



STAFF REPORT

DATE: 11/28/22

REGULAR

ITEM#: 4a – PUBLIC HEARING

MOTION

TO: Planning Commission
FROM: Ben Hetzel, Lake Elmo City Planner
AGENDA ITEM: Upper 33rd Street N Conditional Use Permit Request
REVIEWED BY: Sophia Jensen, Code Enforcement Official

INTRODUCTION:

Henry Elgersma of Upper 33rd LLC recently submitted a conditional use permit application to construct a four unit townhome building at the properties described as Lots 10 and 11, Block 2, Subdivision of Lake Elmo Park. (PIDs 1302921320051 and 1302921320052). The Village Mixed Use Zoning District requires a conditional use permit for all new residential uses. The existing vacant lots are located along Upper 33rd Street N to the west of Lake Elmo Avenue N in the Old Village. The applicant has also submitted a lot consolidation application to combine lots 10 and 11. Administrative approval of a consolidation is required since the properties are existing platted lots.

History

Lot 11 was originally platted as lots 11, 12, and half of 13 in the early 1900s. Since the original platting, lots 11, 12, and half of 13 were consolidated into one lot, now known as lot 11. Lot 10 has remained untouched.

ISSUE BEFORE PLANNING COMMISSION:

The Planning Commission is being asked to hold a public hearing, review, and make a recommendation on the requests to approve a conditional use permit amendment to construct a four unit townhome building.

REQUEST DETAILS/ANALYSIS:

<i>Applicants:</i>	Henry Elgersma
<i>Property Owner:</i>	Upper 33 rd Street LLC
<i>Location:</i>	Lots 10 and 11, Block 2, Subdivision of Lake Elmo Park
<i>Request:</i>	Conditional Use Permit for a four unit townhome building.
<i>Site Area:</i>	0.4 total acres
<i>Existing Land Use:</i>	Vacant
<i>Existing Zoning:</i>	Village Mixed Use (VMX)
<i>Surrounding:</i>	Rural Single Family – North, West, East
<i>Comprehensive Plan:</i>	Village Mixed Use (VMX)

<i>Deadline for Action:</i>	Application Complete – 11/8/22 60 Day Deadline – 1/8/23 Extension Letter – NA
<i>Regulations:</i>	Article XIII Village Districts Article VIII Environmental Performance Standards Article VII, Section 105.12.420 Off-Street Parking

Proposal

The applicant is proposing a total of four units in the single family attached dwelling structure. All four units will be located on a contiguous lot surrounded by existing single family residential uses. The building has a mixture of 1-1/2 and 2 story units and has a footprint of approximately 5,700 square feet with varying unit sizes. Each unit has a total of three bedrooms and a rear facing attached two car garage. A driveway is proposed off of Upper 33rd Street N along the west property line and would wrap around to access the rear facing attached garages. The provided landscape plan depicts a 6 foot privacy fence along the north property line along with trees and 3 foot tall gabions to provide screening from Upper 33rd Street N.

Village Mixed-Use Zoning District Description

This district is intended to continue the traditional mixed-use development that has occurred in the Old Village by allowing retail, service, office, civic and public uses as well as residential units. The mixture of land uses within the district is essential to establishing the level of vitality and intensity needed to support retail and service uses. Development within areas zoned VMX will occur at a density of 5 - 10 units per acre. Senior congregate care facilities may exceed this density maximum with a range not to exceed a total of 16 units per acre, provided the facility can satisfy all zoning and applicable conditional use permit review criteria. The placement of building edges and treatment of building, parking, landscaping, and pedestrian spaces is essential to creating the pedestrian friendly environment envisioned for the VMX district.

Comprehensive Plan

The subject property is located within the Old Village District of the Village Planning Area. The Old Village carries the nostalgic history and character of the City. In turn, vitality of the Old Village Main Street is dependent upon enough households supporting the existing businesses and desired businesses along Main Street.

The 2040 Comprehensive Plan indicates that the future plan for the Old Village is to enhance and preserve the historic character of Main Street. There is an opportunity to fill existing gaps with similarly sized and scaled buildings that are supportive and consistent with the architectural charm of existing buildings.

Density

The total site area equals 0.4 acres. The allowable density within the Village Mixed-Use district is a range of 5-10 units per acre. This proposal would meet the minimum and maximum density with a calculation of 10 units per acre.

VMX Lot Dimensions and Building Bulk Requirements

	Required	Proposed
<i>Minimum Lot Area (Square Feet)</i>	3,000 per unit	17,424 total
<i>Minimum Lot Width</i>	25 ft per unit	175 ft total
<i>Max Impervious Coverage</i>	75 percent	66.8 percent
<i>Front Yard Setback</i>	25 ft	25 ft
<i>Rear Yard Setback</i>	10 ft	25.8 ft
<i>Side Yard Setback</i>	10 ft	32.3ft and 16.7 ft
<i>Driveway Setback (side lot line)</i>	5 ft	5 ft

The applicant is proposing a retaining wall that abuts the west and north property lines. According to Section 105.12.200 of the Lake Elmo City Code, walls six feet in height or less may encroach into side and rear yard setbacks. However, the City Engineer has indicated that the applicant must establish drainage and utility easements along the side and rear property lines. The retaining wall and portion of driveway may not encroach within these easements. The applicant will be required to provide updated plans showing the requested easements and that they are free of encroachments.

Off-Street Parking Requirements

The off-street parking requirements of the Lake Elmo City Code require one parking space per one bedroom unit and two spaces per two bedroom unit or larger for single-family attached dwellings. An additional ten percent of parking spaces shall also be required for visitor parking. The architectural plans show that the proposal will meet the bedroom parking space requirement by providing each residential unit an attached two car garage. Currently, the plans do not show visitor parking.

The Lake Elmo City Code does have a provision to waive the parking requirements in the VMX zoning district recognizing the availability of on-street and shared parking facilities. Due to the inability to park along Upper 33rd Street N, staff does not recommend waiving the parking requirements for this proposal. The applicant should be required to revise the plans to show adequate visitor parking spaces.

Development Standards

Development of land within the village districts shall follow established standards for specific uses. The following standards apply to single family attached dwellings.

- a) The primary entrance to each unit shall be located on the facade fronting a public street. ***The proposal shows a primary entrance facing Upper 33rd Street N for each unit.***
- b) Common open space for use by all residents or private open space adjacent to each other shall be provided. Such open space shall comprise of a minimum of 300 square feet in the V-HDR and VMX, and 500 square feet per unit in the V-MDR. ***The total amount of open space required for four units is 1,200 square feet. The provided site plan shows 2,950 square feet of open space.***

- c) Unless otherwise specified in this article, single family attached dwellings in the VMX and V-MDR shall adhere to the MDR district setbacks. *Article XIII Village Districts lists specific setbacks for the VMX district. The proposal meets the required setbacks of the VMX district.*

Stormwater Management

The proposal includes an underground storm water infiltration chamber to mitigate 100% of the required rate and volume control. The applicant has not provided soil boring data to determine the feasibility of infiltration on the site. This data will be a requirement for an acceptable stormwater management plan.

REVIEW COMMENTS

City Engineer

1. Final Construction Plans must be prepared in accordance with the Engineering and Design Standards Manual, dated January 2022.
2. Upper 33rd Street N does not meet the minimum city standards for road width and right of way width.
3. No on street parking is allowed along Upper 33rd Street N. Parking must be kept internal to the site.
4. No sidewalk or trail currently exists along Upper 33rd Street due to the narrow roadway.
5. A 10-ft drainage and utility easement should be provided along the property frontage. Minimum lot easements should be included along the side and rear property lines as well.
6. The proposed retaining walls along the west and rear property lines should be a minimum of 5 ft from property lines and outside all lot easements.
7. Revise the existing conditions plan to show a minimum distance of 150 ft outside the property boundary in all directions.
8. The project is subject to a stormwater management plan. Post construction discharge rates and volumes must be equal or less than pre-existing discharge rates.
9. No storm sewer calculations have been provided to demonstrate the available capacity in the City storm sewer system at this location.
10. Soil borings are required to determine the feasibility of infiltration on site.
11. The stormwater facilities shall remain privately owned and maintained. A stormwater maintenance and easement agreement will be required. A Homeowner's association would be required to provide for ongoing ownership and maintenance.
12. Municipal water supply is available to the site.
13. Sanitary sewer service is available to the site.

Fire Department (Memo dated 10/31/22)

1. The fire sprinkler system shall be installed compliant with provisions of 2016 NFPA Standard 13D, Installation of Sprinkler Systems in One- and Two-Family Dwellings or IRC P2904. City permit required prior to initiation of work.
2. Building address numbers shall be plainly visible from the street fronting the property and shall be a contrasting color from the background. Size and placement of address numbers shall be approved by the fire and planning departments.

RECOMMENDED CONDITIONAL USE FINDINGS

Conditional use means a land use or development as defined by ordinance that would not be

appropriate generally but may be allowed with appropriate restrictions as provided by official controls only upon a finding that all of the following provisions are met. Staff recommends the following findings:

1. The proposed use will not be detrimental to or endanger the public health, safety, comfort, convenience or general welfare of the neighborhood or the city. ***The proposed use will not endanger the public health, safety, comfort, convenience or general welfare of the neighborhood or the City.***
2. The use or development conforms to the City of Lake Elmo Comprehensive Plan. ***The site is already zoned in conformance with the intent of the Old Village District of the Village Planning Area and the Village Mixed Use zoning district.***
3. The use or development is compatible with the existing neighborhood. ***The proposed use is compatible with the existing single family residential in the neighborhood. The design of the proposed structure is consistent with the surrounding area in terms of building height, building materials, colors, and variations of pitched roofs.***
4. The proposed use meets all specific development standards for such use listed in the Zoning Code. ***The use meets all the specific development standards for single family attached dwellings set forth in LEC 105.12.820(a)(3).***
5. If the proposed use is in a flood plain management or shoreland area, the proposed use meets all the specific standards for such use listed in Article XIX (Shoreland Management) and Title 100 (Flood Plain Management). ***The proposed use is not within a Shoreland Management District or a Floodplain Management zone.***
6. The proposed use will be designed, constructed, operated, and maintained so as to be compatible in appearance with the existing or intended character of the general vicinity and will not change the essential character of that area. ***The design of the proposed structure is designed to be compatible with the height, colors, and building materials of the surrounding area.***
7. The proposed use will not be hazardous or create a nuisance as defined under this Chapter to existing or future neighboring structures. ***The use is not hazardous and will not create a nuisance.***
8. The proposed use will be served adequately by essential public facilities and services, including streets, police and fire protection, drainage structures, refuse disposal, water and sewer systems and schools or will be served adequately by such facilities and services provided by the persons or agencies responsible for the establishment of the proposed use. ***The proposed use will be served adequately by essential public facilities and services.***
9. The proposed use will not create excessive additional requirements at public cost for public facilities and services and will not be detrimental to the economic welfare of the community. ***The proposed use will not create excessive additional requirements at a public cost.***
10. The proposed use will not involve uses, activities, processes, materials, equipment, and

conditions of operation that will be detrimental to any persons, property, or the general welfare because of excessive production of traffic, noise, smoke, fumes, glare, or odors.

The proposed residential use will not produce excessive noise, fumes, glare, or odors. The addition of four dwelling units should not create excessive traffic along 33rd Street N especially with the restriction of on street parking. Any future expansion of 33rd Street N to the west will further improve traffic circulation.

11. Vehicular approaches to the property, where present, will not create traffic congestion or interfere with traffic on surrounding public thoroughfares. ***The proposed structure will not create traffic congestion or interfere with traffic on surrounding public thoroughfares. Four additional residential units should not create congestion. The rear facing garages and singular access creates for a safer vehicle access onto Upper 33rd Street N by eliminating the need to back out into a public street.***
12. The proposed use will not result in the destruction, loss, or damage of a natural or scenic feature of major importance. ***The use will not result in the destruction, loss, or damage of a natural or scenic feature of major importance.***

FISCAL IMPACT:

None

RECOMMENDED CONDITIONS OF APPROVAL:

1. The applicant must obtain all other necessary City, State, and other governing body permits and approvals prior to the commencement of any construction activity onsite.
2. All recommendations in the City Engineer's memorandum dated 11/15/22 shall be met prior to any construction activity.
3. All recommendations provided by the City's Landscape Architect shall be met prior to any construction activity.
4. All conditions in the Fire Chief's memorandum dated 11/8/22 must be met prior to any construction activity.
5. The applicant shall provide the City with recorded documents from Washington County which effectuate the required lot consolidation prior to any construction activity.
6. The applicant must receive an approved address from Washington County prior to any construction activity.
7. The applicant shall provide one additional off-street parking space for visitor parking as per Lake Elmo City Code.
8. An encroachment agreement is required for fencing located in the required drainage and utility easements prior to any construction activity. A fence permit is also required regardless of the location of the fencing.
9. If the applicant has not taken action toward starting the townhouse structure or if substantial construction has not taken place within 12 months of the City's approval of the conditional use permit, the CUP approval shall become void. The applicant may request City Council approval of a time extension to start or implement the conditional use permit.

PUBLIC COMMENT:

A public hearing notice was sent to surrounding property owners on November 16, 2022 and published in the Stillwater Gazette on November 18, 2022. Staff has received one public comment that was against the request.

Susan Dunn at 11018 Upper 33rd Street N provided comment to staff in opposition of the proposal. The reason being, is that the proposed single family attached use is inappropriate for this area.

OPTIONS:

The Planning Commission may:

- Recommend approval of the requests.
- Recommend approval of the requests with conditions.
- Recommend denial of the requests, citing findings of fact for denial.

RECOMMENDATION:

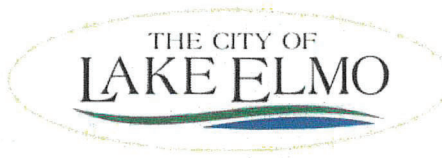
Staff recommends that the Planning Commission recommend approval of the conditional use permit amendment to construct a four unit townhome building.

“Move to recommend approval of a conditional use permit to allow the construction of a four unit townhome building at the properties described as Lots 10 and 11, Block 2, Subdivision of Lake Elmo Park.”

ATTACHMENTS:

- 1) Land Use Applications
- 2) Written Statements
- 3) Location Map
- 4) Civil Plans
- 5) Architectural Plans
- 6) City Engineer Email Dated 11/15/22
- 7) Fire Department Memo dated 11/8/22

Date Received: _____
Received By: _____
Permit #: _____



651-747-3900
3800 Laverne Avenue North
Lake Elmo, MN 55042

LAND USE APPLICATION

- Comprehensive Plan Zoning District Amend Zoning Text Amend Variance*(see below) Zoning Appeal
- Conditional Use Permit (C.U.P.) Flood Plain C.U.P. Interim Use Permit (I.U.P.) Excavating/Grading
- Lot Line Adjustment Minor Subdivision Residential Subdivision Sketch/Concept Plan
- PUD Concept Plan PUD Preliminary Plan PUD Final Plan Wireless Communications

Applicant: Henry Elgersma
Address: 393 Cleveland Ave S, Saint Paul, MN 55105
Phone # 515-441-2594
Email Address: henry@jcorp.biz

Fee Owner: Upper 33rd, LLC
Address: 393 Cleveland Ave S Saint Paul, MN 55105
Phone # 515-441-2594
Email Address: henry@jcorp.biz

Property Location (Address): N/A
(Complete (long) Legal Description: SUBDIVISIONNAME ELMO PARK LOT 10 BLOCK 2 SUBDIVISIONCD 37200
LOTS 11&12 & E1/2 OF LT 13 002 ELMO PARK ADD SUBDIVISIONNAME ELMO PARK LOT 11 BLOCK 2 SUBDIVISIONCD 37200
PID#: 1302921320051, 1302921320052

Detailed Reason for Request: _____
CUP Submittal to build new 4-unit townhouse project on Upper 33rd St

*Variance Requests: As outlined in Section 301.060 C. of the Lake Elmo Municipal Code, the applicant must demonstrate practical difficulties before a variance can be granted. The practical difficulties related to this application are as follows:

No variance requests

In signing this application, I hereby acknowledge that I have read and fully understand the applicable provisions of the Zoning ordinance and current administrative procedures. I further acknowledge the fee explanation as outlined in the application procedures and hereby agree to pay all statements received from the City pertaining to additional application expense.

Signature of applicant: Date: 10/28/2022

Signature of fee owner: Date: 10/28/2022

CITY OF LAKE ELMO
OCT 28 2022
RECEIVED

CUP Application - Written Statements

Upper 33rd Street

A) Contact Information

Owners:

Henry Elgersma

393 Cleveland Ave S, Saint Paul, MN 55105

515-441-2594

Ryan McKilligan:

1110 Raymond Ave #3, Saint Paul, MN 55108

651-502-1470

Civil Engineer:

T.J. Rose, P.E.

3524 Labore Road, White Bear Lake, MN 55110

651-481-9120

Architect:

Henry Elgersma, AIA

393 Cleveland Ave S, Saint Paul, MN 55105

515-441-2594

B) Site Data

No address assigned

V-MX (Village Mixed Use) zoning

12,499 SF (.287 acres) - PID 1302921320052

5,000 SF (.115 acres) - PID 1302921320051

Legal Description:

SubdivisionName ELMO PARK Lot 11 Block 2 SubdivisionCd 37200

SubdivisionName ELMO PARK Lot 10 Block 2 SubdivisionCd 37200

LOTS 11&12 & E1/2 OF LT 13 002 ELMO PARK ADD SUBDIVISIONNAME ELMO PARK

LOT 11 LOCK 2 SUBDIVISIONCD 37200

C) Property history

Currently a vacant piece of land

D) Proposed use

- i. We are proposing a residential use comprised of four single-family attached dwelling units on one combined lot. The units will each have a main entry facing Upper 33rd Street with open front yards to create an appealing front elevation and

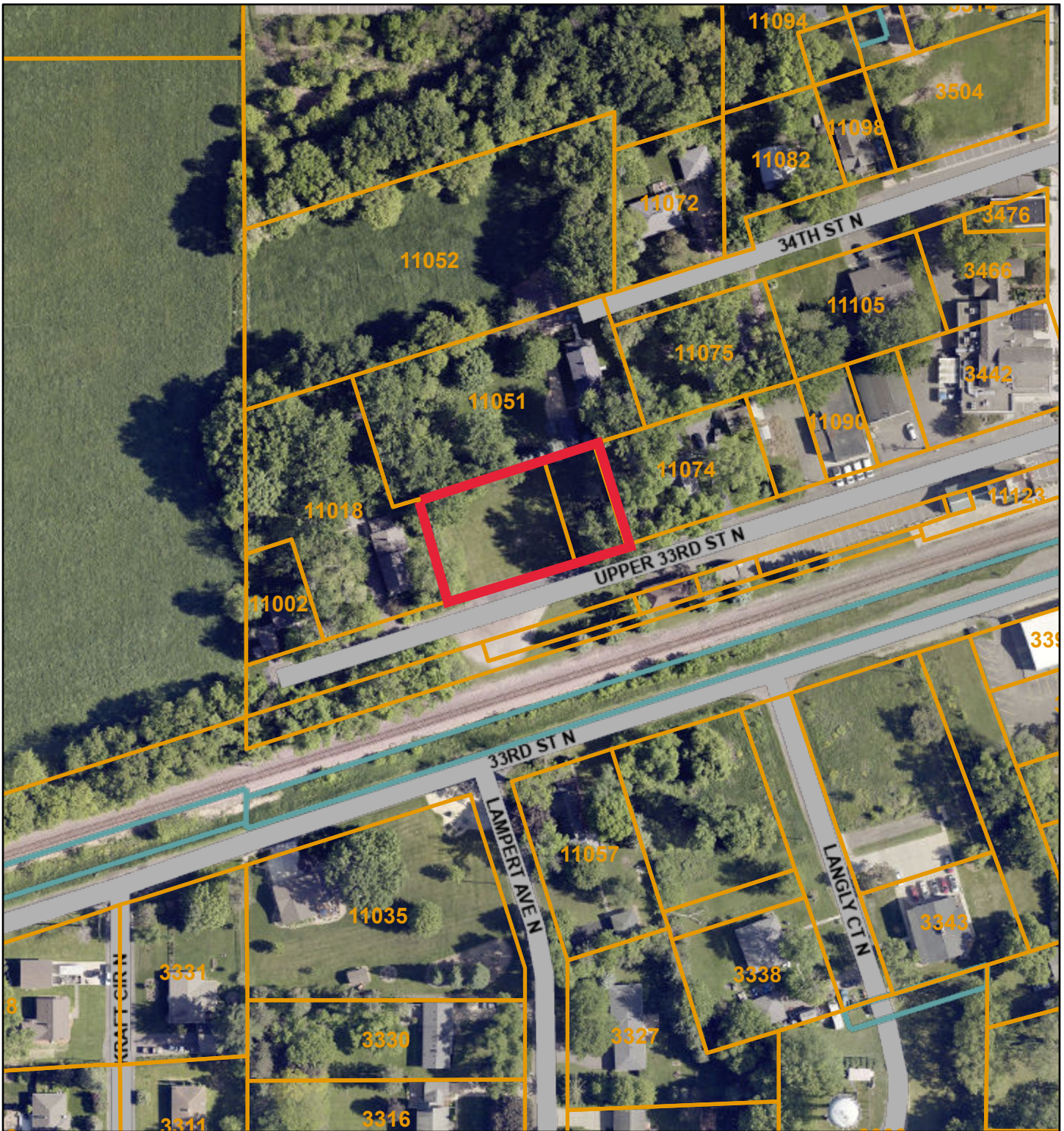
- connection to the surrounding community. Each unit will have a rear-facing two car garage accessed from a private driveway. One access point for vehicles on the western portion of the site is proposed, with the east side yard being maintained for open space along with the front yard. The proposed building conforms to all setback requirements and leaves ample space between the structure and adjacent properties. Fencing will be provided to screen between the properties to the west and north. There should be minimal impact to any wetland or forest natural areas.
- ii. No employees or hours of operation for residential use. Proposed development schedule would be construction during 2023 construction season with opening late 2023.

E) Justification

- i. The proposed Residential use of Attached Single Family Dwellings is consistent with the context of the adjacent area in terms of overall building height, quality of proposed building, and residential use. The use will not be detrimental to public health, safety, comfort, convenience, or general welfare of the neighborhood or City.
- ii. Lake Elmo 2040 Comprehensive Plan Goals for the Old Village District include encouraging walkable, pedestrian scale buildings, encouraging an increase in households, and supporting development of various housing types throughout the community for various life stages. The proposed density of 4 dwelling units in 4.02 acres is consistent with the Lake Elmo 2040 Comprehensive Plan which allows a minimum of 5 up to 10 dwelling units per acre for the Village Mixed Use designation. We believe introducing four high-quality, single family attached rental homes contributes to these goals by increasing the population to support the nearby businesses on Lake Elmo Ave, contributing to the walkable quality of the neighborhood with pedestrian scaled buildings with entrances that face the street rather than garages, and complying with the density target for the V-MU area. Additionally, creating four high-quality rental units diversifies the housing options that are currently almost entirely owner-occupied, and offers a low-maintenance living option for residents in any stage of life.
- iii. The proposed project's compatibility with the existing neighborhood is established through:
 1. Using a mixture of 1-1/2 story and 2 story units which are similar in height to existing housing nearby
 2. Using similar materials and color palettes to nearby houses and buildings on Lake Elmo Ave.
 3. Utilizing varied pitched roofs and wall planes to tie into the existing massing and shape of nearby homes and the break the building down into smaller parts
 4. Using similar window patterning as nearby homes and businesses
 5. Creating primary entrances that face the street and sidewalks to encourage pedestrian connection to the neighborhood

6. Locating the garages and vehicular circulation in the rear of the building.

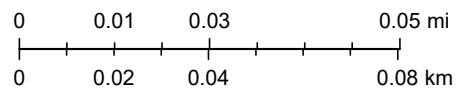
ArcGIS Web AppBuilder

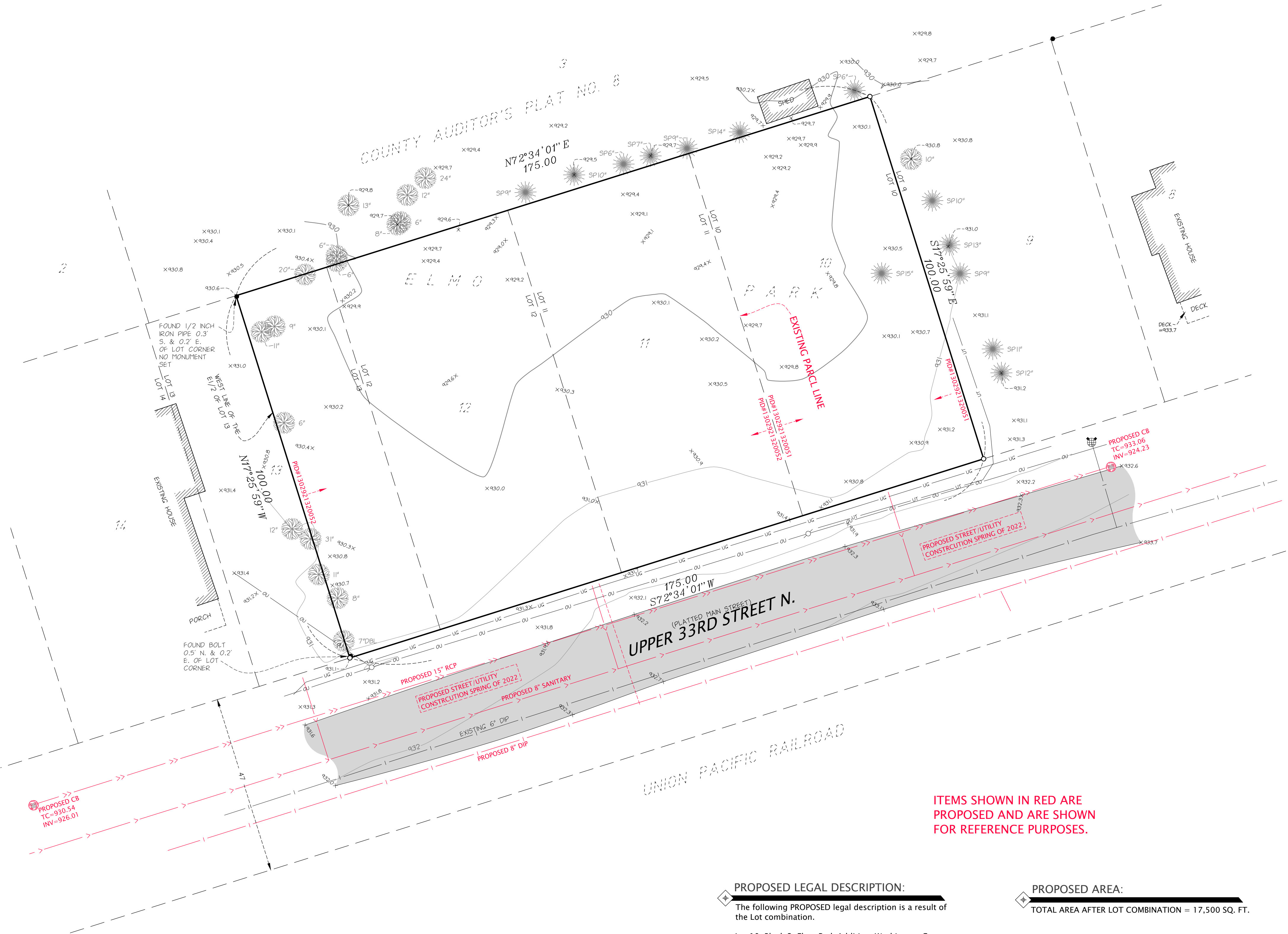


11/23/2022, 8:38:52 AM

1:2,257

- Parcels
- Easement Lines
- COMPUTED UTILITY_DRAINAGE
- MNWASH038007.sid
 - Red: Band_1
 - Green: Band_2
- MNWASH026009.sid
 - Blue: Band_3
- MNWASH032009.sid
 - Red: Band_1
 - Green: Band_2
 - Blue: Band_3
- MNWASH020009.sid
 - Red: Band_1





LEGAL DESCRIPTION:

The following legal description is as shown on the All American Title Co., Inc as Agent for Old Republic National Title Insurance Company Title Commitment No. 119817-22-02-R-1, dated January 10th, 2022

PID#1302921320051
 Lot 10, Block 2, Elmo Park Addition, Washington County, Minnesota.
 Abstract Property

AND
 PID#1302921320052
 Lots Eleven (11) and Twelve (12), and the East Half (E1/2) of Lot Thirteen (13) in Block Two (2) of Elmo Park, according to the plat thereof on file and of record in the office of the Registrar of Titles, Washington County, Minnesota.
 Torrens Certificate No. 71287

TITLE NOTES:

THE FOLLOWING EASEMENTS AND OR ENCUMBRANCES ARE AS SHOWN ON THE ABOVE MENTIONED TITLE COMMITMENT.

1. NO SURVEY RELATED ITEMS LISTED ON SAID TITLE COMMITMENT.

AREA:

TOTAL AREA AS SHOWN = 17,500 SQ. FT.

SURVEY NOTES:

1. BEARINGS ARE BASED ON THE WASHINGTON COUNTY COORDINATE SYSTEM NAD 1983.
2. UNDERGROUND UTILITIES SHOWN PER GOPHER ONE LOCATES AND AS-BUILTS PLANS PROVIDED BY THE CITY OF LAKE ELMO PUBLIC WORKS DEPARTMENT.
3. THERE MAY BE SOME UNDERGROUND UTILITIES, GAS, ELECTRIC, ETC. NOT SHOWN OR LOCATED.
4. PROPOSED UTILITIES SHOWN PER PLANS PROVIDED BY THE CITY OF LAKE ELMO ENGINEERING DEPARTMENT.

LEGEND:

● FOUND MONUMENT	⊕ FIRE DEPT. CONNECTION	— US — UNDERGROUND ELECTRIC
○ SET 1/2" IRON PIPE MARKER PLS NO. 12718	⊕ CURB STOP	— UTV — UNDERGROUND CABLE TV
⊕ CABLE TV PEDESTAL	⊕ WATER WELL	— UF — UNDERGROUND FIBER OPTIC
⊕ AIR CONDITIONER	⊕ WATER MANHOLE	— UF — UNDERGROUND TELEPHONE
⊕ ELECTRIC MANHOLE	⊕ WATER METER	— OU — OVERHEAD UTILITY
⊕ ELECTRIC METER	⊕ POST INDICATOR VALVE	— UC — UNDERGROUND GAS
⊕ ELECTRIC PEDESTAL	⊕ WATER VALVE	— SS — SANITARY SEWER
⊕ ELECTRIC TRANSFORMER	⊕ BOLLARD	— SS — STORM SEWER
⊕ LIGHT POLE	⊕ FLAG POLE	— SS — WATERMAIN
⊕ GUY WIRE	⊕ MAIL BOX	— F — FENCE
⊕ POWER POLE	⊕ TRAFFIC SIGN	— C — CURB (TYPICAL)
⊕ GAS MANHOLE	⊕ UNKNOWN MANHOLE	— CS — CONCRETE SURFACE
⊕ GAS METER	⊕ SOIL BORING	— BS — BITUMINOUS SURFACE
⊕ TELEPHONE MANHOLE	⊕ TRAFFIC SIGNAL	
⊕ TELEPHONE PEDESTAL	⊕ CONIFEROUS TREE	
⊕ SANITARY CLEANOUT	⊕ DECIDUOUS TREE	
⊕ SANITARY MANHOLE		
⊕ CATCH BASIN		
⊕ STORM DRAIN		
⊕ FLARED END SECTION		
⊕ STORM MANHOLE		

UNDERGROUND UTILITIES NOTES:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THIS SURVEY HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ADDITIONAL UTILITIES OF WHICH WE ARE UNAWARE MAY EXIST.



PROPOSED LEGAL DESCRIPTION:

The following PROPOSED legal description is a result of the Lot combination.

Lot 10, Block 2, Elmo Park Addition, Washington County, Minnesota.
 Abstract Property

AND
 Lots Eleven (11) and Twelve (12), and the East Half (E1/2) of Lot Thirteen (13) in Block Two (2) of Elmo Park, according to the plat thereof on file and of record in the office of the Registrar of Titles, Washington County, Minnesota.
 Torrens Property

PROPOSED AREA:

TOTAL AREA AFTER LOT COMBINATION = 17,500 SQ. FT.

ITEMS SHOWN IN RED ARE PROPOSED AND ARE SHOWN FOR REFERENCE PURPOSES.

CONTACT:

Ryan McKilligan – Project Manager
 Element Design-Build
 Mobile: 515-291-7708
 ryan@element-db.com

COUNTY/CITY:

WASHINGTON COUNTY
 CITY OF LAKE ELMO

REVISIONS:

DATE	REVISION
3-10-22	INITIAL ISSUE
11-2-22	LOT COMBINATION

CERTIFICATION:

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Land Surveyor under the laws of the state of Minnesota.
 Daniel L. Thurmes Registration Number: 25718
 Date: 3-10-22

PROJECT LOCATION:

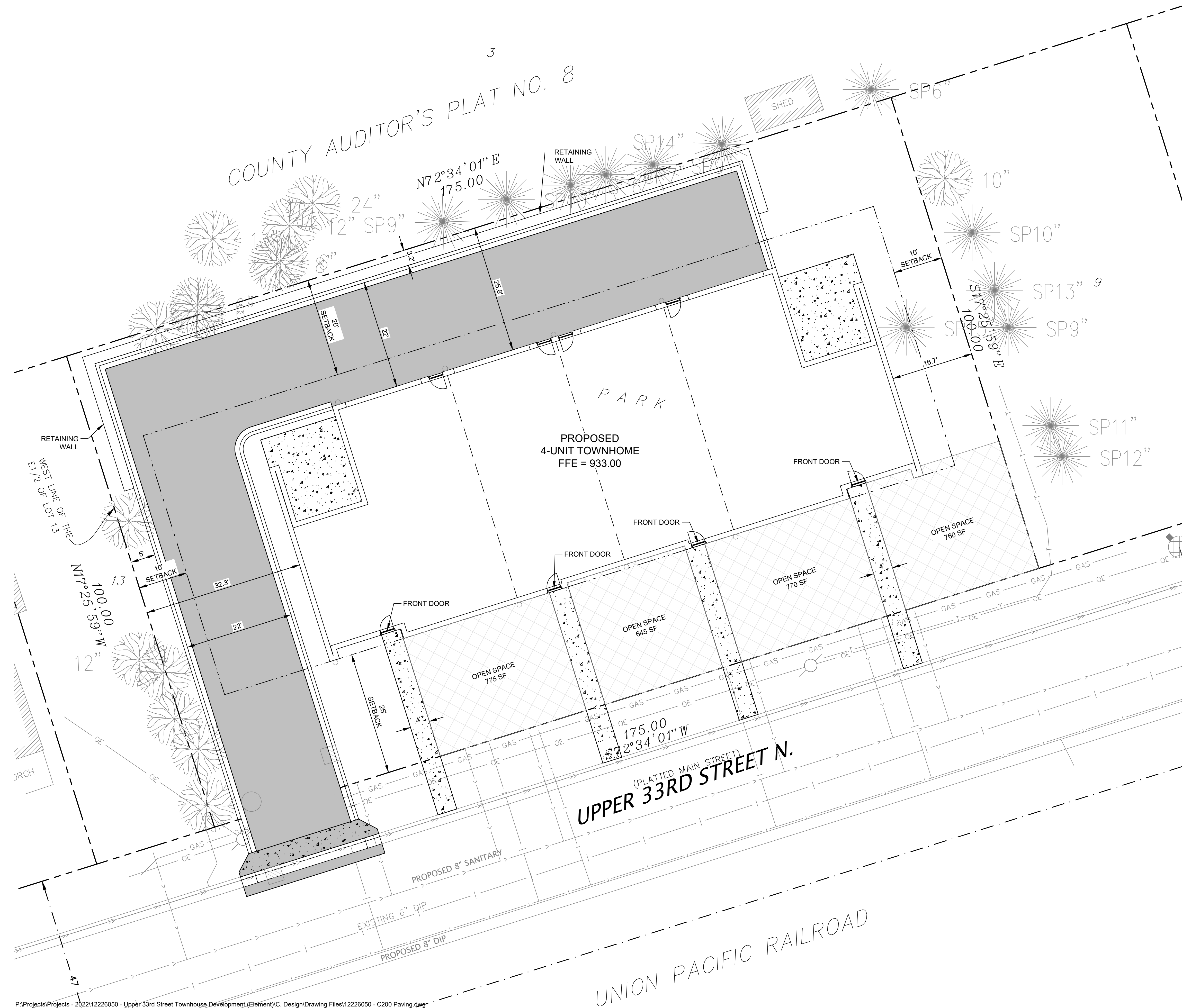
11XXX
 UPPER 33RD ST. N.
 PID#1302921320052
 PID#1302921320051

Suite #200
 1970 Northwestern Ave.
 Stillwater, MN 55082
 Phone 651.275.8969
 dan@cssurvey.net


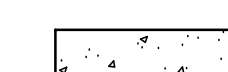

CORNERSTONE
 LAND SURVEYING, INC.

FILE NAME: ZZ271A
 PROJECT NO.: ZZ12271A

LOT COMBINATION







SYMBOL LEGEND

-  NEW LIGHT-DUTY BITUMINOUS PAVEMENT
SEE DETAIL 1/C500
-  NEW CONCRETE SIDEWALK
SEE DETAIL 3/C500
-  NEW DRIVEWAY APRON CONCRETE PAVEMENT
SEE DETAIL 10/C500

AREA CALCULATIONS:

PROPERTY AREA = 17,500 S.F.
 IMPERVIOUS AREA = 11,684 S.F.
 IMPERVIOUS PERCENT = 66.8%
 MAX. ALLOWABLE IMPERVIOUS = 75% (13,125 S.F.)

GENERAL LEGEND

-  PROPERTY LINE
-  EASEMENT LINE
-  RIGHT-OF-WAY LINE
-  SETBACK LINE

KEY NOTES

- ① B612 CURB AND GUTTER, SEE DETAIL 2/C500
- ② DRIVEWAY APRON, SEE DETAIL 10/C500
- ③ RETAINING WALL, SEE DETAIL 4/C500

NOTE:

LOTS WILL BE CONSOLIDATED INTO ONE LOT.

Larson Engineering, Inc.
 3524 Labore Road
 White Bear Lake, MN 55110
 651.481.9120 (f) 651.481.9201
 www.larsonengr.com

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ELEMENT DESIGN-BUILD
 1110 RAYMOUND AVENUE, UNIT 3
 ST. PAUL, MN 55108

UPPER 33RD STREET TOWNHOUSE DEVELOPMENT
 LAKE ELMO, MN

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

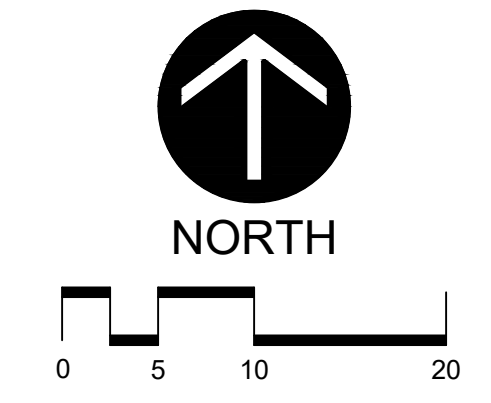
Matthew J. Woodruff, P.E.
 Date: 11.03.22 Lic. No.:

Rev.	Date	Description

Project #: 12226050
 Drawn By: TJR
 Checked By: MJW
 Issue Date: 11.03.22
 Sheet Title:

SITE PLAN

Sheet: **C200**



GRADING NOTES

1. Tree protection consisting of snow fence or safety fence installed at the drip line shall be in place prior to beginning any grading or demolition work at the site.
2. All elevations with an asterisk (*) shall be field verified. If elevations vary significantly, notify the Engineer for further instructions.
3. Grades shown in paved areas represent finish elevation.
4. Restore all disturbed areas with 4" of good quality topsoil and seed.
5. All construction shall be performed in accordance with state and local standard specifications for construction.
6. No wheeled machines shall be used to excavate BMP(s), and/or during the backfilling.
7. No construction traffic is allowed over the BMP(s) during any phase of the project.
8. BMP(s) shall be protected from all exposed soil during all construction activities.
9. BMP(s) shall not be open to accept water until the site is stabilized.

KEY NOTES

1. ROCK CONSTRUCTION ENTRANCE, SEE DETAIL 8/C500
2. SILT FENCE, SEE DETAIL 9/C500
3. INLET PROTECTION, SEE DETAIL 7/C500

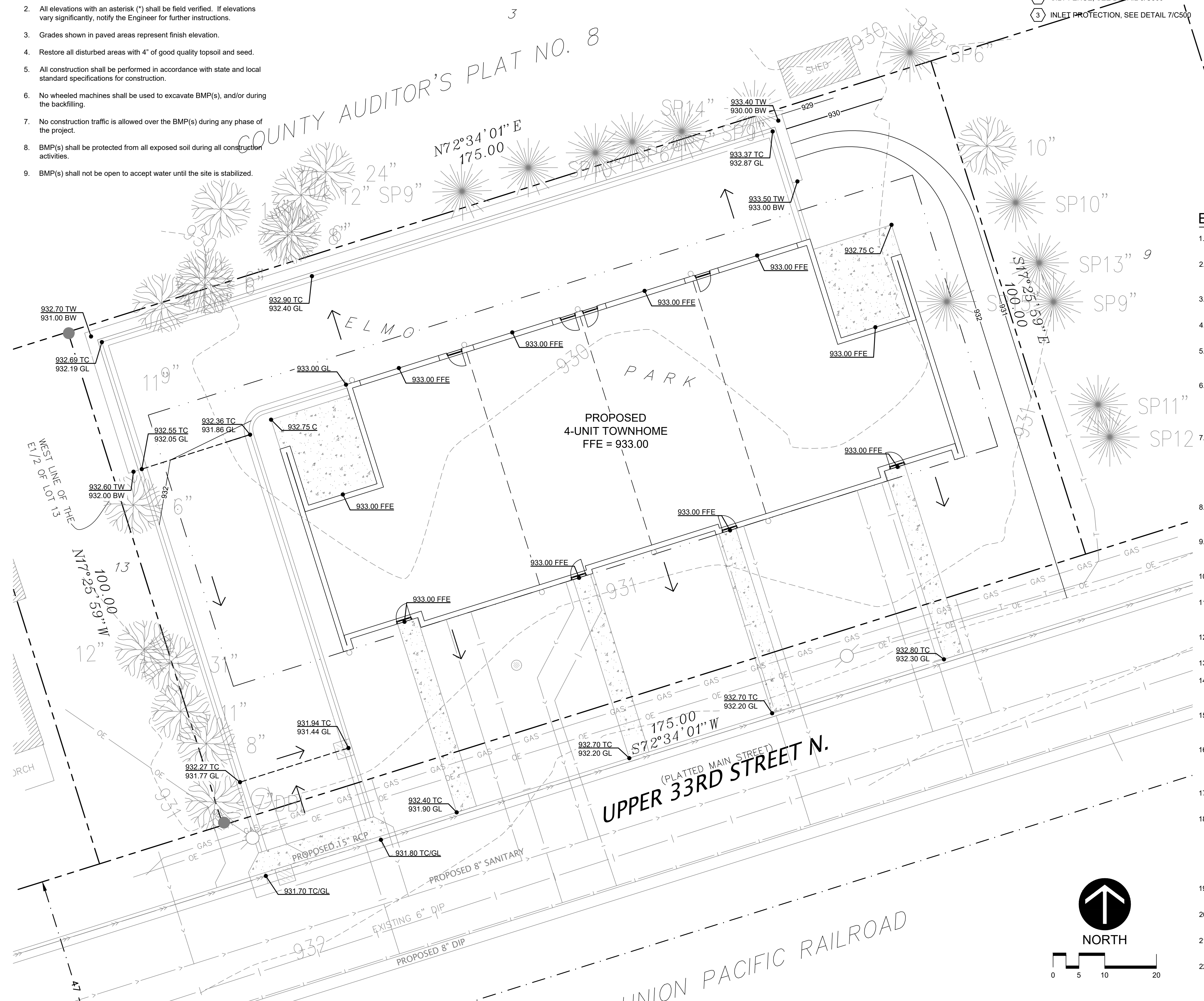
SYMBOL LEGEND

- 950 --- EXISTING CONTOURS
- 950 --- PROPOSED CONTOURS - MAJOR INTERVAL
- 949 --- PROPOSED CONTOURS - MINOR INTERVAL
- --- GRADE BREAK LINE
- 2.0% GRADE SLOPE
- SILT FENCE
- SEDIMENT LOG
- RIP-RAP / ROCK CONST. ENTRANCE
- INLET PROTECTION

- SPOT ABBREVIATIONS:**
- TC - TOP OF CURB
 - GL - GUTTER LINE
 - C - CONCRETE
 - FFE - FIRST FLOOR ELEVATION
 - GFE - GARAGE FLOOR ELEVATION
 - TW - TOP OF WALL
 - BW - BOTTOM OF WALL (F/G)
 - (*) - EXISTING TO BE VERIFIED

EROSION CONTROL NOTES

1. Install temporary erosion control measures (inlet protection, silt fence, and rock construction entrances) prior to beginning any excavation or demolition work at the site.
2. Erosion control measures shown on the erosion control plan are the absolute minimum. The contractor shall install temporary earth dikes, sediment traps or basins, additional siltation fencing, and/or disk the soil parallel to the contours as deemed necessary to further control erosion.
3. All construction site entrances shall be surfaced with crushed rock across the entire width of the entrance and from the entrance to a point 50' into the construction zone.
4. The toe of the silt fence shall be trenched in a minimum of 6". The trench backfill shall be compacted with a vibratory plate compactor.
5. All grading operations shall be conducted in a manner to minimize the potential for site erosion. Sediment control practices must be established on all down gradient perimeters before any up gradient land disturbing activities begin.
6. All exposed soil areas must be stabilized as soon as possible to limit soil erosion but in no case later than 14 days after the construction activity in that portion of the site has temporarily or permanently ceased. Temporary stockpiles without significant silt, clay or organic components (e.g., clean aggregate stockpiles, demolition concrete stockpiles, sand stockpiles) and the constructed base components of roads, parking lots and similar surfaces are exempt from this requirement.
7. The normal wetted perimeter of any temporary or permanent drainage ditch or swale that drains water from any portion of the construction site, or diverts water around the site, must be stabilized within 200 lineal feet from the property edge, or from the point of discharge into any surface water. Stabilization of the last 200 lineal feet must be completed within 24 hours after connecting to a surface water. Stabilization of the remaining portions of any temporary or permanent ditches or swales must be complete within 14 days after connecting to a surface water and construction in that portion of the ditch has temporarily or permanently ceased.
8. All storm sewer catch basins not needed for site drainage during construction shall be covered to prevent runoff from entering the storm sewer system. Catch basins necessary for site drainage during construction shall be provided with inlet protection.
9. In areas where concentrated flows occur (such as swales and areas in front of storm catch basins and intakes) the erosion control facilities shall be backed by stabilization structure to protect those facilities from the concentrated flows.
10. Inspect the construction site once every seven days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours.
11. All BMPs must be repaired, replaced, or supplemented when they become nonfunctional or the sediment reaches 1/3 of the capacity of the BMP. These repairs must be made within 24 hours of discovery, or as soon as field conditions allow access.
12. If sediment escapes the construction site, off-site accumulations of sediment must be removed in a manner and at a frequency sufficient to minimize off-site impacts.
13. All soils tracked onto pavement shall be removed daily.
14. Temporary soil stockpiles must have silt fence or other effective sediment controls, and cannot be placed in surface waters, including stormwater conveyances such as curb and gutter systems, or conduits and ditches unless there is a bypass in place for the stormwater.
15. Collected sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction and demolition debris and other wastes must be disposed of properly and must comply with MPCA disposal requirements.
16. Oil, gasoline, paint and any hazardous substances must be properly stored, including secondary containment, to prevent spills, leaks or other discharge. Restricted access to storage areas must be provided to prevent vandalism. Storage and disposal of hazardous waste must be in compliance with MPCA regulations.
17. External washing of trucks and other construction vehicles must be limited to a defined area of the site. Runoff must be contained and waste properly disposed of. No engine degreasing is allowed onsite.
18. All liquid and solid wastes generated by concrete washout operations must be contained in a leak-proof containment facility or impermeable liner. A compacted clay liner that does not allow washout liquids to enter ground water is considered an impermeable liner. The liquid and solid wastes must not contact the ground, and there must not be runoff from the concrete washout operations or areas. Liquid and solid wastes must be disposed of properly and in compliance with MPCA regulations. A sign must be installed adjacent to each washout facility to inform concrete equipment operators to utilize the proper facilities.
19. Upon completion of the project and stabilization of all graded areas, all temporary erosion control facilities (silt fences, hay bales, etc.) shall be removed from the site.
20. A City approved dewatering/pumping plan is required prior to any pumping activity. Notify City of Roseville Engineering Dept. at 651-792-7004 prior to beginning any pumping activity.
21. Notify City of Roseville Engineering Dept. at 651-792-7004, prior to beginning any and all construction activity to verify Erosion Control Measures are in place.
22. Notify City of Roseville Engineering Dept. at 651-792-7004, at least 24 hours prior to the construction of stormwater BMPs.



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ELEMENT DESIGN-BUILD
 1110 RAYMOUND AVENUE, UNIT 3
 ST. PAUL, MN 55108

UPPER 33RD STREET TOWNHOUSE DEVELOPMENT
 LAKE ELMO, MN

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

Matthew J. Woodruff, P.E.
 Date: 11.03.22 Lic. No.:

Rev.	Date	Description

Project #: 12226050
 Drawn By: TJR
 Checked By: MJW
 Issue Date: 11.03.22

Sheet Title:
GRADING AND EROSION CONTROL PLAN

Sheet:
C300

COUNTY AUDITOR'S PLAT NO. 8

SYMBOL LEGEND

- STORM MANHOLE
- CATCH BASIN
- CURB INLET
- ▲ FLARED END
- SANITARY MANHOLE
- ⊗ HYDRANT
- ⊗ GATE VALVE & BOX
- ⊗ WATER SHUTOFF
- ⊗ LIGHT POLE
- CTV —
- FO —
- CABLE UNDERGROUND LINE
- ELECTRIC OVERHEAD LINE
- ELECTRIC UNDERGROUND LINE
- FIBER OPTIC UNDERGROUND LINE
- NATURAL GAS UNDERGROUND LINE
- SANITARY SEWER PIPE
- STORM SEWER PIPE
- TELEPHONE UNDERGROUND LINE
- WATERMAIN PIPE
- DRAINTILE PIPE

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 ST. PAUL, MN 55108

UPPER 33RD STREET TOWNHOUSE DEVELOPMENT
 LAKE ELMO, MN

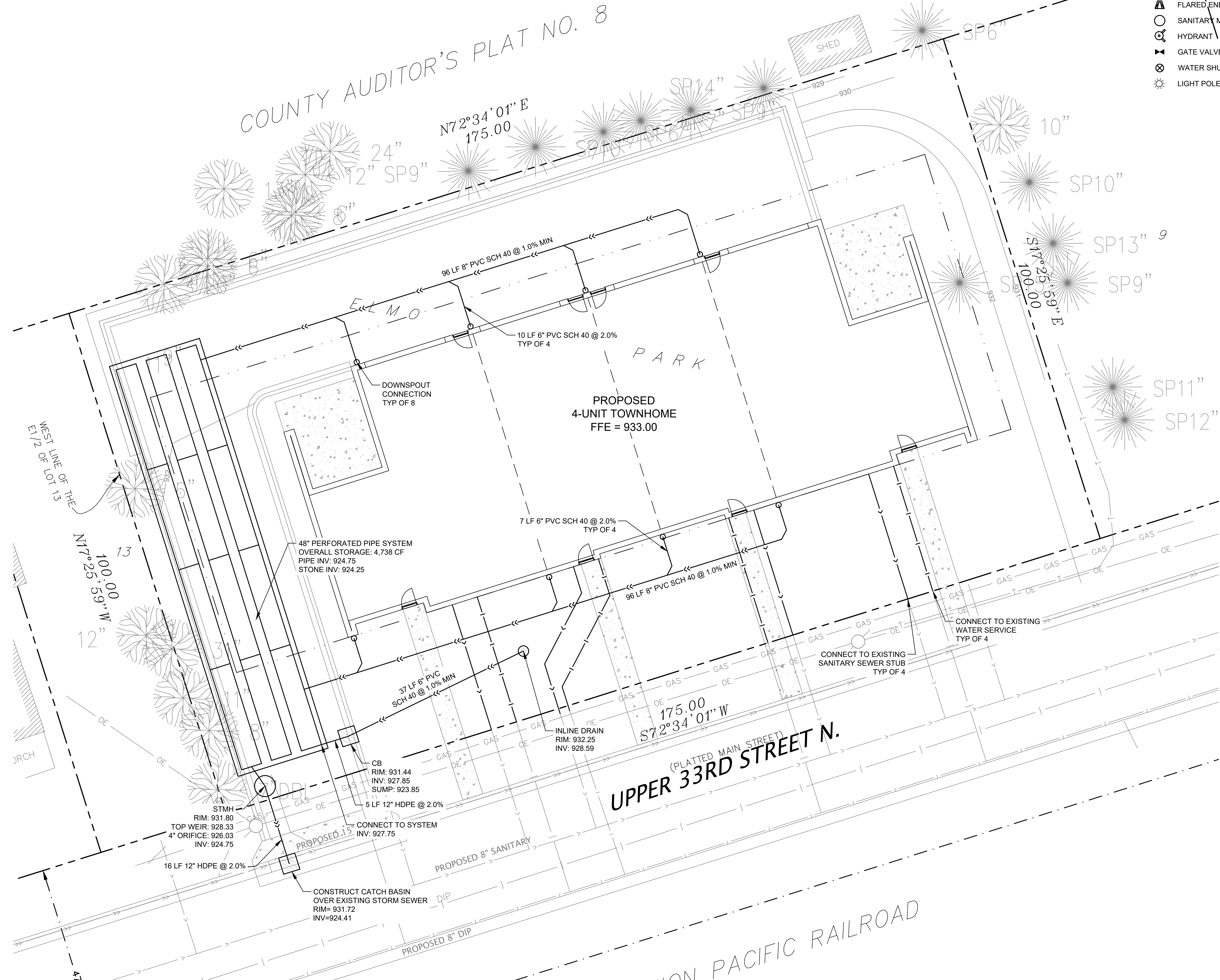
I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

Matthew J. Woodruff, P.E.
 Date: 11.03.22 Lic. No.:

Rev.	Date	Description

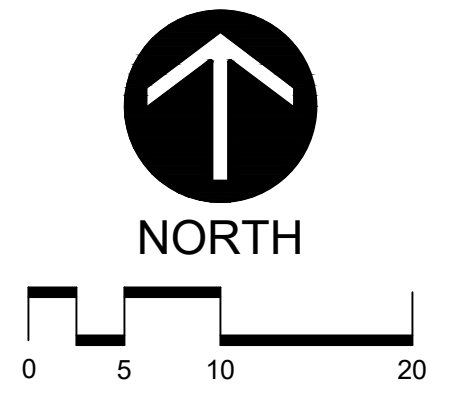
Project #: 12226050
 Drawn By: TJR
 Checked By: MJW
 Issue Date: 11.03.22
 Sheet Title:

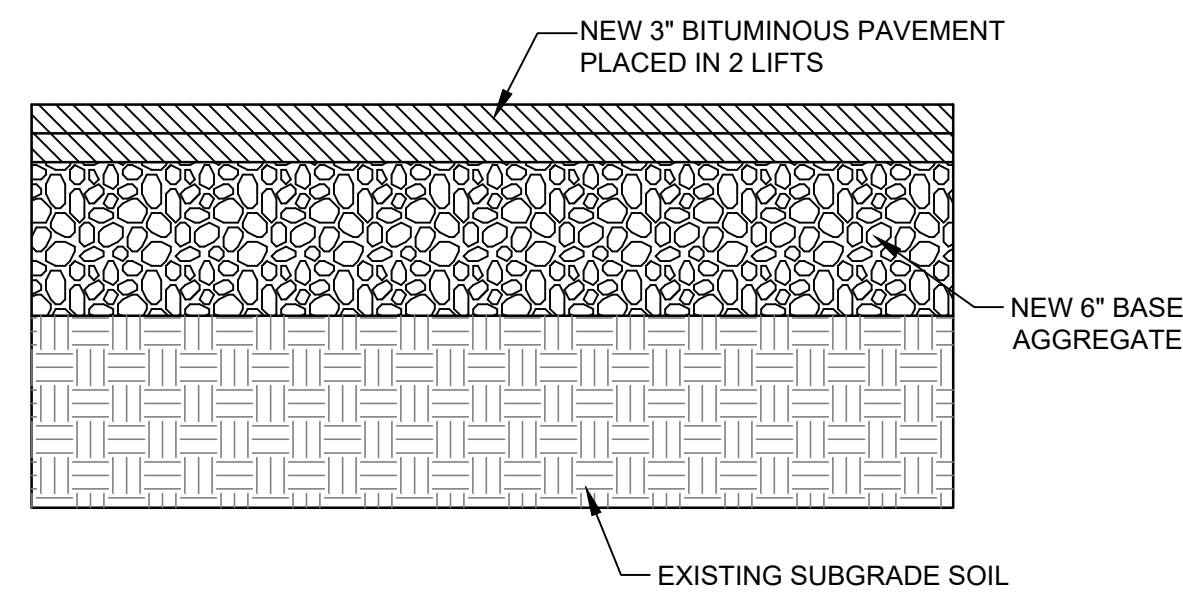
UTILITY PLAN
 Sheet: **C400**



UTILITY NOTES

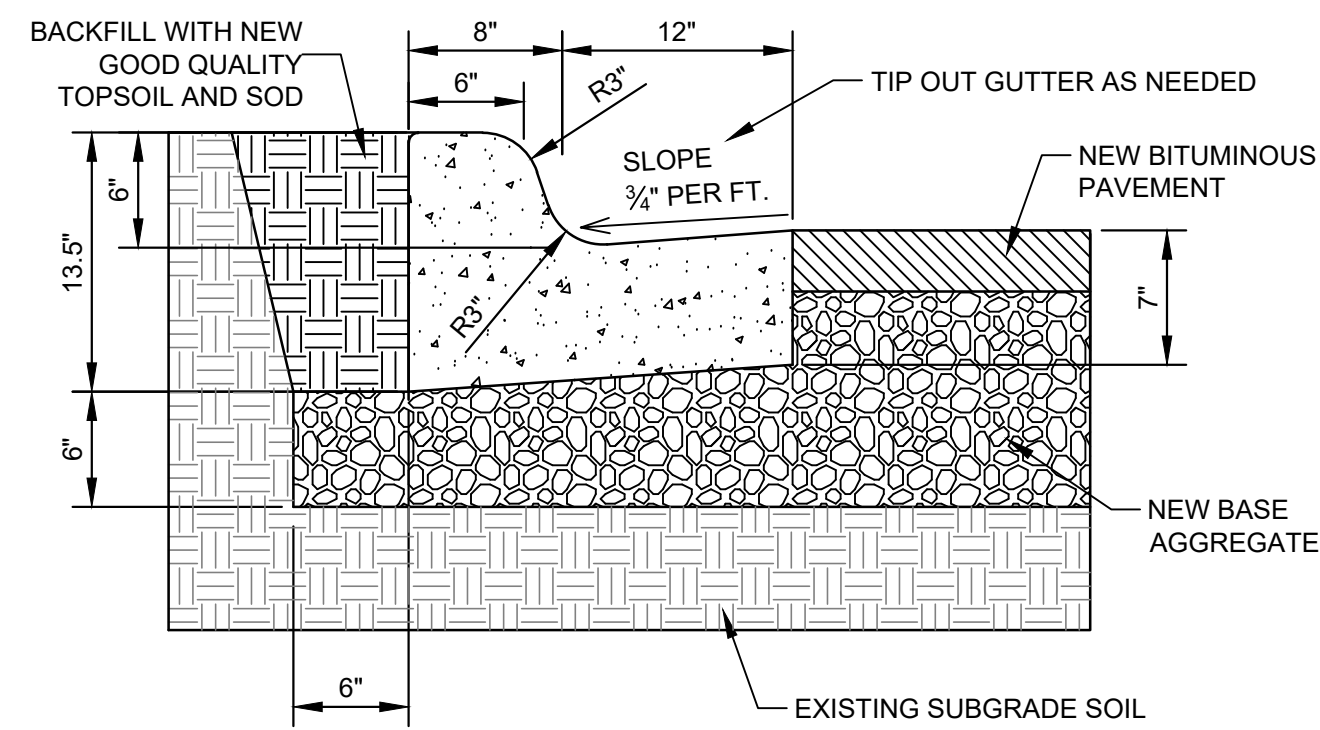
- It is the responsibility of the contractor to perform or coordinate all necessary utility connections and relocations from existing utility locations to the proposed building, as well as to all onsite amenities. These connections include but are not limited to water, sanitary sewer, cable TV, telephone, gas, electric, site lighting, etc.
- All service connections shall be performed in accordance with state and local standard specifications for construction. Utility connections (sanitary sewer, watermain, and storm sewer) may require a permit from the City.
- The contractor shall verify the elevations at proposed connections to existing utilities prior to any demolition or excavation.
- The contractor shall notify all appropriate engineering departments and utility companies 72 hours prior to construction. All necessary precautions shall be made to avoid damage to existing utilities.
- Storm sewer requires testing in accordance with Minnesota plumbing code 4714.1109 where located within 10 feet of waterlines or the building.
- HDPE storm sewer piping shall meet ASTM F2306 and fittings shall meet ASTM D3212 joint pressure test. Installation shall meet ASTM C2321.
- Maintain a minimum of 7 1/2' of cover over all water lines and sanitary sewer lines. Where 7 1/2' of cover is not provided, install 2" rigid polystyrene insulation (MN/DOT 3760) with a thermal resistance of at least 5 and a compressive strength of at least 25 psi. Insulation shall be 8" wide, centered over pipe with 6" sand cushion between pipe and insulation. Where depth is less than 5', use 4" of insulation.
- Install water lines 12" above sewers. Where the sewer is less than 12" below the water line (or above), install sewer piping of materials approved for inside building use for 10 feet on each side of the crossing.
- A City approved dewatering/pumping plan is required prior to any pumping activity. Notify City of Roseville Engineering Dept. at 651-792-7004 prior to beginning any pumping activity.





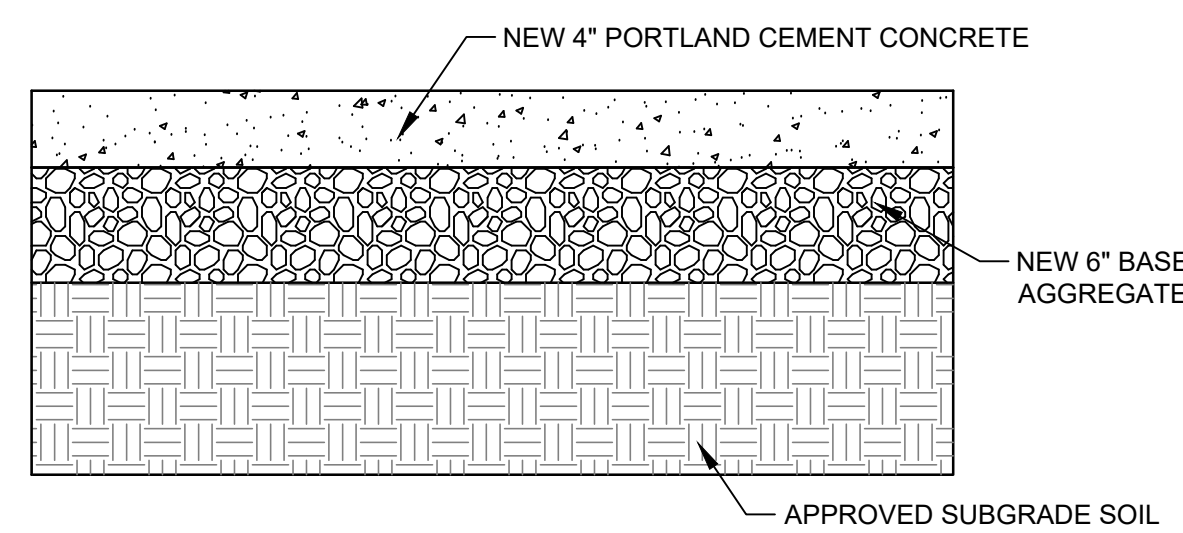
1
C500
LIGHT-DUTY BITUMINOUS PAVEMENT SECTION

NOT TO SCALE



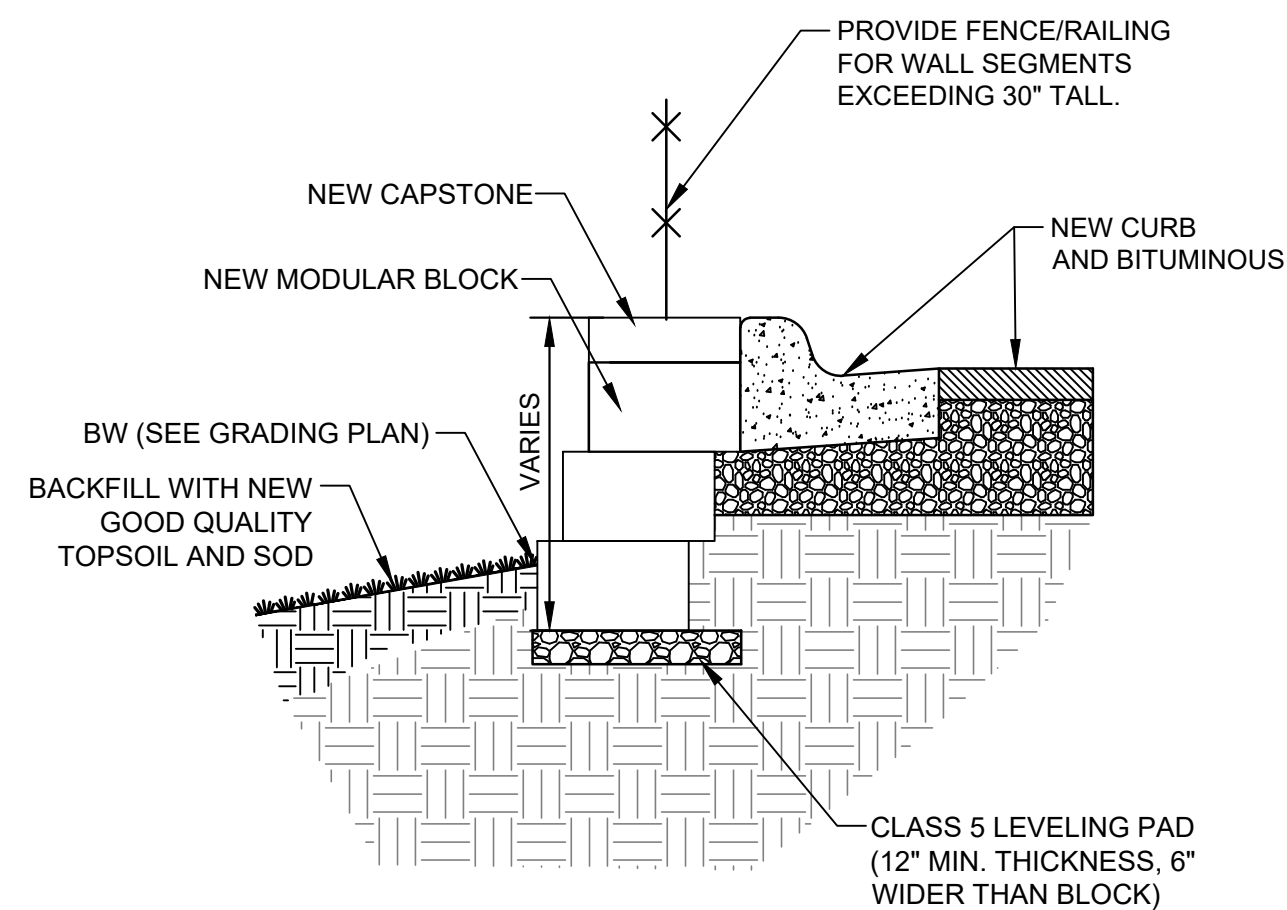
2
C500
B612 CONCRETE CURB & GUTTER DETAIL

NOT TO SCALE



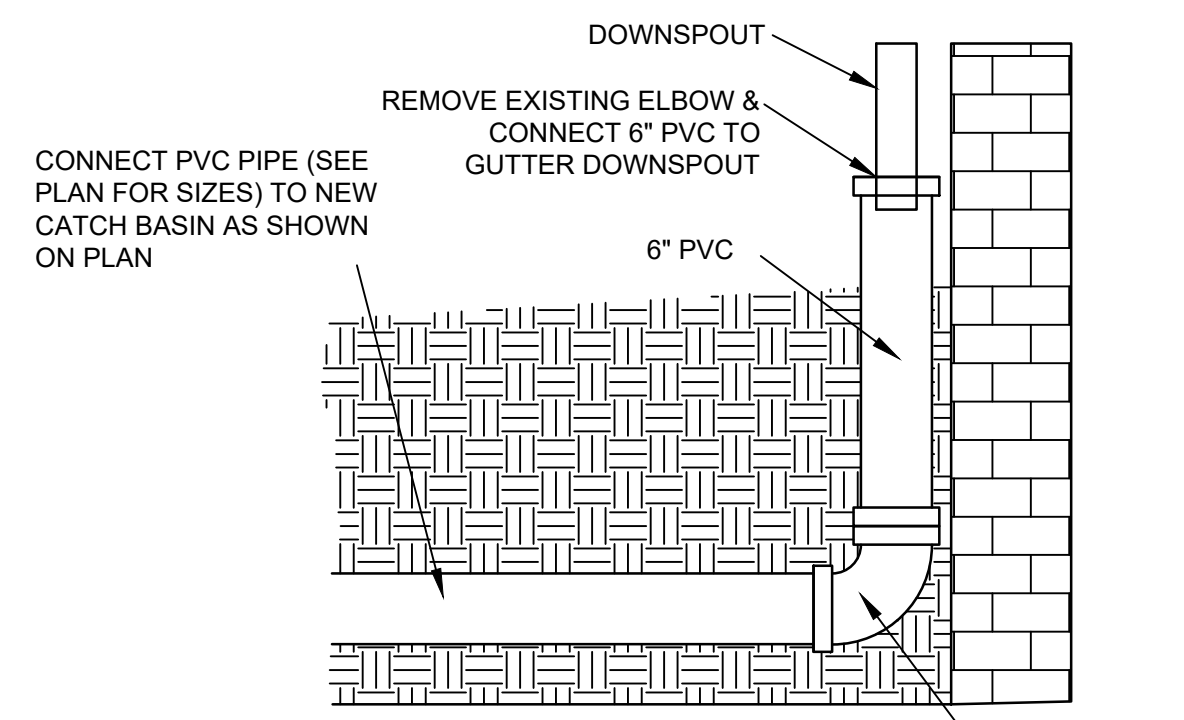
3
C500
CONCRETE SIDEWALK CONSTRUCTION DETAIL

NOT TO SCALE



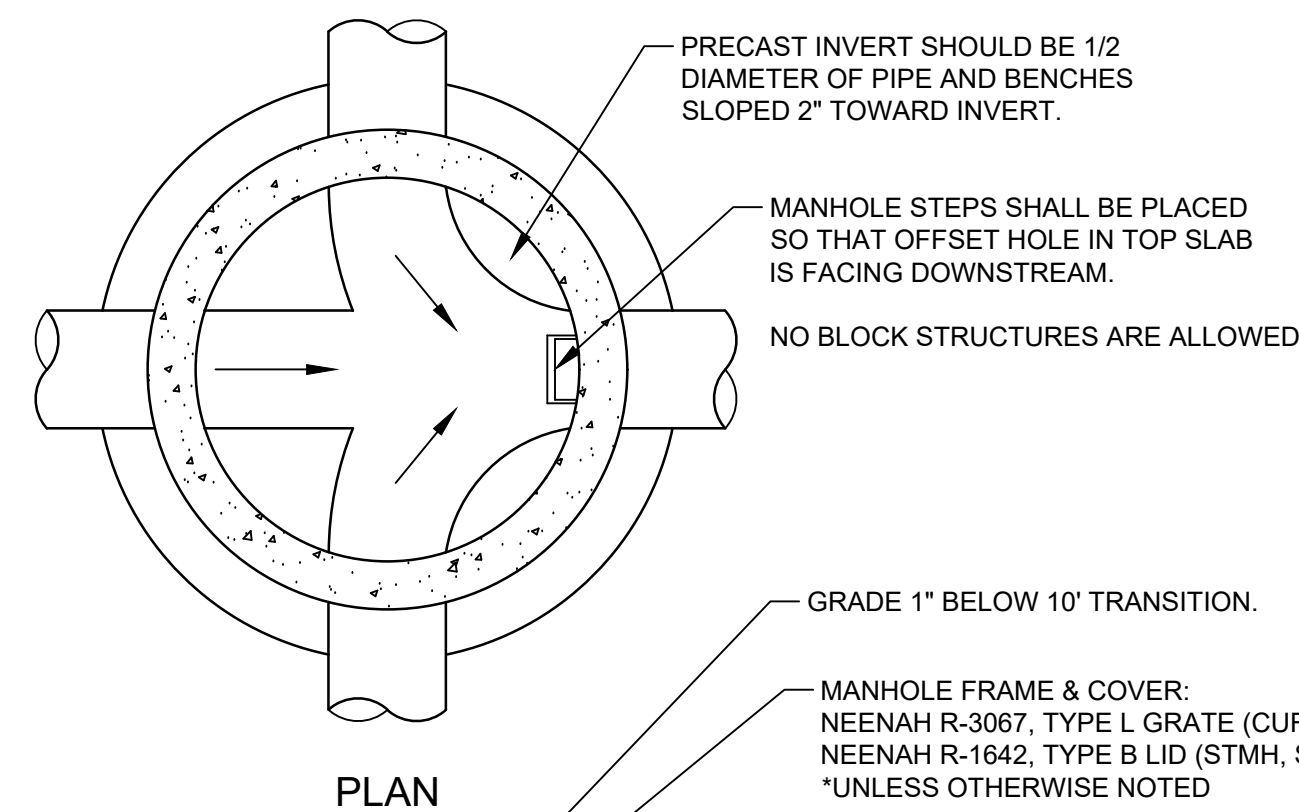
4
C500
RETAINING WALL DETAIL

NOT TO SCALE



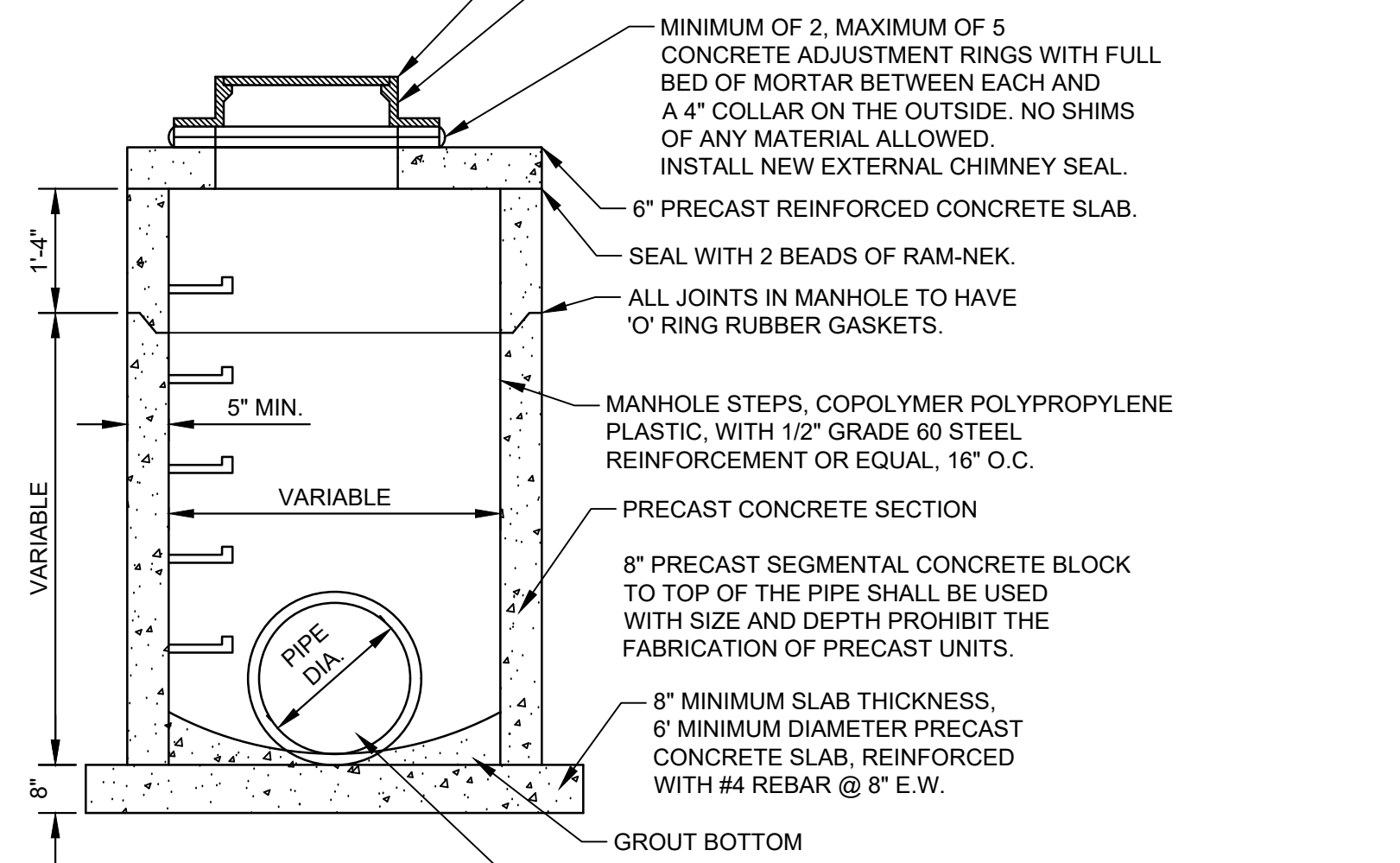
5
C500
ROOF DRAIN CONNECTION DETAIL

NOT TO SCALE



6
C500
CATCH BASIN MANHOLE DETAIL

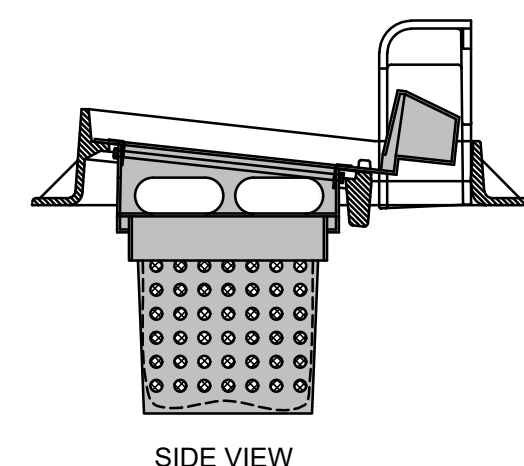
NOT TO SCALE



7
C500
INFRASAFE INLET PROTECTION DEVICE (OR EQUAL)

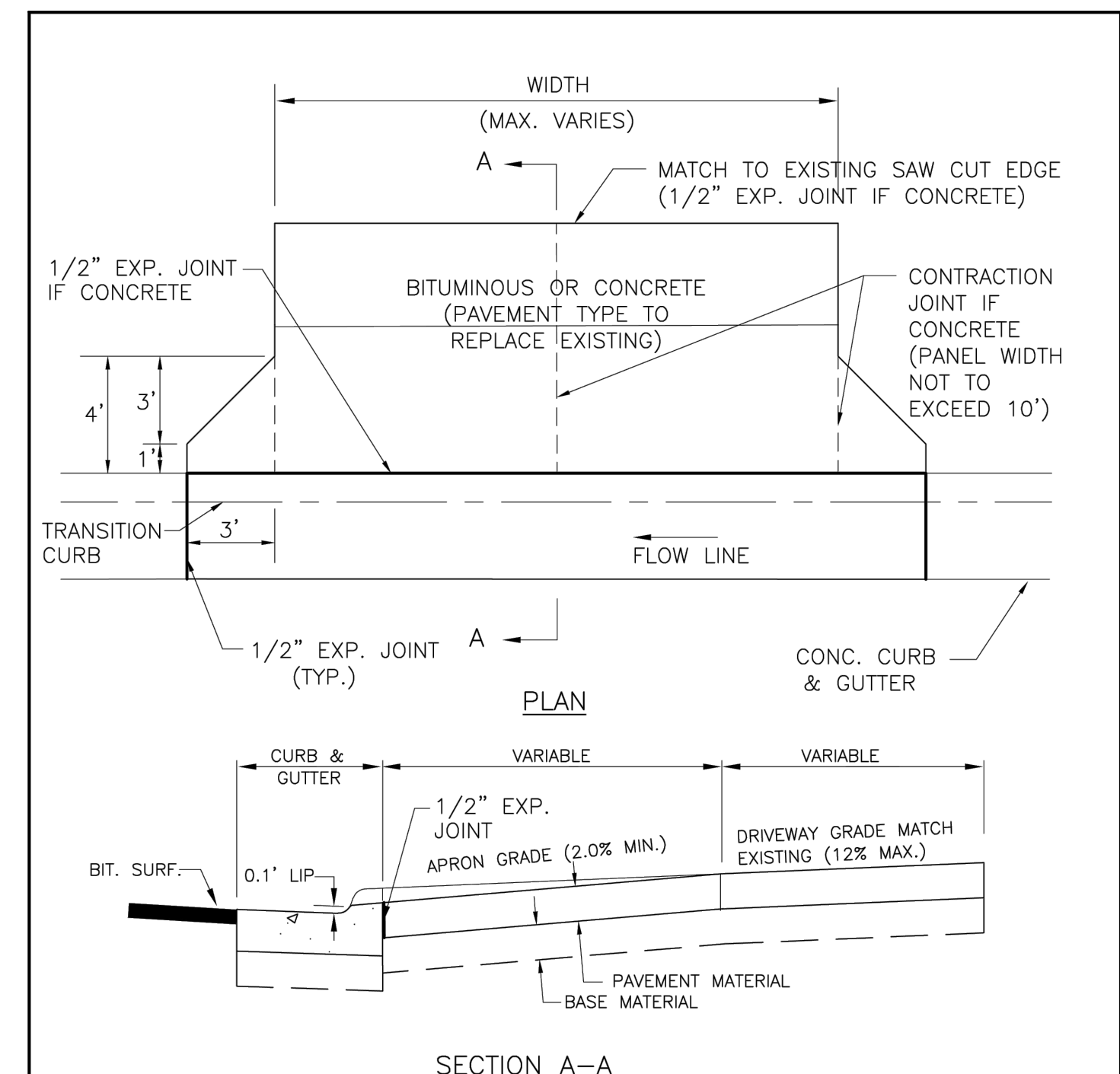
NOT TO SCALE

FILTER AREA	6.5 FT ²
OVERFLOW AREA	0.6 FT ²
MAXIMUM OVERFLOW RATE (@ 7\"/>	3.00 CFS
MAXIMUM OVERFLOW RATE (@ 1.3\"/>	4.00 CFS
BASKET WEIGHT (EMPTY)	1 LB
BASKET WEIGHT (FULL-APPROX.)	70 LBS



8
C500
ROCK CONSTRUCTION ENTRANCE

NOT TO SCALE



DRIVEWAY TYPE	SURFACE THICKNESS	BASE THICKNESS
BITUMINOUS CONCRETE	3 INCHES	6 INCHES
	6 INCHES	4 INCHES

- NOTES :
1. BITUMINOUS MATERIAL SHALL BE PER STREET TYPICAL SECTION.
 2. AGGREGATE BASE MATERIAL SHALL BE PER STREET TYPICAL SECTION.

RESIDENTIAL DRIVEWAY

APRIL 2019



CITY OF LAKE ELMO

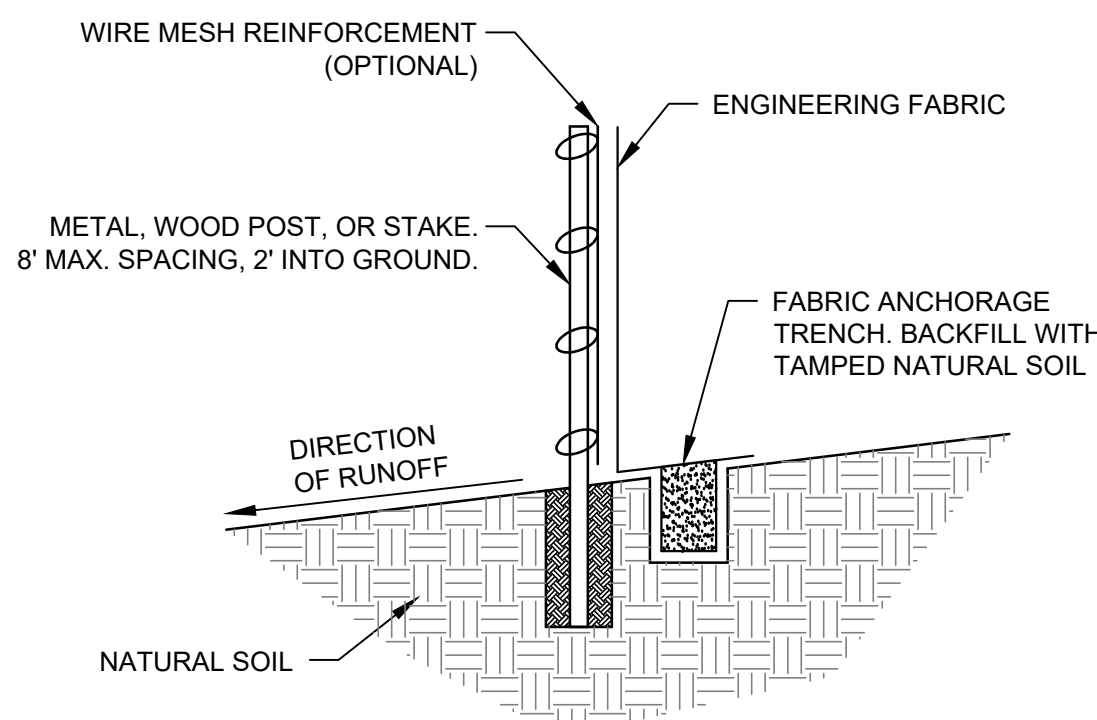
STANDARD DRAWING NO.

504

LAKE ELMO

10
C500
RESIDENTIAL DRIVEWAY DETAIL

NOT TO SCALE



NOTE: DEPENDING UPON CONFIGURATION, ATTACH FABRIC TO WIRE MESH WITH HOG RINGS, STEEL POSTS WITH WIRES, OR WOOD POSTS WITH STAPLES.

9
C500
SILT FENCE INSTALLATION DETAIL

NOT TO SCALE

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

Matthew J. Woodruff, P.E.

Date: 11.03.22 Lic. No.:

Rev.	Date	Description

Project #: 12226050
Drawn By: TJR
Checked By: MJW
Issue Date: 11.03.22
Sheet Title:

DETAILS

Sheet:
C500



Tree Inventory Log:

ID	Common Name	Condition	Significant Tree?	DBH	Remove?
108	Black Hills Spruce	Good	Y	16	N
BE	Box Elder	Fair	N		Y
BE	Box Elder	Fair	N		Y
SE	Siberian Elm	Fair	N		N

Summary: No significant trees to be removed, no mitigation required

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 Internet: www.calyxdesigngroup.com

ELEMENT
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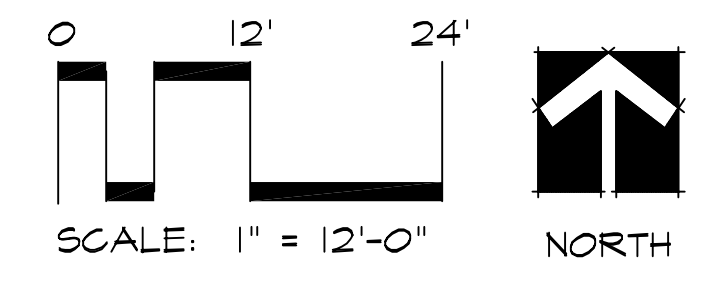
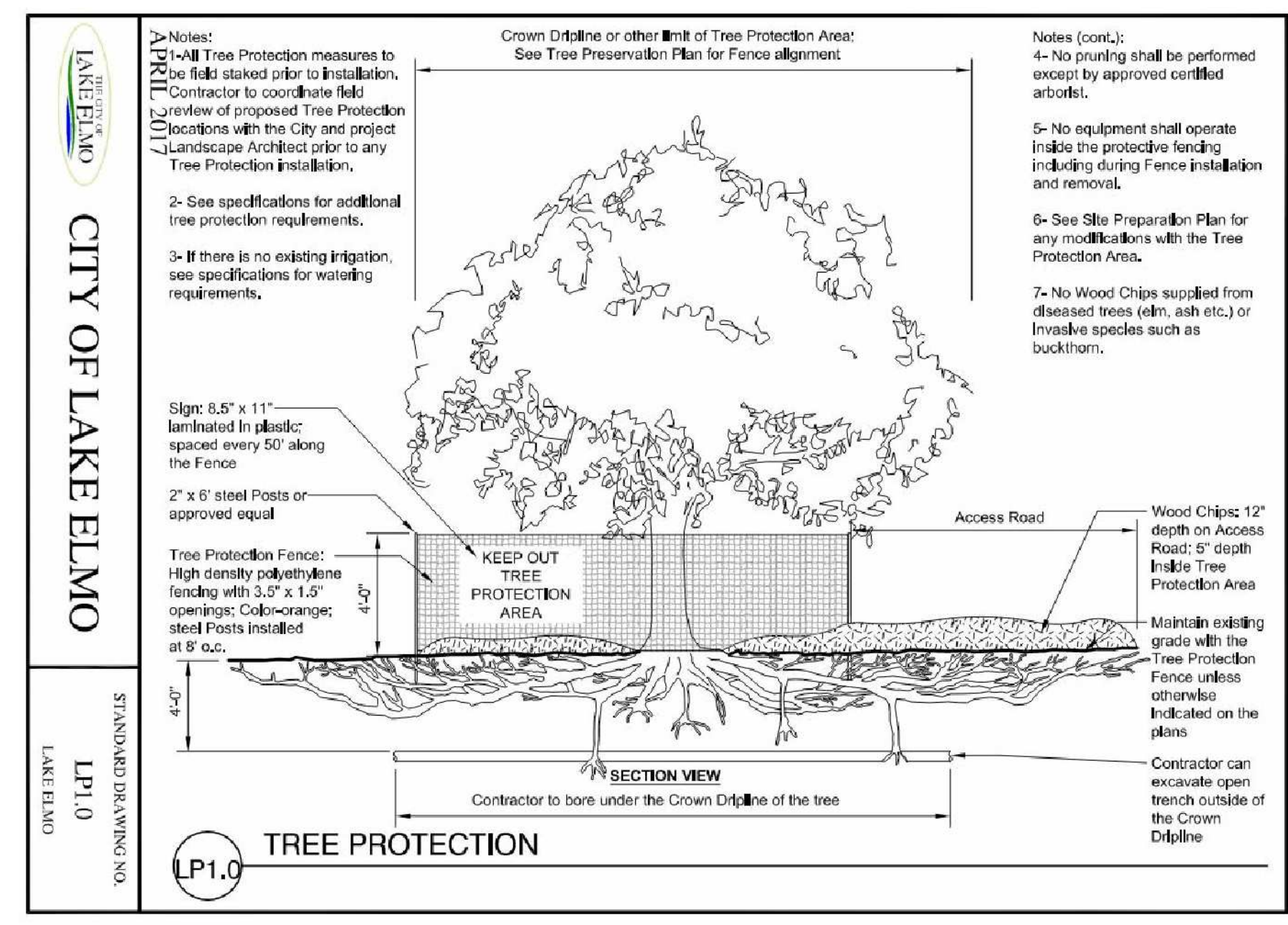
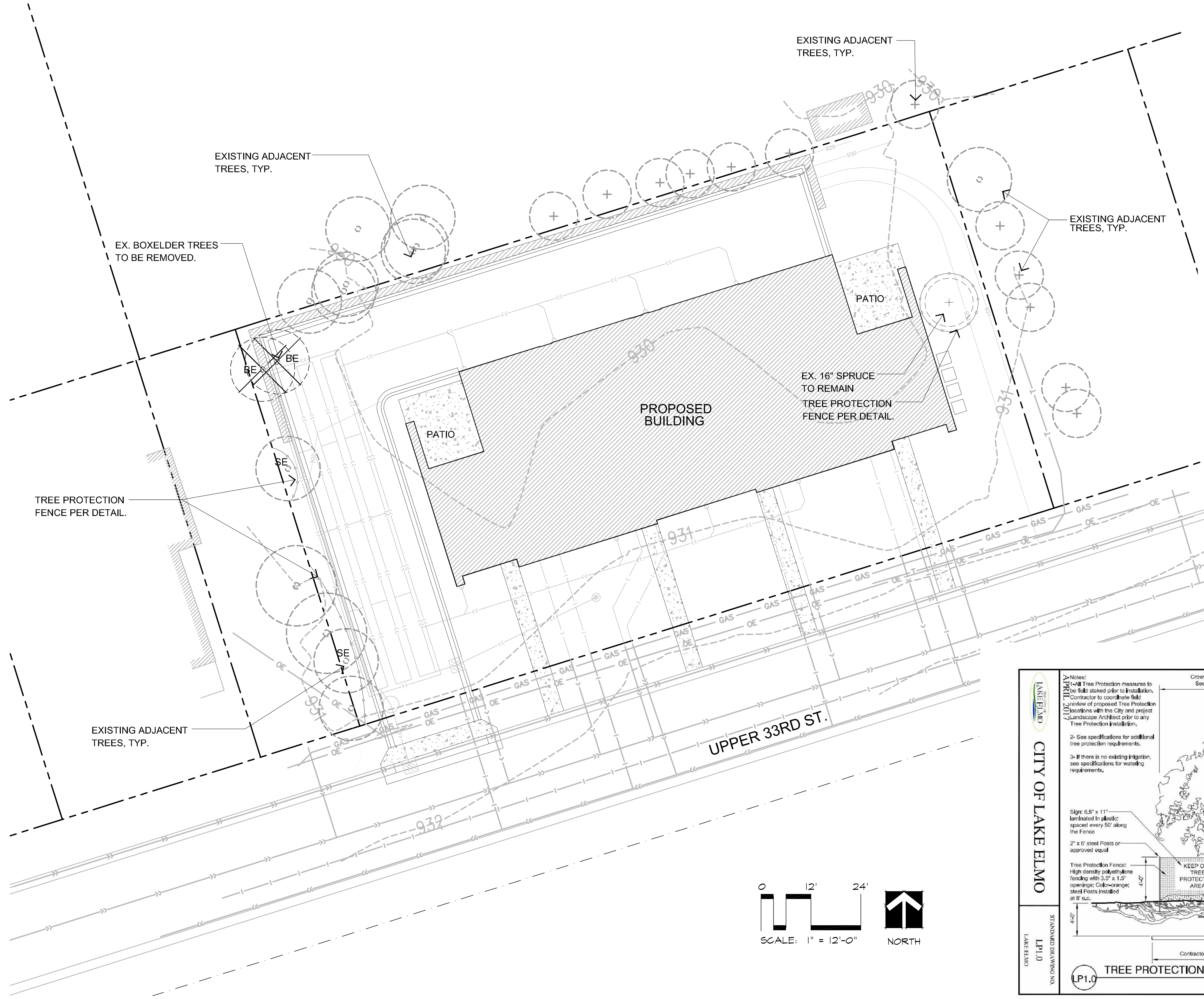
UPPER 33RD STREET
TOWNHOUSE
DEVELOPMENT
 LAKE ELMO, MN

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of MINNESOTA.
PRELIMINARY
 Benjamin Hartberg, PLA
 Date: _____ Lic. No.: _____

Rev.	Date	Description

Project #: 12226050
 Drawn By: HL
 Checked By: BH
 Issue Date: 11.22.2022
 Sheet Title:

TREE PRESERVATION PLAN
 Sheet:
L100



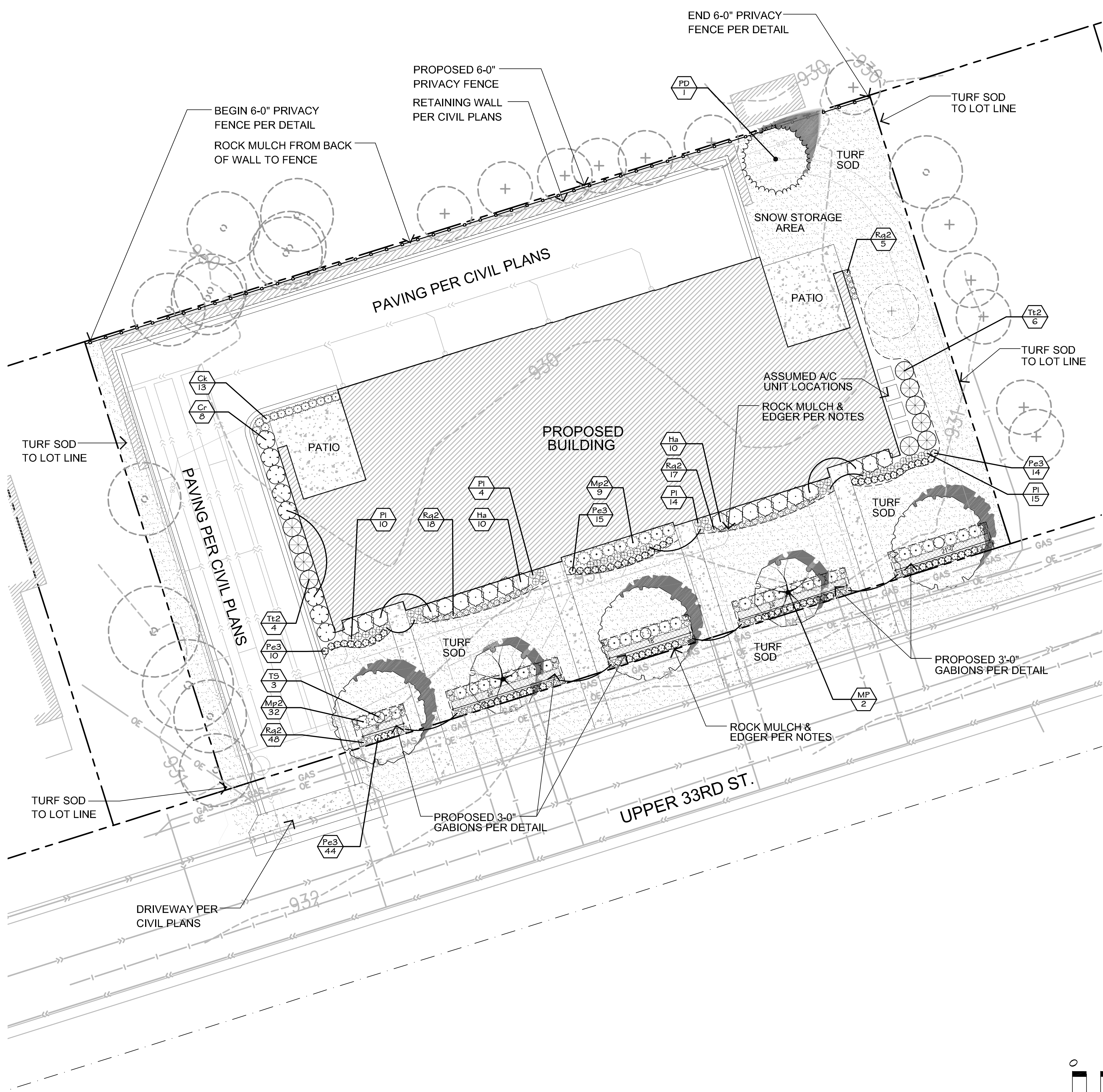


Rev.	Date	Description

Project #: 12226050
 Drawn By: HL
 Checked By: BH
 Issue Date: 11.22.2022
 Sheet Title:

Legend:

- Proposed Turf Sod
- Edger per Landscape Notes

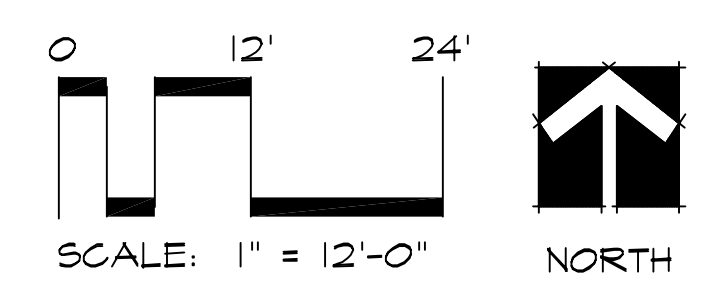


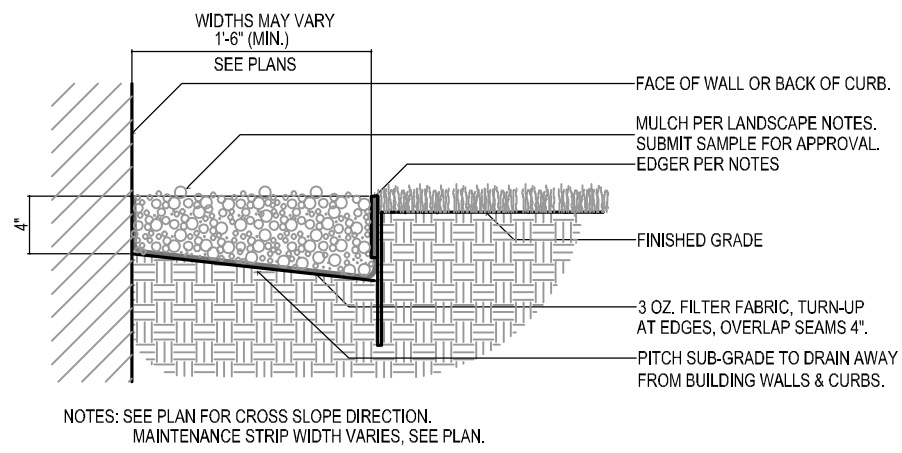
PLANT SCHEDULE

EVERGREEN TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	PD	Picea glauca 'Densata'	Black Hills Spruce	6' Hgt.	B&B	1
OVERSTORY TREE	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	TS	Tilia americana 'Sentry'	Sentry Linden	2.5" Cal.	B&B	3
ORNAMENTAL TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	MP	Malus x 'Prairifire'	Prairifire Crab Apple	2" Cal.	B&B	2
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	Cr	Cornus alba 'Regnzam'	Red Gnome Dogwood	5 gal.	Pot	8
	Ha	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	5 gal.	Pot	20
	Tt2	Thuja occidentalis 'Techny Globe'	Techny Globe Arborvitae	5 gal.	Pot	10
ANNUALS/PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	PI	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	1 gal.	Pot	43
	Pe3	Phlox subulata 'Emerald Blue'	Emerald Blue Creeping Phlox	1 gal.	Pot	83
	Rg2	Rudbeckia fulgida 'Goldstrum'	Black Eyed Susan	1 gal.	Pot	88
GRASSES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	Ck	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal.	Pot	13
	Mp2	Miscanthus sinensis 'Purpurescens'	Flame Grass	1 gal.	Pot	41

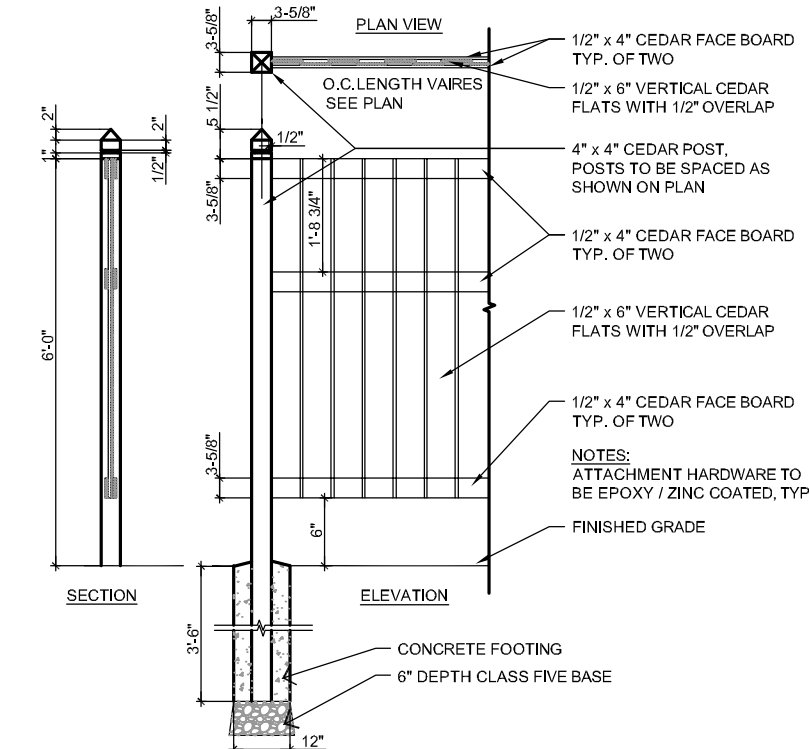
Municipal Landscape Requirements:

- (5) Trees per acre of land
 - Acres: 0.4
 - Trees Required: 2
 - Significant Trees to Remain: 1
 - Trees Proposed: 1
- (1) Additional Tree per 50' of street frontage
 - Street Frontage: 175'
 - Trees Required: 4
 - Trees Proposed: 5

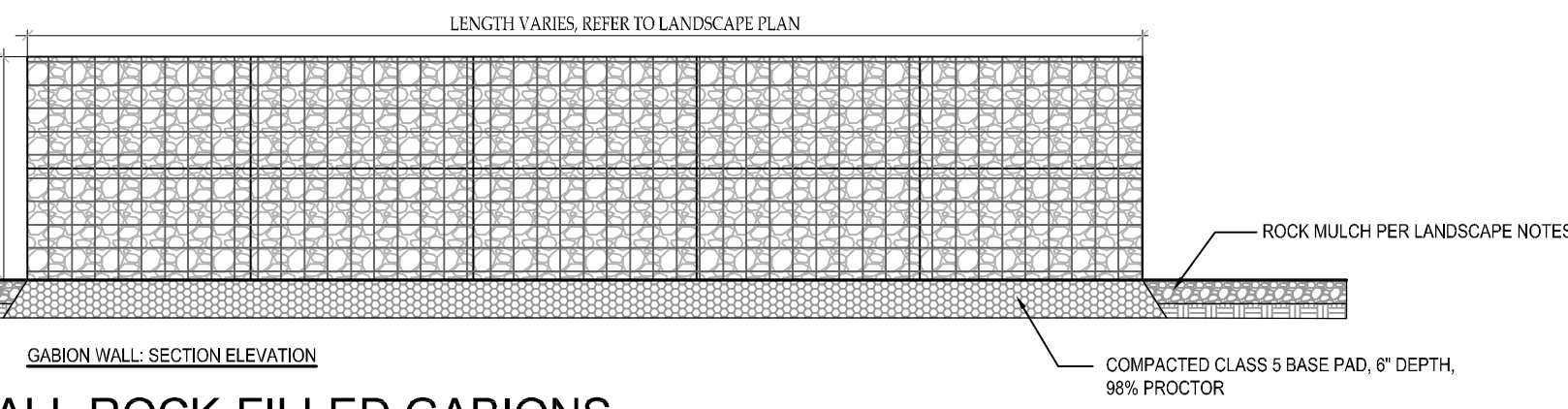
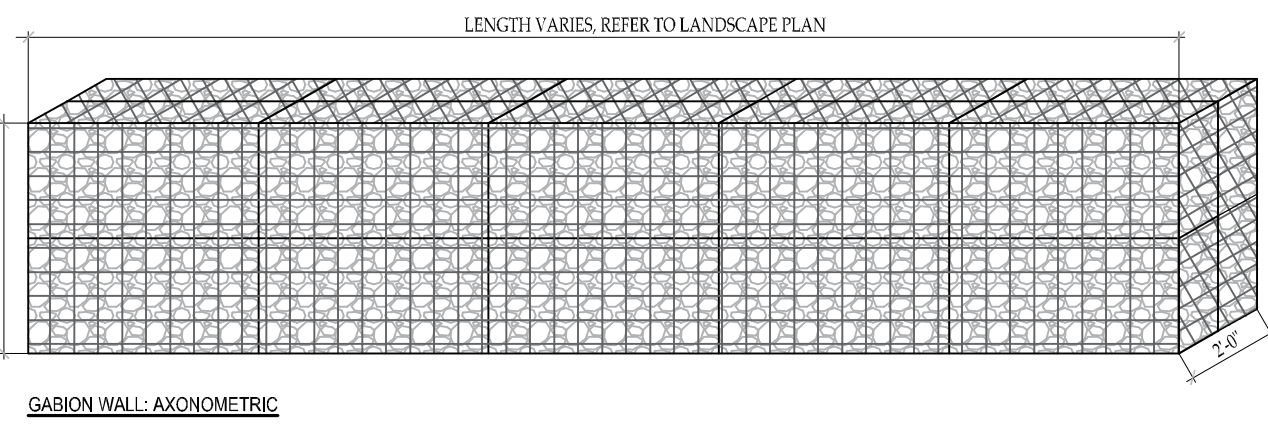
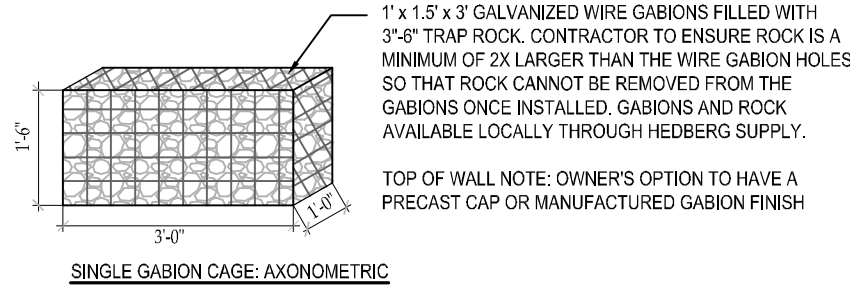




1 TYP. MULCH DETAIL
L200 NOT TO SCALE



2 6'-0" WOOD PRIVACY FENCE
L200 NOT TO SCALE



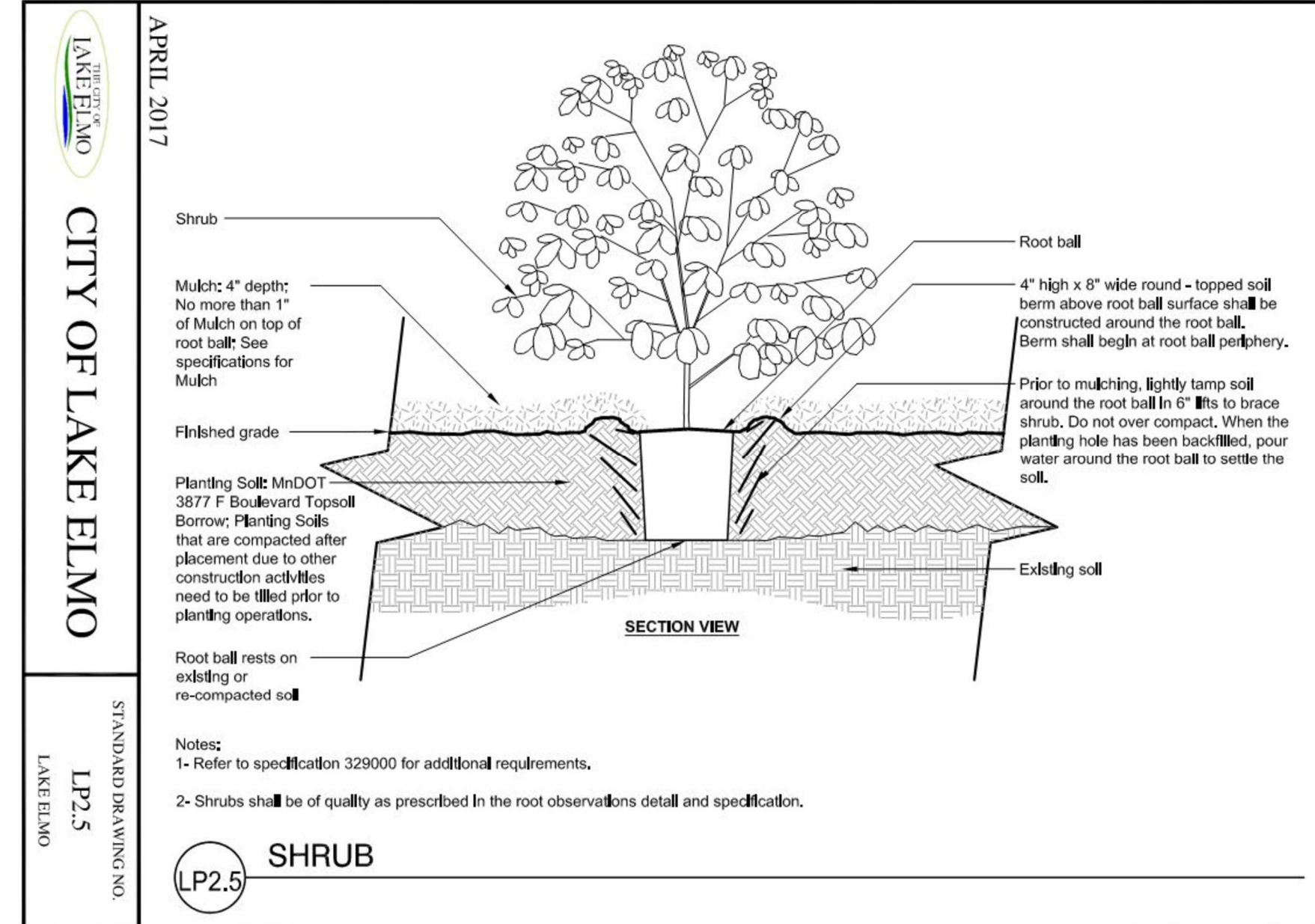
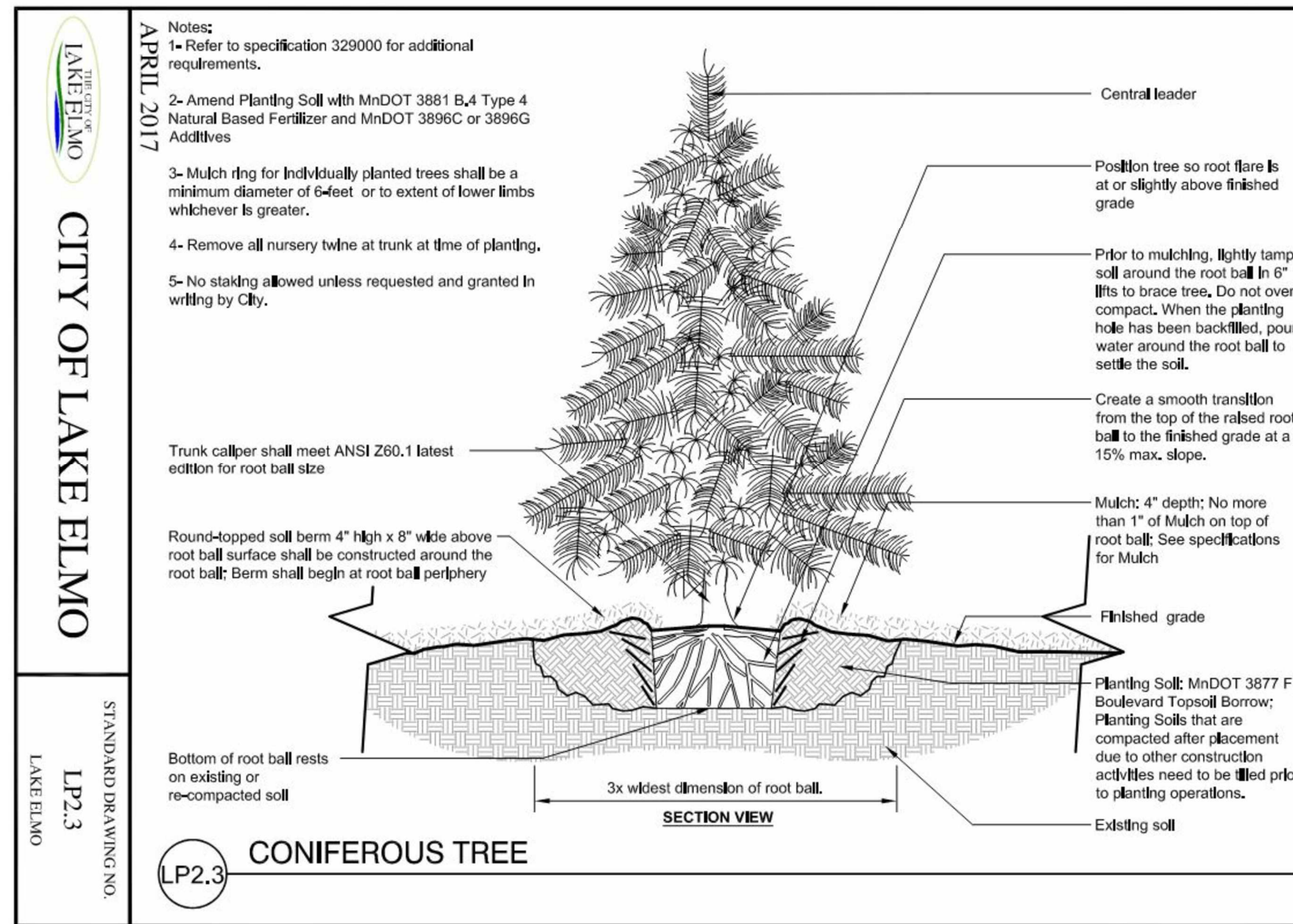
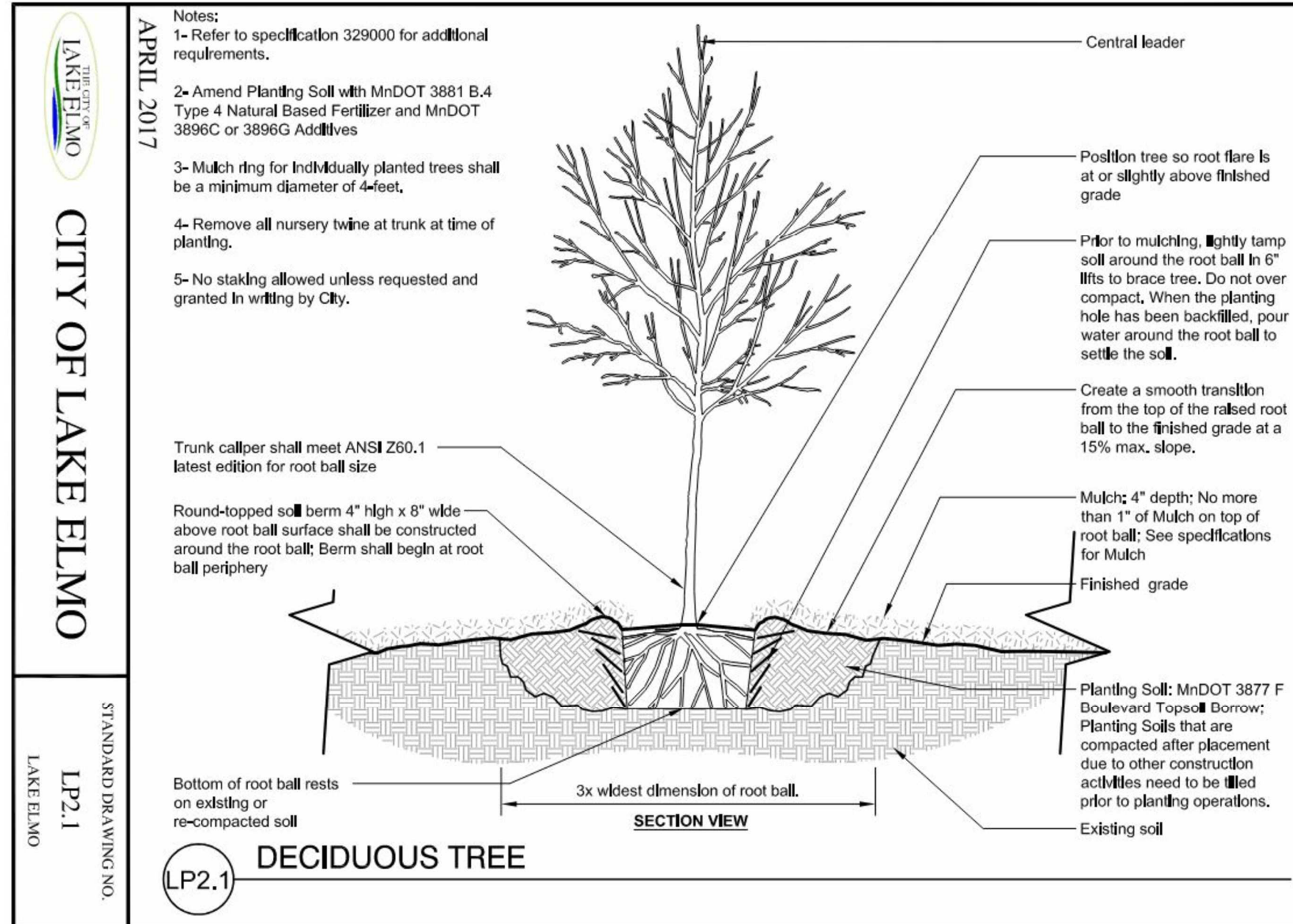
3 36" TALL ROCK-FILLED GABIONS
L200 NOT TO SCALE



General Notes:

1. See Civil Engineer's plans for site plan layout and dimensions.
2. Contractor to coordinate any work in the city right-of-way with City of Lake Elmo Public Works Department.
3. Refer to Sheet L100 for Tree Preservation Plan, L200 for Landscape Plan, and L300 for Landscape Details

LANDSCAPE DETAILS, NOTES, & SCHEDULES



Landscape Notes and Requirements:

1. Tree saucer for individual trees outside of a plant bed to be four inches (4") depth natural Western Red Cedar mulch for trees outside of a plant bed. Install per tree planting detail. Do not place mulch against tree trunk. Remove wire and burlap from top third of root ball before final soil back-fill and mulch.
2. Refer to civil plan sheets for grading, drainage, site dimensions, survey, tree removal, proposed utilities & erosion control.
3. All plant material shall comply with the latest edition of the American Standard for Nursery Stock, American Association of Nurserymen. Unless noted otherwise, deciduous shrubs shall have at least 5 canes at the specified shrub height. Plant material shall be delivered as specified. All deciduous trees are measured at 48" from finished grade to determine tree diameter (DBH). All coniferous trees are measured from finished grade to the top of the central leader. If no central leader is present on coniferous trees, that plant is rejected and must be replaced immediately.
4. Plant takes precedence over plant schedule if discrepancies in quantities exist.
5. All proposed plants shall be located and staked as shown.
6. Adjustment in location of proposed plant material may be needed in field. Should an adjustment be required, the client will provide field approval. Significant changes may require city review and approval.
7. The project landscape contractor shall be held responsible for watering and properly handling all plant materials brought on the site both before and after installation. Schedule plant deliveries to coincide with expected installation time within 36 hours.
8. All plant materials shall be fertilized upon installation as specified.
9. The landscape contractor shall provide the owner with a watering schedule appropriate to the project site conditions and to plant material growth requirements.
10. If the landscape contractor is concerned or perceives any deficiencies in the plant selections, soil conditions, drainage or any other site condition that might negatively affect plant establishment, survival or guarantee, they must bring these deficiencies to the attention of the landscape architect & client prior to bid submission. Plant bed drainage concerns during plant installation shall be brought to the attention of the Owner and General Contractor immediately.
11. Contractor shall establish to his/ her satisfaction that soil and compaction conditions are adequate to allow for proper drainage at and around the building site.
12. Contractor is responsible for ongoing maintenance of all newly installed plant material for the duration of the warranty period. Landscape contractor is responsible for coordinating lawn mowing hand-off with the Owner after the first mowing. Any acts of vandalism or damage which may occur prior to owner acceptance shall be the responsibility of the contractor. Contractor shall provide the owner with a maintenance program including, but not limited to weed control, plant pruning, fertilization and disease/pest control beyond the first year of maintenance. See Note #22.
13. Warranty: The contractor shall guarantee newly planted material through one calendar year from the date of written owner acceptance. Plants that exhibit more than 20% die-back damage shall be replaced at no additional cost to the owner. The contractor shall also provide adequate tree wrap and deer/rodent protection measures for the plantings during the warranty period.
14. This layout plan constitutes our understanding of the landscape requirements listed in the ordinance. Changes and modifications may be requested by the city based on applicant information, public input, council decisions, etc.
15. The landscape contractor shall be responsible for obtaining any permits and coordinating inspections as required throughout the work process.
16. Plant size & species substitutions must be approved in writing prior to acceptance in the field.
17. Irrigation: The landscape contractor shall furnish an Irrigation Layout Plan for head-to-head coverage of all tree and turf planting areas. Use commercial grade irrigation equipment and provide cut-sheets and provide (3) copies of the proposed layout plan to the Civil Engineer for review and approval prior to installation. Coordinate irrigation connection point, controller, back-flow and valve locations with the architect and general contractor. Irrigation contractor to verify if a deduct meter is required and include in bid. Include (1) fall shut-down and (1) spring start-up in bid.
18. All edger shall be professional grade black steel edger, 1/8" thickness. Anchor every 18" on-center (minimum). Submit sample.
19. Landscape Contractor is responsible for coordination with the General Contractor, to protect the new improvements on and off-site during landscape work activities. Report any damage to the General Contractor immediately.
20. Rock mulch areas shall be 3/4" inch dia. local clean dark trap rock over weed mat. Install per detail. Submit mulch sample for approval.
21. All planting and sodded areas shall be prepared prior to installation activities with a harley power box rake or equal to provide a firm planting bed free of stones, sticks, construction debris, etc.
22. Turf Sodding shall conform to all rules and regulations as established in the MnDOT Seeding Manual, 2014 edition, for turf bed preparation, installation, maintenance, acceptability, and warranty. Turf Sod installation to include one year of maintenance in the bid price, which includes fertilization and weed control 3 times - (2) applications in the first growing season and (1) application the following spring. Also, include mechanical plug aeration, which is to occur (1) time the spring following turf sod installation, including snow storage areas. An acceptable stand of turf is lush, full, and weed-free. See specifications for additional information and contractor mowing requirement.
23. The Landscape Contractor shall furnish samples of all landscape materials for approval prior to installation.
24. The Landscape Contractor shall clear and grub the underbrush from within the work limits to remove dead branches, leaves, trash, weeds and foreign materials.
25. The landscape contractor shall contact Gopher State One Call no less than 48 hours before digging for field utility locations.
26. The landscape contractor shall be responsible for the removal of erosion control measures once vegetation has been established to the satisfaction of the municipal staff. This includes silt curtain fencing and sediment logs placed in the landscape.
27. The landscape contractor shall be responsible for visiting the site to become familiar with the conditions prior to bidding and installation. Coordinate with the general contractors on matters such as fine grading, landscaped area conditions, staging areas, irrigation connection to building, etc.
28. See Site and Civil plans for additional information regarding the project, including infiltration area soils and sub-surface drainage requirements and performance.
29. Topsoil Requirements: All graded areas of the site that are designated on the plan set for turf sod shall have no less than 6" of imported top soil, areas designated for shrubs, trees, and perennials shall have no less than 12" of imported top soil, meeting MnDOT classifications for planting soil for trees, shrubs, and turf. Slope away from building.
30. Landscape contractor must prove the open sub-grade of all planting areas after their excavation is capable of infiltrating a minimum requirement of 1/4-inch of water per hour prior to installation of plant materials, topsoil, irrigation, weed mat, and mulch. Planting areas not capable of meeting this requirement shall have 4" diameter X 48" depth holes augured every 36" on-center and filled with MnDOT Free-Draining Coarse Filter Aggregate. Re-test sub-grade percolation for compliance to infiltration minimum requirement.
31. Landscape contractor to provide nursery pull list (bill of lading) including plant species and sizes shipped to the site. Additionally, the landscape contractor shall provide nursery stock traceability, proving none of the materials provided contain or are genetic strains of the neonicotinoid family including acetamiprid, clothianidin, imidacloprid, nitenpyram, nithiazine, thiacloprid and thiamethoxam.
32. Landscape contractor shall apply granular Preen pre-emergent herbicide in all wood mulch areas immediately following installation and again the following spring.

CALYX
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ELEMENT
DESIGN-BUILD
1110 RAYMOND AVENUE, UNIT 3
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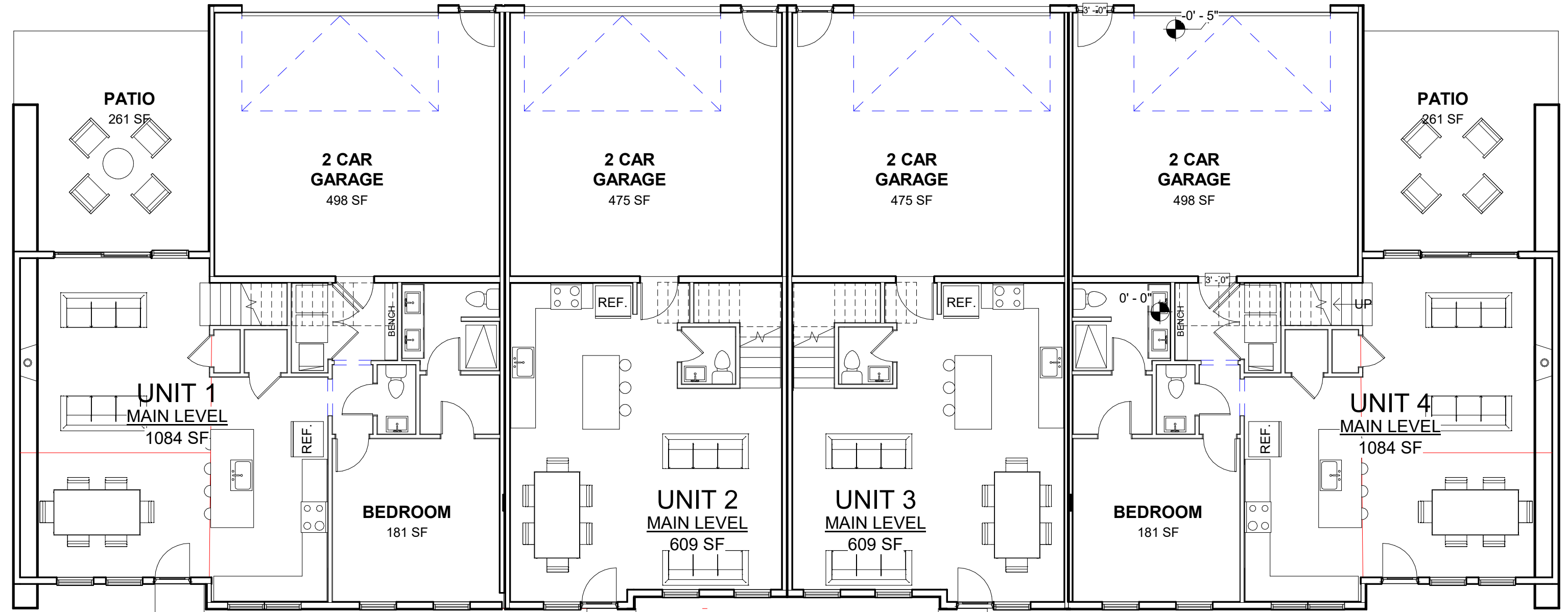
UPPER 33RD STREET
TOWNHOUSE
DEVELOPMENT
LAKE ELMO, MN


I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of MINNESOTA.
PRELIMINARY
Benjamin Hartberg, PLA
Date: _____ Lic. No.: _____

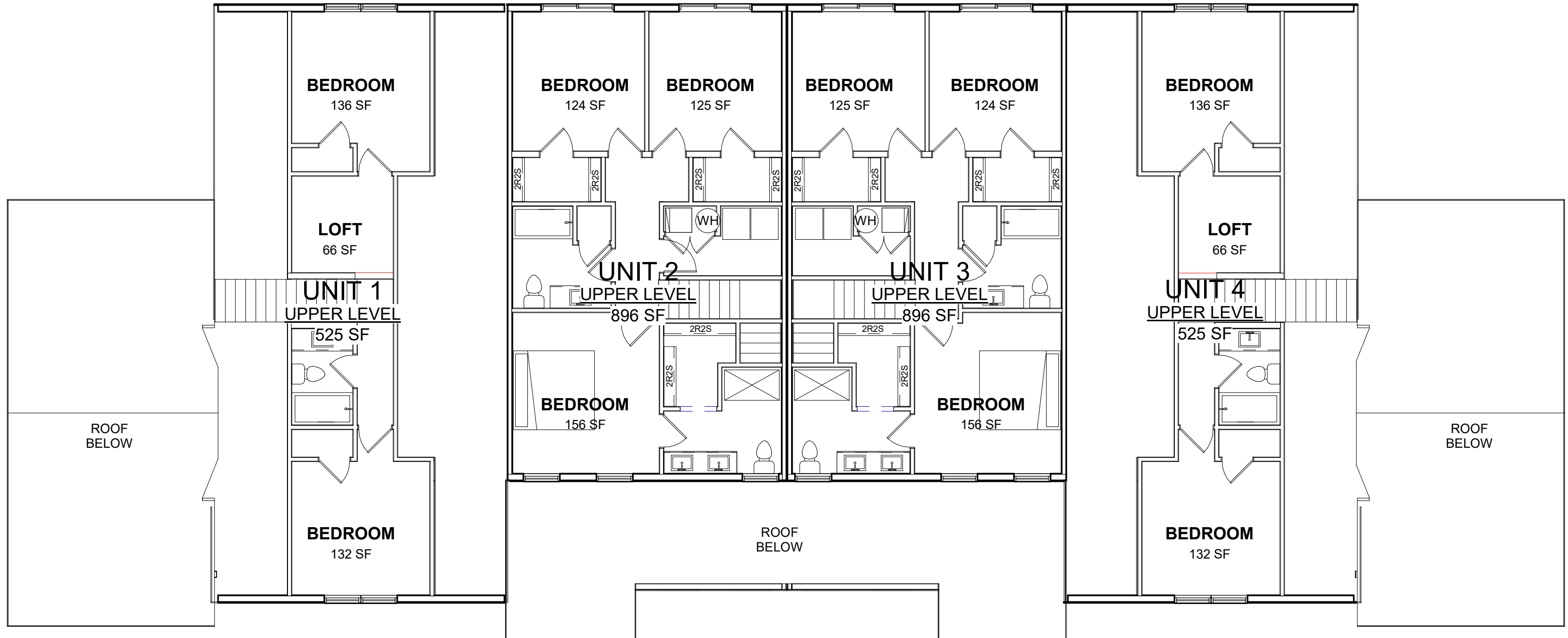
Rev.	Date	Description



Project #: 12226050
Drawn By: HL
Checked By: BH
Issue Date: 11.22.2022
Sheet Title:

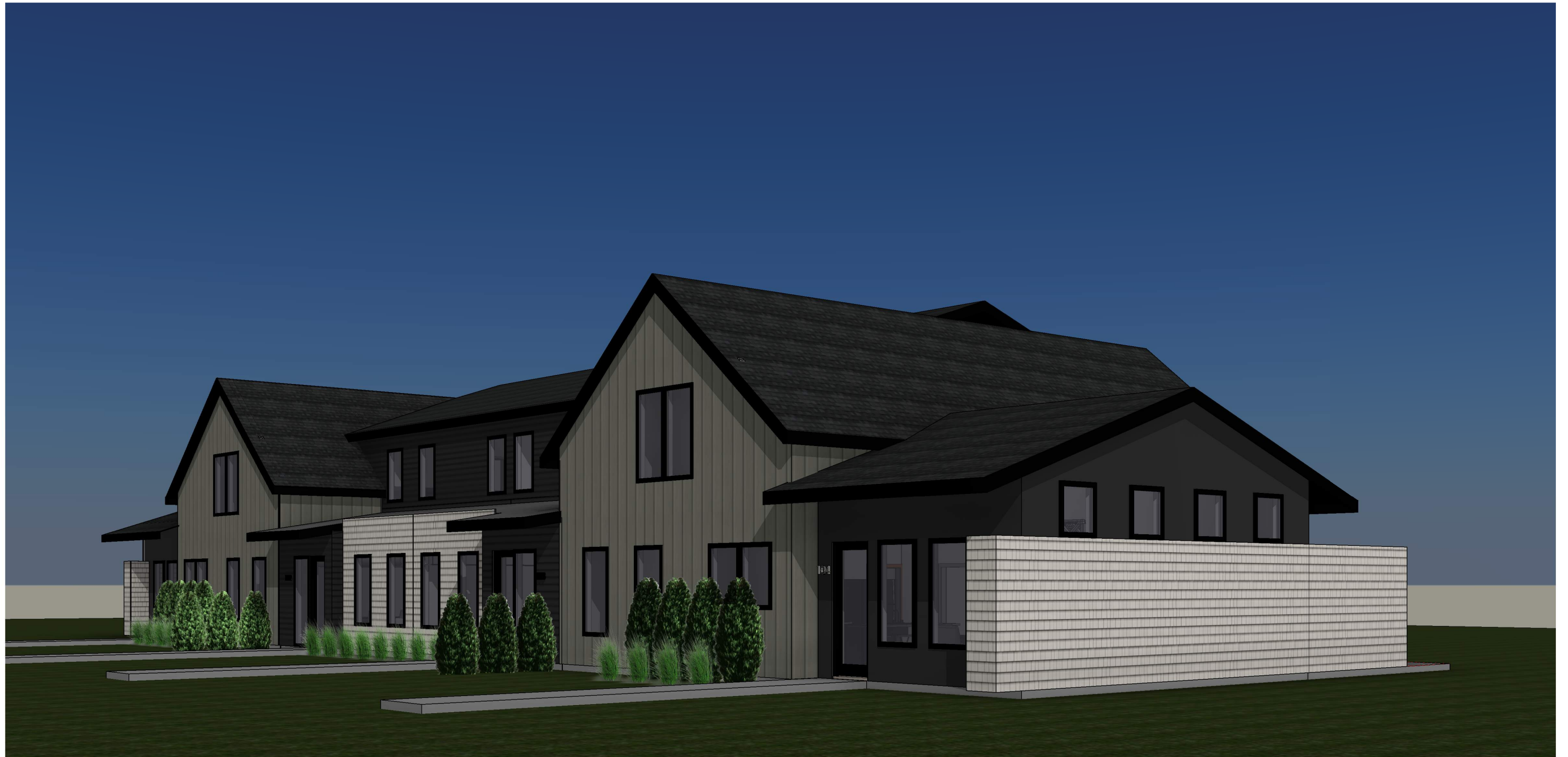
LANDSCAPE DETAILS
Sheet:
L300



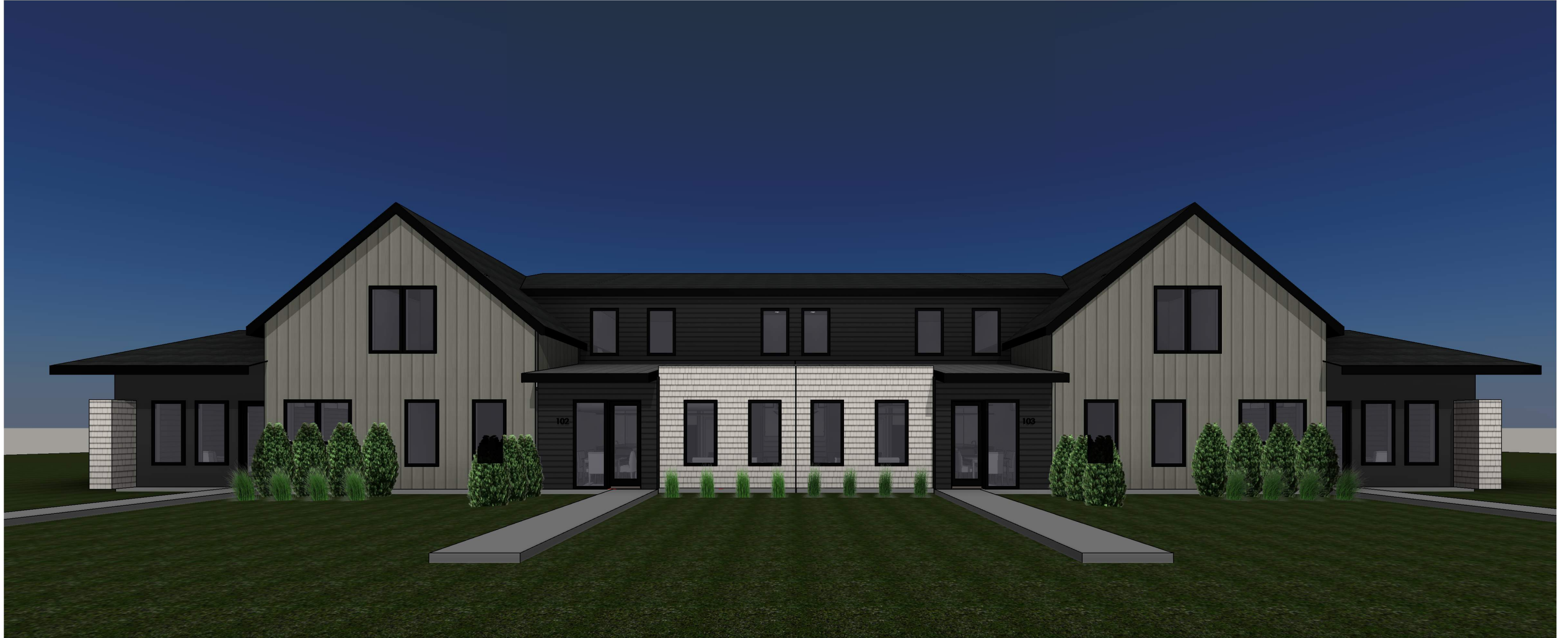
 **NORTH** **1** **1ST FLOOR**
 SCALE: 1/8" = 1'-0"




NORTH

2ND FLOOR
 SCALE: 1/8" = 1'-0"



1 VIEW FROM SE
SCALE:



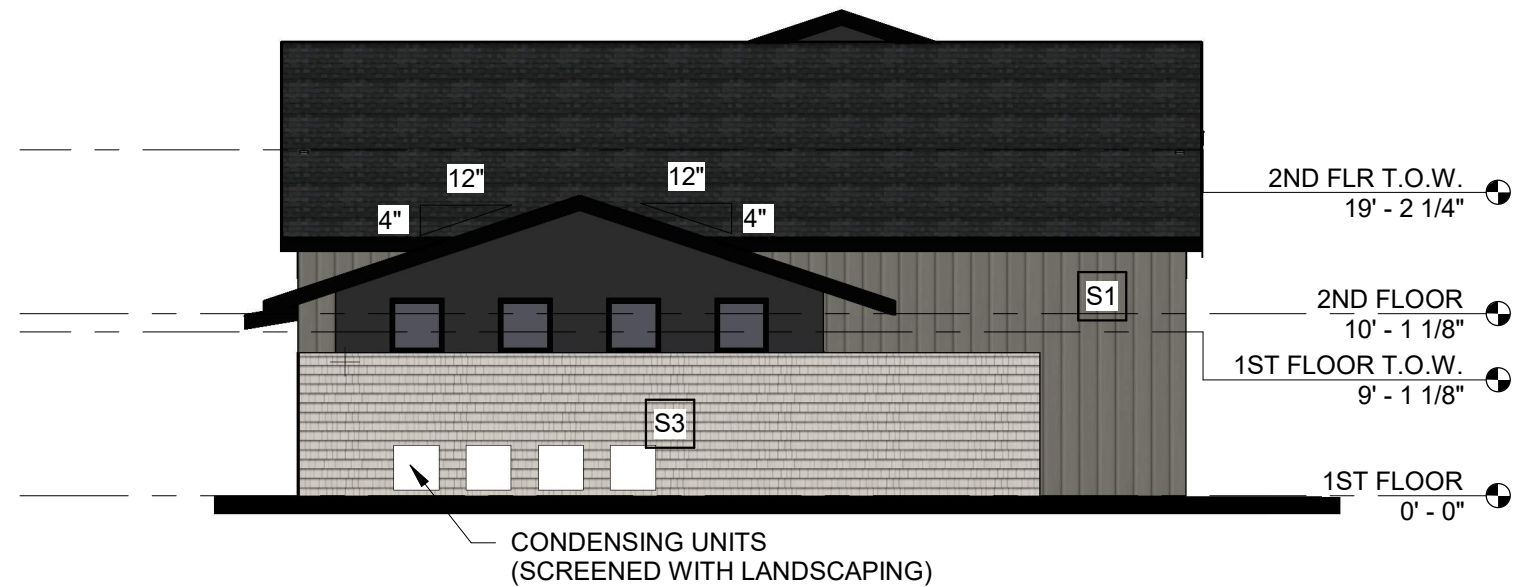
1 **VIEW FROM SOUTH**
SCALE:



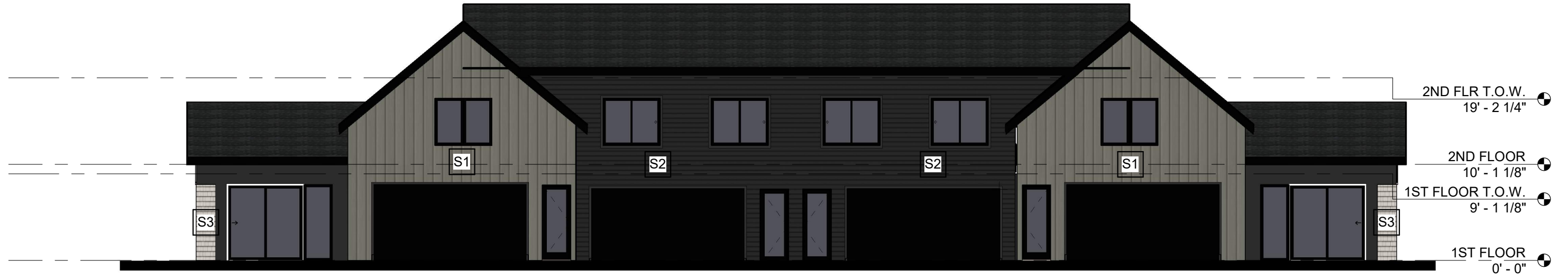
1 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL SCHEDULE

Type Mark	Description
S1	Fiber Cement Board and Batten Siding
S2	Fiber Cement Lap Siding
S3	Fiber Cement Shake Siding



2 EAST ELEVATION
SCALE: 3/32" = 1'-0"



1 NORTH ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL SCHEDULE	
Type Mark	Description
S1	Fiber Cement Board and Batten Siding
S2	Fiber Cement Lap Siding
S3	Fiber Cement Shake Siding



2 WEST ELEVATION
SCALE: 3/32" = 1'-0"

MEMORANDUM

FOCUS ENGINEERING, inc.

Cara Geheren, P.E. 651.300.4261
Jack Griffin, P.E. 651.300.4264
Ryan Stempski, P.E. 651.300.4267
Chad Isakson, P.E. 651.300.4285

Date: November 15, 2022

To: Ben Hetzel, City Planner
Cc: Molly Just, Planning Director
Marty Powers, Public Works Director
Chad Isakson, PE, Assistant City Engineer
From: Jack Griffin, PE, City Engineer

Re: Upper 33rd Street North Townhouse CUP
Site Plan review
PID 1302921320052 & 1302921320051

Engineering has reviewed the Upper 33rd Street North Townhouse CUP Site Plans received on November 4, 2022. The review consisted of the following documentation:

- Civil Site Plans dated November 3, 2022.
 - Stormwater Calculations dated November 3, 2022.
 - Lot Combination Survey dated November 2, 2022.
-

1. City approvals must be contingent upon the applicant revising the Final Construction Plans and Stormwater Management Plan as required by the City Engineer. Final Construction Plans and Specifications must be prepared in accordance with the latest version of the City Engineering Design Standards Manual, dated January 2022, using City details, plan notes and specifications and meeting City Engineering Design Guidelines and plan format requirements.
2. No construction on the Project may begin until the applicant has received City Engineer approval for the Final Construction Plans; the applicant has obtained and submitted to the City all applicable permits, easements and permissions needed for the project; and a preconstruction meeting has been held by the City's engineering department. All off-site permanent or temporary construction easements required to construct the project must be provided prior to scheduling a preconstruction meeting.
3. Site Access. The proposed townhome, including all four units, would access Upper 33rd Street North. Upper 33rd Street North is a local residential street, 24 feet wide within a 47 ft wide right-of-way. The street width and right-of-way do not meet minimum city standards (minimum 28 ft wide within 60 ft right-of-way). The street was recently reconstructed but maintained its existing width and right-of-way due to site constraints.
4. On-street Parking. At 24-feet-wide, no on-street parking is available along Upper 33rd Street North. The street is designated as no parking along both sides. All parking requirements must be met with all parking contained on the property.
5. Pedestrian Connectivity. No sidewalk or trail currently exists along Upper 33rd Street. Due to the narrow street width (24 feet) pedestrian use of the paved roadway may be hazardous once Upper 33rd Street connects to the future development of Schiltgen Farms.
6. Drainage and Utility Easements. A 10-ft. drainage and utility easement should be provided along the property frontage to allow for future placement and relocation of small/dry utilities. Minimum lot easements should also be provided along the side and rear property lines. All easement areas must be free from all encroachments other than those approved by the City Engineer and upon execution of an easement encroachment agreement. Prohibited encroachments include, but are not limited to trees, landscaping, fences, retaining walls, and building structures.

7. The Site plan shows retaining walls along part of the west property line and most of the rear property line. The retaining walls should be a minimum of 5 ft from the property lines and outside of all lot easements, including retaining wall footings.
8. Existing conditions plan is incomplete. Existing conditions is required for a minimum distance of 150 feet from the proposed parcel and from any off-site improvements.
9. The proposed site plan is subject to a storm water management plan (SWMP) meeting State, Valley Branch Watershed District (VBWD) and city rules. The site plan as proposed does not meet stormwater management requirements. Post construction discharge rates and volumes must be equal or less than pre-existing discharge rates at all discharge locations and cumulative for the site.
10. The proposed stormwater management plan proposes an underground storm water infiltration chamber to mitigate 100% of the required rate and volume control. The infiltration chamber outfall pipe is proposed to connect directly to the existing storm sewer along Upper 33rd Street, thereby redirecting the existing site runoff from discharging to the north, and discharging the proposed condition runoff to the south. No storm sewer calculations have been provided to demonstrate available capacity in the city storm sewer system at this location.
11. No borings have been taken for to determine the feasibility of infiltration on site and to identify the design infiltration rate, if deemed feasible. Soil borings are required in accordance with the City Engineering Design Standards Manual dated January 2022.
12. The storm water management facilities constructed for this development should remain privately owned and maintained. The applicant will be required to execute and record a Stormwater Maintenance and Easement Agreement in the City's standard form of agreement. The stormwater drainage and utility easements must be shown on the site plans, utility plans and grading plans. A Homeowner's association would be required for the development to provide for the ongoing ownership and maintenance responsibilities.
13. Municipal water supply is available to the site. There are four (4) existing water service stubs available along the frontage of the property to provide an individual water service connection for each townhome. Connections to existing public watermain will be required, including all connection and permit fees.
14. Sanitary sewer service is available to the site. There are four (4) existing sanitary sewer service stubs available along the frontage of the property to provide an individual sewer service connection for each townhome. Connections to existing sewer will be required, including all connection and permit fees.

Lake Elmo Fire Department

Memorandum



To: Ben Hetzel, City Planner

From: Dustin Kalis, Fire Chief

Date: 11/8/22

Re: Conditional Use Permit: Upper 33rd Street - 4 Unit Townhome

The Lake Elmo Fire Department has completed a Conditional Use Permit review for Upper 33rd Street - 4 Unit Townhome (PIDs 1302921320052 and 1302921320051) based on submittals dated 10/28/22 with the following comments:

- 1) The fire sprinkler system shall be installed compliant with provisions of 2016 NFPA Standard 13D, Installation of Sprinkler Systems in One- and Two-Family Dwellings or IRC P2904. City permit required prior to initiation of work.
- 2) Building address numbers shall be plainly visible from the street fronting the property and shall be a contrasting color from the background. Size and placement of address numbers shall be approved by the fire and planning departments.

Codes and Standards Used for this Review

This review is based on the following codes and standards as adopted and in effect in the State of Minnesota at the time of plan submittal.

- 2020 Minnesota State Fire Code
- 2020 Minnesota Residential Code
- Lake Elmo Fire Department Fire Code Policy
- NFPA 13D, 2016 edition

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