

Date Received: _____
Received By: _____
Permit #: _____



651-747-3900
3880 Laverne Avenue North
Lake Elmo, MN 55042

CONDITIONAL USE PERMIT APPLICATION

Property Owner: Davis Estates LTD

Address: 6901 Jersey Ridge Rd Davenport IA 52807

Phone #: (515) 288-2500 (Legal)

Email Address: ahubler@ksu.net

Fee Owner: Same as Above

Address: _____

Phone #: _____

Email Address: _____

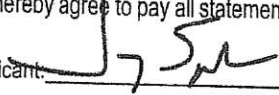
Property Address: 8565 EAGLE POINT CIR, CITY OF LAKE ELMO

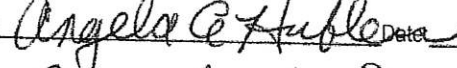
PID#: 3302921430008

Engineer Name and Email: N/A

Detailed Reason for Request: Convert Karmussen College building into
a daycare center

In signing this application, I hereby acknowledge that I have read and fully understand the applicable provisions of the Zoning ordinance and current administrative procedures. I further acknowledge the fee explanation as outlined in the application procedures and hereby agree to pay all statements received from the City pertaining to additional application expense.

Signature of applicant:  Date: 2/12/2025

Signature of property owner:  Date: 2/12/2025
President, Davis Estates Ltd




Lake Elmo City Hall
651-747-3900
3800 Laverne Avenue North
Lake Elmo, MN 55042

AFFIRMATION OF SUFFICIENT INTEREST

I hereby affirm that **I am the fee title owner** of the below described property or that I have written authorization from the owner to pursue the described action.

Name of applicant MEP Lino Lakes LLC -- Applicant
(Please Print)

Street address/legal description of subject property 8565 Eagle Pt Circle Lake Elmo



Signature

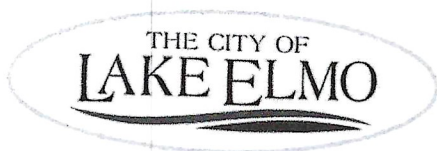
2/20/2025

Date

If you are not the fee owner, attach another copy of this form which has been completed by the fee owner or a copy of your authorization to pursue this action.

If a corporation is fee title holder, attach a copy of the resolution of the Board of Directors authorizing this action.

If a joint venture or partnership is the fee owner, attach a copy of agreement authorizing this action on behalf of the joint venture or partnership.



Lake Elmo City Hall
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Lake Elmo, MN 55042

ACKNOWLEDGEMENT OF RESPONSIBILITY

This is to certify that I am making application for the described action by the City and that I am responsible for complying with all City requirements with regard to this request. This application should be processed in my name and I am the party whom the City should contact regarding any matter pertaining to this application.

I have read and understand the instructions supplied for processing this application. The documents and/or information I have submitted are true and correct to the best of my knowledge. I will keep myself informed of the deadlines for submission of material and of the progress of this application.

I understand that this application may be reviewed by City staff and consultants. I further understand that additional information, including, but not limited to, traffic analysis and expert testimony may be required for review of this application. I agree to pay to the City upon demand, expenses, determined by the City, that the City incurs in reviewing this application and shall provide an escrow deposit to the City in an amount to be determined by the City. Said expenses shall include, but are not limited to, staff time, engineering, legal expenses and other consultant expenses.

I agree to allow access by City personnel to the property for purposes of review of my application.

Signature of applicant

Date

2/20/15

Name of applicant

Jeremy Spawke
(Please Print)

Phone

612-501-1493

~~For Lake Elmo~~ Lake Elmo

Name and address of Contact (if other than applicant)



Lake Elmo City Hall
651-747-3900
3800 Laverne Avenue North
Lake Elmo, MN 55042

AFFIRMATION OF SUFFICIENT INTEREST

I hereby affirm that **I am the fee title owner** of the below described property or that I have written authorization from the owner to pursue the described action.

Name of applicant Angela E. Hubler, President, Davis
(Please Print) Estates Ltd.

Street address/legal description of subject property
8565 Eagle Pt Circle
City of Lake Elmo

Angela E. Hubler
Signature

2/12/2025
Date

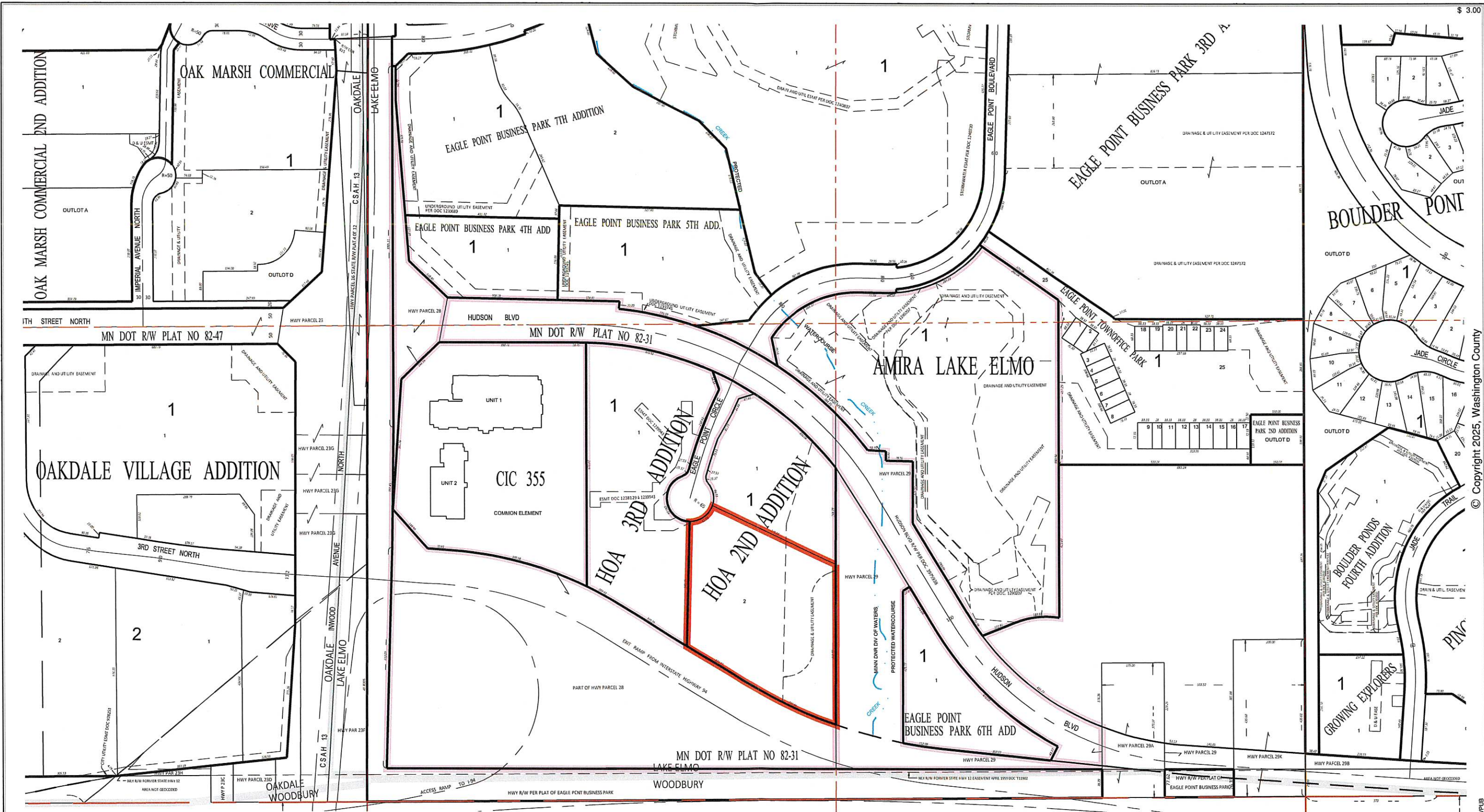
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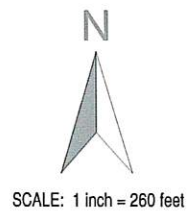
Parcel Search: February 19, 2025 at 9:28 a.m. by SURVPUB
350 feet surrounding 3302921430008. 10 parcels, 8 labels.

3302921430007
3302921430008
3302921430011
3302921430012
3302921430013
3302921430014
3302921440037
3302921440038
3302921440039
3302921440042



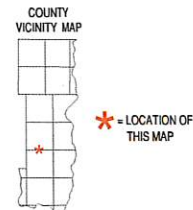
Washington County
PUBLIC WORKS DEPARTMENT
SURVEY DIVISION
11660 Myron Road North
Stillwater, Minnesota 55082
(651) 430-4300
PublicWorks@washingtoncountymn.gov
www.washingtoncountymn.gov/548/Survey

- LEGEND**
- DNR PROTECTED WATERS
 - DNR PROTECTED WETLAND
 - DNR PROTECTED WATERCOURSE
 - MUNICIPAL BOUNDARY
 - PARK BOUNDARY



SECTION-TOWNSHIP-RANGE INDEX

2902921	2802921	2702921
3202921	3302921	3402921
0502821	0402821	0302821



SECTION VICINITY MAP

22	21	12	11
NW		NE	
23	24	13	14
32	31	42	41
SW		SE	
33	34	43	44

PROPERTY IDENTIFICATION NUMBER FORMAT (GEOCODE)

SECTION NUMBER	TOWNSHIP NUMBER	RANGE NUMBER	QUARTER NUMBER	SPECIFIC PARCEL
##	##	##	##	####

(0001) = LAST FOUR DIGITS OF PROPERTY IDENTIFICATION NUMBER


THIS DRAWING IS THE RESULT OF A COMPILATION AND REPRODUCTION OF LAND RECORDS AS THEY APPEAR IN VARIOUS WASHINGTON COUNTY OFFICES. WASHINGTON COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES.
PROPERTY LINES AS SHOWN ARE FOR REFERENCE PURPOSES AND MAY NOT REPRESENT ACTUAL LOCATIONS.
MAP LAST UPDATED: January 23, 2025
NO ADDITIONAL CHANGES HAVE BEEN REPORTED TO DATE
DATE OF CONTOURS: November, 2011 DATE OF PHOTOGRAPHY: None

Signature Page to Real Estate Purchase and Sale Agreement

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to have been executed and delivered as of the date indicated by each signature below.


Purchaser:

MEP LINO LAKES LLC, a Minnesota limited liability company

By: 
Name: Jeremy Spaude
Title: Managing Director
Date: February 19, 2025

Purchaser:

DAVIS ESTATES LTD., an Iowa corporation

By: 
Name: Angela E. Hubler
Title: President
Date: 2/20, 2025

Milestones Written Statements

2.A. Applicant - Jeremy Spaude (612) 501-1493, Jeremy_nslc@yahoo.com
6004 Pelican Way College Grove TN 37046

Owner Owner - Davis Estates LTD ahubler@ksu.edu
6901 Jersey Ridge Rd. Davenport, IA 52807

Architect Michael Thomas (651) 245-2346 mjtallc2520@gmail.com
4918 S Tri Oak Circle NE East Bethel MN 55092

2B. **Address:** 8565 EAGLE POINT CIR, CITY OF LAKE ELMO

Acres: 4.1

Square Footage: 178,904

Parcel ID: 3302921430008

Class Code 1: 300 Commercial

Plat Name: HOA 2ND ADD

Block: 1

Lot: 2

2C. - The current building is vacant but was previously used by Rasmussen as a satellite location for their college. We have discussed the project with city staff previous to application and childcare fits as a conditional use on the site.

2D:

- i. The site/building is a great use for early childhood. The current site has an abundance of parking and with our design we will replace sections of paving with playground as shown in the plans. There will be no change to the flow of traffic on the site as the bulk of the parking will remain in place with plenty of room to do turnarounds. In removing some of the parking, we will create some additional green areas and reduce the overall impervious surface on the site. We will be removing 3 trees and 4 shrubs as part of the playground

layouts but plan to replant 3 trees in place of the 3 removed on the south side of the property.

We will have no impact on the surrounding wetlands or buildings as we are not adding any additional buildings to the site. If anything, we will be removing some of the runoff to the wetlands which will be an improvement over the current set up.

- ii. The daycare will operate from 7am-6pm similar to our other location in Lake Elmo. We will have north of 30 staff at one time on site teaching upwards of 220 kids. We do not create a lot of disruption as our prime drop off time is from 7-9am and pick up 4-6 with limited traffic at any given time as traffic is consistent but not significant at any given time.

2E.

- i. Our programs are a benefit to the community and in this location is a perfect use as we are a destination as well as this site is set back from roadways and off the normal track of traffic.
- ii. This site is in a School district with this use as a conditional use in the district. We are supporting the growth of Lake Elmo and surrounding communities by bringing in a key need in the market for more affordable care that is higher in quality.
- iii. The use is a compliment to the area with office and other uses around it as people can drop off near work. This location is also near main roadways that families travel to get to work.

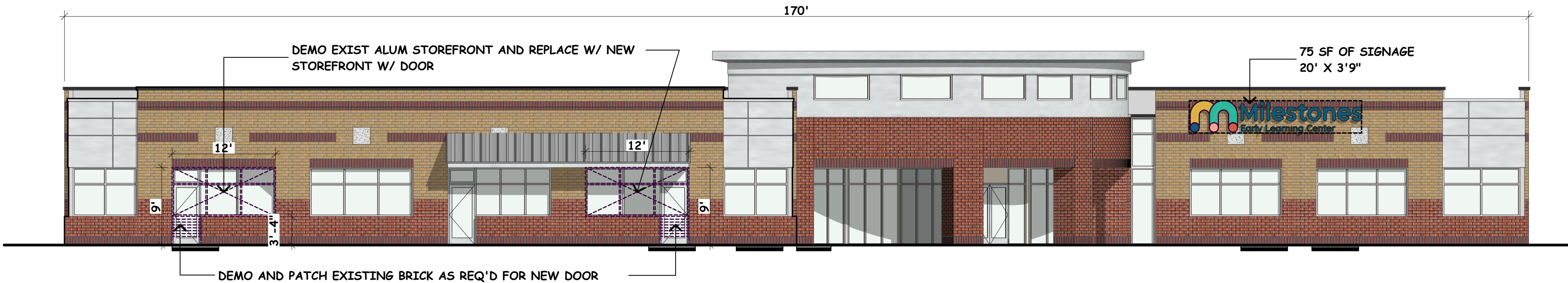
SCALE INDICATED BASED UPON PRINTED 24" X 36" (ARCHITECTURAL D) SHEET



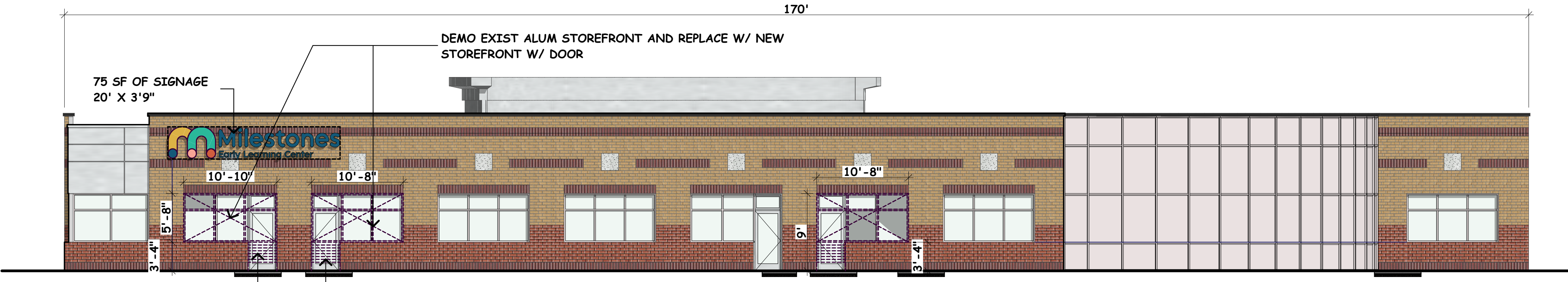
4 Existing East Exterior Elevation
SCALE: 1/8" = 1'-0"



3 Existing West Exterior Elevation
SCALE: 1/8" = 1'-0"



2 Existing North Exterior Elevation
SCALE: 1/8" = 1'-0"



1 Existing South Exterior Elevation
SCALE: 1/8" = 1'-0"



SHEET INDEX	Date Issued
Cover Sheet	
A0.0 Cover Sheet	04-02-25
A0.1 Exist Site Survey	04-02-25
A0.2 Existing Site Plan	04-02-25
A0.3 Proposed Site Plan	04-02-25
A0.4 Lanscape & Turf Plan	04-02-25
Architectural General	
A0.5 Code Information	04-02-25
A0.6 Room Finish Schedule	Not Issued
A0.7 Door Schedule & Types	Not Issued
A0.8 Outline Specifications	Not Issued
Architectural Plans	
A1.0 First Story Demolition Plan	04-02-25
A1.1 First Story New Floor Plan	04-02-25
A1.2 Frist Story Demo & New	Not Issued
A1.3 Enlarged Floor Plan - North Wing	Not Issued
A1.4 Enlarged Plans - Reception Area	Not Issued
A1.5 Enlarged Floor Plan - Sport Court Area	Not Issued
A1.6 Enlarged Floor Plan - West Wing (South)	Not Issued
A1.7 Enlarged Floor Plan - West Wing (North)	Not Issued
Architectural Reflected Ceiling Plans	
A7.0 Existing Ceiling Plan	Not Issued
A7.1 Reflected Ceiling Plan - First Story - New	Not Issued
Interior Details	
A8.1 Interior Elevations	Not Issued
A8.2 Interior Elevations	Not Issued
A8.3 Interior Elevations	Not Issued
A8.4 Interior Elevations	Not Issued
A8.5 First Story FFE & Floor Finish Plan	Not Issued
Mechanical, Electrical, & Plumbing (MEP)	
E1.0 First Story Elec Power & Low Voltage Plan	Not Issued
MEP Existing HVAC Plan	Not Issued

GENERAL NOTES

1. This is an invited, general contractor, open-book, lump sum contract/ bidded project.

2. This is a Design/Build Mechanical Electrical & Plumbing (ME) project. The applicable subcontractor will include the design, materials, and labor for their work per the outline specifications and plans herein. The GC's bid must include will be clear narrative for the Design/Build MEP scopes of work.

DEFERRED MEP SUBMITTALS LIST:

a. Plumbing Fixture List/ Cut Sheets

b. Plumbing Isometric Plan(s)

c. Electrical Light Fixture Cut Sheets

d. HVAC Plans, Specifications, Equipment Cut Sheets

e. Fire Supression/ Spinkler System Shop Drawings

PROJECT TEAM

ARCHITECT

Michael J. Thomas Architect, LLC

4918 S. Tri Oak Circle NE

East Bethel, MN 55092

651-245-2346

mjtallc2520@gmail.com

www.michaeljthomasarchitect.com

OWNER

Milestones Early Learning Cenger

Jennifer Schultz: 612-501-8255

Jeremy Spaude: 612-501-1493

GENERAL CONTRACTOR

GDS Design Build

Gail Schuette 612-616-2616



4918 S. Tri Oak Circle NE
East Bethel, MN 55092
Phone: 651-245-2346
Email: mjtallc2520@gmail.com
Web:michaeljthomasarchitect.com



Project No:
25004

Date Last Revised:
02-11-25, 02-18-25, 02-19-25,
02-20-25, 02-24-25, 02-26-25,
02-27-25, 03-25-25, 03-29-25,
04-02-25

File Name:
25004 Milestones Woodbury_Lake
Elmo 04-02-25 A0.0.pln

Drawn By:
MJT

Minnesota License No.:
23592

Date Signed:
02-27-25

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature

Michael J. Thomas

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COVER SHEET

Milestones Early Learning Center
Adaptive Reuse - Rehabilitation
of the Existing Rasmussen University Building

8565 Eagle Point Circle
Lake Elmo, MN 55042

A0.0

SCALE INDICATED BASED UPON PRINTED 24" X 36" (ARCHITECTURAL D) SHEET

KEY TO SITE SYMBOLS AND HATCHING

- = Concrete curb & gutter demolished
- = Existing concrete walk to remain
- = New concrete walk (or curb & gutter)
- = New pervious synthetic turf
- = New, natural pervious turf (grass)
- = Existing tree to remain
- = Existing tree/ shrub demolished
- = New tree
- = CRZ Tree Preservation Fencing

Milestones visual identity

Logos

Our logo is a mark that identifies the organization and its mission.

Colors

Our color palette is based on the organization's mission and values.

Typography

Our typography is based on the organization's mission and values.

Monogram

Our monogram is based on the organization's mission and values.

Supporting graphics

Our supporting graphics are based on the organization's mission and values.

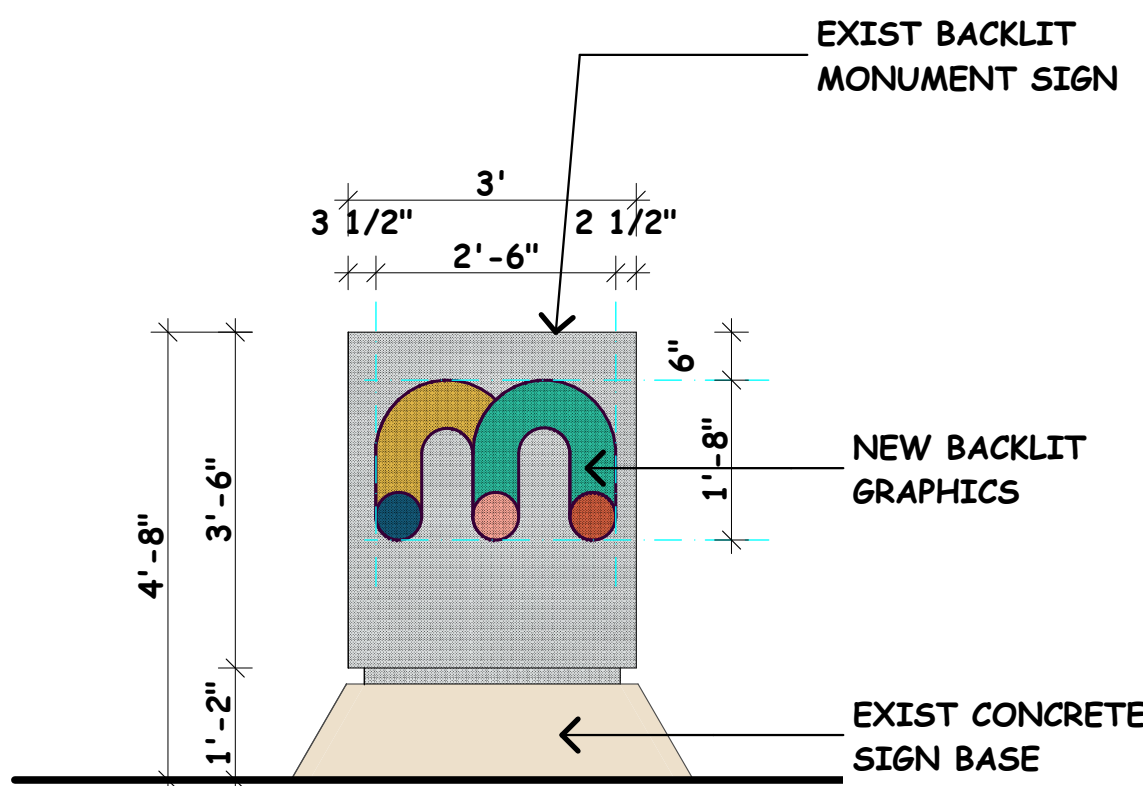
4 Milestones Branding Guide

SCALE: 1/2" = 1'-0"



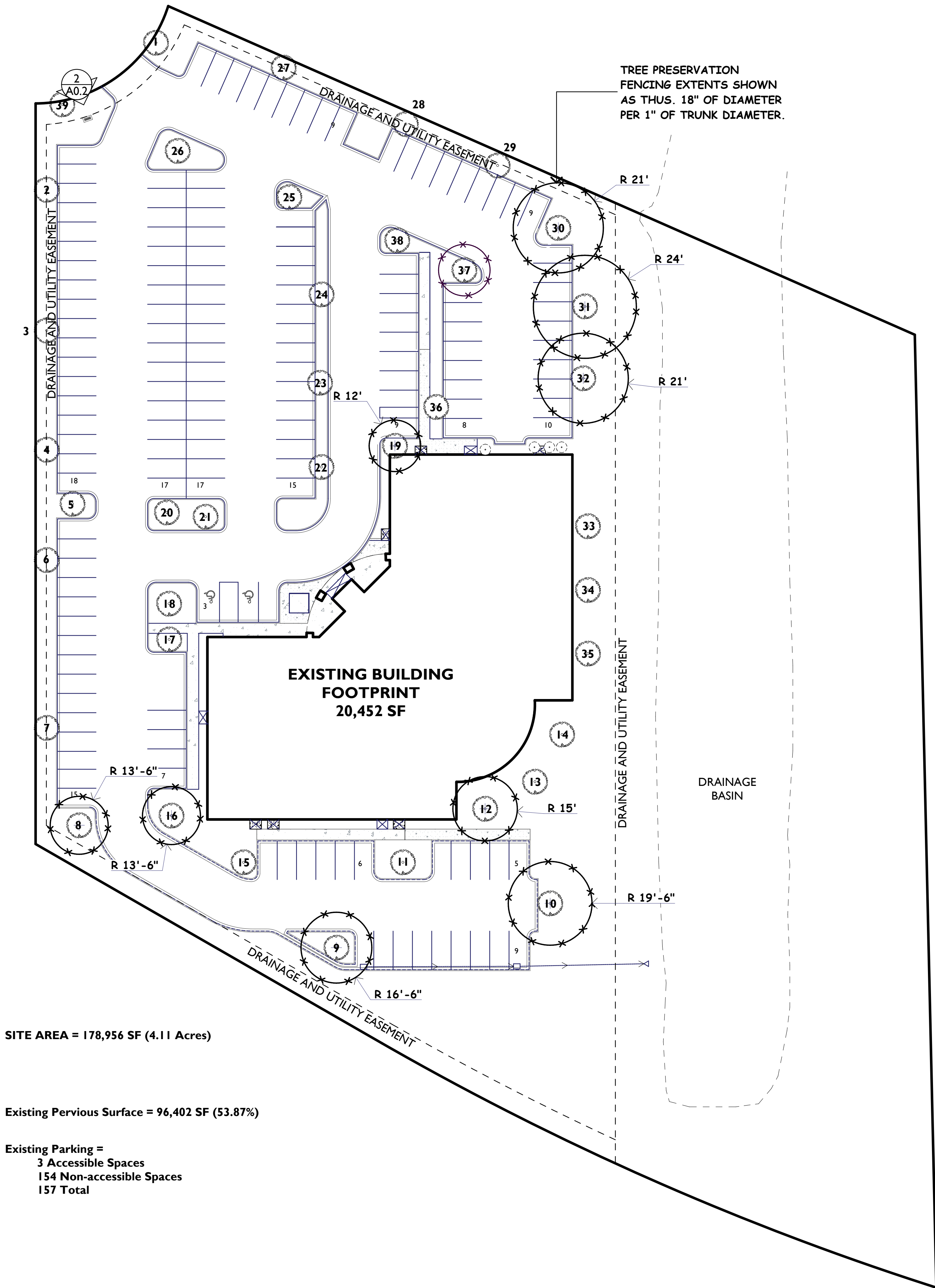
3 Existing Monument Photo

SCALE: 1" = 1'-0"



2 Existing Monument Sign

SCALE: 1/2" = 1'-0"



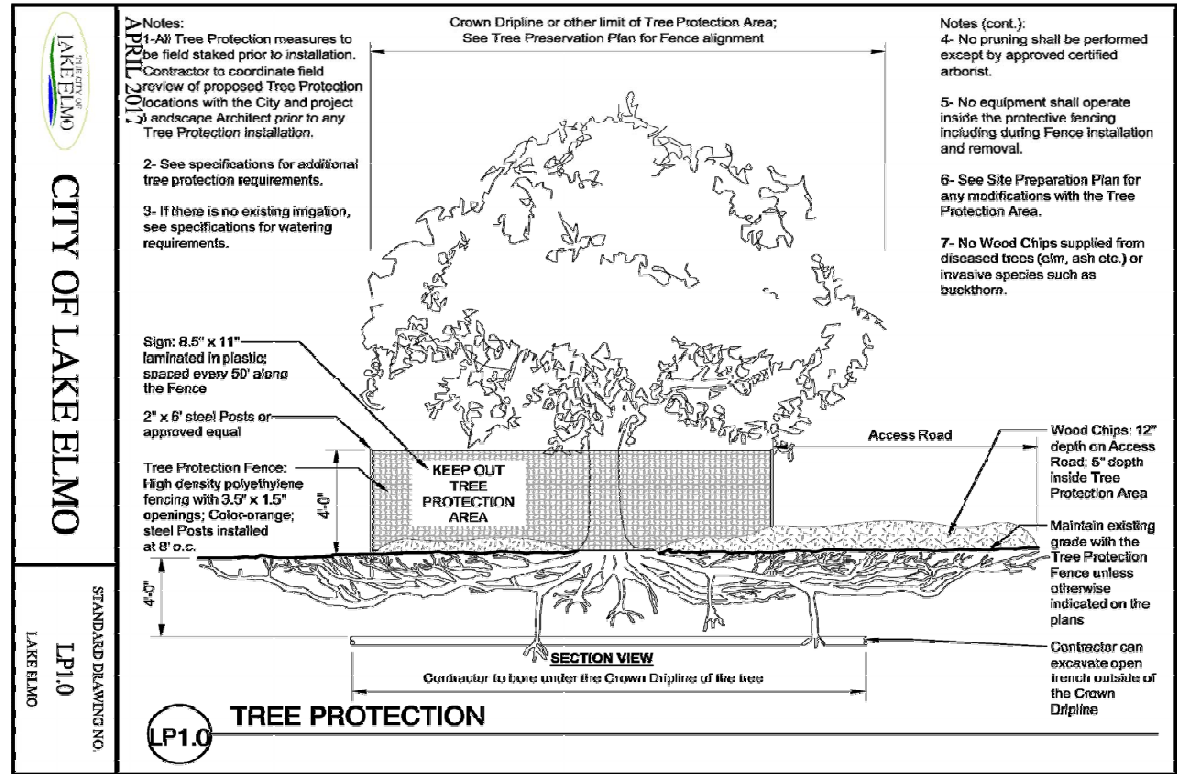
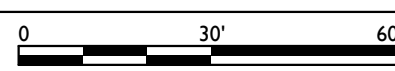
SITE AREA = 178,956 SF (4.11 Acres)

Existing Pervious Surface = 96,402 SF (53.87%)

Existing Parking =
3 Accessible Spaces
154 Non-accessible Spaces
157 Total

1 Existing Site Plan

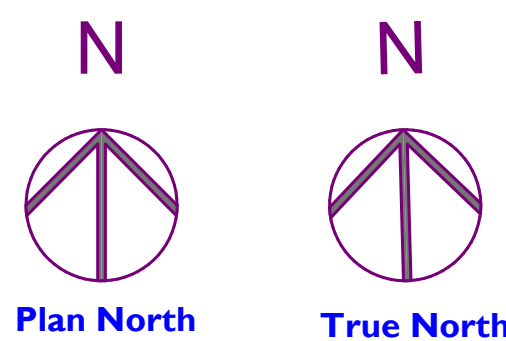
SCALE: 1" = 30'



Tree Number	Type	Silver Maple	DBH	Condition	Keep/Remove
1	Deciduous	Silver Maple	14	Good	Keep
2	Deciduous	Bur Oak	17	Good	Keep
3	Deciduous	Bur Oak	16	Good	Keep
4	Deciduous	Bur Oak	17	Good	Keep
5	Common	Locust, Honey	9	Good	Keep
6	Deciduous	Silver Maple	10	Good	Keep
7	Deciduous	Silver Maple	14	Good	Keep
8	Deciduous	Silver Maple	9	Good	Keep
9	Deciduous	Bur Oak	11	Good	Keep
10	Deciduous	Bur Oak	13	Good	Keep
11	Deciduous	Bur Oak	13	Good	Remove
12	Deciduous	Maple	10	Good	Keep
13	Deciduous	Maple	9	Good	Keep
14	Deciduous	Maple	6	Good	Keep
15	Deciduous	Bur Oak	15	Good	Remove
16	Deciduous	Bur Oak	9	Good	Keep
17	Common	Locust, Honey	8	Good	Keep
18	Common	Locust, Honey	7	Good	Keep
19	Common	Locust, Honey	8	Good	Keep
20	Common	Locust, Honey	9	Good	Keep
21	Common	Locust, Honey	7	Good	Keep
22	Ornamental	Crab	8	Good	Keep
23	Ornamental	Crab	8	Good	Keep
24	Ornamental	Crab	9	Good	Keep
25	Common	Locust, Honey	7	Good	Keep
26	Common	Locust, Honey	9	Good	Keep
27	Deciduous	Silver Maple	15	Good	Keep
28	Deciduous	Silver Maple	16	Good	Keep
29	Deciduous	Silver Maple	17	Good	Keep
30	Deciduous	Silver Maple	14	Good	Keep
31	Deciduous	Silver Maple	16	Good	Keep
32	Deciduous	Silver Maple	14	Good	Keep
33	Deciduous	Silver Maple	10	Good	Keep
34	Deciduous	Silver Maple	12	Good	Keep
35	Deciduous	Silver Maple	9	Good	Keep
36	Common	Locust, Honey	9	Good	Remove
37	Common	Locust, Honey	8	Good	Keep
38	Common	Locust, Honey	7	Good	Keep
39	Deciduous	Silver Maple	15	Good	Keep

Total DBH	434
Total DBH Significant Trees	401
Total DBH Removed	37
% Removed	9.23%

Impacted Area	14,895 sq ft
% of Acre	0.3422564
Number of Trees Required at 5 per Acre	1.7
Number of Trees Proposed	3



4918 S. Tr Oak Circle NE
East Bethel, MN 55092
Phone: 651-245-2346
Email: mjtallc2520@gmail.com
Web: michaeljthomasarchitect.com



Project No:
25004

Date Last Revised:
02-11-25, 02-18-25, 02-19-25,
02-20-25, 02-24-25, 02-26-25,
02-27-25, 03-25-25, 03-29-25,
04-02-25

File Name:
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Elmo 04-02-25.pln
Drawn By:
MJT

Minnesota License No.:
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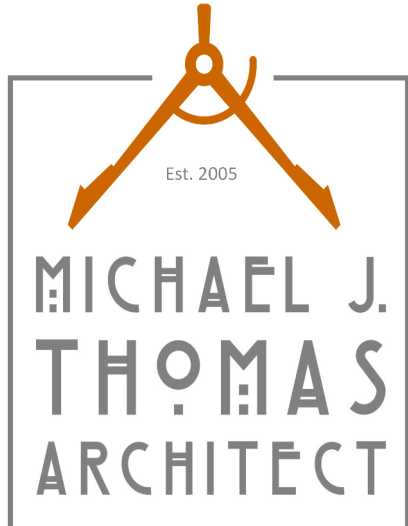
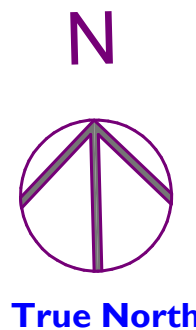
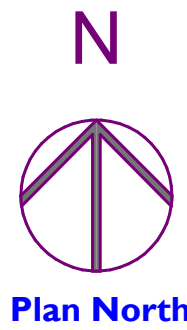
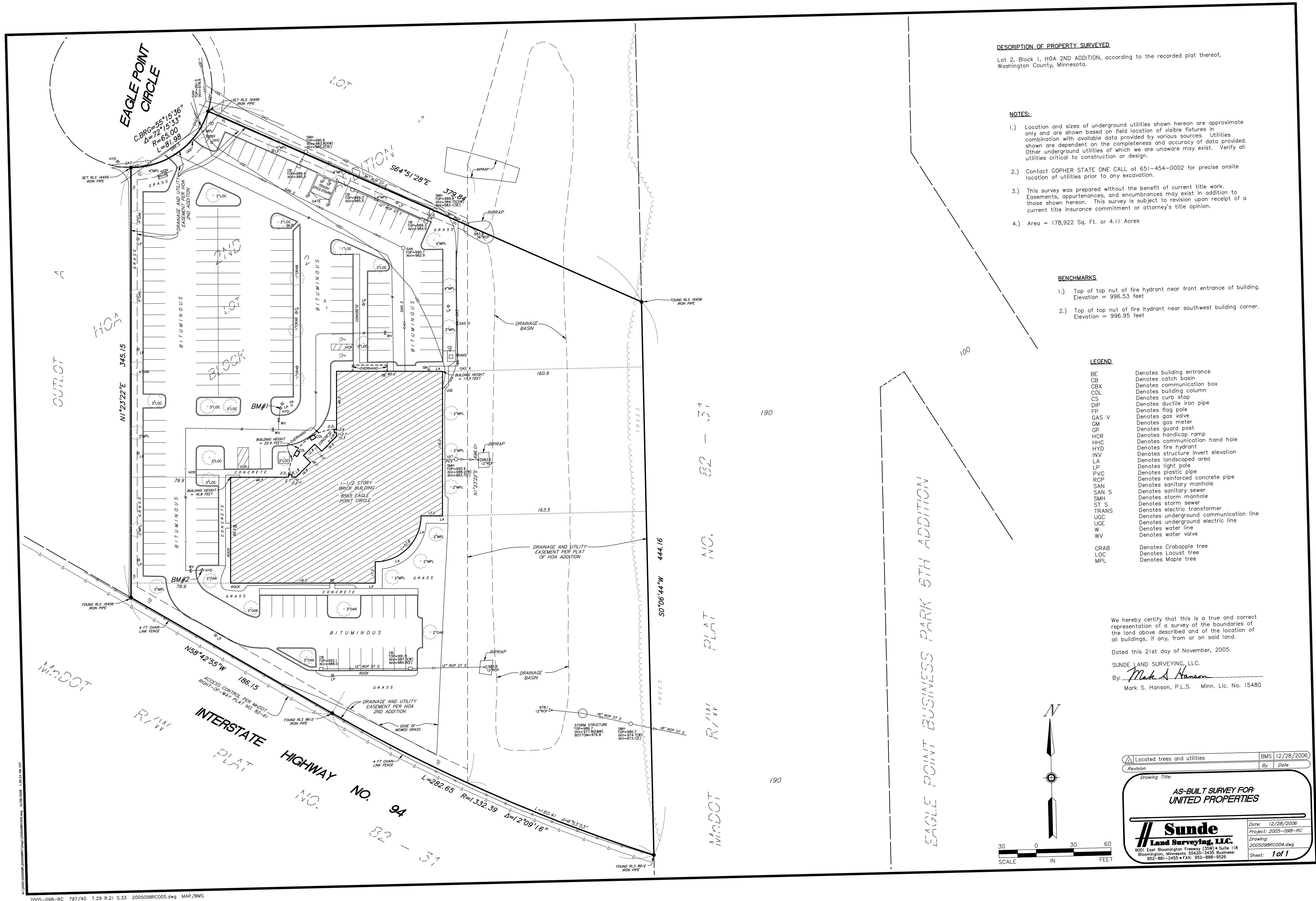


EXISTING SITE PLAN

Milestones Early Learning Center
Adaptive Reuse - Rehabilitation
of the Existing Rasmussen University Building

8565 Eagle Point Circle
Lake Elmo, MN 55042

A0.2



4918 S. Tr Oak Circle NE
East Bethel, MN 55092
Phone: 651-245-2346
Email: mjtall2520@gmail.com
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02-27-25, 03-25-25, 03-29-25,
04-02-25

File Name:
25004 Milestones Woodbury_Lake
Elmo 04-02-25.pln

Drawn By:
MJT

Minnesota License No.:
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Signature

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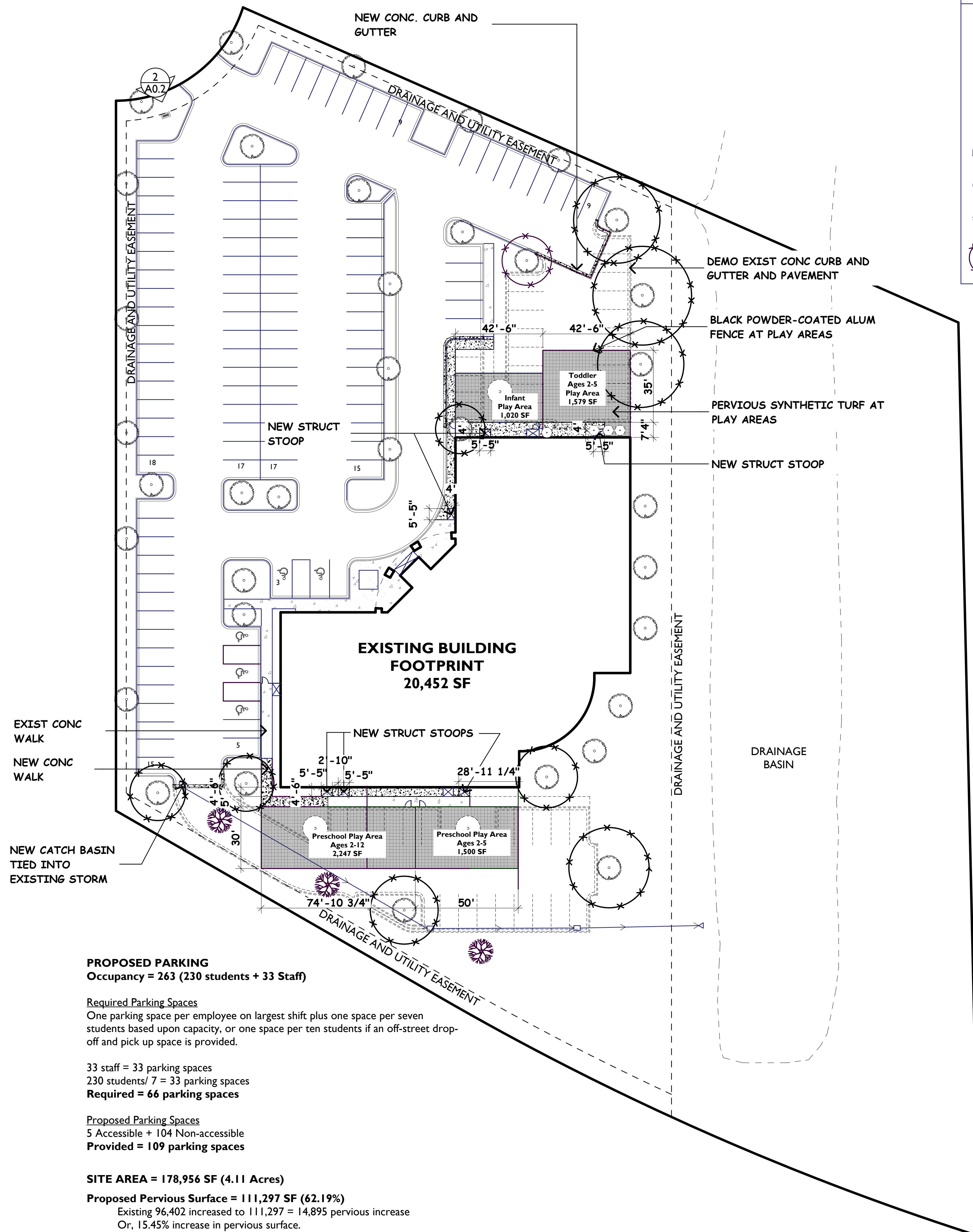
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EXISTING SITE
SURVEY

Milestones Early Learning Center
Adaptive Reuse - Rehabilitation
of the Existing Rasmussen University Building
8565 Eagle Point Circle
Lake Elmo, MN 55042

A0.1



PROPOSED PARKING
Occupancy = 263 (230 students + 33 Staff)

Required Parking Spaces
One parking space per employee on largest shift plus one space per seven students based upon capacity, or one space per ten students if an off-street drop-off and pick up space is provided.










33 staff = 33 parking spaces
230 students/ 7 = 33 parking spaces
Required = 66 parking spaces

Proposed Parking Spaces
5 Accessible + 104 Non-accessible
Provided = 109 parking spaces

SITE AREA = 178,956 SF (4.11 Acres)

Proposed Pervious Surface = 111,297 SF (62.19%)
Existing 96,402 increased to 111,297 = 14,895 pervious increase
Or, 15.45% increase in pervious surface.

KEY TO SITE SYMBOLS AND HATCHING

-  = Concrete curb & gutter demolished
-  = Existing concrete walk to remain
-  = New concrete walk (or curb & gutter)
-  = New pervious synthetic turf
-  = New, natural pervious turf (grass)
-  = Existing tree to remain
-  = Existing tree/ shrub demolished
-  = New tree
-  = CRZ Tree Preservation Fencing

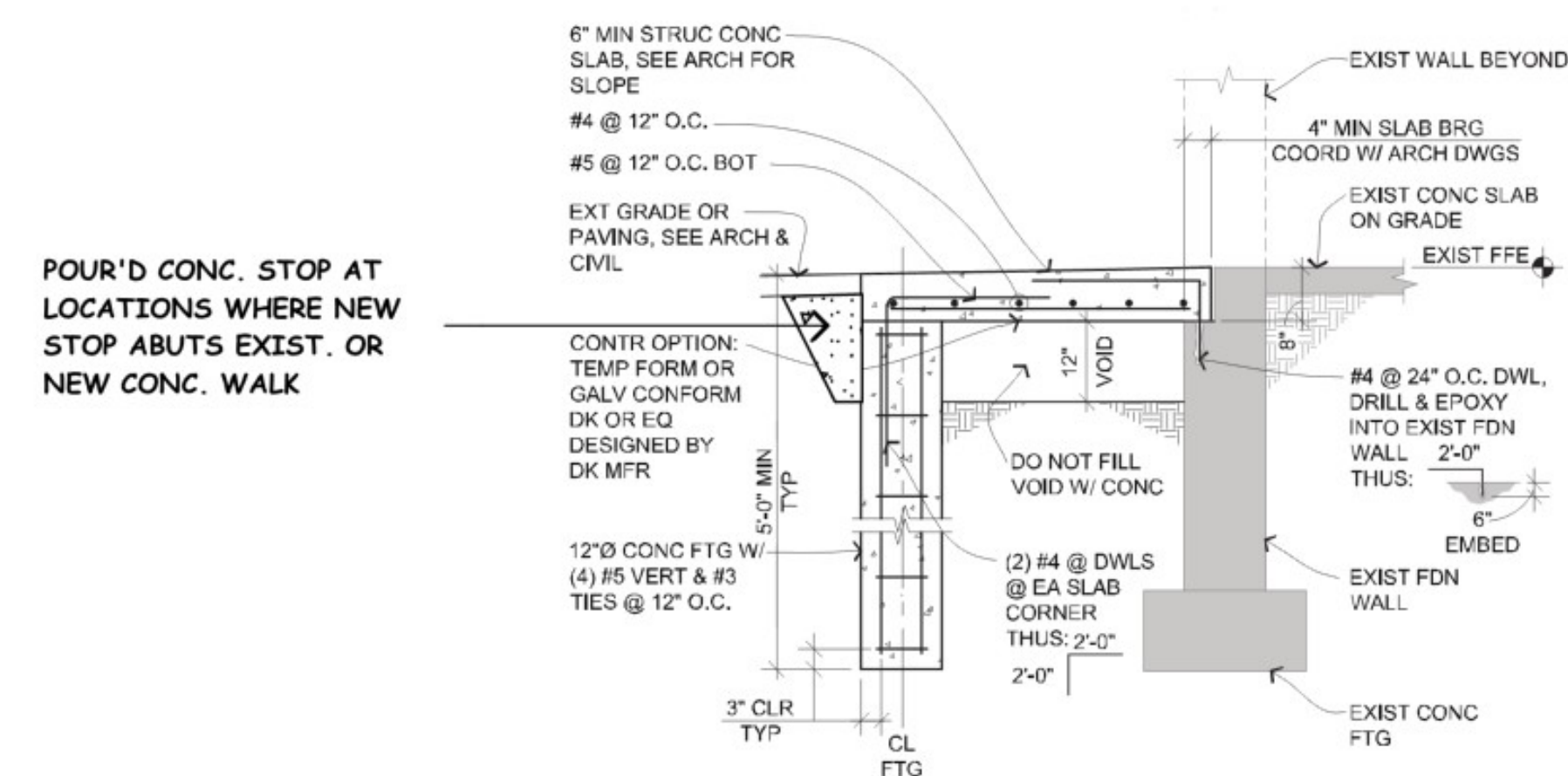
NEW SITE PLAN NOTES:

I. ALL NEW TREES MUST RECIEVE IRRIGATION/ WATERING THROUGH THE 2-YEAR WARRANTY PERIOD

2. ALL NEW TREES SHALL BE PLANTED TEN FEET AWAY FROM UTILITIES INCLUDING WATER AND SEWER STUBS.

3. ALL NEW SITE WORK WILL MATCH EXISTING GRADES

4. TREE AVOIDANCE PRACTICE
Contractor to keep equipment as far as possible from the trees when removing the pavement. Contractor should only scrape back the curb and pavement away from the tree and not dig near the trees. Markings should be made on the pavement area prior to demolition to show the critical root zone of the trees to help contractor understand the area of impact. Once the pavement and curb is removed, the contractor should dump and hand place the topsoil where grass is to be planted."

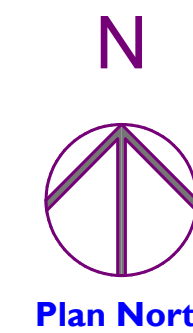


New Struct Stoop

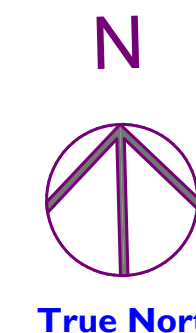
NOT TO SCALE



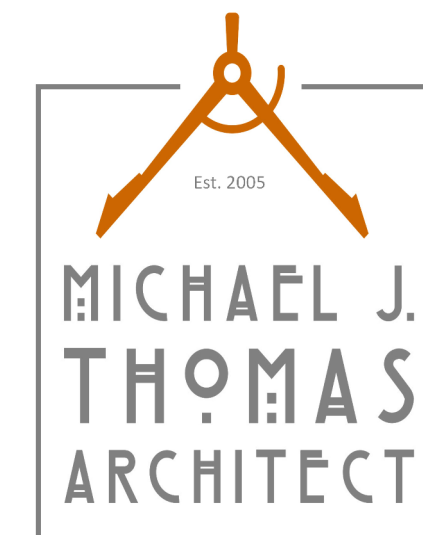
2 Typical Play Area Fence



Plan North



True North



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Project No:
25004

Date Last Revised:
02-11-25, 02-18-25, 02-19-25
02-20-25, 02-24-25, 02-26-25
02-27-25, 03-25-25, 03-29-25
04-02-25

File Name:
25004 Milestones Woodbury_Lake
Elmo 04-02-25.pln

Drawn By:
MIT

Minnesota License No.:
23592

Date Signed:
02-27-25

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Signature

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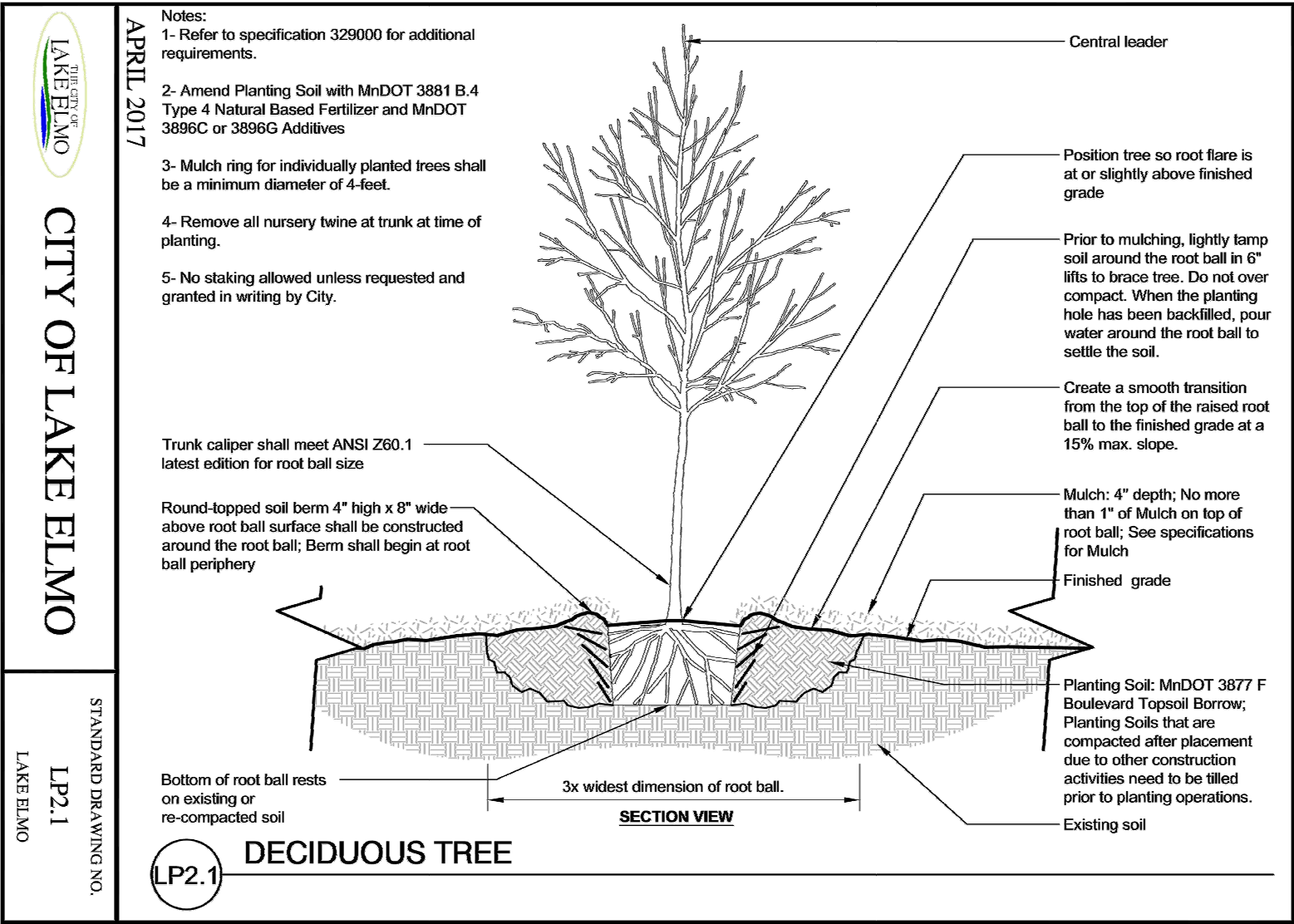


PROPOSED SITE PLAN

Milestones Early Learning Center
Adaptive Reuse - Rehabilitation
of the Existing Rasmussen University Building

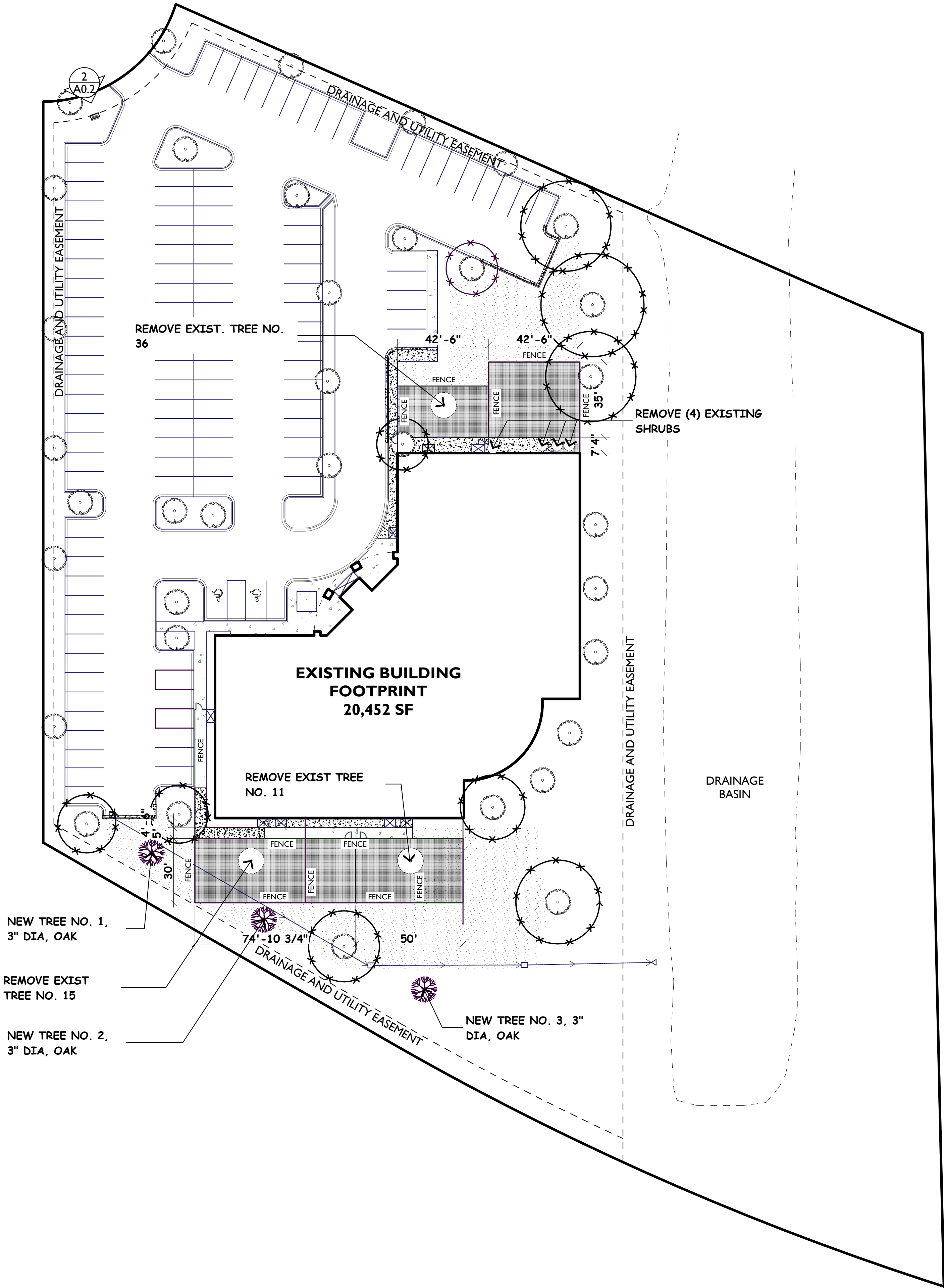
8565 Eagle Point Circle
Lake Elmo, MN 55042

SCALE INDICATED BASED UPON PRINTED 24" X 36" (ARCHITECTURAL D) SHEET



1 Landscape and Turf Plan

SCALE: 1" = 30'



KEY TO SITE SYMBOLS AND HATCHING

- = Concrete curb & gutter demolished
- = Existing concrete walk to remain
- = New concrete walk (or curb & gutter)
- = New pervious synthetic turf
- = New, natural pervious turf (grass)
- = Existing tree to remain
- = Existing tree/ shrub demolished
- = New tree
- = CRZ Tree Preservation Fencing



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LANDSCAPE & TURF PLAN

Milestones Early Learning Center
Adaptive Reuse - Rehabilitation
of the Existing Rasmussen University Building

8565 Eagle Point Circle
Lake Elmo, MN 55042

A0.4

0 30' 60'

SCALE INDICATED BASED UPON PRINTED 24" X 36" (ARCHITECTURAL D) SHEET

2020 MINNESOTA STATE BUILDING CODE

Project Description

This is an existing E Occupancy previously used as a higher education facility (Rasmussen Universitiy). The new use will be I-4 child day care center for Milestones Early Learning Center.

Chapter 3 Use and Occupancy Classification

Table 302.2 Care Facilities

Child Care Center <24 hours per day
More than 5 children </= 2.5 years of age and not classified as E.
Occupancy Classification I-4

Section 308, Item 308.5.1.3 Child day care.

This building does not meet item "c.". Not all rooms providing day care have an exit door directly to the exterior. Therefore, it shall not be classified as Group E.

Chapter 5 General Building Heights and Areas

Table 504.3 Allowable Building Height In Feet Above Grade Plane

Occupancy Class I-4 Group. Type VB, Sprinklered = 40 feet
Actual = 22 feet 6 inches

Table 504.4 Allowable Number of Stories Above Grade Plane

Occupancy Class I-4 Group. Type VB, Spinklered = 2 Stories
Actual = 1 Story

Table 506.2 Allowable Area Factor In Square Feet

Occupancy Class I-4 Group. Type VB, Sprinklered, Single Story = 36,000 SF
Actual = 20,452

Chapter 6 Types of Construction

Table 601.

0 Hour Fire-resistance Rating required for all elements.
Type VB

Table 602.

All exterior walls are equal or greater than 30' from property lines. Therefore not fire-resistive rating required.

Chapter 9 Fire Protection Systems

Section 903.2.6 Group I

An automatic sprinkler system shall be provided throughout.
This I-4 building does not meet Exception 2.

Chapter 10 Means of Egress

Table 1004.5 Maximum Floor Area Allowances per Occupant.

Day care = 35 net Occupant Load Factor
Infants = 32
Toddlers = 67
Early Preschool = 21
Preschool = 152
By Room Area Per Code Plan = 272
Exercise rooms (Indoor Play Area) = 50 gross Occupant Load Factor
1,847 sf/ 50 = 36.9, or round down to 36 Occupants

Total Per Code = 308 Occupants

Section 1004.5 Exception: Where approved by the building official, the actual number of occupants for whom each occupied space, floor of building is designed, although less than those determined by calculation shall be permitted to be used in the determination of the design occupant load.

Actual Occupant Load based upon state day care license and intended building use.

Infants = 24
Toddlers = 56
Early Preschool = 20
Preschool = 150

Infant & Children Occupants = 230. Actual Based Upon Licensing

Note: Sport Court Area occupancy not included in licensed occupant load.
Children will either be in classroom, outside, or Indoor Play Area.

Staff Occupancy
Infant = 1:4 Ratio = 24/4 = 6 staff
Toddler = 1:7 Ratio = 56/7 = 8 staff
Preschool = 1:10 Ratio = 150/10 = 15 staff
Support Staff
Administrative = 3 staff
Food Service/ Custodian = 1 Staff
Total Staff = 33

Total Actual Occupant Load 230 + 33 = 263 Occupants

Section 1006.2.2.4 Group E and I-4 means of egress

Rooms or spaces where care is provided for more than 10 children that are 2 1/2 years of ages or less, shall have access to not less than two exits or exit access doors. All care rooms have two exits. Either to corridor or directly to exterior.

Table 1020.1 Corridor Fire-Resistance Rating

I-4 Occupancy, with sprinkler system = 0.

Section 1005.3.2 Minimum Width Other Egress Components

310 occupants x 0.2 = 62" Required.
Main Entry pair of 3' doors = 6'
West Building Exit door = 3'
South Buiding Exit door = 3'
Total = 12' or 144"

Table 1017.2 Exit Travel Distance

I-4 With Sprinkler System = 200'
See Code Plan for actual distances

Section 1020.4 Dead Ends

Shall not exceed 20'

Chapter 29 Plumbing Systems

Table 2902.1 Minimum Plumbing Fixtures

Institutional.
308 Occupants by Table 1004.5
283 Occupants by Licensing and Actual Use.
Subtract 24 Infants, because infants do not use plumbing fixtures.
Therefore the load used for plumbing fixture count will be
283-24 = 259

Do to use and licensing requirements, all child toilet and lavatories are shown to be unisex. A separate Men's and separate Women's toilet room will be provided for adult staff and visitors.

Water Closets
Required = 259/ 15 = 17.27, round up to 18
Provided = 18
Child Unisex = 15
Men's = 1
Women's = 1
Unisex = 1

Lavatories
Required = 259/ 15 = 17.27, round up to 18
Priveded = 24
(not including Warming Kitchen or classroom counter sinks)
Unisex Hand Washing Lavatories = 21
Men's Lavatory = 1
Women's Lavatory = 1
Unisex = 1

Bathtub/ Shower = 0 Required. Propose to provide 0.

Drinking Fountains = 259/ 100 = 2.59 or round up to 3 Required.
Provided = 3

Service Sink = 1 Required. 1 Provided.

Urinals = 1 provided at existing Mens

2020 Minnesota Provisions to the Minnesota State Building Code

1303.1500 Recycling Space, Table 1-A.
Children's homes and homes for the aged = .0025 factor.
20,452 SF x .0025 = 51.13 SF required. 129 SF provided.

2020 MINNESOTA ENERGY CODE

Table C301.1 Climate Zone.

Washington, Minnesota = 6A (Moist).

Section C402 Building Envelope Requirements Prescriptive.

Prescriptive Method for compliance proposed.

Table 402.1.3 Opaque Thermal Envelope Insulation Component Minimum

Requirements, R-Value Method

Roof, Insulation Entirely Above Deck = R-30 CI
Walls Above Grade, Wood Framed (walls) = R-20 + R-3.8 CI
Below Grade Walls = R-7.5 CI
Unheated Slab-on-grade Floors = R-10 for 24" below.

Table C402.4 Building Envelope Fenestration Maximum U-Factor and

SHGC Requirements

Fixed Fenestration = 0.36 U-factor or less
Operable Fenestration = 0.43 U-factor or less
Entrance Doors = 0.77 U-factor or less
SHGC (PF < 0.2) = SEW 0.40/ N 0.53

Section C402.5.1 Air Barrier Compliance Options

Continuous Air Barrier with air permeability no greater than 0.004 cfm/ft² under pressure differential of 0.3 inches w.g..

Building Mechanical and Electrical Systems will be Design/ Build by applicable subcontractor. It shall be said subcontractor's responsibility to design their system to meet all applicable energy code (and other codes) requirements.

2020 MINNESOTA ACCESSIBILITY CODE

Chapter 11 of the 2018 IBC w/MN Amendments

Section 1104.4 Accessible Route.
Multilevel Buildings and Facilities.
This is a single story building.

Section 1105 Accessible Entrances.

The main entrance is the accessible route. However, all classroom exterior play area doors are designed to be accessible as well.

Section 1106 Parking and Passenger Loading Facilities

See Conceptual Architectural Site Plan

Table 1106.1

101 to 150 parking spaces requires 5 to be accessible.
Actual existing = (5) accessible parking spaces + (104) standard parking spaces = (109) total provided.

1109.2.2 Water closet compartment.

At least 5% of water closet compartments in each toilet room shall be accessible. If two or more water closets are provided, at least 5% shall be ambulatory accessible. Therefore, all locations where toilet rooms have toilet compartments, all will have one child accessible and one child ambulatory accessible compartments.

Section 1109.5 Drinking Fountains

Not fewer than two drinking fountains shall be provided.
Existing = One drinking fountain complies with the requirements for people who use a wheel chair and one drinking fountain complies with requirements for standing persons.

Section 1109.12.3 Point of sale and service counters.

The main entry/ lobby service counter is accessible.

Section 1109.13 Controls, operating mechanisms and hardware.

All door hardware is lever handle or stationary push/ pulls.

Section 1111 Signage

To be by Owner, but will comply.

Chapter 4

Section 406 Curb Ramps. The main entry and access from accessible parking access isle includes curb ramp to comply.

Chapter 5

Section 502 Parking Spaces. (4) accessible parking spaces 9' wide x 19' deep with an 8' minimum wide access isle provided.

Chapter 6

Section 602.4 Spout outlet heights for drinking fountains.
(1) at 36" max. for wheel chair use and (1) between 38"-43" for standing persons provided.

Section 603.1

Clearances, door swings, mirrors, operable parts at all adult accessible toilet rooms and child accessible toilet rooms comply.

Section 604 Water Closets and Toilet Compartments.

Clearances an grab bars shown to comply with Adult and Child accessible requirements.

Section 606 Lavatories and Sinks

All adult and child accessible toilet rooms include lavatories at 34" height, 27" clearance, & 30" widths.

Section 804.3 Kitchens and Kitchenettes. Work surface.

At the infant feeding kitchen and at the employee break room, there is no cooktop or conventional range, therefore these spaces are not designed to comply with clearance or work surface heights.

Section 804.4 Sinks.

All counter sinks comply with Section 606.
34" Height. Removable sink base or open space to comply with Section 306.

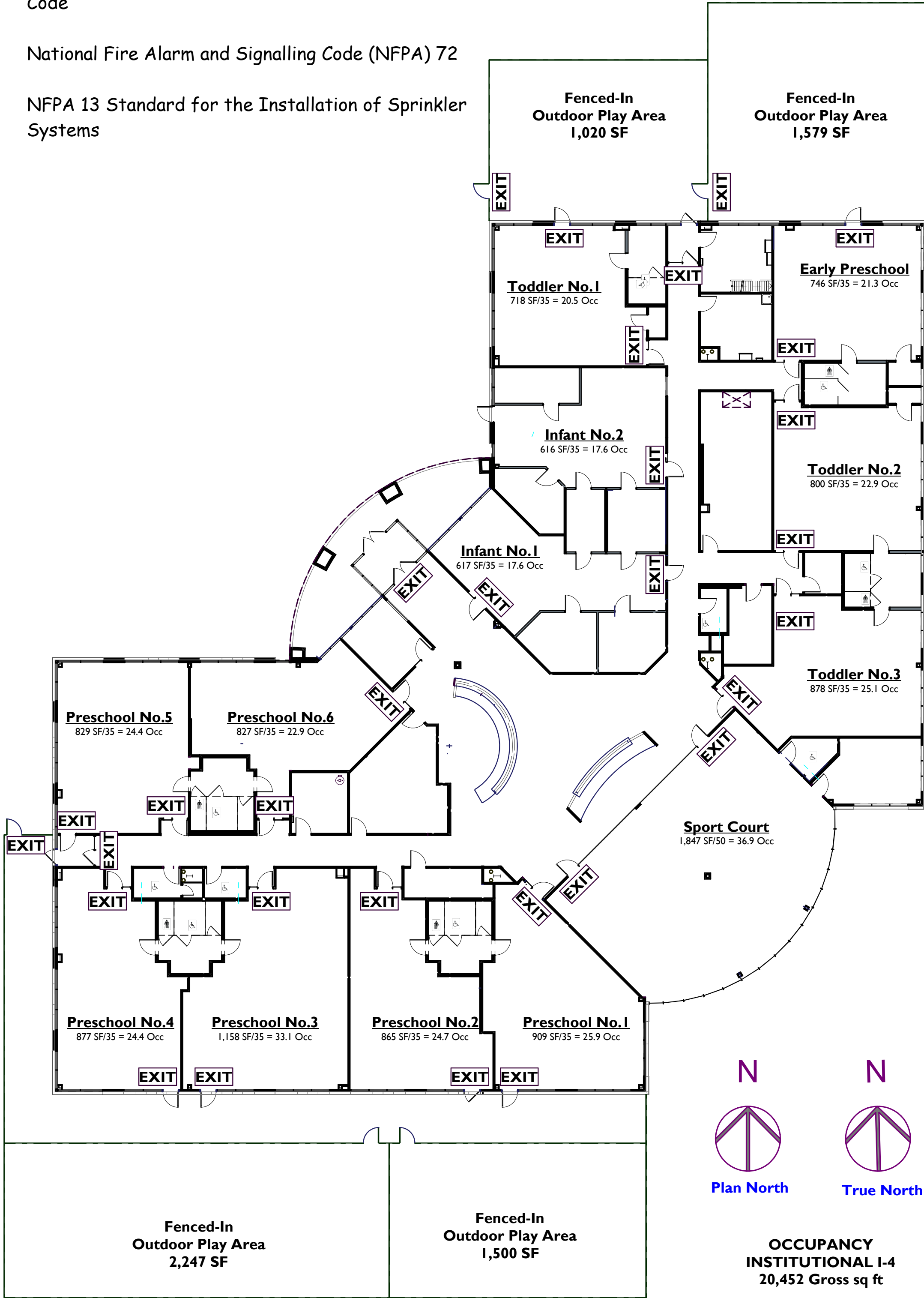
APPLICABLE CODES:

2020 Minnesota Building Code
2024 Minnesota Energy Code
2020 Minnesota Accessibility Code
2020 Minnesota Mechanical and Fuel Gas Code
2020 Minnesota Plumbing Code
2020 Minnesota Fire Code
Minnesota Electrical Coded

Note: Due to the adaptive reuse of this building where the E occupancy is changed to an I-4 occupancy and the amount of space reconfiguration, the MN Conservation Code is not used.

2020 Minnesota Provisions to the State Building Code
National Fire Alarm and Signalling Code (NFPA) 72

NFPA 13 Standard for the Installation of Sprinkler Systems



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Milestones
Early Learning Center

CODE INFORMATION

Milestones Early Learning Center
Adaptive Reuse - Rehabilitation
of the Existing Rasmussen University Building

8565 Eagle Point Circle
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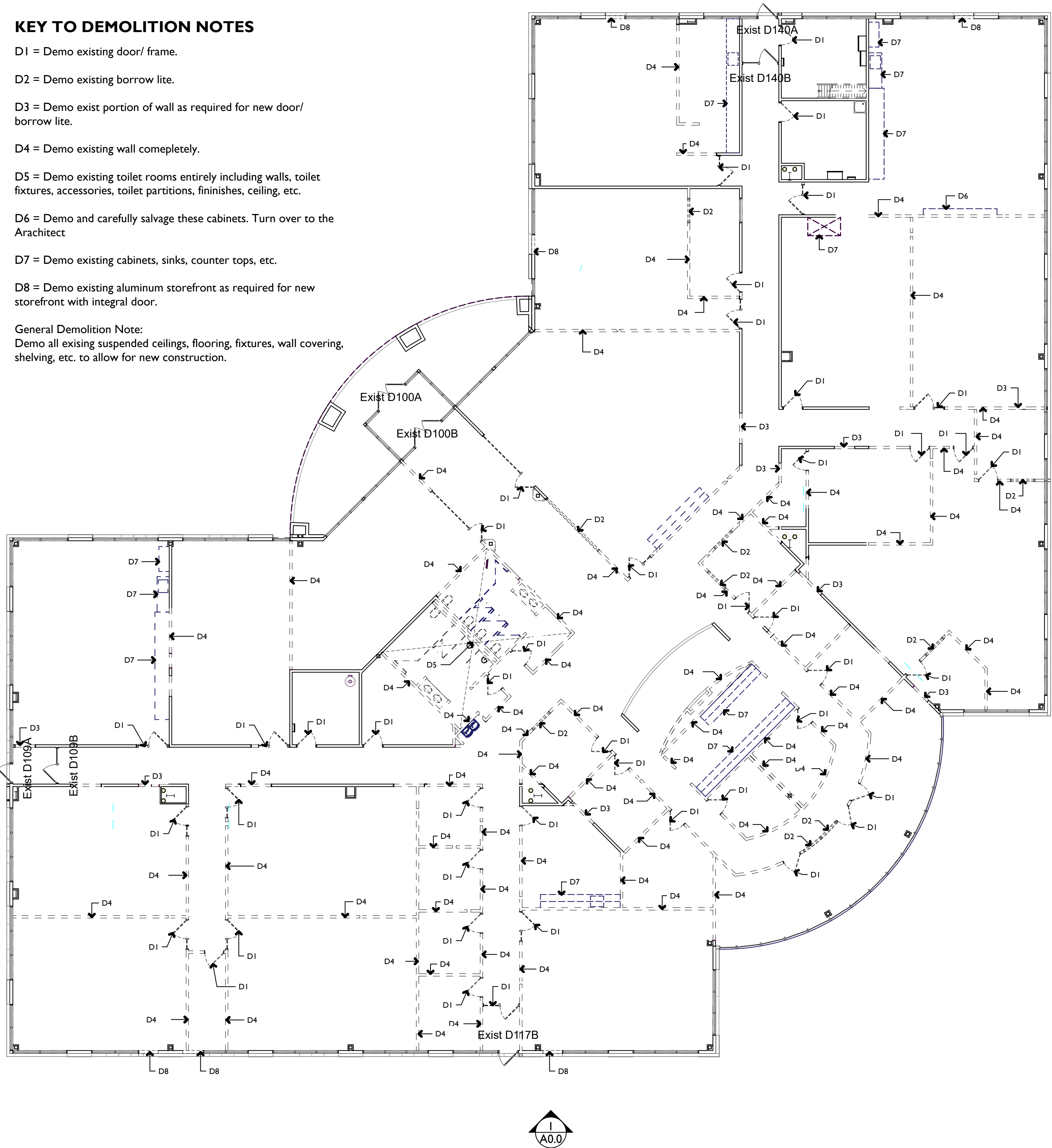
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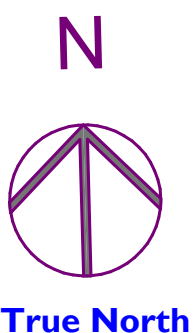
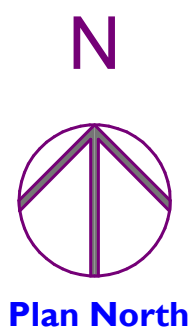
First Story Demolition Plan

SCALE: 3/32" = 1'-0"

3
A0.0



1
A0.0



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**FIRST STORY
DEMOLITION PLAN**

Milestones Early Learning Center
Adaptive Reuse - Rehabilitation
of the Existing Rasmussen University Building

8565 Eagle Point Circle
Lake Elmo, MN 55042

A1.0

