

**LAUDERDALE CITY COUNCIL MEETING AGENDA**  
**7:30 P.M. TUESDAY, FEBRUARY 12, 2019**  
**LAUDERDALE CITY HALL, 1891 WALNUT STREET**

The City Council is meeting as a legislative body to conduct the business of the City according to Robert's Rules of Order and the Standing Rules of Order and Business of the City Council. Unless so ordered by the Mayor, citizen participation is limited to the times indicated and always within the prescribed rules of conduct for public input at meetings.

1. **CALL TO ORDER THE LAUDERDALE CITY COUNCIL MEETING**
2. **ROLL CALL**
3. **APPROVALS**
  - a. Agenda
  - b. Minutes of the January 22, 2019 City Council Meeting
  - c. Claims Totaling \$142,629.62
4. **CONSENT**
  - a. Garbage Hauler Licenses
  - b. Non-Corporate Resolution with Northland Securities (Added to Agenda)
5. **SPECIAL ORDER OF BUSINESS/RECOGNITIONS/PROCLAMATIONS**
  - a. Jim Bownik 20-Year Work Anniversary
6. **INFORMATIONAL PRESENTATIONS / REPORTS**
  - a. City Council Updates
7. **PUBLIC HEARINGS**

Public hearings are conducted so that the public affected by a proposal may have input into the decision. During hearings all affected residents will be given an opportunity to speak pursuant to the Robert's Rules of Order and the standing rules of order and business of the City Council.

  - a. High Density Residential – Conservation (HDR-C) Zoning Ordinance
8. **DISCUSSION / ACTION ITEM**
  - a. 2019 Infrastructure Improvement Project Plans and Specifications Resolution 021219A
  - b. Emergency Management: Hazardous Mitigation Plan Resolution No. 021219B
  - c. Swanson Haskamp Consulting Master Services Agreement
9. **ITEMS REMOVED FROM THE CONSENT AGENDA**
10. **ADDITIONAL ITEMS**
11. **SET AGENDA FOR NEXT MEETING**
  - a. High Density Residential – Conservation (HDR-C) Zoning Ordinance
  - b. Small Cell Ordinance
  - c. Audit Presentation – March 26

**12. WORK SESSION**

- a. Opportunity for the Public to Address the City Council

Any member of the public may speak at this time on any item not on the agenda. In consideration for the public attending the meeting, this portion of the meeting will be limited to fifteen (15) minutes. Individuals are requested to limit their comments to four (4) minutes or less. If the majority of the Council determines that additional time on a specific issue is warranted, then discussion on that issue shall be continued at the end of the agenda. Before addressing the City Council, members of the public are asked to step up to the microphone, give their name, address, and state the subject to be discussed. All remarks shall be addressed to the Council as a whole and not to any member thereof. No person other than members of the Council and the person having the floor shall be permitted to enter any discussion without permission of the presiding officer.

Your participation, as prescribed by the Robert's Rules of Order and the standing rules of order and business of the City Council, is welcomed and your cooperation is greatly appreciated.

- b. Preparing for Sale of Eustis Street Residential Lots
- c. Community Development Update

**13. ADJOURNMENT**

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Lauderdale City Hall  
1891 Walnut Street  
Lauderdale, MN 55113

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January 22, 2019

**Call to Order**

Mayor Gaasch called the Regular City Council meeting to order at 7:30 p.m.

**Roll Call**

Councilors present: Roxanne Grove, Andi Moffatt, Jeff Dains, Kelly Dolphin, and Mayor Mary Gaasch. Councilor absent: None.

Staff present: Heather Butkowski, City Administrator; Jim Bownik, Assistant to the City Administrator; and Miles Cline, Deputy City Clerk.

**Approvals**

Mayor Gaasch asked if there were any additions to the meeting agenda. There being none, Councilor Moffatt moved and seconded by Councilor Grove to approve the agenda. Motion carried unanimously.

Mayor Gaasch asked if there were any corrections to the meeting minutes. There being none, Councilor Grove moved and seconded by Councilor Moffatt to approve the minutes of the January 8, 2019, city council meeting. Motion carried unanimously.

Mayor Gaasch asked if there were any questions on the claims. There being none, Councilor Dolphin moved and seconded by Councilor Dains to approve the claims totaling \$49,364.50. Motion carried unanimously.

**Consent**

Councilor Dains moved and seconded by Councilor Moffatt to approve the Consent Agenda thereby acknowledging the December Financial Report and the Fourth Quarter Investment Report and approving the transfer of funds from the 414 Development Fund to the 415 Housing Development Fund – Resolution No. 012219A

**Informational Presentations/Reports**

A. City Council Updates

Councilor Grove stated that she would be unable to attend the Ramsey County League of Local Governments meeting on February 7. Mayor Gaasch shared that she attended a Regional Council of Mayor's meeting on affordable housing. She also attended Metro Cities and League of Minnesota Cities' board meetings as well as presented at a League of Women's Voters meeting.

**Public Hearings**

A. Park Dedication Ordinance

Butkowski explained that the City does not have a park dedication ordinance. With the redevelopment of 1795 Eustis Street and possibly land owned by Luther Seminary, a park

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dedication ordinance will help the City provide the park and open space improvements needed to accommodate the additional population.

Over the past year, staff and consultants have been working on the analysis necessary for the adoption of a park dedication ordinance. The Comprehensive Plan Steering Committee and residents provided feedback on the park and open space needs for the community. The city engineer created a Park Capital Improvement Plan to estimate the cost of the necessary improvements. Staff, consultants, and the city attorney drafted a park dedication ordinance. The ordinance specifies how the City would handle the dedication of land or cash in-lieu of land.

After discussion on the topic, Mayor Gaasch opened the floor to public comment at 7:51 p.m.

Wayne Sisel, 1567 Fulham Street, approached the Council. He asked if there was a minimum lot size requirement for park development.

Steve Ahlgren, 1563 Fulham Street, approached the Council. He asked the Council if there was a park versus urban woods distinction in the ordinance.

Jennifer Haskamp, of Swanson Haskamp Consulting, briefly approached the dais to answer the residents' questions. She said all new lots would contribute land or cash in-lieu. In the case of a residential lot split, the City would ask for cash in-lieu to support improvements to an existing park. The ordinance does not differentiate types of parks. Seeing that there were no further questions or comments, Mayor Gaasch closed the floor at 7:57 p.m.

Councilor Moffatt made a motion to adopt Ordinance No. 19-01 Adding Chapter 11-3 to the Code of Ordinances regarding Park Dedication. This was seconded by Councilor Dolphin and carried unanimously.

Councilor Dolphin made a motion to adopt the Capital Improvement Plan for Lauderdale Parks prepared by Stantec Consulting Services. This was seconded by Councilor Grove and carried unanimously.

**Discussion/Action Items**

A. Transmission of Comprehensive Plan to Metropolitan Council – Resolution No. 012219B  
Butkowski noted that the Comprehensive Plan (Comp Plan) was sent to neighboring jurisdictions for review on June 12, 2018. That six-month period ended on December 12, 2018. The Metropolitan Council (MC) did a preliminary review of the plan during this time.

At the last meeting, the Council took comments from the public which are reflected in the minutes and new language was added to the Land Use chapter regarding the Luther Seminary

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site. The Surface Water Management chapter was amended as the MC now asks that the entire Local Surface Water Management Plan (LSWMP) be included as part of the Comp Plan. A summary still exists as Chapter 7 and the entire LSWMP will be Appendix B. The city engineer addressed the MC's questions regarding the City's inflow and infiltration program in Chapter 8.

Councilor Grove made a motion to adopt Resolution 012219B – A Resolution Authorizing the Submittal of Lauderdale's 2040 Comprehensive Plan Update to the Metropolitan Council for Review. This was seconded by Councilor Dolphin and carried unanimously.

**B. Adoption of Local Surface Water Management Plan**

Along with the Comp Plan, the City's LSWMP is also ready for adoption. Coordination of the LSWMP was a bit of an undertaking as three watershed districts reviewed and commented on the plan. Those comments were incorporated into the final document.

Councilor Dains made a motion to adopt the Local Surface Water Management Plan with the map correction identified. This was seconded by Councilor Grove and carried unanimously.

**C. High Density Residential – Conservation (HDR-C) Zoning Ordinance**

Butkowski said that Swanson Haskamp Consulting completed the text for the High Density Residential—Conservation (HDR-C) zoning district proposed in the 2040 Comprehensive Plan. The process included community surveys and input opportunities to bring the community's attention to the wooded land being sold by Luther Seminary. The city attorney reviewed the draft since the previous meeting. The Council discussed the revisions and established February 12 for the date of the public hearing.

**D. Special Assessment Policy Manual Revisions**

The city attorney made the changes to the hardship deferral language in Section 12 of the revised Special Assessment Policy discussed at the last meeting. The policy is ready for adoption or further revision at the Council's discretion.

Councilor Moffatt made a motion to adopt the revised City of Lauderdale – Special Assessment Policy Manual. This was seconded by Councilor Grove and carried unanimously.

**E. City Administrator Employment Contract**

The Council discussed the performance of Administrator Butkowski in a closed session during the last meeting. Therefore, at this meeting the Council provided a summary of its conclusions regarding her evaluation.

The Council gave a very positive review of Butkowski's performance and commended her for accomplishing a number of things the City Council has wanted to achieve.

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Councilor Moffatt made a motion to enter into an Employment Agreement Contract with Heather Butkowski-Hinrichs which shall serve from January 1, 2019 through December 31, 2020. The agreement includes an automatic two-year extension period through 2022 based on the same terms unless otherwise noted. This was seconded by Councilor Dains and carried unanimously.

**F. Set Date for Tour of Real Estate Equities Property**

Staff inquired of Real Estate Equities about touring one of their properties to get a sense of the management of their buildings and their construction style. They suggested a tour of the recently renovated Pioneer Press building in downtown St. Paul. Staff suggests sometime between now and late February to do the tour in advance of their community meeting on March 19.

The Council selected February 15, 2019 at 3:00 p.m. as the date of the tour. Staff will post notice of it as a "Special Meeting."

**Set Agenda for Next Meeting**

Administrator Butkowski stated that the February 12 council meeting may include the 2019 Infrastructure Improvement Project plans and specifications, a small cell ordinance, garbage hauler licenses, and a public hearing for the HDR-C zoning ordinance.

**Work Session**

**A. Opportunity for the Public to Address the City Council**

Mayor Gaasch opened the floor to anyone in attendance that wanted to address the Council. There being no interested parties to speak, Mayor Gaasch closed the floor.

**B. Community Development Update**

Butkowski stated that she has a meeting on January 30 with the Real Estate Equities engineer to discuss 1795 Eustis Street. DSM Excavating capped the sewer line off of Como Avenue as was previously authorized by the Council. April 16 was established as the community pre-construction meeting for the 2019 Infrastructure Improvement Project.

**C. Communication Plan for 2019 Projects**

Butkowski noted that 2019 will be a big year with multiple City lead projects and non-city lead projects happening. Communication will be the key to successful projects. Staff are working to get as many people on the email distribution list as possible. We also anticipate more information coming through the Council as you communicate community members.

Mayor Gaasch wanted to discuss Council communication strategies that are cognizant of the open meeting law. The Council discussed a number of strategies including encouraging

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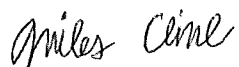
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residents to make use of the email address that goes to all council members and making use of the construction management services provided by the city engineer on construction projects.

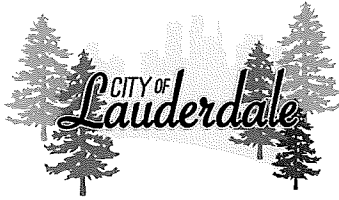
**Adjournment**

Councilor Moffatt moved and seconded by Councilor Grove to adjourn the meeting at 9:19 p.m.  
Motion carried unanimously.

Respectfully submitted,



Miles Cline  
Deputy City Clerk



CITY OF LAUDERDALE  
LAUDERDALE CITY HALL  
1891 WALNUT STREET  
LAUDERDALE, MN 55113  
651-792-7650  
651-631-2066 FAX

### **Request for Council Action**

**To:** Mayor and City Council  
**From:** City Administrator  
**Meeting Date:** February 12, 2019  
**Subject:** List of Claims

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The claims totaling \$142,629.62 are provided for City Council review and approval that includes check numbers 26251 to 26274.



# Accounts Payable

## Checks by Date - Detail by Check Date

User: MILES.CLINE  
 Printed: 2/8/2019 2:24 PM



Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Check Amount
ACH	43	Public Employees Retirement Association PR Batch 50300.02.2019 PERA Coordinated PR Batch 50300.02.2019 PERA Coordinated	02/08/2019 PR Batch 50300.02.2019 PER PR Batch 50300.02.2019 PER	1,011.93 1,167.61
Total for this ACH Check for Vendor 43:				2,179.54
ACH	44	Minnesota Department of Revenue PR Batch 50300.02.2019 State Income Tax	02/08/2019 PR Batch 50300.02.2019 Stat	715.81
Total for this ACH Check for Vendor 44:				715.81
ACH	45	ICMA Retirement Corporation PR Batch 50300.02.2019 Deferred Comp PR Batch 50300.02.2019 Deferred Comp	02/08/2019 PR Batch 50300.02.2019 Defi PR Batch 50300.02.2019 Defi	1,291.75 1,023.52
Total for this ACH Check for Vendor 45:				2,315.27
ACH	46	Internal Revenue Service PR Batch 50300.02.2019 FICA Employer Portio PR Batch 50300.02.2019 FICA Employee Portio PR Batch 50300.02.2019 Federal Income Tax PR Batch 50300.02.2019 Medicare Employee Pc PR Batch 50300.02.2019 Medicare Employer Po	02/08/2019 PR Batch 50300.02.2019 FIC. PR Batch 50300.02.2019 FIC. PR Batch 50300.02.2019 Fed PR Batch 50300.02.2019 Mec PR Batch 50300.02.2019 Mec	1,148.54 1,148.54 1,332.88 268.59 268.59
Total for this ACH Check for Vendor 46:				4,167.14
Total for 2/8/2019:				9,377.76
ACH	44	Minnesota Department of Revenue 2018 Sales Tax Payable	02/12/2019	101.00
Total for this ACH Check for Vendor 44:				101.00
26251	13 6584	8th Day Landscaping LLC January 2019 Snow Removal	02/12/2019	645.00
Total for Check Number 26251:				645.00
26252	34	AFSCME MN Council 5 PR Batch 50200.01.2019 Union Dues	02/12/2019 PR Batch 50200.01.2019 Unio	204.64
Total for Check Number 26252:				204.64
26253	149 217866	Centro Business Forms Inc Tax Forms	02/12/2019	113.18
Total for Check Number 26253:				113.18
26254	33 022019	City of Falcon Heights December Fire Calls	02/12/2019	686.53

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Check Amount
			Total for Check Number 26254:	686.53
26255	36 0225530 0225564	City of Roseville January Phone Services January IT Services	02/12/2019	83.00 1,096.00
			Total for Check Number 26255:	1,179.00
26256	29 3774	City of St Anthony February Police Services	02/12/2019	59,433.66
			Total for Check Number 26256:	59,433.66
26257	58 11892	City of White Bear Lake Ramsey County GIS Fees	02/12/2019	219.12
			Total for Check Number 26257:	219.12
26258	25  EMCOM-007460 EMCOM-007478 EMCOM-007493	County of Ramsey PR Batch 50200.01.2019 Life Insurance PR Batch 50200.01.2019 Short Term Disability PR Batch 50200.01.2019 Long Term Disability January Fleet Support January CAD Services January 911 Dispatch Services	02/12/2019 PR Batch 50200.01.2019 Life PR Batch 50200.01.2019 Sho PR Batch 50200.01.2019 Lon,	303.53 61.76 88.99 6.24 222.13 1,083.73
			Total for Check Number 26258:	1,766.38
26259	171 101970	DSM Excavating Cap Como Ave Sewer Line	02/12/2019	3,600.00
			Total for Check Number 26259:	3,600.00
26260	61 9010519	Gopher State One Call January 2019 Locates	02/12/2019	18.90
			Total for Check Number 26260:	18.90
26261	31 146643	Kennedy & Graven Chartered December Legal Services	02/12/2019	3,859.00
			Total for Check Number 26261:	3,859.00
26262	1 022019	Lillie Suburban Newspapers Inc Zoning Ordinance Amendment	02/12/2019	14.38
			Total for Check Number 26262:	14.38
26263	99 45	Metropolitan Area Management Association Luncheon Meeting - HB	02/12/2019	25.00
			Total for Check Number 26263:	25.00
26264	24 0001091825	Metropolitan Council March Waste Water	02/12/2019	13,409.80
			Total for Check Number 26264:	13,409.80
26265	12 2018-178	North Suburban Access Corporation 4Q2018 Webstreaming & Archiving	02/12/2019	805.98

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Check Amount
			Total for Check Number 26265:	805.98
26266	5 619861-01-19	Premium Waters Inc January Water Bottles	02/12/2019	41.41
			Total for Check Number 26266:	41.41
26267	47	Public Employees Insurance Program PR Batch 50300.02.2019 Dental PR Batch 50300.02.2019 Health Insurance	02/12/2019 PR Batch 50300.02.2019 Den PR Batch 50300.02.2019 Hea	116.10 2,095.98
			Total for Check Number 26267:	2,212.08
26268	102 B09431153	SHI International Corp HB Laptop	02/12/2019	1,723.00
			Total for Check Number 26268:	1,723.00
26269	81 022019 022019 022019 022019	St Paul Regional Water Service 1915 Walnut St 1825 Eustis St 1885 Fulham St 1891 Walnut St	02/12/2019	22.65 176.43 159.81 75.85
			Total for Check Number 26269:	434.74
26270	26 1459388 1459388 1459389 1459390	Stantec Consulting Services Inc Gen Eng Services Park CIP 2018 Sanitary Sewer Lining 2019 Street Improvements	02/12/2019	226.50 694.50 113.25 35,900.58
			Total for Check Number 26270:	36,934.83
26271	162 720 728 729 730	Swanson Haskamp Consulting, LLC Comprehensive Plan Pay 15 Phase I Zoning Ordinance 1795 Eustis Redevelopment Comprehensive Plan Pay 16	02/12/2019	1,905.00 818.75 379.50 1,610.00
			Total for Check Number 26271:	4,713.25
26272	3 377429063	US National Equipment Finance Inc Copier Contract	02/12/2019	149.00
			Total for Check Number 26272:	149.00
26273	7 8157509-0500-3	Waste Management Inc February Public Works	02/12/2019	394.66
			Total for Check Number 26273:	394.66
26274	74 624742715 624745288 625059076 625110475	Xcel Energy 2430 Larpenteur Avenue W Larpenteur Bridge Lights January Street Lighting Larpenteur Avenue	02/12/2019	19.29 40.39 442.11 65.53
			Total for Check Number 26274:	567.32

Check No	Vendor No Invoice No	Vendor Name Description	Check Date Reference	Check Amount
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Total for 2/12/2019:	133,251.86
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Report Total (29 checks):	142,629.62
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ACTION REQUESTED	LAUDERDALE COUNCIL
Consent <span style="float: right;">_____ <u>X</u> _____</span>	MEETING DATE <u>February 12, 2019</u>
Special <span style="float: right;">_____</span>	ITEM NUMBER <u>2019 Garbage Hauler Licenses</u>
Public Hearing <span style="float: right;">_____</span>	STAFF INITIAL <u>Jim</u>
Report <span style="float: right;">_____</span>	APPROVED BY ADMINISTRATOR _____
Discussion/Action <span style="float: right;">_____</span>	
Resolution <span style="float: right;">_____</span>	
Work session <span style="float: right;">_____</span>	

**DESCRIPTION OF ISSUE AND PAST COUNCIL ACTION:**

**2/1/19-1/31/20 Garbage Hauler Licenses**

The following garbage companies have completed the application process, pending payment by Republic Services and Waste Management.

<u>Company</u>	<u>Residential Trucks</u>	<u>Commercial Trucks</u>
Waste Management	2	3
Advanced Disposal Services	2	1
Republic Services (Allied Waste)	3	5
Aspen Waste	0	2
Walter's	1	1

**OPTIONS:**

- 1) Approve as consent item.
- 2) Do not approve as consent item.

**STAFF RECOMMENDATION:**

By approving the consent agenda, the council is approving the 2019 garbage hauler licenses pending payment by Republic Services and Waste Management.

**COUNCIL ACTION:**


## LAUDERDALE COUNCIL ACTION FORM

### Action Requested

Consent              X    
Public Hearing                
Discussion                   
Action                        
Resolution                   
Work Session              

Meeting Date                      February 12, 2019

ITEM NUMBER                      Northland Securities

STAFF INITIAL                      

APPROVED BY ADMINISTRATOR

### DESCRIPTION OF ISSUE AND PAST COUNCIL ACTION:

Morgan Stanley will no longer be offering their services to municipalities in Minnesota and have asked us to move remaining securities to another firm by the end of March. Staff's intent is to divide the remaining five Morgan Stanley securities between our two other brokers, RBC and Northland Securities. This involves a bunch of paperwork. One item requires Council approval and that is the authorization of a new non-corporate resolution with Northland Securities.

### OPTIONS:

### STAFF RECOMMENDATION:

By approving the Consent Agenda, the Council approves the Non-Corporate Resolution of Northland Securities as presented.

# Non-Corporate Resolution

## STEP 1. IDENTIFICATION OF QUALIFIED INTERMEDIARY/WITHHOLDING ENTITY

Legal Name of Organization <b>City of Lauderdale</b>	
Type of Organization <b>Governmental Entity</b>	Account Number (if assigned)

Be it resolved that each of the following has been duly elected or appointed and is now legally holding the title set opposite his/her name.

Name of Authorized Person <b>Heather Butkowski</b>	Title <b>City Administrator</b>
Name of Authorized Person <b>Jim Bownik</b>	Title <b>Assistant to the City Administrator</b>
Name of Authorized Person	Title

## STEP 2. CERTIFICATION

I HEREBY CERTIFY that at a meeting, duly called, of the Board of Directors of City of Lauderdale, a Organization, at which said meeting a quorum was present and acting throughout, the following preamble and resolution was adopted and ever since has been and now is in full force and effect.

WHEREAS this Organization is duly authorized and permitted by its Charter and Bylaws to:

- Engage in cash and/or margin transactions in any and all forms of securities including, but not limited to, stocks, options, mutual funds, stock options, stock index options, short sales, foreign currency options and debt instrument options, bonds, bond debentures, annuities, notes, scrips, participation certificates, rights to subscribe, warrants, certificates of deposit, mortgages, choses in action, evidences of indebtedness, commercial paper certificates or indebtedness, and certificates of interest of any and every kind and nature whatsoever, secured or unsecured, whether represented by trust, participating and/or other certificates or otherwise.
- Receive on behalf of the Organization or deliver to the Organization or third parties, including but not limited to the President, Vice President, Treasurer or any other authorized officer or person listed in Step 3 below giving such instruction, monies, stocks, bonds, and other securities. To sell, assign, and endorse for transfer, certificates representing stocks, bonds, or other securities now registered or hereafter registered in the name of the Organization.
- Establish and maintain an asset management account with debit card, check writing and margin privileges, from which account funds are directly spent, the responsibility for which is entirely that of the Organization.
- Borrow money or make any contract the effect of which is to borrow money, and secure such obligations by mortgages or other liens upon Organization property; borrow, guarantee and/or pledge any Organization assets as collateral, as the case may be, with respect to a loan; guarantee a borrowing of money or to make any contract the effect of which is to guarantee a borrowing, and secure such obligations by mortgages or other liens upon any Organization property.

Unless indicated otherwise here, the Organization will be assumed to have all powers listed above.

LIST ANY POWERS NOT AUTHORIZED HERE: \_\_\_\_\_

NOW THEREFORE BE IT RESOLVED that this Organization opened an account or accounts in its name with

Northland Securities, Inc.

Name of Introducing Firm

and that the individuals named in Step 3 below ("Authorized Person") or any one of them acting individually, may, on behalf of this Organization, be and they hereby are and each of them hereby is authorized and empowered to (1) give written or oral orders in the said account or accounts for the purchase, sale, or other disposition of stocks, bonds, and other securities, (2) deliver to and receive from Pershing LLC (Pershing), on behalf of this Organization monies, stocks, bonds, and other securities, (3) establish and maintain an asset management account with debit card, check writing and margin privileges from which account funds are directly spent with each authorized person as indicated in the separate asset management account agreement having check writing and debit card privileges, (4) order the transfer or delivery of funds, monies or securities to any other person whatsoever, including the President, Vice President, Treasurer or any other authorized officers or persons indicated below giving such instructions, (5) sign acknowledgements of the correctness of all statements of accounts, and (6) make, execute, and deliver under the organizational seal any and all written endorsements, releases and documents necessary or proper to effectuate the authority hereby conferred; the within authorization to each of said officers to remain in full force and effect until written notice of the revocation thereof shall have been received by

Northland Securities, Inc.

Name of Introducing Firm

\_\_\_\_\_ and Pershing.



# Non-Corporate Resolution

Account Number [ ]

## STEP 3. CERTIFICATION AND SIGNATURES

I FURTHER CERTIFY that the following are the names, titles and signatures of the officers (or others) authorized by the foregoing resolution to act for this Organization:

Printed Name Heather Butkowski	Date 0   2   -   1   2   -   2   0   1   9
Title City Administrator	
Signature X	

Printed Name Jim Bownik	Date 0   2   -   1   2   -   2   0   1   9
Title Assistant to the City Administrator	
Signature X	

Printed Name	Date     -       -
Title	
Signature X	

Printed Name	Date     -       -
Title	
Signature X	

Printed Name	Date     -       -
Title	
Signature X	

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal, if any, of said Organization  
this 12th day of February, 20 19.

[AFFIX COMPANY SEAL HERE IF ORGANIZATION USES A SEAL]



# Non-Corporate Resolution

Account Number \_\_\_\_\_

## Principal Signer of Certification

This individual may or may not be listed in the authorized persons box above.

Printed Name Mary Gaasch	Date 0   2   -   1   2   -   2   0   1   9
Title Mayor	
Signature X	

If the Principal Signer above is empowered to act for the Organization pursuant to these resolutions and certifications, but is not a Managing Member, a Managing Member of the Organization as set forth above must fill in and execute the Additional Certification in Step 4 below.

If the Organization has only one sole Managing Member, that Managing Member must make the certification immediately above indicating his or her company title in addition to filling in and executing the Additional Certification in Step 4 below.

## STEP 4. ADDITIONAL CERTIFICATION

A Managing Member to complete only if the Principal Signer in Step 3 above is authorized to act pursuant to the foregoing resolutions, but is not a Managing Member, or if the Organization has only one Managing Member.

### Check one:

- I FURTHER CERTIFY that the Principal Signer in Step 3 above is authorized by the foregoing resolutions and its operating documents to act hereunder.
- I FURTHER CERTIFY that the Organization has only one sole Managing Member and that I am that sole Managing Member and authorized to execute legal and binding documents in the name of and on behalf of the Organization pursuant to its governing documents.

Managing Member Printed Name	Date
	-     -
Title	
Signature X	

**LAUDERDALE COUNCIL  
ACTION FORM**

**Action Requested**

Consent \_\_\_\_\_  
Public Hearing \_\_\_\_\_  
Discussion \_\_\_\_\_  
Action \_\_\_\_\_  
Resolution \_\_\_\_\_  
Work Session \_\_\_\_\_

Meeting Date February 12, 2019

ITEM NUMBER Jim's 20-Year Work Anniv.

STAFF INITIAL AB

APPROVED BY ADMINISTRATOR

**DESCRIPTION OF ISSUE AND PAST COUNCIL ACTION:**

Jim began working for the City on February 10, 1999 as the deputy city clerk. By 2001, he held the title of administrative analyst and assistant to the city administrator by 2003. He is a dedicated employee that wears many hats. Refreshments will be available prior to the meeting to celebrate with Jim.

**OPTIONS:**

**STAFF RECOMMENDATION:**

# LAUDERDALE COUNCIL ACTION FORM

### Action Requested

Consent	_____
Public Hearing	_____X_____
Discussion	_____X_____
Action	_____
Resolution	_____
Work Session	_____

Meeting Date February 12, 2019

ITEM NUMBER HDR-C Zoning District

STAFF INITIAL AB

APPROVED BY ADMINISTRATOR \_\_\_\_\_

### DESCRIPTION OF ISSUE AND PAST COUNCIL ACTION:

In July, the Council authorized Swanson Haskamp Consulting to begin the work necessary to draft text for the High Density Residential—Conservation (HDR-C) zoning district proposed in the 2040 Comprehensive Plan. This included community surveys and input opportunities to bring the community's attention to the wooden land being sold by Luther Seminary.

The Council had their first discussion on the proposed zoning text at the first meeting in January. The assistant city attorney reviewed the draft since the last meeting and that version is included with this memo.

Zoning ordinance amendments require 10-days' published notice in the City's official paper. The notice ran in the January 22 edition of the Roseville Review so the City Council can hold the public hearing tonight. Depending on the outcome of that meeting, the ordinance could be adopted as soon as the February 26 council meeting.

### OPTIONS:

### STAFF RECOMMENDATION:

CITY OF LAUDERDALE  
ORDINANCE NO. 19-02

An Ordinance Amending Title 10, Chapter 5 of the  
Code of Ordinances Regarding Zoning Districts

The city council of the city of Lauderdale ordains as follows:

SECTION 1. Title 10, Chapter 5 of the Lauderdale City Code is amended by creating a new Section 10-5-4 as follows:

10-5-4: HIGH DENSITY RESIDENTIAL – CONSERVATION (HDR-C) DISTRICT

1. Purpose; Conservation Objectives. The purpose of the HDR-C District is to allow for the reasonable development of land while protecting, preserving and enhancing the City’s ecological resources, and promoting resilient and sustainable building practices. Development within this district shall be consistent with the goals and objectives stated within the City’s Comprehensive Plan and the following additional stated conservation objectives (collectively, the “Conservation Objectives”):
  - a. Protect ecological function of native woodlands, wetlands and surface water management areas;
  - b. Enhance and protect opportunities to create ecological connections between parks, the City’s nature area and other protected lands with ecological significance;
  - c. Create public trail connections for the City’s residents that provide access to enjoy the City’s open space and natural resources;
  - d. Create public open space and natural resource areas for the City’s residents to access and enjoy; and
  - e. Incorporate Innovative Site Design and Green Building Standards into new development or redevelopment that contribute to the City’s long-term sustainability and resiliency.
2. Applicability. The HDR-C District shall be available only to properties that meet the minimum standards and regulations as stated herein and that are guided as High Density Residential, High Density Residential Conservation, Mixed-Use South and Mixed-Use North within the City’s adopted Comprehensive Plan. Property owners are encouraged to consider utilizing the HDR-C District to enhance, protect and achieve the Conservation Objectives for residential development.
3. Definitions. For the purposes of this section 10-5-4, the terms defined below shall have the meanings given them.
  - a. Base Density. The permitted number of units or lots in the HDR-C District absent any flexibility provided through a PUD and equal to the established minimum density

identified within the City's adopted Comprehensive Plan for the guided land use designation.

- b. Conservation Easement. A nonpossessory interest of a holder in real property imposing limitations or affirmative obligations the purpose of which include retaining or protecting natural, scenic, or open space values of real property, assuring its availability for agricultural, forest, recreational or open-space use, protecting natural resources, maintain or enhancing air or water quality, or preserving the historical, architectural, archaeological, or cultural aspects of real property.
  - c. Conservation Area. Designated land within an HDR-C Subdivision that contributes towards the achievement of one or more of the Conservation Objectives. A Conservation Easement shall be recorded to protect the Conservation Area in perpetuity. Conservation Areas may be used for preservation of ecological resources, passive recreation, and innovative site design characteristics provided an acceptable Conservation Easement holder can be identified.
  - d. HDR-C Subdivision. Any development or redevelopment that incorporates the concepts of designated Conservation Areas or Innovative Site Design and Green Building Standards, as defined herein.
  - e. Green Building Standards. New development or redevelopment that achieves LEED Certification or incorporates LEED standards or other industry-recognized energy and/or environmental building characteristics. The plan set shall include architectural plans, LEED checklists, or other supporting documentation.
  - f. Homeowners Association or Management Company. A formally constituted non-profit association or corporation made up of the property owner(s) and/or residents of a HDR-C Subdivision for the purpose of owning, operating and maintain common Conservation Areas and/or other commonly owned facilities and Open Space.
  - g. Innovative Site Design. New development or redevelopment that incorporates resiliency, sustainability, energy efficiency or other alternative site design considerations. Such elements must be clearly demonstrated through the plan review process and may be graphically shown through site plans, shade/solar studies, landscape plans, or other submissions deemed acceptable by the City.
  - h. Net Land Area. The total land area in a proposed HDR-C Subdivision excluding wetlands, required wetland buffers, protected easement areas, and land that slopes greater than 18%,
  - i. Open Space. Land that is not designated as a Conservation Area that is used for parks, innovative site design characteristics, trails or other recreational uses. Open Space may be owned and managed by the City, a Homeowner's Association, or other entity.
4. Planned Unit Development Process. The City intends to meet the Conservation Objectives through a planned unit development (PUD) process, through which the property owner or

developer will be required to demonstrate how, and to what extent, they meet said Conservation Objectives. In exchange for achieving those objectives, the City will consider and allow design flexibility and increased density. The City intends to work collaboratively with the property owner or developer through the process to appropriately identify the applicable Conservation Objectives and the correlating flexibility or density provided.

The provisions and procedures of the City's PUD ordinance shall apply, except as modified and explicitly stated within this section. Prior to submitting application materials, the City encourages applicants to engage in an informal meeting with the City to establish and identify the goals for a specific site that meet the Conservation Objectives. If a final PUD plan is approved by the City, the property shall be rezoned to HDR-C PUD. The permitted uses, regulations and flexibility shall be stated within the HDR-C PUD agreement and documented within the approved plans, resolution and development agreement. The provisions in this section are requirements for all HDR-C PUDs, unless the City Council allows and approves any exceptions as part of the PUD process.

5. Uses. The permitted, conditional and accessory uses permitted within the R-1, R-2, and R-3 zoning districts shall apply to the HDR-C District.
6. General Performance Standards. The City Council may, in its sole discretion, grant flexibility from the requirements of the existing zoning district, or other requirements of this code if the proposed HDR-C Subdivision meets the Conservation Objectives. In considering how much, if any flexibility, is warranted the City will evaluate the amount and quality of Conservation Areas protected, the public access to or enjoyment thereof, and if Green Building Standards or Innovative Site Design standards have been incorporated into the development plan.
  - a. Conservation Objectives and Determining Flexibility. Conservation Area(s) shall be designated and located within a HDR-C Subdivision to maximize achievement of the Conservation Objectives. All Green Building and Innovative Site Design standards utilized must be documented and demonstrated at time of application. The opportunity to achieve the Conservation Objectives will be site specific, and each project will be evaluated independently to determine the extent to which the Conservation Objectives are met.
  - b. Density Flexibility. Each property's shall be entitled to the Base Density within the Net Land Area, which equals the minimum density range of the land use designation identified within the City's adopted Comprehensive Plan. Any increased density, including density beyond the guided land use designation, shall be at the discretion of the City Council and shall depend on the extent to which the Conservation Objectives are met.
  - c. Other Areas of Flexibility. In addition to increased density, other areas of flexibility may be requested to meet the Conservation Objectives, including, but not limited to the following: (i) lot size, lot width, setbacks; (ii) housing types; (iii) landscaping; (iv) screening; and (v) park dedication.

7. Conservation Area Ownership. Any improvements in areas designated as Conservation Areas in an HDR-C PUD shall be established, protected and owned in accordance with the following requirements:
- a. Designated Conservation Areas shall be surveyed and subdivided as separate outlots, and legally described on the final plat.
  - b. Designated Conservation Areas must be protected in perpetuity in the agreed to uses described within the Conservation Easement in accordance with Minnesota Statutes, Chapter 84C and must run with the land. The Conservation Easement must be approved by the City attorney and must explicitly define the permitted uses within the Conservation Area.
  - c. The permanent Conservation Easement may be held by any combination of the entities defined by Minnesota Statute Chapter 84C, but in no case may the holder of the Conservation Easement be the same as the owner of the underlying fee title.
  - d. The permanent Conservation Easement shall be recorded with Ramsey County and must specify, at a minimum, the following:
    - i. The entity that will maintain the designated Conservation Area;
    - ii. The purpose of the Conservation Easement, that the easement is permanent, and the conservation values of the property;
    - iii. The legal description of the land under the easement;
    - iv. The restrictions on the use of the land from future development;
    - v. To what standards the Conservation Areas will be maintained, and the responsible party(ies) for such maintenance; and
    - vi. Who will have access to the Conservation Area.
  - e. The underlying fee of each designated Conservation Area parcel may be held/owned by any combination of the following entities:
    - i. A common ownership association, subject to the provision in the HDR-C PUD District;
    - ii. An individual who will use the land consistent with the permanent Conservation Easement;
    - iii. A private nonprofit organization, specializing in land conservation and stewardship, that has been designated by the Internal Revenue Service as qualifying under section 501(c)(3) of the Internal Revenue Code or successor sections; or
    - iv. The City of Lauderdale, at its discretion, and if determined there are not other viable options.
  - f. Open Space areas that are not a part of the Conservation Areas may be established within the PUD and without protection of a Conservation Easement, and consideration of how, or if, such areas contribute to the Conservation Objectives will be determined at the discretion of the City Council.

- g. Innovative Site Design and Green Building Standards may or may not be a part of a designated Conservation Area, and those that are a part of the Conservation Easement must be expressly permitted uses within the Conservation Easement. Those characteristics or building that are used in granting design flexibility or increased density that are not a part of a Conservation Easement must be detailed within a restrictive covenant or homeowner's association covenants that is recorded against the property.

8. Conservation Area Management and Maintenance Plan ("Plan").

- a. Plan Content Requirements. For any designated Conservation Area, a Plan for the development, maintenance and insurance of the Conservation Area must be identified and approved as part of any HDR-C PUD. The Plan must address, if applicable:
  - i. Define the ownership of the Conservation Area;
  - ii. Describe the method of land protection;
  - iii. Regular and periodic operation and maintenance responsibility; and
  - iv. Insurance requirements, and other associated costs with the maintenance and management of the Conservation Area and how the necessary fees will be obtained (through a homeowner's association, rents, or other funding mechanism).
- b. Plan Submittal Requirements. As part of the initial application for an HDR-C PUD and along with any other PUD requirements established in the City Code, the applicant must submit a narrative and maps that describe the following:
  - i. Existing Conditions which identifies the particular Conservation Objectives addressed within the Conservation Area, including all natural, cultural, historic, and scenic elements in the landscape;
  - ii. If protection of an existing natural area/natural resource is proposed, a natural resource inventory prepared by an ecologist, or similarly designated professional, shall be prepared and submitted as part of the Plan;
  - iii. Objectives for the Conservation Area, including, but not limited to, the proposed permanent for maintained landscape condition for each area, any restoration or enhancement of natural features, and a maintenance plan containing activities performed for any restoration and post-restoration activities.
- c. Funding of Operation and Maintenance. The City may require an applicant to escrow sufficient funds for the maintenance operation costs of Conservation Areas depending on the restoration measures identified within the Plan. The amount and duration shall be at the discretion of the City Council, but shall be proportional to the effort proposed.
- d. Enforcement. In the event that the fee holder of the Conservation Area fails to properly maintain all or any portion of the Conservation Area, the City in coordination with the holder of the easement may serve written notice upon such fee holder setting forth the manner in which the fee holder has failed to maintain the Conservation Area. Such notice shall set forth the nature of corrections required and the time within which the



corrections shall be made. Upon failure to comply within the time specified, the fee holder, or any successor organization, shall be considered in violation of this ordinance and the City may take any action authorized under the law to enforce the Conservation Easement.

9. Site Design Process. In addition to all other requirements, the applicant shall include the following with its application:
  - a. Graphics and supporting information that identifies how the Conservation Areas were identified. This should include, at a minimum, the following:
    - i. Unbuildable areas that include slopes greater than 18%, wetlands, wetland buffers, and protected easement areas;
    - i. Areas designated as Conservation Area;
    - ii. A natural resource inventory of the site, including without limitation, an identification of the land cover and existing vegetation;
    - iii. A wetland delineation; and
    - iv. A list of any known protected species, plants and/or animals, as obtained from the Minnesota Department of Natural Resources;
  - b. A survey identifying the Net Land Area;
  - c. The proposed location of new structures outside of the proposed Conservation Area;
  - d. A description of how buildings were sited, and if such siting meets criteria established within this section;
  - e. The design and location of streets and trails which demonstrate all automobile and pedestrian connections; and
  - f. A survey showing all proposed lot lines, including Conservation Area outlots.
10. General Conservation Design Standards. The following design standards shall be considered in designing the HDR-C PUD:
  - a. Conservation Areas should be adjacent to, or incorporate existing natural features of the site, when possible to accomplish a larger interconnected and contiguous network of open spaces;
  - b. The quantity of land protected and the extent to which contiguous areas are designated;
  - c. Incorporate public and private trails that connect to the City's existing sidewalks and other natural/park areas;
  - d. Stormwater management features should consider innovative solutions and should be designed to feel natural and support the open space network; and

- e. Stormwater management facilities may be located within a Conservation Area but may not be used as part of the reasoning for increased density, unless such design incorporates innovative and low-impact development characteristics not required as part of a standard permitting process.

11. Landscape Design Standards in HDR-C. The following landscape design standards in a HDR-C Subdivision should be considered:

- a. The selection of vegetation should be guided by natural vegetative community types found in the Minnesota Land Cover Classification System and the Minnesota Department of Natural Resources' pre-settlement vegetation mapping information for the area;
- b. Reduction or eradication of invasive species from a site;
- c. Creating a natural design plan for surface water management features should be incorporated, and native species prioritized where possible;
- d. Integration of nature trails and foot paths should be explored and should connect to the City's existing, parks, trails and open spaces, when possible; and
- e. Better Site Design/Low Impact Development practices as identified in the Minnesota Stormwater Manual published by the Minnesota Pollution Control Agency shall be used to design sites and meet the performance standards.

12. Innovative Site Design and Green Building Standards. The following Innovative Site Design and Green Building Standards should be considered in designing the HDR-C PUD:

- a. LEED certification on new buildings;
- b. Include energy-efficient appliances and other efficiency measures within new buildings;
- c. Explore incorporating alternative energy sources in new building designs (e.g. solar, geothermal);
- d. Site new buildings to respond to existing climate conditions to minimize energy use (e.g. solar/shade positioning, wind); and
- e. Consider material choices that are renewable, and/or designed to create a more energy efficient building.

SECTION 2. This ordinance shall be effective upon its adoption and publication.

Adopted by the Lauderdale City Council this \_\_\_\_ day of \_\_\_\_\_, 2019.

\_\_\_\_\_  
Mary Gaasch, Mayor

ATTEST:

\_\_\_\_\_  
Heather Butkowski, City Administrator-Clerk

Published in the Roseville Review this \_\_\_\_ day of \_\_\_\_\_, 2019.

## LAUDERDALE COUNCIL ACTION FORM

### Action Requested

Consent	_____
Public Hearing	_____
Discussion	_____X_____
Action	_____X_____
Resolution	_____X_____
Work Session	_____

Meeting Date February 12, 2019

ITEM NUMBER Plans & Specs Authorization

STAFF INITIAL

LB

APPROVED BY ADMINISTRATOR

### DESCRIPTION OF ISSUE AND PAST COUNCIL ACTION:

In December, the Council authorized Stantec to prepare plans and specifications for the 2019 Infrastructure Project. They are completed subject to minor changes. The version in the packet may be hard to read. Kellie Schlegel will bring a larger copy to the meeting should you have questions or want to look more closely at something. The city engineer is looking for approval of the plans and specifications and permission to move forward with the bidding of the project via the following resolution.

### OPTIONS:

### STAFF RECOMMENDATION:

Motion to adopt Resolution 021219A—A Resolution Approving Plans and Specifications and Ordering Advertisement for Bids.

**RESOLUTION NO. 021219A**

**CITY OF LAUDERDALE  
COUNTY OF RAMSEY  
STATE OF MINNESOTA**

**A RESOLUTION APPROVING PLANS AND SPECIFICATIONS  
AND ORDERING ADVERTISEMENT FOR BIDS**

WHEREAS, pursuant to a resolution passed by the city council on December 11, 2018, the consulting city engineer has prepared plans and specifications for the 2019 Infrastructure Improvement Project, the improvement of Eustis Street between Larpenteur Avenue and Roselawn Avenue and Roselawn Avenue between the TH280 right-of-way and Fulham Street and has presented such plans and specifications to the council for approval;

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF LAUDERDALE, MINNESOTA:

1. Such plans and specifications are available for inspection at city hall.
2. The city clerk shall prepare and cause to be inserted in the official paper and in *Finance and Commerce* an advertisement for bids upon the making of such improvement under such plans and specifications. The advertisement shall be published by the consulting city engineer per state law. The bids will be received by the city clerk until 10:00 a.m. on March 21, 2019, at which time they will be publicly opened in the council chambers of the city hall by the city clerk and consulting city engineer, will then be tabulated, and will be considered by the city council at 7:30 p.m. on March 26, 2019, in the council chambers of the city hall. Any bidder whose responsibility is questioned during consideration of the bid will be given an opportunity to address the city council on the issue of responsibility. No bids will be considered unless sealed and filed with the clerk and accompanied by a cash deposit, cashier's check, bid bond or certified check payable to the city clerk for five percent of the amount of such bid.

**ADOPTED** by the City Council of Lauderdale this 12<sup>th</sup> day of February, 2019.

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Mary Gaasch, Mayor

ATTEST:

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Heather Butkowski, City Administrator



23 Exchange Avenue, Suite 1000  
Minneapolis, MN 55402  
www.stantec.com

PROJECT: LAUDERDALE  
SHEET: G0.01  
DATE: 06/20/19

# LAUDERDALE, MINNESOTA 2019 INFRASTRUCTURE IMPROVEMENTS

NO.	DESCRIPTION	DATE

APPROVED	DATE

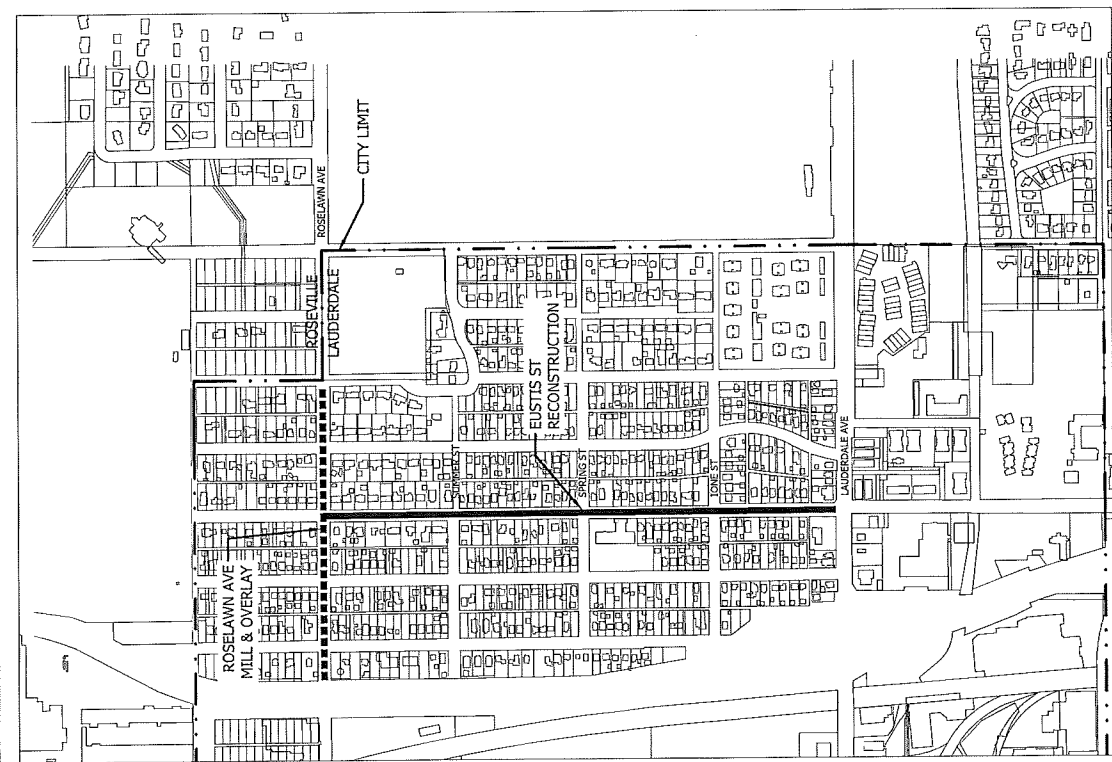
PROJECT NO. G0.01

## 2019 INFRASTRUCTURE IMPROVEMENTS LAUDERDALE, MN STANTEC PROJECT NO. 193804608 2019

### SHEET INDEX

G0.01	TITLE SHEET
G0.02	LETTERING
G0.03	GENERAL NOTES
C1.01 - C1.03	EXISTING CONDITION & REMOVAL PLAN
C1.01	TYPICAL SECTIONS
C4.01 - C4.05	WATER MAIN PLAN & PROFILE
C5.01 - C5.03	STORM SEWER PLAN & PROFILE
C6.01 - C6.02	STREET IMPROVEMENTS
C6.03 - C6.04	STREET AND UTILITY IMPROVEMENTS - MILL & OVERLAY
C6.05 - C6.06	ALLEY IMPROVEMENTS
C7.01 - C7.03	CROSS SECTIONS - ALLEYS
C7.04 - C7.07	CROSS SECTIONS - ALLEYS
C8.01 - C8.04	STANDARD DETAILS
397 - SHEETS TOTAL	

- |                   |               |
|-------------------|---------------|
| MARY GAASCH       | MAYOR         |
| JEFFREY DAINS     | COUNCILMEMBER |
| KELLY DOLPHIN     | COUNCILMEMBER |
| ROXANNE GROVE     | COUNCILMEMBER |
| ANDI MOFFATT      | COUNCILMEMBER |
| HEATHER BUTKOWSKI | ADMINISTRATOR |



EXISTING TOPOGRAPHIC SYMBOLS

STORM SEWER APPROX	PEDESTAL CANY
BASKETBALL POST	PEDESTAL COMMUNICATIONS
BARBICUE PERMANENT	POST INDICATOR VALVE
BENCH	POLE-COMMUNICATIONS
BOOSTER STATION	POLE-GUY
BUILDING LOWEST OPENING	POLE-LIGHT
BURIAL CONTROL MONUMENT	POLE-UTILITY
BUSH DECIDUOUS	POLE-UTILITY SERVICE
CATCH BASIN BEHAVE	POST
CURB BOX	PROPANE TANK
CATCH BASIN	PICNIC TABLE
COLUMN	CONTROL BOX SIGNAL
CLEAN OUT (SEWER)	CONTROL BOX SIGNAL
CLEVERLY END	ROCK
DRINKING FOUNTAIN	RR SIGNAL CONTROL BOX
ENERGY DISPATER	RR CROSSING GATE
FLAG POLE	RR SIGNAL
FUEL PUMP	REGULATION STATION GAS
GUY WIRE	SATELLITE DISH
GRILL	SEPTIC TANK
HANDICAP SPACE	SEPTIC VENT
HANDHOLE	SEPTIC DRAIN FIELD
FIRE HYDRANT	SIGN
HYDRANT VALVE	SOIL BORING
INLET (SMALL DIA.)	STAND PIPE GAS
LIFT STATION CONTROL PANEL	SPIGOT WATER
LIFT STATION DRY WELL	SPRINKLER HEAD
LIFT STATION WET WELL	SPRINKLER VALVE BOX
LOOP DETECTOR	STUMP
MAIL BOX	SERVICE-GAS POINT ON LINE
MANHOLE-AIR RELEASE	SERVICE-SANITARY SEWER POINT ON LINE
MANHOLE-HEAT	SERVICE-STORM SEWER POINT ON LINE
MANHOLE-GAS	TELEPHONE BOOTH
MANHOLE-POWER	TRANSMISSION TOWER ELECTRIC
MANHOLE-SANITARY SEWER	TEST PIT LOC
MANHOLE-STORM SEWER	TRANSFORMER POWER
MANHOLE-UNKNOWN	TREE DEAD
MANHOLE-WATER	TREE-DECIDUOUS
METER POWER	TREE-FRUIT
METER GAS	TRASH CAN
ORDINARY HIGH WATER MARK	TRAFFIC SIGNAL
OUTLET CONTROL STRUCTURE	VALVE GAS
PARKING METER	VENT GAS
PEDESTAL PUSH BUTTON	WATER REDUCER
	WETLAND
	WELL-MONITORING
	WELL-WATER

EXISTING UTILITY LINES

RETAINING WALL	BOUNDARY
FENCE - BARBED WIRE	CENTERLINE
FENCE - CHAIN LINK	EXISTING EASEMENT LINE
FENCE - DECORATIVE	PROPOSED EASEMENT LINE
FENCE - STOCKADE	FLOOD PLAIN BOUNDARY
FENCE - WOOD	EXISTING LOT LINE
GUARD RAIL	EXISTING RIGHT-OF-WAY
TREE LINE	PROPOSED RIGHT-OF-WAY
WETLAND	SECTION LINE
	QUARTER SECTION LINE
	SIXTEENTH SECTION LINE

PROPOSED TOPOGRAPHIC SYMBOLS

BOLLARD	SANITARY CLEANOUT
SANITARY	MANHOLE
SANITARY OR STORM LIFT STATION	STORM SEWER BEHAVE CATCH BASIN
STORM SEWER BEHAVE CATCH BASIN	STORM SEWER CATCH BASIN
STORM SEWER FLARED END SECTION	STORM SEWER OUTLET STRUCTURE
STORM SEWER OUTLET STRUCTURE	STORM SEWER OVERFLOW STRUCTURE
STORM SEWER OVERFLOW STRUCTURE	CURB BOX
CURB BOX	FIRE HYDRANT
FIRE HYDRANT	WATER REDUCER
WATER REDUCER	VALVE
VALVE	RIP RAP
RIP RAP	DRAINAGE FLOW
DRAINAGE FLOW	PEDESTRIAN RAMP
PEDESTRIAN RAMP	

EXISTING PRIVATE UTILITY LINES

CABLE TV QUALITY LEVEL D	CABLE TV QUALITY LEVEL C	CABLE TV QUALITY LEVEL B	CABLE TV QUALITY LEVEL A
FIBER OPTIC QUALITY LEVEL D	FIBER OPTIC QUALITY LEVEL C	FIBER OPTIC QUALITY LEVEL B	FIBER OPTIC QUALITY LEVEL A
POWER QUALITY LEVEL D	POWER QUALITY LEVEL C	POWER QUALITY LEVEL B	POWER QUALITY LEVEL A
GAS QUALITY LEVEL D	GAS QUALITY LEVEL C	GAS QUALITY LEVEL B	GAS QUALITY LEVEL A
COMMUNICATION QUALITY LEVEL D	COMMUNICATION QUALITY LEVEL C	COMMUNICATION QUALITY LEVEL B	COMMUNICATION QUALITY LEVEL A
OVERHEAD COMMUNICATION	OVERHEAD POWER	OVERHEAD COMMUNICATION	OVERHEAD UTILITIES

EXISTING PRIVATE UTILITY LINES

CABLE TV QUALITY LEVEL D	CABLE TV QUALITY LEVEL C	CABLE TV QUALITY LEVEL B	CABLE TV QUALITY LEVEL A
FIBER OPTIC QUALITY LEVEL D	FIBER OPTIC QUALITY LEVEL C	FIBER OPTIC QUALITY LEVEL B	FIBER OPTIC QUALITY LEVEL A
POWER QUALITY LEVEL D	POWER QUALITY LEVEL C	POWER QUALITY LEVEL B	POWER QUALITY LEVEL A
GAS QUALITY LEVEL D	GAS QUALITY LEVEL C	GAS QUALITY LEVEL B	GAS QUALITY LEVEL A
COMMUNICATION QUALITY LEVEL D	COMMUNICATION QUALITY LEVEL C	COMMUNICATION QUALITY LEVEL B	COMMUNICATION QUALITY LEVEL A
OVERHEAD COMMUNICATION	OVERHEAD POWER	OVERHEAD COMMUNICATION	OVERHEAD UTILITIES

EXISTING TOPOGRAPHIC LINES

BOUNDARY	BOUNDARY
EXISTING EASEMENT LINE	PROPOSED EASEMENT LINE
FLOOD PLAIN BOUNDARY	EXISTING LOT LINE
EXISTING RIGHT-OF-WAY	PROPOSED RIGHT-OF-WAY
SECTION LINE	QUARTER SECTION LINE
SIXTEENTH SECTION LINE	

EXISTING UTILITY LINES

FORCE MAIN	SANITARY SEWER	SANITARY SERVICE	STORM SEWER	WATER MAIN	WATER SERVICE
FORCE MAIN	SANITARY SEWER	SANITARY SERVICE	STORM SEWER DRAIN TILE	WATER MAIN	WATER SERVICE
PIPE CASING					

PROPOSED UTILITY LINES

FORCE MAIN	SANITARY SEWER	SANITARY SERVICE	STORM SEWER	WATER MAIN	WATER SERVICE
PIPE CASING					

FUTURE UTILITY LINES

FORCE MAIN	SANITARY SEWER	SANITARY SERVICE	STORM SEWER DRAIN TILE	WATER MAIN	WATER SERVICE	PIPE CASING
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CONCRETE CURB AND GUTTER

EXISTING	PROPOSED	FUTURE	DEMOLITION
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GRADE INFORMATION

EXISTING CONTOUR MINOR	EXISTING CONTOUR MAJOR	PROPOSED CONTOUR MINOR	PROPOSED CONTOUR MAJOR	PROPOSED GRADING LIMITS / SLOPE LIMITS	PROPOSED SPOT ELEVATION	RIEBERUN (SLOPE)
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ABBREVIATIONS

AD	ALGEBRAIC DIFFERENCE
BTT	BUTTERFLY VALVE
BV	BEGIN VERTICAL CURVE ELEVATION
BVCS	BEGIN VERTICAL CURVE STATION
CL	CATCH BASIN
CB	CATCH BASIN MANHOLE
CBH	CATCH BASIN MANHOLE CLASS
CHP	CORRUGATED METAL PIPE
C.O.	CHANGE ORDER
CONC.	CONCRETE
DIP	DUCTILE IRON PIPE
ELEV	ELEVATION
EVCS	END VERTICAL CURVE ELEVATION
EVCS	END VERTICAL CURVE STATION
EX	EXISTING
FES	FLARED END SECTION
F/F	FACE TO FACE
FM	FORCE MAIN
FO	FIELD ORDER
GV	GATE VALVE
HPL	HIGH POINT
HWL	HIGH WATER LEVEL
HYD	HYDRANT
IMERT	IMBERT
K	CURVE COEFFICIENT
L	LOW POINT
MH	MANHOLE (SANITARY)
NTS	NOT TO SCALE
NWL	NORMAL WATER LEVEL
PC	POINT OF CURVE
PCC	COMPOUND CURVE
PI	POINT OF INTERSECTION
PL	PROPERTY LINE
PPVC	PERFORATED POLYVINYL CHLORIDE PIPE
PRC	POINT OF REVERSE CURVE
PT	POINT OF TANGENT
PVC	POLYVINYL CHLORIDE PIPE
PVC	POINT OF VERTICAL INTERSECTION
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
R/W	RIGHT-OF-WAY
R/W	SANITARY
STMH	STORM SEWER MANHOLE
STA	STATION
TCE	TEMPORARY CONSTRUCTION EASEMENT
TNH	TOP NUT HORNAIT
TYP	TYPICAL
VC	VERTICAL CURVE
WM	WATER MAIN

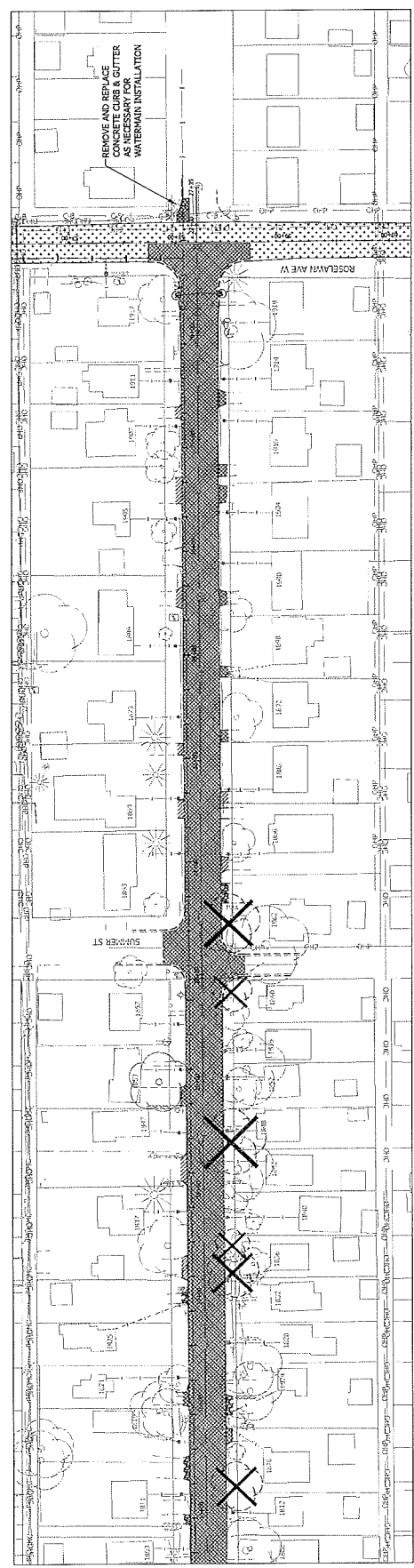
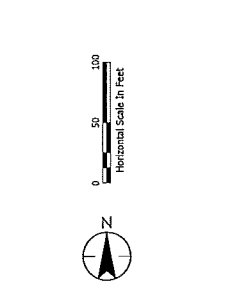
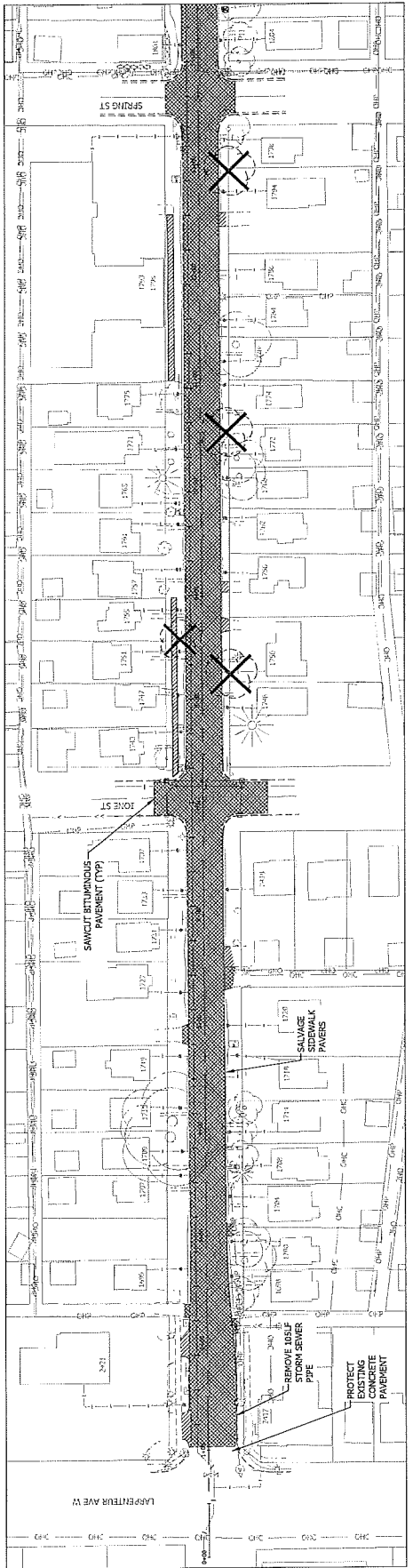
HATCH PATTERNS

SAND	HEAVY DUTY BITUMINOUS
BEDROCK	BITUMINOUS
GROUND	CONCRETE
	GRAVEL





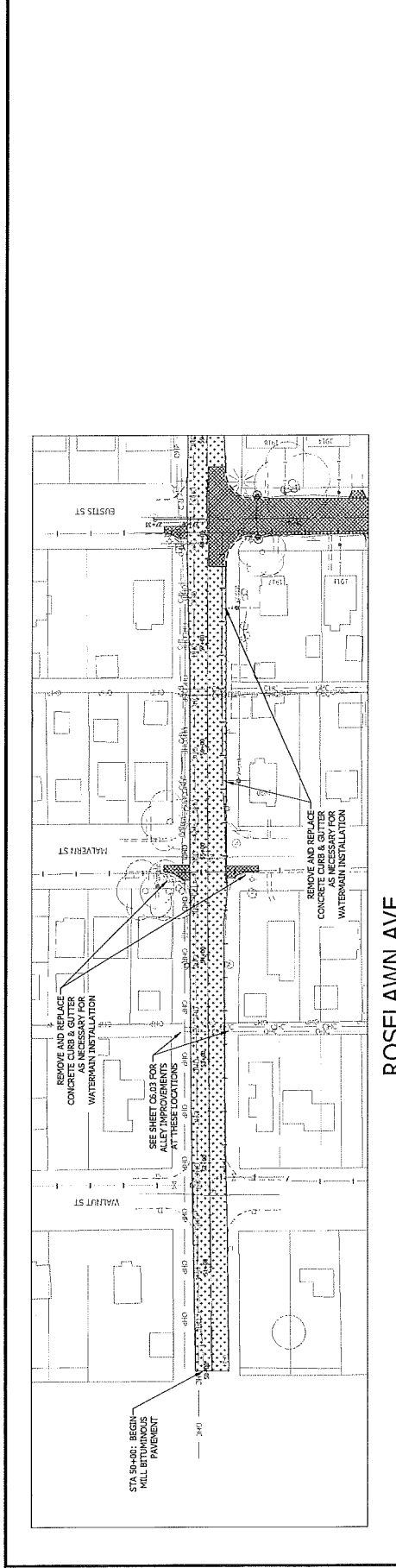
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EUSTIS ST

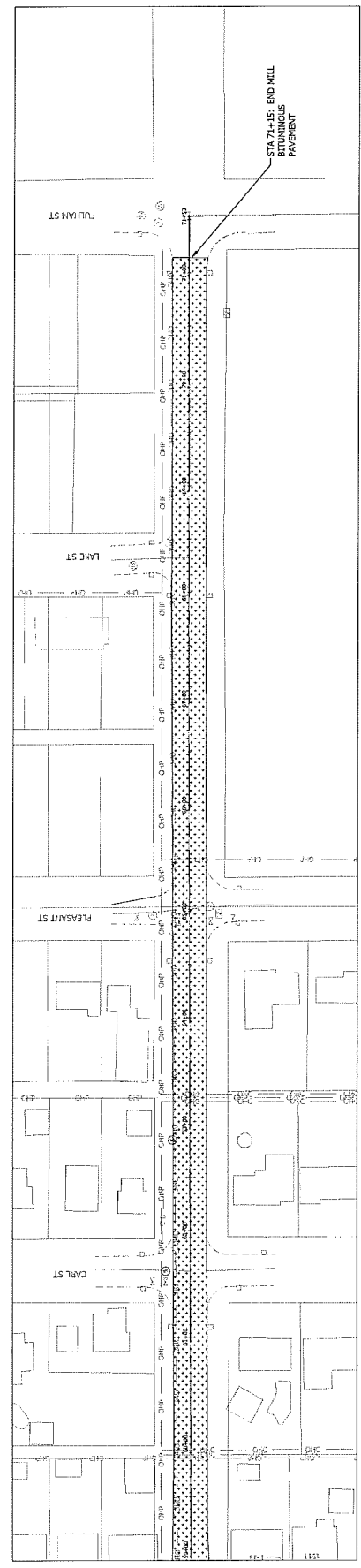
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LEGEND	
	REMOVE CONC. DRIVEWAY/WALK
	REMOVE BIT. DRIVEWAY
	REMOVE MANHOLE/CATCH BASIN
	REMOVE WATER PIPE
	REMOVE SANITARY PIPE
	REMOVE STORM PIPE
	REMOVE HYDRANT
	REMOVE CASTING AND RINGS
	REMOVE TREE/SHRUB
	SALVAGE SIGN & POST
	SALVAGE SIDEWALK PAVERS
	PROTECT EXISTING SIDEWALK PAVEMENT



**ROSELAWN AVE**

LEGEND	
-----	REMOVE CONC. DRIVEWAY/WALK
-----	REMOVE BIT. DRIVEWAY
-----	REMOVE BIT. PAVEMENT
-----	MILL BITUMINOUS PAVEMENT (2" DEPTH)
-----	REMOVE WATER PIPE
-----	REMOVE SANITARY PIPE
-----	REMOVE FIBER OPTIC
-----	REMOVE VALVE & BOX
-----	REMOVE MANHOLE/CATCH BASIN
-----	REMOVE CASTING AND RINGS
-----	REMOVE CURB/GUTTER
-----	REMOVE TREE/SHRUB
-----	SALVAGE SIGN & POST



**ROSELAWN AVE**

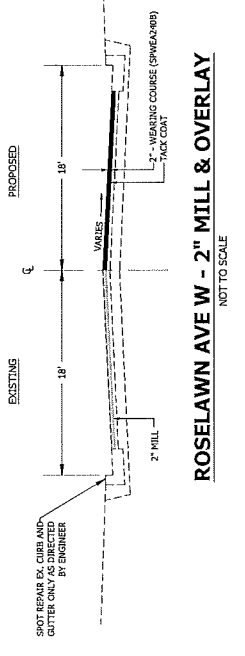
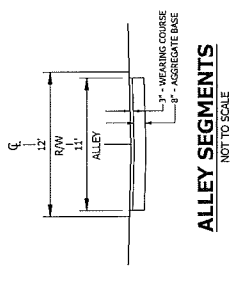
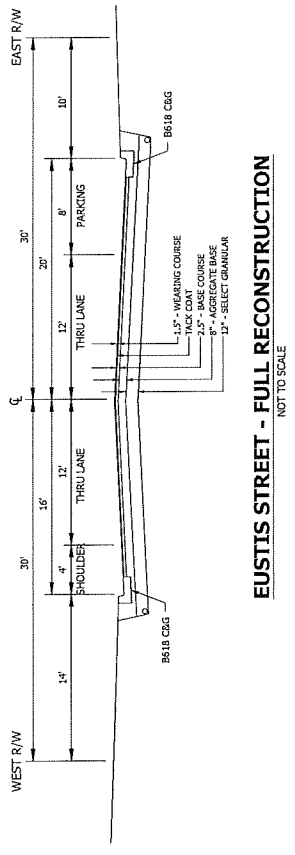
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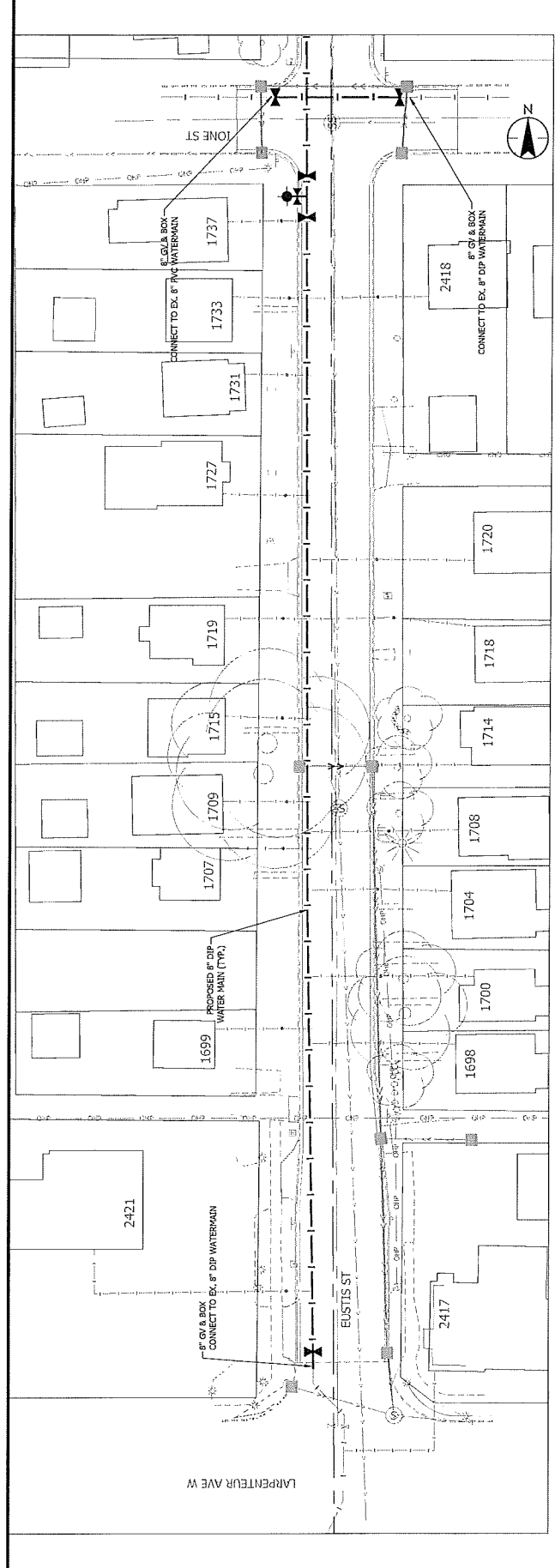
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SHEET NO. 17  
**C1.01**

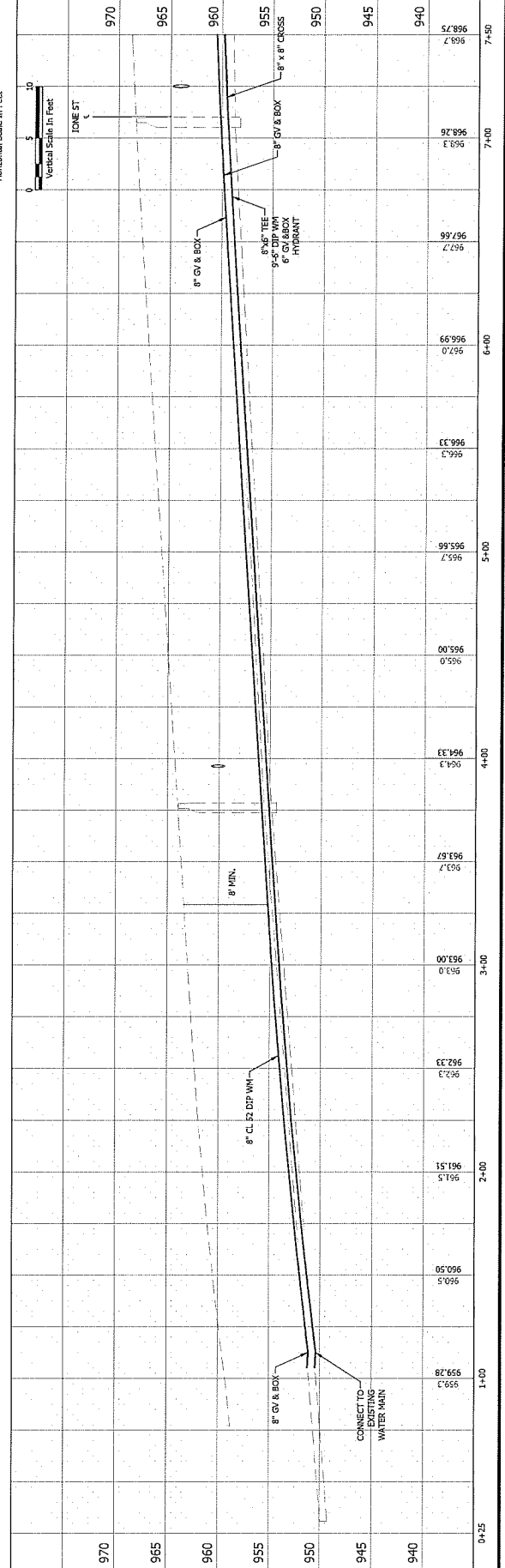


**LAURDALE, MINNESOTA  
 WATER MAIN PLAN & PROFILE  
 2019 INFRASTRUCTURE IMPROVEMENTS**

NO.	REVISION	DATE



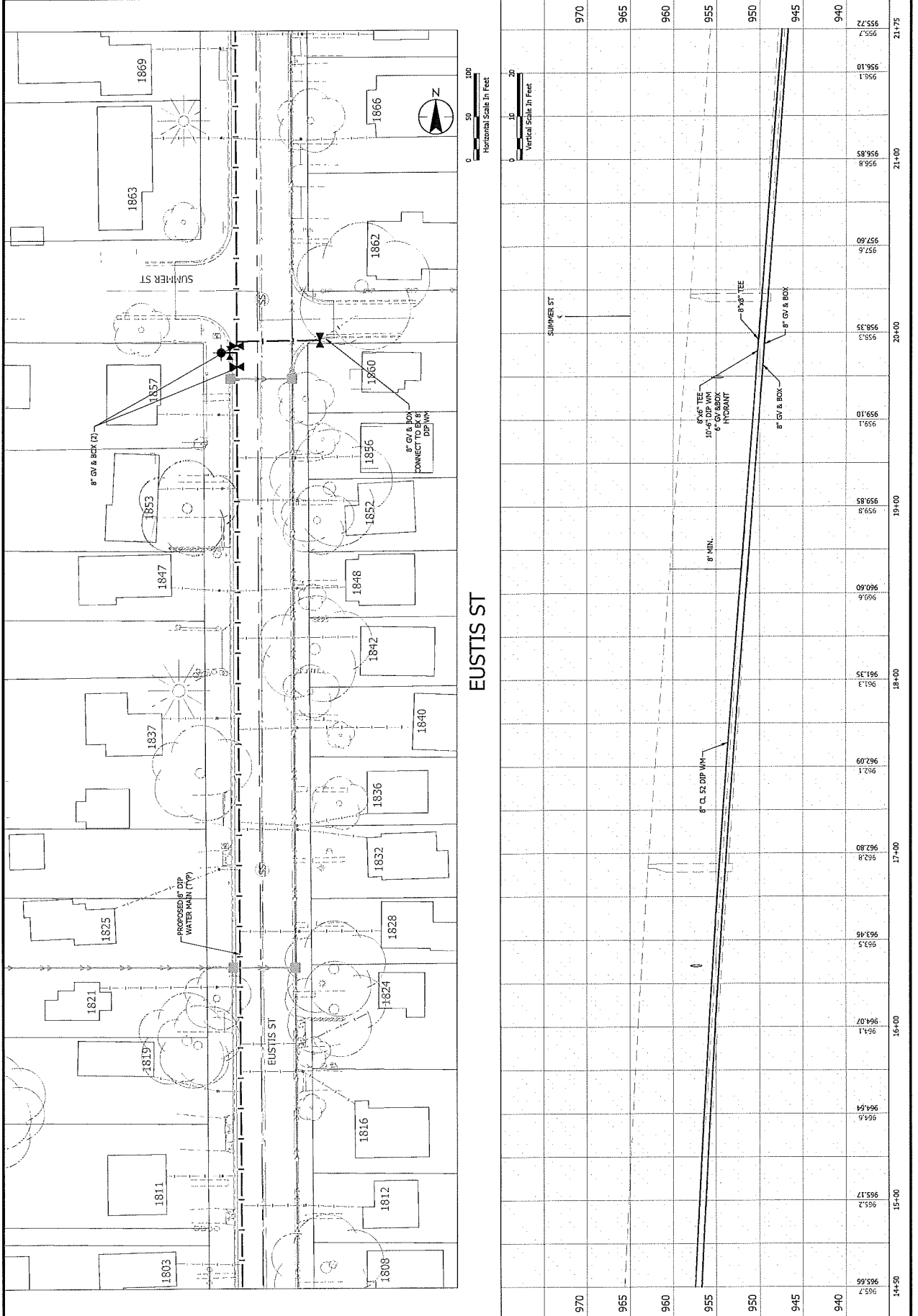
**EUSTIS ST**



100% CONTRACTOR RESPONSIBILITY FOR ALL INFORMATION SHOWN ON THIS PLAN.  
 THE CONTRACTOR SHALL VERIFY ALL INFORMATION AND CONDITIONS SHOWN ON THIS PLAN.  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES.  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY.

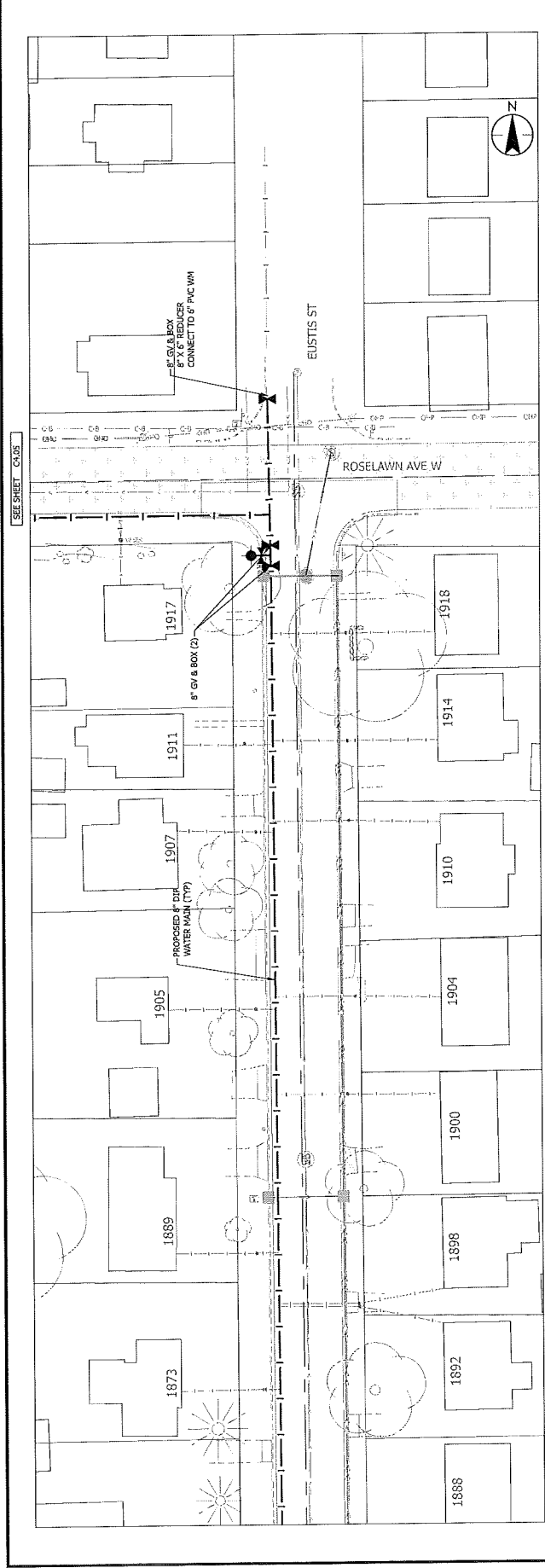
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 CHECKED BY: [Name]  
 APPROVED BY: [Name]



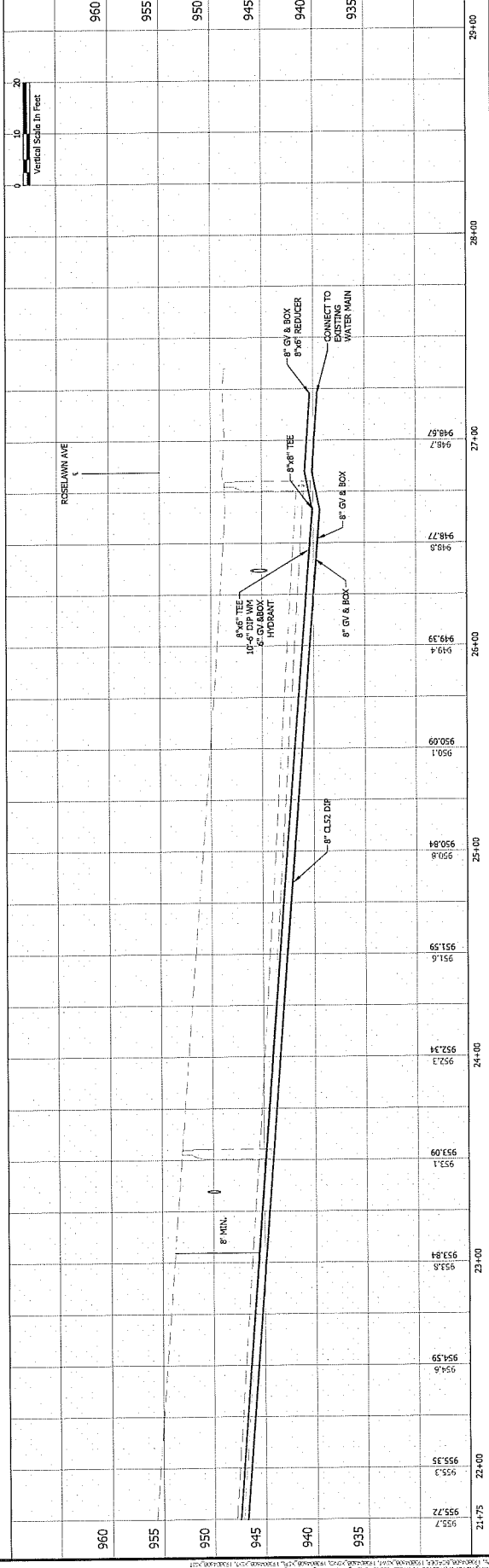




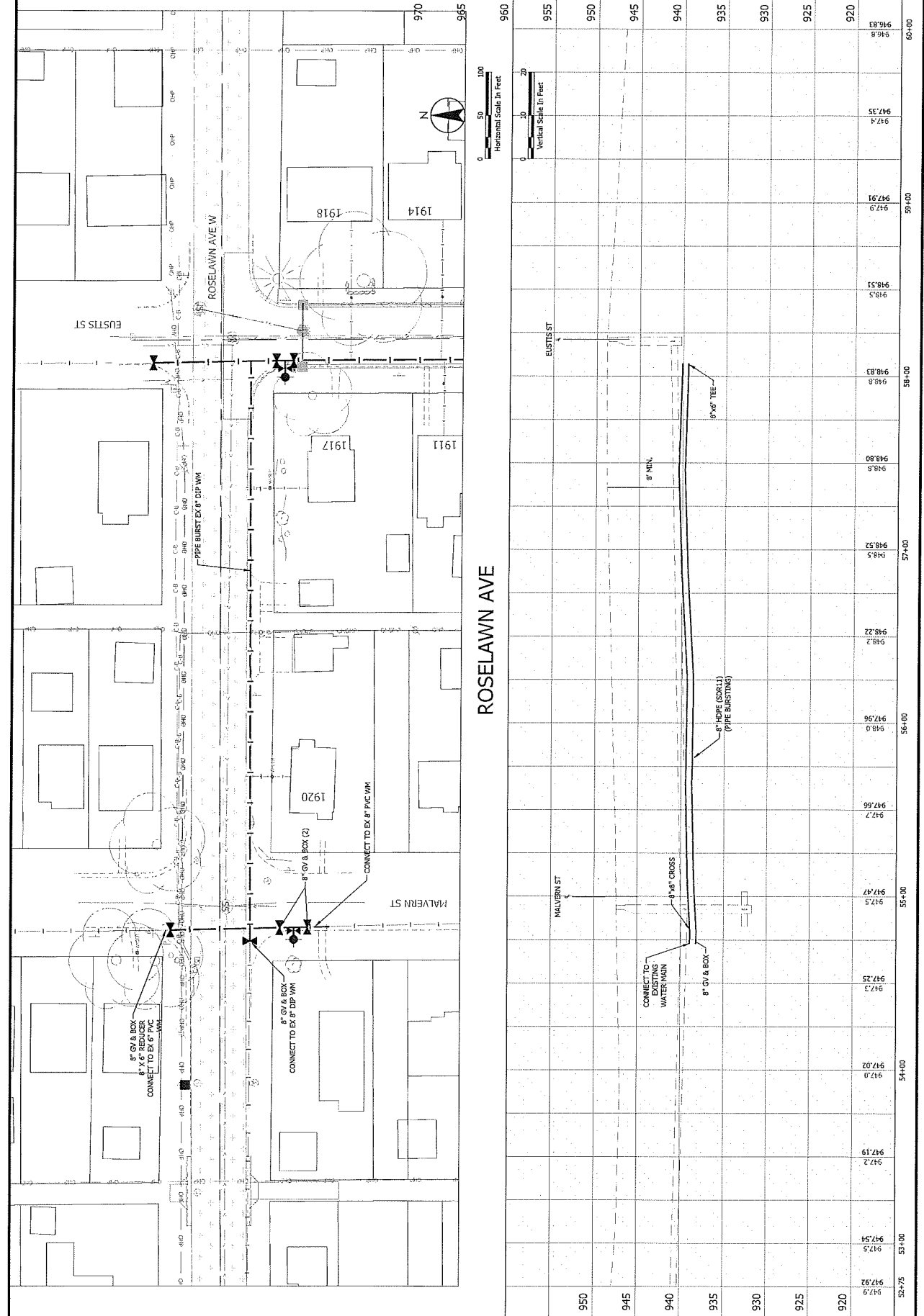
LAURELDALE, MINNESOTA  
 2019 INFRASTRUCTURE IMPROVEMENTS  
 WATER MAIN PLAN & PROFILE  
 PROJECT LEAD: JENNIFER JOHNSON  
 DATE: 02/2018  
 SHEET NO: C4.04



EUSTIS ST







233 Lake Street, Suite 1000  
 Minneapolis, MN 55402  
 www.stantec.com

DATE: 11/19/2018  
 PROJECT: LAURELDALE, MINN. WATER MAIN PLAN & PROFILE  
 DRAWN BY: JEREMY SCHMIDT  
 CHECKED BY: JEREMY SCHMIDT  
 APPROVED BY: JEREMY SCHMIDT

APPROVED: \_\_\_\_\_  
 DATE: \_\_\_\_\_

NO.	DATE	REVISION

SCALE: 1"=40'  
**C4.05**



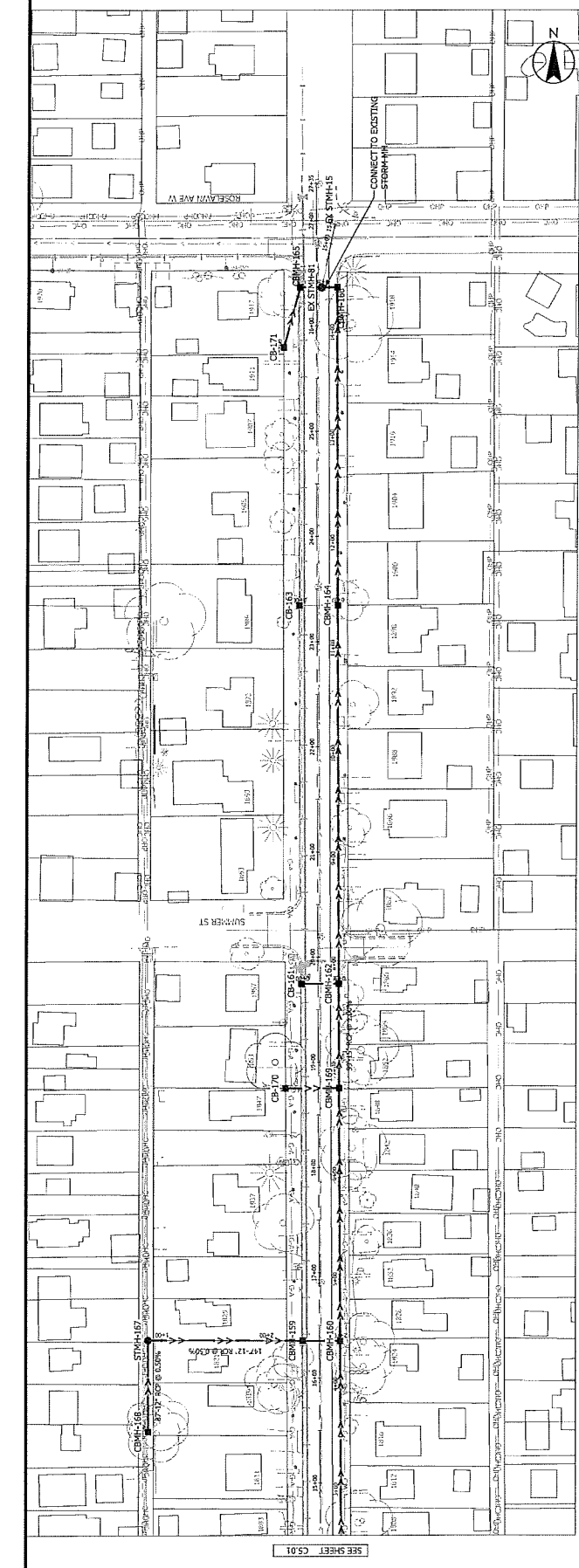


DESIGN: DREW HARRIS, KYLE HARRIS, SHAWN LITVIN, GUY RICHARDS  
 DRAWN: JESSICA HARRIS, SHAWN LITVIN, GUY RICHARDS  
 CHECKED: DREW HARRIS, KYLE HARRIS, SHAWN LITVIN, GUY RICHARDS  
 APPROVED: DREW HARRIS, KYLE HARRIS, SHAWN LITVIN, GUY RICHARDS

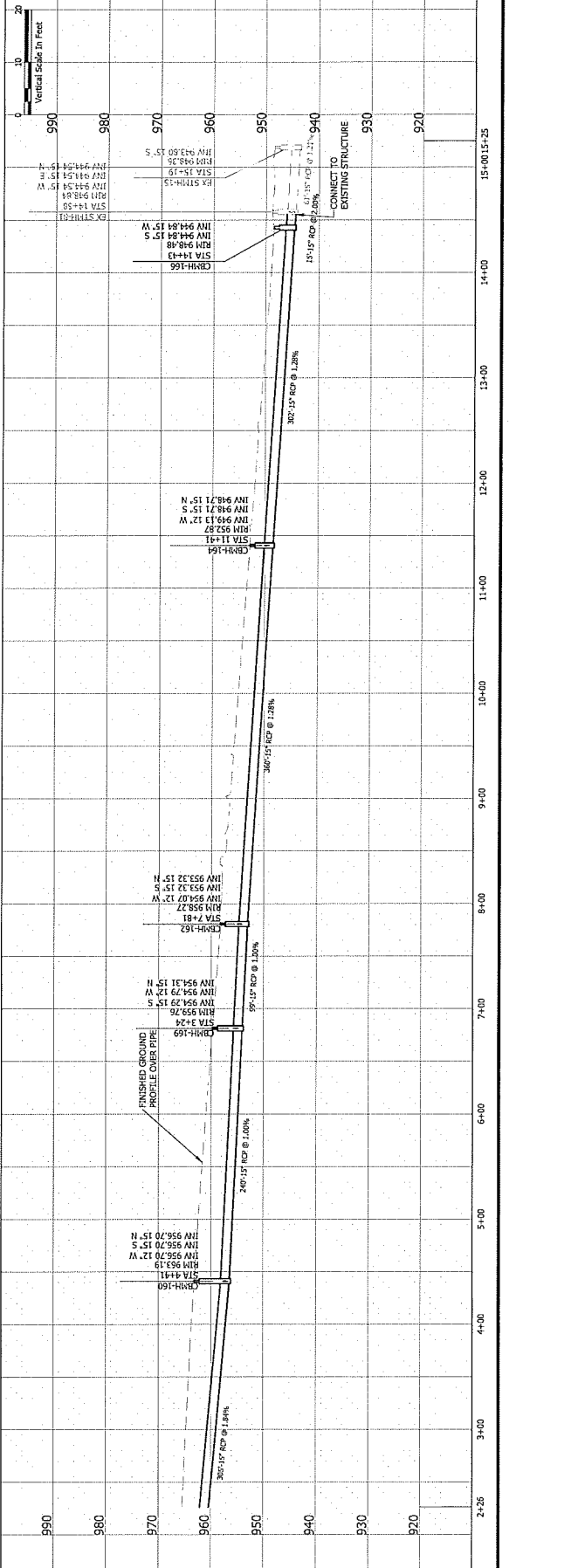
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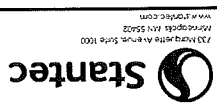
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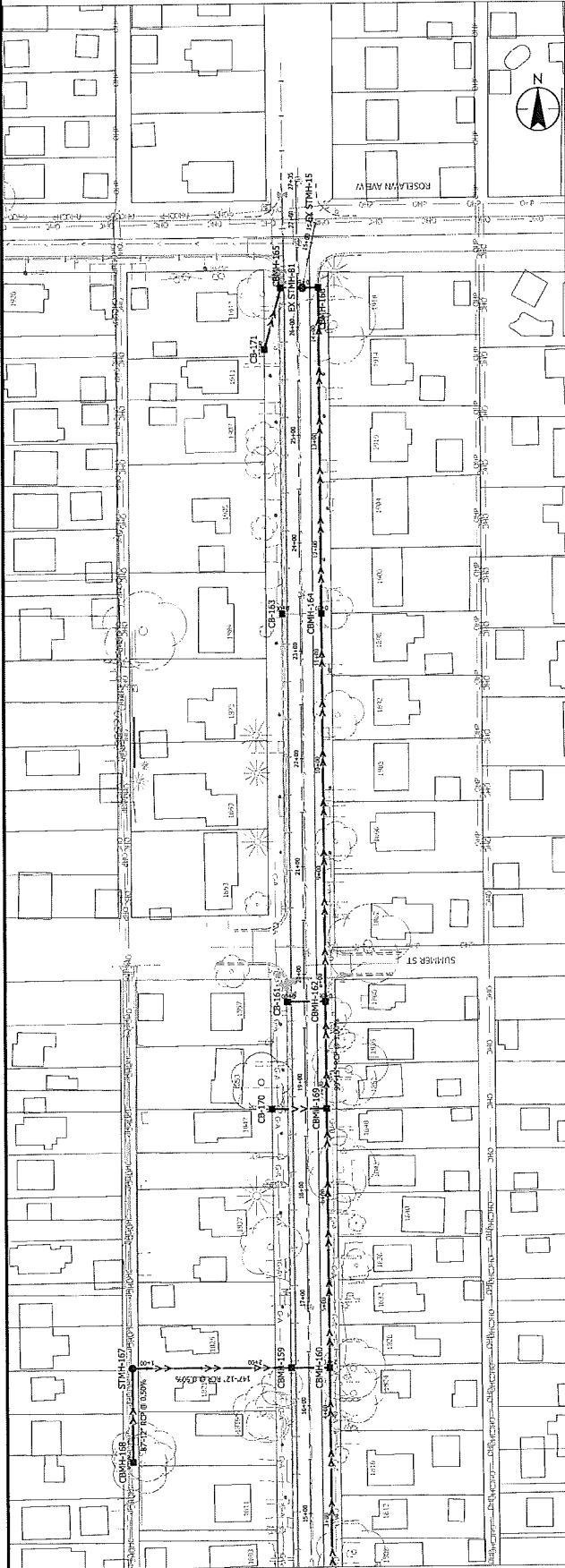
2019 Infrastructure Improvements  
 Minneapolis, MN 55425  
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PROJECT: LAURDALE, MINNESOTA  
 DATE: 01/27/2019  
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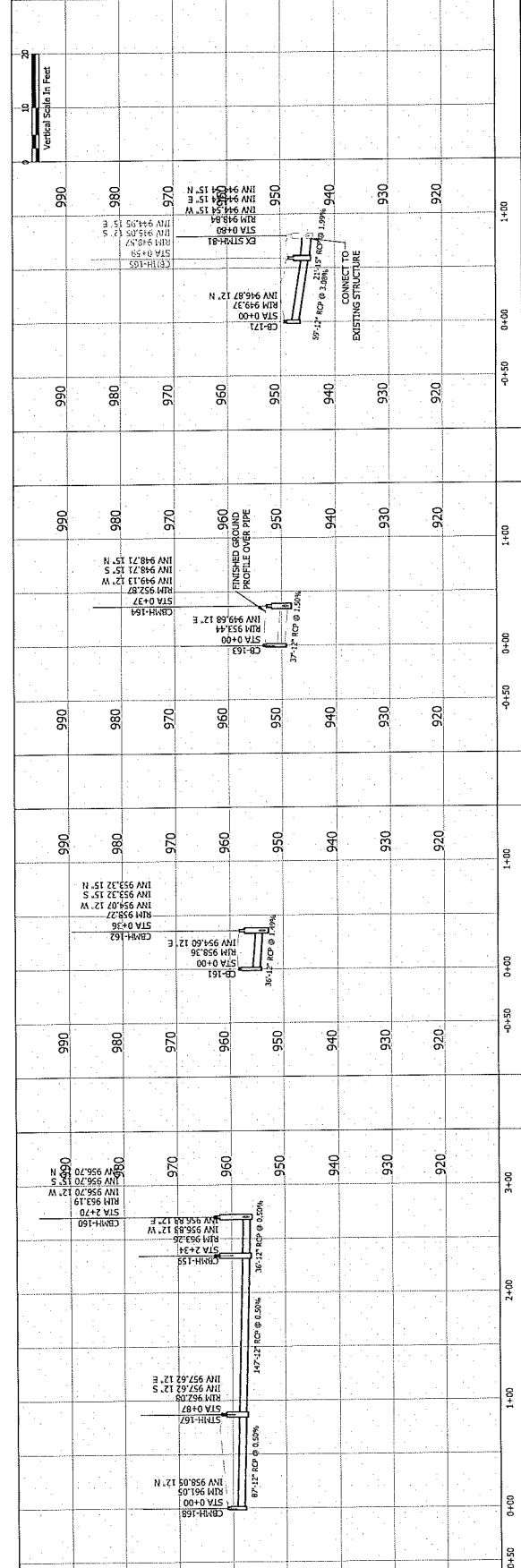
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NO.	REVISION	DATE

C5.03  
 SHEET NUMBER

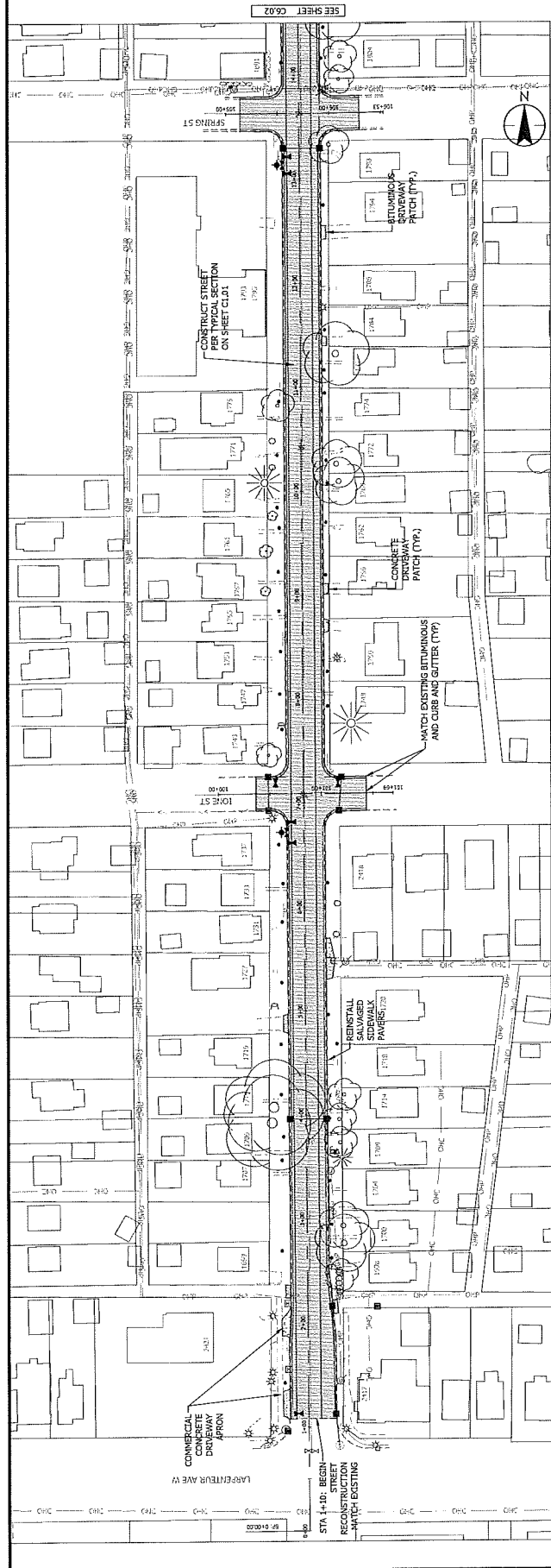


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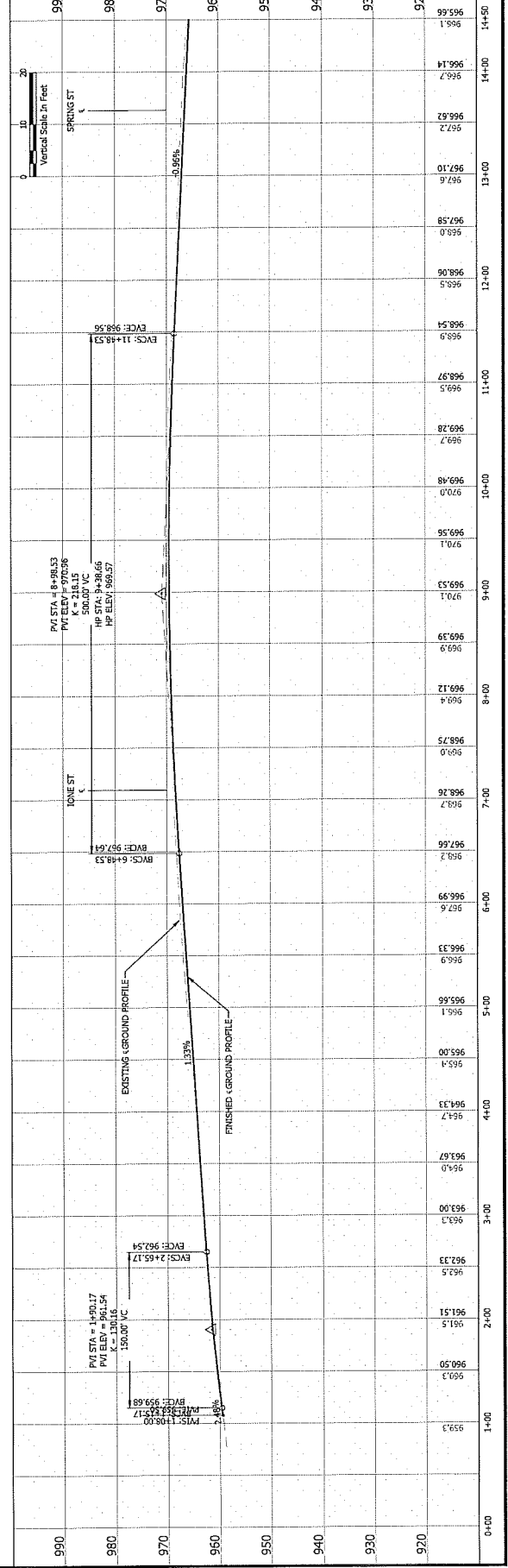


# LAURDALE, MINNESOTA 2019 INFRASTRUCTURE IMPROVEMENTS STREET IMPROVEMENTS - EUSTIS ST

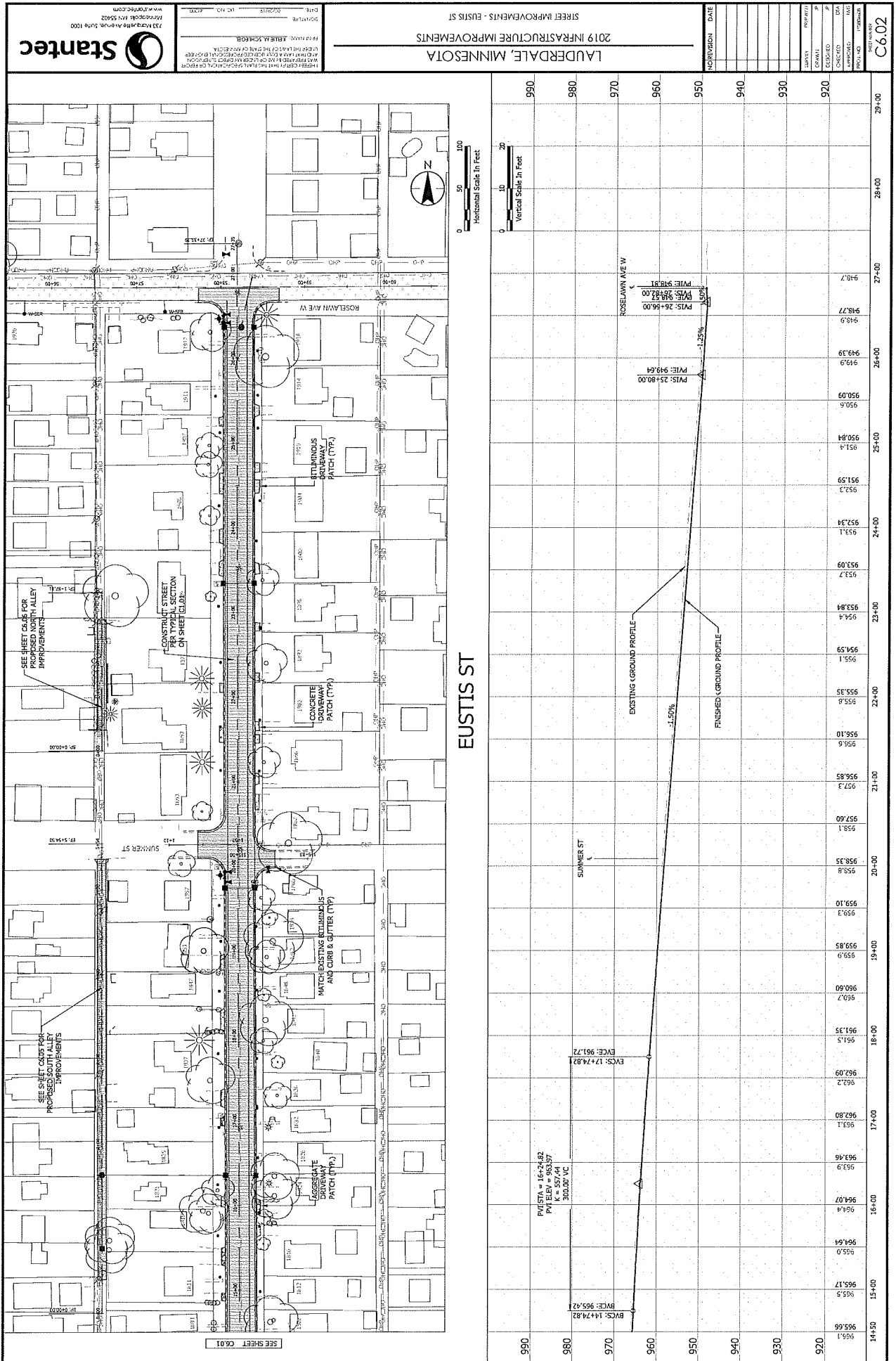
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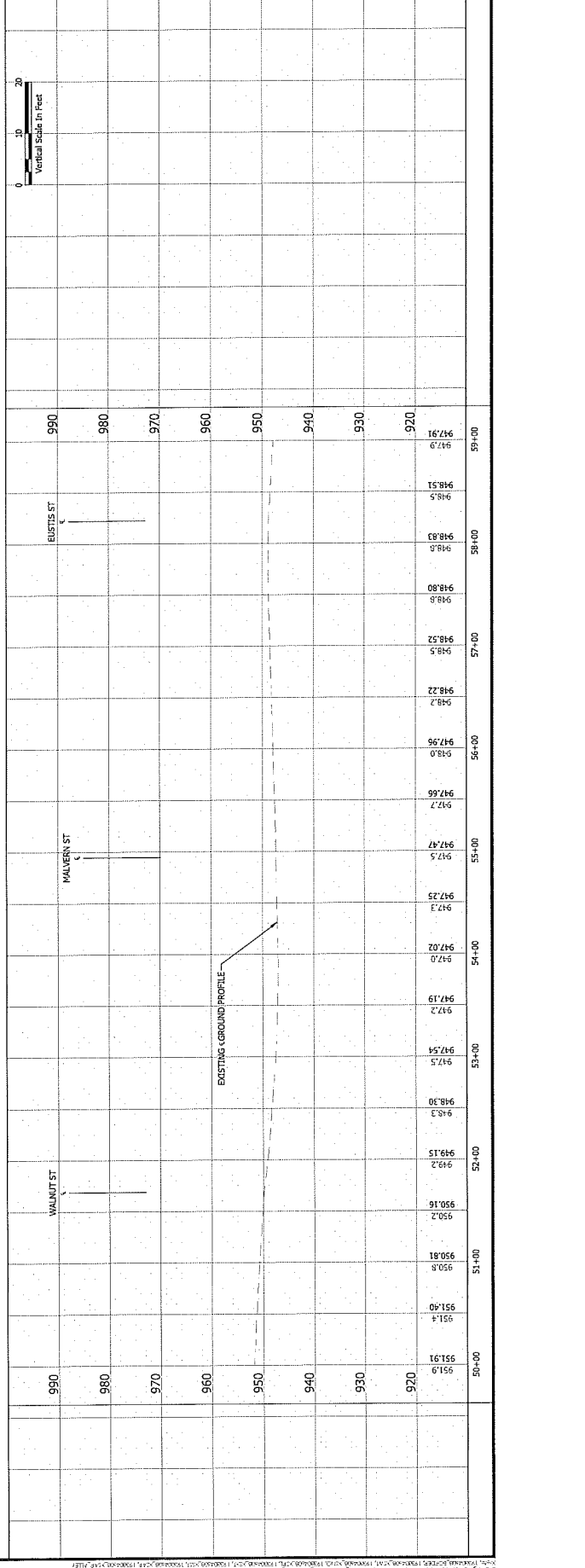
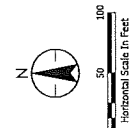
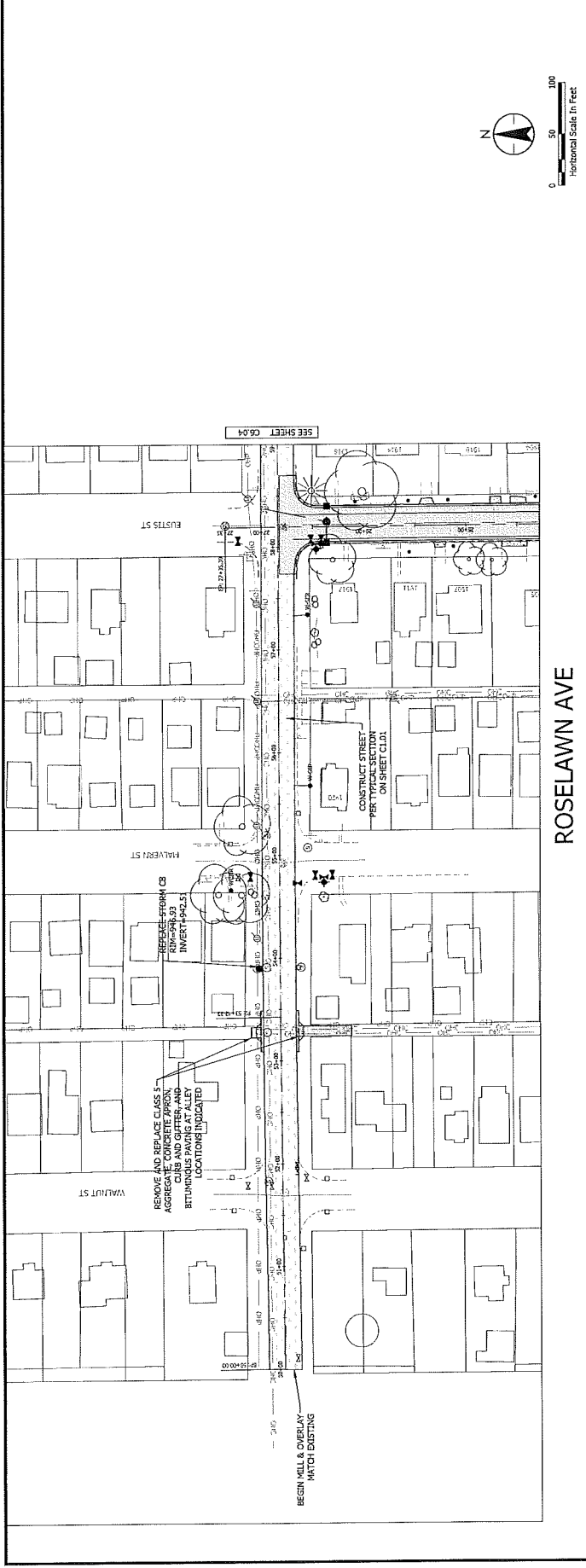
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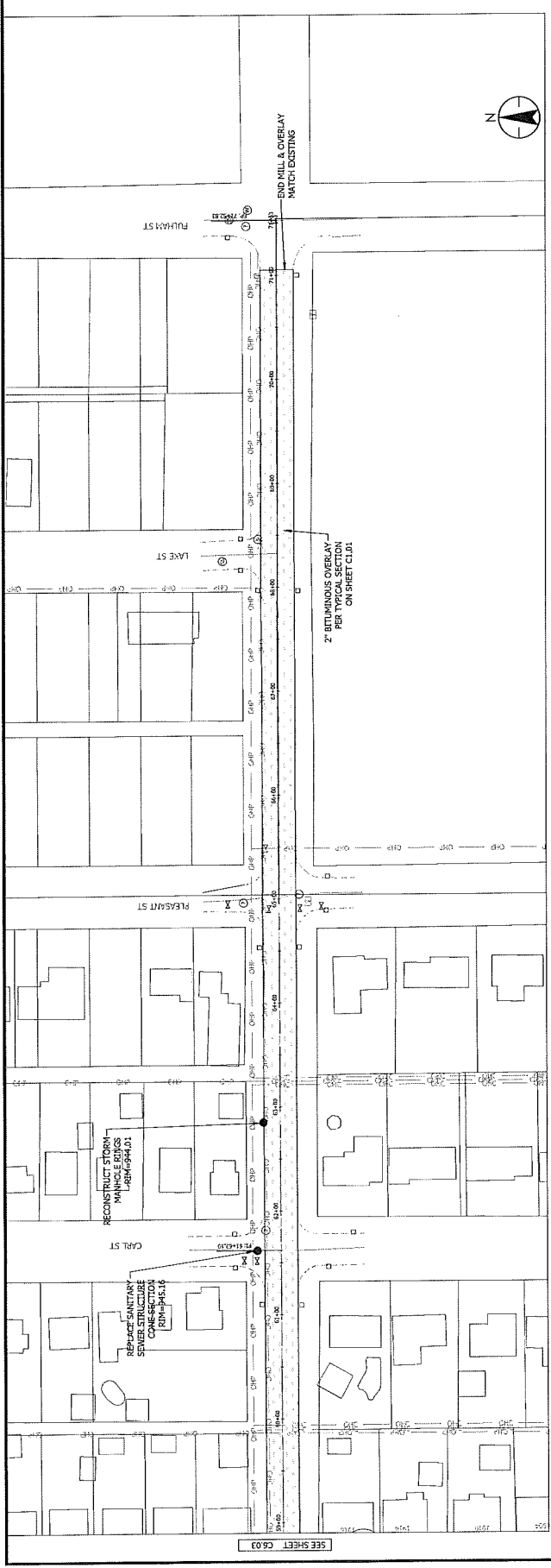


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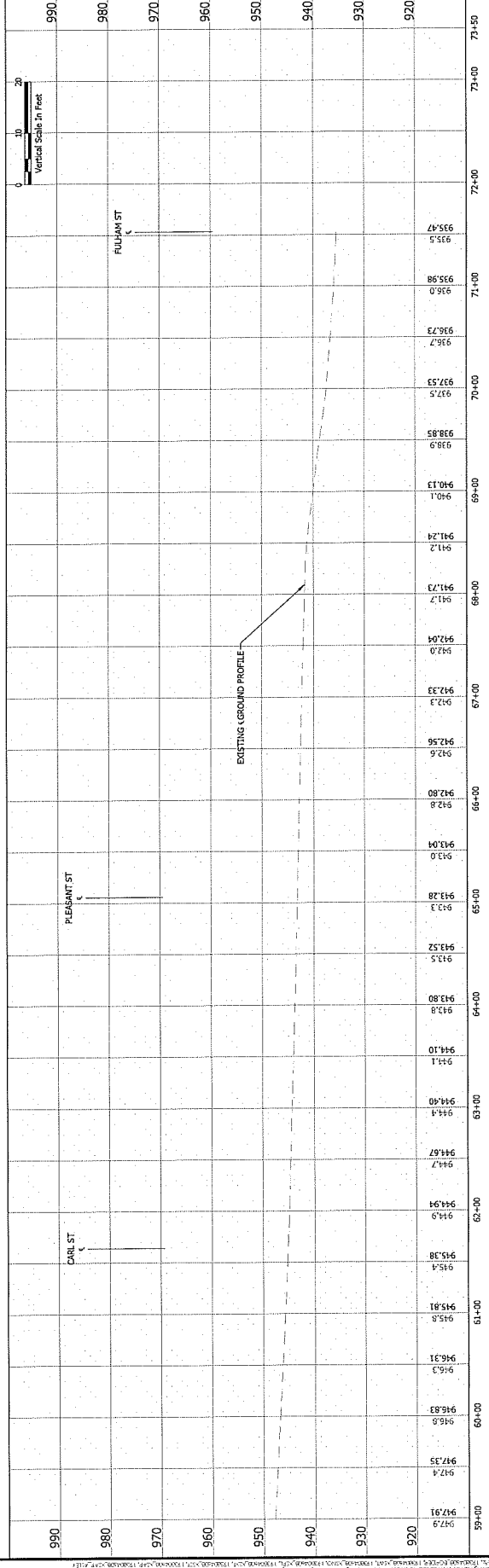


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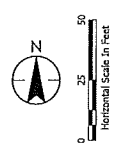
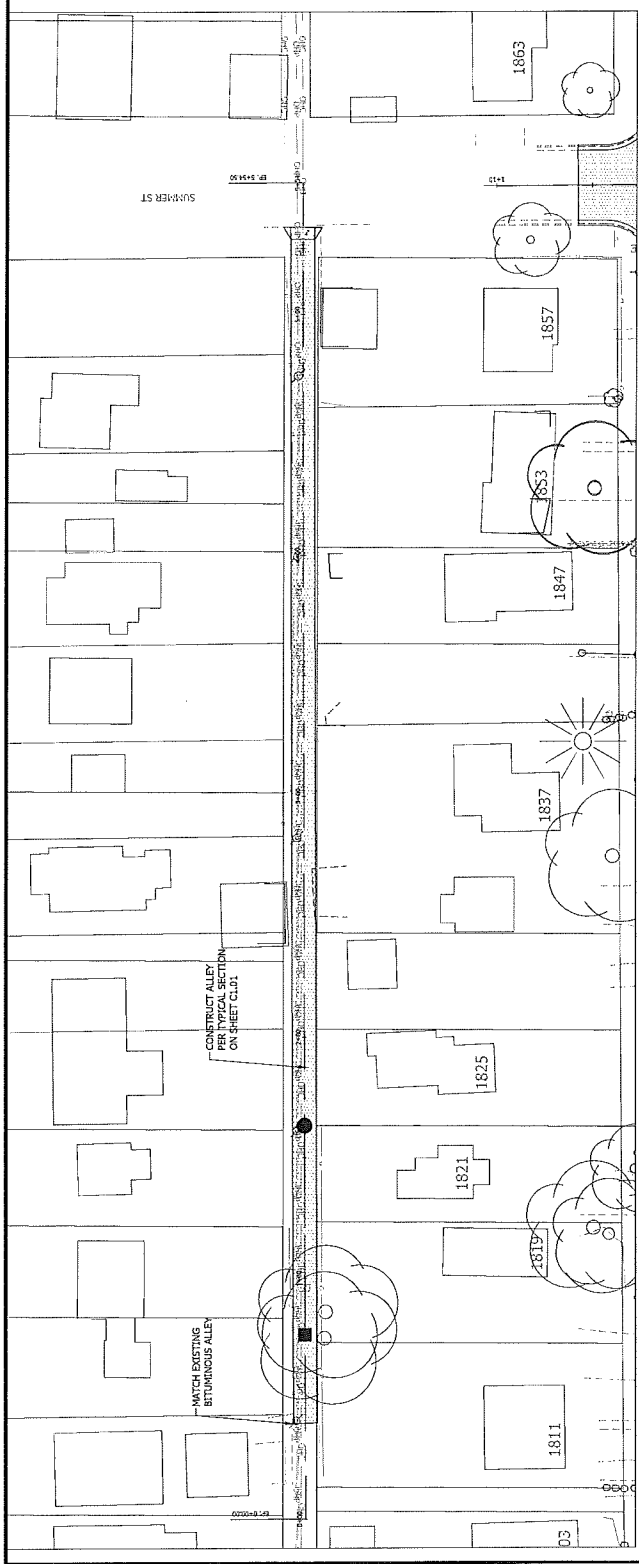


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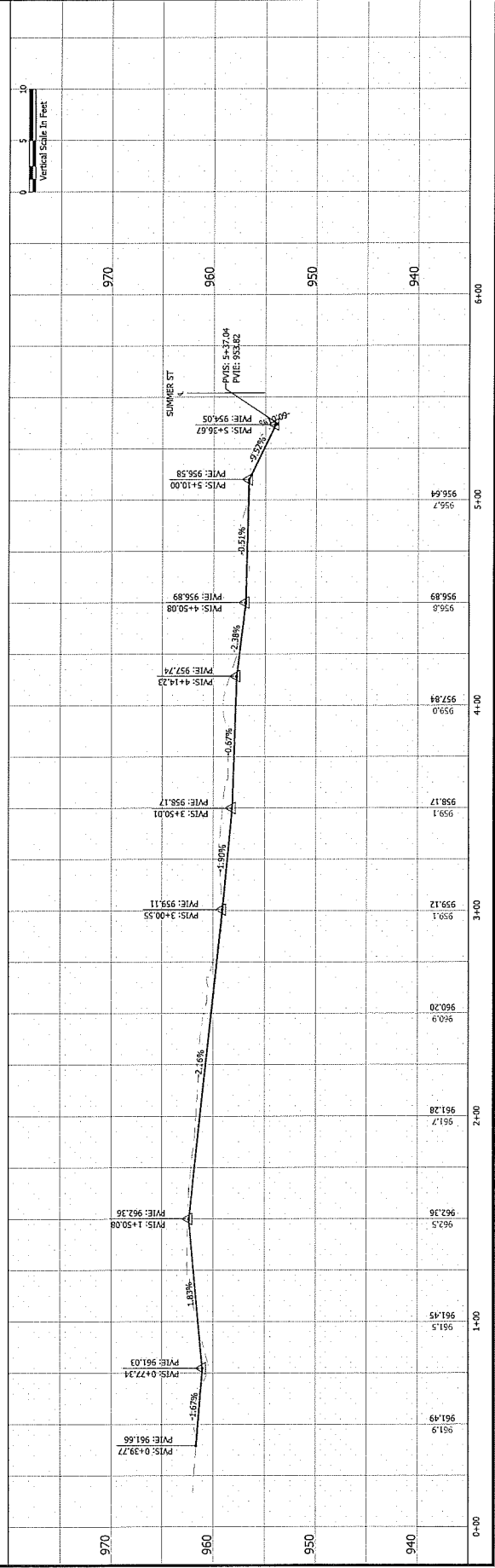


LAURDALE, MINNESOTA  
 2019 INFRASTRUCTURE IMPROVEMENTS  
 ALLEY IMPROVEMENTS

NO.	REVISION	DATE

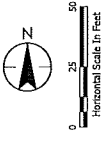
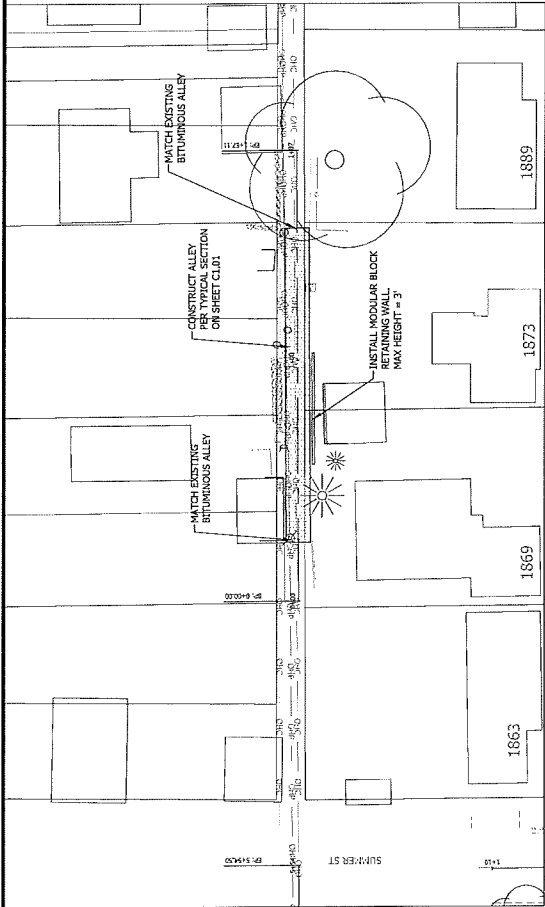


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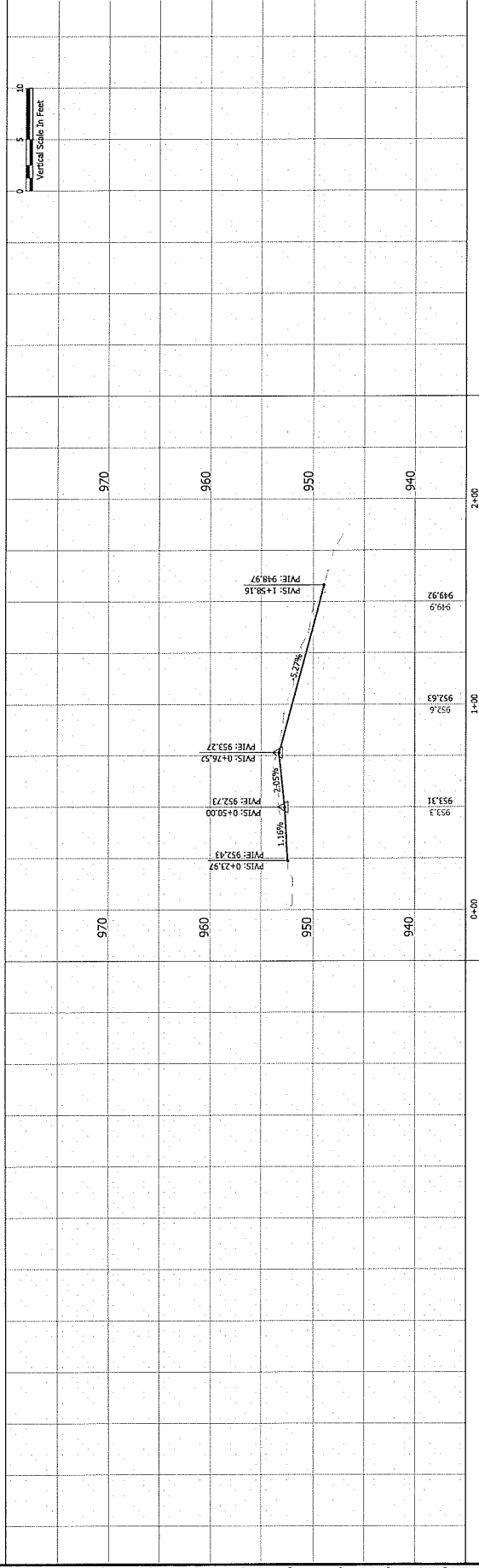


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DATE: \_\_\_\_\_

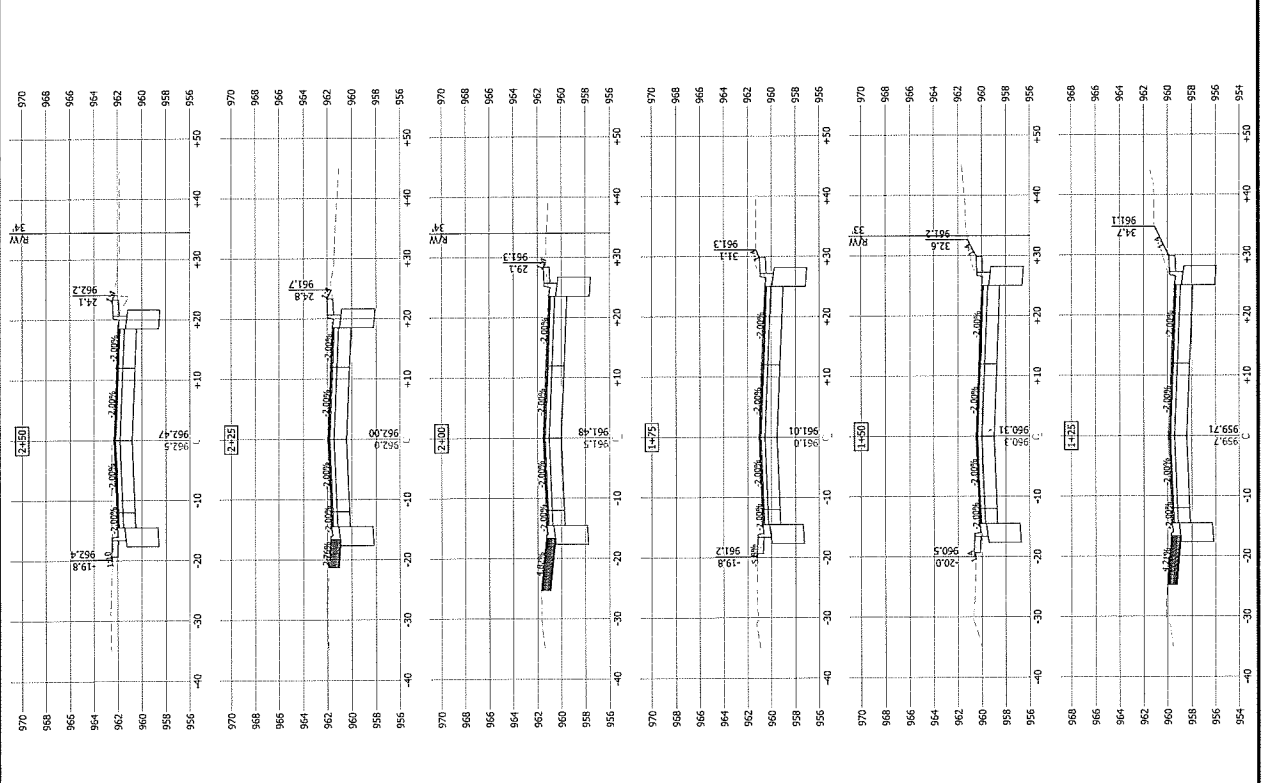
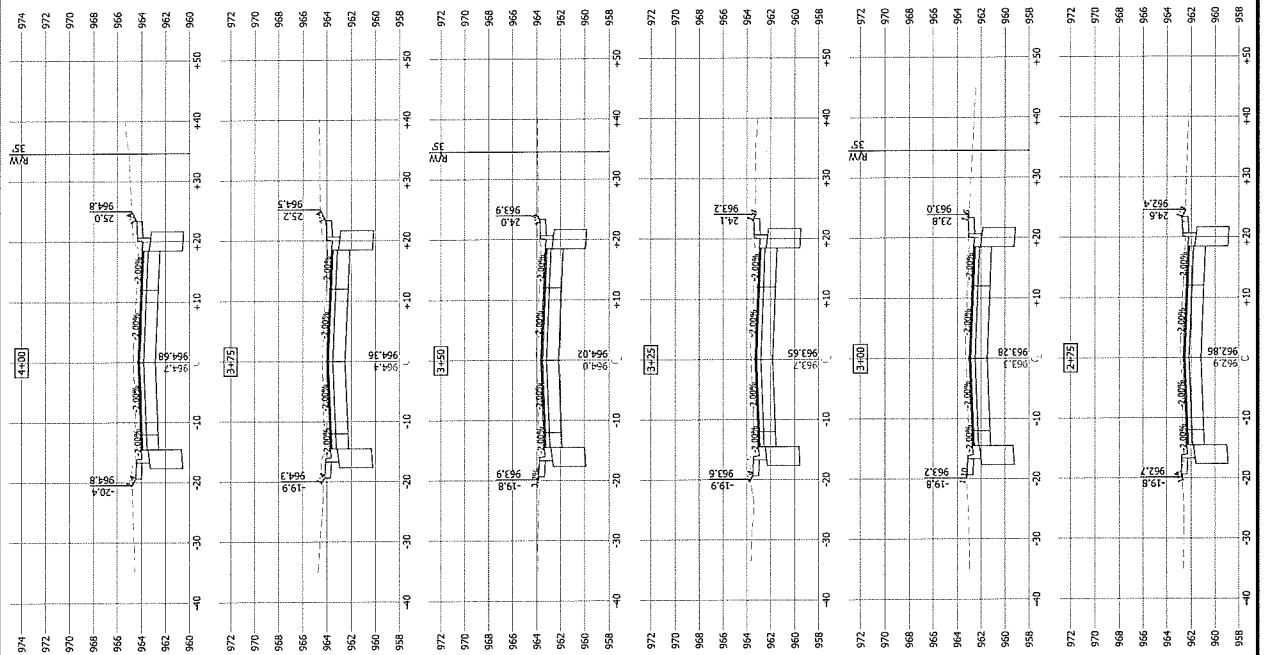


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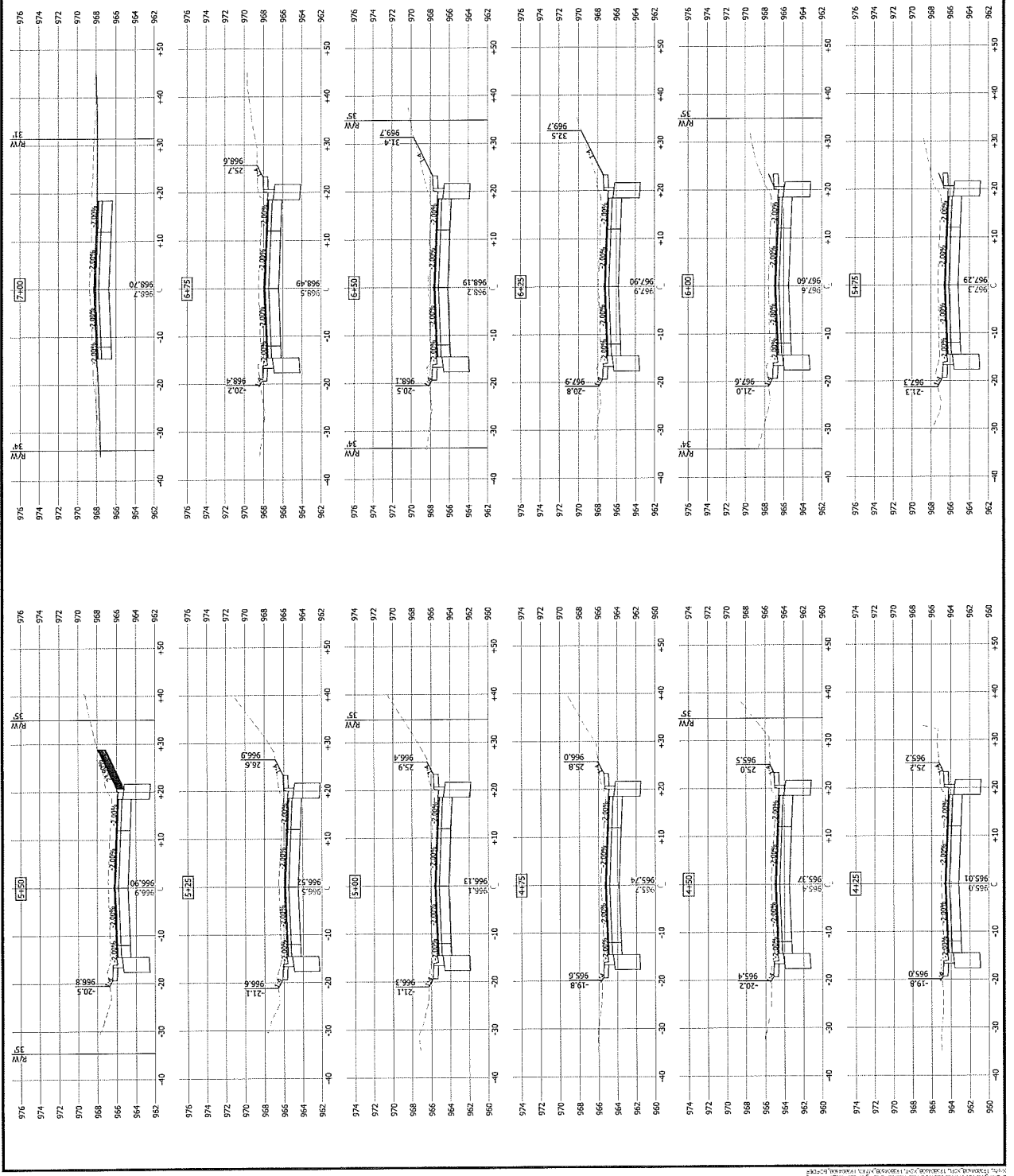
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SHEET: C6.06  
DATE: 05/28/19  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
APPROVED BY: [Name]  
STANTEC

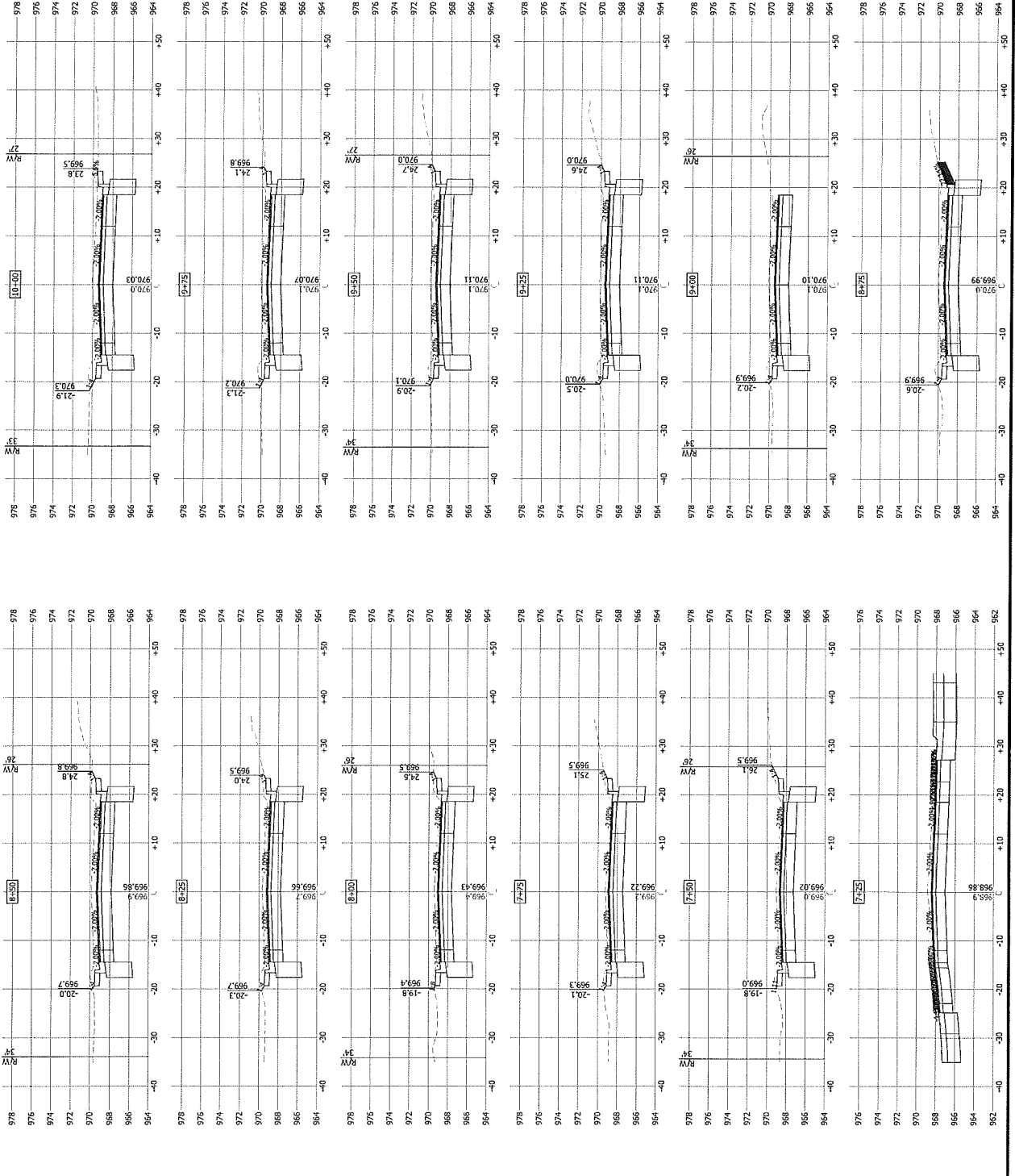
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NO.	REVISION	DATE

SHEET NUMBER  
**C7.02**





Plan Date: 05/28/13 10:30 AM  
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 Drawing Title: LAURDALE, MINNESOTA 2019 INFRASTRUCTURE IMPROVEMENTS CROSS SECTIONS - EUSIS  
 Scale: AS SHOWN  
 Author: JHEM/TSC/SGH  
 Checker: JHEM/TSC/SGH  
 In Charge: JHEM/TSC/SGH  
 Project No: 13-00000000-00000000  
 Sheet No: 00000000-00000000



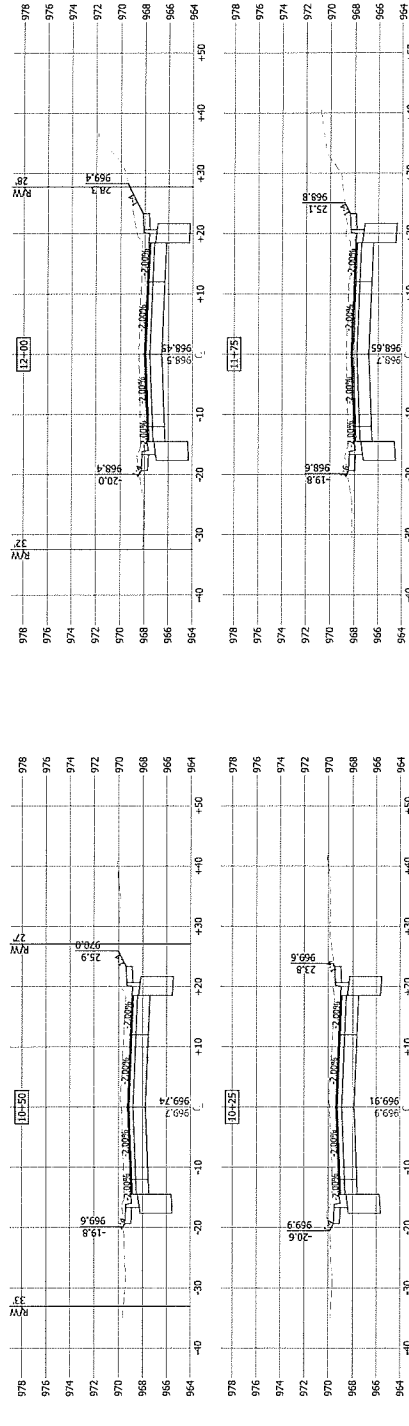
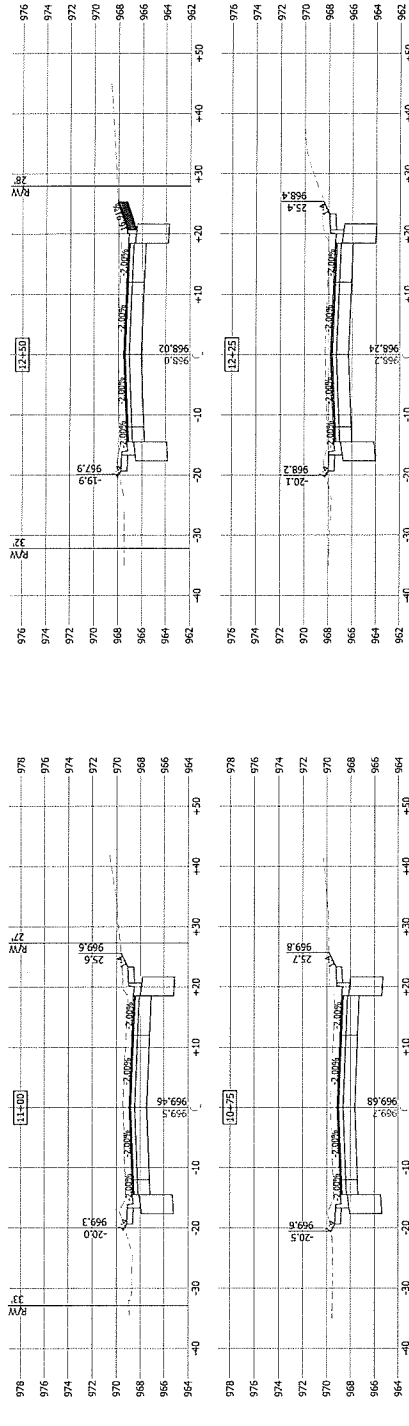
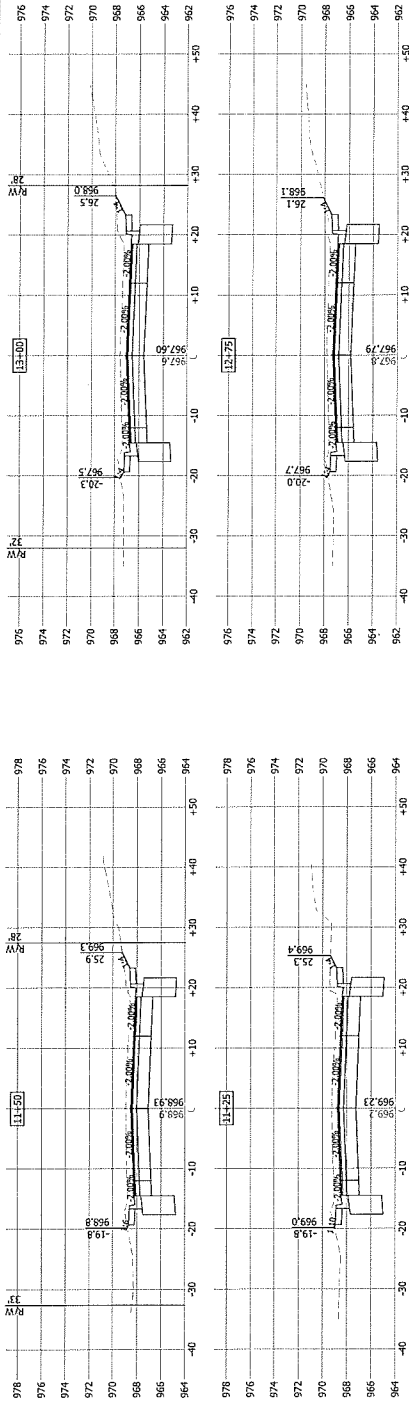
233 North Park Avenue, Suite 1000  
 Minneapolis, MN 55425  
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PROJECT: LAUDERDALE, MINNESOTA  
 SHEET: 2019 INFRASTRUCTURE IMPROVEMENTS  
 CROSS SECTIONS - EUSTIS

LAUDERDALE, MINNESOTA  
 2019 INFRASTRUCTURE IMPROVEMENTS  
 CROSS SECTIONS - EUSTIS

DESCRIPTION	DATE

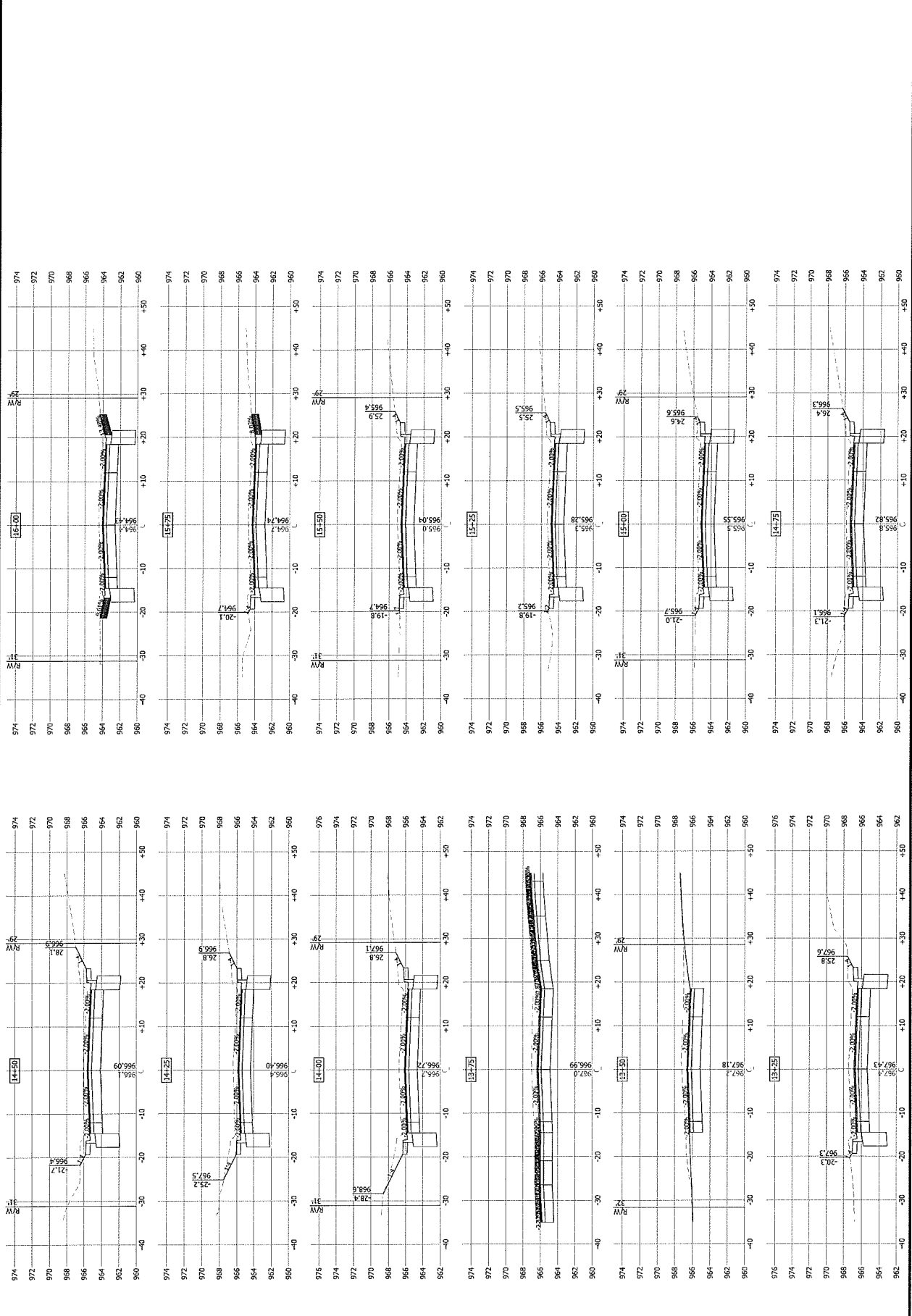
C7.04



1. ALL WORK SHALL BE IN ACCORDANCE WITH THE MINNESOTA STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.  
 2. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE PROJECT AREA AND HAS FOUND THE EXISTING CONDITIONS TO BE AS SHOWN ON THESE PLANS.  
 3. THE DESIGNER HAS ASSUMED THAT THE PROPOSED CONSTRUCTION WILL BE CONDUCTED IN ACCORDANCE WITH THE MINNESOTA STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE MINNESOTA STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.  
 2. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE PROJECT AREA AND HAS FOUND THE EXISTING CONDITIONS TO BE AS SHOWN ON THESE PLANS.  
 3. THE DESIGNER HAS ASSUMED THAT THE PROPOSED CONSTRUCTION WILL BE CONDUCTED IN ACCORDANCE WITH THE MINNESOTA STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.

DATE: 11/21/2019 10:48:42 AM  
 DRAWN BY: J. BROWN  
 CHECKED BY: J. BROWN  
 APPROVED BY: J. BROWN  
 PROJECT: 2019 INFRASTRUCTURE IMPROVEMENTS  
 SHEET: C7.05  
 TITLE: LAURDALE, MINNESOTA

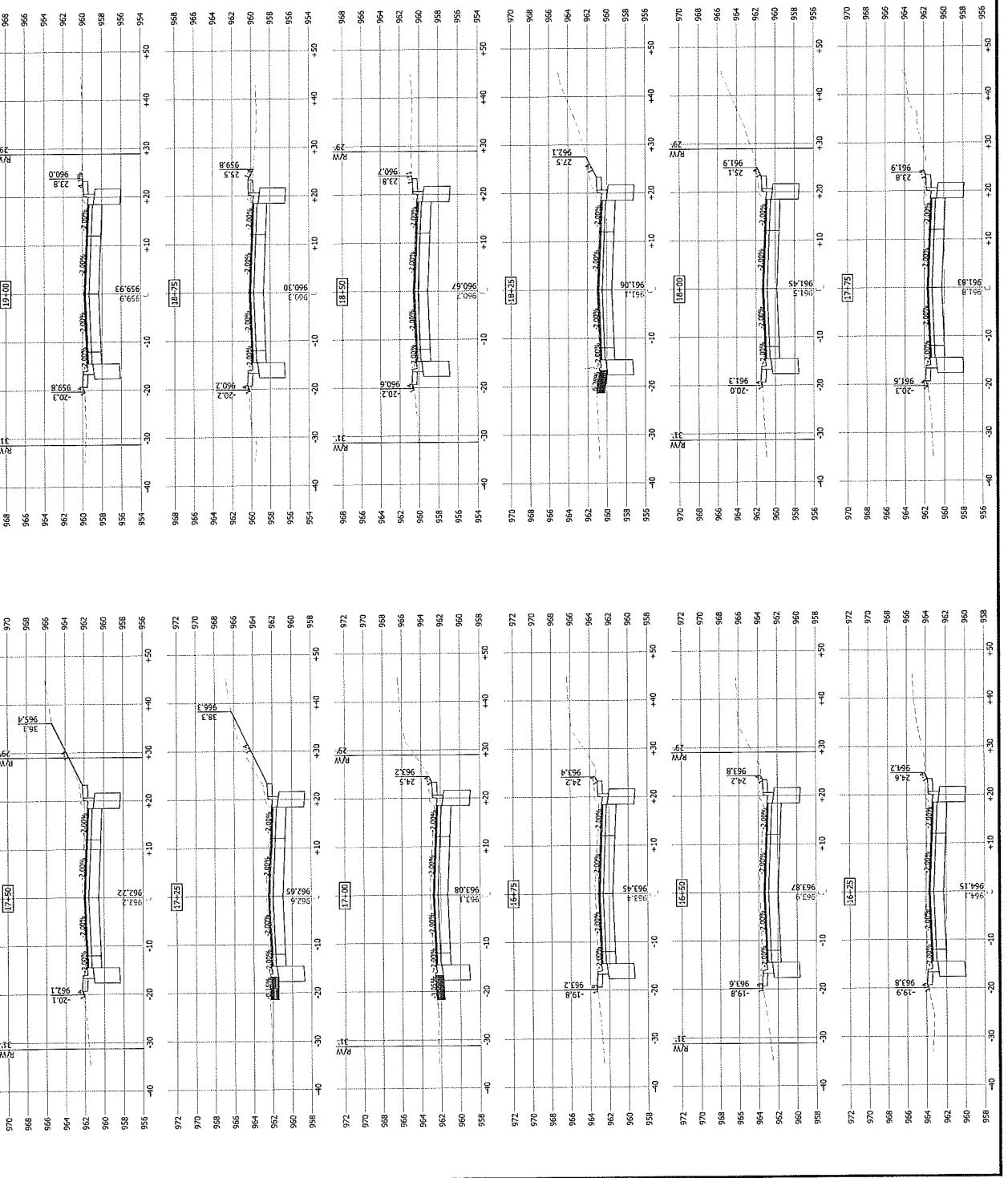


LAURDALE, MINNESOTA  
 2019 INFRASTRUCTURE IMPROVEMENTS  
 CROSS SECTIONS - EUSTIS

DATE: 11/21/2019 10:48:42 AM  
 DRAWN BY: J. BROWN  
 CHECKED BY: J. BROWN  
 APPROVED BY: J. BROWN  
 PROJECT: 2019 INFRASTRUCTURE IMPROVEMENTS  
 SHEET: C7.05  
 TITLE: LAURDALE, MINNESOTA

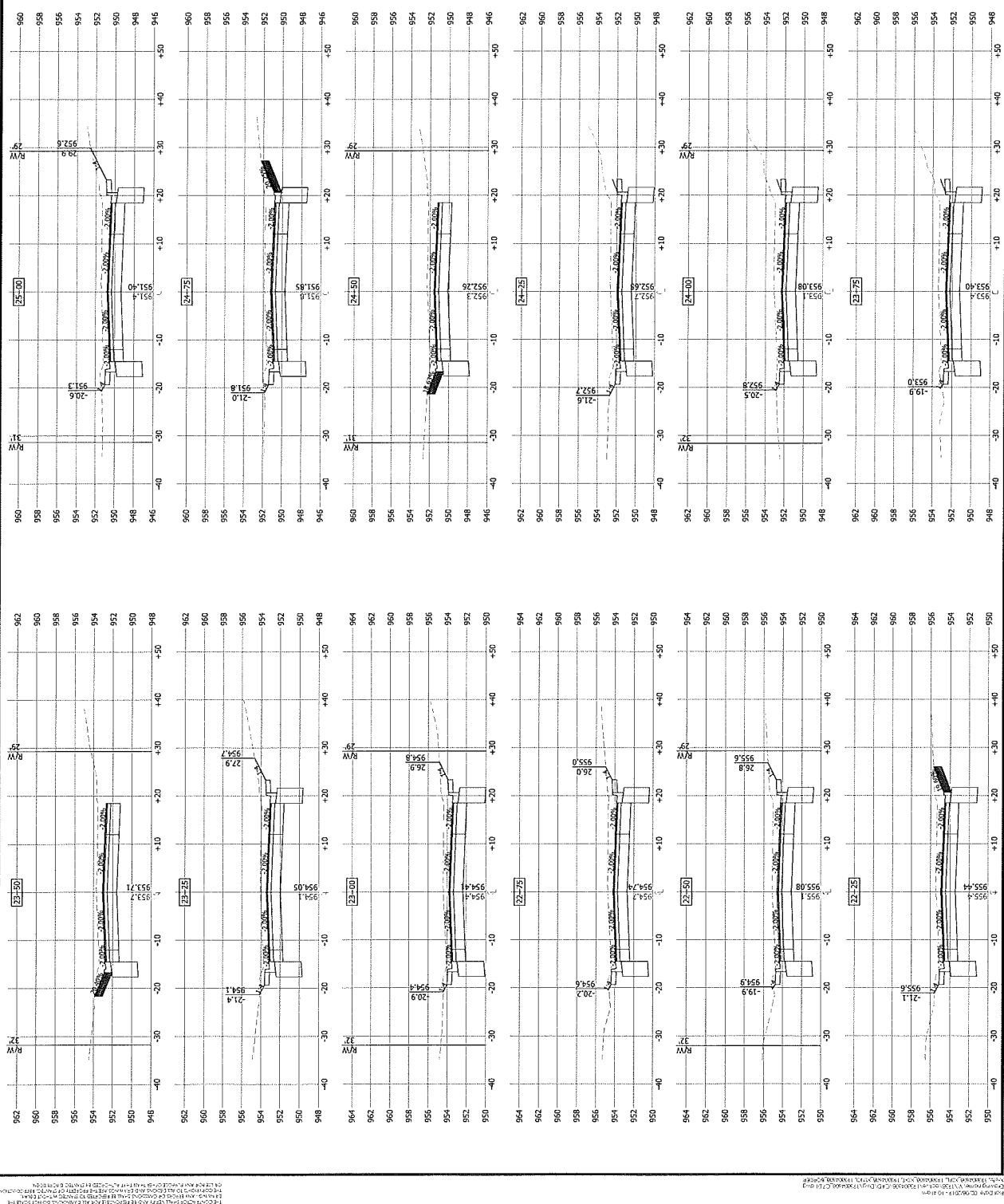
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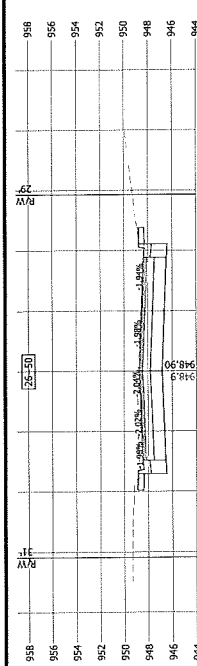
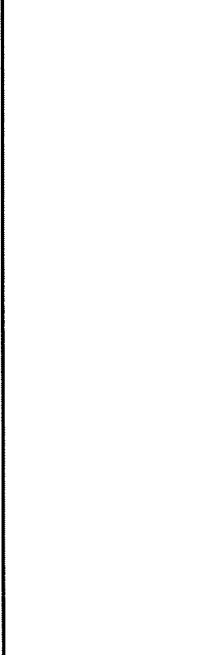
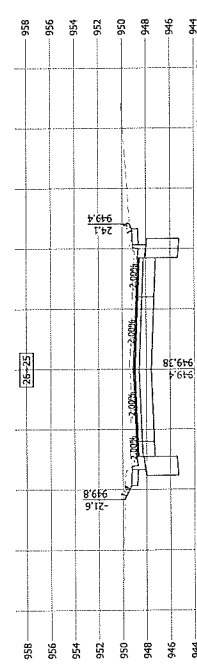
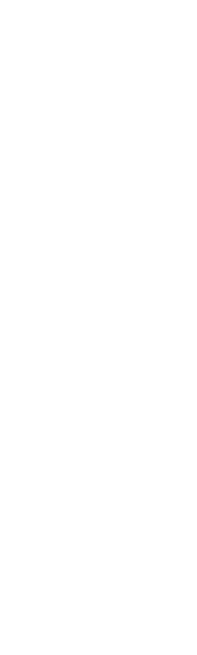
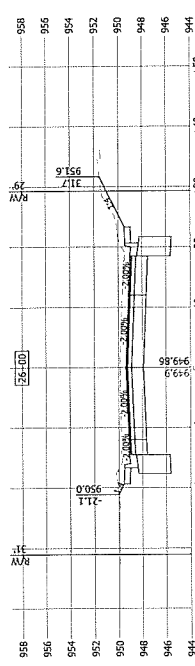
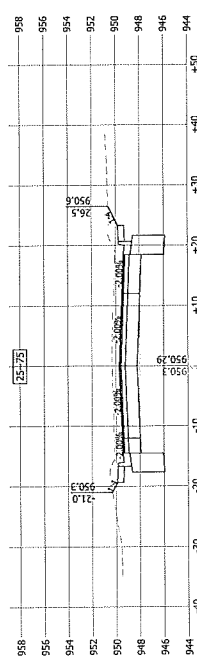
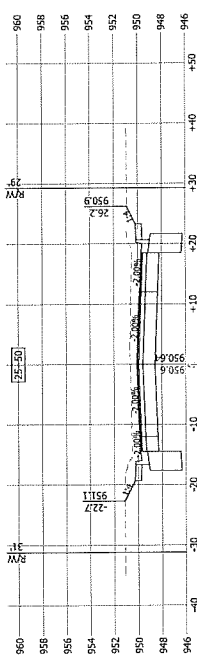
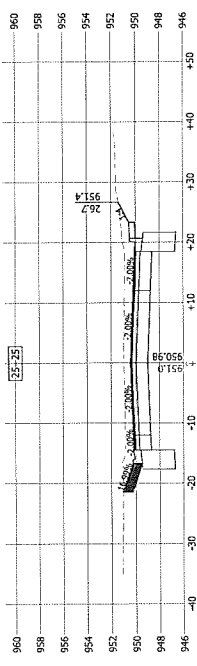
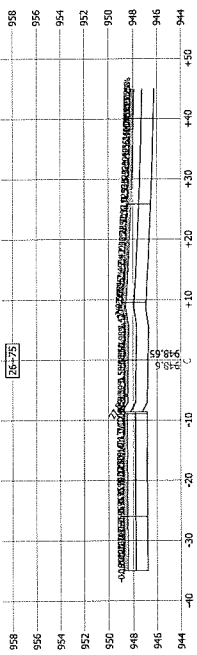






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 9. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE ROADWAY UNLESS OTHERWISE NOTED.  
 10. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE ROADWAY UNLESS OTHERWISE NOTED.



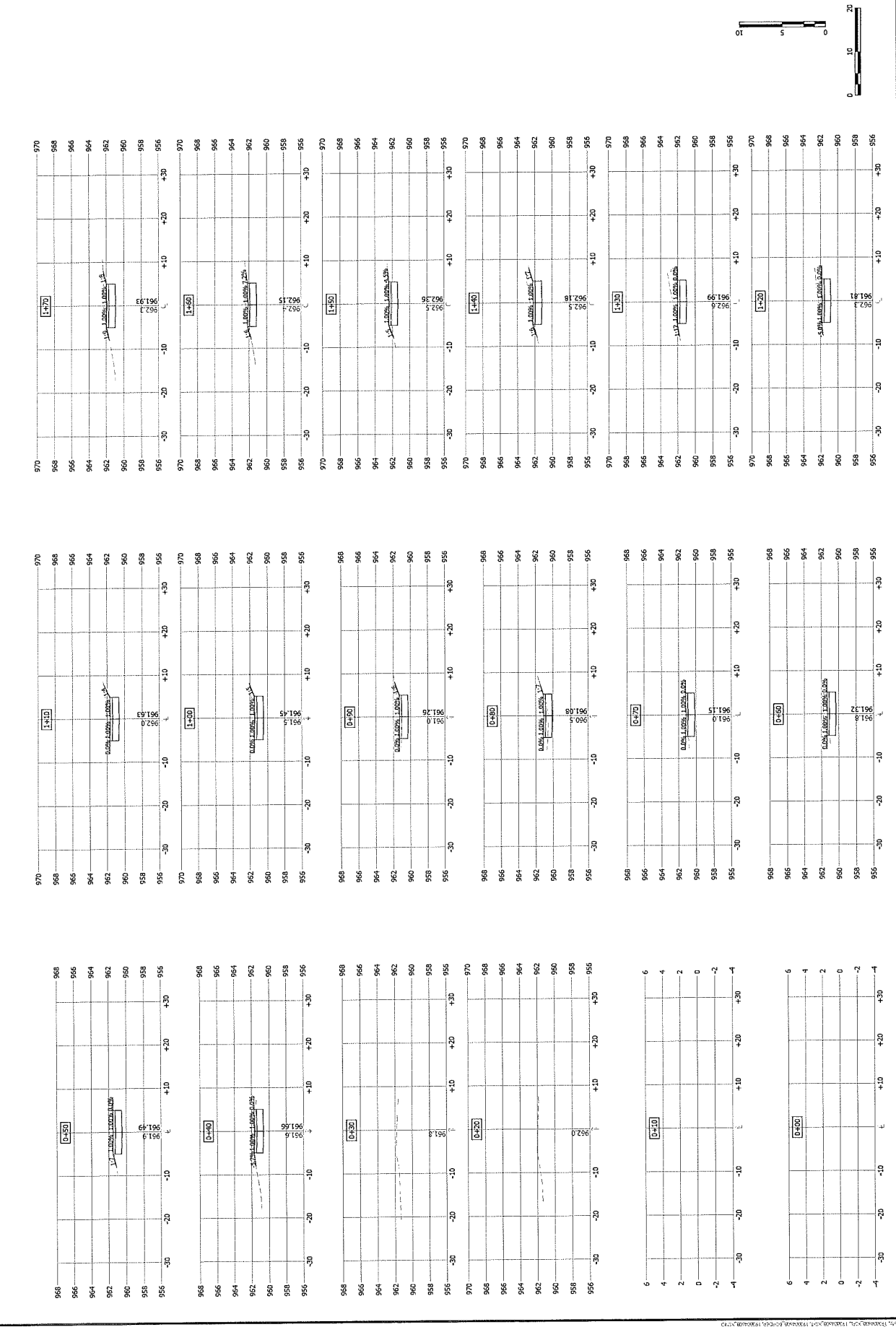
**Stantec**  
 2300 Ross Avenue, Suite 1000  
 Minneapolis, MN 55402  
 www.stantec.com

LAURDALE CENTER ROAD FROM LAURDALE CENTER ROAD TO LAURDALE CENTER ROAD  
 PROJECT: LAURDALE CENTER ROAD  
 DATE: 02/20/18  
 SHEET: 02 OF 02

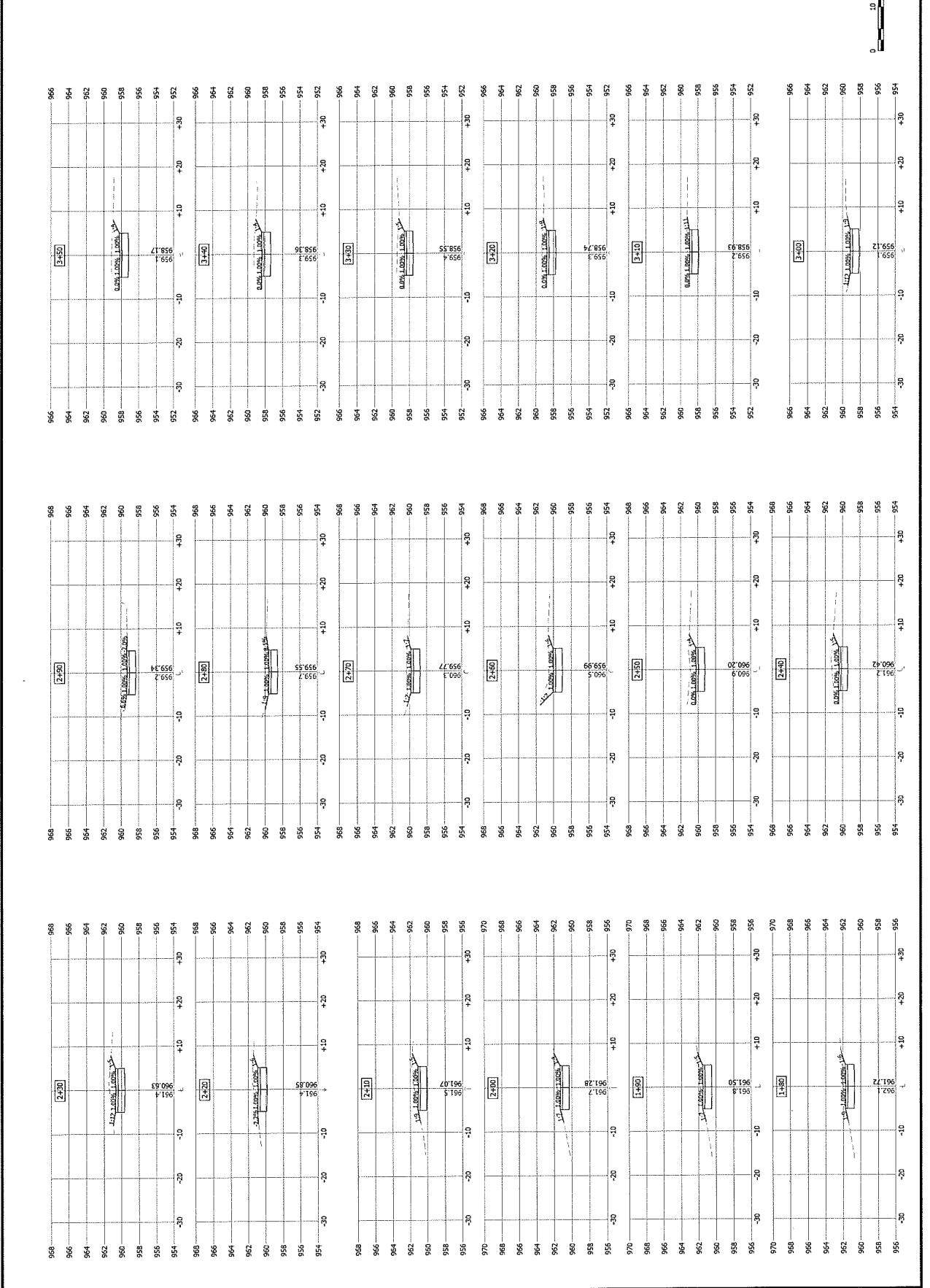
LAURDALE, MINNESOTA  
 2019 INFRASTRUCTURE IMPROVEMENTS  
 CROSS SECTIONS - EUSTIS

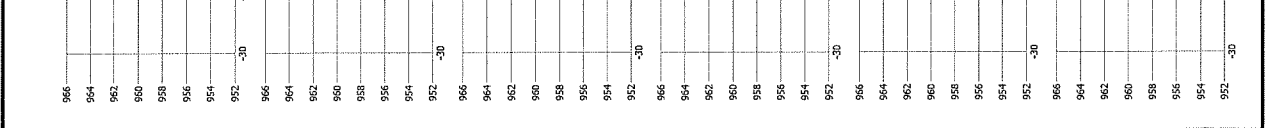
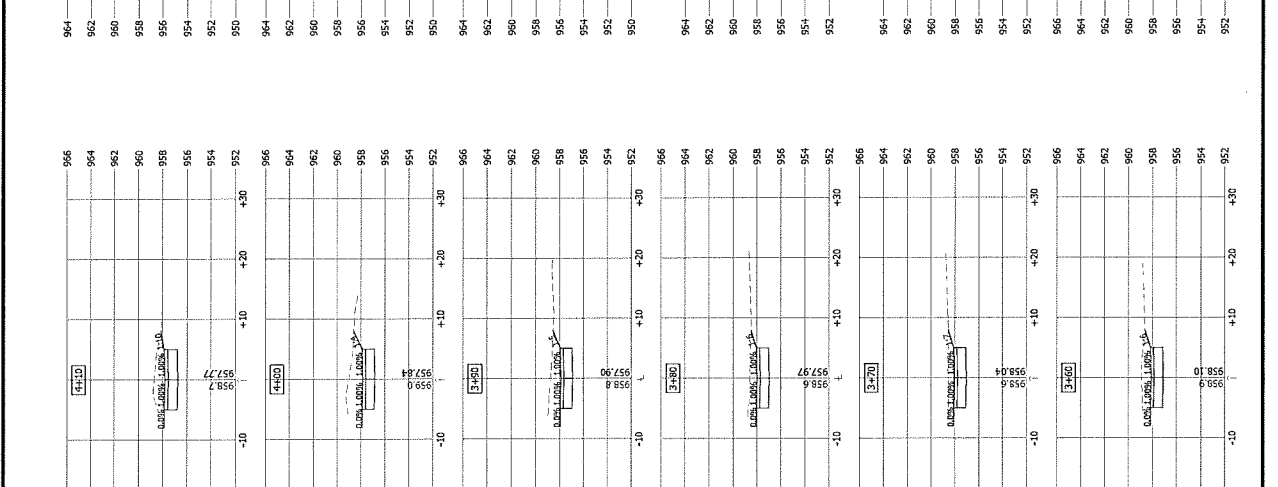
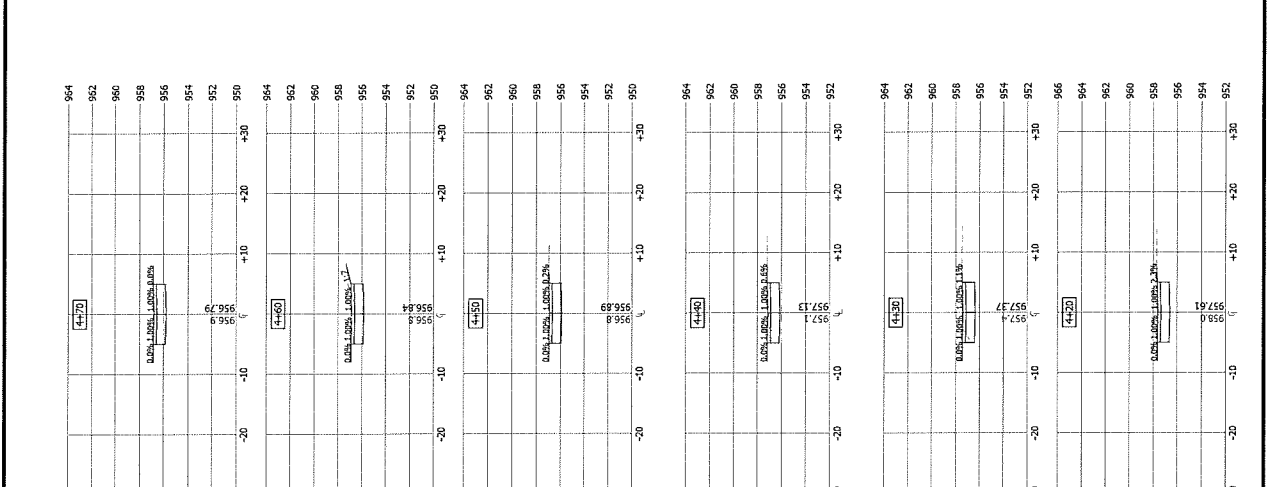
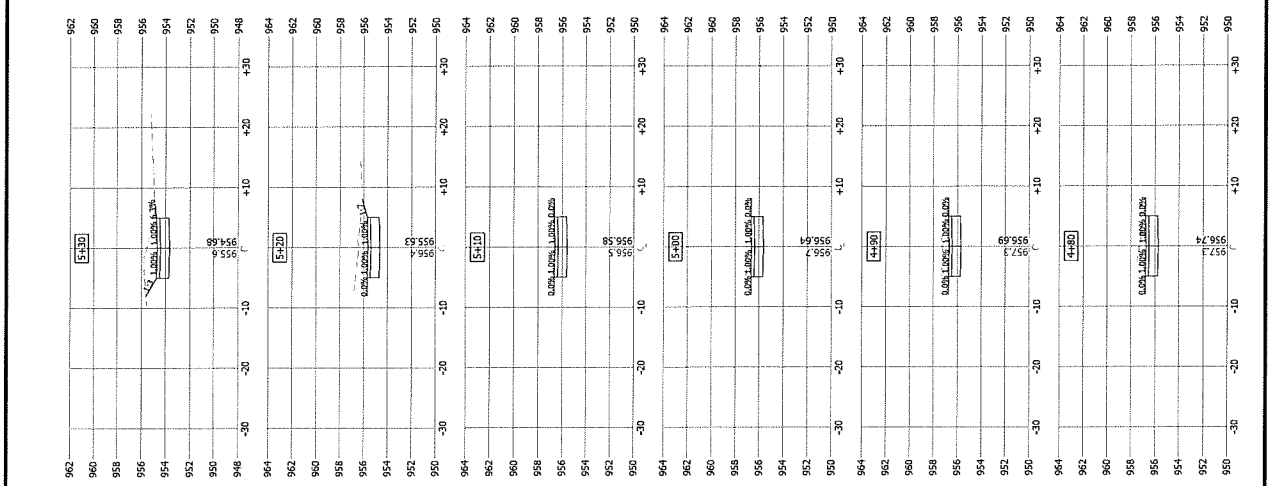
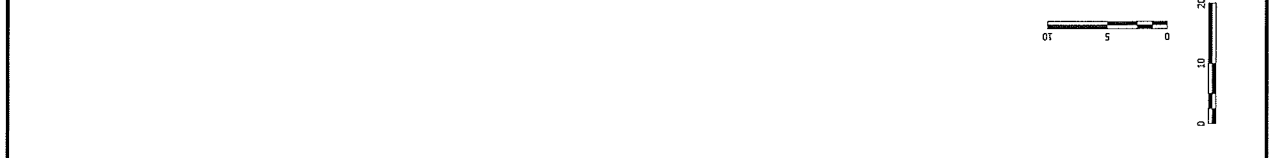
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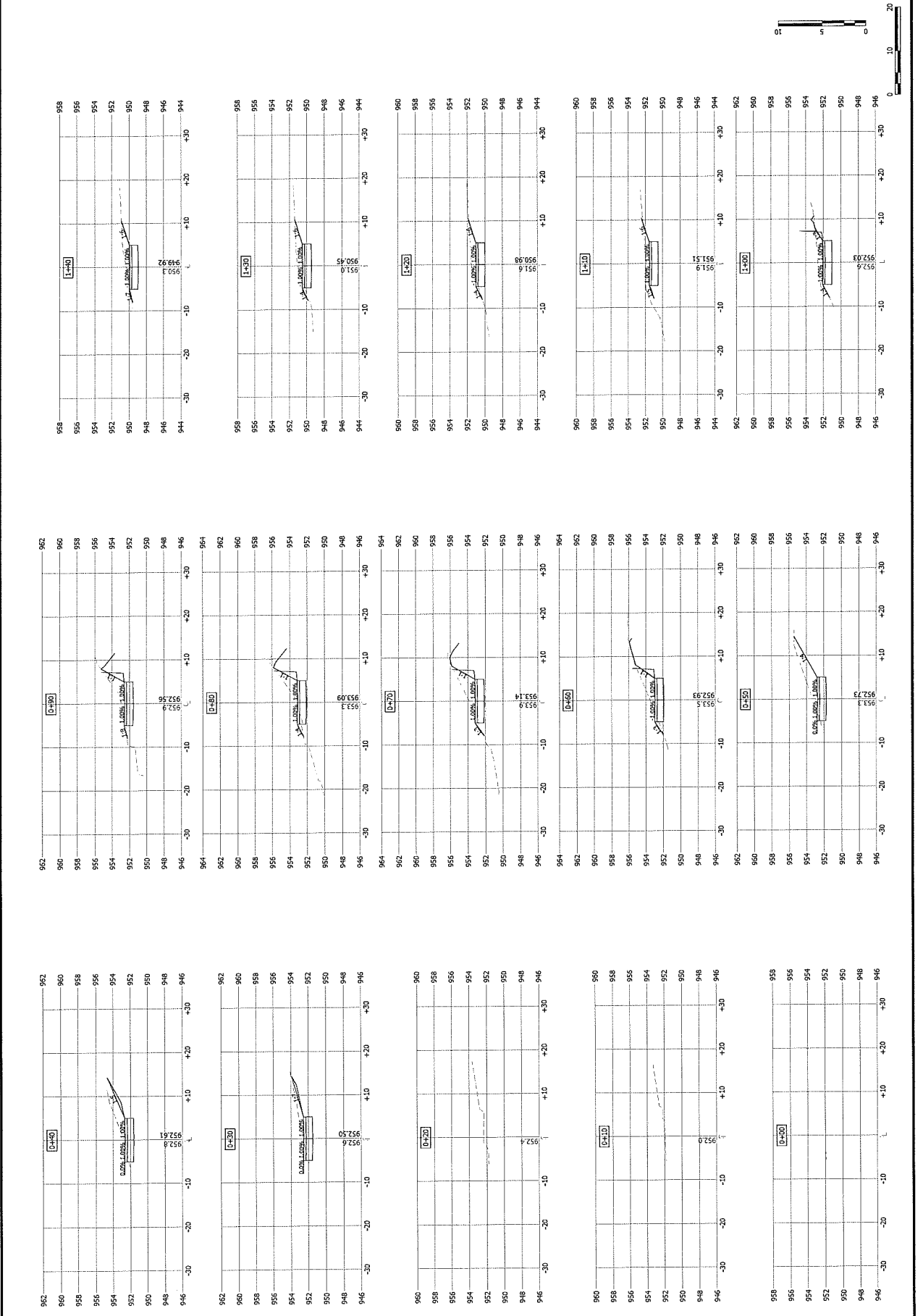


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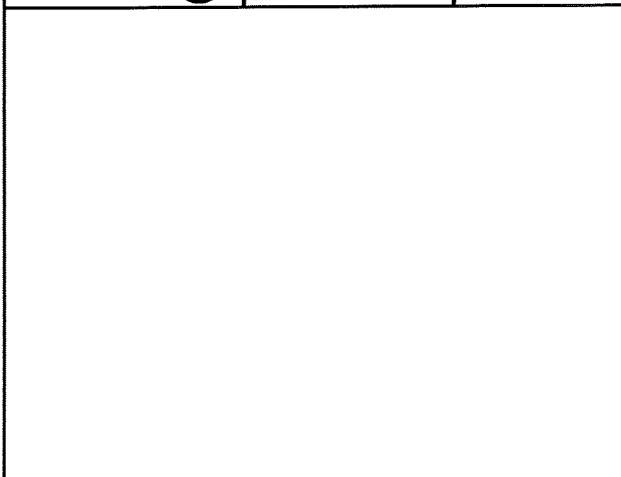


SECTION 11.01 - UTILITIES  
 11.01.01 - WATER, SEWER, AND STORMWATER UTILITIES  
 11.01.02 - ELECTRICAL UTILITIES  
 11.01.03 - TELEPHONE UTILITIES  
 11.01.04 - CABLE UTILITIES  
 11.01.05 - GAS UTILITIES  
 11.01.06 - OIL UTILITIES  
 11.01.07 - FUEL OIL UTILITIES  
 11.01.08 - NATURAL GAS UTILITIES  
 11.01.09 - STEAM UTILITIES  
 11.01.10 - RADIUM UTILITIES  
 11.01.11 - OTHER UTILITIES

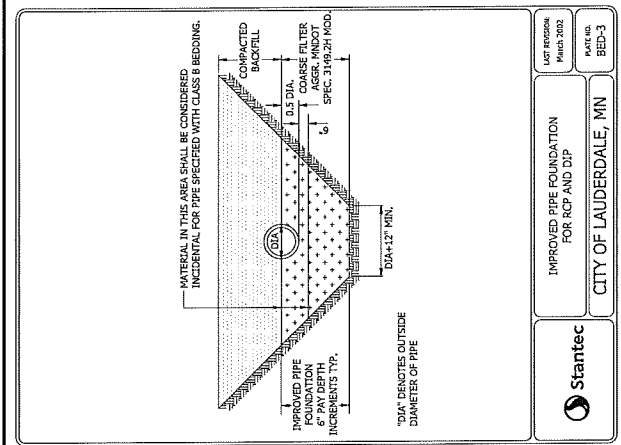




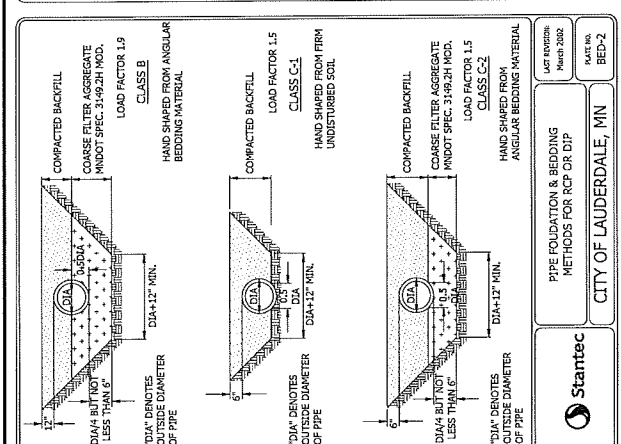




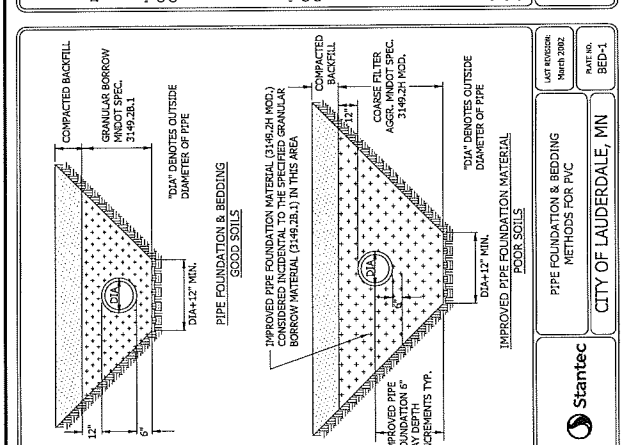
**Improved Pipe Foundation for RCP and DIP**  
CITY OF LAUDERDALE, MN  
LAST REVISION: March 2018  
PAGE NO.: BED-3



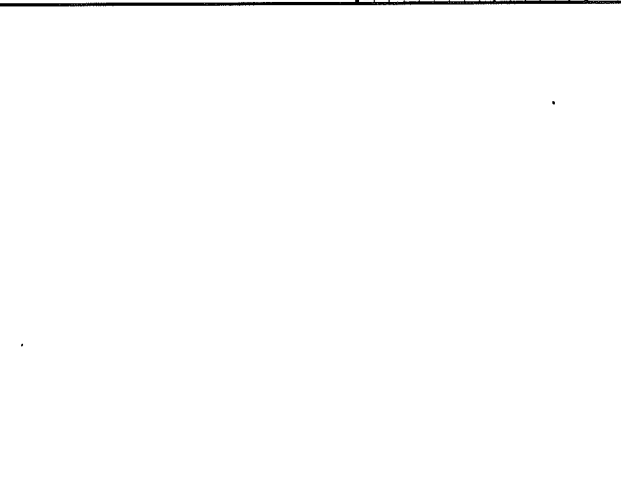
**Pipe Foundation & Bedding Methods for RCP or DIP**  
CITY OF LAUDERDALE, MN  
LAST REVISION: March 2018  
PAGE NO.: BED-2



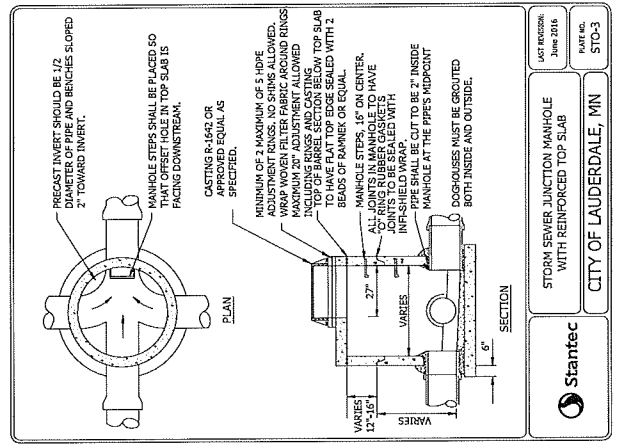
**Pipe Foundation & Bedding Methods for PVC**  
CITY OF LAUDERDALE, MN  
LAST REVISION: March 2018  
PAGE NO.: BED-1



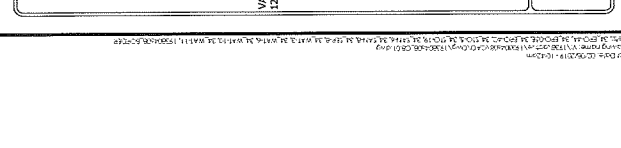
**Storm Sewer Junction Manhole with Reinforced Top Slab**  
CITY OF LAUDERDALE, MN  
LAST REVISION: June 2016  
PAGE NO.: STO-3



**Catchbasin Manhole with Sump**  
CITY OF LAUDERDALE, MN  
LAST REVISION: March 2018  
PAGE NO.: STO-6



**Improved Pipe Foundation for RCP and DIP**  
CITY OF LAUDERDALE, MN  
LAST REVISION: March 2018  
PAGE NO.: BED-2

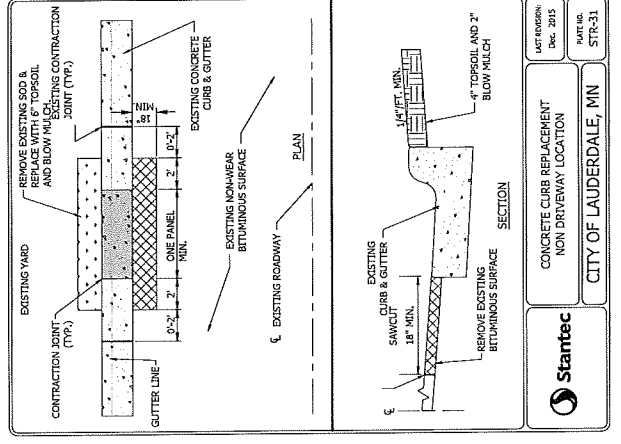


**Storm Sewer Junction Manhole with Reinforced Top Slab**  
CITY OF LAUDERDALE, MN  
LAST REVISION: June 2016  
PAGE NO.: STO-3



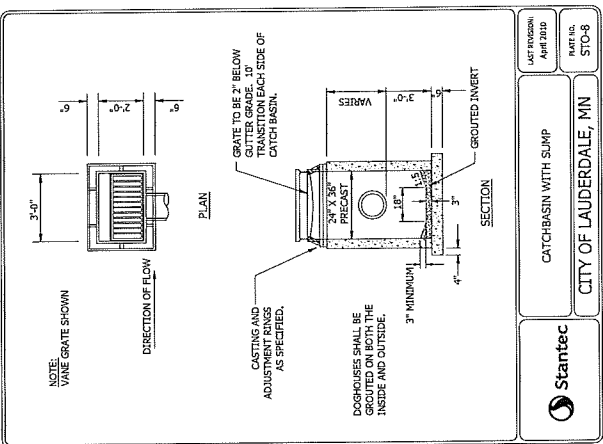
**Stantec**  
CITY OF LAURDALE, MN  
CURB AND GUTTER  
PART NO. STR-1  
LAST REVISION: Dec. 2015

**NOTE:** Options as shown, unless curb crossable utility trenches with 3" of cover.



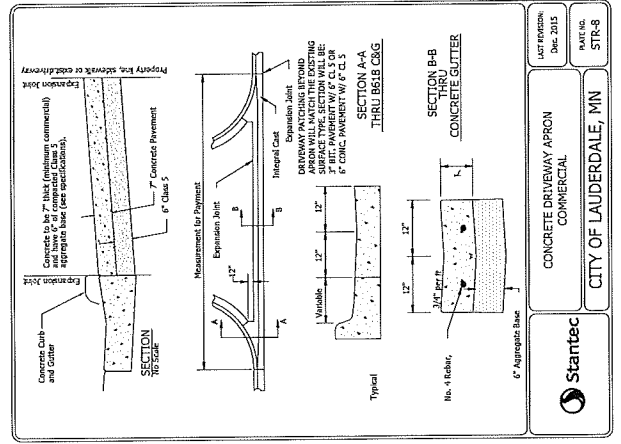
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CITY OF LAURDALE, MN  
CONCRETE CURB REPLACEMENT  
NON DRIVEWAY LOCATION  
PART NO. STR-31  
LAST REVISION: Dec. 2015

**NOTE:** Options as shown, unless curb crossable utility trenches with 3" of cover.



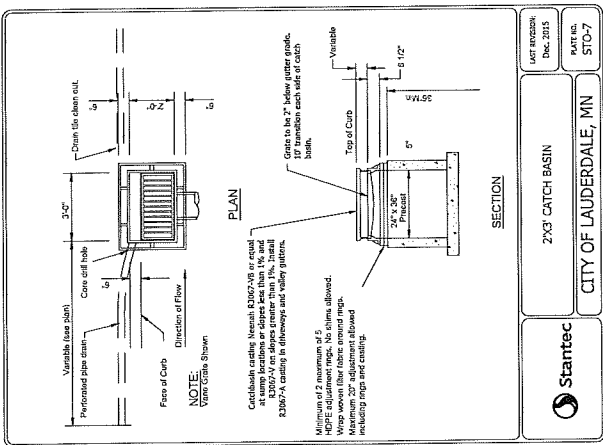
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CITY OF LAURDALE, MN  
CATCH BASIN WITH SUMP  
PART NO. STO-8  
LAST REVISION: April 2010

**NOTE:** VANE GRATE SHOWN  
DIRECTION OF FLOW  
CASTING AND ADJUSTMENT RINGS AS SPECIFIED.  
DOCKWORK SHALL BE GROUDED ON BOTH THE INSIDE AND OUTSIDE.



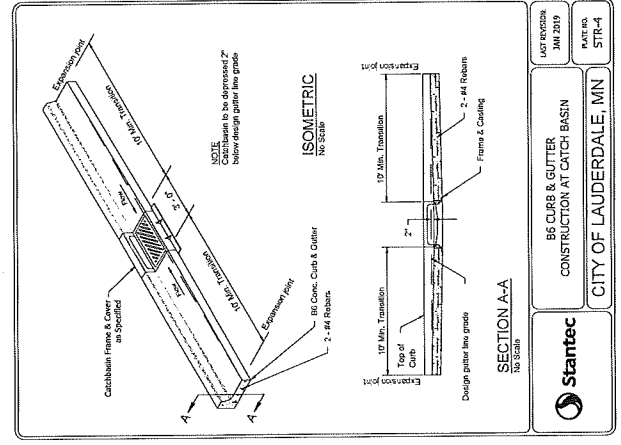
**Stantec**  
CITY OF LAURDALE, MN  
CONCRETE DRIVEWAY APRON  
COMMERCIAL  
PART NO. STR-8  
LAST REVISION: Dec. 2015

**NOTE:** Concrete curb and gutter to be 7" thick (minimum commercial) appropriate base (see specifications).  
Expansion Joint  
Integral Curb  
DRIVEWAY FINISHING INTO ROAD SURFACE TYPE SECTION WILL BE BITT PAVEMENT W/ 2\"/>



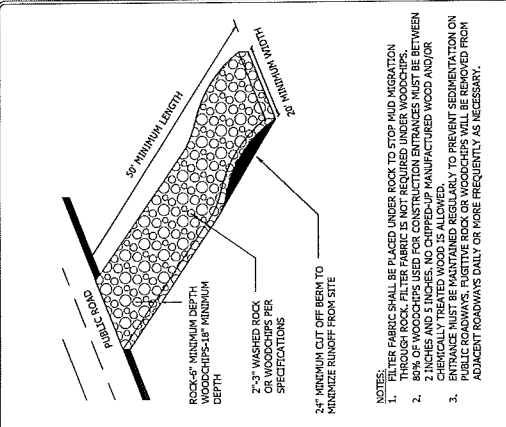
**Stantec**  
CITY OF LAURDALE, MN  
2'x3' CATCH BASIN  
PART NO. STO-7  
LAST REVISION: Dec. 2015

**NOTE:** VANE GRATE SHOWN  
DIRECTION OF FLOW  
Gridlines casting beneath 2300A/B or equal at 3000A/B or above greater than 18\"/>



**Stantec**  
CITY OF LAURDALE, MN  
BS CURB & GUTTER  
CONSTRUCTION AT CATCH BASIN  
PART NO. STR-4  
LAST REVISION: Jan 2010

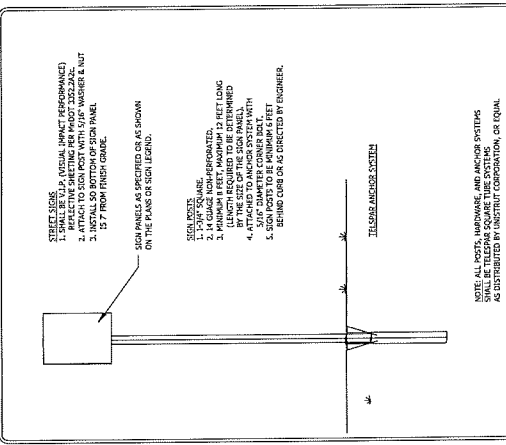
**NOTE:** Catchbasin to be depressed 2\"/>



**Stantec**

ROCK CONSTRUCTION ENTRANCE  
CITY OF LAUDERDALE, MN

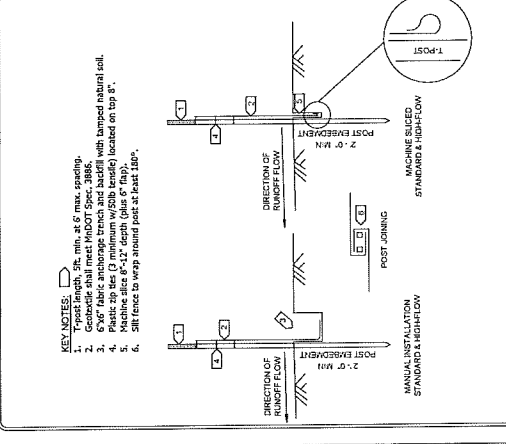
LAST ENGINEER: Jan 2015  
PART NO.: ERD-7



**Stantec**

TYPICAL TRAFFIC SIGN INSTALLATION  
BOULEVARD  
CITY OF LAUDERDALE, MN

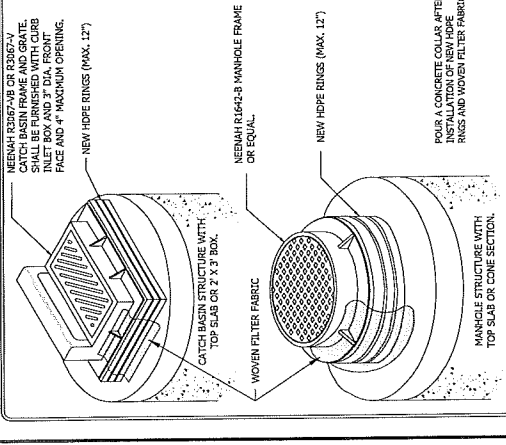
LAST ENGINEER: Jan 2016  
PART NO.: STR-24



**Stantec**

SILT FENCE INSTALLATION  
CITY OF LAUDERDALE, MN

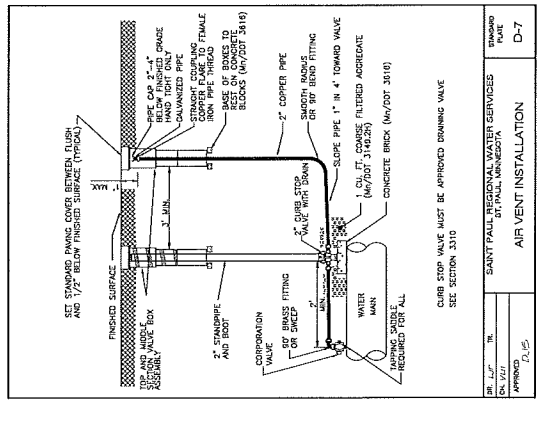
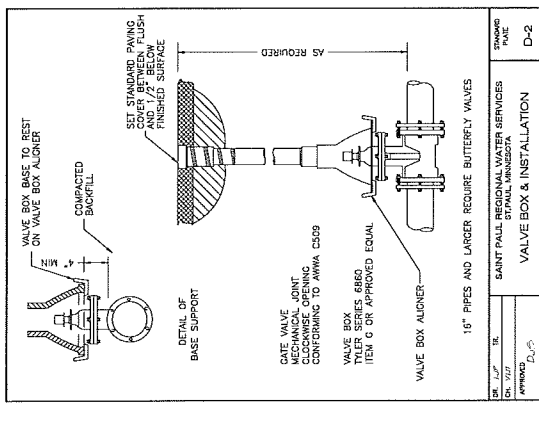
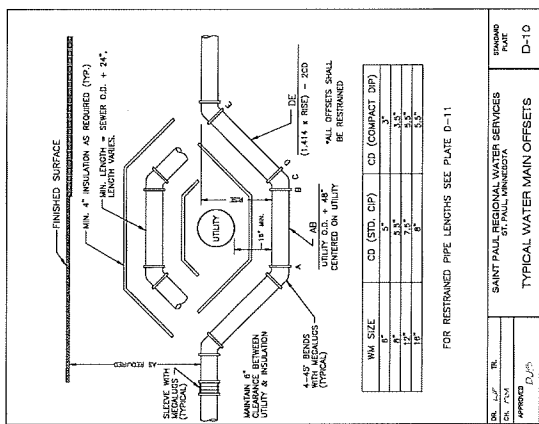
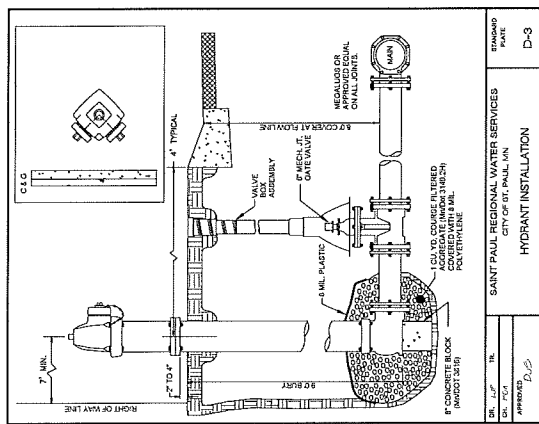
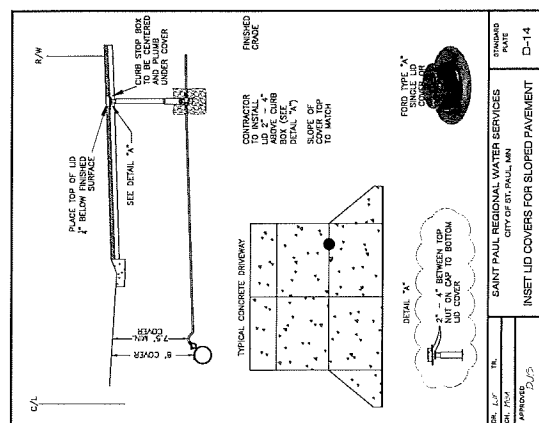
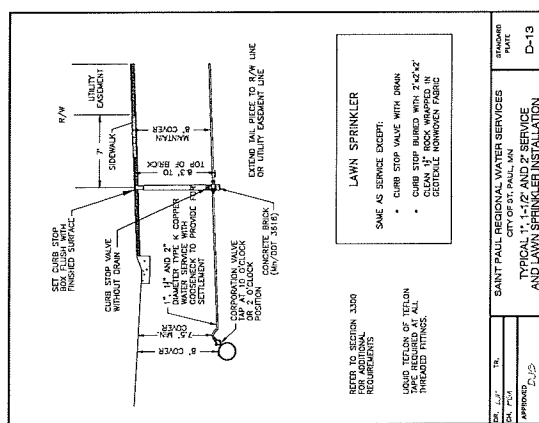
LAST ENGINEER: Jan 2005  
PART NO.: ERD-1



**Stantec**

CATCH BASIN & MANHOLE ADJUSTMENT  
CITY OF LAUDERDALE, MN

LAST ENGINEER: Dec 2015  
PART NO.: STR-18



## LAUDERDALE COUNCIL ACTION FORM

### Action Requested

Consent \_\_\_\_\_  
Public Hearing \_\_\_\_\_  
Discussion   X    
Action   X    
Resolution   X    
Work Session \_\_\_\_\_

Meeting Date February 12, 2019

ITEM NUMBER Hazardous Mitigation Plan

STAFF INITIAL AB

APPROVED BY ADMINISTRATOR

### DESCRIPTION OF ISSUE AND PAST COUNCIL ACTION:

Last summer, staff worked with Ramsey County Emergency Management on updating the county-wide Hazardous Mitigation Plan. Attached to this memo is a resolution for adoption, a letter from FEMA, and the "Lauderdale" portion of the plan. The entire plan is over 600 pages; staff can provide a link if you would like to view that document.

With the adoption of this plan, Ramsey County will be eligible for federal funding should a disaster happen in the county.

### OPTIONS:

### STAFF RECOMMENDATION:

Motion to adopt Resolution 021219B—A Resolution Adopting the Ramsey County Multi-Hazard Mitigation Plan.

**RESOLUTION NO. 021219B**

**CITY OF LAUDERDALE  
COUNTY OF RAMSEY  
STATE OF MINNESOTA**

**A RESOLUTION ADOPTING THE  
RAMSEY COUNTY MULTI-HAZARD MITIGATION PLAN**

**WHEREAS**, the City of Lauderdale has participated in the hazard mitigation planning process as established under the Disaster Mitigation Act of 2000, and

**WHEREAS**, the Act establishes a framework for the development of a multi-jurisdictional County Hazard Mitigation Plan; and

**WHEREAS**, the Act as part of the planning process requires public involvement and local coordination among neighboring local units of government and businesses; and

**WHEREAS**, the Ramsey County Multi-Hazard Mitigation Plan includes a risk assessment including past hazards, hazards that threaten Ramsey County, an estimate of structures at risk, a general description of land uses and development trends; and

**WHEREAS**, the Ramsey County Multi-Hazard Mitigation Plan includes a mitigation strategy including goals and objectives and an action plan identifying specific mitigation projects and costs; and

**WHEREAS**, the Ramsey County Multi-Hazard Mitigation Plan includes a maintenance or implementation process including plan updates, integration of the plan into other planning documents and how Ramsey County will maintain public participation and coordination; and

**WHEREAS**, the Plan has been shared with the Minnesota Division of Homeland Security and Emergency Management and the Federal Emergency Management Agency for review and comment; and

**WHEREAS**, the Ramsey County Multi-Hazard Mitigation Plan will make the county and participating jurisdictions eligible to receive FEMA hazard mitigation assistance grants; and

**WHEREAS**, this is a multi-jurisdictional Plan and cities that participated in the planning process may choose to also adopt the County Plan.

**NOW THEREFORE BE IT RESOLVED**, that the City of Lauderdale supports the hazard mitigation planning effort and wishes to adopt the Ramsey County Multi-Hazard Mitigation Plan.

**ADOPTED** by the City Council of Lauderdale this 22<sup>nd</sup> day of January, 2019.

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Mary Gaasch, Mayor

ATTEST:

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Heather Butkowski, City Administrator



**FEMA**

January 28, 2019

Ms. Jennifer Nelson  
Homeland Security and Emergency Management  
Minnesota Department of Public Safety  
444 Cedar Street, Suite 223  
Saint Paul, MN 55101

Dear Ms. Nelson:

Thank you for submitting the Ramsey County All Hazards Mitigation Plan update for our review. The plan was reviewed based on the local plan criteria contained in 44 CFR Part 201, as authorized by the Disaster Mitigation Act of 2000. Ramsey County met the required criteria for a multi-jurisdictional local hazard mitigation plan. Formal approval of this plan is contingent upon the adoptions by the participating jurisdictions. Once FEMA Region V receives documentation of adoption from the county and other jurisdictions, we will send a letter of official approval to your office.

We look forward to receiving the adoption documentation and completing the approval process for Ramsey County.

If you or the community representatives have any questions, please contact Christine Meissner at (312) 408-4460 or at [christine.meissner@fema.dhs.gov](mailto:christine.meissner@fema.dhs.gov).

Sincerely,

A handwritten signature in cursive script that reads "Melissa A. Janssen".

Melissa A. Janssen  
Chief, Risk Analysis Branch  
Mitigation Division

Attachments: Local Plan Review Sheets



Table G - 4. Mitigation Actions Identified for Implementation by the City of Lauderdale (2018-2022) (From Ramsey County Master Mitigation Action Chart)

#	Hazard	Mitigation Strategy	City of Lauderdale Mitigation Action	Status	Priority Ranking	Time-frame	Jurisdictions	Responsibility	County/City Comments on Planning Mechanisms for Implementation	Possible Funding
1	All-Hazards	Mitigation Preparedness & Response Support	Continue to ensure that all Ramsey County residents are aware of and sign-up for the County's Everbridge Emergency Notification System.	Ongoing	High	2018-2022	Ramsey County, Arden Hills, Falcon Heights, Gem Lake, Lauderdale, Little Canada, Maplewood, Mounds View, New Brighton, North Oaks, North St. Paul, Roseville, Shoreview, Vadnais Heights, White Bear Lake, White Bear Township	Ramsey County Emergency Management & Homeland Security (RCEMHS) & Municipal Emergency Management Agencies (EMAs)	This is a new effort of Ramsey County EMHS being rolled out in 2018. A link for the Everbridge for community sign up is provided on the Ramsey County EMHS website, and reminders are also posted using the Ramsey County EMHS Facebook Page. In addition to Everbridge, the County has IPAWS capabilities for targeted and county-wide emergency notifications.  All city jurisdictions within the County are encouraged to promote sign up for the Everbridge system using their means of public outreach (websites, social media, local media).	County, municipal funding

*City Comment: In addition to access to the County's Everbridge system, the City has an email notification system for residents to receive emergency alerts.*

#	Hazard	Mitigation Strategy	City of Lauderdale Mitigation Action	Status	Priority Ranking	Time-frame	Jurisdictions	Responsibility	County/City Comments on Planning Mechanisms for Implementation	Possible Funding
4	All-Hazards	Local Planning & Regulations	Update County/City Comprehensive Plans and Zoning Ordinances to include mitigation considerations that help to reduce risk from natural hazards. Utilize data of past hazard events and future climate projections to help inform updates.	Ongoing	High	2018-2022	Ramsey County, Arden Hills, Falcon Heights, Gem Lake, <b>Lauderdale</b> , Little Canada, Maplewood, Mounds View, New Brighton, North Oaks, North St. Paul, Roseville, Shoreview, Vadnais Heights, White Bear Lake, White Bear Township	RCEMHS in coordination with Ramsey County Community and Economic Development and local municipal administrators, Planning & Zoning Committees	Ramsey County has a "2030 Comprehensive Plan" prepared to meet the requirements of the Metropolitan Land Planning Act and the Metropolitan Council's 2030 Regional Development Framework. Ramsey County will encourage municipalities to update their local Comprehensive Plans to include considerations for mitigation in land use planning to reduce future risk due to natural hazards (i.e., flooding).  <i>City Comment: We have a 20-year Comprehensive Plan (2008) that is designed to plan physical growth of the City and appropriate land uses. A new plan is being produced and expected to be completed in 2018.</i>	County funding
6	All-Hazards	Local Planning & Regulations	Continue to update Emergency Operation Plans and COOP/COG plans to ensure that they adequately detail the needed steps to respond to all-hazards and ensure continuity of key government functions in the event of a disaster.	Ongoing	High	2018-2022	Ramsey County, Arden Hills, Falcon Heights, Gem Lake, <b>Lauderdale</b> , Little Canada, Maplewood, Mounds View, New Brighton, North Oaks, North St. Paul, Roseville, Shoreview, Vadnais Heights, White Bear Lake	RCEMHS & Municipal EMAs	Ramsey County EMHS maintains an Emergency Operations Plan (EOP) and the Ramsey County Continuity of Operations (COOP)/Continuity of Government (COG) plans as guides for emergency and/or recovery operations. These plans are intended to assist key county/city officials and emergency organizations to carry out their responsibilities for the protection of life and property under a wide range of emergency conditions.  <i>City Comment: The City is working towards contracting with an Emergency Manager to help with response coordination.</i>	County, municipal funding

#	Hazard	Mitigation Strategy	City of Lauderdale Mitigation Action	Status	Priority Ranking	Time-frame	Jurisdictions	Responsibility	County/City Comments on Planning Mechanisms for Implementation	Possible Funding
9	All-Hazards	Education & Awareness Programs	Continue to promote education & awareness on all-hazards and emergency preparedness for schools, individuals, families, and businesses.	Ongoing	High	2018-2022	Ramsey County, Arden Hills, Falcon Heights, Gem Lake, Lauderdale, Little Canada, Maplewood, Mounds View, New Brighton, North Oaks, North St. Paul, Roseville, Shoreview, Vadnais Heights, White Bear Lake	RCEMHS & Municipal EMAs	Information is distributed to the public via RCEMHS Facebook/ Twitter and subscription based programs (GovDelivery) on a regular basis. Additional information is provided during the NWS severe weather awareness weeks in spring and winter. RCEMHS also has a YouTube Channel where "Get Ready Gopher" educational videos on preparedness and severe weather training are posted. These are promoted to the schools as well as the larger public for viewing. Cities are encouraged to share information through their own existing channels (i.e., websites, social media, and local media).	County, municipal funding
15	Severe Winter & Summer Storms	Education & Awareness Programs	Continue to promote the use of NOAA weather radios by residents, schools, businesses, and facilities that house persons with functional and access needs.	Ongoing	Moderate	2018-2022	Ramsey County, Arden Hills, Falcon Heights, Gem Lake, Lauderdale, Little Canada, Maplewood, Mounds View, New Brighton, North Oaks, North St. Paul, Roseville, Shoreview, Vadnais Heights, White Bear Lake	RCEMHS & Municipal EMAs	Ramsey County EMHS regularly promotes the use of NOAA weather radios by critical facilities and the public to receive information broadcast from the National Weather Service. NOAA weather radios are recommended as an important way to receive emergency weather alerts from the NWS. Local city Emergency Managers are encouraged to ensure the placement of NOAA radios in key facilities within their communities.	County, municipal funding

#	Hazard	Mitigation Strategy	City of Lauderdale Mitigation Action	Status	Priority Ranking	Time-frame	Jurisdictions	Responsibility	County/City Comments on Planning Mechanisms for Implementation	Possible Funding
16	Severe Winter & Summer Storms	Structure and Infrastructure Projects	Work with municipal electrical cooperatives and power companies to reduce overhead exposure of power lines that are vulnerable to damage from severe winter/summer storms (i.e., high winds, ice, and heavy snow). Replace overhead power lines with underground lines in areas with high-risk exposure (i.e. high tree concentration areas).	<b>New</b>	High	2018-2022	Ramsey County, Arden Hills, Falcon Heights, Gem Lake, Lauderdale, Little Canada, Maplewood, Mounds View, New Brighton, North Oaks, North St. Paul, Roseville, Shoreview, Vadnais Heights, White Bear Lake, White Bear Township	RC Public Works, Municipal Public Works in cooperation the appropriate utility company.	RC EMHS County and all cities will work as needed with their appropriate utility providers as needed to evaluate areas of concern. Service providers for Ramsey County include: <ul style="list-style-type: none"> <li>• Xcel Energy</li> <li>• Connexus Energy</li> <li>• North Saint Paul Utility Department</li> </ul> Areas of concern will be evaluated to see where putting lines underground may be feasible and make sense.	Coop / Electric Company funding, Possible FEMA HMA grant for Infrastructure Retrofit

#	Hazard	Mitigation Strategy	City of Lauderdale Mitigation Action	Status	Priority Ranking	Time-frame	Jurisdictions	Responsibility	County/City Comments on Planning Mechanisms for Implementation	Possible Funding
17	Severe Winter & Summer Storms	Mitigation Preparedness & Response Support	Identify critical facilities or infrastructure that do not have generator backup power in the event of a major power outage resulting from severe winter or summer storms. (Examples of critical facilities include Police/Fire departments, EOC's, health care facilities, water & sewer treatment facilities, and other facilities deemed as critical, i.e. public schools and sheltering facilities).	New	High	2018-2022	Ramsey County, Arden Hills, Falcon Heights, Gem Lake, Lauderdale, Little Canada, Maplewood, Mounds View, New Brighton, North Oaks, North St. Paul, Roseville, Shoreview, Vadnais Heights, White Bear Lake, White Bear Township	RCEMHS, RC Property Management & Municipal EMAs	<p>The Ramsey County Law Enforcement Center (jail, admin.), Emergency Communications Center, Medical Examiner's Office, Public Works Facility (maintenance areas, admin and primary EOC backup power), and Nursing Home have generator backup power.</p> <p><b>Ramsey County's current priorities for generator backup power include:</b></p> <ul style="list-style-type: none"> <li>• Plato Building</li> <li>• Public Health and Emergency Management's Department Operations Center (DOC's)</li> <li>• Rec Centers and libraries that serve as cooling centers</li> <li>• Facilities designated for Mass Care Sheltering</li> <li>• Traffic Signal Systems</li> </ul> <p>Ramsey County and municipalities continue to assess what critical facilities need backup power. Working to mitigate against power outages also helps to mitigate other hazards.</p>	County, municipal funding

#	Hazard	Mitigation Strategy	City of Lauderdale Mitigation Action	Status	Priority Ranking	Time-frame	Jurisdictions	Responsibility	County/City Comments on Planning Mechanisms for Implementation	Possible Funding
18	Severe Winter & Summer Storms	Mitigation Preparedness & Response Support	Purchase and install generator hook-ups and encourage local generator purchases for identified critical facilities that should have backup power.	<b>New</b>	High	2018-2022	Ramsey County, Arden Hills, Falcon Heights, Gem Lake, <b>Lauderdale</b> , Little Canada, Maplewood, Mounds View, New Brighton, North Oaks, North St. Paul, Roseville, Shoreview, Vadnais Heights, White Bear Lake, White Bear Township	RCEMHS, RC Property Management & Municipal EMAs	Ramsey County, local municipal governments, and schools will evaluate feasibility to purchase and install generators for key facilities, and will do so as funding allows.	County, municipal funding, Possible FEMA HMA grant for Generators
19	Severe Winter Weather	Mitigation Preparedness & Response Support	Continue to provide for public safety on roads through anti-icing (application of brine solution before an event), snow removal, salting and sanding to minimize the impacts of snow/ice accumulations on roadways.	Ongoing	Moderate	2018-2022	Ramsey County, Arden Hills, Falcon Heights, Gem Lake, <b>Lauderdale</b> , Little Canada, Maplewood, Mounds View, New Brighton, North Oaks, North St. Paul, Roseville, Shoreview, Vadnais Heights, White Bear Lake	RC Public Works & Municipal Public Works	Ramsey County and its municipalities complete the snow removal from all county and municipal roads. MNDOT will remove the snow from Interstate and State Highways as well as disperse salt/sand as needed. Municipalities have snow emergency plans and ordinances in place.	County, municipal funding

#	Hazard	Mitigation Strategy	City of Lauderdale Mitigation Action	Status	Priority Ranking	Time-frame	Jurisdictions	Responsibility	County/City Comments on Planning Mechanisms for Implementation	Possible Funding
22	Severe Summer Storms	Structure and Infrastructure Projects	Identify community areas, parks, and facilities (i.e., schools, government buildings, manufactured home parks) that are vulnerable to tornadoes and evaluate for potential construction or retrofit of safe rooms or storm shelters.	<b>New</b>	High	2018-2022	Ramsey County, Arden Hills, Falcon Heights, Gem Lake, <b>Lauderdale</b> , Little Canada, Maplewood, Mounds View, New Brighton, North Oaks, North St. Paul, Roseville, Shoreview, Vadnais Heights, White Bear Lake, White Bear Township	RCEMHS, RC Parks & Rec, Municipal parks & rec, and EMAs	RCEMHS and RC Parks & Rec will work to identify priority areas for evaluation for safe room construction or retrofit. Municipal EMAs will also work to evaluate areas of need for storm shelters or safe rooms, such as for local parks or manufactured home parks.	County, municipal funding
23	Severe Summer Storms	Structure and Infrastructure Projects	Implement construction or retrofit projects for safe rooms or storm shelters in identified vulnerable locations.	<b>New</b>	High	2018-2022	Ramsey County, Arden Hills, Falcon Heights, Gem Lake, <b>Lauderdale</b> , Little Canada, Maplewood, Mounds View, New Brighton, North Oaks, North St. Paul, Roseville, Shoreview, Vadnais Heights, White Bear Lake, White Bear Township	RCEMHS, RC Parks & Rec, Municipal parks & rec, and EMAs	Ramsey County EMHS will seek to work with municipalities and schools to build community safe rooms where needed. Outreach should be conducted to the schools to make sure they are aware of a possible inclusion of a community safe room to their facility when they are planning. Any community safe room projects that the County is involved in will be part of the Ramsey County Emergency Management program. FEMA grant funding may be sought to support an eligible safe room project.	County, municipal funding, Possible FEMA HMA grant for Safe Rooms

#	Hazard	Mitigation Strategy	City of Lauderdale Mitigation Action	Status	Priority Ranking	Time-frame	Jurisdictions	Responsibility	County/City Comments on Planning Mechanisms for Implementation	Possible Funding
30	Flooding	Local Planning & Regulations / Structure & Infrastructure Projects	Enhance stormwater management plans and ordinances that require improvement of stormwater management systems, including for areas of new development and installation of infrastructure capable of handling a ten to twenty-year rain event. Identify and address where stormwater run-off capacity improvement projects are needed.	New	High	2018-2022	Ramsey County, Arden Hills, Falcon Heights, Gem Lake, <b>Lauderdale</b> , Little Canada, Maplewood, Mounds View, New Brighton, North Oaks, North St. Paul, Roseville, Shoreview, Vadnais Heights, White Bear Lake, White Bear Township	RC Public Works and municipal Planning/Public Works depts. in coordination with local watershed organizations	Ramsey County and local cities maintain stormwater management plans and work to identify, prioritize, and address highest risk areas. Mitigation examples may include to construct, retrofit, or maintain drainage systems to include sewage and water retention and detention systems.  Outside funding to support stormwater improvement projects may be available through avenues such as the MN DNR Flood Hazard Mitigation Grants, MPCA, and FEMA HMA funding for flood reduction projects.	County/City funding. SWCD, and Possible MPCA/PFA grant funding. Possible FEMA HMA grant for Localized Flood Reduction Projects or Infrastructure Retrofit
32	Flooding	Education & Awareness Programs / Structure & Infrastructure Projects	Provide information & technical assistance to property owners to help mitigate against localized flooding during high-rain events (i.e., landscaping / green infrastructure applications).	New	High	2018-2022	Ramsey County, Arden Hills, Falcon Heights, Gem Lake, <b>Lauderdale</b> , Little Canada, Maplewood, Mounds View, New Brighton, North Oaks, North St. Paul, Roseville, Shoreview, Vadnais Heights, White Bear Lake	RC Public Works, RC Conservation District, and municipal planning/public works	This is an ongoing effort of Ramsey County in conjunction with local jurisdictions that have experienced flooding due to high rain events.	County/City Funding. Possible FEMA HMA grant for Property Acquisition & Structure Demolition or Relocation



#	Hazard	Mitigation Strategy	City of Lauderdale Mitigation Action	Status	Priority Ranking	Time-frame	Jurisdictions	Responsibility	County/City Comments on Planning Mechanisms for Implementation	Possible Funding
33	Flooding	Local Planning & Regulations	Identify residential, commercial, government facilities, and/or critical infrastructure properties that may experience damage from future flooding and work to implement appropriate mitigation measures (including buy-out for property acquisition & structure demolition or relocation). Areas of focus may include previously unidentified flooding locations.	<b>New</b>	High	2018-2022	Ramsey County, Arden Hills, Falcon Heights, Gem Lake, Lauderdale, Little Canada, Maplewood, Mounds View, New Brighton, North Oaks, North St. Paul, Roseville, Shoreview, Vadnais Heights, White Bear Lake	RCEMHS, RC Public Works, RC Property Management, RC Conservation District, municipal EMA	In 2015, Ramsey County removed seven buildings, including critical infrastructure, from the Mississippi River floodplain. A permanent retaining wall along the bluff was completed in November 2017. Ramsey County remains owners of these properties and will work with the new developers and Saint Paul Emergency Management to provide technical assistance and support on flood protection systems and measures in the future.  Ramsey County and its municipalities will continue to evaluate properties that may be at risk of flooding and work with property owners to identify mitigation measure to reduce or eliminate future damages.	County, municipal funding, DNR Flood Mitigation Grant, US Army Corps of Engineers (USACE), Possible FEMA HMA grant for Property Acquisition & Structure Demolition or Relocation
37	Flooding	Local Planning & Regulations	Participate in the National Flood Insurance Program (NFIP) and enforce local floodplain ordinances to ensure that new construction is built above regulatory flood protection elevation.	Ongoing	Moderate	2018-2022	Ramsey County, Arden Hills, Falcon Heights, Gem Lake, Lauderdale, Little Canada, Maplewood, Mounds View, New Brighton, North St. Paul, Roseville, Shoreview, Vadnais Heights, White Bear Lake	RCEMHS, Municipal EMAs local city planning depts.	Ramsey County promotes and all municipalities participate in the NFIP (except the City of North Oaks). Each city develops and enforces local floodplain ordinances.  <i>City Comment: We have a City Planning &amp; Zoning Commission that has established a Floodplain Ordinance. The City participates in the NFIP.</i>	County, municipal funding

#	Hazard	Mitigation Strategy	City of Lauderdale Mitigation Action	Status	Priority Ranking	Time-frame	Jurisdictions	Responsibility	County/City Comments on Planning Mechanisms for Implementation	Possible Funding
38	Flooding	Structure & Infrastructure Projects	Identify, prioritize, and implement localized flood reduction measures to improve drainage systems and reduce over-the-road flooding to County or municipal roads.	New	High	2018-2022	Ramsey County, Arden Hills, Falcon Heights, Gem Lake, Lauderdale, Little Canada, Maplewood, Mounds View, New Brighton, North Oaks, North St. Paul, Roseville, Shoreview, Vadnais Heights, White Bear Lake	RC Public Works, City Public Works, MnDOT, Watershed Districts,	Ramsey County Public Works and local city Public Works work to identify and address localized flood risk reduction projects.  <i>City Comment: The City has a Public Works Coordinator that addresses road and sewer maintenance issues and would coordinate debris removal.</i>	County/City Budgets, MnDOT, Possible MN DNR Flood Hazard Grants or FEMA HMA grant for Localized Flood Reduction Projects / Infrastructure Retrofit
42	Wildfire	Local Planning & Regulations	Continue to ensure the strong coordination between local fire departments to provide fire protection.	Ongoing	High	2018-2022	Ramsey County, Arden Hills, Falcon Heights, Gem Lake, Lauderdale, Little Canada, Maplewood, Mounds View, New Brighton, North Oaks, North St. Paul, Roseville, Shoreview, Vadnais Heights, White Bear Lake	Municipal fire districts	There are 12 fire departments located in Ramsey County. All the municipal fire departments have mutual aid agreements with each contiguous department that borders their respective fire district, including those in adjoining counties. Written mutual aid agreements are on file with each city.	Local fire department funding

#	Hazard	Mitigation Strategy	City of Lauderdale Mitigation Action	Status	Priority Ranking	Time-frame	Jurisdictions	Responsibility	County/City Comments on Planning Mechanisms for Implementation	Possible Funding
43	Wildfire	Local Planning & Regulations	Continue to enforce burning permits/restrictions.	Ongoing	Moderate	2018-2022	Ramsey County, Arden Hills, Falcon Heights, Gem Lake, Lauderdale, Little Canada, Maplewood, Mounds View, New Brighton, North Oaks, North St. Paul, Roseville, Shoreview, Vadnais Heights, White Bear Lake	Municipal fire districts	Burn permits are regulated by the fire departments in Ramsey County. An actual permit may or may not be required, however, each jurisdiction has rules/regulations available to all residents online.	Municipal or fire district funding
47	Drought	Education & Awareness Programs	Promote water conservation measures to residents during periods of drought, and enforce water conservation ordinances when needed.	Ongoing	Moderate	2018-2022	Ramsey County, Arden Hills, Falcon Heights, Gem Lake, Lauderdale, Little Canada, Maplewood, Mounds View, New Brighton, North Oaks, North St. Paul, Roseville, Shoreview, Vadnais Heights, White Bear Lake	RCEMHS, RC Conservation District & Local City planning depts.	Promoting water conservation during periods of drought is a standing effort of the County and local governments. The State of MN has a statewide drought response plan prepared by the MN DNR that the County may reference for guidance.	County, municipal funding

**LAUDERDALE COUNCIL  
ACTION FORM**

**Action Requested**

Consent \_\_\_\_\_  
Public Hearing \_\_\_\_\_  
Discussion   X    
Action   X    
Resolution \_\_\_\_\_  
Work Session \_\_\_\_\_

Meeting Date February 12, 2019

ITEM NUMBER Swanson Haskamp MSA

STAFF INITIAL   *AS*  

APPROVED BY ADMINISTRATOR

**DESCRIPTION OF ISSUE AND PAST COUNCIL ACTION:**

Swanson Haskamp was originally hired to prepare the Comprehensive Plan. That process lead to an agreement to draft zoning for the high density residential-conservation zoning district. Beyond that Jennifer has been pulled into the development projects happening since the City purchased 1795 Eustis Street last year. It would be appropriate to have an agreement that covers the additional services she is providing. Much of this work will be covered through the fees paid by developers as she reviews land use applications and guides the process to ensure the City meets requirements and deadlines.

**OPTIONS:**

**STAFF RECOMMENDATION:**

Motion to enter into a Master Services Agreement with Swanson Haskamp Consulting, LLC as presented.

**MASTER SERVICES AGREEMENT**  
**BETWEEN SWANSON HASKAMP CONSULTING, LLC**  
**AND THE CITY OF LAUDERDALE FOR PROJECT AND GENERAL PLANNING SERVICES**

The Agreement ("Agreement") is made as of January 1, 2019 and between, the City of Lauderdale ("Client"), 1891 Walnut Street, Lauderdale, MN 55113, and Swanson Haskamp Consulting, LLC ("SHC"), 246 S Albert Street, Suite 2A, St. Paul, MN 55105, to provide professional Planning Services by SHC in connection with projects and services as requested by the Client.

**Description of Services (Scope of Services)**

Jennifer Haskamp, President of SHC shall be the primary contact and project manager assigned to perform planning and project management services for the Client (hereinafter referred to as "Services"). Jennifer will work collaboratively with the Client to establish the scope of services and define and identify the priorities to be completed as a part of this contract. SHC shall only perform work when verbal or written direction is provided by the Client throughout the duration of this contract. Specific Services shall be addressed by Addendum and appended and incorporated into this Master Services Agreement.

**Standard of Care.**

SHC's services shall be performed based on the standard of reasonable professional care for services similar in scope, schedule, and complexity to the services being provided by SHC. All warranties, express or implied, in connection with SHC's services are expressly disclaimed.

**Period of Service**

This contract shall be effective until directed or terminated by the Client.

**Compensation**

SHC shall be paid for Services provided in accordance with the attached rate schedule found in Attachment 1. Billing rates shall be adjusted annually by 3%, effective the first of each calendar year. Billings will be submitted monthly and the Client agrees to pay bills within 30 days of receipt. SHC and the Client shall work together to establish the method for reporting and submitting invoices to assist with the ease of monthly billing and budget management. Client hereby acknowledges that sufficient funds are currently available, or methods to obtain funds, are assigned to pay for the cost of Services contemplated by the Agreement. SHC has the right, at its sole discretion, to stop work and withhold work product or Services, if payments have not been received within 30 days of invoicing date.

If Client fails to make payments to SHC consistent with the Agreement, such failure shall be considered substantial nonperformance and cause for termination or, at SHC's option, cause for suspension of performance of Services under the Agreement. If SHC elects to suspend Services, prior to suspension of Services, SHC shall give seven days written notice to Client. In the event of a suspension of Services, SHC shall have no liability to Client for delay or damage caused to Client because of such suspension of Services. Before resuming Services, SHC shall be paid all sums due prior to suspension and any expenses incurred in the interruption and resumption of SHC's services. SHC's fees for the remaining Services and the time schedules shall be equitably adjusted.

In the event of termination not the fault of SHC, SHC shall be compensated for Services performed prior to termination, together with reimbursable expenses due.

**Client's Responsibilities**

Client shall provide full information in a timely manner regarding requirements for and limitations for successful execution of the Scope of Services, including objectives, schedule, constraints and criteria, requirements and relationships and any other pertinent information that will assist SHC in achieving the expectations of the Client.

The Client shall designate a representative authorized to act on the Client's behalf with respect to any Project or Services. The Client or such designated representative shall render decisions in a timely manner pertaining to documents submitted by SHC in order to avoid unreasonable delay in the orderly and sequential progress of the Services.

## Termination

The Agreement may be terminated by either party at any time should the other party fail to perform in accordance with its terms through no fault of the party initiating the termination. Such termination shall be effective after giving ten days written notice. Client agrees to pay SHC for all Services provided up to the effective date of termination.

## Miscellaneous

### *Work Product*

The documents prepared by SHC for any Project are instruments of SHC's service for use solely with respect to the Client and, unless otherwise provided, SHC shall be deemed the author of these documents. All documents shall be the property of the Client, and both the Client and SHC shall retain all common law, statutory and other reserved rights, including the copyright. The Client and SHC shall be permitted to retain copies, including reproducible copies, of SHC's documents for the Client's information, reference and use in connection with the Services.

### *Claims and Consequential Damages*

SHC and Client waive consequential damages for claims, disputes or other matters in question arising out of or relating to this Agreement. This mutual waiver is applicable, without limitation, to all consequential damages due to either party's terminating in accordance with the termination clause.

Any claim, dispute or other matter in question arising out of or relating to the Proposal or breach thereof ("Claim") shall be resolved by litigation in the State or (assuming subject matter jurisdiction) Federal Court located in Ramsey County, Minnesota.

### *Interpretation and Severability*

Each provision of this Agreement is severable from the others. Should any provision of the Agreement be found invalid or unenforceable, such provision shall be ineffective only to the extent required by law, without invalidating the remainder of such provision or the remainder of the Agreement. Further, to the extent permitted by law, any provision found invalid or unenforceable shall be deemed automatically redrawn to the extent necessary to render it valid and enforceable.

### *Assignment*

The Client and SHC, respectively, bind themselves, their partners, successors, assigns and legal representatives to the other party to this Agreement and to the partners, successors, assigns and legal representatives of such other party with respect to all covenants of this Agreement. Neither the Client nor SHC shall assign this Agreement without the written consent of the other.

### *Team Relationship*

The Client and SHC agree to work together on the basis of trust, good faith and fair dealing, and shall take actions reasonably necessary to enable each other to perform this Agreement in a timely, efficient and economical manner.

### *Entire Agreement*

The terms and conditions set forth herein constitute the entire understanding of the parties relating to the services to be provided by SHC. Only a written instrument signed by both parties may amend the Agreement.

### *Governing Law*

The Agreement shall be construed, interpreted, and enforced in accordance with the laws of the State of Minnesota, excluding its conflict of laws. SHC and Client expressly consent to the exclusive personal jurisdiction and venue of the Minnesota courts for all purposes relating to the Services. The parties waive trial by jury.

### *Execution*

In witness whereof, the parties hereto have made and executed the Agreement as of the day and first above written.

CITY OF LAUDERDALE

SWANSON HASKAMP CONSULTING, LLC

\_\_\_\_\_  
Authorized Representative

\_\_\_\_\_  
Jennifer Haskamp, President | Principal Planner



## Attachment 1: Rate Schedule

(2019)

<b>Service</b>	<b>Rate</b>
Principal Planner	\$131/Hour
Senior Planner	\$120/Hour
Planner	\$110/Hour
Document Preparation/Layout/Production <ul style="list-style-type: none"><li>▪ GIS Mapping</li><li>▪ Document Layout</li><li>▪ Graphics</li></ul>	\$95/Hour
Mileage rate (Standard IRS rate)	\$0.545/mile
Printing and Mailing Services**	Actual Expenses

# LAUDERDALE COUNCIL ACTION FORM

### Action Requested

Consent \_\_\_\_\_  
Public Hearing \_\_\_\_\_  
Discussion \_\_\_\_\_  
Action \_\_\_\_\_  
Resolution \_\_\_\_\_  
Work Session   X  

Meeting Date February 12, 2019

ITEM NUMBER Eustis Street Residential Lots

STAFF INITIAL AB

APPROVED BY ADMINISTRATOR

### DESCRIPTION OF ISSUE AND PAST COUNCIL ACTION:

Staff have a very preliminary document outlining the expectations and process for the sale of 1821, 1825, and 1831 Eustis Street. We will continue to refine next week in advance of the meeting. The final document will be shared with interested builders.

### OPTIONS:

### STAFF RECOMMENDATION:



Residential Lots for Sale  
Lauderdale, Minnesota

The City of Lauderdale acquired 1821, 1825, and 1831 Eustis Street for the development of new, family-friendly homes. As a fully developed city built out in the post WWII years, our homes do not offer the features enticing to families looking for more room and amenities. The existing site has three approximately 40' x 127' lots. The City is looking to sell the lots to a builder that will maximize the potential of the lots by building two to three homes in 2019. The City will assume the costs to replat if the Council elects to sell as two lots.

**Current Condition:** The prior homes have been deconstructed above grade leaving two basement foundations. The City is selling as is. The buyer will complete the excavation of the remaining foundations. An uncapped well exists on 1831 Eustis Street that must be capped during excavation. The water and sewer services have not been disconnected.

**Minimum Standards:**

- 3 bedrooms, 2 bathrooms above grade
- Basement
- 2-car garage (528 sq. ft. minimum). Attached garage encouraged.
- Interior square footage (no less than 1,800 sq. ft. above grade on 40' lot)
- Hardboard or steel siding (no vinyl siding)
- Architectural shingles

**Utilities, Permits, and Fees:** Sanitary and storm water services provided by the City of Lauderdale. The City will provide SAC credit to each home built. Water services provided by St. Paul Regional Water. Two water connects exist; the addition of a third house would require WAC for an additional service. Builder will pay for all usual building permits. No park dedication fee

**Basic Zoning:**

- 30% lot coverage not including sidewalks and driveways
- Height limit 25' to the midpoint of the roof of second story
- 5' side yard setback, 30' front yard setback, rear yard setback dependent on garage orientation

**Street Reconstruction:** Eustis Street will be reconstructed with new road surface, gas, water, and storm sewer utilities in 2019. The sanitary sewer was lined in 2013. The lots will assume the special assessments which is budgeted at \$3,600 per 40' lot payable over ten years. Final assessments will be determined at the end of 2019 for payment starting in 2020. As part of the project, the City anticipates extending the alley to allow for garage entrances from the rear.

**Submission:** Interested parties should submit the following by \_\_\_\_\_.

- Purchase price offer
- Desired closing date
- Method of financing
- Exterior detail, interior floor plan, finishes
- Anticipated sale price of the new homes
- Anticipated construction schedule
- Reason for deviations from minimum standards, if applicable

**Sale Process:** The Council will sell to the builder that most closely aligns with their expectations. The land will be conveyed through a purchase and development agreement that obligates the buyer to construct the homes as agreed to.