

Date Received: _____
Received By: _____
Permit #: _____



651-747-3900
3800 Laverne Avenue North
Lake Elmo, MN 55042

LAND USE APPLICATION

- ☐ Comprehensive Plan ☐ Zoning District Amend ☐ Zoning Text Amend ☐ Variance*(see below) ☐ Zoning Appeal
- ☐ Conditional Use Permit (C.U.P.) ☐ Flood Plain C.U.P. ☐ Interim Use Permit (I.U.P.) ☐ Excavating/Grading
- ☐ Lot Line Adjustment ☐ Minor Subdivision ☐ Residential Subdivision Sketch/Concept Plan
- ☐ PUD Concept Plan ☒ PUD Preliminary Plan ☒ PUD Final Plan

Applicant: DAVIS Real Estate Services
Address: 222 South 9th Street, #3255, Minneapolis, MN 55402
Phone #: 612-341-3242
Email Address: mdavis@davisrealestatemn.com

Fee Owner: United Land, LLC
Address: 3600 American Blvd. West, #750, Bloomington, MN 55431
Phone #: 952-837-8525
Email Address: bill.katter@uproperties.com

Property Location (Address and Complete (long) Legal Description): See attached.

Detailed Reason for Request: New medical building development.

*Variance Requests: As outlined in Section 301.060 C. of the Lake Elmo Municipal Code, the applicant must demonstrate practical difficulties before a variance can be granted. The practical difficulties related to this application are as follows:

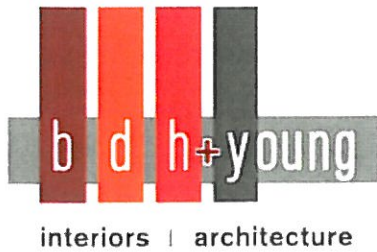
N/A

In signing this application, I hereby acknowledge that I have read and fully understand the applicable provisions of the Zoning ordinance and current administrative procedures. I further acknowledge the fee explanation as outlined in the application procedures and hereby agree to pay all statements received from the City pertaining to additional application expense.

Signature of applicant: [Signature] Date: 5-22-14

Signature of fee owner: [Signature] Date: 5/22/14

Bill Katter
United Properties



7001 France Avenue South
Suite 200
Edina, Minnesota 55435

p 952.893.9020
f 952.893.9299

June 12, 2014

Kyle Klatt

The City of Lake Elmo
3800 Laverne Ave. N.
Lake Elmo, MN 55042

Mr Klatt,

The following is a description of the Eagle Point Medical building being proposed for the southeast corner of Inwood Avenue N. and Eagle Point Blvd. in Lake Elmo, Minnesota

Description:

The proposed Eagle Point Medical Building is a 28,500 square foot two story multi-tenant medical building. The site is 3.77 acres and includes a surface parking lot with 166 parking spaces. The parking lot is accessed at the south end of the site with parking aisles oriented perpendicular to the building to minimize patient - vehicular conflicts. An entrance canopy offers a covered drop off and pick up point at the building entrance for patients. Rain gardens provide infiltration and storm water maintenance. The exterior of the building includes a brick and stone veneer exterior wall with large window areas at the entrance lobby and building corners and metal accent banding.

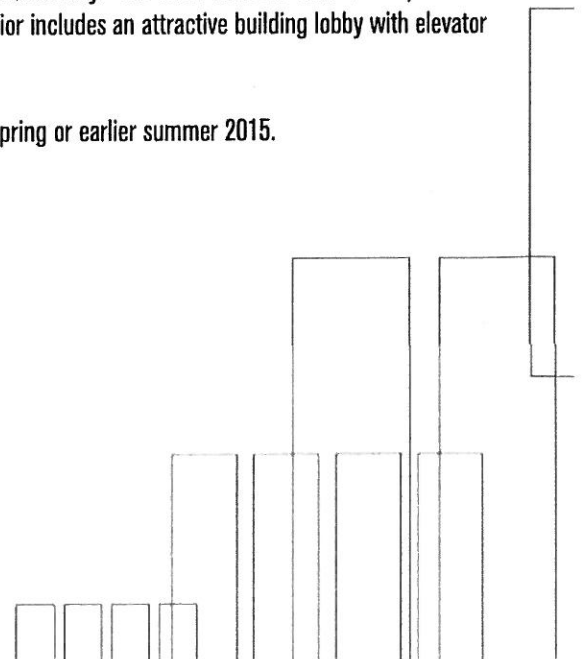
The primary building tenant is Noran Neurological Clinic occupying the entire first floor of the facility. The clinic includes exam rooms, an MRI suite for diagnostic imaging and an infusion bay for cancer treatments. The building interior includes an attractive building lobby with elevator and open staircase to the second floor.

The project is scheduled to begin construction in August of 2014 with completion in late spring or earlier summer 2015.

Sincerely,

A handwritten signature in black ink, appearing to read 'P. J. Giordana'.

Patrick J. Giordana AIA
VP Architecture



Site Development Summary

- ZONING: PUD EAGLE POINT BUSINESS PARK
- PROPERTY AREA: 164,347 SF (3.77 AC)
- EXISTING SITE
 - PERVIOUS SURFACE: 154,435 SF (94.0%)
 - IMPERVIOUS SURFACE: 9,912 SF (6.0%)
- PROPOSED SITE
 - PERVIOUS SURFACE: 71,220 SF (43.3%)
 - IMPERVIOUS SURFACE: 93,127 SF (56.7%)
- BUILDING GROSS SIZE: 28,500 SF
- BUILDING SETBACK PER CODE: 50'=FRONT
10'=SIDE
30'=REAR
- PARKING SETBACK PER CODE: 20'=FRONT
10'=REAR
20'=SIDE WITH INTERIOR ROAD
- PARKING SPACE/DRIVE AISLE: 9' WIDE X 18' LONG, 22' AISLE
- PARKING RATIO REQUIREMENT:
MEDICAL: 1 SPACES / 200 SF OF BLDG

TOTAL SPACES REQUIRED: $(28,500 \text{ SF}) / (1 \text{ SPACE}/200 \text{ SF}) = 143$
- PARKING PROVIDED: 166

DESCRIPTION OF PROPERTY SURVEYED

Lot 1, Block 1, EAGLE POINT BUSINESS PARK 7TH ADDITION, according to the recorded plat thereof, Washington County, Minnesota.

PROPOSED UTILITY EASEMENT

A 40.00 foot easement over, under and across part of Lot 1, Block 1, EAGLE POINT BUSINESS PARK 7TH ADDITION, according to the recorded plat thereof, Washington County, Minnesota. The centerline of said easement is described as beginning at the intersection of the west line of said Lot 1 with the north line of the south 20.00 feet of said Lot 1; thence South 88 degrees 46 minutes 25 seconds East, assumed bearing, along said north line of the south 20.00 feet of Lot 1 a distance of 298.98 feet; thence North 27 degrees 12 minutes 26 seconds East a distance of 167.63 feet to the northeasterly line of said Lot 1 and said centerline there terminating. Except that part of said easement that lies within the drainage and utility easements as dedicated in EAGLE POINT BUSINESS PART 4TH ADDITION and said EAGLE POINT BUSINESS PARK 7TH ADDITION, according to the recorded plats thereof, Washington County, Minnesota.

MEMORANDUM

Westwood Professional Services

7699 Anagram Drive
Eden Prairie, MN 55346

MAIN 952-937-5150
FAX 952-937-5822
TOLL FREE 1-888-937-5150
MAIL wps@westwoodps.com
www.westwoodps.com



Date: May 15, 2014

Re: Eagle Point Medical Center
Inwood Ave. N. / Eagle Point Blvd.
Stormwater Narrative
File 0003667.00

To: City of Lake Elmo

From: PJ Disch, PE

Project Description

The project site is located on the SE corner of the intersection between Inwood Avenue North and Eagle Point Boulevard in Lake Elmo, MN. The proposed project scope is to construct an 18,800 SF, two-story, medical center with an adjacent parking lot. The existing property is 3.77 acres.

Existing and Proposed Drainage Areas

This is the breakdown of the existing and proposed areas.

Existing

Pervious:	154,435 SF
Impervious:	9,912 SF
Total:	164,347 SF

Proposed

Pervious:	71,220 SF
Impervious:	93,127 SF
Total:	164,347 SF

Existing Drainage Conditions

The existing property consists of three drainage areas (see attached drainage map). Stormwater that falls on the north side of the property drains into Eagle Point Boulevard as well as the ditch running along Inwood Avenue North. Stormwater that falls on the remaining middle and south portions of the property drain to the existing road to the east. The existing property has minimal impervious surfaces. The property consists of mainly soils from Hydraulic Soil Group B which will allow for adequate infiltration.



Proposed Drainage Conditions

The proposed property will be composed of four drainage areas (see attached drainage map). Area 1P will model all stormwater that drains offsite during a rain event. Areas 2P-4P will model runoff that drains to each of three proposed rain gardens on site.

Runoff Storage Volume

The City of Lake Elmo requires that all stormwater that falls over impervious areas from the 1" storm event be infiltrated on site. To comply, three rain gardens will be constructed along the east side of the property. The rain gardens will have drain tile with a gate valve installed to help mitigate ponding, if the soils prove to be inadequate for infiltration. The following are the calculations for our volume requirement.

Volume Required for New Impervious Area

$$(93,127 \text{ SF}) \times (1.0 \text{ in}) \times (1 \text{ ft} / 12 \text{ in}) = 7,761 \text{ CF}$$

If the soils do not allow for infiltration on site, the volume requirement will increase by 30%.

$$7,761 \text{ CF} \times 1.3 = 10,089 \text{ CF}$$

Proposed Volume in Rain Garden #1

Area of 1000.5' Contour	2,027 SF
Volume from 997.0' to 1000.5'	$(2,027 \text{ SF}) \times (3.5 \text{ ft}) = 7,095 \text{ CF}$
Open Volume from 999.0' to 1000.5'	2,250 CF (from HydroCAD)
Volume of Planting Medium	$(7,095 \text{ CF}) - (2,250 \text{ CF}) = 4,845 \text{ CF}$
Void Volume of Planting Medium	$(4,845 \text{ CF}) \times (0.40) = 1,938 \text{ CF}$
Total Volume (Storage)	Void Volume of Planting Medium + Open Volume $(1,938 \text{ CF}) + (2,250 \text{ CF}) = 4,188 \text{ CF}$

Proposed Volume in Rain Garden #2

Area of 996.5' Contour	2,387 SF
Volume from 993.0' to 996.5'	$(2,387 \text{ SF}) \times (3.5 \text{ ft}) = 8,355 \text{ CF}$
Open Volume from 995.0' to 996.5'	2,721 CF (from HydroCAD)
Volume of Planting Medium	$(8,355 \text{ CF}) - (2,721 \text{ CF}) = 5,634 \text{ CF}$



Void Volume of Planting Medium	$(5,634 \text{ CF}) \times (0.40) = 2,254 \text{ CF}$
Total Volume (Storage)	Void Volume of Planting Medium + Open Volume $(2,254 \text{ CF}) + (2,721 \text{ CF}) = 4,975 \text{ CF}$

Proposed Volume in Rain Garden #3

Area of 994.5' Contour	2,450 SF
Volume from 991.0' to 994.5'	$(2,450 \text{ SF}) \times (3.5 \text{ ft}) = 8,575 \text{ CF}$
Open Volume from 993.0' to 994.5'	2,900 CF (from HydroCAD)
Volume of Planting Medium	$(8,575 \text{ CF}) - (2,900 \text{ CF}) = 5,675 \text{ CF}$
Void Volume of Planting Medium	$(5,675 \text{ CF}) \times (0.40) = 2,270 \text{ CF}$
Total Volume (Storage)	Void Volume of Planting Medium + Open Volume $(2,270 \text{ CF}) + (2,900 \text{ CF}) = 5,170 \text{ CF}$

Total Volume Provided = 4,188 CF + 4,975 CF + 5,170 CF = 14,333 CF

Volume provided is greater than volume required, therefore no additional volume is necessary.

Stormwater Runoff Summary

The following table summarizes the existing conditions and post-development peak runoff rates from the site for the 2, 10, and 100-year storm events.

Rate Control

Drainage Area	Storm Event		
	2-Year (2.80") (cfs)	10-Year (4.17") (cfs)	100-Year (7.35") (cfs)
Existing	2.73	7.05	19.34
Proposed	0.82	4.65	18.42

Attachments

- A Existing and Proposed Drainage Area Maps
- B Existing and Proposed HydroCAD Model



Lake Elmo City Hall
651-747-3900
3800 Laverne Avenue North
Lake Elmo, MN 55042

Development Standards for Eagle Point Business Park

300.12 subd. (1)(B) and 300.12(2). No Business Park structure shall exceed 60' in height. Parapet walls shall not exceed more than 4' above the height permitted of the building.

300.13 subd (6)(A)(3) Parking spaces shall be 9' X 18' at the developments north of Hudson Blvd and 10' X 20' South of Hudson Blvd, with the exception of the hotel and restaurant which needs to be 9' X 18' spacing. Parking spaces for the handicapped shall be minimum of 12' X 20'. 20% of the spaces in an office development can be compact car size 8' X 16". The size of parking space may be altered upon approval of Zoning Administrator.

300.13 subd. (6)(B)(6)(D) The primary landscaping materials shall be shade trees with shrubs, hedges, etc., used only to complement trees, not as the sole means of landscaping. Landscaping and irrigation will be done on a project by project basis. If landscaping within the NSP easement is disturbed, it needs to be replaced by NSP, or the property owner. Berming and landscaping must be approved within one year of City Council approval.

Permitted Uses: Banks, medical clinics, offices, schools (business, professional and private trade), office showrooms.

Conditional Uses: Business services, conference centers, health clubs, hotels and motels, day care centers, limited retail, medical, dental and research labs, recording studios, restaurants and cafeterias, theaters, teleconferencing transmission facilities, veterinary clinics, and hotel.

Minimum Lot Area: 2.0 acres. Lots less than 2.0 acres might be approved on a project by project basis through a conditional use permit.

Minimum Lot Frontage: 200' with the exception of 50' pm a cul-de-sac.

Lot Width/Depth Ratio: 1/3.5

Minimum Building Setbacks: 50' for the front and street frontage, and 10' for side and rear frontage. When abutting residential uses, the current ordinance requirement will apply.

Minimum Parking Setbacks: Front: 20', Side: 10', Side(street): 20', Rear: 10'

Minimum Building Foundation Size: 10,000 s.f.

Parking Ratio: One space for each 250 s.f. of office building area or one space per two employees, whichever is greater. One space per 2,000 s.f of storage, warehouse and 1 space per 1,000 s.f. of showroom.

Pathways: 8' wide pathways as part of the City's trail system and the City will maintain.

Storm Water Control: Storm water management requirements should be averaged over the PUD area as a whole. The tributary setback will be 30' from the tributary setback, and the parking setback will be 10' from the tributary setback.

Lighting Height: 30' maximum

Sign Height: Businesses can have signage on the building and a monument sign at the property's entrance, and that a pylon sign must be approved on a case by case basis by the City.

Pond Maintenance: Recommend the creation of a District to take care of pond maintenance.

4 Business Park Development

Applicable Zoning Districts:

- Business Park/Light Manufacturing (BP)

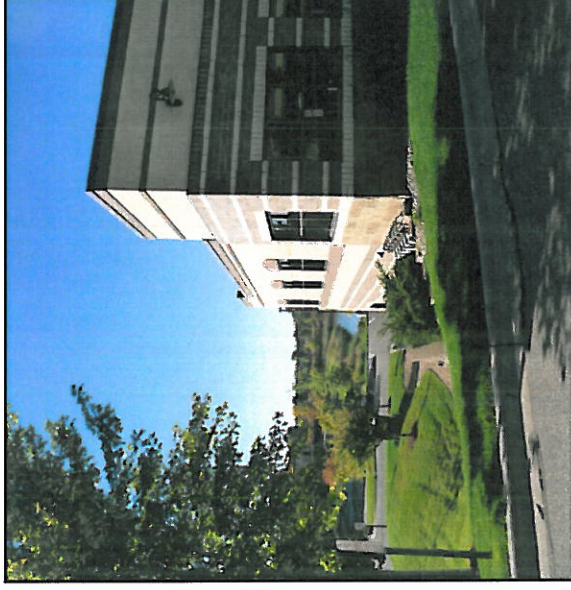
The intent of this zoning district is to provide opportunities for high quality business park development for office, light manufacturing, and other non-retail uses. In terms of design, this manual establishes consistent architectural standards between various users in the BP district. These architectural standards are intended to promote a coordinated identity and avoid mismatched design. In addition, the manual ensures the installation of open-space character within business park development through effective site design and landscaping.

A. Site Design

Building Placement

Goal: To establish standards for building location that ensure effective automobile and pedestrian circulation and promote coordination of buildings between adjacent sites and structures.

- Buildings must be setback at least 50 feet from the public right of way.
- Buildings should be located in a manner that allows for effective automobile and pedestrian circulation.
- Shared access points from the public ROW are encouraged. Vehicular access points should be limited to minimize traffic disruption.
- The orientation of buildings should be compat-



Utilizing natural topography within business park development adds aesthetic value and reinforces Lake Elmo's open space character.

- ible with adjacent structures and sites.
- Utilizing the natural topography or features of the site is encouraged to create unique landscapes and add visual interest and value to the design.
- The provision of common and open spaces to the rear of the site is encouraged for the use of employees and visitors, reinforcing Lake Elmo's open-space character.



Street trees provide an attractive streetscape, as well as help screen and provide shade within parking areas.

Streetscape

Goal: To provide high quality landscaping in areas visible from the public view, as well as promote pedestrian connections in the BP district.

- Street trees shall be installed at regular intervals along the public right of way. Species of street trees should be selected according to root zone and salt tolerance.
- Additional landscaping along public streets is encouraged. Landscape materials should be low-maintenance and native to ensure heartiness.
- Sidewalks along the public right of way are encouraged to extend pedestrian connections throughout the BP district.
- Utilizing site amenities as guided by Lake Elmo Theming Study is encouraged.

BUSINESS PARK DEVELOPMENT

Landscaping

Goal: To reduce continuous hardscape and impervious surface, as well as ensure development of a high visual quality.

- a. Trees, plant beds, and potted plants should be installed in parking, sidewalk, and other hard surfaced areas to add visual interest and break up continuous impervious surface.
- b. Parking, service, storage and utility areas should be buffered by plantings, particularly when in view of public streets. Near areas of pedestrian circulation, these plantings shall not exceed 4 feet in height for safety purposes.
- c. Hardy and native plant materials that are resistant to the climate, disease and salt are encouraged.
- d. Making use of similar plant materials as adjacent properties and public spaces is encouraged to create continuity.
- e. Mature trees located on building sites should be retained whenever possible.
- f. Bare soils should be planted or mulched with bark, stone or other suitable material to avoid unnecessary runoff.



Landscape islands greatly improve that character of surface parking lots.

Parking

Goal: To adequately serve the parking needs of businesses in the BP district, while ensuring pedestrian safety, reduced impervious surface, and a high quality visual aesthetic and appearance.

- a. The linear measurement of surface parking areas parallel to the public street are encouraged not to exceed more than 75% of primary street frontages. Sites or projects that are unable to meet this guideline are encouraged to install berms and/or additional landscaping to buffer areas of surface parking adjacent to the primary street frontage.
- b. The entrance to parking facilities should be located on secondary streets when possible.
- c. Shared parking facilities between adjacent uses or businesses are strongly encouraged when possible to avoid excessive amounts of parking.

- d. Structure parking is encouraged, and should be located behind or beneath primary buildings when possible.
- e. Structure parking or parking areas located beneath the primary structure should be screened with architectural elements that match the primary building.
- f. Parking areas should be screened from view of public streets by means of grading and/or landscaping.
- g. Parking areas should be screened from adjacent structures with landscaping strips not exceeding 4 feet in height in order to ensure pedestrian safety.
- h. Landscaped islands should be installed within surface parking areas to break up continuous hardscape and reduce concentration of impervious surface.
- i. Lighting must be provided in parking areas at night for safety purposes. However, direct glare, spillover or other forms of light pollution directed at adjacent properties are prohibited.
- j. Parking facilities must be ADA compliant when deemed necessary.

Delivery, Service, Storage and Utility Areas

Goal: To provide physical and visual separation of delivery, service, storage and utility areas from the public right of way and areas of automobile and pedestrian circulation.

- a. Delivery, service, storage, maintenance or trash collection areas should be located out of the view from the public right of way, or significantly

BUSINESS PARK DEVELOPMENT

screened through landscaping or architectural features that match the primary structure.

- b. Service, storage and trash collection areas are not allowed in the setback areas.
- c. The location of delivery, storage and service areas should be clearly marked with signage and should not interfere with other automobile or pedestrian circulation.
- d. Storage and delivery areas should be hard surfaced, minimizing the dispersal of dust.

B. Building Design

Form and Facade

Goal: To promote buildings of high architectural quality and creativity in design.

- a. Blank facades without windows and doors are discouraged. All sides of the structures shall have architectural treatments.



Garbage collection areas should be located to the rear of the site and screened using materials that match the principal structure.

- b. Window and door styles should reflect the prevailing architectural style of the structure.

c. Variety and creativity in building facade is encouraged through changes in building materials, fenestration height, and roof lines. Primary facades should not present a continuous wall without architectural details that add visual interest.

- d. Minimizing continuous expanses of wall through facade articulation, recession or projection is encouraged.

e. Architects and builders are encouraged to incorporate topographical features into the form of the structure when possible, utilizing natural grades to create unique design.

Building Materials

Goal: To promote quality development through durability and visual aesthetics, thereby supporting district identity.



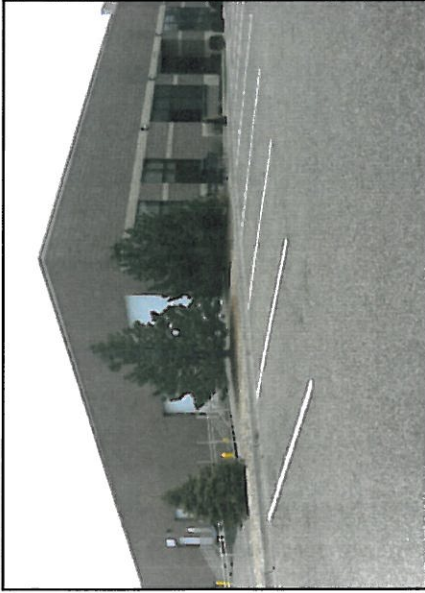
Corner treatments to larger structures add visual interest and break up monotonous design.

- a. High-quality and durable materials should be used in street facing facades.
- b. Primary building materials for structures in the BP district should include brick, stone, cast stone, quality metals, glass, Exterior Insulation Finish Systems (EIFS), or pre-cast concrete panels with exposed aggregate, banding, texturing or other similar decorative finish treatment.
- c. High quality synthetic materials that adequately duplicate natural materials may be acceptable if approved by the City, including, but not limited to, thin brick, hardi plank, decorative concrete masonry, and other materials.
- d. The following building materials are not allowed to be used as primary finished facade material for business park development:
 - Unpainted galvanized metal
 - Red "green-treated" lumber
 - Unfinished wood
 - Plain or unpainted concrete



Long expanses of wall can be broken up using windows and other treatments.

BUSINESS PARK DEVELOPMENT



High quality building materials are required for street-facing facades.

- Painted concrete block may be used on the rear of the building or sides not visible from the public right of way.
- g. Facade colors should reflect subtle earth tones. However, other primary facade colors will be considered by the Review Authority. Accent materials shall complement the colors of the primary facade.

Scale and Mass

Goal: To reduce the appearance of mass in the BP district.

- a. Scale should be reduced by utilizing “step-down” methods, particularly near areas of pedestrian circulation. Entries and other bump out features are effective in this regard.
- b. Structures of two-stories or higher should utilize facade treatments, such as multiple building materials or additional windows, to minimize the appearance of mass.



Parapets of varying height provide additional architectural detail that add aesthetic value.

Roof Design

Goal: To ensure architectural consideration and consistency in roof design in relation to the architecture of the building, and to reduce the visual impact of rooftop equipment.

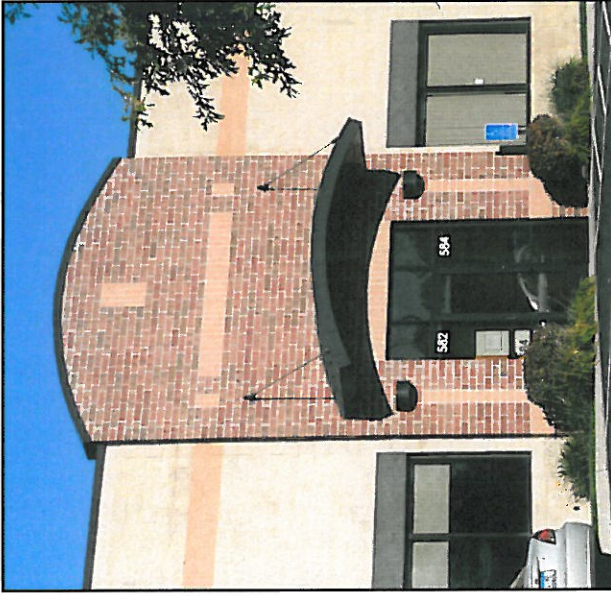
- a. The design of the roof must be consistent with the overall architecture or design of the structure.
- b. Parapets of varying heights are required for buildings in the BP district with flat roofs.
- c. Rooftop equipment, particularly on flat roofs, must be screened by the parapet or other architectural features.

Entries

Goal: To provide identifiable entryways that emphasize access, pedestrian safety, architectural quality and a human scale.

- a. Entryways to buildings in the BP district should be accessible for pedestrians from the public right of way.
- b. Architectural features should be incorporated into entryways, such as facade detailing or prominent windows.
- c. The use of canopies, awnings and other sheltering features are encouraged.
- d. Pedestrian amenities such as ornamental

BUSINESS PARK DEVELOPMENT



Canopies and changes in building materials help accentuate entryways.

trash receptacles, benches or lighted bollards are encouraged near entryways to buildings in the BP district.

Lighting

Goal: To ensure safety of patrons, employees, pedestrians and automobiles, as well as providing visual interest and aesthetic value to a site, while limiting light pollution of the night sky to the best extent possible.

- Lighting must be provided in entryways, parking areas, pedestrian ways, storage and serving areas.

- Lighting height shall be consistent with City's exterior lighting standards.
- Lighting styles should be complementary to the architectural style of the building.
- Lighting of architectural features should be used to provide accent and interest, as well as identify the building entryway. Architectural lighting must be downcast and shielded to prevent light pollution.
- Bollard lighting is encouraged for pedestrian areas.
- Overhead lighting must be shielded to prevent light trespass and spill-over onto adjacent properties.
- Buildings near residential zones must utilize lighting that minimizes light trespass.
- Bare bulb and exposed neon lighting are not allowed.

Signage

Goal: To provide signage that clearly identifies businesses within the BP district, while promoting quality and consistency in terms of design and materials.

- Building signage shall be complementary to the architecture of the structure, as well as consistent with the style of the surrounding buildings or district as a whole.
- Sign elements that will be evaluated for consistency include scale, color, lighting and materials.
- Signs must be constructed of high quality, durable materials.
- Directional signage to delivery, service and storage areas is required.
- Two and three-dimensional signs are encouraged to promote creativity and district identity.
- All buildings are encouraged to incorporate elements of community theming in appropriate signage, supporting district and city identity.



Two and three-dimensional signage provides creativity and visual interest.

MEMORANDUM

FOCUS ENGINEERING, inc.

Cara Geheren, P.E. 651.300.4261
Jack Griffin, P.E. 651.300.4264
Ryan Stempski, P.E. 651.300.4267
Chad Isakson, P.E. 651.300.4285

Date: June 18, 2014

To: Kyle Klatt, Planning Director
Cc: Nick Johnson, City Planner

Re: Eagle Point Medical Center
Plan Review

From: Jack Griffin, P.E., City Engineer

An engineering review has been completed for the Eagle Point Medical Center. Site Plans were received on June 11, 2014. The submittal consisted of the following documentation:

- Site Plans (Electronic only) prepared by Westwood Professional Services, dated 06/11/2014.

Engineering review comments are as follows:

General Comments:

1. Engineering has not reviewed the proposed lighting plan, landscape plan, or building plans.
2. The City public utilities must be field located to ensure design conflicts are avoided and incorporated into the plan set before the plan set is approved for construction.

Stormwater Management:

1. The Storm Water Management Plan must meet South Washington Watershed District (SWWD) rules and requirements. The applicant must provide the City written approval from the SWWD.
2. Soil borings need to be taken at all infiltration basin locations to determine feasibility.
3. The proposed storm water facilities will receive storm water from a privately owned and maintained storm sewer system that will not be constructed to City engineering design standards. It is therefore recommended that the storm water facilities and storm sewer system be privately owned and maintained. A maintenance agreement in a form acceptable to the City should be executed and recorded with the County for all permanent storm water facilities to be located on private property. The agreement shall provide a maintenance plan defining the maintenance responsibilities for the private owner, the type of maintenance and the maintenance intervals.

Utility Plans:

1. The proposed connection location to City water requires further review and possible plan revision. The water service connection needs to consider existing service stubs to the property, fire hydrant locations within the site, and delineation of ownership of the watermain between City and property owner.
2. The proposed connection to City sanitary sewer must be relocated to move the proposed manhole outside of the proposed drainage swale with positive drainage away from the manhole.
3. Please provide a detail for San. MH-1 and a connection detail for the proposed sanitary sewer service.



Public Works Department

Donald J. Theisen, P.E.
Director

Wayne H. Sandberg, P.E.
Deputy Director/County Engineer

June 17, 2014

Kyle Klatt
Community Development Director
City of Lake Elmo
3600 Laverne Avenue North
Lake Elmo, MN 55042

RE: Washington County comments on Eagle Point Medical Center, City of Lake Elmo

Dear Kyle:

Thank you for providing Washington County with the plans for Eagle Point Medical Center adjacent to County State Aid Highway (CSAH 13) Inwood Avenue in the City of Lake Elmo. The project consists of a 28,500 square foot medical office building with 166 parking spaces. Based on the plan provided, we have the following comments:

- Washington County commented on the plans for the Eagle Point Business Park in 2001 and worked with the city on review and approval of the Eagle Point Boulevard/ CSAH 13 intersection improvements. These streets as well as Hudson Boulevard, provide access to this existing parcel of record.
- Although this is not a subdivision plat, it is noted that there is adequate county and public right-of-way along CSAH 13 for the future.
- According to the *Trip Generation Manual, 7th Addition ITE, 2003*, this development will generate 1000 Average Vehicle Trips (AVT) per day.
- The developer or the city must submit the drainage report and calculations to our office for review of any downstream impacts to the county drainage system. Along with the drainage calculations, we will request written conclusions that the volume and rate of stormwater run-off into the county right-of-way will not increase as part of the project.
- Any grading within County right-of-way will require a Washington County Right of Way Permit.
- All utility connections for the development require Washington County Right of Way permits. Typically, these are the responsibility of the utility companies.

Thank you for the opportunity to comment on this project. If you have any questions, please contact me at 651-430-4362 or ann.pung-terwedo@co.washington.mn.us. For any permit applications, please contact Carol Hanson at Carol.hanson@co.washington.mn.us.

Regards,

A handwritten signature in black ink that reads "Ann Pung-Terwedo".

Ann Pung-Terwedo
Senior Planner

C: Carol Hanson, Office Specialist

EAGLE POINT MEDICAL CENTER

LAKE ELMO, MN

Project Information
EAGLE POINT MEDICAL CENTER

LAKE ELMO, MN



1 1/T001 - BUILDING RENDERING
T001 3/4" = 1'-0"



2 SITE LOCATION MAP
T001 3/4" = 1'-0"



CONTACT LIST

OWNER REPRESENTATIVE	
DAVIS SERVICES REAL ESTATE GROUP 222 SOUTH 9TH STREET SUITE 305 MINNEAPOLIS, MN 55402 MARK DAVIS	EMAIL: DAVIS233@AOL.COM PHONE: 612-341-3242
ARCHITECT	
BDM + YOUNG INTERIORS / ARCHITECTURE 7001 FRANCE AVENUE SOUTH SUITE 200 EDINA, MN 55435 PATRICK J. GORDANA AIA	EMAIL: PGORDANA@BDHYOUNG.COM PHONE: 952-345-6306
GENERAL CONTRACTOR	
TMCO CONSTRUCTION 14700 20TH AVENUE SUITE 40 PLYMOUTH, MN 55447 TIM MCKEE	EMAIL: TMCKEE@TMCO-CONST.COM PHONE: 763-694-8225 JOB SUPERVISOR: RANDY CHRISTENSEN EMAIL: RCHRISTENSEN@TMCO-CONST.COM PHONE: 612-309-8730
CIVIL ENGINEER	
WESTWOOD 7009 ANAHEIM DR EDEN PRAIRIE, MN 55344 P.J. DISCH P.E.	EMAIL: PJD@WESTWOODS.COM PHONE: 952-956-3211
STRUCTURAL ENGINEER	
KRECH, O'BRIEN, MUELLER & ASSOCIATES 6110 CARRILL AVENUE RIVER GROVE HEIGHTS, MN 55076 MATT J. VAN HOOF	EMAIL: MVANHOOF@KOMAINC.COM PHONE: 651-785-4129
LANDSCAPE ARCHITECT	
BRODSKI CONSULTING 696 NORTHERIDGE COURT EAGAN, MN 55123 DEBRA BRODSKI	EMAIL: DBRODSKI@AOL.COM PHONE: 651-688-8023

SHEET INDEX

Sheet Number	Sheet Name
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TITLE	
T001	TITLE SHEET, CODE REVIEW, KEY PLANS

LANDSCAPE	
L1	LANDSCAPE PLAN, PLANTING DETAILS AND NOTES

CIVIL	
C0	BOUNDARY, LOCATION, TOPOGRAPHIC, AND UTILITY SURVEY
C1	SITE PLAN
C2	GRADING, DRAINAGE, EROSION CONTROL PLAN
C3	UTILITY PLAN
C4	DETAILS
C5	PHOTOMETRIC PLAN
C6	EASEMENT SKETCH

ARCHITECTURAL	
A200	FIRST FLOOR BUILDING SHELL FLOOR PLAN
A201	SECOND FLOOR BUILDING SHELL FLOOR PLAN
A300	EXTERIOR ELEVATIONS

Issue Record

No.	Date	Description

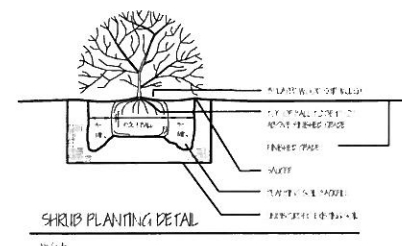
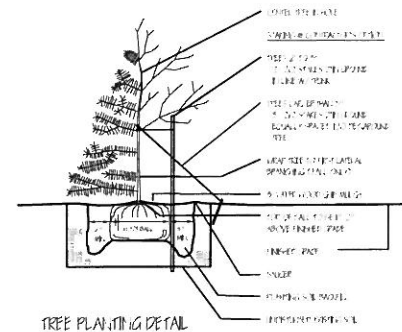
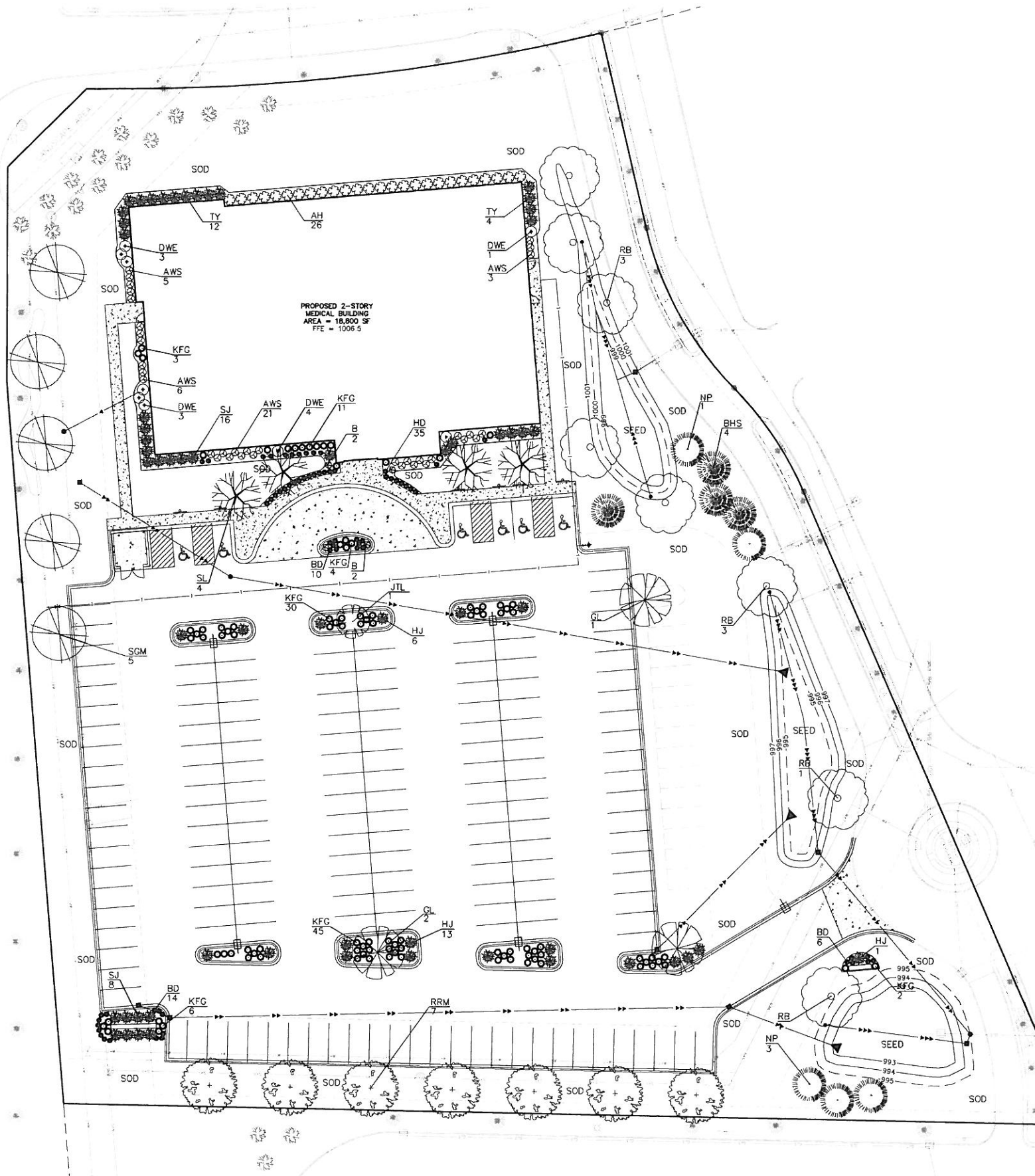
Sheet Title
TITLE SHEET, CODE REVIEW, KEY PLANS

Sheet Information

Job Code: A DAVIS LEM
Drawn By: NAO/ML Reviewed By: PG

Date
05.21.2014

T001



PLANTING NOTES:

Contractor shall provide two year guarantee of all plant materials. The guarantee begins on the date of the Landscape Architect's written acceptance of the final planting. Replacement plant materials shall have a one year guarantee commencing upon planting.

All plants to be northern-grown and hardy. Plants to be installed as per standard AAS planting practices. Use minimum 12" loam planting soil on trees and 8" on shrubs.

Contractor shall verify locations with all utilities prior to installation of plants.

All transplanting, root pruning, and seed and sod areas shall be irrigated with an underground sprinkler. Staking of trees and shrubs, regardless of root plants, shall be done by April 1.

Wrap all smooth-barked trees from top and bottom. Remove by April 1.

Open top of plants on 80 materials; remove pot on potted plants; split and break apart pot soil.

Prune plants as necessary - per standard nursery practices.

Owner shall be responsible for maintenance after acceptance of the work by the Owner.

Plants shall be immediately planted upon arrival at site. Properly health-maintained if necessary.

All disturbed areas to be seeded unless otherwise noted. Sod shall be northern grown and hardy. Planting holes for shrubs shall have (4" x 6" x 12") seed basin (4" x 6" x 12") washed River Rock mulch and 4" vertical (commercial grade) black poly edging. The edging shall be placed and sealed with mesh mesh.

Double shredded dark brown hardwood mulch 4" deep shall be provided around all new trees.

Seed infiltration basins with a seed mixture to be selected and approved by the Owner and City.

Field adjust foundation plantings if necessary to complement building architectural elements.

Noting notes are not the responsibility of the Landscape Architect. Contact the Project Engineer for details, locations, materials, and specifications for all remaining notes.

Construction and all items to be determined by the site Engineer.

REQUIRED PLANT MATERIALS

Based on the lot perimeter of 1175' and 27' Overstory Trees

1 Overstory tree per 50 L.F. = 23.5	27 Overstory Trees
1 Overstory tree per 15 parking stalls = 11	8 Conifer Trees
24 + 11 = 35 trees	1 Ornamental Tree
	120 Shrubs

PLANT LIST: Site Plantings

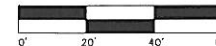
QTY	KEY BOTANICAL NAME	COMMON NAME	SIZE/ROOT
TREES			
5	SOD Acer x freemanii 'Sierro'	Sierro Oak Maple	2-1/2" B&B
7	RRM Acer platanoides 'Royal Red'	Royal Red Maple	2-1/2" B&B
4	NP Betula nigra	River Birch, 34' stem clumps	8-10' B&B
4	SL Ceanothus leucanthus 'Suncolor'	Skyline Honeysuckle	2-1/2" B&B
3	GL Thuja occidentalis 'Greenuplex'	Greenuplex Linden	2-1/2" B&B
4	BHS Pinus strobus 'Burgundy'	Black Hills Spruce	6" B&B
4	NP Pinus resinosa	Norway Pine	6" B&B
35	Total		
1	JTL Syringa reticulata	Japanese Tree Lilac	1-1/2" B&B
SHRUBS			
9	DWE Euonymus alatus 'Compacta'	Dwarf Winged Euonymus	5 Gal. Pot
26	AH Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	5 Gal. Pot
35	AWS Spatholobus suberectus 'Anthony Waterer'	Anthony Waterer Spirea	5 Gal. Pot
10	HJ Juniperus horizontalis 'Nugget'	Nugget Juniper	5 Gal. Pot
24	SJ Juniperus sibirica 'Scurdie'	Scurdie Juniper	5 Gal. Pot
16	TY Taxus x media 'Toucan'	Toucan Yew	5 Gal. Pot
PERENNIALS & ORNAMENTAL GRASSES			
24	KFC Calamagrostis aquifolium 'Karl Forester'	Karl Forester Feather Reed Grass	3 Gal. Pot
30	BD Hemerocallis sp.	Beja Daylily	1 Gal. Pot
30	HD Hemerocallis sp.	Happy Returns Daylily	1 Gal. Pot
4	B	Accent boulders set 1/3 into grade 28"-36" Dia. Select for size and shape.	

SOD & SEED

Sod in all areas noted. Drought tolerant Highland sod.

Seed infiltration basins with mix/wetland mixture to be approved by Owner and City.

NOT FOR CONSTRUCTION



Westwood

Westwood Professional Services, Inc.
3701 12th Street North, Suite 200
St. Cloud, MN 56303
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FAX 320-253-8737
TOLL FREE 1-800-270-9495
www.westwoodps.com

Designed: DB
Checked: DB
Drawn: DB
Record Drawing by/date:

Revisions:
1. 05/21/14 CITY SUBMITTAL
2. 06/11/14 CITY APPROVED

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Diana Brodsky
REG. NO. 23849 DATE: 5/11/14

BRODSKY CONSULTING
388 Northridge Court
Edina, MN 55123
PHONE: 612-468-8023
FAX: 612-468-5748

Prepared for:

BDH & Young

7001 France Avenue South, Suite 200
Edina, Minnesota 55435

**Eagle Point
Medical Center**

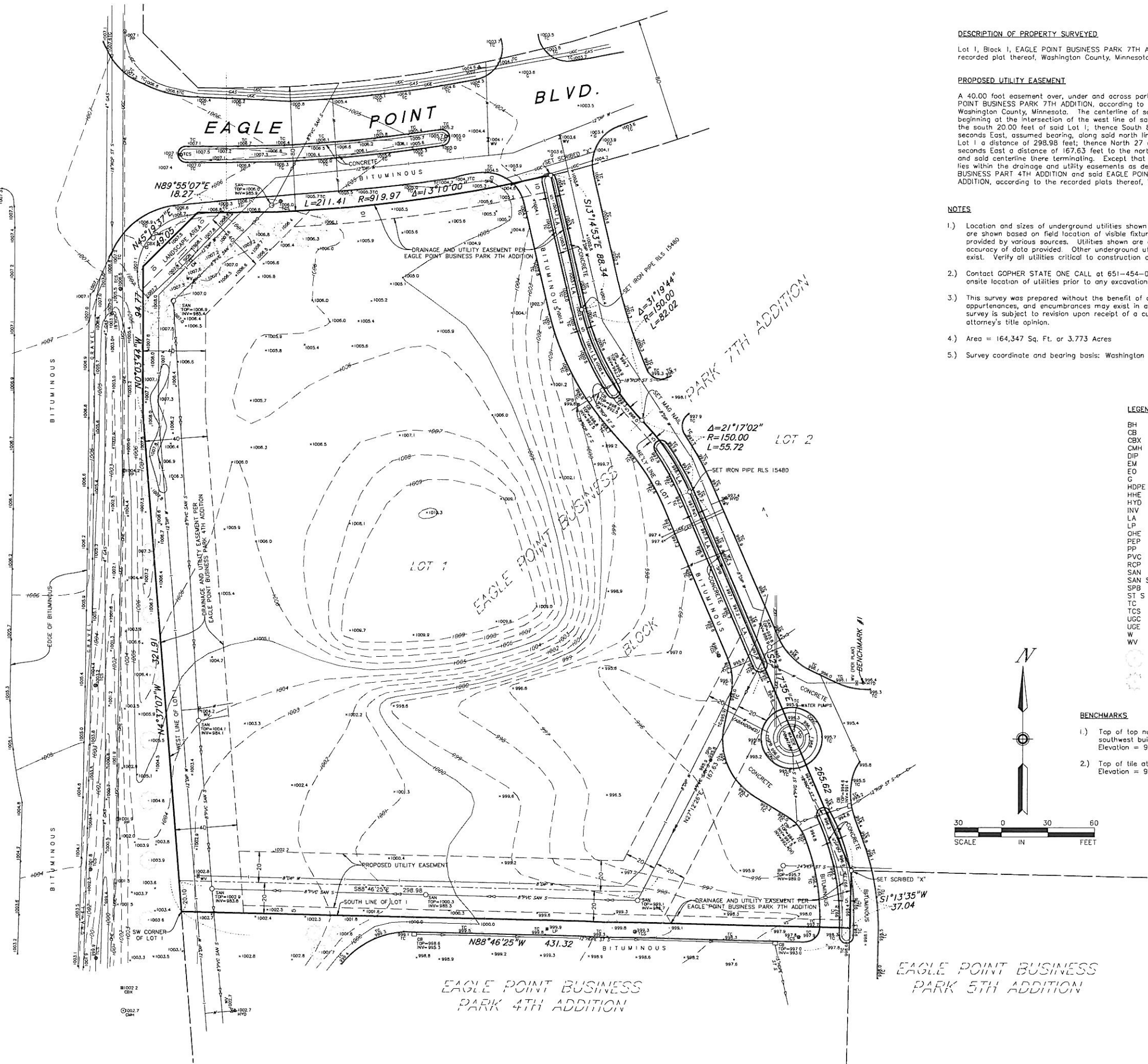
Lake Elmo, Minnesota

LANDSCAPE PLAN

Date: 05/21/14
Sheet: L1 OF 1

000366 TPLP01.dwg

INWOOD AVENUE N. (C.S.A.H. NO. 13)



DESCRIPTION OF PROPERTY SURVEYED

Lot 1, Block 1, EAGLE POINT BUSINESS PARK 7TH ADDITION, according to the recorded plat thereof, Washington County, Minnesota.

PROPOSED UTILITY EASEMENT

A 40.00 foot easement over, under and across part of Lot 1, Block 1, EAGLE POINT BUSINESS PARK 7TH ADDITION, according to the recorded plat thereof, Washington County, Minnesota. The centerline of said easement is described as beginning at the intersection of the west line of said Lot 1 with the north line of the south 20.00 feet of said Lot 1; thence South 88 degrees 46 minutes 25 seconds East, assumed bearing, along said north line of the south 20.00 feet of Lot 1 a distance of 298.98 feet; thence North 27 degrees 12 minutes 26 seconds East a distance of 167.63 feet to the northeasterly line of said Lot 1 and said centerline there terminating. Except that part of said easement that lies within the drainage and utility easements as dedicated in EAGLE POINT BUSINESS PART 4TH ADDITION and said EAGLE POINT BUSINESS PARK 7TH ADDITION, according to the recorded plats thereof, Washington County, Minnesota.

NOTES

- 1.) Location and sizes of underground utilities shown hereon are approximate only and are shown based on field location of visible fixtures in combination with available data provided by various sources. Utilities shown are dependent on the completeness and accuracy of data provided. Other underground utilities of which we are unaware may exist. Verify all utilities critical to construction or design.
- 2.) Contact GOPHER STATE ONE CALL at 651-454-0002 (800-252-1166) for precise onsite location of utilities prior to any excavation.
- 3.) This survey was prepared without the benefit of current title work. Easements, appurtenances, and encumbrances may exist in addition to those shown hereon. This survey is subject to revision upon receipt of a current title insurance commitment or attorney's title opinion.
- 4.) Area = 164,347 Sq. Ft. or 3.773 Acres
- 5.) Survey coordinate and bearing basis: Washington County

LEGEND

BH	Denotes beehive catch basin
CB	Denotes catch basin
CBX	Denotes communication box
CMH	Denotes communication line
DIP	Denotes ductile iron pipe
EM	Denotes electric meter
EO	Denotes electric outlet
G	Denotes gutter
HDPE	Denotes high density plastic pipe
HHE	Denotes electric hand hole
HYD	Denotes fire hydrant
INV	Denotes structure invert
LA	Denotes landscaped area
LP	Denotes light pole
OHE	Denotes overhead electric line
PEP	Denotes polyethylene pipe
PP	Denotes power pole
PVC	Denotes plastic pipe
RCP	Denotes reinforced concrete pipe
SAN	Denotes sanitary manhole
SAN S	Denotes sanitary sewer
SPB	Denotes sprinkler box
ST S	Denotes storm sewer
TC	Denotes top of concrete curb
TCS	Denotes traffic control sign
UGC	Denotes underground communication line
UOE	Denotes underground electric line
W	Denotes water line
WV	Denotes water valve
(Tree symbol)	Denotes deciduous tree
(Tree symbol)	Denotes coniferous tree

BENCHMARKS

- 1.) Top of top nut of fire hydrant approximately 39 feet southeast of the southwest building corner of 8530 Eagle Point Office Center. Elevation = 998.54 feet
- 2.) Top of tile at south main entrance to 8530 Eagle Point Office Center. Elevation = 997.10 feet

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 23rd day of October, 2007.

SUNDE LAND SURVEYING, LLC.

By: *Mark S. Hanson*
Mark S. Hanson, P.L.S. Minn. Lic. No. 15480

Revision	By	Date
	BMS	
Drawing Title: BOUNDARY, LOCATION, TOPOGRAPHIC and UTILITY SURVEY FOR: UNITED PROPERTIES		
SUNDE LAND SURVEYING		
Main Office: 9001 East Bloomington Freeway (35W) • Suite 118 Bloomington, Minnesota 55420-3435 952-881-2455 (Fax: 952-888-9526) North Office: Brooklyn Park, Minn. 763-784-9346		
Project: 95-155-M	By: Prg. 800/70	Date:
Township: 29	Range: 21	Section: 33
File: 95155M001.dwg		Sheet: 1 of 1

Site Key Notes

- A B612 CONCRETE CURB & GUTTER
- B CONCRETE SIDEWALK
- C STANDARD DUTY BITUMINOUS PAVEMENT
- D HEAVY DUTY BITUMINOUS PAVEMENT
- E HANDICAP ACCESSIBLE SIGNAGE AND STRIPING
- F MATCH TO EXISTING CURB AND GUTTER
- G EXISTING CONCRETE CURB AND GUTTER TO REMAIN
- H PLANTED AREA
- I PROPOSED MONUMENT SIGN
- J TRASH ENCLOSURE
- K PARKING LOT STRIPING (SEE DETAIL)
- L CONCRETE PAVEMENT
- M FLUSH CURB CONDITION
- N 10' TRANSITION FROM B612 CURB TO FLUSH CURB
- O RAIN GARDEN

Site Legend

EXISTING	PROPOSED	
		PROPERTY LINE
		LOT LINE
		SETBACK LINE
		EASEMENT LINE
		CURB AND GUTTER
		FENCE
		CONCRETE PAVEMENT
		CONCRETE SIDEWALK
		HEAVY DUTY BITUMINOUS PAVEMENT
		NUMBER OF PARKING STALLS
		TRANSFORMER
		SITE LIGHTING
		TRAFFIC SIGN
		POWER POLE
		BOLLARD / POST

General Site Notes

- BACKGROUND INFORMATION FOR THIS PROJECT PROVIDED BY SUNDE LAND SURVEYING, BLOOMINGTON, MINNESOTA, OCTOBER 23, 2007.
- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
- REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
- ALL DIMENSIONS ARE TO FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, AND TRUCK DOCKS.
- ALL CURB RADI SHALL BE 3.0 FEET (TO FACE OF CURB) UNLESS OTHERWISE NOTED.
- ALL CURB AND GUTTER SHALL BE B612 UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
- SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING DETAILS AND PHOTOMETRICS.

Site Development Summary

• ZONING:	PUD EAGLE POINT BUSINESS PARK
• PROPERTY AREA:	164,347 SF (3.77 AC)
• EXISTING SITE	
• PERVIOUS SURFACE:	154,435 SF (94.0%)
• IMPERVIOUS SURFACE:	9,912 SF (6.0%)
• PROPOSED SITE	
• PERVIOUS SURFACE:	71,220 SF (43.3%)
• IMPERVIOUS SURFACE:	93,127 SF (56.7%)
• BUILDING GROSS SIZE:	28,500 SF
• BUILDING SETBACK PER CODE:	50'-FRONT 10'-SIDE 30'-REAR
• PARKING SETBACK PER CODE:	20'-FRONT 10'-REAR 20'-SIDE WITH INTERIOR ROAD
• PARKING SPACE/DRIVE AISLE:	9' WDC X 18' LONG, 22' AISLE
• PARKING RATIO REQUIREMENT:	1 SPACES / 200 SF OF BLDG
• TOTAL SPACES REQUIRED:	(28,500 SF) / (1 SPACE/200 SF) = 143
• PARKING PROVIDED:	156



Westwood

Westwood Professional Services, Inc.
3701 12th Street North, Suite 206
St. Cloud, MN 56303
PHONE 320-253-0495
FAX 320-253-8737
TOLL FREE 1-800-270-9495
www.westwoodpl.com

Designed: JPD
Checked: JPD
Drawn: MKK
Record Drawing by/dater:

Revisions:
1. 05/21/14 CITY SUBMITTAL
2. 06/11/14 CITY REVISIONS

I hereby certify that this plan was prepared by me or under my supervision and that I am a duly Licensed Professional Engineer, Minnesota under the laws of the State of Minnesota.

JF Dick

Date: 06/11/14 License No. 49933

Prepared for:

BDH & Young

7001 Francer Avenue South, Suite 200
Edina, Minnesota 55435

**Eagle Point
Medical Center**

Lake Elmo, Minnesota

SITE PLAN

Date: 05/21/14
Sheet: C1 OF 5

NOT FOR CONSTRUCTION



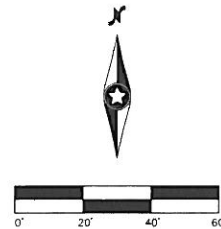
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Grading Legend

EXISTING	PROPOSED	
		PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		SILT FENCE
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		DRAIN TILE
		ROCK CONSTRUCTION ENTRANCE
		SPOT ELEVATION
		INLET PROTECTION

Grading Key Notes (A)

- A SILT FENCE
B ROCK CONSTRUCTION ENTRANCE
C INLET PROTECTION



City of Lake Elmo - Grading/Erosion Control Notes

- THE CONTRACTOR SHALL CONDUCT OPERATIONS AND IMPLEMENT MINNESOTA POLLUTION CONTROL AGENCY (MPCA) BEST MANAGEMENT PRACTICES (BMP) TO CONTROL SITE SILTATION AND EROSION INTO DRAINAGE WAYS. THE CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS AND COMPLETION DATES RELATIVE TO ALL PERMITS ISSUED FOR THE WORK TO BE COMPLETED. THE ENGINEER MAY ISSUE A STOP WORK ORDER FOR ALL DEVELOPMENT WORK AND BUILDING CONSTRUCTION FOR NONCOMPLIANCE WITH THESE MEASURES.
- SEQUENCING, ALL SILT FENCE AND OTHER EROSION CONTROL MEASURES SHALL BE IN PLACE AND APPROVED BY ENGINEER PRIOR TO ANY REMOVALS, EXCAVATION OR CONSTRUCTION AND SHALL BE MAINTAINED UNTIL VIABLE TURF OR GROUND COVER HAS BEEN ESTABLISHED AND APPROVED BY THE ENGINEER.
- SILT FENCE. THE CONTRACTOR SHALL INSTALL SILT FENCE AT THE LOCATIONS SHOWN ON THE PLANS AND IN ACCORDANCE WITH THE CITY STANDARD DETAILS. SILT FENCE DAMS AND INTERIM SUMPS SHALL BE PLACED TO INTERCEPT SILT FROM CONCENTRATED RUNOFF FROM OPEN GRADED AREAS. ADDITIONAL SILT FENCE SHALL BE REQUIRED AS DIRECTED BY THE ENGINEER.
- STOCKPILES. ALL STOCKPILE AREAS SHALL HAVE SILT FENCE OR SEDIMENT TRAPPING SYSTEMS PLACED AROUND THE ENTIRE PERIMETER.
- INLET PROTECTION. THE CONTRACTOR SHALL INSTALL INLET PROTECTION ON ALL EXISTING STORM SEWER INLETS IN ACCORDANCE WITH THE CITY STANDARD DETAILS. INLET PROTECTION SHALL ALSO BE PROVIDED ON ALL PROPOSED STORM SEWER INLETS IMMEDIATELY FOLLOWING CONSTRUCTION OF THE INLET. INLET PROTECTION MUST BE INSTALLED IN A MANNER THAT WILL NOT IMPOUND WATER FOR EXTENDED PERIODS OF TIME OR IN A MANNER THAT PRESENTS A HAZARD TO VEHICULAR OR PEDESTRIAN TRAFFIC.
- TEMPORARY SEDIMENT BASINS. THE CONTRACTOR SHALL INCORPORATE TEMPORARY SEDIMENT BASINS THROUGHOUT THE CONSTRUCTION SITE TO CAPTURE RUNOFF AND SLOW THE FLOW OF WATER AND ALLOW SEDIMENT TO SETTLE OUT. TEMPORARY SEDIMENT BASINS SHALL BE INSTALLED AS DIRECTED BY THE CITY ENGINEER.
- ROCK CONSTRUCTION ENTRANCE. A ROCK ENTRANCE SHALL BE CONSTRUCTED AND MAINTAINED AS SHOWN ON THE PLAN TO REDUCE TRACKING OF SILT AND DIRT ONTO THE PUBLIC STREETS. A GEOTEXTILE FABRIC SHALL BE PLACED UNDERNEATH THE ROCK. THE ROCK SHALL BE PERIODICALLY RED-DIVULSED TO MAINTAIN THE INTENDED PERFORMANCE. MUD AND DEBRIS SHALL BE REMOVED OR SCRAPED FROM TIRES AND VEHICLE UNDERCARRIAGE PRIOR TO LEAVING THE SITE.
- STREET SWEEPING. ALL STREETS USED FOR ACCESS TO THE SITE AND HAUL ROUTES USED FOR CONSTRUCTION EQUIPMENT AND MATERIAL SUPPLIES SHALL BE CLEANED AT THE END OF EACH WORKING DAY. THE CITY OR ENGINEER MAY ORDER ADDITIONAL SWEEPING OF THE STREETS AS DEEMED REQUIRED AT DEVELOPER/CONTRACTOR EXPENSE.
- POSITIVE DRAINAGE AND PROTECTION. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE THROUGHOUT THE SITE AT ALL TIMES. LOW POINTS WITHIN AND ALONG ROADWAYS ARE EXPRESSLY PROHIBITED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DITCHES, PIPING OR OTHER MEANS TO FACILITATE PROPER DRAINAGE DURING CONSTRUCTION TO PROTECT PREVIOUSLY GRADED AREAS FROM EROSION. WOOD FIBER BLANKET SHALL BE PLACED IMMEDIATELY ON STEEP SLOPES (1:3 OR GREATER) AND EMBANKMENTS, PERMANENT AND TEMPORARY PONDS, AND OUTLETS AND OVERFLOWS TO PROTECT THE COMPLETED GRADE AND MINIMIZE SILT IN THE RUNOFF.
- DRAINAGE DITCHES. THE NORMAL HEATED PERIMETER OF ANY TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE THAT DRAINS WATER FROM ANY PORTION OF THE CONSTRUCTION SITE, OR DIVERTS WATER AROUND THE SITE, MUST BE STABILIZED WITHIN 200 LINEAL FEET FROM THE PROPERTY EDGE, OR FROM THE POINT OF DISCHARGE INTO ANY SURFACE WATER. STABILIZATION OF THE LAST 200 LINEAL FEET MUST BE COMPLETED WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER. STABILIZATION OF THE REMAINING PORTIONS OF ANY TEMPORARY OR PERMANENT DITCHES OR SWALES MUST BE COMPLETED WITHIN 14 DAYS AFTER CONNECTING TO A SURFACE WATER AND CONSTRUCTION IN THAT PORTION OF THE DITCH HAS TEMPORARILY OR PERMANENTLY CEASED. TEMPORARY OR PERMANENT DITCHES OR SWALES THAT ARE BEING USED AS A SEDIMENT CONTAINMENT SYSTEM (WITH PROPERLY DESIGNED ROCK DITCH CHECKS, SO ROLLS, SILT DIKES, ETC.) DO NOT NEED TO BE STABILIZED. THESE AREAS MUST BE STABILIZED WITHIN 24 HOURS AFTER NO LONGER BEING USED AS A SEDIMENT CONTAINMENT SYSTEM.
- TURF ESTABLISHMENT. ALL EXPOSED SOIL AREAS MUST BE STABILIZED AS SOON AS POSSIBLE TO LIMIT SOIL EROSION, BUT IN NO CASE LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
- MAINTENANCE AND INSPECTION. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION AND UNTIL SATISFACTORY ESTABLISHMENT OF PERMANENT GROUND COVER IS OBTAINED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, AND STORMWATER OUTFALLS MUST BE INSPECTED WEEKLY, AND WITHIN 24 HOURS OF THE SITE RECEIVING 0.5 INCHES OF RAIN. REPAIRS MUST BE MADE ON THE SAME DAY OR FOLLOWING DAY OF THE INSPECTION. UNSATISFACTORY CONDITIONS NOT REPAIRED OR CLEANED UP WITHIN 48-HOURS OF NOTIFICATION SHALL RESULT IN A STOP WORK ORDER, AND/OR SAID WORK SHALL BE COMPLETED AT CONTRACTOR'S EXPENSE.
- REMOVAL. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TEMPORARY EROSION CONTROL MEASURES, STRUCTURES AND DEVICES ONLY AFTER RECEIVING ENGINEER APPROVAL. ALL DEBRIS, STAKES, AND SILTS ALONG SILT FENCES SHALL BE REMOVED AND DISPOSED OFF SITE. THE CONTRACTOR SHALL HAND RAKE SITED AREAS ALONG AND AROUND THE PERIMETER OF THE SITE TO RESTORE THE FINISHED GRADE TO THE ADJACENT AREA.
- FINAL STORM SEWER SYSTEM. AT THE COMPLETION OF THE WORK AND BEFORE THE FINAL WALK THROUGH, THE CONTRACTOR SHALL REMOVE STORM SEWER INLET PROTECTION MEASURES AND THOROUGHLY FLUSH THE STORM SEWER SYSTEM. SEDIMENT AND DEBRIS SHALL BE COMPLETELY REMOVED AND CLEANED AT THE INLETS, OUTLETS, AND DOWNSTREAM OF EACH OUTLET. RIPRAP AND GEOTEXTILE FABRIC MAY REQUIRE REPLACEMENT AS DIRECTED BY THE ENGINEER TO OBTAIN A LIKE NEW INSTALLATION ACCEPTABLE TO THE CITY.
- DITCH CHECK (BIOROLL BLANKET SYSTEM). BIOROLL AND BLANKET SYSTEMS SHALL BE INSTALLED AS DITCH CHECKS ONLY IN SPECIFIED LOCATIONS AS APPROVED BY THE CITY ENGINEER. BIOROLLS ARE NOT TO BE UTILIZED IN AREAS WHERE VEHICLE AND CONSTRUCTION TRAFFIC OCCUR.
- FLOTATION SILT CURTAIN. FLOTATION SILT CURTAIN SHALL BE UTILIZED WHEN CONSTRUCTION ACTIVITIES OCCUR DIRECTLY ADJACENT TO LAKES, STREAMS OR WETLANDS IN ORDER TO CONTAIN SEDIMENTS NEAR THE BANKS OF WORKING AREAS. THE INSTALLATION OF FLOTATION SILT CURTAINS WILL BE REQUIRED AS DIRECTED BY THE CITY ENGINEER.
- CONCRETE WASHOUT ON-SITE. ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER THAT DOES NOT ALLOW WASHOUT LIQUIDS TO ENTER GROUND WATER IS CONSIDERED AN IMPERMEABLE LINER. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA REGULATIONS. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.

Grading Notes "FOR PRIVATE INFRASTRUCTURE COMPONENTS ONLY"

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVEMENT, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNSPOUTS.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND SOO OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING AND TURF ESTABLISHMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
- CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.
- SEE SOILS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.
- CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL, AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH FULLY-LOADED TAND-AXLE DUMP TRUCK, OR APPROVED EQUIVALENT, IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RECOMPACTED AS SPECIFIED HEREIN.
- EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MNDOT 2105.3F1 AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE ORDINARY COMPACTION METHOD AS OUTLINED IN MNDOT 2105.3F2.
- ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.

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Designed: PFD
Checked: PFD
Drawn: MK
Record Drawing by/dwg:

Revisions:
1. 06/11/14 CITY SUBMITTAL
2. 06/11/14 CITY WORKSHEET

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer. I warrant that the work was done in accordance with the laws of the State of Minnesota.

PJ Dicks

Date: 06/11/14 License No. 49933

Prepared for:

BDH & Young

7001 France Avenue South, Suite 200
Edina, Minnesota 55435

**Eagle Point
Medical Center**

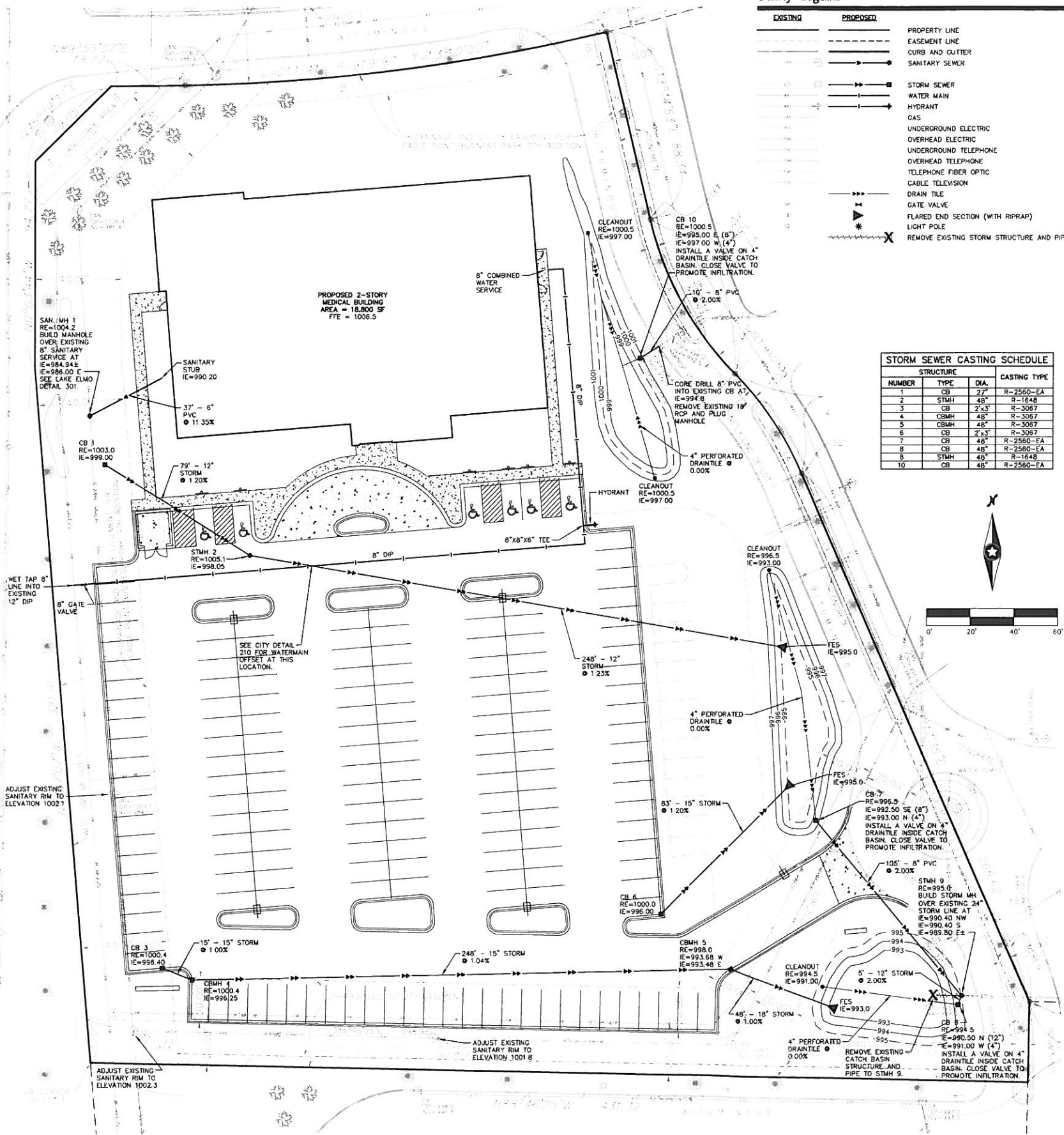
Lake Elmo, Minnesota

**GRADING, DRAINAGE
& EROSION
CONTROL PLAN**

Date: 05/21/14

Sheet: C2 OF 5

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Utility Legend

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	EASEMENT LINE
---	---	CURB AND GUTTER
---	---	SANITARY SEWER
---	---	STORM SEWER
---	---	WATER MAIN
---	---	HYDRANT
---	---	GAS
---	---	UNDERGROUND ELECTRIC
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND TELEPHONE
---	---	OVERHEAD TELEPHONE
---	---	TELEPHONE FIBER OPTIC
---	---	CABLE TELEVISION
---	---	DRAIN TILE
---	---	GATE VALVE
---	---	FLARED END SECTION (WITH RIPRAP)
---	---	LIGHT POLE
---	---	REMOVE EXISTING STORM STRUCTURE AND PIPE

STORM SEWER CASTING SCHEDULE				
NUMBER	STRUCTURE	TYPE	DIA.	CASTING TYPE
1	CB	27"	R-2560-EA	
2	STMH	48"	R-1648	
3	CB	27"	R-3087	
4	CBMH	48"	R-3087	
5	CBMH	48"	R-3087	
6	CB	27"	R-3087	
7	CB	48"	R-2560-EA	
8	CB	48"	R-2560-EA	
9	STMH	48"	R-1648	
10	CB	48"	R-2560-EA	

City of Lake Elmo - Sanitary/Water Notes

SANITARY SEWER NOTES

- ALL SANITARY SEWER AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
- ALL SANITARY SEWER PVC PIPE SHALL BE INSTALLED ACCORDING TO CITY STANDARD DRAWING 103 GRANULAR MATERIAL BEDDING METHOD (FOR PVC SANITARY SEWER PIPE).
- UNLESS NOTED OTHERWISE, ALL SMOOTH WALLED SANITARY SEWER PVC PIPE AND FITTINGS SHALL BE SDR 35 WITH ELASTOMERIC GASKETED JOINTS.
- ALL SANITARY SEWER SERVICES SHALL BE 4-INCH PVC, SCH. 40 OR SDR 26 PIPE.
- SMOOTH WALLED PVC PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF ASTM D-3034 FOR THE SIZE, STANDARD DIMENSION RATIO (SDR), AND STRENGTH REQUIREMENTS INDICATED ON THE PLANS, SPECIFICATIONS, AND SPECIAL PROVISIONS.
- REINFORCED CONCRETE PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF MDDOT SPEC 3236 (REINFORCED CONCRETE PIPE) FOR THE TYPE, SIZE, AND STRENGTH CLASS SPECIFIED HEREIN.
- JOINTS OF MANHOLE RISER SECTIONS SHALL BE TONGUE AND GROOVE WITH RUBBER "O" RING JOINTS PROVIDED ON ALL SANITARY SEWER MANHOLES.
- SANITARY SEWER INLET AND OUTLET PIPES SHALL BE JOINED TO THE MANHOLE WITH A GASKETED, FLEXIBLE, WATER-TIGHT CONNECTION TO ALLOW DIFFERENTIAL SETTLEMENT OF THE PIPE AND MANHOLE TO TAKE PLACE.
- A 1'-0" TO 1'-4" MANHOLE SECTION SHALL BE INSTALLED UNDER THE CONE SECTION TO ALLOW FOR HEIGHT ADJUSTMENT WHENEVER POSSIBLE.
- ALL SERVICE LINE STUBS MUST HAVE A 2" X 2" HARDWOOD MARKER WITH METAL SPIKE RUNNING FROM THE END OF THE PIPE TO FINISHED GRADE ELEVATION.
- UPON MAKING A CONNECTION TO AN EXISTING SANITARY SEWER STUB OR MANHOLE, DIRT AND DEBRIS SHALL BE PREVENTED FROM ENTERING THE EXISTING SEWER BY IMMEDIATELY INSTALLING WATER-TIGHT PLUGS AS NEEDED IN THE EXISTING MANHOLE.

WATER MAIN NOTES

- ALL WATERMAIN AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
- MANIPULATION OF EXISTING VALVES SHALL BE PERFORMED ONLY BY CITY PERSONNEL.
- WATERMAIN SHALL BE DUCTILE IRON PIPE, CLASS-52.
- ALL FITTINGS SHALL COMPLY WITH CEAM SPEC. 2611.2 A.1. ALL FITTINGS SHALL BE DUCTILE IRON PIPE WITH POLYETHYLENE ENCASEMENT. ALL CONNECTIONS SHALL BE INSTALLED UTILIZING COR-BLUE NUTS AND BOLTS.
- USE GATE VALVES FOR ALL APPLICATIONS UP THROUGH 12 INCHES.
- GATE VALVES SHALL BE RESILIENT WEDGE AMERICAN FLOW CONTROL SERIES 2500 OR APPROVED EQUAL. GATE VALVES MUST COMPLY WITH CEAM SPEC. 2611.2, C.2.
- USE BUTTERFLY VALVES FOR ALL APPLICATIONS GREATER THAN 12 INCHES.
- BUTTERFLY VALVES SHALL BE MUELLER UNISEAL III, OR APPROVED EQUAL. BUTTERFLY VALVES SHALL COMPLY WITH CEAM SPEC. 2611.2, C.3.
- BOLTS AND NUTS ON ALL VALVES AND HYDRANTS SHALL BE STAINLESS STEEL.
- ALL HYDRANTS SHALL BE INSTALLED 5.0 FEET BACK OF CURB.
- HYDRANTS SHALL BE WATERLOUS "PACER," MODEL W6-67 OR APPROVED EQUAL, FITTED WITH FH 800 SERIES FLEX STAKE AND PAINTED RED.
- HYDRANTS SHALL HAVE TWO OUTLET NOZZLES FOR 2-1/2 (I.D.) HOSE CONNECTIONS AND ONE 4" STORZ NOZZLE.
- THE CURB STOP SERVICE ASSEMBLY SHALL HAVE A MINIMUM 1'-FT ADJUSTMENT RANGE AND SHALL EXTEND 6 INCHES ABOVE FINISHED GRADE FULLY EXTENDED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING WATER TO HOMES AND BUSINESSES WHOSE WATER SUPPLY IS INTERRUPTED DURING THE COURSE OF THE PROJECT.
- ALL WATER SERVICES SHALL BE 1" TYPE K COPPER UNLESS OTHERWISE NOTED.

General Utility Notes "FOR PRIVATE INFRASTRUCTURE COMPONENTS ONLY"

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY FEDERAL, STATE AND LOCAL PERMITS FOR THE PROPOSED WORK OR VERIFY WITH THE OWNER OR ENGINEER THAT PERMITS HAVE BEEN OBTAINED. PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE ARRANGED WITH THE OWNER.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF DOORWAYS, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY CONNECTION LOCATIONS.
- ALL PRIVATE UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL COORDINATE THE SERVICE LINE CONSTRUCTION WITH THE UTILITY COMPANIES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY CITY PERMITS FOR UTILITY CONNECTIONS, AND UTILITIES SHALL BE INSPECTED AND APPROVED BY THE CITY. THE CITY SHALL BE NOTIFIED 48-HOURS PRIOR TO COMMENCING WITH THE UTILITY CONSTRUCTION OR ANY REQUIRED TESTING. CONTRACTOR SHALL NOT OPERATE, INTERFERE WITH, CONNECT ANY PIPE OR HOSE TO, OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
- WATER MAIN LENGTHS AS SHOWN ARE APPROXIMATE HORIZONTAL LENGTHS. ALLOW FOR ADDITIONAL PIPE WHEN INSTALLING ON SLOPES OR WHEN DEFLECTIONS ARE REQUIRED. THE JOINT DEFLECTIONS SHALL NOT EXCEED THE MAXIMUM RECOMMENDED BY THE PIPE MANUFACTURER OR BY LOCAL GOVERNING SPECIFICATIONS. FITTINGS REQUIRED TO CONSTRUCT WATER MAIN SHALL BE INCLUDED IN WATER MAIN CONSTRUCTION.
- PROVIDE WATER MAIN THRUST RESTRAINTS PER CITY STANDARD REQUIREMENTS.
- A MINIMUM VERTICAL SEPARATION OF 18 INCHES IS REQUIRED AT ALL WATER MAIN CROSSINGS WITH SANITARY SEWER OR STORM SEWER.
- UTILITY SERVICES TYPICALLY TERMINATE 5' OUTSIDE BUILDING WALL UNLESS OTHERWISE SHOWN OR NOTED.
- ALL MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY.
- ALL WATER LINES SHALL HAVE A 7.5" MINIMUM COVER. PROVIDE MINIMUM SEPARATION OF 18" FROM SANITARY SEWER & STORM SEWER. INSULATE WATER MAIN IF LESS THAN 7.5' OF COVER.
- INSULATION SHALL BE DOW STYROFOAM HI BRAND 35 OR EQUIVALENT, WITH 4 INCHES OF THICKNESS.
- SANITARY SEWER PIPE OUTSIDE THE BUILDING ENVELOPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 OR 26 SDR 26 IS REQUIRED FOR DEPTHS GREATER THAN 15 FEET. SANITARY SEWER PIPE WITHIN 5 FEET OF BUILDING AND UNDER FOOTINGS, PIPE SHALL BE PVC SCHEDULE 40.
- STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE (CLASS 5 FOR PIPE DIAMETERS 18" AND SMALLER, CLASS 3 FOR PIPE DIAMETERS 21" AND LARGER UNLESS OTHERWISE NOTED) WITH R-4 GASKETS, OR HOPE STORM SEWER PIPE IF ALLOWED BY THE CITY. HOPE STORM PIPE SHALL MEET REQUIREMENTS OF ASTM F2648. PIPE SHALL BE WATER TIGHT ACCORDING TO ASTM D3212 REQUIREMENTS. SEE PLAN FOR LOCATIONS WHERE RCP IS REQUIRED. PVC STORM SEWER PIPE SHALL BE SCHEDULE 40 PIPE. FLARED END SECTIONS SHALL BE RCP WITH TRASH GUARDS & RIP-RAP.
- POST INDICATOR VALVES SHALL BE CLOW F-5750 (OR EQUIVALENT) MEETING AWWA STANDARD C509 AND CITY STANDARDS. VALVE TO BE MECHANICAL JOINT RESILIENT WEDGE GATE VALVE. POST TO BE ADJUSTABLE FOR 8 FEET WATER MAIN DEPTH. THE ELECTRICAL ALARM SWITCH SHALL BE PART NO. PCV52 (OR EQUIVALENT).
- AFTER CONSTRUCTION IS COMPLETED, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT RECORD OF UTILITY CONSTRUCTION. THE AS-BUILT SHALL INCLUDE LOCATION AND LENGTH DEVIATIONS OR CHANGES TO THE PLAN. CONTRACTOR TO VERIFY WITH OWNER OR ENGINEER WHETHER A PLAN WITH POST-CONSTRUCTION ELEVATIONS IS REQUIRED.



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Designed: JPD
Checked: JPD
Drawn: MKR
Record Drawing by/dwg:

Revisions:
1. 06/11/14 CITY REQUEST
2. 06/11/14 CITY REQUESTED

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

PJ Dack

Date: 06/11/14 License No. 49933

Prepared for:

BDH & Young

7001 France Avenue South, Suite 200
Edina, Minnesota 55435

Eagle Point
Medical Center

Lake Elmo, Minnesota

UTILITY PLAN

Date: 05/21/14

Sheet: C3 OF 5

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Designed: JTD
Checked: JTD
Drawn: MK
Record Drawing by/date:

Revisions:
1. 06/27/14 GUT SUBMITTAL, 06/27/14 CITY/STATE/LOCAL

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.

PJ Check

Date: 06/11/14 License No.: 49953

Prepared for:

BDH & Young

7001 France Avenue South, Suite 200
Edina, Minnesota 55435

Eagle Point
Medical Center

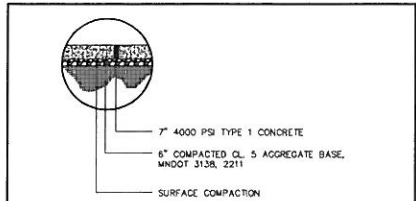
Lake Elmo, Minnesota

DETAIL SHEET

Date: 05/21/14

Sheet: C4 OF 5

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NOTES:

CONCRETE SHALL BE REINFORCED WITH WELDED WIRE FABRIC OR REINFORCING BARS TO ASSIST IN CONTROLLING CRACKING FROM DRYING SHRINKAGE AND THERMAL CHANGES.

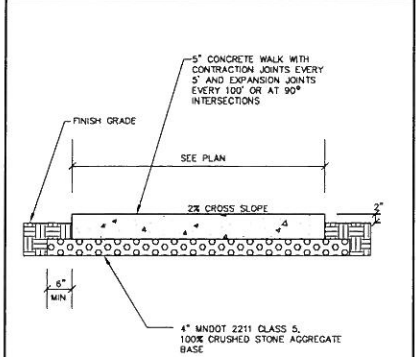
SAWED OR FORMED CONTROL JOINTS SHOULD BE INCLUDED FOR EACH 225 SQUARE FEET OF AREA OR LESS (15 FEET BY 15 FEET). CONTRACTOR SHALL PREPARE JOINTING PATTERN AND SUBMIT TO ENGINEER PRIOR TO CONSTRUCTION.

SAW CUTS SHOULD NOT CUT THROUGH THE WELDED WIRE FABRIC OR REINFORCING STEEL, AND DOWELS SHOULD BE UTILIZED AT FORMED AND/OR COLD JOINTS.

DOWELS SHALL BE UTILIZED AT FORMED AND/OR COLD JOINTS. DOWELS SHALL BE 30\"/>

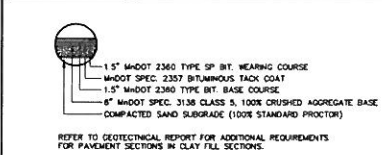
"FOR PRIVATE INFRASTRUCTURE COMPONENTS ONLY"

HEAVY DUTY CONCRETE SECTION LOADING DOCK	LAST REVISED: 03/20/08
	SI21



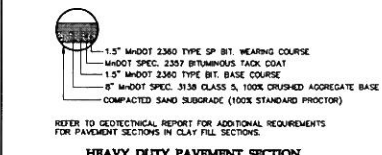
"FOR PRIVATE INFRASTRUCTURE COMPONENTS ONLY"

PRIVATE CONCRETE SIDEWALK	LAST REVISED: 03/20/08
	SI08



REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS FOR PAVEMENT SECTIONS IN CLAY FILL SECTIONS.

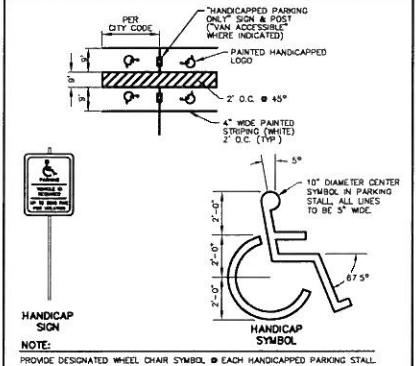
STANDARD DUTY PAVEMENT SECTION



REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS FOR PAVEMENT SECTIONS IN CLAY FILL SECTIONS.

HEAVY DUTY PAVEMENT SECTION

"FOR PRIVATE INFRASTRUCTURE COMPONENTS ONLY"



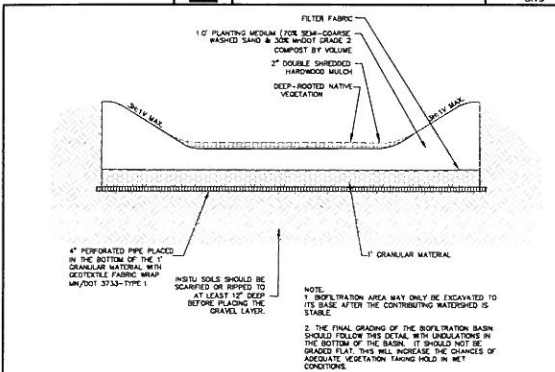
NOTE: PROVIDE DESIGNATED WHEEL CHAIR SYMBOL. EACH HANDICAPPED PARKING STALL.

"FOR PRIVATE INFRASTRUCTURE COMPONENTS ONLY"

HANDICAP ACCESSIBLE SIGNAGE AND STRIPING

LAST REVISED: 03/20/08

SI15



NOTE: 1. INFILTRATION AREA MAY ONLY BE EXCAVATED TO ITS BASE AFTER THE CONTRIBUTING WATERSHED IS STABLE.

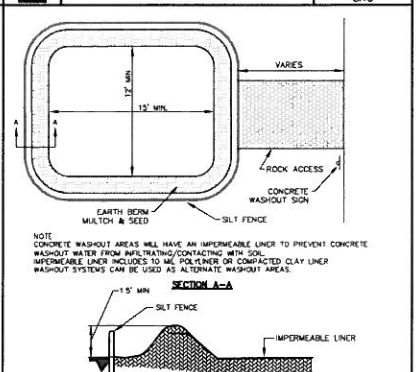
2. THE FINAL GRADING OF THE INFILTRATION BASIN SHOULD FOLLOW THIS DETAIL WITH UNDULATIONS IN THE BOTTOM OF THE BASIN. IT SHOULD NOT BE GRADED FLAT. THIS WILL INCREASE THE CHANCES OF ADEQUATE VEGETATION TAKING HOLD IN WET CONDITIONS.

"FOR PRIVATE INFRASTRUCTURE COMPONENTS ONLY"

RAIN GARDEN

LAST REVISED: 03/20/08

SI19



NOTE: CONCRETE WASHOUT AREAS WILL HAVE AN IMPERMEABLE LINER TO PREVENT CONCRETE WASHOUT WATER FROM INFILTRATING/CONTACTING WITH SOIL. IMPERMEABLE LINER INCLUDES TO ME POLYMER OR COMPACTED CLAY LINER. WASHOUT SYSTEMS CAN BE USED AS ALTERNATE WASHOUT AREAS.

SECTION A-A

"FOR PRIVATE INFRASTRUCTURE COMPONENTS ONLY"

CONCRETE WASHOUT AREA

LAST REVISED: 03/20/08

CO08



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Designed: **FPD**
Checked: **FPD**
Drawn: **MDK**
Record Drawing by/drawn:

Revisions:
1. CORRECT CITY, SOUTHWEST
2. 06/17/14 CITY/REVISIONS

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

PF Dick

Date: **06/11/14** License No. **49953**

Prepared for:

BDH & Young

7001 France Avenue South, Suite 200
Edina, Minnesota 55435

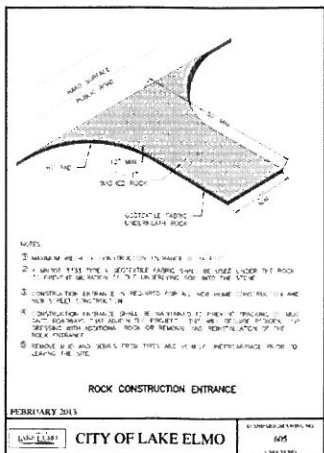
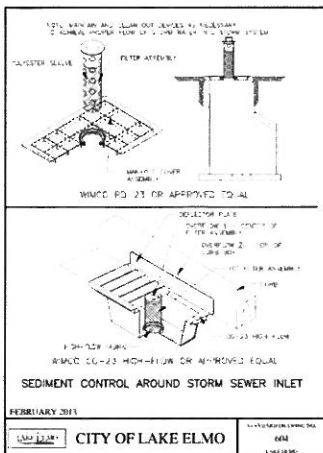
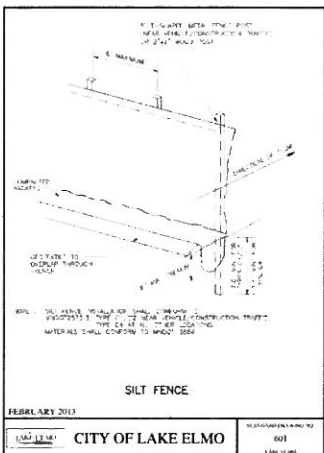
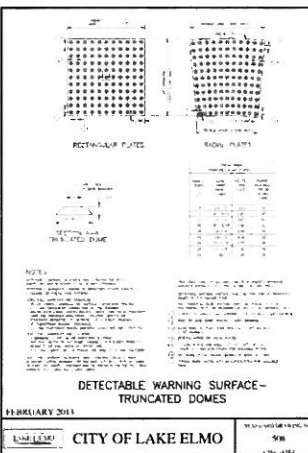
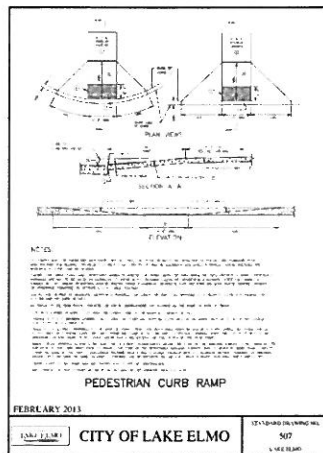
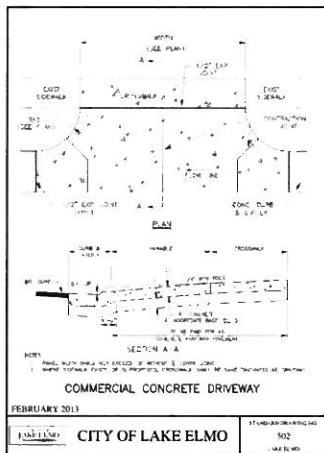
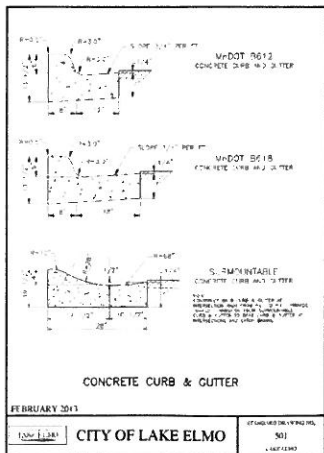
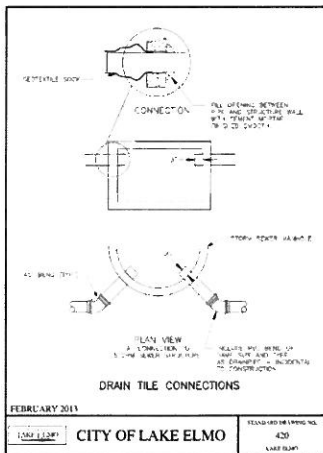
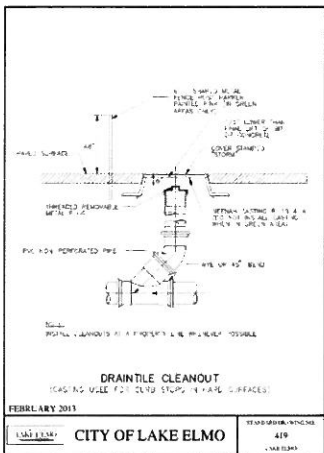
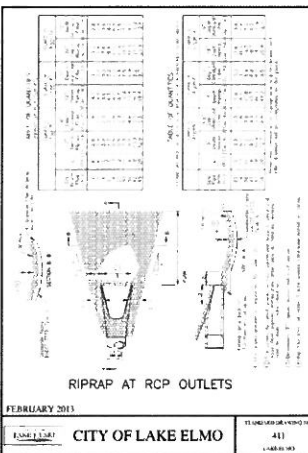
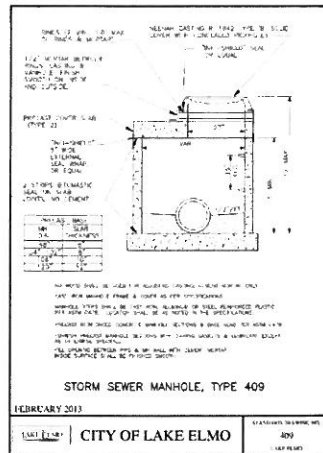
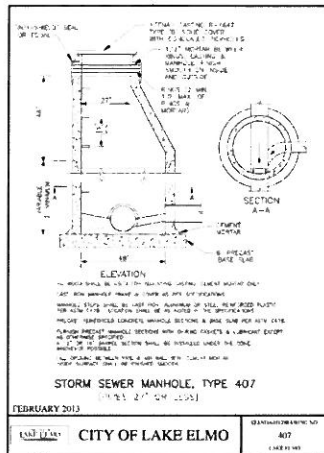
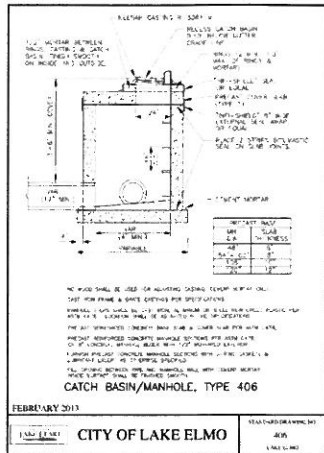
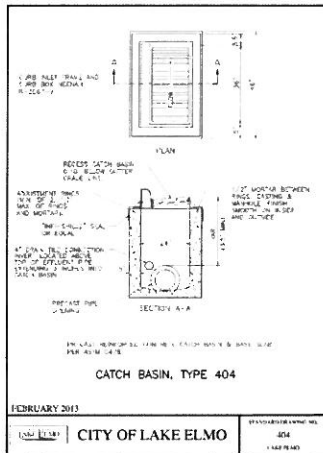
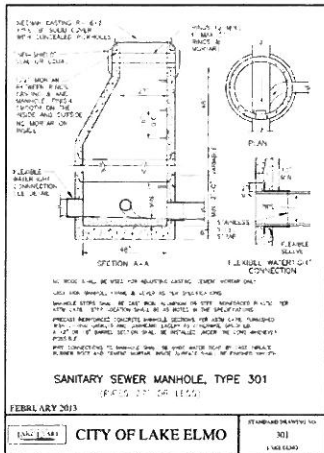
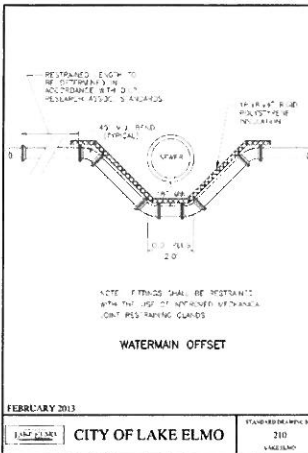
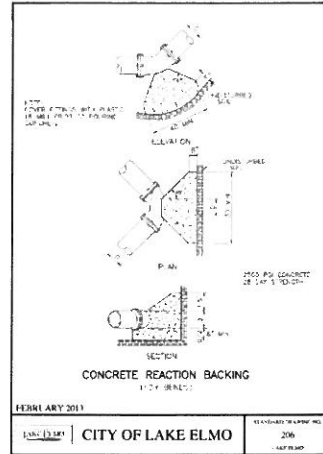
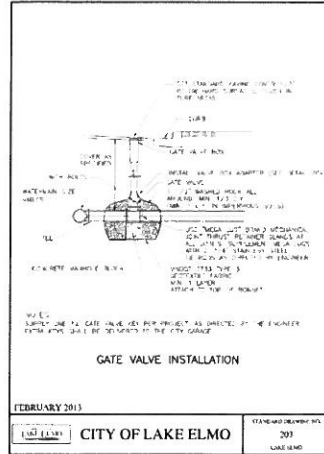
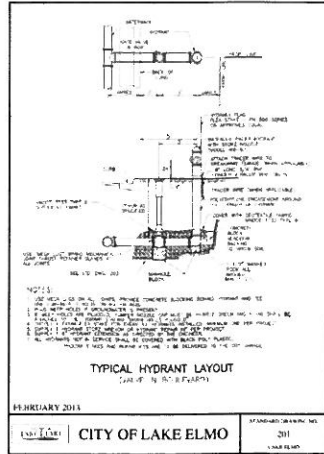
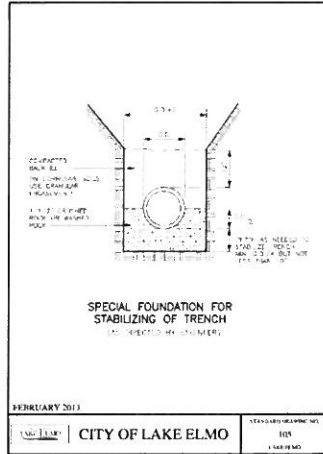
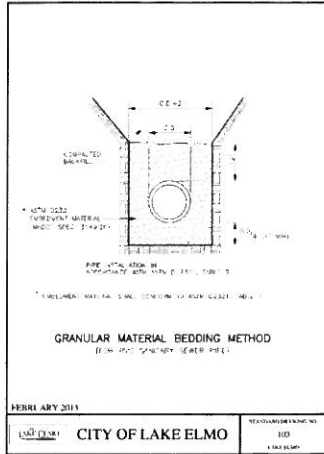
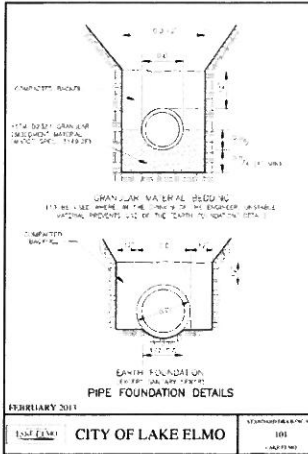
**Eagle Point
Medical Center**

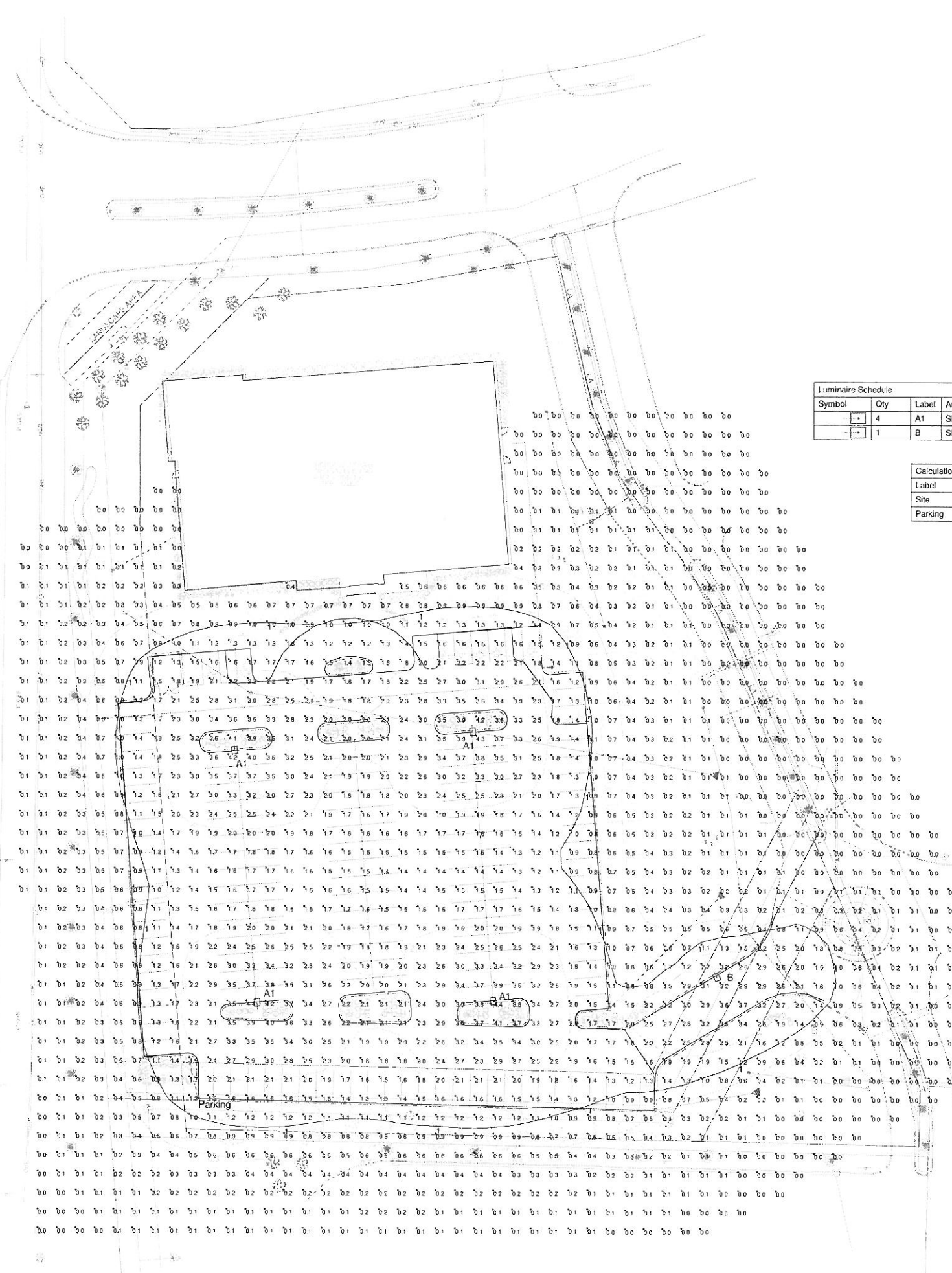
Lake Elmo, Minnesota

CITY DETAIL SHEET

Date: **05/21/14**
Sheet: **C5 OF 5**

00036670P02.dwg





Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
⊕	4	A1	SINGLE	N.A.	0.900	McGraw Galleon GLEON-AE-08-LED-E1-5WQ 8-sq LED Type V single 25ft
⊖	1	B	SINGLE	N.A.	0.900	McGraw Galleon GLEON-AE-04-LED-E1-T3 4-sq LED type IV wide 25ft

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description
Site	Illuminance	Fc	0.97	4.4	0.0	N.A.	N.A.	Horiz FC at grade
Parking	Illuminance	Fc	2.14	4.4	0.8	2.68	5.50	Horiz FC at grade in parking area

Luminaire Location Summary					
LumNo	Label	X	Y	Z	Orient
1	A1	474157	175771	25	94.619
2	A1	474144	175912	25	275.332
3	A1	474269	175922	25	275.332
4	A1	474281	175772	25	94.619
6	B	474397.5	175792.5	25	295.925

Lake Elmo Building



PULSE
never ordinary

6100 Blue Circle Dr. Minneapolis, MN 55431
Ph: 952.217.6400 Fax: 952.446.1632
www.pulseproducts.com

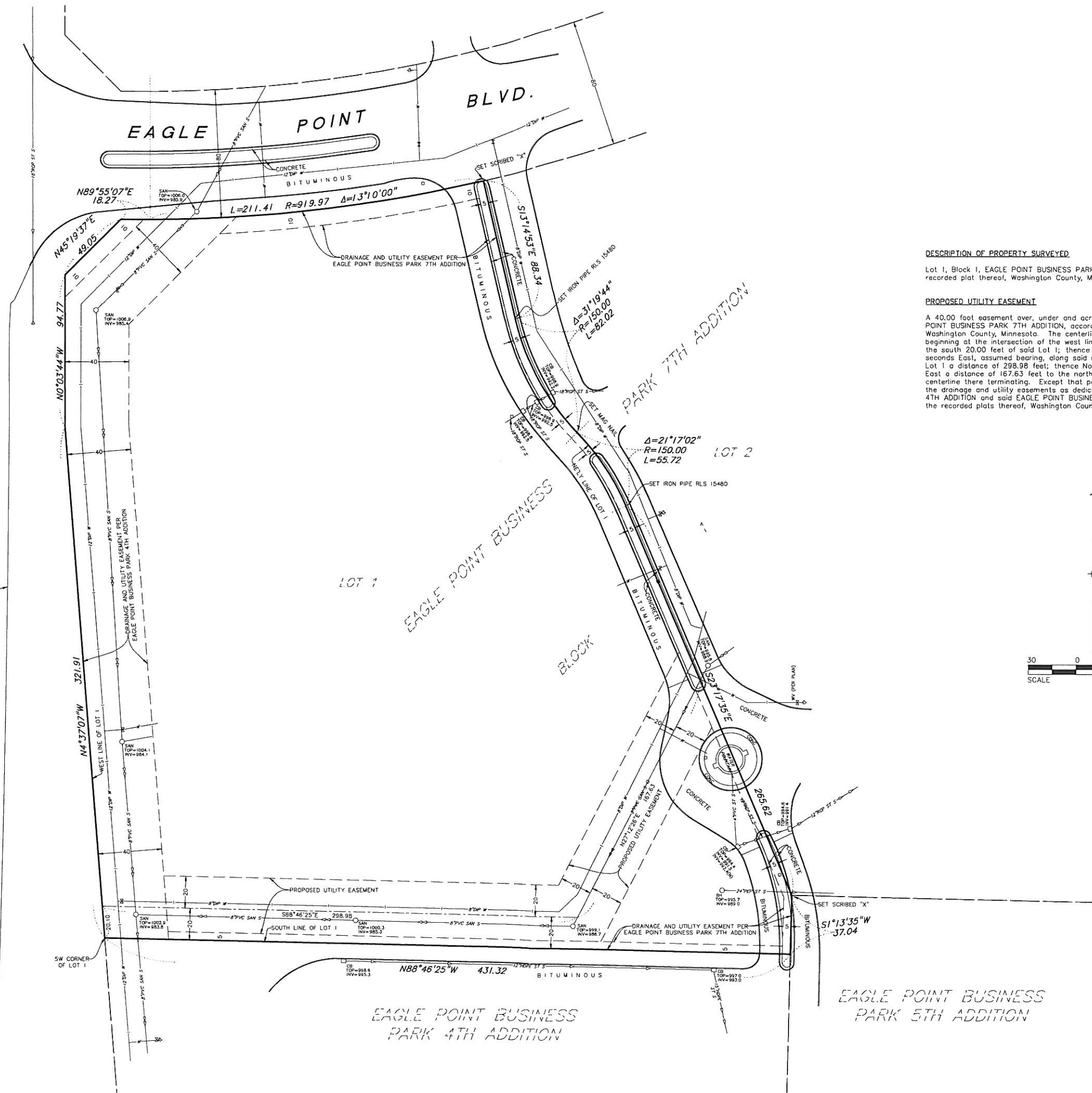
Contact: Trent Shore
Date: May 10, 2014
Revised: May 21, 2014

Arch D-Size
1" = 30'-0"

INWOOD AVENUE N. (C.S.A.H. NO. 13)

BITUMINOUS

BITUMINOUS

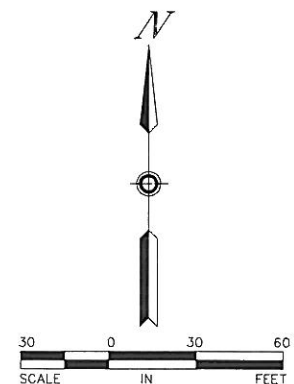


DESCRIPTION OF PROPERTY SURVEYED

Lot 1, Block 1, EAGLE POINT BUSINESS PARK 7TH ADDITION, according to the recorded plat thereof, Washington County, Minnesota.

PROPOSED UTILITY EASEMENT

A 40.00 foot easement over, under and across part of Lot 1, Block 1, EAGLE POINT BUSINESS PARK 7TH ADDITION, according to the recorded plat thereof, Washington County, Minnesota. The centerline of said easement is described as beginning at the intersection of the west line of said Lot 1 with the north line of the south 20.00 feet of said Lot 1; thence South 88 degrees 46 minutes 25 seconds East, assumed bearing, along said north line of the south 20.00 feet of Lot 1 a distance of 298.98 feet; thence North 27 degrees 12 minutes 26 seconds East a distance of 167.63 feet to the northeasterly line of said Lot 1 and said centerline there terminating. Except that part of said easement that lies within the drainage and utility easements as dedicated in EAGLE POINT BUSINESS PARK 4TH ADDITION and said EAGLE POINT BUSINESS PARK 7TH ADDITION, according to the recorded plats thereof, Washington County, Minnesota.



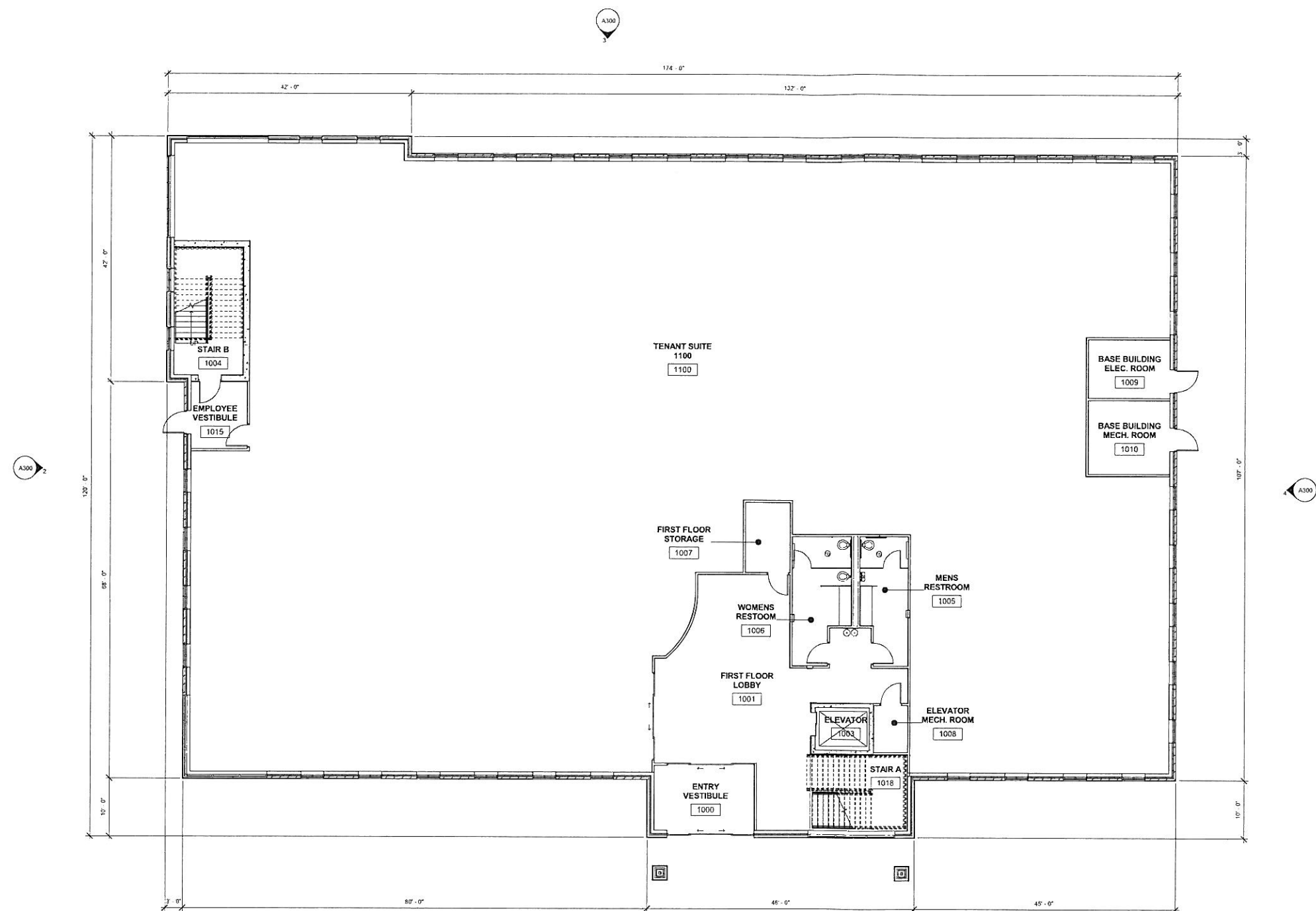
I hereby certify that this sketch, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 4th day of October, 2007.

SUNDE LAND SURVEYING, LLC.

By: *Mark S. Hanson*
Mark S. Hanson, P.L.S. Minn. Lic. No. 15480

Revision	By	Date
	BMS	
Drawing Title:		
EASEMENT SKETCH FOR: UNITED PROPERTIES		
SUNDE LAND SURVEYING www.sunde.com		
Main Office: 9001 East Bloomington Freeway (35W) • Suite 118 Bloomington, Minnesota 55420-3435 952-881-2455 (fax: 952-888-9526) North Office: Brooklyn Park, Minn. 763-784-9346		
Project: 95-155-M	By: Tg 800/70	Date:
Township: 29	Range: 21	Section: 33
File: 95155M002.dwg		Sheet: 1 of 1



1 FIRST FLOOR FLOOR PLAN
A200 1/8" = 1'-0"

ROOM SCHEDULE	
1000	ENTRY VESTIBULE
1001	FIRST FLOOR LOBBY
1002	STAIR A
1003	ELEVATOR
1004	STAIR B
1005	MENS RESTROOM
1006	WOMENS RESTROOM
1007	FIRST FLOOR STORAGE
1008	ELEVATOR MECH. ROOM
1009	BASE BUILDING ELEC. ROOM
1010	BASE BUILDING MECH. ROOM
1014	Room
1015	EMPLOYEE VESTIBULE
1018	STAIR A
1100	TENANT SUITE 1100
2000	BUILDING CONFERENCE ROOM
2001	SECOND FLOOR LOBBY
2002	STAIR A
2003	ELEVATOR
2004	STAIR B
2004	MECHANICAL SHAFT
2005	MENS RESTROOM
2006	WOMENS RESTROOM
2007	CORRIDOR
2008	CORRIDOR
2009	SECOND FLOOR ELEC. ROOM
2100	TENANT SUITE 2100
2200	TENANT SUITE 2200
2300	TENANT SUITE 2300



Project Information

EAGLE POINT MEDICAL CENTER

LAKE ELMO, MN

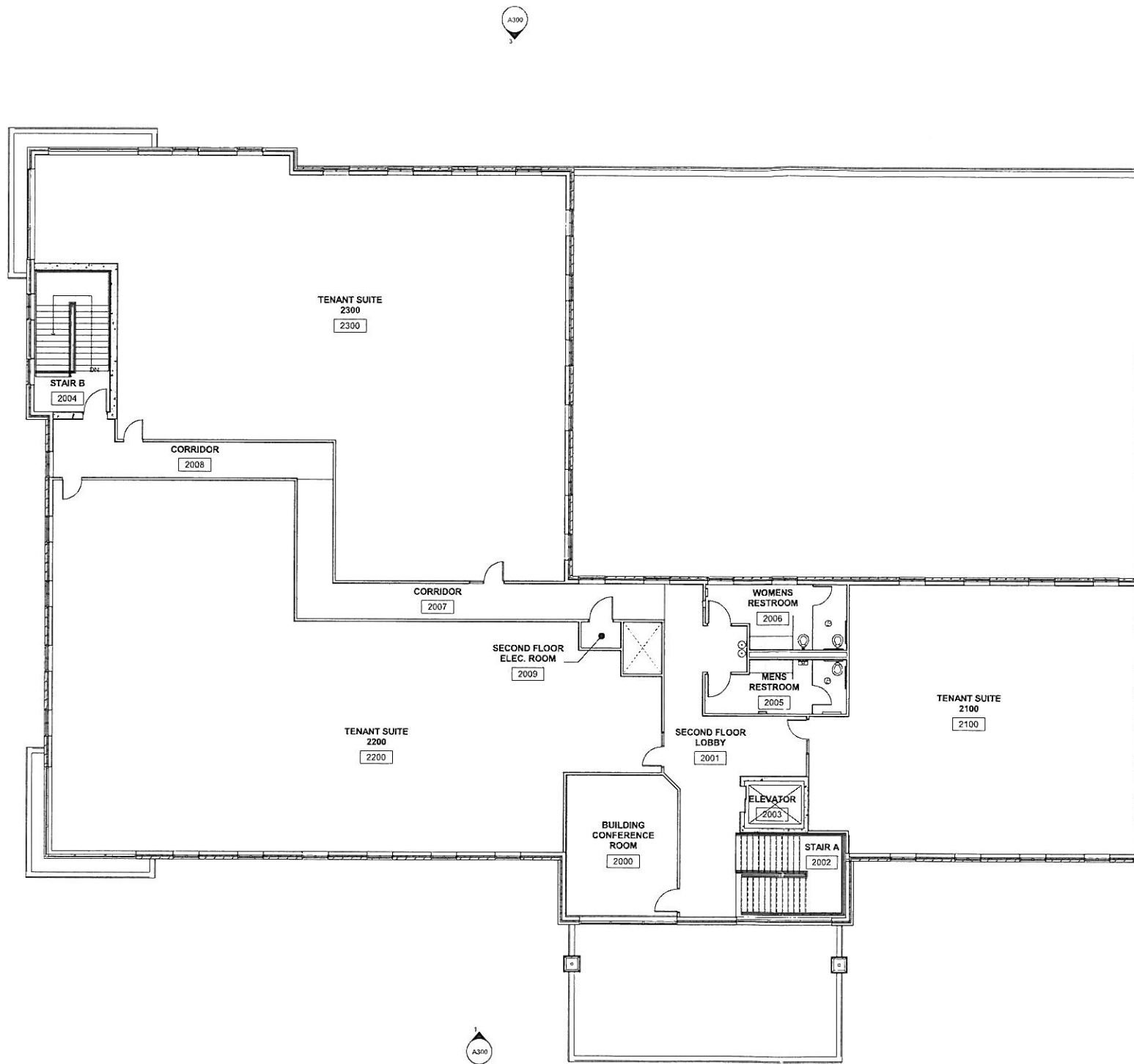
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Sheet Title
FIRST FLOOR BUILDING SHELL
FLOOR PLAN

Sheet Information

Job Code A-DAVISLEM
Drawn By MOJ/ML Reviewed By PC

Date 05/21/2014 A200



1 SECOND FLOOR FLOOR PLAN
A201 1/8" = 1'-0"

ROOM SCHEDULE	
1000	ENTRY VESTIBULE
1001	FIRST FLOOR LOBBY
1002	STAIR A
1003	ELEVATOR
1004	STAIR B
1005	MENS RESTROOM
1006	WOMENS RESTROOM
1007	FIRST FLOOR STORAGE
1008	ELEVATOR MECH. ROOM
1009	BASE BUILDING ELEC. ROOM
1010	BASE BUILDING MECH. ROOM
1014	Room
1015	EMPLOYEE VESTIBULE
1018	STAIR A
1100	TENANT SUITE 1100
2000	BUILDING CONFERENCE ROOM
2001	SECOND FLOOR LOBBY
2002	STAIR A
2003	ELEVATOR
2004	STAIR B
2004	MECHANICAL SHAFT
2005	MENS RESTROOM
2006	WOMENS RESTROOM
2007	CORRIDOR
2008	CORRIDOR
2009	SECOND FLOOR ELEC. ROOM
2100	TENANT SUITE 2100
2200	TENANT SUITE 2200
2300	TENANT SUITE 2300



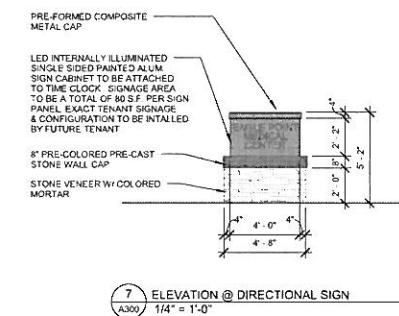
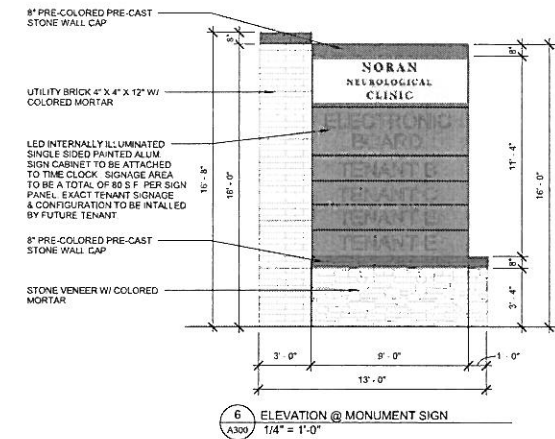
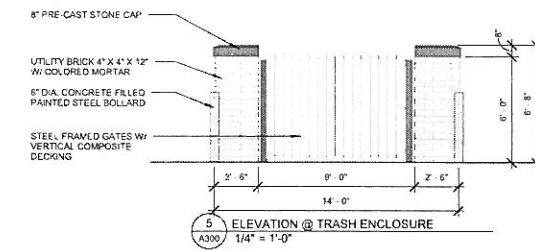
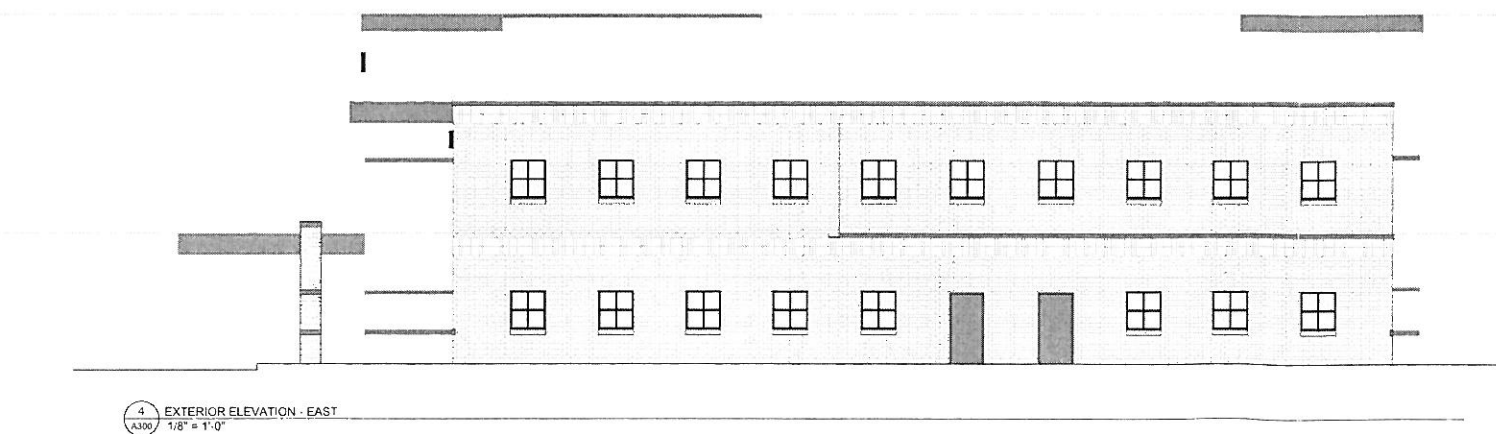
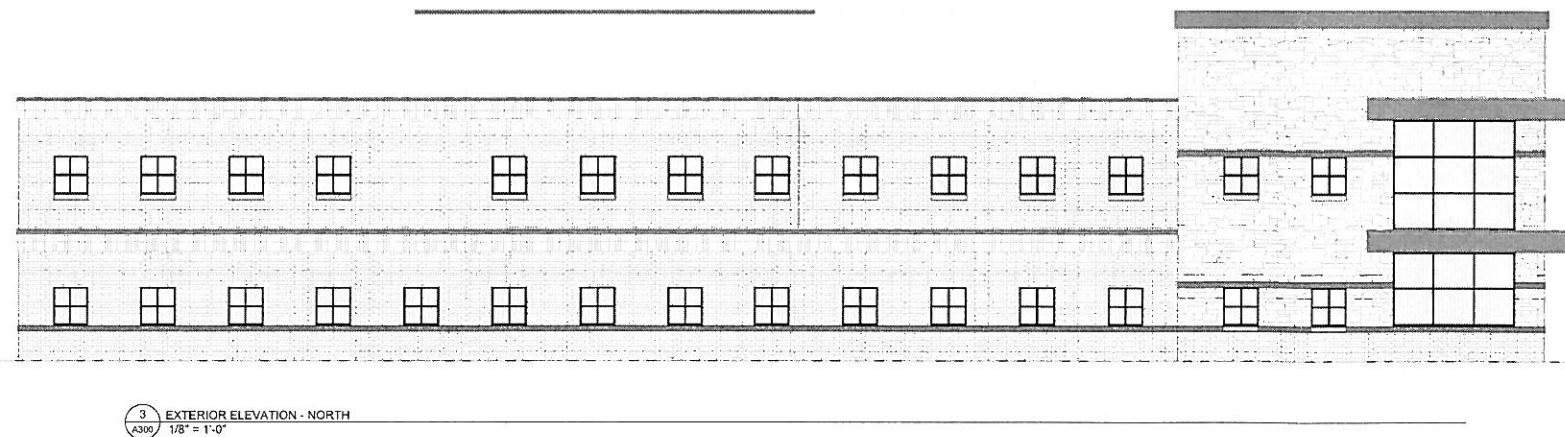
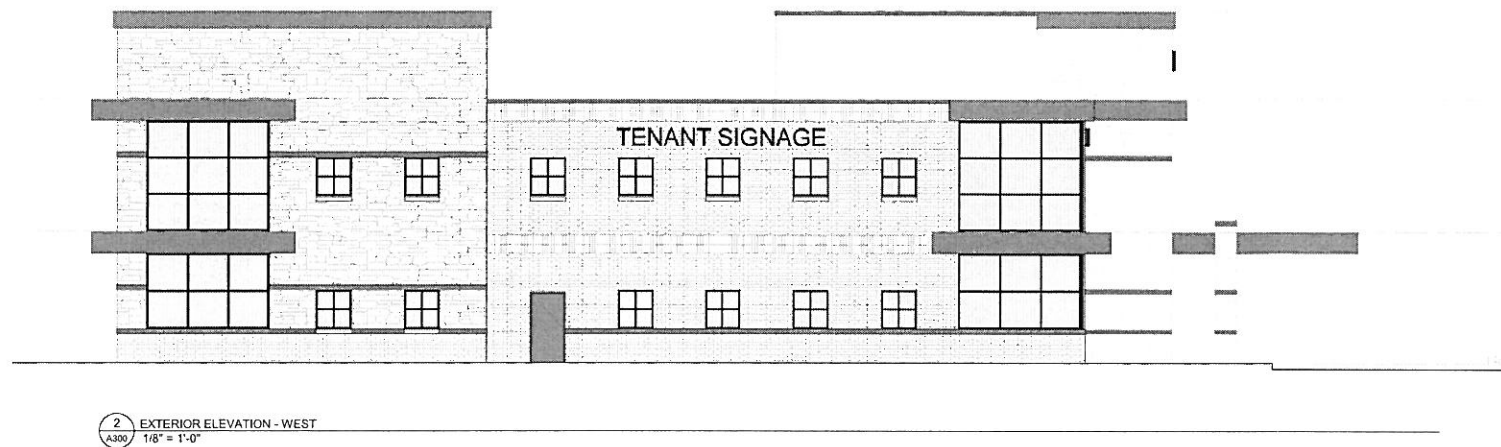
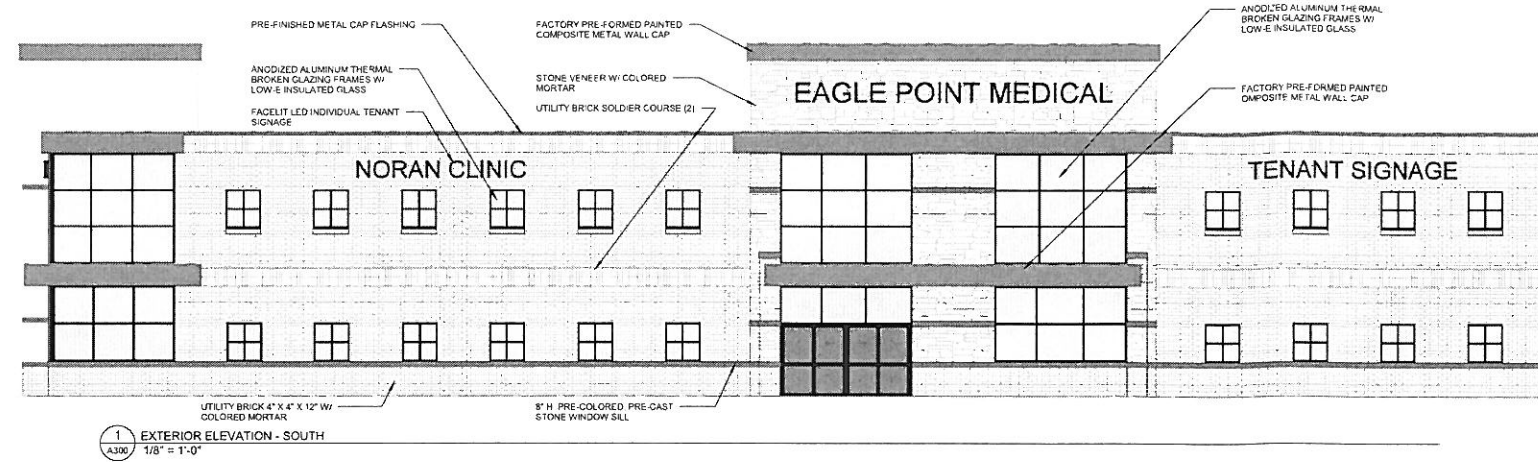
Project Information
EAGLE POINT MEDICAL CENTER

LAKE ELMO, MN

Issue Record		
No	Date	Description

Sheet Title
SECOND FLOOR BUILDING SHELL
FLOOR PLAN

Sheet Information
Job Code A DAVISLEAI
Drawn By AUC/ML Reviewed By PG
Date 05/21/2014
A201



Issue Record

No	Date	Description

Sheet Title
EXTERIOR ELEVATIONS



EAGLE POINT BUSINESS PARK 7TH ADDITION

KNOW ALL BY THESE PRESENTS: That UNITED LAND LLC, a Minnesota limited liability company, owner and proprietor of the following described property, situated in the County of Washington, State of Minnesota to wit:

Outlot A, EAGLE POINT BUSINESS PARK 5TH ADDITION, according to the plat thereof filed of record in the office of the Registrar of Titles in and for Washington County, Minnesota.

As evidenced by Certificate of Title No. _____

Has caused the same to be surveyed and platted as EAGLE POINT BUSINESS PARK 7TH ADDITION, and does hereby donate and dedicate to the public the easements created by this plat for drainage and utility purposes only.

In witness whereof said UNITED LAND LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officers this _____ day of _____, 200__.

UNITED LAND LLC

BY: _____ its _____ and _____ its _____

STATE OF _____
COUNTY OF _____

The foregoing instrument was acknowledged before me this _____ day of _____, 200__ by _____ its _____ and _____ of said UNITED LAND LLC, a Minnesota limited liability company, on behalf of said company.

Notary Public, _____ County, _____
My Commission Expires _____

I, Mark S. Hanson, hereby certify that I have surveyed and platted the property described on this plat as EAGLE POINT BUSINESS PARK 7TH ADDITION; that this plat is a correct representation of the survey; that all distances are correctly shown on the plat in feet and hundredths of a foot; that all monuments have been correctly placed in the ground as shown; that the outside boundary lines are correctly designated on the plat; and that there are no wet lands as defined in MS 505.02, Subd. 1 or public highways to be designated other than as shown.

Mark S. Hanson, Land Surveyor
Minnesota License No. 15480

STATE OF MINNESOTA
COUNTY OF _____

The foregoing Surveyor's Certificate was acknowledged before me this _____ day of _____, 200__ by Mark S. Hanson, Minnesota License No. 15480.

Notary Public, _____ County, Minnesota
My Commission Expires _____

This plat of EAGLE POINT BUSINESS PARK 7TH ADDITION was approved by the City Council of the City of Lake Elmo, Minnesota, this _____ day of _____, 200__, and hereby certifies compliance with all requirements as set forth in Minnesota Statutes, Section 505.03, Subd. 2.

SIGNED: _____
Mayor

SIGNED: _____
City Administrator

Pursuant to Chapter 820, Laws of Minnesota, 1971, this plat has been approved this _____ day of _____, 200__.

BY: _____
Washington County Surveyor

BY: _____
Deputy

There are no delinquent taxes, the current taxes due and payable for the year 200__ have been paid, and transfer has been entered this _____ day of _____, 200__.

BY: _____
Washington County Auditor/Treasurer

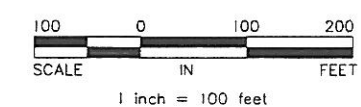
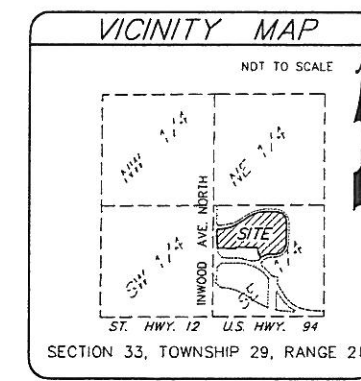
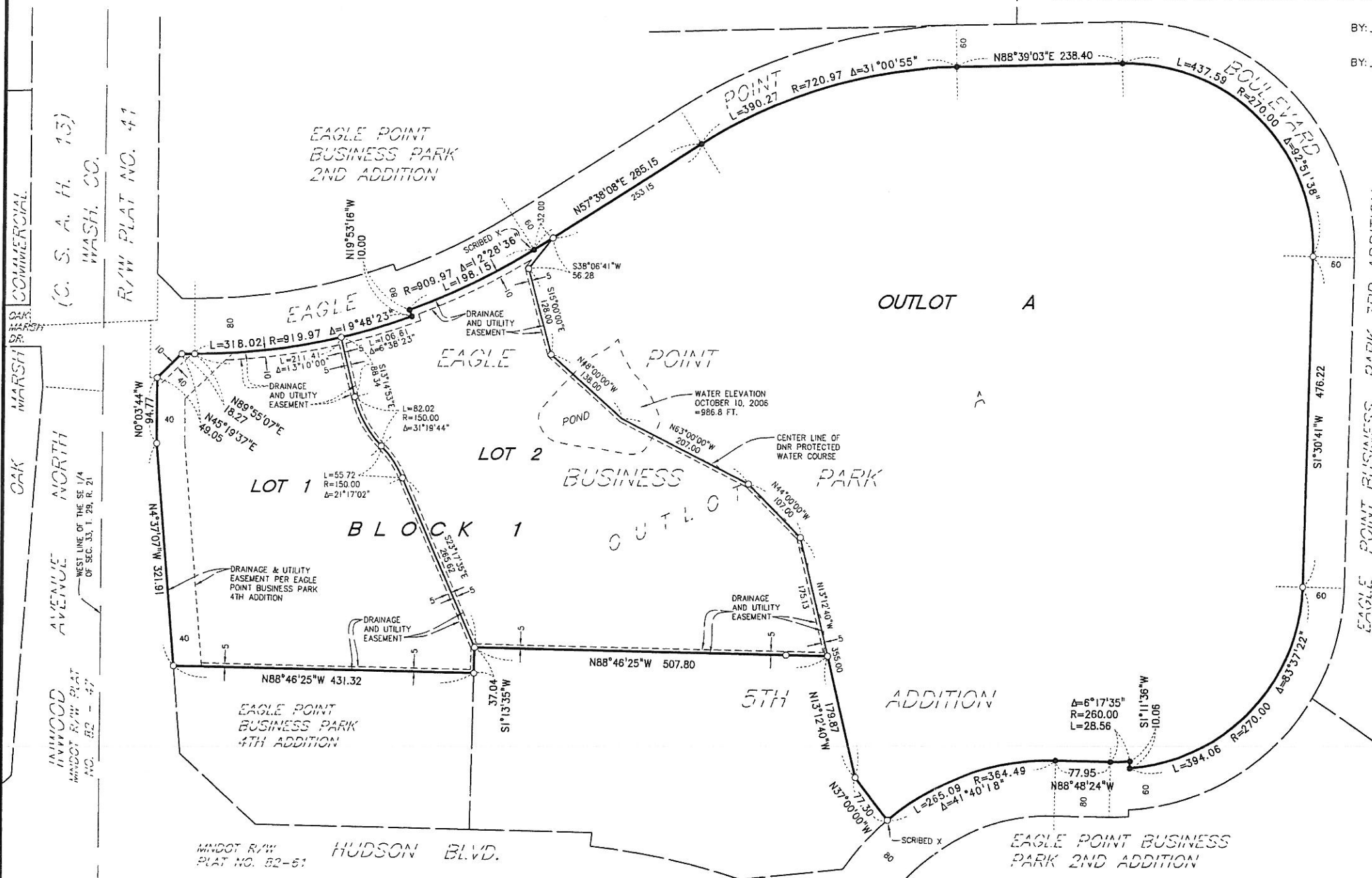
BY: _____
Deputy

Document Number _____

I hereby certify that this instrument was recorded in the Office of the Registrar of Titles for record on this _____ day of _____, 200__, at _____ o'clock _____ M., and was duly recorded in Washington County Records.

BY: _____
Washington County Registrar of Titles

BY: _____
Deputy



Orientation of this bearing system is based on the Washington County Coordinate system. (NAD83)

○ Denotes, 1/2 inch by 16 inch iron pipe with plastic cap inscribed RLS 15480, unless otherwise noted.

● Denotes found, 1/2 inch by 16 inch iron pipe with plastic cap inscribed RLS 16456, unless otherwise noted.

BENCH MARK:

Railroad spike in south face of 3rd set of double power poles east of Inwood Avenue North. Elevation = 1012.68 feet (N.G.V.D. 1929)

Sunde Land Surveying, LLC.

RECEIVED
CITY OF LAKE ELMO
FILE
3/20/2008