

City of Falcon Heights Planning Commission

City Hall
2077 W. Larpenteur Avenue

Tuesday, August 26, 2014
7:00 p.m.

A G E N D A

- A. CALL TO ORDER: 7:00 p.m.
- B. ROLL CALL: Alexander ____ Black ____ Fite ____ Gustafson ____
Murphy ____ Wartick ____ Williams ____
Council Liaison Harris ____ City Administrator Fischer ____
Staff Liaison Petersen ____ Planning Consultant ____ City Attorney ____
- C. Approval of the Minutes for May 27, 2014
- D. PUBLIC HEARING: PUD Amendment at 1790 Larpenteur Ave W
- E. AGENDA
 - 1. PUD Amendment at 1790 Larpenteur Ave W: Discussion and recommendation to City Council
- F. INFORMATION AND ANNOUNCEMENTS
- G. ADJOURN

If you have a disability and need accommodation in order to attend this meeting, please notify City Hall 48 hours in advance between the hours of 8:00 a.m. and 4:30 p.m. at 651-792-7600. We will be happy to help.

**City of Falcon Heights
Planning Commission Minutes
May 27, 2014**

PRESENT: Commissioners Alexander, Black, Gustafson, Murphy, Wartick, Council Member Harris, Staff Liaison Jones, Staff Liaison Petersen

ABSENT: Commissioner Fite

The meeting was delayed from 7:00 p.m. to 7:30 p.m. because of the lack of a quorum. The meeting was called to order at 7:30 p.m. by the Chair, Commissioner Black, who noted that a quorum was present at that time. The minutes of the February 25, 2014, meeting of the Planning Commission were approved.

Public Hearing on Setback Variance 1565 Hamline Avenue.

Zoning and Planning Director Deb Jones presented the staff report on the case. 1565 Hamline Ave is the auto service business located on the northwest corner of Hamline and Hoyt. The applicant is requesting a setback variance of 3.5' in order to build an addition on the south side of the building in order to accommodate a customer waiting area. The current building cannot accommodate a waiting area so the applicant wishes to extend the building to the south by 10'. The required setback for the area is 30' and the building currently sits back 36.5', so they need an additional 3.5' to allow for the new 10' expansion.

Jones explained that to allow for this addition some of the landscaped area would need to be taken out, and the lot is already non-conforming to the lot coverage ordinance. To make up for this, the applicant is proposing to add additional landscaped area on the northwest corner of the lot which will increase their overall green space. Jones advised that the City Attorney had been consulted on the matter and said that the proposal was allowable.

Jones went over the staff findings including that the variance requested is in harmony with the purpose and intent of the zoning chapter as stated in Section 113-1, it is consistent with the comprehensive plan and that it will not impair or diminish property values or improvements in the area, that there are practical difficulties in complying with the code and that the variance is a reasonable solution to help remedy that situation, and that this variance would not impose on the surrounding areas or pose a threat to public safety.

The Chair opened the hearing. The first speaker was Peter Lee of Honest One Auto Care of Roseville, who is seeking to purchase the business. He stated that the additional space would be used to create a more comfortable waiting area for customers with modern amenities such as wifi and beverages.

Barb Brehmer, 1372 Iowa, questioned why the original letter did not state that the business was potentially going to be sold. Jones advised that the current owner of the property needs to be the one to apply for the variance so that is the reason for only listing the current owner on the public mailing and notice. Brehmer asked the potential new owner if they expect to change the business plan or increase traffic in the neighborhood. Lee stated that while he would like to increase the customer base, it is his goal to keep the neighborhood relatively

unchanged and to maintain the character of the building and surrounding area. Brehmer asked about other improvements to the area including landscaping or structural changes. Lee stated that building and grounds will remain largely unchanged with the exception of some cosmetic improvements.

There being no other persons wishing to speak, the hearing was closed.

Planning Commission Discussion and Action

Murphy addressed the applicant and asked about current landscaping and what is going to be done. The applicant said that most of the landscaping has moved from flowerbeds to mainly grass because of recent road improvements and general street maintenance damaging the vegetation. He also stated that the addition would be facing away from residents in the area and that he has always done his best to keep traffic in the streets instead of the alley.

Alexander addressed the applicant in regard to the selling of the property, and asked if the potential new owner will keep the same business hours and if they will likely have relatively the same traffic flow and business base. The applicant said that everything is intended to be initially the same and the potential new owner will reevaluate as needed.

Gustafson asked to clarify that the only change to the footprint of the building is the 10' addition, the applicant confirmed that it is. Jones also added that in addition to the footprint remaining largely the same that the use of the overall business will not change either. Gustafson stated that he agrees with staff findings that the practical difficulty is unique to the location and the variance is a reasonable request in order to encourage the business to remain in the community.

Commissioner Gustafson moved, Commissioner Murphy seconded, that the Planning Commission recommend that the City Council grant a variance to Section 113-177(g)(5). The motion was approved unanimously. The Council will take action on this application on June 25.

Election of new Planning Commission Vice Chair

Vice Chair David Brown has recently moved out of Falcon Heights and is no longer able to serve on the Planning Commission. Commissioner Gustafson nominated Commissioner Wartick, election was unanimous.

Information and Announcements:

Jones announced that the Planning Commission has recently lost two commissioners, David Brown and Christopher Minns. The Commission thanks them for their service and wishes them well.

Petersen announced several upcoming City-sponsored events including the Spring Together Event at Curtiss Field, Movie in the Park at Community Park, Ice Cream Social at Community Park.

Black requested an update from Jones on the ongoing Hermes project. Jones advised that there was not much to update at this time as the Pohlad Foundation needed to reevaluate the project as the buildings were found to be unusable. The existing buildings were demolished and now similar but new plans are being established. The Foundation will still be pursuing the urban farm project but does not have any specific plans in place at this time.

Gustafson asked Jones if there had been any permits requested for chicken keeping since the ordinance was passed. Jones advised that there had been one request and everything was in order so the permit was granted.

ADJOURNMENT: The meeting was adjourned at 8:05 p.m.

Respectfully submitted,

A handwritten signature in cursive script, appearing to read "Chelsea Petersen".

Chelsea Petersen, Staff Liaison



The City That Soars!

REQUEST FOR PLANNING COMMISSION ACTION

Meeting Date	August 26, 2014
Agenda Item	1
Title	Urban Farm PUD Amendment at 1790 Larpenteur Ave W
Submitted By	Addison Lewis, Planning Consultant

Description	Amendment to the Planned Unit Development (PUD) at 1790 Larpenteur Ave W to allow for a revised site plan, architectural plans, grading, drainage and utility plan and landscaping plan.
Background	<p>In the spring of 2013, the subject property and property adjacent to the east were acquired by the Carl and Eloise Pohlada Family Foundation in partnership with CommonBond Communities for the purpose of developing an urban farm and a 47-unit multi-family residence. The proposal required several zoning approvals including a rezoning to PUD, comprehensive plan amendment, and preliminary subdivision, which were all granted by the City Council. On the subject property, the Foundation proposed to re-use existing structures on the site for the purpose of growing and distributing healthy food for local use. The 47-unit multi-family residence was to be located on the property to the east at 1750 Larpenteur Ave W and was to be developed as affordable housing.</p> <p>Since the time of the previous approvals, the buildings on the property were found to be heavily damaged. Due to the costs associated with rehabbing the existing buildings, the Foundation is proposing to construct a new facility for the urban agriculture operation. The new facility will have the same function as previously proposed and will be located in approximately the same footprint as the former building on the westerly portion of the site. The old buildings were recently demolished. The purpose of this request is to allow for the new buildings to be constructed. Because the PUD was approved according to the previous plans, the PUD must be amended to incorporate the revised plans.</p> <p>Although it does not directly impact this request, another change since the time of the previous approval is that CommonBond has withdrawn its plans to build the 47-unit multi-family housing residence at 1750 Larpenteur Ave W. The Foundation is actively seeking a buyer to develop the parcel for a similar and complimentary use to the original plan. Any substantial differentiation will require an additional amendment to the PUD.</p>

Analysis

Section 113-35 (e.) states that no amendment to this chapter shall be adopted which is in conflict with the City's Comprehensive Plan.

As part of the previous approval, the Comprehensive Plan was amended by modifying the definition of Mixed Use Residential to allow for mixed uses within the same site and not require that they be within the same building. The Comprehensive Plan was also amended to specifically include urban farming as a type of use that can be mixed with the residential uses on land guided as Mixed Use Residential.

As such, the use of the property will remain as an urban farm and staff finds that the request is consistent with the Comprehensive Plan. The request is simply to allow for the new buildings, as the previous approval assumed that the existing buildings on the site would be used. Because the previous approval of the PUD was associated with the previous plans submitted, an amendment is required to incorporate the new plans. The revised plans are attached to this report, and include elevation drawings of the proposed buildings.

The new site plan shows the proposed new principal building in approximately the same footprint as the previous building, which includes two future expansions to the building. The previous site plan showed 29 parking stalls in front of the principal building with another 6 located near the other building on the southern end of the site. The new site plan proposes 21 parking stalls in front of the principal building and 24 overflow stalls just south of the future multi family residence on the property to the north for a total of 45 stalls. The number of stalls meets the minimum required by City Code. Staff is recommending that additional screening be required along the parking areas adjacent to the proposed residential use. This is consistent with City Code Section 113-372 (a), (1). which requires that any parking area that contains more than four parking spaces be screened from residential property. The space for the additional parking on site is accommodated by the fact that the former 17,160 sq. ft. building was demolished and only a 576 sq. ft. yard storage building is proposed in the same space. The yard storage building will be used for storage of farming equipment and will include a restroom. A teaching yard is also proposed near the area where the building on the southern end of the property used to be.

Another change to the site plan involves the hoop houses proposed on the southern end of the site. The previously approved plan showed four hoop houses at 17.5 feet by 136 feet. The new site plan is proposing three hoop houses at 30 feet by 125 feet. The exact height of the hoop houses is not known at this time but the applicant estimates approximately 15 feet.

There are no significant changes to the grading drainage and utility plan or landscaping plan.

Budget Impact	None
Attachment(s)	<ul style="list-style-type: none">• Application for an amendment to the PUD at 1790 Larpenteur Ave W, including narrative letter, development schedule, and revised plans.• Location Map• PUD rezoning ordinance draft• Site Plan from previous approval (May 22, 2013)• Hearing notice published in the Roseville Review and mailed to owners of properties within 350 feet.• Comments from City Engineer
Actions Requested	<ul style="list-style-type: none">• Hold a public hearing on the requested amendment to the PUD at 1790 Larpenteur Ave W• Make a recommendation to the City Council



**City of Falcon Heights
Planning Application**

AUG 01 2014

Receipt 32155

Action Requested By: Carl and Eloise
Name of Property Owner Pohlad Family Foundation
Phone (h) _____ (w) 612 661 3922
Address of Property Owner 60 South Sixth Street, Suite 3900, Mpls. MN 55401
Name of Applicant (if different) _____
Address _____ Phone _____

Property Involved:
Address 1790 Carpenter Avenue West, Falcon Heights, Ramsey County
Legal Description Section 21-29-23
Lot 1 Block 1 Urban Farm Addition

Property Identification Number (PIN) 21.29.23.12.001b

Present Use of Property (check one):

- Single Family Dwelling
- Duplex/Two Family Dwelling
- Multi Family Complex
- Business/Commercial
- Government/Institutional
- Vacant Land

Action Requested (NON-REFUNDABLE):

- Variance (\$350.00)
- Conditional Use Permit (\$500.00)
- Rezoning, Zoning Amendment (\$500.00)
- Comprehensive Plan Amendment (\$550.00)
- Lot Split (\$250.00)
- Site Plan Review (\$100.00)
- Subdivision (Fee on request)
- Other (Please Specify)

PAID

The above Application Fees do not include any additional fees that might be required, including legal, engineering, consulting and additional City services. Applicants should meet with City Staff prior to submitting application to discuss applicable ordinances, required attachments, timelines and fees.

Brief Summary of Request (applicant may submit letter to Planning Commission with details of request):

See attached

I certify that all statements on this application are true and correct:

Marna Magon, Pohlad Family Foundation
Signature of Property Owner (required)

Marna Magon
Signature of Applicant (if applicable)

Brief Summary of Request

The Pohlad Family Foundation is interested in expediting the development of the Urban Agriculture Enterprise Project on the Western and Southern portions of the site. Since the original Planned Unit Development plan was approved by the city in the spring of 2013, two major changes have occurred with this project:

1. CommonBond withdrew its plans to build 47 units of affordable housing at 1750 Larpenteur Avenue West on Lot 2 Block 1 when financing could not be secured, allowing the parcel to be sold. The Foundation is actively seeking a buyer to develop the parcel for similar and complementary use to the original plan.
2. The building at 1790 Larpenteur Avenue West on Lot 1 Block 1 was heavily damaged by weather and vandalism. Because costs associated with rehabbing the existing structure were similar to new construction, the decision was made to construct a new facility for the urban agriculture operation.

The new site plan illustrates the new agricultural aggregation building (i.e. same function as previously proposed) being located in the approximate footprint of the former building on the westerly portion of the site along with growing areas at the southerly portion. While the platting that is in place will remain unchanged, the attached plans indicate the revised development plan along with the site plan and survey provided in last year's city approved development plan.

Please see attached construction schedule and site plans. We anticipate April 1, 2015 groundbreaking with final inspections complete by July 15, 2015.

PROJECT: Urban Farm



CONSTRUCTION

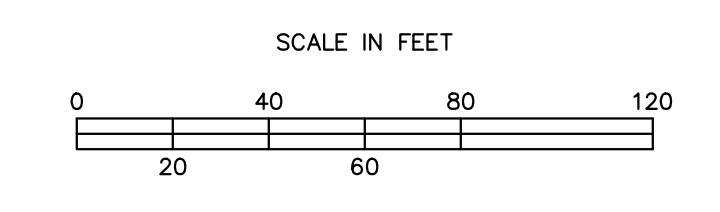
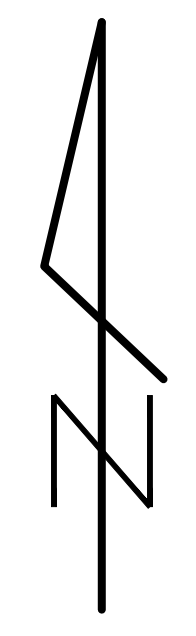
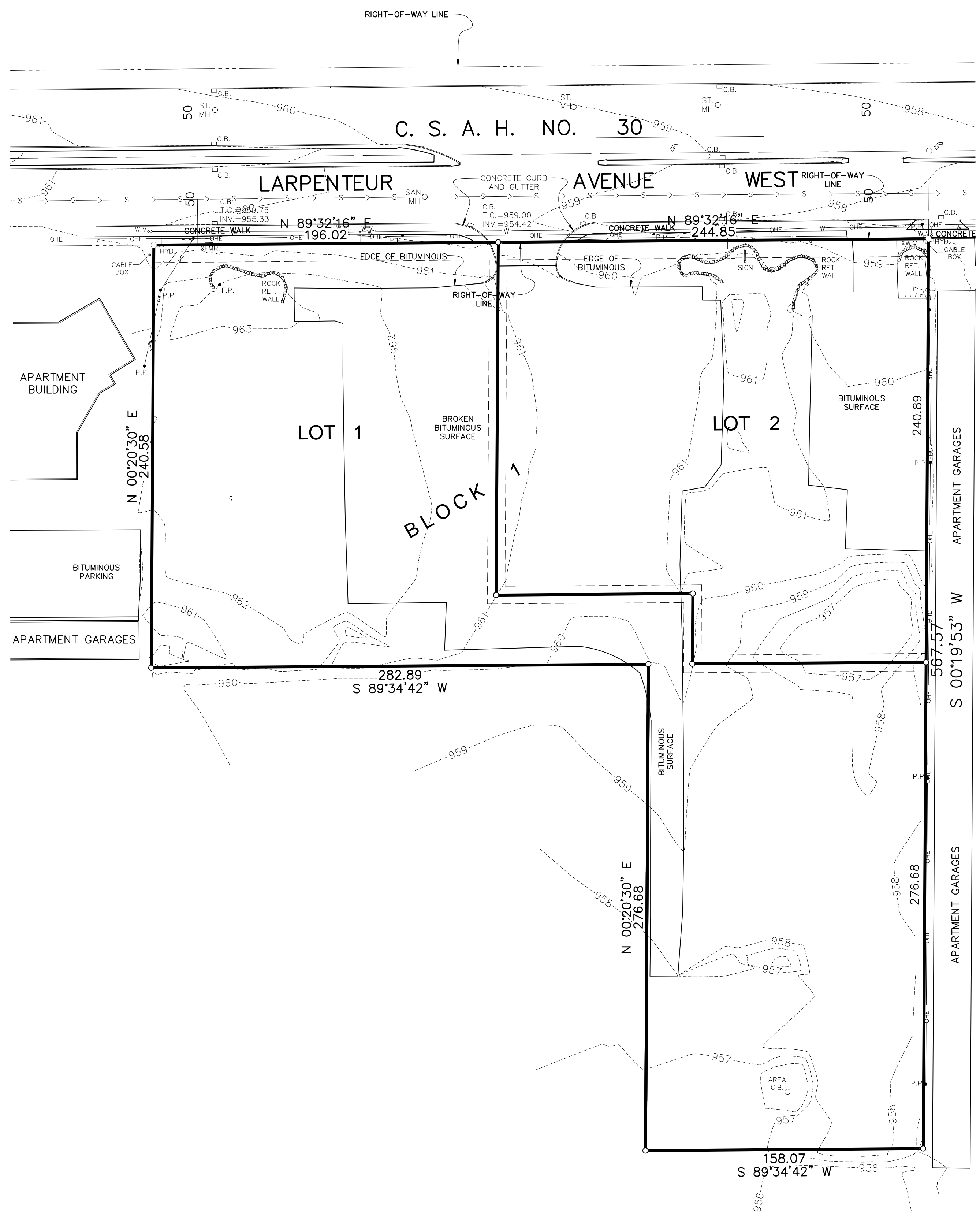
REMARKS

ACTIVITIES

Sep-14 Oct-14 Nov-14 Dec-14 Jan-15 Feb-15 Mar-15 Apr-15 May-15 Jun-15 Jul-15 Aug-15 Sep-15 Oct-15

SD Phase *Schematic Design*
 DD Phase *Design Development*
 CD Phase *Construction Documents*

ACTIVITIES	Sep-14	Oct-14	Nov-14	Dec-14	Jan-15	Feb-15	Mar-15	Apr-15	May-15	Jun-15	Jul-15	Aug-15	Sep-15	Oct-15	REMARKS
SD Phase <i>Schematic Design</i>	X														sd budgeting
DD Phase <i>Design Development</i>		X													dd budgeting
CD Phase <i>Construction Documents</i>			X	X											cd's complete 12-31-14
Bidding					X										
Mat'l Procurement						X	X								
Construction Start 4-1								X							construction start 4-1-15
Site Utility								X							
Bldg Foundations								X							
Site Grading											X				
Curb Gutter											X				
Asphalt											X				
Landscaping											X				
Precast wall panels									X						
Roof Steel								X							
Framing at Office Area								X							
Roofing								X							
MEP Under Floor RI's								X							
Slab-on Grade								X							
Alum Storefront										X					
Interior Wall Framing										X					
MEP Rough-ins										X					
Metal Wall Panels										X					
Drywall, Tape, Sand										X					
Wall Finishes											X				
Walk-in Coolers											X				
Ceiling Finish											X				
Ceramic Tile											X				
Floor Finish											X				
Door & Hardware											X				
Final Inspections												X			
Punch List												X			
Project Turn Over												X			bldg turnover 8-14-15



o - DENOTES IRON MONUMENT
 BEARINGS ARE ASSUMED DATUM

LEGEND

- W — WATER MAIN LINE
- S — SANITARY SEWER LINE
- ST — STORM SEWER LINE
- OHE — OVERHEAD ELECTRICAL LINE
- E — BURIED ELECTRICAL LINE
- T — BURIED TELEPHONE LINE
- G — BURIED GAS LINE
- HYD. FIRE HYDRANT
- P.P. POWER POLE
- L.P. LIGHT POLE
- C.B. CATCH BASIN
- W.V. WATER VALVE
- M.H. MANHOLE
- XFMR. TRANSFORMER
- CBLX. CABLE BOX
- - - 961 - - - EXISTING CONTOUR LINE

NOTES

- 1) UTILITIES SHOWN ARE APPROXIMATE LOCATION. LOCATIONS OF UNDERGROUND UTILITIES COMPILED FROM ABOVE GROUND VISUAL EVIDENCE. CALL GOPHER STATE ONE CALL AT 811 FOR ALL UTILITY, GAS LINE, AND ELECTRICAL LINE LOCATIONS PRIOR TO EXCAVATION.
- 2) BENCHMARK - TOP NUT HYDRANT AT NORTHWEST CORNER OF SITE ELEVATION = 963.62
- 3) PROPERTY DOES NOT LIE IN FLOOD ZONE (ZONE X).
- 4) AREAS: LOT 1 = 95,367 S.F. (2.19 ACRES)
 LOT 2 = 54,485 S.F. (1.25 ACRES)
- 5) PARCELS ZONED R5-M (HIGH DENSITY RESIDENTIAL MIXED USE).

PROPERTY DESCRIPTION:

Lots 1 and 2, Block 1, URBAN FARM PROJECT ADDITION, Ramsey County, Minnesota, according to the recorded plat thereof.

REVISIONS	PROJ. NO:	DATE
	214063	7/28/14
	DRAWN: GAM	
	CHECKED: GDJ	
	SCALE: AS SHOWN	
	FIELD BOOK: A	
	DATE: 7/28/14	

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer and Land Surveyor under the laws of the State of Minnesota.

Signature: *Grant D. Jacobson* License No: **23189**

Print Name: **GRANT D. JACOBSON** Date: 7/28/14

JACOBSON ENGINEERS & SURVEYORS

21029 HERON WAY
 LAKEVILLE, MN 55044
 (952) 469-4328 FAX (952) 469-4624

PREPARED FOR:
 LHB Architects
 701 Washington Avenue N.
 Suite 200
 Minneapolis, MN 55401

TOPOGRAPHIC SURVEY

1750 & 1790 LARPEUR AVE. W. FALCON HEIGHTS, MN

SHEET NO.
C-1
2

GRADING AND EROSION CONTROL NOTES

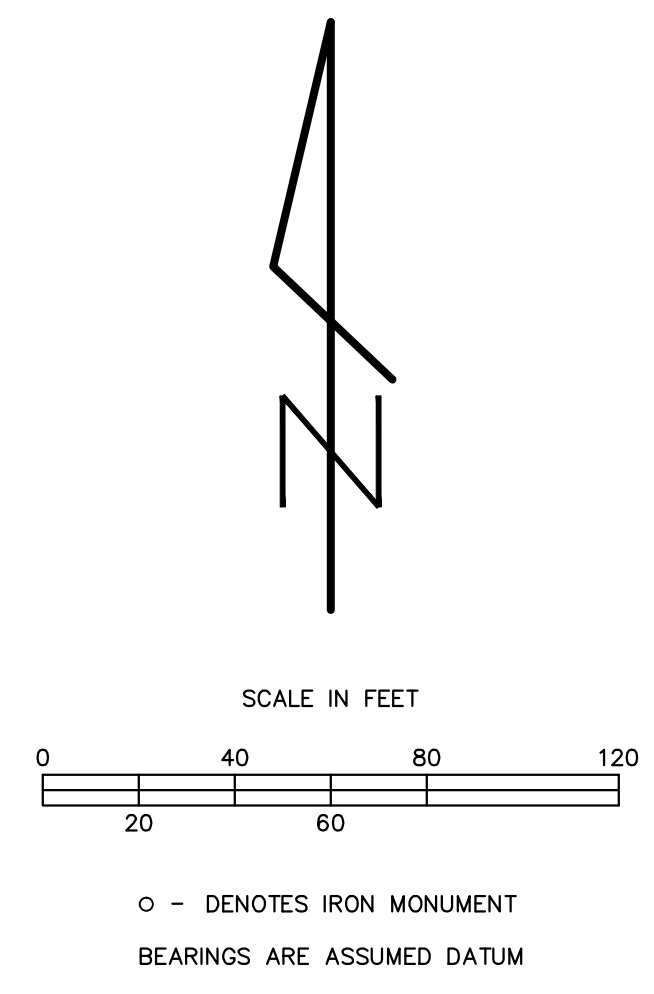
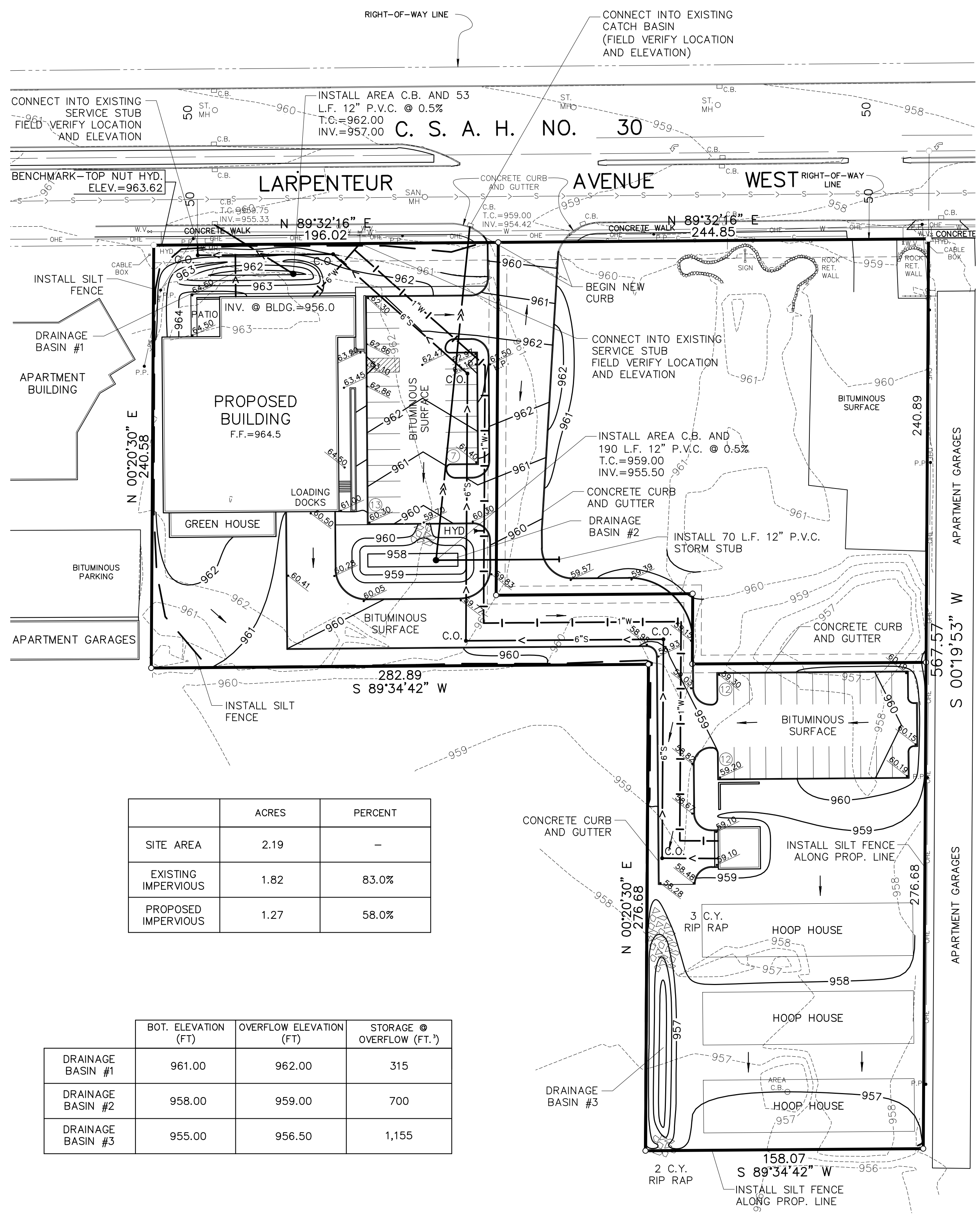
- ALL DISTURBED AREAS THAT ARE NOT SODDED SHALL HAVE SEED MIXTURE NO. 260 PLACED AT THE RATE OF 75 POUNDS PER ACRE. MULCH SHALL BE PLACED AT A TARGET RATE OF 2 TONS PER ACRE.
- REPLACE AND REPAIR DISTURBED CONCRETE CURB AND GUTTER AND BITUMINOUS AREAS PER CITY STANDARDS AND SPECIFICATIONS.
- INLET PROTECTION SHALL BE PLACED ON ALL EXISTING AND PROPOSED STORM SEWER STRUCTURES SURROUNDING THE CONSTRUCTION LIMITS.
- OBTAIN PERMITS FOR ALL WORK DONE IN ROAD RIGHT-OF-WAY AREAS.
- GRADES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL.
- PROVIDE POSITIVE DRAINAGE AT ALL TIMES WITHIN THE CONSTRUCTION AREA. DO NOT ALLOW WATER TO POND IN EXCAVATION AREAS, AND MAINTAIN ALL EXISTING DRAINAGE PATTERNS.
- FINISHED GRADE SHALL SLOPE AWAY FROM BUILDING WALL.
- ESTABLISH EROSION CONTROL MEASURES AT THE BEGINNING OF CONSTRUCTION AND MAINTAIN DURING THE ENTIRE LENGTH OF CONSTRUCTION. AREAS WHICH ARE SUBJECT TO SEVERE EROSION AND OFF-SITE AREAS WHICH ARE ESPECIALLY VULNERABLE TO DAMAGE FROM EROSION AND/OR SEDIMENTATION ARE TO BE IDENTIFIED AND RECEIVE ADDITIONAL EROSION CONTROL MEASURES AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR MUST COMPLY WITH ALL NOISE AND DUST CONTROL ORDINANCES OF THE CITY OF FALCON HEIGHTS.

UTILITY NOTES

- 10 FT. SEPARATION REQUIRED BETWEEN SANITARY SEWER AND POTABLE WATER LINES.
- MAINTAIN A MINIMUM 6 IN. VERTICAL SEPARATION AT ALL UTILITY CROSSINGS. POTABLE WATER LINES CROSSING BENEATH SANITARY SEWER SHALL HAVE A MINIMUM 18 IN.
- ALL SANITARY SEWER PIPING AND FITTINGS SHALL BE SMOOTH WALLED PVC CONFORMING TO ASTM D-3034 AND ASTM F-679, SDR 35.
- ALL SANITARY SEWER SHALL BE SLOPED AT 0.5%.
- ALL WATERMAIN PIPE SHALL BE 6 IN. C900 PVC, UNLESS NOTED.
- PROVIDE HYDRANTS WHERE INDICATED. HYDRANT NOZZLES SHALL BE ORIENTED TOWARD THE STREET.
- PROVIDE CONCRETE THRUST BLOCKING AT ALL WATERMAIN TEES AND BENDS.
- INSTALL WATERMANS AND APPURTENANCES IN ACCORDANCE WITH AWWA AMERICAN WATERWORKS ASSOCIATION AND THE NATIONAL FIRE PREVENTION ASSOCIATION (NFPA) STANDARDS.

	ACRES	PERCENT
SITE AREA	2.19	-
EXISTING IMPERVIOUS	1.82	83.0%
PROPOSED IMPERVIOUS	1.27	58.0%

	BOT. ELEVATION (FT)	OVERFLOW ELEVATION (FT)	STORAGE @ OVERFLOW (FT.)
DRAINAGE BASIN #1	961.00	962.00	315
DRAINAGE BASIN #2	958.00	959.00	700
DRAINAGE BASIN #3	955.00	956.50	1,155



- LEGEND**
- W --- WATER MAIN LINE
 - S --- SANITARY SEWER LINE
 - ST --- STORM SEWER LINE
 - OHE --- OVERHEAD ELECTRICAL LINE
 - E --- BURIED ELECTRICAL LINE
 - T --- BURIED TELEPHONE LINE
 - G --- BURIED GAS LINE
 - HYD. --- FIRE HYDRANT
 - P.P. --- POWER POLE
 - L.P. --- LIGHT POLE
 - C.B. --- CATCH BASIN
 - W.V. --- WATER VALVE
 - M.H. --- MANHOLE
 - XFMR. --- TRANSFORMER
 - CBLX. --- CABLE BOX
 - 961 --- EXISTING CONTOUR LINE
 - 962 --- PROPOSED CONTOUR LINE
 - 61.00 --- PROPOSED SPOT ELEVATION
 - --- SILT FENCE
- NOTES**
- UTILITIES SHOWN ARE APPROXIMATE LOCATION. LOCATIONS OF UNDERGROUND UTILITIES COMPILED FROM ABOVE GROUND VISUAL EVIDENCE. CALL GOPHER STATE ONE CALL AT 811 FOR ALL UTILITY, GAS LINE, AND ELECTRICAL LINE LOCATIONS PRIOR TO EXCAVATION.
 - BENCHMARK - TOP NUT HYDRANT AT NORTHWEST CORNER OF SITE ELEVATION = 963.62
 - PROPERTY DOES NOT LIE IN FLOOD ZONE (ZONE X).
 - AREAS: LOT 1 = 95,367 S.F. (2.19 ACRES)
LOT 2 = 54,485 S.F. (1.25 ACRES)
 - PARCELS ZONED R5-M (HIGH DENSITY RESIDENTIAL MIXED USE).
 - CONSTRUCT TEMPORARY ROCK CONSTRUCTION ENTRANCE AT PROPOSED DRIVE CONNECTION PER CITY SPECIFICATIONS.
 - INSTALL SILT FENCE PRIOR TO EXCAVATION AS SHOWN.
 - RE-VEGETATE THE SITE WITHIN 48 HOURS OF FINAL GRADING.
 - THE STREET MUST BE CLEARED OR DEBRIS AT THE END OF EACH DAY. ADDITIONAL SWEEPING WILL BE REQUIRED DURING THE HAULING PROCESS. ALL STREETS MUST BE MAINTAINED TO SAFE DRIVING CONDITIONS.
 - CONTRACTOR SHALL DETERMINE STOCK PILE AREAS AND CONCRETE WASHOUT AREAS PRIOR TO EXCAVATION AND PROVIDE NECESSARY EROSION CONTROL.
 - PROPOSED SLOPES AS SHOWN ARE NOT GREATER THAN 3:1.

PROPERTY DESCRIPTION:
Lots 1 and 2, Block 1, URBAN FARM PROJECT ADDITION, Ramsey County, Minnesota, according to the recorded plat thereof.

<p>REVISIONS</p> <table border="1"> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>																					<p>PROJ. NO: 214063 DRAWN: GAM CHECKED: GDJ SCALE: AS SHOWN FIELD BOOK: A DATE: 7/28/14</p>	<p>I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer and Land Surveyor under the laws of the State of Minnesota.</p> <p>Signature: <i>Grant D. Jacobson</i> License No: 23189 Print Name: GRANT D. JACOBSON Date: 7/28/14</p>	<p>JACOBSON ENGINEERS & SURVEYORS jacobson@engsurv.com 21029 HERON WAY LAKEVILLE, MN 55044 (952) 469-4328 FAX (952) 469-4624</p>	<p>PREPARED FOR: LHB Architects 701 Washington Avenue N. Suite 200 Minneapolis, MN 55401</p>	<p>GRADING, DRAINAGE AND UTILITY PLAN</p>	<p>1750 & 1790 LARPEUR AVE. W. FALCON HEIGHTS, MN</p>	<p>SHEET NO. C-2 2</p>



PERFORMANCE
DRIVEN DESIGN.
LHBcorp.com

CLIENT:
POHLAD FAMILY FOUNDATION

60 SOUTH 6TH STREET
SUITE 3900
MINNEAPOLIS, MN 55402

THIS SQUARE APPEARS 1/2"x1/2" ON
FULL SIZE SHEETS

NO DATE ISSUED FOR

NO DATE REVISION

PRELIMINARY
NOT FOR CONSTRUCTION
8/18/14

COPYRIGHT 2014 BY LHB, INC. ALL RIGHTS RESERVED.

PROJECT NAME:
URBAN AGRICULTURAL
ENTERPRISE PROJECT

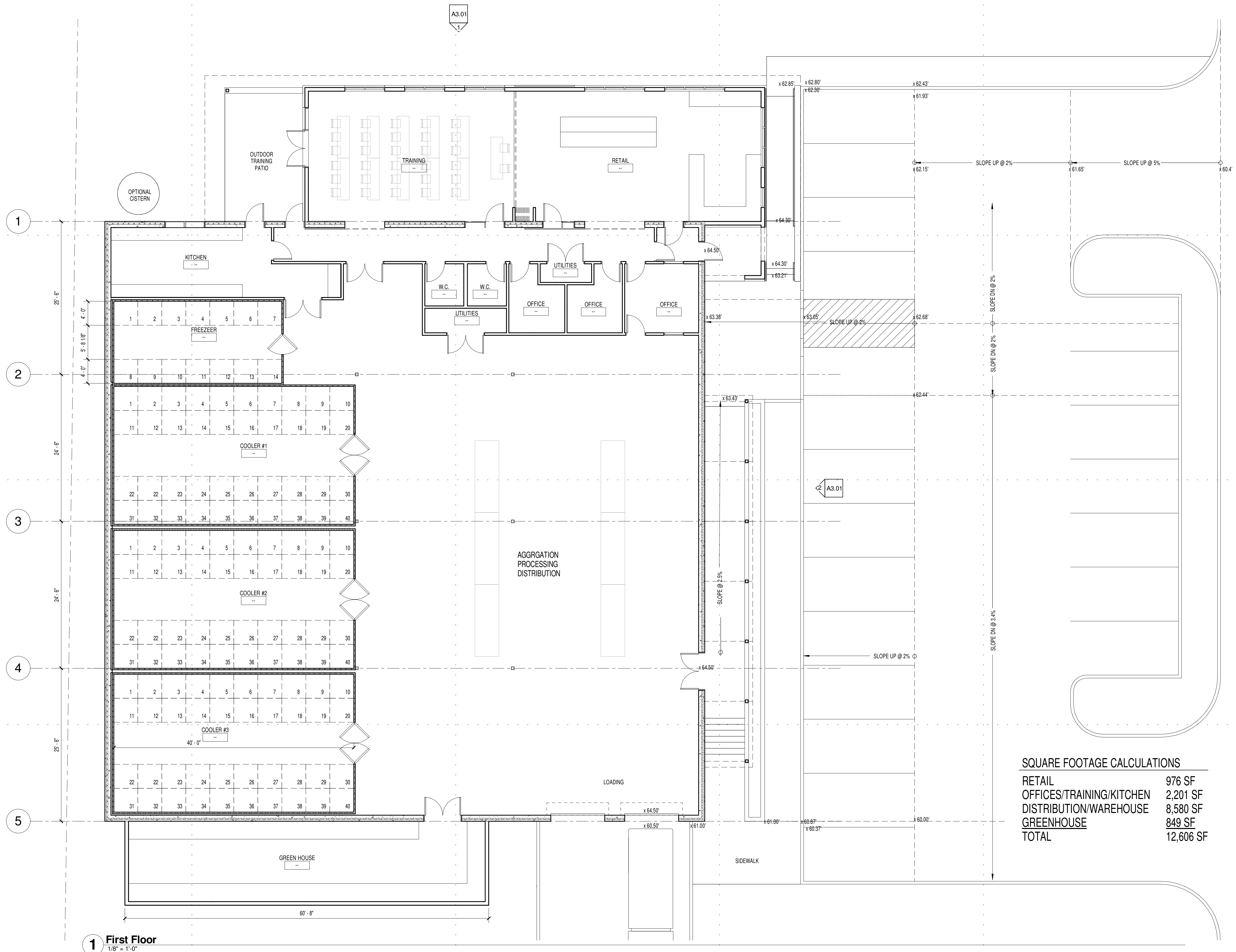
LARPENTEUR AVENUE
Falcon Heights, Minnesota

DRAWING TITLE:
FIRST FLOOR PLAN

FILE: XXX
DRAWN BY: ADM
CHECKED BY: KDB
PROJ. NO: Project
DRAWING NO: Number
Here

A2.01

\\hbsw12\projects\13\Proj\130132\600 Drawings\A130132 Hermes NEW R14 central.rvt
8/18/2014 11:32:56 AM



1 First Floor
1/8" = 1'-0"

SQUARE FOOTAGE CALCULATIONS

RETAIL	976 SF
OFFICES/TRAINING/KITCHEN	2,201 SF
DISTRIBUTION/WAREHOUSE	8,580 SF
GREENHOUSE	849 SF
TOTAL	12,606 SF



PERFORMANCE
DRIVEN DESIGN.
LHBcorp.com

CLIENT:
POHLAD FAMILY FOUNDATION

60 SOUTH 6TH STREET
SUITE 3900
MINNEAPOLIS, MN 55402

THIS SQUARE APPEARS 1/2"x1/2" ON
FULL SIZE SHEETS

NO DATE ISSUED FOR

NO DATE REVISION

PRELIMINARY
NOT FOR CONSTRUCTION
7/28/14

COPYRIGHT 2014 BY LHB, INC. ALL RIGHTS RESERVED.

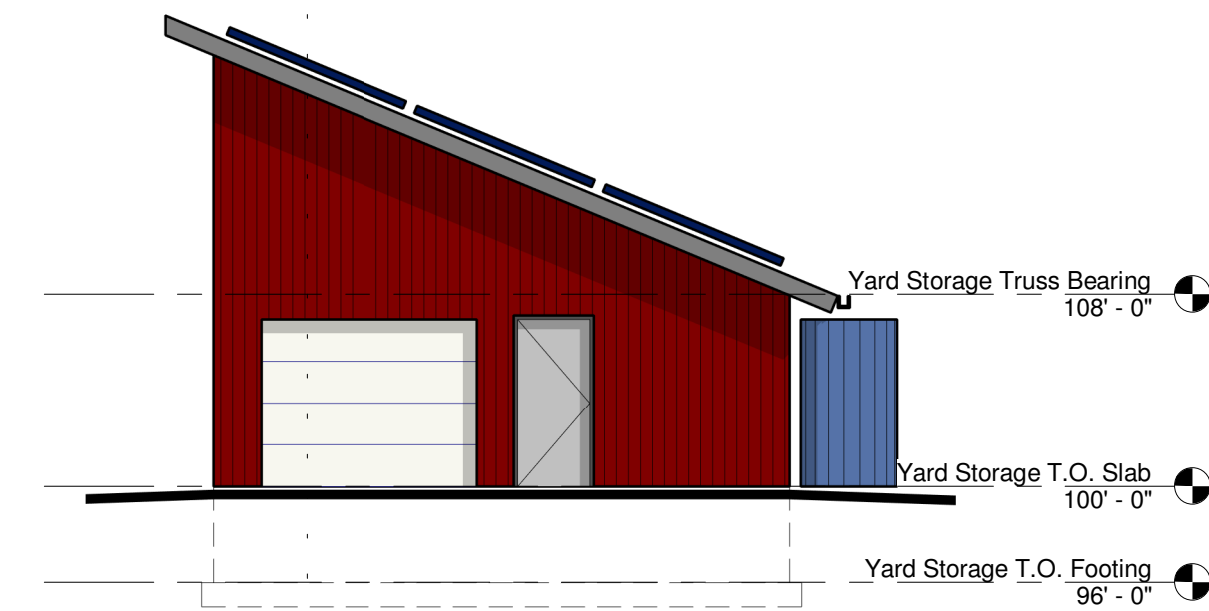
PROJECT NAME:
URBAN AGRICULTURAL
ENTERPRISE PROJECT

LARPENTEUR AVENUE
Falcon Heights, Minnesota

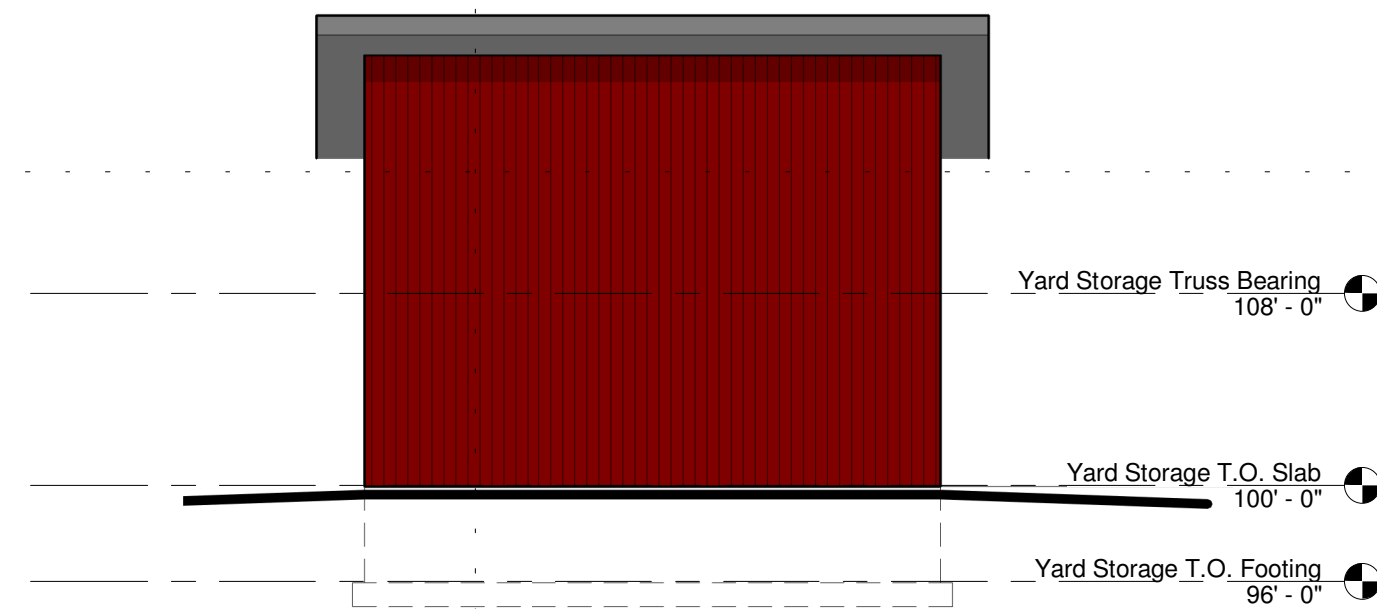
DRAWING TITLE:
YARD STORAGE
BUILDING - COLOR
OPTION 1

FILE: XXX
DRAWN BY: ADM
CHECKED BY: KOB
PROJ. NO: Project
DRAWING NO: Number
Here

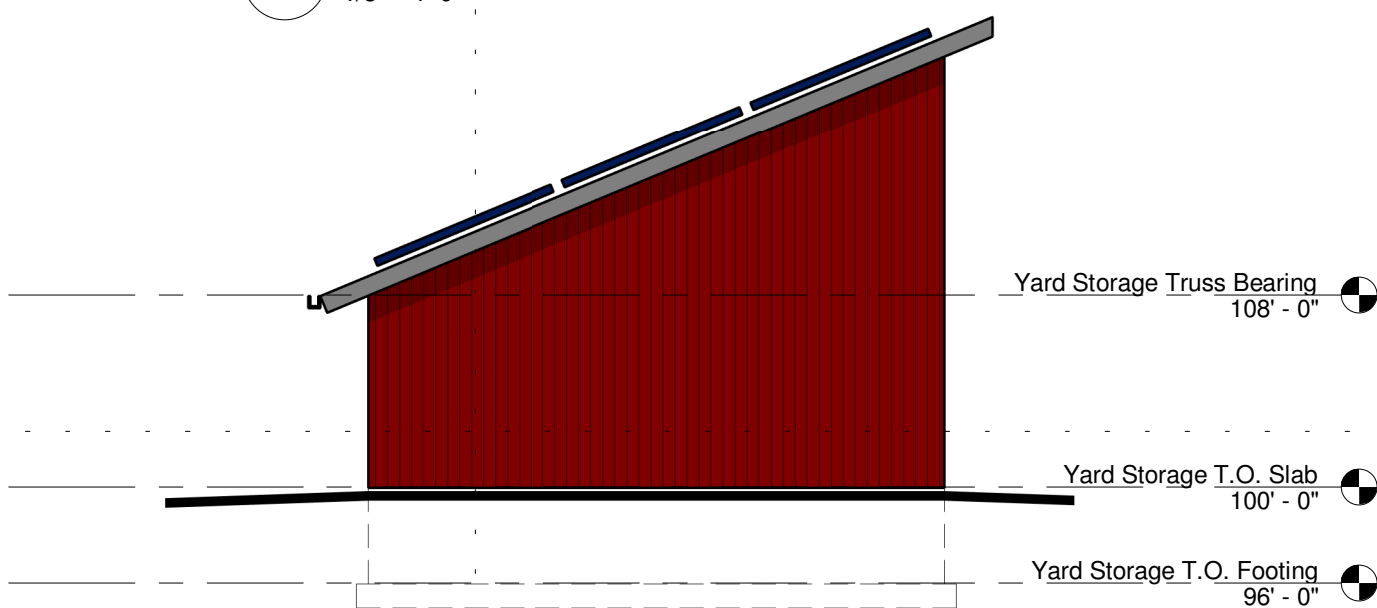
A2.02



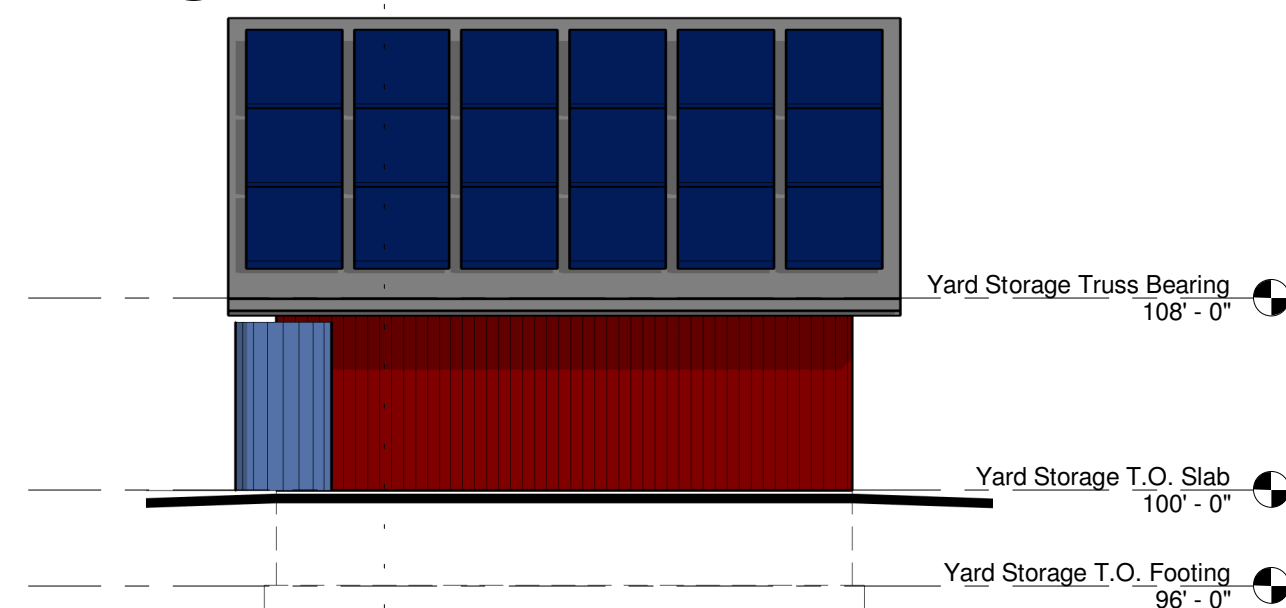
2 Yard Storage - West
1/8" = 1'-0"



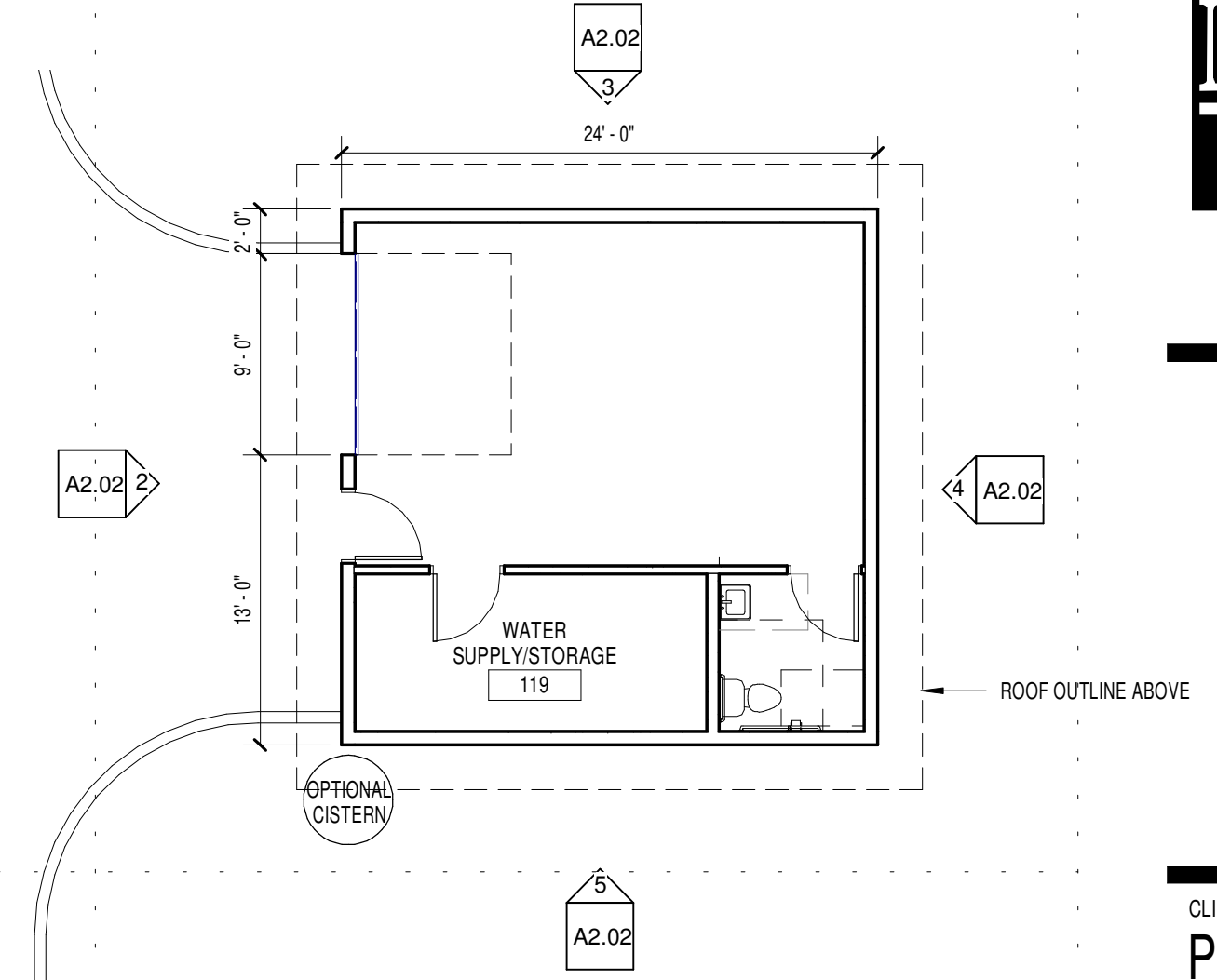
3 Yard Storage - North
1/8" = 1'-0"



4 Yard Storage - East
1/8" = 1'-0"



5 Yard Storage - South
1/8" = 1'-0"



1 First Floor - Yard Storage
1/8" = 1'-0"



PERFORMANCE
DRIVEN DESIGN.
LHBcorp.com

CLIENT:
POHLAD FAMILY FOUNDATION

60 SOUTH 6TH STREET
SUITE 3900
MINNEAPOLIS, MN 55402

THIS SQUARE APPEARS 1/2"x1/2" ON
FULL SIZE SHEETS

NO DATE ISSUED FOR

NO DATE REVISION

PRELIMINARY
NOT FOR CONSTRUCTION
8/18/14

COPYRIGHT 2014 BY LHB, INC. ALL RIGHTS RESERVED.

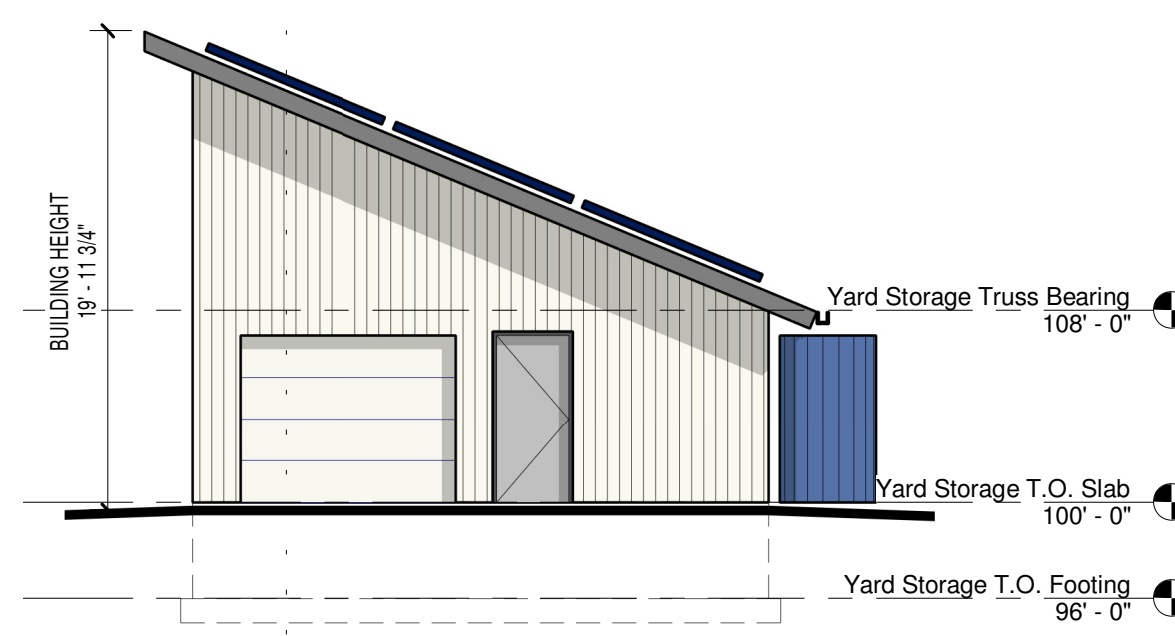
PROJECT NAME:
URBAN AGRICULTURAL
ENTERPRISE PROJECT

LARPENTEUR AVENUE
Falcon Heights, Minnesota

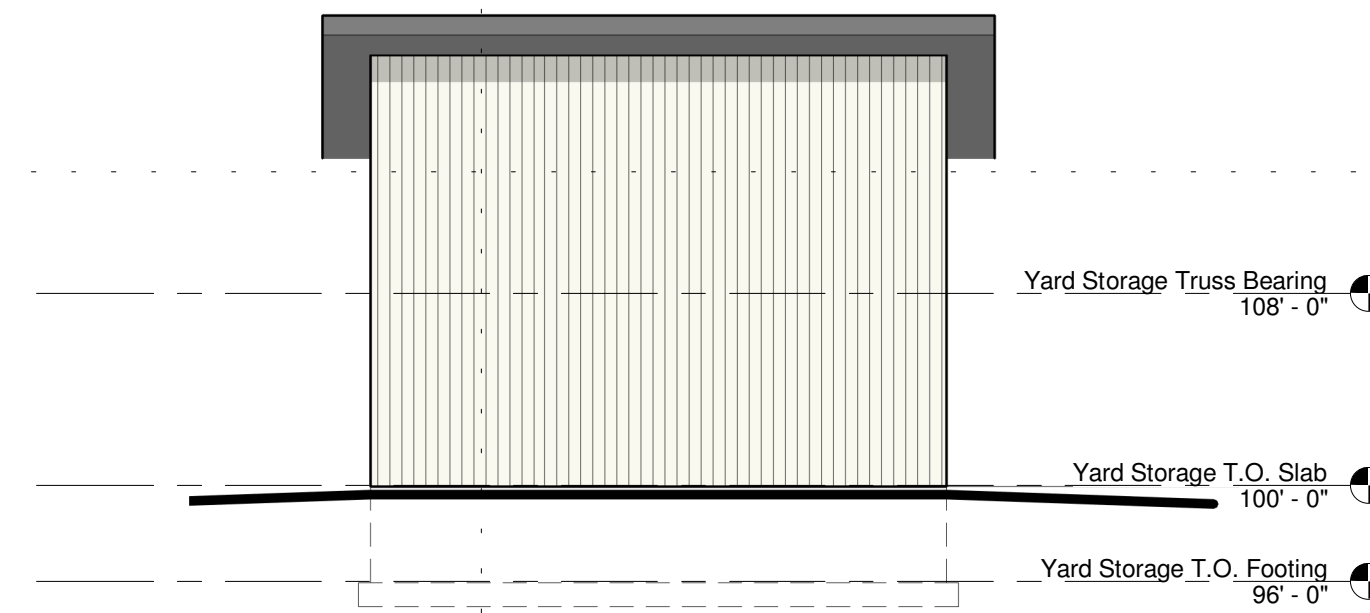
DRAWING TITLE:
YARD STORAGE
BUILDING - COLOR
OPTION 2

FILE: XXX
DRAWN BY: ADM
CHECKED BY: KOB
PROJ. NO: Project
DRAWING NO: Number
Here

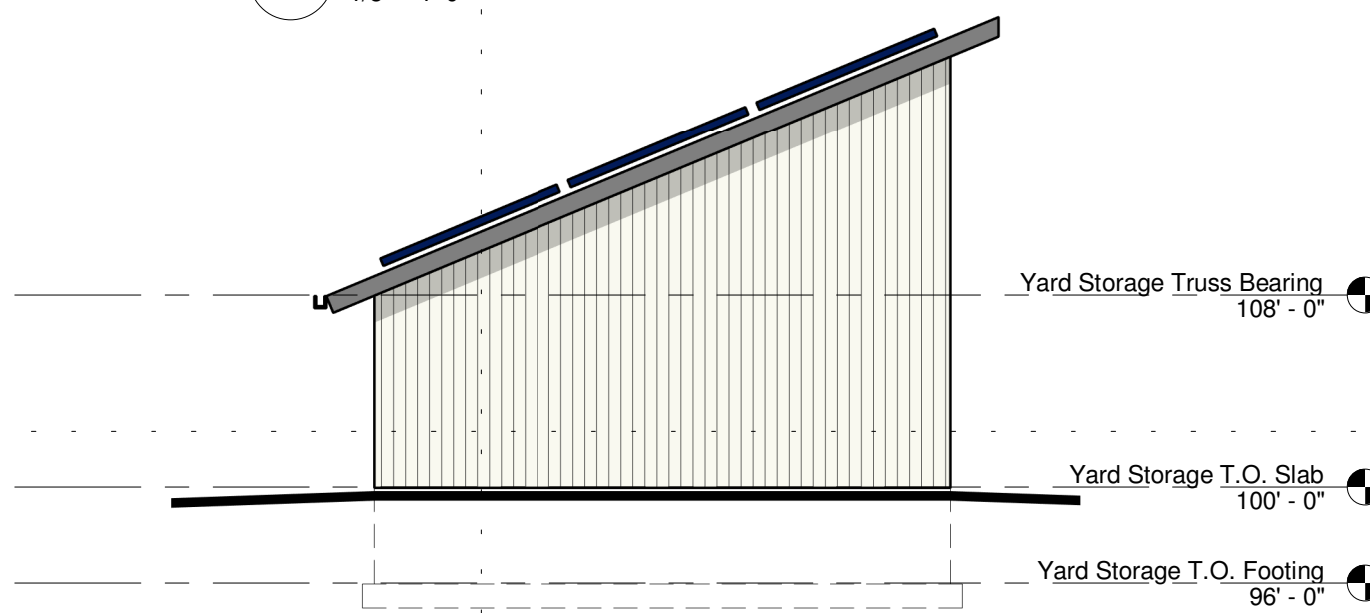
A2.02



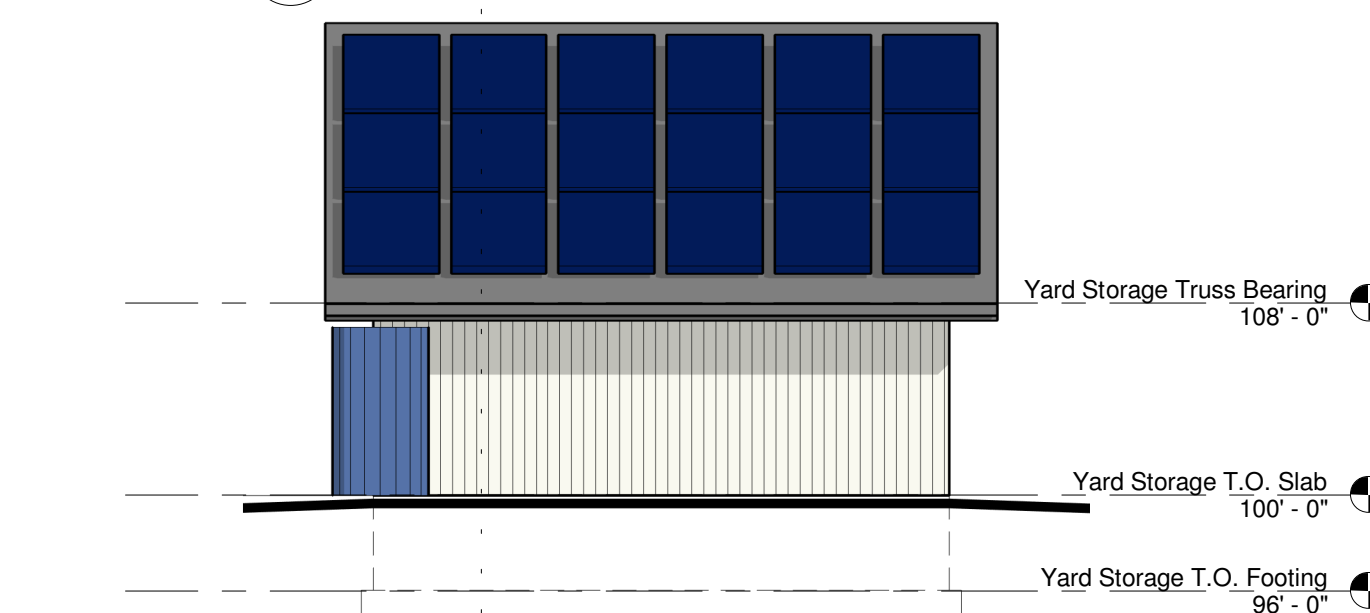
2 Yard Storage - West
1/8" = 1'-0"



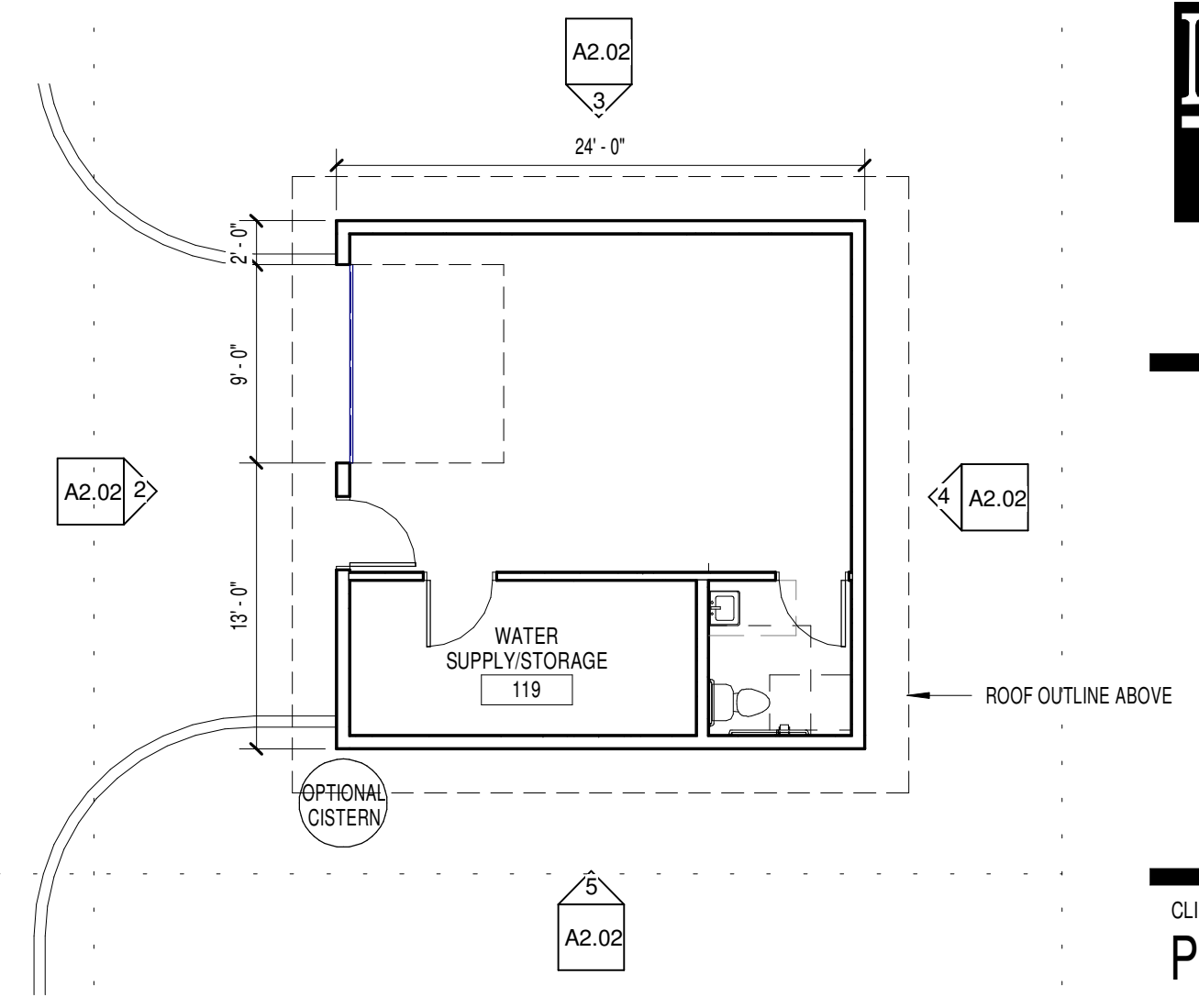
3 Yard Storage - North
1/8" = 1'-0"



4 Yard Storage - East
1/8" = 1'-0"



5 Yard Storage - South
1/8" = 1'-0"



1 First Floor - Yard Storage
1/8" = 1'-0"



PERFORMANCE
DRIVEN DESIGN.
LHBcorp.com

CLIENT:
POHLAD FAMILY FOUNDATION

60 SOUTH 6TH STREET
SUITE 3900
MINNEAPOLIS, MN 55402

THIS SQUARE APPEARS 1/2"x1/2" ON
FULL SIZE SHEETS

NO DATE ISSUED FOR

NO DATE REVISION

PRELIMINARY
NOT FOR CONSTRUCTION
8/18/14

COPYRIGHT 2014 BY LHB, INC. ALL RIGHTS RESERVED.

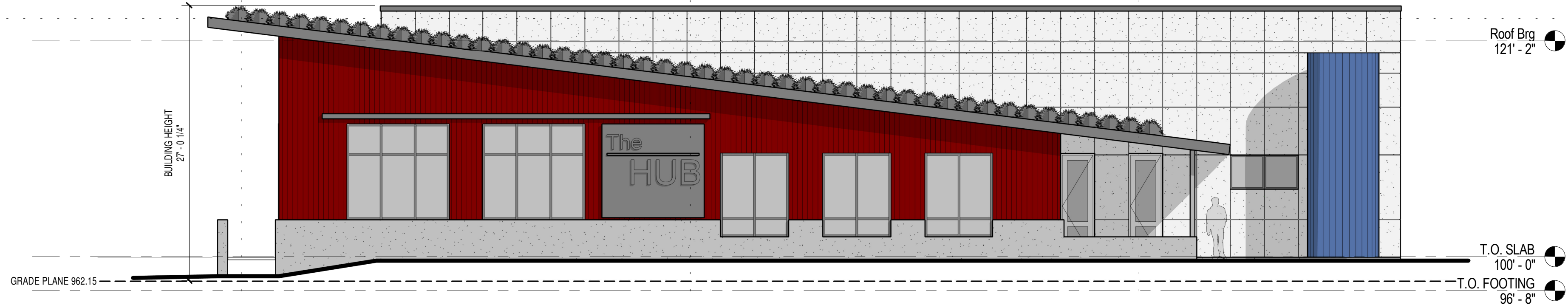
PROJECT NAME:
URBAN AGRICULTURAL
ENTERPRISE PROJECT

LARPENTEUR AVENUE
Falcon Heights, Minnesota

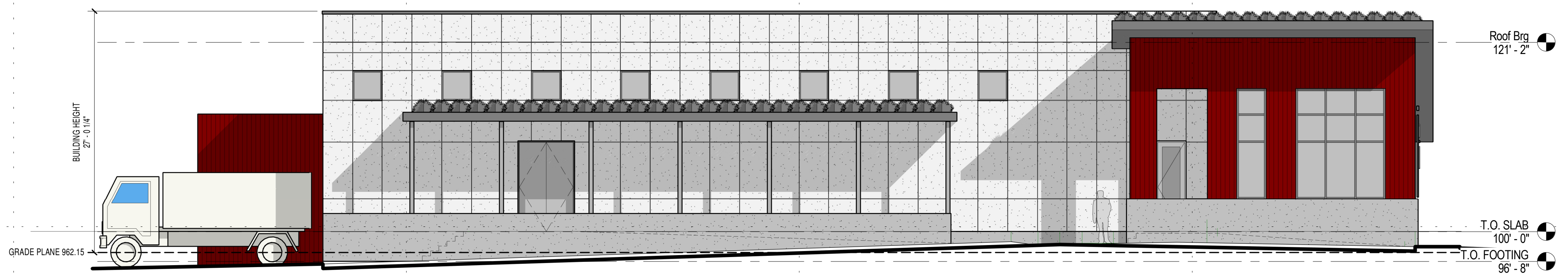
DRAWING TITLE:
EXTERIOR ELEVATIONS -
COLOR OPTION 1

FILE: XXX
DRAWN BY: ADM
CHECKED BY: KOB
PROJ. NO: Project
DRAWING NO: Number
Here

A3.01



1 North -LARPENTEUR AVENUE ELEVATION
1/8" = 1'-0"



2 East
1/8" = 1'-0"



PERFORMANCE
DRIVEN DESIGN.
LHBcorp.com

CLIENT:
POHLAD FAMILY FOUNDATION

60 SOUTH 6TH STREET
SUITE 3900
MINNEAPOLIS, MN 55402

THIS SQUARE APPEARS 1/2"x1/2" ON
FULL SIZE SHEETS

NO DATE ISSUED FOR

NO DATE REVISION

PRELIMINARY
NOT FOR CONSTRUCTION
7/28/14

COPYRIGHT 2014 BY LHB, INC. ALL RIGHTS RESERVED.

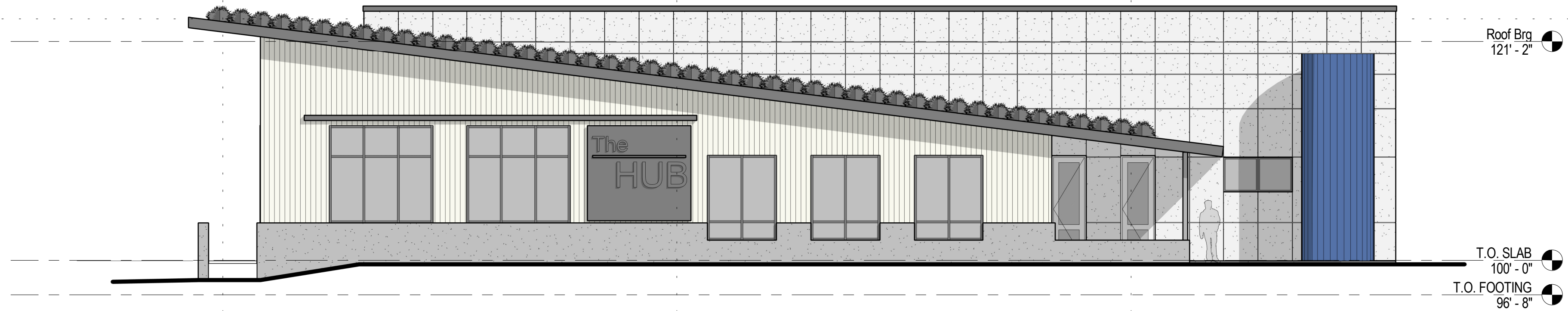
PROJECT NAME:
URBAN AGRICULTURAL
ENTERPRISE PROJECT

LARPENTEUR AVENUE
Falcon Heights, Minnesota

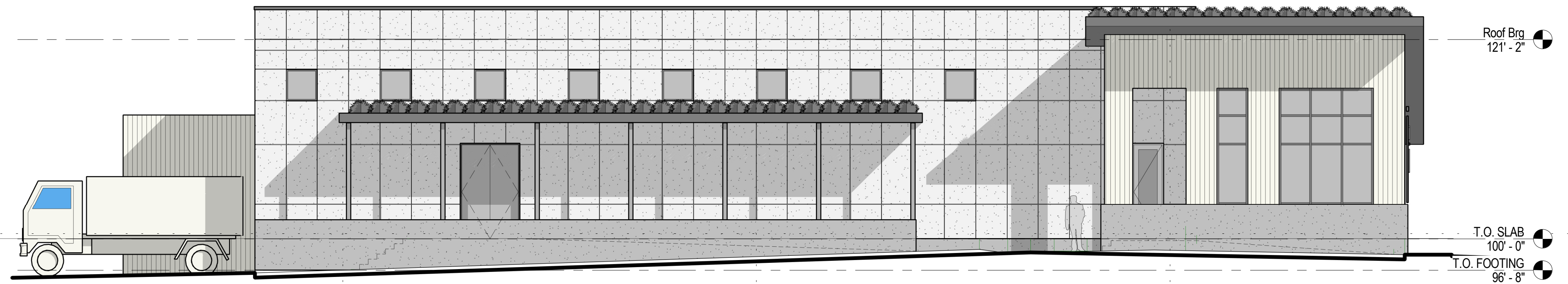
DRAWING TITLE:
EXTERIOR ELEVATIONS -
COLOR OPTION 2

FILE: XXX
DRAWN BY: ADM
CHECKED BY: KDB
PROJ. NO: Project
DRAWING NO: Number
Here

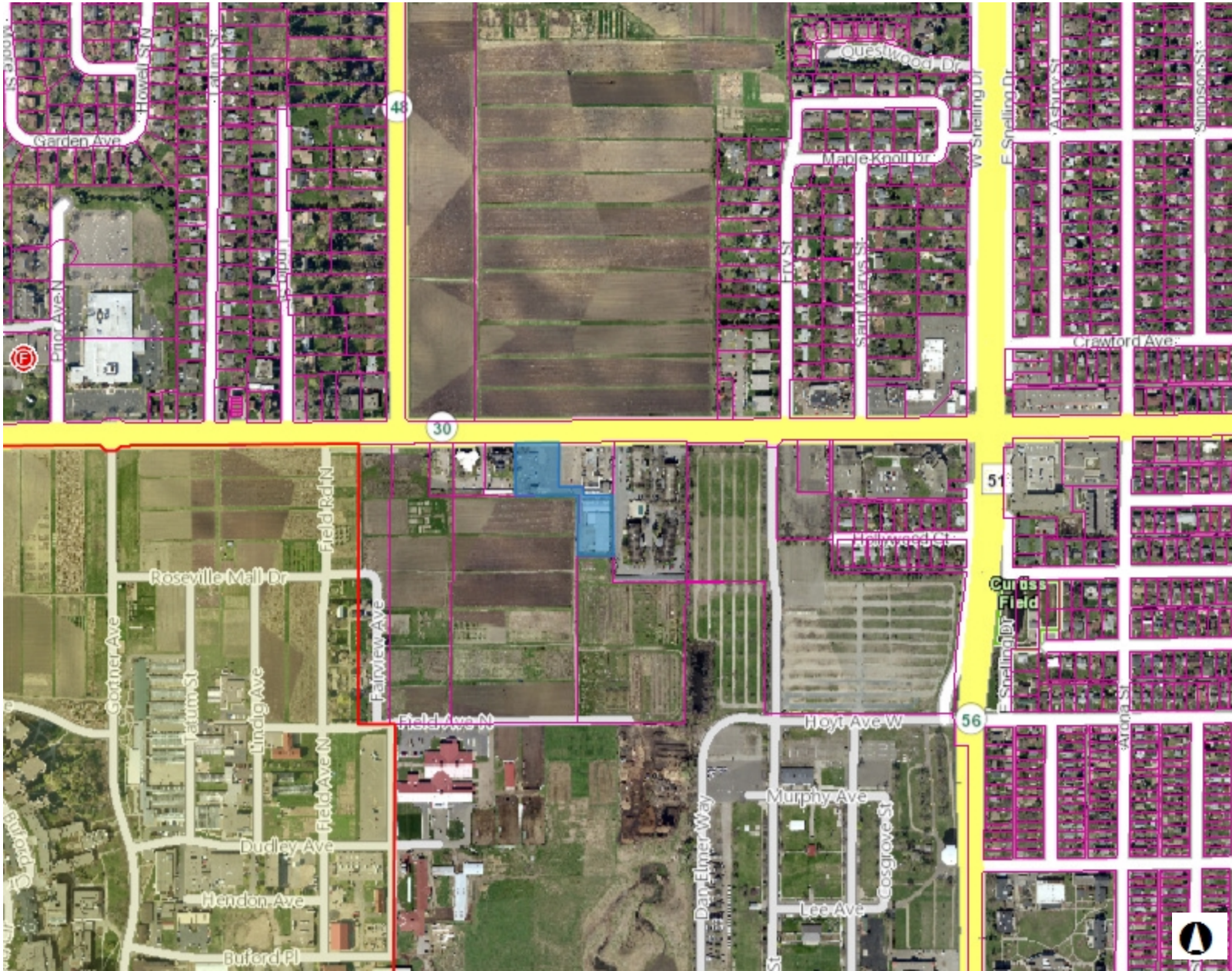
A3.01



1 North -LARPENTEUR AVENUE ELEVATION
1/8" = 1'-0"



2 East
1/8" = 1'-0"



Legend



- City Halls
- Schools
- Hospitals
- Fire Stations
- Police Stations
- Recreational Centers
- Parcel Points
- Parcel Boundaries



Notes

Enter Map Description

1,333.3 0 666.67 1,333.3 Feet

**CITY OF FALCON HEIGHTS
RAMSEY COUNTY, MINNESOTA**

ORDINANCE NO. 14-01

**AN ORDINANCE AMENDING SECTION 113-209 OF THE
FALCON HEIGHTS CITY CODE**

THE CITY COUNCIL OF FALCON HEIGHTS ORDAINS:

SECTION 1. Section 113-209 of the Falcon Heights City Code is amended as follows. Additions are shown with an underline and deletions are shown with a ~~striketrough~~.

113-209 URBAN FARM PLANNED UNIT DEVELOPMENT DISTRICT

(d) **PERMITTED USES.** The following uses are permitted subject to the Development Plan for the PUD, Section 113-209(f), and the standards and requirements of the R-5M zoning district, except as modified herein:

- (1) On lot 1, block 1 an urban farm. At least ~~29~~ 21 paved parking spaces ~~and space for 6 future parking spaces~~ must be maintained next to the main building adjacent to Larpenteur Ave., as well as at least 24 overflow parking stalls. The urban farm may have up to:

976 square feet of retail space;

2,201 square feet of office/training/kitchen space;

8,580 square feet of distribution/warehouse space;

849 square feet of greenhouse space; and

576 square feet of yard storage building space

~~1,200 square feet of enclosed retail space;~~

~~2,000 square feet of office space;~~

~~2,000 square feet of training and classroom space;~~

~~7,000 square feet of 2nd floor rooftop garden;~~

~~14,000 square feet of warehouse, cooler and distribution space;~~

~~3,000 square feet of shipping and receiving space; and~~

~~12,500 square feet of indoor garden or aquaponics production~~

(f) **DEVELOPMENT PLAN.** The PUD must be maintained in accordance with the following development plan which is on file with the City and which is incorporated herein by reference.

- (1) Urban Farm Project Addition Plat;
- (2) Topographic Survey and Grading, Drainage and Utility Plan prepared by Jacobson Engineers & Surveyors dated July 28, 2014~~April 15, 2013~~;
- (3) The following plans ~~dated April 15, 2013 and May 15, 2013~~ prepared by LHB for Lot 1, Block 1:

Architectural Site Plan w/ Landscape Layout dated August 18, 2014,

~~Site Plan,~~

~~Grading and Utility Plan,~~

~~Landscape Schematic,~~

~~Site Perspectives,~~

~~Basement/Garage Plan,~~

First Floor Plan dated August 18, 2014,

~~Second Floor Plan;~~

Yard Storage Building – Color Option 1 dated July 28, 2014 or Yard Storage Building –
Color Option 2 dated August 18, 2014

Exterior Elevations – Color Option 1 dated August 18, 2014 or Exterior Elevations – Color
Option 2 dated July

SECTION 2. This Ordinance shall be effective upon adoption and publication according to law.

ADOPTED this 10th day of September, 2014, by the City Council of the City of Falcon Heights, Minnesota.

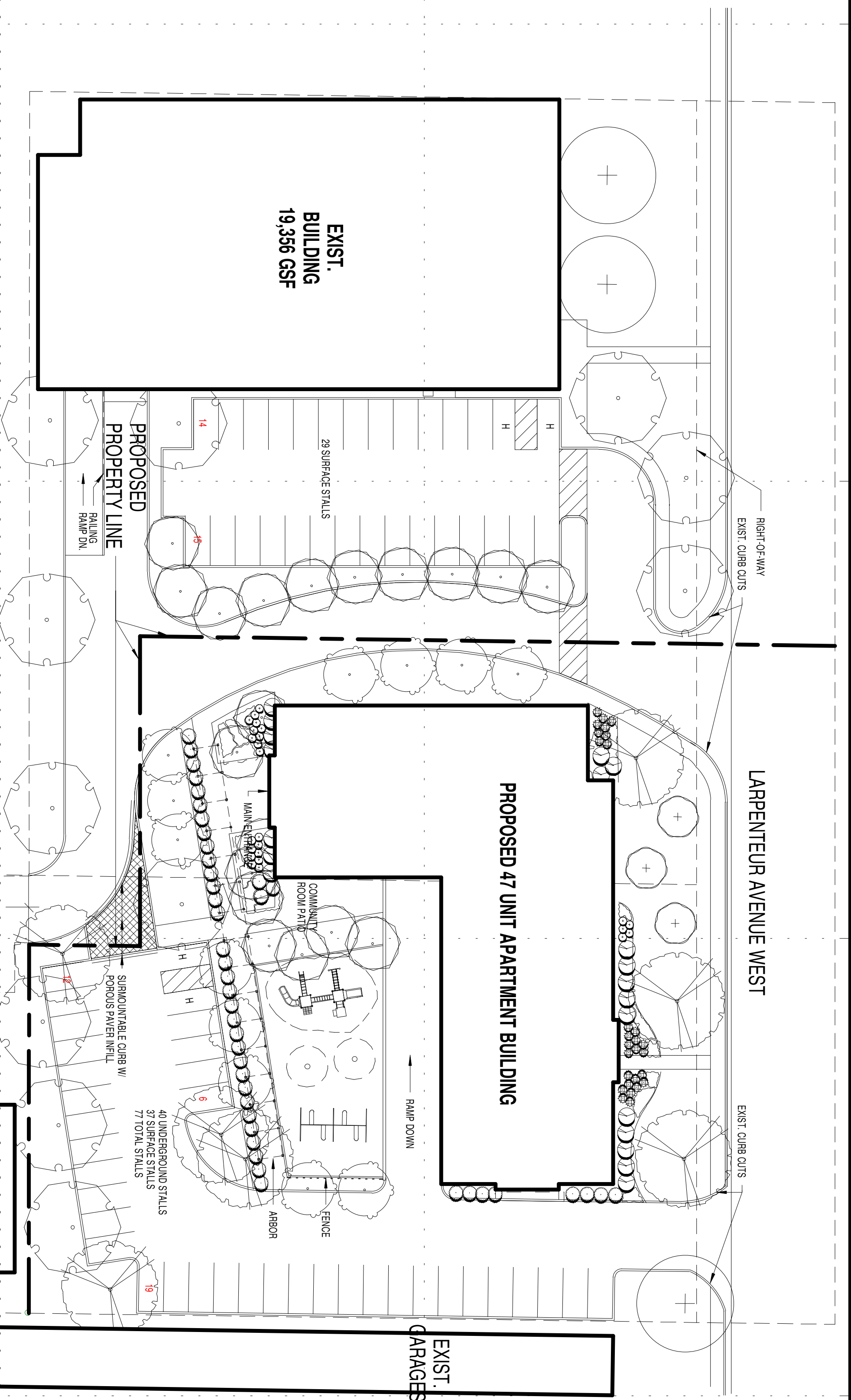
CITY OF FALCON HEIGHTS

BY: _____

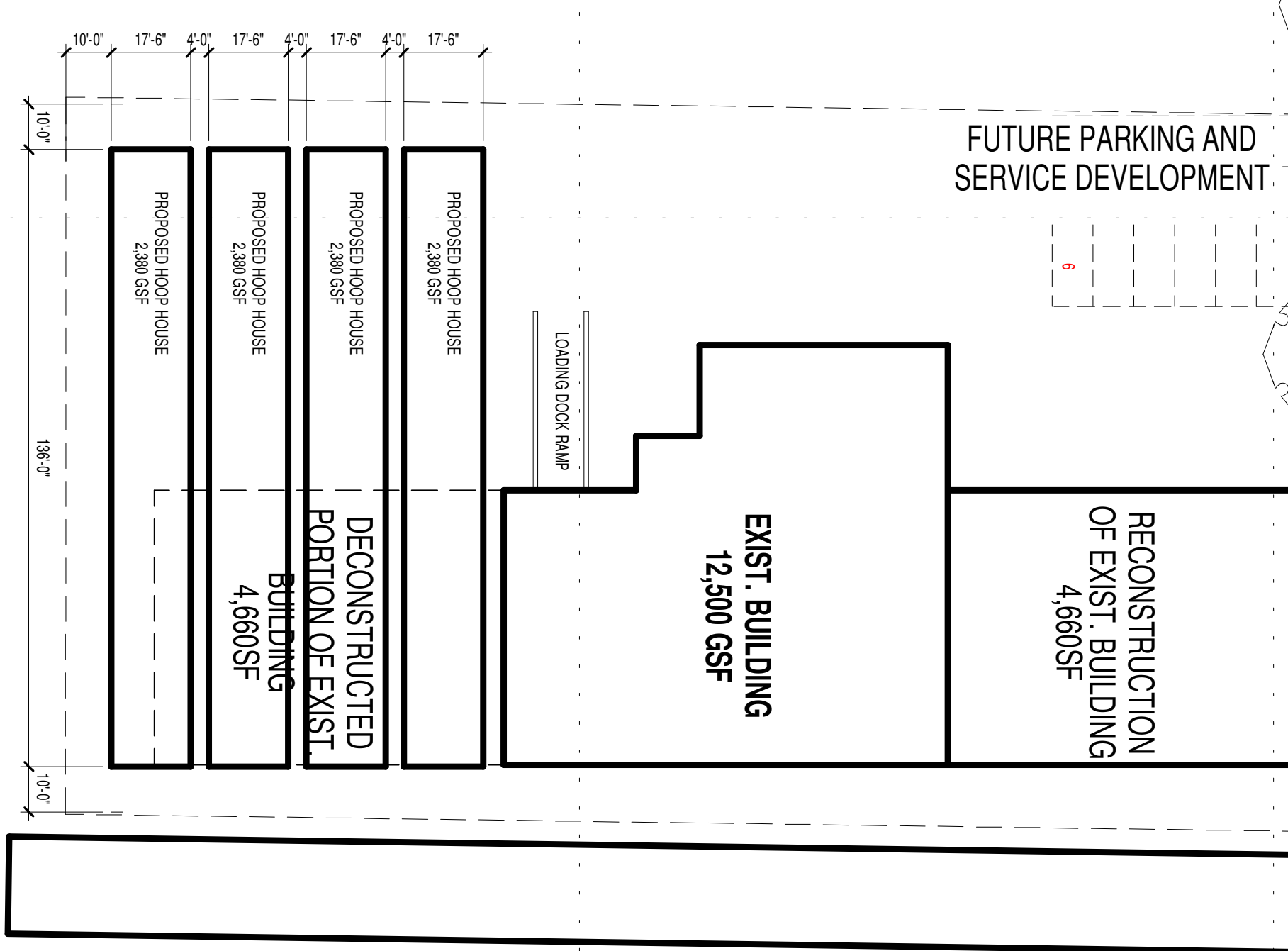
Peter Lindstrom, Mayor

ATTEST:

Bart Fischer, City Administrator/City Clerk



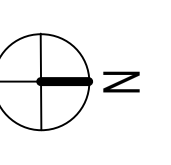
Previously Approved Site Plan



SHEET INDEX

A0.00	ARCHITECTURAL SITE PLAN (5/15/13)
C-1	TOPOGRAPHIC SURVEY (4/15/13)
C1.01	SITE PLAN (5/15/13)
C2.01	GRADING AND UTILITY PLAN (5/15/13)
L1	LANDSCAPE SCHEMATIC (5/15/13)
A0.10	SITE PERSPECTIVES (5/15/13)
A0.11	SITE PERSPECTIVES (5/15/13)
A0.12	SITE PERSPECTIVES (5/15/13)
A0.13	SITE PERSPECTIVES (5/15/13)
A0.14	SITE PERSPECTIVES (5/15/13)
A0.15	SITE PERSPECTIVES (5/15/13)
A0.16	SITE PERSPECTIVES (5/15/13)
WAREHOUSE FLOOR PLAN DIAGRAMS (5/15/13)	
A1.00	BASEMENT/GARAGE PLAN (4/15/13)
A1.10	FIRST FLOOR PLAN (4/15/13)
A1.20	SECOND FLOOR PLAN (4/15/13) (THIRD AND FOURTH SIM.)

1 Architectural Site Plan
1" = 30'-0"



250 3rd Ave. N, Ste. 450 | Minneapolis, MN 55401 | 612.388.2029
LHBcorp.com



CLIENT:
Common Bond Communities
Saint Paul, MN

THIS SQUARE APPEARS 1/2"x1/2" ON
FULL SIZE SHEETS

NO.	DATE	ISSUED FOR
1	4/15/2013	PLD SUBMITTAL
NO.	DATE	ISSUED FOR

NO.	DATE	REVISION
NO. <td>DATE</td> <td>REVISION</td>	DATE	REVISION

PRELIMINARY
NOT FOR CONSTRUCTION
5/15/13

COPYRIGHT 2013 BY LHB, INC. ALL RIGHTS RESERVED.
PROJECT NAME:
Hermes Housing

1750-1790 Larpenieur Avenue
Falcon Heights, MN 55113
DRAWING TITLE:
Architectural Site Plan

FILE: XXX
DRAWN BY: ADM
CHECKED BY: Oekelr
PROJ. NO.: 130132
DRAWING NO.:

A0.00



CITY OF
FALCON HEIGHTS

2077 W. Larpenteur Avenue
Falcon Heights, MN 55113-5594

email: mail@falconheights.org
website: www.falconheights.org

The City That Soars!

Phone - (651) 792-7600
Fax - (651) 792-7610

August 8, 2014

Dear Property Owner:

You are cordially invited to a public hearing before the Falcon Heights Planning Commission for the purpose of taking public comment on a requested amendment to a Planned Unit Development (PUD) for property located at 1790 Larpenteur Avenue, Falcon Heights.

Tuesday, August 26, 2014
7:00 p.m.
Falcon Heights City Hall

In 2013 the subject property was part of a larger preliminary subdivision and rezoning to PUD for the purpose of creating an organic food growing operation (“urban farming”) in existing buildings on site. The PUD was approved by the City Council based on various plans submitted to the city including a site plan, architectural plans, grading, drainage and utility plans, and a landscaping plan, which assumed the existing buildings on site would be used. Unfortunately, the existing buildings were found to be unusable and had to be demolished. The owner now wishes to amend the PUD to allow construction of new buildings, which involves modifications to the previously approved plans.

The revised development plans and other planning documents will be available upon request. If you have questions or comments before the hearing, you may contact me at 612-209-3006 or by email at alewis@wsbeng.com.

Sincerely,

Addison Lewis
Planning Consultant

cc: Chelsea Petersen, City of Falcon Heights

CITY OF FALCON HEIGHTS, MINNESOTA

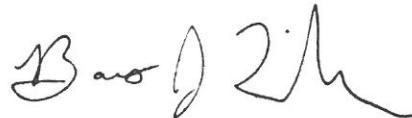
PUBLIC HEARING NOTICE

NOTICE IS HEREBY GIVEN, that the Falcon Heights Planning Commission will meet on Tuesday, August 26, 2014, at approximately 7:00 p.m. at Falcon Heights City Hall, 2077 Larpenteur Avenue West, Falcon Heights, Minnesota 55113, to consider an amendment to a Planned Unit Development (PUD) for a revised site plan, architectural plan, grading, drainage and utility plan, and landscaping plan for property located at 1790 Larpenteur Avenue West, Falcon Heights, Minnesota, legally described as:

Section 21-29-23, Lot 1, Block 1, Urban Farm Addition.

All persons who desire to speak on this issue are encouraged to attend and will be given an opportunity to be heard at this meeting. Additional information can be obtained by contacting the City of Falcon Heights at (651) 792-7600.

Dated: August 7, 2014.



Bart Fischer, City Administrator/Clerk
City of Falcon Heights, Minnesota



CITY OF
FALCON HEIGHTS

2077 W. Larpenteur Avenue
Falcon Heights, MN 55113-5594

email: mail@falconheights.org
website: www.falconheights.org

The City That Soars!

Phone - (651) 792-7600
Fax - (651) 792-7610

MEMORANDUM

DATE: August 21, 2014

TO: Chelsea Petersen, Community Development Coordinator

FROM: Kristine Giga, Civil Engineer

SUBJECT: **PUD Amendment of Urban Farm Project (1750-1790 Larpenteur, formerly Hermes Nursery)**

The following are comments based upon a review of the plans submitted with the PUD amendment:

1. The final plans and specifications are subject to review and approval of the City Engineer.
2. The final site plans must be reviewed and approved by Ramsey County.
3. The storm water analysis and the storm water plans must meet the requirements of the Capitol Region Watershed District. Please submit a copy of the watershed submittal to the City as well.
4. The project may require permits including, but not limited to, MPCA- NPDES, Capitol Region Watershed District, and Ramsey County Right of Way. Copies of all issues permits shall be provided to the City prior to construction.

Please contact me if you have any additional questions.