



3800 Laverne Avenue North  
Lake Elmo, MN 55042

(651) 747-3900  
[www.lakeelmo.org](http://www.lakeelmo.org)

## NOTICE OF MEETING

The City of Lake Elmo  
Planning Commission will conduct a meeting on  
**Monday, May 12, 2014 at 7:00 p.m.**

## AGENDA

1. Pledge of Allegiance
2. Approve Agenda
3. Approve Minutes
  - a. April 28, 2014
4. Public Hearing
  - a. HAMMES ESTATES PRELIMINARY PLAT - The Planning Commission will consider a Preliminary Plat application submitted by Hammes West, LLC for a 164-unit single family residential development to be located on 78.1 acres immediately west of Keats Avenue (CSAH 19) and within the City's I-94 corridor planning area.
5. Business Items
  - a. VILLAGE AREA AUAR FIVE-YEAR UPDATE – The Planning Commission will receive an update from Staff concerning the Village Area AUAR and the mandatory five-year update that is being prepared by the City.
  - b. NET DENSITY CALCULATIONS – The Planning Commission will discuss a proposed amendment to the City Code to add a definition for net density and to review density definitions from surrounding communities.
  - c. SINGLE FAMILY RESIDENTIAL GARAGE STANDARDS – The Planning Commission is being asked to review the City's development standards pertaining to required front yard setback and maximum width of residential garages.
6. Updates
  - a. City Council Updates – May 6, 2014 meeting:
    - i. Verizon Wireless Communications Tower CUP passed with 16 findings of fact and 4 conditions of approval.
    - ii. Zoning Text Amendment - Commercial Wedding Venue ordinance adopted.

- b. Staff Updates
    - i. Upcoming Meetings:
      - May 28, 2014 (Wed due to Memorial Day)
      - June 9, 2014
    - c. Commission Concerns
7. Adjourn



**City of Lake Elmo  
Planning Commission Meeting  
Minutes of April 28, 2014**

Chairman Williams called to order the meeting of the Lake Elmo Planning Commission at 7:00 p.m.

**COMMISSIONERS PRESENT:** Williams, Dodson, Kreimer, Haggard, Yocum, Dorschner and Lundgren.

**COMMISSIONERS ABSENT:** Larson and Morreale.

**STAFF PRESENT:** Community Development Director Klatt and City Planner Johnson

**Approve Agenda:**

The agenda was accepted as presented.

**Approve Minutes:** April 14, 2014

Chairman Williams noted three corrections to the minutes.

There was a general discussion of the minute-taking procedures.

M/S/P: Williams/Dorschner, move to approve the minutes as amended, **Vote: 7-0, motion carried unanimously.**

**Public Hearing:** Conditional Use Permit – Verizon Wireless Communications Tower

Klatt began his presentation by describing the request. The proposed 125' monopole tower would be located at Oakland Jr. High School at Manning Ave. N. and 10<sup>th</sup> St. N. Klatt described the exact location of where the proposed tower would be located. Klatt then presented the detailed plans for the tower, noting that the site would be fenced in for safety purposes. Moving forward, Klatt explained the requirements of the City's ordinance, including the proof of need, site ranking requirements, expert review, and other requirements. Kyle also noted that the City's consulting engineer, Gary Lysiak of Owl Engineering, is also in attendance to answer any technical questions.

Haggard asked who would receive financial compensation for the lease agreement for the tower. Klatt noted that the school district would receive compensation.

Gary Lysiak, Owl Engineering, explained his review procedure to the Planning Commission. He noted that a search of existing towers in the areas was completed, and

it was found that no existing structures in the area could accommodate the need of the proposed tower. Lysiak added that there is no negative impact on the operation of Lake Elmo Airport. He also analyzed the proposed pole for loading capabilities, so future facilities can be sited on the proposed tower. Lysiak wrapped up by noting that the proposed tower will not cause any safety or health concerns related to radiation.

The Planning Commission asked various technical questions about the operation of the tower and the site itself.

Blake Conklin, representing Verizon Wireless, requested that condition #4 of the approval be removed, as it is not practical.

Dennis Bloom, Director of Operation of Stillwater Area Public Schools, addressed site-related questions. He addressed the safety concerns of the baseballs entering the fenced in portion of the cell tower. He also noted that additional landscaping is not necessary. Bloom wrapped up by noting that the school district has other properties with monopole wireless towers and the district has not experienced any problems related to the operations of these facilities.

Public Hearing opened at 7:54 pm.

No one spoke. No written comments were submitted.

Public Hearing closed at 7:55 pm.

Chairman Williams asked planning staff about omitting Condition #4. Klatt explained that the purpose of the condition is to not prohibit the siting of future carriers on the site. There was a general discussion about the location of the equipment shelter. Klatt noted that the siting of a future accessory building or equipment would not require an amendment to the conditional use permit.

M/S/P: Dorschner/Dodson, move to approve the Conditional Use Permit to site a 125-foot monopole wireless communications tower at Oakland Jr. High School based on the findings of fact listed in the Staff Report and the conditions in the staff report with amendment to condition #4, **Vote: 7-0, motion carried unanimously.**

M/S/P: Williams/Lundgren, move to amend the previous motion to include the findings of fact listed in the staff report and the conditions in the staff report, including the report from Owl Engineering, **Vote: 7-0, motion carried unanimously.**

**Business Item:** Shoreland Ordinance Update

Johnson presented information concerning a proposed update to the City's Shoreland Management zoning ordinance. He noted that with recent updates to the City Code to

add sewered zoning districts in the City, the Shoreland Ordinance needs to be updated to address these new districts. Staff is recommending adopting ordinances similar to those in surrounding communities, which will generally separate the City into sewered and unsewered development areas.

Johnson reviewed the purpose and intent of shoreland regulations, and described the terminology used for these ordinances. He stated that all construction and development activities within shoreland zones are subject to these special shoreland rules.

Johnson reviewed the content of the proposed ordinance, and discussed the proposed changes that are being recommended by Staff. The ordinance does provide for flexibility from the state rules to allow for development around certain lakes in exchange for riparian dedication to the City of a 200 foot buffer around these lakes.

Lundgren questioned whether or not the City would require the dedication of existing property that has already been platted. Johnson noted that the ordinance would only apply to new developments and does require implementation of a buffer in existing developments.

Williams asked for clarification concerning the riparian dedication and non-riparian dedication lots. Johnson replied that there is a setback of 50 feet for lots adjacent to an area dedicated for riparian purposes. The Commission generally discussed the implications of the riparian setbacks, and suggested changes to clarify the intent of the code.

Lundgren requested that Staff look into regulations concerning the dumping of lawn clippings, leaves, and other materials into lakes. Klatt stated that it would be covered under DNR regulations.

The Commission discussed whether or not other lakes should be included in the riparian dedication requirements. Johnson noted that Staff would research other lakes that should be subject to the riparian dedication requirements. Staff will be meeting with the DNR and will be asking for an update to the classifications.

The Commission felt that it would be helpful to include definitions in the code, but would still like to see the definitions in the definitions section.

The Commission felt comfortable with the code with the changes discussed and asked to bring it to public hearing.

**Business Item:** *AUAR Update*

Klatt explained the current status of the Alternative Urban Area-wide Review for the Village Area. The AUAR was adopted in 2009 and is valid for 5-years. As no changes or development have occurred in the Village as of May 2014, staff is proposing to submit a technical memorandum update that would extend the validity of the AUAR.

## **Updates and Concerns**

*Council Updates – April 15, 2014 Meeting - None*

### *Staff Updates*

1. Staff engaged in a general discussion about density calculations with the Planning Commission. Staff would like to adopt a formal definition into the Code so that the same methodology is used moving forward. Johnson distributed 2 handouts to the Planning Commission, one an email back from the Met Council and the other an excerpt from a Planners dictionary which gave real world examples. The way Cities calculate net densities greatly varies. Klatt used Easton village as an example. The Commission asked that staff research how other Cities calculate net density and bring it back to a future meeting.
2. Upcoming Meetings
  - a. May 12, 2014
  - b. May 28, 2014 – Wednesday due to Memorial Day holiday

### *Commission Concerns -*

The Planning Commission discussed whether or not to include further detail about the dissenting vote. They felt that if there was a no vote, the reasons should be stated.

Dodson noted a concern about the utility of the City's design standards manual. He noted that there is not a strong enough tool to require the applicant or developer to change the architectural designs of the building.

Meeting adjourned at 9:35pm

Respectfully submitted,

Joan Ziertman  
Planning Program Assistant



PLANNING COMMISSION  
DATE: 5/12/2014  
AGENDA ITEM: 4A – PUBLIC HEARING  
CASE # 2014-14

ITEM: Hammes Estates Residential Subdivision – Preliminary Plat

SUBMITTED BY: Nick Johnson, City Planner

REVIEWED BY: Kyle Klatt, Community Development Director  
Jack Griffin, City Engineer  
Ann Pung-Terwedo, Washington County  
John Hanson, Valley Branch Watershed District  
Greg Malmquist, Fire Chief  
Stephen Mastey, Landscape Architecture, Inc.

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#### **SUMMARY AND ACTION REQUESTED:**

The Planning Commission is being asked to consider a Preliminary Plat request from Hammes West, LLC for a 164-unit single family residential development to be located on 78.1 acres immediately west of Keats Avenue (CSAH 19) and within Stage 1 of the City's I-94 Corridor Planning Area. Staff is recommending approval of the request subject to compliance with 19 conditions as noted in this report.

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#### **GENERAL INFORMATION**

*Applicant:* Hammes West, LLC, 36 Moonlight Bay, Stillwater, MN 55082.

*Property Owners:* Ellie Hammes, 1187 Forest Ave., Maplewood, MN 55109, and Dorothy Lyons, 10105 10<sup>th</sup> Street North, Lake Elmo, MN 55042.

*Location:* Part of Section 34 in Lake Elmo, immediately west of Keats Avenue (CSAH 19), approximately 1,300 feet south of 10<sup>th</sup> Street (CSAH 10), and immediately south of Goose Lake. PID Number 34.029.21.13.0001.

*Request:* Application for preliminary plat approval of a 164-unit single family residential subdivision to be named Hammes Estates.

*Existing Land Use and Zoning:* Active mining and gravel operation and other vacant land.  
Current Zoning: RT – Rural Development Transitional Zoning District; Proposed Zoning: LDR - Urban Low Density Residential

*Surrounding Land Use and Zoning:* North –Goose Lake and Stonegate Residential Estates (RE) subdivision; west – Stonegate RE subdivision; south – Lennar Savona Urban Low Density Residential (LDR) subdivision.

*Comprehensive Plan:* Urban Low Density Residential (2.5 – 4 units per acre).

*History:* Sketch Plan review by Planning Commission on 6/24/13. Sketch Plan review by the Park Commission on 7/15/13 and 1/30/14.

*Deadline for Action:* Application Complete – 5/2/2014  
60 Day Deadline – 6/30/14  
Extension Letter Mailed – No  
120 Day Deadline – 8/29/14

*Applicable Regulations:* Chapter 153 – Subdivision Regulations  
Article 10 – Urban Residential Districts (LDR)  
§150.270 Storm Water, Erosion, and Sediment

## **REQUEST DETAILS**

The City of Lake Elmo has received a request from Hammes West, LLC for a preliminary plat to subdivide approximately 78 acres of land located within the I-94 Corridor planning area into 164 single family lots. The proposed plat would be located on property currently owned by the Hammes family, and would be located immediately west of Keats Avenue (CSAH 19), approximately 1,300 feet south of 10<sup>th</sup> Street (CSAH 10), and approximately ½ of a mile north of the I-94 right-of-way. The 78 acre parcel has historically been used as a gravel mining operation. Activity has recently ceased and the landowner has proceeded with reclamation work related to rebalancing and grading the site. This work is permitted under the active mining permit for the Hammes properties.

The preliminary plat has been developed in response to the City's Comprehensive Plan, which identifies the applicant's property for urban low density residential development. The plat incorporates 164 single family lots, most of which are designed with widths of 75 or 81 feet.

In terms of access, the preliminary plat shows a connection to Keats Avenue in the northeastern portion of the plat. In addition to the Keats Ave. connection, the proposed plat on the Hammes site will be connected to the approved Savona single family subdivision via two north-south local roads (Streets 1 and 5), which ultimately connect to the 5<sup>th</sup> Street minor collector road.

This subdivision is the City's second subdivision that will receive public sanitary sewer service, which has been made available to the site via the nearly completed Section 34 429 Public Utility Project. The improvements constructed as part of the Section 34 Utility Project include a new sewer lift station that is sited on the property adjacent to Goose Lake just north of the eastern portion of the Hammes property. The utility project also includes the construction of a sewer main that will connect to the regional sewer interceptor within the Eagle Point Business Park, and the extension of water lines that will provide a connection to the City's water system. At present, the City's water for this area is provided by the City of Oakdale. However, Lake Elmo's long-range water plans call for an eventual connection to the City's water system via a new trunk line along Inwood Avenue. There is enough capacity in the Oakdale system to provide water to the Hammes development and a significant portion of the Stage 1 portion of the I-94 Corridor Planning Area until Lake Elmo can make the needed connections to its system. Sewer for the Hammes site is accessible near the location of the lift station in the northeastern portion of the property, and water main is accessible along the Keats Ave right-of-way in the southeastern portion of the site.

One of the other major features of the proposed subdivision is a series of outlots that will provide for open space, trails, and storm water management throughout the development area. Based on multiple reviews of the proposed parkland dedication with the Lake Elmo Park Commission, the applicant is proposing an extensive system of trails within the development, with the main trail being sited within



the 100-foot buffer/greenway area along the border of the Stonegate subdivision in the western and northern portions of the property. This buffer/greenway is consistent with the land use guidance of the Comprehensive Plan. In addition, the applicant is proposing park related improvements at the City owned parcel on Goose Lake, including a shelter and a fishing pier. All outlots that are planned for park land or storm water use will be deeded to the City, while the future home owner's association will retain ownership of the remaining outlots.

Due to the former use of the site as a gravel mining operation, the applicants have stated that a Phase 1 environmental review of the site has been completed. The purpose of such review is to test the site and soils for any hazardous or harmful materials related to the previous use of the site as a sand and gravel mine. In order to ensure that the site complies with all pertinent environmental requirements and regulations of the Minnesota Pollution Control Agency and Washington County Health Department, staff would recommend that the applicants submit evidence that a Phase 1 Environmental Review has been completed and that further environmental review is not necessary. Evidence of environmental review must be provided in advance of Final Plat.

The applicant is proposing to bring forward a final plat for the Hammes Estates development in stages, starting in the northeast corner of the site. The applicants have identified the area in the southeast portion of the plat as a future phase project due to necessary settling of the soils that must occur in that location.

In addition, the applicant has noted that the proposed builders of the residential homes in the subdivision will consist of a mix of one national builder, Ryland Homes, and other custom or local builders. In the narrative, the applicants have noted that the custom and local builders will build on lots closer to the Stonegate subdivision. The intent of this strategy is to offer greater variety and transition from the existing rural subdivision of Stonegate to the urban low density site to the south being developed by Lennar Homes.

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## **PLANNING AND ZONING ISSUES**

The Hammes site is guided for urban low density development in the City's Comprehensive Plan, and the applicant will be required to zone the site LDR – Low Density Residential at some point in the future (prior to Final Plat approval). The overall subdivision plan has therefore been prepared in order to comply with the district standards for the LDR zoning district in terms of lot size, lot widths, building setbacks, and other design criteria.

The arrangement of lots and blocks loosely follows two primary streets (Street 1 and Street 2), both of which follow curvilinear alignments. The proposed plat also includes three cul-de-sacs (Streets 4, 8 and 9), all of which meet the City's maximum length of 600 feet for lots less than 2.5 acres in size. It should be noted that two of the three cul-de-sacs within the plat are connected to the greater trail/sidewalk system through trail connections at the end of the streets. All other streets have been designed to comply with the City's current street standards. In terms of the overall design of the proposed subdivision, the location of the streets and lots are strongly guided by the 7 existing wetland on the site. Per Valley Branch Watershed District rules, the applicant is required to provide buffering of various sizes around the wetlands depending on wetland size, and type. The location of the wetlands and the required buffers have a large impact on the design of the subdivision.

Sidewalks and trails are planned throughout the subdivision. The proposed plans provide for sidewalks on one side of all streets, which is consistent with the Staff recommendation for sewer single family residential subdivisions. In terms of proposed trails, all are designed to be eight feet in

width and constructed of bituminous asphalt, which is consistent with City standard. In addition to the buffer/greenway trail, the proposed subdivision includes trails connecting cul-de-sacs on Streets 9 and 4, as well as a trail along the Keats Ave. corridor that is consistent with the same planned improvement as part of the Savona subdivision to the south. Finally, there is also a linkage trail provided between Lots 12 and 13, Block 11 to provide internal access to the subdivision from the Keats Ave. trail.

A typical lot building plan (detail) is included as part of the attached subdivision packet, and each lot as depicted in the plans includes a description of the lot size, dimensions, and all required setbacks. There are three general lot sizes proposed for the single family area with average dimensions of 75 by 140 feet, 81 by 140 feet and 85 feet by 140 feet. All of the lots meet the City's minimum area requirement of 8,000 for single family lots in a LDR district, with the smallest lot (Lot 15, Block 1) proposed at 9,836 square feet. The site plans further illustrate that throughout the single family area the lots will average 12,285 square feet, which exceeds the minimum requirements by a fairly wide margin. The median lot size within the development is 11,736 sq. ft. and the largest lot in the development (Lot 13, Block 11) is 21,941 sq. ft.

The following is a general summary of the subdivision design elements that have proposed as part of the Hammes preliminary plat and plans:

Zoning and Site Information:

- Existing Zoning: RT – Rural Development Transitional District
- Proposed Zoning: LDR - Urban Low Density Residential
- Total Site Area: 78.1 acres
- Total Residential Units: 164
- Proposed Density (Net): 2.60 units/acre

Proposed Lot Dimensional Standards:

- Min. Lot Width: 75 ft.
- Lot Depth: 140 ft. typical
- Lot Area: 8,000 sq. ft. (8,451 min.)
- Front Yard Setback: 25 ft.
- Side Yard Setback: 7.5 ft. (average)
- Rear Yard Setback: 20 ft.

Proposed Street Standards:

- ROW Width – Local 60 ft. (per Subdivision Ordinance)
- Street Widths – Local: 28 ft.(per City standard)

The standards listed above are all in compliance with the applicable requirements from the City's zoning and subdivision regulations. Based on Staff's review of the preliminary plat, the applicant has demonstrated compliance with all applicable code requirements at the level of detail that is required for a preliminary plat.

As with any new subdivision the City Code requires that a portion of the plat be set aside for public park use. In this case, the applicant has indicated that certain outlot areas will be dedicated to the City for this purpose, including portions of Outlots A and B. Since a large portion these areas represent green belt or trail corridors and are not suitable for other types of active recreation usage, it

is Staff's recommendation that the City only accept the trail corridors as part of the park land dedication requirements if the developer constructs the planned trail over these areas in conjunction with other required infrastructure improvements. As a general policy, Staff is recommending that the City consider accepting smaller land dedications in exchange for a more robust and connected trail system that will provide access to the City's numerous parks (including the regional park preserve). This recommendation is consistent with the general policy direction of the Park Commission and results of the 2013 City Park Survey.

The Subdivision Ordinance requires 10% of the land in urban residential districts to be set aside as open space, which totals 7.8 acres. On the plans (sheet 3), the applicant has noted that 8.15 acres of land associated with the greenbelt/buffer have been dedicated as park. If this calculation is accurate, then the required land dedication has been satisfied. However, sufficient detail regarding the calculation for public land dedication has not been provided. Staff would recommend that the applicant must submit a detailed and updated parkland dedication calculation in advance of Final Plat. Upon review of the updated calculation, if any gap exists between the eligible land dedication provided and the required land dedication amount, the applicant will be required to submit a fee in lieu of land dedication to satisfy the total land dedication requirement (10%) per the Subdivision Ordinance.

It is also important to note that a large portion of the Hammes property is currently in the shoreland district due to its proximity to Goose Lake. As the City's existing shoreland ordinance does not include standards for subdivision of properties in shoreland districts to be served by sanitary sewer, the existing ordinance does not provide solid guidance in this case. In an effort to update the City's shoreland standards, staff presented a draft shoreland ordinance to the Planning Commission on April 28, 2014. One of the key features of the draft ordinance was the provision of 150' riparian buffers for surface waters, including Goose Lake, located within the City's urban planning areas (I-94 Corridor and Village). Seeking additional guidance and feedback on the draft ordinance, City staff met with Molly Shodeen, the Area Hydrologist for the DNR, on April 29, 2014. Ms. Shodeen was familiar with the provision of riparian buffers in urban areas, a strategy that has been used successfully in Woodbury and other cities. In addition to reviewing the draft ordinance, staff also shared the Hammes Estates preliminary plat with the DNR. When reviewing the Hammes plat, it is clear that a 150-foot riparian buffer would be maintained with the current configuration of lots and outlots. City staff requested review comments for the plat from the DNR and have not received any review or feedback at this time. Moving forward, staff intend to hold a public hearing on the draft shoreland ordinance on May 28<sup>th</sup>, 2014. In order to ensure conformance to the City's shoreland rules, staff would recommend that the approval of the Preliminary Plat is contingent upon the City approving a revised shoreland ordinance to allow for the lot sizes proposed in the portion of the Hammes Estates subdivision that is in the shoreland district.

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## REVIEW AND ANALYSIS

City Staff has reviewed the proposed preliminary plat, which has gone through several versions in advance of the formal application being accepted as complete by the City. During the course of these reviews, several of the issues and concerns that were pointed out by Staff have been addressed by the applicant with updated submission documents. However, there are other elements of the plat that remain in conflict with City or Valley Branch Watershed District standards, which must still be addressed or corrected by the applicant. In general, the proposed plat will meet all applicable City requirements for conditional approval, and any deficiencies or additional work that is needed is noted

as part of the review record. Staff recognizes that this plat requires a number of revisions that will need to be resolved in advance of Final Plat.

The City has received a detailed list of comments from the City Engineer and the Washington County concerning the proposed subdivision, in addition to general comments from the Valley Branch Watershed District, Fire Chief, and the City's landscape consultant, Stephen Mastey, all of which are attached for consideration by the Commission.

In addition to the general comments that have been provided in the preceding sections of this report, Staff would like the Planning Commission to consider the issues and comments related to the following discussion areas as well:

- **Comprehensive Plan.** The proposed subdivision is consistent with the Lake Elmo Comprehensive Plan for this area and with the densities that were approved as part of this plan. The net densities for the development fall within the range allowed for the urban low density land use category. Other aspects of the Comprehensive Plan relate to the Hammes Estates subdivision as follows:
  - **Density Calculation.** The subject property is guided Urban Low Density Residential in the Comprehensive Plan, which allows for a density range of 2.5-4.0 units/acre (net). The applicants have completed the density calculation using the methodology consistent with the Metropolitan Council's practice. The resulting net density calculation resulted in a net density of 2.60 units/acre (164 units/63.03 net developable acres). Therefore, the proposed subdivision is consistent with the guidance of the Comprehensive Plan.
  - **Parks.** The City's park plan identifies proposed location for neighborhood parks based on the anticipated population that should be served by each park. The plan calls for one additional parks in the vicinity of the Hammes Estates Plat. As noted earlier by Staff, the Park Commission did review the Hammes Estates Sketch Plan on two occasions and unanimously approved the proposed park facilities to be included in the plat contingent upon construction of a shelter, fishing pier, various trail connections, and playground equipment on the site adjacent to Goose Lake.
  - **Water.** Water will be provided to this area via existing watermain along Inwood Avenue. The Hammes Estates subdivision will be able to be served under the City's current agreement with the City of Oakdale until the Inwood extension is completed.
  - **Sanitary Sewer.** The Hammes Estates subdivision will be served by sanitary sewer that will connect to the lift station constructed as part of the Section 34 utility project. All of the wastewater will flow to the lift station in the northeast boundary of the site via gravity sewer main.
  - **Phasing.** The Hammes Estates subdivision is located within the Stage 1 phasing area for the I-94 Corridor and therefore the proposed development is acceptable as the second development within the planned urban residential areas.
- **Zoning.** The proposed zoning for the Hammes Estates site will be LDR – Low Density Residential. The submitted development plans demonstrate compliance with the City's urban residential zoning requirements. Single family detached housing is a permitted use within the LDR zoning district.

- **Subdivision Requirements.** The City's Subdivision Ordinance includes a fairly lengthy list of standards that must be met by all new subdivisions, and include requirements for blocks, lots, easements, erosion and sediment control, drainage systems, monuments, sanitary sewer and water facilities, streets, and other aspects of the plans. For instance, the Ordinance includes limitations on the maximum length of a block (1,800 feet), and based on the spacing of the proposed streets, the Hammes Estates plat complies with this requirement. The majority of these requirements have been addressed as part of the City Engineer's comments (which are summarized below) or have been reviewed as part of Staff's ongoing communications with the applicant regarding the project.
- **Infrastructure.** The developer will be required to construct all streets, sewer, water, storm water ponds, and other infrastructure necessary to serve the development.
- **Wetlands and Wetland Buffers.** Due to the existence of 7 wetlands (A-G) on the site, the applicant is required to provide substantial buffering around these wetlands to comply with watershed district rules concerning wetland buffering. In order to demonstrate that adequate buffering has been achieved, the applicant has submitted a preliminary wetland buffer plan (sheets 11-12). This plan documents the proposed buffers intended to meet the VBWD rules. In addition, the applicant is proposing to include minimal portions of wetland buffers on a small number of private lots. As a broad policy, City staff are opposed to allowing substantial buffering on private lots. However, if done on a very limited amount of lots and restrained to the typical drainage and utility easement areas, staff has been willing to accept minimal wetland buffering on a limited number of properties. To illustrate where the proposed buffers encroach on private lots, the applicants have submitted a Wetland Buffer Encroachment Sketch (Attachment #4). This exhibit documents that wetland buffers encroach only within the normal drainage and utility easements of 16 total lots (Lot 3, Block 6, Lots 2 and 3, Block 5, Lots 17 and 16, Block 2, Lots 8-11, Block 6 and Lot 1-7, Block 7). In order to protect these areas within private lots, staff required these areas to be located within the normal drainage and utility easements. In addition, staff would recommend that prior to the acceptance of the public improvements for the Hammes Estates plat, all wetland buffers shall be delineated and identified via some form of staking or signage that is acceptable to the City. In addition, it should be noted that the minimum 25' wetland buffer for Wetland B encroached on the City's public right-of-way of Street 1. The encroachment of the minimum buffer does not comply with City standards, and staff is recommending that Street 1 be shifted north/revised. Further details on this specific encroachment are found the review comments of the City Engineer.
- **Trails.** The applicants are proposing an extensive system of trails throughout the development. Staff reviewed the proposed trails and has the following comments:
  - The proposed buffer trail that aligns to the north of Wetland A appears to encroach into the High Water Level (HWL) of Wetland A. Staff is recommending that the trail be aligned to the south of Wetland A within an outlot dedicated to the City.
  - In several instances, trail are proposed to encroach on wetland buffer areas. Per Valley Branch Watershed District rules, no impervious surface is allowed within required wetland buffers. In order to allow for trails in any wetland buffer, the applicant must present a suitable design or material for proposed multi-purpose trails in buffer areas that is acceptable to the City and VBWD. In addition, staff

recommends that the applicant limit the encroachment of trails into buffer areas to the greatest extent possible.

- The proposed trail that connects the cul-de-sac on Street 9 to Street 1 is currently shown is being located within dedicated easements to the City. In meeting with the applicant, staff agreed to allow the trail to be located on dedicated easements between Lots 6-9 on Block 5. However, City staff did request that the trail segment between Lots 14 and 15, Block 2 be located on a dedicated 30-foot outlot. Staff would recommend that this revision be completed to ensure maximum amount of trail are in dedicated outlots to the City as per staff recommendation.
- In terms of the buffer/greenway trail, staff recognizes that the City has received requests in the past from Stonegate residents to keep the trail located in the southern portion of the greenway/buffer. However, in the instance of the trail north of Wetland F, the trail has been located on the City-owned park property in the northern portion of the greenway due to the required wetland buffers surrounding Wetlands F and G. If the trails were to be located in the southern portion of the greenway in this area, the trails would not be allowed to be constructed of bituminous or any other type of impervious surface. In other words, some type of boardwalk trail or other design would be required. From a maintenance perspective, this design is not ideal for the City, as maintenance activity is also restricted within wetland buffers. For these reasons, staff is recommending that the greenway trail be located on the City owned property.
- **Landscaping and Tree Preservation.** The landscape and tree preservation plans have been reviewed by the City's consulting landscape architect, Stephen Mastey. Mr. Mastey's review memorandum related to the landscape and tree preservation plans is found in Attachment #6e. The most critical component of Mr. Mastey's review relates to the fact that the total amount of trees/plant material proposed for the subdivision does not currently meet the requirements of the City's Landscape and Tree Preservation Ordinances. More specifically, the landscape plan as proposed is 149 trees short of the City's requirements. In the narrative, the applicants request some flexibility from total number of plantings due to the City's ordinances being amended since the last subdivision (Savona) was approved. It is accurate that the City has adopted new landscaping standards and tree preservation requirements since the Savona development was approved. However, in the professional judgment of Mr. Mastey, the City's requirements are fair and reasonable compared to other metro communities. For this reason, staff is recommending that the applicant revise the landscape plan through one of the following methods outlined in Mr. Mastey's review memo to make up the difference for the required trees/plant materials. In addition, any updates to the landscape plan should identify location of species of various plant material, landscape irrigation plans, as well as seed or planting plans around storm water facilities, all of these recommendations per Mr. Mastey. The applicants' consultant is advised to contact Mr. Mastey with any questions and/or recommendations.
- **Green Belt/Buffer.** The Comprehensive Plan identifies an area north and west of the Hammes Estates plat as a greenway/buffer space with a minimum width of 100 feet. The Hammes subdivision includes an area that has been design to comply with this aspect of the Comprehensive Plan. However, there is one lot (Lot 16, Block 1) where the green belt as shown does not appear to meet the intent of the Comprehensive Plan. Staff would

recommend that the plans are revised in advance of final plat to meet the requirement of the Comprehensive Plan. As an alternative to this requirement, the applicant could submit evidence of an open space easement acquired from the adjacent property owner in the Stonegate subdivision to fulfill the 100' required greenbelt dimension next to Lot 16, Block 1 of the Hammes plat.

- **Streets.** The proposed street system has been designed to comply with all applicable subdivision requirements and City engineering standards. It should be noted that the applicants are planning a temporary cul-de-sac or turn around on Street 2 to the north of the Future Phase boundary (see sheet 4). Staff would recommend that the design of the temporary cul-de-sac meet the approval of the City Engineer, Public Works Superintendent and Fire Chief.
- **Secondary Access.** In order to ensure effective traffic circulation and appropriate access for emergency services, staff recommends providing secondary access to the site at the earliest convenience/phasing possible. As part of the Savon Final Plat, a connection to Street 5 within the Hammes plat was provided. This connection will likely be the best opportunity to provide secondary access to the site, as the connection through the Savona development provides access to the 5<sup>th</sup> Street minor collector road. Staff would recommend that only a certain threshold or number of units are platted before secondary access is provided.
- **Street Names.** Staff is recommending that the street names for the proposed subdivision follow the Washington County street naming system. As a condition of approval, Staff is asking that the applicant continue to work with the City at developing street names for the project, and that these names be included with the final plat submission.
- **City Engineer Review.** The City Engineer has provided the Planning Department with a detailed comment letter (Attachment #6a) as a summary of his preliminary plat review. Staff has incorporated the more significant issues identified by the Engineer as part of the recommended conditions of approval, and has also included a general condition that all issues identified by the City Engineer must be addressed by the applicant prior to approval of a final plat for any portion of the Hammes Estates subdivision. The Engineer notes that several of the City's standards are not currently met, and the necessary revisions and corrections must be made in advance of Final Plat.
- **Fire Department Review.** The Fire Chief has reviewed the plat and has requested that the locations of the proposed fire hydrants be revised to comply with the City's requirements. More specifically, the Fire Chief has identified multiple hydrant locations that do not meet the criteria for required spacing or are in locations that are not ideal for operation effectiveness. The Fire Chief's review memo is Attachment #6d. Staff is recommending that the applicant revise the location of the proposed hydrants at the direction of the Fire Chief.
- **Washington County Review.** County Staff has reviewed the Hammes Estates plat and provided specific comments to the City in a letter dated May 6, 2014. The most significant of the County's concerns is that the applicant will need to make improvements to the County road system in order to provide the necessary access to Hammes Estates. As a condition of approval, Staff has noted that the applicant will be responsible for including all improvements to Keats Ave. (CSAH 19) as required by the County as part of the construction plans for the development, and that the developer will be responsible for constructing these

improvements, which will include the modification of the median crossing within the CSAH 19 right-of-way, the installation of turn lanes into the development, and construction of a trail/sidewalk into the south side of the median.

- ***Watershed Districts.*** The project area lies within the Valley Branch Watershed District (VBWD). John Hanson, the VBWD Engineer, has provided informal comments and emails to staff regarding the project (Attachment #6c). Per VBWD's informal comments, the proposed plat conflicts with required standards and VBWD rules. The developer must meet all VBWD rules and will need to secure permits from the VBWD in order to proceed with the development as planned.

Based on the above Staff report and analysis, Staff is recommending approval of the preliminary plat with 19 conditions intended to address the outstanding issues noted above and to further clarify the City's expectations in order for the developer to move forward with a final plat. The recommended conditions are as follows:

***Recommended Conditions of Approval:***

- 1) Within six months of preliminary plat approval, the applicant shall complete the following:
  - a. The applicant shall provide adequate title evidence satisfactory to the City Attorney.
  - b. The applicant shall submit a revised preliminary plat and plans meeting all conditions of approval. All of the above conditions shall be met prior to the City accepting an application for final plat and prior to the commencement of any grading activity on the site.
- 2) The City Engineer shall review and approve all revised Preliminary Plans that are submitted to the City in advance of Final Plat to satisfy Condition #1.
- 3) The Preliminary Plat approval is conditioned upon the applicant meeting all minimum City standards and design requirements.
- 4) The approval of the Preliminary Plat is contingent upon the City approving a revised shoreland ordinance that would allow for the lot sizes proposed in the portion of the Hammes Estates subdivision located within a shoreland district.
- 5) The applicants shall submit evidence that a Phase 1 Environmental Review of the site has been completed and that further environmental review is not necessary. Evidence of environmental review must be provided in advance of Final Plat.
- 6) Prior to the acceptance of the public improvements for the Hammes Estates plat, all wetland buffers shall be delineated and identified via staking or signage that is acceptable to the City.
- 7) The applicant shall provide for a minimum green belt/buffer of 100 feet around all of the adjacent Stonegate subdivision, and must either revise the preliminary plat in the vicinity of Lot 16, Block 1 to properly account for this buffer or provide evidence to the City of any acquired open space easements from the adjacent property in the Stonegate subdivision.



- 8) The landscape plan shall be updated per the recommendations of the City's Landscape consultant.
- 9) The utility plan shall be updated to relocate/add fire hydrants to meet spacing requirements and ensure ideal operational effectiveness per the direction of the Lake Elmo Fire Chief.
- 10) The applicant shall be responsible for the construction of all improvements within the Keats Avenue (CSAH 19) right-of-way as required by Washington County and further described in the review letter received from the County dated May 6, 2014. The required improvements shall include, but not be limited to: construction of a modified median crossing, construction of a trail/sidewalk to the south side of the median, turn lanes, and other improvements as required by the County.
- 11) The developer shall follow all of the rules and regulations spelled out in the Wetland Conservation Act, and shall acquire the needed permits from Valley Branch Watershed District prior to the commencement of any grading or development activity on the site.
- 12) Landscape islands shall be platted as part of the right-of-way and shall be maintained by the Home Owners Association. The applicant shall enter into a maintenance agreement with the City that clarifies the individuals or entities responsible for any landscaping installed in areas outside of land dedicated as public park and open space on the final plat.
- 13) The developer shall be required to submit an updated parkland dedication calculation in advance of Final Plat. Upon submission of the calculation, if the amount of eligible parkland that is dedicated does not equal the required total land dedication of 7.8 acres, the applicant will be required to pay a fee in lieu of park land dedication equivalent to the fair market value for the amount of land required to meet the total dedication requirements less the eligible land dedicated for park purposes. Any cash payment in lieu of land dedication shall be paid by the applicant prior to the release of the final plat for recording.
- 14) Any land under which public trails are located will be accepted as park land provided the trail is located within a dedicated outlot and the developer constructs said trails as part of the public improvements for the subdivision.
- 15) No more than 100 units may be approved as part of a final plat until secondary access is provided to the subdivision via a connection to 5<sup>th</sup> Street through the Savona subdivision.
- 16) Modifications to the proposed trails in the subdivision shall include the following:
  - a. For trails proposed to be located in any wetland buffer, the applicant must present a suitable design or material that is acceptable to the City and Valley Branch Watershed District. In addition, staff recommends that the applicant limit the encroachment of trails into buffer areas to the greatest extent possible.
  - b. The trail segment aligned to the north of Wetland A must be revised to be aligned to the south of the wetland due to concerns of the High Water Level. The trail shall be located within an outlot dedicated to the City.
  - c. The trail segment between Lots 14 and 15, Block 2 shall be located on a 30-foot outlot dedicated to the City.

- 17) The applicant must enter into a separate grading agreement with the City prior to the commencement of any grading activity in advance of final plat and plan approval. The City Engineer shall review any grading plan that is submitted in advance of a final plat, and said plan shall document extent of any proposed grading on the site.
- 18) All required modifications to the plans as requested by the City Engineer in a review letter dated May 8, 2014 shall be incorporated into the plans prior to consideration of a final plat. Specific requirements include, but are not limited to, the following:
- a. The Preliminary Plat must be revised to meet City standard requirements for utility easements.
  - b. The Preliminary Plat must be revised to incorporate the necessary improvements to Keats Ave. (CSAH 19) as required by Washington County
  - c. The Preliminary Plat must be revised remove the Street 1 right-of-way from the minimum 25-foot buffer for Wetland A. The entire street right-of-way must be relocated outside of the minimum wetland buffer.
  - d. The grading plan must be revised to meet the Valley Branch Watershed District standards for grading within wetland buffers.
  - e. The Grading and Storm Water Management Plan must be revised so that the subgrade of Street 1 is above the HWL for infiltration basin 5A on Outlot D.
  - f. Maintenance access roads must be relocated or improved to meet City standard requirements.
  - g. The Preliminary Plat must be revised to provide additional details for the proposed improvements to the City park property adjacent to Goose Lake and the City's lift station to demonstrate that the improvements can be completed as shown.
- 19) The applicant shall work with the Planning Staff to name all streets in the subdivision prior to submission of a final plat.

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## DRAFT FINDINGS

Staff is recommending that the Planning Commission consider the following findings with regards to the proposed Hammes Estates preliminary plat:

- That the Hammes Estates preliminary plat is consistent with the Lake Elmo Comprehensive Plan and the Future Land Use Map for this area.
  - That the Hammes Estates preliminary plat complies with the City's LDR- Urban Low Density Residential zoning district.
  - That the Hammes Estates preliminary plat complies with the City's subdivision ordinance.
-

**RECCOMENDATION:**

Staff recommends that the Planning Commission recommend approval of the Hammes Estates preliminary plat with the 19 conditions of approval as listed in the Staff report. Suggested motion:

*“Move to recommend approval of the Hammes Estates preliminary plat with the 19 conditions of approval as drafted by Staff based on the findings of fact listed in the Staff Report.”*

**ATTACHMENTS:**

- 1. Location Map
- 2. Application Forms and Project Narrative
- 3. Preliminary Plat and Plans (25 sheets)
- 4. Wetland Buffer Encroachment Sketch
- 5. Hammes Wetland Report
- 6. Review Comments:
  - a. City Engineer
  - b. Washington County
  - c. Valley Branch Watershed District
  - d. Fire Chief
  - e. Landscape Consultant

**ORDER OF BUSINESS:**


- Introduction .....Planning Staff
- Report by Staff .....Planning Staff
- Questions from the Commission ..... Chair & Commission Members
- Open the Public Hearing .....Chair
- Close the Public Hearing.....Chair
- Discussion by the Commission ..... Chair & Commission Members
- Action by the Commission ..... Chair & Commission Members

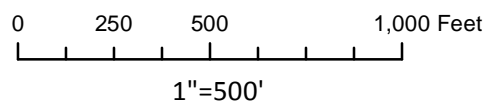


**Location Map: Hammes Estates Plat (PID: 34.029.21.13.0001)**



Data Source: Washington County, MN  
5-9-2014

 Hammes Property



Date received \_\_\_\_\_  
Received by: \_\_\_\_\_  
LJH #: \_\_\_\_\_

LAKELAND

651-747-3900  
3800 Laverie Avenue North  
Lake Elmo, MN 55042

**PRELIMINARY PLAT APPLICATION**

Applicant: Hammes west LLC Brian McGoldrick  
Address: 36 moonlight BAY Stillwater, MN  
Phone #: 651-387-1000  
Email Address: brian.j.mcgoldrick@hotmail.com

Fee Owner: Ellie Hammes  
Address: 1187 Forest Ave  
Phone #: 651-274-6054  
Email Address: Mittlewood\_mw 55109

Property Location (Address and Complete (long) Legal Description): See Attached  
ALTA Survey

General information of proposed subdivision:  
Proposed Single-Family Residential  
development will create 165 lots

Conducted pre-application meeting with Staff?  Yes  No

In signing this application, I hereby acknowledge that I have read and fully understand the applicable provisions of the Zoning Ordinance and current administrative procedures. I further acknowledge the fee explanation as outlined in the application procedures and hereby agree to pay all statements received from the City pertaining to additional application expense.

Signature of applicant: Brian McGoldrick Date: 3/7/14

**City Use Only**  
Planning, Zoning District: \_\_\_\_\_ Date: \_\_\_\_\_  
Reviewed by: \_\_\_\_\_  
Subject to the following conditions: \_\_\_\_\_  
Engineering Reviewed by: \_\_\_\_\_ Date: \_\_\_\_\_  
Subject to the following conditions: \_\_\_\_\_



Lake Elmo City Hall  
651-747-3900  
3800 Laverne Avenue North  
Lake Elmo, MN 55042

### ACKNOWLEDGEMENT OF RESPONSIBILITY

This is to certify that I am making application for the described action by the City and that I am responsible for complying with all City requirements with regard to this request. This application should be processed in my name and I am the party whom the City should contact regarding any matter pertaining to this application.

I have read and understand the instructions supplied for processing this application. The documents and/or information I have submitted are true and correct to the best of my knowledge. I will keep myself informed of the deadlines for submission of material and of the progress of this application.

I understand that this application may be reviewed by City staff and consultants. I further understand that additional information, including, but not limited to, traffic analysis and expert testimony may be required for review of this application. I agree to pay to the City upon demand, expenses, determined by the City, that the City incurs in reviewing this application and shall provide an escrow deposit to the City in an amount to be determined by the City. Said expenses shall include, but are not limited to, staff time, engineering, legal expenses and other consultant expenses.

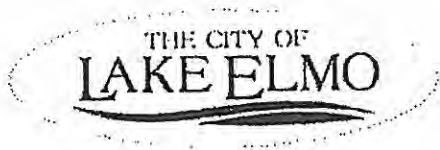
I agree to allow access by City personnel to the property for purposes of review of my application.

*Hammes West LLC*

Signature of applicant *Brian J. McGoldrick* Date *3/2/14*

Name of applicant *BRIAN McGoldrick* Phone *651-387-1000*  
(Please Print)

Name and address of Contact (if other than applicant) \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



Lake Elmo City Hall  
651-747-3900  
3800 Laverne Avenue North  
Lake Elmo, MN 55042

### AFFIRMATION OF SUFFICIENT INTEREST

I hereby affirm that I am the fee title owner of the below described property or that I have written authorization from the owner to pursue the described action.

Name of applicant Hammes West LLC  
(Please Print)

Street address/legal description of subject property \_\_\_\_\_  
South 1/2 of the Northeast Quarter, Section 34,  
Township 29, Range 21, except the east 60 feet  
of the North 967 feet, and except the Parcel 3  
of Washington County Highway Right of Way 49-19B,  
Washington County Minnesota.

Eleanor Hammes                      3/7/14  
Signature    Date

If you are not the fee owner, attach another copy of this form which has been completed by the fee owner or a copy of your authorization to pursue this action.

If a corporation is fee title holder, attach a copy of the resolution of the Board of Directors authorizing this action.

If a joint venture or partnership is the fee owner, attach a copy of agreement authorizing this action on behalf of the joint venture or partnership.

## AFFIRMATION OF SUFFICIENT INTEREST

I hereby affirm that I am the **fee title owner** of the below described property or that I have written authorization from the owner to pursue the described action.

Name of applicant Hammes West LLC  
(Please Print)

Street address/legal description of subject property \_\_\_\_\_

South 1/2 of the Northeast Quarter, Section 34,  
Township 29, Range 21, except the east 60 feet  
of the North 967 feet, and except the Parcel 3  
of Washington County Highway Right of Way 49-19B,  
Washington County Minnesota.

Edward R Kuhlman  
Signature

3/7/14  
Date

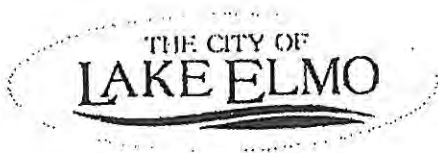
Edward Kuhlman, Personal Representative of the estate of Earl R Hammes

**If you are not the fee owner**, attach another copy of this form which has been completed by the fee owner or a copy of your authorization to pursue this action.

**If a corporation is fee title holder**, attach a copy of the resolution of the Board of Directors authorizing this action.

**If a joint venture or partnership is the fee owner**, attach a copy of agreement authorizing this action on behalf of the joint venture or partnership.





Lake Elmo City Hall  
651-747-3900  
3800 Laverne Avenue North  
Lake Elmo, MN 55042

### AFFIRMATION OF SUFFICIENT INTEREST

I hereby affirm that I am the fee title owner of the below described property or that I have written authorization from the owner to pursue the described action.

Name of applicant Hammes West LLC  
(Please Print)

Street address/legal description of subject property \_\_\_\_\_

South 1/2 of the Northeast Quarter, Section 34,  
Township 29, Range 21, except the east 60 feet  
of the North 967 feet, and except the Parcel 3  
of Washington County Highway Right of Way 49-19B,  
Washington County Minnesota.

Elmer Hammes \_\_\_\_\_ 3/7/14  
Signature Date

as attorney in fact for Leo Hammes

If you are not the fee owner, attach another copy of this form which has been completed by the fee owner or a copy of your authorization to pursue this action.

If a corporation is fee title holder, attach a copy of the resolution of the Board of Directors authorizing this action.

If a joint venture or partnership is the fee owner, attach a copy of agreement authorizing this action on behalf of the joint venture or partnership.



Lake Elmo City Hall  
651-747-3900  
3800 Laverne Avenue North  
Lake Elmo, MN 55042

### AFFIRMATION OF SUFFICIENT INTEREST

I hereby affirm that I am the fee title owner of the below described property or that I have written authorization from the owner to pursue the described action.

Name of applicant Hammes West LLC  
(Please Print)

Street address/legal description of subject property \_\_\_\_\_  
South 1/2 of the Northeast Quarter, Section 34, Township 29, Range 21, except the East 60 feet  
of the North 967 feet, and except Parcel 3 of Washington County Highway Right of Way  
Plat 49-19B, Washington County, Minnesota;

Dorothy H. Lyons \_\_\_\_\_ 3/19/14  
Dorothy H. Lyons Date

If you are not the fee owner, attach another copy of this form which has been completed by the fee owner or a copy of your authorization to pursue this action.

If a corporation is fee title holder, attach a copy of the resolution of the Board of Directors authorizing this action.

If a joint venture or partnership is the fee owner, attach a copy of agreement authorizing this action on behalf of the joint venture or partnership.

## HAMMES ESTATES NARRATIVE

a. Contact Information:

Owner: Hammes West, LLC  
c/o Brian McGoldrick  
36 Moonlight Bay  
Stillwater, MN 55082  
651-387-1000

Owner: Eleanor Hammes  
1187 Frost Avenue  
Maplewood, MN 55109

With Copy to:  
The Afton Law Office  
3121 St. Croix Trail South  
Afton, MN 55001  
651-436-8656

Owner: Dorothy Lyons  
10105 – 10<sup>th</sup> Street  
Lake Elmo, MN 55042

With Copy to:  
Brian D. Chmielewski  
6043 Hudson Road, Suite 340  
Woodbury, MN 55125  
651-330-7191

Engineer: Westwood Professional Services  
Attention: Ryan Bluhm, PE, LEED, AP  
7699 Anagram Drive  
Eden Prairie, MN 55344  
952-906-7432

b. Site Data.

Parcel Size: The parcel size is 78 acres (3,397,680 square feet)  
PID: 34.029.21.13.0001  
Zoning: Rural Development Transitional District and guided Low Density Residential in the Comprehensive Plan, Planned Use section. *It is anticipated the zoning will be changed to LDR, Low Density Residential in conjunction with the preliminary plat process.*

Legal Description: South ½ of the Northeast Quarter, Section 34, Township 29, Range 21, except the East 60 feet of the North 967 feet, and except Parcel 3 of Washington County Highway Right of Way Plat 49-19B, Washington County, Minnesota.

c. General Information:

Proposed Name: Hammes Estates  
Proposed Lots: 165  
Open Space: 20+ acres

d. Issues since Sketch Plan. At the sketch plan stage, Lake Elmo Planning staff requested a buffer for the Stonegate neighborhood on the north and west as well as a small playground, such as a “tot lot”, for use by residence in the existing neighborhood. The current plan has extensive trails throughout a linear park and encompasses a 20+ acre buffer between the Hammes and Stonegate developments. A small community play area with fishing pier is planned on the northeast corner of the property along the city-owned parcel.

e. Intent of Project. The intent of the project is to convert a prior mining operation into a progressive, thriving community encompassing a broad range of home with varying values. The project is structured to utilize various lot sizes and designs together with a buffer zone to enhance the open space between the new lots and the adjoining neighborhood.

f. Proposed Density. All of the lots will meet or exceed the minimum standards of the LDR Low Density Residential zoning district. The density of the project is 2.11 units per gross area and 2.67 units per net area. These are within the density allowed in the

Comprehensive Plan (2.5 per 4 units of net density allowed.) The average lot width for the custom lots are approximately 82 feet and the average lot width for the national builder lots is 75 feet. The minimum lot area within the LDR is 8,000 square feet; therefore, no variance or exceptions are anticipated.

g. Proposed Infrastructure Improvements and Phasing.

The project intends to use sanitary sewer and water which have been installed by the City of Lake Elmo on the east side of the 78-acre parcel.

The owners plan to begin reclamation of the mining site in mid-March, which shall encompass moving and testing of approximately 500,000 yards of fill that have been brought into the site.

The homes will be accessed by streets designed with the new standard urban street section. This will feature concrete curb and gutter sections where appropriate with bituminous surfacing and sections built to the depth and thickness appropriate for the traffic anticipated.

The storm water facilities will be designed in accordance with the requirements of the Valley Branch Watershed District.

The project shall include walking/hiking trails proposed to be bituminous surface 8 feet wide.

The first phase will include 50 custom lots and 70 national builder lots, primarily in the northern one half of the 78-acre site.

The project includes extensive efforts to save and replenish as many trees as possible under the following guidelines:

Tree Replacement requirements (based on current plans – efforts to save more trees will continue to be refined):

- 958 caliper inches of plantings need to be replaced
- Equivalent amount of tree plantings = 383 trees (at minimum size of 2-1/2")

Landscape Requirements:

- 5 trees per disturbed acre = 336 trees (minimum size of 2-1/2")

- 1 street tree every 50' of street frontage = 328 trees (minimum size of 2-1/2")
- TOTAL = 664 trees

Landscape and Tree Replacement Proposed:

- Street Trees: 348 trees (approx. 50' on center)
- Other overstory trees: 51 trees (green & open space areas)
- Future Yard trees (2 per lot, by builder): 330 trees (in either front or back yards)
- Evergreen Trees: 129 trees (mostly buffer trees)
- Ornamental Trees: 40 trees (accent trees)
- TOTAL TREES PROVIDED: 898 Trees Total

The current proposal is 149 trees short of the new requirements, however, the applicant is requesting some flexibility in meeting these guidelines due to the following factors:

The old code required 6 trees per disturbed acre and one boulevard tree for every 50 feet utilizing 1" to 1½" trees. The new code requires minimum size of 2½" trees and does not allow any of the tree replacement planting to satisfy the landscape requirements. The new tree requirements result in the applicant being forced to plant double the amount of trees than the adjoining development.

- h. Neighboring Property Issues. The only issue raised in response to the original proposal was the impact on the Stonegate development to the north and west. In order to address these concerns, the plan includes a transitional area along the 20 acre buffer with custom builder lots that are substantially larger than the lots in the southern portion of the development. This transition approach is designed to accentuate the buffering that was envisioned by the City to keep the newer projects from creating negative impacts on the existing homes.
- i. Conflicts with Nearby Land Uses. The proposed project does not conflict with any of the nearby land uses. The development to the south is a higher density development than what this development. Significant efforts have been made to minimize disturbance to the adjoining development to the north and west.

A wetland delineation has been completed, and the project will meet all requirements of the Valley Branch Watershed District to minimize disturbances to and protect the existing wetlands and natural areas.

- j. No Excess Burden. The phasing of the project and build-out of the infrastructure should not place any excessive burden on the Lake Elmo facilities and services since Lake Elmo has been mandated and anticipated the increase in residents to the community.
- k. Proposed Lakeshore Access. The proposed project includes a small park in the northeast corner which shall include a small parking area, picnic tables and kayak/canoe racks and a small dock for use by the residents of the development. Access to this park will be from a short driveway immediately entering the development in the northeast corner - (lift station in on the south side of our entrance).
- l. Proposed Parks and/or Open Space. The project includes approximately 20 acres of open space with 13.6 acres for parks, comprised of the outlot areas less any wetland and infiltration/ponding acres below the normal water level. In addition, there is other open space of 2.16 acres of ponding and infiltration areas below the normal water level.
- m. Proposed Development Schedule.
  - Preliminary Plat Submittal – March 7, 2014
  - Valley Branch Submittal – March 7, 2014
  - Planning Commission/City Council Meeting – Early to Mid-April, 2014
  - Submit Final Plat for Initial Phase – May 5, 2014
  - Complete Site Grading for the Initial Phase – June 15, 2014
  - Final Plat Review Planning Commission/City Council Meetings – mid-June, 2014
  - Start utilities/street work – June 15, 2014
  - Street work complete – August 31, 2014

# Preliminary Plans

for

## Plat, Site, Grading, Erosion Control, Utilities and Landscape

for

### Hammes Property Lake Elmo, Minnesota

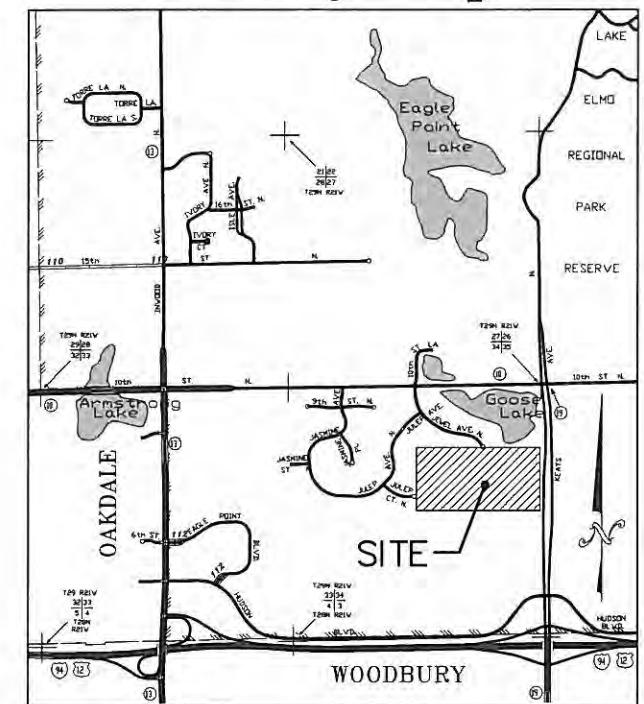
Prepared for:

**Ryland Homes**  
**7599 Anagram Drive**  
**Eden Prairie, Minnesota 55344**  
**Contact: Mark Sonstegard**  
**Phone: 952-229-6000**  
**Fax: 952-229-6024**

Prepared by:

**Westwood**  
 Westwood Professional Services, Inc.  
 7699 Anagram Drive  
 Eden Prairie, MN 55344  
 PHONE 952-937-6160  
 FAX 952-937-5822  
 TOLL FREE 1-888-937-5160  
 www.westwoodps.com  
 Project number: 0002905.00  
 Contact: Ryan M. Bluhm

### Vicinity Map



(Not to Scale)

Sheet List Table	
Sheet Number	Sheet Title
1	Cover
2	Existing Conditions
3	Preliminary Plat Plan
4	Preliminary Street & Storm Sewer Plan
5	Preliminary Geometric Site Plan
6	Overall Preliminary Grading, Drainage & Erosion Control Plan
7	Preliminary Grading, Drainage & Erosion Control Plan
8	Preliminary Grading, Drainage & Erosion Control Plan
9	Preliminary Grading, Drainage & Erosion Control Plan
10	Preliminary Grading, Drainage & Erosion Control Plan
11	Preliminary Wetland Buffer Plan
12	Preliminary Wetland Buffer Plan
13	Preliminary Utility Plan
14	Details
15	Details
16	Details
17	Street Profiles
18	Street Profiles
19	Preliminary Landscape Plan
20	Preliminary Landscape Plan
21	Preliminary Tree Preservation Plan
22	Preliminary Tree Preservation Plan
23	Preliminary Tree Preservation Plan
24	Preliminary Tree Preservation Plan
25	PRELIMINARY TREE PRESERVATION PLAN

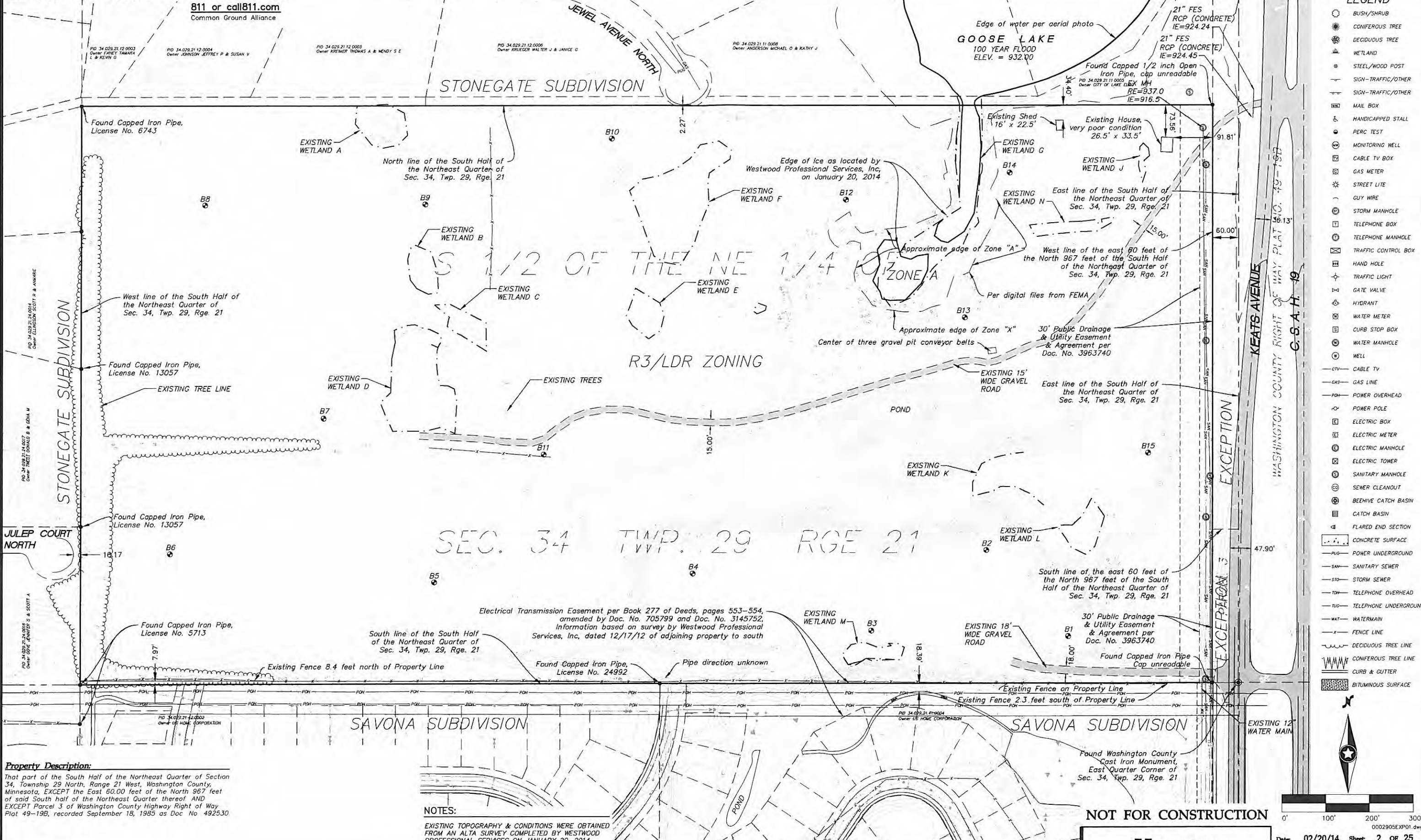
NO.	DATE	REVISION	SHEETS
1	04/08/14	CITY COMMENTS	ALL
2	05/02/14	CITY COMMENTS	ALL

NOT FOR CONSTRUCTION

### Preliminary Plans

for  
**Plat, Site, Grading, Erosion Control, Utilities and Landscape**  
 for  
**Hammes Property**  
 Lake Elmo, Minnesota





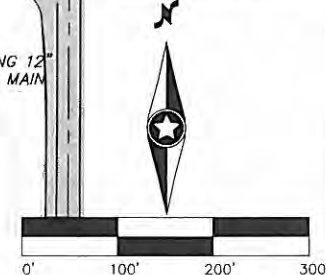
LEGEND

- BUSH/SHRUB
- CONIFEROUS TREE
- DECIDUOUS TREE
- WETLAND
- STEEL/WOOD POST
- SIGN—TRAFFIC/OTHER
- SIGN—TRAFFIC/OTHER
- MAIL BOX
- HANDICAPPED STALL
- PERC TEST
- MONITORING WELL
- CABLE TV BOX
- GAS METER
- STREET LITE
- GUY WIRE
- STORM MANHOLE
- TELEPHONE BOX
- TELEPHONE MANHOLE
- TRAFFIC CONTROL BOX
- HAND HOLE
- TRAFFIC LIGHT
- GATE VALVE
- HYDRANT
- WATER METER
- CURB STOP BOX
- WATER MANHOLE
- WELL
- CTV—CABLE TV
- GAS—GAS LINE
- POW—POWER OVERHEAD
- POWER POLE
- ELECTRIC BOX
- ELECTRIC METER
- ELECTRIC MANHOLE
- ELECTRIC TOWER
- SANITARY MANHOLE
- SEWER CLEANOUT
- BEEHIVE CATCH BASIN
- CATCH BASIN
- FLARED END SECTION
- CONCRETE SURFACE
- POW—POWER UNDERGROUND
- SAN—SANITARY SEWER
- STO—STORM SEWER
- TOW—TELEPHONE OVERHEAD
- TUG—TELEPHONE UNDERGROUND
- WAT—WATERMAIN
- FENCE LINE
- DECIDUOUS TREE LINE
- CONIFEROUS TREE LINE
- CURB & GUTTER
- BITUMINOUS SURFACE

**Property Description:**  
That part of the South Half of the Northeast Quarter of Section 34, Township 29 North, Range 21 West, Washington County, Minnesota, EXCEPT the East 80.00 feet of the North 967 feet of said South half of the Northeast Quarter thereof AND EXCEPT Parcel 3 of Washington County Highway Right of Way Plot 49-19B, recorded September 18, 1985 as Doc No. 492530

**NOTES:**  
EXISTING TOPOGRAPHY & CONDITIONS WERE OBTAINED FROM AN ALTA SURVEY COMPLETED BY WESTWOOD PROFESSIONAL SERVICES ON JANUARY 20, 2014.

NOT FOR CONSTRUCTION



**Westwood**  
Westwood Professional Services, Inc.  
7699 Anagram Drive  
Eden Prairie, MN 55344  
PHONE 952-837-5150  
FAX 952-837-5822  
TOLL FREE 1-888-937-5150  
www.westwoodps.com

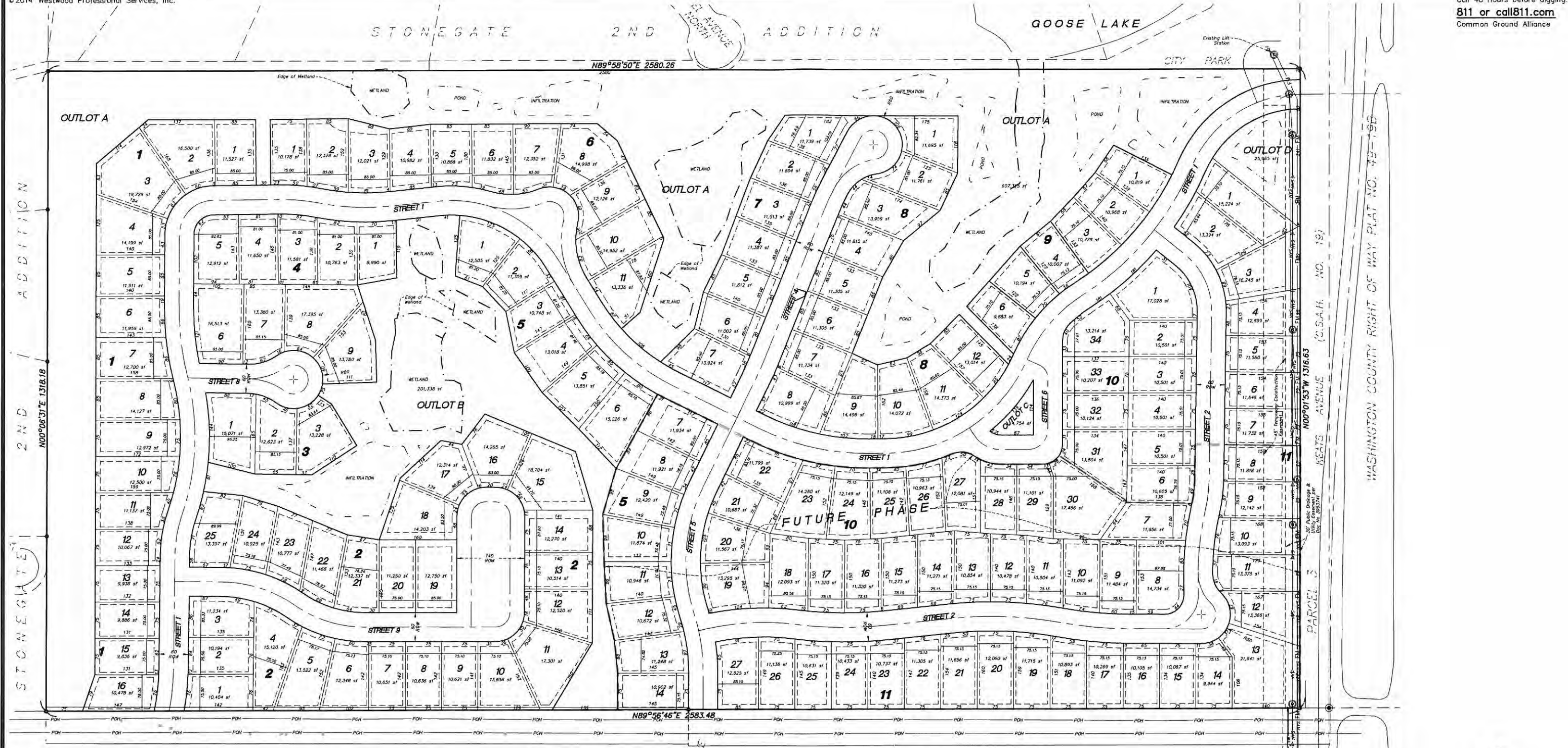
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.  
**Revisions:**  
04/08/14 CITY COMMENTS  
05/02/14 CITY COMMENTS  
**Designed:** CLJ  
**Checked:** KMB  
**Drawn:** HW  
**Record Drawing by/date:**  
**Prepared for:**  
**Ryland Homes**  
7599 Anagram Drive  
Eden Prairie, Minnesota 55344

**Property Description:**  
That part of the South Half of the Northeast Quarter of Section 34, Township 29 North, Range 21 West, Washington County, Minnesota, EXCEPT the East 80.00 feet of the North 967 feet of said South half of the Northeast Quarter thereof AND EXCEPT Parcel 3 of Washington County Highway Right of Way Plot 49-19B, recorded September 18, 1985 as Doc No. 492530  
**Property:** Ryan M. Bihun  
Date: 05/02/14 License No. 41257

**Hammes Property**  
Lake Elmo, Minnesota

**Existing Conditions**

Date: 02/20/14 Sheet: 2 OF 25



**Development Data:**

Gross Site Area:	78.08 ac
Existing Wetlands:	2.80 ac
Greenway Buffer Open Space (PARK):	8.15 ac
100' corridor on West & North, net existing wetlands	
Wetland Buffers:	4.10 ac
Proposed wetland buffers; within Outlot areas only & excluding 100' greenway buffer	
Net Developed Area:	63.03 ac
Proposed Single Family Lots:	164 lots
75' wide x 140' deep typical	110 lots
81' wide x 140' deep typical	10 lots
85' wide x 140' deep typical	44 lots
Overall Gross Density:	2.10 un/ac
(164 un/78.08 gross ac)	
Overall Net Density:	2.60 un/ac
(164 un/63.03 net developable ac)	

**Proposed Single Family Development Standards:**

Front Setback:	25'
Side Setback: (See Note 6)	7.5'/7.5' (15' total)
Side Setback: (Corner Lots)	15'
Rear Setback:	20'
Minimum Lot Area:	10,194 sf
Average Lot Area:	12,492± sf

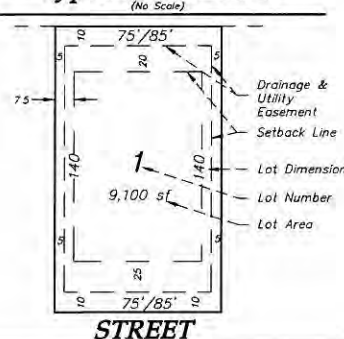
**Outlot Table:**

Name	Use	Ownership	Size
Outlot A	Park/Wetland, Ponding	City	1.325 ac
Outlot B	Wetland, Ponding	City	4.60 ac
Outlot C	Open Space	City	0.11 ac
Outlot D	Ponding	City	0.59 ac

**Property Description:**

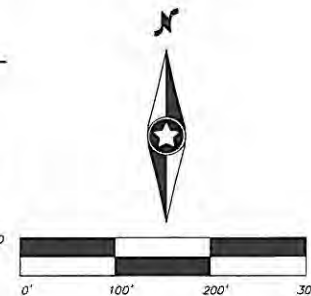
That part of the South Half of the Northeast Quarter of Section 34, Township 29 North, Range 21 West, Washington County, Minnesota, EXCEPT the East 60.00 feet of the North 967 feet of said South half of the Northeast Quarter thereof AND EXCEPT Parcel 3 of Washington County Highway Right of Way Plat 49-19B, recorded September 18, 1985 as Doc No. 492530.

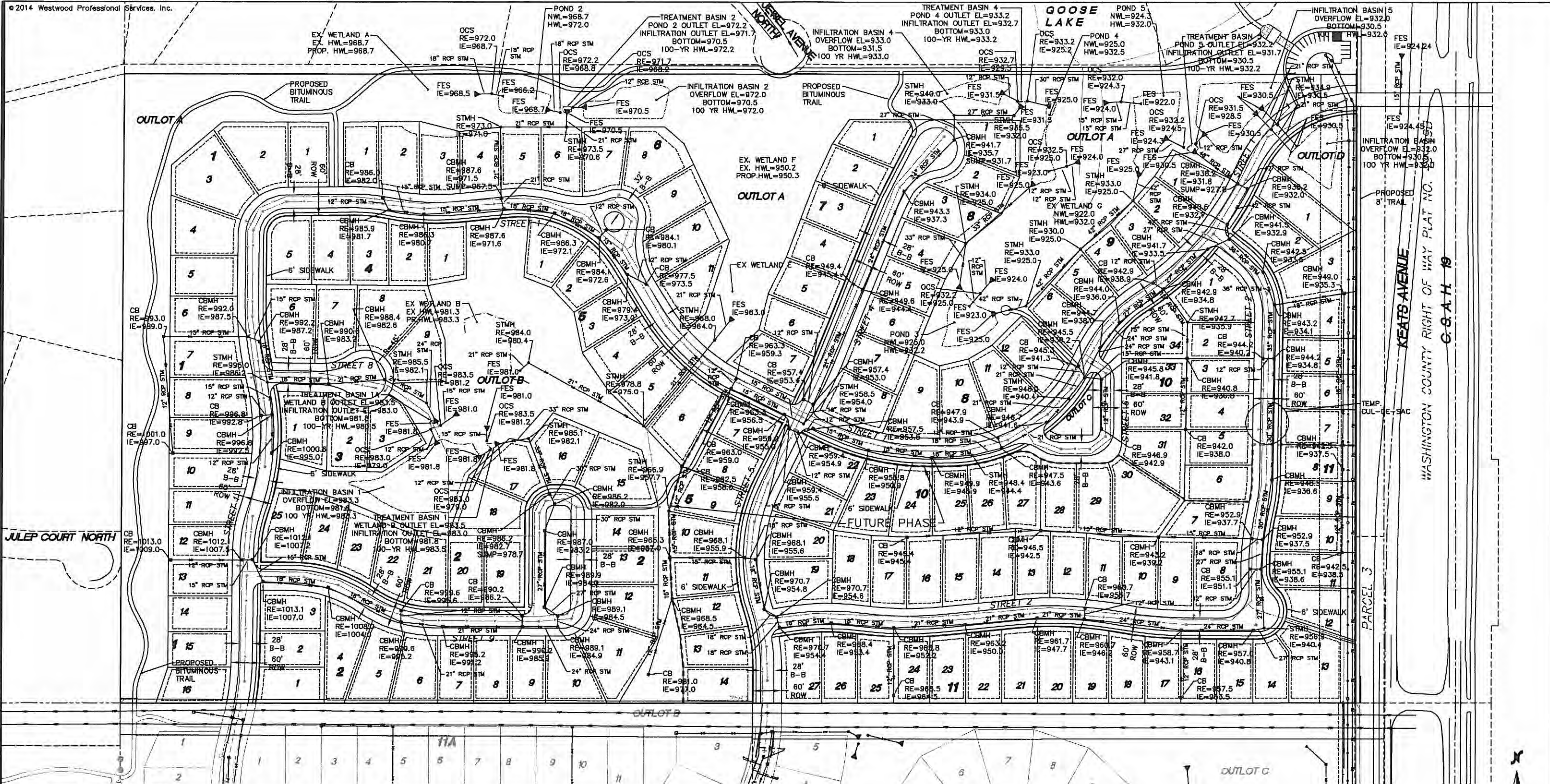
**Typical Lot Detail**  
(No Scale)



**Development Notes**

- ALL LOT DIMENSIONS ARE ROUNDED TO THE NEAREST FOOT
- ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT
- STREET NAMES ARE SUBJECT TO APPROVAL BY THE CITY
- DRAINAGE AND UTILITY EASEMENTS SHALL BE PROVIDED AS REQUIRED. DRAINAGE AND UTILITY EASEMENTS WILL BE PROVIDED OVER ALL PUBLIC UTILITIES, BLANKET DRAINAGE AND UTILITY EASEMENTS OVER THE ENTIRE OUTLOT TO BE PROVIDED ON FINAL PLAT FOR ALL OF OUTLOT A THROUGH OUTLOT D
- STREET WIDTHS SHOWN ARE FROM BACK OF CURB TO BACK OF CURB
- SIDE SETBACKS OF 7.5' & 7.5' (15' TOTAL) REPRESENTS THE AVERAGE OF CODE REQUIRED 5' & 10' (15' TOTAL) SETBACKS



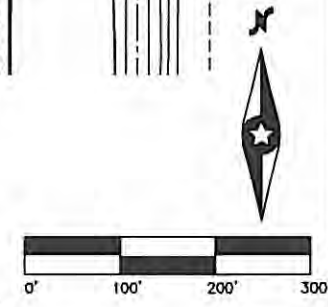


**GENERAL UTILITY NOTES:**

- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OF ANY DIFFERENCES.
- UNLESS OTHERWISE NOTED, ALL MATERIALS, CONST. TECHNIQUES AND TESTING SHALL CONFORM TO THE 1989 ED. OF THE "STANDARD UTILITIES SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION BY THE CITY ENGINEERING ASSOCIATION OF MINN." AND TO THE "STANDARD SPECIFICATION FOR HIGHWAY CONSTRUCTION" MINN. DEPT. OF TRANS., AUGUST 31, 2005 INCLUDING THE CURRENT ADDENDUM. THE CONTRACTOR SHALL BE REQUIRED TO FOLLOW ALL PROCEDURES AS OUTLINED BY THE LOCAL AGENCY.
- THE CONTRACTOR SHALL RECEIVE THE NECESSARY PERMITS FOR ALL WORK OUTSIDE OF THE PROPERTY LIMITS.
- VERIFY EXISTING INVERT LOC. & ELEV. PRIOR TO BEGINNING CONSTRUCTION.
- THE WATER SERVICE SHALL BE INSTALLED WITH A MIN. OF 7.5 FT. OF COVER. THE CONTRACTOR SHALL VERIFY THE CITY AS-BUILT CONSTRUCTION PLANS TO CHECK LOCATION AND MATERIAL TYPE.
- ALL STORM SEWER PIPE SHALL BE CLASS 5 UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL CONTACT "GOPHER STATE ONE CALL" FOR UTILITY LOCATIONS PRIOR TO UTILITY INSTALLATION.

**LEGEND**

FUTURE	EXISTING	PROPOSED
Sanitary Sewer ————	Sanitary Sewer ————	Sanitary Sewer ————
Water ————	Water ————	Water ————
Hyd. w/Valve ————	Hyd. w/Valve ————	Hyd. w/Valve ————
Storm Sewer ————	Storm Sewer ————	Storm Sewer ————



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**NOT FOR CONSTRUCTION**

**Hammes Property**  
 Lake Elmo, Minnesota

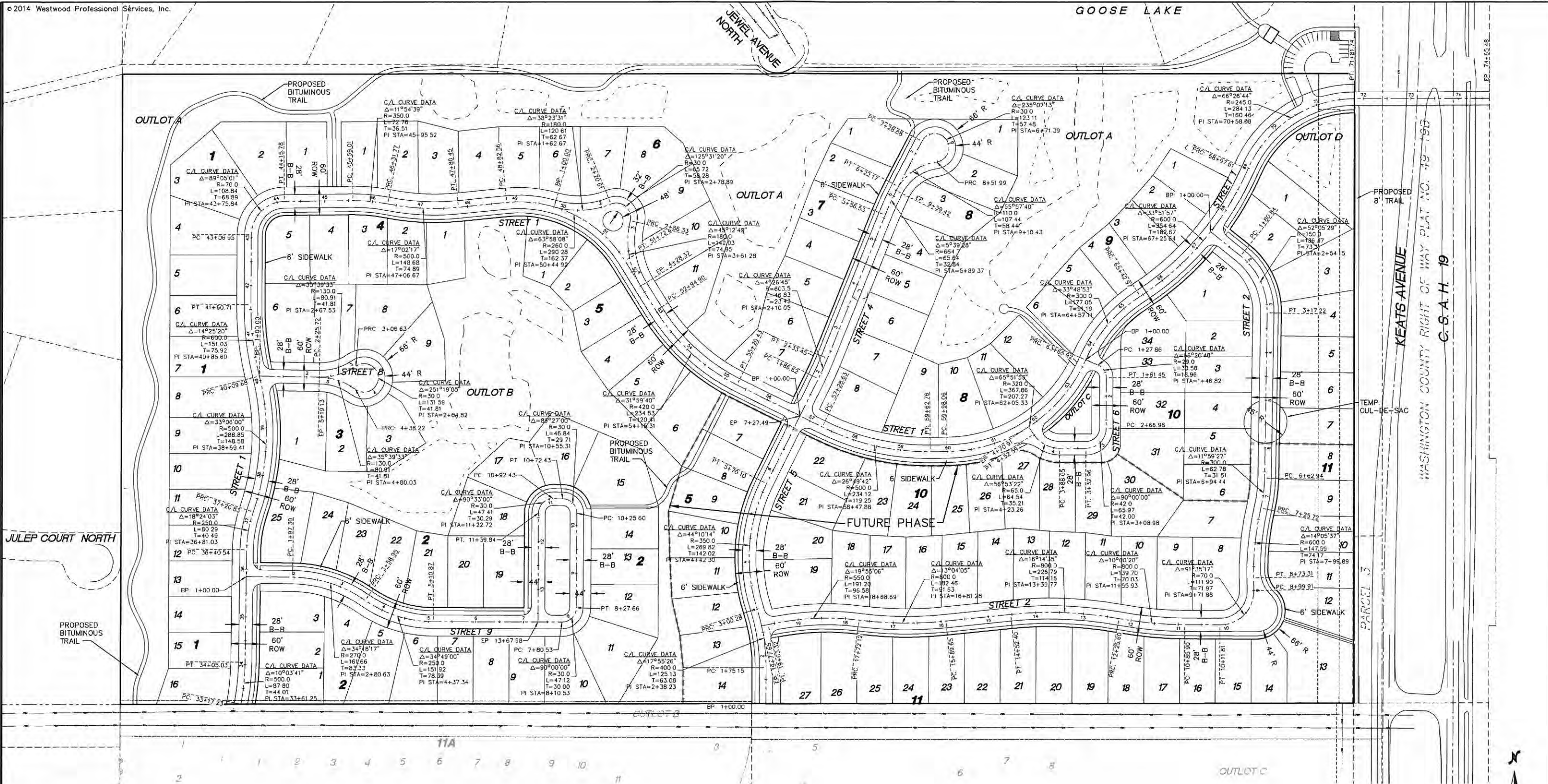
Preliminary Street & Storm Sewer Plan  
 Date: 02/20/14 Sheet: 4 of 25

**Westwood Professional Services, Inc.**  
 7699 Anagram Drive  
 Eden Prairie, MN 55344  
 PHONE: 952-937-5190  
 FAX: 952-937-5822  
 TOLL FREE: 1-888-937-5150  
 www.westwoodps.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.  
**Ryan M. Hahn**  
 Date: 05/02/14 License No. 41257

Revised:	By:	Checked:	Design:	Approved:
05/08/14 CITY COMMENTS				
05/22/14 CITY COMMENTS				

Prepared for:  
**Ryland Homes**  
 7899 Anagram Drive  
 Eden Prairie, Minnesota 55344



WASHINGTON COUNTY RIGHT OF WAY PLAT NO. 79-189  
 C.S.A.H. 19  
 KEATS AVENUE  
 TEMP. CUL-DE-SAC  
 PARCEL 13



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**NOT FOR CONSTRUCTION**

**Hammes  
 Property**  
 Lake Elmo, Minnesota

Date: 02/20/14 Sheet: 5 OF 25

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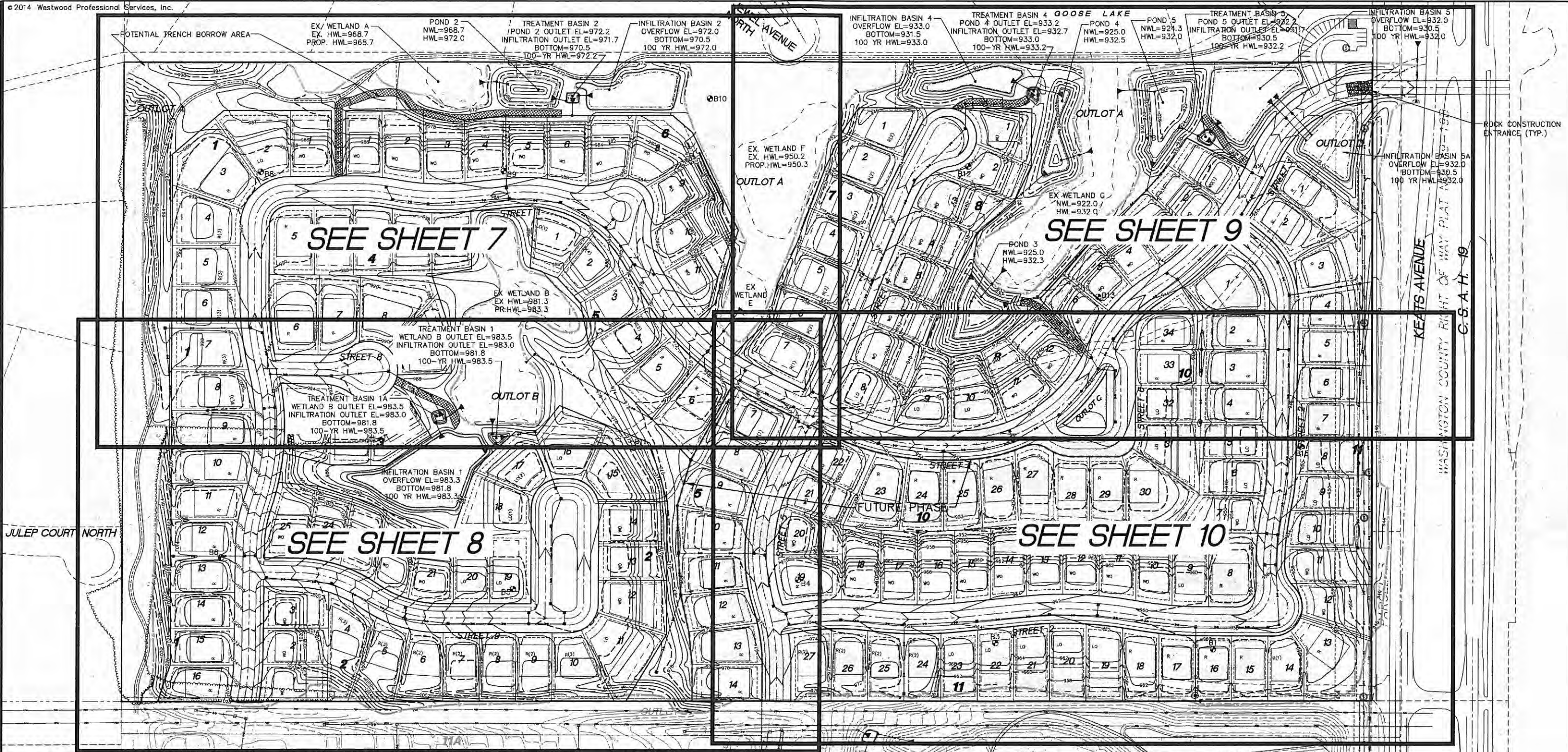
**Westwood Professional Services, Inc.**  
 7899 Anagram Drive  
 Eden Prairie, MN 55344  
 PHONE: 952-337-5150  
 FAX: 952-437-9027  
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**Ryan M. Bluhm**  
 Date: 05/02/14 License No. 41257

Revisions:	Design:	Check:	Draw:	Record Drawing by/date:
04/08/14 CITY COMMENTS	CLI	RMB	HW	
05/02/14 CITY COMMENTS				

Prepared for:	<b>Ryland Homes</b>
	7599 Anagram Drive
	Eden Prairie, Minnesota 55344

**Preliminary Geometric  
 Site Plan**



- ALL CONTOURS AND SPOT ELEVATIONS ARE SHOWN TO FINISHED SURFACE/GUTTER GRADES UNLESS OTHERWISE NOTED.
- REFER TO THE SITE PLAN/RECORD PLAT FOR MOST CURRENT HORIZONTAL SITE DIMENSIONS AND LAYOUT.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING UTILITIES AND TOPOGRAPHICAL FEATURES WITH THE OWNERS AND FIELD-VERIFY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM PLAN.
- ALL RCP FOR STORM SEWER SHALL BE CLASS III UNLESS OTHERWISE NOTED
- ALL CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.10 FEET. RIM ELEVATIONS ON PLANS REFLECT THE SUMPED ELEVATIONS.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL RULES.
- POSITIVE DRAINAGE FROM THE SITE MUST BE PROVIDED AT ALL TIMES.

**EROSION CONTROL NOTES:**

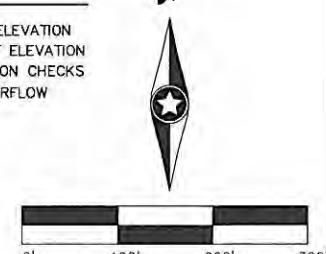
- ALL SILT FENCE AND OTHER EROSION CONTROL FEATURES SHALL BE IN-PLACE PRIOR TO ANY EXCAVATION/CONSTRUCTION AND SHALL BE MAINTAINED UNTIL Viable TURF OR GROUND COVER HAS BEEN ESTABLISHED. EXISTING SILT FENCE ON-SITE SHALL BE MAINTAINED OR REMOVED AND SHALL BE CONSIDERED INCIDENTAL TO THE GRADING CONTRACT. IT IS OF EXTREME IMPORTANCE TO BE AWARE OF CURRENT FIELD CONDITIONS WITH RESPECT TO EROSION CONTROL. TEMPORARY PONDING, DIKES, HAYBALES, ETC., REQUIRED BY THE CITY SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
- ALL STREETS DISTURBED DURING WORKING HOURS MUST BE CLEANED AT THE END OF EACH WORKING DAY. A ROCK ENTRANCE TO THE SITE MUST BE PROVIDED ACCORDING TO DETAILS TO REDUCE TRACKING OF DIRT ONTO PUBLIC STREETS.

**NOTE:**

TO PREVENT SOIL COMPACTION, THE PROPOSED INFILTRATION AREAS SHALL BE STAKED OFF AND MARKED DURING CONSTRUCTION TO PREVENT HEAVY EQUIPMENT AND TRAFFIC FROM TRAVELING OVER IT. IF INFILTRATION FACILITIES ARE IN PLACE DURING CONSTRUCTION ACTIVITIES, SEDIMENT AND RUNOFF SHALL BE KEPT AWAY FROM THE FACILITY, USING PRACTICES SUCH AS DIVERSION BERMS AND VEGETATION AROUND THE FACILITY'S PERIMETER. INFILTRATION FACILITIES SHALL NOT BE EXCAVATED TO FINAL GRADE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN CONSTRUCTED AND FULLY STABILIZED. THE FINAL PHASE OF EXCAVATION SHALL REMOVE ALL ACCUMULATED SEDIMENT AND BE DONE BY LIGHT TRACKED EQUIPMENT TO AVOID COMPACTION OF THE BASIN FLOOR. TO PROVIDE A WELL-AERATED, HIGHLY POROUS SURFACE, THE SOILS OF THE BASIN FLOOR SHALL BE LOOSENEED TO A DEPTH OF AT LEAST 24 INCHES TO A MAXIMUM COMPACTION OF 85% STANDARD PROCTOR DENSITY PRIOR TO PLANTING.

**LEGEND:**

- DENOTES SOIL BORING
- DENOTES SILT FENCE
- DENOTES HEAVY DUTY SILT FENCE
- DENOTES EXISTING CONTOURS
- DENOTES PROPOSED CONTOURS
- DENOTES EXISTING STORM SEWER
- DENOTES PROPOSED STORM SEWER
- DENOTES EXISTING TREE LINE
- DENOTES APPROXIMATE TREE REMOVAL LIMITS
- DENOTES EXISTING SPOT ELEVATION
- DENOTES PROPOSED SPOT ELEVATION
- DENOTES BIO-ROLL EROSION CHECKS
- DENOTES EMERGENCY OVERFLOW ELEVATION
- DENOTES WETLANDS



**NOT FOR CONSTRUCTION**

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 Common Ground Alliance

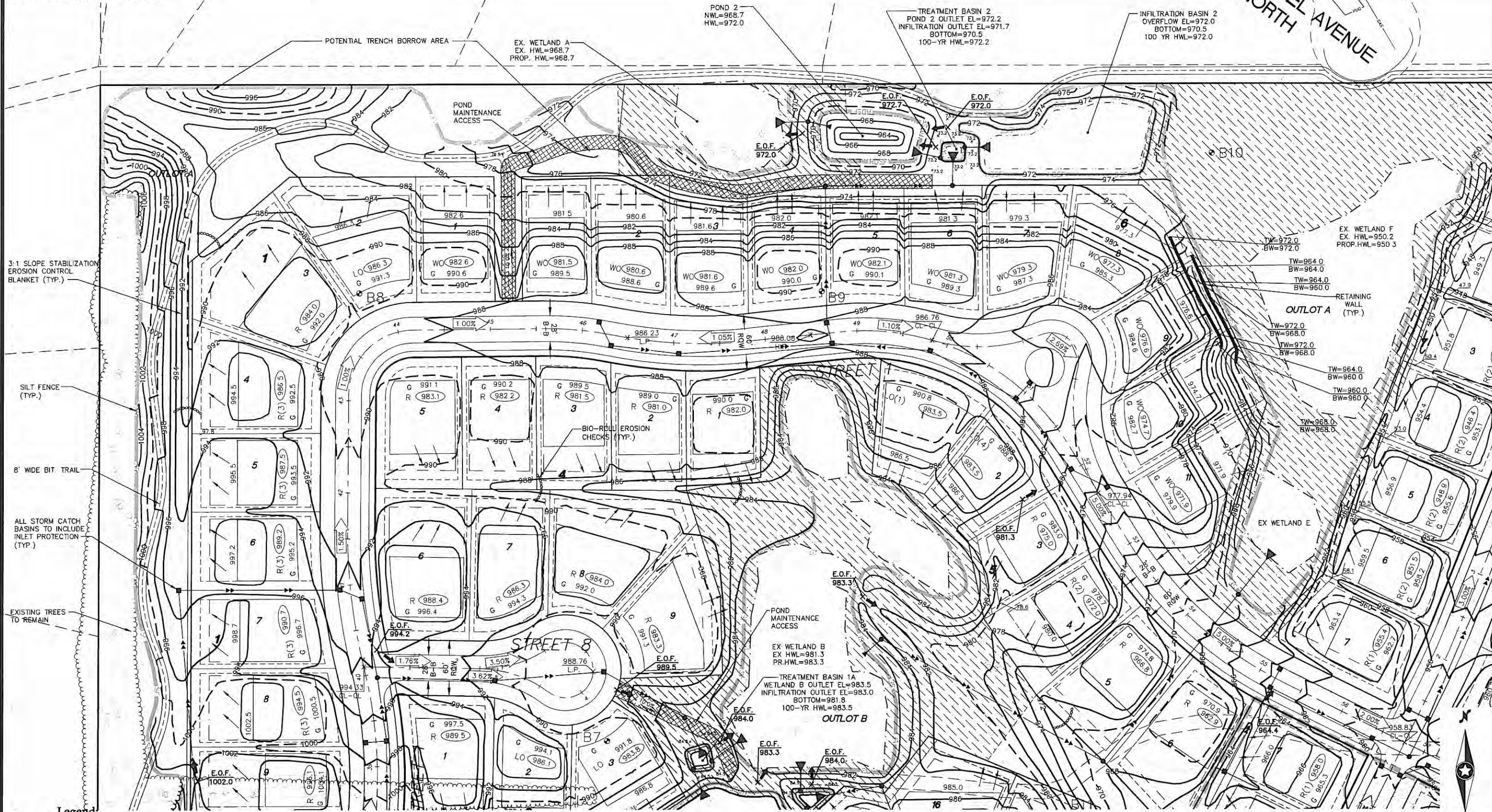
**Hammes  
 Property**

Lake Elmo, Minnesota

Date: 02/20/14 Sheet: 6 OF 25

**Overall Preliminary  
 Grading, Drainage &  
 Erosion Control Plan**

NORTH WEL AVENUE



Legend:

- ⊕ DENOTES SOIL BORING
- HDSF DENOTES SILT FENCE
- HDSF DENOTES HEAVY DUTY SILT FENCE
- 980 DENOTES EXISTING CONTOURS
- - - 980 DENOTES PROPOSED CONTOURS
- - - 980 DENOTES PROPOSED INTERIM CONTOURS
- DENOTES FUTURE STORM SEWER
- DENOTES EXISTING STORM SEWER
- DENOTES PROPOSED STORM SEWER
- DENOTES EXISTING TREE LINE
- DENOTES EXISTING SPOT ELEVATION
- DENOTES PROPOSED SPOT ELEVATION
- E.O.F. DENOTES BIO-ROLL EROSION CHECKS
- E.O.F. DENOTES EMERGENCY OVERFLOW ELEVATION
- 3:1 DENOTES SLOPE STABILIZATION EROSION CONTROL BLANKET
- DENOTES WETLANDS

Call 48 Hours before digging:  
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Common Ground Alliance

**NOT FOR CONSTRUCTION**



Date: 02/20/14 Sheet: 7 OF 25



I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.

Revisions:

04/08/14 CITY COMMENTS  
02/02/14 CITY COMMENTS

Ryan M. Bluhm  
Date: 05/02/14 License No. 41257

Designed: CLJ  
Checked: RMB  
Drawn: HW  
Record Drawing by/date:

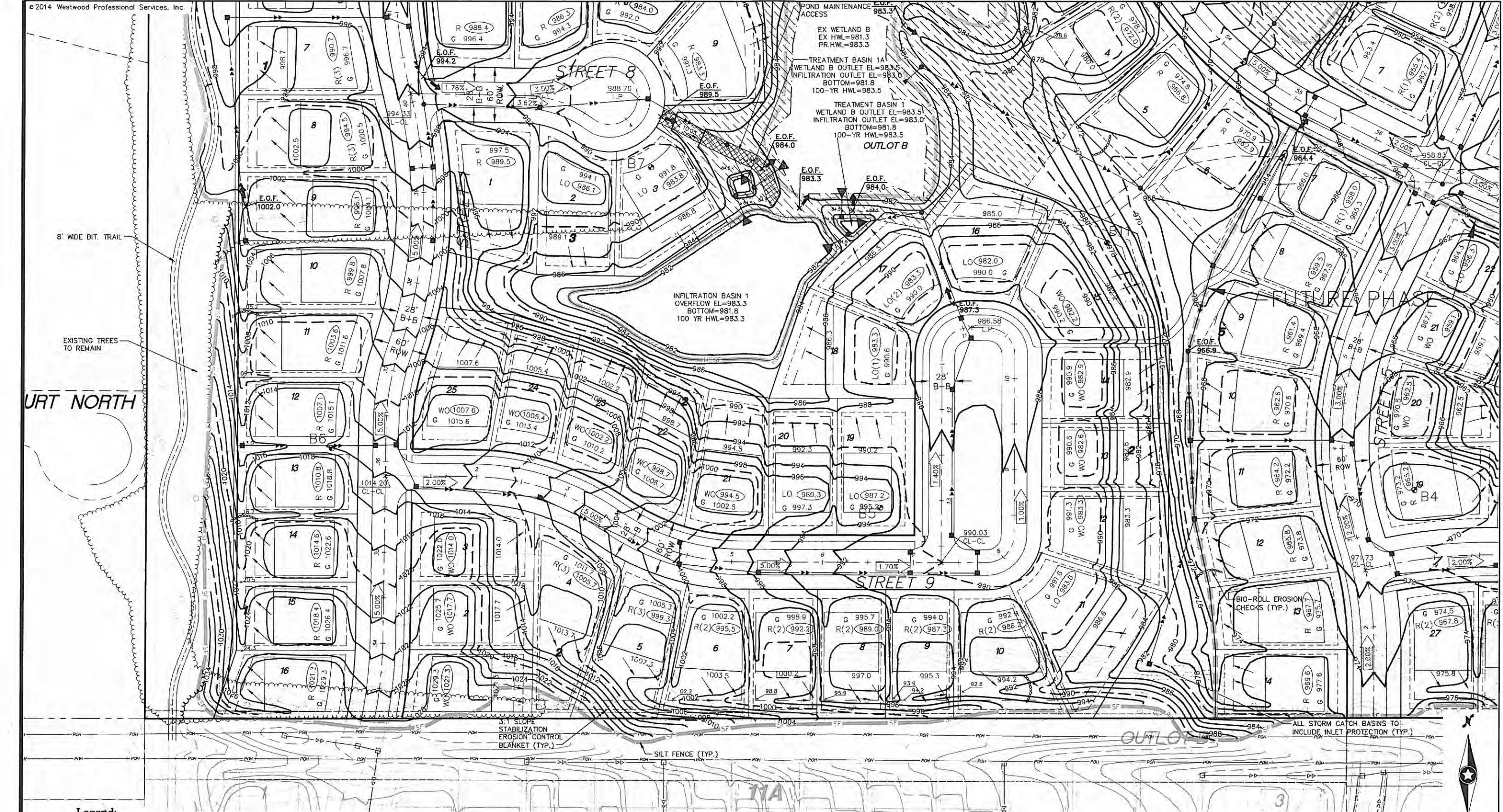
Prepared for:

**Ryland Homes**  
7599 Anagram Drive  
Eden Prairie, Minnesota 55344

**Hammes Property**  
Lake Elmo, Minnesota

**Preliminary Grading,  
Drainage & Erosion  
Control Plan**

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8' WIDE BIT. TRAIL  
EXISTING TREES TO REMAIN  
URT NORTH

**Legend:**

- |  |                                   |  |                                 |  |   |
|--|-----------------------------------|--|---------------------------------|--|---|
|  | DENOTES SOIL BORING               |  | DENOTES FUTURE STORM SEWER      |  | DENOTES BIO-ROLL EROSION CHECKS                 |
|  | DENOTES SILT FENCE                |  | DENOTES EXISTING STORM SEWER    |  | DENOTES EMERGENCY OVERFLOW ELEVATION            |
|  | DENOTES HEAVY DUTY SILT FENCE     |  | DENOTES PROPOSED STORM SEWER    |  | 3:1 SLOPE STABILIZATION EROSION CONTROL BLANKET |
|  | DENOTES EXISTING CONTOURS         |  | DENOTES EXISTING TREE LINE      |  | DENOTES WETLANDS                                |
|  | DENOTES PROPOSED CONTOURS         |  | DENOTES EXISTING SPOT ELEVATION |  |   |
|  | DENOTES PROPOSED INTERIM CONTOURS |  | DENOTES PROPOSED SPOT ELEVATION |  |   |

Call 48 Hours before digging:  
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Common Ground Alliance

**NOT FOR CONSTRUCTION**

**Hammes Property**  
Lake Elmo, Minnesota

Date: 02/20/14 Sheet: 8 OF 25

Preliminary Grading,  
Drainage & Erosion  
Control Plan

**Westwood**  
Westwood Professional Services, Inc.  
7609 Anagram Drive  
Eden Prairie, MN 55344  
PHONE 952-837-5150  
FAX 952-837-5822  
TOLL FREE 1-888-937-5150  
www.westwoodps.com

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**Ryan M. Bluhm**  
Date: 05/02/14 License No. 41257

**Revisions:**

04/08/14 CITY COMMENTS	
05/02/14 CITY COMMENTS	

Designed:	CLJ
Checked:	KMB
Drawn:	HW
Record Drawing by/date:	

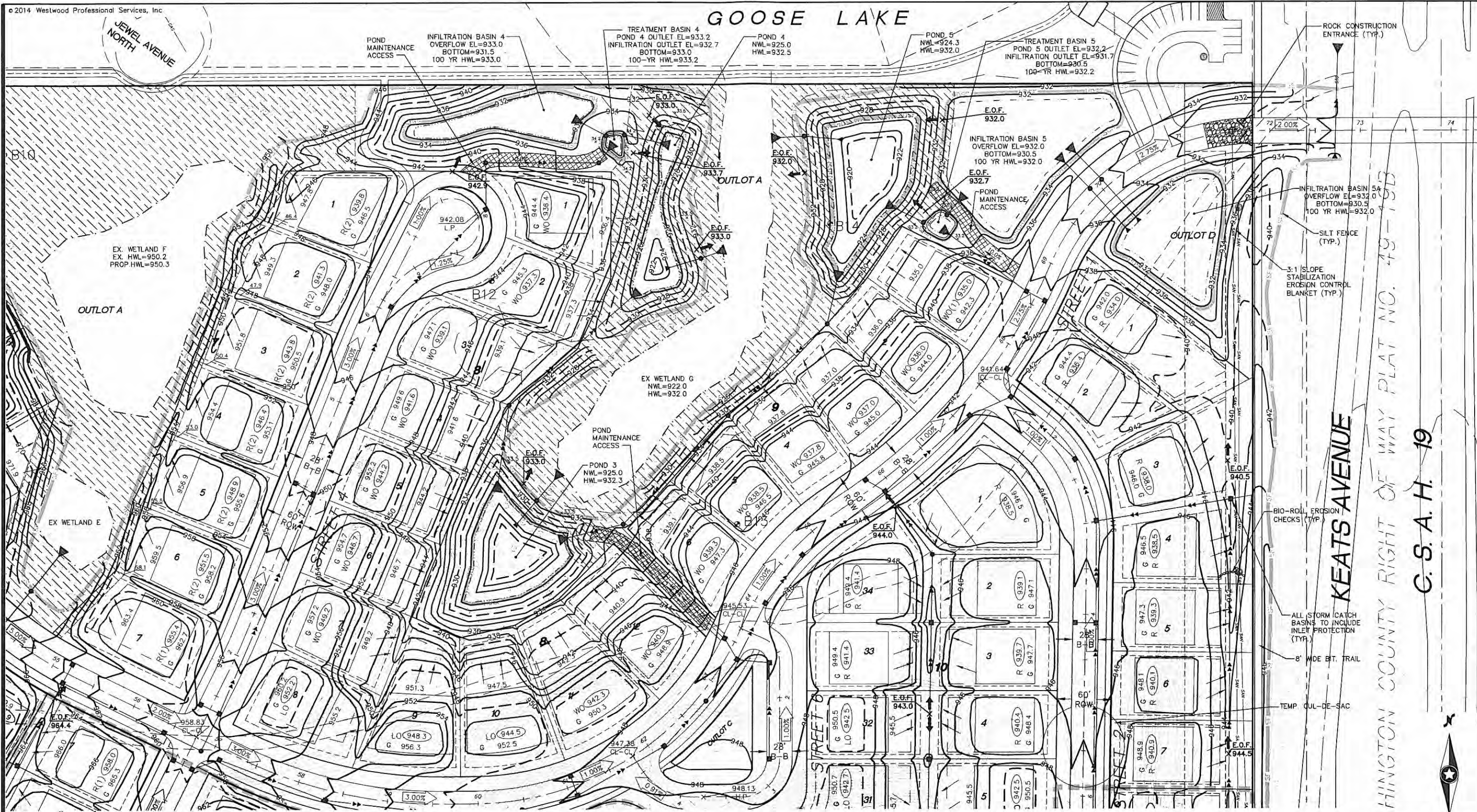
Prepared for:

**Ryland Homes**  
7599 Anagram Drive  
Eden Prairie, Minnesota 55344



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# GOOSE LAKE



### Legend:

- DENOTES SOIL BORING
- DENOTES SILT FENCE
- DENOTES HEAVY DUTY SILT FENCE
- DENOTES EXISTING CONTOURS
- DENOTES PROPOSED CONTOURS
- DENOTES PROPOSED INTERIM CONTOURS
- DENOTES FUTURE STORM SEWER
- DENOTES EXISTING STORM SEWER
- DENOTES PROPOSED STORM SEWER
- DENOTES EXISTING TREE LINE
- DENOTES EXISTING SPOT ELEVATION
- DENOTES PROPOSED SPOT ELEVATION
- DENOTES BIO-ROLL EROSION CHECKS
- DENOTES EMERGENCY OVERFLOW ELEVATION
- 3:1 SLOPE STABILIZATION EROSION CONTROL BLANKET
- DENOTES WETLANDS

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**NOT FOR CONSTRUCTION**

**Hammes Property**  
 Lake Elmo, Minnesota

Date: **02/20/14** Sheet: **9 OF 25**

**Preliminary Grading, Drainage & Erosion Control Plan**

**Westwood Professional Services, Inc.**  
 7899 Anagram Drive  
 Eden Prairie, MN 55344  
 PHONE: 952-937-5150  
 FAX: 952-937-5022  
 TOLL FREE: 1-888-937-5150  
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**Ryan M. Bluhm**  
 Date: **05/02/14** License No. **41257**

Revisions:  
 04/08/14 CITY COMMENTS  
 05/02/14 CITY COMMENTS

Designed: **CLJ**  
 Checked: **RMB**  
 Drawn: **HW**  
 Record Drawing by/date:

Prepared for:

**Ryland Homes**  
 7599 Anagram Drive  
 Eden Prairie, Minnesota 55344



HINGTON COUNTY RIGHT OF WAY PLAT NO. 49-1-05  
**C.S.A.H. 19**

**KEATS AVENUE**







KEATS AVENUE  
C. S. A. H. 19

WASHINGTON COUNTY ROAD

**Legend:**

- |  |                                   |  |                                 |  |   |
|--|-----------------------------------|--|---------------------------------|--|---|
|  | DENOTES SOIL BORING               |  | DENOTES FUTURE STORM SEWER      |  | DENOTES BIO-ROLL EROSION CHECKS                 |
|  | DENOTES SILT FENCE                |  | DENOTES EXISTING STORM SEWER    |  | DENOTES EMERGENCY OVERFLOW ELEVATION            |
|  | DENOTES HEAVY DUTY SILT FENCE     |  | DENOTES PROPOSED STORM SEWER    |  | 3:1 SLOPE STABILIZATION EROSION CONTROL BLANKET |
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|  | DENOTES PROPOSED CONTOURS         |  | DENOTES EXISTING SPOT ELEVATION |  |   |
|  | DENOTES PROPOSED INTERIM CONTOURS |  | DENOTES PROPOSED SPOT ELEVATION |  |   |

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Common Ground Alliance

**NOT FOR CONSTRUCTION**

**Hammes  
Property**

Lake Elmo, Minnesota

Date: 02/20/14 Sheet 10 of 25

Preliminary Grading,  
Drainage & Erosion  
Control Plan

**Westwood**  
Westwood Professional Services, Inc.  
7899 Anagram Drive  
Eden Prairie, MN 55344  
PHONE 952-937-5156  
FAX 952-937-5922  
TOLL FREE 1-888-937-5150  
www.westwoodps.com

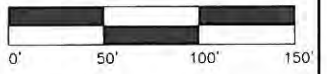
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**Ryan M. Bluhm**  
Date: 05/02/14 License No. 41257

Revisions:  
04/08/14 CITY COMMENTS  
05/02/14 CITY COMMENTS

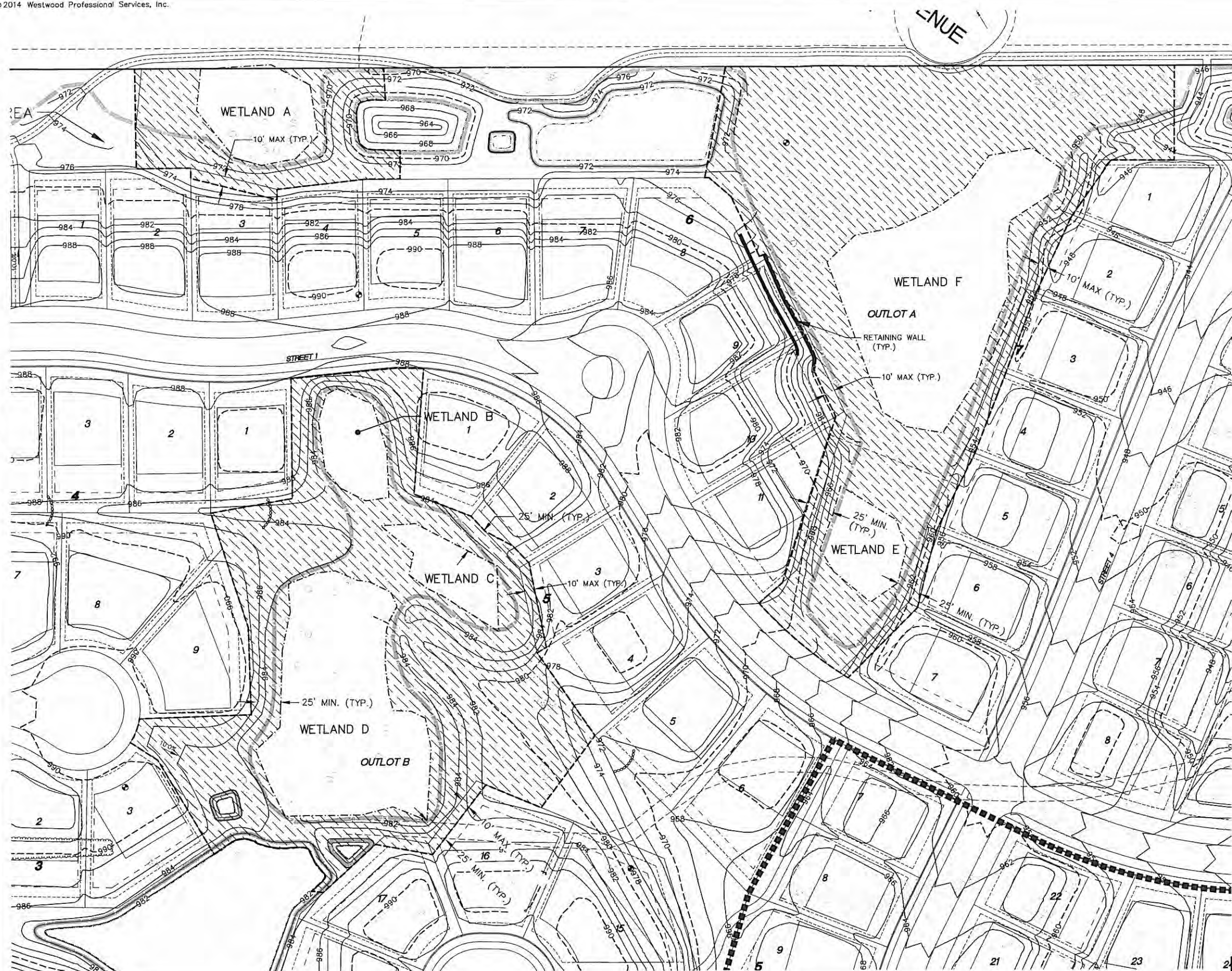
Designed: **CLJ**  
Checked: **RMG**  
Drawn: **HW**  
Record Drawing by/date:

Prepared for:

**Ryland Homes**  
7599 Anagram Drive  
Eden Prairie, Minnesota 55344



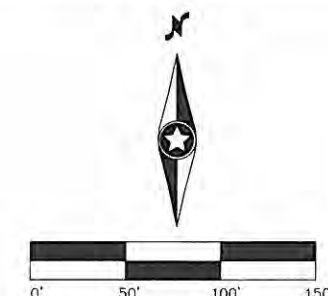
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**LEGEND:**

- DENOTES SOIL BORING
- DENOTES SILT FENCE
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- DENOTES EXISTING CONTOURS
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- DENOTES EXISTING TREE LINE
- DENOTES APPROXIMATE TREE REMOVAL LIMITS
- DENOTES EXISTING SPOT ELEVATION
- DENOTES PROPOSED SPOT ELEVATION
- DENOTES BIO-ROLL EROSION CHECKS
- DENOTES EMERGENCY OVERFLOW ELEVATION
- PROPOSED WETLAND BUFFER AREA

Wetland	Existing Buffer	Proposed Buffer	Average Buffer Width
A	17,320 SF	17,913 SF	63.5 LF
B, C & D	78,945 SF	83,797 SF	59.1 LF
E	23,952 SF	21,278 SF	70.0 LF
F	72,409 SF	82,525 SF	102.6 LF



NOT FOR CONSTRUCTION

**Hammes  
Property**

Lake Elmo, Minnesota

0002905WTP01.dwg  
 Date: 02/20/14 Sheet: 11 OF 25  
**Preliminary Wetland  
Buffer Plan**

**Westwood**  
 Westwood Professional Services, Inc.  
 7866 Anagram Drive  
 Eden Prairie, MN 55344  
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 FAX 952-937-5822  
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 Revisions:  
 04/08/14 CITY COMMENTS  
 05/02/14 CITY COMMENTS  
 Ryan M. Bluhm  
 Date: 05/02/14 License No. 41257

Designed by: CLJ  
 Checked by: ELM  
 Drawn by: HW  
 Record Drawing by/date:

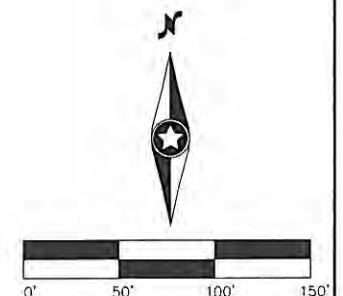
Prepared for:  
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 Eden Prairie, Minnesota 55344



**LEGEND:**

- DENOTES SOIL BORING
- DENOTES SILT FENCE
- DENOTES HEAVY DUTY SILT FENCE
- DENOTES EXISTING CONTOURS
- DENOTES PROPOSED CONTOURS
- DENOTES EXISTING STORM SEWER
- DENOTES PROPOSED STORM SEWER
- DENOTES EXISTING TREE LINE
- DENOTES APPROXIMATE TREE REMOVAL LIMITS
- DENOTES EXISTING SPOT ELEVATION
- DENOTES PROPOSED SPOT ELEVATION
- DENOTES BIO-ROLL EROSION CHECKS
- DENOTES EMERGENCY OVERFLOW ELEVATION
- PROPOSED WETLAND BUFFER AREA

Wetland	Existing Buffer	Proposed Buffer	Average Buffer Width
G	92,054 SF	95,313 SF	85.3 LF

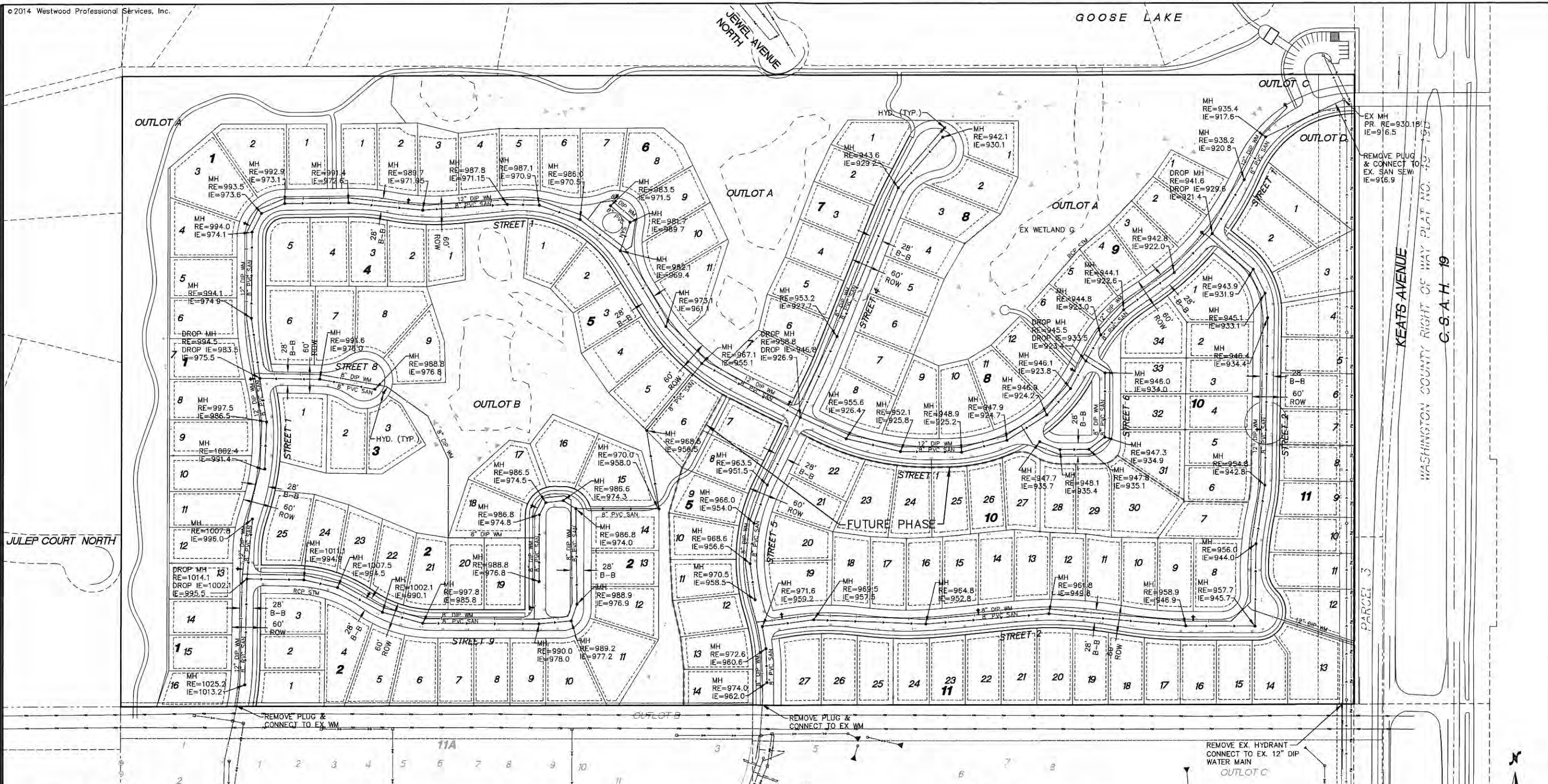


NOT FOR CONSTRUCTION

**Hammes  
Property**  
 Lake Elmo, Minnesota

Date: 02/20/14 Sheet: 12 OF 25

0002905WTP02.dwg



**GENERAL UTILITY NOTES:**

- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OF ANY DIFFERENCES.
- UNLESS OTHERWISE NOTED, ALL MATERIALS, CONST. TECHNIQUES AND TESTING SHALL CONFORM TO THE 1999 ED. OF THE "STANDARD UTILITIES SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION BY THE CITY ENGINEERING ASSOCIATION OF MINN." AND TO THE "STANDARD SPECIFICATION FOR HIGHWAY CONSTRUCTION" MINN. DEPT. OF TRANS., AUGUST 31, 2005 INCLUDING THE CURRENT ADDENDUM. THE CONTRACTOR SHALL BE REQUIRED TO FOLLOW ALL PROCEDURES AS OUTLINED BY THE LOCAL AGENCY.
- THE CONTRACTOR SHALL RECEIVE THE NECESSARY PERMITS FOR ALL WORK OUTSIDE OF THE PROPERTY LIMITS.
- VERIFY EXISTING INVERT LOC. & ELEV. PRIOR TO BEGINNING CONSTRUCTION.
- THE WATER SERVICE SHALL BE INSTALLED WITH A MIN. OF 7.5 FT. OF COVER. THE CONTRACTOR SHALL VERIFY THE CITY AS-BUILT CONSTRUCTION PLANS TO CHECK LOCATION AND MATERIAL TYPE.
- THE CONTRACTOR SHALL CONTACT "GOPHER STATE ONE CALL" FOR FOR UTILITY LOCATIONS PRIOR TO UTILITY INSTALLATION.

**LEGEND**

FUTURE	EXISTING	PROPOSED
Sanitary Sewer	Sanitary Sewer	Sanitary Sewer
Water	Water	Water
Hyd. w\Valve	Hyd. w\Valve	Hyd. w\Valve
Storm Sewer	Storm Sewer	Storm Sewer

Call 48 Hours before digging:  
**811 or call811.com**  
 Common Ground Alliance

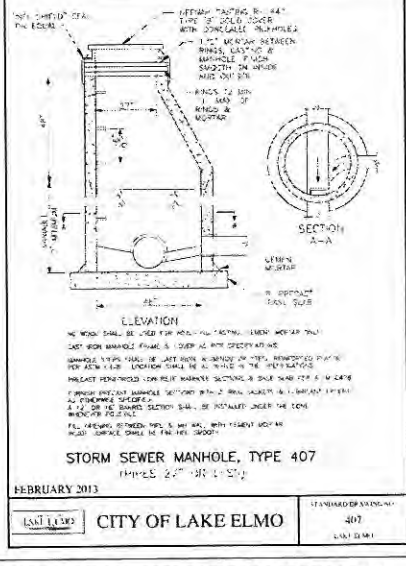
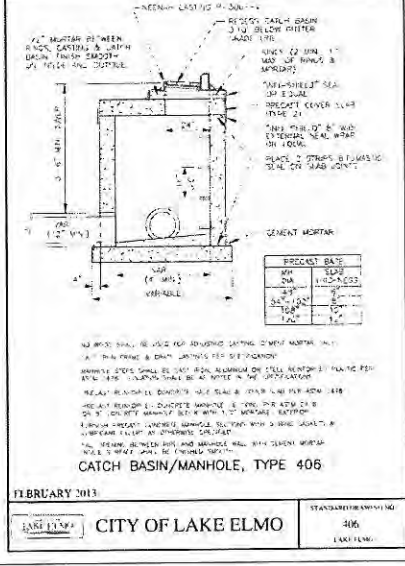
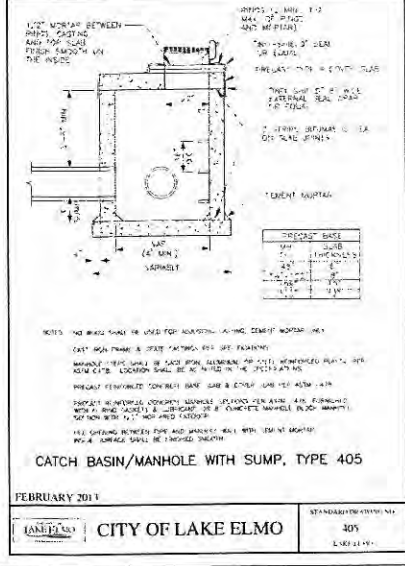
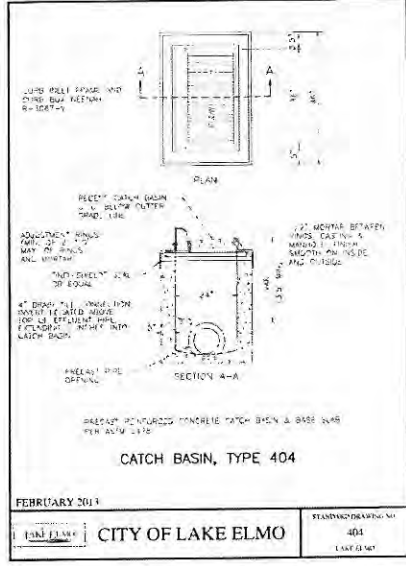
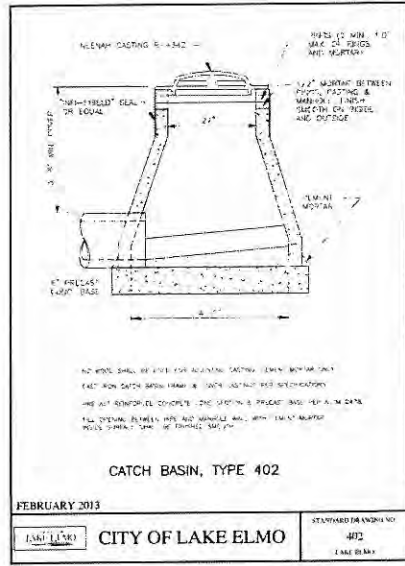
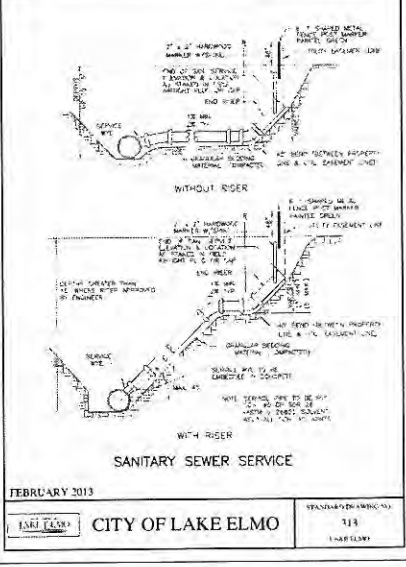
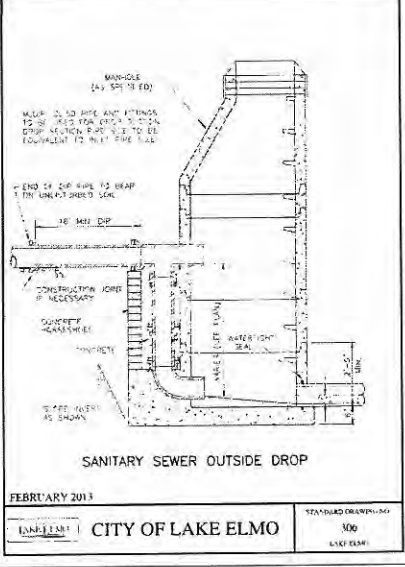
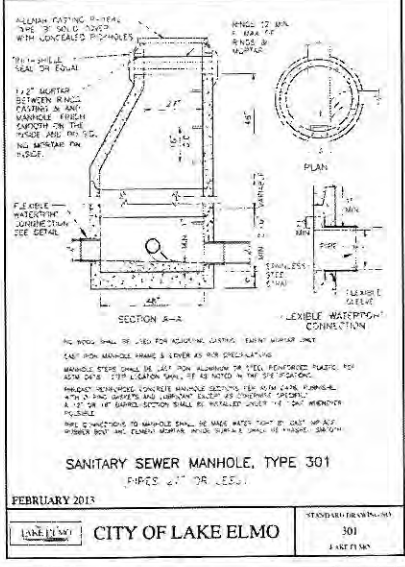
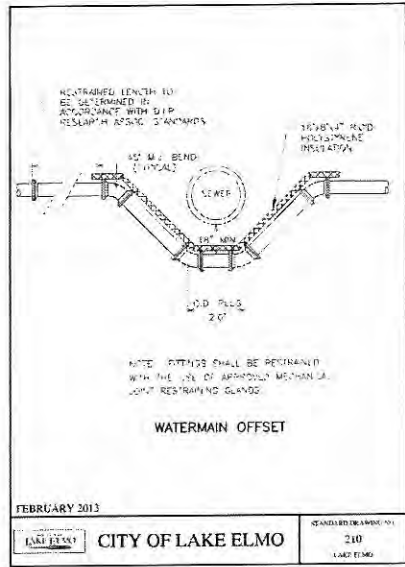
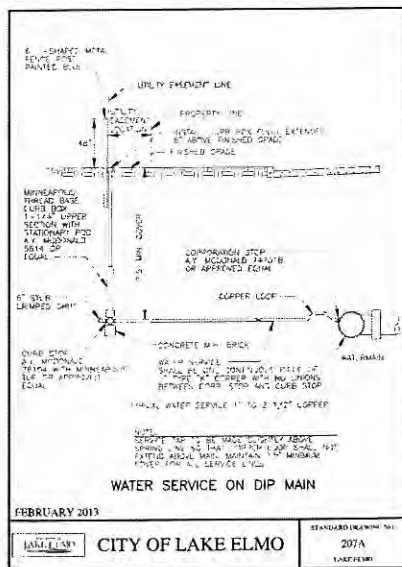
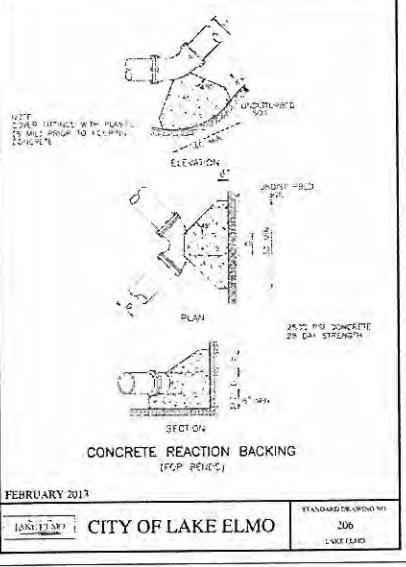
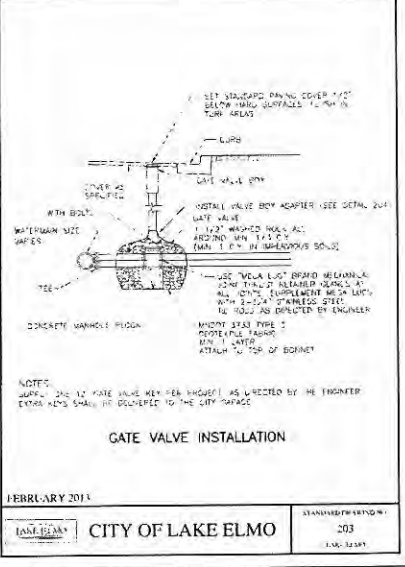
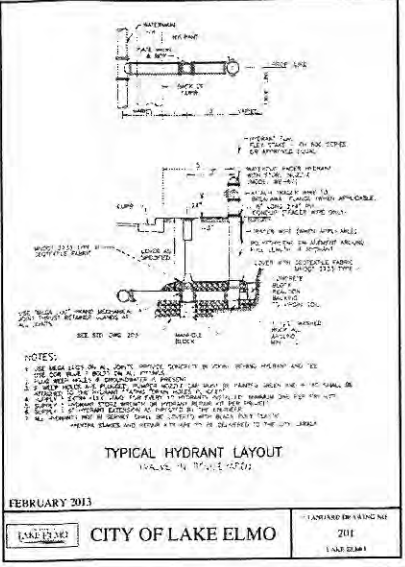
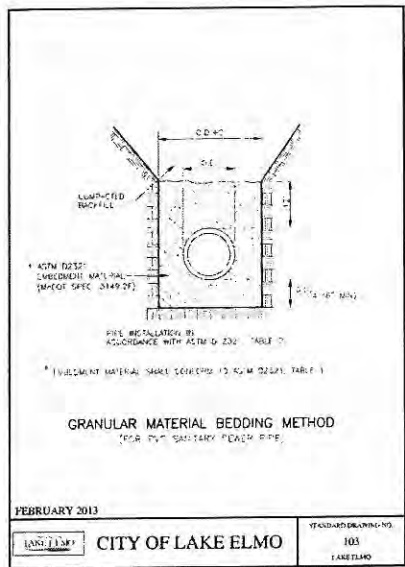
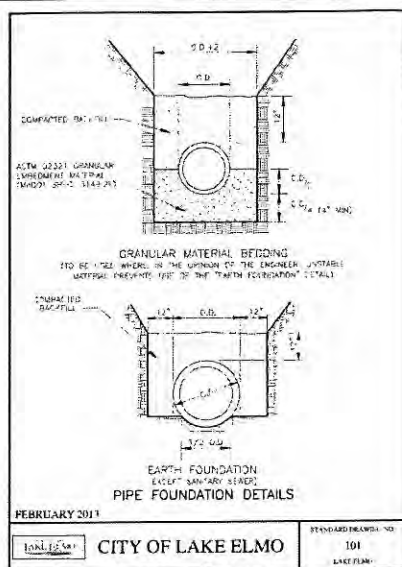
**NOT FOR CONSTRUCTION**

**Hammes Property**  
 Lake Elmo, Minnesota

Date: 02/20/14 Sheet: 13 OF 25  
 0002905UTP01.dwg

Preliminary Utility Plan





NOT FOR CONSTRUCTION

**Hammes Property**  
Lake Elmo, Minnesota

**Westwood**  
Westwood Professional Services, Inc.  
7698 Anagram Drive  
Eden Prairie, MN 55344  
PHONE 952-837-5150  
FAX 952-837-5822  
TOLL FREE 1-888-937-5150  
www.westwoodpa.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.

Revisions:

04/08/14 CITY COMMENTS  
05/02/14 CITY COMMENTS

Ryan M. Bluhm  
Date: 05/02/14 License No. 41257

Design: **CLJ**  
Checked: **RMB**  
Drawn: **HW**  
Record Drawing by/date:

Prepared for:  
**Ryland Homes**  
7599 Anagram Drive  
Eden Prairie, Minnesota 55344

**STORM SEWER MANHOLE, TYPE 408**  
(TYPE 30" & LARGER)

FEBRUARY 2013

DATE	2/13/13
BY	CLJ
CHECKED	RMB
SCALE	AS SHOWN

CITY OF LAKE ELMO  
STANDARD DRAWING NO. 408  
LAKE ELMO

**STORM SEWER MANHOLE, TYPE 409**

FEBRUARY 2013

DATE	2/13/13
BY	CLJ
CHECKED	RMB
SCALE	AS SHOWN

CITY OF LAKE ELMO  
STANDARD DRAWING NO. 409  
LAKE ELMO

**RIPRAP AT RCP OUTLETS**

FEBRUARY 2013

DATE	2/13/13
BY	CLJ
CHECKED	RMB
SCALE	AS SHOWN

CITY OF LAKE ELMO  
STANDARD DRAWING NO. 411  
LAKE ELMO

**DRAIN TILE**  
USED BY DIRECTION OF CITY ENGINEER ONLY

FEBRUARY 2013

DATE	2/13/13
BY	CLJ
CHECKED	RMB
SCALE	AS SHOWN

CITY OF LAKE ELMO  
STANDARD DRAWING NO. 412  
LAKE ELMO

**POND SKIMMER**

FEBRUARY 2013

DATE	2/13/13
BY	CLJ
CHECKED	RMB
SCALE	AS SHOWN

CITY OF LAKE ELMO  
STANDARD DRAWING NO. 417  
LAKE ELMO

**DRAIN TILE CONNECTIONS**

FEBRUARY 2013

DATE	2/13/13
BY	CLJ
CHECKED	RMB
SCALE	AS SHOWN

CITY OF LAKE ELMO  
STANDARD DRAWING NO. 420  
LAKE ELMO

**STANDARD PLAN NOTES**  
SIDEWALKS AND TRAILS

FEBRUARY 2013

DATE	2/13/13
BY	CLJ
CHECKED	RMB
SCALE	AS SHOWN

CITY OF LAKE ELMO  
STANDARD DRAWING NO. 500A  
LAKE ELMO

**CONCRETE CURB & GUTTER**

FEBRUARY 2011

DATE	2/11/11
BY	CLJ
CHECKED	RMB
SCALE	AS SHOWN

CITY OF LAKE ELMO  
STANDARD DRAWING NO. 501  
LAKE ELMO

**RESIDENTIAL DRIVEWAY**

FEBRUARY 2013

DATE	2/13/13
BY	CLJ
CHECKED	RMB
SCALE	AS SHOWN

CITY OF LAKE ELMO  
STANDARD DRAWING NO. 504  
LAKE ELMO

**CATCH BASIN PLACEMENT AND CURB & GUTTER TRANSITION AT INTERSECTIONS**

FEBRUARY 2013

DATE	2/13/13
BY	CLJ
CHECKED	RMB
SCALE	AS SHOWN

CITY OF LAKE ELMO  
STANDARD DRAWING NO. 506  
LAKE ELMO

**PEDESTRIAN CURB RAMP**

FEBRUARY 2013

DATE	2/13/13
BY	CLJ
CHECKED	RMB
SCALE	AS SHOWN

CITY OF LAKE ELMO  
STANDARD DRAWING NO. 507  
LAKE ELMO

**DETECTABLE WARNING SURFACE - TRUNCATED DOMES**

FEBRUARY 2013

DATE	2/13/13
BY	CLJ
CHECKED	RMB
SCALE	AS SHOWN

CITY OF LAKE ELMO  
STANDARD DRAWING NO. 508  
LAKE ELMO

**BICYCLE-PEDESTRIAN PATH**

FEBRUARY 2013

DATE	2/13/13
BY	CLJ
CHECKED	RMB
SCALE	AS SHOWN

CITY OF LAKE ELMO  
STANDARD DRAWING NO. 509  
LAKE ELMO

**CONCRETE SIDEWALK**

FEBRUARY 2013

DATE	2/13/13
BY	CLJ
CHECKED	RMB
SCALE	AS SHOWN

CITY OF LAKE ELMO  
STANDARD DRAWING NO. 510  
LAKE ELMO

**MANHOLE CASTING ADJUSTMENT**

FEBRUARY 2013

DATE	2/13/13
BY	CLJ
CHECKED	RMB
SCALE	AS SHOWN

CITY OF LAKE ELMO  
STANDARD DRAWING NO. 511  
LAKE ELMO

**MILLED LAP JOINT**

FEBRUARY 2013

DATE	2/13/13
BY	CLJ
CHECKED	RMB
SCALE	AS SHOWN

CITY OF LAKE ELMO  
STANDARD DRAWING NO. 512  
LAKE ELMO

**CONCRETE CURB MARKING**  
FOR CURB STOPS

FEBRUARY 2013

DATE	2/13/13
BY	CLJ
CHECKED	RMB
SCALE	AS SHOWN

CITY OF LAKE ELMO  
STANDARD DRAWING NO. 513  
LAKE ELMO

NOT FOR CONSTRUCTION

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**Hammes Property**  
Lake Elmo, Minnesota

Date: 02/20/14 Sheet: 15 OF 25

Westwood Professional Services, Inc.  
7699 Anagram Drive  
Eden Prairie, MN 55344  
PHONE: 952-937-5150  
FAX: 952-937-5822  
TOLL FREE: 1-888-937-5150  
www.westwoodps.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.

**Ryan M. Bluhm**  
Date: 05/02/14 License No. 41257

Revisions:

04/08/14	CITY COMMENTS
05/02/14	CITY COMMENTS

Designed: CLJ  
Checked: RMB  
Drawn: HW  
Record Drawing by/date:

Prepared for:

**Ryland Homes**  
7599 Anagram Drive  
Eden Prairie, Minnesota 55344

Details

1. THE CONTRACTOR SHALL CONDUCT DRAINAGE AND EROSION CONTROL MEASURES TO PREVENT EROSION AND SEDIMENTATION FROM THE CONSTRUCTION SITE. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION AND EROSION CONTROL MEASURES TO THE STANDARD PLAN NOTES THROUGHOUT THE CONSTRUCTION PERIOD.

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**STANDARD PLAN NOTES**  
EROSION AND SEDIMENT CONTROL PLANS  
FEBRUARY 2013  
CITY OF LAKE ELMO  
600A  
LAKE ELMO

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**STANDARD PLAN NOTES**  
EROSION AND SEDIMENT CONTROL PLANS  
FEBRUARY 2013  
CITY OF LAKE ELMO  
600B  
LAKE ELMO

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**STANDARD PLAN NOTES**  
EROSION AND SEDIMENT CONTROL PLANS  
FEBRUARY 2013  
CITY OF LAKE ELMO  
600C  
LAKE ELMO

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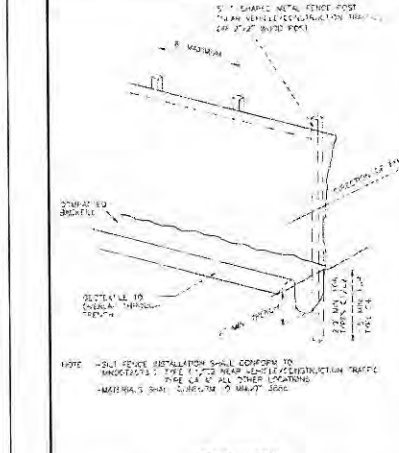
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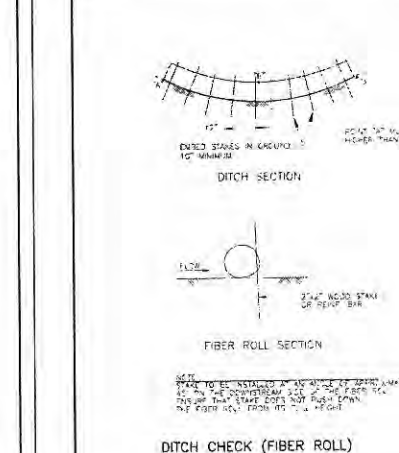
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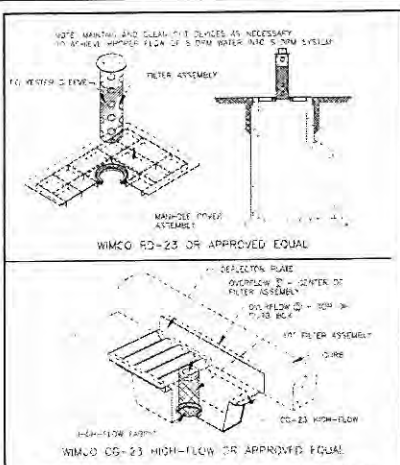
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SITE RESTORATION PLANS  
FEBRUARY 2013  
CITY OF LAKE ELMO  
600D  
LAKE ELMO



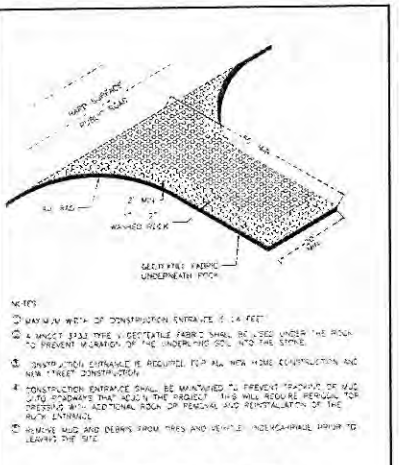
**STANDARD PLAN NOTES**  
FEBRUARY 2013  
CITY OF LAKE ELMO  
600E  
LAKE ELMO



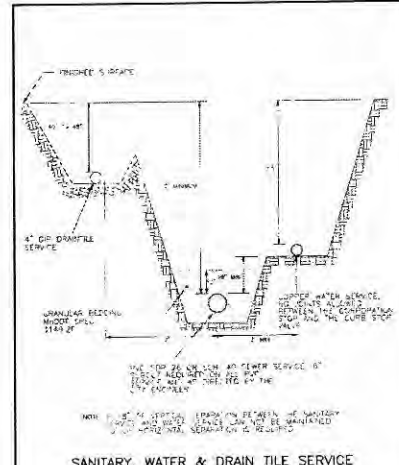
**STANDARD PLAN NOTES**  
FEBRUARY 2013  
CITY OF LAKE ELMO  
600F  
LAKE ELMO



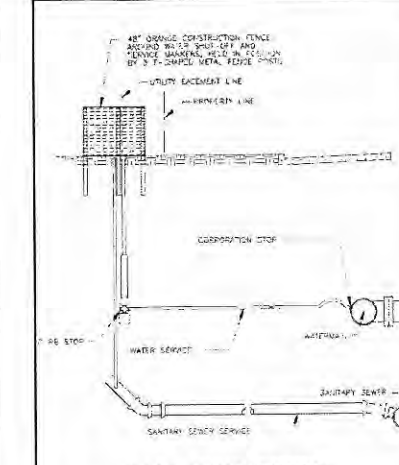
**STANDARD PLAN NOTES**  
FEBRUARY 2013  
CITY OF LAKE ELMO  
60A  
LAKE ELMO



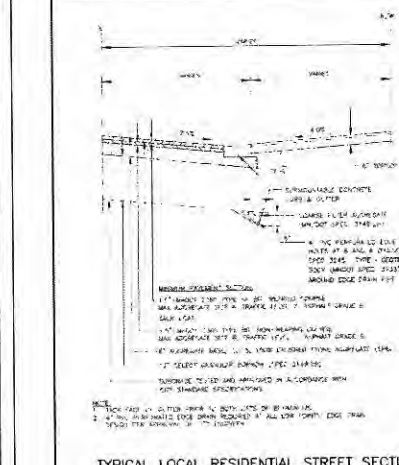
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FEBRUARY 2013  
CITY OF LAKE ELMO  
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LAKE ELMO



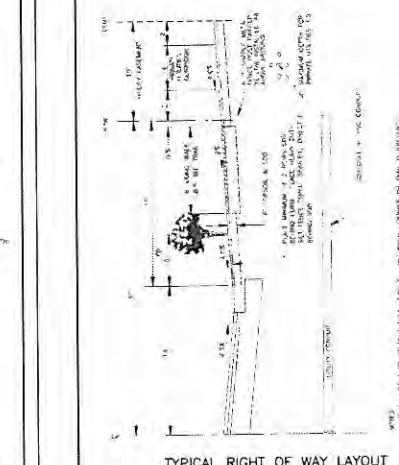
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FEBRUARY 2013  
CITY OF LAKE ELMO  
712  
LAKE ELMO



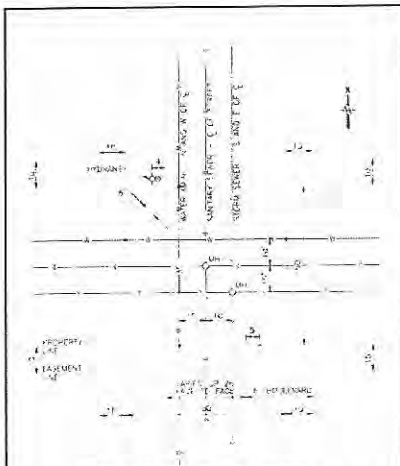
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FEBRUARY 2013  
CITY OF LAKE ELMO  
713  
LAKE ELMO



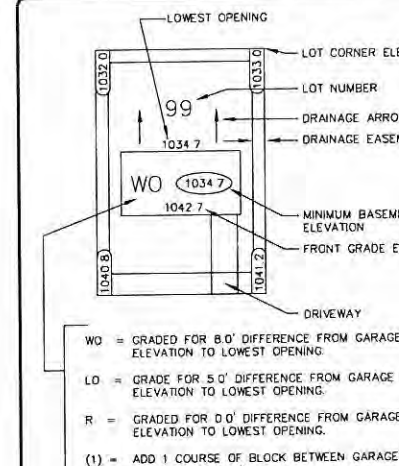
**STANDARD PLAN NOTES**  
FEBRUARY 2013  
CITY OF LAKE ELMO  
801  
LAKE ELMO



**STANDARD PLAN NOTES**  
FEBRUARY 2013  
CITY OF LAKE ELMO  
815  
LAKE ELMO



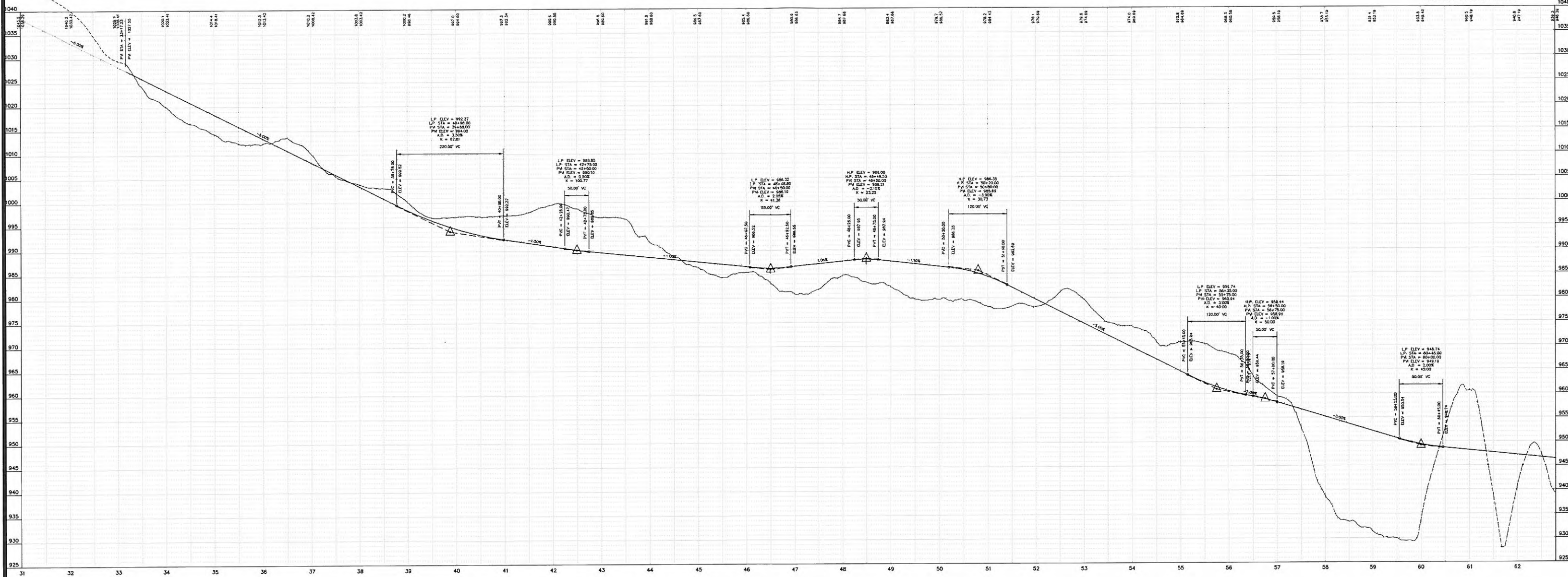
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FEBRUARY 2013  
CITY OF LAKE ELMO  
806  
LAKE ELMO



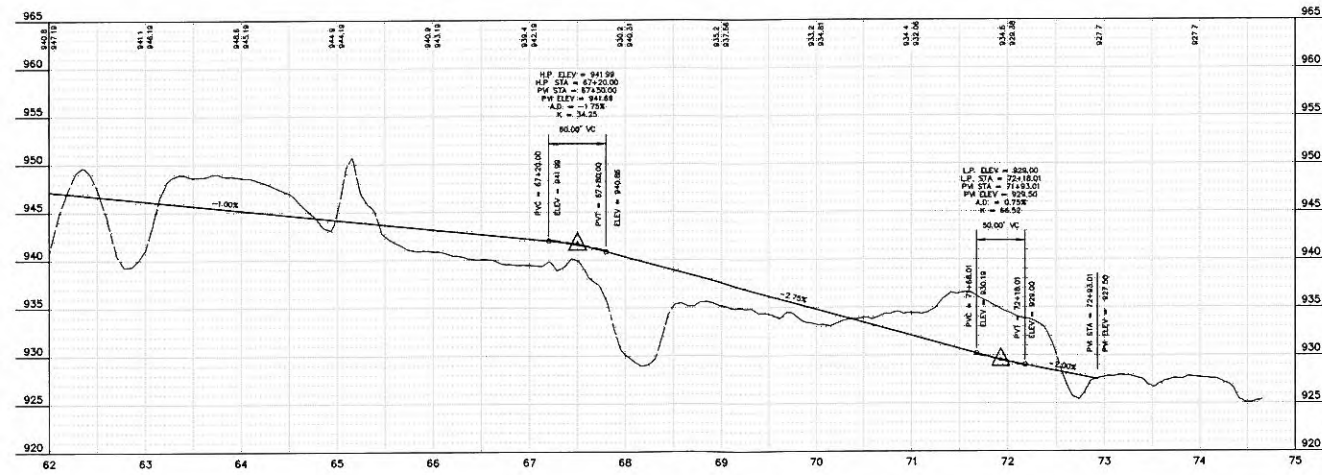
**STANDARD PLAN NOTES**  
FEBRUARY 2013  
CITY OF LAKE ELMO  
807  
LAKE ELMO

NOT FOR CONSTRUCTION

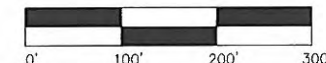
**Hammes Property**  
Lake Elmo, Minnesota



Street 1



Street 1



NOT FOR CONSTRUCTION

**Hammes Property**  
7599 Anagram Drive  
Lake Elmo, Minnesota

Date: 02/20/14 Sheet 17 OF 25

**Westwood**  
Westwood Professional Services, Inc.  
7699 Anagram Drive  
Eden Prairie, MN 55344  
PHONE 952-937-5150  
FAX 952-937-5822  
TOLL FREE 1-888-937-5150  
www.westwoodps.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.

**Ryan M. Bluhm**  
Date: 05/02/14 License No. 41257

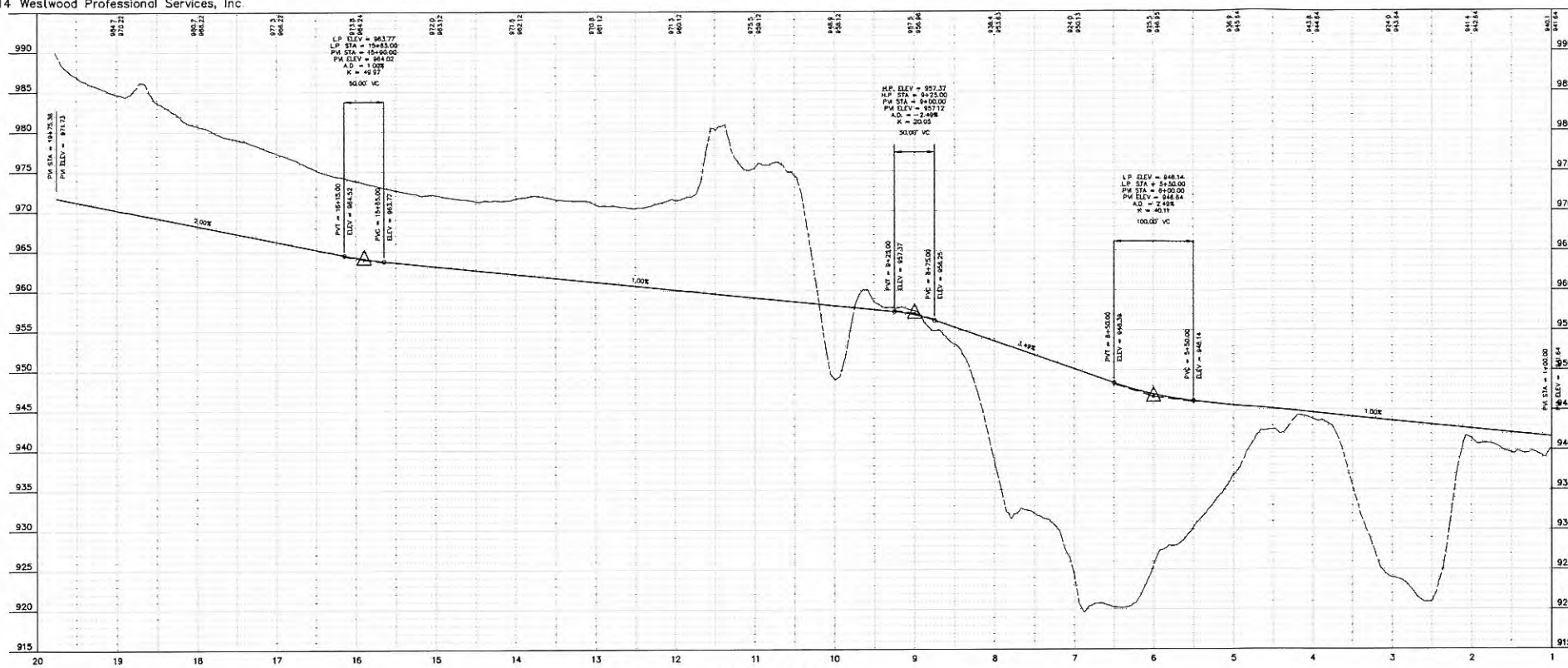
Revisions:

04/08/14 CITY COMMENTS	
05/02/14 CITY COMMENTS	

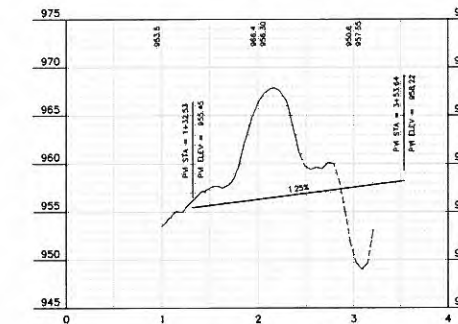
Designed:	CLJ
Checked:	RMR
Drawn:	HW
Record Drawing by/date:	

Prepared for:  
**Ryland Homes**  
7599 Anagram Drive  
Eden Prairie, Minnesota 55344

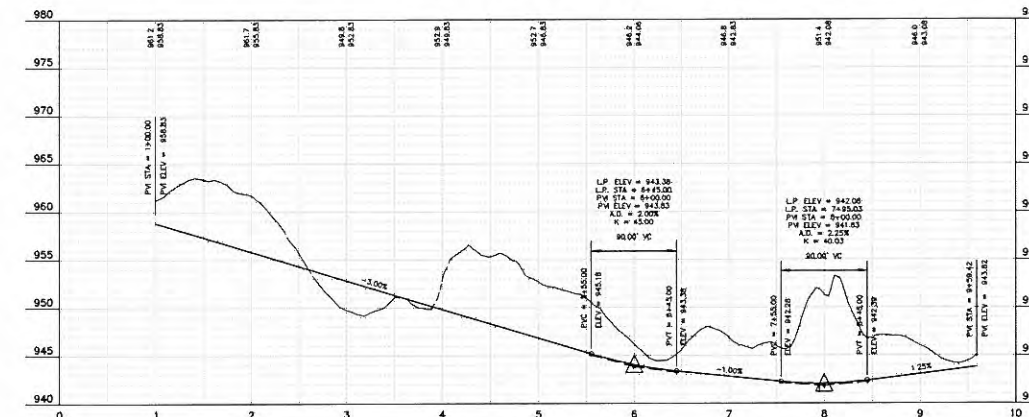




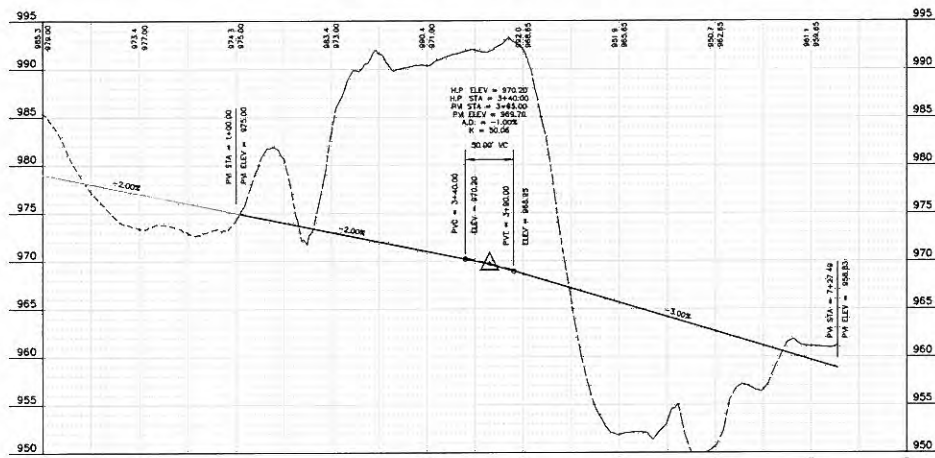
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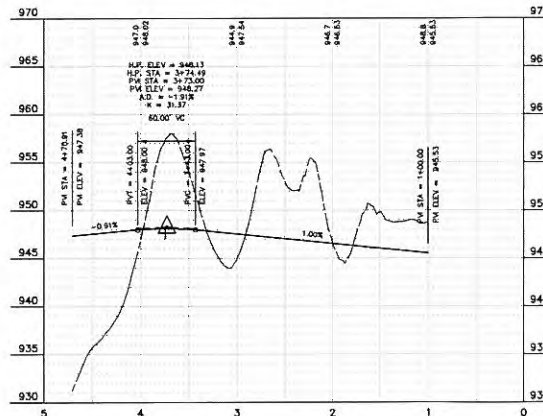
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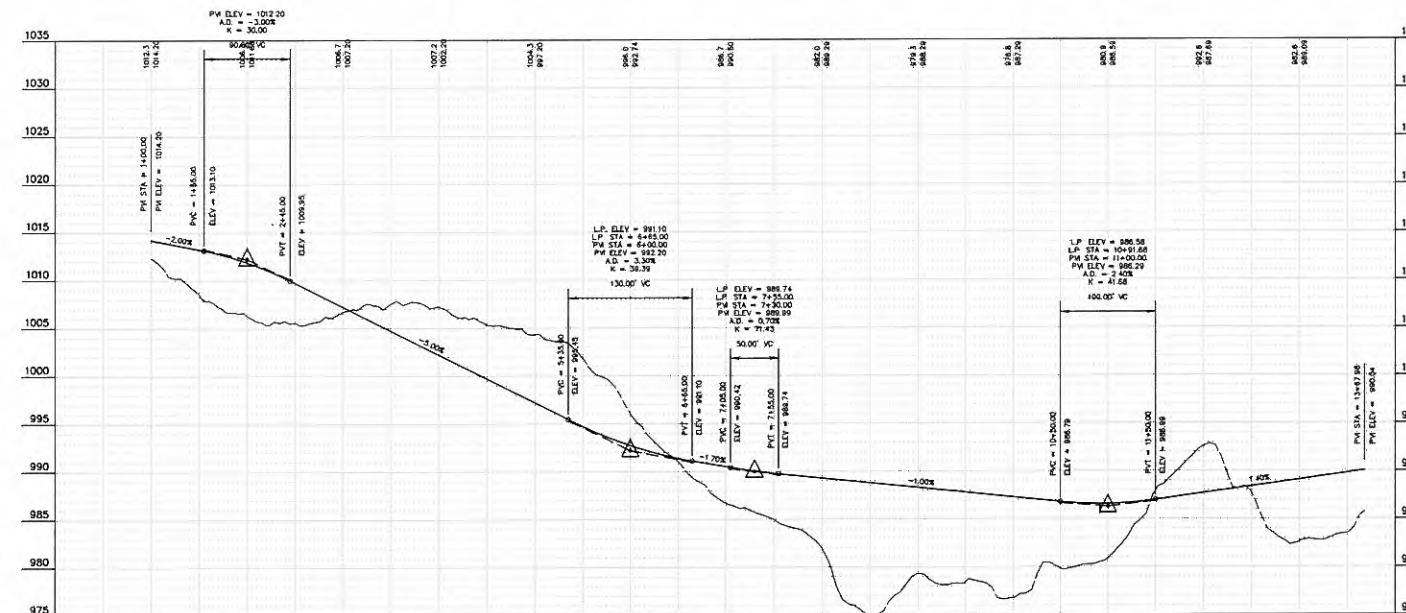
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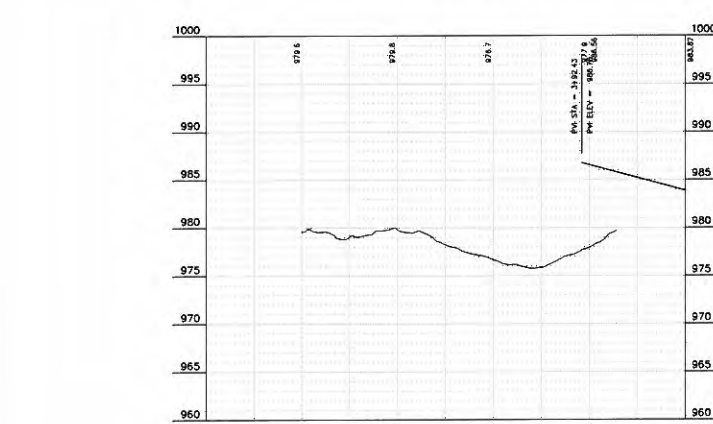
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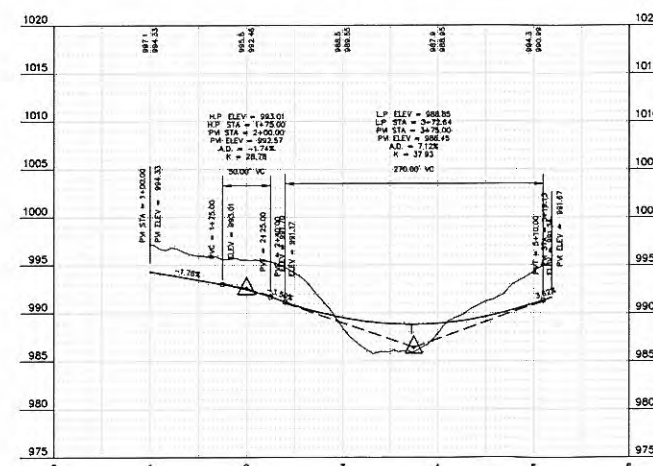
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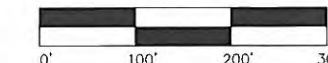
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Street 7



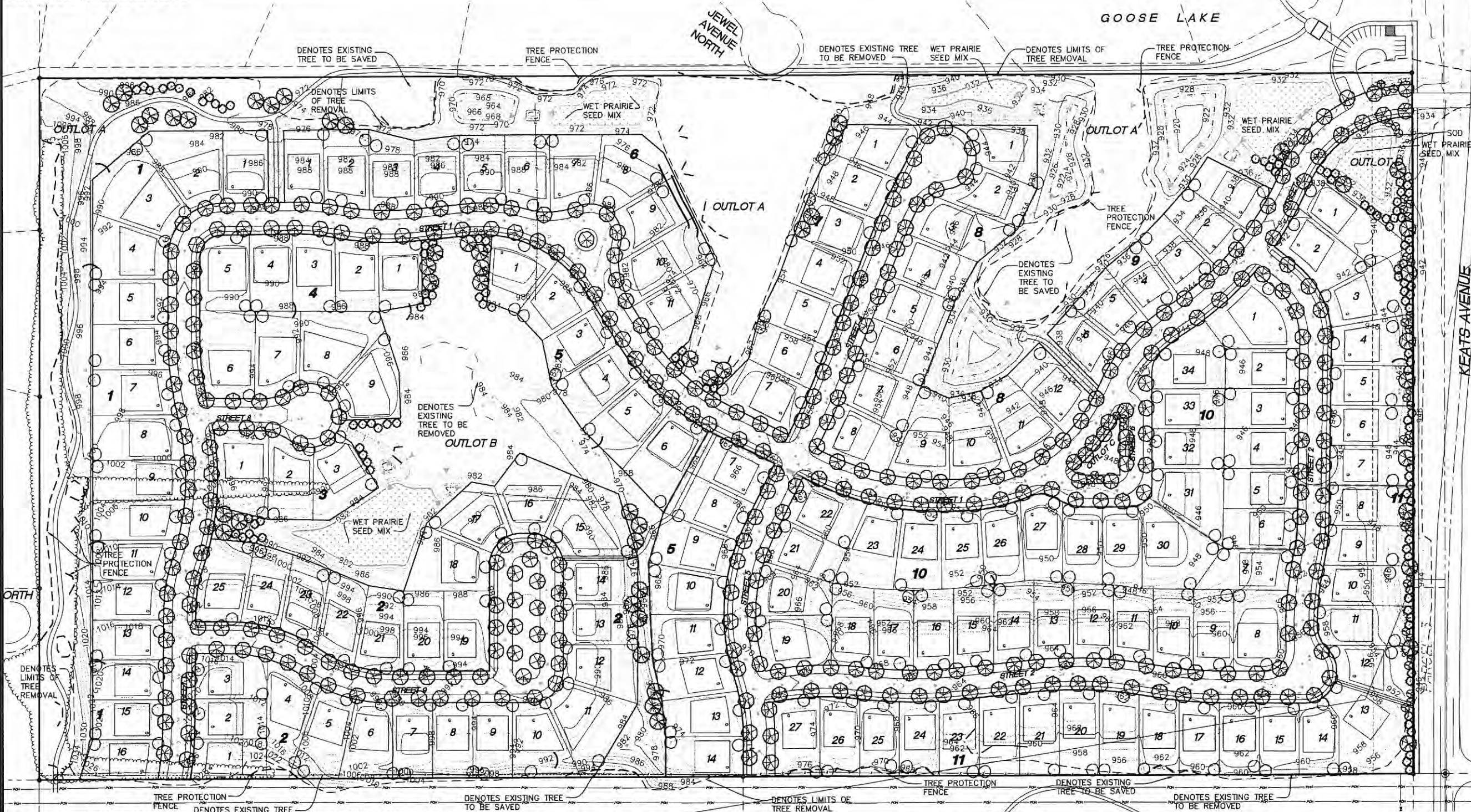
Street 8



NOT FOR CONSTRUCTION

**Hammes Property**  
 Lake Elmo, Minnesota

Date: 02/20/14 Sheet 18 of 25



STANDARD PLAN NOTES  
 FEBRUARY 2014  
**GEN OF PARE PLANO**  
 2014  
 05/02/14

STANDARD PLAN NOTES  
 FEBRUARY 2014  
**GEN OF PARE PLANO**  
 2014  
 05/02/14

\*\*\*ADDITIONAL NOTES:  
 STREET TREE LOCATIONS AND SPACING ARE SUBJECT TO CHANGE BASED ON CONSTRUCTED DRIVEWAY AND UTILITY LOCATIONS.

**Preliminary Plant Schedule**

SYMBOL	QTY	COMMON/BOTANICAL NAME	SIZE
OVERSTORY - STREET TREE	348	Sugar Maple / <i>Acer saccharum</i>	2.5" BB
		Autumn Blaze Maple / <i>Acer x freemanii</i> 'Jeffers Red'	2.5" BB
		Northwood Maple / <i>Acer rubrum</i> 'Northwood'	2.5" BB
		Skyline Honeylocust / <i>Gleditsia triacanthos inermis</i> 'Skycole'	2.5" BB
OVERSTORY - OTHER	50	Northern Pin Oak / <i>Quercus ellipsoidalis</i>	2.5" BB
		Red Oak / <i>Quercus rubra</i>	2.5" BB
		Swamp White Oak / <i>Quercus bicolor</i>	2.5" BB
		Bur Oak / <i>Quercus macrocarpa</i>	2.5" BB
		Hackberry / <i>Celtis occidentalis</i>	2.5" BB
		Boulevard Linden / <i>Tilia americana</i> 'Boulevard'	2.5" BB
OVERSTORY - YARD TREE	328	Greenspire Linden / <i>Tilia cordata</i> 'Greenspire'	2.5" BB
		Discovery Elm / <i>Ulmus davidiana</i> var <i>japonica</i> 'Discovery'	2.5" BB
		Princeton Elm / <i>Ulmus americana</i> 'Princeton'	2.5" BB

NOTE: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY

**Preliminary Plant Schedule**

SYMBOL	QTY	COMMON/BOTANICAL NAME	SIZE		
ORNAMENTAL	39	River Birch / <i>Betula nigra</i>	6' HT., BB CLUMP		
		Thornless Cockspur Hawthorn / <i>Crataegus crusgalli</i> 'Inermis'	2" BB		
		Japanese Tree Lilac / <i>Syringa reticulata</i>	6' HT., BB CLUMP		
		Allegheny Serviceberry / <i>Amelanchier laevis</i>	6' HT., BB CLUMP		
		Whitespire Birch / <i>Betula populifolia</i> 'Whitespire'	2" BB		
		Prairiefire Crab / <i>Malus 'Prairiefire'</i>	2" BB		
		Profusion Crab / <i>Malus 'Profusion'</i>	2" BB		
		Spring Snow Crab / <i>Malus 'Spring Snow'</i>	2" BB		
		EVERGREEN	113	Black Hills Spruce / <i>Picea glauca densata</i>	6' HT., BB
				Colorado Green Spruce / <i>Picea pungens</i>	6' HT., BB
Austrian Pine / <i>Pinus nigra</i>	6' HT., BB				
Norway Pine / <i>Pinus resinosa</i>	6' HT., BB				
Scotch Pine / <i>Pinus sylvestris</i>	6' HT., BB				
White Pine / <i>Pinus strobus</i>	6' HT., BB				

NOTE: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY

**Landscape Requirement Calculations**

GENERAL LANDSCAPE REQUIREMENTS:  
 FIVE TREES PER ACRE X SITE AREA (67.1 AC) = 336 TREES REQUIRED  
 (2-1/2" cal. inches)

STREET TREE REQUIREMENTS:  
 1 TREE PER 50 STREET FRONTAGE (16,381 LF) = 328 TREES REQUIRED  
 (2-1/2" cal. inches)

SUBTOTAL LANDSCAPE REQUIREMENTS: = 664 TREES REQUIRED

TREE REPLACEMENT REQUIREMENTS:  
 (863 cal. inches / 2.5" cal. in. per tree) = 345 TREES REQUIRED

OVERALL LANDSCAPING REQUIREMENTS: = 1009 TREES REQUIRED

OVERALL LANDSCAPING PROVIDED:  
 (INCLUDES ALL PLANTINGS ON-SITE) = 878 TREES PROVIDED

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**Hammes Property**  
 Lake Elmo, Minnesota

Latest Revision Date: 05/02/14  
 Date: 02/20/14 Sheet: 19 OF 25

Preliminary Landscape Plan

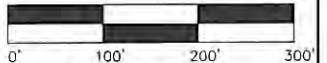
**Westwood**  
 Westwood Professional Services, Inc.  
 7699 Anagram Drive  
 Eden Prairie, MN 55344  
 PHONE: 952-937-5150  
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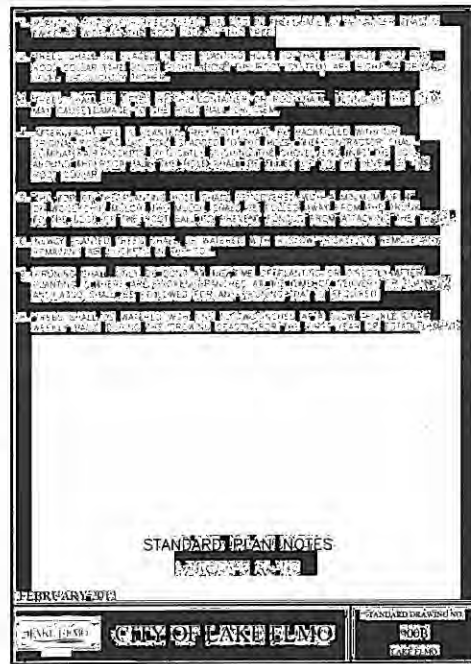
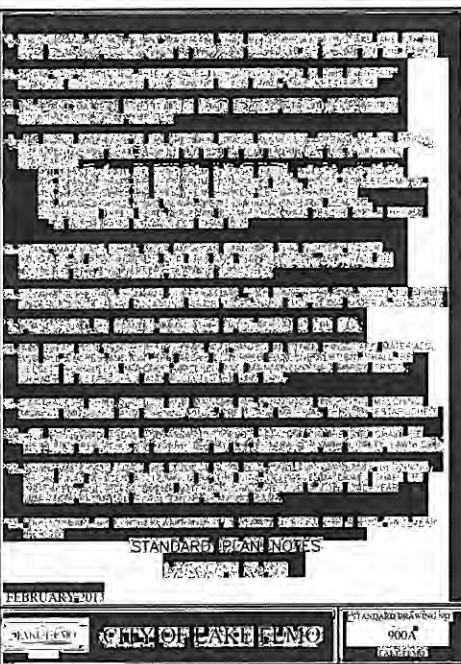
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 Revisions:  
 04/08/14 CITY COMMENTS  
 05/02/14 CITY COMMENTS  
 Cory Meyer  
 Date: 05/02/14 License No. 26971

Designed: CLM  
 Checked: CLM  
 Drawn: SYB  
 Record Drawing by/date:

Prepared for:

**Ryland Homes**  
 7599 Anagram Drive  
 Eden Prairie, Minnesota 55344





**Supplemental Planting Notes**

- ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- PRUNE PLANTS AS NECESSARY – PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
- STAKING OF TREES AS REQUIRED, REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.
- THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
- BACKFILL SOIL AND TOPSOIL TO ADHERE TO MN/DOT STANDARD SPECIFICATION 3877 (SELECT TOPSOIL BORROW) AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.
- MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 2" DEPTH SHREDDED HARDWOOD MULCH. MULCH TO BE FREE OF DELETERIOUS MATERIAL.
- EDGING TO BE SPADED EDGE, UNLESS OTHERWISE INDICATED. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE.
- ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. NATIVE SEEDING PER MNDOT SPECIFICATIONS IN OUTLOT C & I TO BE SEEDED WITH SEED MIX 33-262. PORTIONS OF OUTLOTS G & H TO BE SEEDED WITH SEED MIX 35-621 PER MNDOT SPECIFICATIONS.
- PROVIDE IRRIGATION TO ALL STREET TREE AND BUFFER LANDSCAPING ON SITE. REAR YARD AND OPEN SPACE PLANTINGS WILL NOT BE IRRIGATED. IRRIGATION SYSTEM TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS TO CITY OF LAKE ELMO FOR APPROVAL PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE-YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR.
- REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
- ALL DISTURBED AREAS WITHIN OUTLOTS TO BE SEEDED WITH DRY PRAIRIE SEED GRASS MIX, UNLESS OTHERWISE NOTED. ALL AREAS WITHIN INDIVIDUAL LOTS TO BE SODDED. SOD TO BE STANDARD MINNESOTA GROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED PER MN STATE SEED MIX SPECIFICATIONS (SEE SEED MIX TABLES).

**Dry Prairie Seed SE Grass Mix**

35-621 Dry Prairie Southeast					
Common Name	Scientific Name	Rate (kg/ha)	Rate (lb/ac)	% of Mix (% by wt)	Seeds/ sq ft
side-oats grama	<i>Bouteloua curtipendula</i>	1.27	1.13	10.23%	2.48
blue grama	<i>Bouteloua gracilis</i>	0.76	0.68	6.19%	10.00
kalm's brome	<i>Bromus kalmii</i>	0.35	0.31	2.78%	0.90
nodding wild rye	<i>Elymus canadensis</i>	1.68	1.50	13.61%	2.86
slender wheatgrass	<i>Elymus trachycaulus</i>	1.32	1.18	10.76%	3.00
junegrass	<i>Koeleria macrantha</i>	0.46	0.41	3.71%	30.00
little bluestem	<i>Schizachyrium scoparium</i>	1.69	1.51	13.70%	8.30
sand dropseed	<i>Sporobolus cryptandrus</i>	0.25	0.22	1.98%	16.00
prairie dropseed	<i>Sporobolus heterolepis</i>	0.29	0.26	2.32%	1.50
<b>Total Grasses</b>		<b>8.07</b>	<b>7.20</b>	<b>65.28%</b>	<b>75.04</b>
butterfly milkweed	<i>Asclepias tuberosa</i>	0.07	0.06	0.52%	0.09
whorled milkweed	<i>Asclepias verticillata</i>	0.01	0.01	0.11%	0.05
bird's foot coreopsis	<i>Coreopsis palmata</i>	0.06	0.05	0.50%	0.20
white prairie clover	<i>Dalea candida</i>	0.10	0.09	0.78%	0.60
purple prairie clover	<i>Dalea purpurea</i>	0.17	0.15	1.32%	0.80
ox-eye	<i>Heliopsis helianthoides</i>	0.07	0.06	0.51%	0.13
round-headed bush clover	<i>Lespedeza capitata</i>	0.03	0.03	0.31%	0.10
rough blazing star	<i>Liatris aspera</i>	0.02	0.02	0.17%	0.11
dotted blazing star	<i>Liatris punctata</i>	0.02	0.02	0.23%	0.06
wild bergamot	<i>Monarda fistulosa</i>	0.03	0.03	0.30%	0.85
horsemint	<i>Monarda punctata</i>	0.02	0.02	0.22%	0.80
stiff goldenrod	<i>Oligoneuron rigidum</i>	0.07	0.06	0.59%	0.98
large-flowered beard tongue	<i>Pensilemon grandiflorus</i>	0.04	0.04	0.35%	0.20
black-eyed susan	<i>Rudbeckia hirta</i>	0.10	0.09	0.86%	3.20
gray goldenrod	<i>Solidago nemoralis</i>	0.01	0.01	0.14%	1.65
skyblue aster	<i>Symphoricarum oolentangense</i>	0.01	0.01	0.06%	0.20
silky aster	<i>Symphoricarum sericeum</i>	0.02	0.02	0.19%	0.20
bracted spiderwort	<i>Tradescantia bracteata</i>	0.01	0.01	0.12%	0.05
heart-leaved alexanders	<i>Zizia aptera</i>	0.02	0.02	0.21%	0.10
<b>Total Forbs</b>		<b>0.90</b>	<b>0.80</b>	<b>7.49%</b>	<b>10.37</b>
Oats or winter wheat (see note at beginning of list for recommended dates)		3.36	3.00	27.23%	1.33
<b>Total Cover Crop</b>		<b>3.36</b>	<b>3.00</b>	<b>27.23%</b>	<b>1.33</b>
<b>Totals:</b>		<b>12.33</b>	<b>11.00</b>	<b>100.00%</b>	<b>86.75</b>

**Purpose:** Regional dry prairie reconstruction for wetland mitigation, ecological restoration, or conservation program plantings.  
**Planting Area:** Eastern Broadleaf Forest Province excluding Hardwood Hills subsection. Mn/DOT Districts Metro & 6.

**Wet Prairie Seed Grass Mix**

35-621 Dry Prairie Southeast					
Common Name	Scientific Name	Rate (kg/ha)	Rate (lb/ac)	% of Mix (% by wt)	Seeds/ sq ft
side-oats grama	<i>Bouteloua curtipendula</i>	1.27	1.13	10.23%	2.48
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little bluestem	<i>Schizachyrium scoparium</i>	1.69	1.51	13.70%	8.30
sand dropseed	<i>Sporobolus cryptandrus</i>	0.25	0.22	1.98%	16.00
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<b>Total Grasses</b>		<b>8.07</b>	<b>7.20</b>	<b>65.28%</b>	<b>75.04</b>
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<b>Totals:</b>		<b>12.33</b>	<b>11.00</b>	<b>100.00%</b>	<b>86.75</b>

**Purpose:** Regional dry prairie reconstruction for wetland mitigation, ecological restoration, or conservation program plantings.  
**Planting Area:** Eastern Broadleaf Forest Province excluding Hardwood Hills subsection. Mn/DOT Districts Metro & 6.

Call 48 Hours before digging:  
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 Common Ground Alliance

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Latest Revision Date: 05/02/14

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Date: 02/20/14 Sheet: 20 OF 25

**Hammes  
Property**  
Lake Elmo, Minnesota

Preliminary Landscape Plan

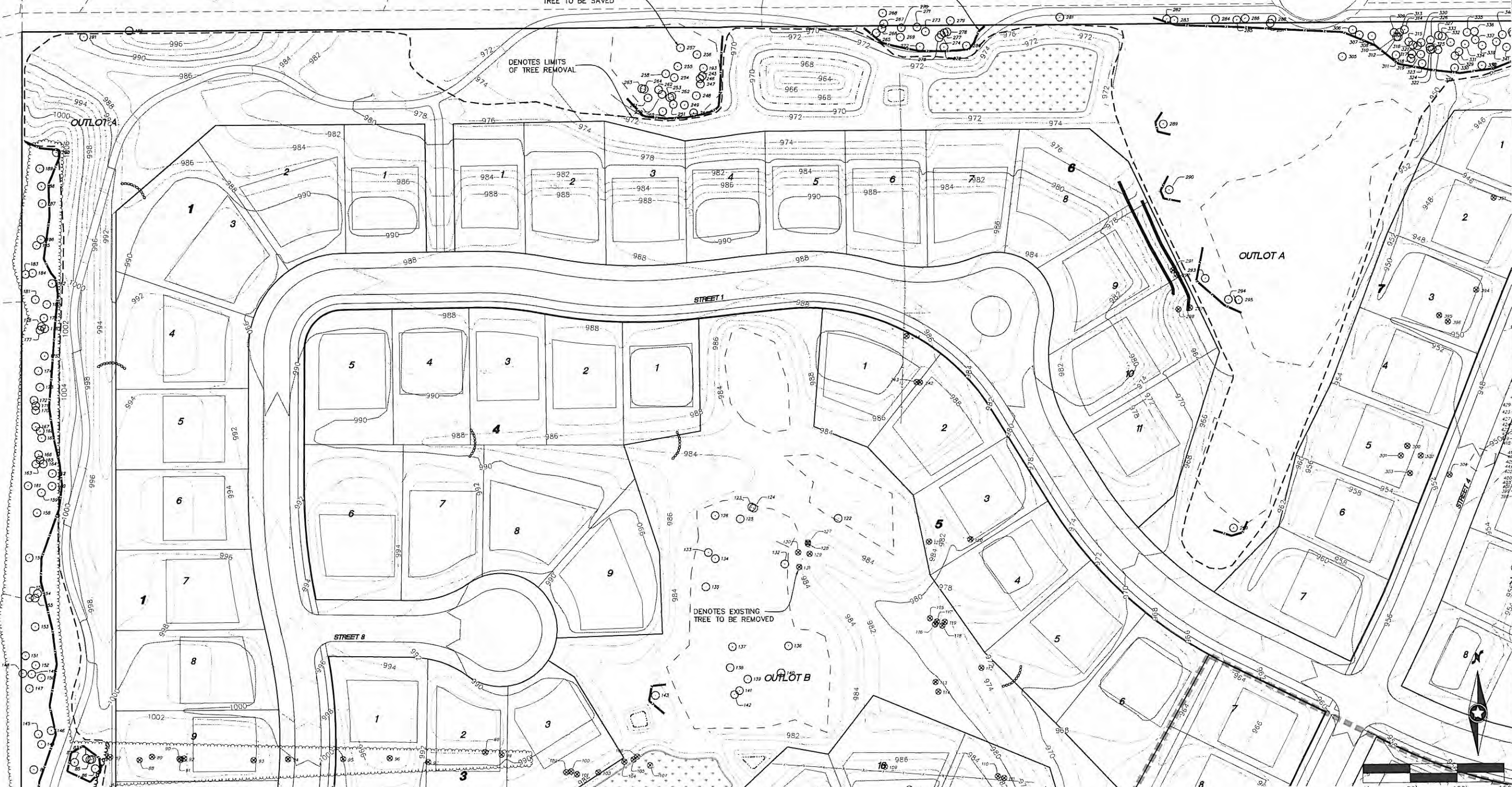
WEL AVENUE NORTH

DENOTES EXISTING TREE TO BE SAVED

TREE PROTECTION FENCE

DENOTES LIMITS OF TREE REMOVAL

DENOTES EXISTING TREE TO BE REMOVED



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Date: 02/20/14 Sheet: 21 OF 25

**Hammes Property**  
Lake Elmo, Minnesota

Preliminary Tree Preservation Plan

**Westwood**  
Westwood Professional Services, Inc.  
7599 Anagram Drive  
Eden Prairie, MN 55344  
PHONE: 952-937-5150  
FAX: 952-937-5822  
TOLL FREE: 1-888-937-5150  
www.westwoodps.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed LANDSCAPE ARCHITECT under the laws of the State of Minnesota.

**Cory Meyer**  
Date: 05/02/14 License No. 26971

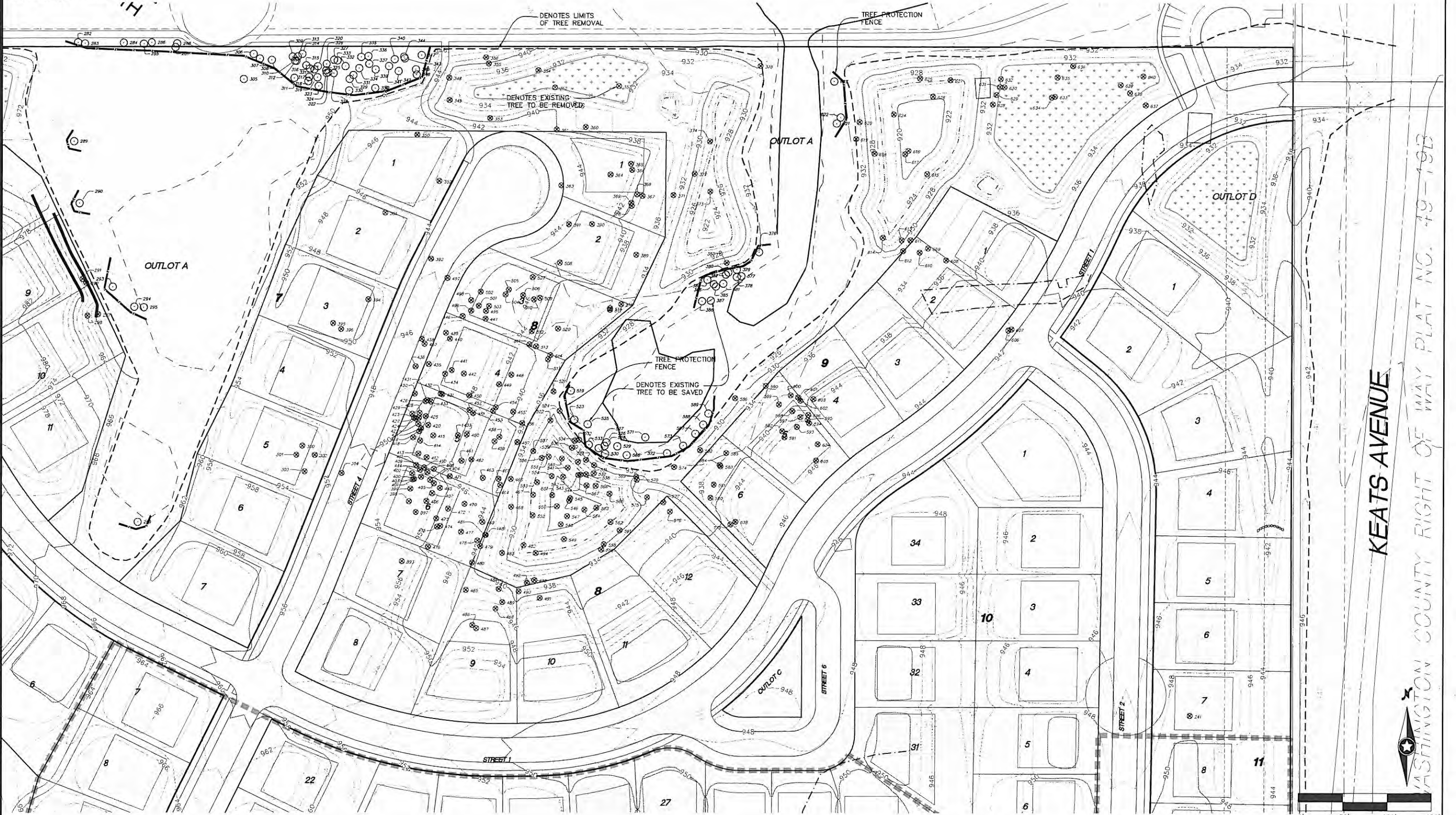
Revisions:

04/08/14	CITY COMMENTS
05/02/14	CITY COMMENTS

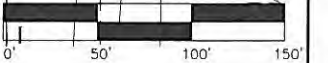
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Checked:	
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Prepared for:

**Ryland Homes**  
7599 Anagram Drive  
Eden Prairie, Minnesota 55344



KEATS AVENUE  
 WASHINGTON COUNTY RIGHT OF WAY PLAT NO. 49-19B



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Date: 02/20/14 Sheet 22 OF 25

**Hammes  
 Property**  
 Lake Elmo, Minnesota

**Ryland Homes**  
 7599 Anagram Drive  
 Eden Prairie, Minnesota 55344

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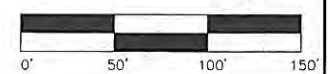
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Date: 02/20/14 Sheet 23 OF 25

**Hammes  
Property**

Lake Ilmo, Minnesota

**Preliminary Tree  
Preservation Plan**



Westwood

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Prepared for:

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7599 Anagram Drive  
Eden Prairie, Minnesota 55344



KE  
WASHINGTON COUNTY RI

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**NOT FOR CONSTRUCTION**

**Hammes  
Property**

Lake Elmo, Minnesota

Date: 02/20/14 Sheet 24 OF 25

**Preliminary Tree  
Preservation Plan**

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Eden Prairie, Minnesota 55344



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TAG #	SPECIES	CALIN.	Condition	Multi-Stem	STATUS	TAG #	SPECIES	CALIN.	Condition	Multi-Stem	STATUS	TAG #	SPECIES	CALIN.	Condition	Multi-Stem	STATUS	TAG #	SPECIES	CALIN.	Condition	Multi-Stem	STATUS	TAG #	SPECIES	CALIN.	Condition	Multi-Stem	STATUS	TAG #	SPECIES	CALIN.	Condition	Multi-Stem	STATUS						
1	Bur Oak	9	Good		Removed	106	Trembling Aspen	14	Good		Removed	211	Black Cherry	9	Good		Saved	322	Northern Pin Oak	10	Good		Saved	431	Northern Pin Oak	6	Fair		Removed	538	Northern Pin Oak	8	Good		Removed	1057	Box Elder	13	Good		Removed


Total Caliper Inches On-Site:	8701
Inches Removed On-site:	4337
- Common Trees:	1561
- Conifer/Evergreen Trees:	97
- Hardwood Trees:	2679
Tree Removal Limit (30%):	2611
- subtract Common Tree removals:	1561
- subtract Conifer Tree removals:	97
- subtract Hardwood Tree removals:	2679
Removals in excess of 30% allowance:	1726
Removals in excess of allowance:	1726
Hardwood Tree replacement:	863
Tree replacement Required:	863 cal inches
Tree Replacement Required (@2.5" per tree):	345 trees

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**Hammes  
Property**  
 Lake Elmo, Minnesota

Date: 02/20/14 Sheet 25 OF 25



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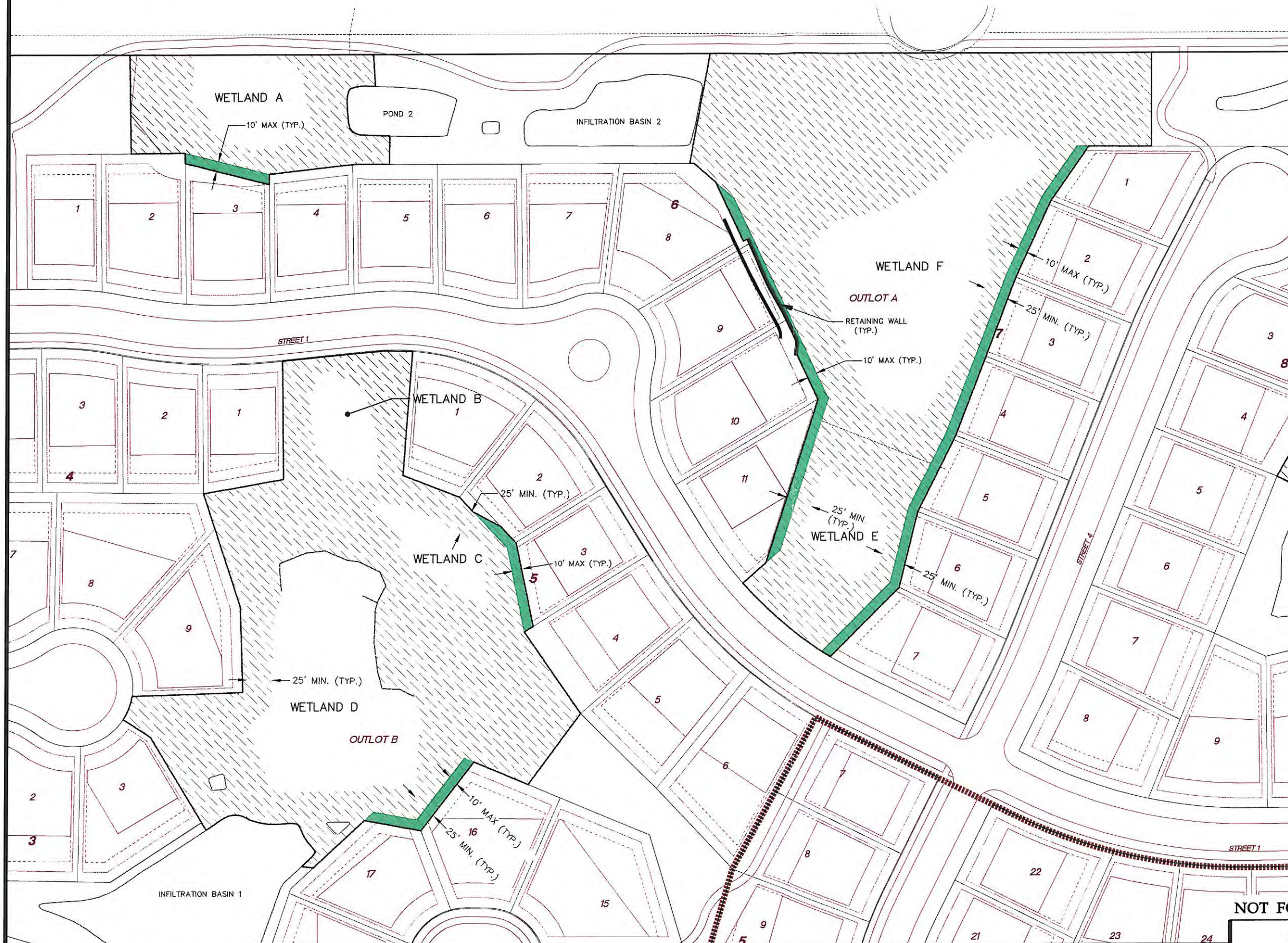
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 Record Drawing by/date: \_\_\_\_\_

Prepared for:

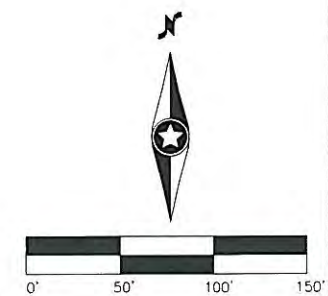
**Ryland Homes**  
 7599 Anagram Drive  
 Eden Prairie, Minnesota 55344





**LEGEND:**

- PROPOSED WETLAND BUFFER AREA
- PARTIAL WETLAND BUFFER WITHIN PRIVATE LOT



NOT FOR CONSTRUCTION

**Hammes Property**  
Lake Elmo, Minnesota

Date: 05/02/14 Sheet: 1 OF 2

**Westwood**  
Westwood Professional Services, Inc.  
7599 Anagram Drive  
Eden Prairie, MN 55344  
PHONE 952-937-5150  
FAX 952-937-5822  
TOLL FREE 1-866-937-5150  
www.westwoodps.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.  
**Ryan M. Bluhm**  
Date: 05/02/14 License No. 41257

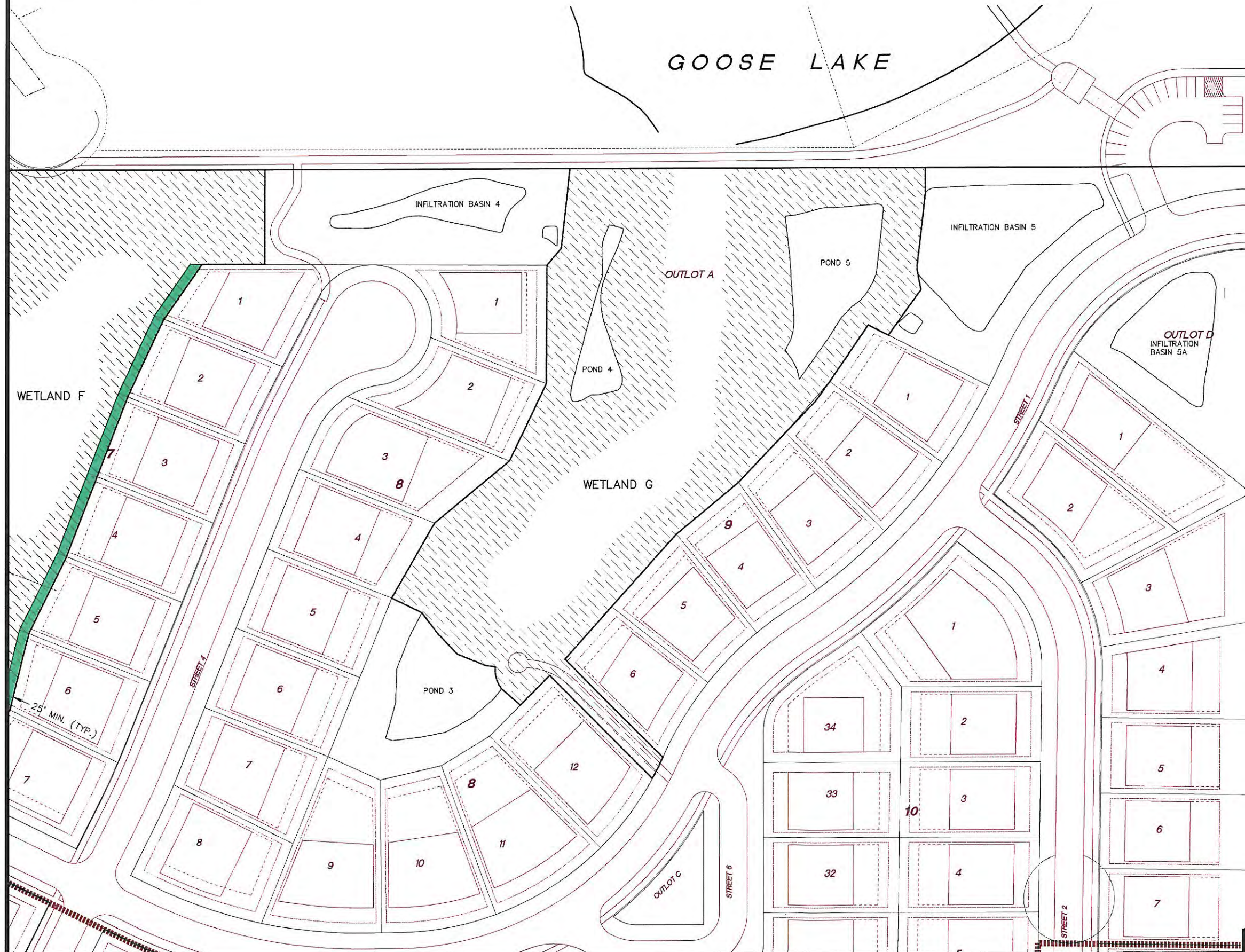
Revisions:

Designed: CLM  
Checked: CLM  
Drawn: SYE  
Record Drawing by/date:



Prepared for:

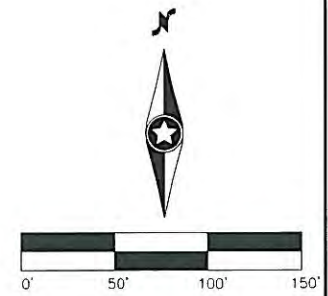
**Ryland Homes**  
7599 Anagram Drive  
Eden Prairie, Minnesota 55344

Preliminary Wetland Buffer Encroachment Sketch



**LEGEND:**

-  PROPOSED WETLAND BUFFER AREA
-  PARTIAL WETLAND BUFFER WITHIN PRIVATE LOT



NOT FOR CONSTRUCTION

**Hammes Property**  
Lake Elmo, Minnesota

Date: 05/02/14 Sheet: 2 OF 2

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FAX 952-937-5822  
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www.westwoodpa.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.  
**Ryan M. Bluhm**  
Date: 05/02/14 License No. 41257

Revisions:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Designed: CLM  
Checked: CLM  
Drawn: SYB  
Record Drawing by/date: \_\_\_\_\_

Prepared for:  
**Ryland Homes**  
7599 Anagram Drive  
Eden Prairie, Minnesota 55344

Preliminary Wetland Buffer Encroachment Sketch



Bopray  
Environmental

N7831 920th St. River Falls, WI 54022  
715-307-4577 kjbopray@yahoo.com

# Memorandum

---

To: Karen Wold, Valley Branch WD, Barr Eng.

From: Kelly Bopray

Subject: Hammes Site, Lake Elmo, Incidental Wetland Determinations

Date: February 6, 2014

---

As described in the wetland delineation report (9/4/2013), Wetlands H, I, J, K, L, M and parts of G were created in historically upland areas as a result of ongoing mining activities. BES's incidental determination is based on a review of historical aerial photographs, topographic surveys and on-site observations. As incidental wetlands these basins would not be regulated under the Wetland Conservation Act (WCA). As part of the Valley Branch Watershed District's (VBWD) review, additional documentation supporting the incidental determination, including a map of the existing wetlands plotted on a pre-mining aerial photograph was requested.

Figure 3 from the wetland delineation report is attached to provide the general locations of the wetlands depicted on a recent aerial photograph. The Existing Conditions map prepared by FFE shows the surveyed wetland boundaries on the site. Historical aerial photos (from the delineation report) are attached including the approximate locations of the pre-mining wetlands plotted on the 1957 aerial. An excerpt from a historical (1949) USGS map provides general information on the topography of the site prior to mining activities. Exhibit X has been prepared by Westwood Professionals to show the surveyed wetlands plotted on the 1957 (pre-mining) aerial photo. Photos of each wetland were provided in the wetland delineation report.

**Wetland G-** Historical aerial photos show that prior to the initiation of mining activities in the early 1960's there was an isolated wetland/pond in the general vicinity of the south end of Wetland G. Current aerials show that the majority of the basin was eliminated and a channel was constructed to connect the mining operation to Goose Lake to the north. On-site observation of piping and pump facilities along with accounts from the property owner indicate the channel was constructed to provide access to a water source used to wash and sort granular material. The channel was constructed through upland for the purpose of appropriating

water and was not intended to create a wetland. Therefore the straight portion of Wetland G in the north-south channel would be incidental and not regulated under the WCA.

**Wetland H-** This wetland is a small isolated depression. The pre-mining aerials do not show wetland characteristics in the area. An on-site observation of the surrounding topography is indicative of remnants of piles and scrapes of aggregate material. The specific wetland area itself appears to be two ruts and a scraped area from equipment. Wetland H is a remnant of the mining activity and was not intended to create a wetland. Therefore Wetland H would be incidental and not regulated under the WCA.

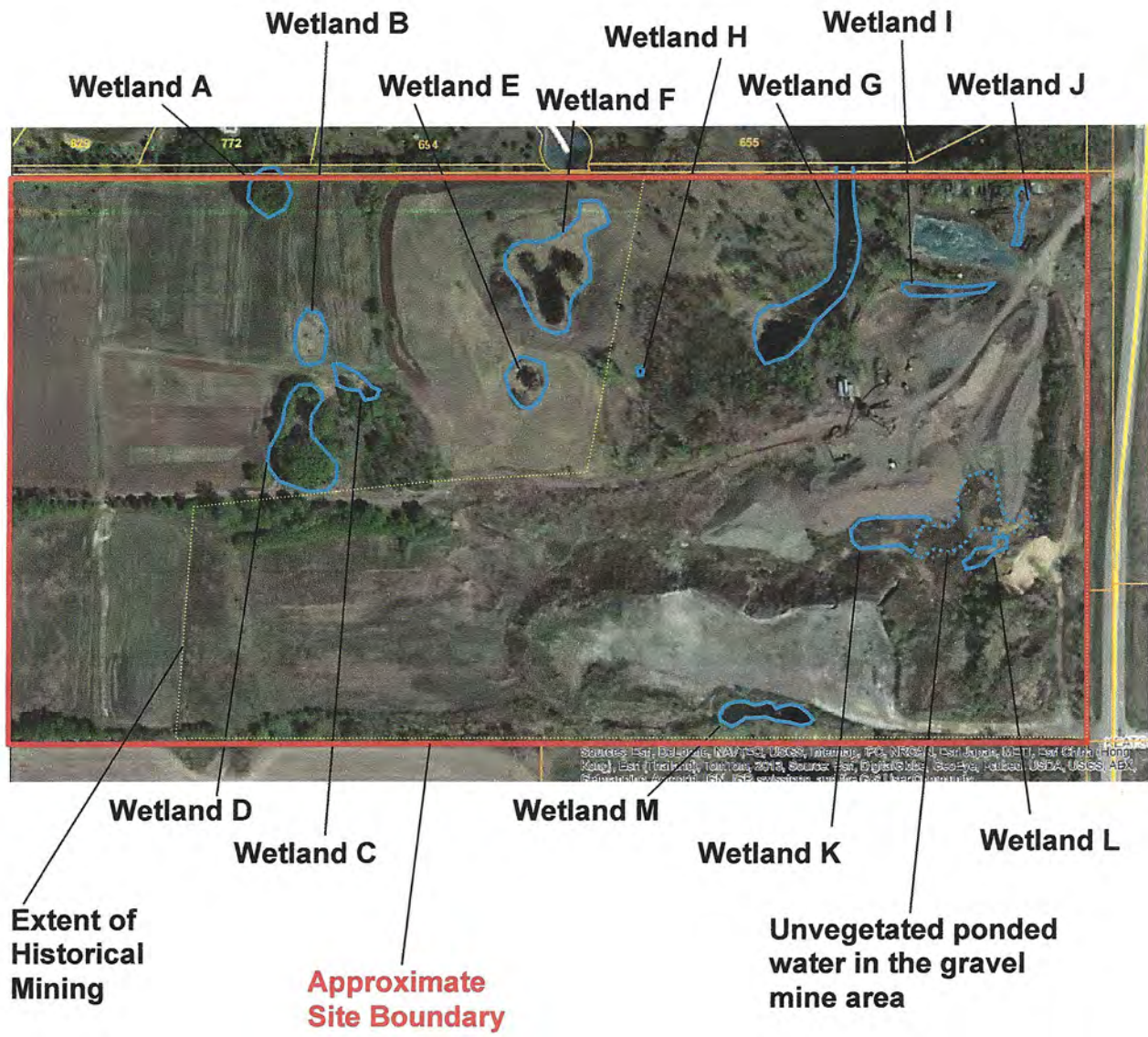
**Wetland I-** On-site observations clearly indicate Wetland I was excavated as part of a settling pond for the aggregate washing process. Figure X shows this was not a historical wetland area. Wetland I was created as part of the mining process and was not intended to create wetlands. Therefore Wetland I would be incidental and not regulated under the WCA.

**Wetland J-** This wetland has developed in an area graded flat for an equipment storage yard/parking lot in front of the old mining office. Figure X shows this was not a historical wetland area. Wetland J was created as part of the mining process and was not intended to create wetlands. Therefore Wetland J would be incidental and not regulated under the WCA.

**Wetlands K & L-** These wetlands are man-made wetlands in the bottom of the active mining area which have revegetated. These wetlands are connected by unvegetated areas of the active mine that flood during heavy precipitation events and spring runoff. These wetlands are intertwined between stock piles of aggregate materials. The ground elevation of the bottom of the mining area is generally about 920ft. The historical USGS top map from 1949 indicated the area was originally at an elevation of approximately 940ft. Figure X shows this was not a historical wetland area. Wetlands K and L were created as part of the mining process and were not intended to create wetlands. Therefore Wetlands K and L would be incidental and not regulated under the WCA.

**Wetland M-** This wetland is a man-made wetland/ponding area on top of the aggregate stock pile along the southeast part of the site. This basin is perched on the edge of the stock pile approximately 30 feet above and on a 40% plus slope down to the surrounding landscape. Figure X show there was possibly a historical wetland to the north of where Wetland M was constructed. The historical aerials show the original ground surface was mined prior to the stock pile being constructed. The historical USGS topo map indicates the original ground surface in the area was approximately 940ft. The edge of Wetland M was surveyed generally at an elevation of 967 ft. Wetland M was constructed to collect and control runoff from the top of the stockpile and was not intended to create a wetland. Therefore Wetland M would be incidental and not regulated under the WCA.

If you have any questions please feel free to call me at 715-307-4577.



**Figure 3. Aerial Photo With Approximate Wetland Boundaries**  
 Hammes Sand and Gravel Site  
 Lake Elmo, Minnesota



## Nick Johnson

---

**From:** Jack Griffin <jack.griffin@focusengineeringinc.com>  
**Sent:** Thursday, May 08, 2014 2:11 PM  
**To:** Nick Johnson  
**Subject:** Hammes Estates

Nick,

See my comments below for your use. In addition, please include the following two conditions of approval.

1. The preliminary plat approval is conditioned upon the applicant meeting all minimum City standards and design requirements.
2. The preliminary plat approval is conditioned upon the City Engineer completing a review of the plans.

Comments:

### UTILITY EASEMENTS

- \* Significant revisions are needed throughout the plat to meet the City standard requirements for utility easements.

Most utility easements within the plat do not provide sufficient width for safe operation, maintenance and future replacement of this infrastructure. In many cases only 10-feet have been provided.

### CSAH 19 (Keats Avenue) IMPROVEMENTS

- \* The preliminary plat application is incomplete in regards to improvements needed to facilitate access to CSAH 19.
- \* The preliminary plat should be revised to incorporate the necessary County Road 19 improvements as required by Washington County.

### WETLANDS AND WETLAND BUFFERS

- \* VBWD requires a minimum 25-foot buffer when buffer averaging is used.
- \* The VBWD does not allow impervious surfaces to be placed on wetlands or wetland buffers.
- \* Lake Elmo requires the wetland and minimum 25-foot buffer to be entirely located within an Outlot.
- \* Street 1 R/W encroaches onto the minimum 25-foot buffer for Wetland A. The entire Street and R/W must be relocated outside of the minimum 25-foot buffer.

- \* Wetland A and corresponding buffer continues north of the Plat. This will require the trail to be a boardwalk, if approved by the VBWD, or relocated to the south of the Wetland buffer. If placed to the south of the wetland buffer, the trail must be located entirely within an Outlot.
- \* Wetland F. Retaining wall must be relocated to be outside the wetland buffer.
- \* Wetland F buffer must be reallocated so that it does not encroach upon the existing City trail.
- \* Wetlands B, C, and D are not labeled on the grading plans. Provide the HWL for each wetland.
- \* Provide the HWL for Wetland E.
- \* The grading plan must be revised to meet the VBWD grading requirements within wetland buffers.

#### GRADING AND STORM WATER MANGEMENT

- \* Provide the NWL and HLW for Goose Lake.
- \* Provide the HWL for all low points on the grading plan.
- \* Verify that all building low openings are 2 feet above any overland emergency overflow elevation.
- \* Verify that all building low floor elevations are 2 feet above wetland, storm water pond and infiltration basin HWL. Provide overland EOF for each stormwater facility.
- \* Infiltration basin 5A on Outlot D. The HWL for this facility (932.0) is above the adjacent Street 1 sudgrade elevation. The infiltration basin HWL must be below the street subgrade. This will require a much smaller basin or relocation of the basin.
- \* The VBWD engineer has itemized several revisions and corrections needed to the stormwater management plan and modeling report. These corrections may result in increased HWL's for some of the storm water facilities which for this development could have significant impacts to the preliminary plat.

STORMWATER MANAGEMENT MAINTENANCE ACCESS ROADS – Maintenance access roads must be relocated or improved to meet City standard requirements. Access roads have been located in areas that are insufficient to allow access to some storm sewer pipes and outlets either due to inaccessible slopes and /or encroaching private lots and wetland buffers.

- \* Wetland A / Pond 2 area maintenance access road encroaches onto the buffer to wetland A. This is not allowed by VBWD or the City. This access road also encroaches onto Lots 2, 3, 4, 5, and 6, Block 6. The maintenance access road must be relocated to be entirely outside of the buffer and onto a Outlot dedicated to the City.
- \* Wetland D / Pond 1 area maintenance access roads. Revisions are needed to facilitate access to all storm outlets, FES and storm pipe including those on the east side of Wetland D.
- \* Wetland G / Ponds 3, 4 and 5. Maintenance access road must be extended for access to all storm pipe and outlets. Access must be along acceptable grades and located entirely upon Outlots and outside of wetland buffers.

## CITY PARK IMPROVEMENTS

- \* The preliminary plat proposes improvements within the City Park on the south side of Goose Lake. The preliminary plat is incomplete in regard to these improvements and a review of these improvements cannot be completed.
- \* It appears that the proposed improvements may reside within the HWL of Goose Lake.
- \* It appears that the proposed improvements impact the recently constructed Lift Station and cannot be constructed as proposed. The City has previously requested a detailed site plan for these improvements that accurately shows the existing contours and infrastructure.

Thanks ~Jack

John (Jack) W. Griffin, P.E.  
Principal / Sr. Municipal Engineer

FOCUS ENGINEERING, INC.  
651.300.4264

[jack.griffin@focusengineeringinc.com](mailto:jack.griffin@focusengineeringinc.com) <<mailto:jack.griffin@focusengineeringinc.com>>





**Public Works Department**

Donald J. Theisen, P.E.  
Director

Wayne H. Sandberg, P.E.  
Deputy Director/County Engineer

May 6, 2014

Kyle Klatt  
Community Development Director  
City of Lake Elmo  
3600 Laverne Avenue North  
Lake Elmo, MN 55042

**RE: Washington County comments on the preliminary plans and plat for the Hammes Property Residential Development, City of Lake Elmo**

Dear Mr. Klatt:

Thank you for providing the county with the preliminary plat and plans of the Hammes property subdivision in Section 34, Township 27, Range 21, City of Lake Elmo. The project will consist of 165 single family lots. Based on review of the plans, we offer the following comments and recommendations to consider as you process this subdivision application through the City of Lake Elmo:

- The proposed access point on County State Aid Highway (CSAH )19/Keats Avenue is acceptable to the County. There are two additional local street connections, that extend south through the Savona Subdivision and ultimately, to 5<sup>th</sup> Street North. The average vehicles trips generated from this site will be 1,579 trips per day according to the *Trip Generation 7th Addition, Institute of Transportation Engineers (ITE.)*
- Since the proposed project will generate additional traffic on CSAH 19/Keats Avenue, functionally classified as an "A" Minor Arterial Roadway, improvements to CSAH 19/Keats Avenue will need to be provided for access to the local street. These improvements include a right turn lane on the southbound lane and a left turn lane on the northbound lane on CSAH 19. The median crossing from the southbound lane to the northbound lane should be modified and as discussed previously, the access to the Hammes Mining property on the west side of CSAH 19 should be aligned with the new local street location. A pedestrian trail/sidewalk should incorporated into the south side of median.
- There should be consideration on moving the driveway to the parking lot for the park further to the west to allow for additional access spacing from the intersection.
- A Washington County Right-Of- Way permit will be required for any work in the CSAH 19 right-of way as it relates to the development. A plan set is required with

the application and include any grading, installation of culverts, installation of water and sewer services, left and right turn lanes on CSAH 19, pedestrian crossings, parallel trail grading and development, if required, paving and striping, center median crossing removals, new center median crossings, signage and any landscaping and other improvements within county right-of-way.

- The proposed project will generate pedestrian/bicycle traffic on CSAH 19/Keats Avenue which is identified in the Washington County Comprehensive Plan 2030 as the Central Greenway Regional Trail. Pedestrians from the future development will need to access the existing off road trail on the east side of CSAH 19/Keats Avenue, therefore a crossing on the north side of the new intersection will need to be designed and constructed to provide this connection.
- Although it is not in the City of Lake Elmo 2030 Comprehensive Trail Plan, an off road parallel trail on the west side of CSAH 19/Keats Avenue should be considered by the city as the development/subdivision proceeds through the city review process. This trail will link directly to the Lake Elmo Regional Park Reserve to the north and the City of Woodbury to the south.
- Removal of the existing medians on CSAH 19/Keats Avenue shall be included in the plans.
- A signage plan for CSAH 19/Keats Avenue shall be prepared as it relates to the traffic improvements.
- The developer or the city must submit the drainage report and calculations to our office for review of any downstream impacts to the county drainage system. Along with the drainage calculations, we will request written conclusions that the volume and rate of stormwater run-off into the county right-of way will not increase as part of the project.
- Access control must be dedicated to Washington County along the CSAH 19/Keats Avenue frontage, except for the opening corresponding to the City's right- of- way for the collector roadway.
- Washington County's policy is to assist local governments in promoting compatibility between land use and highways. Residential uses located adjacent to highways often result in complaints about traffic noise. Traffic noise from this highway could exceed noise standards established by the Minnesota Pollution Control Agency (MPCA), the U.S. Department of Housing and Urban Development, and the U.S. Department of Transportation. Minnesota Rule 7030.0030 states that municipalities are responsible for taking all reasonable measures to prevent land use activities listed in the MPCA's Noise Area Classification (NAC) where the establishment of the land use would result in violations of established noise standards. Minnesota Statute 116.07, Subpart 2a exempts County Roads and County State Aid Highways from noise thresholds.

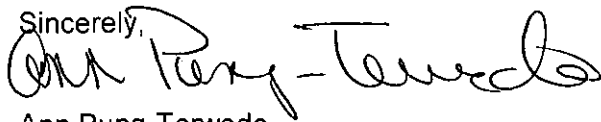
Hammes Subdivision  
May 6, 2014

County policy regarding development adjacent to existing highways prohibits the expenditure of highway funds for noise mitigation measures in such areas. The developer should assess the noise situation and take any action outside of County right of way deemed necessary to minimize the impact of any highway noise.

- Finally, the new intersection as well as the intersection at CSAH 19/5<sup>th</sup> Street may warrant the installation of traffic signals in the future as development occurs along the I-94 corridor. It is Washington County Policy that cities provide funding for 50% of the costs of traffic signals.

If you have any questions or comments to the responses on the Hammes Property, please contact me at [Ann.pung-terwedo@co.washington.mn.us](mailto:Ann.pung-terwedo@co.washington.mn.us).

Sincerely,



Ann Pung-Terwedo  
Senior Planner

C: Carol Hanson, Office Specialist

R/Plat Reviews/City of Lake Elmo/Hammes/5-6-2014

## Nick Johnson

---

**From:** John P. Hanson <JHanson@barr.com>  
**Sent:** Friday, May 09, 2014 10:30 AM  
**To:** Nick Johnson  
**Subject:** RE: Hammes

Hi Nick,

My formal comments are:

"The project requires a Valley Branch Watershed District. Valley Branch Watershed District has not received a complete permit application submittal, yet. Once received, the Valley Branch Watershed District will review the application to ensure it conforms to its rules and regulations."

Thanks,

John

John P. Hanson, PE

Valley Branch Watershed District Engineer  
Barr Engineering Company | 4700 W. 77th St. | Edina, MN 55435  
Phone: 952.832.2622 | Cell: 612.590.1785

[jhanson@barr.com](mailto:jhanson@barr.com) | [www.barr.com](http://www.barr.com) | [www.vbwd.org](http://www.vbwd.org)

-----Original Message-----

**From:** Nick Johnson [mailto:NJohnson@lakeelmo.org]  
**Sent:** Friday, May 09, 2014 10:23 AM  
**To:** John P. Hanson  
**Subject:** RE: Hammes

John,

I am assuming you want me to use the email below for your formal comments. Correct?

Thanks,

Nick M. Johnson | City Planner  
City of Lake Elmo, Minnesota  
[njohnson@lakeelmo.org](mailto:njohnson@lakeelmo.org)  
(w) 651-747-3912 | (f) 651-747-3901  
[www.lakeelmo.org](http://www.lakeelmo.org)

-----Original Message-----

**From:** John P. Hanson [mailto:JHanson@barr.com]  
**Sent:** Wednesday, May 07, 2014 11:59 AM  
**To:** Nick Johnson

**Station #1**  
3510 Laverne Ave. No.  
Lake Elmo, MN 55042  
651-770-5006



**Station #2**  
4259 Jamaca Ave. No.  
Lake Elmo, MN. 55042  
651-779-8882

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**LAKE ELMO FIRE DEPARTMENT**

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April 29, 2014

Nick M. Johnson  
City Planner, City of Lake Elmo  
3800 Laverne Ave. N.  
Lake Elmo, MN 55042

Nick:

I have reviewed the preliminary plat documents for the Hammes Estates development. This review focused on the proposed hydrant locations to ensure that they are meeting all applicable standards, as well as allowing for peak operational effectiveness. In the course of this review, I have identified multiple hydrant locations that do not meet the criteria for spacing or are in locations that are not ideal for operational effectiveness. The applicant must work with the City to locate future hydrants in the Hammes Estates development in appropriate locations as part of preparing Final Plat/Final Construction documents.

Let me know if you have any questions.

Sincerely,

Greg Malmquist, Fire Chief

*"Proudly Serving Neighbors & Friends"*



## **HAMMES PROPERTY – DESIGN REVIEW REPORT** **LAKE ELMO, MN**

**LANDSCAPE ARCHITECTURAL DESIGN REVIEW DATED MAY 7<sup>TH</sup>, 2014**

REVIEWED PLAN SET DATED MAY 2<sup>ND</sup>, 2014

### ***Required Action Items by Hammes Project Team***

1. Plan does not meet minimum City requirements for landscape materials. City requirements are fair and reasonable therefore, one or a combination of the following recommendations must be met.

Recommendations:

- Revise design to preserve more existing trees. Therefore, reducing tree replacement requirements.
- Add more landscape materials on-site to meet landscape requirements.
- Increase caliper inches or height of trees already specified to comply with aggregate landscape requirements.
- Plant remaining required plant materials in a nearby City Park per City staff direction to meet landscape requirements.

*(per tree preservation ordinance 154.257 8 a-d & landscape requirements 154.258)*

2. Some of the suggested plant materials specified may or may not be appropriate for this site depending on where they are utilized. We look forward to a tagged landscape plan revealing the exact locations of all the specified plant species so we can better understand and review the proposed landscape plans.
3. Provide landscape irrigation plans.
4. Reduce the use of turf sod around storm water facilities and replace with an ecologically appropriate alternative such as native shrubs or prairie.

**SINCERELY,**

**LANDSCAPE ARCHITECTURE, INC.**

**STEPHEN MASTEY, ASLA, CLARB, LEED AP BD+C**  
**DIRECTOR OF DESIGN**



PLANNING COMMISSION  
DATE: 5/12/14  
AGENDA ITEM: 5A – BUSINESS ITEM  
CASE # 2014-27

ITEM: Village Area AUAR Five-Year Update  
SUBMITTED BY: Kyle Klatt, Community Development Director  
REVIEWED BY: Nick Johnson, City Planner

---

**SUMMARY AND ACTION REQUESTED:**

The City of Lake Elmo is required to update the Village AUAR if five years after adoption all development anticipated with the AUAR has not yet occurred. Since no development projects in the Village have been approved to date, Staff is working on the required update in accordance with the State’s environmental rules. Staff will be presenting information concerning this item at the meeting.

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**ORDER OF BUSINESS:**

- Introduction .....Planning Staff
- Report by Staff .....Planning Staff
- Questions from the Commission ..... Chair & Commission Members
- Discussion by the Commission ..... Chair & Commission Members



PLANNING COMMISSION DATE:  
5/12/14  
AGENDA ITEM: 5B – BUSINESS ITEM  
CASE # 2014-25

ITEM: Informational – Net Density Calculations  
SUBMITTED BY: Kyle Klatt, Community Development Director  
REVIEWED BY: Nick Johnson, City Planner

---

### **SUMMARY AND ACTION REQUESTED:**

The Planning Commission was presented with the Met Council definition of net density at the 4/28/14 meeting. The Met Council definition states that net density is calculated by taking gross residential acres and subtracting net developable acres. The net developable acres is calculated by subtracting water bodies (including wetlands and lakes, not storm water ponds), parks and open space (only if they are owned by the City and are for public use) arterial right of way (most times it is already excluded), and other areas such as any land reserved for future development or not developable according to City ordinances (like steep slopes or conservation). The Met Council has indicated that this definition is typically used by developing communities such as Lake Elmo. The Planning Commission asked staff to research how other surrounding communities define net density. As the City moves forward with subdivisions, it is important to make a clear distinction between gross and net density.

The Met Council definition is as follows:

**Net Density.** The number of housing units divided by the amount of net developable land. Net development land does not include water bodies (including wetlands and lakes, but not stormwater ponds), parks and open space (only if owned by the City and available for public use), arterial right of way, and other land reserved for future development or not developable according to city ordinances (i.e. steep slopes or conservation areas)

---

### **REQUEST DETAILS**

No formal action is required at this time. Staff is seeking feedback from the Planning Commission concerning a proposed definition for net density in advance of a possible future public hearing to add this definition to the City Code.

---

### **RECOMMENDATION:**

Staff is recommending that the Planning Commission accept the Met Council definition of gross and net density and bring this item forward to public hearing for formal adoption at a future meeting.



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**ATTACHMENTS:**

1. Net Density Calculations – Surrounding Communities

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**ORDER OF BUSINESS:**

- Introduction .....Planning Staff
- Questions from the Commission..... Chair & Commission Members
- Discussion by the Commission ..... Chair & Commission Members



Lake Elmo City Hall  
651-747-3900  
3800 Laverne Avenue North  
Lake Elmo, MN 55042

## *Surrounding Community Net Density Calculations*

**Met Council** - Net density is calculated by taking gross residential acres and subtracting net developable acres. The net developable acres is calculated by subtracting water bodies (including wetlands and lakes, not stormwater ponds), parks and open space (only if they are owned by the City and are for public use) arterial right of way (most times it is already excluded), and other areas such as any land reserved for future development or not developable according to City ordinances (like steep slopes or conservation).

**Bayport** – Area, net developable means those lands within a development parcel remaining after the deletion of floodplains, wetlands, slopes greater than 12 percent and unbuildable easements or rights-of-way.

**Chanhasen** – Net density means the quotient of the total number of dwelling units divided by the developable acreage of the site. Developable acreage excludes wetlands, lakes, roadways and other areas not suitable for building purposes.

**East Bethel** – Buildable land means contiguous land area occurring within the property lines of a parcel or lot excluding drainageways, wetlands, watercourses and ponding areas, park land, road rights-of-way, and slopes in excess of 18 percent.

**Falcon Heights** – Area, net developable means those lands within a development parcel remaining after the deletion of floodplains, wetlands, slopes greater than 12 percent, and unbuildable easements or rights-of-way.

**Hugo** – Density means the number of dwelling units per acre of net developable land area as regulated by the applicable zoning district. Net developable land area means the portion of the property that excludes any existing right-of-way, wetlands, steep slopes, and floodplain.

**Lakeville** – Buildable land means all land except wetlands, public waters, “major drainageways” as defined in the City’s comprehensive plan, and land dedicated for county roads.

**Minnetonka** - Density is the number of dwelling units per acre of land as regulated by the comprehensive plan. All property zoned as wetlands or floodplain and all property below the ordinary high water level of a public water must be excluded from the calculations, and no density credit will be given.



Lake Elmo City Hall  
651-747-3900  
3800 Laverne Avenue North  
Lake Elmo, MN 55042

**Rosemount** – Density is the number of dwelling units per acre of land. Gross density is based on the total land area of the development site excluding existing public streets or highways. Net density is based on the total land area of the development site excluding wetlands, parks, existing public streets or highways, other land that will remain permanently undeveloped, but including newly platted streets.

**South St. Paul** - Area, net developable means those lands within a development parcel remaining after the exclusion of floodplains, wetlands, slopes greater than 12 percent, and unbuildable easements or rights-of-way.

**Woodbury** – Density means the number of dwelling units per gross acre of land. Net density means the total number of units divided by the total land area less major road rights-of-way (arterials and collectors) and less wetlands protected by the Wetland Conservation Act provided that right of way (including major roads) shall not be deducted if dedicated to the City at no cost.



PLANNING COMMISSION  
DATE: 5/12/14  
AGENDA ITEM: 5C – BUSINESS ITEM  
CASE # 2014-26

ITEM: Zoning Text Amendments – Single Family Garage Requirements

SUBMITTED BY: Kyle Klatt, Community Development Director

REVIEWED BY: Nick Johnson, City Planner

---

### SUMMARY AND ACTION REQUESTED:

The Planning Commission is being asked to review the City's development standards concerning single family homes, and specifically, the requirements concerning residential garages. Staff has received feedback from several builders that the current ordinance is overly restrictive and diminishes their ability to offer a variety of housing types within new developments. The regulations of most concern include the requirement that attached garages be setback behind the front façade of the house or a porch and the specification that a garage not exceed 60% of the width of the entire principal building façade fronting a primary street.

---

### REQUEST DETAILS

Given the number of builders that have discussed the garage requirements with Staff, the Planning Department is asking the Planning Commission to consider revisions to the ordinance that would allow additional flexibility concerning the placement and design of garages in the City's urban residential zoning districts. The specific sections of code that have raised concerns are located in Section 154.456 and underlined below:

A. *Attached Garages.*

1. Attached garages are encouraged to be side or rear loaded. If facing the primary street, garages shall be designed using one of the following techniques, unless specific physical conditions on the lot in question require a different approach:
  - a. The front of the garage is recessed at least four (4) feet behind the plane of the primary façade; or
  - b. The front of the garage is recessed at least four (4) feet behind a porch if the garage is even with the primary façade; or
  - c. The width of the attached garage shall not exceed 60% of the width of the entire principal building façade (including garage) fronting the primary street.

The intent of these provisions was to help ensure that garages did not become the dominant feature of newer subdivisions in the community, and to encourage a house design that was more friendly to pedestrians and non-motorists travelling through the development. The problem for builders is that with the smaller lots allowed under the ordinance (which also helps promote a

more intimate scale and is more pedestrian friendly), there is not a lot of room on each lot to accommodate a garage larger than two stalls in width. In addition, the builders that have talked to Staff have indicated that they build a variety of housing types (some of which include a garage-forward design), and that eliminating some of their house plans because of the garage issue will lead to a more monotonous arrangement of houses along each street.

In order to accommodate the desire of builders within new subdivisions, the ordinance would need to be revised in the following manner:

- Either eliminating all language concerning garages being recessed behind the front façade or a porch or adding a third provision that allows garages to extend a certain distance (i.e. 8 feet) beyond the primary façade.
- Increasing the maximum percentage of the entire principal building façade that can be a garage. This number would need to increase to at least 70% to address the builder’s concerns.

At this time, Staff is seeking additional feedback from the Commission concerning potential changes to the City’s single family residential garage standards and is recommending that the Commission move forward with a public hearing to consider amending the code to add the flexibility being requested by builders.

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**RECCOMENDATION:**

Staff is recommending that the Planning Commission proceed with a public hearing concerning the proposed amendments to the requirements for single family attached garages at its May 28<sup>th</sup>, 2014 meeting.

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**ATTACHMENTS:**

1. Letter from Lennar
2. Email statement from Gonyea Homes

**ORDER OF BUSINESS:**

- Introduction .....Planning Staff
- Report by Staff .....Planning Staff
- Questions from the Commission ..... Chair & Commission Members
- Discussion by the Commission ..... Chair & Commission Members



Kyle Klatt  
Community Development Director  
City of Lake Elmo  
3800 Laverne Avenue North  
Lake Elmo, MN 55042

May 9, 2014

RE: Lake Elmo Builders Poll – Urban Residential Zoning Standards

Thank you for allowing Lennar the opportunity to comment on the design standards relating to garages. As you know, we are actively marketing in Savona so this is a topic of particular interest to Lennar.

1. *Attached garages are encouraged to be side or rear loaded. If facing the primary street, garages shall be designed using one of the following techniques, unless specific physical conditions on the lot in question require a different approach:*
  - a. *The front of the garage is recessed at least 4 feet behind the plane of the primary façade; or*
  - b. *The front of the garage is recessed at least 4 feet behind a porch if the garage is even with the primary façade.*

Lennar requests the requirement relating to recessing garages be removed. Lennar would support a statement such as: ‘garages are encouraged to be recessed from the façade of the principal structure, or front porch, whenever possible to draw visual attention away from the parking areas.’ It is our feeling that encouraging but not requiring recessing the garage will allow the opportunity for an even wider variety of house styles further promoting an interesting streetscape. The majority of our house plans include a large front porch that draws attention to the primary entrance to the home. In regards to side loaded garages, our experience is that turning movements become problematic for homeowners and can decrease the desirability of that type of plan, especially on a narrower lot.

2. *The width of the attached garage shall not exceed 60% of the width of the entire principal façade (including garage) fronting the primary street.*

Lennar requests the requirement relating to garage not exceeding 60% of the front of the home be removed. The reason for this request is generated from our site plan. In today’s market conditions single family detached homebuyers demand a three car garage. Developing with efficiency through the use of smaller lots creates a situation where it becomes problematic to create house plans that effectively use land and provide three garage stalls. For demonstrative purpose a typical three car garage is 32 feet. A home footprint not exceeding the 60% guide would need to be 53 feet wide. When the standard side setbacks are added the minimum lot size at front setback would need to be 68 ft. Our

# LENNAR®

Savona plat has a number of lots that are 65 feet wide. We intend to offset this concern with the use of covered front porches and architectural elements above the garage to de-emphasize the doors and bring the garage into the design of the home. In many cases, there is usable space built above the garage further promoting the notion that the garage is part of the home.

We are actively marketing our Savona neighborhood and need to bring this to resolution quickly. Thank you for your support. If I can be of further assistance, please let me know.

Joe Jablonski



Development Area Manager  
Lennar

**From:** [Craig@gonyeacompany.com](mailto:Craig@gonyeacompany.com)  
**To:** [Nick Johnson](#)  
**Cc:** [Kyle Klatt](#); [Dean Zuleger](#)  
**Subject:** FW: Zoning Text Amendment  
**Date:** Thursday, March 13, 2014 6:19:26 PM

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Hi Nick,

Since the meeting on Monday night I've been thinking a lot about the item before ours on the accessory building ordinance updates. Admittedly, I wasn't paying a lot of attention until the discussion on side and rear loading garages, and I know Dave Gonyea made a few remarks to get clarification. I understand from the response he received that it is only encouraged to have side and rear loading garages and I remember hearing you state that you had reached out to single family builders for remarks. I did not hear if you had received remarks and what those were and was wondering if you could share a little of that feedback.

The item that I've been thinking the most about is the 4' recess required for a garage behind the primary facade or porch. Did you get any feedback from the builders on this requirement and if so, could you also share. I'm not sure about the national builders, but this could really limit a lot of the custom builders we work with. I think if you looked around on Gonyea Homes, McDonald Construction or Hanson Builders (all builders we've had site visits with in Lake Elmo) website you would find that the majority will not meet these requirements. I've attached a link below to the gallery on Hanson's website.

Could you let me know if you've received similar feedback?

<http://hansonbuilders.com/gallery.php>

Thanks,

Craig

## **B. Attached Garages, Urban Residential Districts**

1. Attached garages are encouraged to be side or rear loaded. If facing the primary street, garages shall be designed using one of the following techniques, unless specific physical conditions on the lot in question require a different approach:

- a. The front of the garage is recessed at least 4 feet behind the plane of the primary facade; or
- b. The front of the garage is recessed at least 4 feet behind a porch if the garage is even with the primary façade.

2. The width of the attached garage shall not exceed 60% of the width of the entire principal building façade (including garage) fronting the primary street.



3. Attached garages shall not exceed 1,000 square feet in area at the ground floor level except by conditional use permit.

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Craig Allen  
10850 Old County Road 15  
Suite 200  
Plymouth, MN 55441  
Cell: 952-270-4473  
[craig@gonyecompany.com](mailto:craig@gonyecompany.com)