Rear Yard Setback - Building	30 feet	112 feet
Front Yard – Parking	15 feet	45 feet
Rear Yard - Parking	10 feet	15 feet
Minimum Building Floor Size	N/A	N/A

General Site Design Considerations, Commercial Districts. The following outlines how the proposed development adheres to the City's General Site Design considerations for the Commercial zoning district.

- *Circulation.*
 - *Internal connections when feasible.* There are no feasible internal connections to the site. The site will be accessed off of Jade Trail North by two proposed driveways.
 - *Curb cuts minimized.* There are two proposed curb cuts in order to provide better circulation.
- *Fencing and Screening.* There is an existing storm water pond on the south end of the property facing Hudson Boulevard and a commercial property (Mini-storage) to the east. Staff is not recommending the City require any special screening or fencing with this request.

- *Lighting Design.* The applicant submitted a photometric plan that meets the requirements of Sections 150.035-150.038 of the City Code.
- *Exterior Storage.* The project plans are not showing any exterior storage on the site other than areas proposed for vehicle parking. It is a recommended condition of approval that Enterprise not store any damaged or inoperable vehicles outside on their site.

Standards for Motor Vehicle Sales and Storage Lots within the Commercial Zoning District. There are four specific use standards for a vehicle sales and storage lot within the Zoning Code. They include:

1. The site shall have a minimum of 20,000 square feet and have access to collector or higher classification street. Staff Comment: The site of this proposal is 4.29 acres (186,872 square feet) and Jade Trail is noted as a collector street in the 2040 Comprehensive Plan.
2. All vehicle repairs shall be conducted in a completely enclosed building. Staff Comment: Enterprise is not proposing to conduct any vehicle service or repairs at this site.
3. A site plan shall be submitted showing the layout of vehicles, for sale, rent, employee parking and customer parking. Staff Comment: The applicant included the required site plan with their application materials.
4. Sound from any speakers used on the premises shall not be audible above a level of normal conversation at the boundary of any surrounding residential district or any residential property. Staff Comment: The applicant noted in their application materials that they do not use a public address system that would cause a disturbance to the neighbors.

Parking Lot Requirements

- *Marking of Parking Spaces.* Parking areas containing five or more spaces are required to be marked with painted lines at least four inches wide. This is shown on the plans.
- *Curbing.* Open off-street parking areas designed to have head-in parking along the property line shall provide a bumper curb or barrier of normal height. This is shown on the plans.
- *Accessible Parking.* The proposed number of parking spaces is 243, of these, two are handicap – accessible with van access, which meets the Americans with Disabilities Act (ADA) requirements.

Parking Lot Screening Standards

- *Interior Parking Lot Landscaping.* At least 5% of the parking lot is devoted to islands or corner planting beds as is required per the City's interior parking lot landscaping standards. Additionally, the number of trees required to be provided within these interior islands and corner beds is not met.
- *Perimeter Parking Lot Landscaping.*
 - *Frontage Strip.* A well-over five-foot wide frontage strip is provided between the parking area and Jade Trail. The proposed landscape plan shows the planting of 12 coniferous trees to the north and west of the future parking area to help screen the site from the existing residential homes across Jade Trail.

The requirement that one deciduous tree be planted every 50 linear feet has been met along Jade Trail with the existing trees that were planted with the development of Boulder Ponds.

Landscape Plans. The applicant has submitted landscape plans which have been reviewed by the City's landscape architect. Below is a summary of the review comments dated July 23, 2021:

- The submitted landscape plan does not include the required number of trees, as 75 are required, and 43 are proposed.
- Screening is required at the northern and western edge of the parcel due to the parcel to the across Jade Trail being of a less intense use.
- Ground cover material specifications are not included.
- The proposed landscape plan does not include required City standard notes and details.
- All utilities are not shown on the landscape plan to review for tree placement conflicts. All utility conflicts will need to be corrected.
- The plan does not include a quantity of shade trees to meet the interior parking lot planting requirements per the City Code.

Lake Elmo Design Guidelines and Standards. The property is located within the I-94 district, and therefore must adhere to the Lake Elmo Design Guidelines and Standards.

- *Site Design.* Building is set back at least 30 feet from the right-of-way and oriented parallel to the street, providing convenient access to entrances and efficient on-site circulation.
- *Streetscape.* Streetscape improvements were provided with the trees and landscaping previously installed along Jade Trail.
- *Landscaping.* Trees and plant beds are utilized. Parking, service, storage and utility areas are buffered by plantings.
- *Parking.* Parking areas utilize more than 60% of primary street frontage, but additional landscaping is provided adjacent to the primary street.
- *Building Design.* There are no blank facades without windows or doors, and continuous expanses of wall through façade articulation, recession and projection is utilized.
- *Building Materials.* The primary exterior building materials include EIFS (exterior insulation finish system) and a cast stone base. The roof will flat
- *Scale and Mass.* The building front has several doors and windows to help break up the mass and to avoid monotonous design.

City Engineer Review. This can be referenced in the Final Plat and PUD plan review section (above) of this report.

Fire Chief Review: Dustin Kalis, the Lake Elmo Fire Chief, review the proposed plans. I have attached his comments for your consideration. In summary, he did not note any major concerns or changes the Fire Department would be requiring to the plans. However, the Fire Chief and the City Engineer recently re-reviewed the project plans and they determined that the applicant needs to add a fire hydrant near the northwest corner of the building in order to ensure there will be proper fire protection to the building and site. As such, the applicant will need to update the utility plans to show this fire hydrant, with 30 foot-wide easements over the watermains and hydrants, and the Development Agreement or Site Improvement Agreement will require security for the cost of this public infrastructure.

Watershed District. The project area lies within the South Washington Watershed District (SWWD). It should be noted that the applicant must meet all the rules of the SWWD and will need to secure permits from the SWWD in order to proceed with the development as planned.

Recommendation Findings. Staff recommends the following findings:

1. The proposed use will not be detrimental to or endanger the public health, safety, comfort, convenience or general welfare of the neighborhood or the city. ***The proposed use will not be detrimental or in any way endanger the public health, safety, comfort.***

2. The use or development conforms to the City of Lake Elmo Comprehensive Plan. ***The property is guided for Commercial, in which a motor vehicle sales and storage facility is a conditional use.***
3. The use or development is compatible with the existing neighborhood. ***The proposed use is compatible with the existing neighborhood and will serve nearby residents and businesses in need of its services.***
4. The proposed use meets all specific development standards for such use listed in Article 7 of this Chapter. ***The proposed use will meet the specific development standards for a motor vehicle sales and storage facility and it should meet the general site design considerations of the Commercial district.***
5. If the proposed use is in a flood plain management or shoreland area, the proposed use meets all the specific standards for such use listed in Chapter 150, §150.250 through 150.257 (Shoreland Regulations) and Chapter 152 (Flood Plain Management). ***The property is located outside the 0.2% annual chance floodplain and shoreland area.***
6. The proposed use will be designed, constructed, operated and maintained so as to be compatible in appearance with the existing or intended character of the general vicinity and will not change the essential character of that area. ***The proposed use will be compatible in appearance with the existing and intended character of the general vicinity and will not change the essential character of the area.***
7. The proposed use will not be hazardous or create a nuisance as defined under this Chapter to existing or future neighboring structures. ***The proposed use will not be hazardous or create a nuisance.***
8. The proposed use will be served adequately by essential public facilities and services, including streets, police and fire protection, drainage structures, refuse disposal, water and sewer systems and schools or will be served adequately by such facilities and services provided by the persons or agencies responsible for the establishment of the proposed use. ***The proposed use will be adequately served by all of these.***
9. The proposed use will not create excessive additional requirements at public cost for public facilities and services and will not be detrimental to the economic welfare of the community. ***The proposed use will not create excessive additional requirements at public cost.***
10. The proposed use will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare because of excessive production of traffic, noise, smoke, fumes, glare or odors. ***The proposed use will generate an increase in the number of vehicle trips per day over a vacant property but the traffic volume should lower than many of the other possible commercial land uses that could occur on the site.***
11. Vehicular approaches to the property, where present, will not create traffic congestion or interfere with traffic on surrounding public thoroughfares. ***The proposed use should not create traffic congestion or interfere with traffic on surrounding public streets.***
12. The proposed use will not result in the destruction, loss or damage of a natural or scenic feature of major importance. **N/A**

Recommended Conditions of Approval. If the Planning Commission wishes to recommend approval, staff recommends the following conditions:

- 1) The applicant must obtain all other necessary City, State, and other governing body permits prior to the commencement of any construction activity on the parcel including but not limited to an

approved stormwater management plan, utility plans, grading plan, street construction plans (if required), parking lot permit, building permits, etc.

- 2) That City Council approve the requested zoning code text amendment to allow the rental vehicles at sales and storage facilities by conditional use.
- 3) The applicant revise all project plans to address the review comments of the City Engineer in his memos dated August 2, 2021.
- 4) The applicant shall revise the project plans to show a fire hydrant near the northwest corner of the building at the direction of the Fire Department and the City Engineer. All fire hydrants shall be owned and maintained by the City.
- 5) Landscape plans must be revised and approved by the City's Landscape Architect prior to recording of the final plat. The landscape plans must meet all City parking lot landscaping and screening requirements including screening on the northern portion of the property from adjacent properties and the public right-of-way.
- 6) The applicant shall secure a sign permit from the City for all signage associated with the proposed motor vehicle sales and rental facility.
- 7) The proposed building shall meet the Lake Elmo Design Guidelines and Standards.
- 8) Enterprise and all future owners/operators on this site shall not store any damaged or inoperable vehicles outside on the site.

FISCAL IMPACT:

The City will collect Sewer Accessibility Charges and Water Accessibility Charges, building permit fees, and property taxes.

OPTIONS:

The Planning Commission may:

- Recommend approval of the Zoning Code Text Amendment, Final Plat and PUD Plans and Conditional Use Permit with recommended findings and conditions of approval.
- Recommend approval of the Zoning Code Text Amendment, Final Plat and PUD Plans and Conditional Use Permit with amended findings and conditions of approval.
- Recommend denial of Zoning Code Text Amendment, the Final Plat and PUD Plans, citing findings for denial.

RECOMMENDATIONS:

Staff recommends that the Planning Commission recommend approval of the Zoning Code Text Amendment that adds the rental of vehicles as a conditional use for sales and storage lots in the C (commercial) zoning district.

“Move to recommend approval of the zoning code text amendment(s) that adds the rental of vehicles as a conditional use for sales and storage lots in the commercial zoning district.”

Staff recommends that the Planning Commission recommend approval of the Pingree Addition Final Plat and PUD Plans with recommended findings and conditions of approval:

“Move to recommend approval of the Pingree Final Plat and PUD Plans with recommended findings and conditions of approval as drafted by Staff.”

Staff recommends that the Planning Commission recommend approval of the Conditional Use Permit for a motor vehicle sales and rental facility as proposed by Enterprise Holdings for the property on the east side of Jade Trail, north of Hudson Boulevard:

“Move to recommend approval of a Conditional Use Permit for a motor vehicle sales and rental facility as proposed by Enterprise Holdings for the property on the east side of Jade Trail, north of Hudson Boulevard, subject to the conditions of approval listed in the staff report and based on the findings of fact listed in the staff report.”

ATTACHMENTS:

- Applications and Narrative
- Location Map
- Property Line Map
- Aerial Photo
- Pingree Addition Final Plat
- Project Plans (12 sheets)
- Proposed Landscape Plan
- Elevation and Floor Plans (3 sheets)
- City Engineer Final Plat review memo dated August 2, 2021
- City Engineer Site Plan/Construction Plan review memo dated August 2, 2021
- Fire Chief Review memo dated July 20, 2021
- Landscape Architects review memo dated July 23, 2021
- Neighbor comments dated August 2, 2021

Wildflower at Lake Elmo 4th Addition – Written Statements

2.a.) Owner: Robert Engstrom Companies
 4801 West 81st Street, Suite 101
 Minneapolis, MN 55437

Authorized Agents or Representatives:

Bob Engstrom
 Paul Engstrom
 Tom Engstrom

Engineer & Surveyor:

John Molinaro & Peter Hawkinson
 Pioneer Engineering, P.A.
 2422 Enterprise Dr.
 Mendota Heights, MN 55120

2.b.) Address: Unassigned: Intersection of Wildflower Dr. & Swallowtail Lane
 Unassigned: End of Currently Constructed Prairieview Trail

Current Zoning: PUD

Parcel Size: 19.88 acres; 866,126 ft²

Property Identification #'s: 12.029.21.34.0091 & 12.029.21.43.0024

Current Legal Description: Outlot G, H, J, O and Q of Wildflower at Lake Elmo 1st Addition

2.c.)

i) Name of Final Plat: Wildflower at Lake Elmo 4th Addition

ii) Table

Block #	Lot #	Size (ac)	Width at Front Setback* (sf)	Average Depth (sf)
1	1	0.2494	105	138
1	2	0.1953	80	130
1	3	0.2195	90	135
1	4	0.2389	92	134
1	5	0.2479	80	135
1	6	0.2479	80	135
1	7	0.2501	80	136
1	8	0.2865	90	138
2	1	0.2922	85	152
2	2	0.2450	90	125
2	3	0.3232	80	137
2	4	0.3223	80	130
2	5	0.2968	90	130
2	6	0.3947	93	185
2	7	0.2467	90	130

2	8	0.2537	85	130
2	9	0.2686	90	130
2	10	0.2424	80	132
2	11	0.3379	107	144
3	1	0.1912	70	120
3	2	0.1791	65	120
3	3	0.1791	65	120
3	4	0.1791	65	120
3	5	0.1791	65	120
3	6	0.1791	65	120
3	7	0.2234	86	120
4	1	0.1654	62	120
4	2	0.1405	51	120
4	3	0.1405	51	120
4	4	0.1654	62	120
5	1	0.1960	62	134
5	2	0.1497	51	123
5	3	0.1418	51	120
5	4	0.1657	62	120
6	1	0.1758	65	120
6	2	0.1515	55	120
6	3	0.1653	60	120
6	4	0.1653	60	120
6	5	0.1653	60	120
6	6	0.1515	55	120
6	7	0.1777	65	120

*Width is at the non-garage side of courtyard lots
(Blocks 3, 4, 5 and 6)

iii) Final Area Calculations:

Park: 0

Trails: 0

Other: 0

Estimated Value of Dedicated Area: 0

iv) Final Area of Wetlands & Buffers

Wetlands: 0

Buffers: 0

v) Final Proposed right-of-ways: 5.3797 acres; 234,343 ft²

vi) Proposed legal descriptions for items not on Plat: NONE

2.d.) Addressing Issues since Preliminary Plat:

All items that have arisen have been addressed in the Final Platting Process.

2.e.) Density:

4th Addition Lot Area: 8.8862 acres

4th Addition Lot #: 41

Density: 4.61 lots/acre

2.f.) Proposed infrastructure improvements & phasing:

1 Phase Development

Continuation of installed Wildflower at Lake Elmo 1st, 2nd & 3rd improvements.

2.g.) Neighboring Properties Issues Addressed:

Developer has personally addressed issues with neighbors.

2.h.) Nearby Land Issues/Disturbances to wetlands or Natural Areas:

The project developed a Stormwater Management Plan with the review of the City of Lake Elmo & the Valley Branch Watershed District to address and improve the watershed drainage issues.

2.i.) Justification: Development is in conformance with approved Preliminary Plat.

2.j.) Lakeshore Access: NONE

2.k.) Parks & Open Space: Park and Open space dedication was completed with 1st Addition of Project.

2.l.) Development Timeline:

Begin Utilities: August -2021

Complete Utility Construction: October – 2021

Complete Street Construction: November – 2021

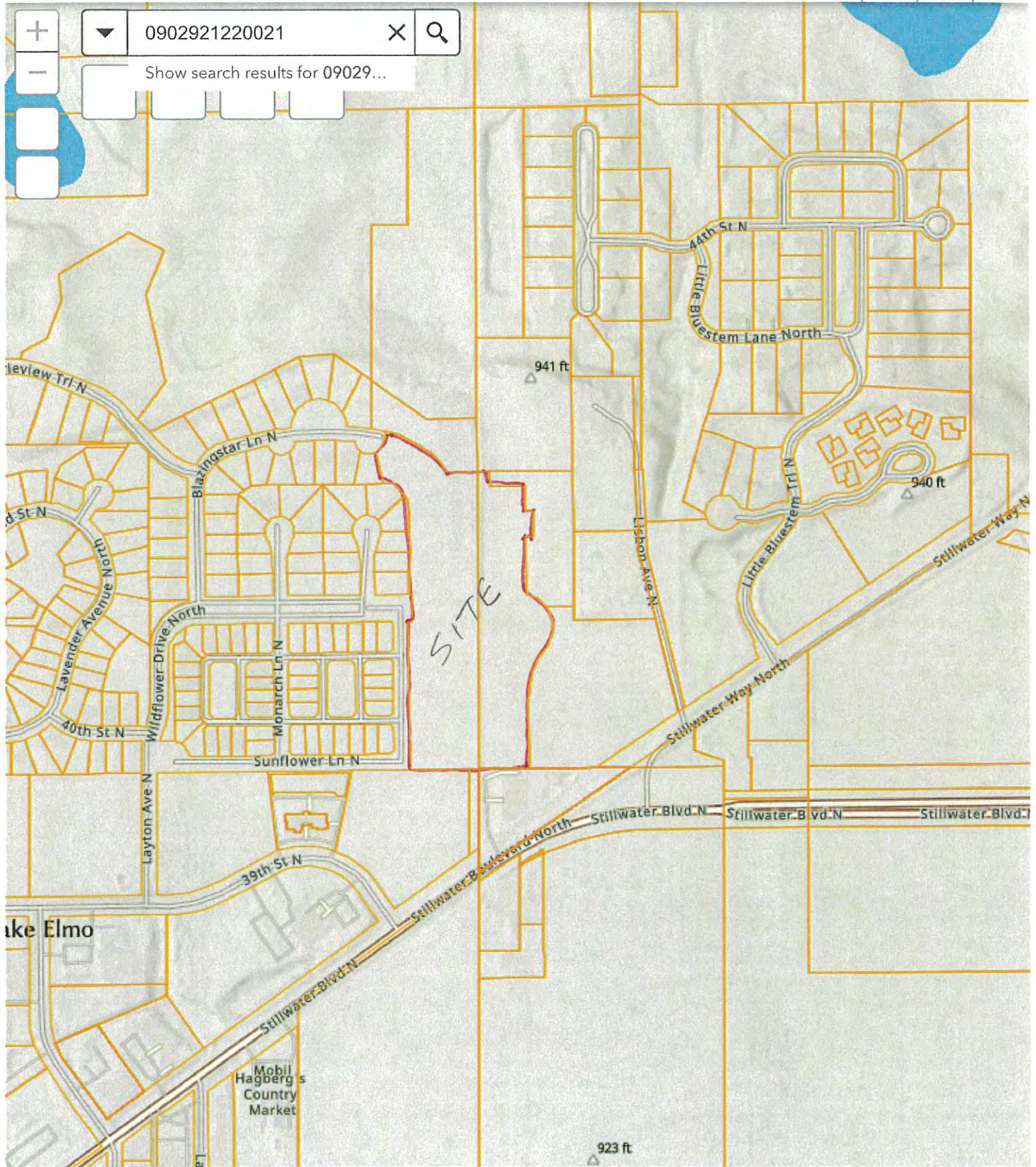
Complete Small Utility Construction: November – 2021

Complete Landscaping Installation: Spring - 2022

Parcel Viewer - Quick Access

Beta

Washington Co., NY

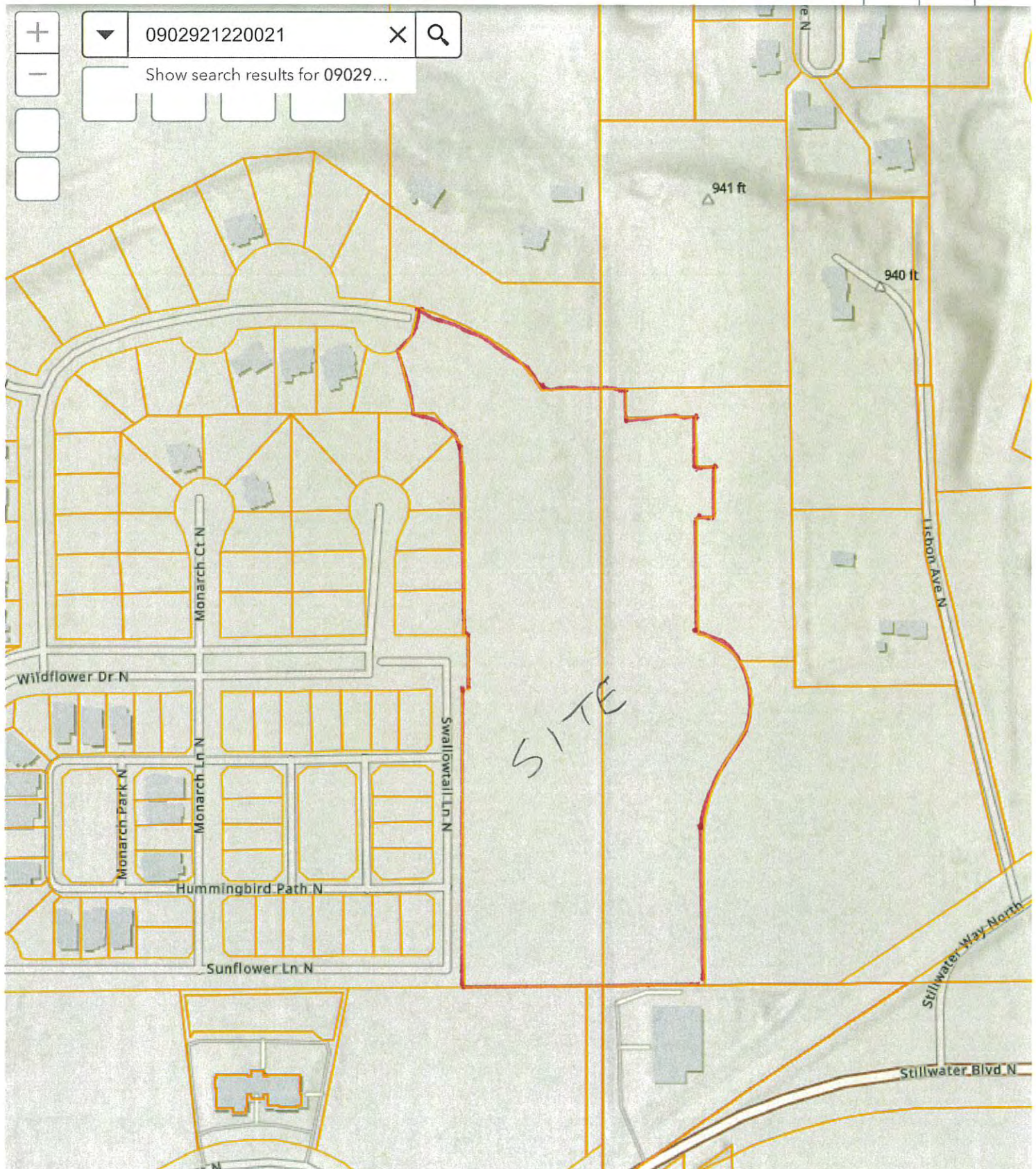


LOCATION MAP

Parcel Viewer - Quick Access

Beta

Washington Co., NY



300ft

-92.85845012 Degrees

PROPERTY LINE MAP

WILDFLOWER AT LAKE ELMO 4TH ADDITION

KNOW ALL PERSONS BY THESE PRESENTS: That Robert Engstrom Companies, a Minnesota Corporation, owner of the following described property:

Outlots G, H, I, O and Q, WILDFLOWER AT LAKE ELMO 1ST ADDITION, according to the recorded plat thereof, Washington County, Minnesota.

Together with:

Outlot A, WILDFLOWER AT LAKE ELMO 3RD ADDITION, according to the recorded plat thereof, Washington County, Minnesota.

Has caused the same to be surveyed and platted as WILDFLOWER AT LAKE ELMO 4TH ADDITION and does hereby dedicate to the public for public use the public ways and the drainage and utility easements as created by this plat.

In witness whereof said Robert Engstrom Companies, a Minnesota Corporation, has caused these presents to be signed by its proper officer this ____ day of _____, 20____.

Robert Engstrom Companies

_____ its _____

STATE OF MINNESOTA
COUNTY OF _____

This instrument was acknowledged before me on this ____ day of _____, 20____, by _____ its _____ of Robert Engstrom Companies, a Minnesota Corporation, on behalf of the Corporation.

Signature

Printed Name
Notary Public, _____
My Commission Expires _____

SURVEYOR'S CERTIFICATE

I Peter J. Hawkinson do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been set, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this ____ day of _____, 20____.

Peter J. Hawkinson, Licensed Land Surveyor
Minnesota License No. 42299

STATE OF MINNESOTA
COUNTY OF _____

This instrument was acknowledged before me on this _____, by Peter J. Hawkinson, Licensed Land Surveyor.

Signature

Printed Name
Notary Public, _____
My Commission Expires _____

CITY PLANNING COMMISSION, Lake Elmo, Minnesota

Approved by the Planning Commission of the City of Lake Elmo, Minnesota, this ____ day of _____, 20____.

By: _____ By: _____
Chairman Secretary

CITY COUNCIL, Lake Elmo, Minnesota

This plat was approved by the City Council of the City of Lake Elmo, Minnesota, this ____ day of _____, 20____, and hereby certifies compliance with all requirements as set forth in Section 505.03, Subd. 2, Minnesota Statutes.

By: _____ By: _____
Mayor Clerk

COUNTY SURVEYOR, Washington County, Minnesota

Pursuant to Chapter 820, Laws of Minnesota, 1971, and in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this ____ day of _____, 20____.

By: _____ By: _____
Washington County Surveyor

COUNTY AUDITOR/TREASURER, Washington County, Minnesota

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9., taxes payable in the year 20____ on the real estate hereinbefore described have been paid. Also pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes, and transfer entered on this ____ day of _____, 20____.

By: _____ By: _____
Washington County Auditor/Treasurer Deputy

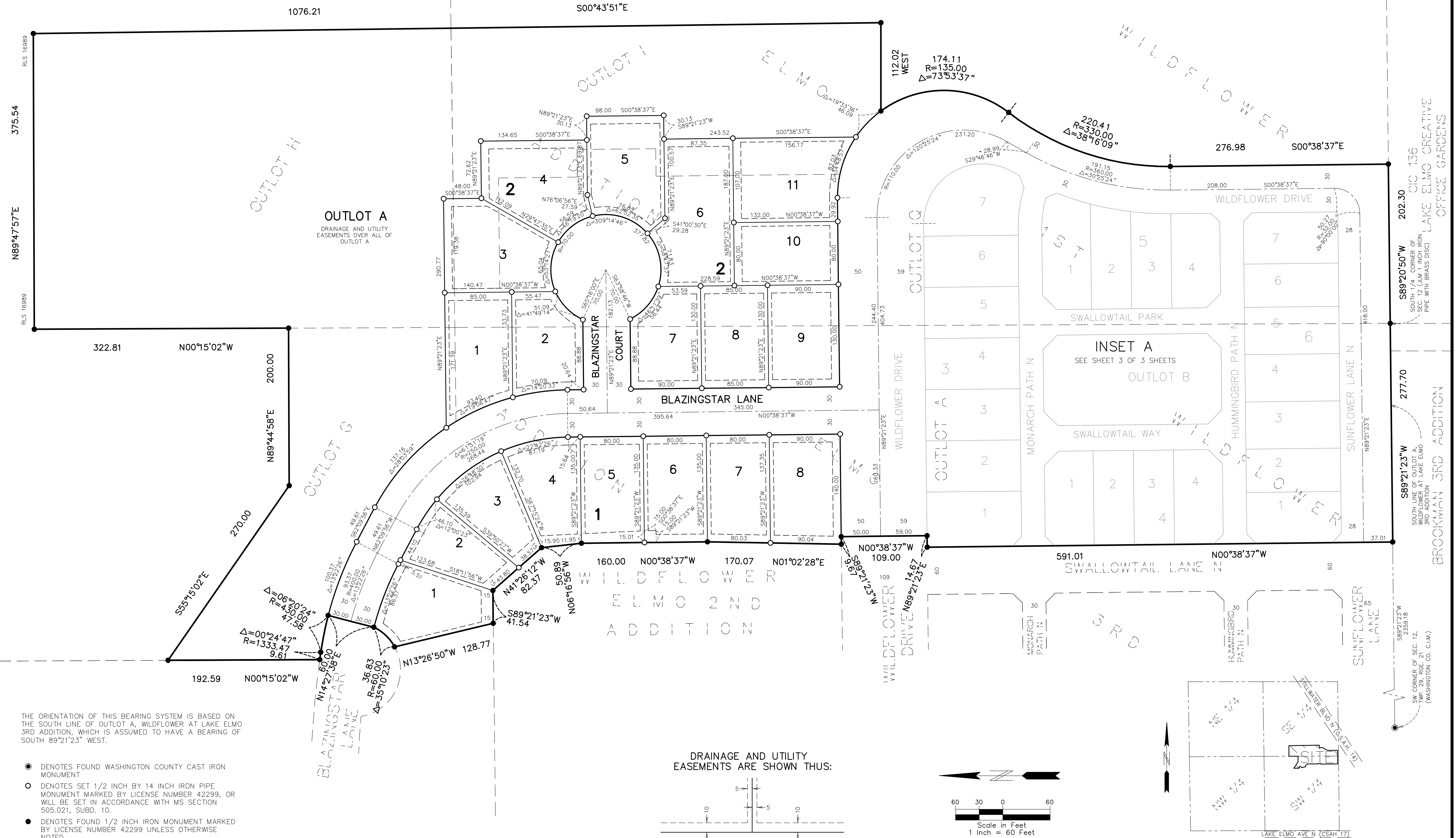
COUNTY RECORDER, Washington County, Minnesota

Document Number _____

I hereby certify that this instrument was recorded in the Office of the County Recorder for record on this ____ day of _____, 20____, at _____ o'clock ____ .M. and was duly recorded in Washington County Records.

By: _____ By: _____
Washington County Recorder Deputy

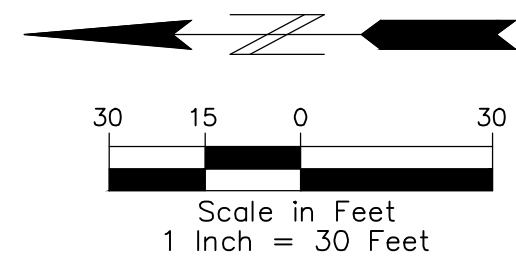
WILDFLOWER AT LAKE ELMO 4TH ADDITION



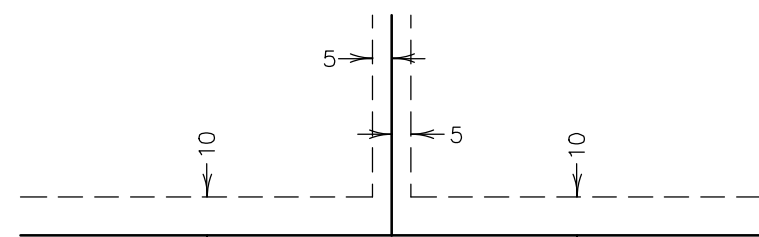
SECTION 12, TWP. 29, RGE. 21
LOCATION MAP
NOT TO SCALE

PIONEER*engineering*
CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

WILDFLOWER AT LAKE ELMO 4TH ADDITION



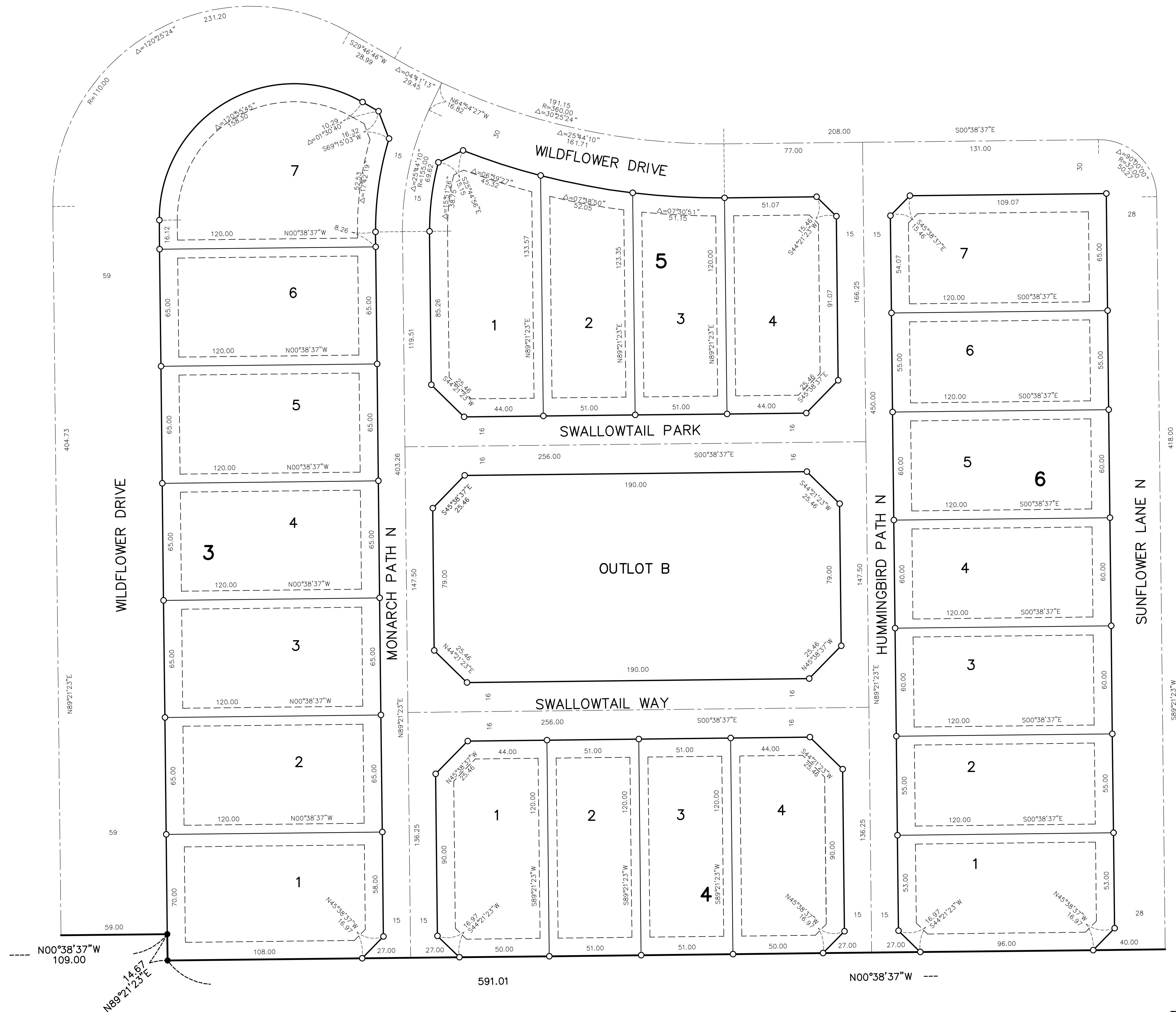
DRAINAGE AND UTILITY
EASEMENTS ARE SHOWN THUS:



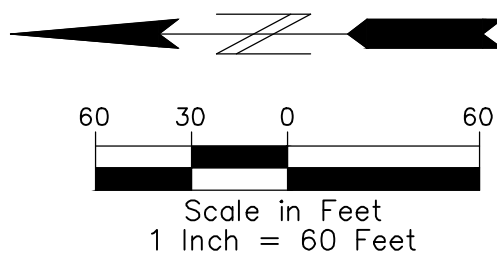
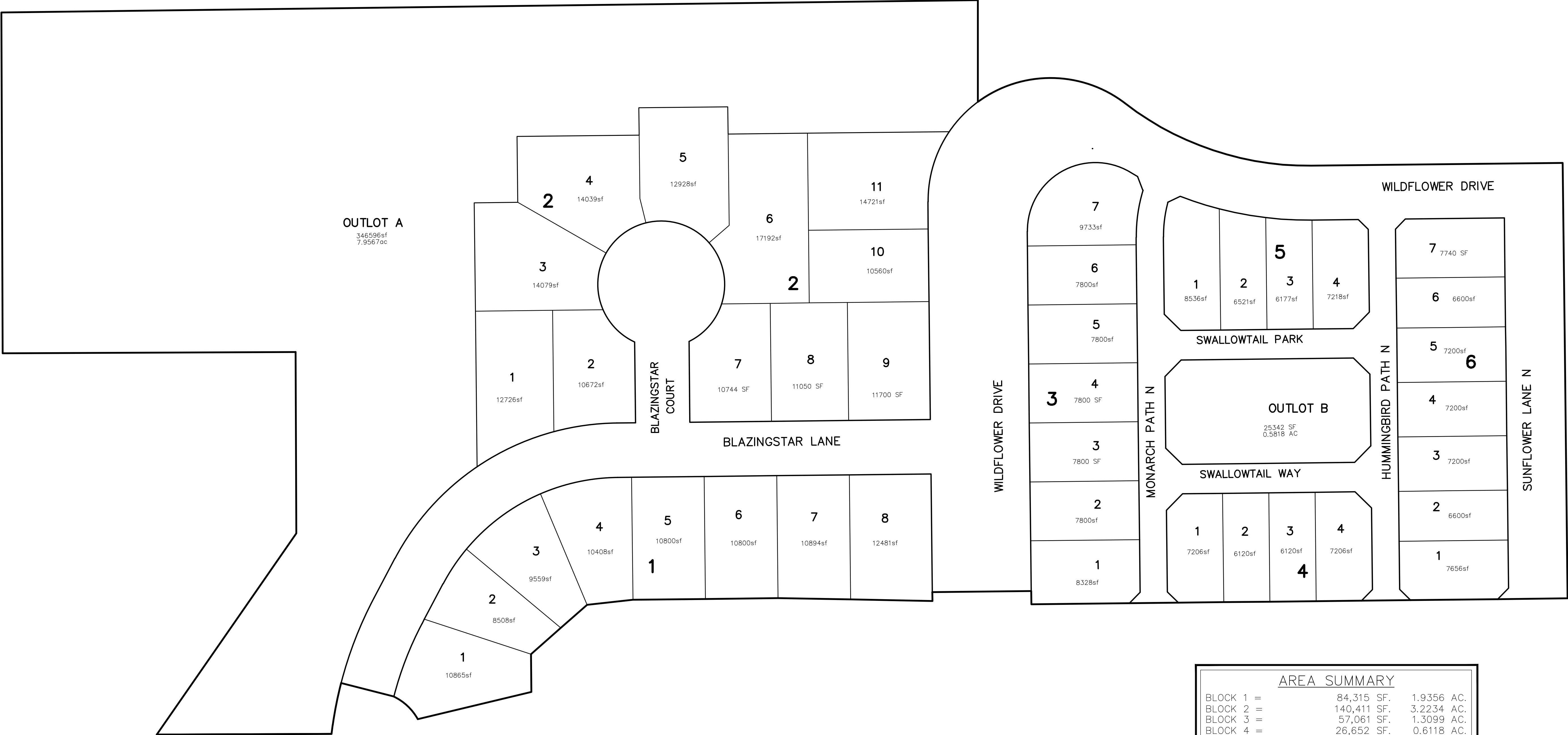
Being 5 feet in width, and adjoining lot lines
unless otherwise indicated, and 10 feet in width
and adjoining right of way lines and rear lot lines
unless otherwise indicated and shown on the plat.

THE ORIENTATION OF THIS BEARING SYSTEM IS BASED ON
THE SOUTH LINE OF OUTLOT A, WILDFLOWER AT LAKE ELMO
3RD ADDITION, WHICH IS ASSUMED TO HAVE A BEARING OF
SOUTH 89°21'23" WEST.

- DENOTES FOUND WASHINGTON COUNTY CAST IRON
MONUMENT
- DENOTES SET 1/2 INCH BY 14 INCH IRON PIPE
MONUMENT MARKED BY LICENSE NUMBER 42299, OR
WILL BE SET IN ACCORDANCE WITH MS SECTION
505.021, SUBD. 10.
- DENOTES FOUND 1/2 INCH IRON MONUMENT MARKED
BY LICENSE NUMBER 42299 UNLESS OTHERWISE
NOTED.

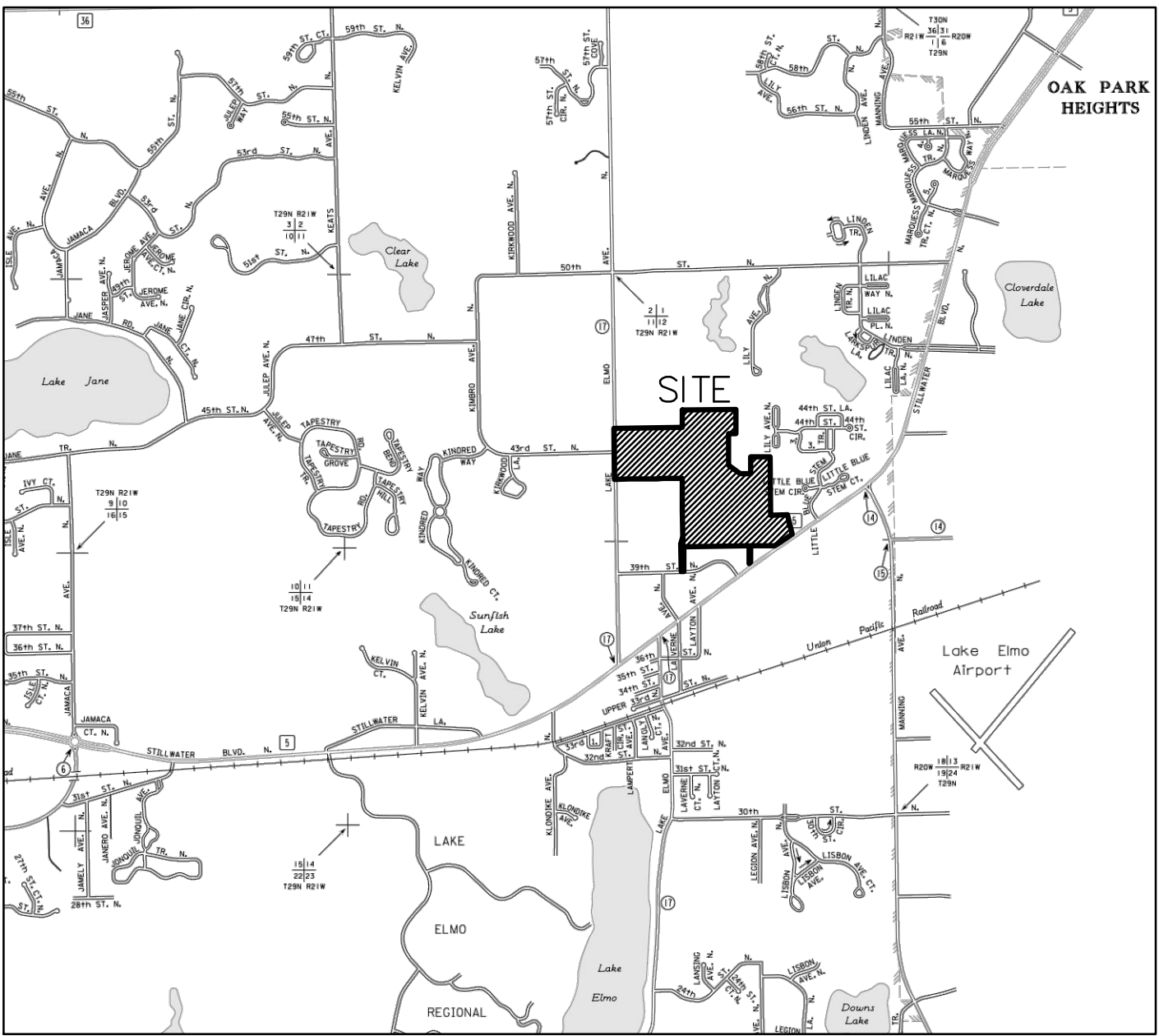
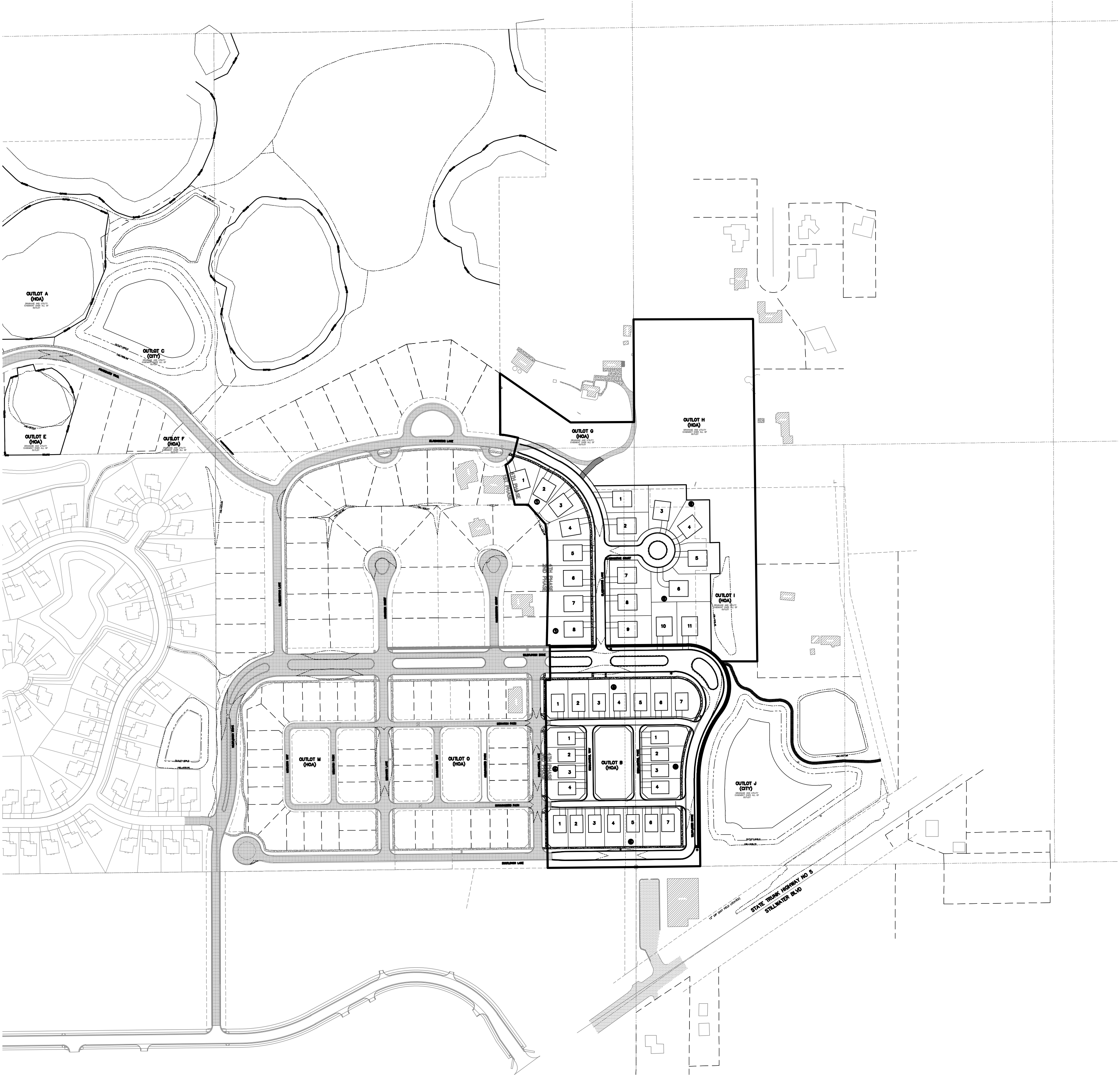


WILDFLOWER AT LAKE ELMO 4TH ADDITION
AREA SKETCH



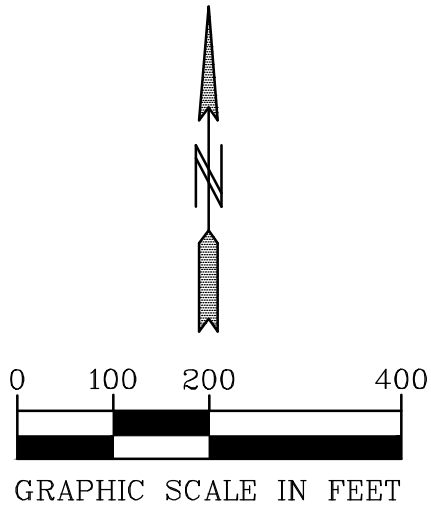
AREA SUMMARY		
BLOCK 1 =	84,315 SF.	1.9356 AC.
BLOCK 2 =	140,411 SF.	3.2234 AC.
BLOCK 3 =	57,061 SF.	1.3099 AC.
BLOCK 4 =	26,652 SF.	0.6118 AC.
BLOCK 5 =	28,452 SF.	0.6532 AC.
BLOCK 6 =	50,196 SF.	1.1523 AC.
TOTAL LOT AREA =	387,087 SF.	8.8862 AC.
TOTAL OUTLOT AREA =	371,938 SF.	8.5385 AC.
TOTAL R/W AREA =	234,343 SF.	5.3797 AC.
TOTAL AREA =	993,368 SF.	22.8046 AC.

WILDFLOWER AT LAKE ELMO 4TH ADDITION UTILITY AND STREET CONSTRUCTION PLANS LAKE ELMO, MINNESOTA



LOCATION MAP

BENCH MARK
MN/DOT BENCHMARK: S 27
NORTHWEST QUADRANT LAKE
ELMO AVE AND 33RD ST N.
ELEV=935.671 (NAVD88)



- SHEET INDEX**
- 1.01. COVER SHEET
 - 1.02. LEGEND SHEET
 - 2.01. OVERALL UTILITY
 - 3.11-3.17. SANITARY SEWER & WATERMAIN CONSTRUCTION
 - 3.21-3.26. STORM SEWER CONSTRUCTION
 - 3.31-3.35. STREET CONSTRUCTION
 - 3.41-3.42. SIGNING, STRIPING & LIGHTING PLAN
 - 4.01-4.06. CITY DETAILS

L1. LANDSCAPE PLAN

PREPARED BY PIONEER ENGINEERING, P.A.

JOHN M. MOLINARO
REGISTERED PROFESSIONAL CIVIL ENGINEER
45831
REG. NO.

PETER J. HAWKINSON
REGISTERED PROFESSIONAL LAND SURVEYOR

42299
REG. NO.

DEVELOPER
ROBERT ENGSTROM COMPANIES
4801 WEST 81ST STREET, SUITE 101
MINNEAPOLIS, MINNESOTA 55437-1111
CONTACT: ROBERT ENGSTROM
ROBERTEENGRSTROM@GMAIL.COM
(952) 893-1001

LANDOWNER
ROBERT ENGSTROM COMPANIES
4801 WEST 81ST STREET, SUITE 101
MINNEAPOLIS, MINNESOTA 55437-1111
ROBERTEENGRSTROM@GMAIL.COM
(952) 893-1001

PROPOSED DEVELOPMENT PHASING
MASS GRADING TO BE PERFORMED IN ONE PHASE.
UTILITY AND STREET CONSTRUCTION TO BE PERFORMED
IN THREE PHASES.

PIONEERengineering
CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

2422 Enterprise Drive
Mendota Heights, MN 55120

(651) 681-1914
Fax: 681-9488
www.pioneereng.com

I hereby certify that this plan was prepared by
me or under my direct supervision and that I
am a duly Licensed Professional Engineer
under the laws of the State of Minnesota

Name
John M. Molinaro
Reg. No. 45831 Date 06-25-2021

Revisions

Date 06-25-2021
Designed PAT/JMM
Drawn JMM/PDS

COVER SHEET

ROBERT ENGSTROM COMPANIES
4801 WEST 81ST STREET, SUITE 101
MINNEAPOLIS, MINNESOTA 55437-1111

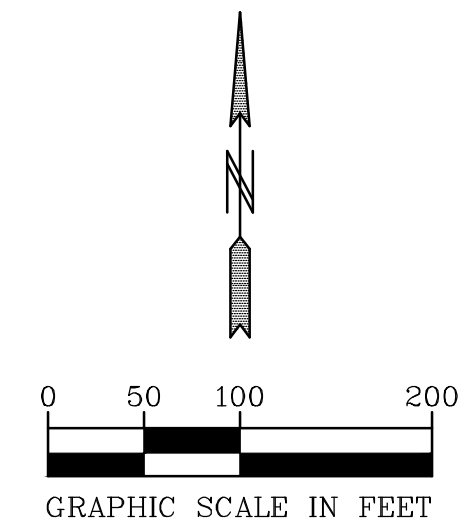
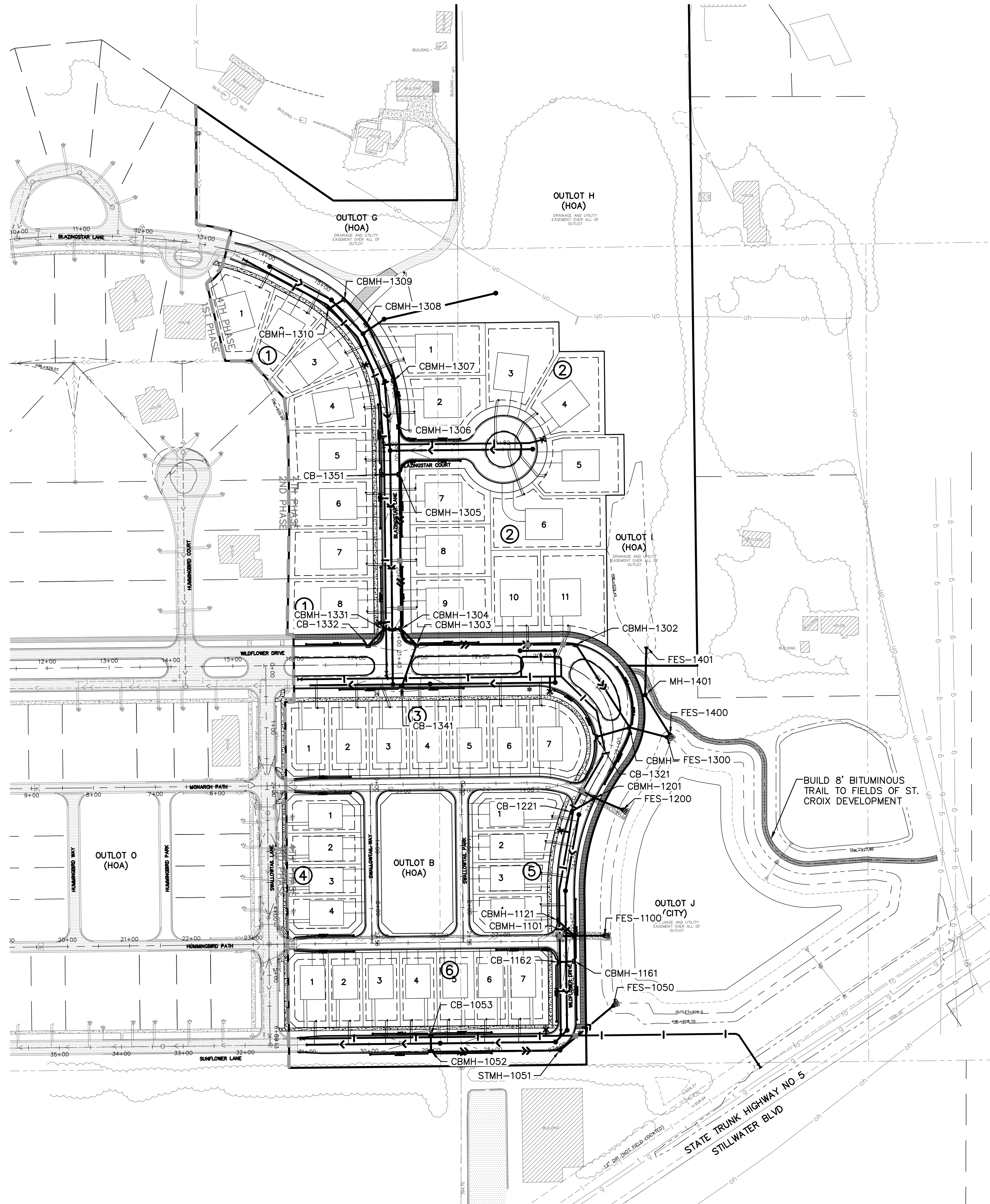
WILDFLOWER 4TH ADDITION
LAKE ELMO, MINNESOTA

1.01 OF 28

LEGEND			
UTILITY LINES		DESCRIPTION	
EXISTING	PROPOSED	FUTURE	
			SANITARY MANHOLE
			SANITARY SEWER (SANITARY & WATERMAIN PLANS)
			SANITARY SEWER (STORM SEWER PLANS)
			FORCE MAIN
			HYDRANT
			GATE VALVE
			REDUCER
			CURB STOP
			WATERMAIN (SANITARY & WATERMAIN PLANS)
			WATERMAIN (STORM SEWER PLANS)
			CATCH BASIN
			BEEHIVE
			STORM MANHOLE
			FLARED END SECTION
			CONTROL STRUCTURE
			STORM SEWER (SANITARY & WATERMAIN PLANS)
			STORM SEWER (STORM SEWER PLANS)
			CULVERT
			PERFORATED DRAINTILE
			SOLID DRAINTILE SERVICE
			CASING
			UNDERGROUND ELECTRIC LINE
			UNDERGROUND FIBER OPTIC LINE
			UNDERGROUND GAS PIPELINE
			UNDERGROUND PETROLEUM PIPELINE
			UNDERGROUND TELEPHONE LINES
			UNDERGROUND TELEVISION LINE
			OVERHEAD UTILITY LINES
SITE LINES		DESCRIPTION	
EXISTING	PROPOSED	FUTURE	
			SURMOUNTABLE CURB & GUTTER
			B-STYLE CURB & GUTTER
			RIBBON CURB & GUTTER
			EDGE OF BITUMINOUS
			YELLOW PAVEMENT STRIPING (SINGLE/DOUBLE)
			WHITE PAVEMENT STRIPING (SINGLE/DOUBLE)
			PHASE LINE
			CENTERLINE
			2' CONTOUR LINE
			10' CONTOUR LINE
			BASIN OUTLET LINE
			BASIN HIGH WATER LINE
			PROPOSED SPOT ELEVATION
			EMERGENCY OVERFLOW
			DRAINAGE FLOW ARROW
			DELINEATED / PROPOSED WETLAND LINE
			WETLAND BUFFER
			TREE LINE
			FEMA FLOODPLAIN BOUNDARY
			RETAINING WALL
			FENCE (BARBED WIRE)
			FENCE (CHAIN LINK)
			FENCE (WOOD)
			CONSERVATION AREA SIGN
			WETLAND BUFFER SIGN
			TYPE III BARRICADE
			LIGHT POLE
			STREET SIGNS
SURVEY LINES		DESCRIPTION	
EXISTING	PROPOSED	FUTURE	
			BOUNDARY
			RIGHT OF WAY
			LOT LINE
			EASEMENT
			SET BACK LINE
			SECTION LINE
			RESTRICTED ACCESS
HATCH PATTERNS			
	GRAVEL SURFACE		WETLAND
	BITUMINOUS SURFACE		WETLAND UPLAND BUFFER
	CONCRETE SURFACE		WETLAND MITIGATION
	RIP RAP		PERMANENT TURF RESTORATION
	SELECT BACKFILL MATERIAL		PERMANENT WET BASIN SEEDING
	EROSION CONTROL BLANKET MNDOT CATEGORY PER PLAN		UPLAND/NATURAL AREA SEEDING

TOPOGRAPHIC SYMBOLS	
	CATCH BASIN
	CATCH BASIN BEEHIVE
	FLARED END SECTION
	GATE VALVE
	HYDRANT
	WATER SERVICE
	WATER WELL
	MONITORING WELL
	CLEANOUT
	HAND HOLE
	MANHOLE OTHER THAN SANITARY OR STORM
	SANITARY OR STORM MANHOLE
	LAWN SPRINKLER VALVE
	LAWN SPRINKLER HEAD
	UTILITY POLE
	TRANSFORMER BOX
	FIBER OPTIC BOX
	ELECTRIC BOX
	NATURAL GAS METER
	LIGHT POLE
	SEMAPHORE
	TELEPHONE BOX
	CABLE BOX
	CAST IRON MONUMENT
	FOUND IRON PIPE
	JUDICIAL LAND MARK
	PK NAIL
	CONTROL POINT
	SPIKE
	FLAG POLE
	TEST HOLE
	MAILBOX
	SIGN
	BOLLARD
	CONSERVATION POST
	DECIDUOUS TREE
	CONIFEROUS TREE
	SHRUB / BUSH
EROSION & SEDIMENT CONTROL	
	STANDARD EROSION CONTROL
	HEAVY-DUTY EROSION CONTROL
	SECONDARY EROSION CONTROL FENCE
	EROSION CONTROL AT BACK OF CURB
	TREE FENCE
	TEMPORARY DIVERSION DITCH
	CATCH BASIN INLET PROTECTION
	STRAW BIO ROLLS
	ROCK BERM
	SUMPED RIP RAP PERMANENT ENERGY DISSIPATER
	DISCHARGE LOCATION
	GRAVEL CONSTRUCTION ENTRANCE
	TEMPORARY OUTLET FLOATING SKIMMER
	BASIN ACCESS 8% SLOPE MAX.
	STABILIZED EMERGENCY OVERFLOW
	STEEP SLOPE 3:1 (H:V) (33.3%) OR STEEPER GRADE
CURB LEGEND	
	= TOP OF CURB ELEVATION FOR SURMOUNTABLE CURB
	= TOP OF CURB ELEVATION FOR SURMOUNTABLE CURB (TIP OUT GUTTER)
	= TOP OF CURB ELEVATION FOR B618 CURB
	= TOP OF CURB ELEVATION FOR B618 CURB (TIP OUT GUTTER)
	= BITUMINOUS ELEVATION

ABBREVIATIONS	
A	ALGEBRAIC DIFFERENCE
B-B	BACK TO BACK
BV	BUTTERFLY VALVE
BOC	BACK OF CURB
BFE	BASE FLOOD ELEVATION
BMP	BEST MANAGEMENT PRACTICE
C	CENTER LINE
CB	CATCHBASIN
CBMH	CATCHBASIN MANHOLE
CMP	CORRUGATED METAL PIPE
CO	CLEAN OUT
CS	CURB STOP
DIP	DUCTILE IRON PIPE
DT	DRAINTILE
EL/ELEV	ELEVATION
EX	EXISTING
FES	FLARED END SECTION
F-F	FACE TO FACE
FM	FORCEMAIN
GB	GRADE BREAK
GND	GROUND
GV	GATE VALVE
HP	HIGH POINT
HYD	HYDRANT
HWL	HIGH WATER LEVEL
INV	INVERT
K	CURVE COEFFICIENT
L	LENGTH
LF	LOWEST FLOOR
LO	LOOKOUT
LO	LOWEST OPENING
LP	LIQUID PETROLEUM
LP	LOW POINT
MH	MANHOLE
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
PI	POINT OF INTERSECTION
PL	PROPERTY LINE
PRC	POINT OF REVERSE CURVATURE
PVT	POINT OF TANGENCY
PVC	POINT OF VERTICAL CURVATURE
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
R	RADIUS
R	RAMBLER
RCP	REINFORCED CONCRETE PIPE
ROW	RIGHT OF WAY
SSWR	SANITARY SEWER
STA	STATION
STRM	STORM SEWER
SWPPP	STORM WATER POLLUTION PROTECTION PLAN
TNH	TOP NUT HYDRANT
TYP	TYPICAL
WM	WATER MAIN
WO	WALKOUT
LOT INFORMATION	
(TYPICAL SECTION NOT TO SCALE)	



BENCH MARK
MN/DOT BENCHMARK: S 27
NORTHWEST QUADRANT LAKE
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04-ENG-114058-SHEET-UTIL-OVER

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I hereby certify that this plan was prepared by
me or under my direct supervision and that I
am a duly Licensed Professional Engineer
under the laws of the State of Minnesota

Name
John M. Molinaro

Reg. No. 45831

Date 06-25-2021

Revisions

Date 06-25-2021
Designed PAT/JMM
Drawn JMM/PDS

OVERALL UTILITY PLAN

ROBERT ENGSTROM COMPANIES
4801 WEST 81ST STREET, SUITE 101
MINNEAPOLIS, MINNESOTA 55437-1111

WILDFLOWER 4TH ADDITION
LAKE ELMO, MINNESOTA

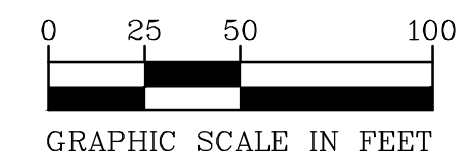
2.01 OF 28

1. ALL SANITARY SEWER AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
2. ALL SANITARY SEWER PVC PIPE SHALL BE INSTALLED ACCORDING TO CITY STANDARD DRAWING 103 "GRANULAR MATERIAL BEDDING METHOD (FOR PVC SANITARY SEWER PIPE).
3. UNLESS NOTED OTHERWISE, ALL SMOOTH WALLED SANITARY SEWER PVC PIPE AND FITTINGS SHALL BE SDR 35 WITH ELASTOMETRIC GASKETED JOINTS.
4. ALL SANITARY SEWER SERVICES SHALL BE 4-INCH PVC, SCH. 40. EXTRA SPACE IS HERE ON PURPOSE
5. SMOOTH WALLED PVC PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF ASTM D-3034 FOR THE SIZE, STANDARD DIMENSION RATIO (SDR), AND STRENGTH REQUIREMENTS INDICATED ON THE PLANS, SPECIFICATIONS, AND SPECIAL PROVISIONS.
6. REINFORCED CONCRETE PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF MndOT SPEC 3236 (REINFORCED CONCRETE PIPE) FOR THE TYPE, SIZE AND STRENGTH CLASS SPECIFIED HEREIN.
7. JOINTS OF MANHOLE RISER SECTIONS SHALL BE TONGUE AND GROOVE WITH RUBBER "O" RING JOINTS PROVIDED ON ALL SANITARY SEWER MANHOLES.
8. SANITARY SEWER INLET AND OUTLET PIPES SHALL BE JOINED TO THE MANHOLE WITH A GASKETED, FLEXIBLE, WATERTIGHT CONNECTION TO ALLOW DIFFERENTIAL SETTLEMENT OF THE PIPE AND MANHOLE TO TAKE PLACE.
9. A 1'-0" TO 1'-4" MANHOLE SECTION SHALL BE INSTALLED UNDER THE CONE SECTION TO ALLOW FOR HEIGHT ADJUSTMENT WHENEVER POSSIBLE.
10. ALL SERVICE LINE STUBS MUST HAVE A 2"x2" HARDWOOD MARKER WITH METAL SPIKE RUNNING FROM THE END OF PIPE TO FINISHED GRADE ELEVATION.
11. UPON MAKING A CONNECTION TO AN EXISTING SANITARY SEWER STUB OR MANHOLE, DIRT AND DEBRIS SHALL BE PREVENTED FROM ENTERING THE EXISTING SEWER BY IMMEDIATELY INSTALLING WATERTIGHT PLUGS AS NEEDED IN THE EXISTING MANHOLE.
12. ALL MAINLINE SANITARY SEWER AND SERVICES SHALL HAVE TRACER WIRE PER CITY SPECIFICATIONS AND DETAILS.

1. SEE CITY OF LAKE ELMO STANDARD DETAILS FOR PUBLIC INFRASTRUCTURE.
2. SEE LAKE ELMO STANDARD PLAN NOTES FOR GRADING AND EROSION CONTROL, DETAILS 600A, 600B, AND 600C.
3. SEE LAKE ELMO STANDARD PLAN NOTES FOR SITE RESTORATION, DETAIL 600D.
4. SERVICE AND RISER STATIONING IS FROM DOWNSTREAM MANHOLE.

[illegible]

1. ALL WATERMAIN AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
2. MANIPULATION OF EXISTING VALVES SHALL BE PERFORMED ONLY BE CITY PERSONNEL.
3. WATERMAIN SHALL BE DUCTILE IRON PIPE, ENCASED IN POLYETHYLENE, CLASS-52.
4. ALL FITTINGS SHALL COMPLY WITH CEAM SPEC. 2611.2.A1. ALL FITTINGS SHALL BE DUCTILE IRON PIPE WITH POLYETHYLENE ENCASEMENT. ALL CONNECTIONS SHALL BE INSTALLED UTILIZING COR-BLUE NUTS & BOLTS.
5. USE GATE VALVES FOR ALL APPLICATIONS UP THROUGH 12 INCHES.
6. GATE VALVES SHALL BE RESILIENT WEDGE AMERICAN FLOW CONTROL SERIES 2500 OR APPROVED EQUAL. GATE VALVES MUST COMPLY WITH CEAM SPEC 2611.2.C.2.
7. USE BUTTERFLY VALVES FOR ALL APPLICATIONS GREATER THAN 12 INCHES.
8. BUTTERFLY VALVES SHALL BE MUELLER LINESEAL III, OR APPROVED EQUAL. BUTTERFLY VALVES SHALL COMPLY WITH CEAM SPEC. 2611.2.C3.
9. BOLTS AND NUTS ON ALL VALVES AND HYDRANTS SHALL BE STAINLESS STEEL.
10. ALL HYDRANTS SHALL BE INSTALLED 5.0 FEET BACK OF CURB.
11. HYDRANTS SHALL BE WATEROUS "PACER," MODEL WB-67 OR APPROVED EQUAL, FITTED WITH FH 800 SERIES FLEX STAKE AND PAINTED RED.
12. HYDRANTS SHALL HAVE TWO OUTLET NOZZLES FOR 2-1/2 (I.D.) HOSE CONNECTIONS AND ONE 4" STORZ NOZZLE (MODEL WB-67) AND PENTAGON NUT END CAP.
13. THE CURB STOP SERVICE ASSEMBLY SHALL HAVE A MINIMUM 1-FT ADJUSTMENT RANGE AND SHALL EXTEND 6 INCHES ABOVE FINISHED GRADE FULLY EXTENDED.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING WATER TO HOMES AND BUSINESSES WHOSE WATER SUPPLY IS DISRUPTED DURING THE COURSE OF THE PROJECT.



MN/DOT BENCHMARK: S 27
NORTHWEST QUADRANT LAKE
ELMO AVE AND 33RD ST N.
ELEV=935.671 (NAVD88)

Name John M. Molinaro
Reg. No. 45831 Date 06-25-2021

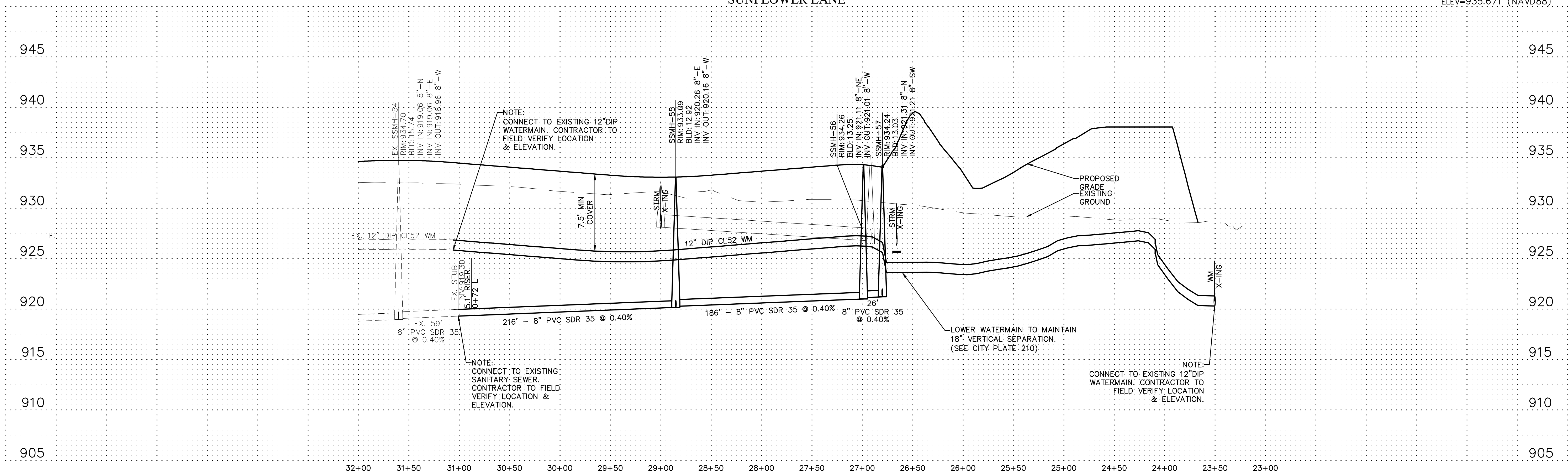
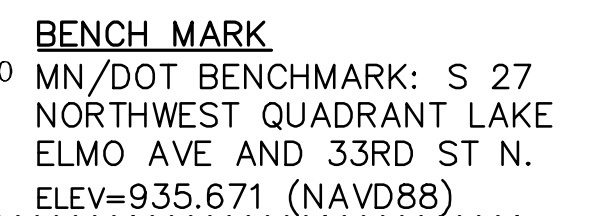
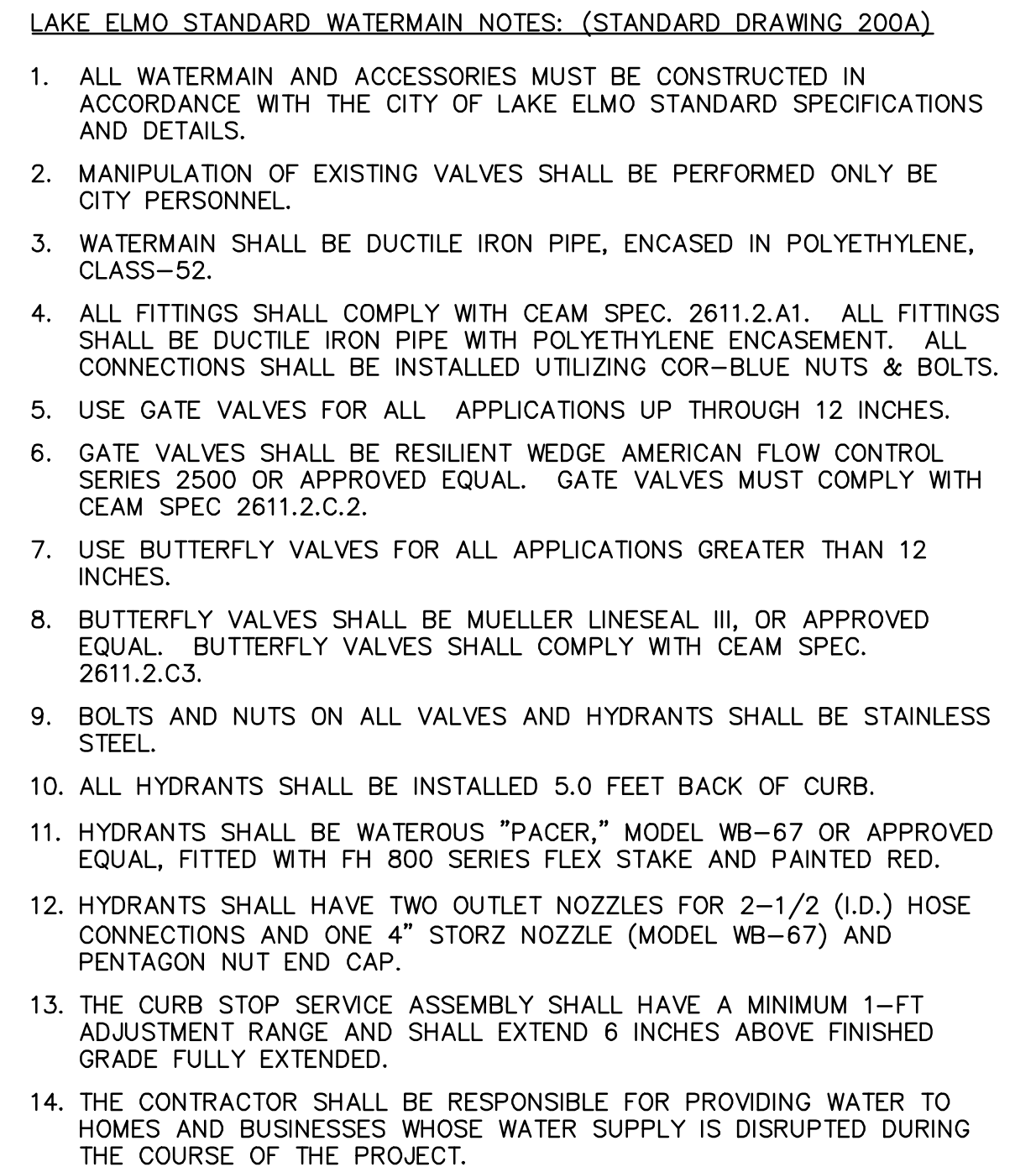
Date	06-25-202
Designed	PAT/JMM
Drawn	JMM/PDS

ROBERT ENGSTROM COMPANIES
4801 WEST 81ST STREET, SUITE 101
MINNEAPOLIS, MINNESOTA 55437-1111

3.11 OF 28

1. ALL SANITARY SEWER AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
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4. ALL SANITARY SEWER SERVICES SHALL BE 4-INCH PVC, SCH. 40. EXTRA SPACE IS HERE ON PURPOSE
5. SMOOTH WALLED PVC PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF ASTM D-3034 FOR THE SIZE, STANDARD DIMENSION RATIO (SDR), AND STRENGTH REQUIREMENTS INDICATED ON THE PLANS, SPECIFICATIONS, AND SPECIAL PROVISIONS.
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2. SEE LAKE ELMO STANDARD PLAN NOTES FOR GRADING AND EROSION CONTROL, DETAILS 600A, 600B, AND 600C.
3. SEE LAKE ELMO STANDARD PLAN NOTES FOR SITE RESTORATION, DETAIL 600D.
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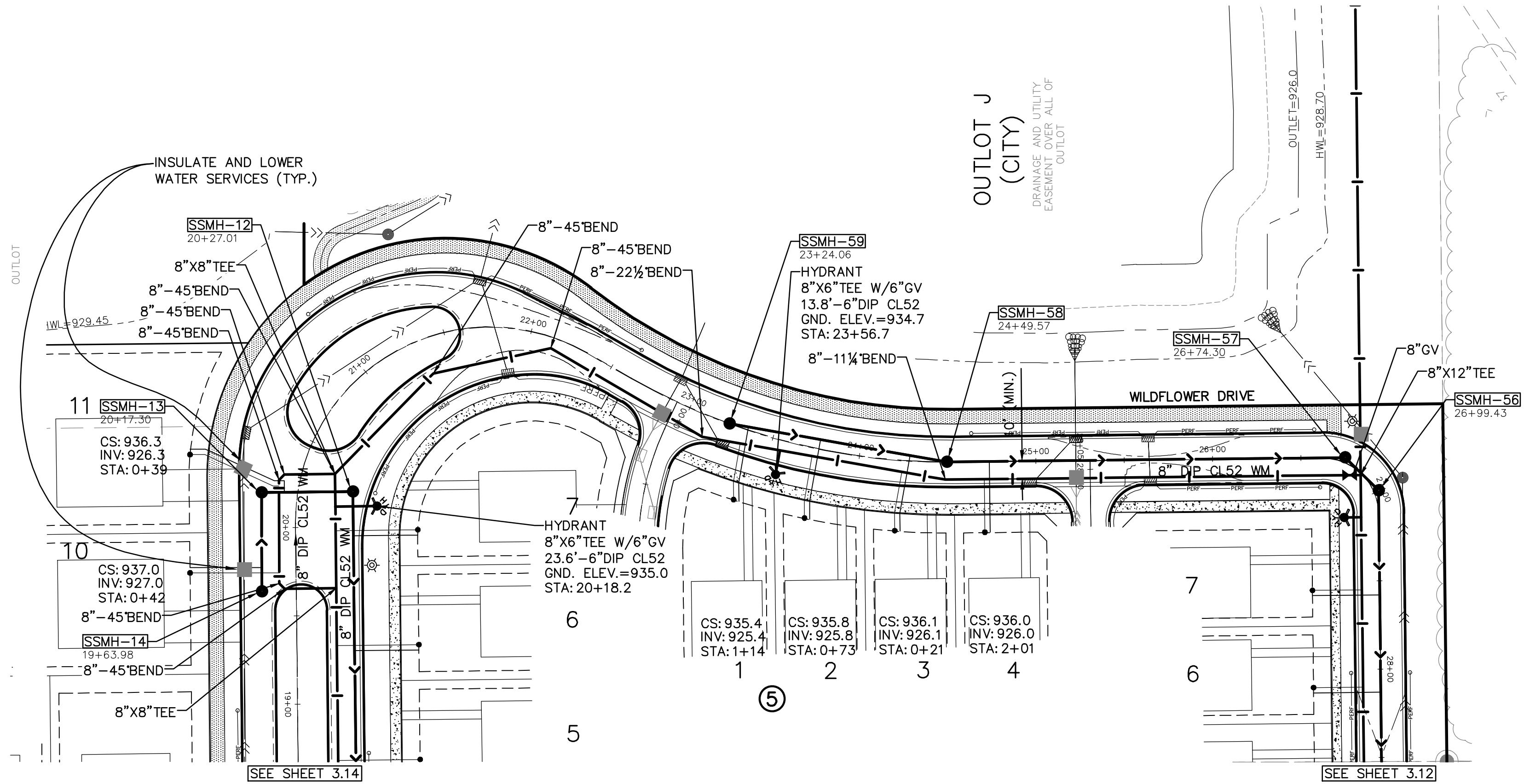


LAKE ELMO STANDARD SANITARY SEWER NOTES: (STANDARD DRAWING 300A)

- ALL SANITARY SEWER AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
- ALL SANITARY SEWER PVC PIPE SHALL BE INSTALLED ACCORDING TO CITY STANDARD DRAWING 103 "GRANULAR MATERIAL BEDDING METHOD (FOR PVC SANITARY SEWER PIPE).
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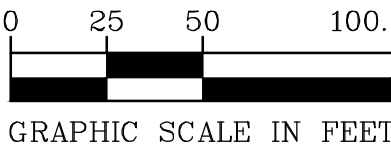
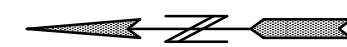
ADDITIONAL NOTES:

- SEE CITY OF LAKE ELMO STANDARD DETAILS FOR PUBLIC INFRASTRUCTURE.
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- SERVICE AND RISER STATIONING IS FROM DOWNSTREAM MANHOLE.

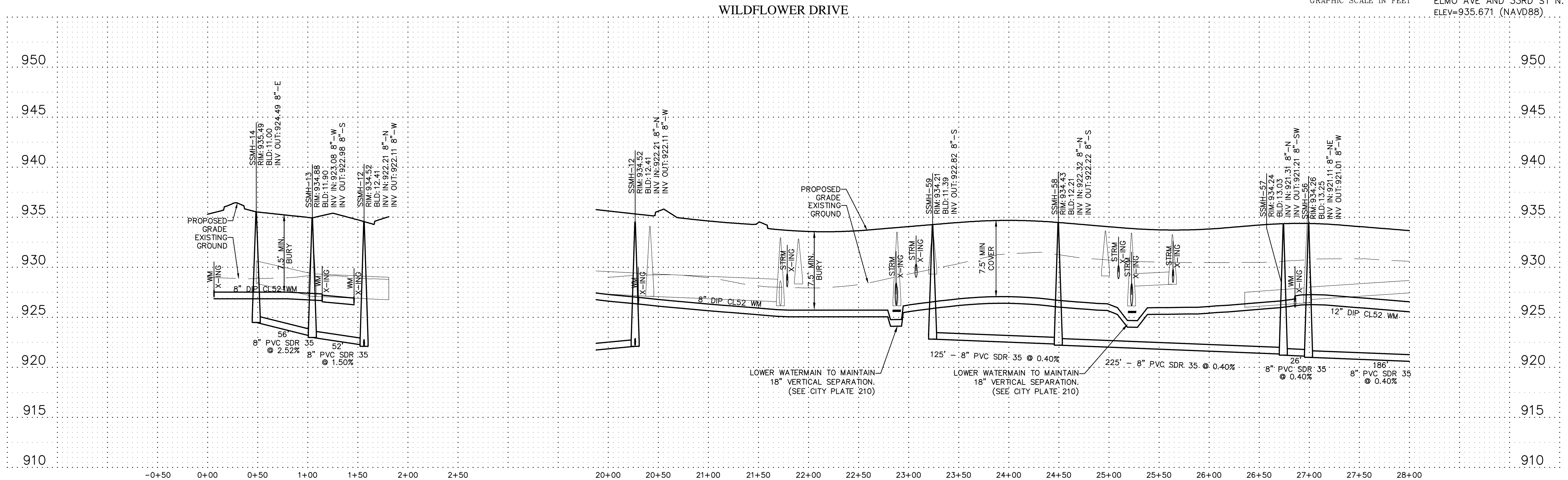


LAKE ELMO STANDARD WATERMAIN NOTES: (STANDARD DRAWING 200A)

- ALL WATERMAIN AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
- MANIPULATION OF EXISTING VALVES SHALL BE PERFORMED ONLY BY CITY PERSONNEL.
- WATERMAIN SHALL BE DUCTILE IRON PIPE, ENCASED IN POLYETHYLENE, CLASS-52.
- ALL FITTINGS SHALL COMPLY WITH CEAM SPEC. 2611.2.A1. ALL FITTINGS SHALL BE DUCTILE IRON PIPE WITH POLYETHYLENE ENCASEMENT. ALL CONNECTIONS SHALL BE INSTALLED UTILIZING COR-BLUE NUTS & BOLTS.
- USE GATE VALVES FOR ALL APPLICATIONS UP THROUGH 12 INCHES.
- GATE VALVES SHALL BE RESILIENT WEDGE AMERICAN FLOW CONTROL SERIES 2500 OR APPROVED EQUAL. GATE VALVES MUST COMPLY WITH CEAM SPEC 2611.2.C.2.
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BENCH MARK
MN/DOT BENCHMARK: S 27
NORTHWEST QUADRANT LAKE
ELMO AVE AND 33RD ST N.
ELEV=935.671 (NAVD88)



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Name
John M. Molinaro
Reg. No. 45831 Date 06-25-2021

Revisions

Date 06-25-2021
Designed PAT/JMM
Drawn JMM/PDS

**SANITARY SEWER & WATERMAIN
CONSTRUCTION**

ROBERT ENGSTROM COMPANIES
4801 WEST 81ST STREET, SUITE 101
MINNEAPOLIS, MINNESOTA 55437-1111

WILDFLOWER 4TH ADDITION
LAKE ELMO, MINNESOTA

3.13 OF 28

LAKE ELMO STANDARD SANITARY SEWER NOTES: (STANDARD DRAWING 300A)

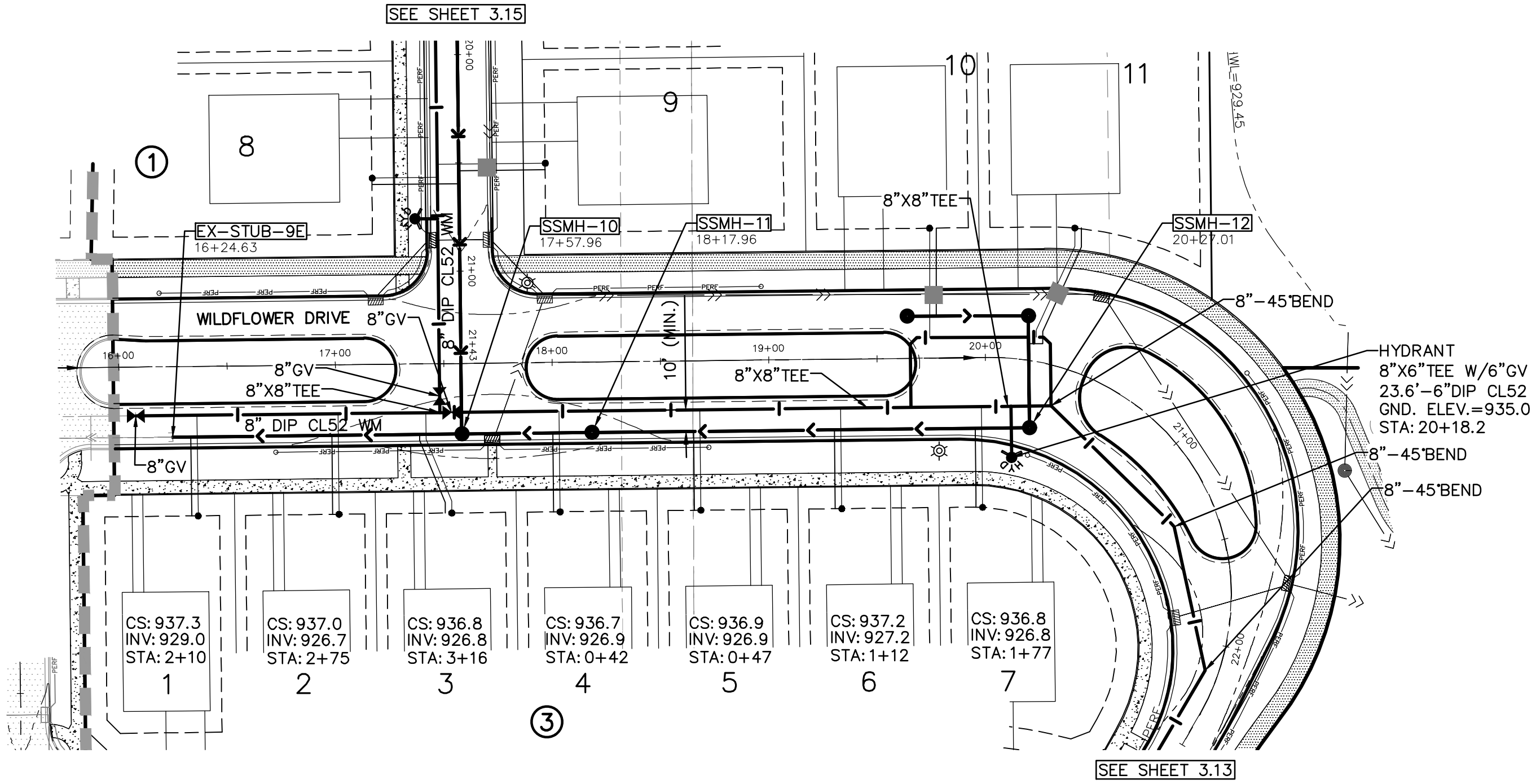
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4. ALL SANITARY SEWER SERVICES SHALL BE 4-INCH PVC, SCH. 40. EXTRA SPACE IS HERE ON PURPOSE
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ADDITIONAL NOTES:

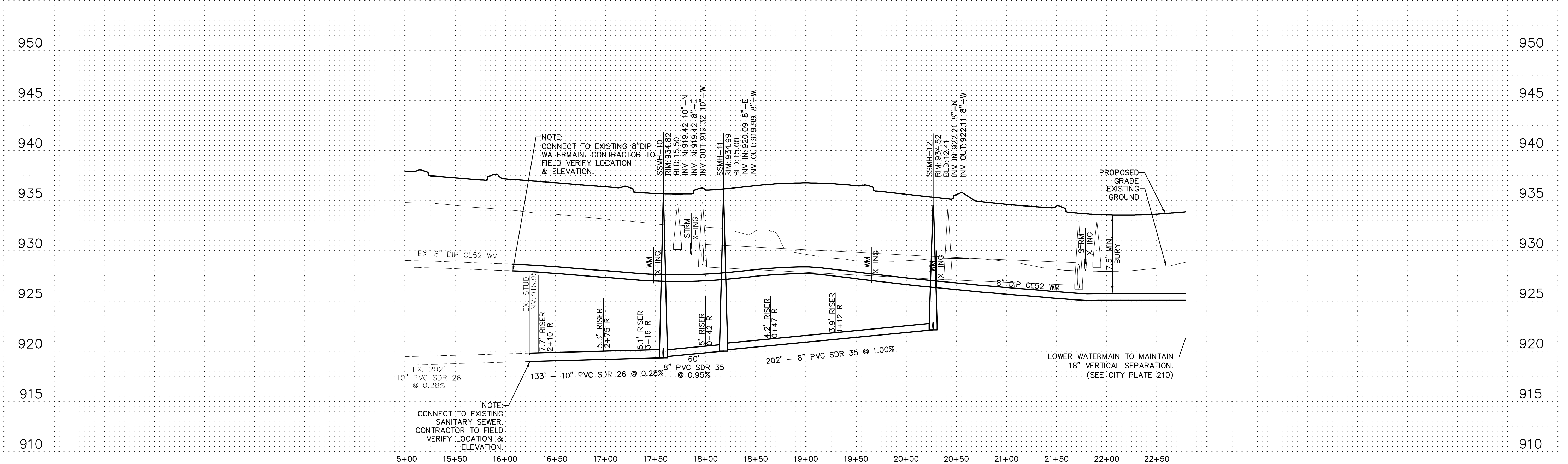
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3. SEE LAKE ELMO STANDARD PLAN NOTES FOR SITE RESTORATION, DETAIL 600D.
4. SERVICE AND RISER STATIONING IS FROM DOWNSTREAM MANHOLE.

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WILDFLOWER DRIVE



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Name: John M. Molinaro
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Date: 06-25-2021

Revisions

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4801 WEST 81ST STREET, SUITE 101
MINNEAPOLIS, MINNESOTA 55437-1111

WILDFLOWER 4TH ADDITION
LAKE ELMO, MINNESOTA

3.14 OF 28

LAKE ELMO STANDARD SANITARY SEWER NOTES: (STANDARD DRAWING 300A)

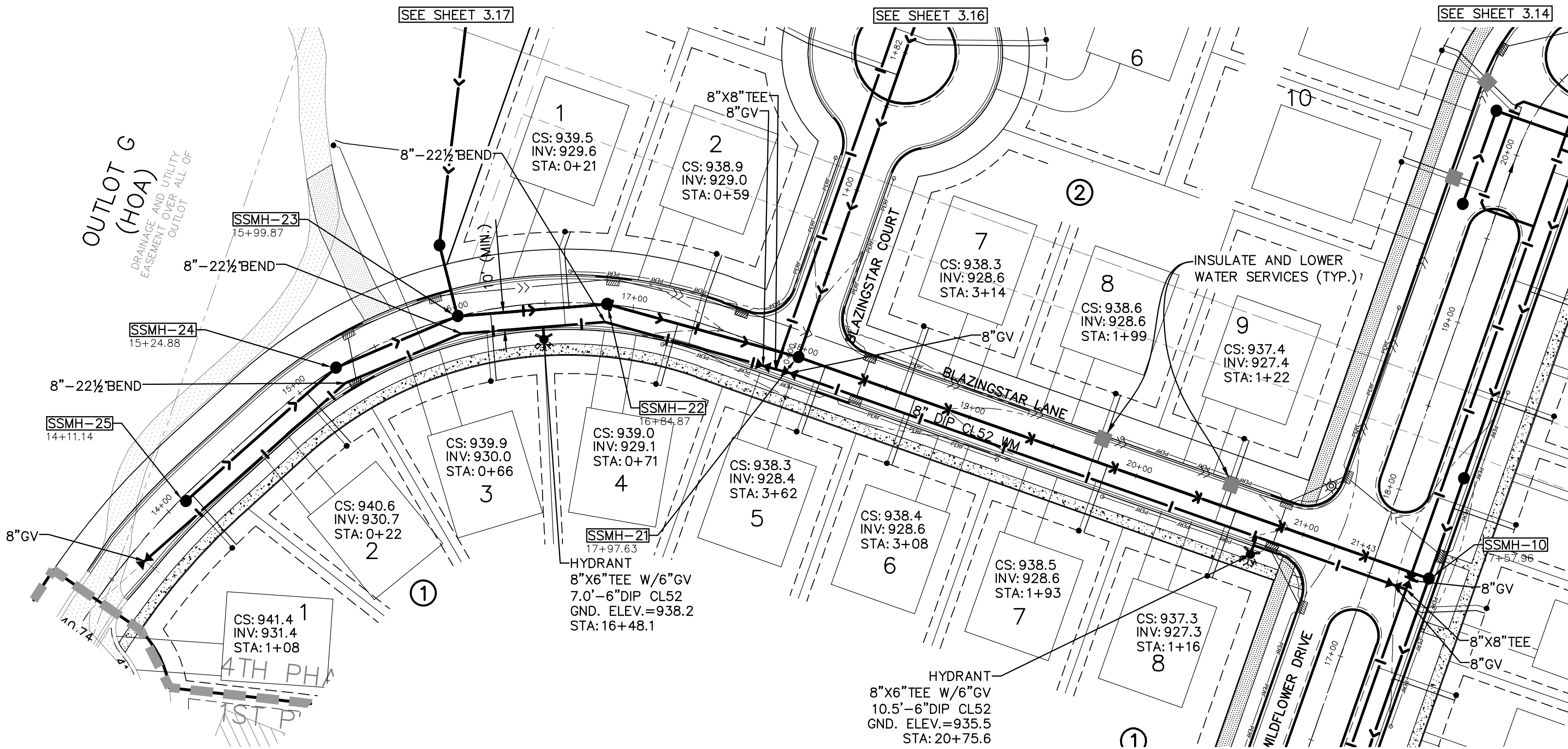
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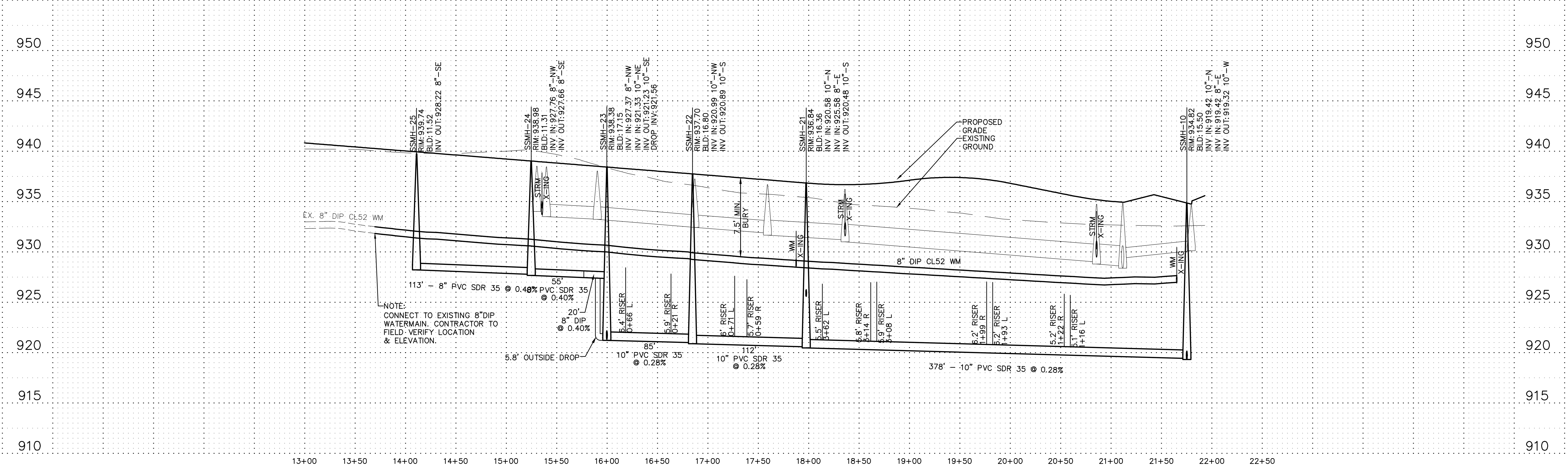
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BLAZINGSTAR LANE



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Name
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Reg. No. 45831 Date 06-25-2021

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**SANITARY SEWER & WATERMAIN
CONSTRUCTION**

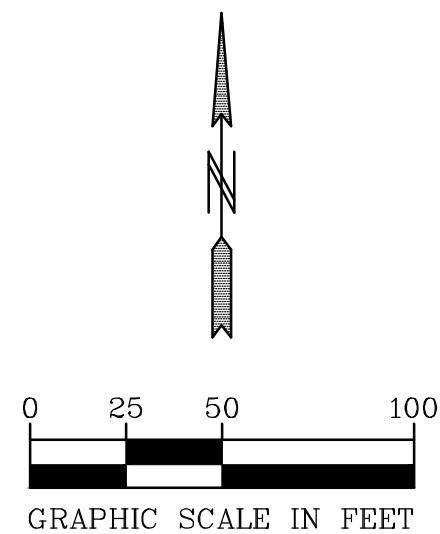
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WILDFLOWER 4TH ADDITION
LAKE ELMO, MINNESOTA

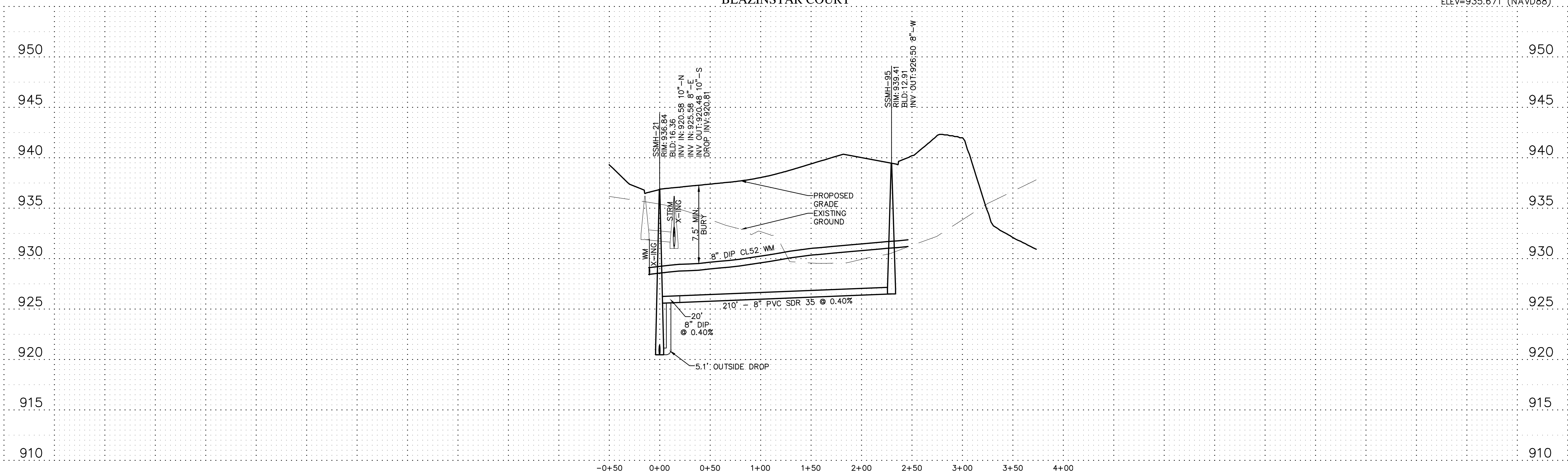
3.15 OF 28

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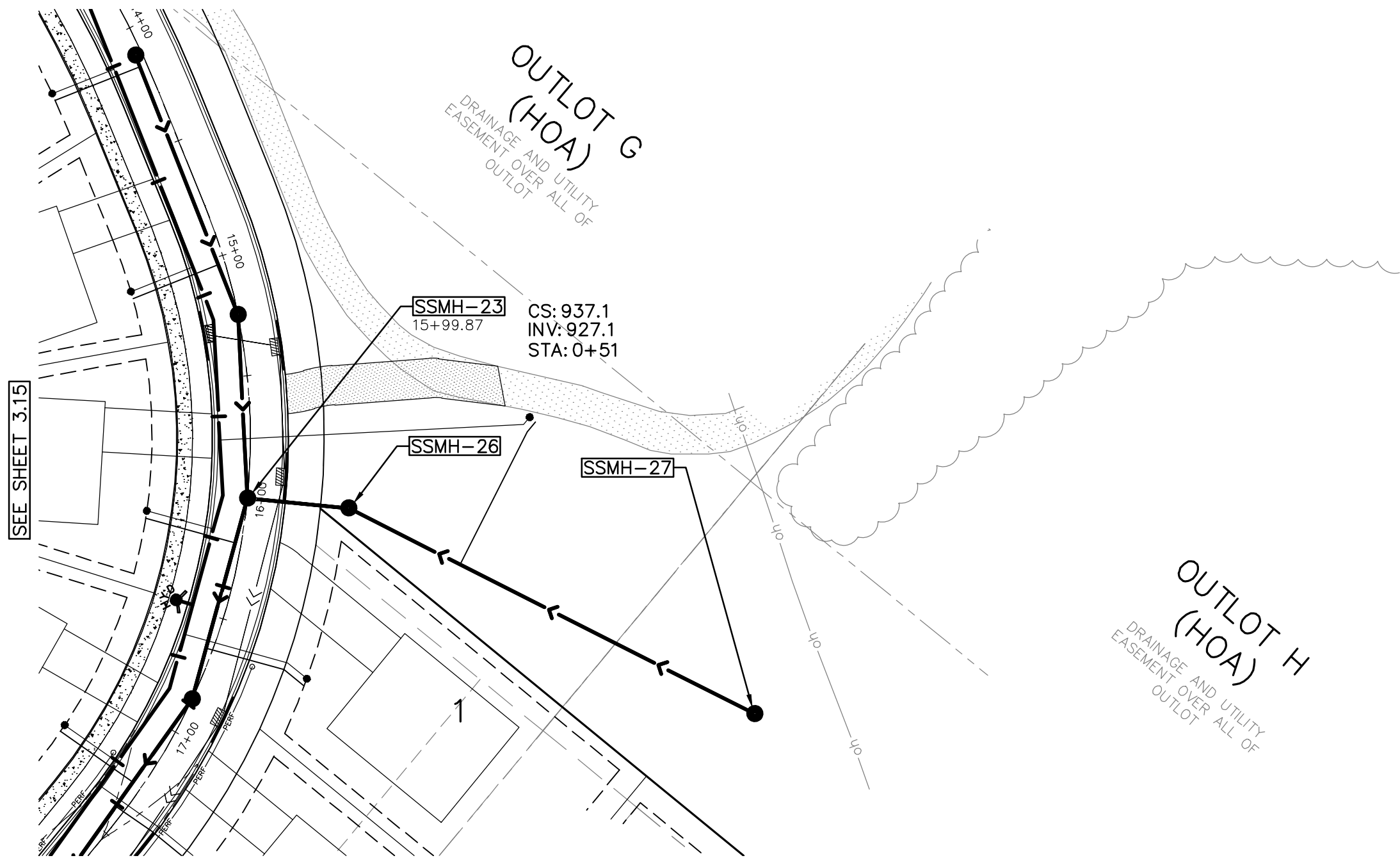


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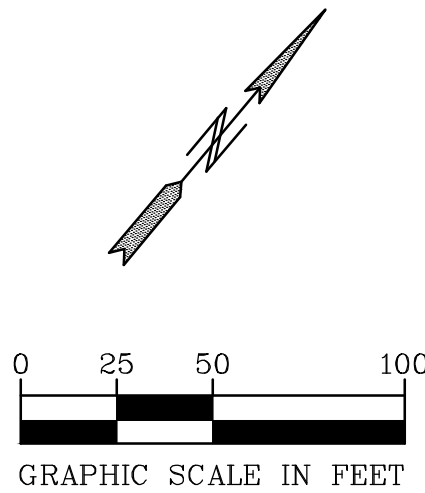
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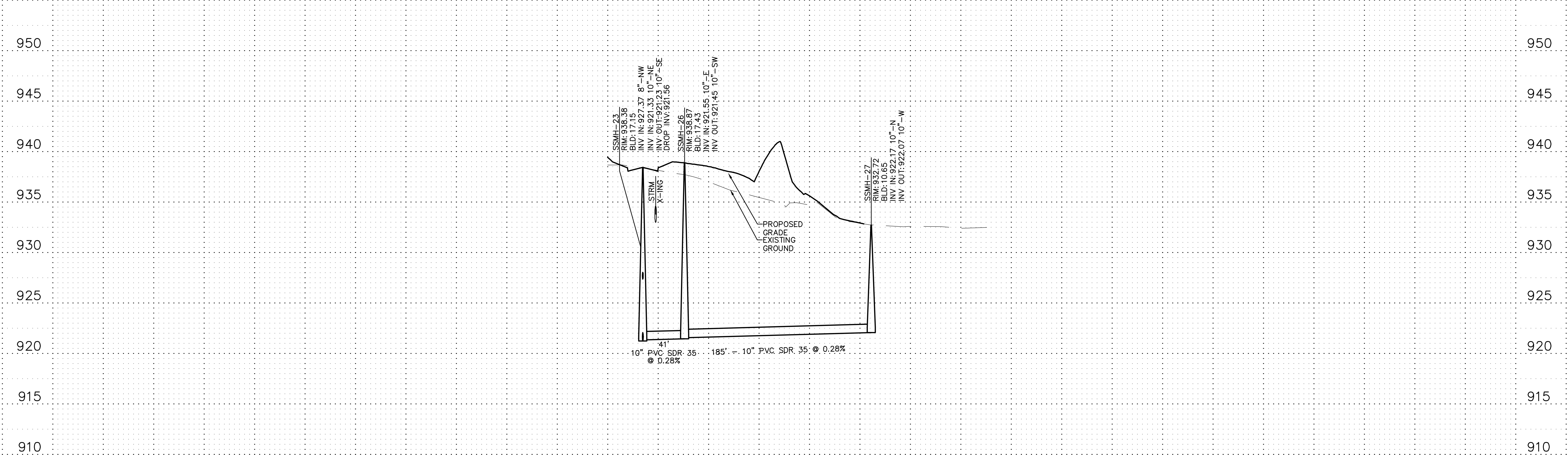
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OFF ROAD SANITARY SEWER



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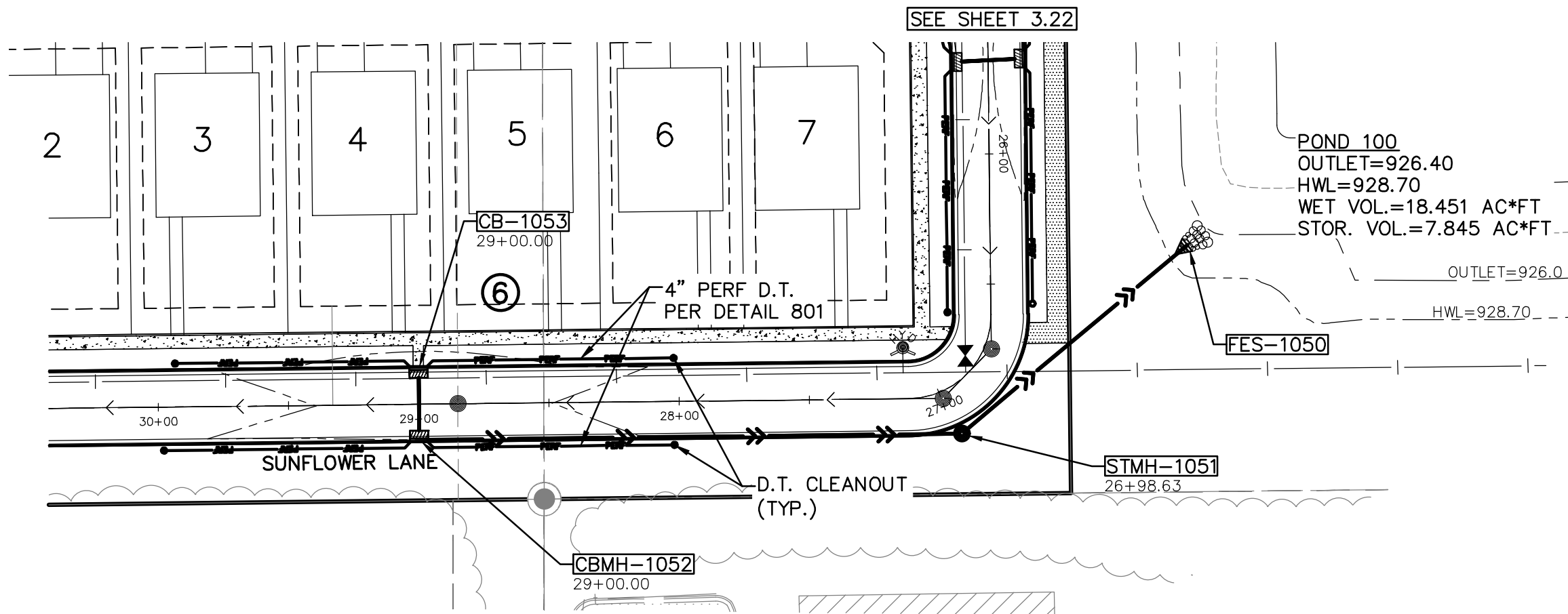
3.17 OF 28

LAKE ELMO STANDARD STORM SEWER NOTES: (STANDARD DRAWING 400A)

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- PRECAST CONCRETE MANHOLE AND CATCH BASIN SECTIONS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-477.
- A 1'-0" TO 1'-4" MANHOLE SECTION SHALL BE INSTALLED UNDER THE CONE SECTION TO ALLOW FOR HEIGHT ADJUSTMENT WHENEVER POSSIBLE.
- JOINTS OF MANHOLE RISER SECTIONS SHALL BE TONGUE AND GROVE WITH RUBBER "O" RING JOINTS PROVIDED ON ALL STORM SEWER MANHOLES.
- RIP-RAP SHALL BE HAND-PLACED OVER GEOTEXTILE FABRIC AND CONFORM TO MNDOT SPEC. 3601, CLASS III, OR AS SPECIFIED HEREIN.
- THE GEOTEXTILE FABRIC USED UNDER RIP-RAP SHALL EXTEND 3 FT UNDER THE APRON.
- FURNISH & INSTALL TRASH GUARDS ON ALL FLARED END SECTIONS.
- ALL SILT SHALL BE CLEANED OUT FROM THREE RIP-RAP AT THE END OF THE PROJECT.
- STORM SEWER STRUCTURES WITHIN 10 FT OF WATERMAIN ARE TO HAVE WATER TIGHT CONNECTIONS PER MDH REQUIREMENTS.

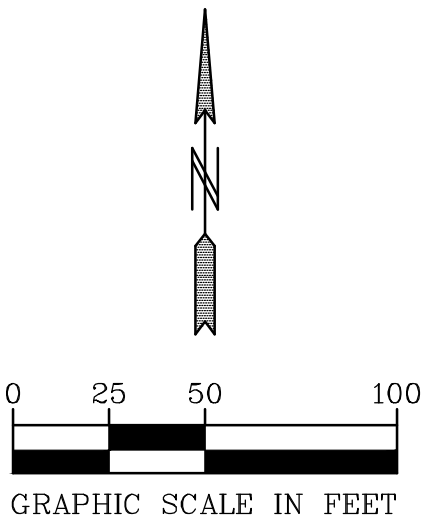
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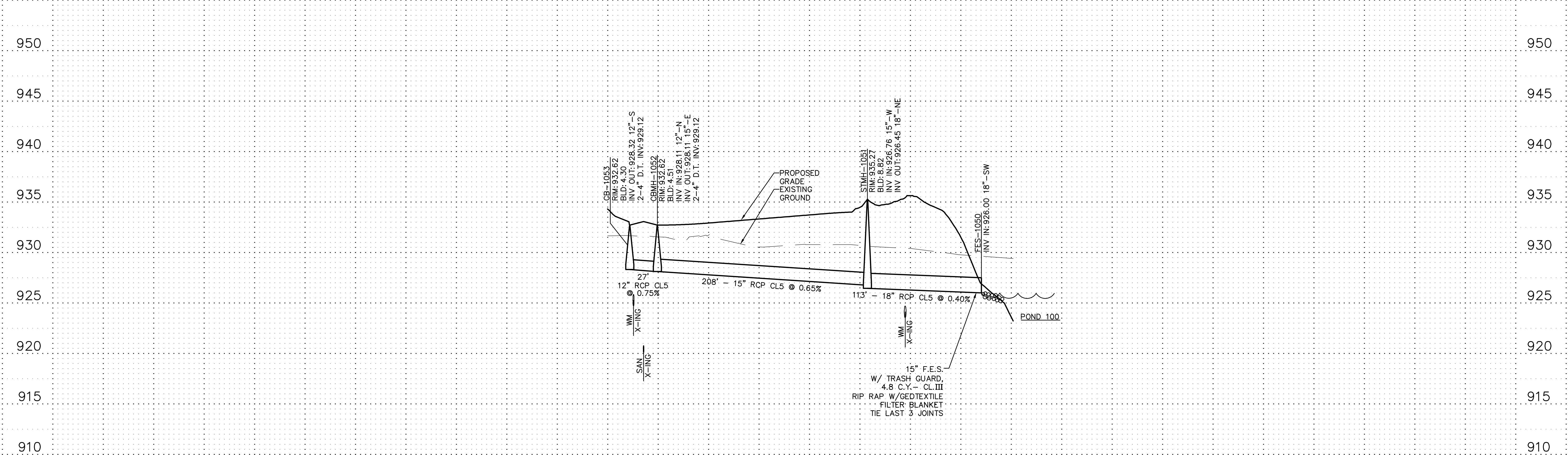
STRUCTURE TABLE				
STRUCTURE NAME	TYPE	STRUCTURE SIZE	NEENAH CASTING OR EQUAL	NOTES
CB-1053	CB	36"X24"	R-3067 VB	1
CB-1162	CB	36"X24"	R-3067 V	1
CB-1321	CB	36"X24"	R-3067 VB	1
CB-1332	CB	36"X24"	R-3067 VB	-
CB-1341	CB	36"X24"	R-3067 V	-
CB-1351	CB	36"X24"	R-3067 V	1
CBMH-1052	CBMH	48" DIA.	R-3067 VB	-
CBMH-1101	CBMH	48" DIA.	R-3067 V	-
CBMH-1121	CBMH	48" DIA.	R-3067 V	1
CBMH-1161	CBMH	48" DIA.	R-3067 VB	-
CBMH-1201	CBMH	48" DIA.	R-3067 V	-
CBMH-1221	CBMH	48" DIA.	R-3067 V	1
CBMH-1301	CBMH	60" DIA.	R-3067 VB	-
CBMH-1302	CBMH	60" DIA.	R-3067 V	-
CBMH-1303	CBMH	60" DIA.	R-3067 VB	-
CBMH-1304	CBMH	48" DIA.	R-3067 VB	-
CBMH-1305	CBMH	48" DIA.	R-3067 VB	-
CBMH-1306	CBMH	48" DIA.	R-3067 VB	-
CBMH-1307	CBMH	48" DIA.	R-3067 V	-
CBMH-1308	CBMH	48" DIA.	R-3067 V	-
CBMH-1309	CBMH	48" DIA.	R-3067 V	-
CBMH-1310	CBMH	48" DIA.	R-3067 V	1
CBMH-1331	CBMH	48" DIA.	R-3067 VB	1
STMH-1051	STMH	48" DIA.	R-1642	-
STMH-1401	STMH	48" DIA.	R-1642	-

- WATER TIGHT SPECIAL NOTE.
 - STRUCTURE SHALL HAVE AN INTEGRAL BASE
 - PIPE CONNECTION TO STRUCTURE WITH PRESS-SEAL WATERSTOP GROUT RING OR APPROVED EQUAL.
 - PIPE JOINTS WITHIN 10 OF WATERMAIN WILL BE TONGUE AND GROOVE WITH A HAMILTON KENT SUPERSEAL GASKET OR APPROVED EQUAL MEETING ASTM-443.
 - ALL MH JOINTS WILL BE TONGUE AND GROOVE WITH A HAMILTON KENT SUPERSEAL GASKET OR APPROVED EQUAL MEETING ASTM-443.



BENCH MARK
MN/DOT BENCHMARK: S 27
NORTHWEST QUADRANT LAKE
ELMO AVE AND 33RD ST N.
ELEV=935.671 (NAVD88)

SUNFLOWER LANE



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Reg. No.
45831

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Revisions

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Designed
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JMM/PDS

STORM SEWER CONSTRUCTION

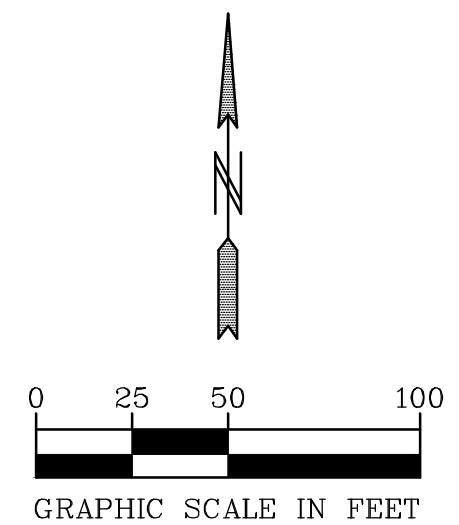
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4801 WEST 81ST STREET, SUITE 101
MINNEAPOLIS, MINNESOTA 55437-1111

WILDFLOWER 4TH ADDITION
LAKE ELMO, MINNESOTA

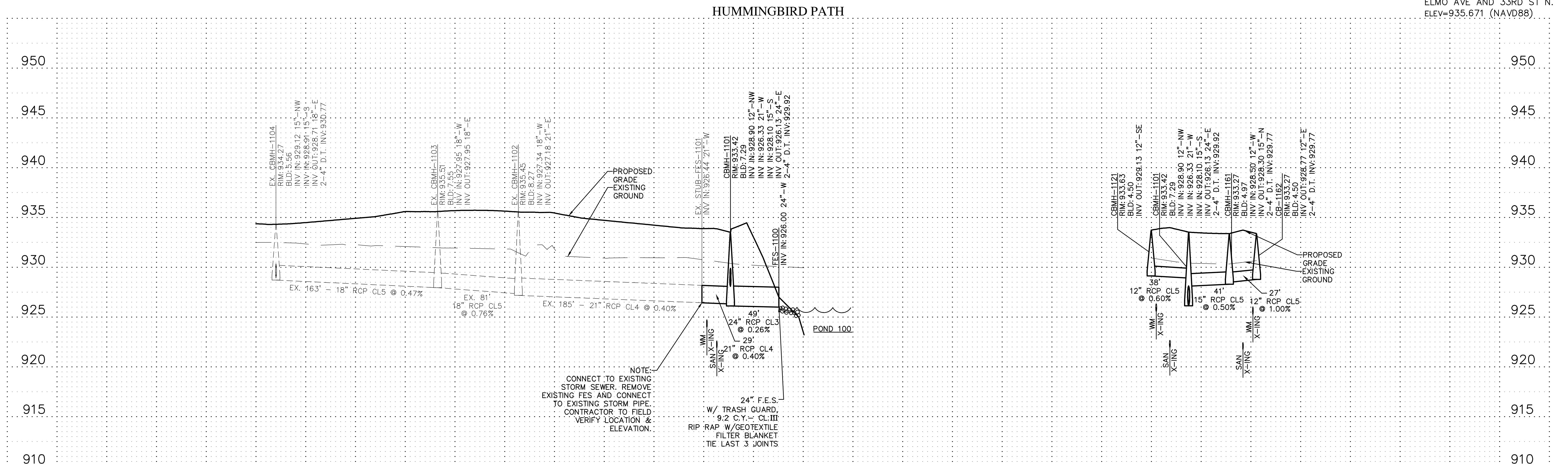
3.21 OF 28

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8. FURNISH & INSTALL TRASH GUARDS ON ALL FLARED END SECTIONS.
9. ALL SILT SHALL BE CLEANED OUT FROM THE RIP-RAP AT THE END OF THE PROJECT.
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BENCH MARK
MN/DOT BENCHMARK: S 27
NORTHWEST QUADRANT LAKE
ELMO AVE AND 33RD ST N.
ELEV=935.671 (NAVD88)

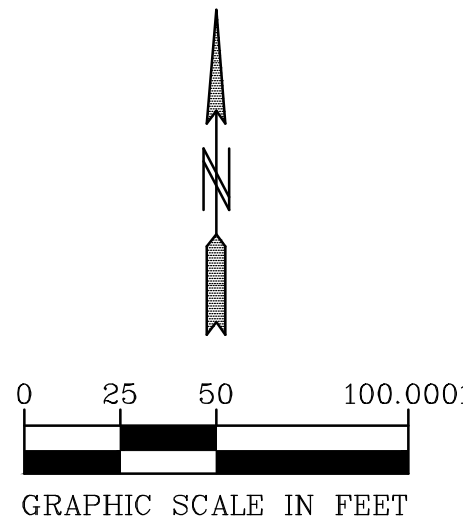
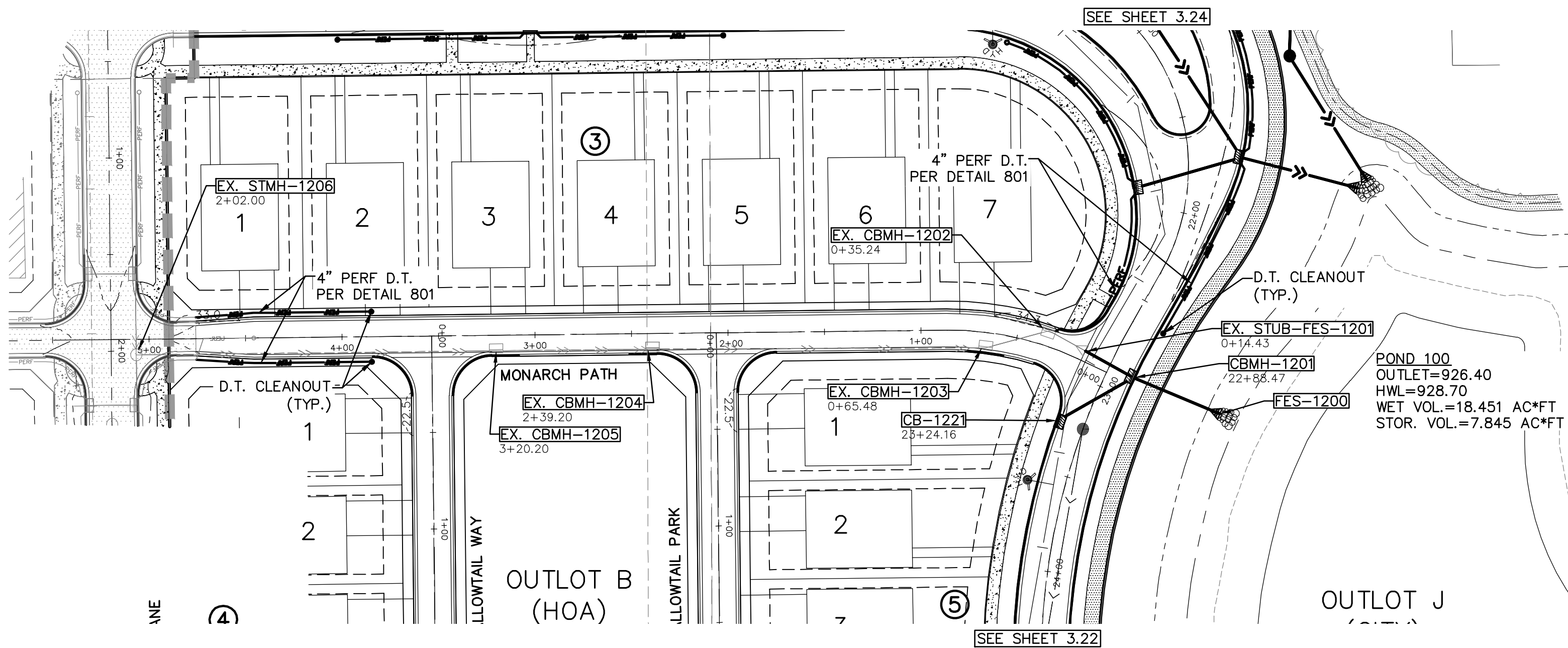


LAKE ELMO STANDARD STORM SEWER NOTES: (STANDARD DRAWING 400A)

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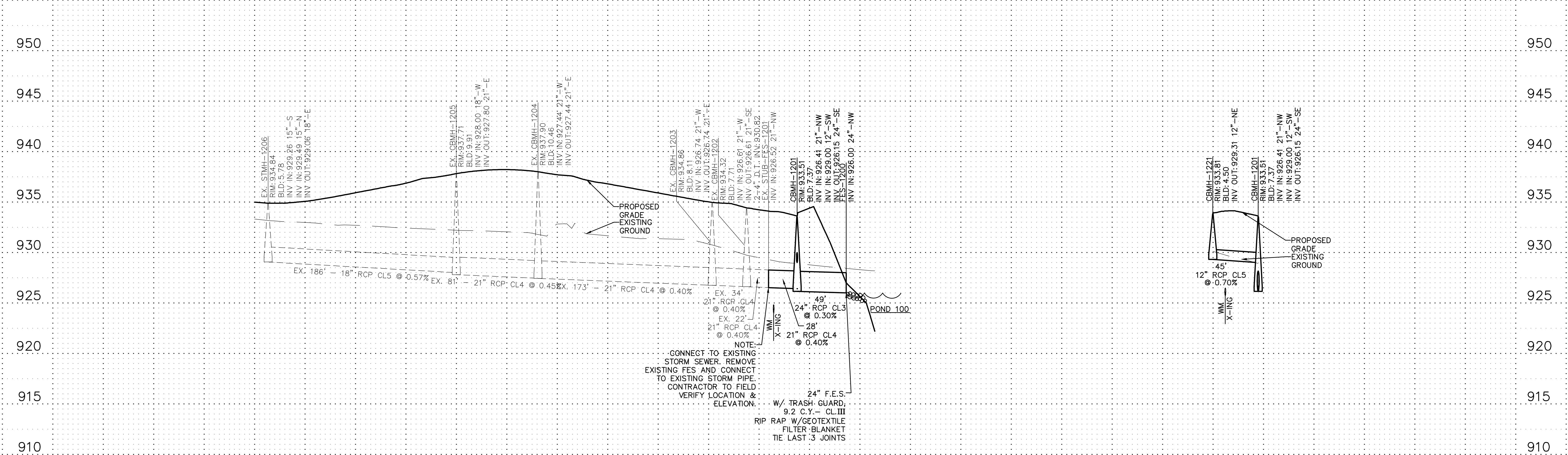
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NORTHWEST QUADRANT LAKE
ELMO AVE AND 33RD ST N.
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MONARCH PATH



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STORM SEWER CONSTRUCTION

ROBERT ENGSTROM COMPANIES
4801 WEST 81ST STREET, SUITE 101
MINNEAPOLIS, MINNESOTA 55437-1111

WILDFLOWER 4TH ADDITION
LAKE ELMO, MINNESOTA

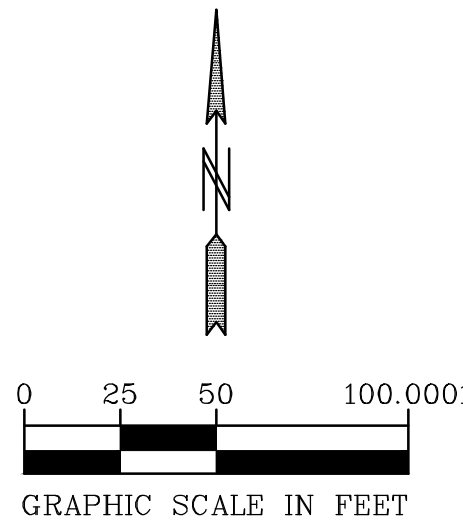
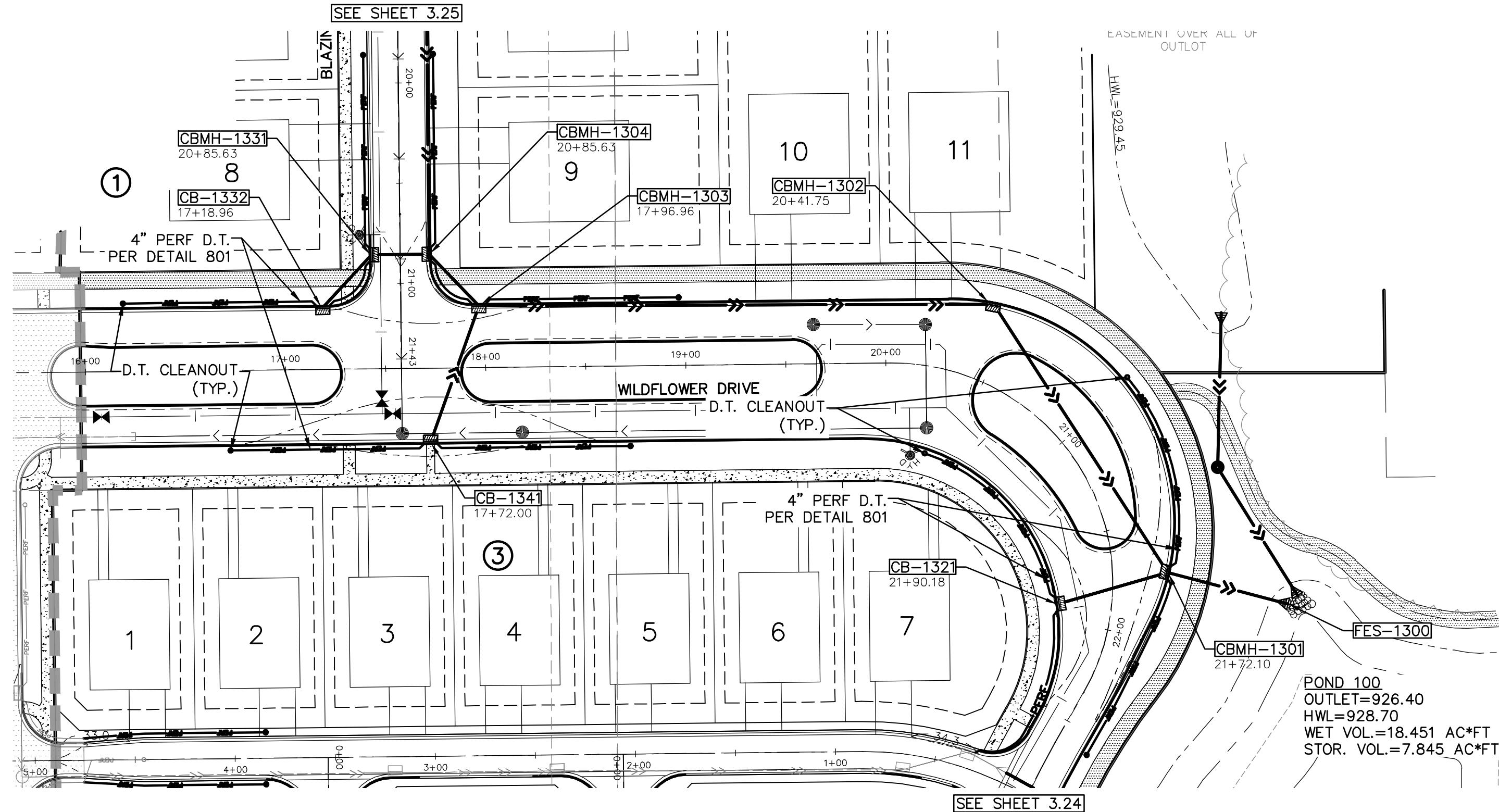
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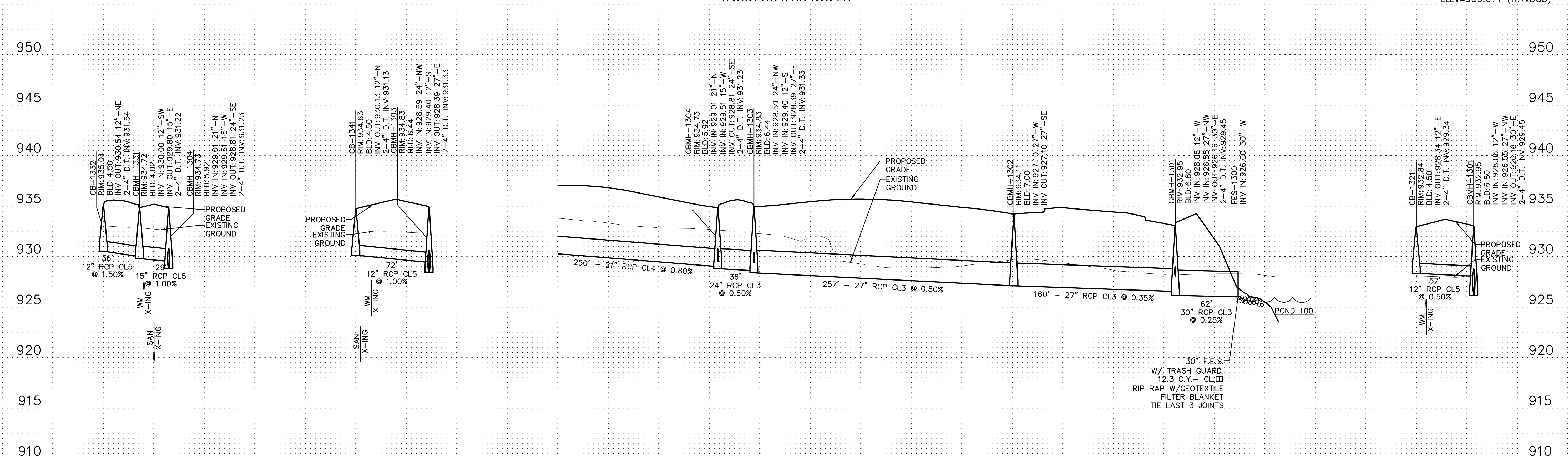
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NORTHWEST QUADRANT LAKE
ELMO AVE AND 33RD ST N.
ELEV=935.671 (NAVD88)

WILDFLOWER DRIVE



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Reg. No. 45831 Date 06-25-2021

Revisions

Date 06-25-2021
Designed PAT/JMM
Drawn JMM/PDS

STORM SEWER CONSTRUCTION

ROBERT ENGSTROM COMPANIES
4801 WEST 81ST STREET, SUITE 101
MINNEAPOLIS, MINNESOTA 55437-1111

WILDFLOWER 4TH ADDITION
LAKE ELMO, MINNESOTA

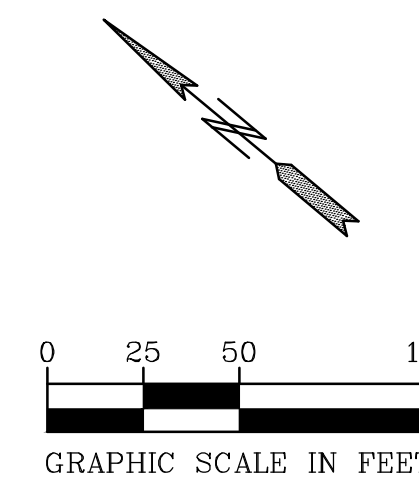
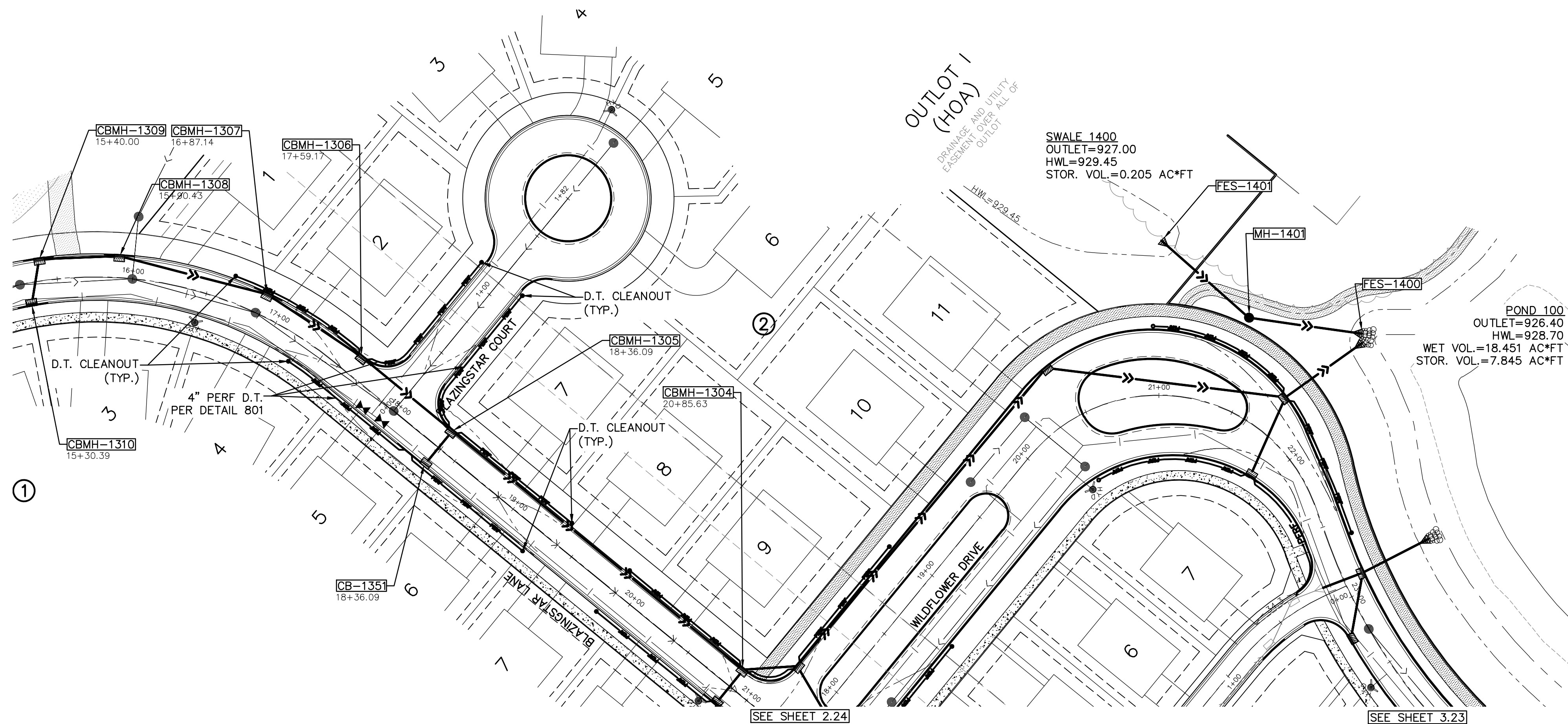
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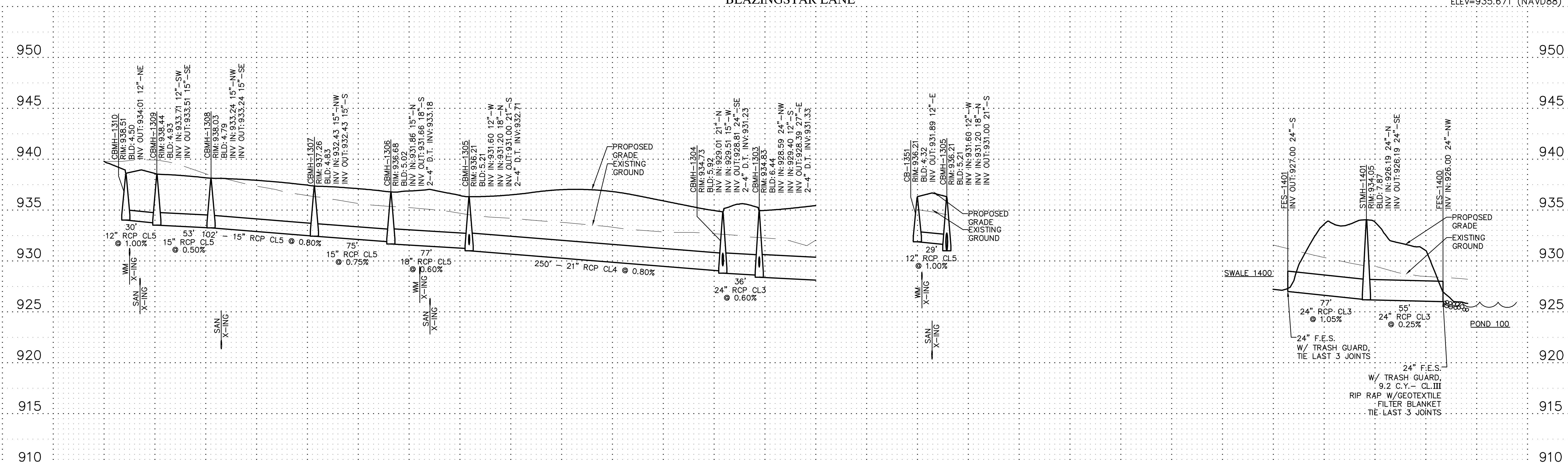
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BLAZINGSTAR LANE



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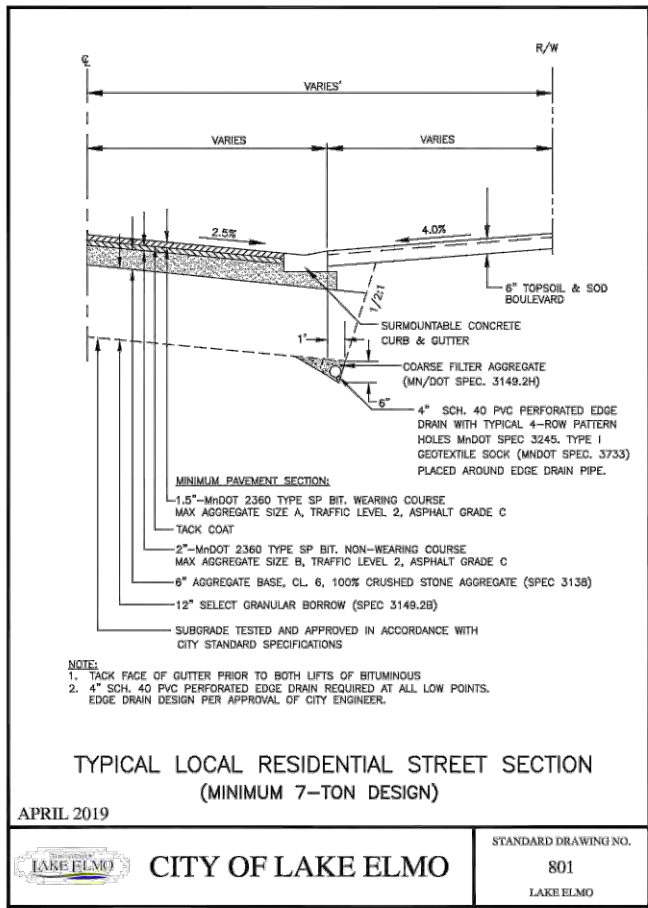
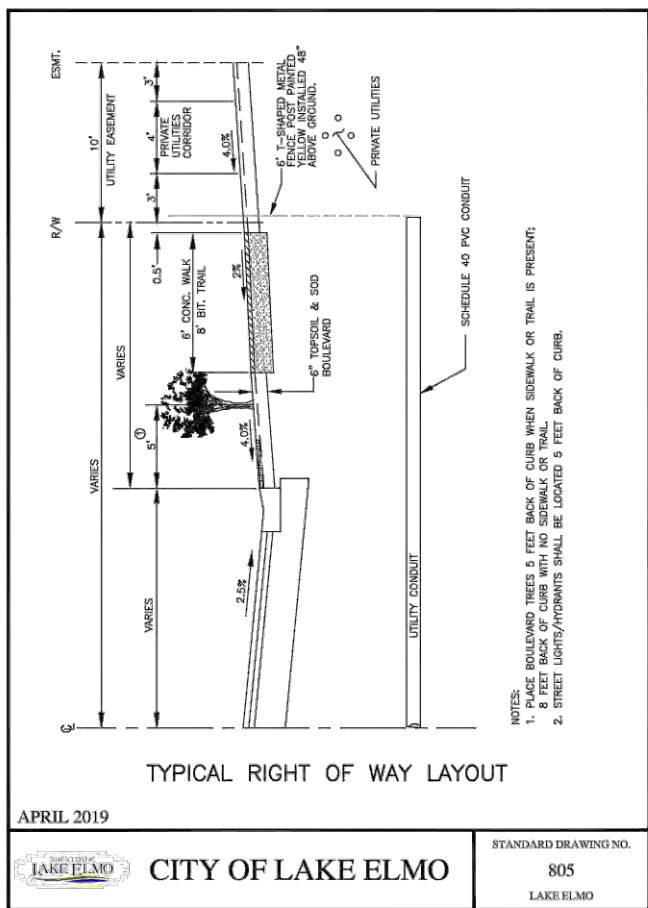
Date: 06-25-2021
Designed: PAT/JMM
Drawn: JMM/PDS

STORM SEWER CONSTRUCTION

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MINNEAPOLIS, MINNESOTA 55437-1111

WILDFLOWER 4TH ADDITION
LAKE ELMO, MINNESOTA

3.25 OF 28



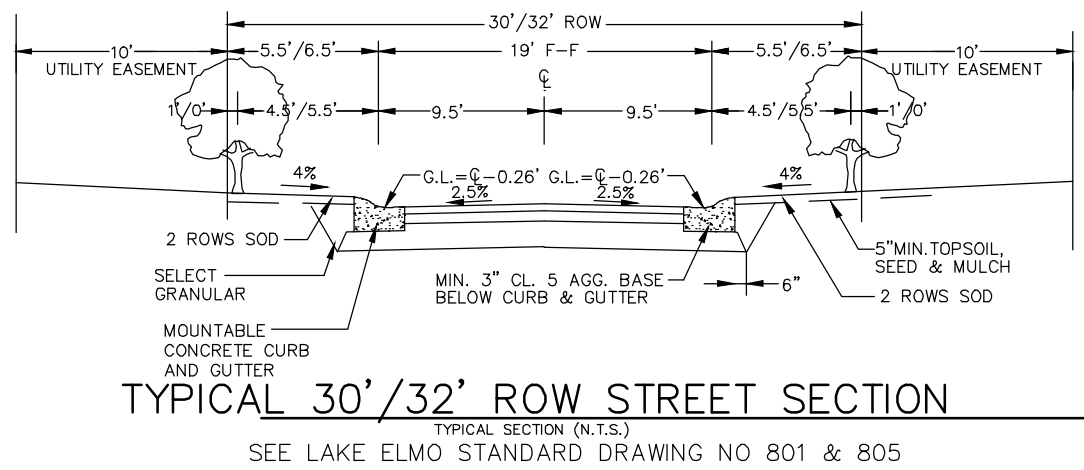
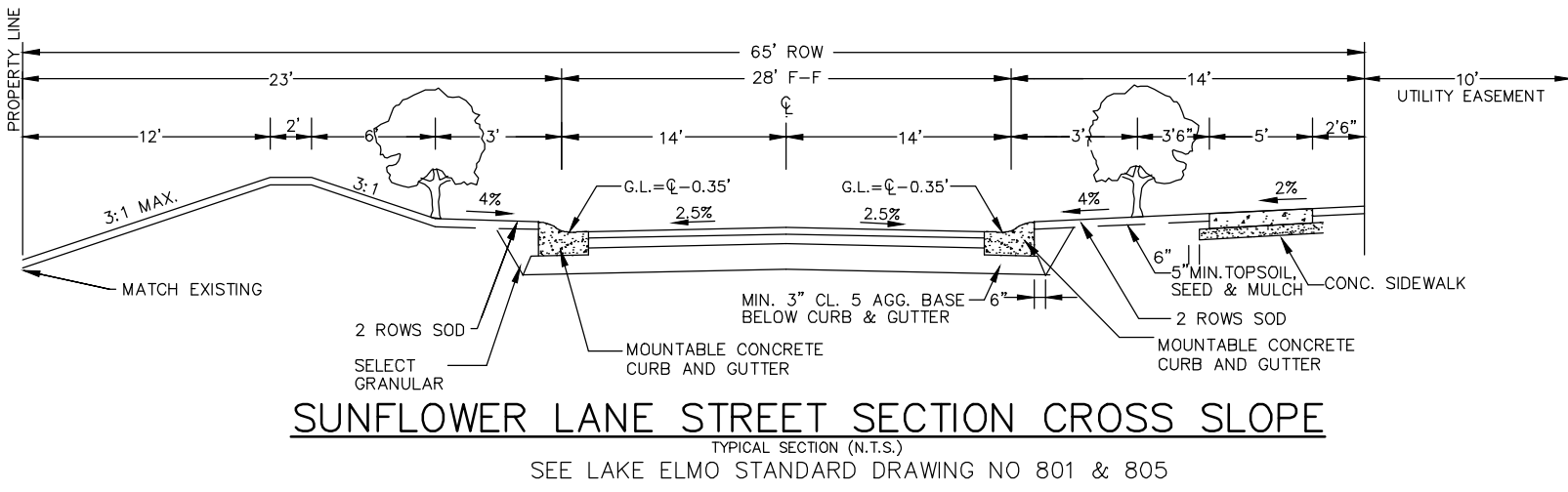
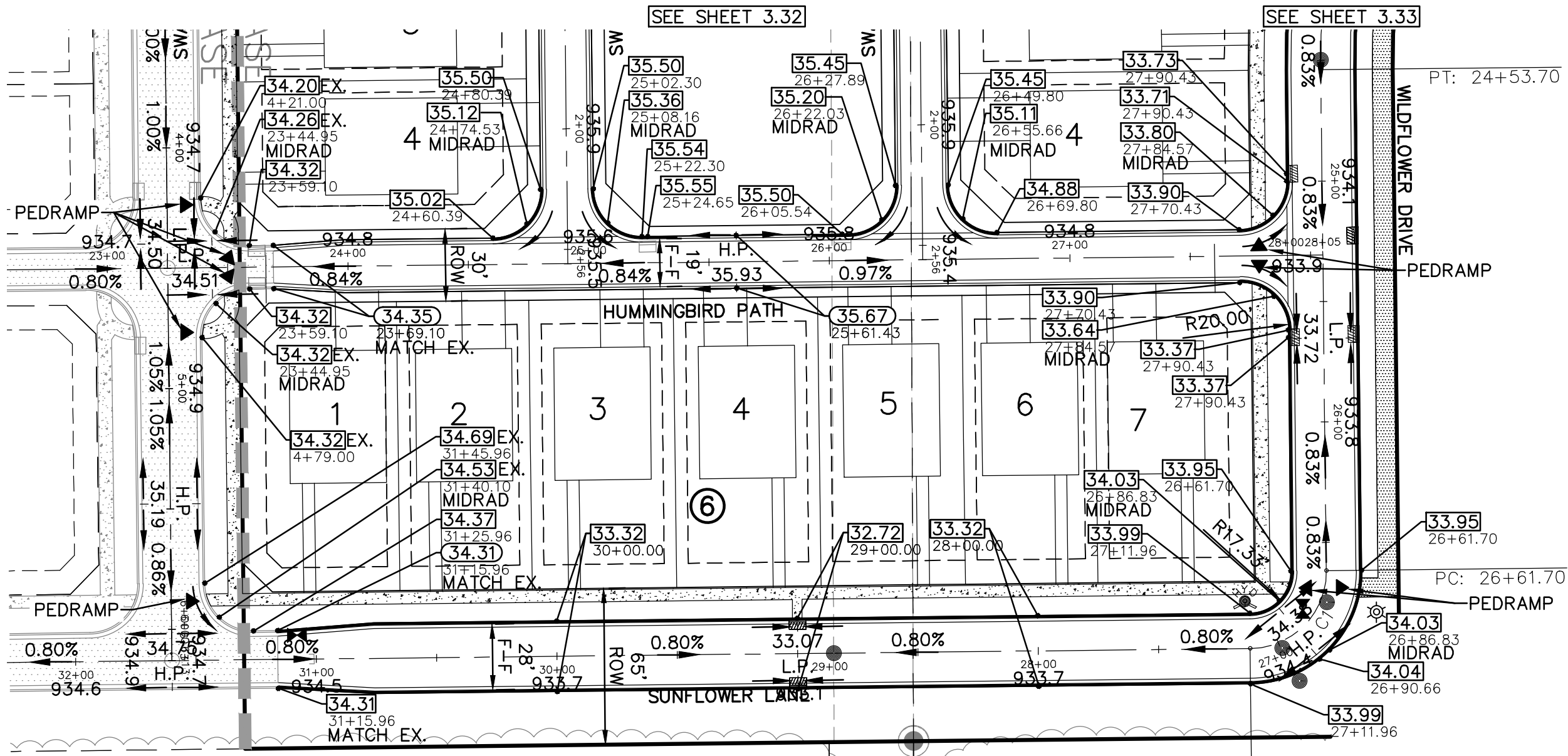
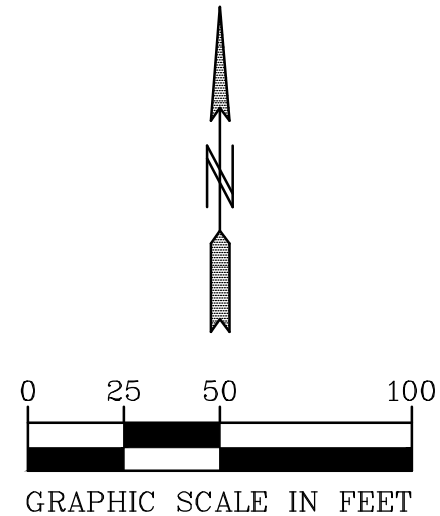
LAKE ELMO SIDEWALKS AND TRAILS NOTES: (STANDARD DRAWING 500A)

1. BITUMINOUS TRAILS AND SIDEWALKS MUST BE CONSTRUCTED TO MAINTAIN POSITIVE DRAINAGE AWAY FROM THE PATHWAYS THROUGHOUT THE ENTIRE LENGTH.
2. TOPSOIL AND BACKFILLING OPERATIONS MUST BE COMPLETED TO AVOID DAMAGE TO THE BITUMINOUS TRAILS AND SIDEWALKS. FINAL GRADE OF BACKFILL AND TOPSOIL MUST BE FLUSH WITH THE PATH EDGE TO AVOID TRAPPING WATER.
3. DIVIDE SIDEWALK INTO SECTIONS WITH CONTRACTION JOINTS. SPACING SHALL NOT BE LESS THAN 3 FT NOR GREATER THAN 12 FT IN ANY DIMENSION. PLACE 1/2 INCH EXPANSION JOINT FILLER AT 50 FT (MAXIMUM) INTERVALS.
4. CONCRETE PEDESTRIAN RAMPS MUST BE CONSTRUCTED AT ALL INTERSECTIONS.

ADDITIONAL NOTES:

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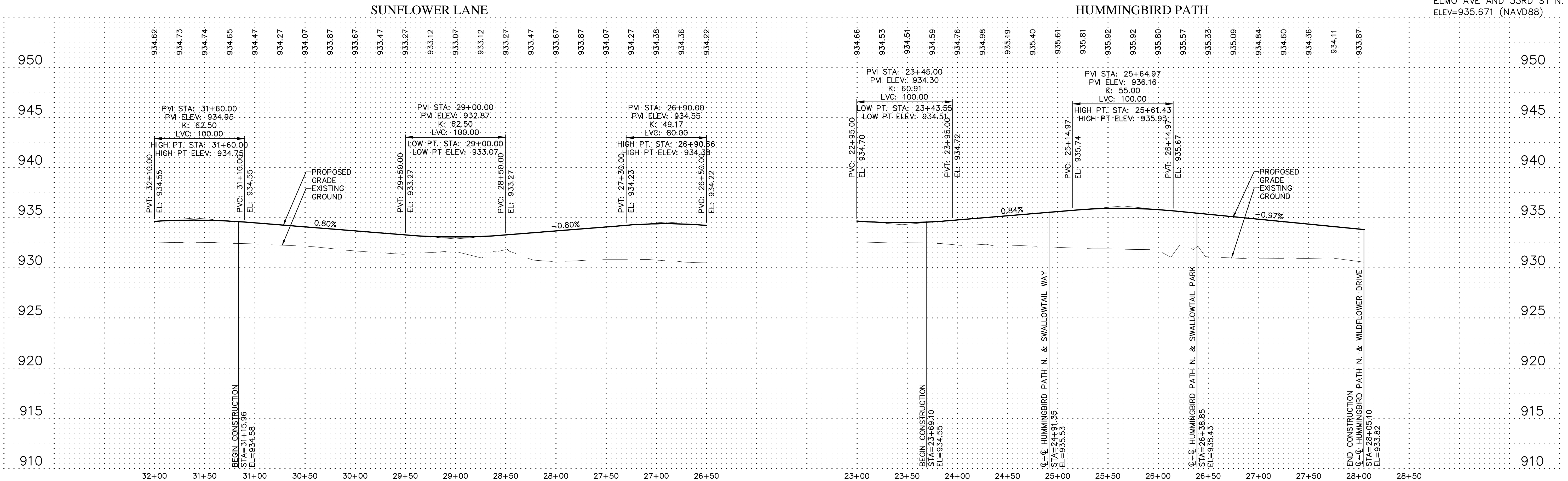
CURVE TABLE						
CURVE	DELTA	LENGTH	RADIUS	TANGENT	PC	PT
C1	90°00'00"	50.27	32.00	32.00	26+61.70	27+11.96



CURB LEGEND

- 08.15 = GUTTER LINE ELEVATION FOR SURMOUNTABLE CURB
- 08.32 = GUTTER LINE ELEVATION FOR B618 CURB
- 08.32 T.O. = GUTTER LINE ELEVATION FOR B612 CURB WITH TIP OUT GUTTER
- 07.82 = BITUMINOUS ELEVATION
- ===== = SURMOUNTABLE CURB & GUTTER
- ===== = B618 CURB & GUTTER
- ===== = B612 CURB & GUTTER (TIP OUT)
- ===== = BITUMINOUS EDGE
- ▶ = PED. RAMP

BENCH MARK
MN/DOT BENCHMARK: S 27
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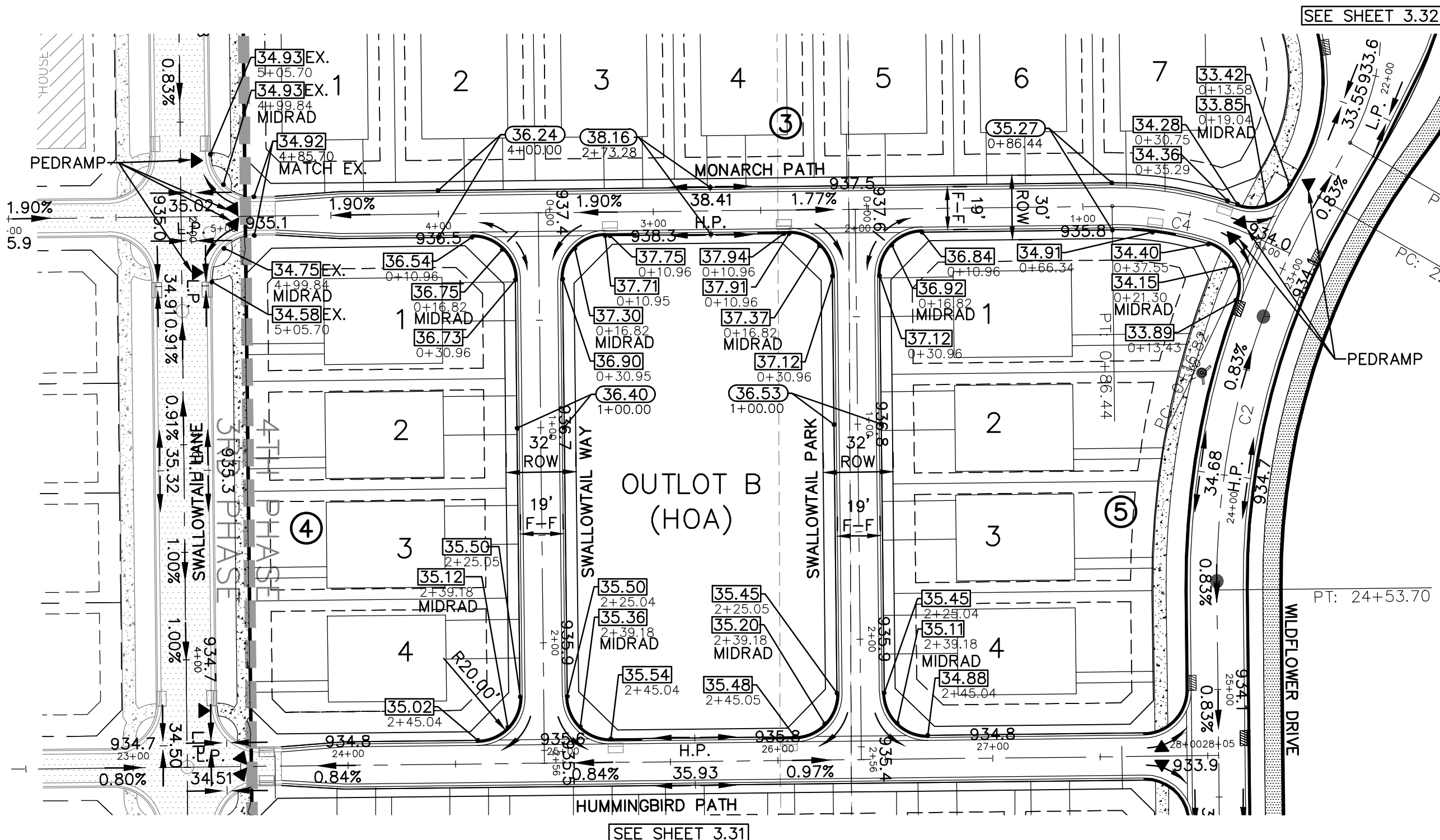
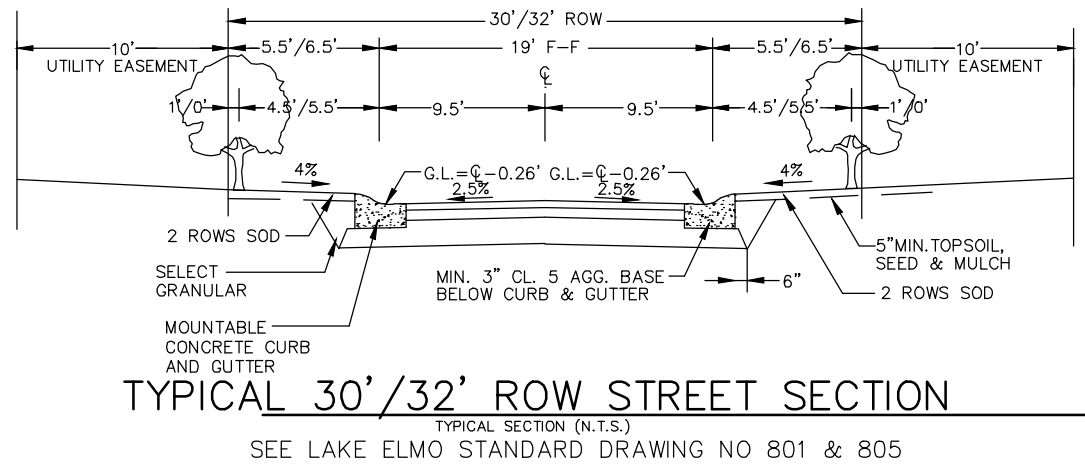
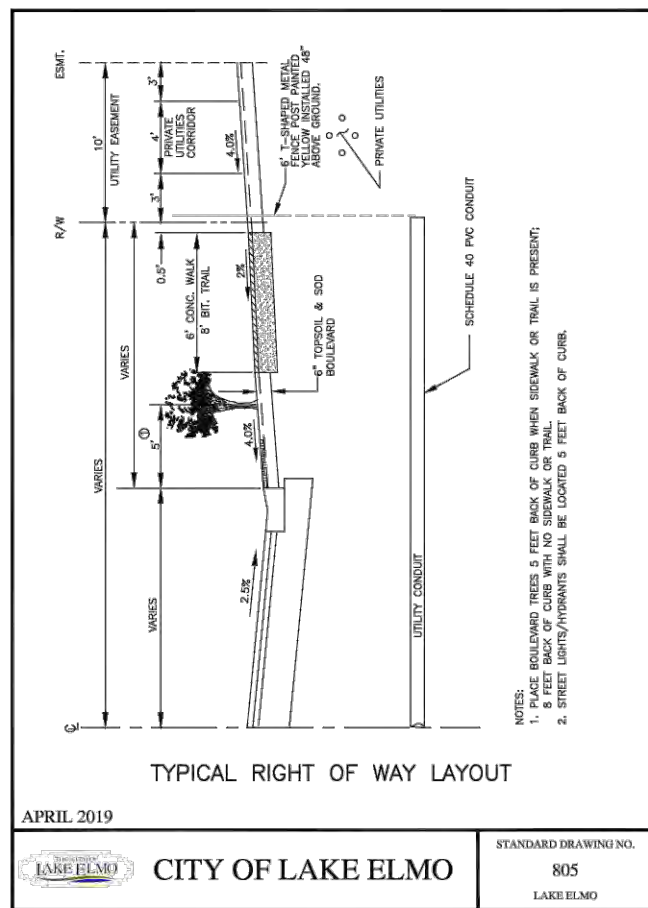
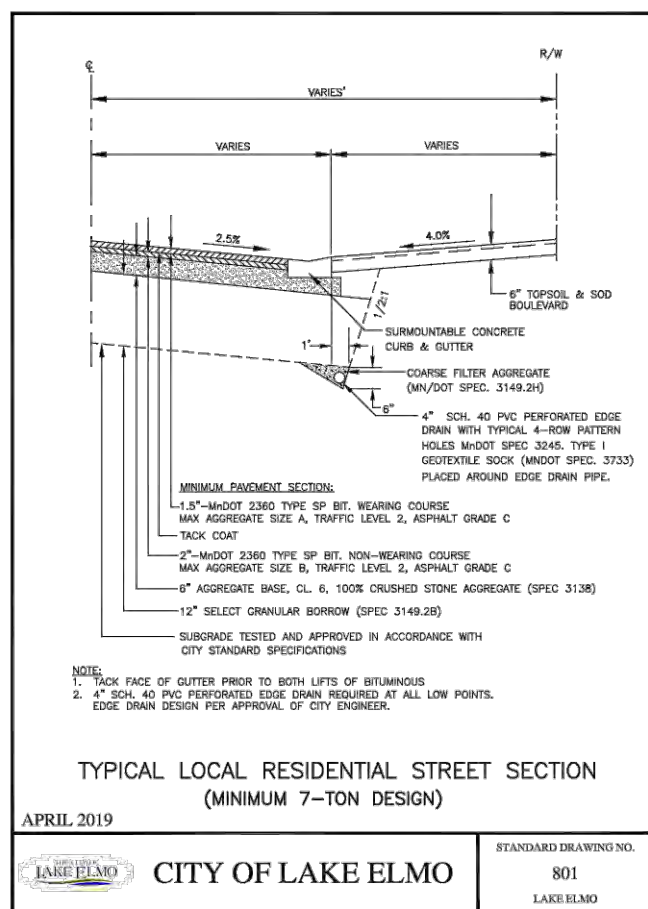
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STREET CONSTRUCTION

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WILDFLOWER 4TH ADDITION
LAKE ELMO, MINNESOTA

3.31 OF 28



LAKE ELMO SIDEWALKS AND TRAILS NOTES: (STANDARD DRAWING 500A)

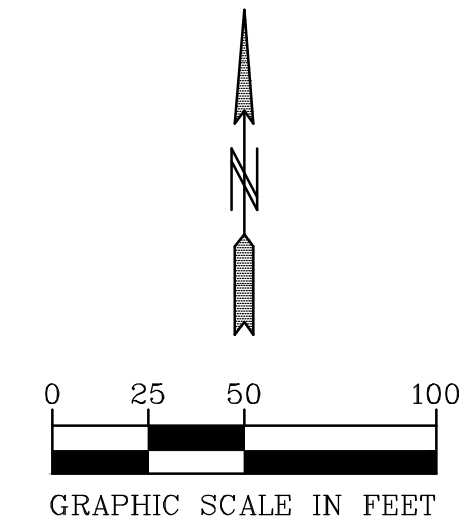
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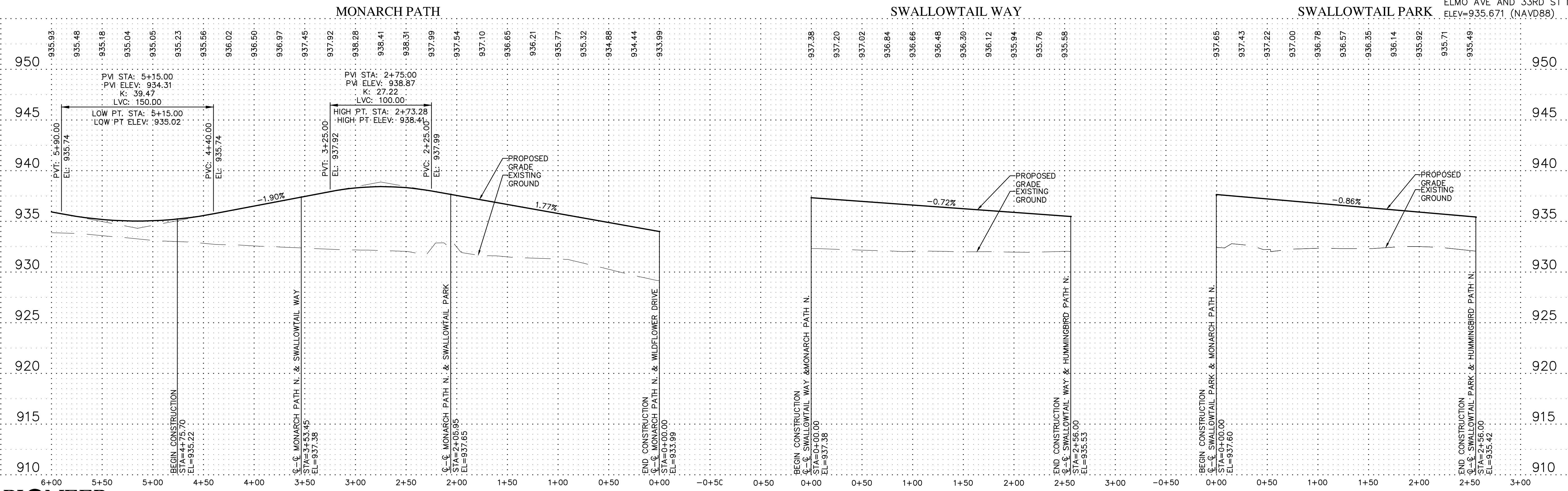
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CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

2422 Enterprise Drive
Mendota Heights, MN 55120
(651) 681-1914
Fax: 681-9488
www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Name
John M. Molinaro
Reg. No. 45831
Date 06-25-2021

Revisions

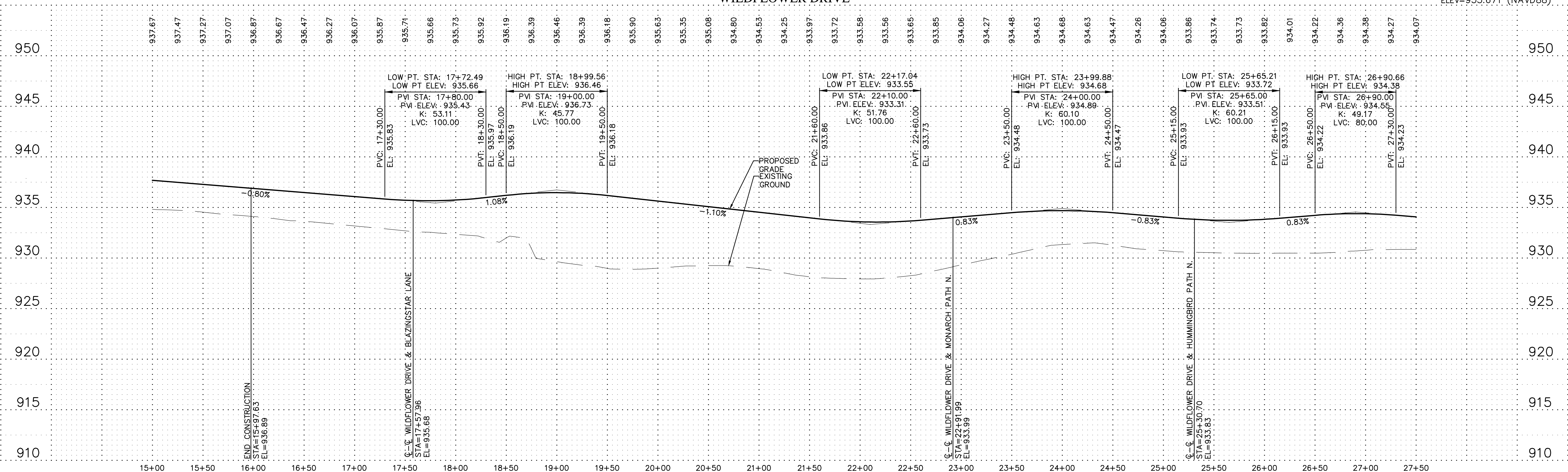
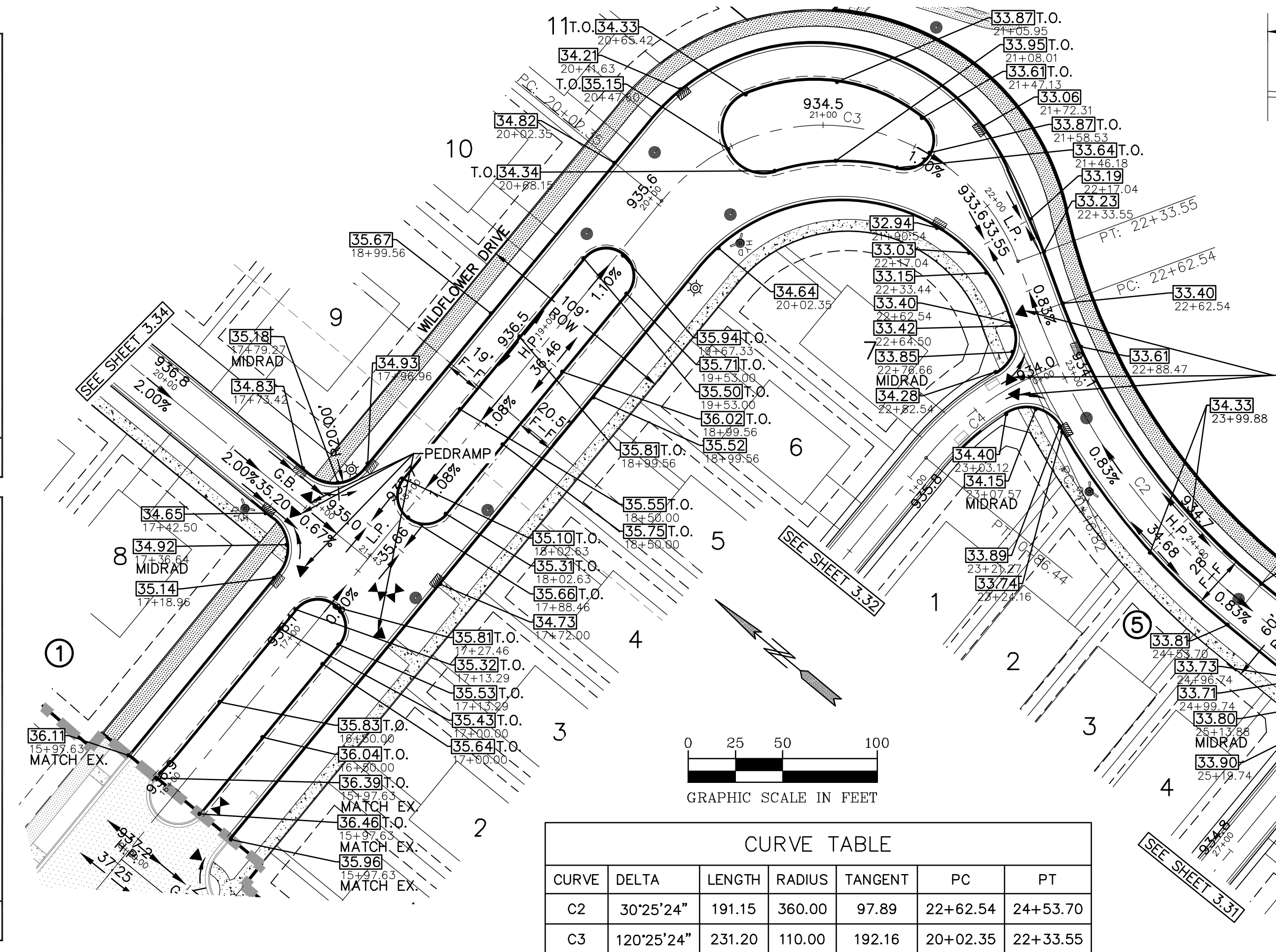
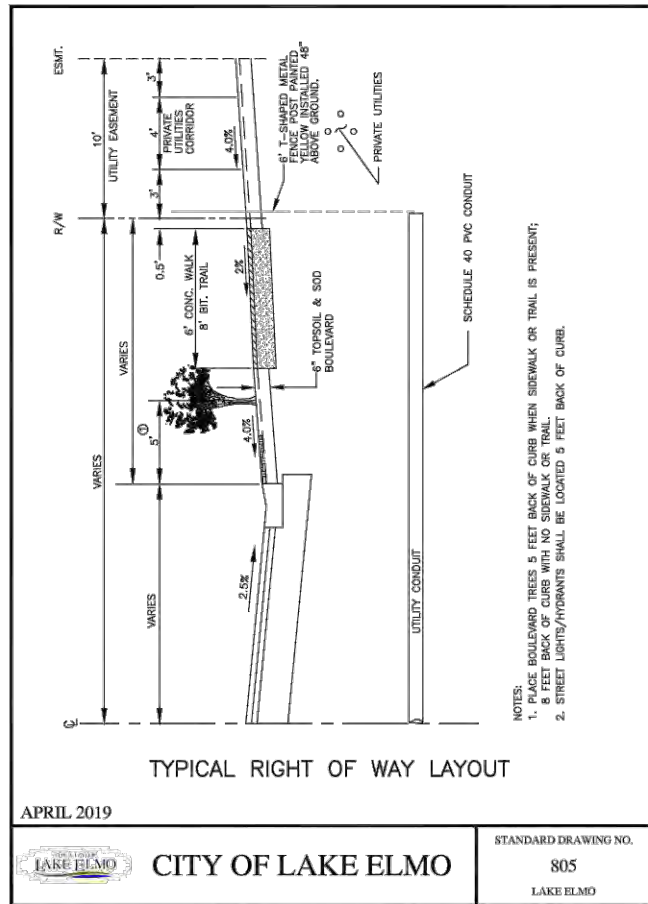
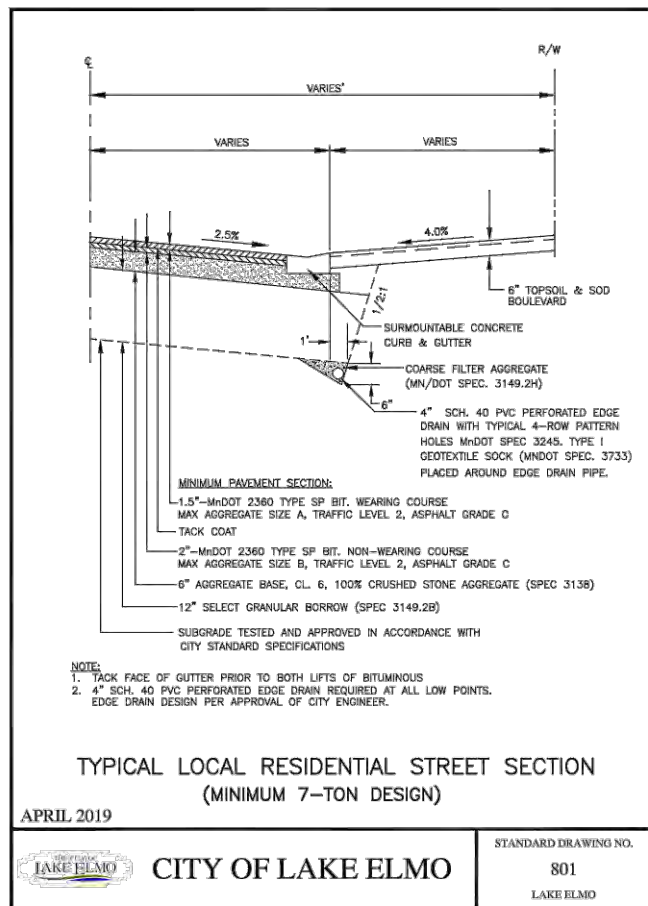
Date 06-25-2021
Designed PAT/JMM
Drawn JMM/PDS

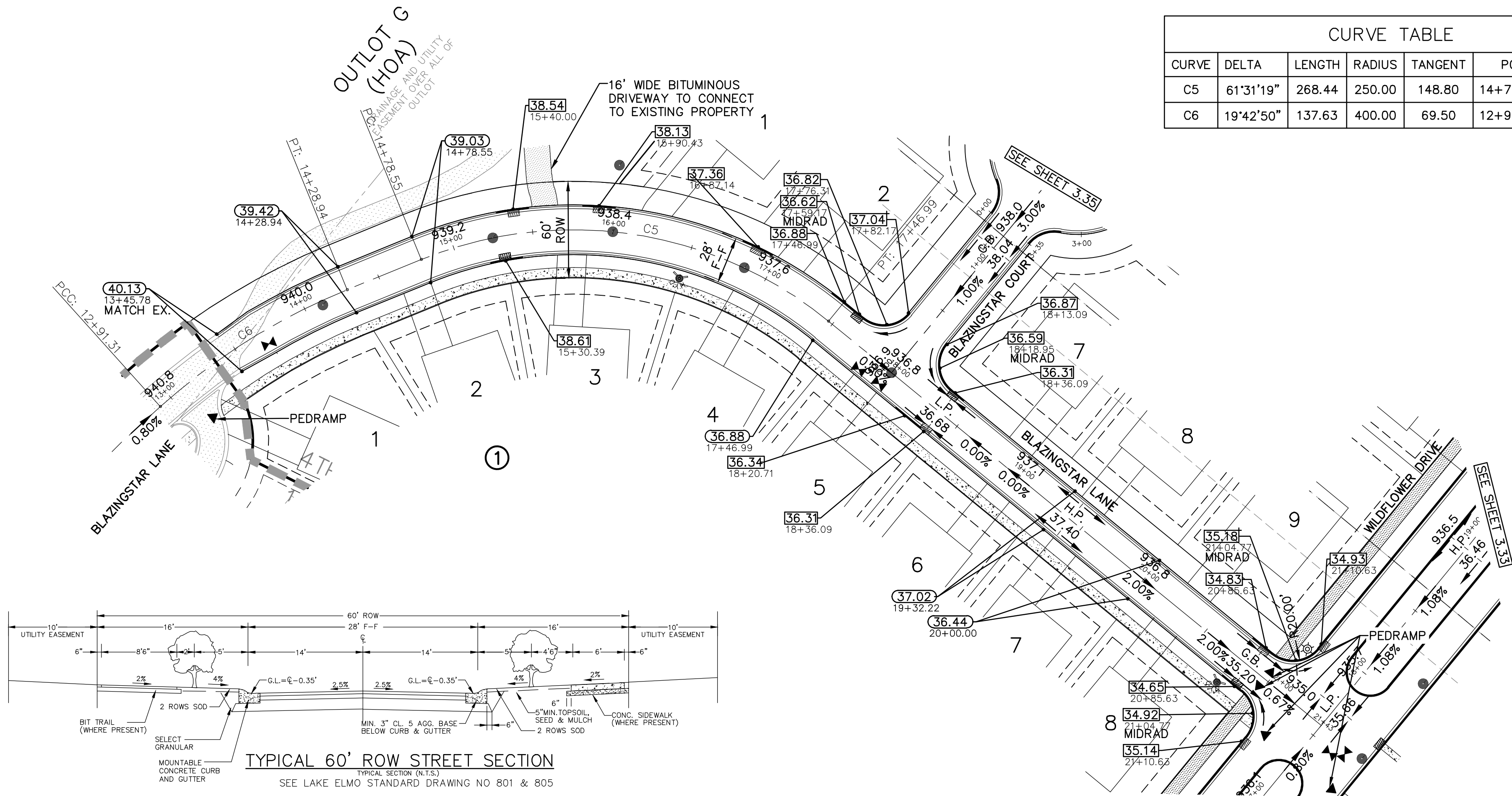
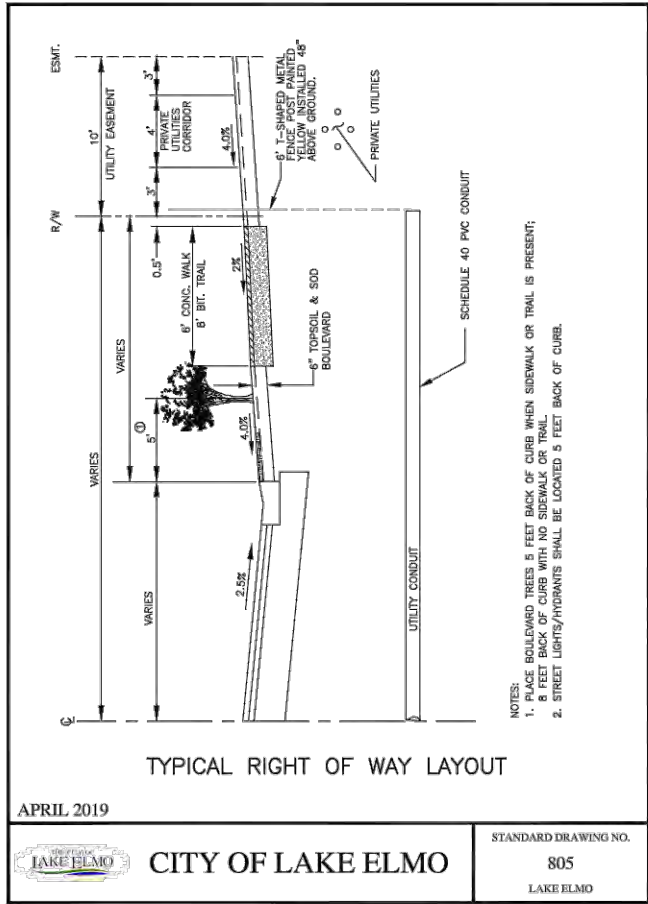
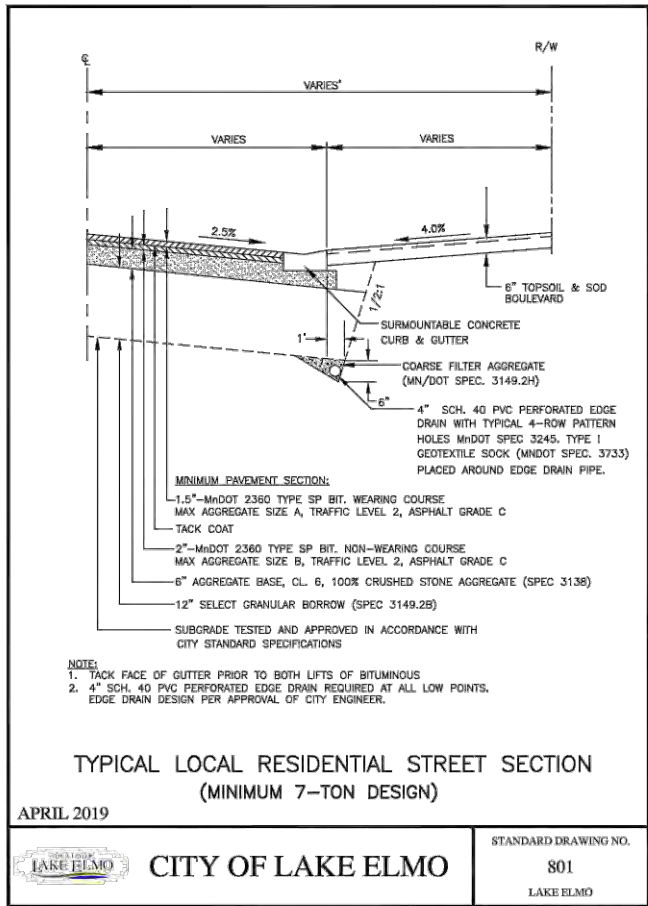
STREET CONSTRUCTION

ROBERT ENGSTROM COMPANIES
4801 WEST 81ST STREET, SUITE 101
MINNEAPOLIS, MINNESOTA 55437-1111

WILDFLOWER 4TH ADDITION
LAKE ELMO, MINNESOTA

3.32 OF 28





CURVE TABLE						
CURVE	DELTA	LENGTH	RADIUS	TANGENT	PC	PT
C5	61°31'19"	268.44	250.00	148.80	14+78.55	17+46.99
C6	19°42'50"	137.63	400.00	69.50	12+91.31	14+28.94

LAKE ELMO SIDEWALKS AND TRAILS NOTES: (STANDARD DRAWING 500A)

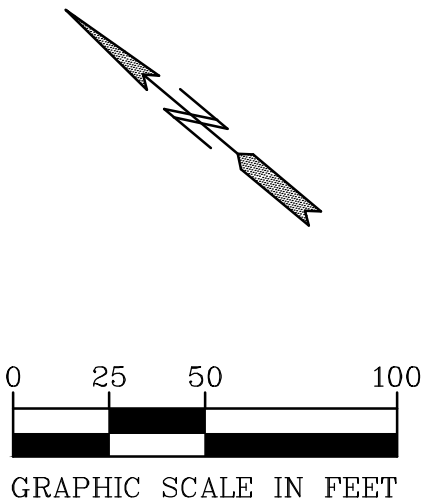
1. BITUMINOUS TRAILS AND SIDEWALKS MUST BE CONSTRUCTED TO MAINTAIN POSITIVE DRAINAGE AWAY FROM THE PATHWAYS THROUGHOUT THE ENTIRE LENGTH.
2. TOPSOIL AND BACKFILLING OPERATIONS MUST BE COMPLETED TO AVOID DAMAGE TO THE BITUMINOUS TRAILS AND SIDEWALKS. FINAL GRADE OF BACKFILL AND TOPSOIL MUST BE FLUSH WITH THE PATH EDGE TO AVOID TRAPPING WATER.
3. DIVIDE SIDEWALK INTO SECTIONS WITH CONTRACTION JOINTS. SPACING SHALL NOT BE LESS THAN 3 FT NOR GREATER THAN 12 FT IN ANY DIMENSION. PLACE 1/2 INCH EXPANSION JOINT FILLER AT 50 FT (MAXIMUM) INTERVALS.
4. CONCRETE PEDESTRIAN RAMPS MUST BE CONSTRUCTED AT ALL INTERSECTIONS.

ADDITIONAL NOTES:

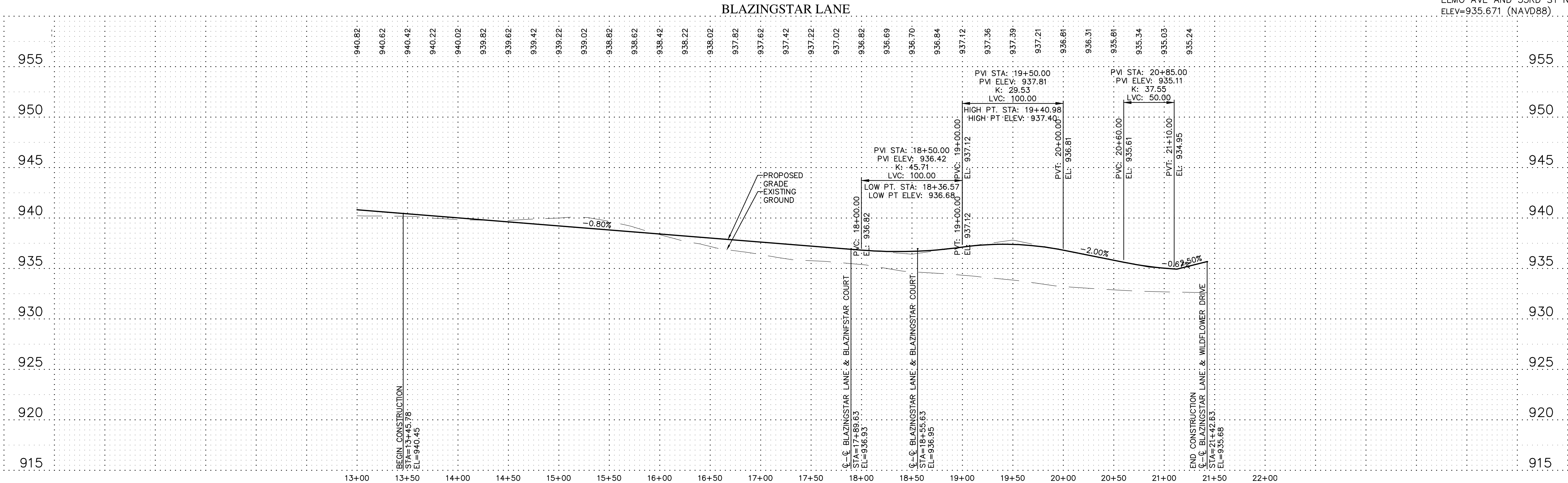
1. SEE LAKE ELMO STANDARD PLAN NOTES FOR GRADING AND EROSION CONTROL, DETAILS 600A, 600B, AND 600C.
2. SEE LAKE ELMO STANDARD PLAN NOTES FOR SITE RESTORATION, DETAIL 600D.

CURB LEGEND

- 08.15 = GUTTER LINE ELEVATION FOR SURMOUNTABLE CURB
- 08.32 = GUTTER LINE ELEVATION FOR B618 CURB
- 08.32 T.O. = GUTTER LINE ELEVATION FOR B612 CURB WITH TIP OUT GUTTER
- 07.82 = BITUMINOUS ELEVATION
- == = SURMOUNTABLE CURB & GUTTER
- == = B618 CURB & GUTTER
- == = B612 CURB & GUTTER (TIP OUT)
- == = BITUMINOUS EDGE
- ▶ = PED. RAMP



BENCH MARK
MN/DOT BENCHMARK: S 27
NORTHWEST QUADRANT LAKE
ELMO AVE AND 33RD ST N.
ELEV=935.671 (NAVD88)



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Name: John M. Molinaro
Reg. No.: 45831
Date: 06-25-2021

Revisions

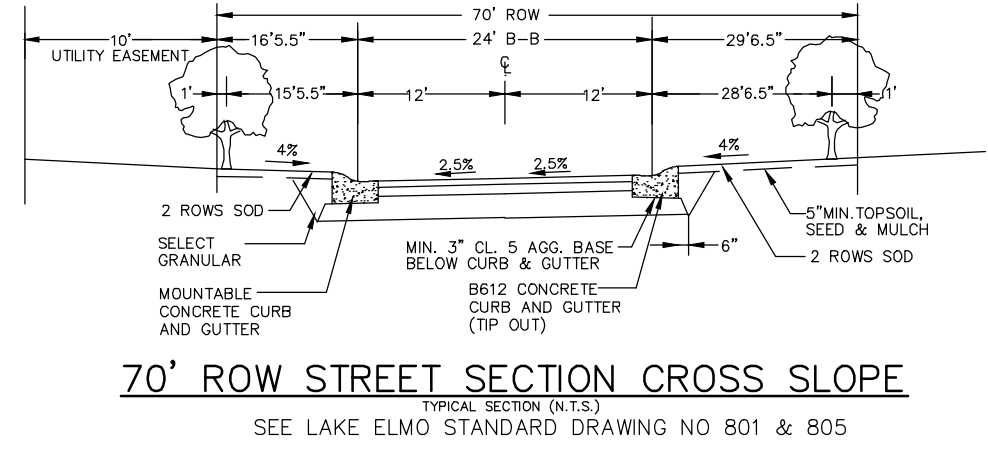
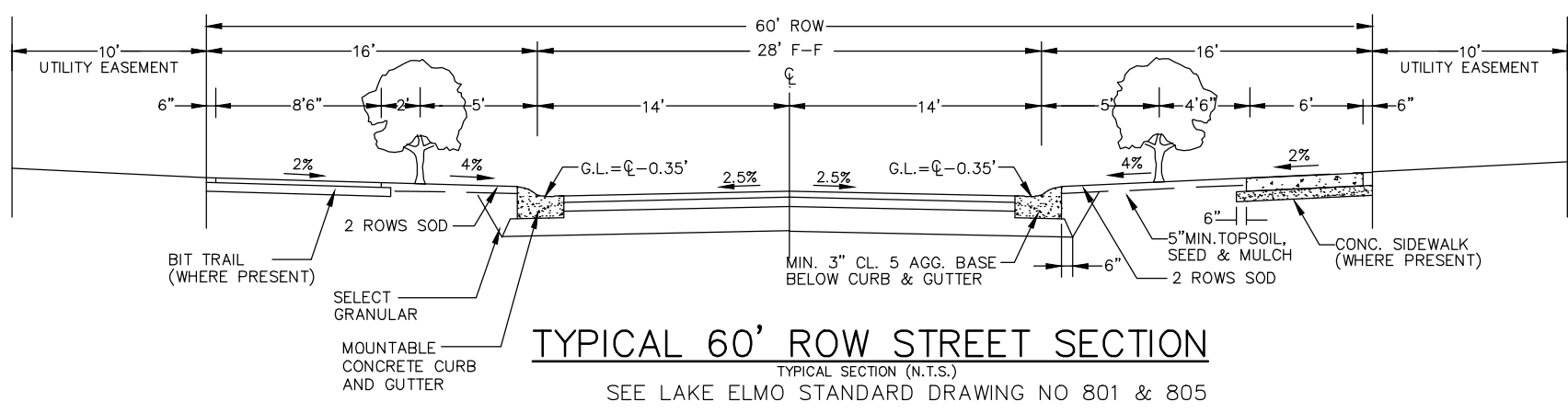
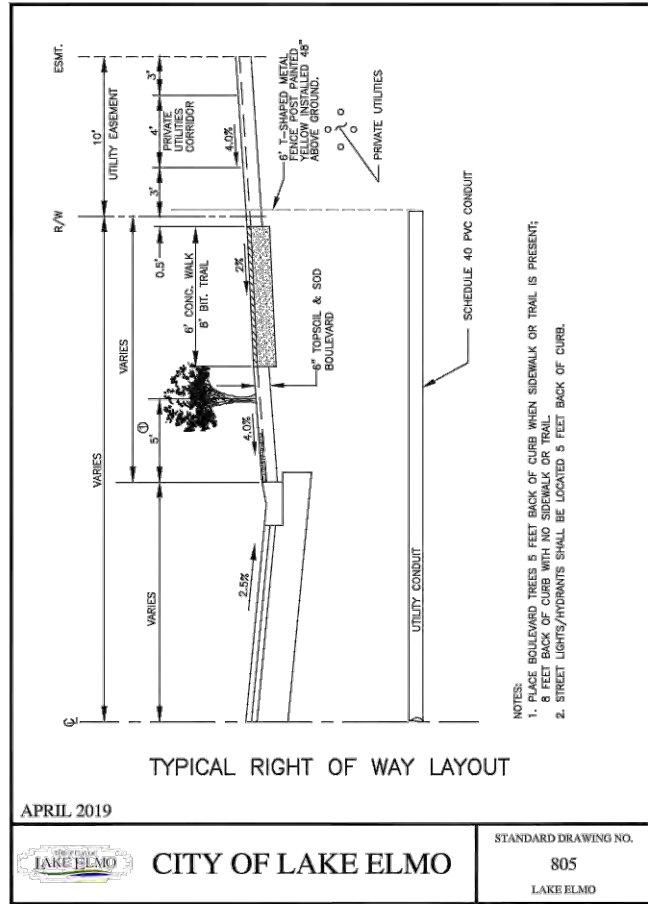
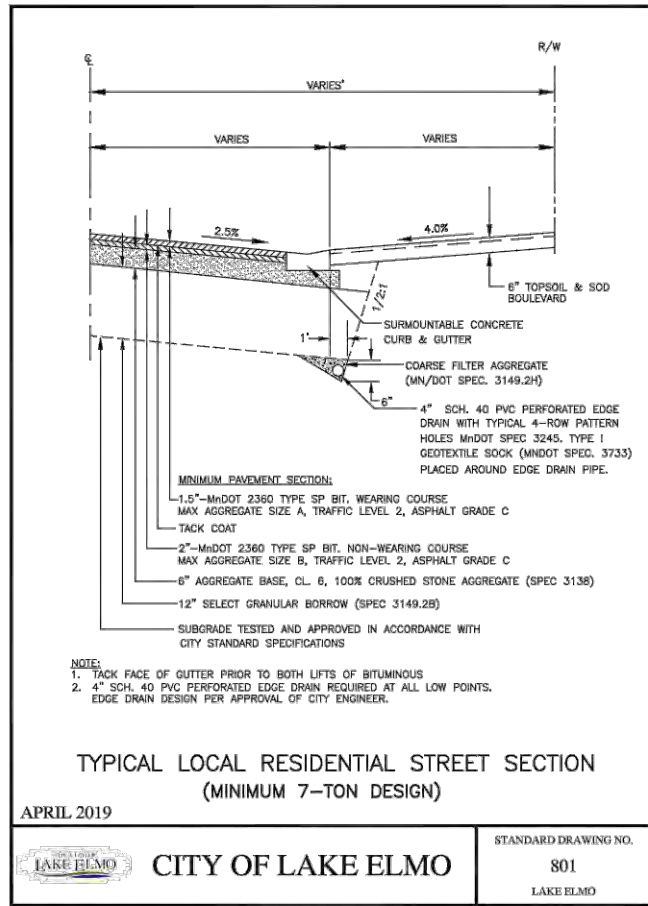
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STREET CONSTRUCTION

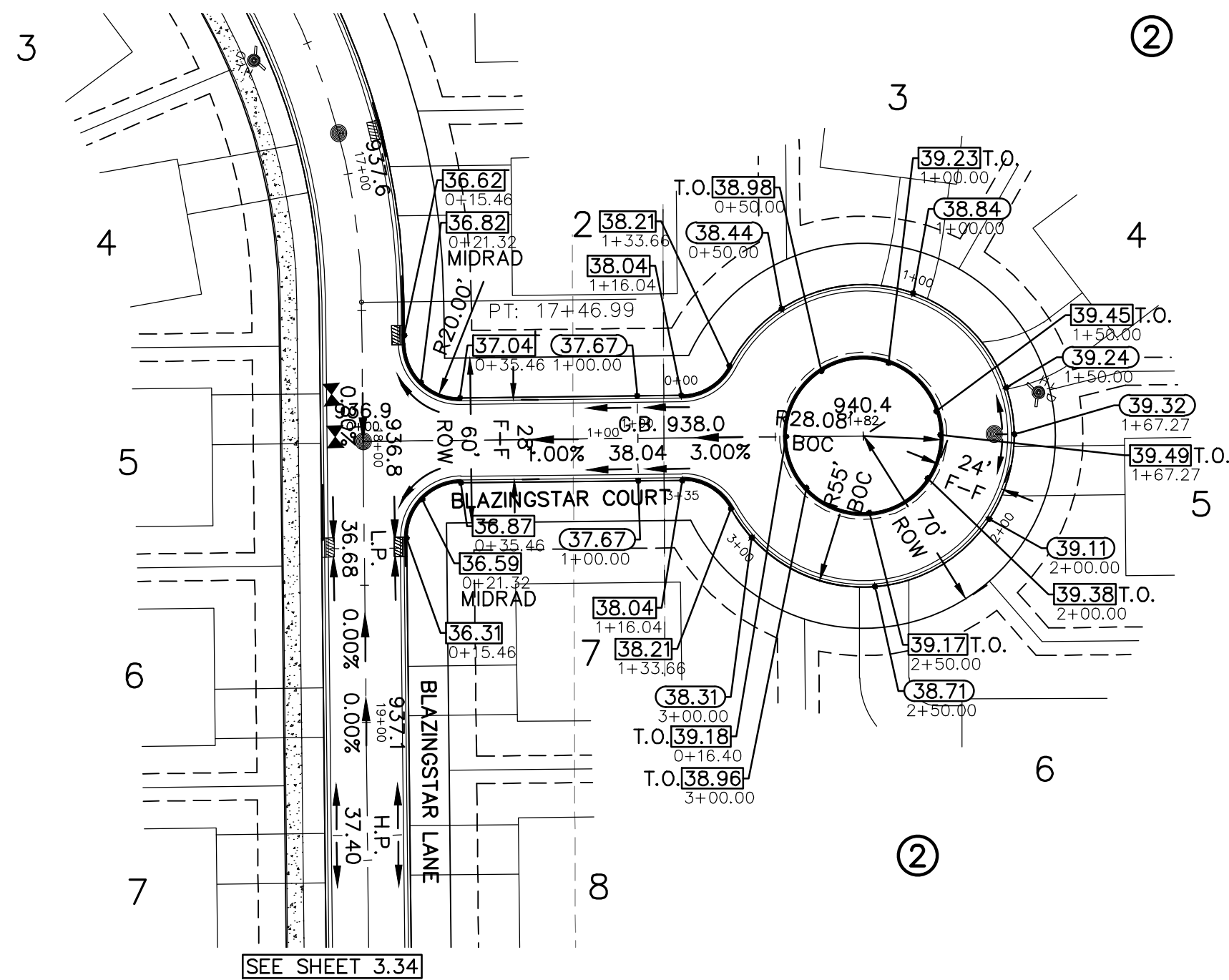
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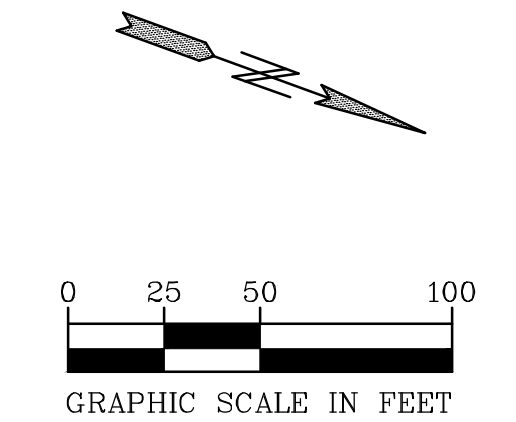
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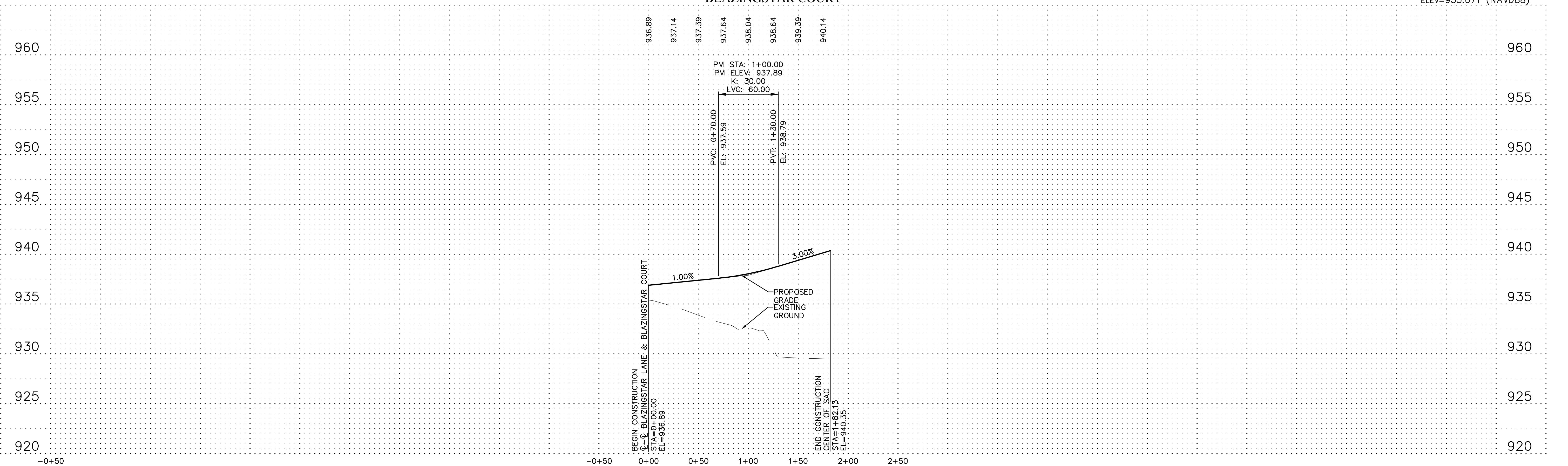
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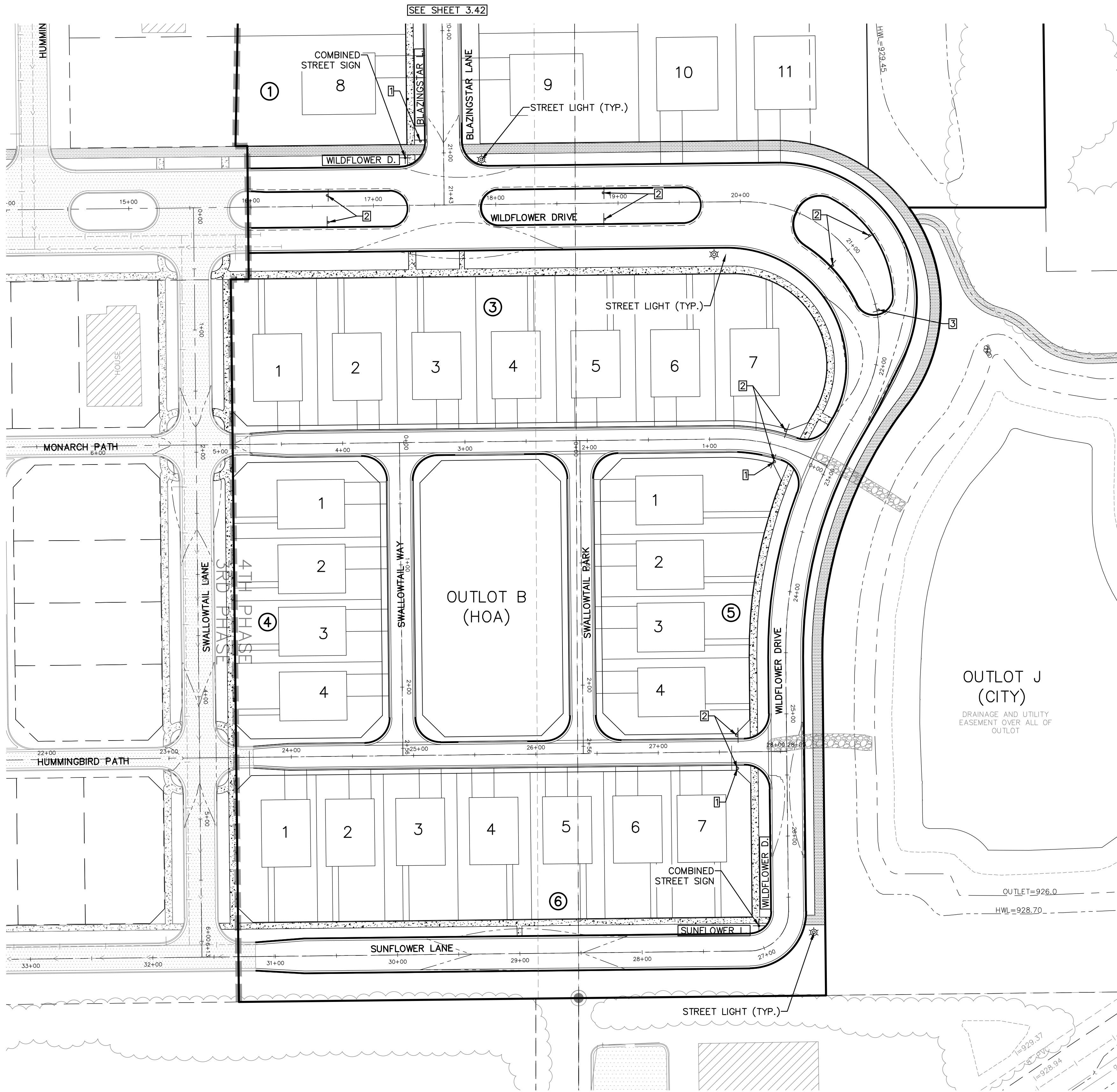


OUTLOT I
(HOA)
DRAINAGE AND UTILITY
EASEMENT OVER ALL OF
OUTLOT I



BENCH MARK
MN/DOT BENCHMARK: S 27
NORTHWEST QUADRANT LAKE
ELMO AVE AND 33RD ST N.
ELEV=935.671 (NAVD88)





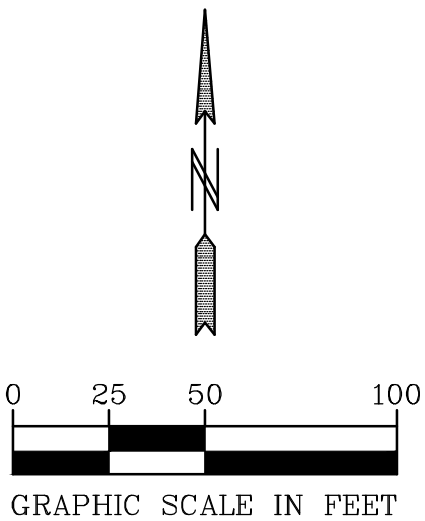
LAKE ELMO SIGNING/PAVEMENT MARKING/LIGHTING NOTES: (STANDARD DRAWING 900A)

1. STREET LIGHTING SHALL BE INSTALLED PER CITY STANDARDS 5 FEET BACK OF CURB IN LOCATIONS SHOWN ON PLAN.
2. ALL SIGNS MUST MEET MMUTCD.
3. ALL SIGN SHEATHING TO BE TYPE IX DIAMOND GRADE (DG3).
4. SIGN POSTS TO BE SQUARE TUBE SIGN STANDARD WITH OMNI BASE.
5. DEVELOPER TO FURNISH AND INSTALL STREET SIGNS PER CITY STANDARDS.
6. POLY PREFORMED PAVEMENT MATERIALS SHALL BE USED FOR ALL PAVEMENT SYMBOLS.
7. EPOXY RESIN AND DROP-ON GLASS BEADS FOR PAVEMENT MARKINGS SHALL MEET THE REQUIREMENTS OF MNDOT "SPECIFICATIONS FOR CONSTRUCTION, 2014 EDITIONS".

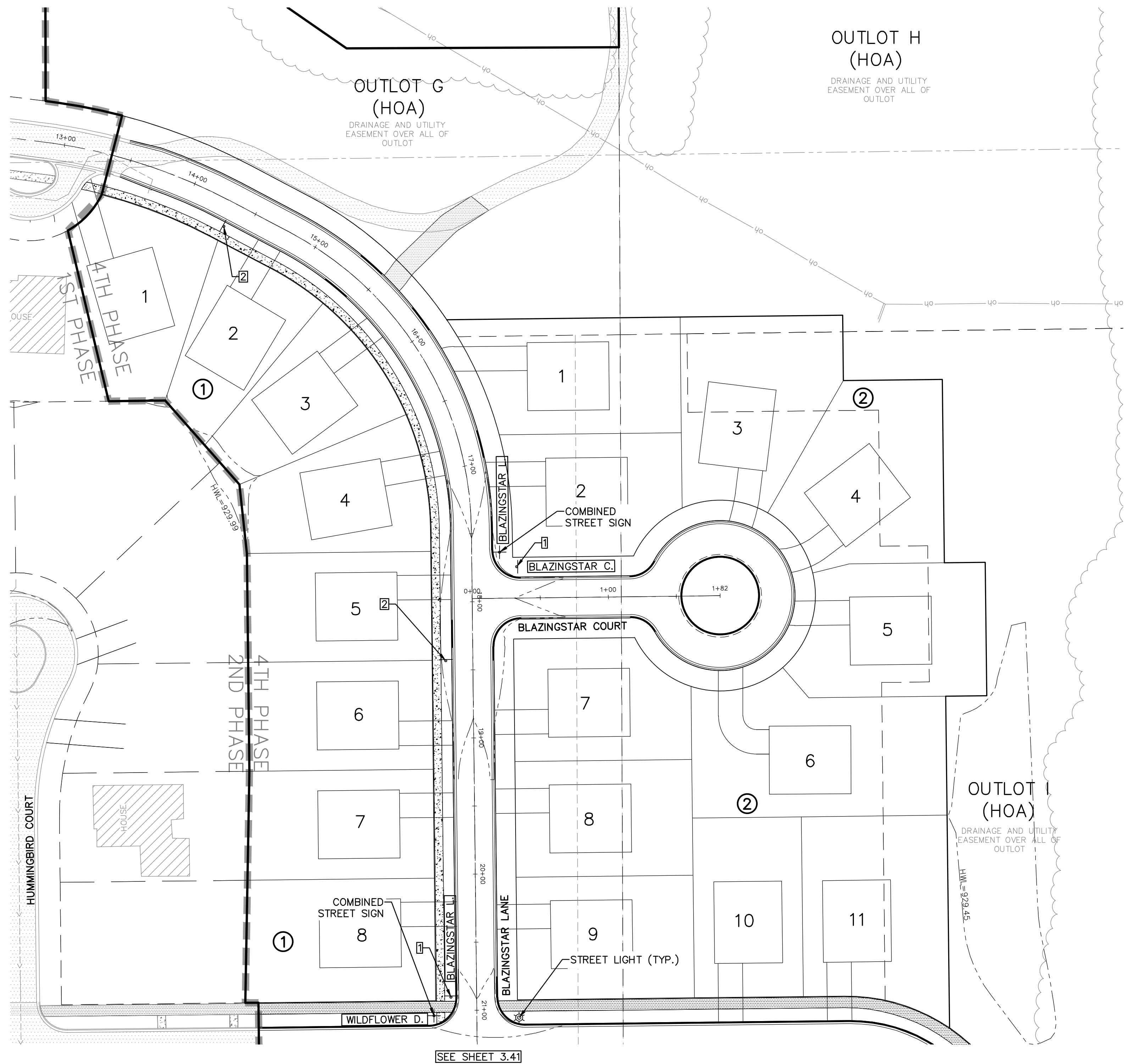
ADDITIONAL NOTES:

1. RESIDENTIAL STREET LIGHTS SHALL BE XCEL ENERGY 100W HPS CALIFORNIA ACORN (BLACK IN COLOR) WITH A 15 FT. ALUMINUM POLE (BLACK IN COLOR).

SIGNAGE LEGEND		
1		R1-1 36"x36"
2		R8-3A 18"x18"
3		R4-7 24"x30"
		X4-2 18"x18"



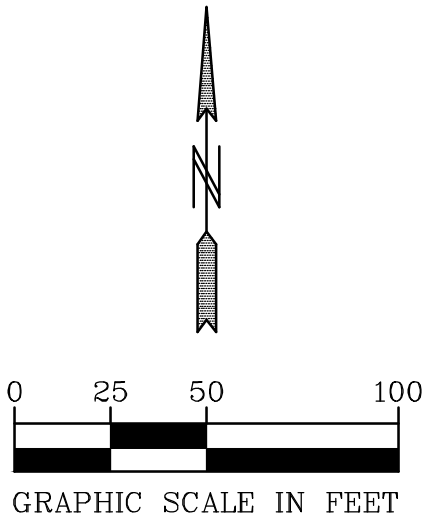
BENCH MARK.
MN/DOT BENCHMARK: S 27
NORTHWEST QUADRANT LAKE
ELMO AVE AND 33RD ST N.
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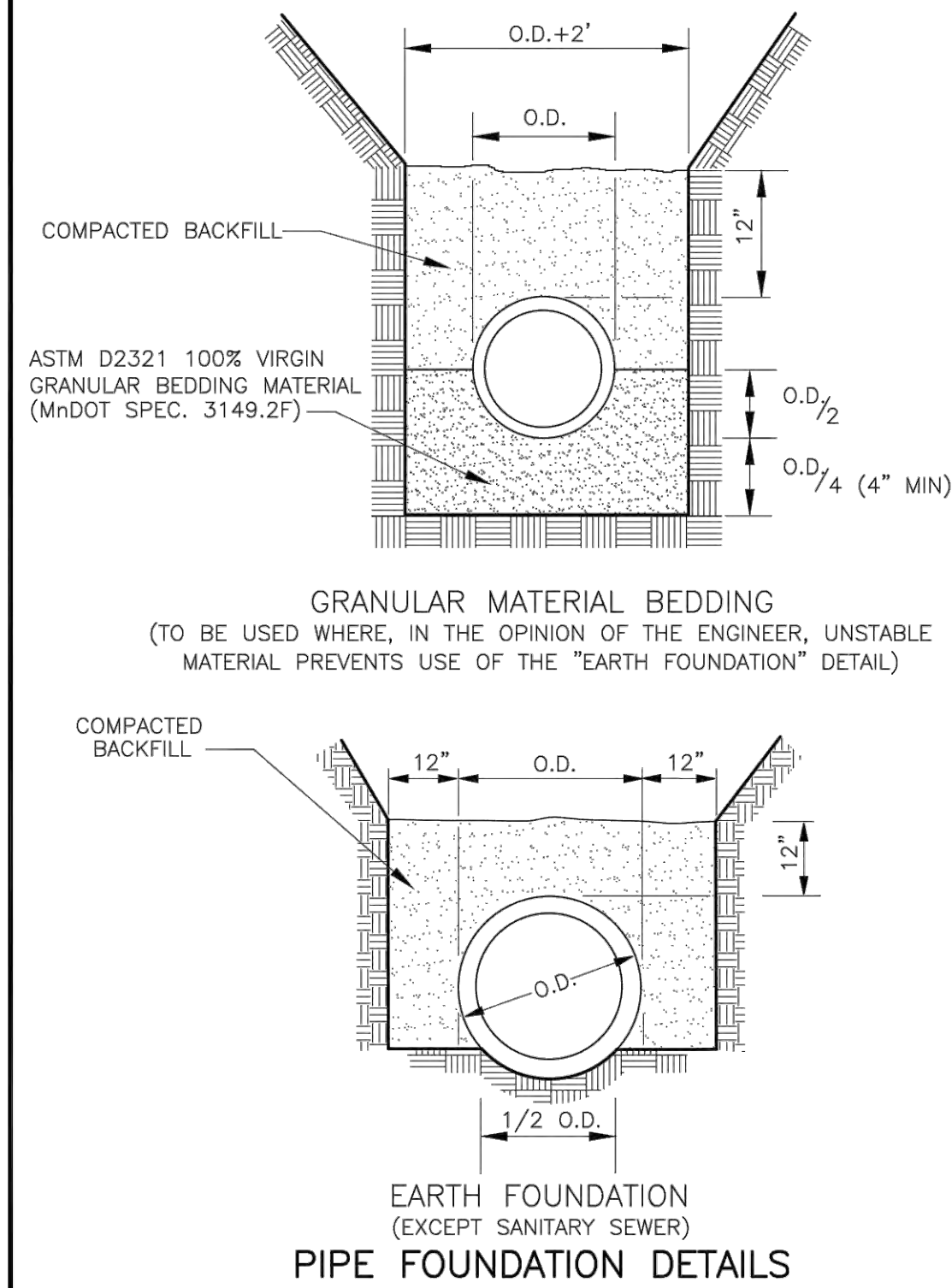
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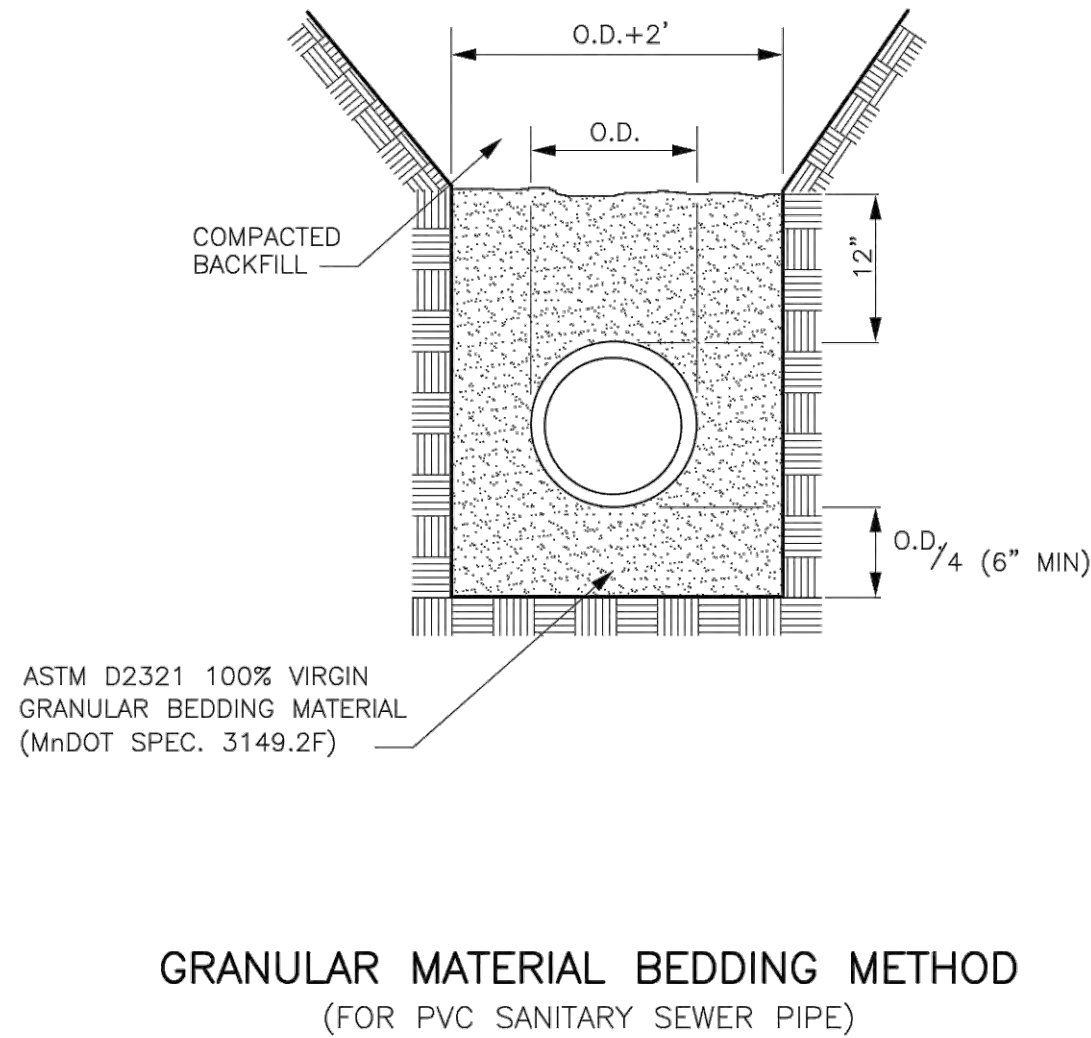
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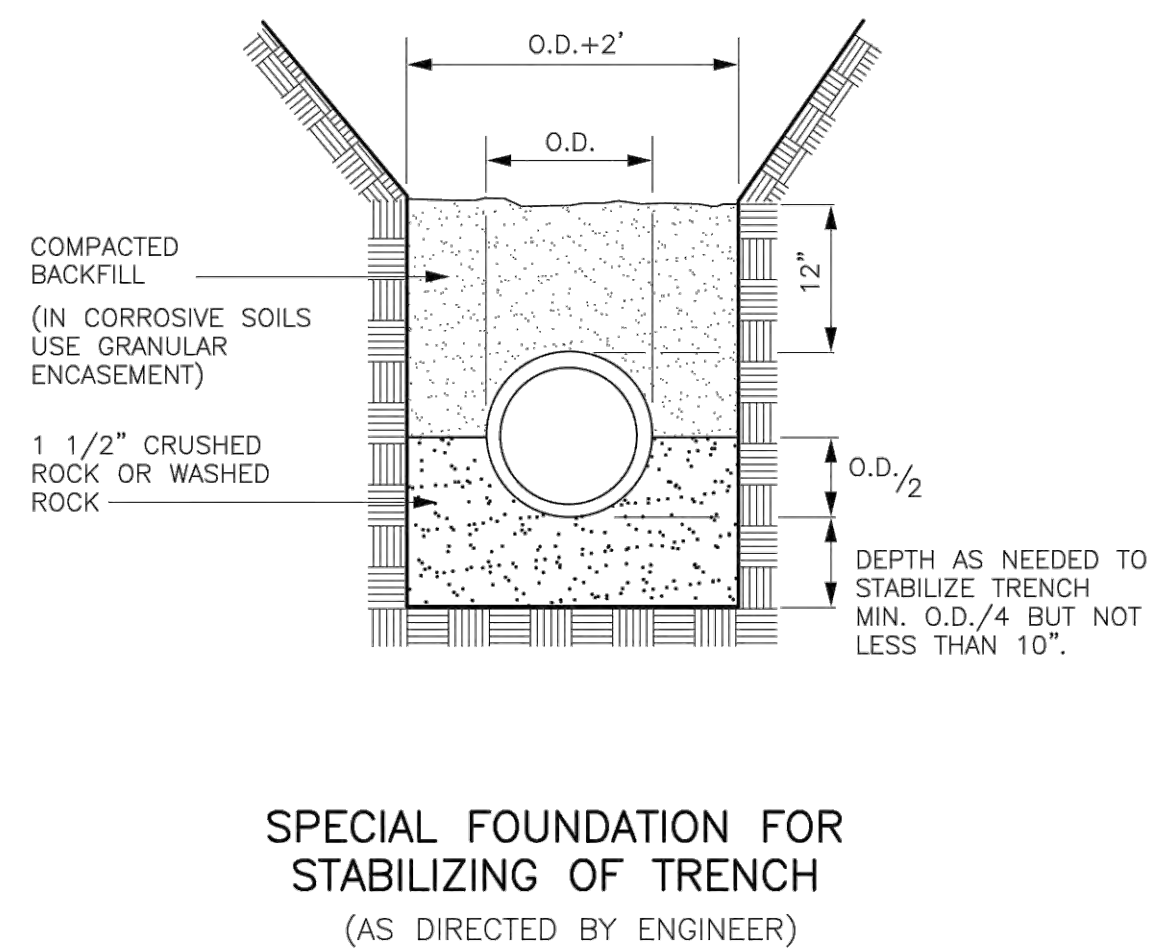
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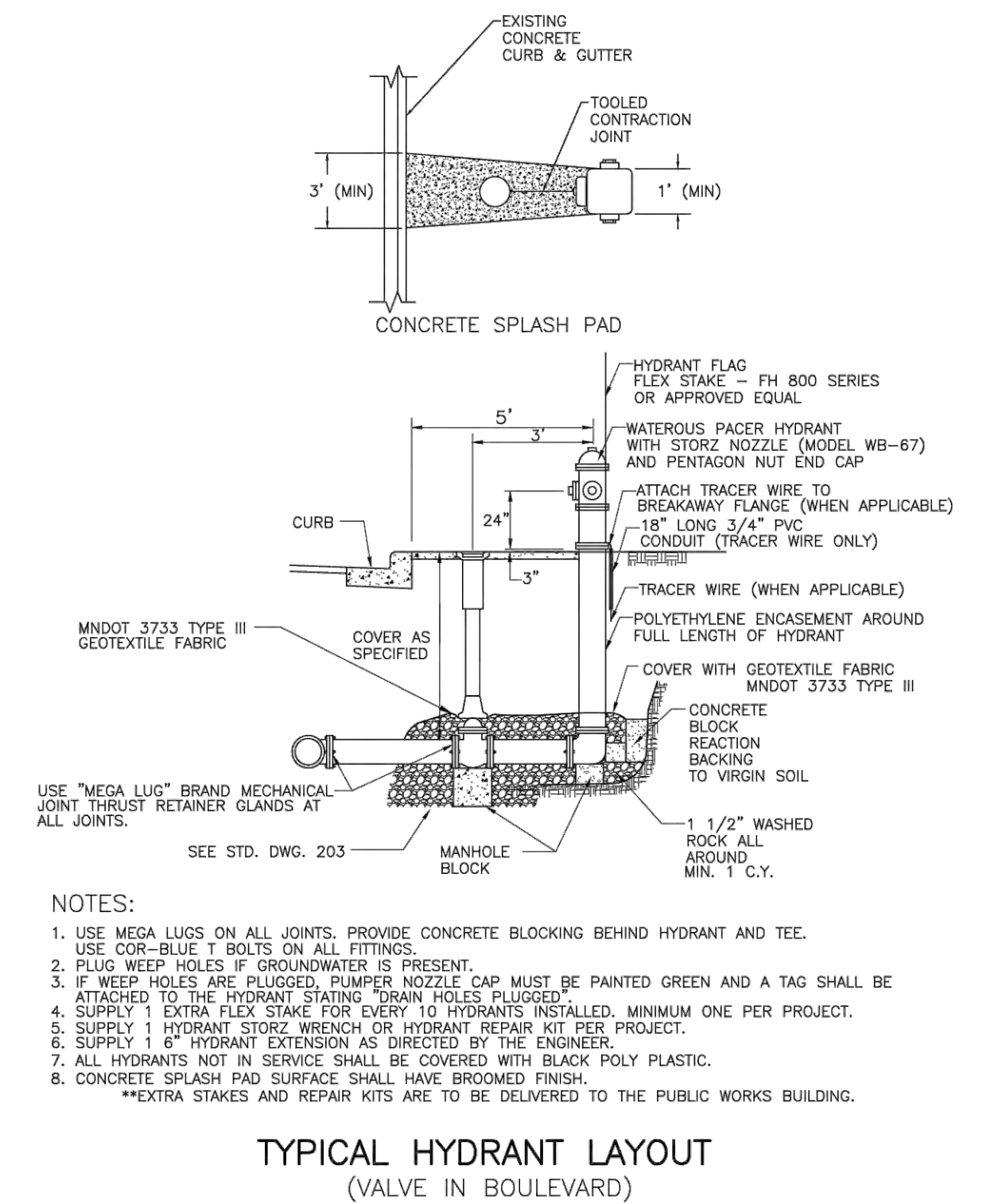
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 CITY OF LAKE ELMO	101 LAKE ELMO



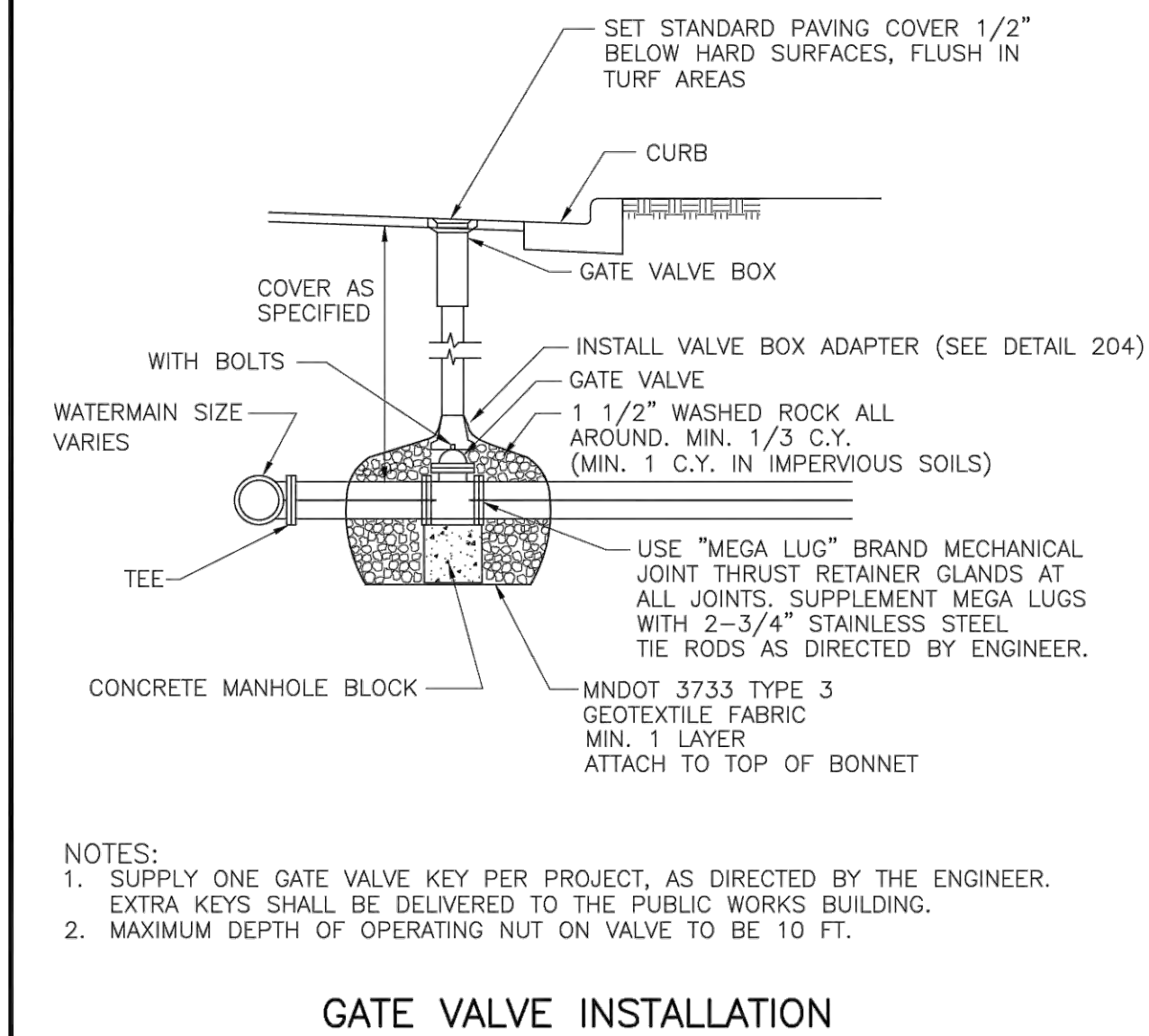
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 CITY OF LAKE ELMO	103 LAKE ELMO



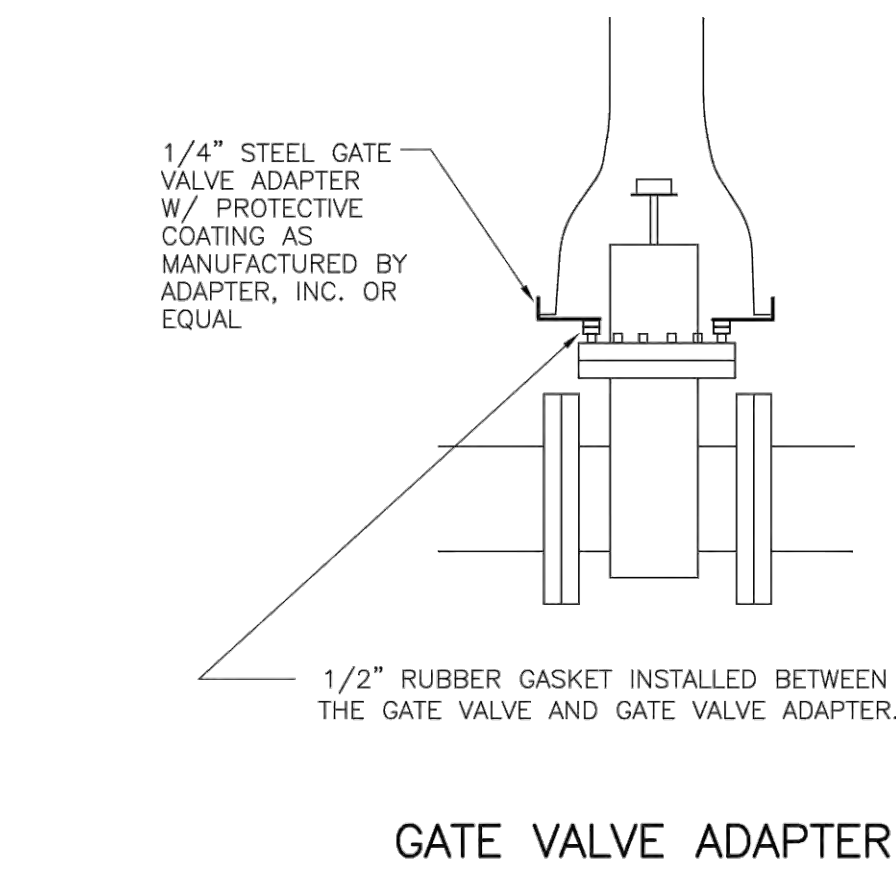
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 CITY OF LAKE ELMO	105 LAKE ELMO



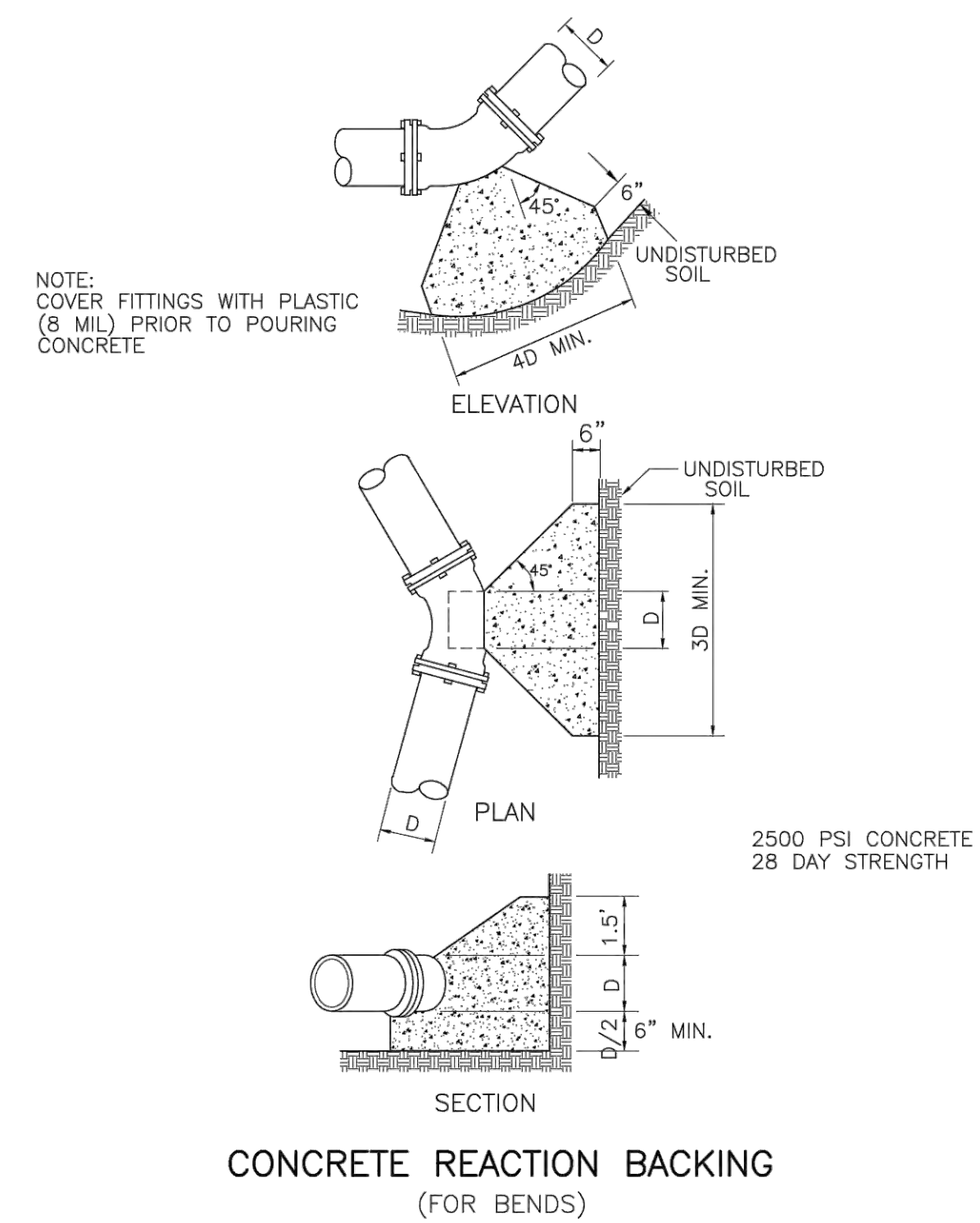
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 CITY OF LAKE ELMO	201 LAKE ELMO



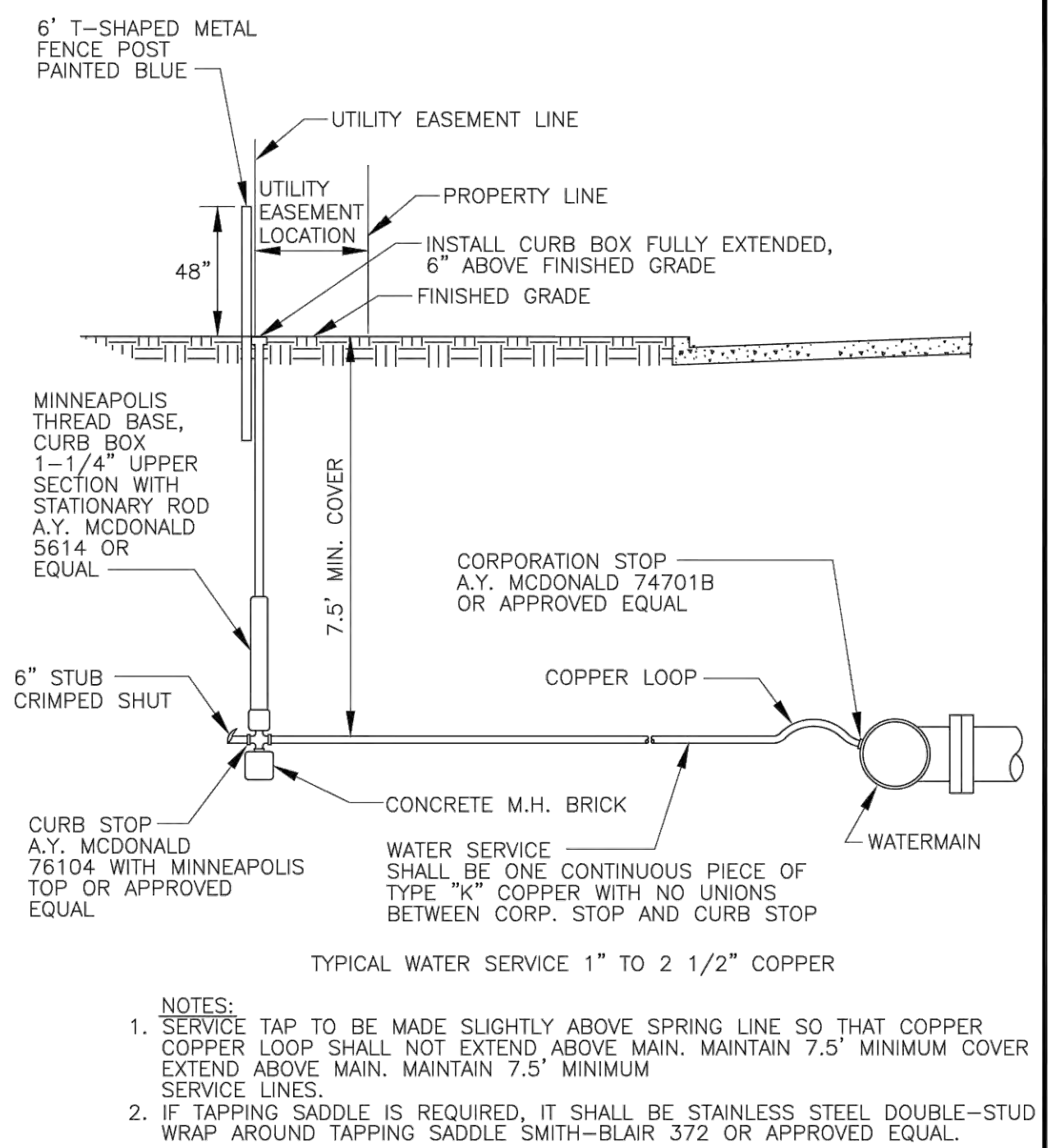
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 CITY OF LAKE ELMO	203 LAKE ELMO



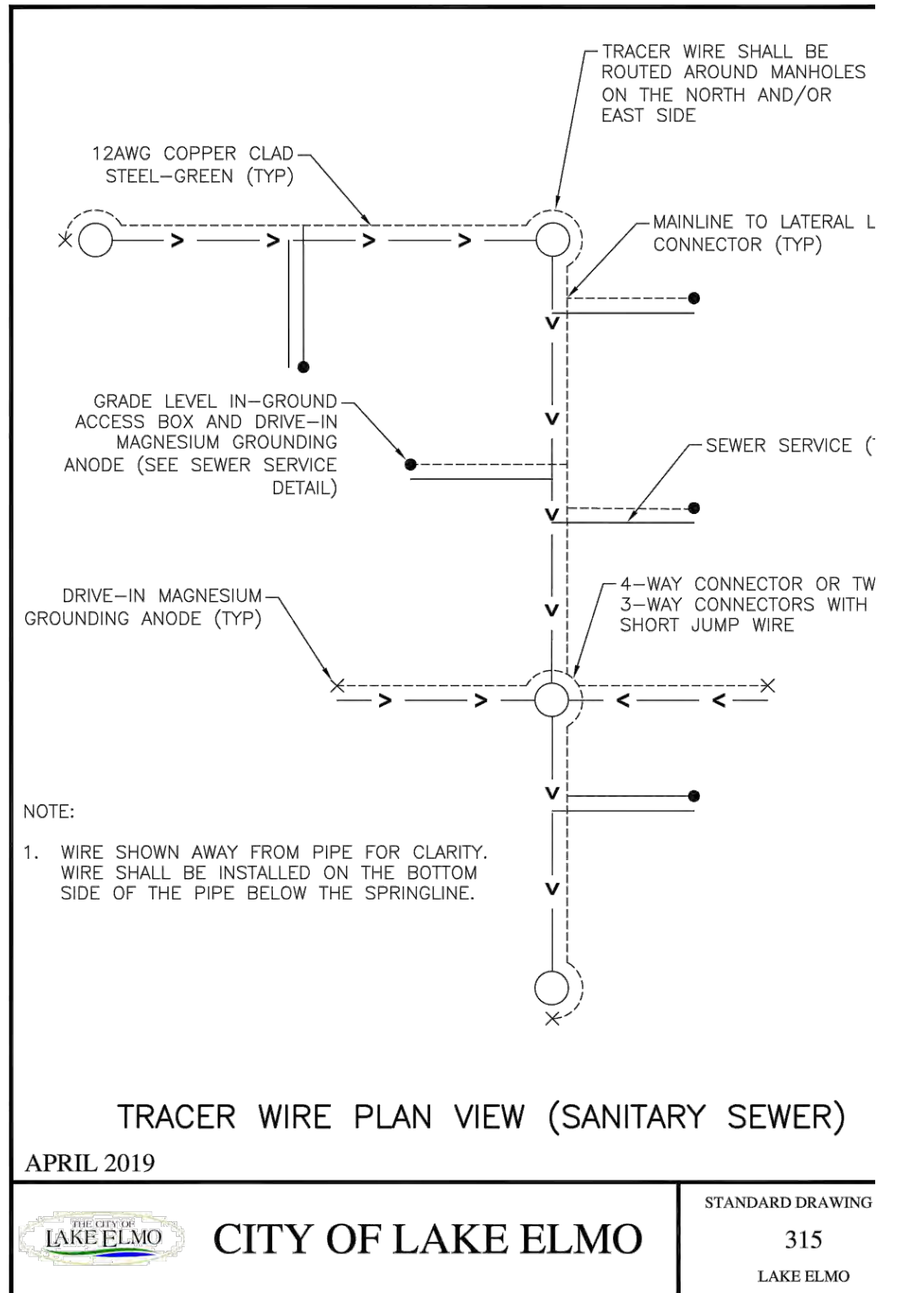
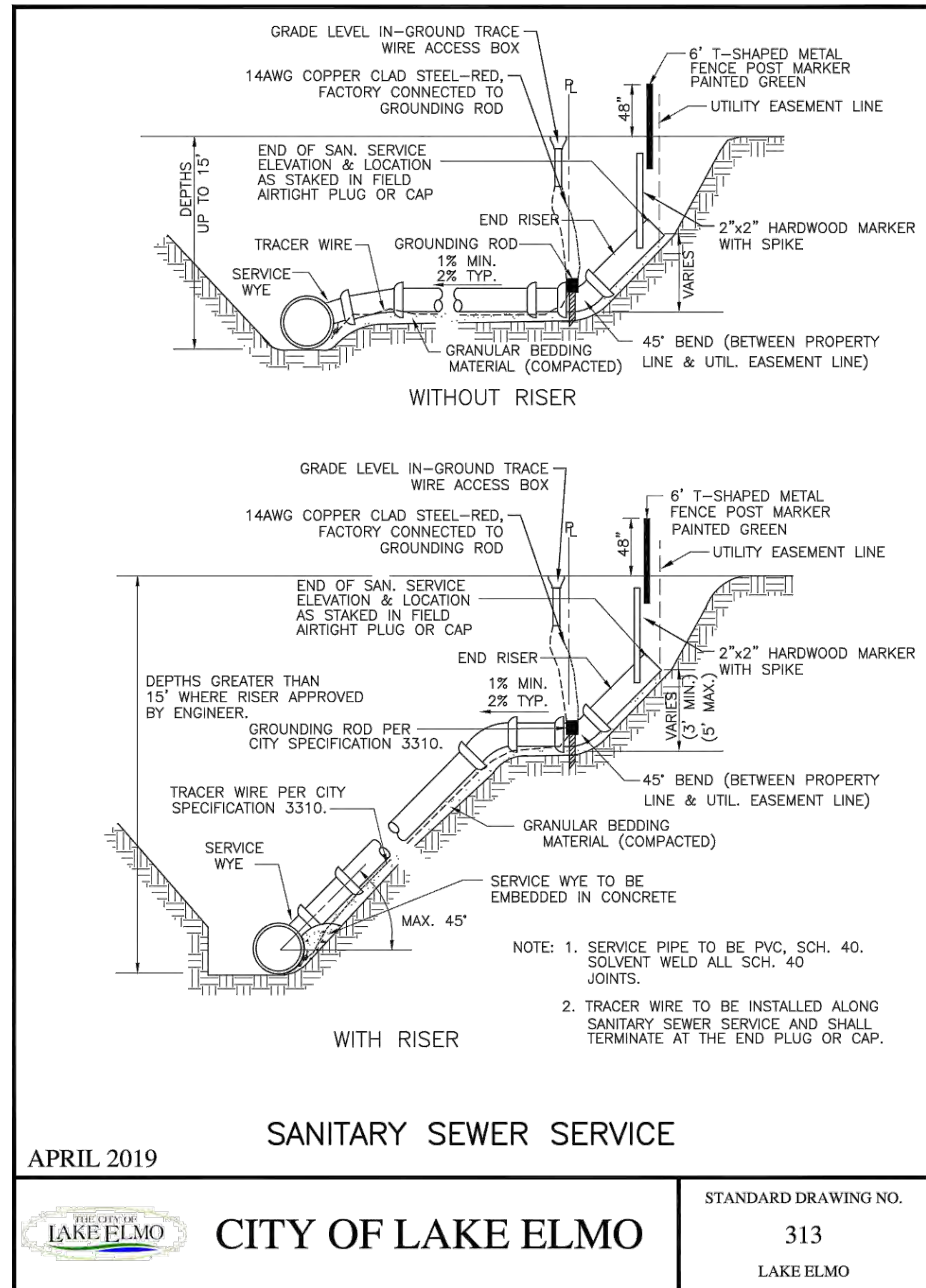
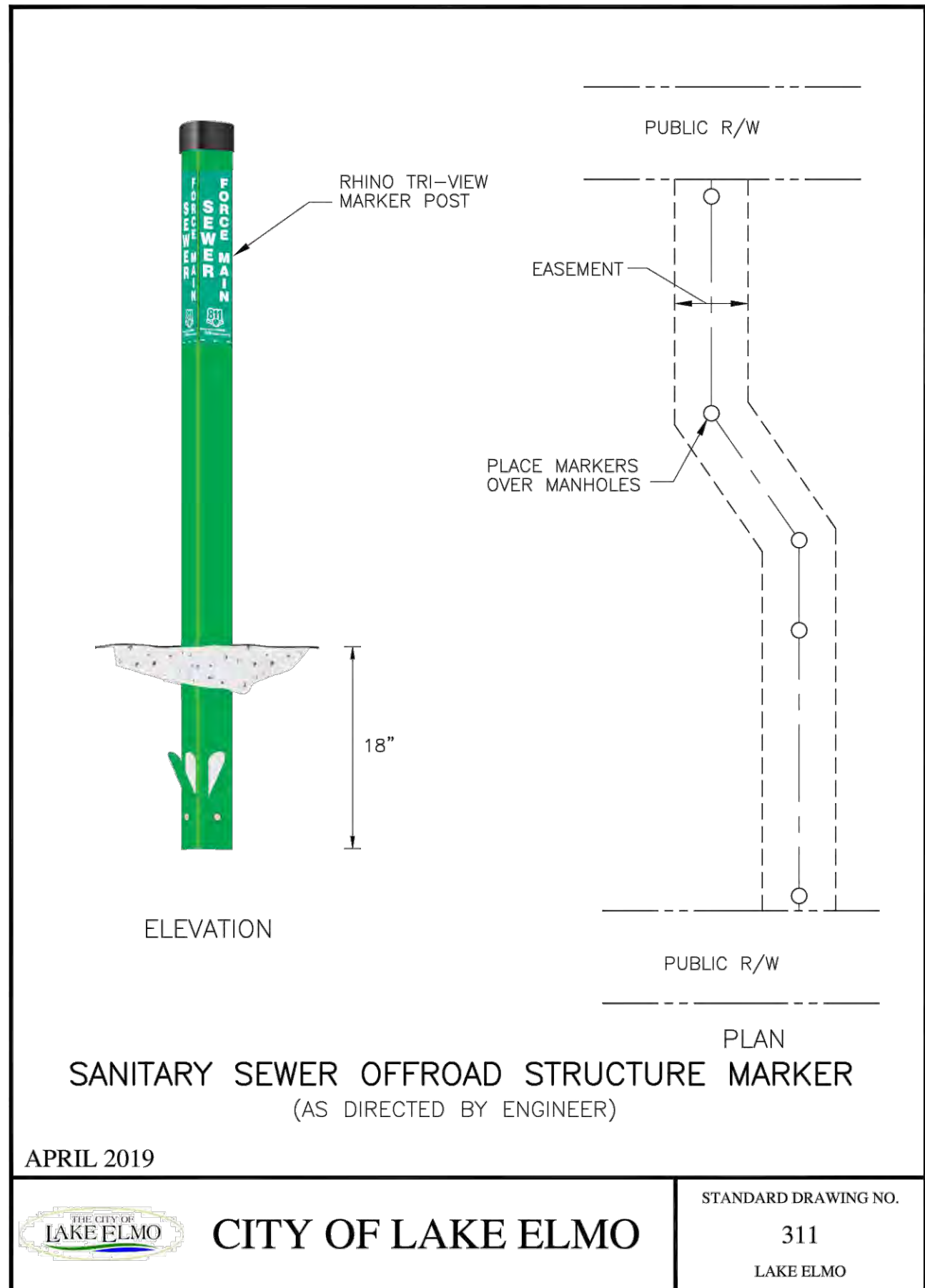
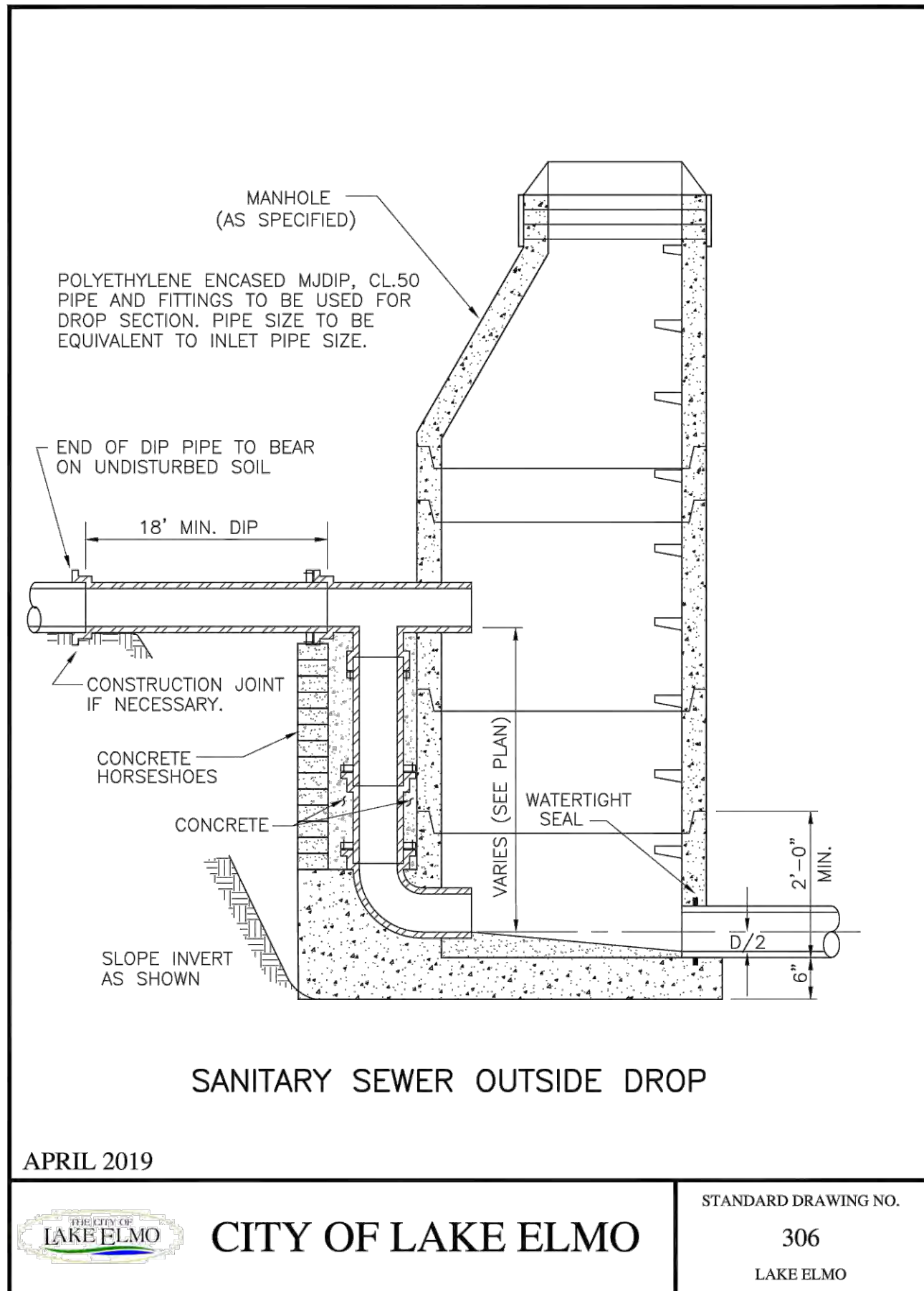
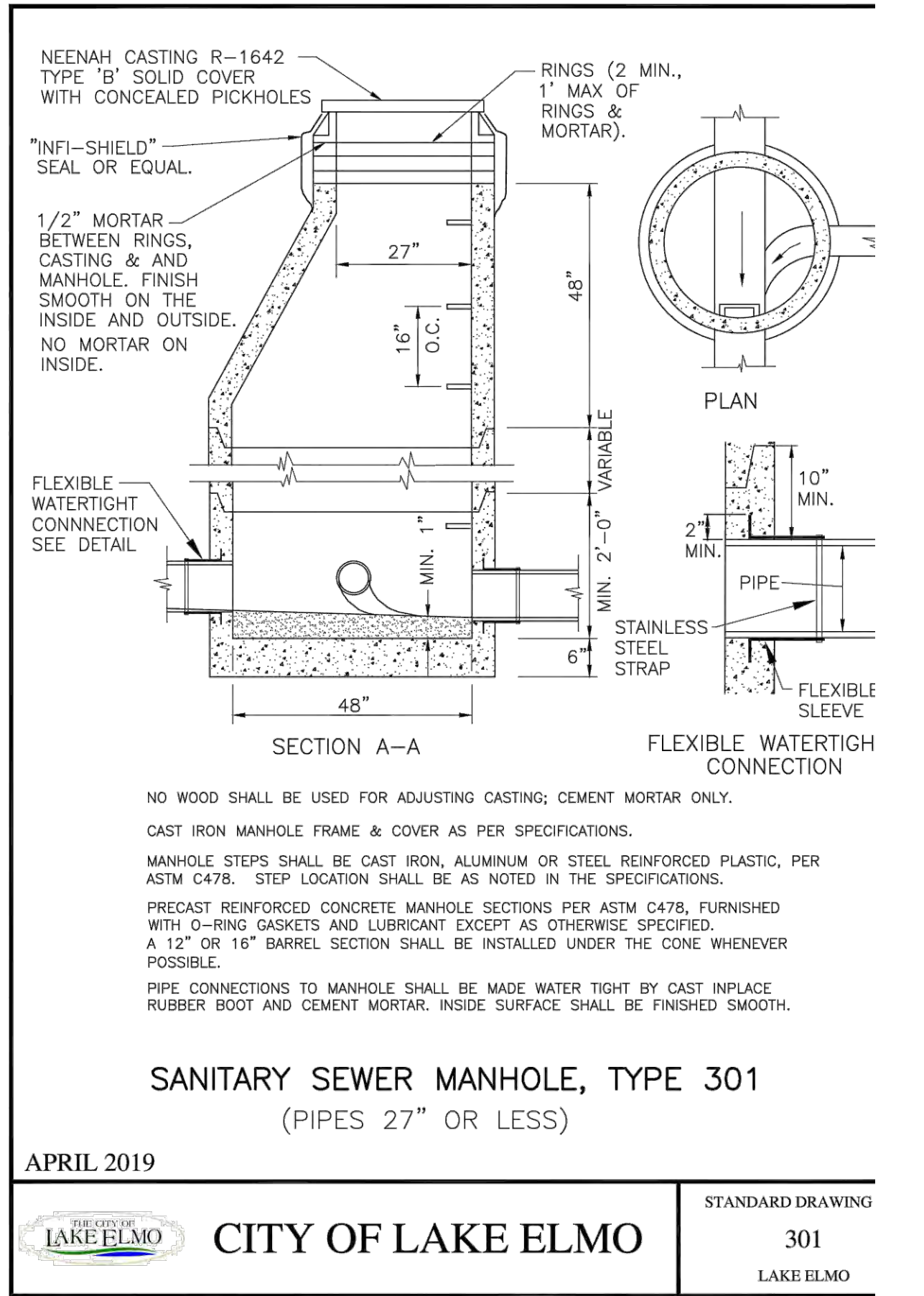
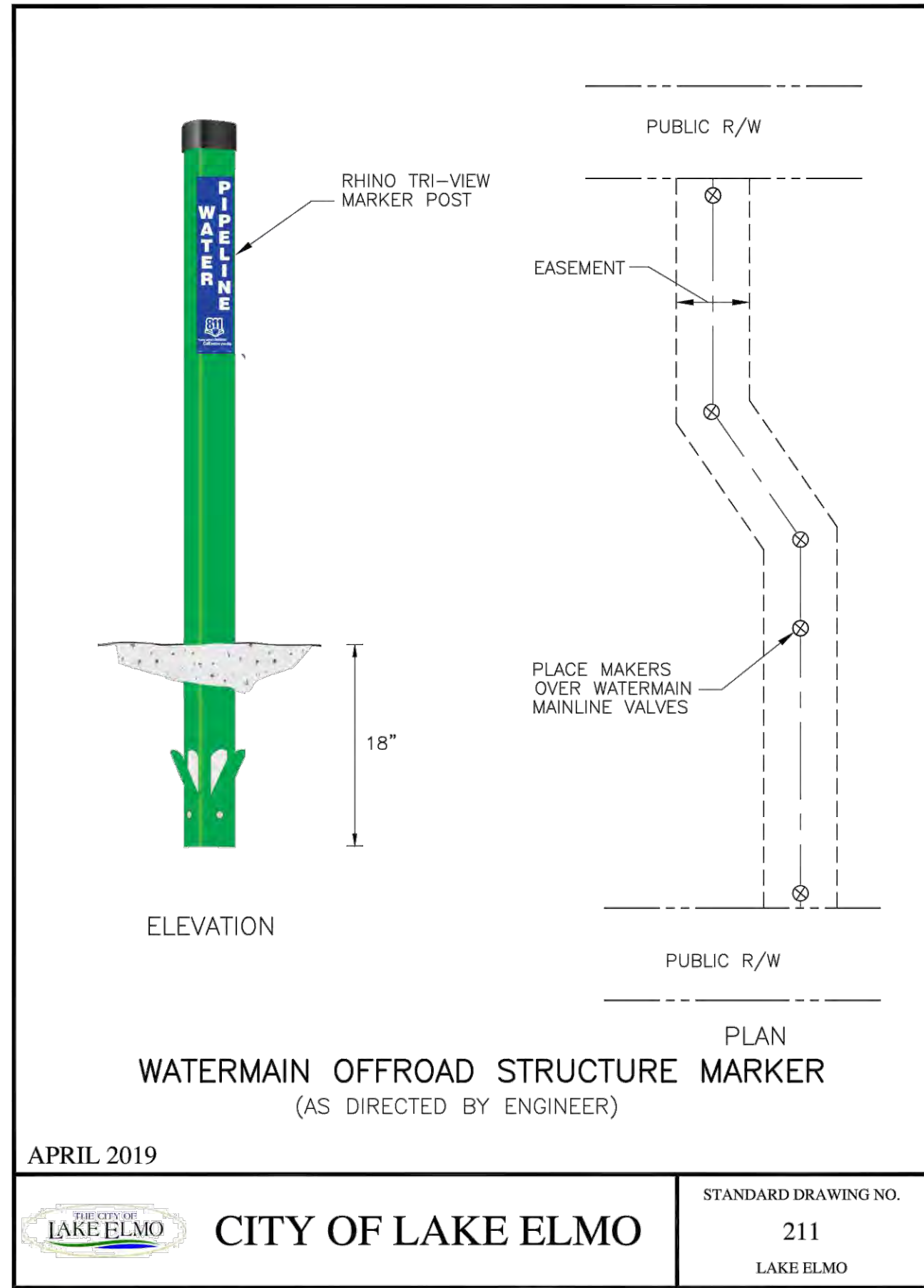
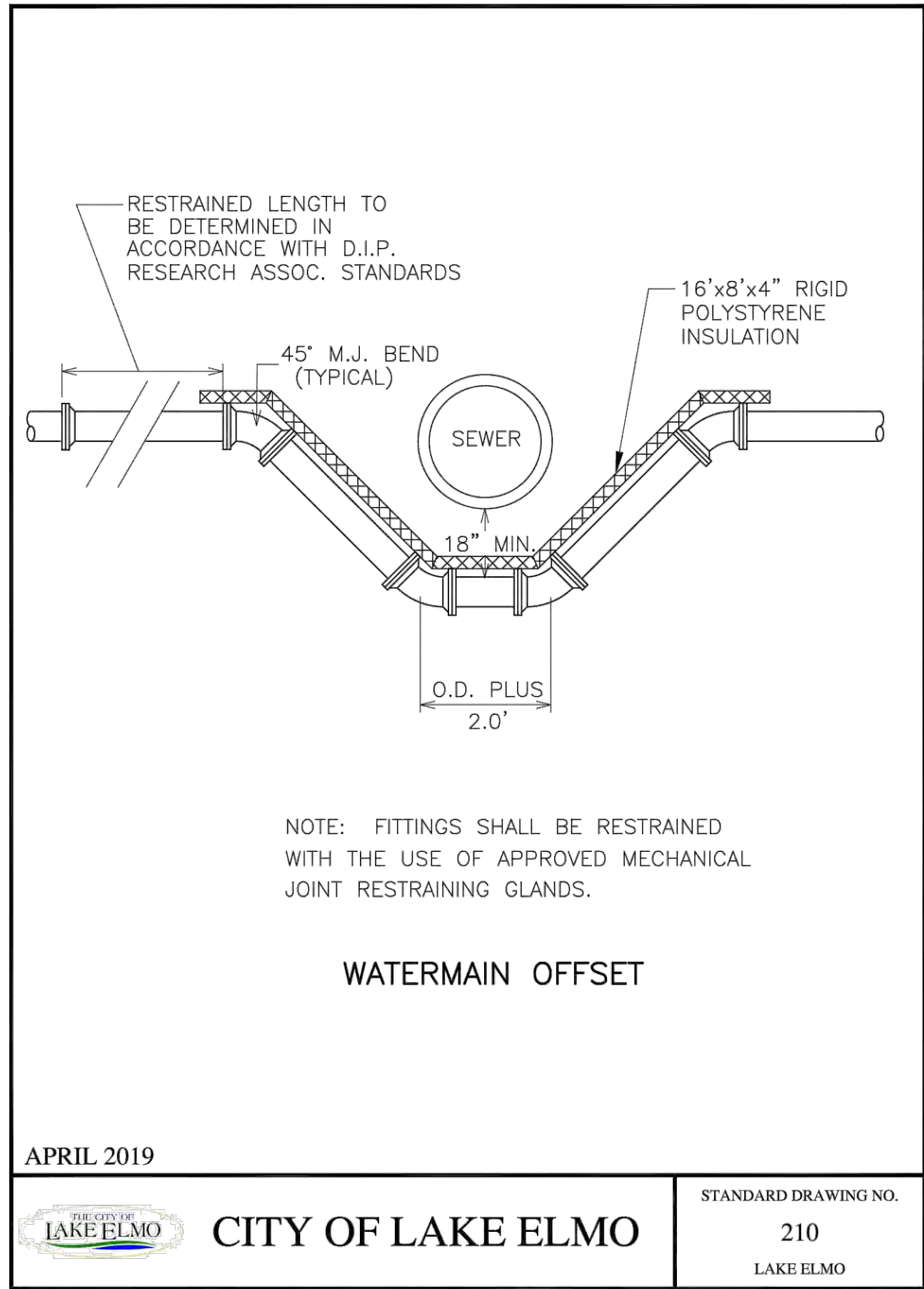
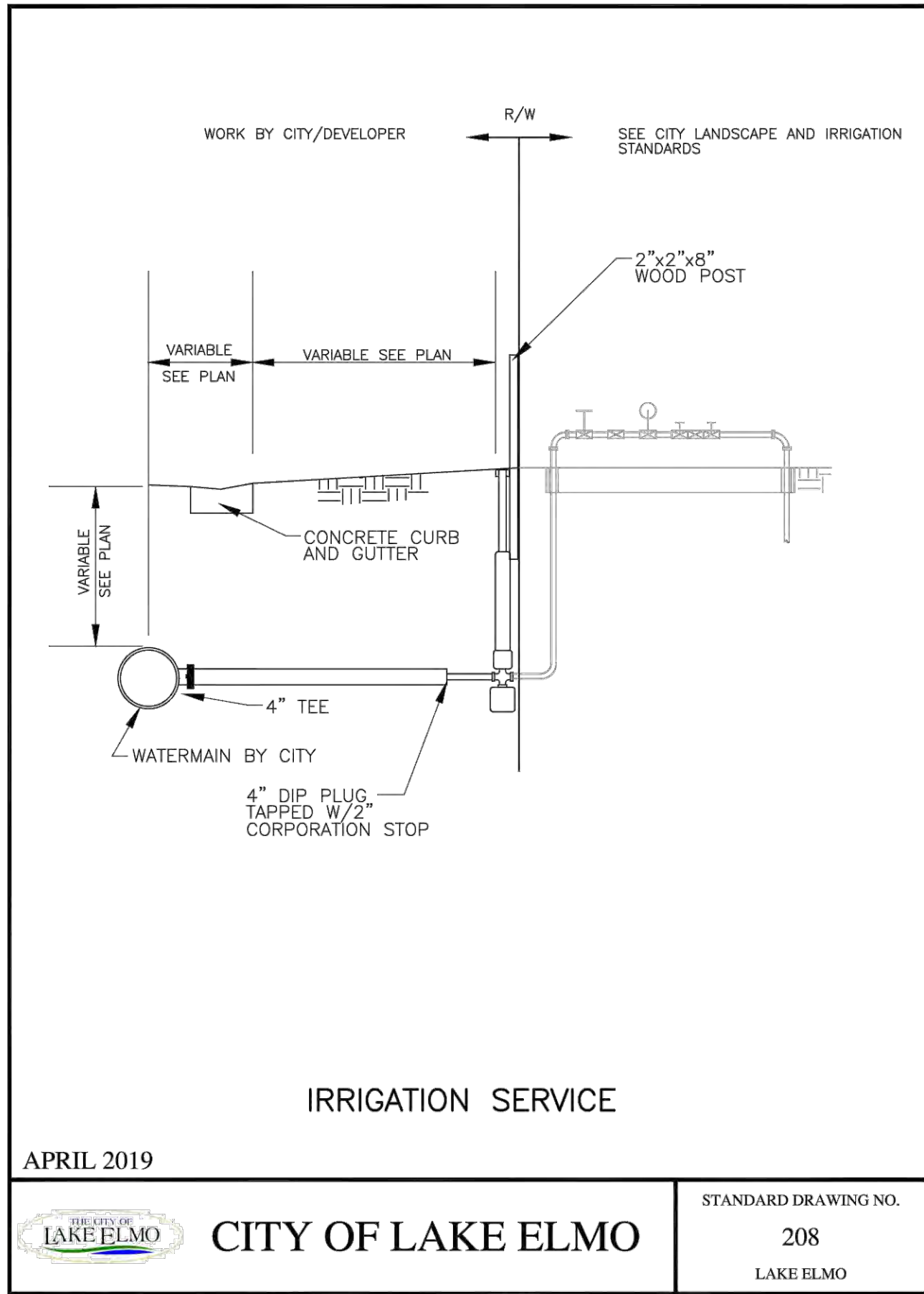
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 CITY OF LAKE ELMO	204 LAKE ELMO

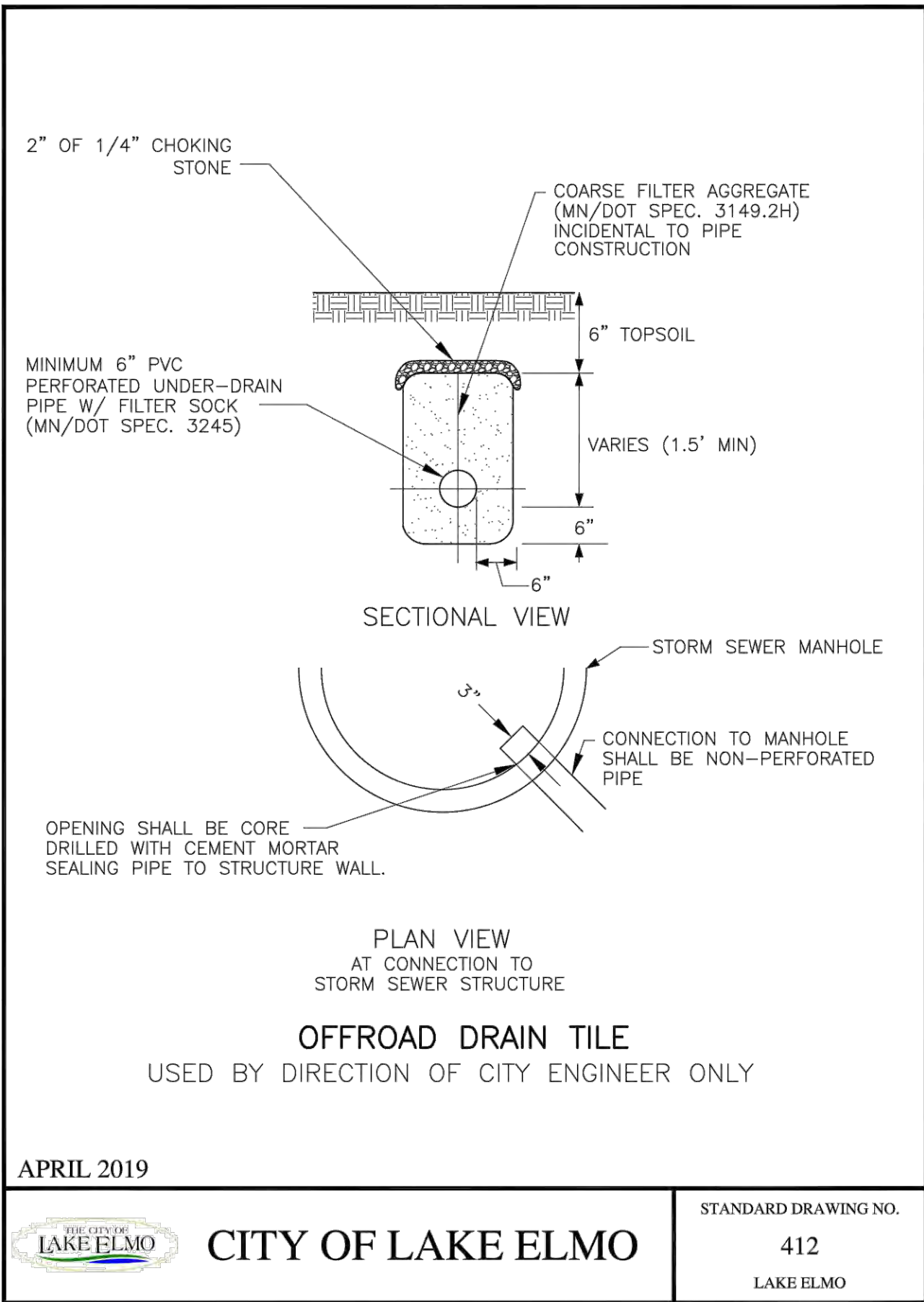
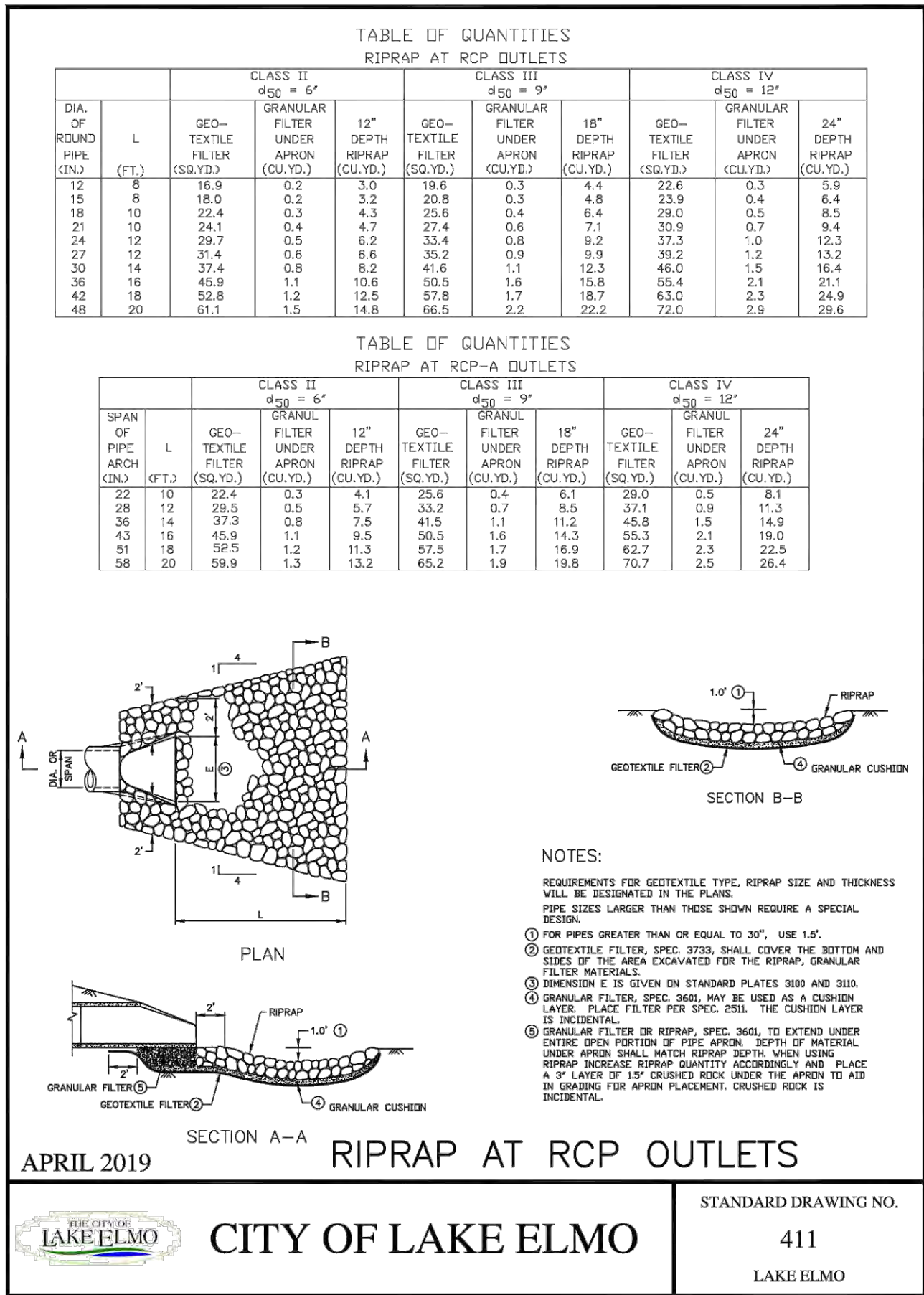
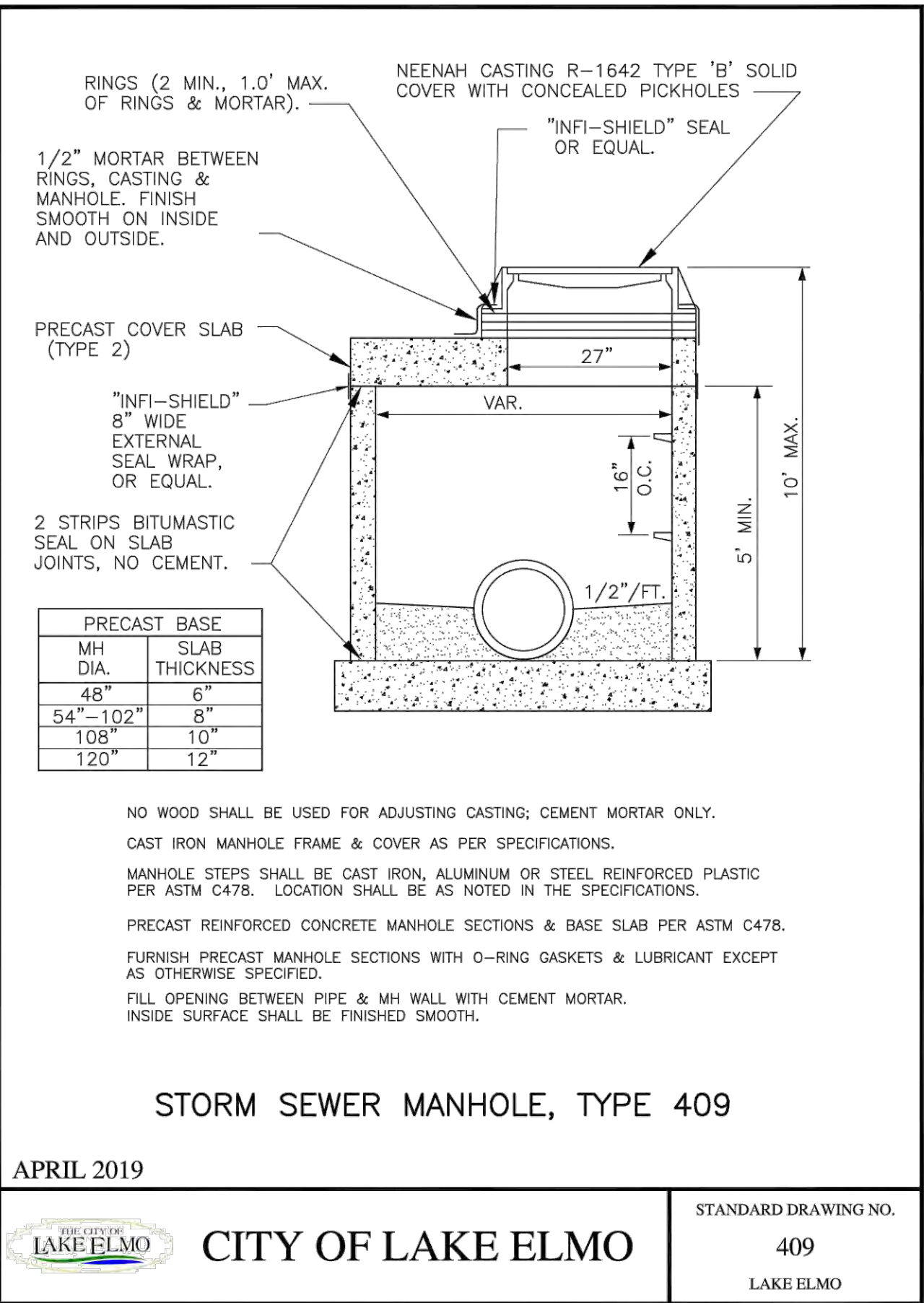
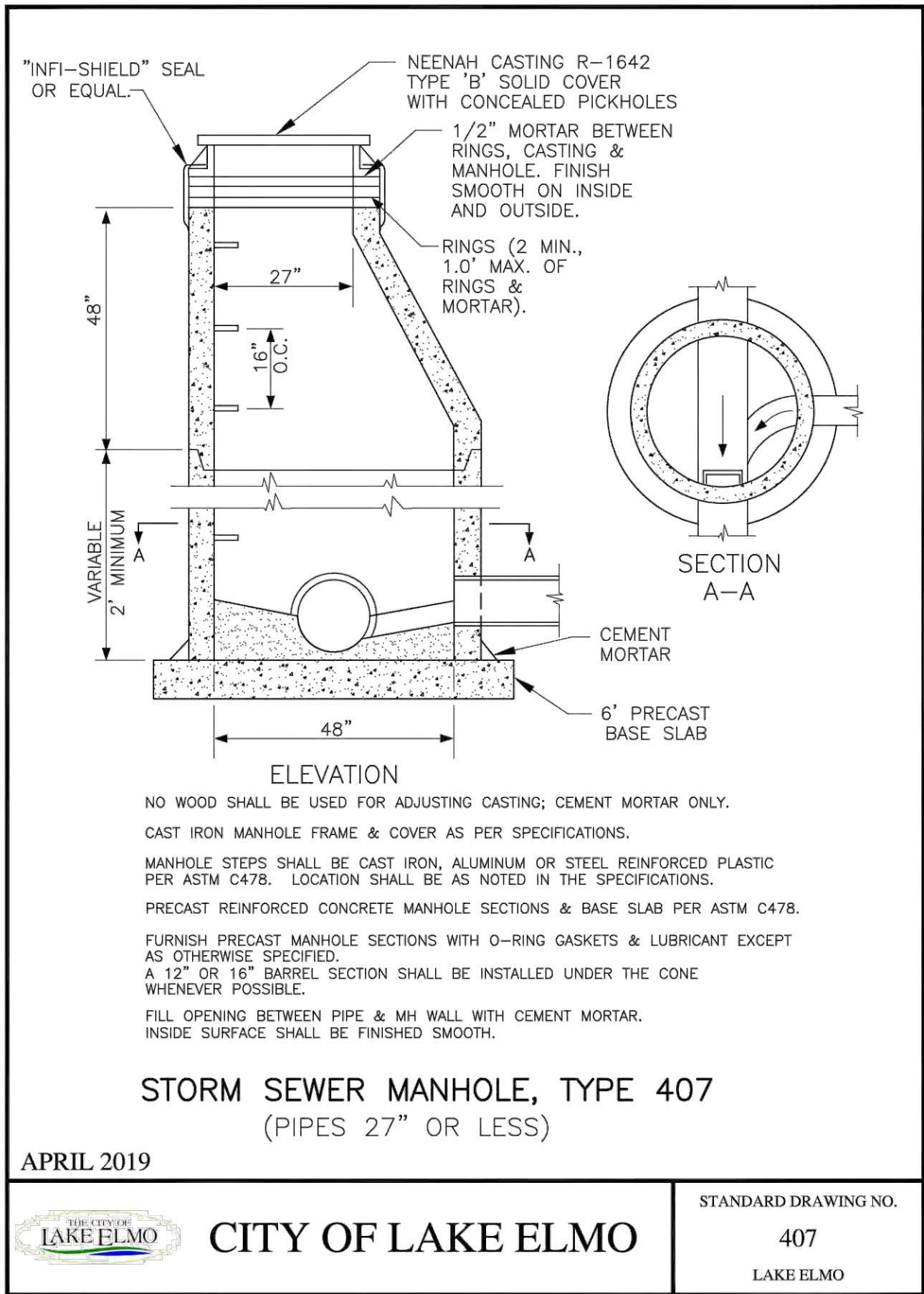
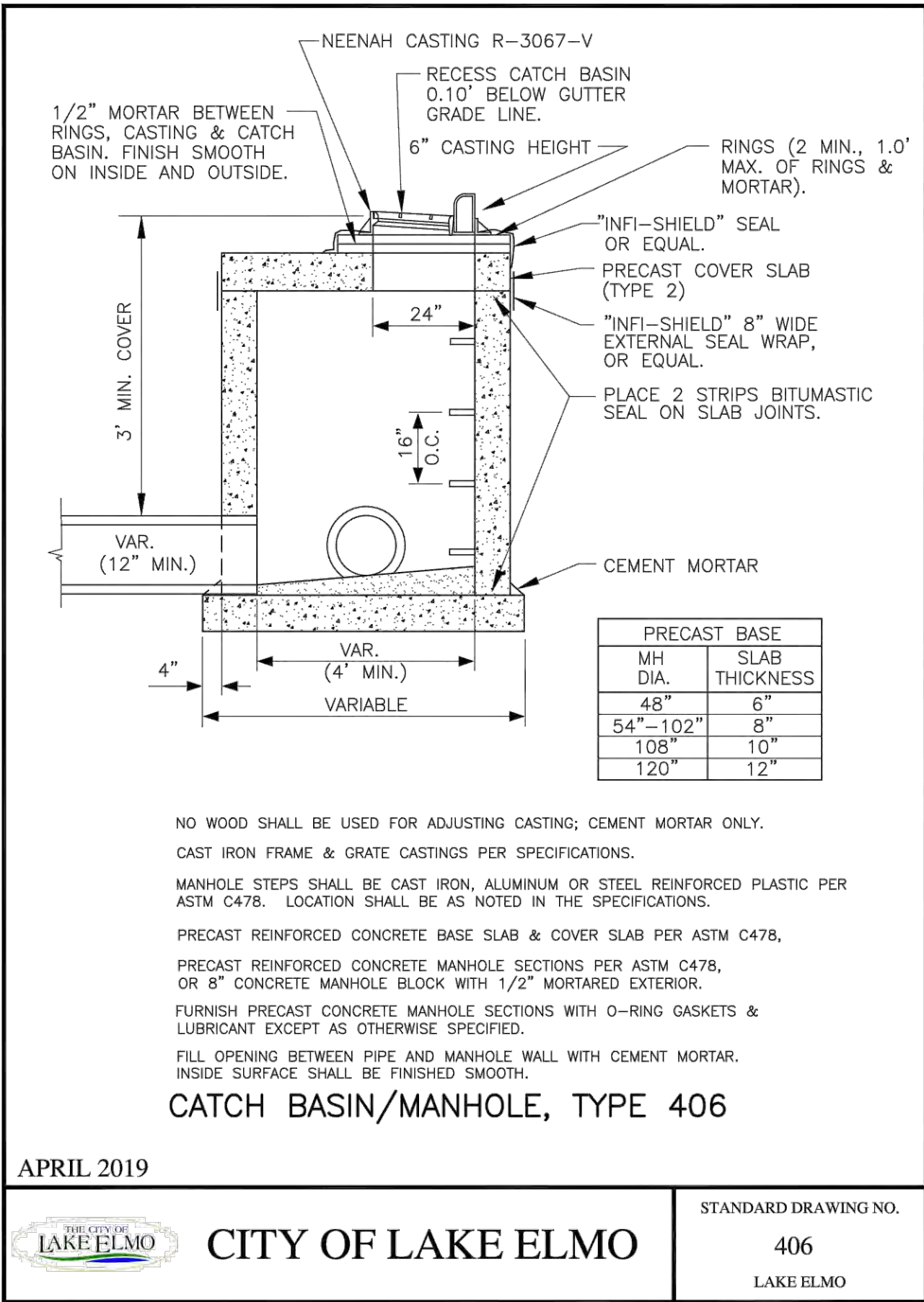
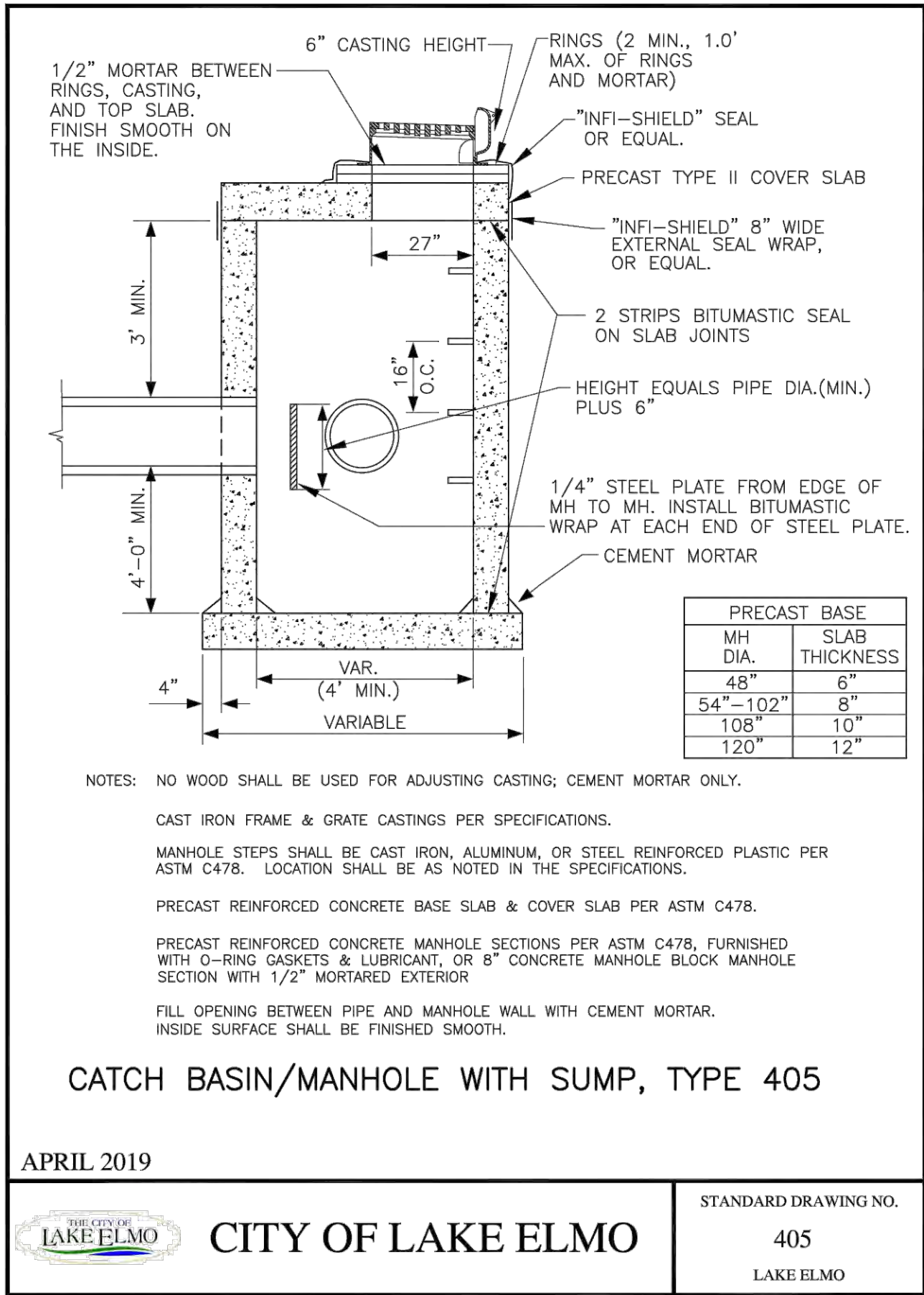
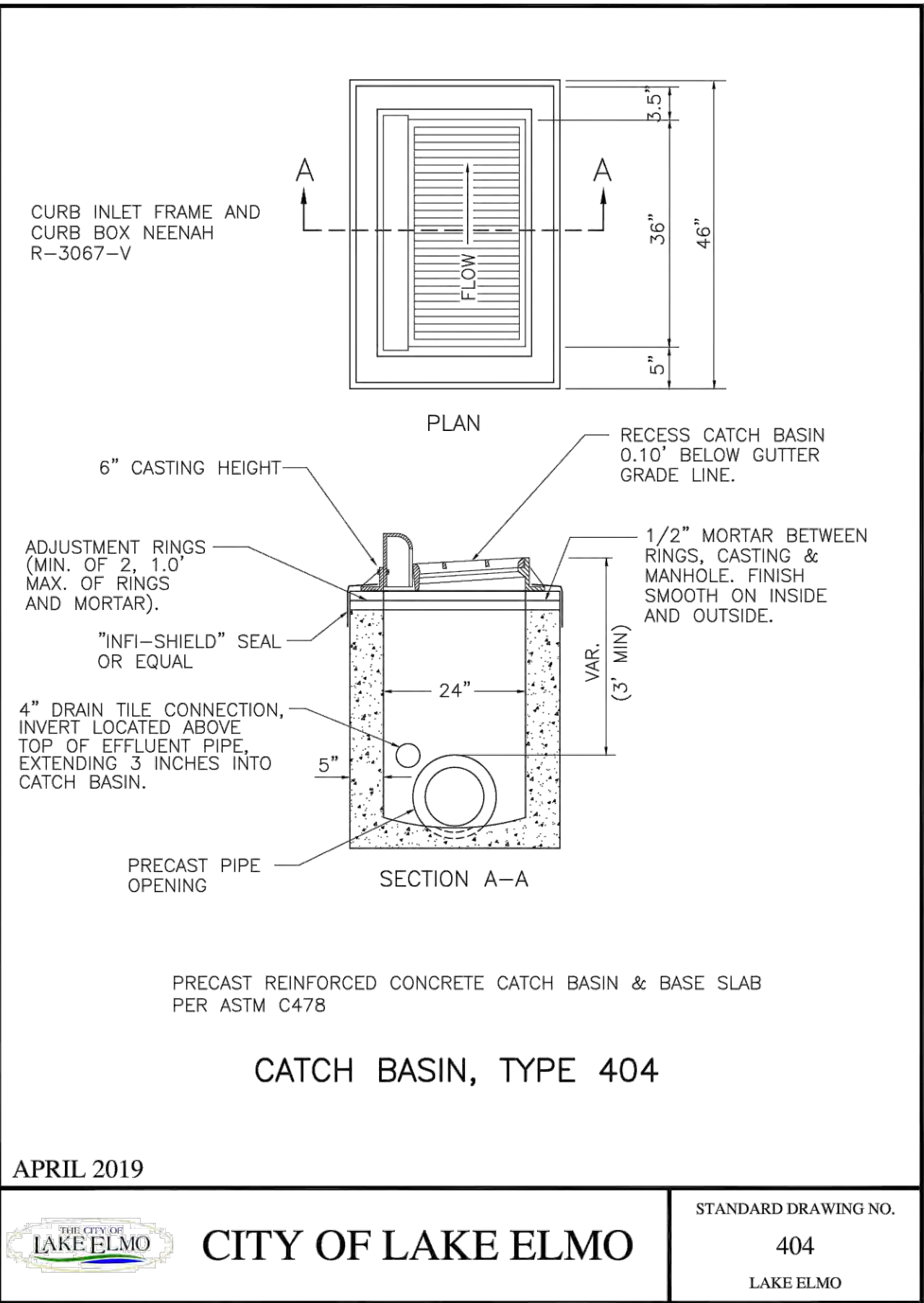
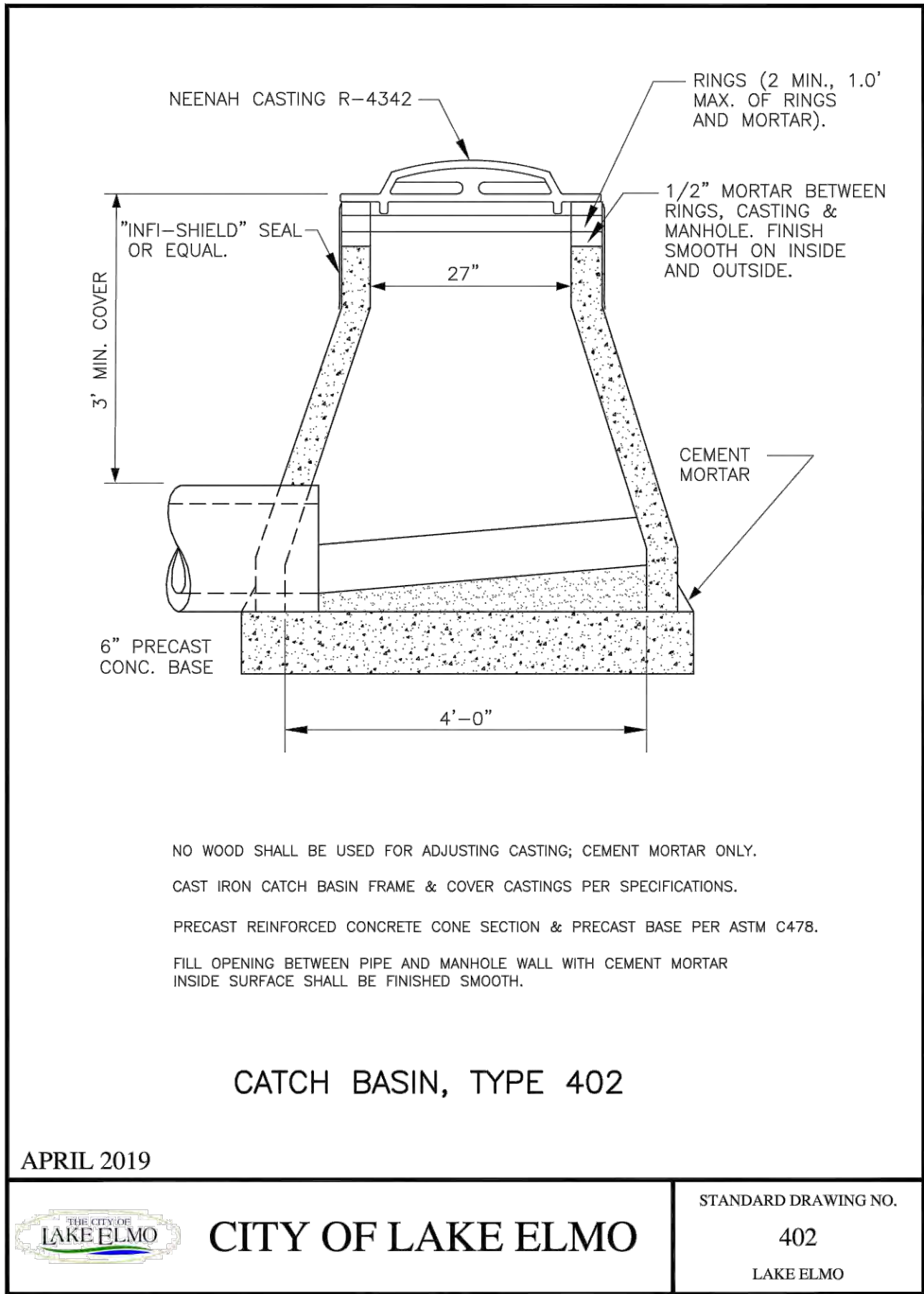


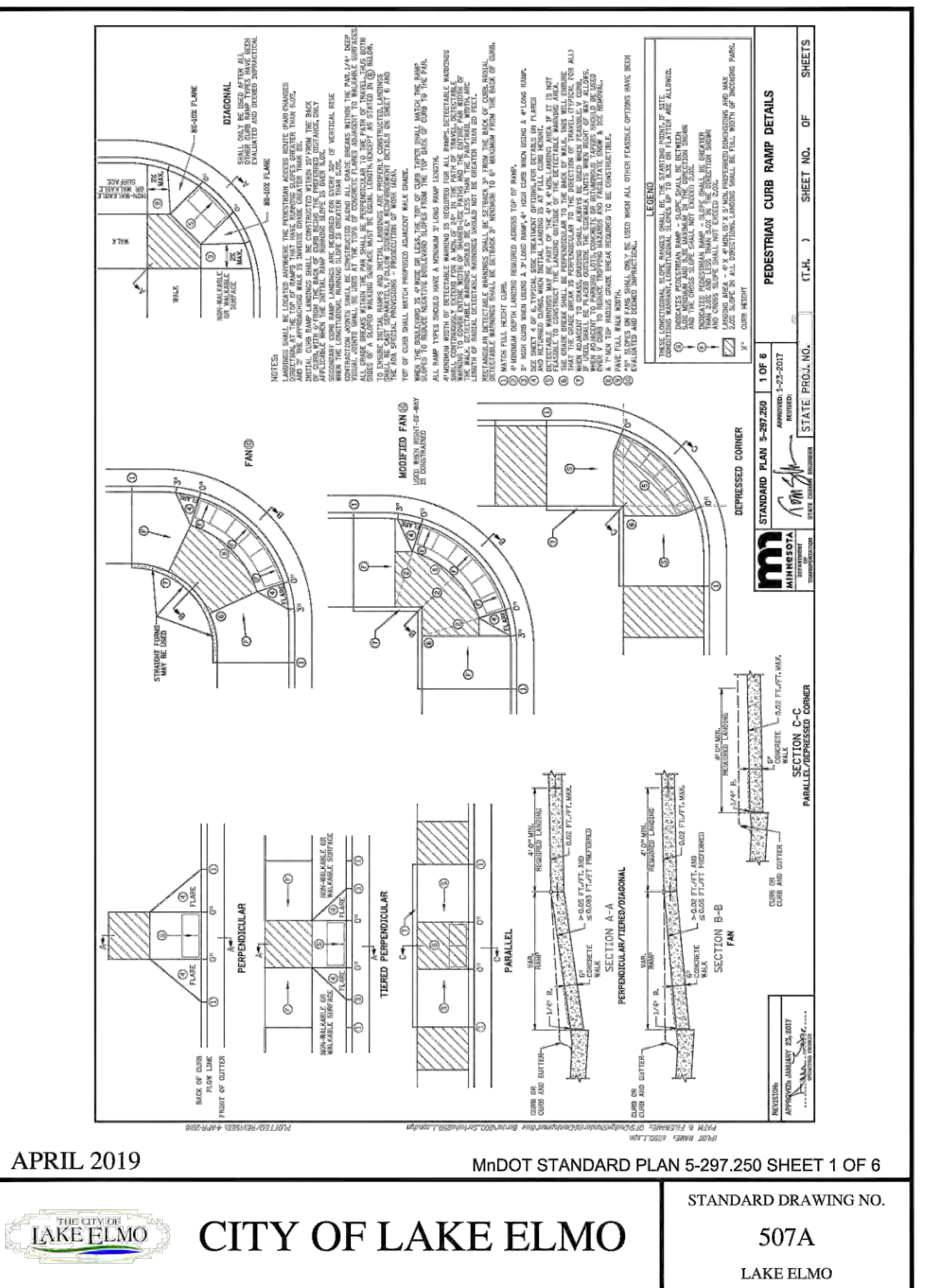
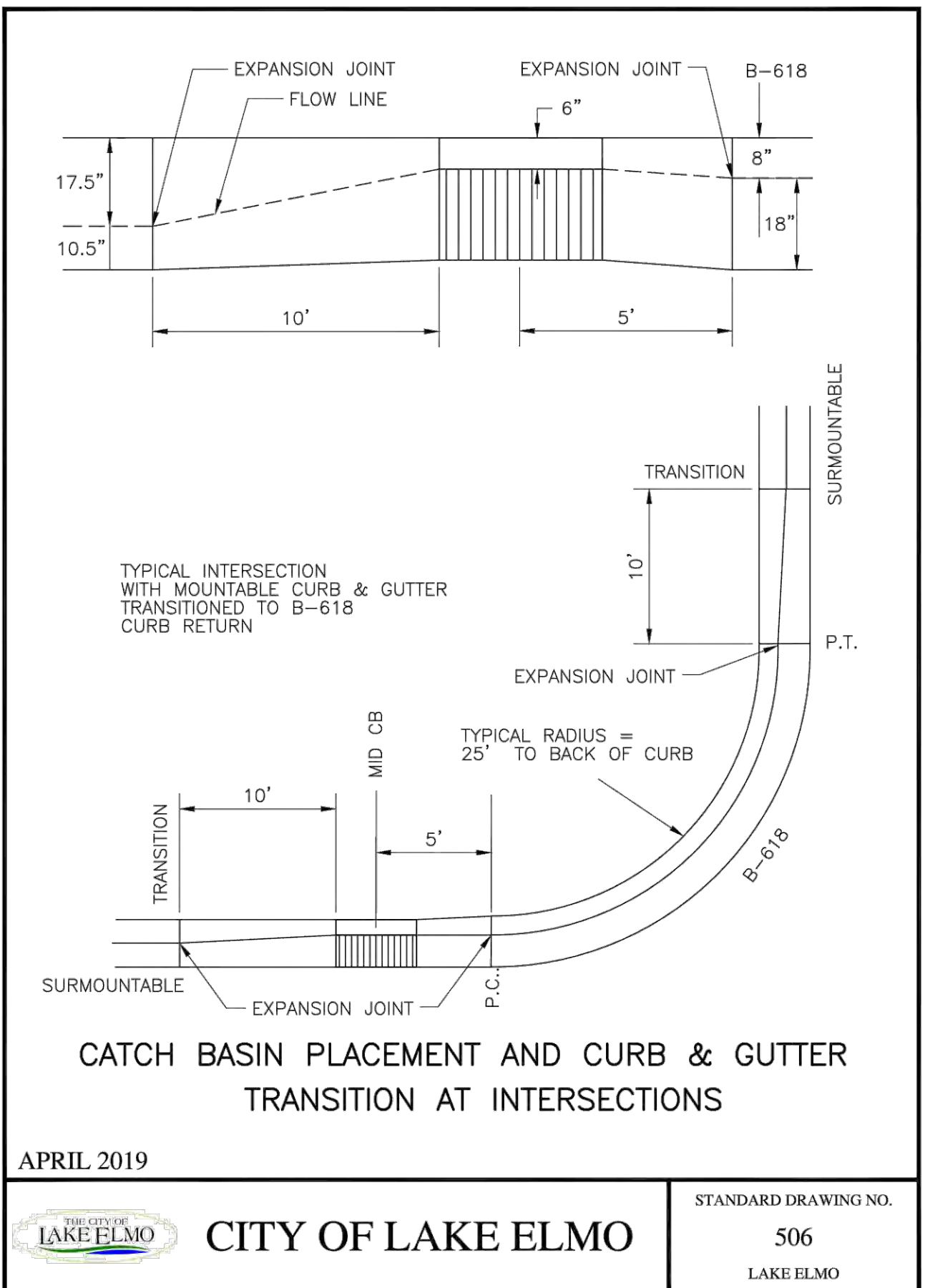
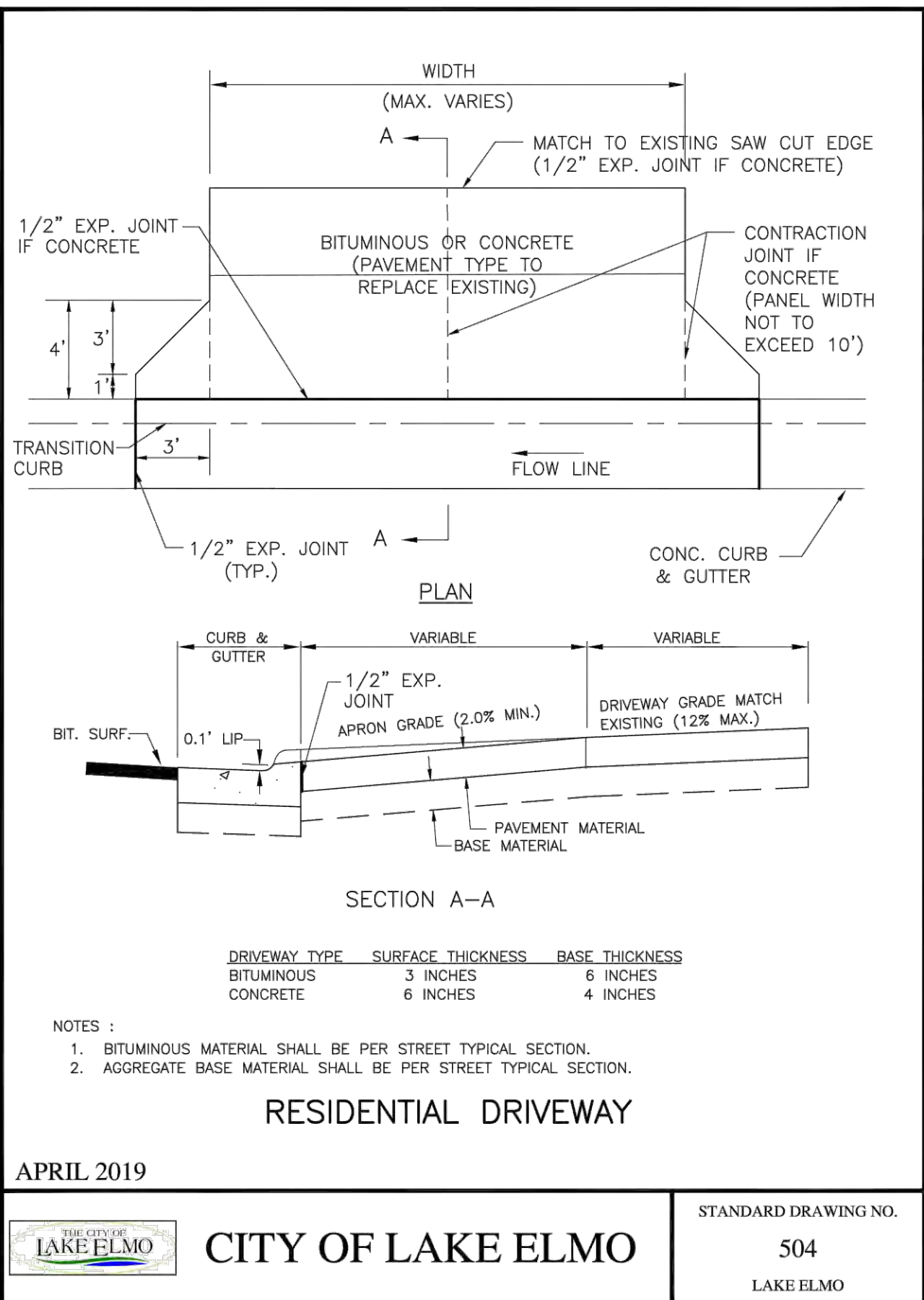
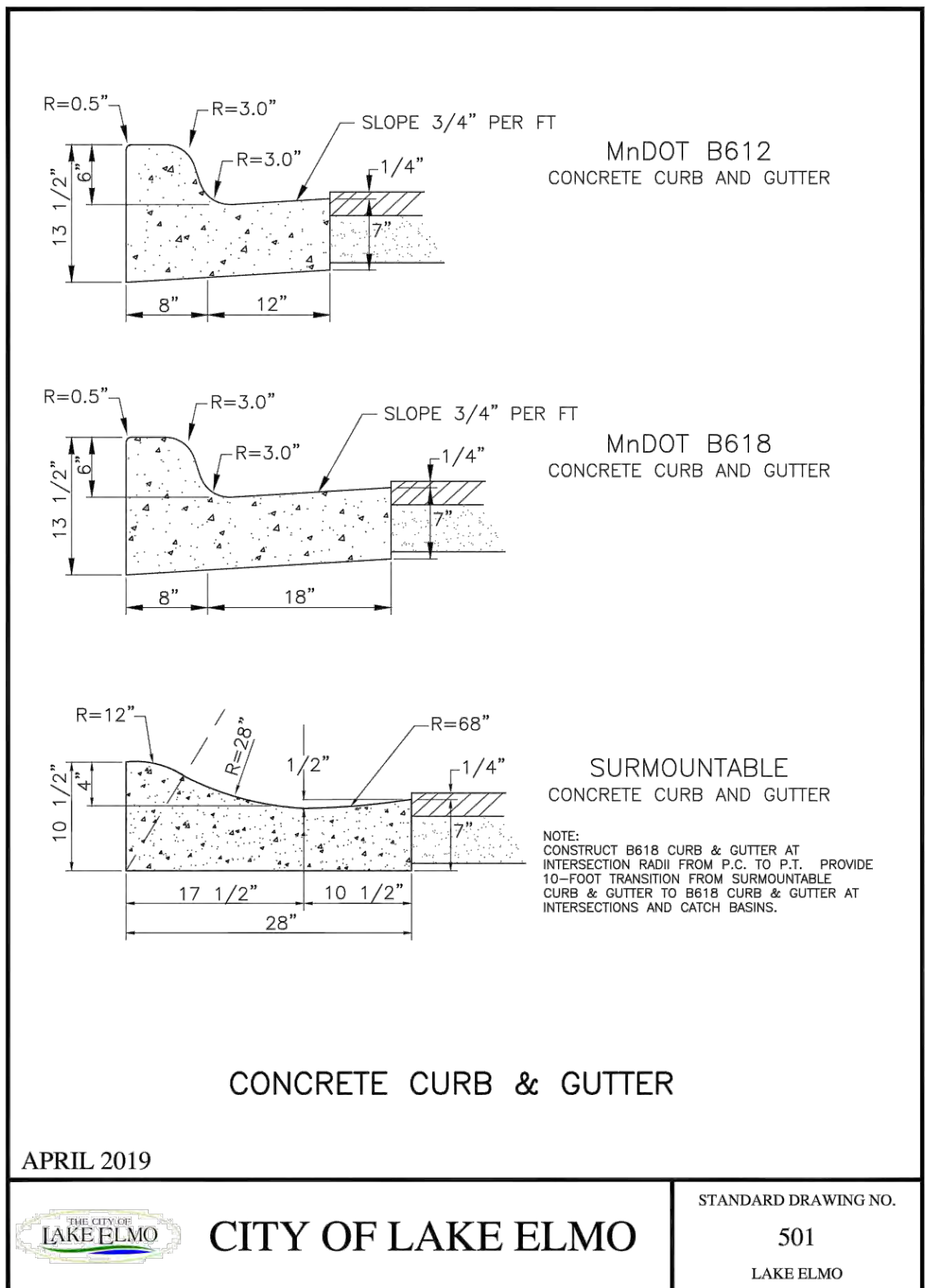
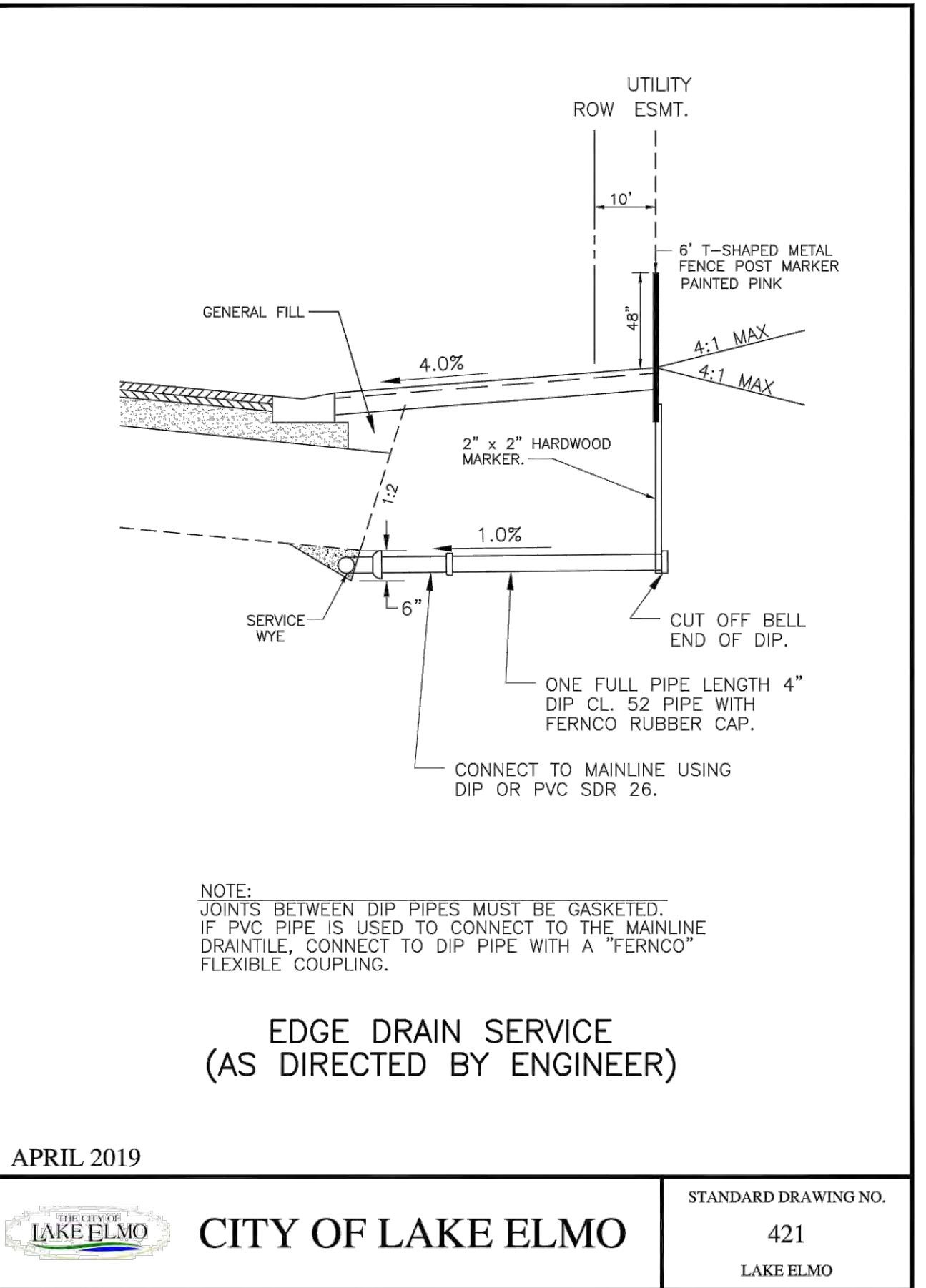
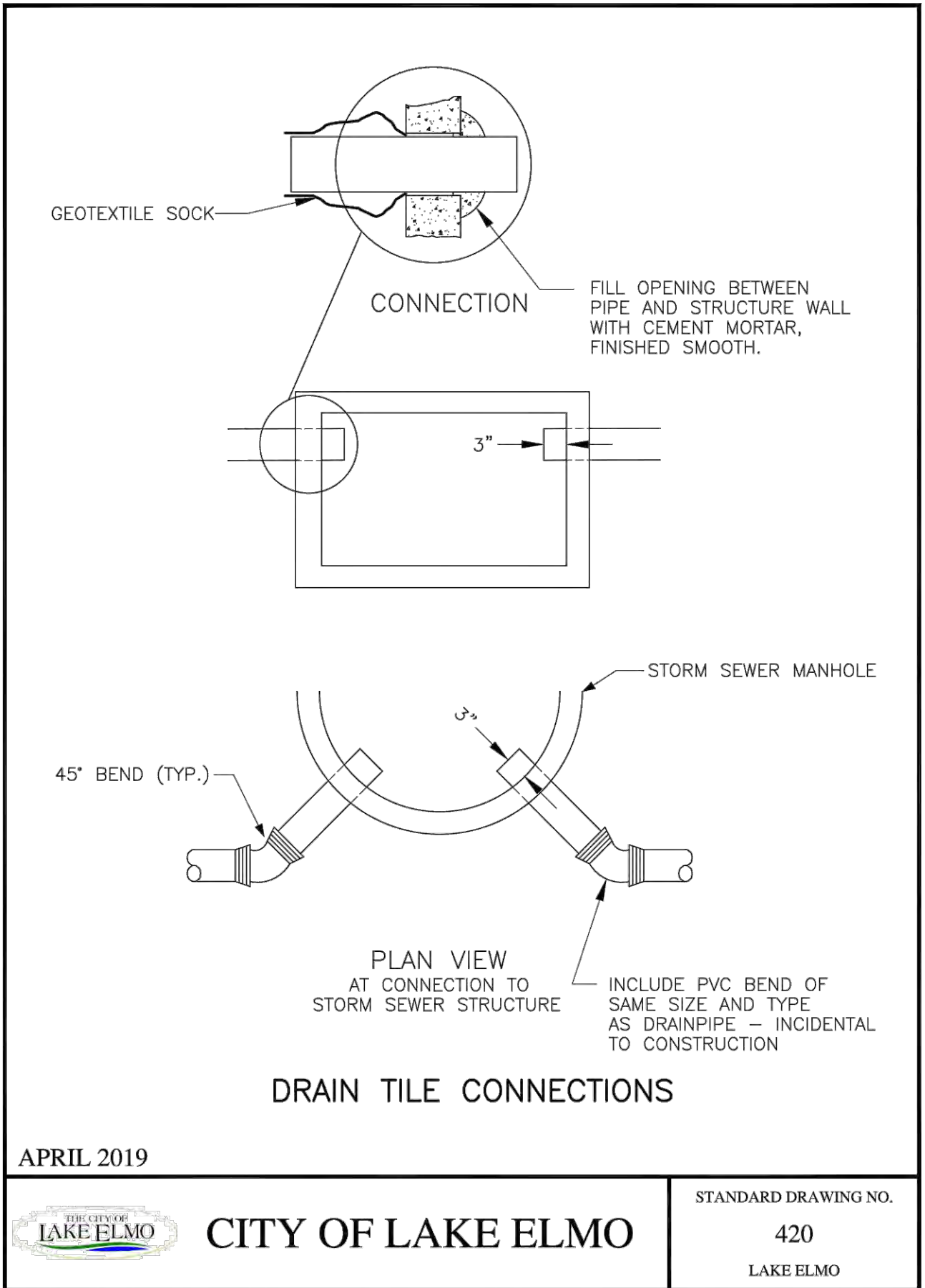
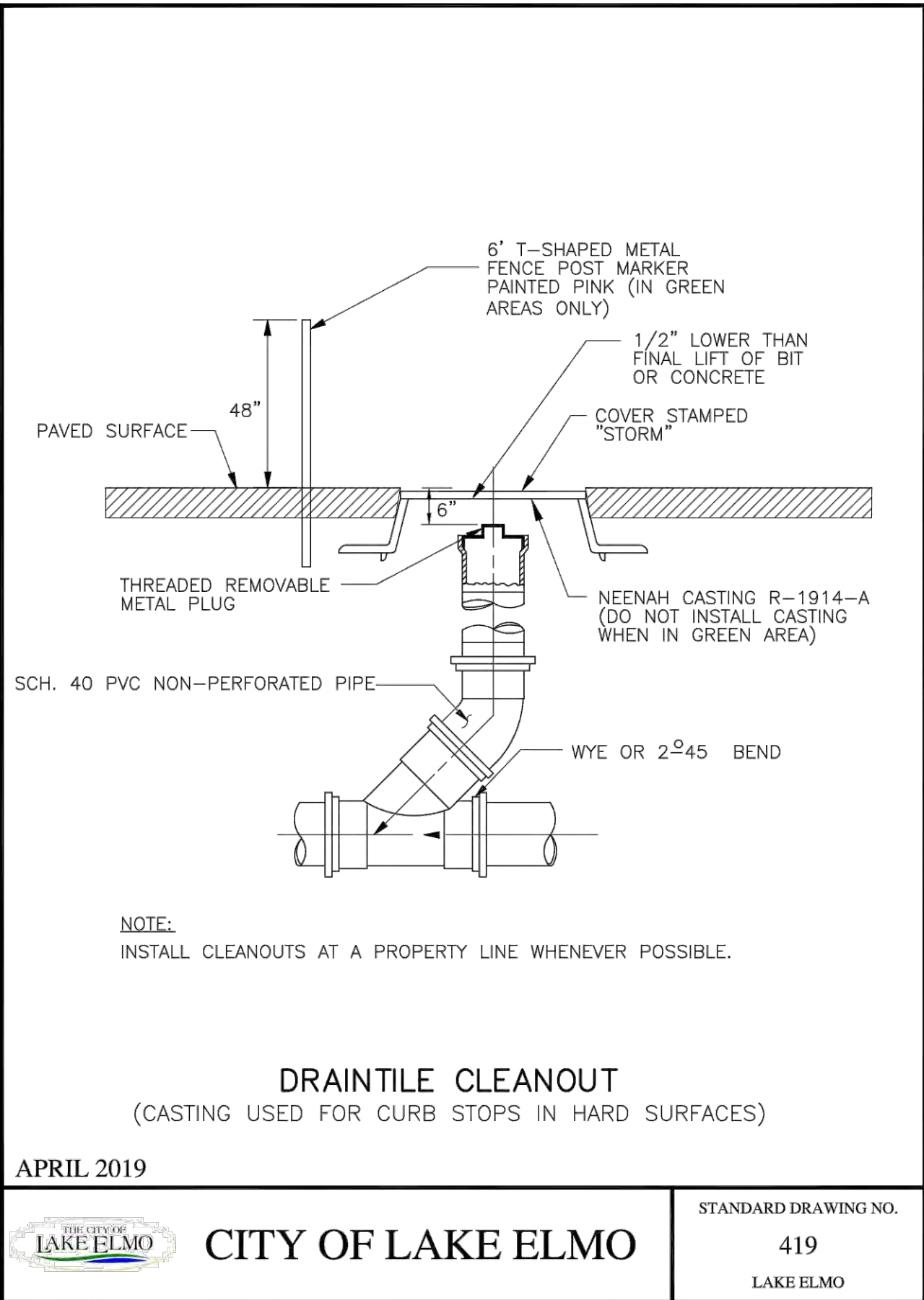
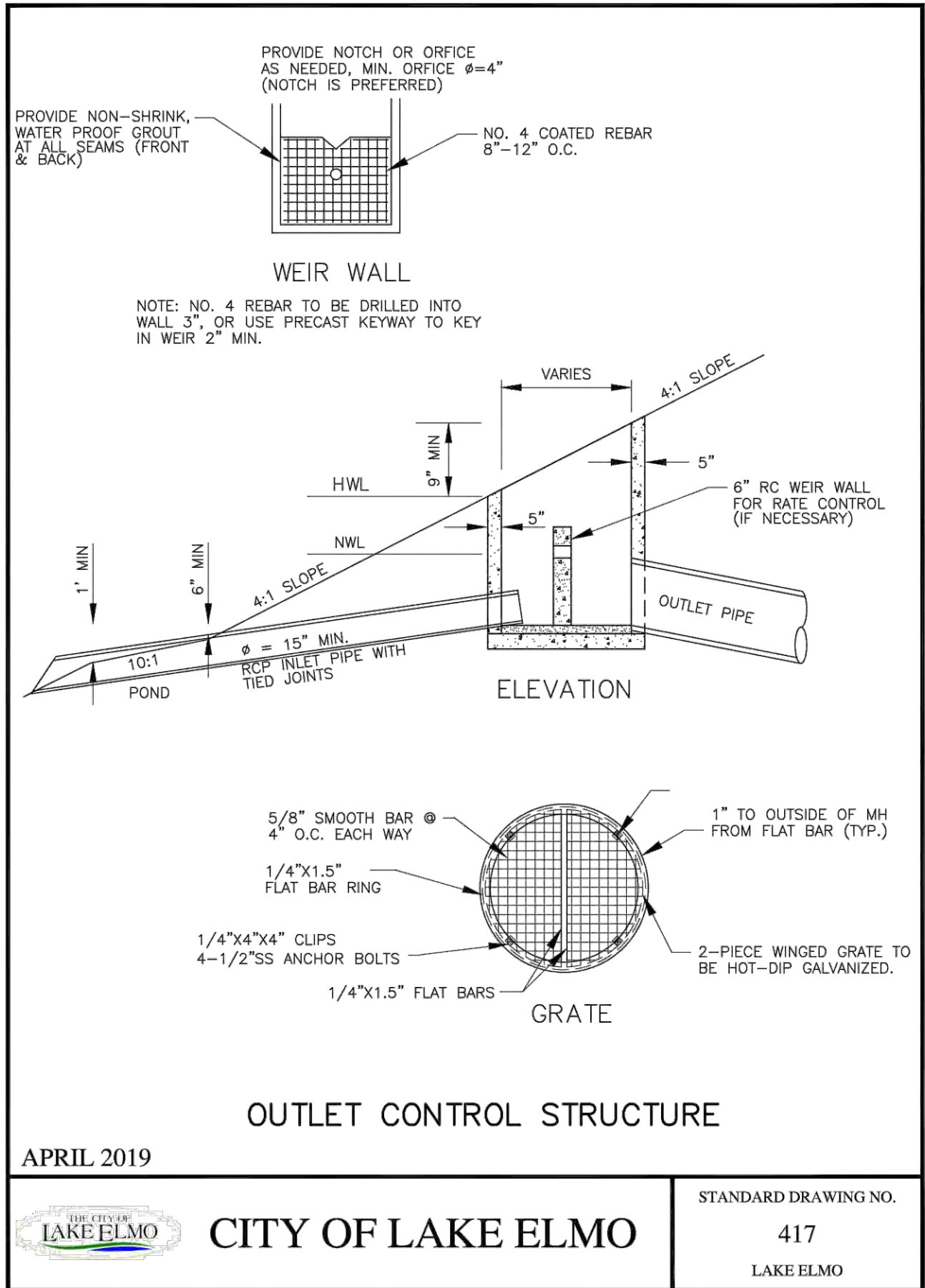
APRIL 2019	STANDARD DRAWING NO.
 CITY OF LAKE ELMO	206 LAKE ELMO

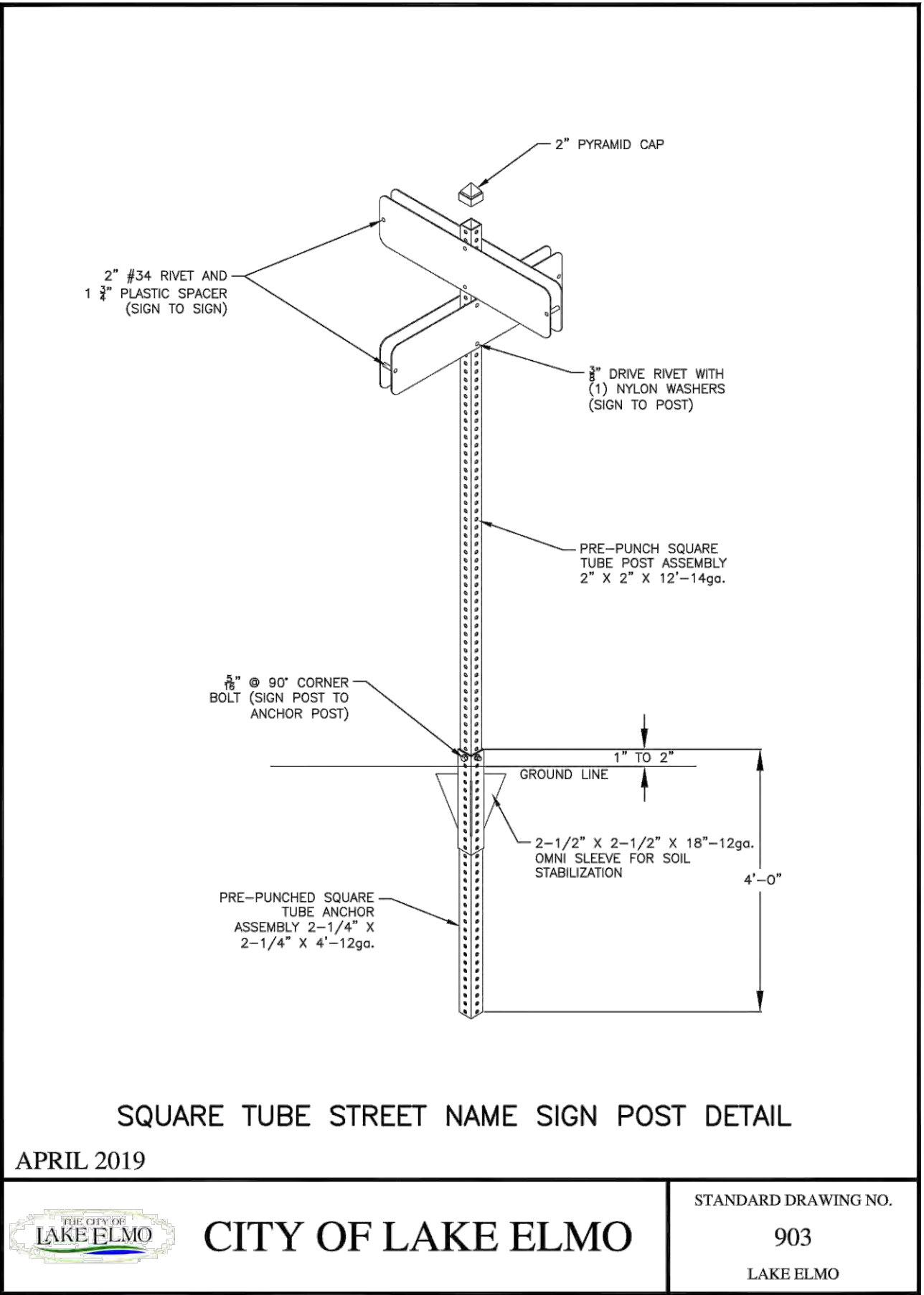
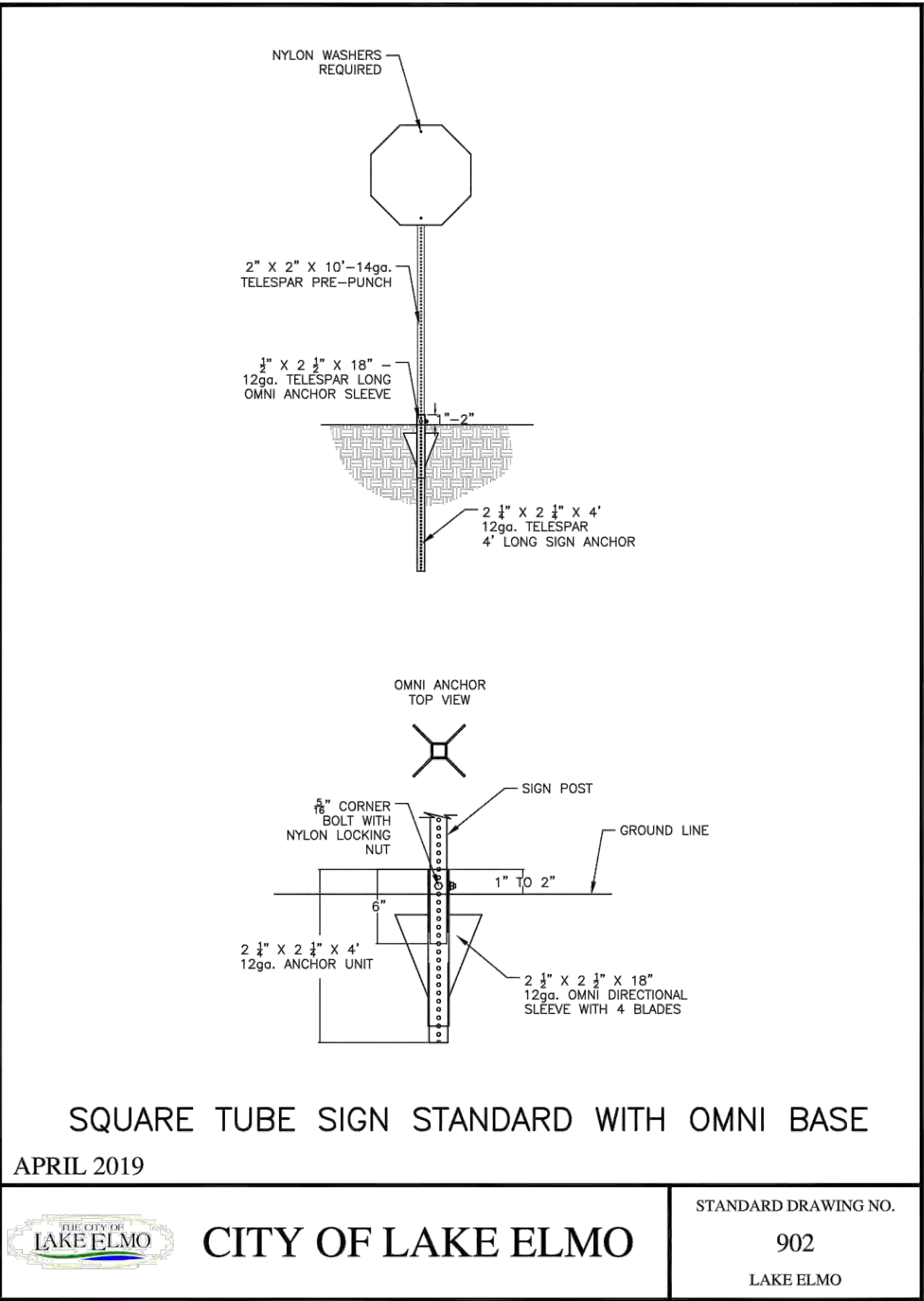
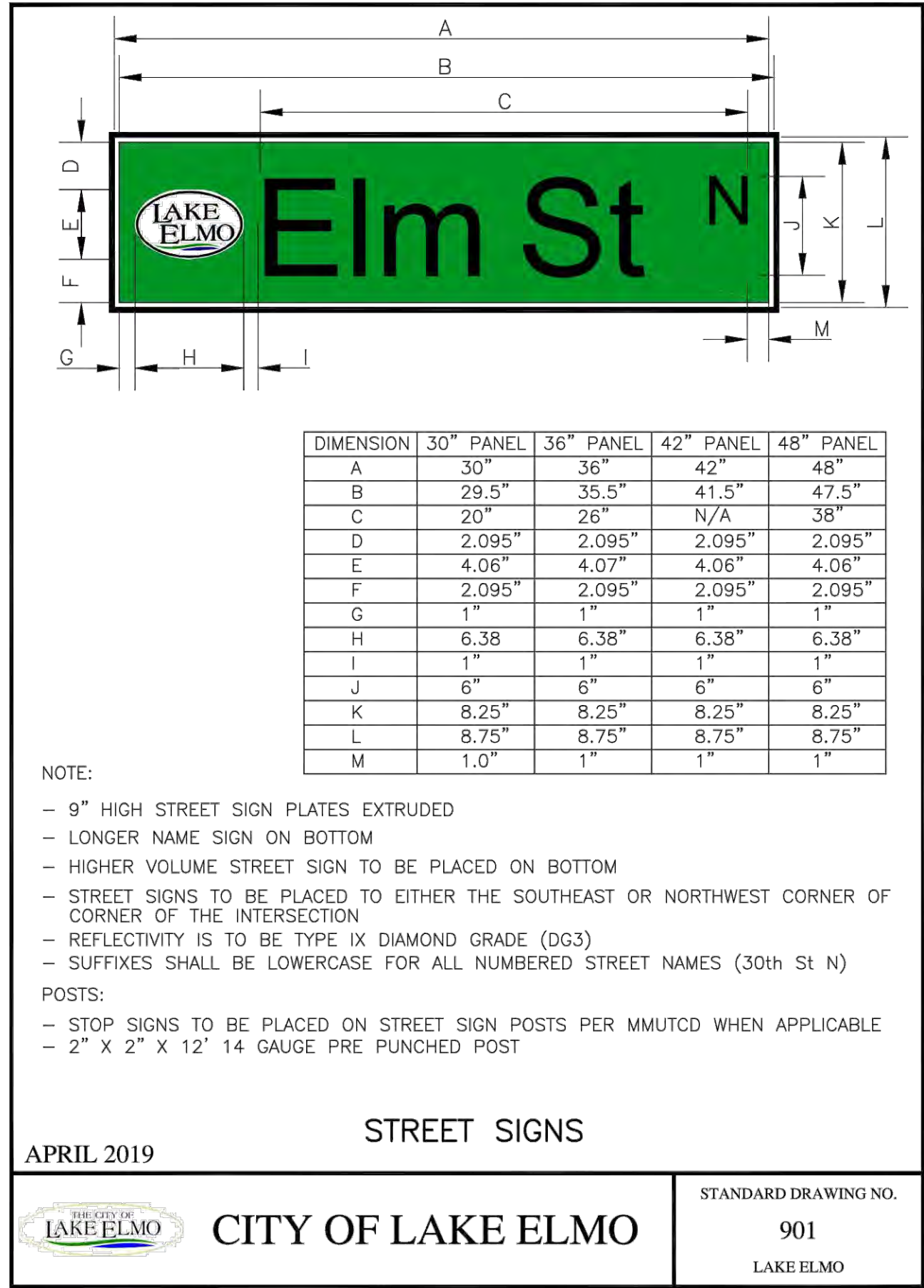
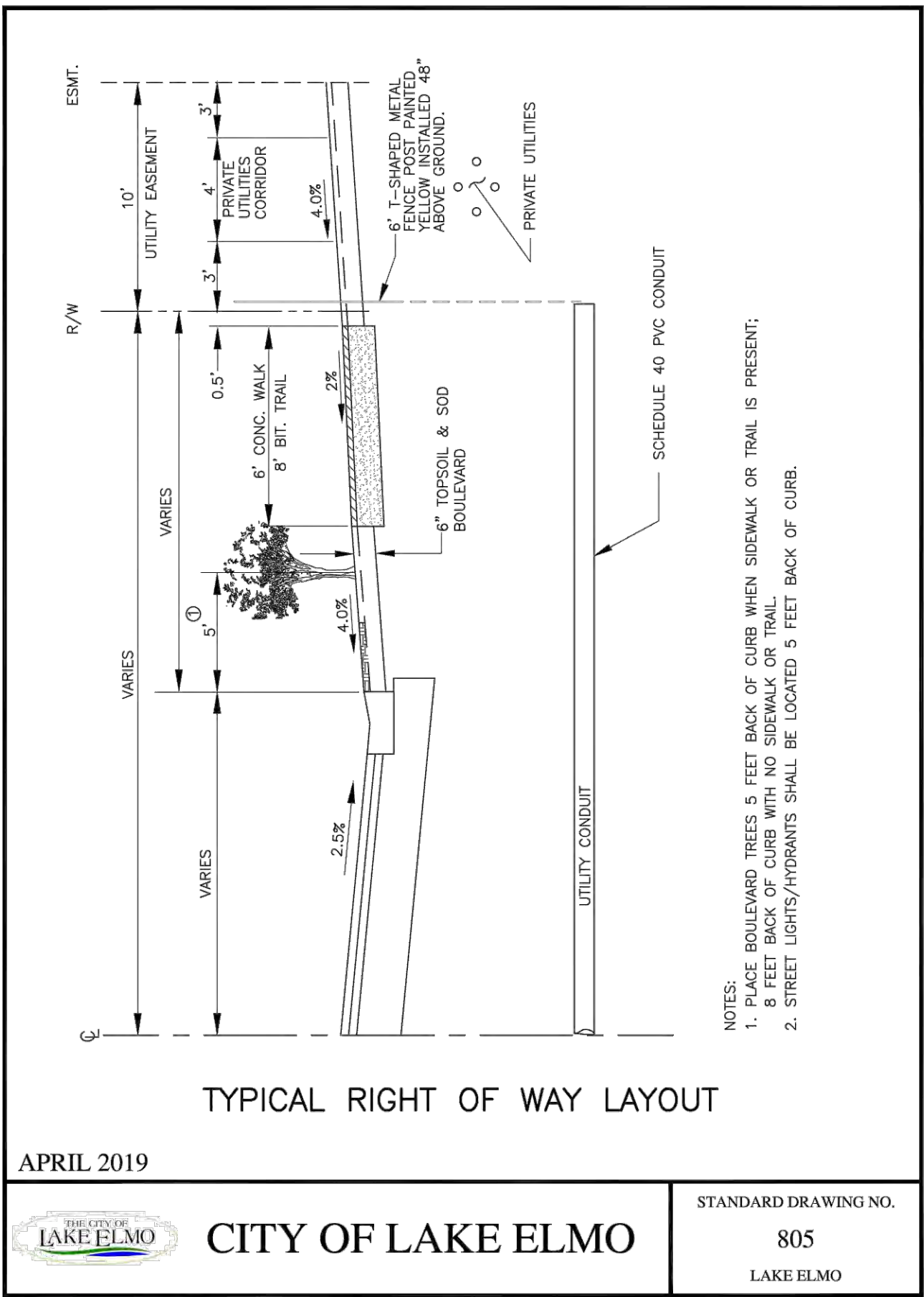
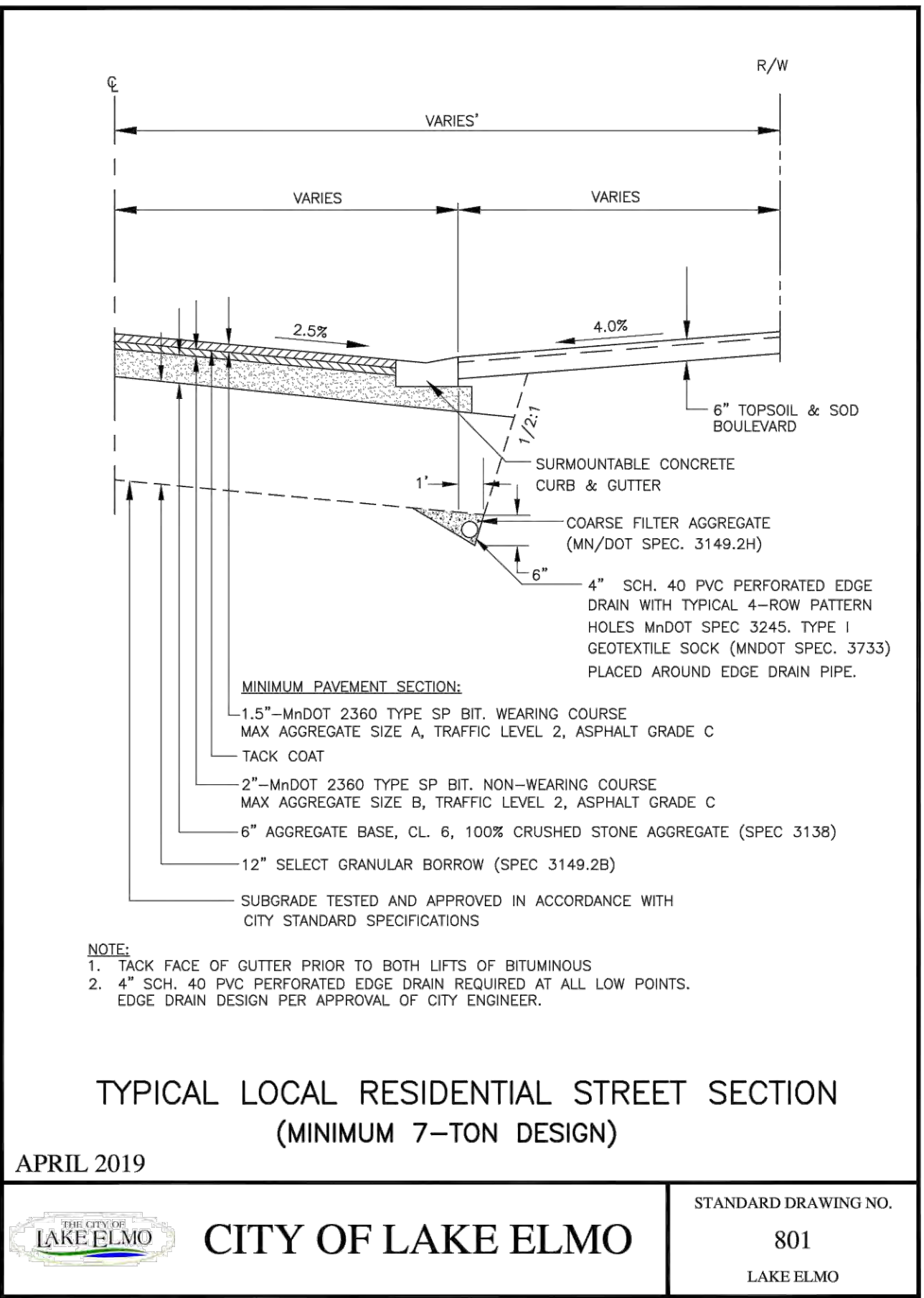
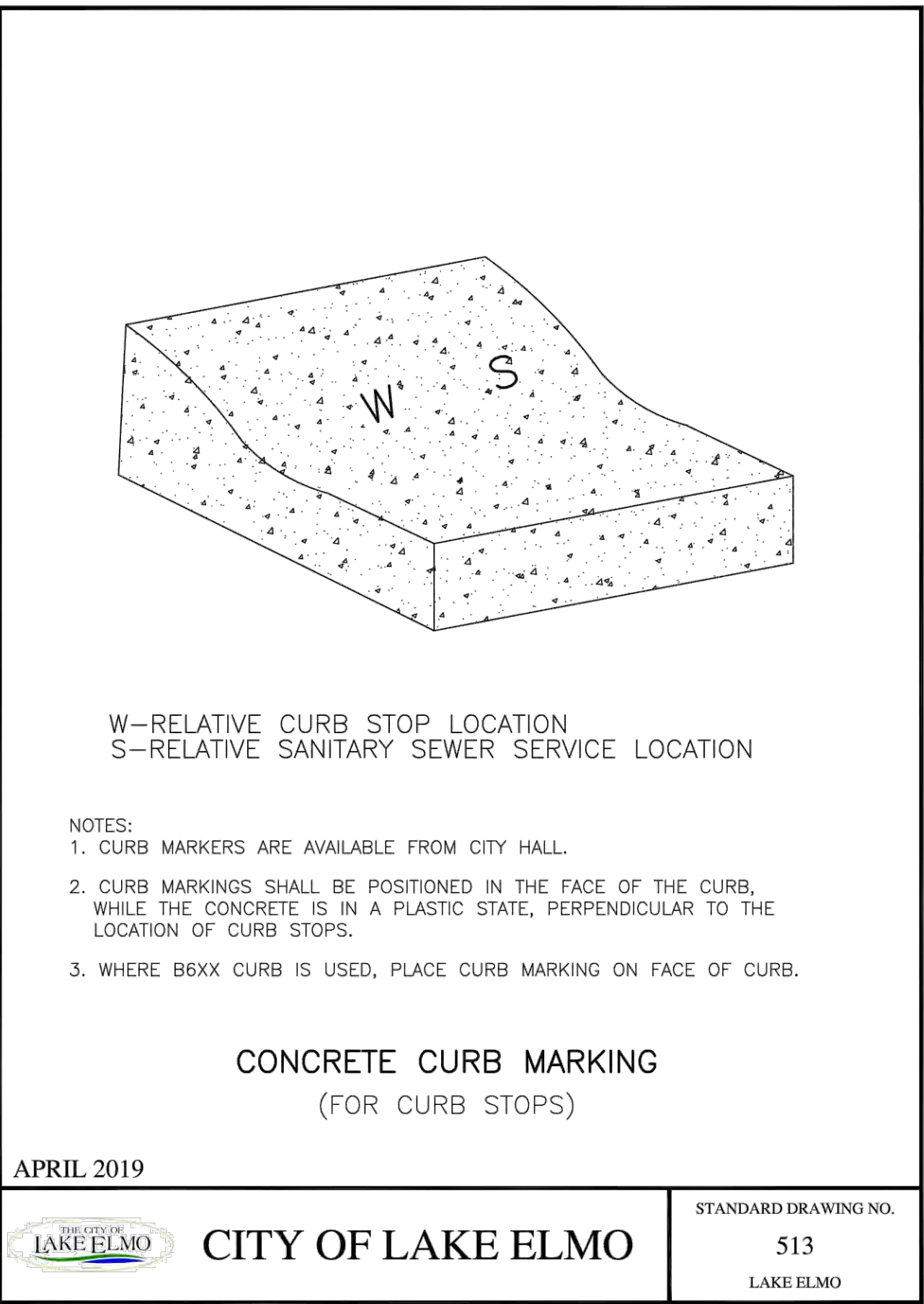
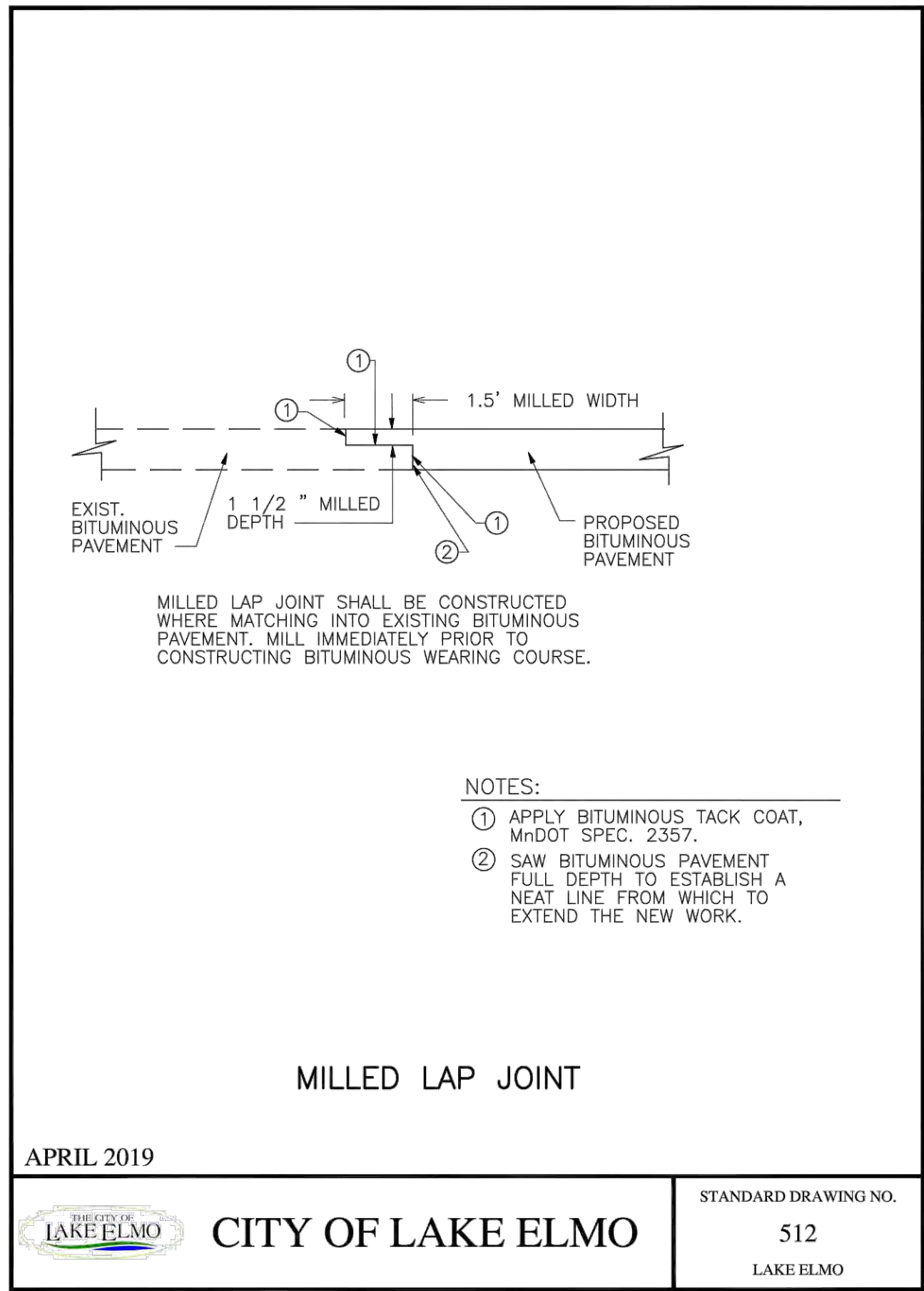


APRIL 2019	STANDARD DRAWING NO.
 CITY OF LAKE ELMO	207A LAKE ELMO









1. PRIOR TO TREE STAKING AND PLANTING OPERATIONS CONTRACTOR MUST CONTACT GOPHER STATE ONE CALL (www.gopherstateonecall.org or 811) TO VERIFY UNDERGROUND UTILITIES. WHERE PRIVATE UTILITIES EXIST ON-SITE THE CONTRACTOR IS REQUIRED TO HAVE THOSE LOCATED AS WELL.
2. PLANT MATERIALS SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK: ANSI Z60.1 LATEST EDITION.
http://americanhort.org/documents/ANSI_Nursery_Stock_Standards_AmericanHort_2014.pdf
3. NO PLANT SUBSTITUTIONS SHALL BE MADE WITHOUT THE PRIOR WRITTEN AUTHORIZATION FROM THE CITY.
4. ALL TREE PROTECTION MEASURES TO BE FIELD STAKED PRIOR TO INSTALLATION. CONTRACTOR TO COORDINATE FIELD REVIEW OF PROPOSED TREE PROTECTION LOCATIONS WITH THE CITY AND PROJECT LANDSCAPE ARCHITECT PRIOR TO ANY TREE PROTECTION INSTALLATION.
5. ALL TREE LOCATIONS TO BE FIELD STAKED PRIOR TO INSTALLATION. CONTRACTOR TO COORDINATE FIELD REVIEW OF PROPOSED TREE LOCATIONS WITH THE CITY AND PROJECT LANDSCAPE ARCHITECT PRIOR TO ANY TREE INSTALLATION.
6. ALL PLANTS SHALL BE PLANTED IMMEDIATELY UPON ARRIVAL TO PROJECT SITE. NO PLANT MATERIAL IS TO BE LEFT OVERNIGHT ON THE PROJECT SITE WITHOUT BEING INSTALLED UNLESS WRITTEN APPROVAL BY CITY.
7. ALL TREES, SHRUBS, PERENNIALS AND TURF LAWN TO HAVE A TWO YEAR WARRANTY BEGINNING UPON WRITTEN ACCEPTANCE BY THE CITY. DEFECTIVE PLANTS AS DETERMINED BY THE CITY SHALL BE REPLACED WITHIN 30 DAYS OF NOTICE DURING THE GROWING SEASON, AND REPLACEMENT MATERIALS SHALL RECEIVE THE SAME TWO YEAR WARRANTY UNTIL PLANTS ARE SUCCESSFULLY ESTABLISHED.
8. CONTRACTOR TO PROTECT AND MAINTAIN ALL PLANTINGS AND PLANT BEDS, INCLUDING PROTECTION FROM WILDLIFE, WEEDING, RE-MULCHING, FERTILIZATION, IRRIGATION AND ALL OTHER TYPICAL FORMS OF HORTICULTURAL CARE UNTIL THE END OF THE WARRANTY PERIOD AS DETERMINED AND APPROVED BY CITY.
9. ALL AREAS DISTURBED ADJACENT TO THE PROJECT SITE INCLUDING BOULEVARDS SHALL BE REPAIRED AND MAINTAINED PER CITY DIRECTION.
10. PROVIDE A THREE YEAR MAINTENANCE PLAN FOR ALL SEEDING OF PLANT MATERIALS/AREAS WITHIN ALL COMMERCIAL PROPERTIES, COMMONLY HELD HOA AREAS, CITY OUTLOTS AND R.O.W. AREAS.
11. ALL TREE, SHRUB AND PERENNIAL BEDS, WITHIN THE R.O.W. OR LOCATED ON COMMERCIAL PROPERTIES OR ON COMMONLY HELD HOA PROPERTY AND CITY OUTLOTS WITHIN DEVELOPMENTS ARE REQUIRED TO HAVE AN AUTOMATIC IRRIGATION SYSTEM DESIGNED BY AN EPA WATER SENSE CERTIFIED PROFESSIONAL. THIS PLAN IS REQUIRED FOR CITY REVIEW AT THE SAME TIME AS LANDSCAPE PLAN REVIEW.
12. ALL TRADITIONAL TURF LAWN AREAS WITHIN R.O.W. OR LOCATED ON COMMERCIAL PROPERTIES OR ON COMMONLY HELD HOA PROPERTY AND CITY OUTLOTS WITHIN DEVELOPMENTS ARE REQUIRED TO HAVE AN AUTOMATIC IRRIGATION SYSTEM DESIGNED BY AN EPA WATER SENSE CERTIFIED PROFESSIONAL. THIS PLAN IS REQUIRED FOR CITY REVIEW AT TIME OF LANDSCAPE PLAN REVIEW.

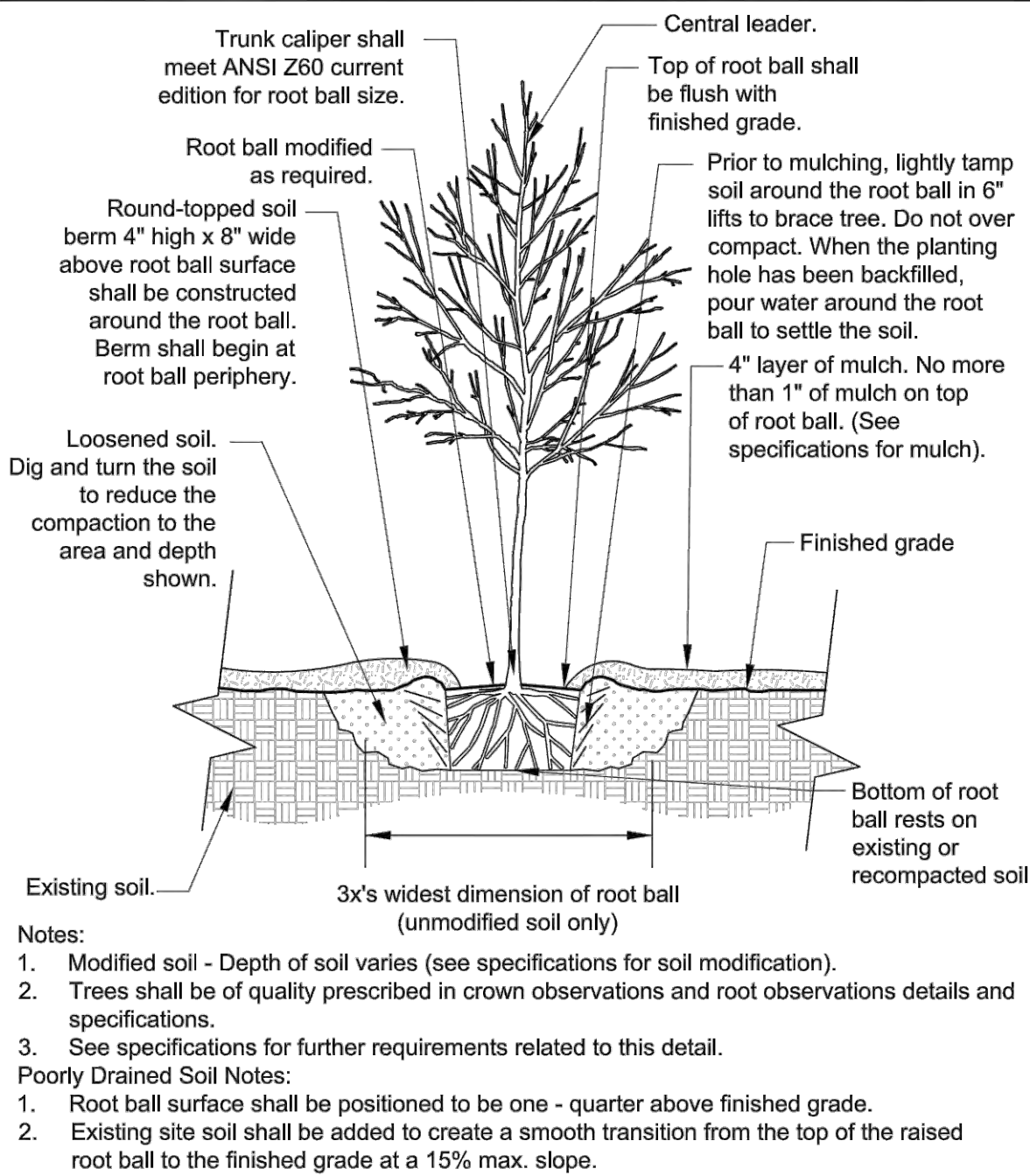
STANDARD PLAN NOTES
LANDSCAPE PLANS

FEBRUARY 2015



CITY OF LAKE ELMO

STANDARD DRAWING NO.
900
LAKE ELMO



DECIDUOUS TREE - MODIFIED/UNMODIFIED
SOIL & POORLY DRAINED SOIL

FEBRUARY 2015



CITY OF LAKE ELMO

URBAN TREE FOUNDATION © 2014
OPEN SOURCE FREE TO USE
STANDARD DRAWING NO.
902A
LAKE ELMO

OVERALL LANDSCAPE REQUIREMENTS (AS PER APPROVED PRE-PLAT):

- ONE TREE TO BE PLANTED FOR EVERY 50' OF STREET FRONTAGE
TOTAL PROPOSED STREET FRONTAGE: 23,400 LINEAR FEET
REQUIRED TREES: 23400/50=468 TREES
- FIVE TREES TO BE PLANTED FOR EVERY ONE ACRE OF LAND DEVELOPED OR DISTURBED BY DEVELOPMENT ACTIVITY
TOTAL AREA: 77 ACRES (AREA WITHIN GRADING LIMITS)
REQUIRED TREES: 77X5=385 TREES

TOTAL TREES REQUIRED FOR ENTIRE PROJECT: 853

1ST ADDITION TREES PLANTED: 484 (as per invoices submitted to Robert Engstrom Companies)

2ND ADDITION TREES PROPOSED: 81 (as per 2nd addition plan)

3RD ADDITION TREES PROPOSED: 97

4TH ADDITION TREES PROPOSED: 329

TREES TO BE PLANTED A MINIMUM OF 5' FROM BACK OF CURB WHEN THERE IS A SIDEWALK OR TRAIL WITHIN THE ROW, A MINIMUM OF 8' FROM BACK OF CURB WHEN THERE IS NO TRAIL OR SIDEWALK WITHIN THE ROW.

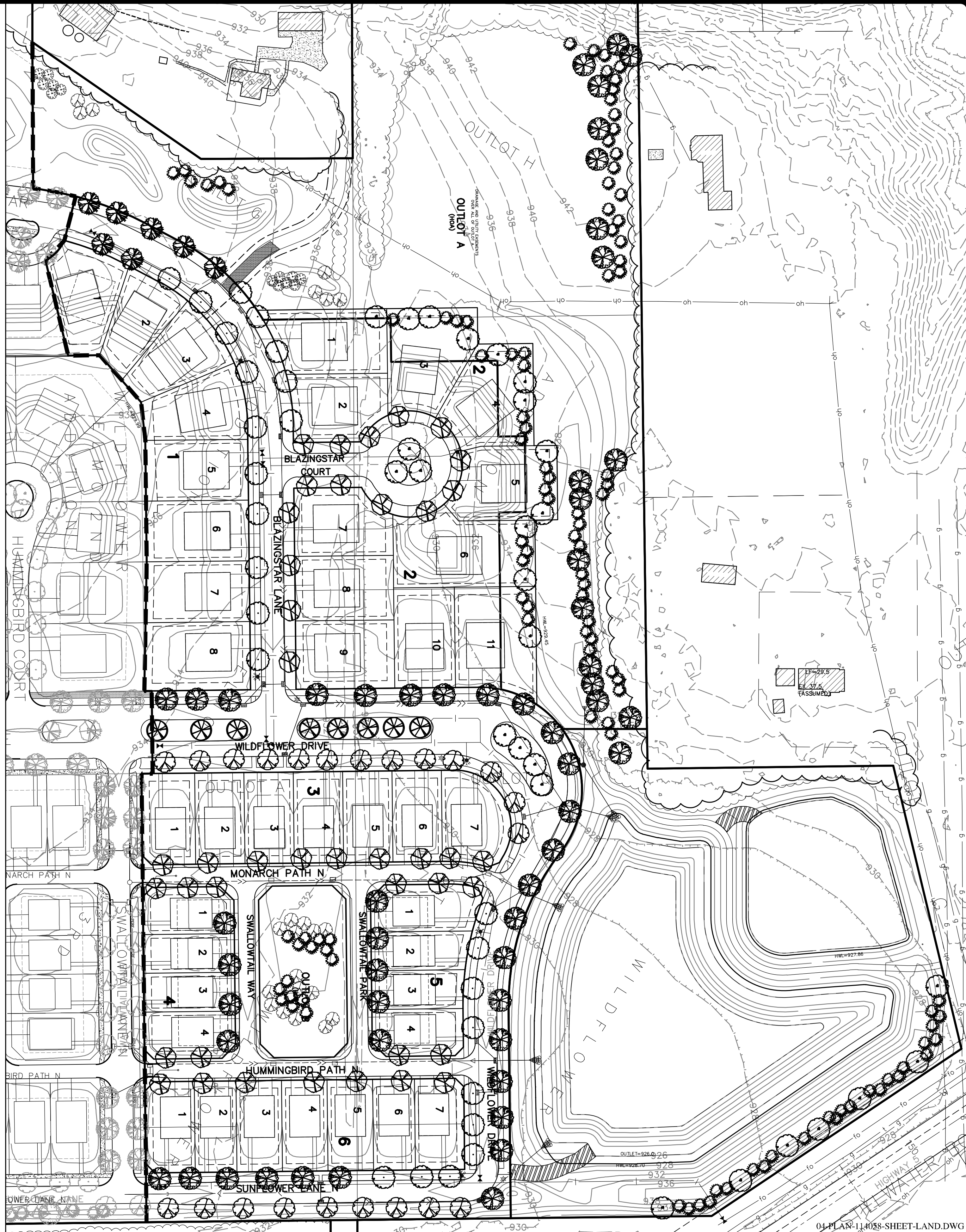
TREE TOTALS FOR 3RD ADDITION

PLANT SCHEDULE

KEY	COMMON NAME/Scientific name	ROOT	QUANTITY	INSTRUCTIONS
OVERSTORY TREES				
	RED MAPLE/Acer rubrum	2.5" B&B	25	
	QUAKING ASPEN/Populus tremuloides	2.5" B&B	8	
	SUGAR MAPLE/Acer saccharum	2.5" B&B	55	
	RIVER BIRCH/Betula nigra 'Heritage'	8" B&B	26	Multi-Stem
	COMMON HACKBERRY/Celtis occidentalis	2.5" B&B	--	
	HONEYLOCUST/Gleditsia triacanthos var. enermis	2.5" B&B	41	
	NORTHERN RED OAK/Quercus rubra	2.5" B&B	7	
	SENTRY LINDEN/Tilia americana 'Sentry'	2.5" B&B	22	
EVERGREEN TREES				
	BLACK HILLS SPRUCE/Picea glauca densata	6" B&B	110	
ORNAMENTAL TREES				
	PRAIRIEFIRE CRAB/Malus 'prairiefire'	1.5" B&B	22	
	ALLEGHENY SERVICEBERRY/Amelanchier laevis	1.5" B&B	13	

TOTAL TREES PROPOSED IN 3RD ADDITION: 329

ALL BOULEVARD PLANTINGS TO BE OWNER/HOA MAINTAINED



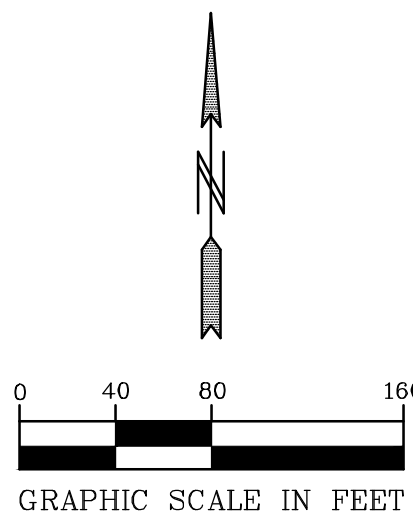
PIONEERengineering
CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

2422 Enterprise Drive
Mendota Heights, MN 55120
(651) 681-1914
Fax: 651-9488
www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota

Name: Winter L. Thompson
Reg. No. 44763 Date: 06-25-2021

Revisions



Date: 06-25-2021
Designed: JLT/TLM
Drawn: JLT/TLM

LANDSCAPE PLAN

ROBERT ENGSTROM COMPANIES
4801 WEST 81ST STREET, SUITE 101
MINNEAPOLIS, MINNESOTA 55437-1111

WILDFLOWER 4TH ADDITION
LAKE ELMO, MINNESOTA

L1 OF 1

MEMORANDUM

FOCUS ENGINEERING, inc.

Cara Geheren, P.E.	651.300.4261
Jack Griffin, P.E.	651.300.4264
Ryan Stempski, P.E.	651.300.4267
Chad Isakson, P.E.	651.300.4283

Date: August 2, 2021

To: John Molinaro, P.E., Pioneer Engineering
Cc: Ken Roberts, Planning Director
Marty Powers, Public Works Director
Chad Isakson, P.E., Assistant City Engineer
From: Jack Griffin, P.E., City Engineer

Re: Wildflower at Lake Elmo 3rd Addition
Construction Plan Review

An engineering review has been completed for Wildflower at Lake Elmo 4th Addition. Final Plat/Final Construction Plans were received on July 13, 2021. Grading Plans were not received until July 28, 2021. The submittal consisted of the following documentation:

- Wildflower at Lake Elmo 4th Addition Final Plat, not dated, received July 6, 2021.
- Wildflower at Lake Elmo 4th Addition Construction Plans dated June 25, 2021.
- Wildflower at Lake Elmo 4th Grading Plans dated June 25, 2021.
- Storm Sewer Design Calculations dated June 25, 2021.
- No Project Specifications were provided.

STATUS/FINDINGS: The following comments have been provided in addition to the Final Plat comment memo to direct plan corrections necessary for final construction plan approval. When submitting revised plans and specifications, please provide a point by point response letter that details all changes made to the plans.

FINAL PLAT AND EASEMENTS: WILDFLOWER AT LAKE ELMO 4TH ADDITION

- Outlot ownership should be labeled on the grading and utility plans, including Outlots adjacent to the 3rd Addition Plat. Identify Outlots E and F as HOA owned and identify the lift station site Outlot as City owned.
- Outlot A and Outlot B will be HOA owned with drainage and utility easements over all of each Outlot.
- The Final Plat and Construction Plans must be revised to provide a drainage and utility easement over all of Outlot B.
- The Final Plat and Construction Plans must be revised to provide additional drainage and utility easement along the north property line of Lot 1, Block 2 to meet minimum easement requirements for the proposed trunk sanitary sewer main.
- The Construction plans must be revised to correctly identify Outlot ownership and drainage and utility easements for the Wildflower 4th Addition. If Outlots from previous additions are shown on the plans, the Addition must be identified.

FINAL CONSTRUCTION PLANS

- Sheet 1.01. Add plan note to identify the standard of care guideline for the collection and depiction of existing subsurface utility data per CI/ASCE 38-02.
- All plan sheets: Revise Outlot boundaries and naming to Wildflower 4th Addition naming structure.

- Add Existing Condition and Removals Plan sheet clearly depicting construction boundary areas and construction details to match existing conditions in the field.
- Detail private driveway removal and reconnection plans to Blazingstar Lane.
- Add Erosion Control Plan sheets and SWPPP plan.
- Sheet 3.12. Revise plans to add commercial water service and sanitary sewer service from Sunflower Lane to 11550 Stillwater Boulevard.
- Sheet 3.12. Revise plans along proposed trunk watermain in Outlot J to show all existing conditions. Plans must identify all removals, protections, erosion control and restoration details.
- Sheet 3.13. Revise services for Lots 1-3, B5 to remove all bends.
- Sheet 3.14. Revise services for Lot 3, B3 to remove all bends.
- Sheet 3.14. Revise water/sewer layout and services for Lot 7, B3 and Lots 10-11, B2 per the attached edits.
- Sheet 3.15. Revise services for Lot 1, B2 to remove all bends.
- Sheet 3.16. Revise water/sewer layout and services to eliminate/minimize service bends.
- Sheet 3.17. Revise plans along proposed trunk sewer in Outlot H to show all existing conditions. Plans must identify all removals, protections, erosion control and restoration details.
- Sheet 3.17. Remove the proposed service wye that is shown to extend to the existing driveway. Service cannot be extended to a property located outside of the City MUSA.
- Sheets 3.21-3.25. Replace Standard Plan Notes for Storm Sewer with City Plan Notes dated April 2019.
- Sheets 3.21-3.25. Revise plans along proposed storm sewer not placed in roadway corridors to show all existing conditions. Plans must identify all removals, protections, erosion control and restoration details.
- Sheet 3.22 Extend drain tile north from CBMH 1121 for 100-foot with clean out.
- Sheet 3.25. Extend storm sewer from CBMH 1305 along Blazingstar Court and install catch basins at the transition to the cul-de-sac (as the grade transitions from 3% to 1%) to better facilitate drainage.
- Sheet 3.31. Revise typical section for Sunflower Lane and make all plan revisions accordingly.
 - Revise tree setback to city standard minimum 5-feet when sidewalk is along the boulevard.
 - Revise tree setback to city standard minimum 8-feet when no sidewalk is present.
 - Revise sidewalk width to city standard 6-feet when sidewalk is along only one side of the road. 5-ft. sidewalks are only allowed when placed on both sides of the street.
 - Revise mountable curb to B618 per plan view.
 - Revise class 5 aggregate base material to class 6 per city standards.
 - Revise minimum topsoil requirement to 6-inches.
- Sheet 3.31 and 3.32. Revise plan view to show location of sidewalk within the street right-of-way per the proposed typical section.
- Sheet 3.31. Revise typical section for 30'/32' ROW Street to create two separate typical sections and identify all applicable roadways by name to facilitate city review.
 - Revise tree setback to city standard minimum 5-feet.
 - Revise class 5 aggregate base material to class 6 per city standards.
 - Revise minimum topsoil requirement to 6-inches.
- Sheet 3.33. Revise typical section for Wildflower Drive and 60-foot ROW street and make all plan revisions accordingly.
 - Add center median trees showing city standard minimum 5-foot setback from back of curb.
 - Revise class 5 aggregate base material to class 6 per city standards.
 - Revise mountable curb to B618 per plan view.
 - Revise minimum topsoil requirement to 6-inches.
- Sheet 3.34 and 3.35. Revise typical section for 60-foot ROW street.
 - Revise class 5 aggregate base material to class 6 per city standards.
 - Revise minimum topsoil requirement to 6-inches.
- Sheet 3.35. Remove typical section for 70-foot ROW street. Typical section does not appear applicable.
- Sheets 3.41 and 3.42. Revise plans to show existing street lights and signage to help facilitate placement/review of signage and lighting for the Wildflower 4th Addition.

- Sheets 3.41 and 3.42. Standard Plan Notes for signing/pavement markings /lighting plans are outdated and incorrect. Replace with City Standard Plan Notes dated April 2019.
- Sheet 3.41. Add additional “No Parking” signs to meet city spacing requirements and additional stop signs (see attached red lines).
- Sheet 3.41. Remove rip rap channels from plan sheet.
- Sheet 3.42. Add street light at intersection of Blazingstar Lane and Blazingstar Court.
- Sheet 3.42. Add “No Parking” signs to Blazingstar Court; 3 signs along interior center landscape median; 4 signs along outer radius of cul-de-sac; and 2 signs along west bound drive lane.
- Sheet 3.42. Add additional “No Parking” signs to Blazingstar Lane to meet city spacing requirements (no greater than 250 feet).
- Sheet 3.42. Remove private driveway and temporary driveway and show reconstructed permanent condition.

CITY STANDARD DETAILS

- Detail Sheets: Add City standard details 601, 603, 604, 605, and 606.

GRADING PLANS

- Sheet G-6: Add proposed lot corner elevation for SE corner of Lot 9, Block 2.
- Sheet G-8: Add the missing proposed lot corner elevations for Lot 3, B2 (1 missing); Lot 4, B2 (3 missing); Lot 6, B2 (3 missing).
- Sheets G6 and G8. Revise grading plan as necessary to meet minimum city standards to provide 2% minimum slope for drainage within Outlot I and along rear lot lines for Lots 3-11, B2.

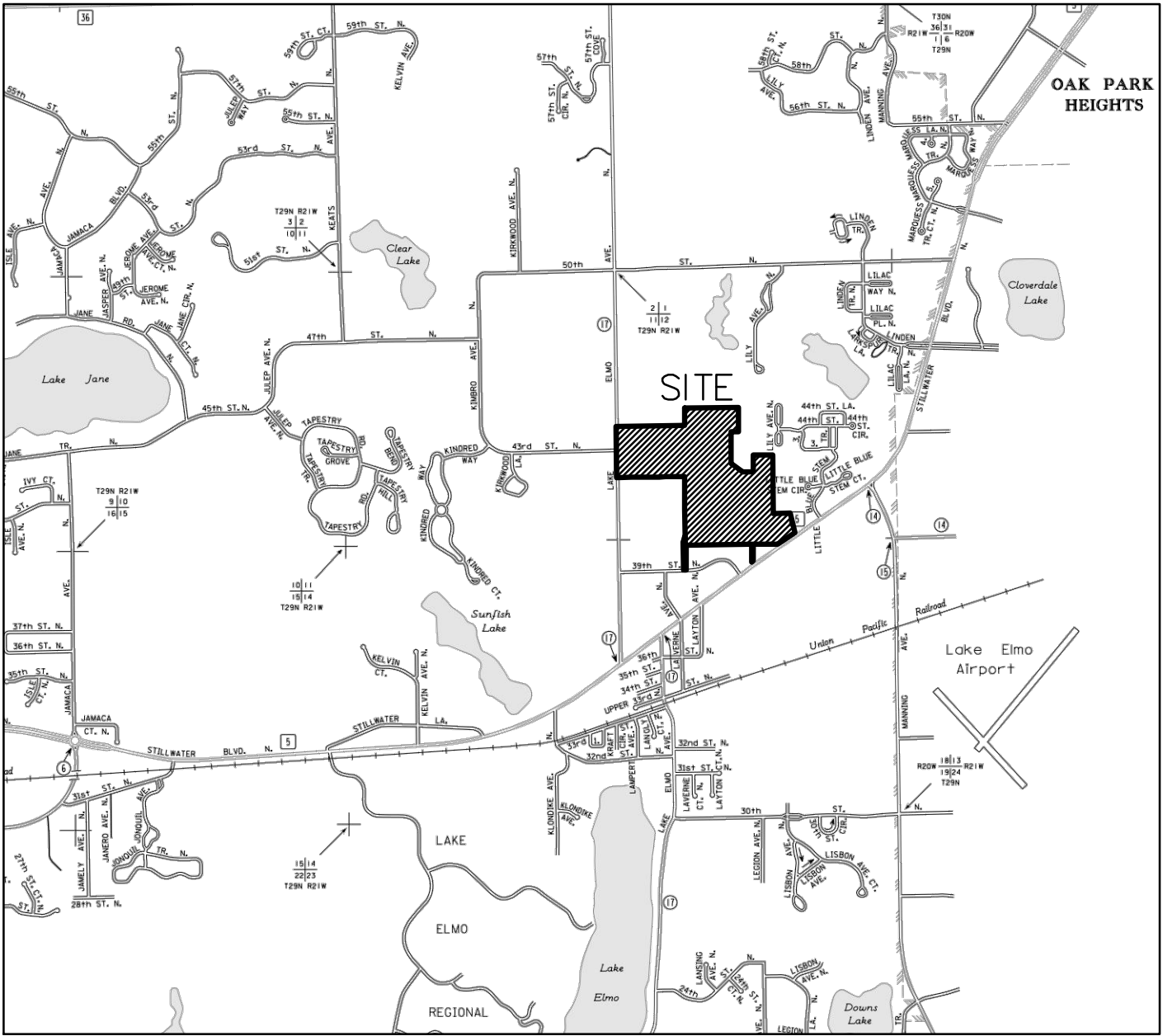
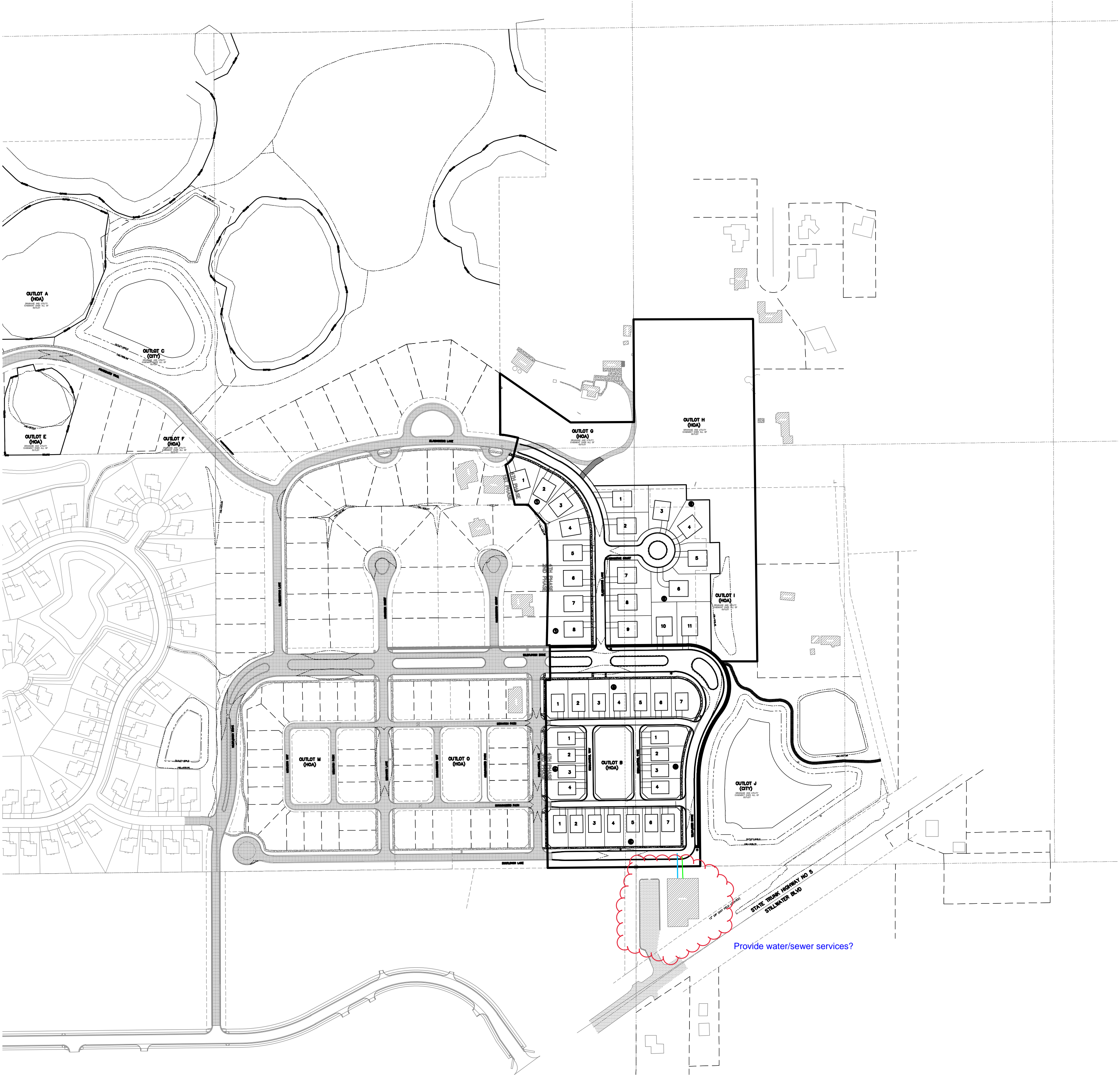
SPECIFICATIONS

- No project specifications were submitted. Project Specifications must be prepared and submitted for the improvements using the City Standard Specifications for Public Infrastructure dated April 2019. The specifications must state that the City Standard Specifications govern for the project unless specific written approval by the City has been provided. Supplemental specifications may be included in the project manual as follows if they are clearly labeled “Supplemental Specifications” and include the following statement as the first clause of the supplemental provisions, “The City Standard Specifications for Public Infrastructure, dated April 2019, shall apply to the work performed under this contract. Supplemental specifications are intended to supplement the City Standard Specifications; however, they do NOT supersede the City Standard Specifications, Details, Design Standards, or ordinances without specific written approval by the City Engineer”.

LANDSCAPE PLAN

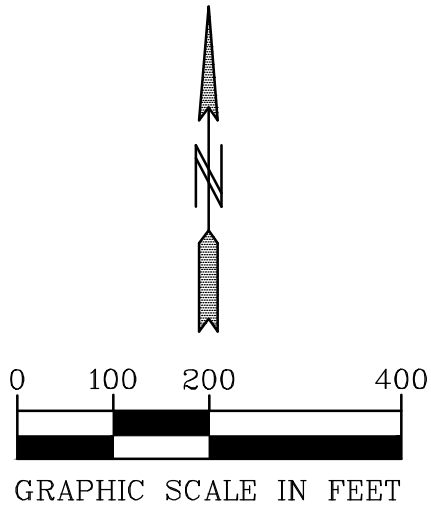
- Sheet L1: Revise scale of proposed landscape plans to facilitate city review of tree planting locations in regards to required offset separation distances.
- Sheet L1: Add plan notes that detail the tree locations that are located in the center medians and along the alleyways. Notes should indicate 8-feet from back of curb and all trees should be relocated on the plans as necessary to comply.
- Sheet L1: Add proposed sanitary sewer to landscape plans that is running north of Lot 1 and 3, B2. Revise landscaping to keep all tree plantings minimum 15-feet from pipe/structure centerline.
- Sheet L1: Proposed landscaping located in Outlot I appears placed along the proposed drainage swale and will impede already limited drainage. Revise plan to indicate the location of drainage swale and add notes to maintain plantings a minimum distance of 5-feet from drainage swale bottom.

WILDFLOWER AT LAKE ELMO 4TH ADDITION UTILITY AND STREET CONSTRUCTION PLANS LAKE ELMO, MINNESOTA



LOCATION MAP

BENCH MARK
MN/DOT BENCHMARK: S 27
NORTHWEST QUADRANT LAKE
ELMO AVE AND 33RD ST N.
ELEV=935.671 (NAVD88)



- SHEET INDEX**
- 1.01. COVER SHEET
 - 1.02. LEGEND SHEET
 - 2.01. OVERALL UTILITY
 - 3.11-3.17. SANITARY SEWER & WATERMAIN CONSTRUCTION
 - 3.21-3.26. STORM SEWER CONSTRUCTION
 - 3.31-3.35. STREET CONSTRUCTION
 - 3.41-3.42. SIGNING, STRIPING & LIGHTING PLAN
 - 4.01-4.06. CITY DETAILS

L1. LANDSCAPE PLAN

PREPARED BY PIONEER ENGINEERING, P.A.

JOHN M. MOLINARO
REGISTERED PROFESSIONAL CIVIL ENGINEER
45831
REG. NO.

PETER J. HAWKINSON
REGISTERED PROFESSIONAL LAND SURVEYOR

42299
REG. NO.

DEVELOPER
ROBERT ENGSTROM COMPANIES
4801 WEST 81ST STREET, SUITE 101
MINNEAPOLIS, MINNESOTA 55437-1111
CONTACT: ROBERT ENGSTROM
ROBERTEENGRSTROM@GMAIL.COM
(952) 893-1001

LANDOWNER
ROBERT ENGSTROM COMPANIES
4801 WEST 81ST STREET, SUITE 101
MINNEAPOLIS, MINNESOTA 55437-1111
ROBERTEENGRSTROM@GMAIL.COM
(952) 893-1001

PROPOSED DEVELOPMENT PHASING
MASS GRADING TO BE PERFORMED IN ONE PHASE.
UTILITY AND STREET CONSTRUCTION TO BE PERFORMED
IN THREE PHASES.

PIONEERengineering
CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

2422 Enterprise Drive
Mendota Heights, MN 55120

(651) 681-1914
Fax: 681-9488
www.pioneereng.com

I hereby certify that this plan was prepared by
me or under my direct supervision and that I
am a duly Licensed Professional Engineer
under the laws of the State of Minnesota

Name
John M. Molinaro
Reg. No. 45831 Date 06-25-2021

Revisions

Date 06-25-2021
Designed PAT/JMM
Drawn JMM/PDS

COVER SHEET

ROBERT ENGSTROM COMPANIES
4801 WEST 81ST STREET, SUITE 101
MINNEAPOLIS, MINNESOTA 55437-1111

WILDFLOWER 4TH ADDITION
LAKE ELMO, MINNESOTA

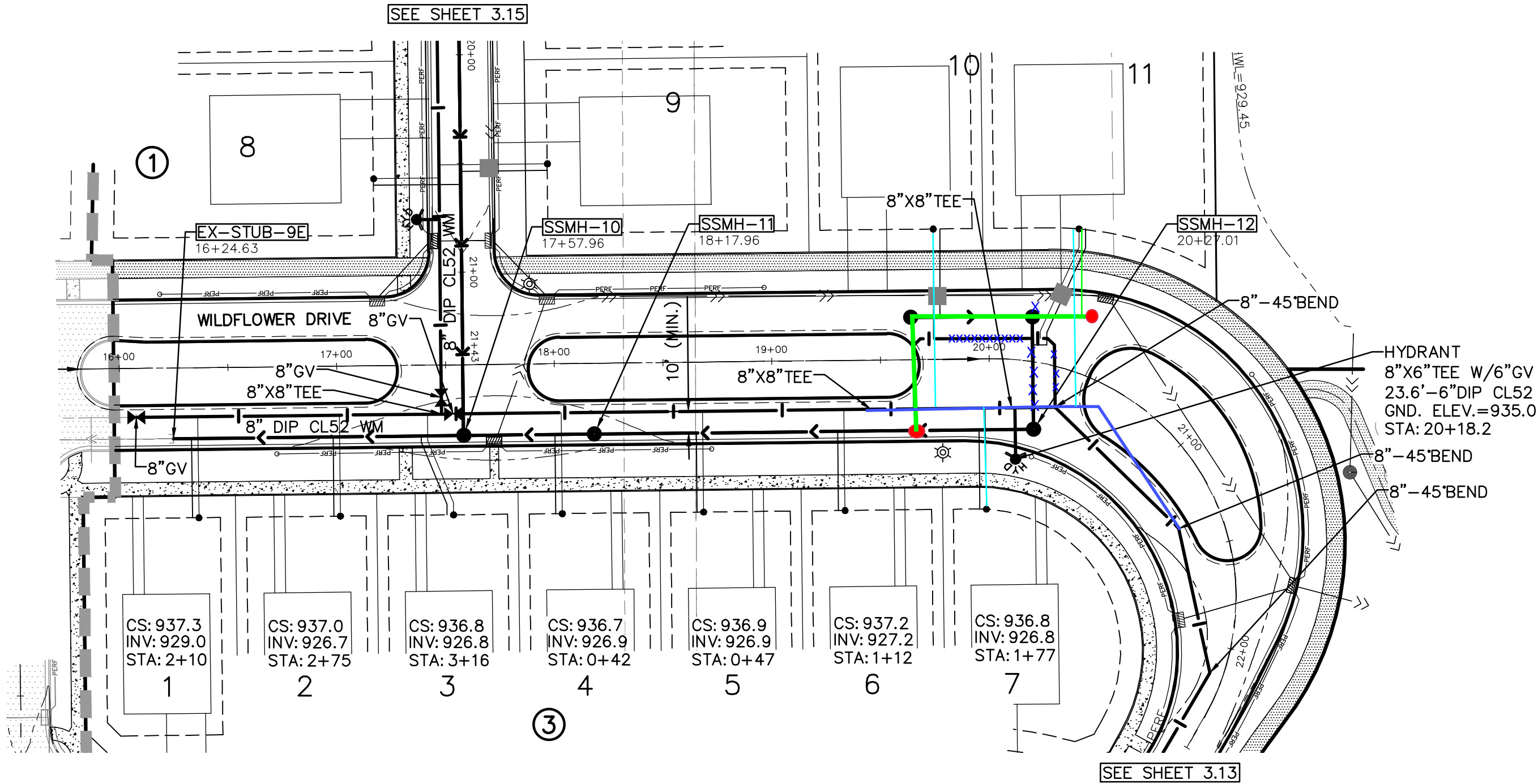
1.01 OF 28

LAKE ELMO STANDARD SANITARY SEWER NOTES: (STANDARD DRAWING 300A)

1. ALL SANITARY SEWER AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
2. ALL SANITARY SEWER PVC PIPE SHALL BE INSTALLED ACCORDING TO CITY STANDARD DRAWING 103 "GRANULAR MATERIAL BEDDING METHOD (FOR PVC SANITARY SEWER PIPE).
3. UNLESS NOTED OTHERWISE, ALL SMOOTH WALLED SANITARY SEWER PVC PIPE AND FITTINGS SHALL BE SDR 35 WITH ELASTOMETRIC GASKETED JOINTS.
4. ALL SANITARY SEWER SERVICES SHALL BE 4-INCH PVC, SCH. 40. EXTRA SPACE IS HERE ON PURPOSE
5. SMOOTH WALLED PVC PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF ASTM D-3034 FOR THE SIZE, STANDARD DIMENSION RATIO (SDR), AND STRENGTH REQUIREMENTS INDICATED ON THE PLANS, SPECIFICATIONS, AND SPECIAL PROVISIONS.
6. REINFORCED CONCRETE PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF MnDOT SPEC 3236 (REINFORCED CONCRETE PIPE) FOR THE TYPE, SIZE AND STRENGTH CLASS SPECIFIED HEREIN.
7. JOINTS OF MANHOLE RISER SECTIONS SHALL BE TONGUE AND GROOVE WITH RUBBER "O" RING JOINTS PROVIDED ON ALL SANITARY SEWER MANHOLES.
8. SANITARY SEWER INLET AND OUTLET PIPES SHALL BE JOINED TO THE MANHOLE WITH A GASKETED, FLEXIBLE, WATERTIGHT CONNECTION TO ALLOW DIFFERENTIAL SETTLEMENT OF THE PIPE AND MANHOLE TO TAKE PLACE.
9. A 1'-0" TO 1'-4" MANHOLE SECTION SHALL BE INSTALLED UNDER THE CONE SECTION TO ALLOW FOR HEIGHT ADJUSTMENT WHENEVER POSSIBLE.
10. ALL SERVICE LINE STUBS MUST HAVE A 2"x2" HARDWOOD MARKER WITH METAL SPIKE RUNNING FROM THE END OF PIPE TO FINISHED GRADE ELEVATION.
11. UPON MAKING A CONNECTION TO AN EXISTING SANITARY SEWER STUB OR MANHOLE, DIRT AND DEBRIS SHALL BE PREVENTED FROM ENTERING THE EXISTING SEWER BY IMMEDIATELY INSTALLING WATERTIGHT PLUGS AS NEEDED IN THE EXISTING MANHOLE.
12. ALL MAINLINE SANITARY SEWER AND SERVICES SHALL HAVE TRACER WIRE PER CITY SPECIFICATIONS AND DETAILS.

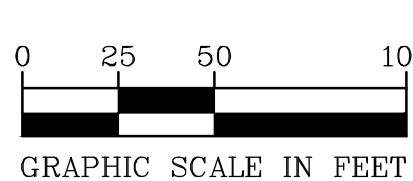
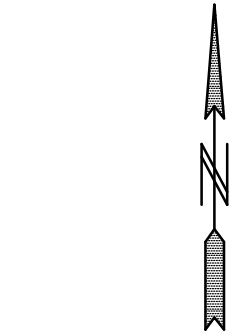
ADDITIONAL NOTES:

1. SEE CITY OF LAKE ELMO STANDARD DETAILS FOR PUBLIC INFRASTRUCTURE.
2. SEE LAKE ELMO STANDARD PLAN NOTES FOR GRADING AND EROSION CONTROL, DETAILS 600A, 600B, AND 600C.
3. SEE LAKE ELMO STANDARD PLAN NOTES FOR SITE RESTORATION, DETAIL 600D.
4. SERVICE AND RISER STATIONING IS FROM DOWNSTREAM MANHOLE.



LAKE ELMO STANDARD WATERMAIN NOTES: (STANDARD DRAWING 200A)

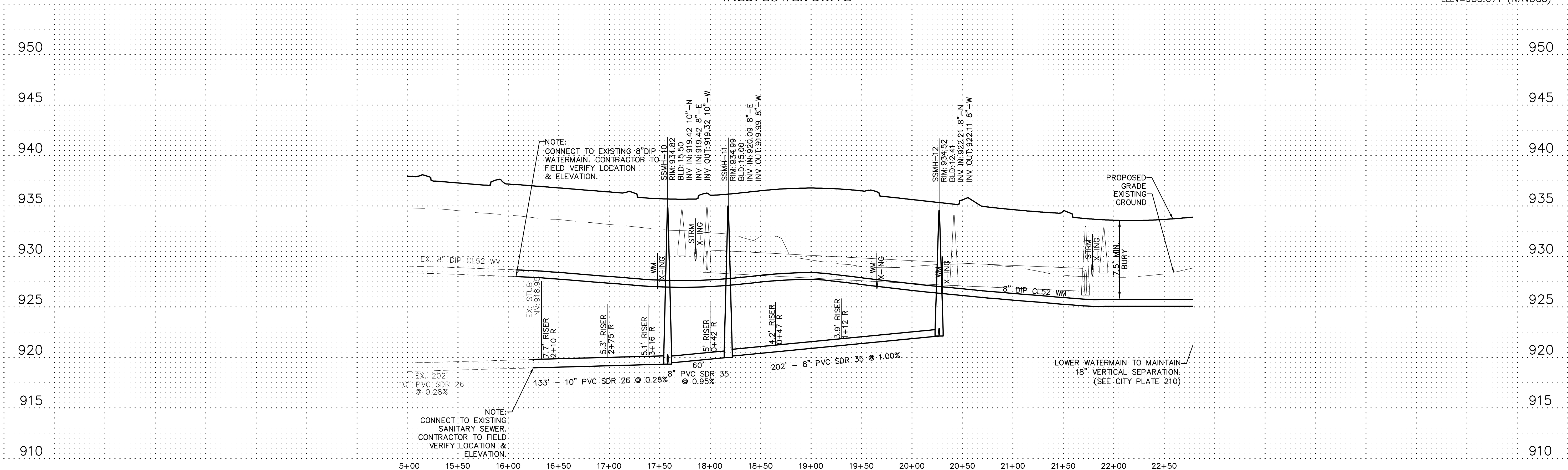
1. ALL WATERMAIN AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
2. MANIPULATION OF EXISTING VALVES SHALL BE PERFORMED ONLY BY CITY PERSONNEL.
3. WATERMAIN SHALL BE DUCTILE IRON PIPE, ENCASED IN POLYETHYLENE, CLASS-52.
4. ALL FITTINGS SHALL COMPLY WITH CEAM SPEC. 2611.2.A1. ALL FITTINGS SHALL BE DUCTILE IRON PIPE WITH POLYETHYLENE ENCASEMENT. ALL CONNECTIONS SHALL BE INSTALLED UTILIZING COR-BLUE NUTS & BOLTS.
5. USE GATE VALVES FOR ALL APPLICATIONS UP THROUGH 12 INCHES.
6. GATE VALVES SHALL BE RESILIENT WEDGE AMERICAN FLOW CONTROL SERIES 2500 OR APPROVED EQUAL. GATE VALVES MUST COMPLY WITH CEAM SPEC 2611.2.C.2.
7. USE BUTTERFLY VALVES FOR ALL APPLICATIONS GREATER THAN 12 INCHES.
8. BUTTERFLY VALVES SHALL BE MUELLER LINESEAL III, OR APPROVED EQUAL. BUTTERFLY VALVES SHALL COMPLY WITH CEAM SPEC. 2611.2.C.3.
9. BOLTS AND NUTS ON ALL VALVES AND HYDRANTS SHALL BE STAINLESS STEEL.
10. ALL HYDRANTS SHALL BE INSTALLED 5.0 FEET BACK OF CURB.
11. HYDRANTS SHALL BE WATEROUS "PACER," MODEL WB-67 OR APPROVED EQUAL, FITTED WITH FH 800 SERIES FLEX STAKE AND PAINTED RED.
12. HYDRANTS SHALL HAVE TWO OUTLET NOZZLES FOR 2-1/2 (I.D.) HOSE CONNECTIONS AND ONE 4" STORZ NOZZLE (MODEL WB-67) AND PENTAGON NUT END CAP.
13. THE CURB STOP SERVICE ASSEMBLY SHALL HAVE A MINIMUM 1'-FT ADJUSTMENT RANGE AND SHALL EXTEND 6 INCHES ABOVE FINISHED GRADE FULLY EXTENDED.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING WATER TO HOMES AND BUSINESSES WHOSE WATER SUPPLY IS DISRUPTED DURING THE COURSE OF THE PROJECT.



BENCH MARK

MN/DOT BENCHMARK: S 27
NORTHWEST QUADRANT LAKE
ELMO AVE AND 33RD ST N.
ELEV=935.671 (NAVD88)

WILDFLOWER DRIVE



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CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

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I hereby certify that this plan was prepared by
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Name
John M. Molinaro
Reg. No. 45831 Date 06-25-2021

Revisions

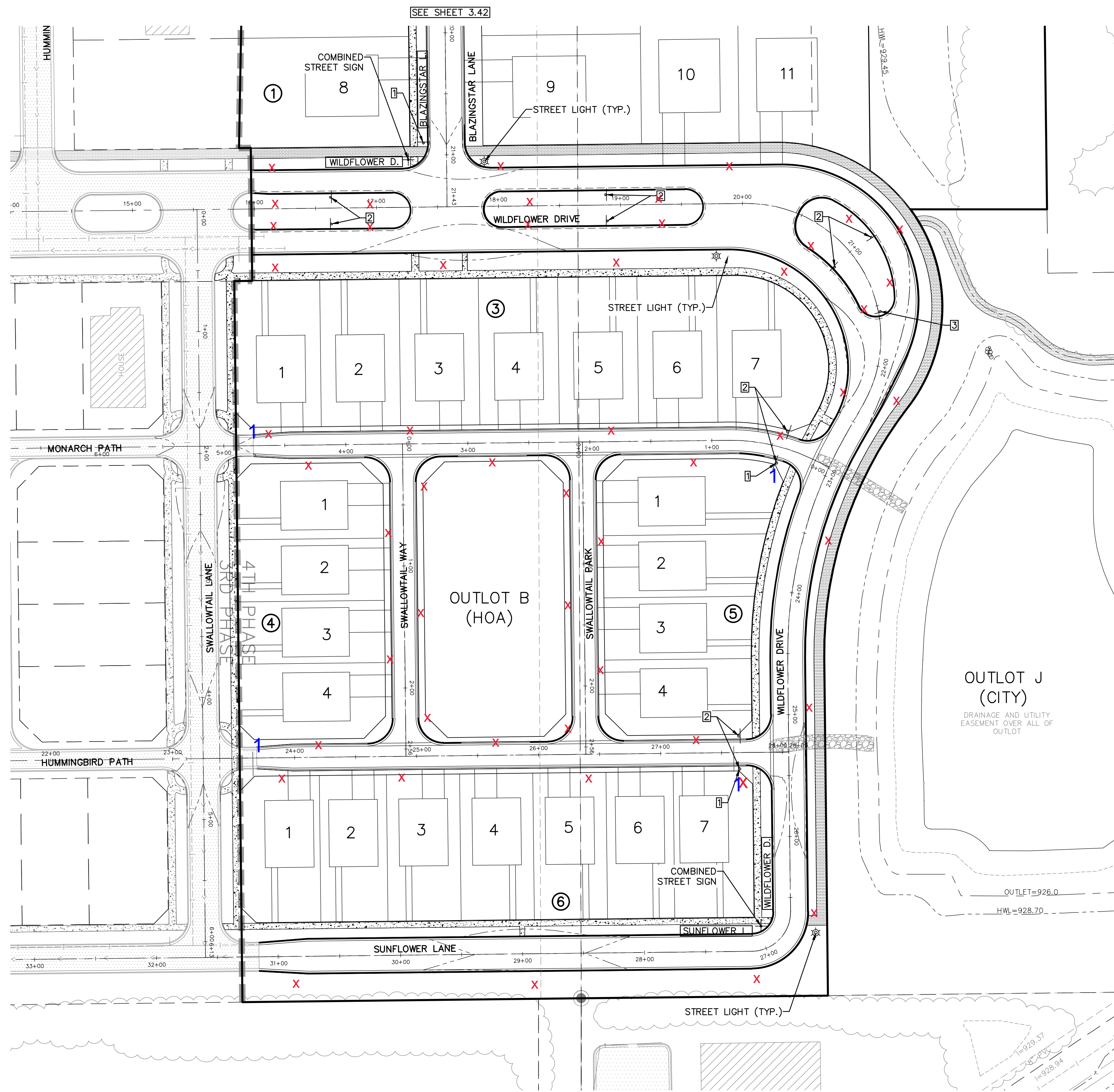
Date 06-25-2021
Designed PAT/JMM
Drawn JMM/PDS

**SANITARY SEWER & WATERMAIN
CONSTRUCTION**

ROBERT ENGSTROM COMPANIES
4801 WEST 81ST STREET, SUITE 101
MINNEAPOLIS, MINNESOTA 55437-1111

WILDFLOWER 4TH ADDITION
LAKE ELMO, MINNESOTA

3.14 OF 28



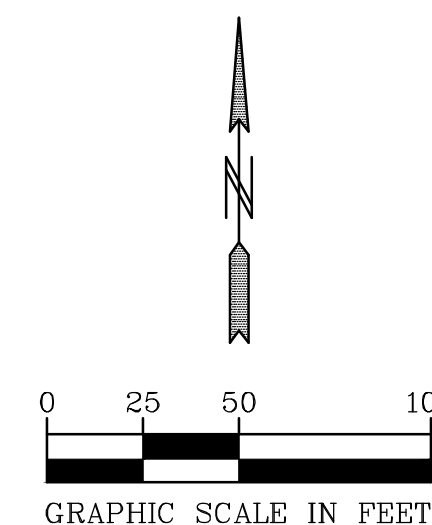
LAKE ELMO SIGNING/PAVEMENT MARKING/LIGHTING NOTES: (STANDARD DRAWING 900A)

1. STREET LIGHTING SHALL BE INSTALLED PER CITY STANDARDS 5 FEET BACK OF CURB IN LOCATIONS SHOWN ON PLAN.
2. ALL SIGNS MUST MEET MMUTCD.
3. ALL SIGN SHEATHING TO BE TYPE IX DIAMOND GRADE (DG3).
4. SIGN POSTS TO BE SQUARE TUBE SIGN STANDARD WITH OMNI BASE.
5. DEVELOPER TO FURNISH AND INSTALL STREET SIGNS PER CITY STANDARDS.
6. POLY PREFORMED PAVEMENT MATERIALS SHALL BE USED FOR ALL PAVEMENT SYMBOLS.
7. EPOXY RESIN AND DROP-ON GLASS BEADS FOR PAVEMENT MARKINGS SHALL MEET THE REQUIREMENTS OF MNDOT "SPECIFICATIONS FOR CONSTRUCTION, 2014 EDITIONS".

ADDITIONAL NOTES:

1. RESIDENTIAL STREET LIGHTS SHALL BE XCEL ENERGY 100W HPS CALIFORNIA ACORN (BLACK IN COLOR) WITH A 15 FT. ALUMINUM POLE (BLACK IN COLOR).

SIGNAGE LEGEND		
1		R1-1 36"x36"
2		R8-3A 18"x18"
3		R4-7 24"x30"
		X4-2 18"x18"



BENCH MARK.
MN/DOT BENCHMARK: S 27
NORTHWEST QUADRANT LAKE
ELMO AVE AND 33RD ST N.
ELEV=935.671 (NAVD88)

04-ENG-114058-SHEET-LITE

To: Ken Roberts, City of Lake Elmo
Planning Director

From: Sarah Harding, Landscape Architect
Jenna Niday, Landscape Designer

File: City of Lake Elmo Landscape Plan Review
Wildflower 4th Addition, Review #1

Date: July 15, 2021

Submittals

- Civil and Landscape Plans, dated 6-25-2021, received 7-6-2021.
- Project Narrative, received 7-6-2021.
- Final Plat and Land Use Applications, received 7-6-2021.

Location: East of Lake Elmo Avenue North, North of 39th Street North, West of Lisbon Avenue North, and south of Veronica Pond in Lake Elmo, MN.

Land Use Category: Medium Density Residential

Surrounding Land Use Concerns: None.

Special landscape provisions in addition to the zoning code: Greenbelt buffer required. The City has previously determined that a sufficient buffer was provided on the North of the plat.

Tree Preservation:

A tree survey plan has been previously submitted, including a tree inventory showing individual trees that are exempt, removed and saved. The allowable tree removal limit (30% of the total diameter inches of significant trees) is exceeded; therefore replacement trees are required. The required number of replacement trees has been accounted for in the original plan submittals and no further action is needed.

Entire Site		
Total Caliper Inches of Significant Trees On-Site:	433.0	Cal Inches
Significant Inches Removed On-Site*	390	Cal Inches
Common Trees	390	
Conifer/Evergreen Trees	0	
Hardwood Trees	0	
Tree Removal Limits (30% Significant Inches Removed On-Site)	130.00	Cal Inches
Subtract Common Tree Removals	390	
Removals in excess of 30% allowance	-260.00	Cal Inches
Removals in Excess of Allowance	260.0	Cal Inches
Common Tree Removals in Excess of 30% Allowance	260.0	
Common Tree Replacement Needed (1/4 the dia inches removed)	65.0	Cal Inches
Common Tree Replacement Required @ 2.5" per Tree	26	# Trees

Landscape Requirements:

The master and subsequent phase landscape plans meet the code required number of trees. Previous phases have planted more than the required number of trees. Previous inspections have found dead or dying trees in the 1st and 2nd additions and the City has allowed these trees to be removed and not replaced, because the proposed landscape has far exceeded the landscape requirements.

	Landscape Required	Phase 1 & 2 Installed	Phase 1 & 2 Removed	Phase 3 Proposed	Phase 4 Proposed
Deciduous		213	40	90	184
Coniferous		261		7	110
Ornamental		155			35
Total	879	629	589	97	329

Total Required per Landscape Code	879
Total Landscape Remaining after Removals, and Future Proposed	1,015

The landscape plans do meet the minimum compositions of required trees:

- At least 25% of the required number of trees shall be deciduous shade trees
- At least 25% of the required number of trees shall be coniferous trees
- Up to 15% of the required number of trees may be ornamental tree

Phase 4	Qty	% Composition
Deciduous Shade Trees	184	56%
Coniferous Trees	110	33%
Ornamental Trees	35	11%
Tree Count Proposed		329

A. A landscape plan has been submitted that does not include all requirements:

1. Ground cover materials are not shown for all disturbed areas.

Findings:

1. All tree preservation, mitigation, and landscape requirements have been met.
2. All disturbed areas need to receive ground cover after work is completed. Notes have not been provided to describe the proposed intent to meet this code requirement. Please provide ground cover specifications for seed, sod, or other approved ground cover.

Recommendation:

It is recommended that a condition of approval include:

1. Submit a revised landscape plan.

Stantec Consulting Services Inc.



Sarah Harding, PLA (MN)

City of Lake Elmo Municipal Landscape Architect

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STAFF REPORT

DATE: 8/09/2021

AGENDA ITEM: __ – PUBLIC HEARING

TO: Planning Commission
FROM: Ken Roberts, Planning Director
ITEM: **Wildflower at Lake Elmo 4th Addition Final Plat and Final PUD Plans**
REVIEWED BY: Jack Griffin, City Engineer

BACKGROUND:

Robert Engstrom Companies is requesting City approval of the final plat and final PUD development plans for the fourth and final phase of the Wildflower at Lake Elmo PUD development. The final plat includes 41 single family residential lots located to the east of the second phase of the Wildflower at Lake Elmo PUD. Staff is recommending approval of the request subject to meeting the conditions of approval listed in this report.

PROPOSAL DETAILS/ANALYSIS:

Applicant: Robert Engstrom Companies; 4801 West 81st Street, #101, Bloomington, MN

Property Owners: Robert Engstrom Companies; 4801 West 81st Street, #101, Bloomington, MN

Location: Outlots G, H, I, J, O and Q, Wildflower at Lake Elmo 1st Addition, and Outlot A, Wildflower at Lake Elmo 3rd Addition

Request: Application for lot Final Plat and Final Planned Unit Development (PUD) Plan approval for the fourth phase of the Wildflower PUD development. The final plat includes 41 single-family residential lots and two Outlots.

*Existing Land Use/
Zoning:* Vacant outlots and MDR/PUD.

Surrounding: North – vacant outlot and MDR/PUD zoning –; west - Wildflower 2nd Addition and MDR/PUD zoning; south – offices, business park land – VMX – Village Mixed Use; east – Wildflower outlot (Storm water pond) and Field of St. Croix II subdivision open space – RR and OP zoning.

Comprehensive Plan: Village Medium Density Residential (2.5-4.99 units per acre)/Village Open Space Overlay

History: The property is within the Village Planning Area boundary and municipal sewer service area. The site was historically been used for farming activities. The City approved a Comprehensive Plan Amendment in 2014 that removed portions of the site from the open space land category. The City approved a PUD Concept Plan for the property on June 17, 2014, and a preliminary plat and preliminary PUD plans on April 7, 2015. Wildflower 1st Addition received final plat and PUD plan approval on 7/21/15 and Wildflower 2nd

Addition received final plat and PUD plan approval on December 6, 2016. A PUD amendment was processed on June 6, 2017. The City Council approved the final plat and PUD plan for Wildflower 3rd Addition on March 20, 2018.

Deadline for Action: Application Complete – 7/13/2021
60 Day Deadline – 9/11/2021
Extension Letter Mailed – No
120 Day Deadline – NA

Regulations: Chapter 153 – Subdivision Regulations
Article 10 – Urban Residential Districts (MDR)
Article 16 – Planned Unit Development Regulations
§150.270 Storm Water, Erosion, and Sediment Control

PROJECT ANALYSIS

Robert Engstrom Companies is requesting approval of a final plat and final PUD plan associated with the fourth and final phase of the Wildflower at Lake Elmo Planned Unit Development (PUD). The proposed final plat will replat the Outlots G, H, I, O and Q, Wildflower at Lake Elmo 1st Addition, 19.88 acres, in to 41 single-family residential lots, of which 22 will be the “garden villa” homes while the remaining 19 will be prairie-style lots for larger single-family homes located on Blazing Star Lane and Blazing Star Court. In addition to the 41 single family homes site, the final plat and PUD plans include two outlots. Outlot A is 7.96 acres in size and will be preserved for permanent open space. Outlot B is 0.58 acres, will be located in the center of the villa lots, will be owned and managed by the HOA for open space. The 22 garden villa lots average 0.17 acres in size with the smallest lot being 0.1405 acres in size and the largest 0.2234 acres in size; the 19 larger, prairie-style single family lots average 0.27 acres in size, with the smallest being 0.1953 acres in size and largest being 0.3947 the acres in size. The proposed lots sizes and dimensions are consistent with the approved preliminary plat and PUD Plans.

Plat Summary:

Development area	
Overall:	19.88 acres
Residential lots:	41 (22 villa, 19 prairie-style)
Outlot for open space (Outlot A):	7.96 acres
R/W area:	3.78 acres
Average garden villa lot size:	0.17 acres
Average prairie lot size:	0.27 acres
Parkland:	0 acres
Wetland and wetland buffers:	0 acres

Grading. The site was rough graded with the first phase development but will require additional grading to complete this phase. The applicant included grading plans in the final plat submittal.

Stormwater. Stormwater issues within the Wildflower PUD were discussed with the approval of Wildflower 2nd Addition and 3rd Addition Final Plats. Staff has not identified any particular storm water issues with this phase of the development.

Street Names. Street names shall be given the suffix “N” prior to recording of final plat.

Engineering Review. The City Engineer has reviewed the final plat submittal and has prepared two review memorandums for the Commission and City Council's review. The applicant should address the comments in the City Engineer's review memorandums dated August 2, 2021 before the City releases the final plat for recording. Some key issues outlined in the review reports include:

- Payment for sanitary and watermain pipe oversizing should be addressed in the development agreement.
- Outlots A and B will be HOA owned with drainage and utility easement over each lot.
- The applicant will need to add drainage and utility easements in several places on the final plat.
- The proposed construction plans need several revisions including extending the proposed 10-inch trunk sanitary sewer line in Outlot A to the north to the south edge of the tree line (about 420 feet) and to meet current City engineering design standards.

Landscape Plan. The applicant submitted a landscape plan to the City for the Fourth Addition for review. The City's Landscape Architect noted that this plan meets all City tree preservation, mitigation and landscape requirements except that it does not specify the type of ground cover the applicant will use. Approval of the revised landscape plan by the City's Landscape Architect should be a condition prior to the City releasing the final plat for recording.

Protective Easement. A condition of preliminary plat was to protect all open space with protective easements. A protective easement will need to be prepared to protect Outlot A from any future development. This should be a condition of approval that needs to be addressed before the City release the final plat for recording.

Parkland Dedication. The 1st Addition Development Agreement indicated that all parkland dedication was satisfied within the first phase.

Timeline. The applicant's narrative indicates the following proposed timeline: Utilities to begin August of 2021 and completed in October 2021 with small utilities in November 2021; street construction to be done in November 2021; and landscaping installation complete in Spring of 2022.

PUD Amendment. On December 6, 2017, the Council approved a PUD amendment to amend the Wildflower at Lake Elmo PUD Agreement. The PUD Amendment allowed for the following, which affects lots in the 3rd and 4th Additions:

- Conservation and Prairie Lots will have setbacks consistent with LDR zoning.
- Driveway locations will be flexible on Lot 4, Block 3 and Lot 4, Block 5 in 3rd Addition. This is subject to City review of individual building permits for unforeseen conflicts or safety issues, and any changes to street curbing as a result of modified driveway locations must occur prior to the installation of the final lift of asphalt being installed.
- Up to 6% impervious coverage is allowed beyond the 50% impervious coverage maximum for the courtyard lots with use of pervious pavers.

Preliminary Plat Conditions. The proposed final plat is generally consistent with the approved preliminary plat. The City approved the Wildflower at Lake Elmo preliminary plat and PUD plans subject to conditions. Staff has provided comments on the status of each these in bold italics:

Preliminary Plat Conditions – With Staff Update Comments (updated information in bold italics):

- 1) No lots within a FEMA flood zone shall be approved as part of a final plat until such time that the City's Floodplain Management Map has been amended to remove these lots. As an alternative to amending this map, the developer must provide documentation that all structures

will be built above the regulatory flood protection elevation, that any public infrastructure will also meet Floodplain Ordinance requirements, and that the proposed storm water ponds may be constructed within the floodplain area. ***Comments: This condition applied to the First Addition final plat and all subsequent stages. There are no buildable lots depicted on the Fourth Addition final plat that are located in a flood district.***

- 2) Prior to any grading activity, the developer shall submit to the City temporary grading easements from the owner of the lots adjacent to Layton Avenue within the Brookman Addition in order to construct the improvements within this right-of-way as documented in the preliminary construction plans. ***Comments: These easements have been secured and grading was completed in earlier phases of the Development.***
- 3) The developer has requested the inclusion of public art within common areas and public property throughout Wildflower development. Prior to the placement of any art on publicly owned property or public rights-of-way, the developer and City shall enter into an agreement that clarifies the individuals or entities responsible for maintenance, upkeep and removal of any public art. No public art shall be lit in a manner that conflicts with the City's Lighting Ordinance. ***Comments: This is a condition that will apply to any placement of public art within the development, including that installed in Phase 1, the stamping of poetry into sidewalks and sculpture in the right of way. A landscape license agreement shall be executed to include public art as a landscape element and shall be executed before the City issues building permits in the Fourth Addition.***
- 4) Prior to the submission of a final plat for any portion of the Wildflower PUD, the developer shall work with the City to determine the appropriate park dedication calculations for the entire development area. ***Comments: The development agreement for the first phase indicated that all park dedication was satisfied with the first phase of the development.***
- 5) The applicant must enter into a separate grading agreement with the City prior to the commencement of any grading activity in advance of final plat and plan approval. The City Engineer shall review any grading plan that is submitted in advance of a final plat, and said plan shall document extent of any proposed grading on the site. ***Comments: Rough grading of the site was completed with the first phase of the development. The applicant is now asking for City approval of the final PUD plan and final plat for the 4th Addition, including final grading plan approval.***
- 6) The utility construction plans shall be updated to incorporate the recommendations of the City Engineer as described in a February 18, 2015 memorandum to the City concerning the appropriate location and size of sewer services through the PUD planning area, including any requested oversizing of these facilities to service adjacent properties, prior to the submission of a final plat. ***Comments: The Developer met this condition with the Third Addition.***
- 7) The developer shall minimize the number of rain gardens within public rights-of-way consistent with the review comments from the City Engineer. Any such storm water infiltration features shall be subject to review and approval by the City Engineer. ***Comments: All rain gardens as previously proposed have been eliminated from the plans.***
- 8) The preliminary development plans must be revised to comply with City Street standards as referenced in the City Engineer's review memorandum dated February 18, 2015. ***Comments:***

The City Engineer has noted several elements of the proposed construction plans that the Applicant needs to update or revise to meet current City standards.

- 9) The City approves all requests for flexibility from City Zoning and Subdivision requirements with the exception of the street standards noted in the preceding condition. ***Comments: The proposed plans address this condition.***
- 10) The applicant is encouraged to incorporate elements from the Lake Elmo Theming Study into the open space areas within the subdivision. ***Comments: The final plans for the 4th Addition do not include any specific references to the City's theming study. This condition was not a mandatory requirement.***
- 11) The preliminary landscape plan shall be updated to address the review comments from the City's landscape architecture consultant as noted in a review letter dated February 4, 2015. ***Comments: The Preliminary Landscape Plans for the entire PUD dated May 28, 2015 generally met the City's requirements for landscaping. The applicant submitted a landscaping and tree plan for the Fourth Phase of the Wildflower PUD. Approval of the revised landscaping and tree plan to include the revisions required by the by the City's Landscape Architect and City Engineer shall be required before the City releases the 4th Addition final plat for recording.***
- 12) All center median planting areas as depicted on the preliminary plat and plans shall be owned by the City of Lake Elmo and maintained by the Homeowners Association. The applicant shall enter into a maintenance agreement with the City that clarifies the individuals or entities responsible for any landscaping installed in areas outside of land dedicated as public park, trails, or open space on the final plat. ***The developer entered into a landscape license agreement that meets this condition for the first phase which have been amended to address the public art. A similar agreement will be required with the Fourth Addition and will be a condition of approval. The agreement shall be executed before the City issues building permits in the Fourth phase.***
- 13) The Final Plat and Plans must address the requested modifications outlined in the City Engineer's review memorandum dated February 18, 2015. ***Comments: The City Engineer has prepared review comments dated August 2, 2021 for this phase of the development that the applicant will need to address before final plat approval.***
- 14) Prior to recording the Final Plat for any portion of the area shown in the Preliminary Plat, the Developer shall enter into a Developers Agreement acceptable to the City Attorney that delineates who is responsible for the design, construction, and payment of public improvements. ***Comments: The City and the applicant will enter into a development agreement for the Fourth Addition.***
- 15) The developer shall provide an easement over or dedicate in a separate outlot all trails to be dedicated for public use. Any such trails shall be considered a park land dedication provide said trails are constructed by the developer with other public improvements within the subdivision. ***Comments: There are two primary trails proposed with the 4th Addition - one along Wildflower Drive and another going to the east to connect to the Fields of St. Croix development.***
- 16) The City will not approve a final plat for any portion of Wildflower until such time that the City has approved construction plans and received financial security related to the construction of the

public improvement project to connect the 39th Street Sewer to the 30th Street lift station.

Comments: The applicant met this condition and as such it no longer applies.

- 17) The developer must follow all the rules and regulations of the Wetland Conservation Act, and adhere to the conditions of approval for the Valley Branch Watershed District Permit.

Comments: The developers engineer has submitted the project plans to Watershed District for a permit and approval. The Watershed District will need to approve the plans and issue a permit before the applicant starts any grading or any site work for this phase of the Development.

- 18) The developer shall maintain access to the Smith property (11514 Stillwater Boulevard North) during construction of the first development phase. Said access shall, at a minimum, be capable of supporting emergency management vehicles and be consistent with City access driveway standards. The existing driveway easement shall be vacated prior to the recording of the final plat.

Comments: The driveway easement from the Smith property providing access to Stillwater Boulevard has been vacated. Easements to the City and Mr. Smith have expired upon the recording of the 2nd Addition Final Plat. Replacement easements were a condition of 2nd Addition Final Plat recording.

- 19) The developer shall establish a legally binding agreement to prevent further residential or commercial development of all outlots that are planned for open space or conservation uses within the preliminary plat.
- Comments: This condition has been met for the first phase and is was addressed in the second phase to protect Outlot A. Platting of future phases will require such an easement over Outlot P as indicated in the preliminary plat. Outlot A of the Fourth Addition is subject to this condition thus it will require a conservation easement or some type of legally binding agreement to prevent it from further development.***

Staff is recommending approval of the final plat and PUD plans with conditions intended to address the outstanding issues that require additional review and/or documentation.

RECOMMENDED CONDITIONS OF APPROVAL:

Staff is recommending conditions as part of this final plat review to address issues highlighted in this report that include conditions of the preliminary plat that have not been fully addressed by the applicant. The City Engineer's review memorandums dated August 2, 2021 identify several issues the applicant needs to address before final plat approval and before starting construction. Based on the above Staff report and analysis, Staff is recommending approval of the final plat and final PUD development plans for Phase Four of Wildflower at Lake Elmo with the following conditions:

Recommended Conditions of Approval:

- 1) The applicant shall address the comments in the City Engineer's review memorandums dated August 2, 2021 before the City releases the final plat for recording. The City Engineer shall review and approve the final construction plans prior to the recording of the Final Plat. All changes and modifications to the plans requested by the City Engineer in the memorandums dated August 2, 2021 and any future reviews (including the extension of the 10-inch trunk

sanitary sewer line to the north in Outlot A) shall be incorporated into these project documents before the City approves the final plans.

- 2) Prior to the execution of the Final Plat by City officials, the Developer shall enter into a Developer's Agreement acceptable to the City Attorney and approved by the City Council that delineates who is responsible for the design, construction, and payment of the required improvements for the Wildflower at Lake Elmo 4th Addition Final Plat and Final PUD Development Plans with financial guarantees therefore.
- 3) All easements as requested by the City Engineer and Public Works Department shall be documented on the Final Plat before the execution of the final plat by City Officials.
- 4) The applicant shall submit to the City for approval a Common Interest Agreement concerning management of the common areas of Wildflower at Lake Elmo 4th Addition and establishing a homeowner's association before the City issues a building permit for any structure within this subdivision.
- 5) The applicant also shall enter into a landscape license/public art agreement and maintenance agreement with the City that clarifies the individuals or entities responsible for any landscaping and public art installed in areas outside of land dedicated as public park and open space on the 4th Addition final plat.
- 6) The applicant shall revise the final landscape and tree planting plan for approval by the City before the City releases the final plat for recording.
- 7) The applicant shall install street signs and no parking signs on City Streets within the development before the City issues any building permits in the 4th Addition.
- 8) Street names shall be given the suffix "N" prior to recording of final plat.
- 9) The applicant shall prepare and the City shall approve a protective or conservation easement that protects Outlot A from any future development, building or subdivision. This easement shall be approved by the City before the City releases the final plat for recording.

DRAFT FINDINGS

Staff is recommending the Planning Commission consider the following findings with regards to the proposed Wildflower 4th Addition Final Plat and Final PUD Plans

- 1) That all the requirements of City Code Section 153.07 related to the Final Plan and Final Plat have been met by the Applicant.
- 2) That the proposed Final Plat for Wildflower at Lake Elmo 4th Addition consists of the creation of 41 single-family detached residential structures.
- 3) That the Wildflower at Lake Elmo 4th Addition Final Plat and Final PUD Plan is consistent with the Preliminary Plat and Plans as approved by the City of Lake Elmo on April 7, 2014.

- 4) That the Wildflower at Lake Elmo 4th Addition Final Plat and Final PUD Plan is consistent with the Lake Elmo Comprehensive Plan and the Future Land Use Map for this area.
- 5) That the Wildflower at Lake Elmo 4th Addition Final Plat generally complies with the City's Urban Medium Density Residential zoning district, with the exceptions as noted in the approved Preliminary PUD Plans and PUD Agreement.
- 6) That the Wildflower at Lake Elmo 4th Addition Final Plat complies with all other applicable zoning requirements, including the City's landscaping, storm water, sediment and erosion control and other ordinances, except as noted in this report or attachment thereof.
- 7) That the Wildflower at Lake Elmo 4th Addition Final Plat complies with the City's subdivision ordinance.
- 8) That the Wildflower at Lake Elmo 4th Addition Final Plat and Final PUD Plan complies with the City's Planned Unit Development Ordinance.
- 9) That the Wildflower at Lake Elmo 4th Addition Final Plat is generally consistent with the City's engineering standards with the exceptions noted by the City Engineer in his review comments to the City dated August 2, 2021 and as otherwise identified in future reviews.

RECOMMENDATION:

Staff recommends the Planning Commission recommend approval of the Final Plat and Final Development Plans for Wildflower at Lake Elmo 4th Addition with the nine conditions of approval as listed in the staff report.

Suggested motion:

“Move to recommend approval of the final plat and PUD development plans for the Wildflower at Lake Elmo 4th Addition with nine conditions based on the findings listed in the staff report.”

ATTACHMENTS:

1. Application and narrative dated July 1, 2021
2. Location Map
3. Property Line Map
4. Proposed Final Plat (4 sheets)
5. Proposed Project Plans
6. City Engineer Final Plat Review Comments dated August 2, 2021
7. City Engineer Construction Plan Review comments dated August 2, 2021
8. Landscape Architect Review comments dated July 15, 2021