

STAFF REPORT



PLANNING COMMISSION

DATE: 10/23/23

TO: Planning Commission
FROM: Nathan Fuerst, AICP, Consulting Planner
AGENDA ITEM: Public Hearing – Bridgewater Village Preliminary Plat, Rezone, Conditional Use Permit, Comprehensive Plan Amendment,

BACKGROUND:

North Shore Development Partners (Developer) is requesting a Preliminary Plat, Conditional Use Permit, Comprehensive Plan Amendment and Rezoning. The subdivided property, to be owned by Bridgewater Bancshares, INC., will contain four commercial lots and outlots which are planned for a medium density residential use. Two lots are proposed for future use as an Office, one a Bank property, and one a retail property. A conditional use permit is requested for the bank property to contain a drive through serving the bank use, and the Comprehensive Plan Amendment and Rezoning request are to ensure the resulting development complies with adopted plans and policies.

ISSUE BEFORE THE COMMISSION:

The Planning Commission should hold a public hearing, review and make a recommendation to the City Council for the Preliminary Plat, Conditional Use Permit, Rezone, and Comprehensive Plan Amendment.

GENERAL INFORMATION:

Applicant: Jerry Baack, 4450 Excelsior Blvd, Ste 100, Minneapolis, MN 55416
Property Owner: Bridgewater Bancshares, Inc., 4450 Excelsior Blvd, Ste 100, Minneapolis, MN 55416
Location: Two parcels bound by Stillwater Way N., CSAH 14, CSAH 15
PID#s: 1202921440023 and 1202921440022
Request: Preliminary Plat, Rezone, Comprehensive Plan Amendment, Conditional Use Permit
Site Area: 23.19 acres
Land Use Map: Commercial (C), Village Medium Density Residential (V-MDR)
Current Zoning: RT – Rural Transition

<i>Surrounding:</i>	OS Open Space (north); C- Commercial (east); RT Rural Transition(south); PF Public Facilities (west)
<i>History:</i>	The parcel is undeveloped.
<i>Wetland:</i>	There are no wetlands on site.
<i>Deadline:</i>	Application Complete – 9/22/2023 60 Day Deadline – 11/21/23 Extension Letter – n/a 120 Day Deadline – n/a
<i>Applicable Code:</i>	Article 7- General Regulations Article 9- Standards for Accessory Uses Article 13 – Village Districts Article 15- Commercial Districts Title 103 – Subdivision Regulations Lake Elmo Design Guidelines

PROPOSAL DETAILS/ANALYSIS:

Four requests from the Applicant are being processed concurrently by the City:

- **Preliminary Plat** – a major subdivision of the property is proposed.
- **Conditional Use Permit (CUP)** – a CUP for a drive through facility on commercial Lot 3, the proposed bank property.
- **Comprehensive Plan Amendment** – an amendment is required to adjust the future land uses in the Comprehensive Plan so they align with requisite property locations and boundaries.
- **Rezoning** – a rezoning from Rural Transition to Commercial and Village Medium Density Residential is required to ensure that the proposed land use is consistent with guidance in the City’s Comprehensive Plan.

The Developer is proposing a Mixed Use development to occur in two or more phases. There are a total of 7 acres of commercial land proposed, which includes 4 separate lots to be rezoned to Commercial (C). The remaining land area, just over 16 acres, will be rezoned to Village Medium Density Residential (V-MDR).

Of the 4 commercial lots, the smallest size proposed is 1.64 acres and commercial uses are not yet fully identified, other than a bank building proposed on Lot 3, the southeast most commercial lot. The proposed CUP will allow for a drive-through on that property for bank service.

The residential land use shown on the development master plan will be developed in a future phase. Those lots are shown on the preliminary plat to be outlots which will be platted when market conditions allow per the Applicant’s narrative.

Site Data.

Site area could vary slightly based on requirements for Right Of Way from Washington County, or the City of Lake Elmo. Right of Way within the development is counted within the Residential (VMDR) area for the purposes of calculating density.

Total Site Area	23.19 acres
Right-of-Way (R/W)	3.88 acres
Commercial (C) Area	7.0 acres
Residential (VMDR) area	16.19 acres
Wetlands	None identified on site

Land Use(s): A high level review of the requests against adopted City plans and policies is below. A review of the site against applicable subdivision and zoning design and performance standards also follows.

Comprehensive Plan Amendment

The City's future land use map guides the subject property for Village Medium Density Residential (VMDR) and Commercial (C). The Applicant is proposing land uses which are consistent with those categories. Presently, a total of 17.67 acres are guided for Village Medium Density Residential (VMDR), and a total of 6.46 acres are currently guided for Commercial (C).

As proposed, the Applicant's request would result in a VMDR area of 16.19 acres, and a Commercial area of 7.0 acres. The minor changes in the land area between the future land use categories are due mostly to ROW dedication and .54 acres being converted from VMDR to C.

The proposal keeps the same approximate areas of the property guided for the same future land uses. As such, the Comp Plan Amendment will reflect the built conditions of the property which are consistent with the community's vision and development goals.

Staff note that the development density of the VMDR area will be a minimum of 2.5 dwelling units per acre and maximum of 8 dwelling units per acre. With no known undevelopable areas, the net acreage of the VMDR area will be 16.19 acres. This will result in a minimum of 40 dwelling units and a maximum of 130 dwelling units. The concept plan shows 96 residential units, which is within the allowable density range for this site. Density will ultimately be reviewed for conformance at the time the VMDR area outlots are developed.

Rezoning

The change in Zoning designations proposed by the Applicant is standard practice for Lake Elmo and other developing communities. The Rural Transition zoning district "is an interim holding zone that will regulate land uses within those portions of the city planned and staged for

development that will connect to regional sewer service in accordance with the comprehensive plan.”

The proposed land uses for the site must be consistent with the City’s adopted 2040 Comprehensive Plan. Both zoning districts proposed are consistent with the future land uses proposed by the Applicant through the Comprehensive Plan Amendment. The proposed land uses are also consistent with the proposed zoning district and Comprehensive Plan.

Conditional Use Permit (CUP)

A CUP is requested by the Applicant for a drive-through facility serving the bank use on Lot 3 of this development. City Code Section 105.12.920 permits drive-through facilities as an accessory to a permitted use with the issuance of a CUP. The proposed bank is considered a financial institution which is permitted by right in the zoning district. Therefore, a CUP will be required for the drive-through but not the bank use. Staff have reviewed the site for applicable standards relating to a drive-through facility.

Commercial Lot Land Uses

Lots 1 & 2 are proposed to be offices. Lot 3 is proposed as a financial institution, and Lot 4 is proposed to be retail. All of these uses are permitted by right, and would ultimately be reviewed and approved administratively unless a CUP, Variance, or other type of formal review is identified as required.

Site Plan Review:

The Commercial lots were reviewed by staff for conformance with applicable zoning and subdivision requirements. No flexibility is requested by the Applicant from City Code. Therefore, any standards not reviewed through this process will be reviewed at the time of site plan review on each commercial lot. Lots must be developed to all relevant city standards.

Commercial Lot Bulk Standards

The proposed commercial lots were reviewed for conformance with applicable bulk standards.

Commercial Standards (105.12.920)	C District Standard	Commercial Lot 1	Commercial Lot 2	Commercial Lot 3	Commercial Lot 4
Minimum Lot Area	.46 Acres	1.64 Ac	1.64 Ac	1.81 Ac	1.9 Ac
Minimum Lot Width	75 feet	244’	257.9’	127.5	236.9
Max Impervious Cover	75%	Unknown	Unknown	Unknown	Unknown
Minimum Setback - Front	30 feet	91.1’ & 46.1’	117.7’ & 66.3’	153.7’ & 87.2’	32’ & 167’
Minimum Setback - Side	10 feet	n/a	50.1’ & 84’	73.4’ & 115.6	51.4 & 70.1’

Minimum Setback- Corner side	25 feet	n/a	n/a	n/a	n/a
Minimum Setback - Rear	30 feet	137.9' & 31.5'	n/a	n/a	n/a
Setback from residential zones	50 feet	137.9'	117.7'	153.7	32' + 80' ROW
Maximum Height	45 feet	Unknown	Unknown	Unknown	Unknown
Parking- Front Yard setback	15 feet	25.5' & 46.1'	47' & 67'	23.6' & 98'	31.3' & 38.3
Parking – Interior side setback	10 feet	n/a	21.6' & 12'	16' & 21.9'	44' & 16'
Parking- Corner side yard setback	15 feet	n/a	n/a	n/a	n/a
Parking- Rear yard setback	10 feet	11.2' & 23'	n/a	n/a	n/a
Parking setback from residential zones	35 feet	11.2' feet*	47' + 80' ROW	23.6' + 80' ROW	31.3' + 80' ROW
Driveway setback from side lot line	5 feet	met	met	met	met
Driveway Width	20-34 feet	25'	22'	22'	22'

*This does not meet current standards and will need to be revised prior to building permit submittal and review.

CUP Review - Drive Through Facility

Commercial Lot 3 is proposed to have a bank (*Financial Institution*) with an associated drive-through. Drive-through facilities are anticipated as accessory uses to banks in the definition of Financial Institutions. Drive-through facility requirements in city code are as follows:

1. Drive-through elements shall not be located between the front facade of the principal building and the street.
2. Plans for on-site circulation and driveway locations shall be reviewed as part of the conditional use review process. Site design shall accommodate a logical and safe vehicle and pedestrian circulation pattern. Adequate queuing lane space shall be provided, without interfering with on-site parking/circulation.
3. Alley access to drive-through lanes is prohibited on any block containing a residential district, except for commercial deliveries when approved by the city engineer.
4. Drive-through canopies and other structures, where present, shall be constructed from the same materials as the primary building, and with a similar level of architectural quality and detailing.
5. Sound from any speakers used on the premises shall not be audible above a level of normal conversation at the boundary of any surrounding residential district or on any residential property.
6. An emergency exit lane shall be provided for uses queuing through the drive-through lanes, without interfering with on-site parking/circulation.

Staff find that the proposed drive-through appears to meet conditions 1, 2, 3, and 6. Compliance with criteria 4 and 5 are expected once a site plan is submitted. A condition of approval

contingent upon compliance with all the criteria in City Code Section 105.12.570 (b) is proposed.

Another condition is proposed to require the Applicant to provide landscaping between the drive through facility and the intersection of CSAH 14 and CSAH 15 to the satisfaction of the City's Landscape Architect. This is suggested on the basis that enhanced landscaping could help buffer the drive through from that intersection.

Parking

Off-street parking is required consistent with City Code Section 105.12.410. Since the proposed land uses and floor areas of the proposed buildings will be subject to change based on site layout, tenant, or property owner needs, etc., staff will conduct a review of parking requirements at the time of site plan review.

Signage

No signage is proposed on the plans or discussed in the Applicant's narrative. The Applicant is intending to install a subdivision monument sign, however the location is not known at this time. Signage will be reviewed when requested by the Applicant or subsequent property owners.

Commercial Lot Performance Standards

The proposed commercial lots will be subject to other site and building design performance standards which may not be mentioned in this report. Those standards include, but are not limited to the City's Design Guidelines Standards Manual, landscaping requirements, lighting, parking lot landscaping, off street loading areas, etc. No flexibility to any City standards is requested by the Applicant at this time. All individual lots will have to meet the performance standards in the zoning ordinance at the time of permit application. A condition has been added.

Preliminary Plat Review: The Preliminary Plat was reviewed by staff for standards specific to subdivisions.

Subdivision requirements: The subdivision has been reviewed according to City Zoning and Subdivision requirements. The platted lots will meet City standards for areas and locations as proposed. Driveways and access for the lots is consistent with City Standards. A Developers Agreement will be required as part of future plat approval. The City Engineer has reviewed for conformance with engineering standards and provided memo dated October 10, 2023, attached, and all items are to be addressed as part of the final plat submittal.

Landscaping and Tree Preservation: The Landscape Architect is suggesting revisions to the submitted tree preservation and landscaping plans as a condition of preliminary plat approval. Trees required in the area of disturbance shall be identified and provided on the plans. Boulevard plantings are required at the time subdivision improvements are installed.

Parkland Dedication: The City's ordinance requires parkland dedication in the amount of 10% for Mixed Use projects incorporating a residential component. This development was brought to the City's Parks Commission during the concept plan review process, and it was determined that a

cash in lieu payment could be acceptable given that the property is not in a park search area. The Cash in Lieu payment will be calculated at the time of final plat.

Trails were identified as a requirement for this project at the time of sketch plan review. Trails currently shown on the plans meet the requirements communicated to the developer.

Wetlands: The Applicant's surveyor and engineer have provided a statement indicating that no wetlands are present on site. This will be substantiated by the Valley Branch Watershed District at the time of permitting for site improvements required due to the size of the project.

Streets and Access: This subdivision will have public streets as proposed on the plans. The ROW width is required to be 80 feet and minimum roadway width is 32 feet. The City Engineer has reviewed the plans accordingly. Two access points are required for the land uses proposed, and a secondary access on Stillwater Way will be required at the time the residential outlots are developed. A temporary cul-de-sac will be provided in the meantime. A temporary cul-de-sac agreement will ultimately be required.

Review Comments:

City Engineer Comments:

See attached memo dated October 10, 2023. The City Engineer has suggested that approval, if granted, should be conditional upon addressing each review comment in the Engineer's review memo. Additional information is required from the Applicant, and any public improvements shall be consistent with the City Engineering Design Standards Manual dated January 2022.

Fire Chief Comments:

See attached memo dated March 2, 2023.

Landscape Architect Comments:

See attached memo dated October 9, 2023. Conditional approval is suggested.

Valley Branch Watershed District:

The applicant has submitted a permit application to the Valley Branch Watershed District. That permit is tentatively scheduled for a review by the watershed on October 26, 2023. It is possible that to meet watershed requirements, the developer will have to modify the development plans.

City Attorney Review:

The City Attorney will need to review the plat documents and title commitment. A plat opinion is required prior to recording of the final plat. A condition has been added.

RECOMMENDED FINDINGS:

Recommended Findings for Preliminary Plat. Staff recommends approval of the Preliminary Plat based on a finding that the development does not meet the criteria for denial as follow:

1. That the proposed subdivision is in conflict with the city's comprehensive plan, development code, capital improvements program, or other policy or regulation.

2. That the physical characteristics of the site, including, but not limited to, topography, vegetation, susceptibility to erosion and siltation, susceptibility to flooding, water storage, and retention, are such that the site is not suitable for the type or intensity of development or use contemplated.
3. That the design of the subdivision or the proposed improvements are likely to cause substantial and irreversible environmental damage.
4. That the design of the subdivision or the type of improvements will be detrimental to the health, safety, or general welfare of the public.
5. That the design of the subdivision or the type of improvement will conflict with easements on record or with easements established by judgment of a court.
6. That the subdivision is premature as determined by the standards of this title.

Recommended Findings for Conditional Use Permit (CUP).

Staff recommends approval of the Conditional Use Permit based on compliance with the following criteria:

1. The proposed use will not be detrimental to or endanger the public health, safety, comfort, convenience or general welfare of the neighborhood or the city.
2. The use or development conforms to the city comprehensive plan.
3. The use or development is compatible with the existing neighborhood.
4. The proposed use meets all specific development standards for such use listed in LEC 105.12, art. IX.
5. If the proposed use is in a floodplain management or shoreland area, the proposed use meets all the specific standards for such use listed in LEC 105.04, LEC 105.12.1230 and LEC title 100.
6. The proposed use will be designed, constructed, operated and maintained so as to be compatible in appearance with the existing or intended character of the general vicinity and will not change the essential character of that area.
7. The proposed use will not be hazardous or create a nuisance, as defined under this chapter, to existing or future neighboring structures.
8. The proposed use will be served adequately by essential public facilities and services, including streets, police and fire protection, drainage structures, refuse disposal, water and sewer systems and schools or will be served adequately by such facilities and services provided by the persons or agencies responsible for the establishment of the proposed use.
9. The proposed use will not create excessive additional requirements at public cost for public facilities and services and will not be detrimental to the economic welfare of the community.
10. The proposed use will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare because of excessive production of traffic, noise, smoke, fumes, glare or odors.
11. Vehicular approaches to the property, where present, will not create traffic congestion or interfere with traffic on surrounding public thoroughfares.
12. The proposed use will not result in the destruction, loss or damage of a natural or scenic feature of major importance.

Comprehensive Plan Amendment Findings.

1. That the applicant has submitted a request to the City of Lake Elmo to amend the Comprehensive Plan in accordance with the procedures as established by the Lake Elmo Planning Department and the Lake Elmo Planning Commission; and
2. That the request is to amend the Future Land Use Map to change the precise locations of the Village Medium Density Residential and Commercial future land use areas; and
3. That the proposed amendment is consistent with the overall goals and objectives of the Lake Elmo Comprehensive Plan.

Rezoning Findings.

1. That the applicant has submitted a request to the City of Lake Elmo to amend the Zoning Map in accordance with the procedures as established by the Lake Elmo Planning Department and the Lake Elmo Planning Commission; and
2. That the request is to amend the Zoning District in the project area from Rural Transition (RT) to Village Medium Density Residential (VMDR) and Commercial (C); and
3. That the proposed amendment is consistent with the overall goals and objectives of the Lake Elmo Comprehensive Plan.

Recommended Conditions of Approval. Staff recommends the Planning Commission recommend to the City Council approval of the Preliminary Plat, CUP, Rezoning, and Comprehensive Plan Amendment requests with the following conditions:

1. The Requested Preliminary Plat, Rezoning, and Conditional Use Permit are subject to the approval of the Comprehensive Plan Amendment by the Metropolitan Council.
2. Prior to the City finding any application for final plat complete, the applicant shall address all comments in the City Engineer's memo dated October 10, 2023 to the satisfaction of the City.
3. Prior to the City finding any application for final plat complete, the applicant shall revise the landscape plan and tree preservation plan in accordance with the City Landscape Architect's memo dated October 9, 2023 to the satisfaction of the City.
4. Prior to the City finding any application for final plat complete, the applicant shall demonstrate compliance with the items listed in the September 28, 2023 memo from the Fire Department to the satisfaction of the City.
5. The City Attorney shall issue a plat opinion certifying that the plat, title evidence, and all agreements and documents required under this title meet the requirements of the city prior to City Council review or approval of the final plat.
6. The Final Plat shall include all necessary and additional public right-of-way and easements.
7. If necessary, the applicant shall provide the City with a copy of written permission for any off-site grading work and storm sewer discharges to adjacent properties before starting any site work, grading and as part of any final plat application.
8. No flexibility from City standards is provided by this approval. All lots to be platted in this subdivision must meet existing City standards at the time of building permit submittal.
9. The Drive-Through Facility must comply with the standards for such facilities in City Code Section 105.12.570(b).

10. Enhanced landscaping between the drive-through facility on commercial Lot 3 and the intersection of CSAH 14 & 15 shall be provided to the satisfaction of the City's Landscape Architect.
11. Sign permits are required and must comply with all applicable City Ordinances.
12. All public improvements constructed to support the development must be designed and constructed in accordance with the City Engineering Design Standards Manual dated January 2022, unless approved otherwise by the City Engineer.
13. The applicant shall verify compliance with Valley Branch Watershed (VBWD) comments and that the applicant provide the City evidence that all conditions attached to a VBWD permit will be met before the starting any grading activity on the site.
14. That the applicant shall obtain all necessary permits including but not limited to all applicable City permits (building, grading, wetland, sign, etc.), NPDES/SWPPP permits and Valley Branch Watershed District approval before starting any grading or construction activities.
15. Park dedication shall be paid prior to recording of the final plat.
16. A storm water maintenance and easement agreement in a form acceptable to the City shall be executed and recorded with the final plat.
17. A landscape and irrigation license agreement in a form acceptable to the City shall be executed and recorded with the final plat.
18. Before the execution and recording of a final plat for the development, the developer or applicant shall enter into a Developer's Agreement or a Site Work Agreement with the City. Such an Agreement must be approved by the City Attorney and by the City Council. The Agreement shall delineate who is responsible for the design, construction and payment for the required improvements with financial guarantees therefore. The Agreement shall outline any approved phasing plan.
19. The applicant or developer shall enter into a separate grading agreement with the City before starting any grading activity in advance of final plat approval. The City Engineer shall review any grading plan that is submitted in advance of a final plat and said plan shall document the extent of any proposed grading on the site.
20. That the applicant shall submit a revised preliminary plat and project plans meeting all conditions of approval for City review and approval. The revised applicant/developer project plans and other materials shall meet all of the above conditions before the City will find complete any final plat application for the development and before the start of any clearing or grading activity on the site.
21. That the City's preliminary plat approval is good for one year from the date of City Council action, unless the applicant requests and the City Council approves a time extension.

FISCAL IMPACT: Approval of the Applicant's requests grants entitlements to the Applicant, however there would be no fiscal impact to the City at this time. A final plat is required along with a Development Agreement which will detail public improvements and address fiscal impacts. When the property begins to develop it will have urban services and will require development fees.

RECOMMENDATIONS:

Based on compliance with existing City Standards and criteria for approval, Staff suggests the Planning Commission recommend approval of the proposed Preliminary Plat, CUP, Rezoning and Comprehensive Plan Amendment for the subject property with the recommended conditions of approval listed in the staff report. Should the Planning Commission modify the conditions, those should be clearly stated and part of the motion.

“Motion to recommend approval of the Comprehensive Plan Amendment to revise the boundaries of the Village Medium Density Residential and Commercial Future Land Use Categories for the subject property based on the findings of fact and recommended conditions of approval listed in the staff report.”

“Motion to recommend approval of the Rezoning on the subject property from Rural Transition to Village Medium Density Residential and Commercial based on the findings of fact and recommended conditions of approval listed in the staff report.”

“Motion to recommend approval of the Preliminary Plat requested by North Shore Development for Bridgewater Village based on the findings of fact and recommended conditions of approval listed in the staff report.”

“Motion to recommend approval of the Conditional Use Permit for a Drive Through Facility for a Financial Institution on Lot 3 requested by North Shore Development for the subject property based on the findings of fact and recommended conditions of approval listed in the staff report.”

ATTACHMENTS:

1. Application Narrative,
2. Preliminary Plat and Project Plans,
3. Fire Chief Memo
4. City Engineer Memo
5. Landscape Architect Memo

September 22nd, 2023

City of Lake Elmo, MN
3800 Laverne Ave N
Lake Elmo, MN 55042

Bridgewater Village - Mixed Use Project Narrative

Background

Bridgewater Bancshares, LLC, represented by North Shore Development Partners, is pleased to be applying for a comprehensive plan amendment, preliminary plat, final plat, zoning map amendment, and conditional use permit for an approximately 24-acre site for future development. The site is located at the northwest corner of Stillwater Boulevard N and Manning Ave N. The proposed project consists of two parcels, the main subject parcel and a County ROW acquisition (PIDs 1202921440020 and 1202921440022 respectively). The project also proposed ROW acquisition of a portion of Stillwater Way N which bounds the project on the northwest side.

The proposed project proposes a first phase of public roadways, public utilities, regional stormwater, and site mass grading. Future site improvements include commercial development with a residential component to follow in the future pending favorable market conditions – all of which is intended to be consistent with Lake Elmo's 2040 Comprehensive Plan. The commercial portion of the project will face the south and east along Stillwater Boulevard N and Manning Ave n (C.S.A.H No. 14, and 15 respectively). The project proposes four commercial buildings within the proposed 7-acre commercial area. The first phase will include a bank facility on the southeast corner of the parcel.

Bridgewater Bancshares, Inc & North Shore Development Partners

About Bridgewater Bancshares, Inc. is a St. Louis Park, Minnesota-based financial holding company. Bridgewater's primary banking subsidiary, Bridgewater Bank, is a premier, full-service Twin Cities bank dedicated to serving the diverse needs of commercial real estate investors, entrepreneurs, business clients and successful individuals. By pairing a range of deposit, lending and business services solutions with a responsive service model, Bridgewater has seen continuous growth and profitability. With total assets of \$4.3 billion and seven branches as of December 31, 2022, Bridgewater is considered one of the largest locally led banks in the State of Minnesota, and has received numerous awards for its growth, banking services and esteemed corporate culture.

North Shore Development Partners (North Shore) is locally based out of Wayzata, MN with strong background in high quality multifamily and mixed-use real estate assets for Twin Cities communities. North Shore has over thirty years of development experience across their partners. Notable recent projects include The Exchange in New Brighton, MN and The Stax of Long Lake, in Long Lake, MN. North Shore operates a high standard of quality within their developments and seeks to provide a sense of community that supports the local growth of Lake Elmo.

The development team anticipates that this project will kickstart development within this area of the city with a high standard of quality and workmanship in initial construction, but also in operation and management.

Buildings

The development team will follow the City of Lake Elmo Design Guidelines and Standards by putting forth a quality development with buildings of high architectural quality and an efficient site that will work well for all users, both vehicular and pedestrian. The buildings will be placed in a manner to ensure good sightlines while also maintaining safe circulation patterns.

Streetscapes, landscaping, and parking areas will be designed to create an enjoyable outdoor environment of high aesthetic value while also maximizing pervious surfaces. Buildings will be designed using quality materials and human-scale massing to promote visual interest and support Lake Elmo's unique identity.

Site

The site is currently zoned Rural Transitional with a future Land Use of Residential and Commercial. It is anticipated that the future zoning will be Commercial and V-MDR Village Medium Density Residential per the City of Lake Elmo's 2040 Comprehensive Plan. The development team is working directly with City Planning Staff and MET Council regarding the proposed residential & commercial acreages as it pertains to the Comprehensive Plan. The project proposes the commercial area to be approximately 7-acres in size, consistent with the previously approved Land Use areas per MET Council and the Comprehensive Plan.

The base parcel for the project is ~21.86 acres in size. The project will acquire ~2.77 acres of previous Washington County ROW area adjacent to the east and is seeking to acquire up to 35' width of additional City ROW from Stillwater Way N to the northwest. The total site area with the County ROW area added is ~23.19 acres. Depending on the final area of Stillwater Way N ROW, the total project area could slightly vary.

Access and Parking

Site access to the overall development will be provided via three access points. An existing curb cut for C.S.A.H. 14 will be utilized for Linora Avenue North and connect to Stillwater Way North. Additionally Upper 40th Street North will run east to west through the site before intersecting with Linden Avenue North. Linden Avenue North will also connect to Stillwater Way North and allow access to the site at a second location from the north. The proposed Linora Avenue North and Linden Avenue North will provide turn lanes for exiting the site to allow for improved circulation of traffic. Two new turn lanes and driveways will be designed for access off the northwest and northeast from Stillwater Way N. Finally, the project proposes new public roadways within the development for site circulation and access to all proposed lots. As the project is a phased approach, the eastern access to Stillwater Way North will be constructed at the time of the future Townhome development. As part of Phase 1, the project proposes to include a temporary cul-de-sac on the northeastern road.

Parking will be provided for each use per City Code requirements at the time of site plan development. Accessible stalls will be provided for each lot in accordance with current Minnesota accessible parking requirements.

Parks and Trails

The City requires 10% of the proposed development area to be dedicated as a public park. The project was brought to the City Park Commission during the Sketch Review phase at which time the Commission made a decision that a public park was not needed at this location. The Commission requested cash alternatives per Code requirements.

The project is within a regional trail opportunity area per the Lake Elmo 2040 Comprehensive Plan. The development team has coordinated locations for trail within the site and the surrounding area with the City of Lake Elmo. The project is currently proposing the addition of trail through the site along the west side of Linora Avenue North. The City of Lake Elmo has also requested that trail be included along north side of C.S.A.H. NO. 14 that will connect the existing trail at the intersection of C.S.A.H. NO. 14 and C.S.A.H. NO. 15 to the proposed trail along the west side of Linora Avenue North. Additionally, trail is proposed on the south side of Stillwater Way N. The trail will extend to the west and connect to the existing trail located near the adjacent Holiday gas station. The trail will also extend to the east and cross Stillwater Way N. to connect the site trail into the existing Little Blue stream trail.

Grading and Drainage

The project site is proposed to be mass graded for future development as part of the initial sitework. The proposed site grades will generally be between 1.5% and 4% within roadways and parking areas. The parking lot and drive aisles will be bounded with curb and gutter to collect stormwater runoff and direct it to the onsite storm sewer. Landscape grades vary but will not exceed 3:1. Site grades naturally fall to the south of the parcel where existing drainage is collected in a culvert and discharged south under the highway. The proposed drainage outfall will match existing drainage patterns.

Stormwater

Stormwater management for the development will be provided by a stormwater wet pond for irrigation reuse located in the center of the site and an infiltration basin on the south side of the site. The irrigation reuse system will be designed per City requirements and will support the volume management requirement per City and Watershed rules for the commercial lots with the remainder of the requirement being satisfied by the infiltration basin. The stormwater management system meets City and Watershed rules for site discharge rate, high water levels, and water quality treatment.

Utilities

The proposed development will be served by trunk sanitary sewer, storm sewer, and watermain utilities for the entire site. The proposed public sanitary main will be an extension of the existing 8" PVC stub along C.S.A.H. 14 from the south. This main will be extended north into the site per City requirements with branches to service both commercial and residential sections. The sewer extension will require an MCES sanitary sewer extension permit. Sanitary service stubs will be provided for each lot for future building connection. Services will be private and dedicated to each use.

The proposed public watermain will be a 12" DIP main extended south from Stillwater Way N. The existing watermain is at Little Bluestem Trail N and Stillwater Way N. It is anticipated that some offsite work will be required to bring watermain to the subject parcel. The proposed main will run to the southern side of the site with 8" loops broken off to service the commercial and residential areas as necessary. Hydrants will be provided as necessary for adequate fire suppression coverage for the development. Water service stubs will be provided for each lot for future building connection. Services will be private and dedicated to each use.

The proposed storm sewer will collect stormwater runoff from each impervious area and convey drainage to the proposed stormwater management systems as previously discussed.

Landscaping

The proposed site landscaping includes boulevard trees and sod per the City of Lake Elmo engineering design standards. Future landscaping for the addition of commercial buildings and VM DR area will be designed in accordance with City of Lake Elmo standards.

Conditional Use Permit

A Conditional Use Permit for the proposed Bridgewater Bank Parcel is requested for the future drive-thru. The design of the Bank is forthcoming with a future site plan application. The project requests a CUP be approved for the parcel conditional upon the future design meeting City of Lake Elmo requirements.

1) Written Statements

- a) A listing of contact information including name(s), address(es) and phone number(s) of: the owner of record, authorized agents or representatives, engineer, surveyor, and any other relevant associates;

Owner: Bridgewater Bancshares, INC.
2245 excelsior blvd, suite 100,
Saint Louis Park, MN 55416

Owner contact: Jerry Baack
Phone: 952-893-6868
Email: Jerry.Baack@bwbm.com

Developer: North Shore Development Partners
235 Lake Street East, Suite 300
Wayzata, MN 55391

Developer contact: Matt Alexander
Phone: 952-324-0535
Email: Malexander@northshoredp.com

Architect: Momentum Design Group
755 Prior Avenue N, Suite 301A
Saint Paul, MN 55104

Architect Contact: Jeff Wrede
Email: Jeff@mdgarchitects.com

Engineer: Stantec Consulting Services, INC.
One Carlson Parkway North, Suite 100.
Plymouth, MN 55447

Engineer Contact: Jack Ammerman, PE
Phone: 810-252-1431
Email: Jack.Ammerman@stantec.com

Surveyor: Egan, Field and Nowak, INC.
475 Old Highway 8 NW, Suite 200
New Brighton, MN 55112

Surveyor Contact: Christopher Terwedo, RLS
Phone: 612-466-3368
Email: cterwedo@enfsurvey.com

- b) A listing of the following site data: Address, current zoning, parcel size in acres and square feet, property identification number(s) (PID), and current legal description(s);

Address: Unassigned Stillwater Boulevard N

Lake Elmo, MN 55042

Intersection of C.S.A.H. NO. 14 (Stillwater Boulevard N), C.S.A.H. NO. 15 (Stillwater Boulevard N), and F.K.A. State HWY. NO. 5 (Stillwater Way North)

Current zoning: Rural Transitional (RT)

Parcel size: 24.14 A.C. or 1,051,399 SF

Property Identification Numbers (PID): 1202921440020 & 1202921440022

- c) A narrative regarding the history of the property (current and past uses) and any pre-application discussions with staff.

The property proposed for development has historically been used for agricultural use and is currently still used for agricultural use. The property has not had any kind of site improvements and is currently zoned Rural Transitional. Additionally, a portion of the property was acquired from Washington County that at one point was a previous highway corridor. Once the highway was re-routed to its current alignment, the County no longer needed the parcel for transportation needs and transferred the parcel to Bridgewater Bancshares, LLC. Bridgewater has previously applied with the City of Lake Elmo in the form of a sketch plan application and the city has provided feedback regarding planning, engineering, parks, and fire safety. Multiple meetings and additional coordination and correspondence has taken place between the development team and the City of Lake Elmo. The results of these meetings and sketch plan review comments have been incorporated into the project submittal.

- d) A specific written description of the proposed use(s).
- i) Incorporate information describing how the use will work on the proposed site including proposed site changes, existing open spaces, landscaping, traffic circulation, transition areas to adjacent properties, individual uses for existing and proposed structures, and effects on natural areas (wetlands, forests, etc.) both on-site and in the general vicinity of the project.

The proposed use for the conditional permit is for commercial lot 3. The expected proposed site improvements in lot 3 will include a new Bridgewater Bank with a surface parking lot, underground utilities, and a drive through loop with 2 aisles. Irrigation will be provided to the site for landscaped and green space areas.

- ii) Provide specific details about the use including the number of employees, hours of operation, maximum number of animals (if applicable), proposed development schedule, etc.

Number of employees: 15

Number of anticipated clients at any time: 5
Hours of operation: 8 am to 5 pm, Monday through Friday.

Animals are not anticipated to be on site at any time.

Proposed development schedule

Fall '24	Planning
1/15/24	Submit Bank for City Entitlements
3/15/24	City Entitlements Achieved
3/15/24	Architect Prepare Drawings
5/15/24	BP submittal
7/1/24	Ground Break
3/1/25	Grand Opening

- e) Provide justification that the proposed use meets the following findings:
- i) The proposed use will not be detrimental to or endanger the public health, safety, comfort, convenience or general welfare of the neighborhood or City.

The proposed financial institution with the addition of two drive through lanes, will speed up the traffic circulation of the site to allow for expedited service to customers. The proposed use and additional drive through lanes will not impact public health, safety, comfort, convenience, or general welfare of the public. Any concerns can be coordinated with city public works and fire marshal.

- ii) The use or development conforms to the City of Lake Elmo Comprehensive Plan.

The City of Lake Elmo Comprehensive Plan shows the site area to be designated commercial. Financial institutions are a permitted use within the commercial zone. The addition of a drive through loop around the building is a conditional use.

- iii) The use or development is compatible with the existing neighborhood.

The development of commercial lot 3 is part of a larger master planned development of the site that will have additional commercial lots surrounding the proposed lot 3. The surrounding area has agricultural uses as well as residential.

Preliminary & Final Plat Application

1) Written Statements

- a) A listing of contact information including name(s), address(es) and phone number(s) of: the owner of record, authorized agents or representatives, engineer, surveyor, and any other relevant associates;

Owner: Bridgewater Bancshares, INC.
2245 excelsior blvd, suite 100,
Saint Louis Park, MN 55416

Owner contact: Jerry Baack
Phone: 952-893-6868
Email: Jerry.Baack@bwbm.com

Developer: North Shore Development Partners
235 Lake Street East, Suite 300
Wayzata, MN 55391

Developer contact: Matt Alexander
Phone: 952-324-0535
Email: Malexander@northshoredp.com

Engineer: Stantec Consulting Services, INC.
One Carlson Parkway North, Suite 100.
Plymouth, MN 55447

Engineer Contact: Jack Ammerman, PE
Phone: 810-252-1431
Email: Jack.Ammernan@stantec.com

Surveyor: Egan, Field and Nowak, INC.
475 Old Highway 8 NW, Suite 200
New Brighton, MN 55112

Surveyor Contact: Christopher Terwedo, RLS
Phone: 612-466-3368
Email: cterwedo@enfsurvey.com

- b) A listing of the following site data: Address, current zoning, parcel size in acres and square feet, property identification number(s) (PID), and current legal description(s);

Address: Unassigned Stillwater Boulevard N
Lake Elmo, MN 55042

Intersection of C.S.A.H. NO. 14 (Stillwater Boulevard N), C.S.A.H. NO. 15
(Stillwater Boulevard N), and F.K.A. State HWY. NO. 5 (Stillwater Way North)

Current zoning: Rural Transitional (RT)

Parcel size: 24.14 A.C. or 1,051,399 SF

Property Identification Numbers (PID): 1202921440020 & 1202921440022

Current Legal Description: See article 1

- c) A listing of general information including: the proposed name of the subdivision, the number of proposed lots, acreage dedicated for open space or public use, acreage dedicated within rights of way;

Proposed Name of Subdivision: Bridgewater Village

Proposed Lots: Four commercial lots and multiple outlots for stormwater management and future residential use.

Per meetings with City of Lake Elmo Parks Commission it was determined that this subdivision is not to have a dedicated park or public open space.

Proposed lot areas listed below. Note areas have been rounded for clarity. Plat documents show detailed acreages.

Overall Parcel Area:	1,051,398 SF	24.14 AC
Lot 1, Block 1:	71,682 SF	1.65 AC
Lot 1, Block 2:	71,302 SF	1.64 AC
Lot 2, Block 2:	79,352 SF	1.82 AC
Lot 3, Block 3:	82,871 SF	1.90 AC
OUTLOT A:	30,790 SF	0.71 AC
OUTLOT B:	52,569 SF	1.21 AC
OUTLOT C:	67,100 SF	1.54 AC
OUTLOT D:	280,169 SF	6.43 AC
OUTLOT E:	101602 SF	2.33 AC
Dedicated ROW:	213963 SF	4.91 AC

- i) Final exact area calculations of parks, trails, and any other dedicated public open space; and estimated values of all dedicated land and improvements (trails, park equipment, sports fields, etc.).

Per feedback from the City of Lake Elmo this site is not expected to be a favorable location for a park and is not being proposed at this time. Trail is being added per city direction within the proposed or existing public ROW area.

- ii) Final exact area calculations of wetlands and buffers.

There are no wetlands or wetland buffers on site.

- iii) Final proposed area calculations for all dedicated right-of-ways.

Total right-of-way to be dedicated to city is 3.88 acres.

- iv) Proposed legal descriptions for: all lots, easements to be created (if not being dedicated on the plat), and easements to be vacated (if any).

Lot 1, Block 1, BRIDGEWATER VILLAGE, according to the recorded plat thereof, Washington County, Minnesota

Lot 1, Block 2, BRIDGEWATER VILLAGE, according to the recorded plat thereof, Washington County, Minnesota

Lot 2, Block 2, BRIDGEWATER VILLAGE, according to the recorded plat thereof, Washington County, Minnesota

Lot 3, Block 2, BRIDGEWATER VILLAGE, according to the recorded plat thereof, Washington County, Minnesota

OUTLOT A, BRIDGEWATER VILLAGE, according to the recorded plat thereof, Washington County, Minnesota

OUTLOT B, BRIDGEWATER VILLAGE, according to the recorded plat thereof, Washington County, Minnesota

OUTLOT C, BRIDGEWATER VILLAGE, according to the recorded plat thereof, Washington County, Minnesota

OUTLOT D, BRIDGEWATER VILLAGE, according to the recorded plat thereof, Washington County, Minnesota

OUTLOT E, BRIDGEWATER VILLAGE, according to the recorded plat thereof, Washington County, Minnesota

- d) An explanation of how issues have been addressed since the Sketch Plat phase of the development;

Since the sketch plan submittal, all roads have been changed to public roadways with public utilities. The typical road sections have been updated to reflect direction of the city engineer for commercial sections with on street parking. Additional turn lanes have been added as well as trail in locations requested by the city. Public roadway cross section geometrics have been revised to meet City Engineer requirements. The proposed site plan designs for the commercial lots have been updated to address Planning comments on lot geometric requirements.

- e) A narrative explaining the intent of the project and/or your original or revised vision for the finished product;

The proposed project proposes a first phase of public roadways, public utilities, regional stormwater, and site mass grading. The first development to be constructed upon completion of the public roadways and mass grading will be the future Bank parcel on Lot 3. Future site improvements include the remaining three commercial developments

and ultimately a future residential use pending favorable market conditions – all of which is intended to be consistent with Lake Elmo's 2040 Comprehensive Plan. The commercial portion of the project will face the south and east along Stillwater Boulevard N and Manning Avenue (C.S.A.H No. 14, and 15 respectively). The project proposes four commercial buildings within the proposed 7-acre commercial area.

- f) A statement showing the proposed density of the project with the method of calculating said density shown;

The proposed density of the project was calculated using the net residential density guidelines from the MET council local planning handbook. The total area dedicated for commercial development is 7 acres per the 2040 City of Lake Elmo Comprehensive plan. The total commercial area that is proposed is a total lot area of 6.99 acres. The net density is calculated to be 98 units in total. This is determined by adding the sum of the future VMDR areas, out lot area A, out lot area B, and a portion of the public ROW. These areas add up to a total area of 12.23 acres. The 2040 City of Lake Elmo Comprehensive Plan dictates that in all VMDR areas the density per acre is to be 3.01 to 8 units per acre. So, using the maximum of 8 units per acre and multiplying the VMDR area of 12.33 we get a 98 as a total number of units per acre. See Article 2 for a specific lot density breakdown table.

- g) Discuss proposed infrastructure improvements and phasing thereof (i.e. proposed roadways, sewer systems, water systems, sidewalks/trails, parking, etc) necessary to serve the subdivision;

Infrastructure improvements are discussed on page 1 and 2 of this document.

- h) A narrative addressing concerns/issues raised by neighboring properties (discussing your proposal with the neighboring land owners is recommended to get a sense of what issues may arise as your application is processed);

There are no known concerns at this time.

- i) A description of how conflicts with nearby land uses (livability, value, potential future development, etc.) and/or disturbances to wetlands or natural areas are being avoided or mitigated;

There are no conflicts with nearby land uses. The proposed site improvements conform to the 2040 City of Lake Elmo Comprehensive Plan. There are no impacts to wetlands, natural areas, or similar.

- j) Provide justification that the proposal will not place an excessive burden on roads (traffic), sewage, water supply, parks, schools, fire, police, or other public facilities/services (including traffic flows) in the area.

The project area has been included in the 2040 Comprehensive planning for future development. Sanitary and Water facilities are easily accessible to the parcel and have sufficient capacity to service the project. Trip generation estimates for traffic projections have been submitted to the City Engineer and fall within the 2040 comprehensive traffic

projections by the County. The proposed public roadways meet City requirements for commercial section and access for emergency needs. At ultimate build out there will be multiple access points to the development for emergency vehicles.

Engineering traffic requirements have been incorporated into the typical sections to avoid any additional impacts to the surrounding roadways. The development team will address any other concerns pending city review of applications.

- k) If applicable, provide a description of proposed lakeshore access (i.e. shared dock with multiple slips, individual docks for each lot, etc.);

Not applicable to this project.

- l) A description of proposed parks and/or open space. Please include a brief statement on the proposed ownership and maintenance of said areas;

Per meetings with City of Lake Elmo Parks Commission it was determined that this subdivision is not to have a dedicated park or public open space. Any open space in the city ROW will be owned and maintained by the city. Any open space maintenance will be the responsibility of the individual lot owner for the private parcels.

- m) A proposed development schedule indicating the approximate date when construction of the project, or stages of the same, can be expected to begin and be completed (including the proposed phasing of construction of public improvements and recreational and common space areas).

Expected construction schedule:

Public Improvements, public utilities, stormwater BMPs: June 2024

Commercial pad prep & const. bank: aug / sept 2024

Completion public infrastructure: 10/1 2024

Bank complete: 9/1 2025

Future construction of additional commercial lots and VMDR area: TBD

Articles

1) Existing Legal Description:

Title Commitment No 67354:

That part of the East Half of the East Half of the Southeast Quarter of Section 12, Township 29 North, Range 21 West, Washington County, Minnesota, which lies southeasterly of Minnesota State Highway No. 5, and which lies southwesterly of County State Aid Highway No. 14 and 15, (Washington County Highway Plat No. 33).

And

That part of the West Half of the East Half of the Southeast Quarter of Section 12, Township 29 North, Range 21 West, Washington County, Minnesota, which lies southeasterly of State Highway No. 5.

Together with

That part of the north 50 rods of the Northeast Quarter of the Northeast Quarter of Section 13, Township 29 North, Range, 21 West, Washington County, Minnesota, which lies westerly of County State Aid Highway No. 15, (Washington County Highway Plat No. 33), and lies northerly of Parcel 8 of Washington County Highway Right-of-Way Plat No. 178, recorded as Document No. 4120980 in the Recorder's Office of Washington County, Minnesota.

(Abstract Property)

Title Commitment No. 67354-1:

All that part of Parcel 5 of WASHINGTON COUNTY HIGHWAY RIGHT OF WAY PLAT NO. 33, according to the plat thereof, on file and of record in the Office of the Recorder, Washington County, Minnesota, which lies westerly of the westerly line of WASHINGTON COUNTY HIGHWAY RIGHT OF WAY PLAT NO. 179 – C.S.A.H. 15, according to the plat thereof, on file and of record in the Office of the Recorder for said Washington County, and which lies northerly

of the South 200.00 feet of the Southeast Quarter of the Southeast Quarter of Section 12, Township 29 North, Range 21 West, Washington County, Minnesota, excepting therefrom the following:

All that part of the Southeast Quarter of the Southeast Quarter of Section 12, Township 29 North, Range 21 West, Washington County, Minnesota, described as follows: Commencing at the southeast corner of said Section 12; thence South 89 degrees 20 minutes 50 seconds West, bearings are based on the Washington County Coordinate System NAD83/1986,

along the south line of said Southeast Quarter of the Southeast Quarter, a distance of 89.38 feet to boundary corner B104 of WASHINGTON COUNTY HIGHWAY RIGHT OF WAY PLAT NO.

179 – C.S.A.H. 15, according to the plat thereof on file and of record in the Office of the Recorder for said County; thence northerly a distance of 4.14 feet, along the westerly line of said WASHINGTON COUNTY HIGHWAY RIGHT OF WAY PLAT NO. 179 – C.S.A.H. 15, on a curve concave to the west, not tangent to the last described line, said curve having a radius of 1849.86 feet and a central angle of 00 degrees 07 minutes 41 seconds and a chord that bears North 11 degrees 10 minutes 03 seconds West for a distance of 4.14 feet to boundary corner B103 of said WASHINGTON COUNTY HIGHWAY RIGHT OF WAY PLAT NO. 179 – C.S.A.H. 15; thence North 45 degrees 18 minutes 43 seconds East, along said westerly line of WASHINGTON COUNTY HIGHWAY RIGHT OF WAY PLAT NO. 179 – C.S.A.H. 15, a distance of 27.72 feet to boundary corner B1 of said WASHINGTON COUNTY HIGHWAY RIGHT OF WAY PLAT NO. 179 – C.S.A.H. 15; thence North 00 degrees 06 minutes 02 seconds West, along said westerly line of WASHINGTON COUNTY HIGHWAY RIGHT OF WAY PLAT NO. 179 – C.S.A.H. 15, a distance of 413.61 feet to the point of beginning; thence

South 89 degrees 53 minutes 58 seconds West a distance of 59.17 feet; thence North 31 degrees 35 minutes 12 seconds West a distance of 110.43 feet; thence North 05 degrees 27 minutes 53 seconds West a distance of 170.00 feet to a point on the easterly line of WASHINGTON COUNTY HIGHWAY RIGHT OF WAY PLAT NO. 33, according to the plat thereof on file and of record in the Office of the Recorder for said County; thence southeasterly along said easterly line of WASHINGTON COUNTY HIGHWAY RIGHT OF WAY PLAT NO. 33 to the westerly line of said WASHINGTON COUNTY HIGHWAY RIGHT OF WAY PLAT NO. 179 – C.S.A.H. 15; thence South 00 degrees 06 minutes 02 seconds East, along said westerly line of WASHINGTON COUNTY HIGHWAY RIGHT OF WAY PLAT NO. 179 – C.S.A.H. 15, a distance of 7.87 feet to the point of beginning.

2): Density Calculation Table:

LAND USE	LOT	AREA (AC)
COMMERCIAL LOTS		
	COMMERCIAL LOT 1	1.64
	COMMERCIAL LOT 2	1.64
	COMMERCIAL LOT 3	1.81
	COMMERCIAL LOT 4	1.9
TOTAL COMMERCIAL AREA		6.99
FUTURE VMDR LOTS		
	CENTRAL FUTURE VMDR AREA	6.43
	WESTERN FUTURE VMDR AREA	2.33
TOTAL FUTURE VMDR AREA		8.76
OUTLOT AREAS		
	OUTLOT AREA A	0.8
	OUTLOT AREA B	1.21
	OUTLOT AREA C	1.54
	TOTAL OUTLOT AREA	3.55
ROW AREA		
	ROW DEDICATED VMDR	1.46
	ROW DEDICATED COMMERCIAL	2.42
	ROW TOTAL	3.88
TOTAL AREA FOR TOWNHOME DENSITY CALCULATIONS		
PER MET COUNCIL LOCAL PLANNING HANDBOOK	MAX 8 UNITS / ACRE	
	VMDR, OUTLOT, AND ROW DEDICATED VMDR	12.23
	NUMBER OF UNITS	98
TOTAL		23.19

CERTIFICATION:

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Date of survey: July 28, 2022.
Date of signature: September 14, 2023.

Christopher A. Terwedo
Christopher A. Terwedo
Minnesota License No. 53536
cterwedo@efnsurvey.com

PROPOSED LOT SUMMARY:

Lot 1, Block 1:	1.64520 Acres	71,665 Square Feet
Lot 1, Block 3:	1.63686 Acres	71,302 Square Feet
Lot 2, Block 3:	1.82167 Acres	79,352 Square Feet
Lot 3, Block 3:	1.90246 Acres	82,871 Square Feet
Outlot A:	0.70683 Acres	30,790 Square Feet
Outlot B:	1.20681 Acres	52,569 Square Feet
Outlot C:	1.54040 Acres	67,100 Square Feet
Outlot D:	6.43179 Acres	280,169 Square Feet
Outlot E:	2.33247 Acres	101,602 Square Feet
Dedicated Right of Way:	4.91231 Acres	213,979 Square Feet
Total:	24.13680 Acres	1,051,399 Square Feet

PRELIMINARY PLAT FOR:
Bridgewater Bancshares, Inc.

LEGAL DESCRIPTION:

Title Commitment No 67354:

That part of the East Half of the East Half of the Southeast Quarter of Section 12, Township 29 North, Range 21 West, Washington County, Minnesota, which lies southeasterly of Minnesota State Highway No. 5, and which lies southwesterly of County State Aid Highway No. 14 and 15, (Washington County Highway Plat No. 33).

And

That part of the West Half of the East Half of the Southeast Quarter of Section 12, Township 29 North, Range 21 West, Washington County, Minnesota, which lies southeasterly of State Highway No. 5.

Together with

That part of the north 50 rods of the Northeast Quarter of the Northeast Quarter of Section 13, Township 29 North, Range, 21 West, Washington County, Minnesota, which lies westerly of County State Aid Highway No. 15, (Washington County Highway Plat No. 33), and lies northerly of Parcel 8 of Washington County Highway Right-of-Way Plat No. 178, recorded as Document No. 4120980 in the Recorder's Office of Washington County, Minnesota.

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All that part of the Southeast Quarter of the Southeast Quarter of Section 12, Township 29 North, Range 21 West, Washington County, Minnesota, described as follows: Commencing at the southeast corner of said Section 12; thence South 89 degrees 20 minutes 50 seconds West, bearings are based on the Washington County Coordinate System NAD83/1986, along the south line of said Southeast Quarter of the Southeast Quarter, a distance of 89.38 feet to boundary corner B104 of WASHINGTON COUNTY HIGHWAY RIGHT OF WAY PLAT NO. 179 - C.S.A.H. 15, according to the plat thereof on file and of record in the Office of the Recorder for said County; thence northerly a distance of 4.14 feet, along the westerly line of said WASHINGTON COUNTY HIGHWAY RIGHT OF WAY PLAT NO. 179 - C.S.A.H. 15, on a curve concave to the west, not tangent to the last described line, said curve having a radius of 1649.86 feet and a central angle of 00 degrees 07 minutes 41 seconds and a chord that bears North 11 degrees 10 minutes 03 seconds West for a distance of 4.14 feet to boundary corner B103 of said WASHINGTON COUNTY HIGHWAY RIGHT OF WAY PLAT NO. 179 - C.S.A.H. 15; thence North 45 degrees 18 minutes 43 seconds East, along said westerly line of WASHINGTON COUNTY HIGHWAY RIGHT OF WAY PLAT NO. 179 - C.S.A.H. 15, a distance of 27.72 feet to boundary corner B1 of said HIGHWAY RIGHT OF WAY PLAT NO. 179 - C.S.A.H. 15; thence North 00 degrees 06 minutes 02 seconds West, along said westerly line of WASHINGTON COUNTY HIGHWAY RIGHT OF WAY PLAT NO. 179 - C.S.A.H. 15, a distance of 413.61 feet to the point of beginning; thence South 89 degrees 53 minutes 58 seconds West a distance of 59.17 feet; thence North 31 degrees 35 minutes 12 seconds West a distance of 110.43 feet; thence North 05 degrees 27 minutes 53 seconds West a distance of 170.00 feet to a point on the easterly line of WASHINGTON COUNTY HIGHWAY RIGHT OF WAY PLAT NO. 33, according to the plat thereof on file and of record in the Office of the Recorder for said County; thence southeasterly along said easterly line of WASHINGTON COUNTY HIGHWAY RIGHT OF WAY PLAT NO. 33 to the westerly line of said WASHINGTON COUNTY HIGHWAY RIGHT OF WAY PLAT NO. 179 - C.S.A.H. 15; thence South 00 degrees 06 minutes 02 seconds East, along said westerly line of WASHINGTON COUNTY HIGHWAY RIGHT OF WAY PLAT NO. 179 - C.S.A.H. 15, a distance of 7.87 feet to the point of beginning.

GENERAL SURVEY NOTES:

- The orientation of this bearing system is based on the Washington County coordinate grid (NAD 83-2011 Adj.).
- The legal description and easement information used in the preparation of this survey is based on the Commitment for Title Insurance prepared by Guaranty Commercial Title, Inc. as issuing agent for Old Republic National Title Insurance Company, Commitment No. 67354 Supplemental No. 2 dated March 12, 2023 at 8:00 AM, and the Commitment for Title Insurance prepared by Guaranty Commercial Title, Inc. as issuing agent for Old Republic National Title Insurance Company, Commitment No. 67354-1 dated February 28, 2023 at 8:00 AM.
- The surveyed property has direct access to Stillwater Boulevard N and Stillwater Way N, both public right of ways.
- No evidence of cemeteries, burial grounds or gravesites were observed in the process of conducting the fieldwork.
- The address of the property described hereon is unassigned address, Lake Elmo, MN 55042.
- The property described hereon lies within Flood Zone X (Areas determined to be outside the 0.2% annual chance floodplain) per Federal Insurance Rate Map No. 27163C 0265 E, dated February 3, 2010.
- The total area of the property described hereon is 1,051,399 square feet or 24.13680 acres. The area of the property hereon described less areas used for right-of-way purposes is 969,165 square feet or 22.24997 acres.
- Existing utilities, services and underground structures shown hereon were located either physically, from existing records made available to us, by resident testimony, or by locations provided by Gopher State One Call on July 18, 2022 per Ticket Nos. 221992571, 221992618 & 221992619. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Other utilities and services may be present and verification and location of all utilities and services should be obtained from the owners of the respective utilities prior to any design, planning or excavation.
- The contours depicted hereon are per elevation data collected while conducting the fieldwork. The contour interval is 1 foot.

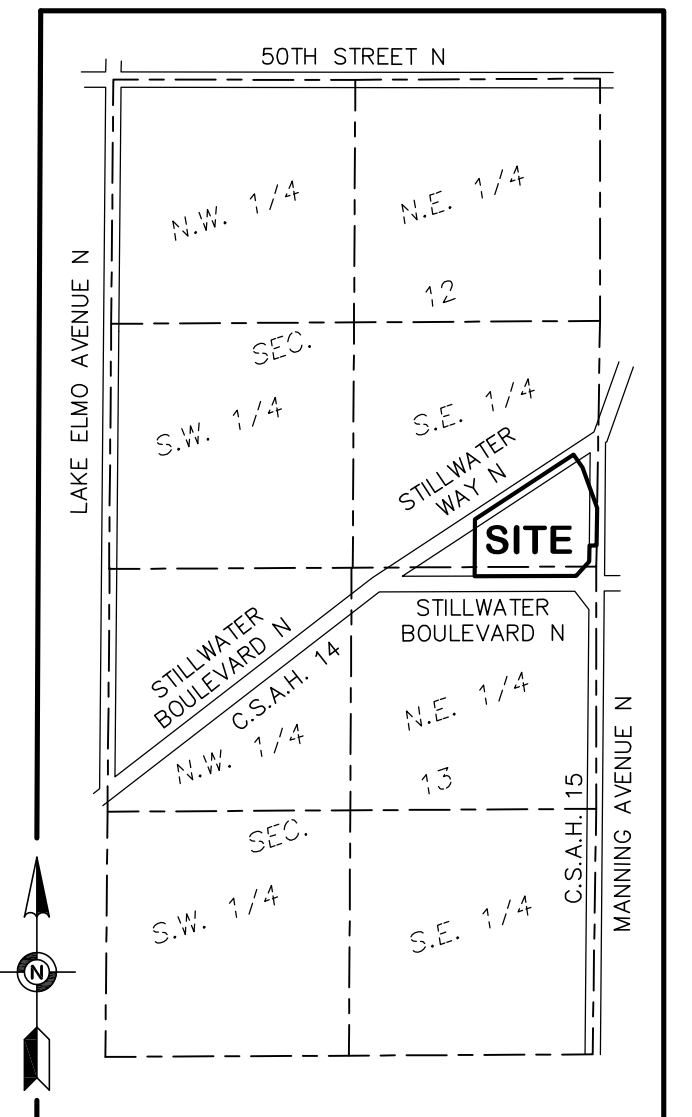
BENCHMARK: Top of Minnesota Department of Transportation Geodetic Monument SCHLAGEL
Elevation = 935.75 feet. (NAVD 88)

SITE BENCHMARK: Top of 5/8-inch rebar with cap marked "EFN CONTROL" at northwest quadrant of intersection of C.S.A.H. 14 and C.S.A.H. 15.
Elevation = 934.84 feet. (NAVD 88)

LEGEND:

- SANITARY MANHOLE
- STORM MANHOLE
- CATCH BASIN
- FLARED END SECTION
- CULVERT
- ELECTRIC MANHOLE
- ELECTRIC BOX
- HANDHOLE
- LIGHT
- UTILITY POLE
- GUY WIRE
- SEMAPHORE
- COMMUNICATION BOX
- FIBER OPTIC SIGN
- PEDESTRIAN POST
- SIGN
- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- OVERHEAD WIRE
- UNDERGROUND TELECOMMUNICATION
- TREELINE
- TREE
- BITUMINOUS SURFACE
- CONCRETE SURFACE
- GRAVEL SURFACE
- EXISTING CONTOUR LINE
- BUILDING SETBACK LINE

SECTIONS 12 & 13, T 029 N, R 21 W



VICINITY MAP
NO SCALE

FIELD BOOK	PAGE	FIELDWORK CHIEF:	REVISIONS
		GD, AV, TV	NO. DATE DESCRIPTION
		DRAWN BY:	
		DL	
		CHECKED BY:	
		CAT	
DRAWING NAME:	41120 Preliminary Plat.dwg		
JOB NO.	41120		
FILE NO.			

PRELIMINARY PLAT OF
BRIDGEWATER VILLAGE

SURVEY FOR:

Bridgewater Bancshares, Inc.

PROPERTY ADDRESS:

Unassigned Stillwater Boulevard N
Lake Elmo, Minnesota 55042



475 Old Highway 8 NW, Suite 200
New Brighton, Minnesota 55112
PHONE: (612) 466-3300
WWW.EFNSURVEY.COM

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PRELIMINARY SITE CONSTRUCTION PLANS

FOR

BRIDGEWATER VILLAGE

LAKE ELMO, MINNESOTA 55042

SEPTEMBER 2023

OWNER



BRIDGEWATER BANK
BRIDGEWATER BANK
4450 EXCELSIOR BLVD,
SUITE 100
ST. LOUIS PARK, MN 55416

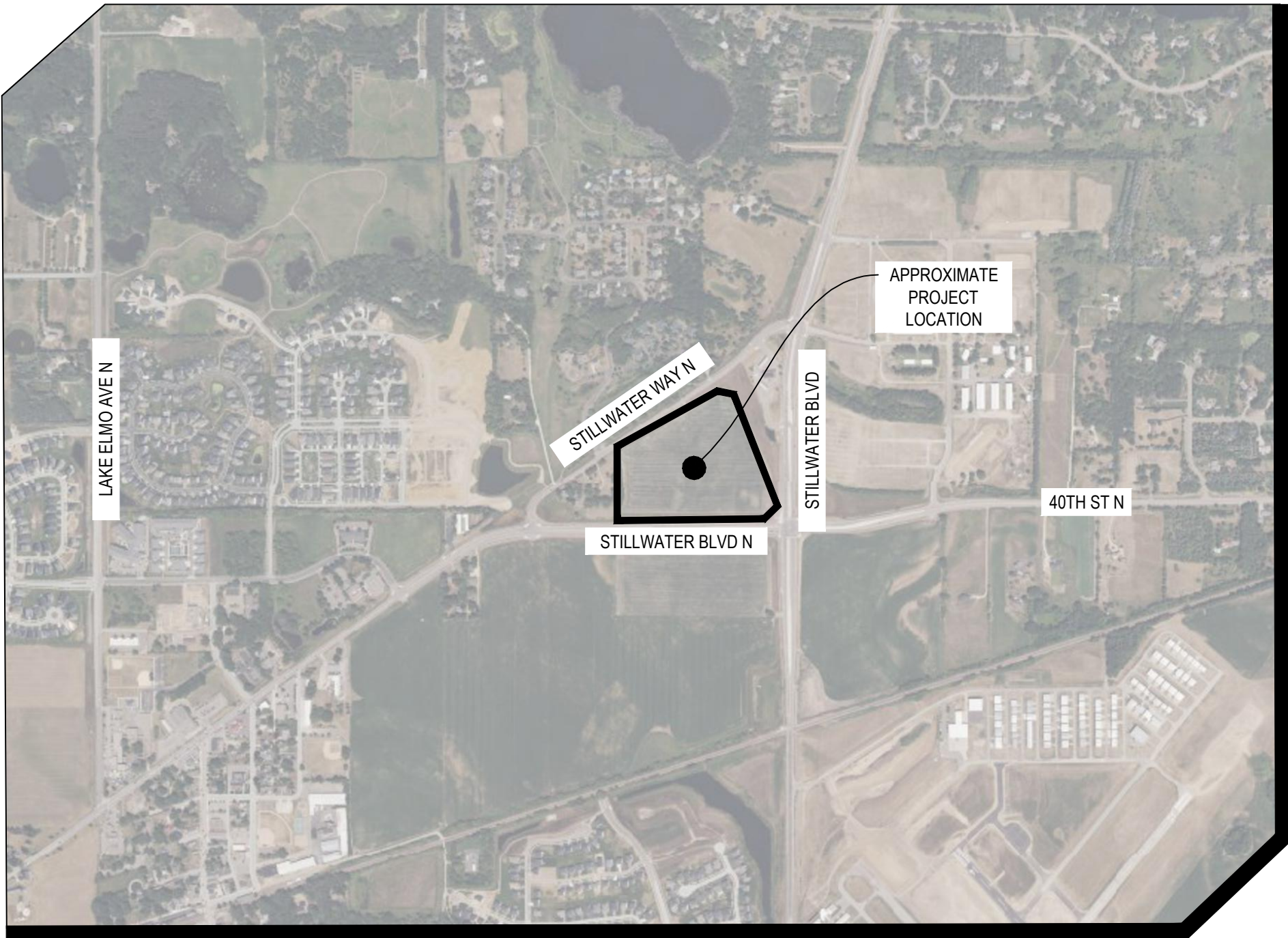
DEVELOPER

NORTH SHORE
DEVELOPMENT PARTNERS
NORTH SHORE DEVELOPMENT PARTNERS
235 LAKE STREET EAST
SUITE 300
WAYZATA, MN 55391
(P) - 952-324-0535
(E) - MALEXANDER@NORTHSHOREDP.COM
CONTACT: MATT ALEXANDER

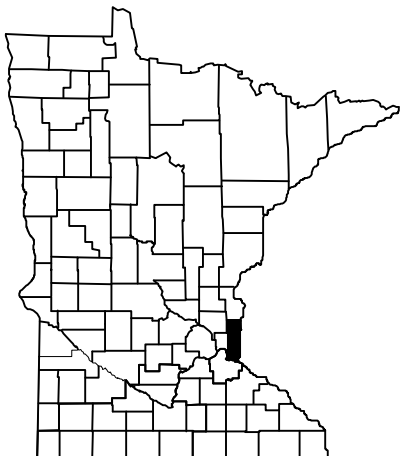
ENGINEER



STANTEC CONSULTING SERVICES INC.
1 CARLSON PKWY N
PLYMOUTH, MN 55447
(E) - JACK.AMMERMAN@STANTEC.COM
CONTACT: JACK AMMERMAN, P.E.



VICINITY MAP
NOT TO SCALE



PROJECT LOCATION
CITY: LAKE ELMO
COUNTY: WASHINGTON

THIS PLANSET CONTAINS 71 SHEETS

SHEET INDEX	
Sheet Number	Sheet Title
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G-003	LEGEND
G-005	TYPICAL SECTIONS
G-006	TYPICAL SECTIONS
G-007	MASTER PLAN
G-008	EXISTING COMP PLAN EXHIBIT
G-009	PROPOSED COMP PLAN EXHIBIT
G-010	COMMERCIAL LOT 1
G-011	COMMERCIAL LOT 2
G-012	COMMERCIAL LOT 3
G-013	COMMERCIAL LOT 4
C-001	EXISTING, REMOVALS, AND PRE-CONSTRUCTION EROSION CONTROL
C-002	EXISTING, REMOVALS, AND PRE-CONSTRUCTION EROSION CONTROL
C-003	EXISTING, REMOVALS, AND PRE-CONSTRUCTION EROSION CONTROL
C-101	GRADING, DRAINAGE, AND POST CONSTRUCTION EROSION CONTROL
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C-103	GRADING, DRAINAGE, AND POST CONSTRUCTION EROSION CONTROL
C-104	SWPPP
C-201	SANITARY AND WATER PLAN AND PROFILE
C-202	SANITARY AND WATER PLAN AND PROFILE
C-203	SANITARY AND WATER PLAN AND PROFILE
C-204	SANITARY AND WATER PLAN AND PROFILE
C-205	SANITARY AND WATER PLAN AND PROFILE
C-206	SANITARY AND WATER PLAN AND PROFILE
C-207	SANITARY AND WATER PLAN AND PROFILE
C-208	SANITARY AND WATER PLAN AND PROFILE
C-209	SANITARY AND WATER PLAN AND PROFILE
C-210	SANITARY AND WATER PLAN AND PROFILE
C-211	SANITARY AND WATER PLAN AND PROFILE
C-212	SANITARY AND WATER PLAN AND PROFILE
C-213	SANITARY AND WATER PLAN AND PROFILE
C-214	SANITARY AND WATER PLAN AND PROFILE
C-215	SANITARY AND WATER PLAN AND PROFILE
C-301	OVERALL STORM SEWER PLAN
C-302	STREET AND STORM SEWER PLAN AND PROFILE
C-303	STREET AND STORM SEWER PLAN AND PROFILE
C-304	STREET AND STORM SEWER PLAN AND PROFILE
C-305	STREET AND STORM SEWER PLAN AND PROFILE

C-306	STREET AND STORM SEWER PLAN AND PROFILE
C-307	STREET AND STORM SEWER PLAN AND PROFILE
C-308	STREET AND STORM SEWER PLAN AND PROFILE
C-309	STREET AND STORM SEWER PLAN AND PROFILE
C-310	STREET AND STORM SEWER PLAN AND PROFILE
C-311	STREET AND STORM SEWER PLAN AND PROFILE
C-312	STREET AND STORM SEWER PLAN AND PROFILE
C-313	STREET AND STORM SEWER PLAN AND PROFILE
C-314	STREET AND STORM SEWER PLAN AND PROFILE
C-315	STREET AND STORM SEWER PLAN AND PROFILE
C-316	STREET AND STORM SEWER PLAN AND PROFILE
C-317	STREET AND STORM SEWER PLAN AND PROFILE
C-318	STREET AND STORM SEWER PLAN AND PROFILE
C-401	UPPER 40TH STREET N. AND LINDEN AVENUE N. CROSS SECTIONS
C-402	LINDEN AVENUE N. AND STILLWATER WAY N. CROSS SECTIONS
C-403	LINORA AVENUE NORTH CROSS SECTIONS
C-501	STREET SIGNAGE, LIGHTING, AND PAVEMENT MARKING PLAN
C-502	STREET SIGNAGE, LIGHTING, AND PAVEMENT MARKING PLAN
C-601	POND AND IRRIGATION REUSE PLAN
C-602	IRRIGATION REUSE PLAN
C-801	DETAILS
C-802	DETAILS
C-803	DETAILS
C-804	DETAILS
C-805	DETAILS
C-806	IRRIGATION REUSE DETAILS
C-807	DETAILS
L-101	TREE PRESERVATION PLAN
L-201	LANDSCAPE PLAN
L-202	LANDSCAPE PLAN
L-203	LANDSCAPE PLAN
L-801	LANDSCAPE DETAILS
L-802	LANDSCAPE DETAILS

WARNING:

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CALL BEFORE YOU DIG

GOPHER STATE ONE CALL

TWIN CITY AREA: 651-454-0002
TOLL FREE 1-800-252-1166



1 CARLSON PKWY N
PLYMOUTH, MN 55447
PHONE: 763-479-4200
WWW.STANTEC.COM

CLIENT:



BRIDGEWATER VILLAGE

LAKE ELMO MINNESOTA, WASHINGTON COUNTY

PROJECT TITLE:

ISSUE NO.:

0

1

PROJECT NO.: 193806140

DWN BY:

SAG

CHKD BY:

MJS

APPD BY:

JRA

ISSUE DATE: 09/22/2023

ISSUE NO.: 1

SHEET TITLE:

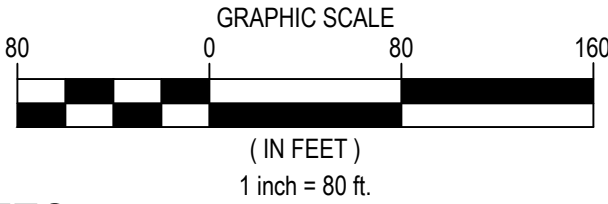
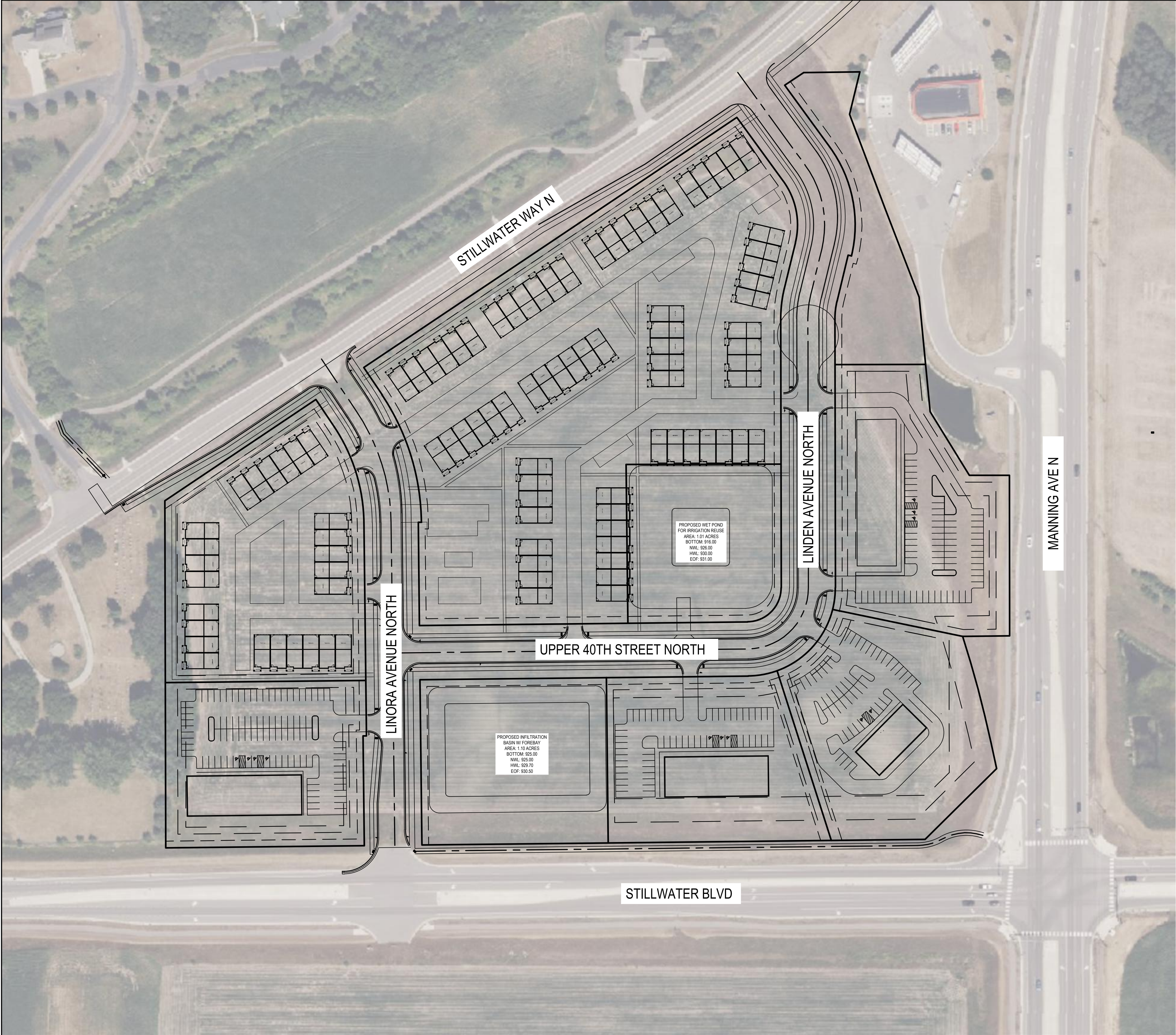
COVER SHEET

SHEET NO.:

G-001

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NOTES

- SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.
- LOT LAYOUTS SHOWN ARE FOR REFERENCE AND MASTER PLAN ONLY. SCOPE OF CURRENT SET ONLY TO INCLUDE ADDITION OF PUBLIC ROADWAYS, STORM WATER BMPs, AND SITE GRADING FOR COMMERCIAL LOTS. INDIVIDUAL BUILDINGS AND SITE IMPROVEMENTS WITHIN COMMERCIAL LOTS AND VMDR AREA TO BE DESIGNED AT A LATER PHASE OF THE PROJECT.



1 CARLSON PKWY N
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CLIENT:



BRIDGEWATER VILLAGE

LAKE ELMO MINNESOTA, WASHINGTON COUNTY

PROJECT TITLE:

ISSUE NO.:

0

1

DATE:

08/18/2023

09/22/2023

DESCRIPTION:

30% SET FOR PRELIMINARY PRICING

60% DESIGN FOR CITY SUBMITTAL

CERTIFICATION:

PROJECT NO.:

193806140

DWN BY:

SAG

CHK'D BY:

MJS

APPD BY:

JRA

ISSUE DATE:

09/22/2023

ISSUE NO.:

1

SHEET TITLE:

MASTER PLAN

SHEET NO.:

G-007

WARNING:

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CALL BEFORE YOU DIG

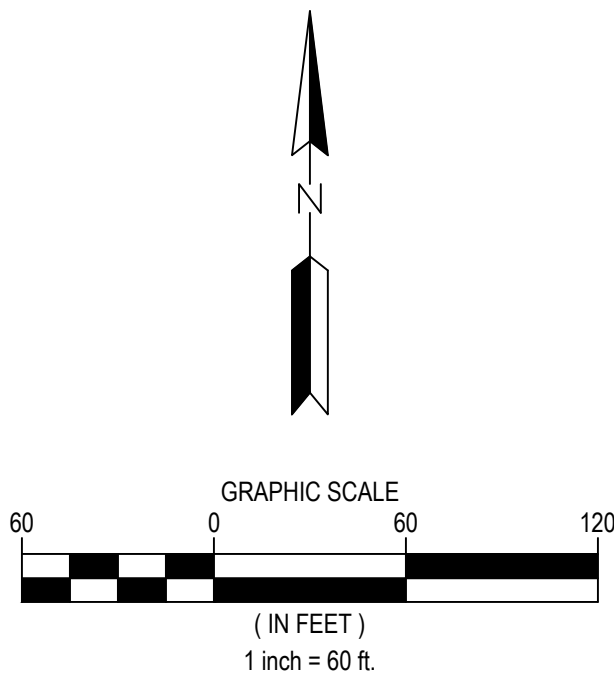
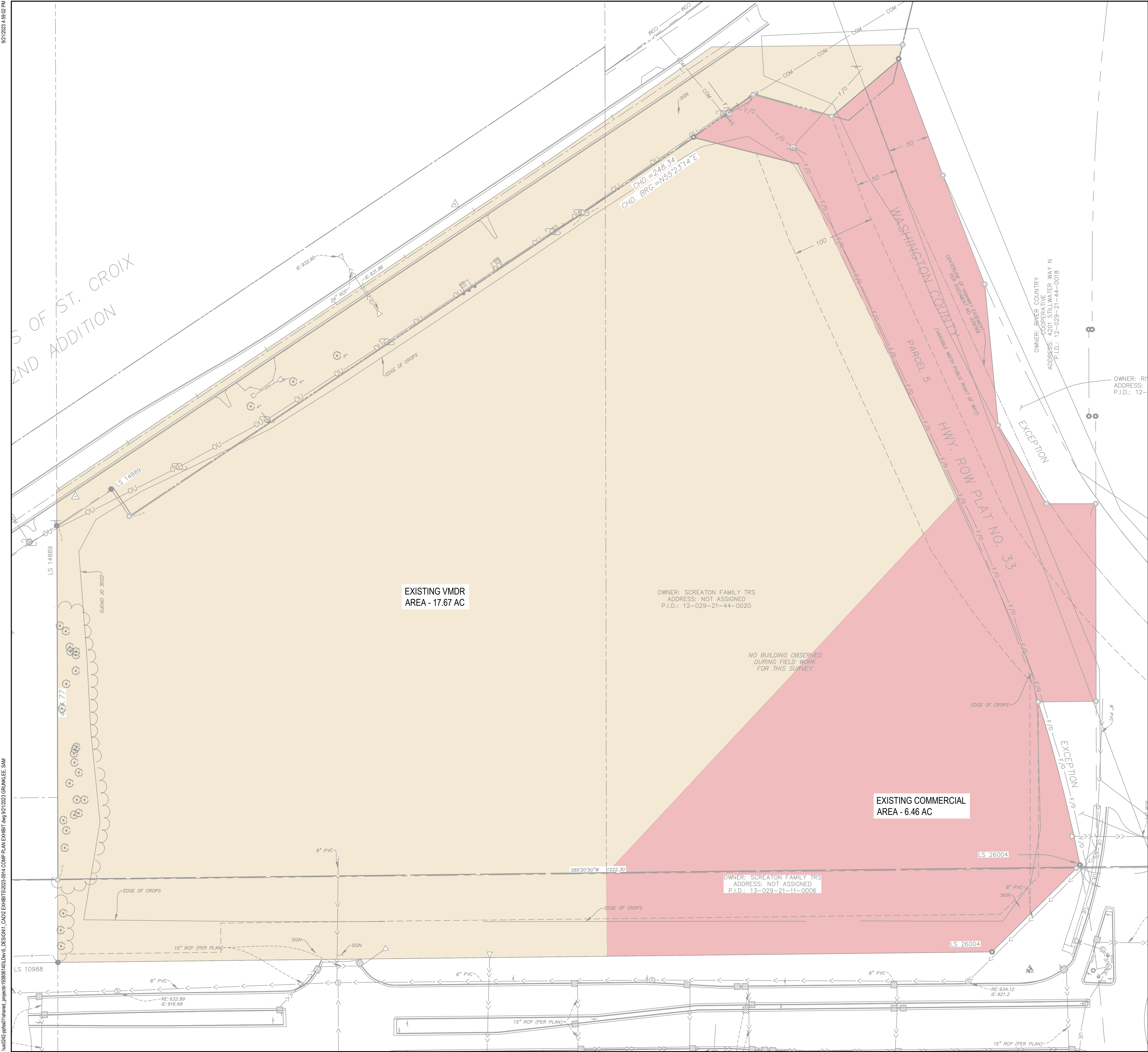
GOPHER STATE ONE CALL

TWIN CITY AREA: 651-454-0002
TOLL FREE 1-800-252-1166

NOT FOR CONSTRUCTION

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LEGEND

[Yellow Box]	EXISTING VMDR AREA PER 2040 COMP PLAN
[Red Box]	EXISTING COMMERCIAL AREA PER 2040 COMP PLAN

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1 CARLSON PKWY N
PLYMOUTH, MN 55447
PHONE: 763-479-4200
WWW.STANTEC.COM

CLIENT:

BRIDGEWATER BANK

PROJECT TITLE:

BRIDGEWATER VILLAGE

LAKE ELMO MINNESOTA, WASHINGTON COUNTY

DATE:	DESCRIPTION:	ISSUE NO.:
08/18/2023	30% SET FOR PRELIMINARY PRICING	0
09/22/2023	60% DESIGN FOR CITY SUBMITTAL	1

CERTIFICATION:

NOT FOR CONSTRUCTION

PROJECT NO.: 193806140

DWN BY: SAG	CHKD BY: MJS	APPD BY: JRA
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ISSUE DATE: 09/22/2023

ISSUE NO.: 1

SHEET TITLE:

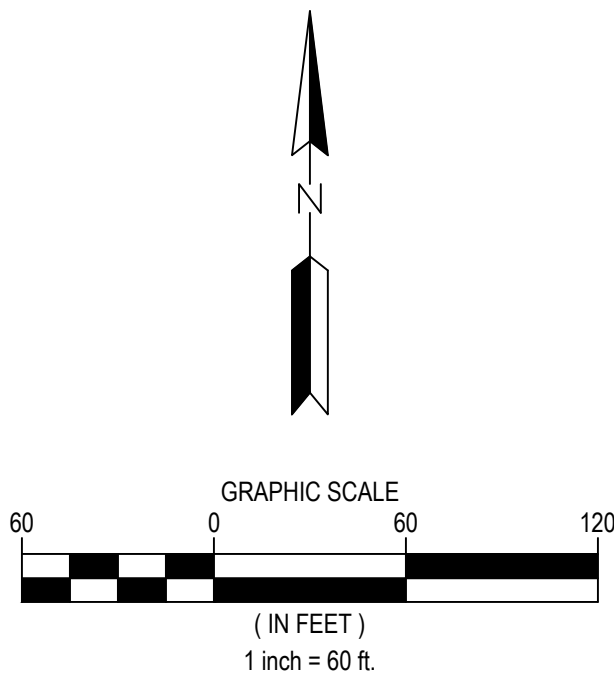
EXISTING COMP PLAN
EXHIBIT

SHEET NO.:

G-008

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LEGEND

- PROPOSED VMDR AREA
- PROPOSED COMMERCIAL AREA

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CLIENT:

BRIDGEWATER BANK

PROJECT TITLE:

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LAKE ELMO MINNESOTA, WASHINGTON COUNTY

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NOT FOR CONSTRUCTION

PROJECT NO.: 193806140

DWN BY: SAG	CHKD BY: MUS	APPD BY: JRA
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ISSUE DATE: 09/22/2023

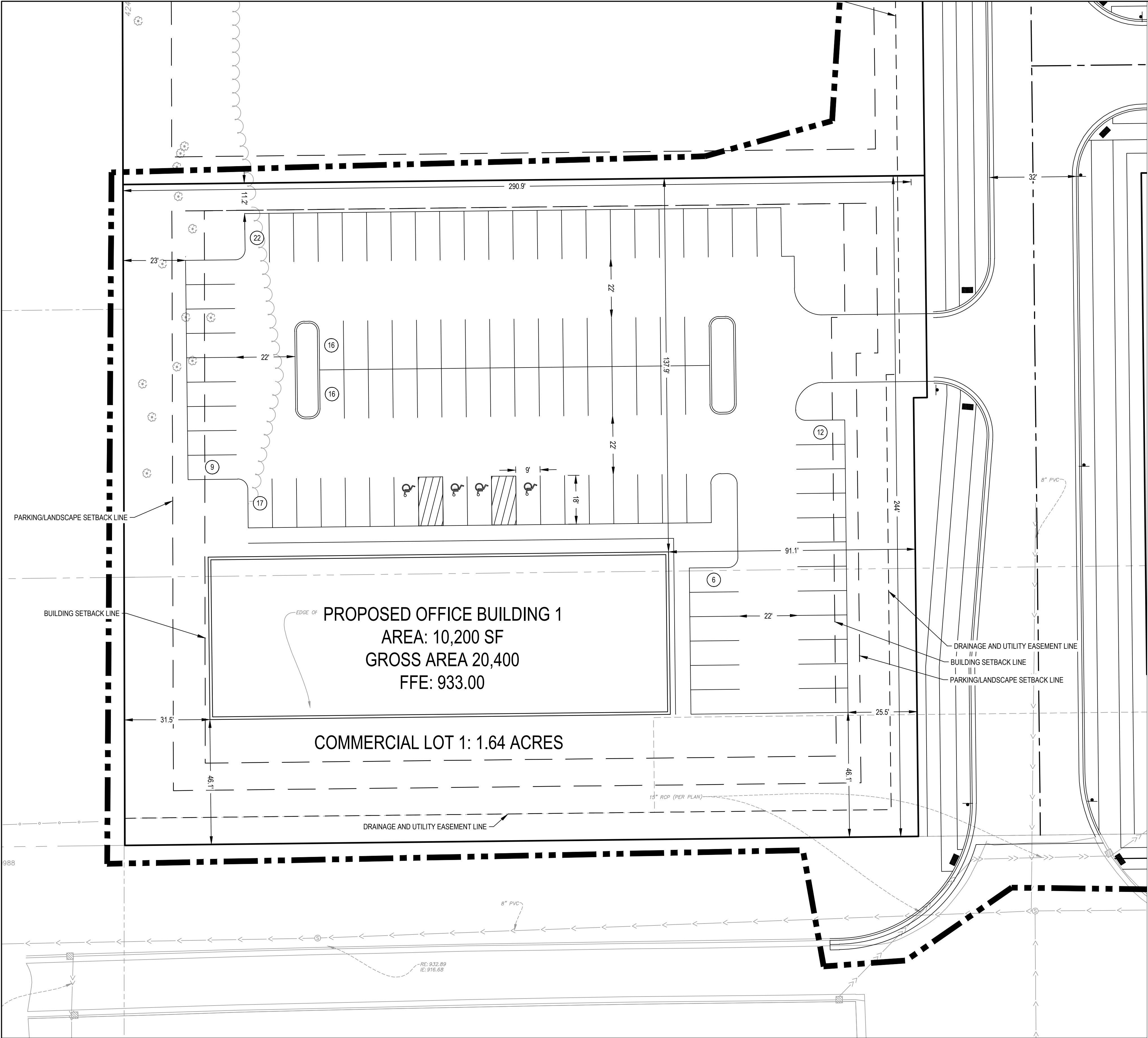
ISSUE NO.: 1

SHEET TITLE:

PROPOSED COMP PLAN EXHIBIT

SHEET NO.:

G-009



N

GRAPHIC SCALE
20 0 20 40
(IN FEET)
1 inch = 20 ft.

LEGEND

PROPERTY BOUNDARY

LOT LINE

EASEMENT LINE

SETBACK LINE

CURB AND GUTTER

#

PROPOSED PARKING COUNT

SITE ANALYSIS TABLE - COMMERCIAL LOT 1			
PROPOSED ZONING	COMMERCIAL		
PROPOSED USE	OFFICE		
LOT AREA SUMMARY			
	REQUIRED	PROPOSED	
MINIMUM LOT AREA	0.46 (AC)	1.64	
MINIMUM LOT WIDTH	100	244	
MINIMUM LOT DEPTH	-	290.9	
LOT NUMBER	TOTAL AREA (AC.)	IMPERVIOUS AREA (AC.)	PERVIOUS AREA (AC.)
EXISTING PARCEL SUMMARY	1.64	0	1.64
PROPOSED USE	1.64	1.23	0.41
BUILDING SUMMARY			
LOT NUMBER	BUILDING FOOTPRINT (SF)	GROSS FLOOR AREA (SF)	# OF STORIES
PROPOSED USE	10,200	20,400	2
PARKING SUMMARY			
TOTAL PARKING	REQUIRED	PROPOSED	
PROPOSED USE	62	98	
ACCESSIBLE PARKING	REQUIRED	PROPOSED	
PROPOSED USE	3	4	
GREENSPACE SUMMARY			
	CODE REQUIREMENT	PROPOSED	
IMPERVIOUS AREA (INCL. BLDG.)	75%	25%	
PERVIOUS AREA		75%	
BUILDING AREA		14%	
BUILDING SETBACK SUMMARY			
	REQUIRED	PROPOSED	
NORTH SIDE	10'	137.9'	
EAST SIDE	30'	91.1'	
SOUTH SIDE	30'	46.1'	
WEST SIDE	30'	31.5'	
PARKING SETBACK SUMMARY			
	REQUIRED	PROPOSED	
NORTH SIDE	10'	11.2'	
EAST SIDE	15'	25.5'	
SOUTH SIDE	15'	46.1'	
WEST SIDE	10'	23'	

NOTES: OFFICE - 3 SPACES PER 1000 SF (GROSS AREA)
LANDSCAPE PARKING ISLANDS - 5% MINIMUM

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TOLL FREE 1-800-252-1166

Stantec

1 CARLSON PKWY N
PLYMOUTH, MN 55447
PHONE: 763-479-4200
WWW.STANTEC.COM

CLIENT:

BRIDGEWATER BANK

PROJECT TITLE:

BRIDGEWATER VILLAGE

LAKE ELMO MINNESOTA, WASHINGTON COUNTY

ISSUE NO.:
0
1

DESCRIPTION:
30% SET FOR PRELIMINARY PRICING
60% DESIGN FOR CITY SUBMITTAL

DATE:
08/18/2023
09/22/2023

CERTIFICATION:

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PROJECT NO.: 193806140

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ISSUE DATE: 09/22/2023

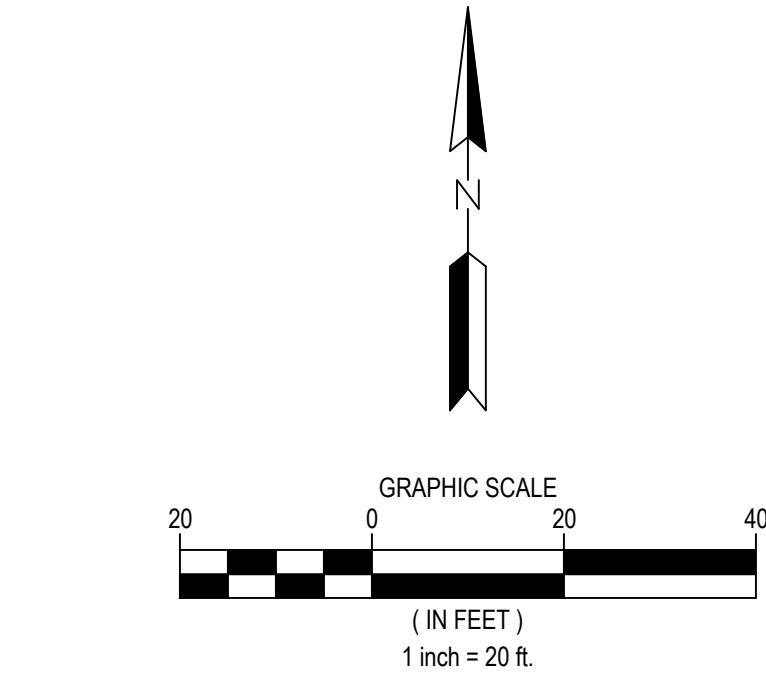
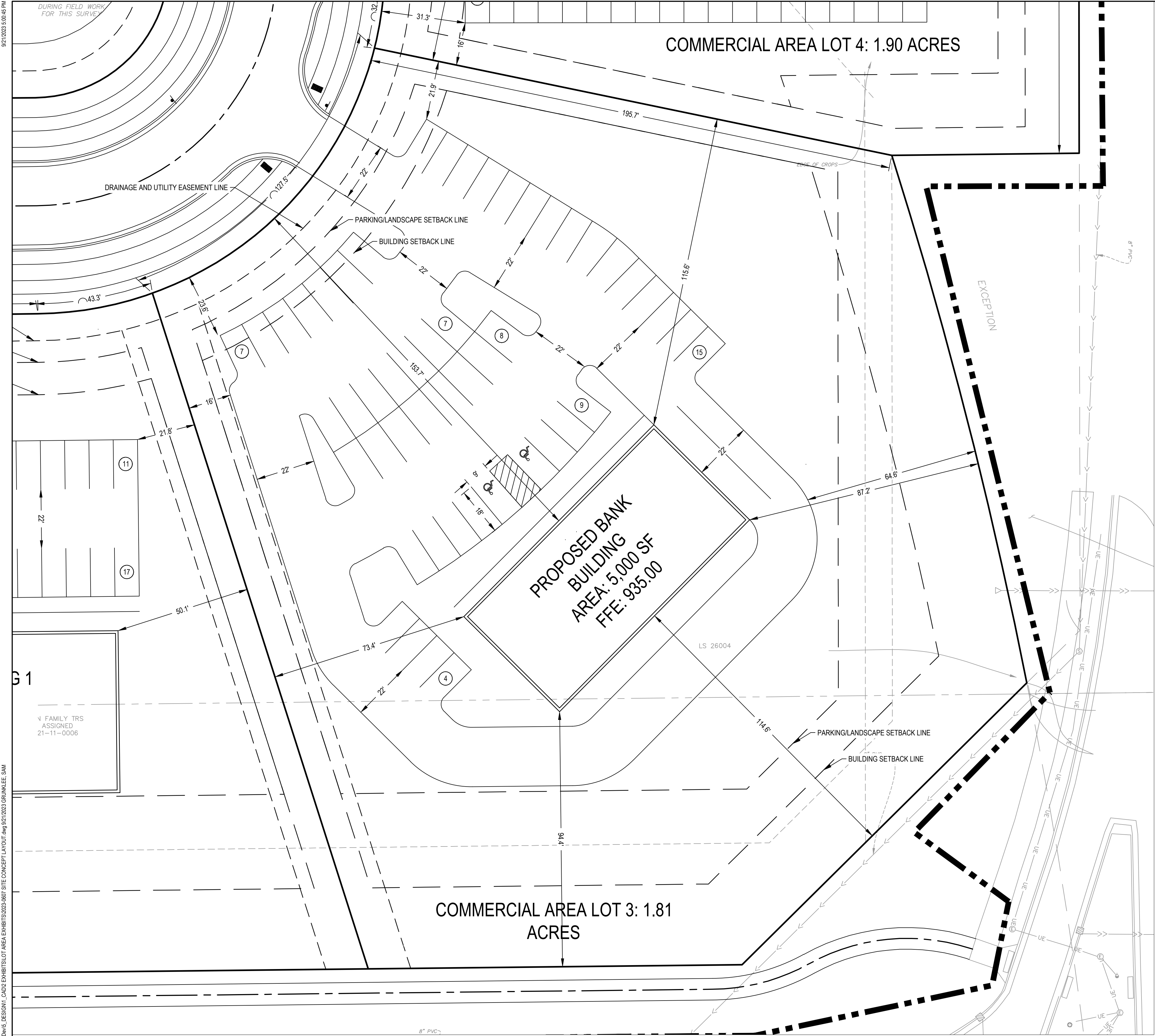
ISSUE NO.: 1

SHEET TITLE:
COMMERCIAL LOT 1

SHEET NO.:
G-010

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\\u0242:prf001\shared_projects\193806140\Draws_Design\CA02 EXHIBIT\LOT AREA EXHIBIT\2023\4807 SITE CONCEPT LAYOUT.dwg 9/2/2023 GRUNGLER, SMI



LEGEND	
	PROPERTY BOUNDARY
	LOT LINE
	EASEMENT LINE
	SETBACK LINE
	CURB AND GUTTER
	PROPOSED PARKING COUNT

SITE ANALYSIS TABLE - COMMERCIAL LOT 3			
PROPOSED ZONING	COMMERCIAL		
PROPOSED USE	FINANCIAL INSTITUTION		
LOT AREA SUMMARY			
	REQUIRED	PROPOSED	
MINIMUM LOT AREA	.46 (AC)	1.82 (AC)	
MINIMUM LOT WIDTH	100'	127.5'	
MINIMUM LOT DEPTH	-	195.7	
LOT NUMBER	TOTAL AREA (AC.)	IMPERVIOUS AREA (AC.)	PERVIOUS AREA (AC.)
EXISTING PARCEL SUMMARY	1.82	0	1.82
PROPOSED USE	1.82	1.36	0.46
BUILDING SUMMARY			
LOT NUMBER	BUILDING FOOTPRINT (SF)	GROSS FLOOR AREA (SF)	# OF STORIES
PROPOSED USE	5,000	5,000	1
PARKING SUMMARY			
TOTAL PARKING	REQUIRED	PROPOSED	
PROPOSED USE	50	50	
ACCESSIBLE PARKING	REQUIRED	PROPOSED	
PROPOSED USE	2	2	
GREENSPACE SUMMARY			
	CODE REQUIREMENT	PROPOSED	
IMPERVIOUS AREA (INCL. BLDG.)	75%	75%	
PERVIOUS AREA		25%	
BUILDING AREA		7%	
BUILDING SETBACK SUMMARY			
	REQUIRED	PROPOSED	
NORTH SIDE	30'	153.7'	
EAST SIDE	10'	87.2'	
SOUTH SIDE	30'	94.4'	
WEST SIDE	10'	73.4'	
PARKING SET BACK SUMMARY			
	REQUIRED	PROPOSED	
NORTH SIDE	15'	23.6'	
EAST SIDE	10'	21.9'	
SOUTH SIDE	10'	64.6'	
WEST SIDE	10'	16'	
NOTES: FINANCIAL INSTITUTION - 1 SPACE PER 100 SF OF USEABLE FLOOR AREA			
LANDSCAPE PARKING ISLANDS - 5% MINIMUM			

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1 CARLSON PKWY N
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PHONE: 763-479-4200
WWW.STANTEC.COM

CLIENT:

BRIDGEWATER BANK

PROJECT TITLE:

BRIDGEWATER VILLAGE

LAKE ELMO MINNESOTA, WASHINGTON COUNTY

ISSUE NO.:	0	1							
DESCRIPTION:	30% SET FOR PRELIMINARY PRICING	60% DESIGN FOR CITY SUBMITAL							
DATE:	08/18/2023	09/22/2023							

CERTIFICATION:

NOT FOR CONSTRUCTION

PROJECT NO.:

193806140

DWN BY:

CHKD BY:

APPD BY:

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ISSUE DATE:

09/22/2023

ISSUE NO.:

1

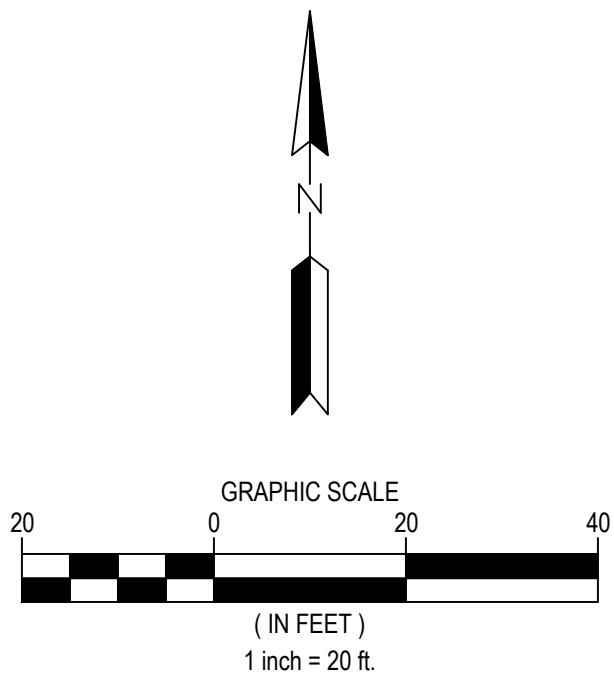
SHEET TITLE:

COMMERCIAL LOT 3

SHEET NO.:

G-012

OWNER: RIVER CO
ADDRESS: NOT AS
P.I.D.: 12-029-21



PROPERTY BOUNDARY

LOT LINE

EASEMENT LINE

SETBACK LINE

CURB AND GUTTER

PROPOSED PARKING COUNT

SITE ANALYSIS TABLE - COMMERCIAL LOT 4			
PROPOSED ZONING		COMMERCIAL	
PROPOSED USE		RETAIL	
LOT AREA SUMMARY			
	REQUIRED	PROPOSED	
MINIMUM LOT AREA	46 (AC)	1.90 (AC)	
MINIMUM LOT WIDTH	100'	236.9'	
MINIMUM LOT DEPTH	-	134.1'	
LOT NUMBER	TOTAL AREA (AC.)	IMPERVIOUS AREA (AC.)	PERVIOUS AREA (AC.)
EXISTING PARCEL SUMMARY	1.90	0	1.90
PROPOSED USE	1.90	1.42	0.48
BUILDING SUMMARY			
LOT NUMBER	BUILDING FOOTPRINT (SF)	GROSS FLOOR AREA (SF)	# OF STORIES
PROPOSED USE	12,500	12,500	1
PARKING SUMMARY			
TOTAL PARKING	REQUIRED	PROPOSED	
PROPOSED USE	50	69	
ACCESSIBLE PARKING	REQUIRED	PROPOSED	
PROPOSED USE	3	3	
GREENSPACE SUMMARY			
	CODE REQUIREMENT	PROPOSED	
IMPERVIOUS AREA (INCL. BLDG.)	75%	75%	
PERVIOUS AREA		25%	
BUILDING AREA		13%	
BUILDING SETBACK SUMMARY			
	REQUIRED	PROPOSED	
NORTH SIDE	10'	80.9'	
EAST SIDE	30'	32'	
SOUTH SIDE	10'	70.1'	
WEST SIDE	30'	51.4'	
PARKING SETBACK SUMMARY			
	REQUIRED	PROPOSED	
NORTH SIDE	10'	41.7'	
EAST SIDE	10'	38.3'	
SOUTH SIDE	10'	16'	
WEST SIDE	15'	31.3'	

NOTES: GENERAL RETAIL - 1 SPACE PER 250 SF (GROSS AREA)
LANDSCAPE PARKING ISLANDS - 5% MINIMUM

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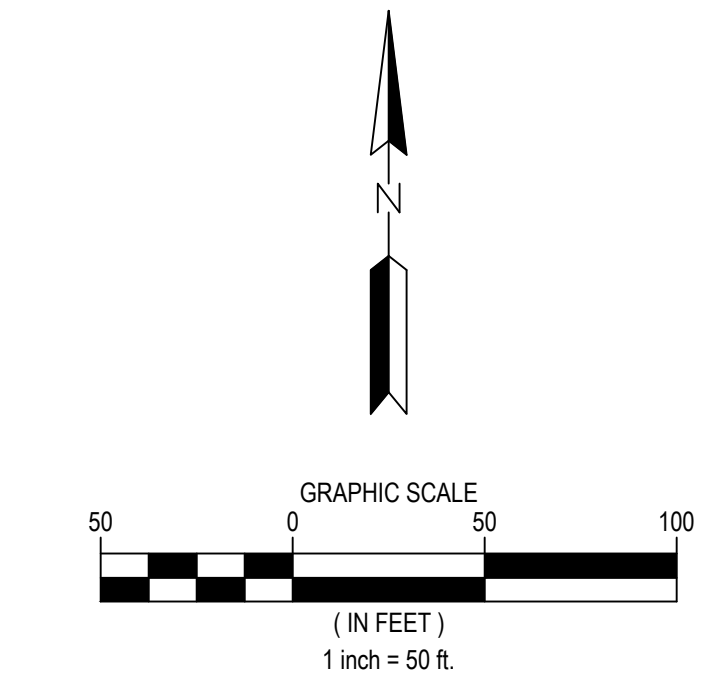
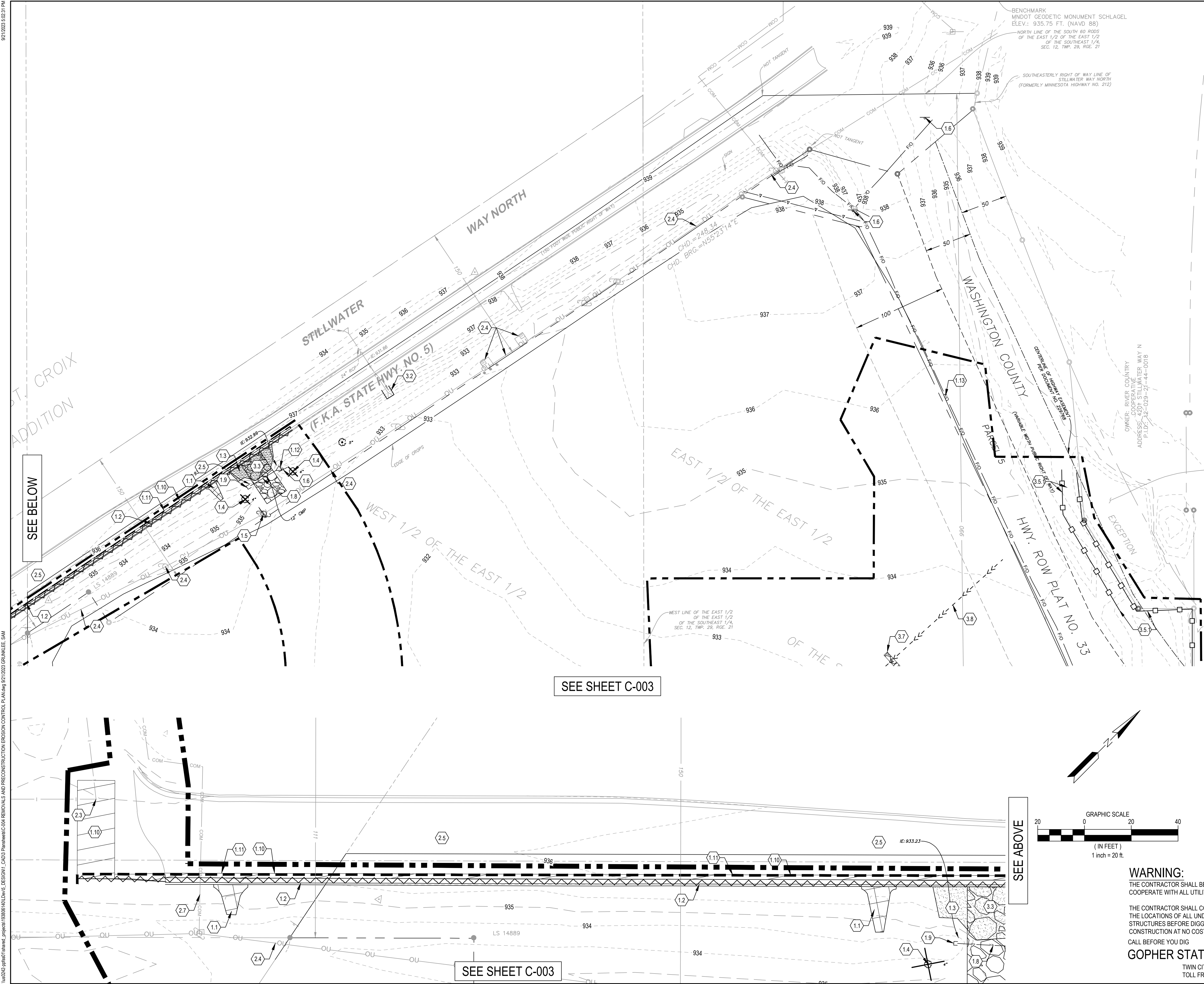
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TWIN CITY AREA: 651-454-0002
TOLL FREE 1-800-252-1166

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\\us242-prd01\shared_projects\193806140\Draws_DESIGN_LOAD\Parishades\C-004 REMOVALS AND PRECONSTRUCTION EROSION CONTROL PLANS.dwg 9/21/2023 GRUNKLEE, SAM



- ### NOTES
- SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.
 - CONSTRUCTION SITE SHALL HAVE STABILIZED EXIT AT ALL TIMES THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR IS ULTIMATELY RESPONSIBLE TO PROTECT DOWNSTREAM WATERS FROM CONSTRUCTION RUNOFF.
 - UNTRENCHED SILT FENCE OR ORANGE SNOW FENCE MAY BE USED FOR TREE PROTECTION.
 - CONSTRUCTION LIMITS ARE SHOWN OFFSET FROM PROPERTY LINE FOR CLARITY, WHERE APPLICABLE.
 - CLEAR AND GRUB AS NEEDED WITHIN LIMITS OF DISTURBANCE.
 - EXISTING UTILITY SERVICE LINES MAY NOT BE SHOWN IN THEIR ENTIRETY ON PLANS. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITY SERVICE LINES WITHIN THE LIMITS OF DISTURBANCE AND REMOVE EXISTING INFRASTRUCTURE AS NECESSARY TO INSTALL PROPOSED IMPROVEMENTS.
 - CONTRACTOR SHALL EVALUATE LIMITS OF REMOVAL FOR PROPOSED UTILITY INSTALLATION. IN THE EVENT THAT CURB AND PAVEMENT ARE IMPACTED IN ADDITION TO THE SIDEWALK CONTRACTOR SHALL REPLACE EXISTING CURB AND PAVEMENT TO MATCH EXISTING CONDITIONS PER CITY STANDARDS AND REQUIREMENTS AT NO ADDITIONAL COST TO THE OWNER.
 - ELECTRICAL SERVICE LINES MAY NOT BE SHOWN WITHIN BOULEVARD ROW ON SURVEY. CONTRACTOR TO COORDINATE WITH UTILITY SERVICE PROVIDER AND ENSURE THAT DRY UTILITY SERVICE LINES ARE PROTECTED THROUGHOUT CONSTRUCTION ALONG THE PROPOSED SANITARY ALIGNMENT

- ### KEYNOTES
- | # | |
|--------|---|
| 1. | REMOVAL ITEMS |
| 1.1. | REMOVE CONCRETE PAVEMENT |
| 1.2. | REMOVE CURB AND GUTTER |
| 1.3. | REMOVE GRAVEL SURFACING |
| 1.4. | REMOVE TREE |
| 1.5. | RELOCATE OVERHEAD UTILITY LINE, POLES, ANCHOR CABLES - COORDINATE WITH UTILITY SERVICE PROVIDER |
| 1.6. | REMOVE SIGN AND POST |
| 1.7. | REMOVE SANITARY SEWER |
| 1.8. | REMOVE STORM SEWER |
| 1.9. | REMOVE CULVERT |
| 1.10. | REMOVE BITUMINOUS PAVEMENT |
| 1.11. | SAWCUT PAVEMENT |
| 1.12. | REMOVE FES |
| 1.13. | CONTRACTOR TO REMOVE EXISTING ZAYO FIBER OPTIC LINE - LINE PREVIOUSLY ABANDONED |
| 1.14. | REMOVE CATCH BASIN MANHOLE |
| 2. | PROTECT ITEM |
| 2.1. | PROTECT EXISTING STORM SEWER AND STRUCTURES |
| 2.2. | PROTECT EXISTING SANITARY SEWER AND STRUCTURES |
| 2.3. | PROTECT EXISTING WATERMAIN AND APPURTENANCES |
| 2.4. | PROTECT OVERHEAD UTILITY LINE AND ALL APPURTENANCES |
| 2.5. | PROTECT EXISTING BITUMINOUS PAVEMENT |
| 2.6. | PROTECT EXISTING CURB AND GUTTER |
| 2.7. | PROTECT EXISTING UNDERGROUND COMMUNICATIONS LINE |
| 3. | EROSION CONTROL ITEM |
| 3.1. | INLET PROTECTION - SEE DETAIL 4/C-804 AND 604/C-804 |
| 3.2. | CULVERT END PROTECTION - SEE DETAIL 3/C-804 |
| 3.3. | ROCK CONSTRUCTION ENTRANCE - SEE DETAIL 605/C-804 |
| 3.4. | TREE PROTECTION (TYP.) - SEE DETAIL LP1.0/C-803 |
| 3.5. | SILT FENCE - SEE DETAIL 601/C-804 |
| 3.5.1. | DOUBLE SILT FENCE |
| 3.6. | TEMPORARY SEDIMENT TRAP - SEE DETAIL 5/C-804 |
| 3.7. | ROCK CHECK DAM - SEE DETAIL 2/C-804 |
| 3.8. | TEMPORARY DIVERSION DITCH |

WARNING:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

CALL BEFORE YOU DIG
GOPHER STATE ONE CALL
TWIN CITY AREA: 651-454-0002
TOLL FREE 1-800-252-1166

1 CARLSON PKWY N
PLYMOUTH, MN 55447
PHONE: 763-479-4200
WWW.STANTEC.COM

CLIENT:

BRIDGEWATER BANK

PROJECT TITLE:
BRIDGEWATER VILLAGE

LAKE ELMO MINNESOTA, WASHINGTON COUNTY

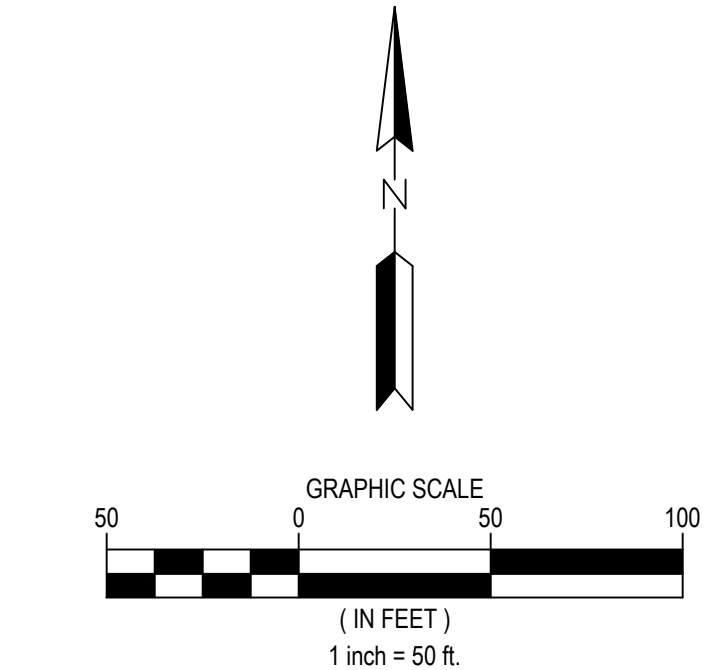
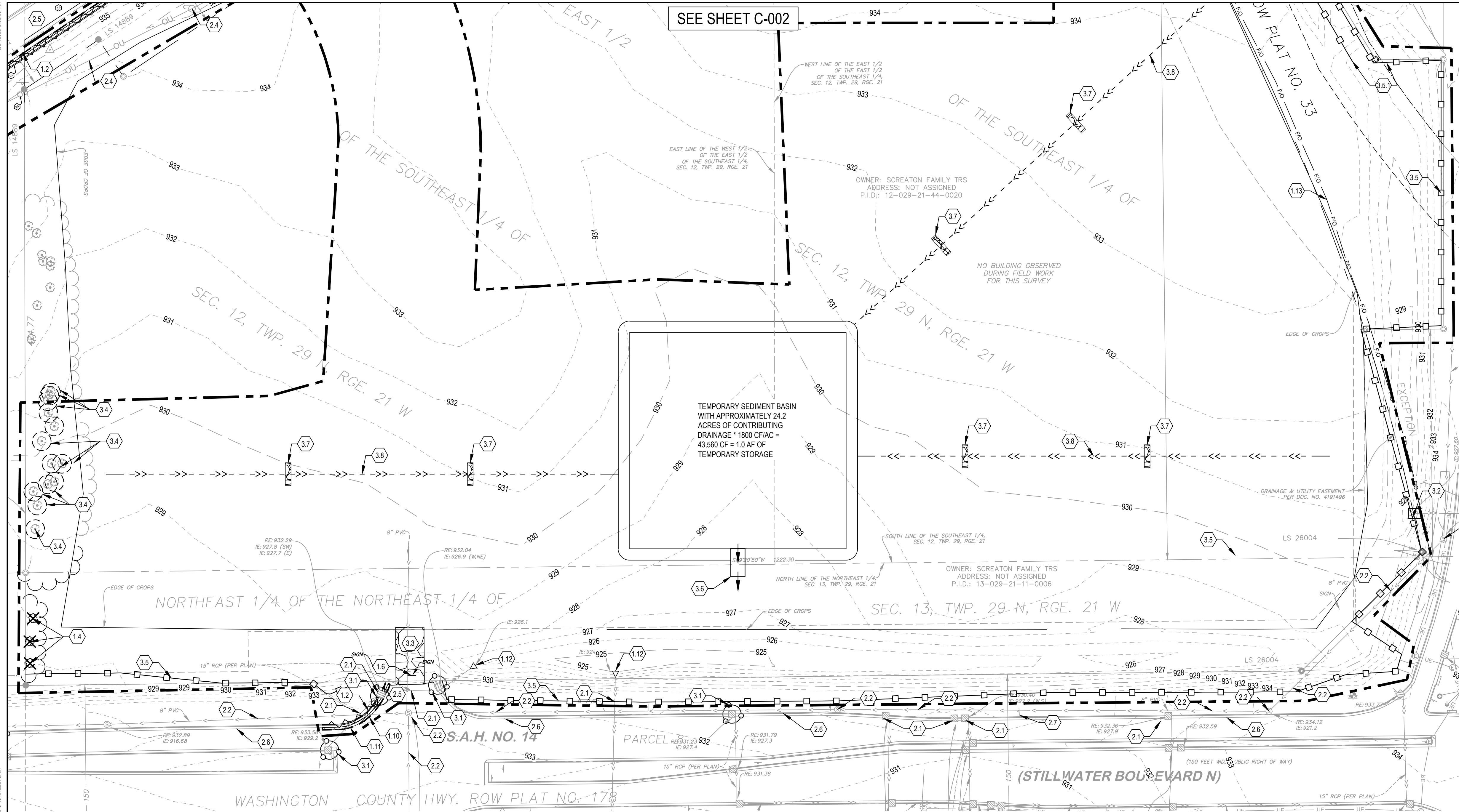
DATE:	DESCRIPTION:	ISSUE NO.:	PROJECT TITLE:
08/18/2023	30% SET FOR PRELIMINARY PRICING	0	BRIDGEWATER VILLAGE
09/22/2023	60% DESIGN FOR CITY SUBMITAL	1	

CERTIFICATION:

PROJECT NO.: 193806140
DWN BY: SAG
CHKD BY: MJS
APPD BY: JRA
ISSUE DATE: 09/22/2023
ISSUE NO.: 1
SHEET TITLE:
EXISTING, REMOVALS, AND
PRE-CONSTRUCTION
EROSION CONTROL
SHEET NO.:
C-002

9/21/2023 3:02:35 PM

\\us02c-pd6901\shared_projects\193806-140\Draws\DESIGN\CA03\Parishese\CA04-REMOVALS AND PRECONSTRUCTION EROSION CONTROL PLANS.dwg 9/21/2023 GRUNKLEE, SAM



NOTES

- SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.
- CONSTRUCTION SITE SHALL HAVE STABILIZED EXIT AT ALL TIMES THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR IS ULTIMATELY RESPONSIBLE TO PROTECT DOWNSTREAM WATERS FROM CONSTRUCTION RUNOFF.
- UNTRENCHED SILT FENCE OR ORANGE SNOW FENCE MAY BE USED FOR TREE PROTECTION.
- CONSTRUCTION LIMITS ARE SHOWN OFFSET FROM PROPERTY LINE FOR CLARITY, WHERE APPLICABLE.
- CLEAR AND GRUB AS NEEDED WITHIN LIMITS OF DISTURBANCE.
- EXISTING UTILITY SERVICE LINES MAY NOT BE SHOWN IN THEIR ENTIRETY ON PLANS. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITY SERVICE LINES WITHIN THE LIMITS OF DISTURBANCE AND REMOVE EXISTING INFRASTRUCTURE AS NECESSARY TO INSTALL PROPOSED IMPROVEMENTS.
- CONTRACTOR SHALL EVALUATE LIMITS OF REMOVAL FOR PROPOSED UTILITY INSTALLATION. IN THE EVENT THAT CURB AND PAVEMENT ARE IMPACTED IN ADDITION TO THE SIDEWALK CONTRACTOR SHALL REPLACE EXISTING CURB AND PAVEMENT TO MATCH EXISTING CONDITIONS PER CITY STANDARDS AND REQUIREMENTS AT NO ADDITIONAL COST TO THE OWNER.
- ELECTRICAL SERVICE LINES MAY NOT BE SHOWN WITHIN BOULEVARD ROW ON SURVEY. CONTRACTOR TO COORDINATE WITH UTILITY SERVICE PROVIDER AND ENSURE THAT DRY UTILITY SERVICE LINES ARE PROTECTED THROUGHOUT CONSTRUCTION ALONG THE PROPOSED SANITARY ALIGNMENT

KEYNOTES

- REMOVAL ITEMS
 - 1.1. REMOVE CONCRETE PAVEMENT
 - 1.2. REMOVE CURB AND GUTTER
 - 1.3. REMOVE GRAVEL SURFACING
 - 1.4. REMOVE TREE
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- PROTECT ITEM
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 - 2.6. PROTECT EXISTING CURB AND GUTTER
 - 2.7. PROTECT EXISTING UNDERGROUND COMMUNICATIONS LINE
- EROSION CONTROL ITEM
 - 3.1. INLET PROTECTION - SEE DETAIL 4/C-804 AND 604/C-804
 - 3.2. CULVERT END PROTECTION - SEE DETAIL 3/C-804
 - 3.3. ROCK CONSTRUCTION ENTRANCE - SEE DETAIL 605/C-804
 - 3.4. TREE PROTECTION (TYP) - SEE DETAIL LP1.0/C-803
 - 3.5. SILT FENCE - SEE DETAIL 601/C-804
 - 3.5.1. DOUBLE SILT FENCE
 - 3.6. TEMPORARY SEDIMENT TRAP - SEE DETAIL 5/C-804
 - 3.7. ROCK CHECK DAM - SEE DETAIL 2/C-804
 - 3.8. TEMPORARY DIVERSION DITCH

WARNING:

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THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

CALL BEFORE YOU DIG

GOPHER STATE ONE CALL

TWIN CITY AREA: 651-454-0002
TOLL FREE 1-800-252-1166



1 CARLSON PKWY N
PLYMOUTH, MN 55447
PHONE: 763-479-4200
WWW.STANTEC.COM

CLIENT:



BRIDGEWATER VILLAGE

LAKE ELMO MINNESOTA, WASHINGTON COUNTY

PROJECT TITLE:

ISSUE NO.:

0

1

DESCRIPTION:

DATE:

08/18/2023

09/22/2023

30% SET FOR PRELIMINARY PRICING
60% DESIGN FOR CITY SUBMITTAL

CERTIFICATION:

NOT FOR CONSTRUCTION

PROJECT NO.:

193806140

DWN BY:

CHKD BY:

APPD BY:

SAG

MJS

JRA

ISSUE DATE: 09/22/2023

ISSUE NO.:

1

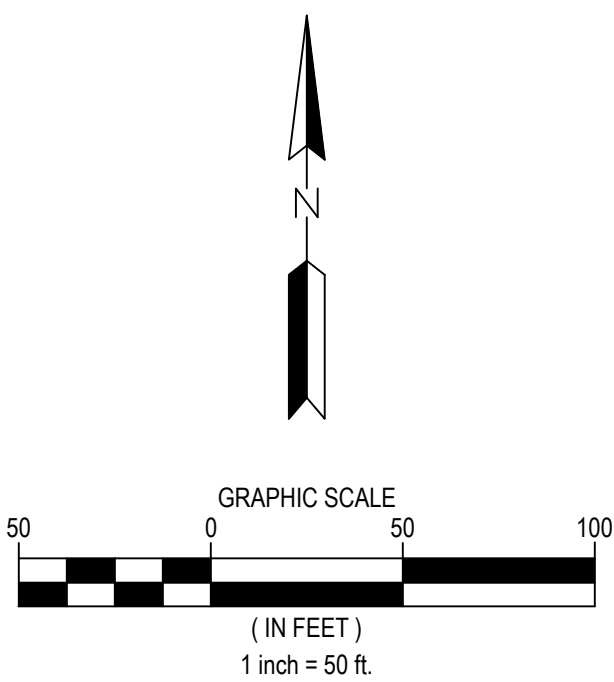
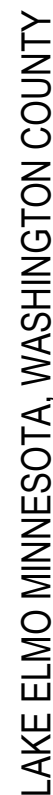
SHEET TITLE:

EXISTING, REMOVALS, AND
PRE-CONSTRUCTION
EROSION CONTROL

SHEET NO.:

C-003

TWIN CITY AREA: 651-454-0002
TOLL FREE 1-800-252-1166



1. SEE SHEET C-60-002 FOR ADDITIONAL PROJECT NOTES.
2. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED
3. DESIGN BY OTHERS ITEMS SHOWN FOR REFERENCE ONLY. EXACT LOCATION, DETAIL, AND DESIGN BY OTHERS. COORDINATE WITH PROJECT PARTNERS TO OBTAIN RELATED CONSTRUCTION DOCUMENTS/DRAWINGS
4. CONSTRUCTION SHALL HAVE STABILIZED EXIT AT ALL TIME THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR IS ULTIMATELY RESPONSIBLE TO PROJECT DOWNSTREAM WATERS FROM CONSTRUCTION RUNOFF.
5. UNTRENCHED SILT FENCE OR ORANGE SNOW FENCE MAY BE USED FOR TREE PROTECTION.
6. CONSTRUCTION LIMITS AND SILT FENCE SHOWN OFFSET TO THE PROPERTY LINE FOR CLARITY, WHERE APPLICABLE.
7. CLEAR AND GRUB AS NEEDED WITHIN LIMITS OF DISTURBANCE
8. EROSION CONTROL BLANKET SHALL BE INSTALLED ON ALL SLOPES 4:1 OR STEEPER, UPON COMPLETION OF GRADING.
9. EXISTING SLOPE ELEVATIONS AT MATCH POINTS ARE BASED ON POINT TO POINT SURVEY DATA. CONTRACTOR IS RESPONSIBLE FOR VERIFYING CONNECTION POINTS PRIOR TO INSTALLATION OF IMPROVEMENTS AND FOR MAKING NECESSARY ADJUSTMENTS IN THE FIELD FOR CONSTRUCTABILITY AND TO ENSURE SMOOTH TRANSITIONS TO FIELD CONDITIONS. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING OF ANY FIELD DISCREPANCIES. CONTRACTOR IS RESPONSIBLE FOR REWORK OF ANY UNCOMMUNICATED DISCREPANCIES.
10. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ENGINEER IN WRITING OF DISCREPANCIES OR CONFLICTS IN THE CONTRACT DOCUMENTS BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS ARE TO BE MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER. FAILURE TO NOTIFY OWNER AND ENGINEER OF AN IDENTIFIABLE CONFLICT BEFORE PROCEEDING WITH INSTALLATION RELIEVES OWNER AND ENGINEER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.

1. SITE PLAN
- 1.1. MATCH EXISTING
- 1.2. CONCRETE SIDEWALK - SEE DETAIL 510/C-803
- 1.3. BITUMINOUS PAVEMENT - SEE TYPICAL SECTION ON SHEETS G-005 TO G-006
- 1.4. B&B CURB AND GUTTER - SEE DETAIL 501A/C-802
- 1.5. DRAINAGE & UTILITY EASEMENT
- 1.6. PARKING/LANDSCAPE SETBACK
- 1.7. BUILDING SETBACK
- 1.8. PROPOSED BUILDING PAD
- 1.9. CURB CUT
- 1.10. PROPOSED WET POND
- 1.11. INFILTRATION BASIN
- 1.12. PROPOSED LOT LINES
- 1.13. BITUMINOUS TRAIL - SEE DETAIL 509/C-803
2. EROSION CONTROL
- 2.1. INLET PROTECTION - SEE DETAIL 604/C-804 OR 4/C-804
- 2.2. CULVERT END PROTECTION - SEE DETAIL 3/C-804
- 2.3. ROCK CONSTRUCTION ENTRANCE - SEE DETAIL 605/C-804
- 2.4. TREE PROTECTION - SEE NOTE 5, THIS SHEET. SEE DETAIL LP1/C-803
- 2.5. EROSION CONTROL BLANKET - SEE DETAIL 1/C-804
- 2.6. RIP RAP - SEE DETAIL 411/C-802
- 2.7. PERMANENT STABILIZATION - SEE LANDSCAPE PLAN
- 2.8. SILT FENCE - SEE DETAIL 601/C-804
- 2.8.1. DOUBLE SILT FENCE

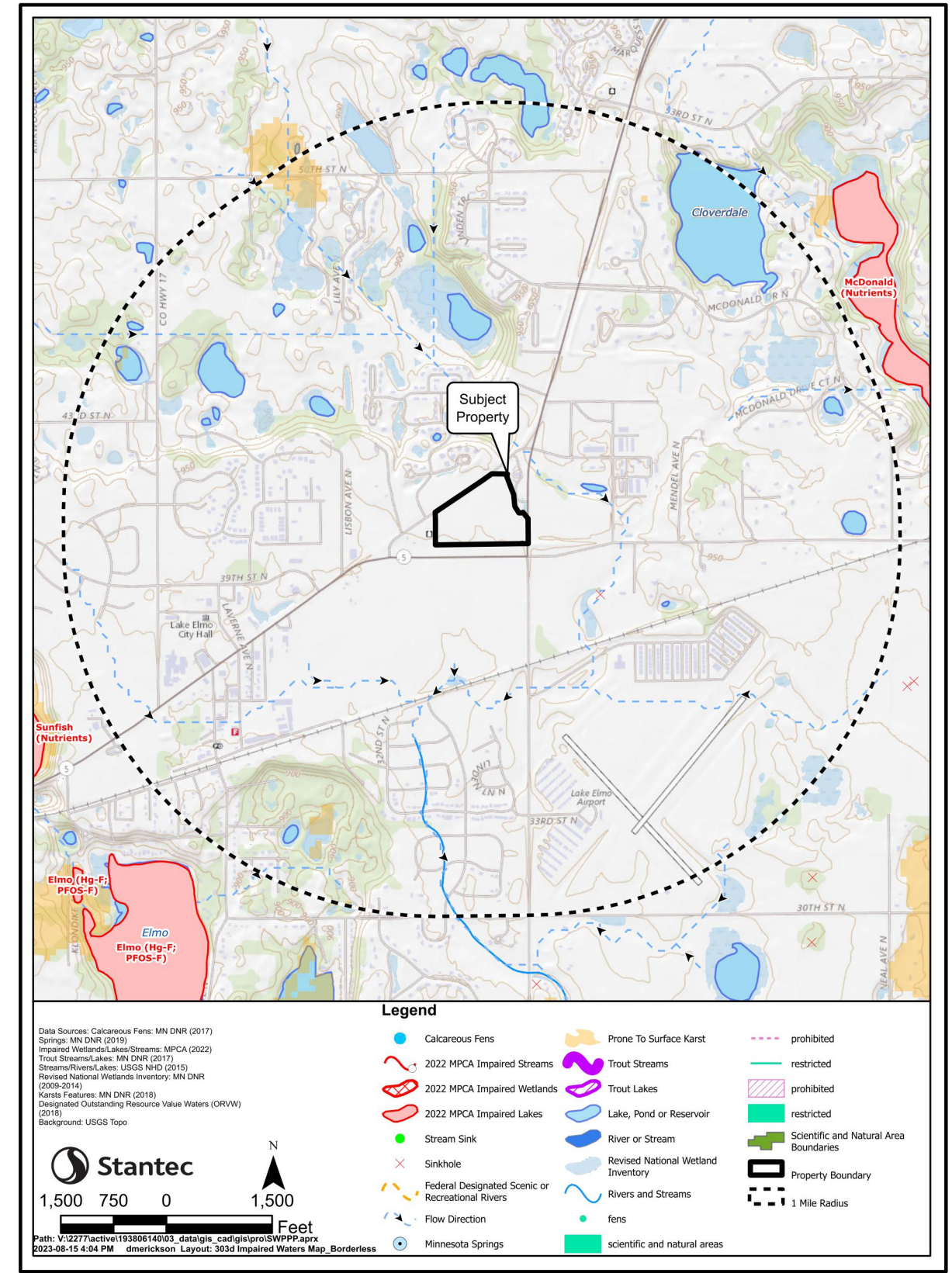
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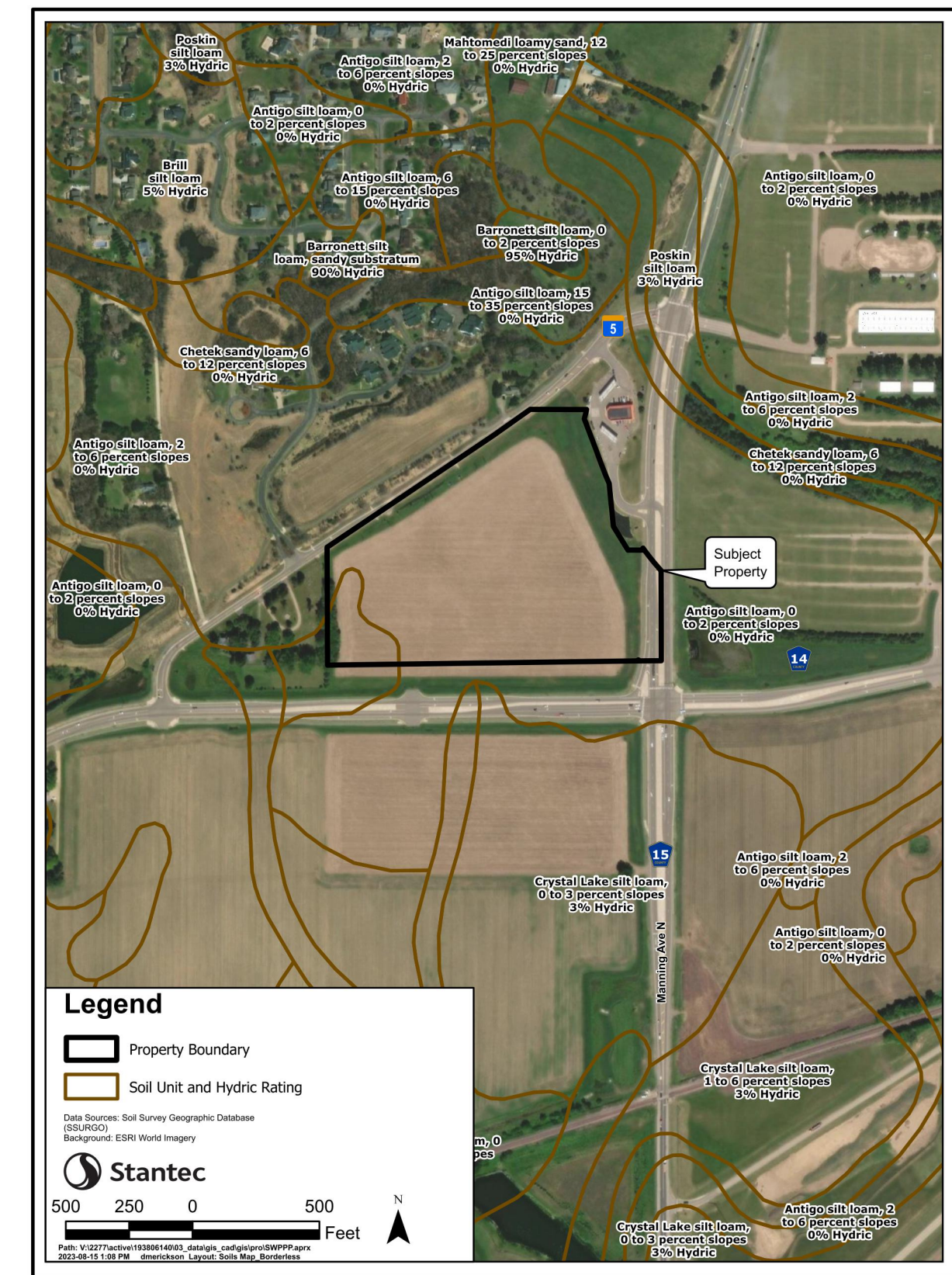
SHEET NO.:

C-103

IMPAIRED WATERS MAP



SOIL MAP



IMPAIRED WATERS, SPECIAL WATERS, AND WETLANDS

THIS PROJECT IS NOT LOCATED WITHIN ONE MILE OF AN IMPAIRED WATER. THE PROJECT ULTIMATELY DISCHARGES TO A STREAM THAT IS LOCATED SOUTH OF THE PROJECT LOCATION.

THE PROJECT SITE DISCHARGES TO AN INFILTRATION BASIN FOR STORMWATER MANAGEMENT PRIOR TO THE ULTIMATE DISCHARGE POINT ONSITE. THE PROJECT WILL NOT IMPACT WETLANDS.

SITE SOILS - SITE SOILS ARE SHOWN ON THIS SHEET. THIS PROJECT IS NOT LOCATED IN A KARST AREA.

PROJECT INFORMATION

PROJECT NAME: BRIDGEWATER VILLAGE COMMERCIAL DEVELOPMENT
PROJECT LOCATION: LAKE ELMO, MINNESOTA, WASHINGTON COUNTY.
PROJECT TYPE: COMMERCIAL DEVELOPMENT WITH ASSOCIATED PARKING LOTS, PROPOSED ROADS, BUILDINGS, STORMWATER POND AND INFILTRATION BASIN, AND UTILITIES.
TOTAL AREA DISTURBED BY CONSTRUCTION: APPROXIMATELY 13.77 ACRES. THE TOTAL SITE AREA IS APPROXIMATELY 23.19 ACRES.

ESTIMATED CONSTRUCTION DATES: FALL 2023 - FALL 2024
CUMULATIVE IMPERVIOUS SURFACE/PERMANENT STORMWATER MANAGEMENT REQUIREMENTS:
THE PROPOSED PROJECT RESULTS IN A ±1.87 ACRE NET INCREASE IN IMPERVIOUS SURFACE WITHIN THE LIMITS OF DISTURBANCE. FUTURE DEVELOPMENT IS ANTICIPATED TO CONNECT LINDEN AVENUE TO STILLWATER WAY. THE FOUR COMMERCIAL LOTS WILL BE DEVELOPED INDIVIDUALLY. THE REMAINING AREA WILL BE DEVELOPED INTO VMDR USE.

THE SITE ULTIMATELY DRAINS TO, BUT IS NOT WITHIN 1 MILE OF, A STREAM TO THE SOUTH, WHICH IS NOT LISTED AS AN IMPAIRED WATER.

THE PERMANENT STORMWATER SYSTEM WILL CONSIST OF A STORMWATER WET POND FOR IRRIGATION REUSE AND A STORMWATER INFILTRATION BASIN. THE WET POND WILL DISCHARGE TO THE EXISTING STORM NETWORK TO THE SOUTH OF THE SITE. THE INFILTRATION BASIN WILL DISCHARGE TO THE EXISTING STORM NETWORK TO THE SOUTH OF THE SITE. THE STORMWATER ULTIMATELY DISCHARGES TO THE EXISTING STREAM TO THE SOUTH OF THE SITE.

PARTY RESPONSIBLE FOR LONG TERM OPERATION AND MAINTENANCE OF THE SITE (OWNER): NORTH SHORE DEVELOPMENT PARTNERS
CONTACT: MATT ALEXANDER
CONTACT PHONE: 952-324-0535
CONTACT EMAIL: MALEXANDER@NORTHSHOREDP.COM
PARTY RESPONSIBLE FOR IMPLEMENTATION OF THE SWPPP (CONTRACTOR): TBD
CONTRACTOR: TBD
CONTRACTOR PHONE: TBD
CONTRACTOR EMAIL: TBD

CONTRACTOR SHALL PROVIDE A CHAIN OF RESPONSIBILITY WITH ALL OPERATORS ON THE SITE FOR INCORPORATION INTO THIS SWPPP DOCUMENT TO ENSURE THAT THE SWPPP WILL BE IMPLEMENTED AND STAY IN EFFECT UNTIL THE CONSTRUCTION PROJECT IS COMPLETE (THROUGH FINAL STABILIZATION AND NOT SUBMITTAL). CONTRACTOR SHALL ALSO PROVIDE DOCUMENTATION OF PERSONNEL TRAINING IN ACCORDANCE WITH THE PERMIT FOR INCORPORATION INTO THIS SWPPP DOCUMENT AS SOON AS THE PERSONNEL FOR THE PROJECT HAVE BEEN DETERMINED. CONTRACTOR IS RESPONSIBLE FOR KEEPING A FINAL SWPPP DOCUMENT, CONTAINING THE INFORMATION REQUIRED ABOVE, AT THE CONSTRUCTION SITE FOR THE DURATION OF THE PROJECT.

SWPPP DOCUMENTS

THE SWPPP IS COMPOSED OF, BUT NOT LIMITED TO, THE BELOW PROJECT DOCUMENTS. THESE DOCUMENTS SHALL BE KEPT ON THE PROJECT SITE AT ALL TIMES THROUGHOUT CONSTRUCTION. THE SWPPP SHALL BE AMENDED BY THE PERSON RESPONSIBLE TO INCLUDE ANY DOCUMENTS NECESSARY TO ENSURE ADHERENCE TO THE GENERAL PERMIT.

BRIDGEWATER VILLAGE PROJECT CIVIL CONSTRUCTION DRAWINGS BY STANTEC DATED SEPTEMBER, 2023
BRIDGEWATER VILLAGE PROJECT STORMWATER MANAGMENT PLAN BY STANTEC DATED SEPTEMBER, 2023

RECORD RETENTION - THE SWPPP, ALL CHANGES TO IT, AND INSPECTION AND MAINTENANCE RECORDS MUST BE KEPT ON-SITE DURING CONSTRUCTION. THE CONSTRUCTION DRAWINGS ARE INCORPORATED HEREIN BY REFERENCE, AND A COPY OF THE PLAN SET SHOULD BE KEPT ON-SITE WITH THE SWPPP RECORDS. THE OWNER MUST RETAIN A COPY OF THE SWPPP ALONG WITH THE FOLLOWING RECORDS FOR THREE (3) YEARS AFTER SUBMITTAL OF THE NOTICE OF TERMINATION.
1. ANY OTHER PERMITS REQUIRED FOR THE PROJECT.
2. RECORDS OF ALL INSPECTION AND MAINTENANCE CONDUCTED DURING CONSTRUCTION.
3. ALL PERMANENT OPERATIONS AND MAINTENANCE AGREEMENTS THAT HAVE BEEN IMPLEMENTED, INCLUDING ALL RIGHT OF WAY, CONTRACT, COVENANTS AND OTHER BINDING REQUIREMENTS REGARDING PERPETUAL MAINTENANCE; AND
4. ALL REQUIRED CALCULATIONS FOR DESIGN OF THE TEMPORARY AND PERMANENT STORMWATER MANAGEMENT SYSTEMS.

INSPECTIONS

THE INSPECTION LOG WILL BE COMPLETED BY THE CONTRACTOR FOR THE CONSTRUCTION SITE.
INSPECTOR(S): TBD - TRAINING DOCUMENTATION (PER SECTION 21.2 OF THE PERMIT) WILL BE INCORPORATED INTO THIS SWPPP AS SOON AS THE PERSONNEL FOR THE PROJECT HAVE BEEN DETERMINED. THE CONTRACTOR WILL MAKE CORRECTIONS OR REPAIRS REQUIRED TO COMPLY WITH THE PERMIT.

INSPECTIONS AT THE SITE WILL BE COMPLETED IN ACCORDANCE WITH THE PERMIT AS FOLLOWS:
ONCE EVERY 7 DAYS DURING ACTIVE CONSTRUCTION AND,
WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS.

- THE INDIVIDUAL PERFORMING INSPECTIONS MUST BE TRAINED AS REQUIRED BY SECTION 21.3 OF THE PERMIT. TRAINING DOCUMENTATION SHALL BE PROVIDED BY THE CONTRACTOR FOR INCORPORATION INTO THE SWPPP. INSPECTIONS MUST INCLUDE STABILIZED AREAS, EROSION PREVENTION AND SEDIMENT CONTROL BMPs, AND INFILTRATION AREAS. CORRECTIVE ACTIONS MUST BE IDENTIFIED AND DATE OF CORRECTION MUST BE NOTED AS IDENTIFIED IN SECTION 11.11 OF THE PERMIT. ANY OFFSITE DISCHARGE MUST BE DOCUMENTED AS IDENTIFIED IN SECTION 11.11 OF THE PERMIT. ANY AMENDMENTS TO THE SWPPP PROPOSED AS A RESULT OF THE INSPECTION MUST BE DOCUMENTED WITHIN SEVEN (7) CALENDAR DAYS. AN INSPECTION LOG IS ALSO ATTACHED; THE INSPECTION LOG AND SWPPP MUST BE KEPT ON-SITE FOR THE DURATION OF THE CONSTRUCTION PROJECT.

AT A MINIMUM, THE FOLLOWING SHALL BE COMPLETED DURING EACH INSPECTION:
-RECORD DATE AND TIME OF INSPECTION.
-RECORD RAINFALL RECORDS SINCE THE MOST RECENT INSPECTION.
-INSPECT THE SITE FOR EXCESS EROSION AND SEDIMENTATION.
-INSPECT THE SITE FOR DEBRIS, TRASH, AND SPILLS.
-INSPECT TEMPORARY EROSION AND SEDIMENTATION CONTROL DEVICES.
-INSPECT CONSTRUCTION ENTRANCES FOR SEDIMENT TRACKING ONTO PUBLIC STREETS.
-RECORD RECOMMENDED REPAIRS AND MODIFICATIONS TO EROSION AND SEDIMENT CONTROLS.
-RECOMMEND ANY NECESSARY CHANGES TO THIS SWPPP.
-RECORD REPAIRS AND MODIFICATIONS IMPLEMENTED SINCE PREVIOUS INSPECTIONS.
-INSPECT THE ADJACENT STREETS AND CURB AND GUTTER FOR SEDIMENT, LITTER, AND CONSTRUCTION DEBRIS.

THE GENERAL CONTRACTOR MUST UPDATE THE SWPPP, INCLUDING THE JOBSITE BINDER AND SITE MAPS, TO REFLECT THE PROGRESS OF CONSTRUCTION ACTIVITIES AND GENERAL CHANGES TO THE PROJECT SITE. UPDATES SHALL BE MADE DAILY TO TRACK PROGRESS WHEN ANY OF THE FOLLOWING ACTIVITIES OCCUR: BMP INSTALLATION, MODIFICATION OR REMOVAL, CONSTRUCTION ACTIVITIES (E.G. PAVING, SEWER INSTALLATION, ETC), CLEARING, GRUBBING, GRADING, OR TEMPORARY AND PERMANENT STABILIZATION.

THE CONTRACTOR MAY UPDATE OR MODIFY THE SWPPP WITHOUT ENGINEER APPROVAL IN AN EMERGENCY SITUATION TO PREVENT SEDIMENT DISCHARGE OR PROTECT WATER QUALITY. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE TO ENSURE COMPLIANCE WITH THE PERMIT AND PROTECTION OF DOWNSTREAM WATER QUALITY.

EROSION AND SEDIMENT CONTROL

PRIOR TO ANY SITE DISTURBANCE, AND AS REQUIRED AS CONSTRUCTION PROGRESSES, ANY PERMIT REQUIRED EROSION PREVENTION MEASURES AND THE SEDIMENT CONTROL DEVICES (INLET PROTECTION, CONSTRUCTION ENTRANCE, CULVERT END PROTECTION, EROSION CONTROL BLANKET, SILT FENCE) SHOWN ON THE CONSTRUCTION DRAWINGS WILL BE INSTALLED AT THE SITE.

ALL EXPOSED SOIL AREAS WITHIN THE CONSTRUCTION LIMITS WILL BE STABILIZED WITHIN 7/14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY (WILL NOT RESUME FOR A PERIOD EXCEEDING 7 CALENDAR DAYS) OR PERMANENTLY CEASED. STABILIZATION WILL BE INITIATED IMMEDIATELY. EXPOSED SOIL AREAS MUST HAVE TEMPORARY EROSION PROTECTION (SLASH MULCH, EROSION CONTROL BLANKET, SEED) OR PERMANENT COVER YEAR ROUND.

CONTRACTOR SHALL IMPLEMENT APPROPRIATE CONSTRUCTION PHASING, VEGETATIVE BUFFER STRIPS, HORIZONTAL SLOPE GRADING, AND OTHER CONSTRUCTION PRACTICES THAT MINIMIZE EROSION WHEN PRACTICAL. THE NORMAL WETTED PERIMETER OF ANY TEMPORARY OR PERMANENT DRAINAGE DITCH THAT DRAINS WATER FROM A CONSTRUCTION SITE, OR DIVERTS WATER AROUND A SITE, MUST BE STABILIZED WITHIN 200 LINEAL FEET FROM THE PROPERTY EDGE, OR FROM THE POINT OF DISCHARGE TO ANY SURFACE WATER. STABILIZATION MUST BE COMPLETED WITHIN 24 HOURS OF CONNECTING TO A SURFACE WATER. PIPE OUTLETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS OF CONNECTION TO A SURFACE WATER.

- SWPPP IMPLEMENTATION, PHASING, AND SEQUENCE OF CONSTRUCTION:
BMP AND EROSION CONTROL INSTALLATION SEQUENCE SHALL BE AS FOLLOWS:
- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE, CONCRETE WASHOUT PIT, AND INSTALL SILT FENCE.
 - INSTALL INLET PROTECTION AT EXISTING STORMWATER CULVERTS AND INLETS.
 - PREPARE TEMPORARY STORAGE, PARKING, AND PHASING AREAS.
 - CONSTRUCT AND STABILIZE DIVERSIONS AND TEMPORARY SEDIMENT TRAPS/BASINS.
 - PERFORM CLEARING AND GRUBBING OF THE SITE, IF APPLICABLE.
 - PERFORM MASS GRADING, ROUGH GRADE TO ESTABLISH PROPOSED DRAINAGE PATTERNS.
 - BEGIN EXCAVATION OF PERMANENT STORMWATER BASIN AREAS. SEE SEQUENCING BELOW FOR ADDITIONAL INFORMATION.
 - START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
 - INSTALL SMALL UTILITIES (GAS, ELECTRIC, PHONE, CABLE, ETC.).
 - PAVE CURB AND GUTTER, SIDEWALK, AND PARKING LOT/ DRIVEWAYS.
 - TEMPORARILY SEED WITH PURE LIVE SEED THROUGHOUT CONSTRUCTION. DISTURBED AREAS THAT WILL BE INACTIVE FOR 7 (14) DAYS OR MORE AS REQUIRED BY NPDES OR PERMIT.

SEDIMENT CONTROL PRACTICES MUST MINIMIZE SEDIMENT FROM ENTERING SURFACE WATERS, INCLUDING CURB AND GUTTER SYSTEMS AND STORM SEWER INLETS. THE FOLLOWING MEASURES WILL BE TAKEN AS SEDIMENT CONTROL PRACTICES IN ORDER TO MINIMIZE SEDIMENTS FROM ENTERING SURFACE WATERS:

- INSTALLATION OF SEDIMENT CONTROL PRACTICES ON ALL DOWN GRADIENT PERIMETERS PRIOR TO LAND DISTURBING ACTIVITIES.
- SILT FENCING, BIOLOGS, OR OTHER SEDIMENT CONTROL SURROUNDING TEMPORARY SOIL STOCKPILES.
- VEHICLE TRACKING BMP AT CONSTRUCTION SITE ENTRANCE/EXIT. STREET SWEEPING SHALL BE PERFORMED IF VEHICLE TRACKING BMPs ARE NOT ADEQUATE TO PREVENT SEDIMENT TRACKING. TRACKED SEDIMENT MUST BE REMOVED FROM ALL PAVED SURFACES BOTH ON AND OFFSITE WITHIN 24 HOURS OF DISCOVERY PER THE PERMIT.
- STREET SWEEPING IS NOT TO BE USED AS A PRIMARY BMP FOR SEDIMENT TRACKING. IF SEDIMENT IS TRACKED OFFSITE, WORK WILL CEASE UNTIL PROPER EROSION CONTROL AND SEDIMENT CONTROL DEVICES ARE INSTALLED AND/OR BEING MAINTAINED TO PREVENT TRACKING BEYOND THE SITE'S PERIMETER (CONTAINMENT AREA). ALL STREET SWEEPING MUST BE PERFORMED UTILIZING A PICK-UP SWEEPER. IF NECESSARY WATER WILL ALSO BE USED TO CLEAN UP THE STREETS PRIOR TO BEING SWEEPED TO ENSURE THEY ARE FULLY CLEANED.

THE FOLLOWING GUIDELINES WILL BE USED TO DETERMINE IF POLLUTION CONTROL DEVICES REQUIRE MAINTENANCE, REPAIR, OR REPLACEMENT:

- IF SEDIMENT CONTROL DEVICES SUCH AS SILT FENCE ARE FILLED TO 1/3 THE HEIGHT OF THE FENCE, REMOVE ALL SEDIMENT WITHIN 24 HOURS OF DETECTION OR NOTIFICATION.
- IF INLET PROTECTION DEVICES APPEAR PLUGGED WITH SEDIMENT, ARE FILLED TO 1/3 CAPACITY, OR HAVE STANDING WATER AROUND THEM, REMOVE THE SEDIMENT AND CLEAN OR REPLACE THE FILTER WITHIN 24 HOURS OF DETECTION OR NOTIFICATION.
- IF THE GRAVEL CONSTRUCTION ENTRANCE(S) ARE FILLED WITH SEDIMENT EITHER REPLACE THE ENTRANCE OR ADD ADDITIONAL GRAVEL WITH 24 HOURS OF DETECTION OR NOTIFICATION.
- IF SEDIMENT FROM THE SITE IS OBSERVED ON ADJACENT STREETS OR OTHER PROPERTIES, THE INSPECTOR SHALL IDENTIFY THE SOURCE AND DISCHARGE LOCATION OF THE SEDIMENT AND INSTRUCT TO IMPLEMENT ADDITIONAL EROSION AND SEDIMENT CONTROLS AT THOSE LOCATIONS TO PREVENT FUTURE DISCHARGES.
- IF BUILDING MATERIALS, CHEMICALS, OR GENERAL REFUSE IS BEING USED, STORED, DISPOSED OF, OR OTHERWISE MANAGED INAPPROPRIATELY, CORRECT SUCH DEFECTS WITHIN 24 HOURS OF DETECTION OR NOTIFICATION.
- IF EXCESSIVE SEDIMENTS OR DEBRIS ARE OBSERVED AT THE FLARED END SECTION OUTFALLS, THE INSPECTOR SHALL DETERMINE THE SOURCE AND DISCHARGE LOCATIONS OF SUCH MATERIALS. IF THE DISCHARGE HAS OCCURRED ON THE PROPERTY, REMOVE THE SEDIMENTS AND DEBRIS WITHIN 24 HOURS OF NOTIFICATION AND CORRECT THE SOURCE OF SUCH MATERIALS AS DIRECTED BY THE INSPECTOR

POLLUTION PREVENTION MEASURES

SOLID WASTE:
SOLID WASTE, INCLUDING BUT NOT LIMITED TO, COLLECTED ASPHALT AND CONCRETE MILLINGS, FLOATING DEBRIS, PAPER, PLASTIC, FABRIC, CONSTRUCTION AND DEMOLITION DEBRIS AND OTHER WASTE, INCLUDING ALL TRASH ONSITE, MUST BE REGULARLY DISPOSED OF PROPERLY AND MUST COMPLY WITH MPCA DISPOSAL REQUIREMENTS.

HAZARDOUS MATERIALS:
HAZARDOUS MATERIALS, INCLUDING BUT NOT LIMITED TO OIL, GASOLINE, PAINT AND ANY HAZARDOUS SUBSTANCE MUST BE PROPERLY STORED INCLUDING SECONDARY CONTAINMENTS, TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. RESTRICTED ACCESS TO STORAGE AREAS MUST BE PROVIDED TO PREVENT VANDALISM. STORAGE AND DISPOSAL OF HAZARDOUS WASTE MUST BE IN COMPLIANCE WITH MPCA REGULATIONS.

CONSTRUCTION EQUIPMENT/VEHICLES:
EXTERNAL WASHING OF TRUCKS AND OTHER CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE. RUNOFF MUST BE CONTAINED AND WASTE PROPERLY DISPOSED OF. NO ENGINE DEGREASING IS ALLOWED ON SITE. REASONABLE STEPS TO PREVENT THE DISCHARGE OF SPILLED OR LEAKED CHEMICALS SHALL BE TAKEN. ADEQUATE SUPPLIES MUST BE AVAILABLE AT ALL TIMES TO CLEAN UP DISCHARGED MATERIALS; CONDUCT FUELING IN A CONTAINED AREA UNLESS INFEASIBLE.

CONCRETE WASHOUT AREA:
CONCRETE WASHOUT WILL BE PERMITTED ON-SITE; CONTRACTOR SHALL FOLLOW ALL PERMIT REQUIREMENTS FOR CONCRETE WASHOUT. THE CONTRACTOR SHALL PROVIDE EFFECTIVE CONTAINMENT FOR ALL LIQUID AND SOLID WASTES GENERATED BY WASHOUT OPERATIONS. LIQUID AND SOLID WASHOUT WASTES MUST NOT CONTACT THE GROUND AND THE CONTAINMENT MUST BE DESIGNED TO PROHIBIT RUNOFF FROM THE WASHOUT OPERATIONS/AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA RULES. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY THAT REQUIRES SITE PERSONNEL TO UTILIZE THE PROPER FACILITIES FOR CONCRETE WASHOUT AND DISPOSAL OF WASHOUT WASTES. CONTRACTOR SHALL REVISE SWPPP TO INDICATE WASHOUT LOCATION ONCE THE LOCATION HAS BEEN DETERMINED.

FERTILIZERS AND LANDSCAPE MATERIALS MUST BE UNDER COVER TO PREVENT THE DISCHARGE OF POLLUTANTS OR PROTECTED BY SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER.

PORTABLE TOILETS MUST BE POSITIONED SO THAT THEY ARE SECURE AND WILL NOT BE TIPPED OR KNOCKED OVER. SANITARY WASTE MUST BE DISPOSED OF PROPERLY.

INFILTRATION BASIN SEQUENCING NOTES

- CONTRACTOR SHALL STAGE CONSTRUCTION APPROPRIATELY AND INSTALL ALL NECESSARY EROSION CONTROL TO PREVENT SEDIMENT WASHING INTO THE INFILTRATION BASIN.
- FINAL GRADING OF THE BASIN SHALL BE ACCOMPLISHED USING LOW-IMPACT EARTH MOVING EQUIPMENT TO PREVENT COMPACTION. SMALL TRACKED DOZERS AND SKID STEERS ARE RECOMMENDED.
- IN THE EVENT THAT SEDIMENT IS INTRODUCED INTO THE INFILTRATION BASIN, THIS MATERIAL WILL NEED TO BE REMOVED PRIOR TO PROCEEDING WITH CONSTRUCTION.
- INFILTRATION BASIN SHALL BE FREE AND CLEAR OF SEDIMENT UPON FINAL COMPLETION OF CONSTRUCTION.
- ALL SLOPES WITHIN PERMANENT STORMWATER SYSTEM (INCLUDING SWALES, BASINS, AND PONDS) SHALL BE STABILIZED WITH A EROSION CONTROL BLANKET.
- THE PROJECT AREA MUST BE STAKED OFF AND MARKED TO KEEP ALL CONSTRUCTION TRAFFIC, EQUIPMENT AND MATERIAL STOCKPILES OUT OF THE PROPOSED INFILTRATION AREAS.
- INFILTRATION PRACTICES SHALL NOT BE EXCAVATED UNTIL THE CONTRIBUTING DRAINAGE AREAS WITH EXPOSED SOIL HAVE BEEN FULLY STABILIZED AND BITUMINOUS BASE COURSE INSTALLED ON CONTRIBUTING PAVEMENT AREAS. DIVERT UPLAND DRAINAGE AREAS TO PREVENT RUNOFF FROM ENTERING THE EXCAVATED CELL OR INTO THE WORK AREA.
- CARE MUST BE TAKEN TO AVOID CONTAMINATION OF INFILTRATION BASIN SOILS WITH SEDIMENT, IN-SITU OR TOPSOIL DURING AND AFTER INSTALLATION. MATERIALS MUST BE SEGREGATED.
- KEEP INFILTRATION SYSTEMS OFF-LINE BY RESTRICTING STORM WATER INFLOW UNTIL VEGETATION IS WELL ESTABLISHED IN THE CELL AND ALL UP GRADIENT AREAS HAVE BEEN STABILIZED AND IMPERVIOUS SURFACES CLEARED OF CONSTRUCTION SEDIMENT.
- PROVIDE TOPSOIL AND SEED IN ACCORDANCE WITH THE EROSION CONTROL PLAN, LANDSCAPE PLAN, AND NPDES PERMIT.

GENERAL SWPPP NOTES

DEWATERING IS NOT ANTICIPATED TO BE REQUIRED DURING TRENCHING FOR UTILITY CONSTRUCTION. IN THE EVENT THAT DEWATERING IS NECESSARY CONTRACTOR SHALL COMPLY WITH PERMIT SECTION 10.1 REQUIREMENTS FOR DEWATERING.

THIS SWPPP SHALL BE AMENDED BY THE CONTRACTOR IN ACCORDANCE WITH THE PERMIT AS NECESSARY TO INCLUDE ADDITIONAL REQUIREMENTS, TO CORRECT PROBLEMS IDENTIFIED, OR TO ADDRESS SITUATIONS PER SECTION 6.1 OF THE PERMIT.

THE PROJECT WILL DISTURB MORE THAN 10 ACRES THAT PROMOTE DRAINAGE TO A COMMON LOCATION, THEREFORE A TEMPORARY SEDIMENT BASIN WILL BE REQUIRED. THIS SWPPP SHALL BE AMENDED BY THE CONTRACTOR IN ACCORDANCE WITH THE GENERAL PERMIT TO INCLUDE ADDITIONAL TEMPORARY SEDIMENTATION BASINS, IF THEY BECOME NECESSARY. BASINS, IF DESIGNED BY THE CONTRACTOR, SHALL ACCOMMODATE NO LESS THAN 3,600 CUBIC FEET OF LIVE STORAGE PER ACRE OF CONTRIBUTING DRAINAGE AREA. BASIN OUTLETS SHALL BE DESIGNED TO WITHDRAW WATER FROM THE SURFACE OF THE BASIN, PREVENT SHORT-CIRCUITING AND THE DISCHARGE OF FLOATING DEBRIS. BASINS SHALL HAVE A STABILIZED EMERGENCY OVERFLOW LOCATION AND BE DESIGNED TO PREVENT THE DISCHARGE OF POLLUTANTS TO THE EXTENT PRACTICAL.

FINAL STABILIZATION:
ALL PERVIOUS AREAS DISTURBED BY CONSTRUCTION AS DESIGNATED WILL RECEIVE VEGETATIVE COVER ACCORDING TO THE PLANS AND SPECIFICATIONS AND WITHIN THE SPECIFIED VEGETATIVE TIME SCHEDULE. FINAL STABILIZATION WILL OCCUR WHEN THE SITE HAS A UNIFORM VEGETATIVE COVER WITH A DENSITY OF 70% OVER THE RESTORED PERVIOUS AREAS. ALL TEMPORARY SYNTHETIC EROSION PREVENTION AND SEDIMENT CONTROL BMPs (SUCH AS SILT FENCE) MUST BE REMOVED AS PART OF THE SITE FINAL STABILIZATION. ALL SEDIMENT MUST BE CLEANED OUT OF CONVEYANCES AND TEMPORARY SEDIMENTATION BASINS IF APPLICABLE. NOTICE OF TERMINATION (NOT) MUST BE SUBMITTED WITHIN 30 DAYS OF FINAL STABILIZATION.

ESTIMATED BMP QUANTITIES AND INSTALLATION SCHEDULE

THE ADJACENT TABLE INDICATES THE ESTIMATED MATERIAL QUANTITIES NECESSARY TO IMPLEMENT THE TEMPORARY AND PERMANENT EROSION PREVENTION AND SEDIMENT CONTROL BMPs IDENTIFIED IN THIS SWPPP AND ON THE CONSTRUCTION DRAWINGS. TEMPORARY AND PERMANENT EROSION PREVENTION AND SEDIMENT CONTROL BMPs WILL BE INSTALLED/CONSTRUCTED WHEN NECESSARY AS CONSTRUCTION ACTIVITIES PROGRESS AND IN ACCORDANCE WITH THE NPDES PERMIT REQUIREMENTS.

MAINTAIN AND REPLACE BMPs DURING THE EXECUTION OF THE PROJECT AS REQUIRED TO CONTINUE SWPPP COVERAGE DURING CONSTRUCTION

ESTIMATED BMP QUANTITIES		
ITEM	QUANTITY	UNIT
INLET PROTECTION	26	EA
TURF ESTABLISHMENT	12	AC
EROSION CONTROL BLANKET	5992	SY
TEMPORARY DIVERSION DITCH	1288	LF
ROCK CHECK DAM	6	EA
TEMPORARY SEDIMENTATION BASIN	1	EA
SILT FENCE	2213.65	LF
CONSTRUCTION EXIT	2	EA

NOTE: QUANTITIES ON PLAN SUPERCEDES LIST QUANTITIES IN A DISCREPANCY

CERTIFICATION

IN ACCORDANCE WITH SECTION 21 OF THE GENERAL PERMIT AUTHORIZATION TO DISCHARGE STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NPDES, THE PREPARER OF THIS DOCUMENT WAS TRAINED UNDER THE UNIVERSITY OF MINNESOTA EROSION AND SEDIMENT CONTROL CERTIFICATION PROGRAM. JACK AMMERMAN'S CERTIFICATION IN DESIGN OF SWPPP IS VALID THROUGH MAY 31, 2024.

WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

CALL BEFORE YOU DIG

GOPHER STATE ONE CALL

TWIN CITY AREA: 651-454-0002
TOLL FREE 1-800-252-1166

1 CARLSON PKWY N
PLYMOUTH, MN 55447
PHONE: 763-479-4200
WWW.STANTEC.COM

CLIENT:

PROJECT TITLE:

BRIDGEWATER VILLAGE

LAKE ELMO MINNESOTA, WASHINGTON COUNTY

DATE:	DESCRIPTION:	ISSUE NO.:	0	1						
08/18/2023	30% SET FOR PRELIMINARY PRICING									
09/22/2023	80% DESIGN FOR CITY SUBMITTAL									

CERTIFICATION:

PROJECT NO.:

193806140

DWN BY: SAG

CHKD BY: MJS

APPD BY: JRA

ISSUE DATE: 09/22/2023

ISSUE NO.: 1

SHEET TITLE:

SWPPP

SHEET NO.:

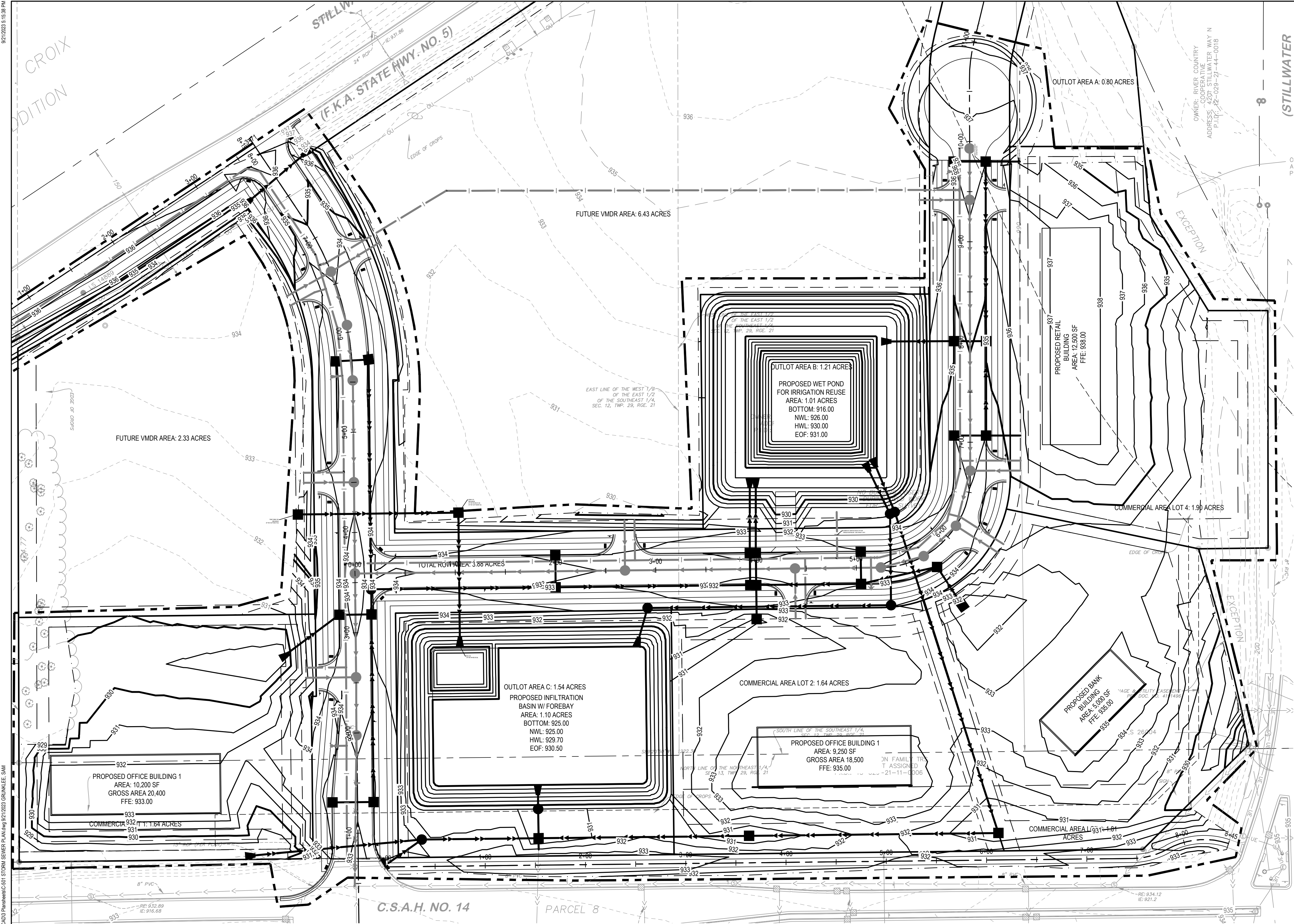
C-104

NOT FOR CONSTRUCTION

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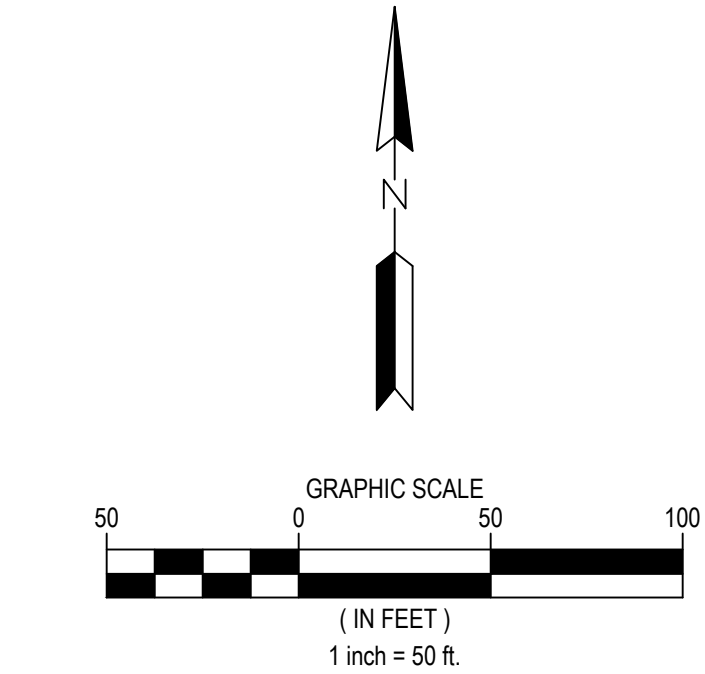
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\\us02a2\pfs01\shared_projects\193806140\Draws\DESIGN\CA03\PlanSheetC-301 STORM SEWER PLAN.dwg 9/21/2023 GRUNKLEE, SAAI



WET POND SUMMARY TABLE					
DEVICE	BOTTOM	NWL	HWL	EOF	RIM
PP-01	916.0	926.0	930.0	931.0	932.0

INFILTRATION BASIN SUMMARY TABLE							
DEVICE	BOTTOM	OUTLET	HWL	EOF	RIM	REQUIRED WQV (CF)*	PROVIDED WQV (CF)
IB-01	925.0	926.5	929.7	930.5	931.0	39,330	41,563
* WQV CALCULATED BASED ON CONTRIBUTING IMPERVIOUS AREA AND REMAINING VOLUME NOT MET THROUGH REUSE BUT ROUTED FROM POND TO INFILTRATION BASIN							



NOTES

1. SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.

CITY STANDARD STORM SEWER NOTES

- ALL STORM SEWER AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
- REINFORCED CONCRETE PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF MnDOT SPEC 3236 (REINFORCED CONCRETE PIPE) FOR THE TYPE, SIZE, AND STRENGTH CLASS SPECIFIED HEREIN.
- PRECAST CONCRETE MANHOLE AND CATCH BASIN SECTIONS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-477.
- A 1" - 9" TO 1" - 6" MANHOLE SECTION SHALL BE INSTALLED UNDER THE CONE SECTION TO ALLOW FOR HEIGHT ADJUSTMENT WHENEVER POSSIBLE.
- JOINTS OF MANHOLE RISER SECTIONS SHALL BE TONGUE AND GROOVE WITH RUBBER "O" RING JOINTS PROVIDED ON ALL STORM SEWER MANHOLES. A BITUMASTIC SEAL STRIP SHALL BE PLACED AT ALL MANHOLE RISER JOINTS.
- RIP-RAP SHALL BE HAND-PLACED OVER GEOTEXTILE FABRIC AND CONFORM TO MnDOT SPEC. 3601, CLASS III, OR AS SPECIFIED HEREIN.
- THE GEOTEXTILE FABRIC USED UNDER RIP-RAP SHALL EXTEND 3 FT UNDER THE APRON.
- FURNISH & INSTALL TRASH GUARDS ON ALL FLARED END SECTIONS.
- ALL SILT SHALL BE CLEANED OUT FROM THE RIP-RAP AT THE END OF THE PROJECT.
- STORM SEWER STRUCTURES WITHIN 10 FT OF WATERMAIN ARE TO HAVE WATER TIGHT CONNECTIONS PER MDH REQUIREMENTS. ALL NEW STORM SEWER PIPE SHALL BE FLUSHED AND TELEVIEWED PRIOR TO SUBSTANTIAL COMPLETION - SEE SPECIFICATION SECTION 1700 - CLOSEOUT REQUIREMENTS

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1 CARLSON PKWY N
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PHONE: 763-479-4200
WWW.STANTEC.COM

CLIENT:



BRIDGEWATER VILLAGE

LAKE ELMO MINNESOTA, WASHINGTON COUNTY

PROJECT TITLE:

ISSUE NO.:

0

1

DESCRIPTION:

30% SET FOR PRELIMINARY PRICING

60% DESIGN FOR CITY SUBMITTAL

DATE:

08/18/2023

09/22/2023

CERTIFICATION:

NOT FOR CONSTRUCTION

PROJECT NO.:

193806140

DWN BY:

SAG

CHKD BY:

MJS

APPD BY:

JRA

ISSUE DATE: 09/22/2023

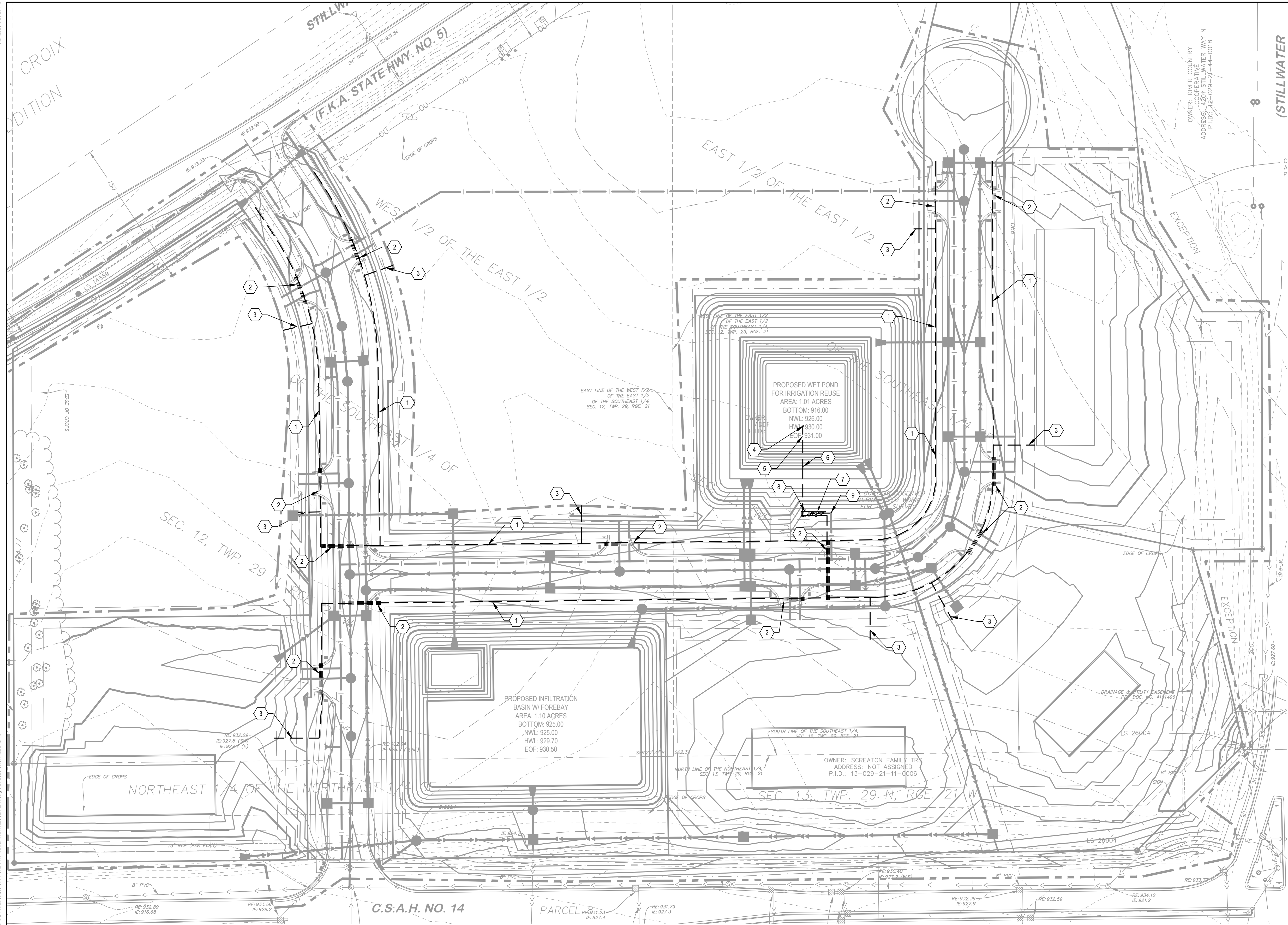
ISSUE NO.: 1

SHEET TITLE:

OVERALL STORM SEWER PLAN

SHEET NO.:

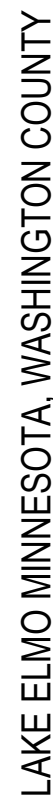
C-301



THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

CALL BEFORE YOU DIG

TWIN CITY AREA: 651-454-0002
TOLL FREE 1-800-252-1166



1. CONTRACTOR TO VERIFY ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO COMMENCING WORK. CONTACT GOPHER STATE ONE AT (651)-454-0002.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS SHOWN ON PLANS PRIOR TO CONSTRUCTION. NOTIFY LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE OF MAJOR DISCREPANCIES THAT WILL AFFECT CONSTRUCTION OPERATIONS.
3. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF THE INSTALLATION, AND OPERATION OF THE IRRIGATION SYSTEM WITHIN LIMITS OF WORK.
4. DAMAGE TO PROPERTY FROM LANDSCAPE WORK MUST BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
5. FOR IRRIGATION DETAILS SEE SHEET C-806.

1. ALL 120 V.A.C. PRIMARY, AND 24 V.A.C. SECONDARY POWER TO BE INSTALLED AS PER STATE AND LOCAL CODES, WITH GROUND WIRE; MEETING N.E.C. AND M.A.C. REQUIREMENTS.
2. ALL WIRE TO BE UL APPROVED FOR (CONDUIT 2"), SIZE PER MANUFACTURER'S RECOMMENDATION.
3. ALL POWER WIRE TAPS AND CONNECTIONS TO CONFORM TO LOCAL AND STATE CODES AND TO BE PERFORMED BY A LICENSED ELECTRICIAN.
4. INSTALL VALVE WIRES IN ONE CONTINUOUS PULL FROM VALVES TO CONTROLLER, WITHOUT SPLICES. IF NECESSARY, ALL 24 V.A.C. FIELD SPLICES TO BE NOTED ON "AS-BUILT" DRAWINGS AND LOCATED IN ECONO VALVE BOXES AND MARKED.
3. 24 VAC WIRE SPLICING MATERIAL SHALL BE DIRECT BURIAL SPLICE KIT AS MANUFACTURED BY 3M. ONLY DBR SPLICE KIT IS ALLOWED, OR EQUAL.

1. THE IRRIGATION DESIGN PRESENTED IN THESE DOCUMENTS IS INTENDED TO BE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE COMPLETED. ALL IRRIGATION EQUIPMENT, PIPING AND VALVE LOCATIONS, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION AND SHALL ONLY BE INSTALLED ON OWNER'S PROPERTY, WITHIN CONSTRUCTION LIMITS, AND WITHIN PLANTING AREAS UNLESS OTHERWISE NOTED ON PLANS.
2. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL IRRIGATION EQUIPMENT AND APPURTENANCES, INCLUDING ITEMS NOT SHOWN, BUT NECESSARY TO ACHIEVE A COMPLETE AND OPERABLE IRRIGATION SYSTEM.
3. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL CONTROL WIRE AND MAINLINE SLEEVING OF SUFFICIENT SIZE, UNDER ALL PAVED AREAS IN ADDITION TO THE SLEEVING SHOWN ON THE DRAWINGS.
4. SLEEVING LOCATIONS ARE APPROXIMATE AND INTENDED TO SHOW INTENT ONLY. FIELD ADJUST SLEEVE LOCATIONS AS NECESSARY.
5. CAP THE ENDS OF ALL SLEEVES NOT CURRENTLY IN USE.
6. ALL PRODUCT APPLICATIONS AND INSTALLATIONS MUST MEET MANUFACTURER'S REQUIREMENTS.
7. FLOW RATES THROUGH PVC PIPING NOT TO EXCEED MANUFACTURER'S RECOMMENDATIONS.

1. 6" RECYCLED WATER IRRIGATION MAINLINE
2. IRRIGATION SLEEVE (CONDUIT CROSSING)
3. 2" RECYCLED WATER IRRIGATION SERVICE
4. SELF FLUSHING INTAKE SCREEN, SEE DETAIL C-03/SHEET C-806
5. INTAKE PIPE
6. INTAKE PIPE TERMINATION
7. CITY SUPPLY ENCLOSURE, SEE DETAIL C-05/SHEET C-806
8. PUMP SUPPLY ENCLOSURE, SEE DETAIL C-04/SHEET C-806
9. WATER SERVICE FOR DOMESTIC BACK UP

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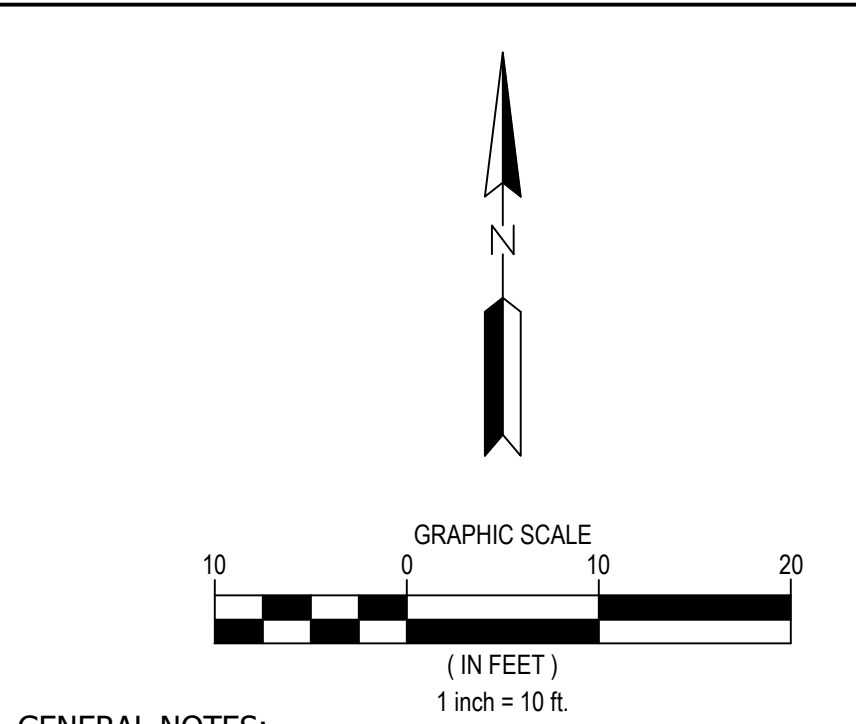
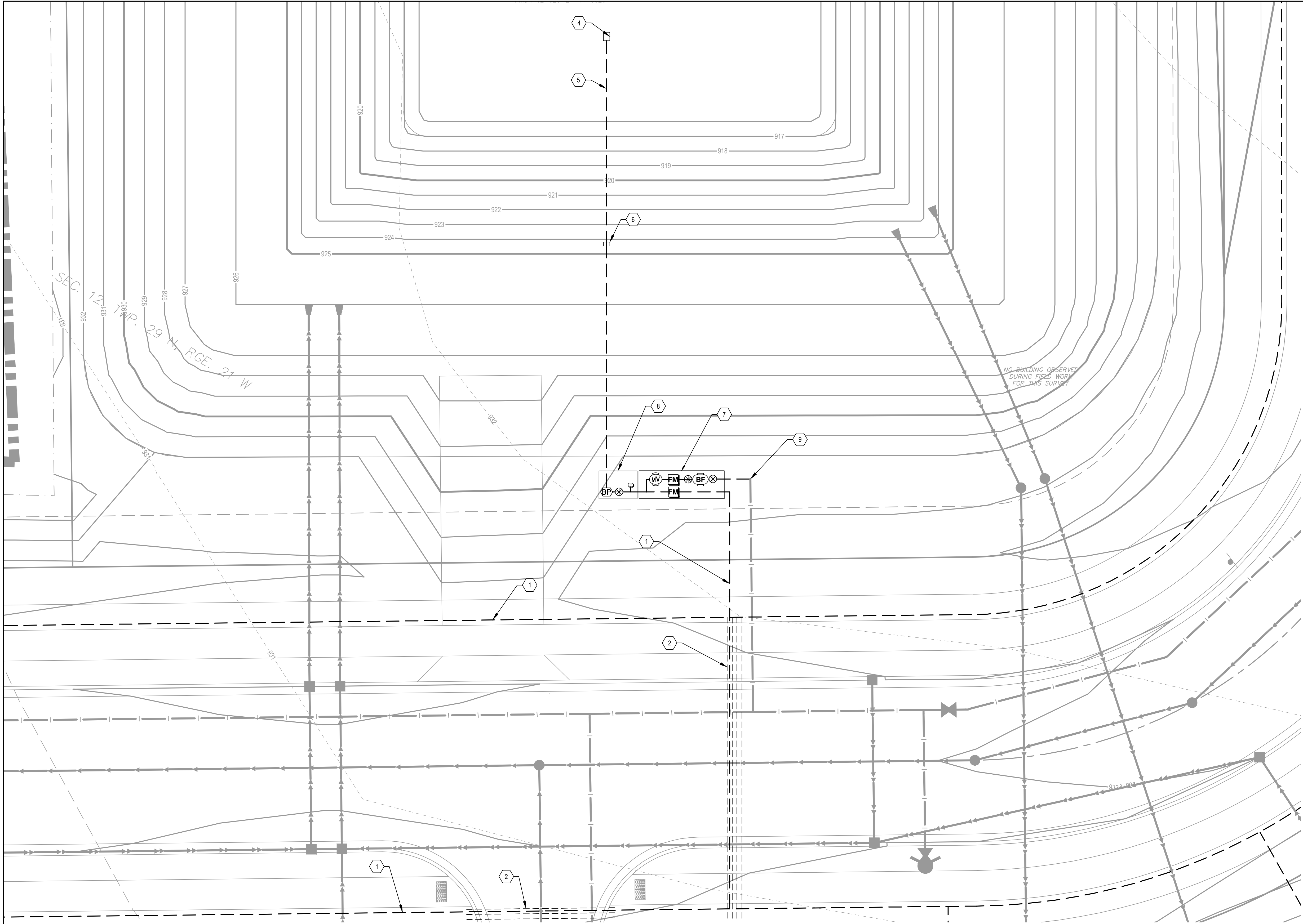
CERTIFICATION:

NOT FOR CONSTRUCTION

PROJECT NO.: 193806140		
DWN BY: JCB	CHK'D BY: MJS	APP'D BY: JCB
ISSUE DATE: 09/22/2023		
ISSUE NO.: 1		
SHEET TITLE: POND AND IRRIGATION REUSE PLAN		
SHEET NO.: C-601		

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- GENERAL NOTES:**
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 - 5.

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 2. ALL WIRE TO BE UL APPROVED FOR (CONDUIT 2"), SIZE PER MANUFACTURER'S RECOMMENDATION.
 3. ALL POWER WIRE TAPS AND CONNECTIONS TO CONFORM TO LOCAL AND STATE CODES AND TO BE PERFORMED BY A LICENSED ELECTRICIAN.
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- IRRIGATION DESIGN NOTES:**
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WWW.STANTEC.COM

CLIENT:

BRIDGEWATER BANK

BRIDGEWATER VILLAGE

LAKE ELMO MINNESOTA, WASHINGTON COUNTY

PROJECT TITLE:

DATE:	DESCRIPTION:	ISSUE NO.:
08/18/2023	30% SET FOR PRELIMINARY PRICING	0
09/22/2023	60% DESIGN FOR CITY SUBMITAL	1

CERTIFICATION:

NOT FOR CONSTRUCTION

PROJECT NO.: 193806140

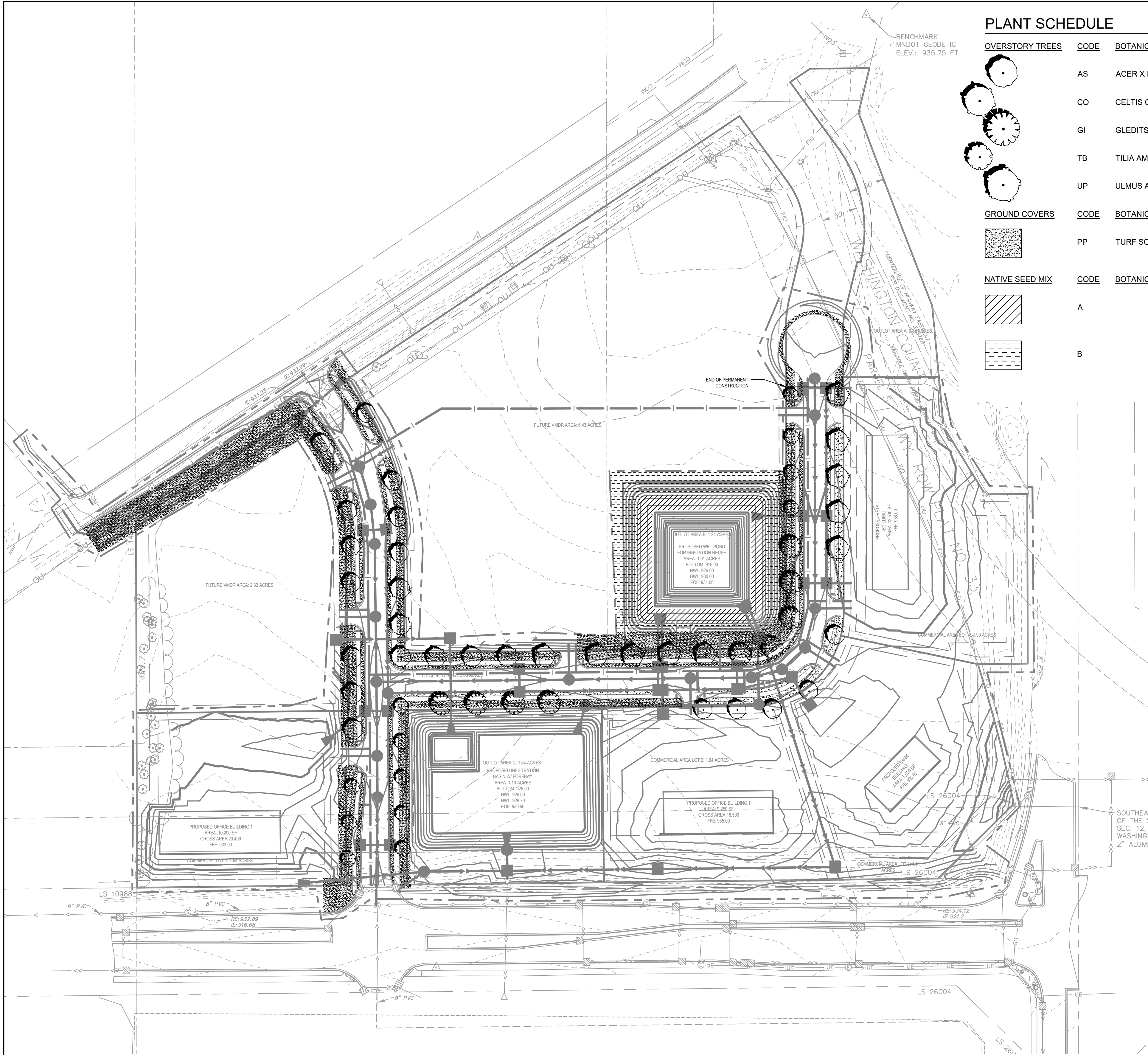
DWN BY:	CHK'D BY:	APPD BY:
JCB	MJS	JCB

ISSUE DATE: 09/22/2023

ISSUE NO.: 1

SHEET TITLE:
IRRIGATION REUSE PLAN

SHEET NO.:
C-602



PLANT SCHEDULE

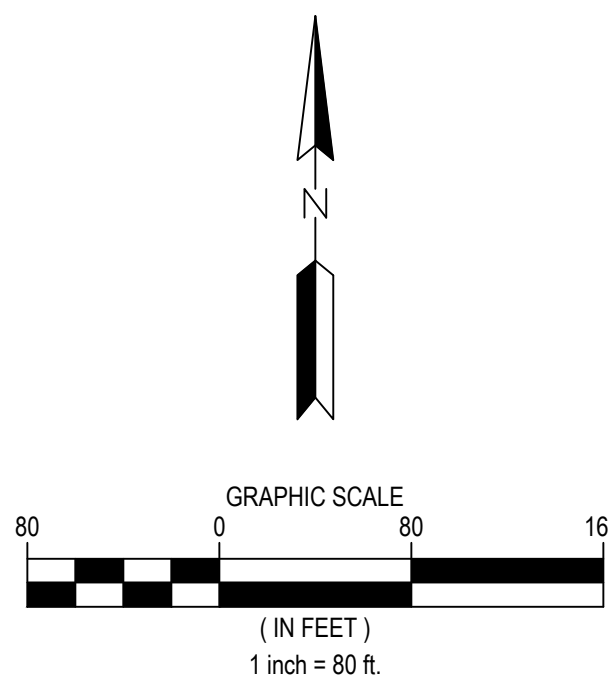
OVERSTORY TREES	CODE	BOTANICAL NAME	COMMON NAME	CONT	CAL	QTY	REMARKS
	AS	ACER X FREEMANII 'SIENNA' TM	SIENNA GLEN MAPLE	B&B	2.5"	13	
	CO	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B&B	2.5"	9	
	GI	GLEDITSIA TRIACANTHOS VAR. INERMIS 'HARVE'	NORTHERN ACCLAIM THORNLESS HONEYLOCUST	B&B	2.5"	9	
	TB	TILIA AMERICANA 'BOULEVARD'	BOULEVARD AMERICAN LINDEN	B&B	2.5"	12	
	UP	ULMUS AMERICANA 'LEWIS & CLARK'	PRAIRIE EXPEDITION ELM	B&B	2.5"	10	
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	REMARKS			
	PP	TURF SOD	LOW MAINTENANCE BLEND				
NATIVE SEED MIX	CODE	BOTANICAL NAME	COMMON NAME	REMARKS			
	A		NATIVE SEED MIX TYPE A	MNDOT #35-241 SEED MIX, SEE PLANTING NOTES.			
	B		NATIVE SEED MIX TYPE B	MNDOT #35-221 SEED MIX, SEE PLANTING NOTES.			

GENERAL NOTES

- SEE CIVIL ENGINEER'S PLANS FOR SITE PLAN LAYOUT AND DIMENSIONS
- SEE CIVIL ENGINEER'S PLANS FOR PROPOSED UTILITIES

MUNICIPAL LANDSCAPE REQUIREMENTS

- TREE LOCATIONS
 - MINIMUM 5' FROM BACK OF CURB OR EDGE OF SIDEWALK.
 - MINIMUM 10' FROM UTILITIES.
 - ONE (1) TREE PER EVERY FIFTY (50) FEET STREET FRONTAGE.



WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

CALL BEFORE YOU DIG

GOPHER STATE ONE CALL
TWIN CITY AREA: 651-454-0002
TOLL FREE 1-800-252-1166

1 CARLSON PKWY N
PLYMOUTH, MN 55447
PHONE: 763-479-4200
WWW.STANTEC.COM

CLIENT:

BRIDGEWATER BANK

PROJECT TITLE:

BRIDGEWATER VILLAGE

LAKE ELMO MINNESOTA, WASHINGTON COUNTY

DATE:	DESCRIPTION:	ISSUE NO.:
08/18/2023	30% SET FOR PRELIMINARY PRICING	0
09/22/2023	60% DESIGN FOR CITY SUBMITTAL	1

CERTIFICATION:

NOT FOR CONSTRUCTION

PROJECT NO.: 193806140

DWN BY: SAG

CHKD BY: MJS

APPD BY: JRA

ISSUE DATE: 09/22/2023

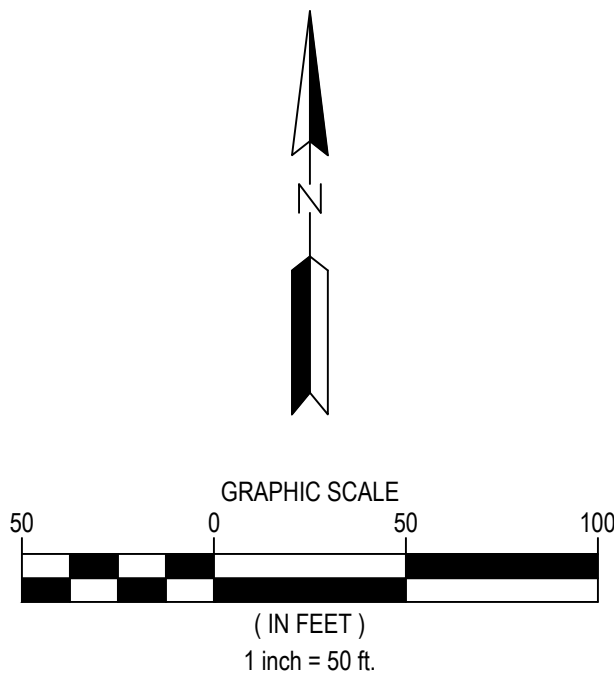
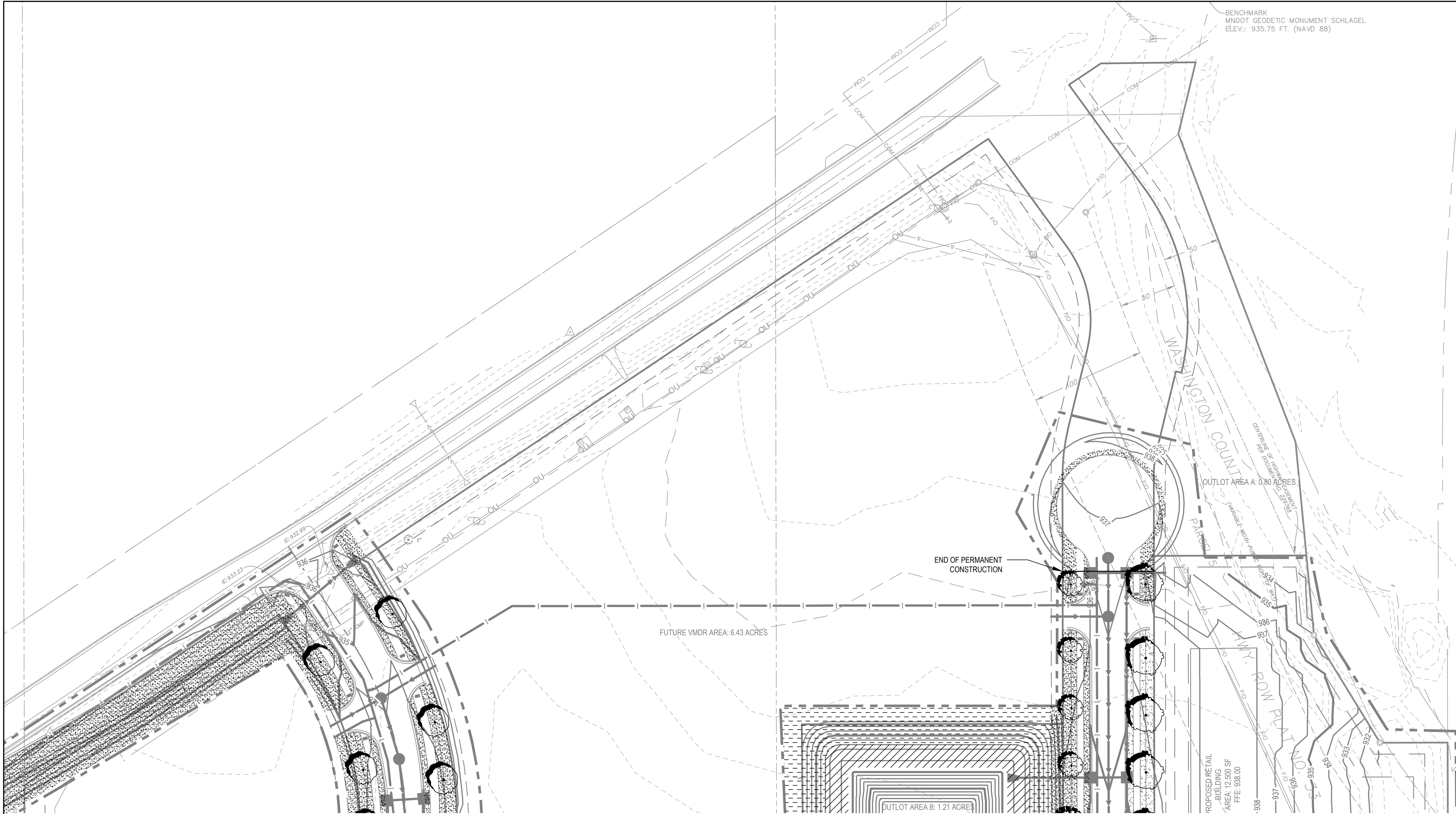
ISSUE NO.: 1

SHEET TITLE:







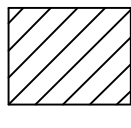
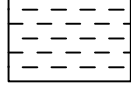
LANDSCAPE PLAN

SHEET NO.:

L-201



PLANT SCHEDULE

OVERSTORY TREES	CODE	BOTANICAL NAME
	AS	ACER X FREEMANII 'SIENNA' TM
	CO	CELTIS OCCIDENTALIS
	GI	GLEDITSIA TRIACANTHOS VAR. INERMIS 'HARVE'
	TB	TILIA AMERICANA 'BOULEVARD'
	UP	ULMUS AMERICANA 'LEWIS & CLARK'
GROUND COVERS	CODE	BOTANICAL NAME
	PP	TURF SOD
NATIVE SEED MIX	CODE	BOTANICAL NAME
	A	
	B	

SEE SHEET C-103

GENERAL NOTES

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TOLL FREE 1-800-252-1166



1 CARLSON PKWY N
PLYMOUTH, MN 55447
PHONE: 763-479-4200
WWW.STANTEC.COM

CLIENT:



BRIDGEWATER VILLAGE

LAKE ELMO MINNESOTA, WASHINGTON COUNTY

PROJECT TITLE:

ISSUE NO.:

0

1

PROJECT NO.:

193806140

DWN BY:

SAG

CHK'D BY:

MJS

APPD BY:

JRA

ISSUE DATE:

09/22/2023

ISSUE NO.:

1

SHEET TITLE:

LANDSCAPE PLAN

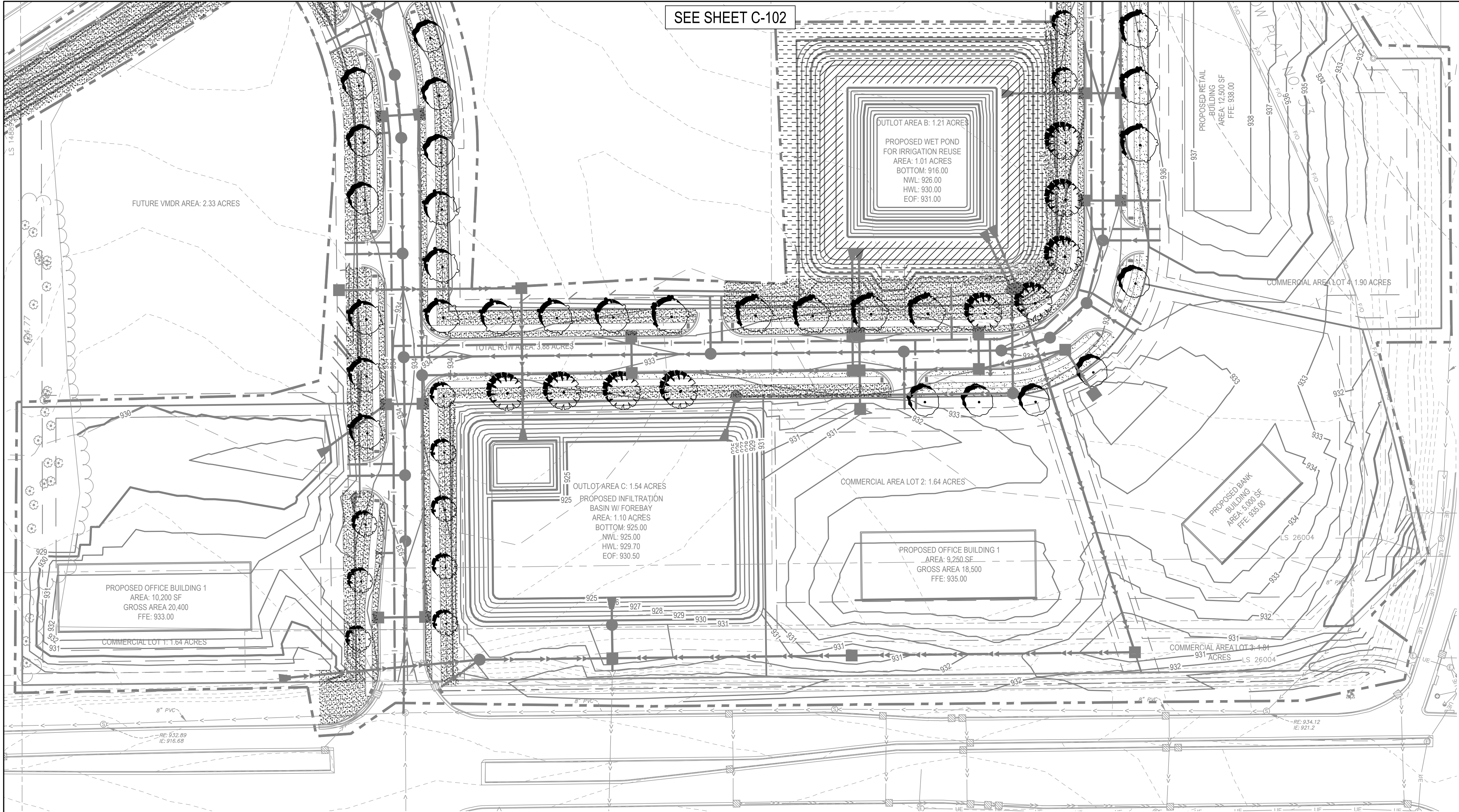
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L-202

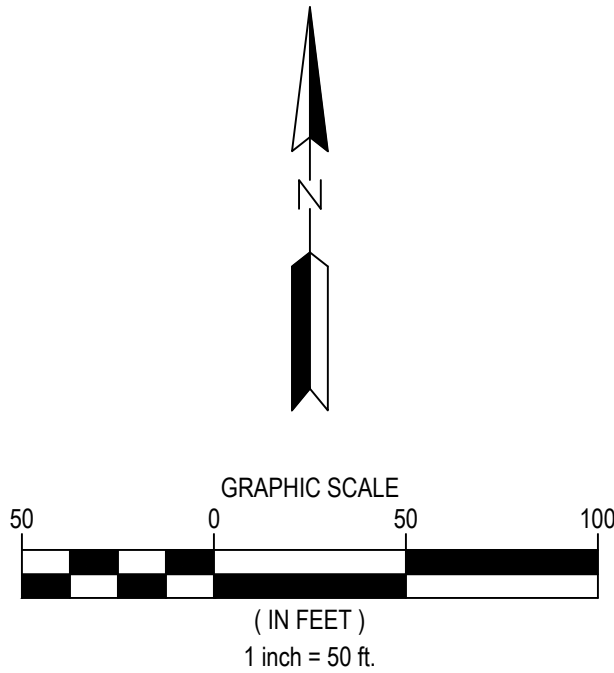
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SEE SHEET C-102



PLANT SCHEDULE

OVERSTORY TREES	CODE	BOTANICAL NAME
	AS	ACER X FREEMANII 'SIENNA' TM
	CO	CELTIS OCCIDENTALIS
	GI	GLEDITSIA TRIACANTHOS VAR. INERMIS 'HARVE'
	TB	TILIA AMERICANA 'BOULEVARD'
	UP	ULMUS AMERICANA 'LEWIS & CLARK'
GROUND COVERS	CODE	BOTANICAL NAME
	PP	TURF SOD
NATIVE SEED MIX	CODE	BOTANICAL NAME
	A	
	B	

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TOLL FREE 1-800-252-1166



1 CARLSON PKWY N
PLYMOUTH, MN 55447
PHONE: 763-479-4200
WWW.STANTEC.COM

CLIENT:



BRIDGEWATER VILLAGE

LAKE ELMO MINNESOTA, WASHINGTON COUNTY

PROJECT TITLE:

ISSUE NO.:

0

1

PROJECT NO.: 193806140

DWN BY: SAG

CHK'D BY: MJS

APPD BY: JRA

ISSUE DATE: 09/22/2023

ISSUE NO.: 1

SHEET TITLE:

LANDSCAPE PLAN

SHEET NO.:

L-203

NOT FOR CONSTRUCTION

INSPECTION AND ACCEPTANCE

- LANDSCAPE WORK WILL BE INSPECTED FOR ACCEPTANCE IN PARTS AGREEABLE TO THE OWNER, PROVIDED WORK OFFERED FOR INSPECTION IS COMPLETE, INCLUDING MAINTENANCE, FOR THE PORTION IN QUESTION.
- AT THE CONCLUSION OF THE ESTABLISHMENT PERIOD, WHICH WILL BE ONE YEAR FOLLOWING INITIAL INSTALLATION A FINAL INSPECTION OF PLANTING WILL BE MADE TO DETERMINE THE CONDITIONS OF AREAS SPECIFIED FOR LANDSCAPING.
- WHEN INSPECTED LANDSCAPE WORK DOES NOT COMPLY WITH REQUIREMENTS, REPLACE REJECTED WORK AND CONTINUE SPECIFIED MAINTENANCE UNTIL RE-INSPECTED BY OWNER AND FOUND TO BE ACCEPTABLE. REMOVE REJECTED PLANTS AND MATERIALS FROM SITE.

PLANTING NOTES

- UPON APPROVAL OF STAKING LOCATIONS CONTRACTOR SHALL EXCAVATE PLANTING HOLES CENTERED AT STAKED LOCATIONS.
- DIG HOLES AS DETAILED AND TO A DIAMETER A MINIMUM OF TWO TIMES THE DIAMETER OF THE ROOT BALL OR CONTAINER.
- REMOVE STICKS, RUBBISH, FOREIGN MATERIALS AND UNDESIRABLE PLANTS AND THEIR ROOTS. REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSIONS.
- SET BALLED AND BURLAPPED (B&B) STOCK ON LAYER OF COMPACTED PLANTING SOIL MIXTURE, PLUMB AND IN CENTER OF PIT OR TRENCH WITH TOP OF ALL AT SAME ELEVATION AS ADJACENT FINISHED LANDSCAPE GRADES.
- ROOT FLARE OF THE TREE MUST BE ABOVE FINISHED GRADE.
- CUT ALL CORDS AND TWIN AND REMOVE WIRE BASKET AND BURLAP FROM TOP AND SIDES OF BALLS; RETAIN BURLAP ON BOTTOMS.
- WHEN SET, PLACE ADDITIONAL PLANTING SOIL BACKFILL AROUND BASE AND SIDES OF BALL, AND WORK EACH LAYER TO SETTLE BACKFILL AND ELIMINATE VOIDS AND AIR POCKETS.
- WHEN EXCAVATION IS APPROXIMATELY 2/3 FULL, WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL.
- REPEAT WATERING UNTIL NO MORE IS ABSORBED. WATER AGAIN AFTER PLACING FINAL LAYER OF BACKFILL.
- FOR CONTAINER GROWN STOCK, SAME AS FOR BALLED AND BURLAPPED STOCK, EXCEPT CUT CONTAINERS ON SIDES INTO QUARTERS WITH SHEAR. REMOVE CONTAINER BEFORE SETTING PLANT SO AS NOT TO DAMAGE ROOT BALLS.
- WATER EACH PLANT WITHIN 2 HOURS OF PLANTING.
- ALL PLANTINGS TO BE MULCHED UNLESS OTHERWISE NOTED ON THE PLAN.
- PLACE 3-INCH THICKNESS OF MULCH AROUND TREES AND SHRUBS WITHIN A PERIOD OF 48 HOURS AFTER THE SECOND WATERING. DO NOT PLACE MULCH IN DIRECT CONTACT WITH TRUNKS OR STEMS.
- PLACE 3-INCH THICKNESS LOCALLY AVAILABLE DOUBLE SHRED HARD WOOD MULCH AROUND ALL TREES OUTSIDE OF PLANT BEDS.
- UNLESS OTHERWISE NOTED / INDICATED, ALL PLANT BEDS AND FOUNDATION MAINTENANCE STRIPS SHALL RECEIVE LOCALLY AVAILABLE 3" DEPTH OF 3/4" TRAP ROCK MULCH OVER WEED BARRIER FABRIC. SUBMIT MULCH SAMPLE FOR OWNER APPROVAL.

MAINTENANCE NOTES

- WHEN INSPECTED LANDSCAPE WORK DOES NOT COMPLY WITH REQUIREMENTS, REPLACE REJECTED WORK AND CONTINUE SPECIFIED MAINTENANCE UNTIL RE-INSPECTED BY OWNER AND FOUND TO BE ACCEPTABLE. REMOVE REJECTED PLANTS AND MATERIALS FROM SITE.
- BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING.
- MAINTAIN TREES AND BUSHES INCLUDING WATERING FOR ONE YEAR AFTER ACCEPTANCE BY OWNER. IT IS CONTRACTORS RESPONSIBILITY FOR COORDINATE WATERING.
- TRIM, PRUNE, REMOVE CLIPPINGS AND DEAD OR BROKEN BRANCHES, AND TREAT PRUNED AREAS AND OTHER WOUNDS.
- IT IS THE CONTRACTOR'S OPTION WHETHER OR NOT TO STAKE TREES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TREES IN AN UPRIGHT POSITION THROUGHOUT THE ONE-YEAR GUARANTEE PERIOD.

GUARANTEE AND REPLACEMENTS

- PLANT MATERIAL SHALL BE GUARANTEED FOR ONE FULL YEAR AFTER OWNER ACCEPTANCE AND SHALL BE ALIVE AND IN SATISFACTORY CONDITION AT THE END OF THE GUARANTEE PERIOD. SUCH GUARANTEE EXCLUDES VANDALISM.
- AT THE END OF THE ONE-YEAR GUARANTEE PERIOD, INSPECTION WILL BE MADE BY THE OWNER UPON WRITTEN NOTICE BY THE CONTRACTOR AT LEAST FIVE DAYS BEFORE THE ANTICIPATED DATE. ANY PLANT MATERIAL REQUIRED UNDER THE CONTRACT THAT IS DEAD OR NOT IN SATISFACTORY CONDITION, AS DETERMINED BY THE OWNER, SHALL BE REMOVED FROM THE SITE, AND SHALL BE REPLACED AS SOON AS CONDITIONS PERMIT DURING THE NORMAL PLANTING SEASONS.
- THE OPINION OF THE OWNER SHALL GOVERN IN ANY AND ALL DISPUTES BY THE CONTRACTOR REGARDING THE CONDITION AND DISPOSITION OF UNSATISFACTORY MAINTENANCE PROCEDURES OR REJECTED PLANTS.
- ALL REPLACEMENTS SHALL BE PLANT MATERIAL OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. REPLACEMENT COSTS SHALL BE BORNE BY THE CONTRACTOR.
- REPLACEMENT PLANTINGS REQUIRED AT THE END OF THE GUARANTEE PERIOD ARE NOT TO BE GUARANTEED. THE PLANT MATERIAL IS SUBJECT TO INSPECTION AND REJECTION BY THE OWNER BEFORE AND AFTER PLANTING.

LANDSCAPE NOTES

- TREES AND SHRUBS SHALL BE PROVIDED IN THE QUANTITY, SIZE, GENUS, SPECIES, AND VARIETY AS CHOSEN BY THE OWNER/OWNER AS LISTED ON THE PLANT SCHEDULE ON L-801.
- TREES AND SHRUBS SHALL BE HEALTHY, VIGOROUS STOCK, GROWN IN RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE AND FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS.
- OWNER RETAINS THE RIGHT TO INSPECT TREES AND SHRUBS FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEMS, INSECTS, INJURIES, AND LATENT DEFECTS, AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK.
- NURSERY STOCK SHALL BE DELIVERED DIRECTLY FROM NURSERY. HEEL IN IMMEDIATELY UPON DELIVERY IF NOT TO BE PLANTED WITHIN FOUR HOURS, COVERING WITH MOIST SOIL OR MULCH TO PROTECT FROM DRYING. STORE PLANTS IN SHADE AND PROTECT FROM WEATHER.
- PROTECTION FROM EXTREMES IN EXPOSURE AND ROUGH HANDLING SHALL BE PROVIDED FOR ALL PLANT MATERIALS DURING TRANSPORT AND STORAGE.
- THE CONTRACTOR SHALL NOTIFY THE OWNER 48 HOURS PRIOR TO PLANTING SO THAT A MUTUALLY AGREEABLE TIME MAY BE ARRANGED FOR INSPECTION.
- LAY OUT INDIVIDUAL TREE AND SHRUB LOCATIONS WITH STAKES CENTERED AT PROPOSED PLANTING LOCATIONS FOR APPROVAL BY OWNER.
- DO NOT START PLANTING WORK UNTIL LAYOUT IS APPROVED BY THE OWNER.
- TO ENSURE PROPER INFILTRATION THE LANDSCAPE CONTRACTOR MUST PROVE THE OPEN SUB-GRADE OF ALL PLANTING AREAS AFTER THEIR EXCAVATION IS COMPACTED LESS THAN 200 PSI. THE OWNER OR OWNER'S REPRESENTATIVE MUST BE ONSITE DURING COMPACTION TESTING.
- ALL GRADED AREAS OF THE SITE THAT ARE DESIGNATED FOR SHRUBS, TREES AND PERENNIALS SHALL HAVE NO LESS THAN 12" OF SALVAGED TOPSOIL. IF ADDITIONAL TOPSOIL NEEDS TO BE IMPORTED IT SHALL CONFORM TO MNDOT SPEC 3877.2B TOPSOIL BORROW.
- NO-MOW TURF SEED SHALL BE INSTALLED AT A DEPTH AND RATE AS SPECIFIED BY MANUFACTURER. SEED SHALL BE COVERED WITH A HYDROMULCH CONTAINING A TACKIFIER PER MndOT STANDARD SPEC FOR CONSTRUCTION 2020 EDITION, 2575.3.E.

TURF RESTORATION NOTES

- EDGE RESTRAINT BETWEEN PLANTING BEDS AND TURF SHALL BE SURE-LOC STEEL EDGING OR APPROVED EQUAL, 3/16" X 4" X16'.
- THE ESTABLISHMENT PERIOD FOR SEED AND SOD SHALL BEGIN IMMEDIATELY AFTER INSTALLATION, WITH THE APPROVAL OF THE OWNER, AND CONTINUE UNTIL THE DATE THAT THE OWNER PERFORMS A FINAL INSPECTION.
- SOD SHALL CONFORM TO MNDOT SPEC. 3878.2.A MINERAL SOD.
- FERTILIZER SHALL CONFORM TO MNDOT SPEC. 3881, TYPE 2 PHOSPHOROUS-FREE.
- FERTILIZER SHALL HAVE A FORMULA (N-P-K) AS DETERMINED BY THE RESULTS OF A SOIL TEST. CONTRACTOR TO CONDUCT SOIL TEST AND PROVIDE RESULTS ALONG WITH RECOMMENDED FERTILIZER FORMULA TO OWNER FOR REVIEW AND APPROVAL PRIOR TO APPLICATION.
- TOPSOIL SHALL BE SALVAGED, IF ADDITIONAL TOP SOIL NEEDS TO BE IMPORTED, IT SHALL CONFORM TO MNDOT SPEC. 3877.2B LOAM TOPSOIL BORROW.
- 6" OF TOP SOIL SHALL BE PLACED IN ALL SEED AND SOD AREAS. SEE LANDSCAPE NOTES FOR PLANTING AREAS.
- INSTALLATION OF SEED AND SOD SHALL OCCUR WITHIN ONE (1) WEEK OF COMPLETING THE GRADING.
- PLACE ALL SOD STRIPS WITH LONG EDGES PARALLEL TO THE CONTOURS. STAGGER ALL JOINTS ALTERNATELY WITHOUT SPACE BETWEEN. SECURE THE SOD TO SLOPES WITH BIODEGRADABLE ANCHOR SYSTEMS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR WATER DURING THE PLANTING ESTABLISHMENT PERIOD.

IRRIGATION

THE IRRIGATION SYSTEM CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING:

- COORDINATION WITH ALL OTHER TRADES.
- DETAILED DESIGN OF AN IRRIGATION SYSTEM TO INCLUDE ALL TURF SOD AND PLANT BED AREAS. DESIGN SHALL INCLUDE PIPE SIZING, HEAD SELECTION, LOCATIONS OF HEADS, ZONING, AND CONTROL SYSTEMS. DESIGN SHALL PROVIDE NO OVERSPRAY ONTO WALKS. IRRIGATION PLAN, DESIGN DETAILS AND PRODUCT SHEETS SHALL BE SUBMITTED TO THE ENGINEER AND OWNER FOR REVIEW AND APPROVAL PRIOR TO PURCHASING ANY MATERIALS.
- LABOR AND MATERIALS NECESSARY TO INSTALL A NEW IRRIGATION SYSTEM. THE IRRIGATION CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR FURNISHING AND INSTALLING THE IRRIGATION CONTROL SYSTEM ALONG WITH ANY CONNECTIONS MADE TO THE WATER SERVICE.
- TESTING OF THE COMPLETE IRRIGATION SYSTEM.
- STARTUP AND ADJUSTMENT OF THE SYSTEM.
- PROVIDE OWNER'S EMPLOYEES WITH OPERATIONAL TRAINING ONSITE AND SUBMIT OPERATION AND MAINTENANCE MANUALS FOR ALL COMPONENTS.
- AS-BUILT DRAWINGS SHOWING THE LOCATION AND FEATURES OF ALL IRRIGATION COMPONENTS.

CODES AND INSPECTION

- THE ENTIRE INSTALLATION SHALL FULLY COMPLY WITH ALL LOCAL AND STATE LAWS AND ORDINANCES AND WITH THE ESTABLISHED CODES ALLOCABLE THERETO.
- THE CONTRACTOR SHALL TAKE OUT ALL REQUIRED PERMITS, ARRANGE FOR ALL NECESSARY INSPECTION, AND PAY ANY FEES AND EXPENSES IN CONJUNCTION WITH THE SAME AS PART OF THE WORK UNDER THIS CONTRACT.

QUALITY ASSURANCE

- ALL WORK AND MATERIALS TO BE IN FULL ACCORDANCE WITH LATEST RULES AND REGULATIONS OF THE DIVISION OF INDUSTRIAL SAFETY, THE UNIFORM PLUMBING CODE, NATIONAL ELECTRIC CODE, AMERICANS WITH DISABILITIES, AND OTHER APPLICABLE LAWS OR REGULATION.
- NOTHING IN THESE DRAWINGS OR SPECIFICATIONS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.
- FURNISH, WITHOUT EXTRA CHARGE, ANY ADDITIONAL MATERIAL AND LABOR AS REQUIRED TO COMPLY WITH THESE RULES AND REGULATIONS, THOUGH THE WORK IS NOT MENTIONED IN THESE PARTICULAR CONSTRUCTION DOCUMENTS.

PROTECTION OF EXISTING CONDITIONS

- BECOME ACQUAINTED WITH ALL SITE CONDITIONS. LOCATE EXISTING UTILITIES AND EQUIPMENT TO REMAIN. SHOULD UTILITIES OR OTHER WORK NOT SHOWN ON THE DRAWINGS BE FOUND DURING EXCAVATIONS, PROMPTLY NOTIFY ENGINEER. FAILURE TO DO SO WILL MAKE CONTRACTOR LIABLE FOR ANY AND ALL DAMAGE ARISING FROM OPERATIONS SUBSEQUENT TO DISCOVERY OF SUCH UTILITIES NOT SHOWN ON DRAWINGS.
- TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING SITE CONDITIONS. REPAIR ANY DAMAGED ITEM TO ITS ORIGINAL CONDITION OR FURNISH AND INSTALL EQUIVALENT REPLACEMENT AT NO ADDITIONAL COST TO OWNER.

COORDINATION

- SCHEDULE AND COORDINATE WORK WITH OTHER TRADES TO FACILITATE WORK AND AVOID CONFLICTS IN CONSTRUCTION SEQUENCE AND EQUIPMENT INSTALLATION.
- REVIEW ENTIRE PLAN SET AND COORDINATE WITH OTHER TRADES AS REQUIRED BY SEQUENCE OF CONSTRUCTION TO ENSURE PROVISION OF MAINLINE AND ELECTRICAL CONDUIT STUB-OUTS AT ALL REQUIRED LOCATIONS.

NATIVE SEED REQUIRED MAINTENANCE - 3 YEARS

ESTABLISHMENT (SPRING SEEDING):

- PREPARE SITE - LATE APRIL - MAY.
- SEED - MAY 1 - JUNE 1

MAINTENANCE:

- MOW (6-8 INCHES) - EVERY 30 DAYS AFTER PLANTING UNTIL SEPTEMBER 30.
- WEED CONTROL - MOWING SHOULD HELP CONTROL ANNUAL WEEDS. SPOT SPRAY THISTLES ETC.

ESTABLISHMENT (FALL SEEDING):

- PREPARE SITE - LATE AUGUST - EARLY SEPTEMBER.
- SEED - LATE SEPTEMBER TO FREEZE-UP.

MAINTENANCE (FOLLOWING SEASON):

- MOW (6-8") - ONCE IN MAY, JUNE AND JULY.
- WEED CONTROL - MOWING SHOULD KEEP ANNUAL WEEDS DOWN. SPOT SPRAY THISTLES ETC.

EVALUATION:

- COVER CROP GROWING WITHIN 2 WEEKS OF PLANTING (EXCEPT DORMANT PLANTINGS).
- SEEDLINGS SPACED 1-6 APART IN DRILL ROWS.
- NATIVE GRASS SEEDLINGS MAY ONLY BE 4-6 INCHES TALL.
- IF THERE IS A FLUSH OF GROWTH FROM FOXTAIL ETC., MOW AS NECESSARY.

YEAR 2 - MAINTENANCE:

- MOW (6-8 INCHES) ONE TIME BETWEEN JUNE 1 - AUGUST 15 BEFORE WEEDS SET SEED.
- WEED CONTROL - MOWING SHOULD KEEP ANNUAL WEEDS DOWN. SPOT SPRAY THISTLES ETC.
- SOME SITES MAY NOT REQUIRE MUCH MAINTENANCE THE SECOND YEAR.

EVALUATION:

- COVER CROP WILL BE GONE UNLESS WINTER WHEAT WAS USED IN A FALL PLANTING.
- GRASSES FORMING CLUMPS 1-6 INCHES APART IN DRILL ROWS, BUT STILL SHORT.
- SOME FLOWERS SHOULD BE BLOOMING (BLACK EYED SUSANS, BERGAMOT ETC.).
- IF THERE IS A FLUSH OF GROWTH FROM FOXTAIL ETC., MOW SITE.

YEAR 3 - MAINTENANCE:

- MOW ONLY IF NECESSARY.
- WEED CONTROL - SPORT SPRAY THISTLES, ETC.
- SITES USUALLY DO NOT REQUIRE MUCH MAINTENANCE THE THIRD YEAR.

EVALUATION:

- PLANTING SHOULD BEGIN LOOKING LIKE A PRAIRIE - TALL GRASSES, FLOWERS ETC.

LONG-TERM -MAINTENANCE:

- WEED CONTROL - SPOT SPRAY THISTLES ETC.
- BURNING (3-5 YEAR ROTATION) ALTERNATE SPRING AND FALL IF POSSIBLE.
- HAYING (3-5 YEAR ROTATION) LATE SUMMER OR EARLY FALL. ALTERNATE WITH BURNING (MAY SUBSTITUTE FOR BURNING).
- BURNING TWO YEARS IN A ROW WILL REALLY "CLEAN UP" ROUGH-LOOKING SITES.



1 CARLSON PKWY N
PLYMOUTH, MN 55447
PHONE: 763-479-4200
WWW.STANTEC.COM

CLIENT:



BRIDGEWATER VILLAGE

LAKE ELMO MINNESOTA, WASHINGTON COUNTY

PROJECT TITLE:

ISSUE NO.:

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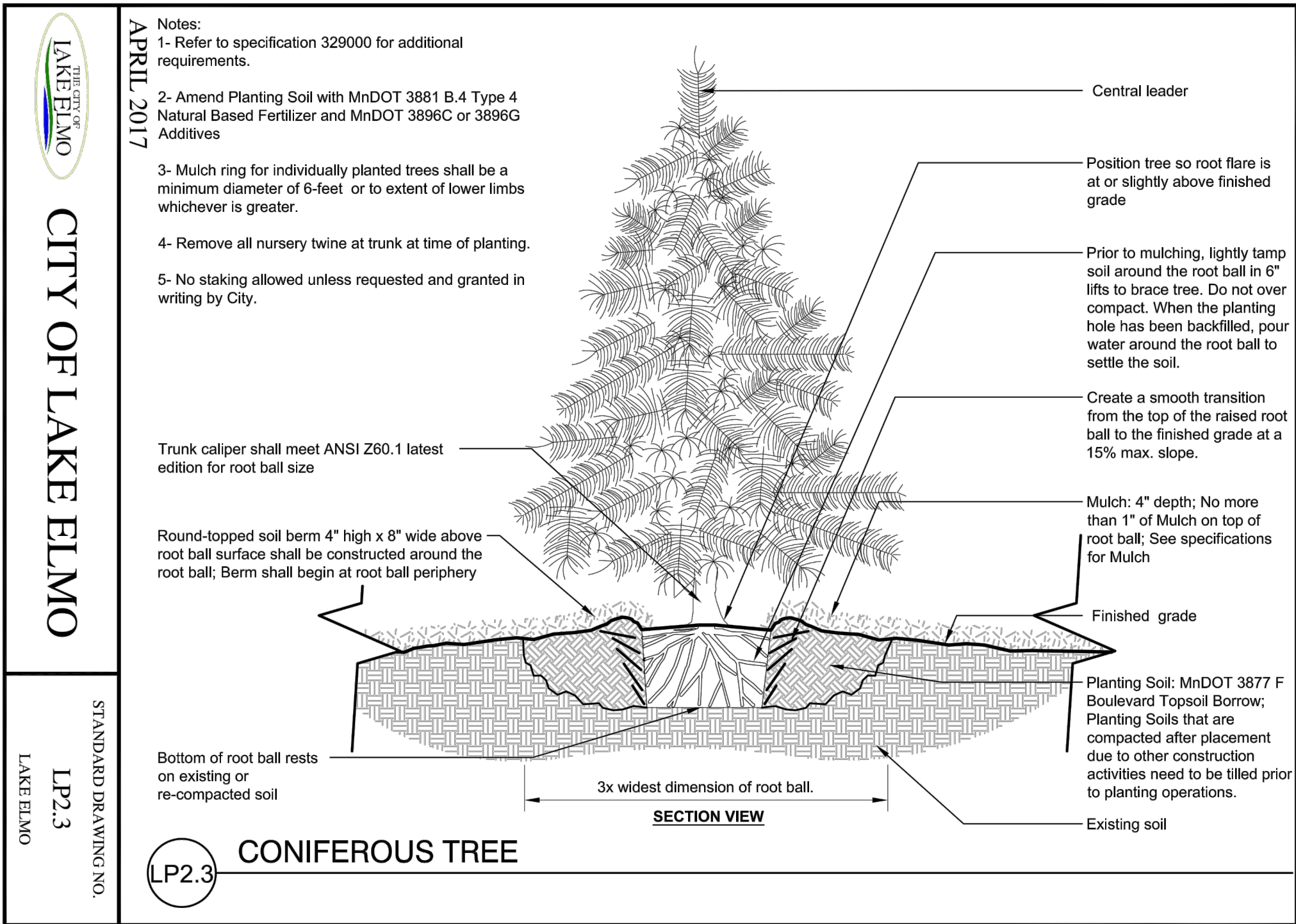
ISSUE NO.: 1

SHEET TITLE:

LANDSCAPE DETAILS

SHEET NO.:

L-801



CLIENT:



BRIDGEWATER VILLAGE

LAKE ELMO MINNESOTA, WASHINGTON COUNTY

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MEMORANDUM

FOCUS ENGINEERING, inc.

Cara Geheren, P.E. 651.300.4261
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Ryan Stempski, P.E. 651.300.4267
Chad Isakson, P.E. 651.300.4283

Date: October 10, 2023

To: Sophia Jensen, City Planner
Cc: Jennifer Faulkner, Planning Consultant
Marty Powers, Public Works Director
Chad Isakson, PE, Assistant City Engineer
From: Jack Griffin, P.E., City Engineer
Re: Bridgewater Village (PID 1202921440023)
Preliminary Plat/Plan Review

An engineering review has been completed for the Bridgewater Village (PID 1202921440023) Preliminary Plat/Plans received on September 25, 2023. The submittal consisted of the following documentation:

- Bridgewater Village ALTA/NSPS Survey dated March 29, 2023.
- Bridgewater Village Preliminary Plat dated September 14, 2023.
- Bridgewater Village Preliminary Site Plans dated September 22, 2023.
- Bridgewater Village Mixed Use Project Narrative dated September 22, 2023.
- Stormwater Management Plan dated September 22, 2023.

STATUS/FINDINGS: A condition of Preliminary Plat approval, if granted, must require the applicant to revise and resubmit Preliminary Plat/Plans to address each review comment and condition of approval to the satisfaction of City staff prior to the City accepting a Final Plat/Plan application. Engineering has prepared the following review comments to be addressed. A point-by-point response letter must accompany the plan resubmittal.

In addition, it is recommended that it be a condition of Preliminary Plat/Plan approval that all public improvements constructed to support the development must be designed and constructed in accordance with the [City Engineering Design Standards Manual dated January 2022](#), unless approved otherwise by the City Engineer. The Preliminary Plat/Plans must be revised accordingly.

PRELIMINARY PLAT/SITE PLANS

1. The Preliminary Plat/Plans are incomplete. No further plan review can be provided until plan revisions are submitted that clearly depict the overall proposed project, including an overall site plan, grading plan, and utility plan, including off-site utility and trail improvements. The overall Preliminary Plan must show the complete subdivision improvements for all proposed Lots and Outlots, including future development areas (Overall Plan).
2. Preliminary Plat approval must be contingent upon the applicant revising the Preliminary Plat/Plans to include an overall site plan, grading plan and utility plan. All design elements must be clearly labeled and dimensioned. The overall project scope of the Subdivision must be approved prior to submittal of detailed construction plans or phasing plans.
3. Revise all Preliminary Plat/Plans to include existing and proposed conditions for a distance of 150 feet beyond the proposed subdivision improvements and off-site improvements.

4. Stillwater Way Right-of-way. The Preliminary Plat/Plans show the subdivision acquiring 30-feet of public right-of-way from the City along most of Stillwater Way. Following the Plat recording, Stillwater Way will retain a consistent 45-foot right-of-way along the Plat boundary, as measured from the existing centerline. Staff review has determined that the 45-foot right-of-way is adequate.
5. Stillwater Lane Access. Site Plans must be prepared that clearly label and dimension the proposed access spacing along Stillwater Lane. Linora Avenue appears to be spaced 400 feet from Little Bluestem Trail as required. The secondary access at Linden Avenue will need to be revised to maintain a minimum 330 ft. access spacing in accordance with previous plan review comments. The Preliminary Plat and Plans must all be revised accordingly.
6. Revise the Preliminary Plat/Plans to call out Outlots A, B and C to be HOA owned. This includes the HOA providing ongoing ownership and maintenance of the stormwater management BMPs and storm water reuse irrigation system.
7. Revise the Preliminary Plat and Plans to provide a 10-foot drainage and utility easement along the public right-of-way of Stillwater Boulevard (CSAH 14) and Manning Avenue (CSAH 15) for Outlot C, Lot 1, Lot 2 and Lot 3. These dedicated easements must be shown on all site, grading, utility, and landscape plans consistent with the Preliminary Plat, and remain free from encroachments, including storm sewer pipes, retaining walls, and trees. Where existing easements are present, the 10-ft. corridors must be shown and preserved within the existing easements for small/dry utility installation.
8. G-005. Label each Typical Section as Linora Avenue North. Revise boulevard grade as 4% max.
9. G-006. Label non turn lane Typical Section as Upper 40th Street North and Linden Avenue North. Label turn lane Typical Section as Linden Avenue North. Revise boulevard grade as 4% max.
10. G-007 to G-013. Revise Linora Avenue North to include the required right turn lane at Stillwater Lane per the proposed typical section.
11. G-007 to G-013. Revise the northern two driveway accesses along Linora Avenue to be clear of the required right turn lane. Maintain driveway access alignment with each other and revise to intersect Linora Avenue at 90-degrees.
12. G-007 to G-013. Revise driveway access spacing between Lot 3 and Lot 4 to be minimum 100-ft. separation (from CL to CL).
13. G-007 Master Plan. Revise plan sheet to clearly identify the proposed Preliminary Plat/Site Plans included with the application for City review, and clearly identify future non application ghost platting.
14. Revise site plans to remove the temporary cul-de-sac and extend Linden Avenue to connect to Stillwater Way.

GRADING PLANS, STORMWATER MANAGEMENT AND STORM SEWER SYSTEM

1. The subdivision is subject to a storm water management plan meeting State, Valley Branch Watershed District (VBWD) and city rules. A VBWD permit is required. Storm water facilities proposed as part of the development to meet State and watershed permitting requirements must be constructed in accordance with the City Engineering Design Standards Manual dated January 2022.
2. The storm water management plan is required to be certified by a registered professional engineer. The SWMP must be revised accordingly and resubmitted.
3. The SWMP indicates that the site is assumed to be 75% impervious in the post development condition. The SWMP must be revised to include a table showing each proposed Lot in the subdivision and the corresponding impervious surface allowance for each Lot.
4. The storm water plan proposes stormwater reuse irrigation and infiltration to meet volume control permit requirements. City design standards require that flood management provisions be implemented for all new developments assuming no storm water reuse irrigation is operating. The SWMP must be revised to verify this design criteria.
5. All storm water basins have been placed in Outlots as required. Each Outlot must fully incorporate the 100-year HWL, 10-foot maintenance bench and all maintenance access roads. Maintenance access roads meeting city standards must be provided for all storm water facilities and structures.

6. Overland emergency overflow (EOF) elevations are required throughout the site for all ponds, storm water basins and localized low points (e.g. green space catch basin inlets). Low openings for adjacent structures must maintain 1-foot above any adjacent EOF in the as-built condition.
7. All drainage swales must be designed to meet a minimum 2% as-built grade. Design grades must exceed 2% to account for construction tolerances.
8. Preliminary plat approval must be contingent upon the 100-year HWL elevation/contour for all localized low points and catch basins being protected by drainage and utility easement dedicated on the Plat.
9. Landscaping improvements must be closely coordinated with the preparation of the construction plans to ensure that tree plantings do not encroach drainage swales, EOF flow paths, utility easements, and pond access routes.
10. C-601. Irrigation Reuse Plan. The plans must be revised to include an exhibit that clearly shows all areas designated for stormwater reuse irrigation and describes how all areas will be preserved for irrigation reuse into perpetuity.
11. C-601. Irrigation Reuse Plan. The plan must be revised to include Stormwater Reuse Notes summarizing the collection areas, irrigated areas, proposed and minimum application rates, storage volume requirements, and annual minimum irrigation requirements to comply with the VBWD permit.
12. An irrigation distribution system plan is required to show pipe routing throughout the subdivision to demonstrate a coordinated improvement plan to ensure no conflicts or encroachments with public utilities and easements, small/dry utility corridors, or required subdivision landscape improvements.
13. C-602. Revise plan scale for legibility. Label and dimension all plan details.
14. C-101 to C-103. Revise the Grading/Erosion Control Plans to provide separate grading plans and separate erosion control plans to better depict the proposed improvements. The grading plans must include all project right-of-way and easements, all labeled and dimensioned, to facilitate plan review.
15. C-101 to C-103. Revise the Grading Plans such that ALL existing and proposed contours are clearly labeled, and all line types are clearly labeled.

SANITARY SEWER AND WATERMAIN UTILITY PLANS

1. Revise Plans to include an Overall Sanitary Sewer and Watermain Utility Plan with all proposed improvements thoroughly labeled and dimensioned on the overall plan layout. Improvements MUST include all off-site work necessary to serve the development.
2. Connection to the municipal water system is available near the proposed development. The applicant will be responsible for connecting to the existing 12-inch trunk watermain at the intersection on Stillwater Way and Little Bluestem Trail, and extend the watermain into and throughout the development at developer's sole cost, and to serve each proposed parcel in the Subdivision.
3. A new 12-inch trunk watermain will be required to be extended through the property, extending from Stillwater Way south to Stillwater Boulevard and stubbed into the CSAH 14 right-of-way. A looped 8-inch watermain layout will be required within the development to serve the proposed subdivision.
4. Watermain oversizing cost reimbursement, to upsize the minimum required 8-inch watermain to the required 12-inch trunk watermain would be addressed as part of the development agreement. No additional cost reimbursement is provided for any off-site improvements nor for extending the required watermain stubs for future connection by adjacent parcels.
5. The developer will be responsible to place hydrants and water system valves internal to the site as determined by the Lake Elmo Public Works Director and Fire Department. All fire hydrants shall be owned and maintained by the city.
6. When not located within the public right-of-way, minimum 30-foot easements centered over the pipe/hydrant are required without encroachments from retaining walls, trees, other small/dry utilities, or storm water management BMPs. Easements must be dedicated to the City as part of the plat. Dedicated watermain easements must be shown on all site, grading, utility, and landscape plans. The Preliminary/Final Plat and all plan sheets must be revised to include all required utility easements.
7. C-201 to C-215. Revise plan sheets to be 1" = 50 plan scale. Plans as presented are unreviewable. Additional plan review will proceed upon receipt on revised plans.

8. Revise off-site watermain extension plans to eliminate open cut excavation along the new pavements of Stillwater Lane. Watermain layout and alignment to be detailed and approved by the City Engineer prior to the preparation of detailed plans and specifications. Show all necessary off-site easements required for the proposed extension. Off-site temporary easement agreements may be required accordingly.
9. Revise location of the south end trunk watermain stub in Linora Avenue. The watermain must be stubbed into a green space location approved by the City Engineer. The stub location must be designed to avoid all street impacts at the time of future connection.
10. Revise plans to extend watermain north along Linden Avenue and revise the 8-inch watermain loop to run along north property line of Outlot D (south Boulevard of Stillwater Lane).
11. Revise plans to extend 8-inch watermain line between Lots 2 and 3 to provide an 8-inch stub to the green space in the CSAH 14 right-of-way for future connection. Revise the easement width to accommodate both the proposed storm sewer pipe and required watermain pipe (40 feet minimum).
12. Sanitary sewer service is available to serve this property through an existing 8-inch gravity sanitary sewer. The existing sewer is located within the Stillwater Boulevard (CSAH 14) right-of-way, extending along the full length of the northern boulevard. The applicant is responsible to extend sanitary sewer into and throughout the development at developer's sole cost, and to serve each proposed parcel in the Subdivision.
13. No sanitary sewer oversizing is anticipated as part of this development.
14. All public sanitary sewer mains placed within the development will require minimum 30-foot easements centered over the pipe and be dedicated to the City as part of the final plat, if not located within a public right-of-way. Dedicated utility easements must be shown on all site, grading, utility, and landscape plans, and remain free from encroachments, including retaining walls, trees, or other small/dry utilities.

STREET AND STORM SEWER PLANS

1. C-301. Revise Plan to depict overall street and storm sewer plan with all proposed improvements clearly labeled and dimensioned including street widths, right-of-way widths and easement widths.
2. All streets are proposed to be publicly owned and maintained. Public streets must be designed to meet the City's Engineering Design Standards including right-of-way width, street width and cul-de-sac radii(s). The preliminary plat/plans propose public street widths of 32-feet located within 80-foot right-of-way. Consistent with current city standards, if approved, the streets would allow parking on both sides.
3. The proposed internal street network is well interconnected creating multiple access routes into and out of the development.
4. C-301 to C-318. Revise plan sheets to be 1" = 50 plan scale. Plans as presented are unreviewable. Additional plan review will proceed upon receipt of revised plans.
5. Revise the plans to label and identify all line types, including curb and gutter, sidewalks, trails, and easements. Revise plans to clearly depict all street geometrics. The plans must be revised such that no minimums or maximum design standards are utilized without supporting documentation. Note that City design standard minimum and maximum design criteria are measured in the as-built condition.
6. Revise the street plans to extend Linden Trail to connect to Stillwater Boulevard as part of the initial phase of development, including the extension of the 8-inch looped watermain.
7. All street intersections must be at 90 degrees and maintain 50 feet of tangent with maximum slopes of 2.5%. Residential maximum longitudinal grade is 6% with sidewalks. Minimum grade allowed is 0.5% in the as-built condition. Minimum grades cannot be used as design grades.
8. B618 curb and gutter should be provided throughout the subdivision.
9. The storm sewer system shall be designed to maintain the City standard minimum pipe cover of 3.0 feet. All storm sewer piping must be revised accordingly.
10. Drain tile is required as part of the City standard street section at all localized low points in the street. Drain tile considerations may impact the storm sewer design and depth requirements at low points. Drain tile connection inverts must be shown on the plan profiles.
11. The maximum curb run prior to a catch basin is 350 feet. Adjacent turn lane drainage should be considered accordingly.
12. Sump manholes must be installed prior to all pond inlets.

13. Pond outlet control structures per City standard details must be used for all out falls.
14. Revise all storm sewer pipe to meet the City standard minimum 15-inch pipe diameter.
15. Add storm sewer structure chart on each plan sheet including casting schedule.
16. Per City requirements all storm sewer pipe easements must be a minimum 30-feet in width with no encroachments.
17. C-315 to C-318. Label and dimension the proposed trail improvements including the trail location from back of curb and the roadway right-of-way. Add trail cross section details, pavement section details using County approved design standards.
18. Add detailed turn lane plans along Stillwater Way at Linora Avenue and Linden Avenue. Label all turn lane lengths and tapers.
19. Add detailed trail plans for the required bituminous trail along Stillwater Way and connecting to Little Bluestem Trail and the Holiday gas station trail. Add trail cross section details, pavement section details using City approved design standards per City detail 509.
20. Add Stillwater Way pedestrian crossing plans at proposed trail crossing location using raised center median.
21. C-401 to C-403. Revise all cross section plans to include all right-of-way and easement information, increase cross section scale for plan legibility, label street widths, add all sidewalks and trails, and revise all grades to meet city design standards.
22. C-501. Remove 3-way stop sign intersection at Linora Avenue and Upper 40th Street by removing the 2 stop signs along Linora Avenue.
23. C-501. Add city standard street lights at all intersections and add call-out for fixture and light pole type as Xcel Evans Fixture (Black) and Street Light Pole: 25-ft Fluted Black Aluminum Pole.

MEMORANDUM

TO: Sophia Jensen
FROM: Sarah Evenson, PLA
DATE: 10/09/2023
RE: City of Lake Elmo Landscape Plan Review | Bridgewater Village

Bridgewater Village

Submittals

1. Northshore Development Submittal Dated 3/16/2023, received 4/6/2023.
2. Northshore Development Sketch Plan Resubmittal dated 6/16/23, received 6/26/2023.
3. Bridgewater Village CUP Application dated 9/22/23, received 9/25/2023.

Review History

Initial sketch plan review April 17, 2023.

Revised sketch plan review July 11, 2023.

Landscape plan review October 9, 2023.

Location: West of Manning Avenue N, south of Stillwater Way N, north Stillwater Blvd N.

Current Land Use Category: Commercial and V-MDR

Adjacent and Surrounding Land Use: Commercial to the east, V-MDR to the north, V-MDR to the south and west

Special Landscape Provisions in addition to the zoning code: none

Tree Preservation: [105. 12. 470](#)

- A tree preservation plan was submitted that generally meets the requirements, but requires the following adjustments prior to approval:
 - Amend the tree inventory to also list the health (good, fair, poor) of all existing significant trees in its own column
 - Graphically represent the estimated extent of the tree canopy of all trees to be protected, and ensure that the tree protection fencing shown is placed outside the Critical Root Zone (CRZ) of each tree.

Landscape Requirements: [105.12.480](#)

- The landscape plan will need to be updated prior to approval, and needs to show:
 - Tree protection fencing around trees to be preserved
 - A plant schedule that includes estimated spread at planting and at maturity
 - Ground cover materials for all areas proposed to be disturbed
 - Provisions for irrigation
 - A topsoil preservation plan, including stockpile location, and calculations that a sufficient amount of topsoil will be set aside to restore the site to a depth of 4" (see 105.12.480 (a) (9) and (h) for additional detail)
- Outline the required number of trees per code in a table or note on the sheet:
 - Provide a measurement for the linear feet of street frontage to ensure that the proposed number of trees meets the 1 tree per 50 feet of street frontage required by code.
 - Include the area measurement for number of acres disturbed by this phase of development. Five trees are required for every one acre of land disturbed.
- The current plant schedule does not meet the minimum tree composition requirements. At least 25% of the proposed trees need to be coniferous.

Recommendation:

Revise and resubmit tree preservation and landscape plans per the guidance provided in this memo in order to satisfy code requirements.

Hoisington Koegler Group, Inc.



Sarah Evenson, PLA (MN)

City of Lake Elmo Municipal Landscape Architect

P: (262) 391-7653

E: Sarah@hkgi.com

LAKE ELMO FIRE DEPARTMENT – OFFICE OF THE FIRE MARSHAL

Fire Prevention, Code Enforcement, and Public Education



September 28, 2023

Sophia Jensen, Planner
City of Lake Elmo

Re: Bridgewater Village, PID 1202921440023, Application Review

Prepared by: Anthony Svoboda, Fire Marshal

Approved by: Dustin Kalis, Fire Chief

Applicable Codes:

- 2020 Minnesota State Fire Code
- 2020 Minnesota State Building Code
- Lake Elmo Fire Department Fire Code Policies
- NFPA 13, 2016 edition
- NFPA 13D, 2016 edition

Fire Department Comments:

- 1) All roads and drive lanes shall meet the Lake Elmo Fire Department requirements for widths and turning radiuses.
- 2) Approved fire apparatus roads shall be provided and maintained throughout all development phases in coordination with engineering, public works, planning, and fire departments.
- 3) Project construction phasing shall accommodate emergency access to the entire construction zone at all times, generally meaning two separate means of entrance/exit as defined in the code. Phasing plan to be approved by the fire department prior to construction.
- 4) An approved signage and marking plan shall be determined for all No Parking and Fire Lane access roads. On-street parking shall be provided in approved locations following review by Engineering and Public Works. Parking shall be prohibited on both sides of private drive lanes.
- 5) Street names and addressing shall be consistent with the Washington County Uniform Street Naming and Property Numbering System. *Street names proposed on document are acceptable.*
- 6) Fire hydrants shall be provided in approved locations following review by Engineering and Public Works.

LAKE ELMO FIRE DEPARTMENT – OFFICE OF THE FIRE MARSHAL

Fire Prevention, Code Enforcement, and Public Education



- 7) Building address numbers shall be plainly visible from the street fronting the property and shall be contrasting color from the background. Size and placement of address numbers shall be approved by the fire and planning departments.
- 8) Fire sprinkler systems shall be installed in the townhome buildings compliant with provisions of the 2016 NFPA Standard 13D, Installation of Sprinkler Systems in One- and Two-Family Dwellings or IRC P2904. City permit required prior to initiation of work. A permit is required prior to work.
- 9) A fire sprinkler system shall be installed in commercial buildings in accordance with the Minnesota State Fire Code and Chapter 1306 of the Minnesota State Building Code. A permit is required prior to work.
 - a. Fire Department sprinkler connection locations to be approved prior to installation.
- 10) A fire alarm system shall be installed in commercial buildings in accordance with the Minnesota State Fire Code and Lake Elmo Ordinances. A permit is required prior to work.
- 11) A KNOX rapid access lockbox shall be installed *in an approved location*, on all commercial buildings.
- 12) KNOX locking Fire Department Connection Caps shall be installed on all fire department connections.
- 13) All parking areas shall be capable of supporting the imposed load of fire apparatus weighing up to 75,000 pounds.

Questions, clarifications, or the request to provide code documents can be made using the contact information listed below.

Respectfully,

Anthony Svoboda



Anthony Svoboda | Assistant Chief

Lake Elmo Fire Department

Fire Station #1 - 3510 Laverne Ave N. | Lake Elmo, MN | 55042

651-747-3907 office | www.lakeelmo.org



PUBLIC WORKS

Wayne Sandberg, P.E., Director, County Engineer
Frank D. Ticknor, P.E., Deputy Director

October 6, 2023

Sophia Jensen
City Planner
City of Lake Elmo
3880 Laverne Avenue
Lake Elmo, MN 55042

Comments on Bridgewater Preliminary Plat Application on CSAH 14 & 15

Dear Sophia Jensen,

Thank you for the opportunity to review and comment on the Bridgewater Preliminary Plat on CSAH 14 & 15. We are grateful for the City of Lake Elmo's partnership on this project. Our development review team has reviewed the plans and offers the following comments:

It is appreciated that the developer has revised their plans based on the past County Comments. The updated site plans have removed the driveway access point off CSAH 15, which connected to the Holiday South Driveway to the north. The County supports the access points to the site on Stillwater Way N and CSAH 14 (Stillwater Blvd). These connections eliminate the need for a connection CSAH 15.

A trail connection that connects the existing trail along CSAH 15 to the new proposed access to the west would improve pedestrian connectivity in the area. The current proposal has a trail along CSAH 14 ending at the access point. We recommend that, at a minimum, the developer install the trail to the edge of their property along CSAH 14. It would be a great addition to get the trail installed to connect to Stillwater Way to the west. The boulevard has already been graded, and this would connect the trail all the way to downtown Lake Elmo. Additionally, we recommend that the developer connect the trail with the internal sidewalk network on the site such that trail users may access the businesses without overly circuitous routing.

Washington County's policy is to assist local governments in promoting compatibility between land use and highways. Residential uses located adjacent to highways often result in complaints about traffic noise. Traffic noise from this highway could exceed noise standards established by the Minnesota Pollution Control Agency (MPCA), the U.S. Department of Housing and Urban Development, and the U.S. Department of Transportation. Minnesota Rule 7030.0030 states that municipalities are responsible for taking all reasonable measures to prevent land use activities listed in the MPCA's Noise Area Classification (NAC), where the establishment of the land use would result in violations of established noise standards. Minnesota Statute 116.07, Subpart 2a exempts County Roads and County State Aid Highways from noise thresholds. County policy regarding development adjacent to existing highways prohibits the expenditure of highway funds for noise mitigation measures. The developer should assess the noise situation and take any action outside of County right of way deemed necessary to minimize the impact of any highway noise.

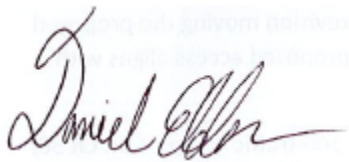
A Right of Way Permit will be required for any work within the County highway right of way as it relates to the development. As the development progresses, a plan set will be required with the application and include any grading, culvert installation, water and sewer services, parallel trail development, signage, and any landscaping and other improvements within the County right of way.

Additionally, the developer or the City will need to submit a drainage report and calculations for review of any downstream impacts to the county drainage system. Along with the drainage calculations, we will request written conclusions that the volume and rate of stormwater run-off into the county right of way will stay the same as part of the project.

All utility connections to County highway right of way for the development require Washington County Right of Way permits. Typically, these utility connection permits are the responsibility of the utility companies.

Thank you again for the opportunity to provide comments on the preliminary plat for Bridgewater. We look forward to continuing to work with you and the City of Lake Elmo to ensure that development in this area is successful and well-served by the transportation network. Thank you again for this opportunity to comment on the plans for the project. If you have any questions, please get in touch with me at 651-430-4307 or daniel.elder@co.washington.mn.us

Sincerely,

A handwritten signature in dark ink, appearing to read "Daniel Elder", with a stylized flourish at the end.

Daniel Elder
Planner II

Cc (email only):

Wayne Sandberg, Public Works Director/County Engineer
Frank Ticknor, Deputy Director Public Works
Lyssa Leitner, Public Works Planning Director
Joe Gustafson, Traffic Engineer
Kevin Peterson, Design Engineer

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