



PLANNING COMMISSION  
DATE: 9/22/13  
AGENDA ITEM: 4A – BUSINESS ITEM  
CASE # 2014-44

ITEM: Hammes Estates Residential Subdivision – Final Plat (Phase 1)

SUBMITTED BY: Nick M. Johnson, City Planner

REVIEWED BY: Kyle Klatt, Community Development Director  
Jack Griffin, City Engineer  
Greg Malmquist, Fire Chief  
Stephen Mastey, City's Landscape Consultant

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#### **SUMMARY AND ACTION REQUESTED:**

The Planning Commission is being asked to consider a Final Plat request from Hammes West, LLC for the first phase of a planned 163-unit residential development to be located on 78.1 acres of land west of Keats Avenue and within Stage 1 of the City's I-94 Corridor Planning Area. The final plat will include 57 single-family lots, all of which will be accessed off of Keats Avenue. Staff is recommending approval of the request subject to compliance with a series of conditions as listed in this report.

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#### **GENERAL INFORMATION**

*Applicant:* Hammes West, LLC, 36 Moonlight Bay, Stillwater, MN 55082.

*Property Owners:* Ellie Hammes, 1187 Forest Ave., Maplewood, MN 55109, and Dorothy Lyons, 10105 10<sup>th</sup> Street North, Lake Elmo, MN 55042.

*Location:* Part of Section 34 in Lake Elmo, immediately west of Keats Avenue (CSAH 19), approximately 1,300 feet south of 10<sup>th</sup> Street (CSAH 10), and immediately south of Goose Lake. PID Number 34.029.21.13.0001.

*Request:* Application for final plat approval of 57 residential lots, constituting the first phase of a subdivision to be named Hammes Estates.

*Existing Land Use and Zoning:* The site was previously utilized as an active mining and gravel operation. The site has since been reclaimed. Current Zoning: LDR - Urban Low Density Residential

*Surrounding Land Use and Zoning:* North –Goose Lake and Stonegate Residential Estates (RE) subdivision; west – Stonegate RE subdivision; south – Lennar Savona Urban Low Density Residential (LDR) subdivision.

*Comprehensive Plan:* Urban Low Density Residential (2.5 – 4 units per acre)

*History:* Preliminary Plat approved on 7/1/14 (public hearing on 5/12/14).

*Deadline for Action:* Application Complete – 9/15/14  
60 Day Deadline – 11/13/14

Extension Letter Mailed – No  
120 Day Deadline – 1/12/15

*Applicable Regulations:* Chapter 153 – Subdivision Regulations  
Article 10 – Urban Residential Districts (LDR)  
§150.270 Storm Water, Erosion, and Sediment Control

## REQUEST DETAILS

The City of Lake Elmo has received a request from Hammes West, LLC for final plat approval of the first phase of the Hammes Estates residential development. The final plat includes 57 single family residential lots and the infrastructure necessary to support the future homes on these lots. The City Council approved the Hammes Estates Preliminary Plat on July 1, 2013, which covered approximately 78 acres of land within the I-94 Corridor Planning Area. There are 163 single family residential lots planned within the entire subdivision, and the final plat covers only a portion of the overall total of units that will eventually be platted. Hammes West, LLC, in conjunction with Ryland Homes, is finalizing the purchase of the land. Submission of adequate title evidence to the City Attorney will be required of the applicant in advance of the City releasing the Final Plat for recording.

The final plat area represents the initial project phase of the overall Hammes Estates development. The developer intends to build homes in the subdivision moving generally from the east to the west, extending infrastructure to serve each phase with future projects. Likewise, the developer will be conducting final grading on the site in phases as well, as the majority of the site has undergone initial grading work as part of the approved reclamation plan for the site's mining permit. This grading will be necessary to establish the overall storm water management system on the site, but the plan will be revised when the individual lots are created as part of a future development phase. The applicant has submitted detailed construction plans for related to sanitary sewer, water main, storm sewer, grading, drainage, landscaping, and other details that have been reviewed by the City Engineer.

The City's subdivision ordinance establishes the procedure for obtaining final subdivision approval, in which case a final plat may only be reviewed after the City takes action on a preliminary plat. As long as the final plat is consistent with the preliminary approval, it must be approved by the City. Please note that the City's approval of the Hammes Estates Preliminary Plat did include a series of conditions that must be met by the applicant, which are addressed in the "Review and Analysis" section below. There are no public hearing requirements for a final plat.

It should also be noted that the zoning of the Hammes site was changed from Rural Development Transitional District (RT) to Urban Low Density Residential (LDR) as part of a broader zoning map update that was approved by the City Council on July 22, 2014. In order to proceed with the recording of the Final Plat, a site must have the proper zoning designation in place. The Hammes site fulfills this criterion, as LDR zoning is the appropriate zoning for the single family subdivision.

Staff has reviewed the final plat and found that it is consistent with the preliminary plat that was approved by the City. The developer has recently updated the preliminary plan submissions to comply with the conditions of approval, and the final plat application incorporates these updates as well. Please note that the final plat and construction plans now include approved street names for the subdivision.

The City Engineer has reviewed the final plat, and his comments are attached to this report. Although there are some additional revisions and additions necessary for the final construction plans

that need to be addressed by the applicant, the majority of these revisions can be made before the City releases the final plat for recording. Staff is recommending that all revisions and modifications noted within the City Engineer's review memorandum be completed prior to the release of Final Plat for recording as a condition of approval.

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## REVIEW AND ANALYSIS

The preliminary plat for Hammes Estates was approved with several conditions, which are indicated below along with Staff's comments on the status of each. For those items and issues that are not directly addressed below, Staff has provided additional comments following the preliminary plat conditions list. Staff is recommending approval of the final plat, but with additional conditions intended to address the outstanding issues that will require additional review and/or documentation.

Please also note that the applicant has also provided a response to the preliminary plat conditions and their response is included as an attachment to this report (Attachment #2).

### **Preliminary Plat Conditions – With Staff Update Comments (updated information in bold italics):**

- 1) Within six months of preliminary plat approval, the applicant shall complete the following: a) The applicant shall provide adequate title evidence satisfactory to the City Attorney; and b) The applicant shall submit a revised Preliminary Plat and plans meeting all conditions of approval. All of the above conditions shall be met prior to the City accepting an application for Final Plat and prior to the commencement of any grading activity on the site. ***Comment: a) all title work will need to be submitted and reviewed by the City Attorney before any City officials sign the final plat (Condition #2); b) revised preliminary plat and plans have been received by the City and were found to address previous comments. The City Engineer has identified to design modifications related to depth of storm sewer and the location of one segment of watermain, both in the western portion of the plat. The City Engineer has confirmed that these design modification are not impactful to the first phase of Hammes Estates. Nonetheless, the City Engineer has requested that these revisions be submitted in order to facilitate more accurate and efficient review of future phases of the Hammes Estates subdivision. The applicant has acknowledged this requirement and will address the requested modifications before the City will release the Final Plat for recording.***
- 2) The City Engineer shall review and approve all revised Preliminary Plans that are submitted to the City in advance of Final Plat to satisfy Condition #1. ***Comments: See Condition #1 response.***
- 3) The Preliminary Plat approval is conditioned upon the applicant meeting all minimum City standards and design requirements. ***Comments: The applicant has acknowledged that approval is conditioned upon meeting City standards and design requirements.***
- 4) All required modifications to the plans as requested by the City Engineer in a review letter dated June 16, 2014 shall be incorporated into the plans prior to consideration of a Final Plat. ***Comments: The applicants have addressed the Engineer's review comments, but design modifications are necessary with regards to storm sewer depth and watermain alignment in the western portion of the plat. The Engineer has confirmed to staff that the requested modifications to not materially impact the 1<sup>st</sup> Phase of Hammes Estates.***



- 5) Prior to the acceptance of the public improvements for the Hammes Estates plat, all wetland buffers shall be delineated and identified via staking or signage that is acceptable to the City. ***Comments: The final construction plans (Grading, Drainage and Erosion Control) include wetland buffer monuments to identify the locations of all wetland buffers. The applicants have met this condition. However, in order to ensure that the monuments are installed, staff recommends that this condition be carried forward as a condition of final plat approval for all subsequent phases of the Hammes Estates subdivision (Condition #14).***
- 6) The landscape plan shall be updated per the recommendations of the City's landscape consultant in a review memo dated 5/7/14. ***Comments: The City's Landscape Consultant has reviewed the updated Preliminary Landscape Plan and found it to be in conformance with the City's landscaping ordinance. More specifically, the applicants have provided additional plant material to meet the City's requirements. Based upon the approval of the City's Landscape Consultant, this condition has been met.***
- 7) The applicant shall be responsible for the construction of all improvements within the Keats Avenue (CSAH 19) right-of-way as required by Washington County and further described in the review letter received from the County dated May 6, 2014. The required improvements shall include, but not be limited to: construction of a modified median crossing, construction of a trail/sidewalk to the south side of the median, turn lanes, and other improvements as required by the County. ***Comments: The Final Construction Plans have been revised in response to these comments. The applicants have submitted an access permit to Washington County, which is currently being reviewed. The applicants will be responsible to incorporate any requested revisions or modifications that result from the County's review of the access to Keats Ave. into the Final Construction Plans (Condition #10)***
- 8) The developer shall follow all of the rules and regulations spelled out in the Wetland Conservation Act, and shall acquire the needed permits from Valley Branch Watershed District prior to the commencement of any grading or development activity on the site. ***Comments: The applicant has received a permit from the Valley Branch Watershed District (Attachment #11) for the grading work proposed in the final plans. This permit includes conditions that must be met prior to the commencement of any final grading work on the site. The applicant will be required to observe all conditions of the Valley Branch Watershed District permit throughout construction (Condition #8).***
- 9) Landscape islands shall be platted as part of the right-of-way and shall be maintained by the Home Owners Association. The applicant shall enter into a maintenance agreement with the City that clarifies the individuals or entities responsible for any landscaping installed in areas outside of land dedicated as public park and open space on the final plat. ***Comments: The applicant has indicated that there will be a homeowner's association created for this development. The City has not yet received documentation that this association has been established. A maintenance agreement and evidence that the HOA has been established should be retained as a condition of approval for the final plat (Condition #5).***
- 10) With an eligible parkland dedication of 5.7 acres provided, the applicant is responsible to pay a fee in lieu of land dedication for the equal market value amount of 2.1 acres of land at the time of the Final Developers Agreement. The City will work with the developer to clarify any and all park fee payments at the time of the Final Developers Agreement. ***Comments: Staff is***



*recommending that the payment of fees in lieu of land dedication either be pro-rated based on the percentage of the final plat area compared to the entire Hammes Estates development, or the total required amount be collected for the entire subdivision. As a condition of approval, staff is recommending that the required parkland dedication fee be collected prior to the City releasing the Final Plat for recording (Condition #6)*

- 11) No more than 100 units may be approved as part of a final plat until secondary access is provided to the subdivision via a connection to 5<sup>th</sup> Street through the Savona subdivision.  
*Comments: The proposed final plat includes 57 units, which means the applicant may plat an additional 42 units before secondary access through the Savona subdivision to the south is required.*
- 12) For trails proposed to be located in any wetland buffer, the applicant must present a suitable design or material that is acceptable to the City and Valley Branch Watershed District.  
*Comments: The applicants have presented a boardwalk design to the watershed district and the VBWD was agreeable to a boardwalk design through a small portion of the buffer area. City staff was in attendance at the VBWD Board Meeting and offered support for the boardwalk design. The construction details of the proposed limited boardwalk section within the wetland buffer must be provided to the City as part of the Final Construction Plans for the pertinent future phase of the Hammes Estates subdivision.*
- 13) The applicant must enter into a separate grading agreement with the City prior to the commencement of any grading activity in advance of final plat and plan approval. The City Engineer shall review any grading plan that is submitted in advance of a final plat, and said plan shall document extent of any proposed grading on the site. *Comments: The applicants are not proposing any final grading in advance of Final Plat approval. Final grading activities require the approval of the Final Grading Plans by the City Engineer.*
- 14) The applicant must incorporate a play structure into the proposed park at Goose Lake per the request of the Lake Elmo Park Commission. Furthermore, the applicant must submit an updated design of the park property that meets City approval in advance of Final Plat.  
*Comments: Regarding the play structure, the Park Commission reviewed the proposed improvements to Goose Lake Park at the 7/21/14 meeting and determined to relocate the structure to some other location within the subdivision. The Park Commission wanted to minimize the removal of significant trees in the area and were concerned about the proximity to Keats Avenue (CSAH 19). The applicant were directed to find another location for the City to locate a play structure in the future. Greater detail of the Park commission discussion can be found in Attachment # 13. To respond to this direction, the applicants have presented two potential locations, as evidence in the Park Location Plan (Attachment #7). City Staff will continue to work with the applicants and the Park Commission to site a play structure as part of a future phase of the development.*

*Regarding the design of Goose Lake Park, the applicants have submitted additional details of the proposed park area as part of the Final Landscape Plan. The proposed grading addresses staff concerns regarding the location of the improvements in the context of the 100-year flood elevation of Goose Lake. However, the park property improvements must be revised to better separate the public use area and the lift station utility area. The City Engineer has provided a proposed sketch (Attachment #14) that reorients the parking to better separate these areas, allowing for better access and work space for City maintenance*

*staff. As a condition of approval, the park property improvements must be revised to meet the approval of the City Engineer. This design must also maintain the required 25-foot setback from the OHWL as specified in the Valley Branch Watershed District Permit. Finally, the applicant will be required to obtain the necessary watershed district permit for the improvements to Goose Lake Park (Condition #12).*

- 15) The applicant shall work with the Planning Staff to name all streets in the subdivision prior to submission of a Final Plat. *Comments: The applicants have updated the Final Plat and Final Construction Plans with the correct street names as directed by City staff. This condition has been met.*
- 16) Lots 1-6, Block 10 and Lots 1-5 and 11-12, Block 9 shall not be platted until the southern channel of Goose Lake is closed off from the lake, or the shoreland issue around the channel is resolved in some other manner that is acceptable to the DNR. *Comments: The applicants have received MN DNR approval to restore the southern shore of Goose Lake back to its original state, closing off the southern channel and Wetland G. This condition has been met, and the MN DNR permit is found in Attachment #11. The applicant shall be responsible for following all requirements and conditions of the DNR permit, including the 5-year invasive species monitoring (Condition #11).*
- 17) The applicant shall work to relocate segments of the northern buffer trail further to the south of the Stonegate subdivision wherever it is feasible as long as the trail does not encroach on any required wetland buffers. *Comments: The portion of the northern buffer trail to the south of Goose Lake has been moved further to the south across the restored shoreline. The trail has not been moved further south in any other locations on the updated preliminary plans, as the other segments of the trail directly abut required wetland buffers or must be located in locations to not impact stormwater management facilities or to maintain proper grade. In the judgment of staff, the applicants have reasonably met this condition.*

Staff is recommending that the conditions noted above that pertain to the Final Plat and that have not yet been addressed by the applicant should be adopted with the Final Plat. The City Engineer's review letter does identify several issues that need to be addressed by the developer in order for the City to deem the final plans complete. However, the majority of these concerns are related to the construction plans and should have limited bearing on the final plat. Staff is recommending that City Officials not sign the final plat mylars until the City's construction plan review is finalized and all necessary easements are documented on the Final Plat.

In addition to the items discussed above, it should be noted that the Fire Chief is requesting verification from the Minnesota Pollution Control Agency (MPCA) that the remediation activities completed by the applicant have correctly addressed a previous incident of soil contamination on the site. For the purpose of documentation, the applicants have provided the soil remediation report (Attachment #15) to document that the contamination has been properly addressed. In order to ensure procedural compliance, the Fire Chief is requesting that the applicants submit this information to the Voluntary Brownfield Program at the MPCA to document compliance (Condition #13). The Fire Chief's memo is found in Attachment #9.

Based on the above Staff report and analysis, Staff is recommending approval of the Final Plat with several conditions intended to address the outstanding issues noted above and to further clarify the City's expectations in order for the developer to proceed with the recording of the Final Plat.

The recommended conditions are as follows:

***Recommended Conditions of Approval:***

- 1) Final grading, drainage, and erosion control plans, utility plans, sanitary and storm water management plans, and street and utility construction plans shall be reviewed and approved by the City Engineer prior to the recording of the Final Plat. All changes and modifications to the plans requested by the City Engineer in a memo dated 9/18/14 shall be incorporated into these documents before they are approved.
- 2) The developer shall provide evidence in a form satisfactory to the City Attorney that warrants it has fee interest in area included in the Hammes Estates Final Plat.
- 3) Prior to the execution of the Final Plat by City officials, the Developer shall enter into a Developer's Agreement acceptable to the City Attorney and approved by the City Council that delineates who is responsible for the design, construction, and payment of the required improvements with financial guarantees therefore.
- 4) All easements as requested by the City Engineer and Public Works Department shall be documented on the Final Plat prior to the execution of the Final Plat by City Officials.
- 5) A Common Interest Agreement concerning management of the common areas of Hammes Estates and establishing a homeowner's association shall be submitted in final form to the Community Development Director before a building permit may be issued for any structure within this subdivision. Said agreement shall comply with Minnesota Statutes 515B-103, and specifically the provisions concerning the transfer of control to the future property owners. The applicant shall also enter into a maintenance agreement with the City that clarifies the individuals or entities responsible for any landscaping installed in areas outside of land dedicated as public park and open space on the Final Plat.
- 6) The applicant shall provide fees in lieu of land dedication for 2.1 acres of land to fulfill the City's parkland dedication requirements in a pro-rated amount for the Phase 1 Area or in an amount addressing the total site.
- 7) The Final Landscape Plan shall be revised per the requested modifications of the City Landscape Consultant, documented in a memo dated 9/18/14. Final Landscape Plans shall be approved prior to the release of Final Plat for recording.
- 8) The applicant shall provide evidence that all conditions attached to the Valley Branch Watershed District permit for the Final Plat and associated grading work have been met prior to the commencement of any final grading activity.
- 9) The applicant must provide written authorization to perform any work in the Electrical Transmission easement areas prior to the release of the Final Plat for recording.
- 10) The applicant shall provide evidence that Washington County has approved final construction plans for all required work within the Keats Avenue right-of-way as described in



a letter from the County dated May 6, 2013. Final Construction Plans provided to the City shall be updated to include the improvements approved by Washington County

- 11) The applicant shall abide by all conditions of the MN DNR Public Waters Work Permit dated 8/27/14.
- 12) The applicant must revise the Goose Lake Park Plan to provide greater separation between the public use area and the lift station maintenance area. The applicant will be responsible for all necessary watershed district permitting requirements related to the Goose Lake Park improvements.
- 13) Per the recommendation of the Fire Chief, the applicant must submit all documentation related to the mitigation of the soil contamination to the Minnesota Pollution Control Agency's Voluntary Brownfield Program for review and approval.
- 14) Prior to the acceptance of the public improvements for the 1<sup>st</sup> Phase of the Hammes Estates subdivision, all wetland buffers shall be delineated and identified via staking or signage that is acceptable to the City.

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#### **DRAFT FINDINGS**

Staff is recommending that the Planning Commission consider the following findings with regards to the proposed Hammes Estates Final Plat:

- 1) That the Hammes Estates Final Plat is consistent with the Preliminary Plat and Plans as approved by the City of Lake Elmo on July 1, 2013 and revised on August 25, 2013.
- 2) That the Hammes Estates Final Plat is consistent with the Lake Elmo Comprehensive Plan and the Future Land Use Map for this area.
- 3) That the Hammes Estates Final Plat complies with the City's Urban Low Density Residential zoning district.
- 4) That the Hammes Estates Final Plat complies with all other applicable zoning requirements, including the City's landscaping, storm water, sediment and erosion control and other ordinances, except as noted in this report or attachment thereof.
- 5) That the Hammes Estates Final Plat complies with the City's subdivision ordinance.
- 6) That the Hammes Estates Final Plat is consistent with the City's engineering standards with the exceptions noted by the City Engineer in his review comments to the City dated September 18, 2014.

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#### **RECCOMENDATION:**

Staff recommends that the Planning Commission recommend approval of the Final Plat for Hammes Estates with the 14 conditions of approval as listed in the Staff report. Suggested motion:

***“Move to recommend approval of the Hammes Estates Final Plat with the 14 conditions of approval based on the findings of fact listed in the Staff Report.”***

**ATTACHMENTS:**

1. Application Form
2. Preliminary Plat Response (Westwood Engineering)
3. Final Plat (3 sheets)
4. Final Construction Plans (Sanitary Sewer, Water Main, Storm Sewer and Streets – 17 sheets)
5. Final Construction Plans (Grading, Drainage and Erosion Control – 14 sheets)
6. Final Landscape Plans (4 sheets)
7. Park Location Plan
8. City Engineer Review Memorandum, dated 9/18/14
9. Fire Chief Review Memorandum, dated 9/18/14
10. Landscape Consultant Review Memorandums, dated 8/25/14 and 9/18/14
11. Valley Branch Watershed District Permit
12. MN DNR Permit to Restore Southern Shore of Goose Lake
13. Excerpt of Park Commission Minutes from 7/21/14 Meeting.
14. Goose Lake Park Area Sketch
15. Soil Contamination Remediation Report

**NOT INCLUDED BUT AVAILABLE BY REQUEST:**

1. Updated Preliminary Plans

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**ORDER OF BUSINESS:**

- Introduction .....Planning Staff
- Report by Staff .....Planning Staff
- Questions from the Commission ..... Chair & Commission Members
- Discussion by the Commission ..... Chair & Commission Members
- Action by the Commission ..... Chair & Commission Members

**HAMMES WEST, LLC  
36 MOONLIGHT BAY  
STILLWATER, MN 55082**

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September 30, 2014

Mr. Nick Johnson  
City of Lake Elmo  
[njohnson@lakeelmo.org](mailto:njohnson@lakeelmo.org)

Re: City of Lake Elmo Requirements

Dear Nick:

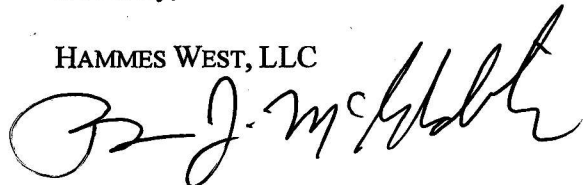
We are requesting that Condition No. 13 of the Planning Commission recommendation be amended to state the following:

“Per the recommendation of the Fire Chief, the applicant must submit all documentation related to the mitigation of the soil contamination to the Minnesota Pollution Control Agency’s Voluntary Brownfield Program for review and approval prior to the issuance of building permits for lots affected by the soil contamination, if any.”

Thank you.

Sincerely,

HAMMES WEST, LLC

A handwritten signature in black ink, appearing to read "B. J. McGoldrick", written over the printed name.

Brian McGoldrick  
Managing Member



Date Received: \_\_\_\_\_  
Received By: \_\_\_\_\_  
LU File #: \_\_\_\_\_



651-747-3900  
3800 Laverne Avenue North  
Lake Elmo, MN 55042

## FINAL PLAT APPLICATION

Applicant: Hammes West L.L.C.  
Address: 36 Moonlight Bay Stillwater, MN 55082  
Phone #: 651-439-3636  
Email Address: brian.j.mccordick@hotmail.com

Fee Owner: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone #: \_\_\_\_\_  
Email Address: \_\_\_\_\_

Property Location (Address and Complete (long) Legal Description: \_\_\_\_\_

South 1/2 of The Northeast Quarter, Section 34  
Township 29, Range 21, except the east 60 feet of The  
NORTH 967 feet, and except The parcel 3 of Washington County  
highway right of way 49-19B Washington County, MN.

General information of proposed subdivision: \_\_\_\_\_

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\_\_\_\_\_

In signing this application, I hereby acknowledge that I have read and fully understand the applicable provisions of the Zoning Ordinance and current administrative procedures. I further acknowledge the fee explanation as outlined in the application procedures and hereby agree to pay all statements received from the City pertaining to additional application expense.

Signature of applicant: B. J. McCordick Date: 8/29/14

Fee Owner Signature: \_\_\_\_\_ Date: \_\_\_\_\_



Lake Elmo City Hall  
651-747-3900  
3800 Laverne Avenue North  
Lake Elmo, MN 55042

## AFFIRMATION OF SUFFICIENT INTEREST

I ~~hereby affirm~~ that I am the fee title owner of the below described property or that I have written authorization from the owner to pursue the described action.

Name of applicant BRIAN MCGOLDRICK HAMMES WEST LLC  
(Please Print)

Street address/legal description of subject property \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

[Signature]  
Signature

8/29/14  
Date

If you are not the fee owner, attach another copy of this form which has been completed by the fee owner or a copy of your authorization to pursue this action.

If a corporation is fee title holder, attach a copy of the resolution of the Board of Directors authorizing this action.

If a joint venture or partnership is the fee owner, attach a copy of agreement authorizing this action on behalf of the joint venture or partnership.

### AFFIRMATION OF SUFFICIENT INTEREST

The following owners hereby affirm that they are the fee title owners of the below described property and authorize Hammes West, LLC to proceed with the final plat of the property.

Legal Description:

South ½ of the Northeast Quarter, Section 34, Township 29, Range 21, except the East 60 feet of the North 967 feet, and except Parcel 3 of Washington County Highway Right of Way Plat 49-19B, Washington County, Minnesota

Date: \_\_\_\_\_

\_\_\_\_\_  
Dorothy Lyons, by Linda Papillon,  
Conservator/Guardian

Date: 9/16/14

\_\_\_\_\_  
*Eleanor Hammes*  
Leo Hammes,  
by Eleanor Hammes, Attorney in Fact

Date: 9/16/14

\_\_\_\_\_  
*Eleanor Hammes*  
Margot Hammes  
by Eleanor Hammes, Attorney in Fact

Date: 9/16/14

\_\_\_\_\_  
*Edward D. Kuhlman*  
Estate of Earl Hammes  
By Edward Kuhlman, Personal Representative

Date: 9/16/14

\_\_\_\_\_  
*Eleanor Hammes*  
Eleanor Hammes



**FEE OWNER CONSENT  
TO  
DEVELOPMENT CONTRACT**

Dorothy Lyons, Leo Hammes and Margot Hammes, husband and wife, the Estate of Earl Hammes, Eleanor Hammes and Hammes West, LLC, fee owners of all or part of the subject property, the development of which is governed by the foregoing Development Contract, affirm and consent to the provisions thereof and agree to be bound by the provisions as the same may apply to that portion of the subject property owned by them.

Date: \_\_\_\_\_

\_\_\_\_\_  
Dorothy Lyons, by Linda Papillon,  
Conservator/Guardian

Date: 9/16/14

\_\_\_\_\_  
*Eleanor Hammes*  
Leo Hammes,  
by Eleanor Hammes, Attorney in Fact

Date: 9/16/14

\_\_\_\_\_  
*Eleanor Hammes*  
Margot Hammes  
by Eleanor Hammes, Attorney in Fact

Date: 9/16/14

\_\_\_\_\_  
*Edward R. Kuhlman*  
Estate of Earl Hammes  
By Edward Kuhlman, Personal Representative

Date: 9/16/14

\_\_\_\_\_  
*Eleanor Hammes*  
Eleanor Hammes



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Eden Prairie, MN 55344

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TOLL FREE 888-937-5150

[www.westwoodps.com](http://www.westwoodps.com)

August 28, 2014

Nick Johnson  
City of Lake Elmo  
3800 Laverne Avenue North  
Lake Elmo, MN 55042

**Re: Hammes Property  
Residential Subdivision, Lake Elmo, MN  
Westwood No. 0002905.01**

Dear Mr. Johnson:

Westwood has completed revisions to the preliminary plat set and created final plans for this project. Modifications were made to the plans per your previous review comments. Attached are full-size copies for your review. For the majority of the items, Westwood has completed the revisions and included them on the appropriate sheets.

In order to facilitate your review, we have included your previous comments below, along with explanations on how these comments were addressed within the plan set;

#### Conditions of Approval

1. Within six months of preliminary plat approval, the applicant shall complete the following;
  - a. The applicant shall provide adequate title evidence satisfactory to the city Attorney.  
*This item would be sent to the city from the developer directly.*
  - b. The applicant shall submit a revised Preliminary Plat and plans meeting all conditions of approval. All of the above conditions shall be met prior to the city accepting an application for Final Plat and prior to the commencement of any grading activity on the site. *Attached are the revised preliminary plat and plans.*
2. The City Engineer shall review and approve all revised Preliminary plans that are submitted to the City in advance of Final Plat to satisfy Condition #1. *Attached are the preliminary plat plans for the city engineer to review. In lieu of preliminary grading plans, we have completed final grading plans for the entire site.*
3. The Preliminary Plat approval is conditioned upon the applicant meeting all minimum City standards and design requirements. *Westwood has completed plan revisions with this in mind.*
4. All required modifications to the plans as requested by the City Engineer in a review letter dated June 16, 2014 shall be incorporated into the plans prior to consideration of the Final Plat. *See attached revised plans, and responses to the city engineer comments.*



5. Prior to acceptance of the public improvements for the Hammes Estates plat, all wetland buffers shall be delineated and identified via staking or signage that is acceptable to the city. *Comment noted.*
6. The Landscape plan shall be updated per the recommendations of the City landscape consultant in a review memo dated 5/7/14. *The attached revised preliminary landscape plan has been revised per these comments.*
7. The applicant shall be responsible for the construction of all improvements within the Keats Avenue right-of-way as required by Washington County. *Understood. We are coordinating with the county on plans for these improvements.*
8. The developer shall follow all of the rules and regulations spelled out in the Wetland Conservation Act, and shall acquire the needed permits from Valley Branch watershed district prior to commencement of any grading or development activity on the site. *Comment noted. We have received a conditional approval from the watershed earlier this month.*
9. Landscape islands shall be platted as a part of the ROW and shall be maintained by the Home Owner's Association. The applicant shall enter into a maintenance agreement with the city. *This item will require further discussion between the developer and the city. It is my understanding that a draft of the developer's agreement is being submitted. We would anticipate that this item would be included as a part of this agreement.*
10. With an eligible parkland dedication of 5.7 acres provided, the applicant is responsible to pay a fee in lieu of land dedication for the equal market value amount of 2.1 acres of land at the time of the Final Developers Agreement. The city will work with the developer to clarify any and all park fee payments at the time of the Final Developers Agreement. *Comment noted.*
11. No more than 100 units may be approved as a part of a final plat until a secondary access is provided to the subdivision via a connection to 5<sup>th</sup> Street through the Savona subdivision. *The proposed final plat has less than 100 lots as a part of the first addition. Future final plats will be prepared with this comment in mind.*
12. For trails located in any wetland buffer, the applicant must present a suitable design or material that is acceptable to the city and valley branch watershed district. *The proposed trail within a wetland buffer has been conditionally approved from the watershed as a boardwalk. We will submit these designs to the city for final approval.*
13. The applicant must enter into a separate grading agreement with the city prior to the commencement of any grading activity in advance of the final plat and plan approval. The city engineer shall review any grading plan that is submitted in advance of the final plat, and said plan shall document extent of any proposed grading on the site. *Attached is the final grading plan for the city engineer to review. Site grading has been completed onsite as a part of the reclamation work to correct for the mining activity that had taken place previously.*
14. The applicant must incorporate a play structure into the proposed park at Goose Lake per the request of the Lake Elmo Park Commission. Furthermore, the applicant must submit an updated design of the park property that meets City approval in advance of the final plat. *Per recent discussions with the city, a play structure is not currently shown on the Goose Lake park. Additional grading design has been completed within this area for review.*
15. The applicant shall work with the Planning staff to name all the streets in the subdivision prior to submission of the final plat. *Streets have now been named for the project as requested.*
16. Lots 1-6, Block 10 and Lots 1-5, and 11-12, Block 9 shall not be platted until the southern channel of Goose Lake is closed off from the lake, or the shoreland issue around the channel is



resolved in some other manner that is acceptable to the DNR. *We recently received a DNR permit for this project, so these lots are now included as a part of the final plat.*

17. The applicant shall work to relocate segments of the northern buffer trail further to the south of the Stonegate subdivision wherever feasible as long as the trail does not encroach on any required wetland buffers. *Some trail modifications have been made; we would encourage the city to review to determine if additional changes to the trail alignment are necessary.*

#### City Engineering Comments

##### Utility Plans and Easements

1. A 12" watermain stub should be extended east along street 1 to the intersection and County ROW of Keats Avenue for future extension to the east site of CSAH 19. *Comment noted. Upon review, this change did not make it into the submitted plans, but subsequent plan revisions will include this 12" watermain stub from the intersection to the county road.*
2. The 8" watermain line from the Street 8 cul-de-sac to the Street 9 cul-de-sac passes directly under infiltration basin 1 and does not maintain the state required 10-foot offset from storm sewer pipe. An alternate alignment or connection will need to be determined as a part of the final plans. *Comment noted. Preliminary plans still show this same alignment, however we will work with the city to adjust this when final plans are completed for this area.*
3. The sanitary sewer segment along the east side of lot 6, block 6 needs to move further to the east to maintain additional offset from the lot 6 property line. *We request additional direction from the city on this item; we have dedicated a 40' easement in this area, but we have sanitary line, a trail and a storm line in this location. We can shift the sewer line to the location within this easement as desired by the city,*
4. Additional plan information is needed to evaluate the impacts to the city's sewer, forcemain and lift station infrastructure by the proposed park improvements. *Please see the final grading and utility plans to further evaluate any impacts to the city's infrastructure.*
5. A few additional easements are required. *Now that some of the stormwater system has significantly changed, and the final plat has been prepared, I believe the previously discussed easement changes should be reviewed.*

##### Storm Sewer

1. The storm sewer or grading plans must be revised to provide the City Standard minimum pipe cover of 3.5 feet. *Comment noted. Final storm sewer design has been completed for phase 1 with this in mind.*
2. Drain tile is required as a part of the City Standard street section at all localized low points in the street. *Comment noted. The majority of the site drains to the northeast, so there are not many low points on the project. Where we do have low points, draintile was added.*

##### CSAH 19 (Keats Avenue) Improvements

1. Written documentation is required to demonstrate Washington County approval for the proposed access to Keats Avenue together with any county requirements. Turn lane, bypass lane and other improvements on CSAH 19 as required by Washington County must be identified and incorporated on the plans. *Comment noted. We are currently working with the county on this item. Additional plan revisions and correspondences with them will be required.*

August 28, 2014

Page 4

2. Street 1 improvements must extend into the County Road R/W and connect to CSAH 19 including turning radii and drainage provisions. *Comment noted. Plans now show the road connecting to Keats Avenue.*

#### Wetlands and Wetland Buffers

1. VBWD requires a minimum 25-foot Buffer when buffer averaging is used. In addition, the VBWD does not allow impervious surfaces to be placed on wetlands or wetland buffers. *Comment noted. The buffers and the site have been adjusted to comply. The trail within the buffer is designed as a boardwalk.*
2. The wetland buffer for Wetland G encroaches over the proposed trail between lot 6, block 10 and lot 12, block 9. *Wetland G is now changed significantly due to the berm design at Goose Lake.*

#### Grading and Stormwater Management

*Significant changes have been made to the plan in order to obtain a conditional approval from the watershed. I would request that the city review the final grading plan, and the updated stormwater management calculations to reevaluate the previous comments. We no longer have two infiltration basins at the entrance, so we believe that the plan has been improved from the previous design.*

Since so much has changed, we wanted to get the plans into your hands so that review could start as soon as possible. We understand that there is a lot of information to digest, and that there still are additional items to finalize as listed above, but we request that the city initiate the final plat review process so we can attempt to start work on initial phase yet this fall.

Please review our attached materials, and give me a call with any questions you may have. I will follow up in the next week or so to schedule a meeting to review the attached submittal.

Sincerely,

WESTWOOD PROFESSIONAL SERVICES



Ryan Bluhm, PE

cc. Brian McGoldrick, Hammes West LLC



# HAMMES ESTATES

**KNOW ALL PERSONS BY THESE PRESENTS:** That Hammes West, LLC, a xxxxx limited liability xxxxx, the owner of the following described property situated in the County of Washington, State of Minnesota, to wit:

That part of the South Half of the Northeast Quarter of Section 34, Township 29 North, Range 21 West, Washington County, Minnesota, EXCEPT the East 60.00 feet of the North 96.7 feet of said South Half of the Northeast Quarter thereof; AND EXCEPT Parcel 3 of Washington County Highway Right of Way Plot 49-19R, recorded September 18, 1985 as Document Number 492530.

Has caused the same to be surveyed and plotted as **HAMMES ESTATES** and does hereby donate and dedicate to the public for public use, traverse the public ways, as shown on this plat and also dedicate the easements as created by this plat for drainage and utility purposes only.

In witness whereof said Hammes West, LLC, a xxxxx limited liability xxxxx, has caused these presents to be signed by its proper officers this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

**HAMMES WEST, LLC**

By \_\_\_\_\_  
Its \_\_\_\_\_

## STATE OF MINNESOTA

**COUNTY OF \_\_\_\_\_**  
The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by \_\_\_\_\_, its \_\_\_\_\_ of Hammes West, LLC, a xxxxx limited liability xxxxx, on behalf of the xxxxx.

(Signature) \_\_\_\_\_  
Notary Public, \_\_\_\_\_ County, Minnesota  
My Commission Expires \_\_\_\_\_

I hereby certify that I have surveyed and plotted or directly supervised the survey and plotting of the property described on this plat as **HAMMES ESTATES**, that I am a duly licensed Land Surveyor in the State of Minnesota, that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on the plat; that all monuments depicted on the plat have been or will be correctly set within one year as indicated on the plat; that all water boundaries and wet lands as defined in MS, 50S.01, Subd. 3 existing as of the date of this certification are shown and labeled on the plat, and that all public ways are shown and labeled on the plat.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Craig W. Morse, Licensed Land Surveyor  
Minnesota License No. 23021

## STATE OF MINNESOTA

**COUNTY OF HENNEPIN**  
The foregoing Surveyor's Certificate was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by Craig W. Morse, Licensed Land Surveyor, Minnesota License No. 23021.

(Signature) \_\_\_\_\_  
Notary Public, \_\_\_\_\_ County, Minnesota  
My Commission Expires \_\_\_\_\_

## CITY PLANNING COMMISSION

Approved by the Planning Commission of the City of Lake Elmo, Minnesota, at a regular meeting thereof, on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

By \_\_\_\_\_ Chair By \_\_\_\_\_ Secretary

## CITY OF LAKE ELMO, MINNESOTA

This plat was approved by the City Council of the City of Lake Elmo, Minnesota this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, and hereby certifies compliance with all requirements as set forth in Minnesota Statutes, Section 50S.03, Subdivision 2.

By \_\_\_\_\_ Mayor By \_\_\_\_\_ Clerk

## COUNTY SURVEYOR

Pursuant to Chapter 820, Laws of Minnesota, 1921, and in accordance with Minnesota Statutes, Section 50S.02, Subd. 11, this plat has been reviewed and approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

By \_\_\_\_\_  
Washington County Surveyor

## COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 50S.021, Subd. 2, taxes payable in the year 20\_\_\_\_ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

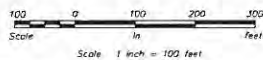
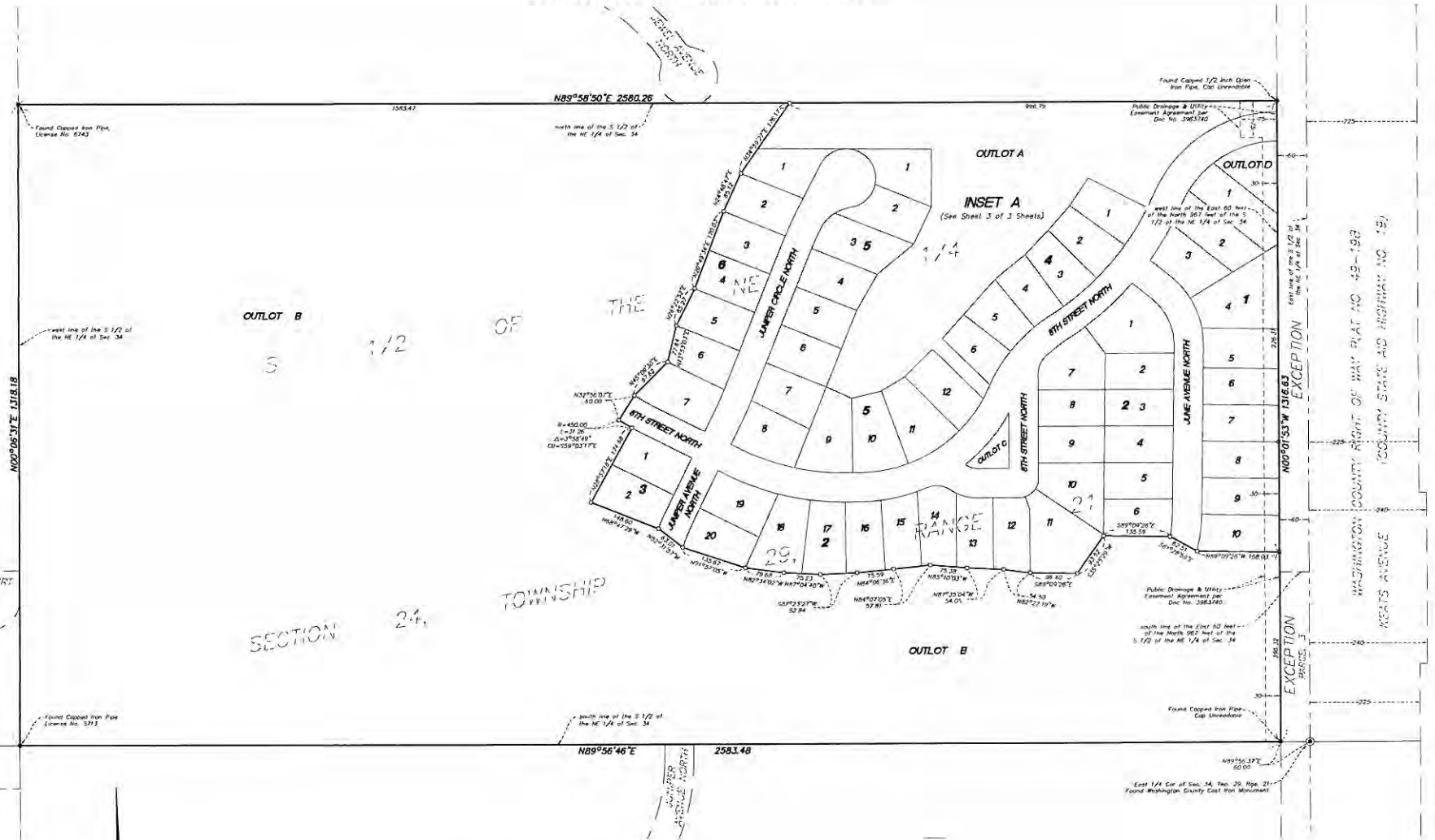
By \_\_\_\_\_ Washington County Auditor/Treasurer By \_\_\_\_\_ Deputy

## COUNTY RECORDER

Document Number \_\_\_\_\_  
I hereby certify that this instrument was filed in the office of the County Recorder for record on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, at \_\_\_\_\_ o'clock \_\_\_\_\_ M., and was duly recorded in Washington County Records.

By \_\_\_\_\_ Washington County Recorder By \_\_\_\_\_ Deputy

# HAMMES ESTATES



The south line of the South Half of the Northeast Quarter of Section 34, Township 29, Range 21 is assumed to bear N 89°56'46\"

- Denotes 1/2 inch by 14 inch iron rebar set out marked by License No. 23002
- Denotes found and marked as shown

**Westwood**  
Professional Services, Inc.



# HAMMES ESTATES

N89°55'50"E 996.79

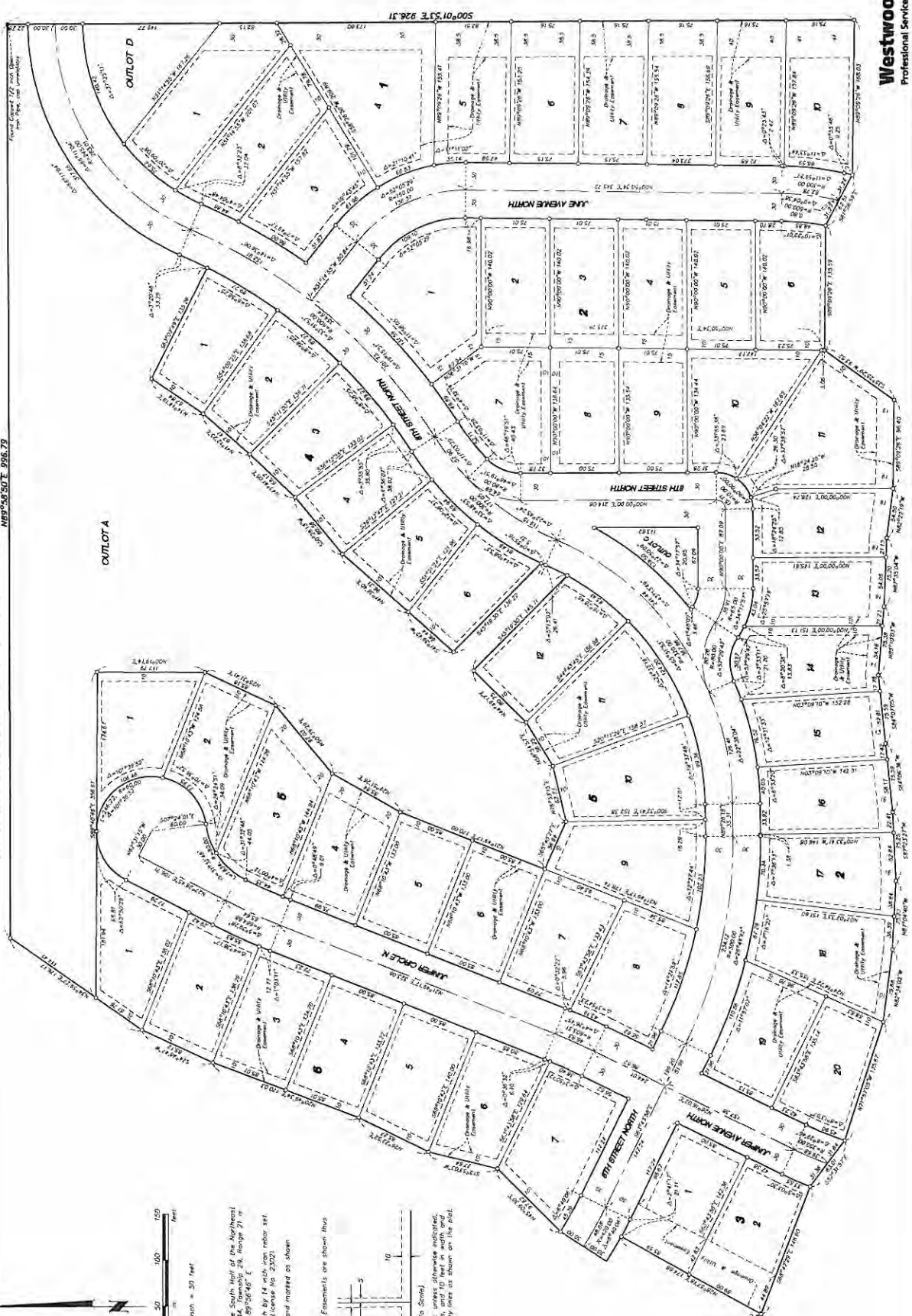
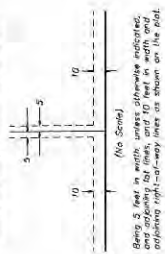


The south line of the South Half of the Northeast Quarter of Section 14, Township 21 N, Range 21 E, is assumed to bear N 89°55'45"E.

• Dashed L/2 each by 14 with one rear set and marked by license No. 2023.

• Dashed found and marked as shown.

Damages and Utility Elements are shown here.



# Construction Plans

for  
Sanitary Sewer, Water Main, Storm Sewer  
and Streets

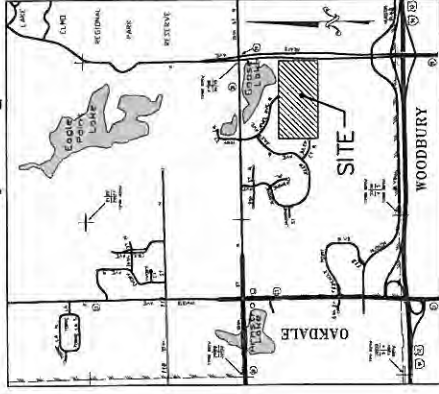
for  
**Hammes Property**  
Lake Elmo, Minnesota

Prepared for:  
**Ryland Homes**  
7599 Anagram Drive  
Eden Prairie, Minnesota 55344  
Contact: Mark Sonstegard  
Phone: 952-229-6000  
Fax: 952-229-6024

Prepared by:  
  
**Westwood**  
Project number: 0002905.00  
Contact: Ryan M. Blum

Westwood Professional Services, Inc.  
10000 Prairie Ave. Suite 200  
Eden Prairie, MN 55344  
PHONE: 952-237-5150  
FAX: 952-237-5151  
WWW.WESTWOODPROF.COM

Vicinity Map



(Not To Scale)

NO.	DATE	REVISION	SHEETS
1	09/03/14	WATER MAIN REVISION	ALL

Sheet Number	Sheet Title
1	Cover
2	Overall
3	Sanitary Sewer And Water Main Construction Plan
4	Sanitary Sewer And Water Main Construction Plan
5	Sanitary Sewer And Water Main Construction Plan
6	Sanitary Sewer And Water Main Construction Plan
7	Storm Sewer And Street Construction Plan
8	Storm Sewer And Street Construction Plan
9	Storm Sewer And Street Construction Plan
10	Storm Sewer And Street Construction Plan
11	Storm Sewer And Street Construction Plan
12	Storm Sewer And Street Construction Plan
13	Storm Sewer And Street Construction Plan
14	Details
15	Details
16	Details
17	Kate Avenue Improvements Plan

**Construction Plans**  
for  
Sanitary Sewer, Water Main, Storm Sewer  
and Streets  
for  
Hammes Property  
Lake Elmo, Minnesota

Date: 08/27/14 Sheet: 1 of 17



STORM SEWER CASTING SCHEDULE			
NUMBER	TYPE	DATA	CASTING TYPE
1	CB	12"	SEE DETAIL
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**LEGEND**

- EXISTING**
- Sanitary Sewer
  - Water
  - Hyd. w/Volue
  - Storm Sewer
  - Drillhole
- PROPOSED**
- Sanitary Sewer
  - Water
  - Hyd. w/Volue
  - Storm Sewer
  - Drillhole



Latest Revision Date: 09/07/14  
 Drawn: 09/07/14  
 Sheet: 2 of 17

**Hammes Property**  
 Lake Elmo, Minnesota

**Ryland Homes**  
 Ryan Anderson, Dr. Inc.  
 Eden Prairie, Minnesota 55344

Prepared for:

Client:	DATE:
Drawn:	DATE:
Checked:	DATE:
Approved:	DATE:

Notes:  
 1. All work shall be done in accordance with the latest edition of the Minnesota Rules and Regulations.  
 2. All work shall be done in accordance with the latest edition of the Minnesota Rules and Regulations.  
 3. All work shall be done in accordance with the latest edition of the Minnesota Rules and Regulations.

Wetwood Professional Services, Inc.  
 10000 Lake Elmo Road  
 Eden Prairie, MN 55344  
 Tel: 952.461.1111  
 Fax: 952.461.1112  
 www.wetwood.com



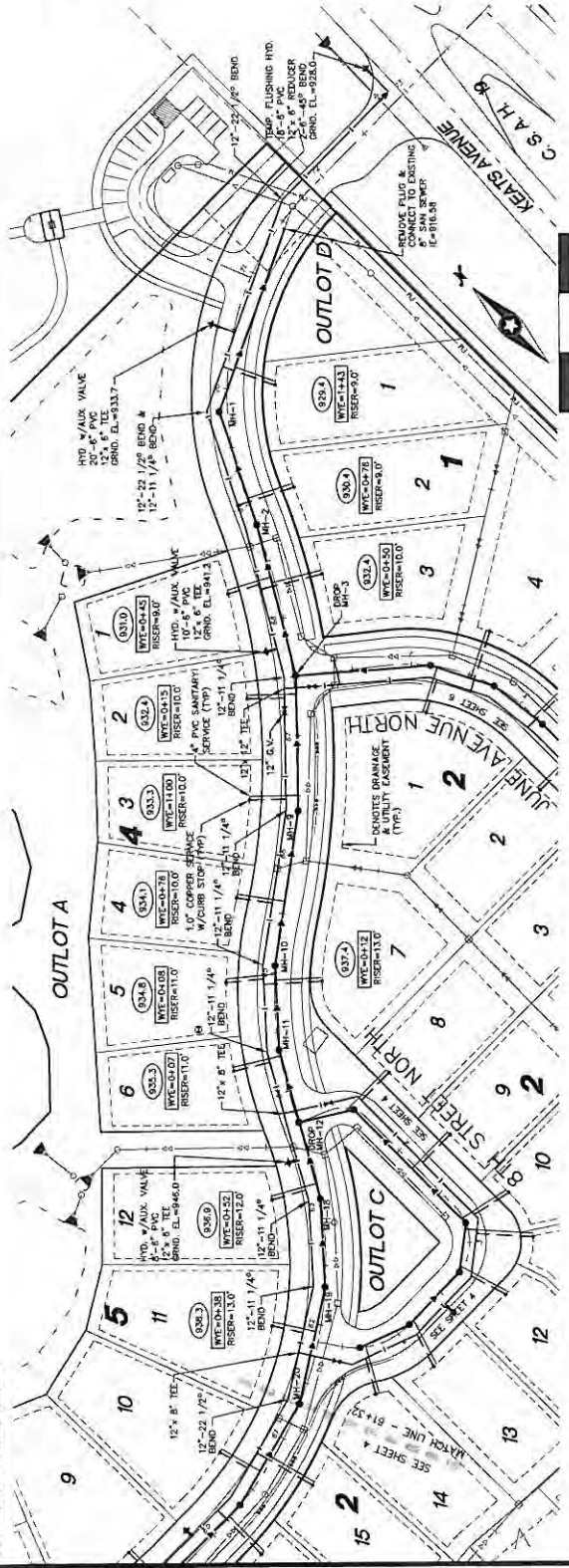
Call 48 hours before digging  
 811 or call 811.com  
 Common Ground Alliance

# GENERAL NOTES:

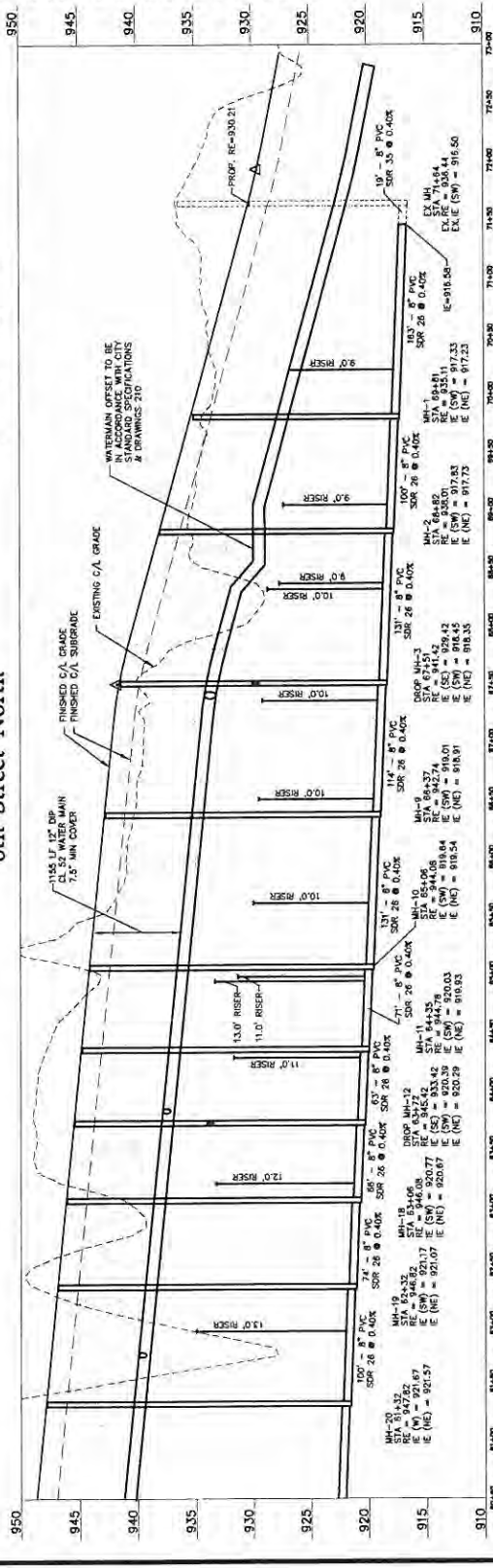
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SEWER SANITARY SERVICE  
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## 8th Street North



### WATER MAIN NOTES:

1. ALL WATERMAIN AND ACCESSORIES MUST BE 12" DIA. 12" PVC
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15. ALL WATERMAIN AND ACCESSORIES MUST BE 12" DIA. 12" PVC

Latest Revision Date 09/07/14  
 08/27/14 Issue 3 of 17

**Hammes Property**  
 Lake Elmo, Minnesota

**Ryland Homes**  
 7909 Aragon Drive  
 Eden Prairie, Minnesota 55344

Prepared for:

Client: \_\_\_\_\_  
 Designer: \_\_\_\_\_  
 Checker: \_\_\_\_\_  
 Planner: \_\_\_\_\_  
 Record Drawing Engineer: \_\_\_\_\_

Scale: \_\_\_\_\_  
 Date: 07/25/14

Westwood Professional Services, Inc.  
 10000 15th Avenue North  
 Eden Prairie, MN 55344  
 Phone: 952.835.1500  
 Fax: 952.835.1501  
 Email: info@westwoodpro.com



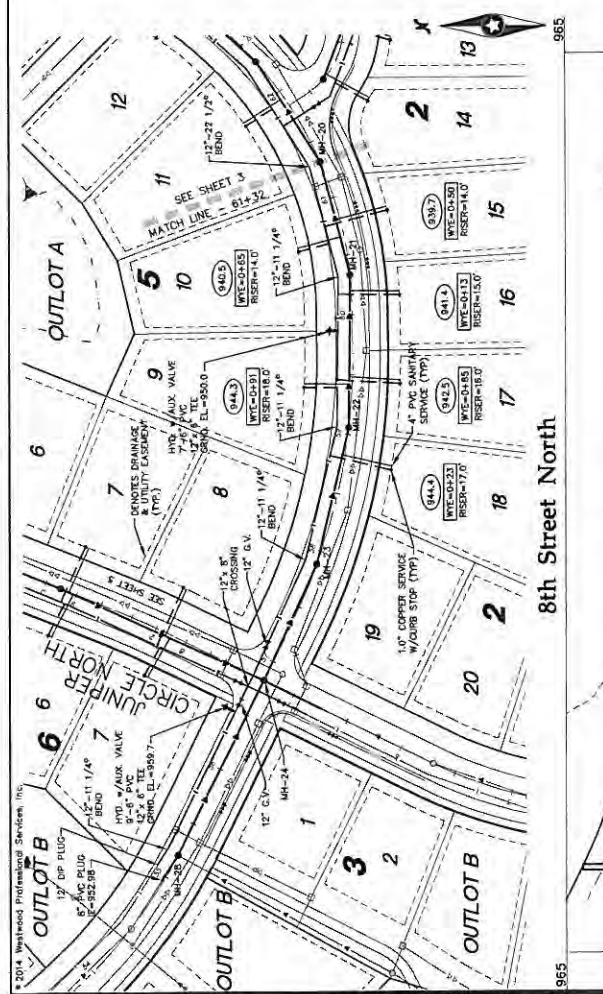
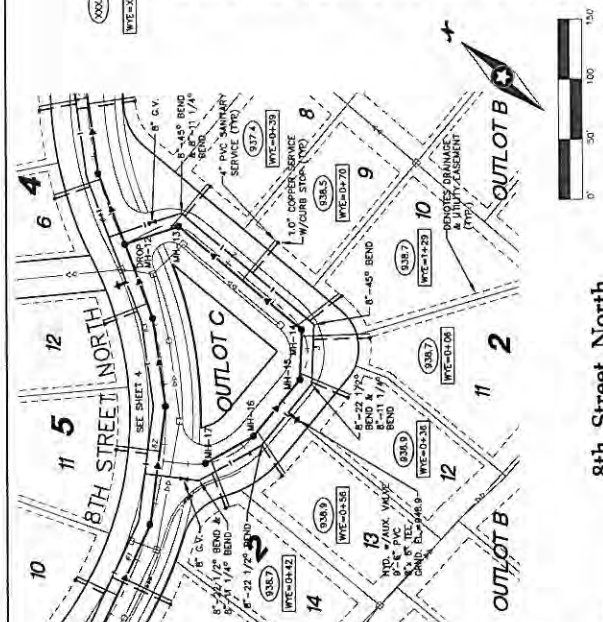


**GENERAL NOTES:**

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- WTE=X+XX DENOTES SANITARY SEWER SERVICE WYE  
 LOCATED ON MAINLINE FROM  
 DOWN STREAM M.H.

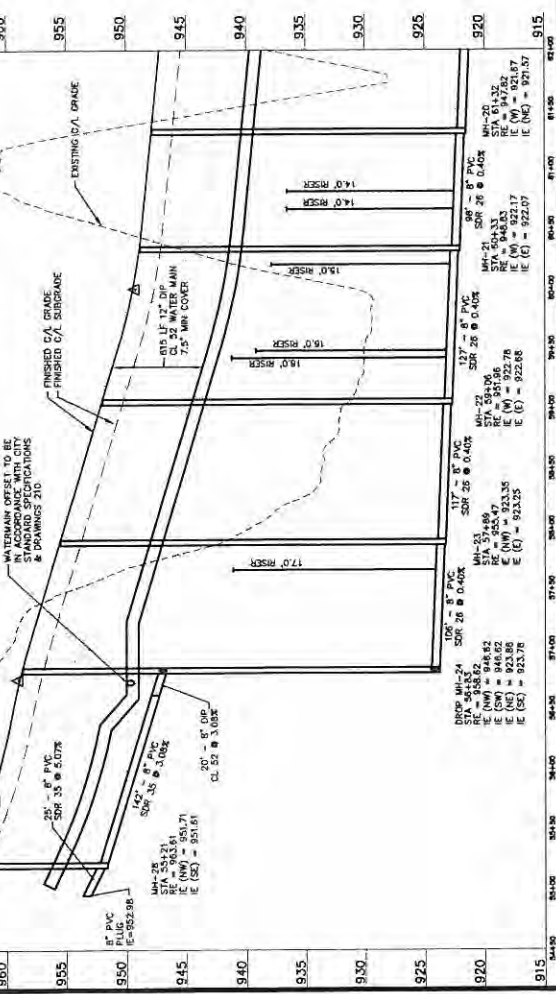
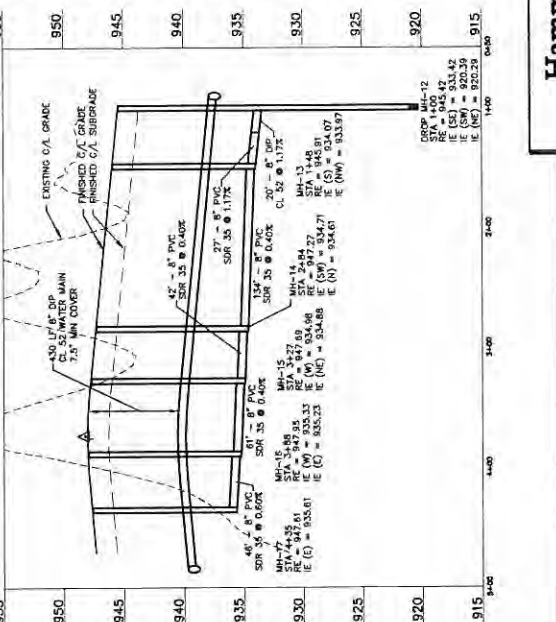
## SANITARY SEWER NOTES:

- [illegible]



## WATER MAIN NOTES:

- [illegible]



Call 48 Hours before digging:  
**811 or call 811.com**  
 Common Ground Alliance

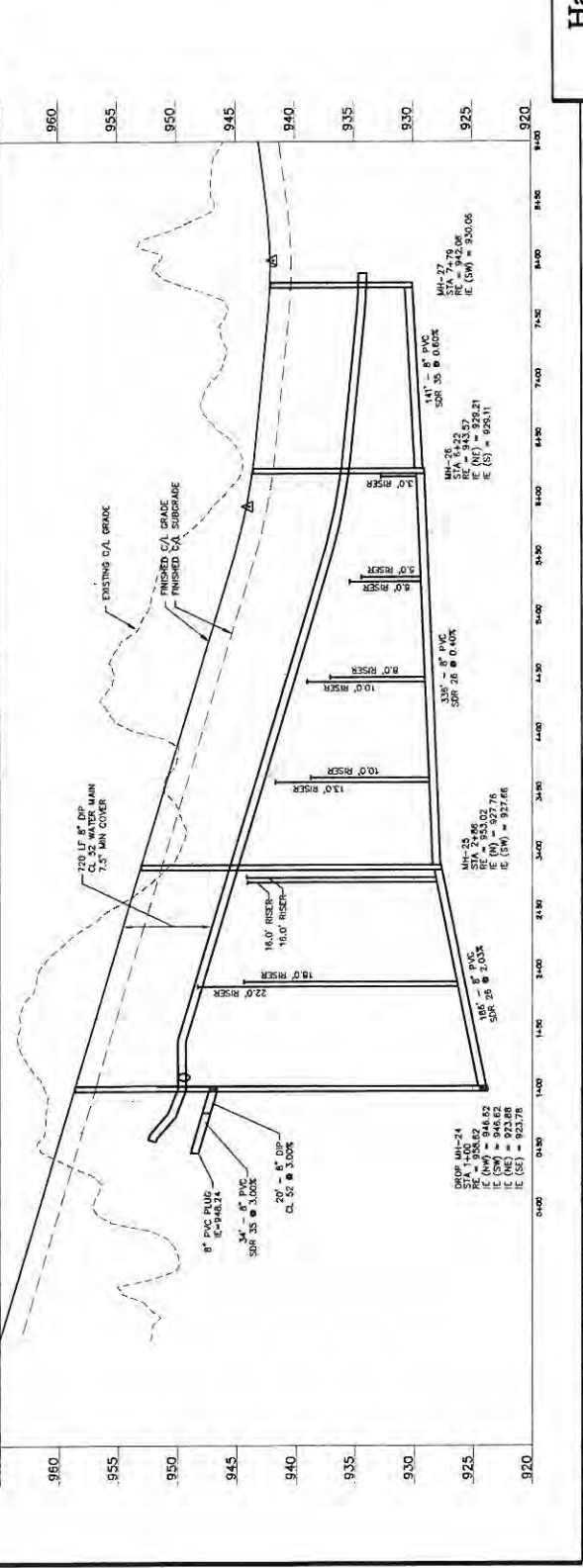
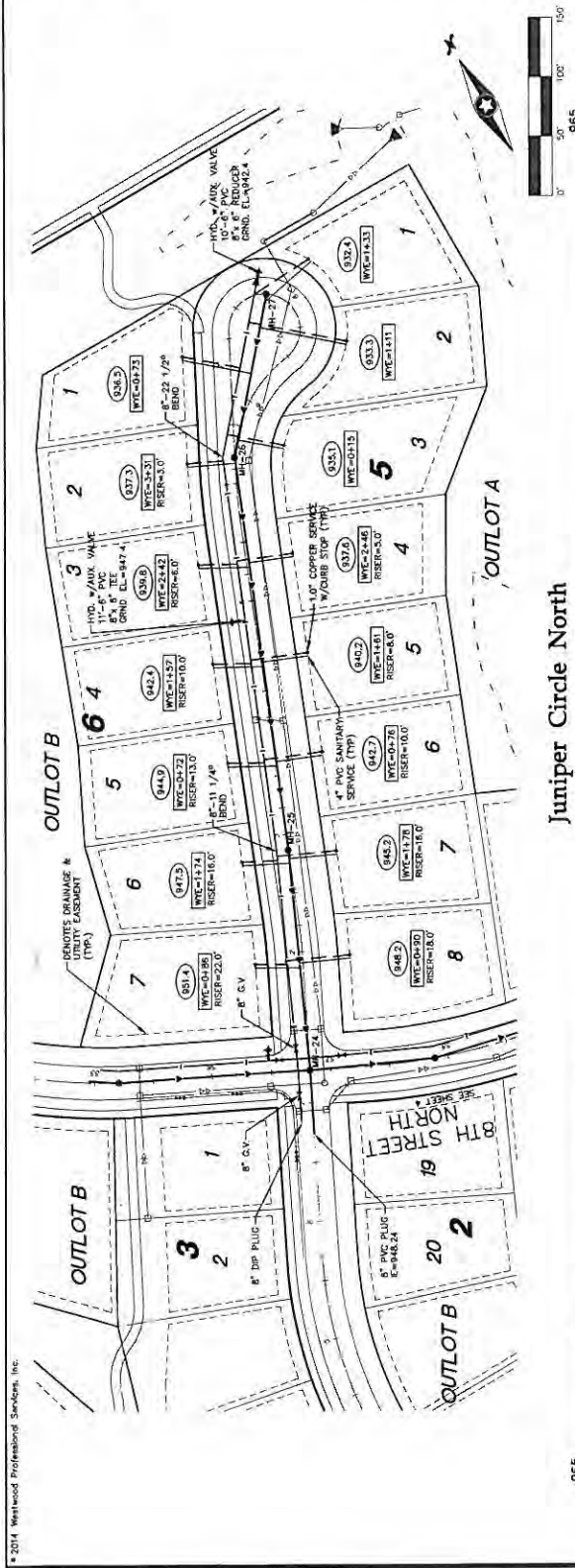
**GENERAL NOTES:**  
 DENOTES SANITARY SEWER SERVICE WYE  
 INVERT @ END OF STUD.  
 WYE-XXXXX  
 DOWN STREAM M.I.L.

**SANITARY SEWER NOTES:**

1. ALL SANITARY SEWER AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE MINNETONKA STANDARD SPECIFICATIONS AND DETAILS.
2. ALL SANITARY SEWER PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LAKE MINNETONKA MATERIAL BEDDING METHOD FOR PVC SANITARY SEWER PIPE.
3. SANITARY SEWER PVC PIPE AND FITTINGS SHALL BE SDR 35 WITH ELASTOMERIC GASKETS. MINIMUM 4" DIA. PVC.
4. SDR 40 OR SDR 26 PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF ASTM D-3034 FOR THE SIZE, STANDARD DIMENSION RATIO (SDR), AND STRENGTH.
5. ALL SANITARY SEWER SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LAKE MINNETONKA STANDARD SPECIFICATIONS AND DETAILS.
6. REINFORCED CONCRETE PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF ASTM C-900 FOR THE SIZE, STANDARD DIMENSION RATIO (SDR), AND STRENGTH.
7. SDR 40 OR SDR 26 PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF ASTM D-3034 FOR THE SIZE, STANDARD DIMENSION RATIO (SDR), AND STRENGTH.
8. SANITARY SEWER SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LAKE MINNETONKA STANDARD SPECIFICATIONS AND DETAILS.
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11. ALL SANITARY SEWER SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LAKE MINNETONKA STANDARD SPECIFICATIONS AND DETAILS.

**WATER MAIN NOTES:**

1. ALL WATERMAIN AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE MINNETONKA STANDARD SPECIFICATIONS AND DETAILS.
2. MANIPULATION OF EXISTING VALVES SHALL BE PERFORMED ONLY BY CITY OF LAKE MINNETONKA PERSONNEL.
3. ALL FITTINGS SHALL COMPLY WITH CEAM SPEC. 2011.2.A.1.
4. ALL FITTINGS SHALL COMPLY WITH CEAM SPEC. 2011.2.A.1.
5. ALL FITTINGS SHALL COMPLY WITH CEAM SPEC. 2011.2.A.1.
6. ALL FITTINGS SHALL COMPLY WITH CEAM SPEC. 2011.2.A.1.
7. ALL FITTINGS SHALL COMPLY WITH CEAM SPEC. 2011.2.A.1.
8. ALL FITTINGS SHALL COMPLY WITH CEAM SPEC. 2011.2.A.1.
9. ALL FITTINGS SHALL COMPLY WITH CEAM SPEC. 2011.2.A.1.
10. ALL FITTINGS SHALL COMPLY WITH CEAM SPEC. 2011.2.A.1.
11. ALL FITTINGS SHALL COMPLY WITH CEAM SPEC. 2011.2.A.1.
12. ALL FITTINGS SHALL COMPLY WITH CEAM SPEC. 2011.2.A.1.
13. ALL FITTINGS SHALL COMPLY WITH CEAM SPEC. 2011.2.A.1.
14. ALL FITTINGS SHALL COMPLY WITH CEAM SPEC. 2011.2.A.1.
15. ALL FITTINGS SHALL COMPLY WITH CEAM SPEC. 2011.2.A.1.



Latest Revision Date 09/27/14  
 Sheet 5 of 17

**Hammes**  
**Property**  
 Lake Elmo, Minnesota

**Ryland Homes**  
 8500 Prairie Avenue, Suite 300  
 Eden Prairie, Minnesota 55444

Prepared for:

Client:	CU
Design:	WPM
Drawn:	WPM
Check:	WPM
Approval:	WPM

Scale:

Notes:

1. All work shall be in accordance with the City of Lake Minnetonka Standard Specifications and Details.

2. All work shall be in accordance with the City of Lake Minnetonka Standard Specifications and Details.

3. All work shall be in accordance with the City of Lake Minnetonka Standard Specifications and Details.

4. All work shall be in accordance with the City of Lake Minnetonka Standard Specifications and Details.

5. All work shall be in accordance with the City of Lake Minnetonka Standard Specifications and Details.

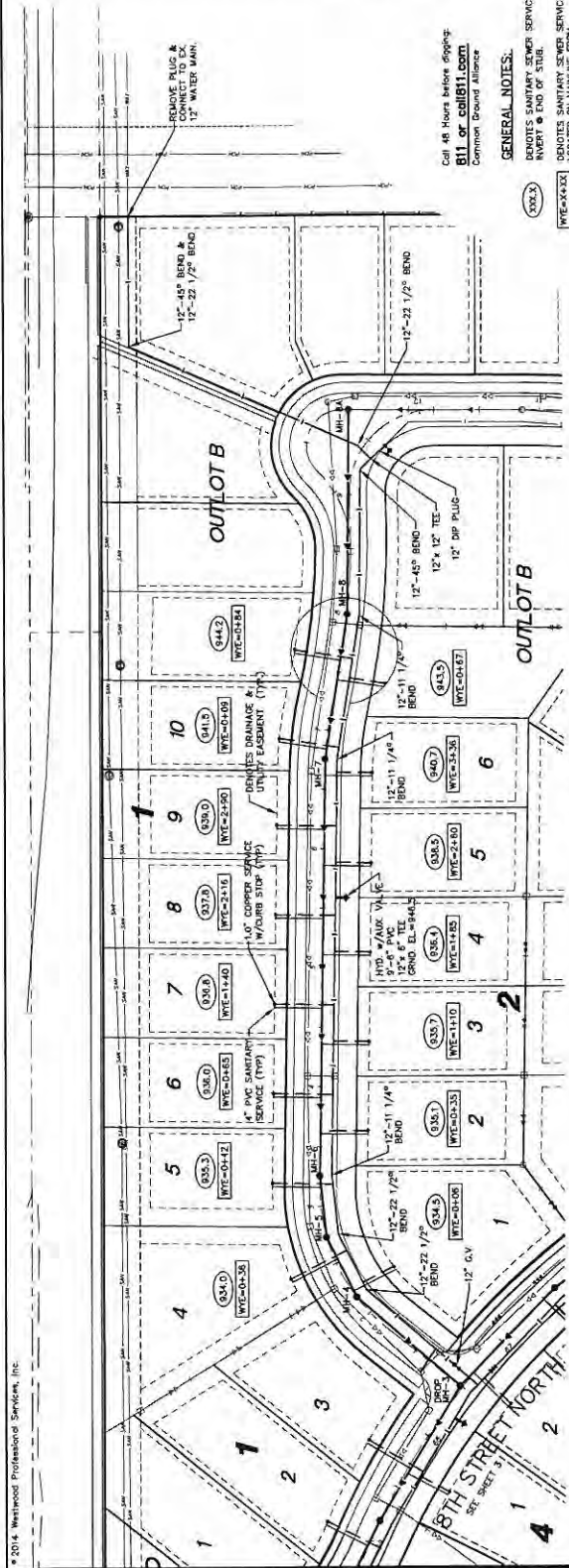
6. All work shall be in accordance with the City of Lake Minnetonka Standard Specifications and Details.

7. All work shall be in accordance with the City of Lake Minnetonka Standard Specifications and Details.

8. All work shall be in accordance with the City of Lake Minnetonka Standard Specifications and Details.

9. All work shall be in accordance with the City of Lake Minnetonka Standard Specifications and Details.

10. All work shall be in accordance with the City of Lake Minnetonka Standard Specifications and Details.



- SANITARY SEWER NOTES:**
1. ALL SANITARY SEWERS AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE MINNEAPOLIS SANITARY SEWER SPECIFICATIONS.
  2. ALL SANITARY SEWER PVC PIPE SHALL BE INSTALLED ACCORDING TO CITY STANDARD DRAWING (SD) DRAINAGE AND SEWERAGE (DSS) (FOR PVC SANITARY SEWER PIPE).
  3. UNLESS NOTED OTHERWISE, ALL SMOOTH WALLED SANITARY SEWER PIPES SHALL BE 4" RICH PVC.
  4. ALL SANITARY SEWER PIPES AND FITTINGS SHALL CONFORM WITH THE CITY OF LAKE MINNEAPOLIS SPECIFICATIONS, STANDARD DRAINAGE RATIO (SDR) AND STRENGTH REQUIREMENTS INDICATED ON THE PLANS.
  5. SMOOTH WALLED PIPES AND FITTINGS SHALL CONFORM WITH THE CITY OF LAKE MINNEAPOLIS SPECIFICATIONS, STANDARD DRAINAGE RATIO (SDR) AND STRENGTH REQUIREMENTS INDICATED ON THE PLANS.
  6. REINFORCED CONCRETE PIPE AND FITTINGS SHALL CONFORM WITH THE CITY OF LAKE MINNEAPOLIS SPECIFICATIONS, STANDARD DRAINAGE RATIO (SDR) AND STRENGTH REQUIREMENTS INDICATED ON THE PLANS.
  7. JOINTS OF MANHOLE RINGS SHALL BE THE TYPE, SIZE AND STRENGTH CLASS SPECIFIED HEREON.
  8. ALL SANITARY SEWER MANHOLES SHALL BE CONSTRUCTED ON THE MANHOLE WITH A GASKETED, FLEXIBLE, WATER-TIGHT CONNECTION TO ALLOW ORIENTATIONAL PLACEMENT OF THE PIPE AND MANHOLE TO TAKE PLACE.
  9. A 1'-0" TO 1'-6" MANHOLE SECTION SHALL BE INSTALLED AT THE END OF THE PIPE TO ALLOW FOR ELEVATION ADJUSTMENT WHENEVER POSSIBLE.
  10. ALL SEWER LINES WITH METAL PIPE DRAINING FROM THE END OF THE PIPE TO FINISHED GRADE ELEVATION SHALL BE INSTALLED WITH A 1'-0" TO 1'-6" MANHOLE SECTION AT THE END OF THE PIPE TO ALLOW FOR ELEVATION ADJUSTMENT WHENEVER POSSIBLE.
  11. SEWER LINES SHALL BE INSTALLED WITH A 1'-0" TO 1'-6" MANHOLE SECTION AT THE END OF THE PIPE TO ALLOW FOR ELEVATION ADJUSTMENT WHENEVER POSSIBLE.

Call 48 Hours before digging:  
811 or call 811.com  
Common Ground Alliance

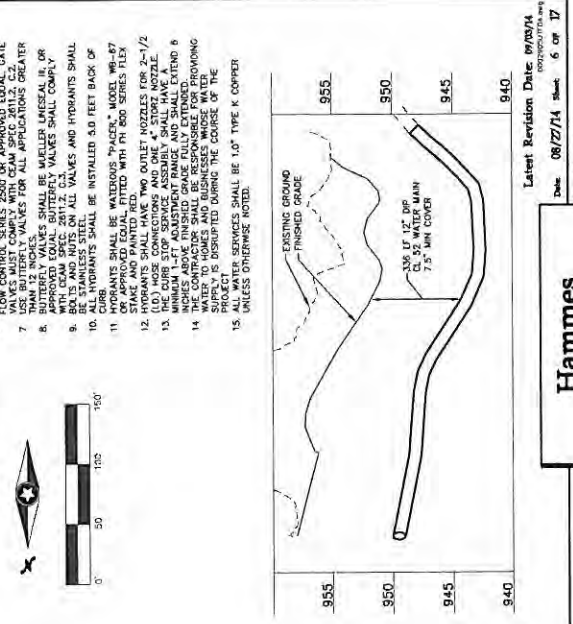
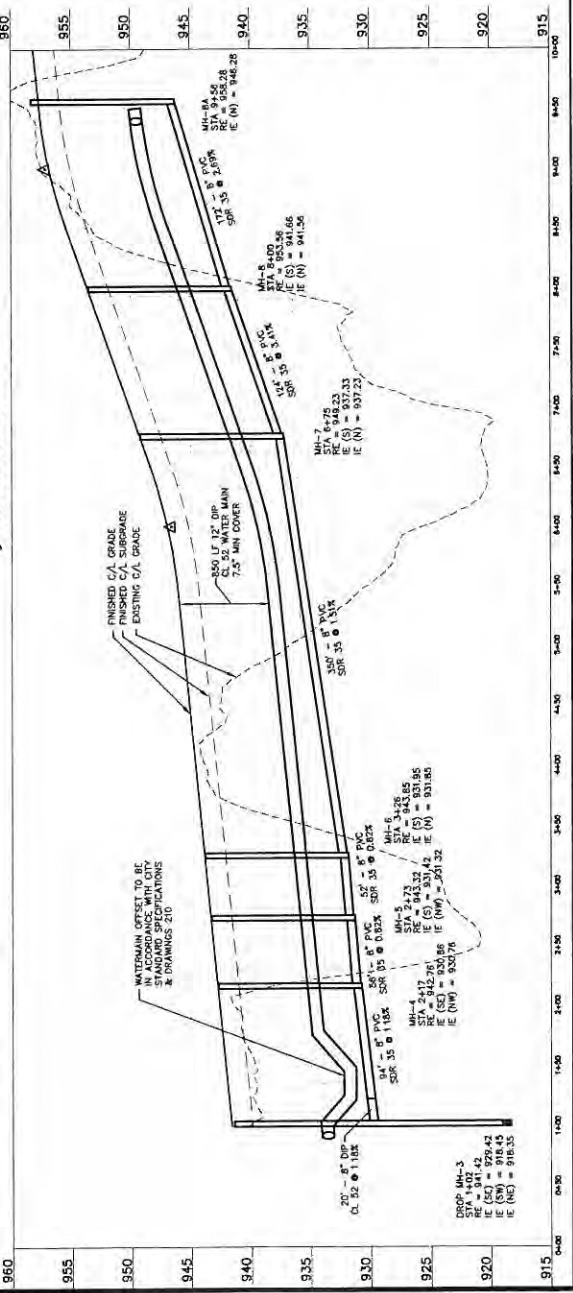
**GENERAL NOTES:**

1. DENOTES SANITARY SEWER SERVICE
2. DENOTES SANITARY SEWER SERVICE
3. DENOTES SANITARY SEWER SERVICE
4. DENOTES SANITARY SEWER SERVICE
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13. DENOTES SANITARY SEWER SERVICE
14. DENOTES SANITARY SEWER SERVICE
15. DENOTES SANITARY SEWER SERVICE

LOCATED ON MANLINE FROM  
DOWN STREAM M.H.

WTE-44433

June Ave N.



**Hammes Property**  
Sanitary Sewer  
and Water Main  
Construction Plan  
Lake Elmo, Minnesota

**Ryland Homes**  
7500 American Drive  
Eden Prairie, Minnesota 55444

Prepared for:

Client: Ryland Homes  
Project: 42297

Drawn by: [Signature]  
Checked by: [Signature]  
Reviewed by: [Signature]

Scale: 1" = 40'

Date: 09/25/14

Project No: 42297

Sheet No: 42297

Wetwood Professional Services, Inc.  
10000 Hennepin Avenue, Suite 100  
Eden Prairie, MN 55444  
Phone: 952.944.1111  
Fax: 952.944.1112  
Email: info@wetwood.com



**GENERAL NOTES:**

- RADIUS TO BE 8" R.C. & G. WITH 1" TRANSITION FROM SURROUNDING CURB TO 1" RADIUS AT INTERSECTIONS

**CASTING NOTE:**

ALL CASTING BARS CASTINGS IN CURB SHALL BE SUMPED 0.10 FEET AND MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. THE SUMPED ELEVATIONS.

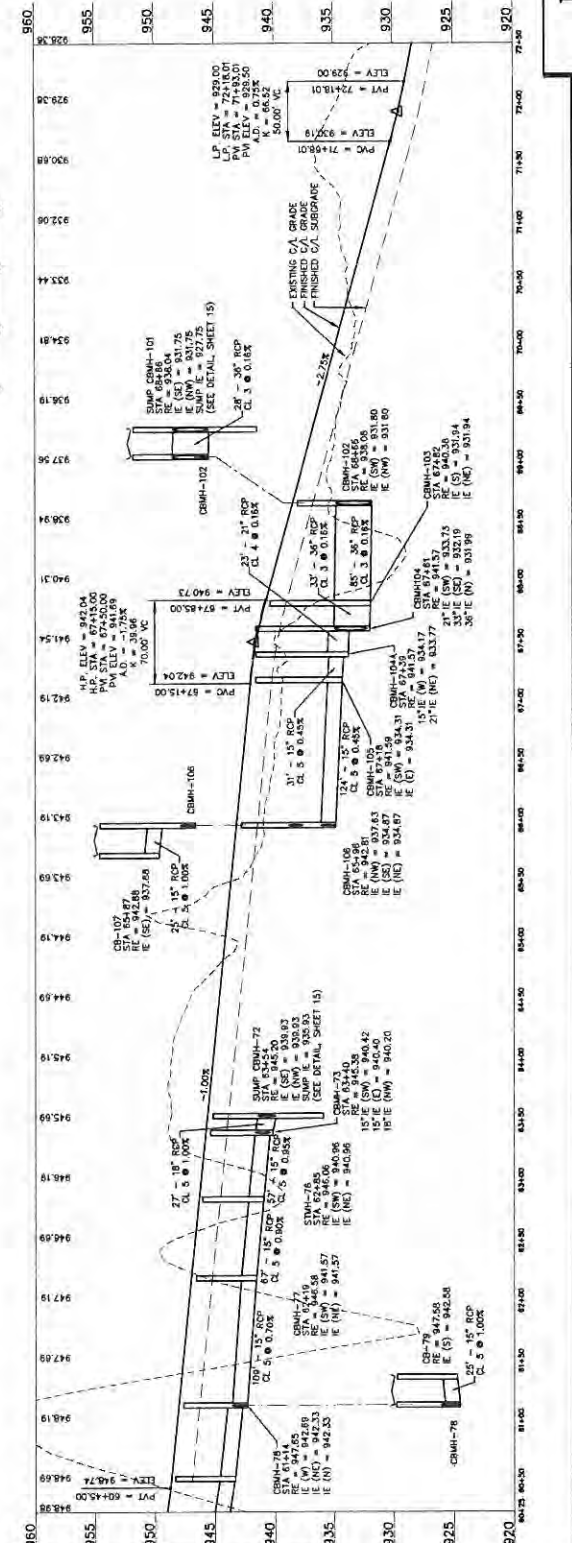
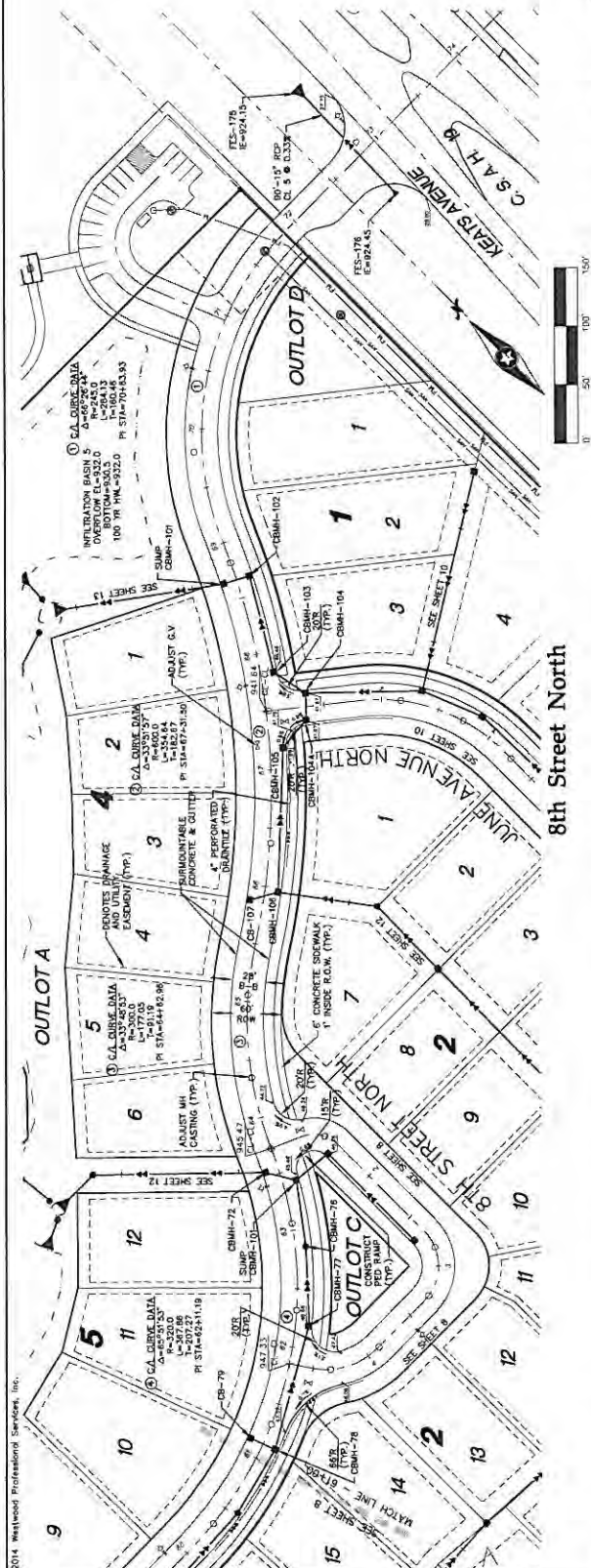
- CONCRETE CROSSING TO BE PLACED BELOW THE STREET SURFACE.
- DRAINAGE INVERT TO BE LOCATED ABOVE TOP OF EFFLUENT STORM PIPE BASIN STRUCTURE.
- ALL STORM SEWER INSTALLED SHALL HAVE POSITIVE GRADE.
- SAW AND SEAL OF BITUMINOUS PAVEMENT (40 FOOT INTERVALS) SHALL BE INSTALLED ON ALL STREETS WITH ASPHALT GRADE B.
- SEE DETAIL SHEET 15, SAW AND SEAL IS PART TO BE USED ON SAN STREET.
- ALL STORM SEWER MANHOLES SHALL BE PROVIDED WITH CARLOUTER PIT CITY OF LAKE ELMO DETAIL PLATE 706 ON THE BOTTOM.
- IF STREET SIGN PLATES ARE THE SAME STREET SIGN TO BE PLACED ON BOTTOM.

**STORM SEWER NOTES:**

1. ALL STORM SEWER AND ACCESSORIES MUST BE CONSTRUCTED TO MAINTAIN POSITIVE DRAINAGE AWAY FROM THE PATHWAYS THROUGHOUT THE PROJECT LENGTH.
2. ALL STORM SEWER SHALL BE CONSTRUCTED TO CONFORM WITH THE REQUIREMENTS OF MAINT SPEC 3236 (REINFORCED CONCRETE PIPE FOR THE TYPE, SIZE, AND PRECAST CONCRETE MANHOLE AND CATCH BASIN).
3. SECTION SHALL CONFORM TO THE REQUIREMENTS OF MAINT SPEC 3236 (REINFORCED CONCRETE PIPE FOR THE TYPE, SIZE, AND PRECAST CONCRETE MANHOLE AND CATCH BASIN).
4. A 1'-0" TO 1'-4" MANHOLE SECTION SHALL BE INSTALLED AT ALL CHANGES IN PIPE SIZE OR SLOPE ALLOW FOR HEIGHT.
5. JOINTS OF MANHOLE RISER SECTIONS SHALL BE TONGUE AND GROOVE JOINTS WITH RING JOINTS PROMOTED ON INSIDE OF MANHOLE.
6. RIP-RAP SHALL BE HAND-PLACED OVER GEOTEXTILE AND STORM SEWER MANHOLES.
7. THE GEOTEXTILE FIBERGLASS UNDER RIP-RAP SHALL BE FURNISHED AND INSTALLED TRASH GUARDS ON ALL FLARED JOINTS.
8. ALL SET SHALL BE CLEANED OUT FROM THE RIP-RAP AT THE END OF THE PROJECT.

**SEWERAGE AND TRAIL NOTES:**

1. BITUMINOUS TRAILS AND SEWERAGE MUST BE CONSTRUCTED TO MAINTAIN POSITIVE DRAINAGE AWAY FROM THE PATHWAYS THROUGHOUT THE PROJECT LENGTH.
2. ALL SEWERAGE SHALL BE CONSTRUCTED TO CONFORM WITH THE REQUIREMENTS OF MAINT SPEC 3236 (REINFORCED CONCRETE PIPE FOR THE TYPE, SIZE, AND PRECAST CONCRETE MANHOLE AND CATCH BASIN).
3. TRAPPING WATER SHALL NOT BE LESS THAN 3 FT NOR GREATER THAN 12 FT IN ANY DIMENSION. PLACE 1/2 JOINTS. SPACING SHALL NOT BE LESS THAN 3 FT NOR GREATER THAN 12 FT IN ANY DIMENSION. PLACE 1/2 JOINTS.
4. CONCRETE PEDIESTRIAN RAMPS MUST BE CONSTRUCTED AT ALL INTERSECTIONS.



**Hammes Property**  
 Storm Sewer and Street Construction Plan

Lake Elmo, Minnesota

**Ryland Homes**  
 3900 American Drive  
 Eden Prairie, Minnesota 55344

**Prepared for:**

Client:	RYLAND HOMES
Project:	STORM SEWER AND STREET CONSTRUCTION
Drawn:	JOHN D. HARRIS
Checked:	JOHN D. HARRIS
Approved:	JOHN D. HARRIS

Scale: 1" = 40' (PLAN)  
 1" = 10' (PROFILE)

Notes:  
 1. SEE SHEET 15 FOR DETAILS OF RIP-RAP AND GEOTEXTILE.

2. SEE DETAIL SHEET 15 FOR DETAILS OF RIP-RAP AND GEOTEXTILE.

3. SEE DETAIL SHEET 15 FOR DETAILS OF RIP-RAP AND GEOTEXTILE.

4. SEE DETAIL SHEET 15 FOR DETAILS OF RIP-RAP AND GEOTEXTILE.

5. SEE DETAIL SHEET 15 FOR DETAILS OF RIP-RAP AND GEOTEXTILE.

6. SEE DETAIL SHEET 15 FOR DETAILS OF RIP-RAP AND GEOTEXTILE.

7. SEE DETAIL SHEET 15 FOR DETAILS OF RIP-RAP AND GEOTEXTILE.

8. SEE DETAIL SHEET 15 FOR DETAILS OF RIP-RAP AND GEOTEXTILE.

9. SEE DETAIL SHEET 15 FOR DETAILS OF RIP-RAP AND GEOTEXTILE.

10. SEE DETAIL SHEET 15 FOR DETAILS OF RIP-RAP AND GEOTEXTILE.

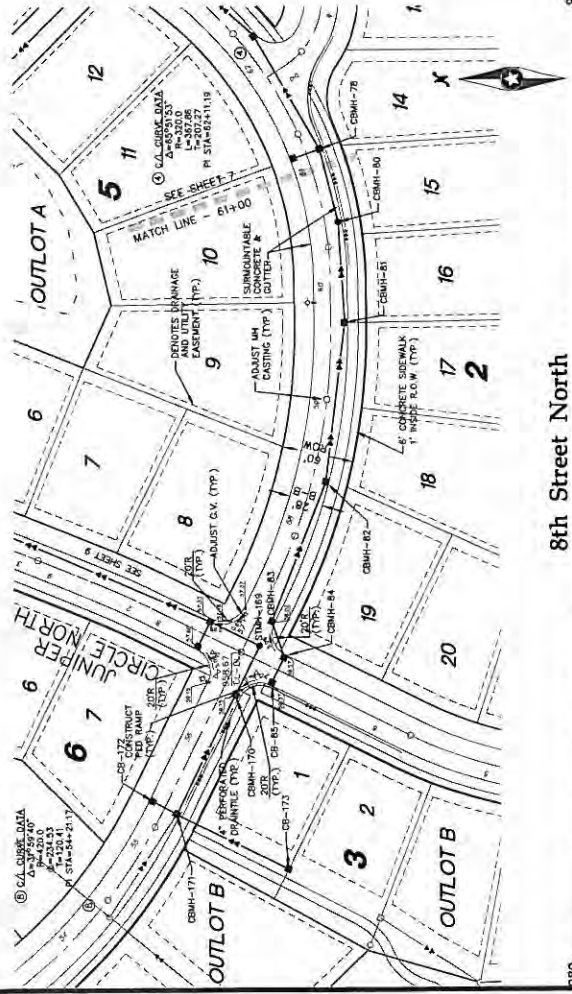
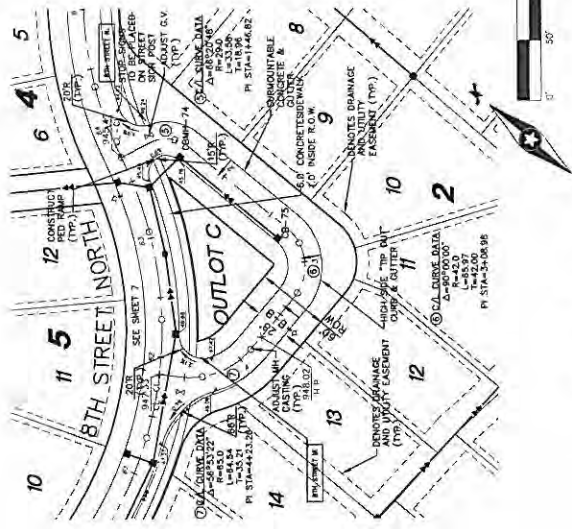


Call 48 hours before digging  
611 or call811.com  
Common Ground Alliance

**GENERAL NOTES:**  
1. RADIUS TO BE 30' C. & G.  
2. WITH 10' TRANSITION FROM  
3. DENOTES OUTLINE ELEVATION  
4. AT INTERSECTIONS

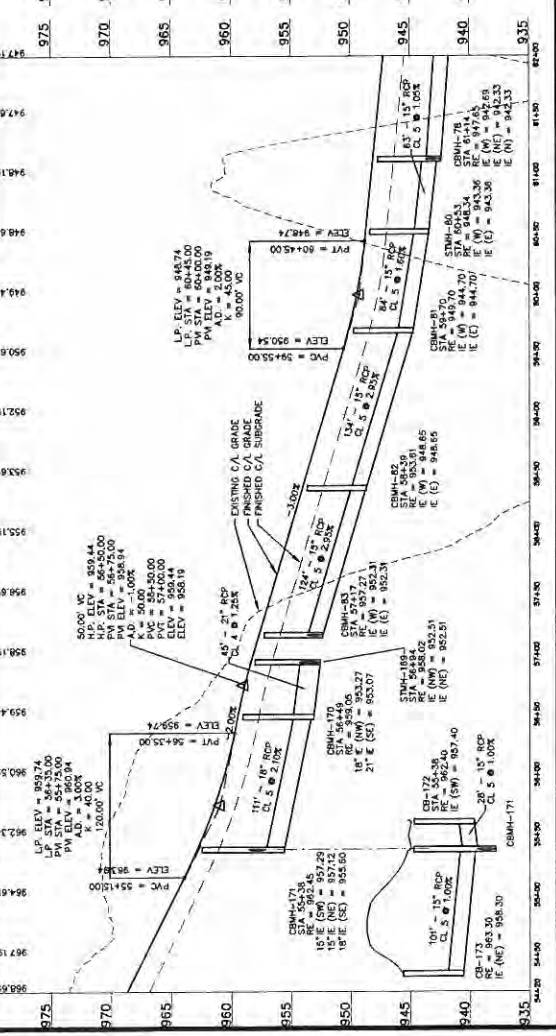
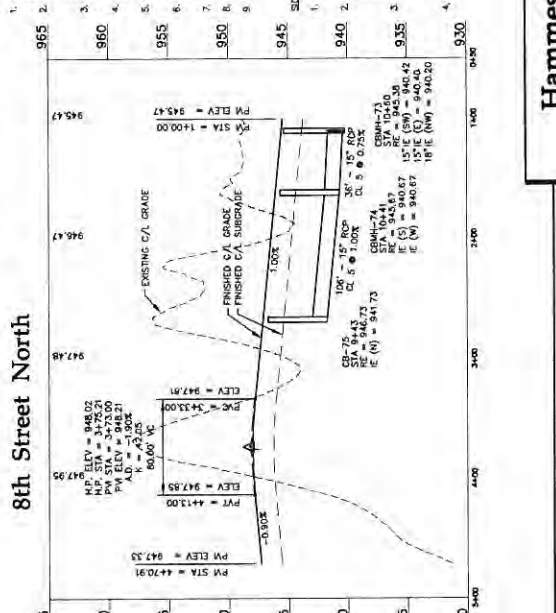
**CASTING NOTE:**  
ALL CATCH BASIN CASTINGS IN CURB SHALL BE  
SURFED 6" TO 8" FEET AND MANHOLE CASTINGS IN  
CURB SHALL BE SURFED 12" TO 18" FEET. ALL  
RIM ELEVATIONS ON PLAN PROFILES REFLECT  
THE SURFED ELEVATIONS.

- CONDUIT CROSSINGS TO BE  
PERPENDICULAR TO STREET & PLACED  
BELOW THE STREET SURGRADE.
- DRAINAGE INVERT TO BE LOCATED  
ABOVE TOP OF EFFLUENT STORM PIPE  
BRAIN STRUCTURE.
- ALL STORM SEWER INSTALLED SHALL  
HAVE POSITIVE GRADE.
- SAW AND SEAL OF BITUMINOUS  
PAVEMENT (40 FOOT INTERVALS)  
STREETS WITH ASPHALT GRADE. RE-  
SEAL SHALL BE DONE ON 5TH STREET.
- ALL STREET COWS & SIGNS ARE TO  
BE PROVIDED BY DEVELOPER AND CITY  
OF LAKE ELMO DETAIL PLATE 700.00  
ON THE BOTTOM. ALL SIGNS TO BE THE  
SAME LENGTH AND HIGHER VOLUME  
STREET SIGN TO BE PLACED ON  
BOTTOM.



- STORM SEWER NOTES:**
1. ALL STORM SEWERS AND ACCESSORIES MUST BE  
CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE  
ELMO STANDARD SPECIFICATIONS AND DETAILS.  
CONFORM WITH THE REQUIREMENTS OF MANHOLE SPEC 3336  
(REINFORCED CONCRETE PIPE) FOR THE TYPE, SIZE, AND  
MATERIAL.
  2. ALL STORM SEWERS SHALL BE 12" MINIMUM  
DIA. C-400 CONFORM TO THE REQUIREMENTS OF  
ASTM C-477.
  3. JOINTS OF MANHOLE SECTIONS SHALL BE TONGUE  
& GROOVE JOINTS. JOINTS SHALL BE PROTECTED BY  
A 1" MINIMUM THICKNESS OF 100% RUBBER GASKET  
OR AS SPECIFIED HEREIN. JOINTS SHALL BE  
PROTECTED BY A 1" MINIMUM THICKNESS OF 100% RUBBER GASKET  
OR AS SPECIFIED HEREIN. JOINTS SHALL BE  
PROTECTED BY A 1" MINIMUM THICKNESS OF 100% RUBBER GASKET  
OR AS SPECIFIED HEREIN.
  4. ALL STORM SEWER MANHOLES SHALL BE TONGUE  
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A 1" MINIMUM THICKNESS OF 100% RUBBER GASKET  
OR AS SPECIFIED HEREIN. JOINTS SHALL BE  
PROTECTED BY A 1" MINIMUM THICKNESS OF 100% RUBBER GASKET  
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OR AS SPECIFIED HEREIN. JOINTS SHALL BE  
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OR AS SPECIFIED HEREIN.
  6. ALL STORM SEWER MANHOLES SHALL BE TONGUE  
& GROOVE JOINTS. JOINTS SHALL BE PROTECTED BY  
A 1" MINIMUM THICKNESS OF 100% RUBBER GASKET  
OR AS SPECIFIED HEREIN. JOINTS SHALL BE  
PROTECTED BY A 1" MINIMUM THICKNESS OF 100% RUBBER GASKET  
OR AS SPECIFIED HEREIN.
  7. ALL STORM SEWER MANHOLES SHALL BE TONGUE  
& GROOVE JOINTS. JOINTS SHALL BE PROTECTED BY  
A 1" MINIMUM THICKNESS OF 100% RUBBER GASKET  
OR AS SPECIFIED HEREIN. JOINTS SHALL BE  
PROTECTED BY A 1" MINIMUM THICKNESS OF 100% RUBBER GASKET  
OR AS SPECIFIED HEREIN.
  8. ALL STORM SEWER MANHOLES SHALL BE TONGUE  
& GROOVE JOINTS. JOINTS SHALL BE PROTECTED BY  
A 1" MINIMUM THICKNESS OF 100% RUBBER GASKET  
OR AS SPECIFIED HEREIN. JOINTS SHALL BE  
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OR AS SPECIFIED HEREIN.
  9. ALL STORM SEWER MANHOLES SHALL BE TONGUE  
& GROOVE JOINTS. JOINTS SHALL BE PROTECTED BY  
A 1" MINIMUM THICKNESS OF 100% RUBBER GASKET  
OR AS SPECIFIED HEREIN. JOINTS SHALL BE  
PROTECTED BY A 1" MINIMUM THICKNESS OF 100% RUBBER GASKET  
OR AS SPECIFIED HEREIN.

- SEWERAGE AND TRAIL NOTES:**
1. RETAINMENT WALLS AND SEWERAGE MUST BE  
CONSTRUCTED TO MAINTAIN POSITIVE DRAINAGE AWAY  
FROM THE STREET SURFACE. ALL SEWERAGE MUST BE  
TOPSOIL, AND DRAINAGE OPERATIONS MUST BE LENGTHY  
COMPLETED TO AVOID DAMAGE TO THE BITUMINOUS AND  
TOPSOIL MUST BE FLUSH WITH THE PATH EDGE TO AVOID  
TRAPPING WATER.
  2. ALL SEWERAGE SHALL BE 12" MINIMUM DIA. C-400  
CONFORM TO THE REQUIREMENTS OF ASTM C-477. JOINTS  
SHALL BE TONGUE & GROOVE JOINTS. JOINTS SHALL BE  
PROTECTED BY A 1" MINIMUM THICKNESS OF 100% RUBBER GASKET  
OR AS SPECIFIED HEREIN.
  3. ALL SEWERAGE SHALL BE 12" MINIMUM DIA. C-400  
CONFORM TO THE REQUIREMENTS OF ASTM C-477. JOINTS  
SHALL BE TONGUE & GROOVE JOINTS. JOINTS SHALL BE  
PROTECTED BY A 1" MINIMUM THICKNESS OF 100% RUBBER GASKET  
OR AS SPECIFIED HEREIN.
  4. ALL SEWERAGE SHALL BE 12" MINIMUM DIA. C-400  
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SHALL BE TONGUE & GROOVE JOINTS. JOINTS SHALL BE  
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OR AS SPECIFIED HEREIN.
  5. ALL SEWERAGE SHALL BE 12" MINIMUM DIA. C-400  
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SHALL BE TONGUE & GROOVE JOINTS. JOINTS SHALL BE  
PROTECTED BY A 1" MINIMUM THICKNESS OF 100% RUBBER GASKET  
OR AS SPECIFIED HEREIN.
  6. ALL SEWERAGE SHALL BE 12" MINIMUM DIA. C-400  
CONFORM TO THE REQUIREMENTS OF ASTM C-477. JOINTS  
SHALL BE TONGUE & GROOVE JOINTS. JOINTS SHALL BE  
PROTECTED BY A 1" MINIMUM THICKNESS OF 100% RUBBER GASKET  
OR AS SPECIFIED HEREIN.
  7. ALL SEWERAGE SHALL BE 12" MINIMUM DIA. C-400  
CONFORM TO THE REQUIREMENTS OF ASTM C-477. JOINTS  
SHALL BE TONGUE & GROOVE JOINTS. JOINTS SHALL BE  
PROTECTED BY A 1" MINIMUM THICKNESS OF 100% RUBBER GASKET  
OR AS SPECIFIED HEREIN.
  8. ALL SEWERAGE SHALL BE 12" MINIMUM DIA. C-400  
CONFORM TO THE REQUIREMENTS OF ASTM C-477. JOINTS  
SHALL BE TONGUE & GROOVE JOINTS. JOINTS SHALL BE  
PROTECTED BY A 1" MINIMUM THICKNESS OF 100% RUBBER GASKET  
OR AS SPECIFIED HEREIN.
  9. ALL SEWERAGE SHALL BE 12" MINIMUM DIA. C-400  
CONFORM TO THE REQUIREMENTS OF ASTM C-477. JOINTS  
SHALL BE TONGUE & GROOVE JOINTS. JOINTS SHALL BE  
PROTECTED BY A 1" MINIMUM THICKNESS OF 100% RUBBER GASKET  
OR AS SPECIFIED HEREIN.



Latest Revision Date: 08/27/14  
Drawn By: 8 of 17

**Storm Sewer and  
Street Construction  
Plan**

**Hammes  
Property**  
Lake Elmo, Minnesota

**Ryland Homes**  
7800 Argosy Drive  
Eden Prairie, Minnesota 55424

Prepared For:

Designed	Checked	Drawn
Reviewed	Approved	Sealed
License No. 41287 State of Minnesota Professional Engineer Ryan J. Peltier Date: 08/27/14		

Westwood  
www.westwood.com

Call 48 hours before signing  
**BTI or cadit.com**  
 Common Ground Alliance

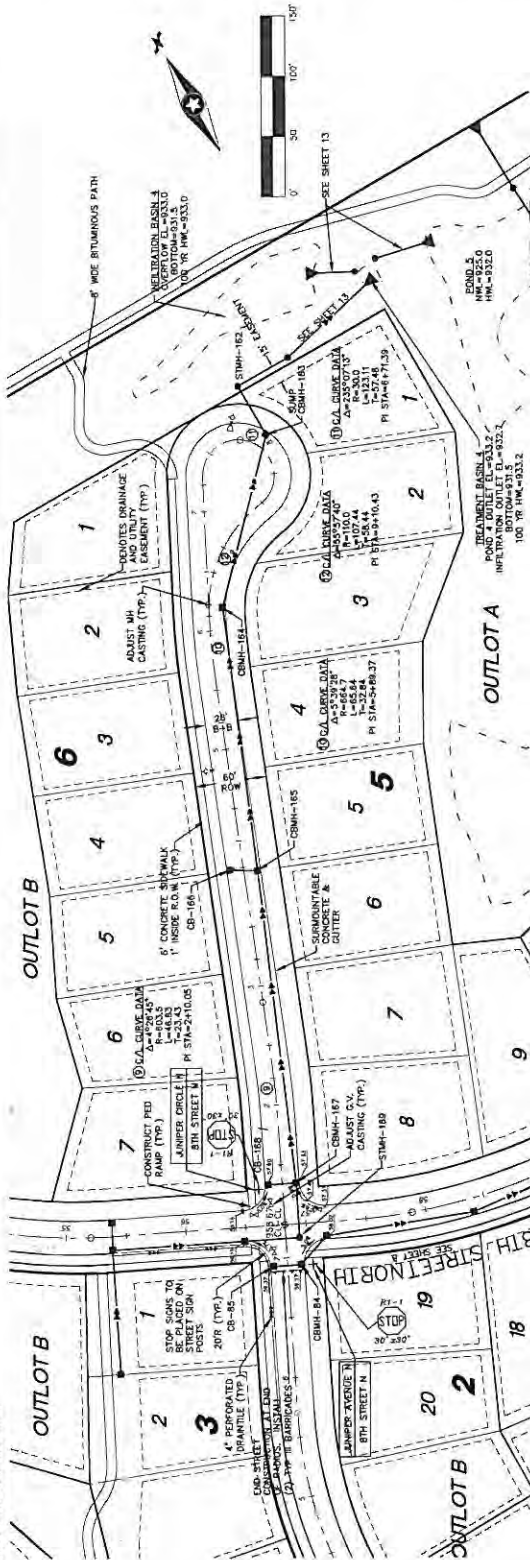
**GENERAL NOTES:**

- RADIUS TO BE 6" C. & G.
- WITH 10' TRANSITION FROM
- TO OUTLINE ELEVATION
- AT INTERSECTIONS

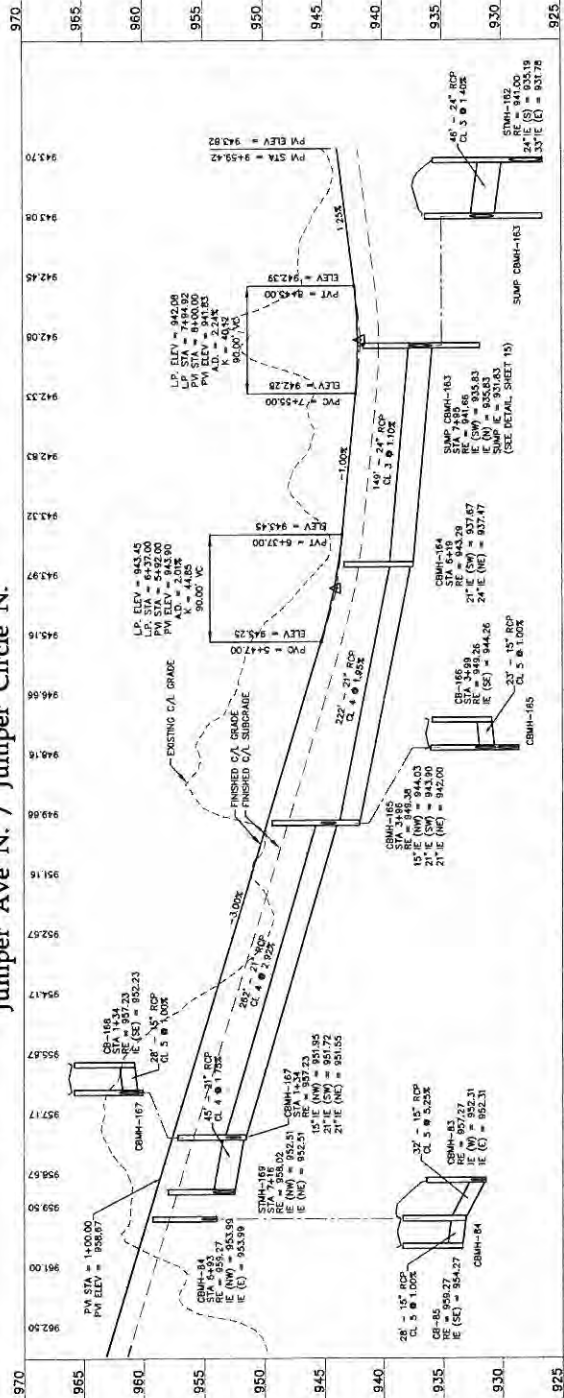
**CASTING NOTE:**

ALL CATCH BASIN CASTINGS IN CURB SHALL BE SHIPPED 6.0 FEET AND MANHOLE CASTINGS IN CATCH BASIN SHALL BE SHIPPED 6.0 FEET. THE RIM ELEVATIONS ON PLAN PROFILES REFLECT THE SHIPPED ELEVATIONS.

- \* CONDUIT CROSSINGS TO BE PERPENDICULAR TO STREET & PLACED BELOW THE STREET SURFACE.
- \* PRECAST INVERT TO BE LOCATED ABOVE THE FINISHED GRADE OF THE CATCH BASIN STRUCTURE.
- \* ALL STORM SEWER INSTALLED SHALL HAVE POSITIVE GRADE.
- \* SAW AND SEAL OF BITUMINOUS PAVEMENT (40 TOOT INTERVALS) SHALL BE INSTALLED ON ALL STREETS WITH ASPHALT DRIVE B. IF THE DRIVE B IS NOT TO BE USED ON 5TH STREET.
- \* ALL STREET SIGNS & POSTS ARE TO BE PROVIDED BY DEVELOPER PER CITY OF LAKE MINNAPOLIS POLICE DEPARTMENT. ON THE BOTTOM OF THE SIGN SHALL BE THE SAME LENGTH, THEN HIGHER VOLUME STREET SIGN TO BE PLACED ON BOTTOM.



Juniper Ave N. / Juniper Circle N.



- STORM SEWER NOTES:**
- ALL STORM SEWER AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE MINNAPOLIS STANDARD SPECIFICATIONS AND DETAILS.
  - CONCRETE MANHOLE RINGS AND JOINTS SHALL CONFORM WITH THE REQUIREMENTS OF UNDOT SPEC 3336.
  - PRECAST CONCRETE MANHOLE AND CATCH BASIN STRUCTURES SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-477.
  - A 1'-0" TO 1'-4" MANHOLE SECTION SHALL BE INSTALLED AT ALL MANHOLE LOCATIONS FOR HIGHWAY ADJUSTMENT WHEREVER POSSIBLE.
  - JOINTS OF MANHOLE RINGS SHALL BE TIGHTENED BY THE DEVELOPER OF THE JOINTS PROVIDED ON ALL STORM SEWER MANHOLES.
  - PRECAST CONCRETE MANHOLE AND CATCH BASIN STRUCTURES SHALL BE PLACED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF UNDOT SPEC 3336.
  - ALL STORM SEWER SHALL BE UNDER 18" R.P. SHALL BE EXTENDED 3 FT UNDER THE ASPHALT DRIVE B.
  - FURNISH AND INSTALL TRASH GUARDS ON ALL FLARED JOINTS.
  - ALL SET SHALL BE CLEANED OUT FROM THE RIP-RAP AT THE END OF THE PROJECT.

**SEWAGE TREATMENT NOTES:**

- BITUMINOUS TRAILS AND SPECIALS MUST BE CONSTRUCTED TO MAINTAIN POSITIVE DRAINAGE AWAY FROM THE SEWAGE TREATMENT PLANT.
- TOPSOIL AND BACKFILLING OPERATIONS MUST BE COMPLETED TO AVOID DAMAGE TO THE BITUMINOUS TRAILS.
- TOPSOIL MUST BE FLUSH WITH THE PAVEMENT TO AVOID DAMAGE TO THE PAVEMENT.
- DOWNSPROUTS INTO SECTIONS WITH CONTRACTOR JOINTS SHALL NOT BE LESS THAN 1 FT NOR EXCEED 1 FT.
- INTERVALS BETWEEN DOWNSPROUTS SHALL BE 1/2 AT ALL INTERSECTIONS.

Latest Revision Date: 08/07/14  
 Date: 08/27/14  
 Sheet: 9 of 17

**Hammes**  
**Property**

**Storm Sewer and**  
**Street Construction**  
**Plan**

Lake Elmo, Minnesota

**Ryland Homes**

7999 Augsburg Drive  
 Eden Prairie, Minnesota 55344

Prepared for:

Checked	CU
Drawn	DATE
Revised	DATE

Revised	DATE	BY
08/07/14	4157	

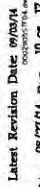
Westwood Professional Services, Inc.  
 10000 Lyndale Ave. S.  
 Eden Prairie, MN 55344  
 FAX: 952-911-1000  
 TEL: 952-911-1000  
 www.westwoodpro.com





SAME LENGTH, THEN HIGHER VOLUME  
STREET SIGN TO BE PLACED ON  
BOTTOM

925



Lake Elmo, Minnesota

7599 Anagram Drive  
Eden Prairie, Minnesota 55344

Designated	CU
Charlotte	2008
Durham	2008
Second Designing by/for	


--	--	--	--	--

[illegible]

1987

THEORETICAL

See pages 4

1944

Kyan M. Bly

603.28.27.6\*50  
603.28.27.6\*72  
: (800.627.8150)



---



**GENERAL NOTES:**

4. RADIUS TO BE 8518 C. & G.  
WITH 10' TRANSITION FROM  
SURMOUNTABLE CURB  
6. DENOTES CUTTERLINE ELEVATION  
AT INTERSECTIONS

**CASTING NOTE:**

ALL CATCH BASIN CASTINGS IN CURB SHALL BE  
SUMPED 0.10 FEET AND MANHOLE CASTINGS IN  
PAVED AREAS SHALL BE SUMPED 0.05 FEET.  
RIM ELEVATIONS ON PLAN PROFILES REFLECT  
THE SUMPED ELEVATIONS.

- CONJUGT CROSSINGS TO BE PERPENDICULAR TO STREET & PLACED BELOW THE STREET SUBGRADE.
- ORNAMENTAL INVERT TO BE LOCATED ABOVE TOP OF EFFLUENT STORM PIPE & EXTENDING 10' DOWN TO CATCH A BURN STREAM.
- ALL STORM SEWER INSTALLS SHALL HAVE POSITIVE GRADE.
- SAW AND SEAL OF BITUMINOUS (NO ASPHALT) SHALL BE REQUIRED ON ALL RESIDENTIAL STREETS WITH ASPHALT GRADE B.
- SET DETAIL SHEET FOR SAW AND SEAL IS NOT TO BE USED ON 6TH STREET.
- ALL STREET SIGNS & POSTS ARE TO HAVE 10' CLEARANCE TO CITY OF LAKE ELMO DETAIL PLATE 706.
- LONGER STREET SIGN TO BE PLACED ON THE NORTH SIDE OF THE STREET.
- ALL STREET SIGN PLATES ARE THE SAME LENGTH, THEN HIGHER VOLUME STREET SIGN TO BE PLACED ON



## STORM SEWER NOTES:

- [illegible]

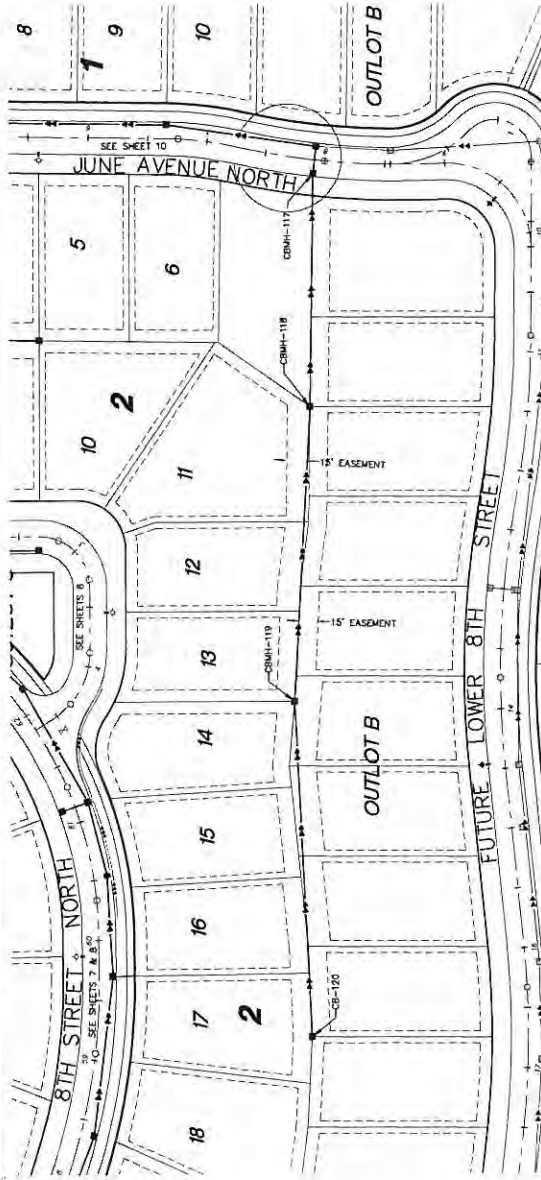
## SIDEWALK AND TRAIL NOTES:

1. BRUSHWOOD TRAILS AND SIDEWALKS MUST BE CONSTRUCTED WITH A 12 INCH MAXIMUM JOINT SPACING.
2. FROM THE PATHWAYS THROUGHOUT THE ENTIRE LENGTH, TOPSOIL AND BACKFILLING OPERATIONS MUST BE COMPLETED TO AVOID DAMAGE TO THE BRUSHWOOD TRAILS. TOPSOIL MUST BE FLUSH WITH THE PATH EDGE TO AVOID TRAPPING WATER.
3. DAVE SIDEWALK WITH SECTIONS WITH CONTRACTION JOINTS. JOINTS MUST BE 12 INCH MAXIMUM SPACING OR GREATER THAN 12 FT IN ANY DIMENSION. 1/2 INCH EXPANSION JOINT FILLER AT 50 FT (MAX).
4. CONCRETE PEDESTRIAN RAMPS MUST BE CONSTRUCTED WITH A 12 INCH MAXIMUM JOINT SPACING.

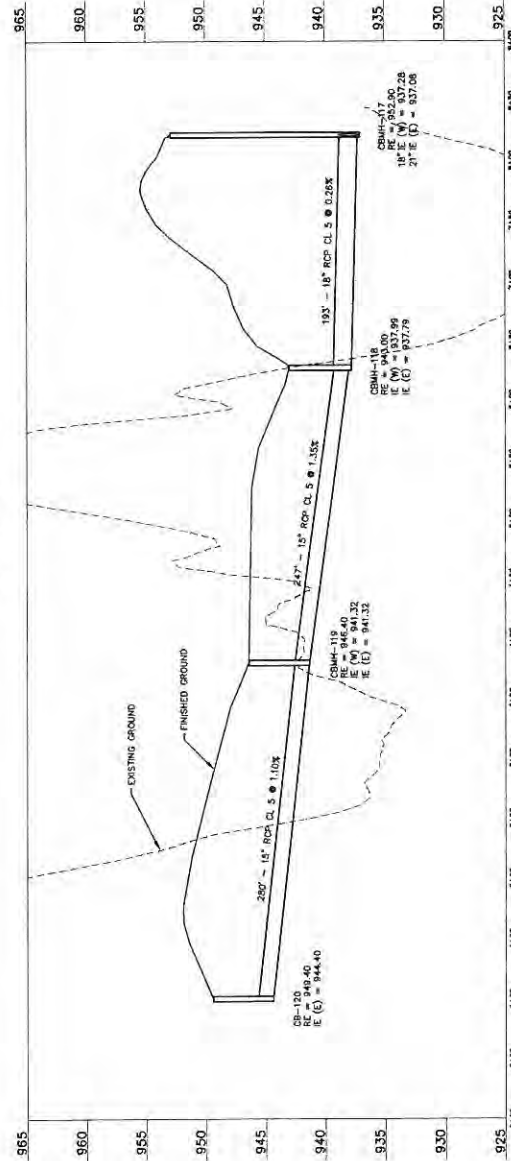
Latest Revision Date: 09/03/14  
000290917 25 14  
Page 08/27/14 Sheet 11 of 17

**Hammes  
Property**

**Lake Elmo, Minnesota**



## Backyard



**Whiteland Professional Services, Inc.**  
7709 Augustine Drive  
Eden Prairie, MN 55344  
PHONE 952-837-5700  
FAX 952-837-5827  
TOLL FREE 1-800-837-5569

Kyra M. Polan	09/03/14	41257
---------------	----------	-------

Designed	by
Checked	by
Drawn	by
Name Drawing Office	

Prepared for:

**Ryland Homes**  
7599 Ansgar Drive  
Eden Prairie, Minnesota 55344

1599 KATYDUE DRIVE  
Eden Prairie, Minnesota 55344

**GENERAL NOTES:**

- 1. RAINING TO BE 80% C & G.
- 2. SURROUNDING CURB WITH 10" TRANSITION FROM 10" TO 12" AT INTERSECTIONS.

**CASTING NOTE:**

ALL CATCH BASIN CASTINGS IN CURB SHALL BE SUMPED 0.10 FEET AND MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. THE SUMPED ELEVATIONS SHALL BE REFLECTED IN THE SUMPED ELEVATIONS.

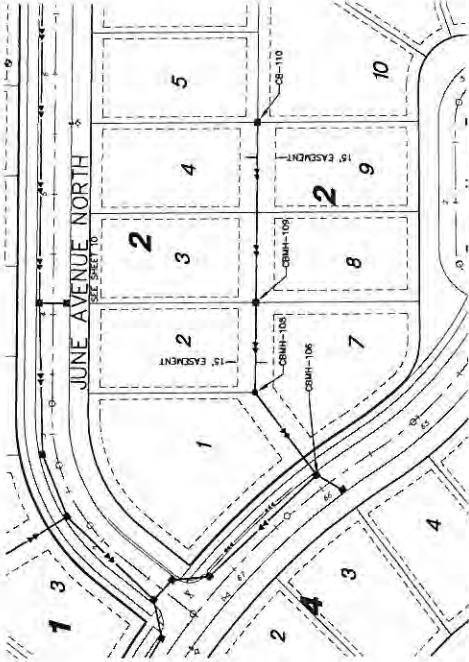
- CONDUIT CROSSING TO BE PLACED BELOW THE STREET SURFACING.
- DRAINAGE INVERT TO BE LOCATED ABOVE TOP OF EFFLUENT STORM PIPE AND DOWNSTREAM INTO CATCH BASIN STRUCTURE.
- ALL STORM SEWER INSTALLED SHALL HAVE POSITIVE GRADE.
- SAW AND SEAL OF BITUMINOUS PAVEMENT (40 FOOT INTERVALS).
- ALL STREETS WITH ASPHALT GRADE B, STREETS WITH ASPHALT GRADE B, IS NOT TO BE USED ON 3RD STREET.
- ALL STREETS WITH ASPHALT GRADE B, IS NOT TO BE USED ON 3RD STREET.
- IF STREET SIGN PLATES ARE THE SAME STREET SIGN TO BE PLACED ON BOTTOM.

**STORM SEWER NOTES:**

1. ALL STORM SEWER AND ACCESSORIES MUST BE LAID TO THE SAME STANDARD SPECIFICATIONS AND DETAILS.
2. ALL STORM SEWER SHALL BE CONFORM TO THE REQUIREMENTS OF UNIFORM SPEC 2205 (REINFORCED CONCRETE PIPE) FOR THE TYPE, SIZE, AND MANUFACTURE.
3. SECTIONS SHALL CONFORM TO THE REQUIREMENTS OF PRECAST CONCRETE MANHOLE AND CATCH BASIN.
4. A 1'-0" TO 1'-4" MANHOLE SECTION SHALL BE INSTALLED UNDER THE CORNER SECTION TO ALLOW FOR HEIGHT.
5. JOINTS OF MANHOLE Riser SECTIONS SHALL BE TONGUE AND GROOVE WITH RUBBER GASKETS.
6. RIP-RAP SHALL BE HAND-PLACED OVER GEOTEXTILE OR AS SPECIFIED HEREIN. UNIFORM SPEC 300, CLASS II.
7. THE GEOTEXTILE FABRIC USED UNDER RIP-RAP SHALL BE FURNISHED AND INSTALLED TRASH GUARDS ON ALL FLARED AND EXPANDED JOINTS.
8. ALL JOINTS SHALL BE CLEANED OUT FROM THE RIP-RAP AT THE END OF THE PROJECT.

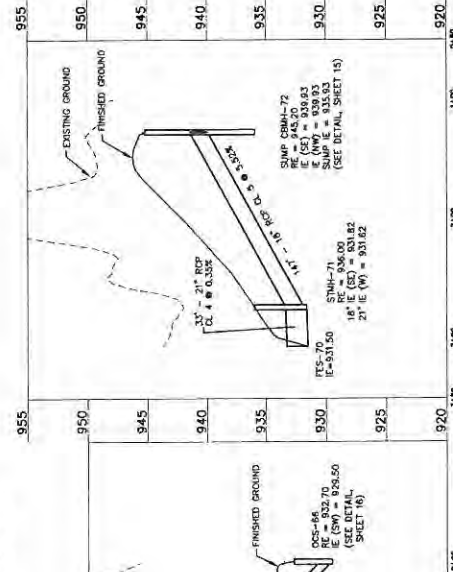
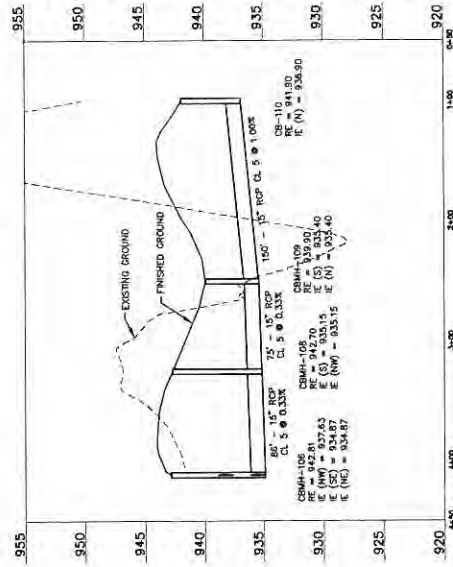
**SEWALK AND TRAIL NOTES:**

1. SIDEWALK TRAIL AND SIDEWALKS MUST BE CONSTRUCTED TO MAINTAIN POSITIVE DRAINAGE AWAY FROM THE PATHWAYS THROUGHOUT THE ENTIRE LENGTH OF THE PROJECT.
2. COMPLETED TO AVOID DAMAGE TO THE SIDEWALKS AND TRAIL. TRAIL MUST BE FLUSH WITH THE PATH DOG TO AVOID TRAPPING WATER.
3. TRAPPING WATER UNDER GEOTEXTILE WITH CONTRACTION JOINTS. SPACING SHALL NOT BE LESS THAN 3 FT NOR GREATER THAN 12 FT IN ANY DIMENSION. PLACE 1/2" MINIMUM SPACING JOINT FILLER AT 50 FT (MAX) INTERVALS.
4. CONCRETE SIDEWALK RAMP MUST BE CONSTRUCTED AT ALL INTERSECTIONS.



**Backyards**

**Backyards**



Latest Revision Date 09/07/14  
 0000000124.dwg  
 Date 08/27/14 Sheet 12 of 17

**Hammes Property**  
 Lake Elmo, Minnesota

**Ryland Homes**  
 7599 Arapahoe Drive  
 Eden Prairie, Minnesota 55424

Prepared for:

Client: Ryland Homes  
 Project: Hammes Property  
 Design: Ryland Homes

Drawn by: Ryland Homes  
 Checked by: Ryland Homes  
 Date: 09/07/14

Scale: As Shown

Notes: 1. See Detail Sheet 16 for Manhole and Catch Basin Details.

2. See Detail Sheet 16 for Manhole and Catch Basin Details.

3. See Detail Sheet 16 for Manhole and Catch Basin Details.

4. See Detail Sheet 16 for Manhole and Catch Basin Details.

5. See Detail Sheet 16 for Manhole and Catch Basin Details.

6. See Detail Sheet 16 for Manhole and Catch Basin Details.

7. See Detail Sheet 16 for Manhole and Catch Basin Details.

8. See Detail Sheet 16 for Manhole and Catch Basin Details.

9. See Detail Sheet 16 for Manhole and Catch Basin Details.

**GENERAL NOTES:**

- RADIUS TO BE 8" R.C. & G.
- WITH 10' TRANSITION FROM
- TO 12" R.C. & G. AT INTERSECTIONS
- DO NOT EXCEED ELEVATION

**CASTING NOTE:**

ALL CATCH BASIN CASTINGS IN CURB SHALL BE  
 SAMPED 600 FEET AND MANHOLE CASTINGS IN  
 STREETS SHALL BE SAMPED 1200 FEET. ALL  
 ELEVATIONS ON PLAN PROFILES REFLECT  
 THE SUMPED ELEVATIONS.

- \*CONCRETE PROFILES TO BE  
 PERPENDICULAR TO STREET & PLACED  
 BELOW THE STREET SURFACE.
- \*MANHOLE INVERT TO BE LOCATED  
 ABOVE TOP OF EFFLUENT STORMPIPE  
 BASED UPON THE CATCH  
 BASIN STRUCTURE.
- \*ALL STORM SEWER INSTALLED SHALL  
 HAVE POSITIVE GRADE.
- \*SAND AND SEAL OF BITUMINOUS  
 PAVEMENT (40 FEET INTERVALS)  
 SHALL BE PLACED ON ALL STREETS  
 WITH ASPHALT GRADE. SEAL  
 IS NOT TO BE USED ON 5TH STREET.
- \*ALL STREET DOWNS & POLES ARE TO  
 BE PROVIDED BY DEVELOPER PER CITY  
 OF LAKE ELMO DETAIL. ALL TO BE PLACED  
 ON THE BOTTOM. SEE THE  
 STREET LIGHTING PLAN FOR THE  
 SAME LENGTH. HIGH VOLUME  
 STREET SIGN TO BE PLACED ON  
 BOTTOM.

**STORM SEWER NOTES:**

- ALL STORM SEWER AND ACCESSORIES MUST BE  
 CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE  
 ELMO STANDARD SPECIFICATIONS AND DETAILS.
- ALL STORM SEWER SHALL BE 12" R.C. & G. WITH  
 JOINTS CONFORM TO THE REQUIREMENTS OF MANDOT SPEC 3238  
 (REINFORCED CONCRETE PIPE) FOR THE TYPE, SIZE, AND  
 LENGTH. JOINTS SHALL BE 12" R.C. & G. WITH  
 PRECAST CONCRETE MANHOLE AND CATCH BASIN  
 CASTINGS SHALL CONFORM TO THE REQUIREMENTS OF  
 MANDOT SPEC 3238.
- A 1'-0" TO 1'-4" MANHOLE SECTION SHALL BE INSTALLED  
 AT ALL STORM SEWER CHANGES IN SIZE OR FOR HEIGHT  
 ADJUSTMENT WHENEVER POSSIBLE.
- JOINTS OF MANHOLE RISES SHALL BE TONGUED  
 AND GASKETED. ALL JOINTS SHALL BE TONGUED ON  
 ALL STORM SEWER MANHOLES.
- ALL STORM SEWER MANHOLES SHALL BE TONGUED  
 AND GASKETED. ALL JOINTS SHALL BE TONGUED ON  
 ALL STORM SEWER MANHOLES.
- RP-RAP SHALL BE HAND-PLACED OVER GUTTER  
 OR AS SPECIFIED HEREIN. RP-RAP SHALL BE PLACED  
 EXTENDING 3 FT UNDER THE ASPH.
- FINISH AND INSTALL TRASH GUARDS ON ALL FLARED  
 MANHOLES. ALL TRASH GUARDS SHALL BE CLEANED OUT FROM THE RP-RAP AT  
 THE END OF THE PROJECT.

**SEWALL AND TRAIL NOTES:**

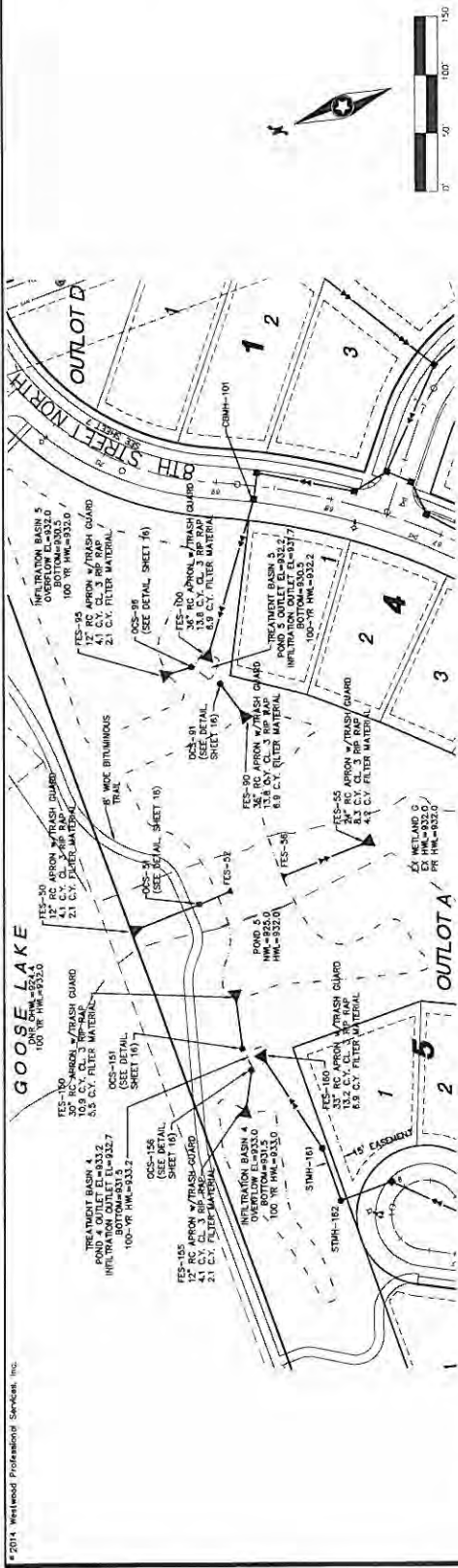
- BITUMINOUS TRAIL AND SEWALLS MUST BE  
 CONSTRUCTED TO MAINTAIN POSITIVE DRAINAGE AWAY  
 FROM THE STORM SEWER SYSTEM.
- TOPSOIL AND BACKFILLING OPERATIONS MUST BE  
 COMPLETED TO AVOID DAMAGE TO THE BITUMINOUS  
 TRAIL. TOPSOIL MUST BE FLUSH WITH THE PAV. EDGE TO AVOID  
 TRAPPING WATER.
- TRAPPING WATER IN THE TOPSOIL SHALL NOT BE LESS THAN 3 FT NOR  
 GREATER THAN 12 IN. FROM THE STORM SEWER MANHOLE  
 INTERVALS. MANHOLE RISE SHALL BE 12 IN. FROM THE STORM SEWER  
 AT ALL INTERSECTIONS.

Latest Revision Date: 08/07/14  
 Date: 08/27/14  
 Sheet: 13 of 17

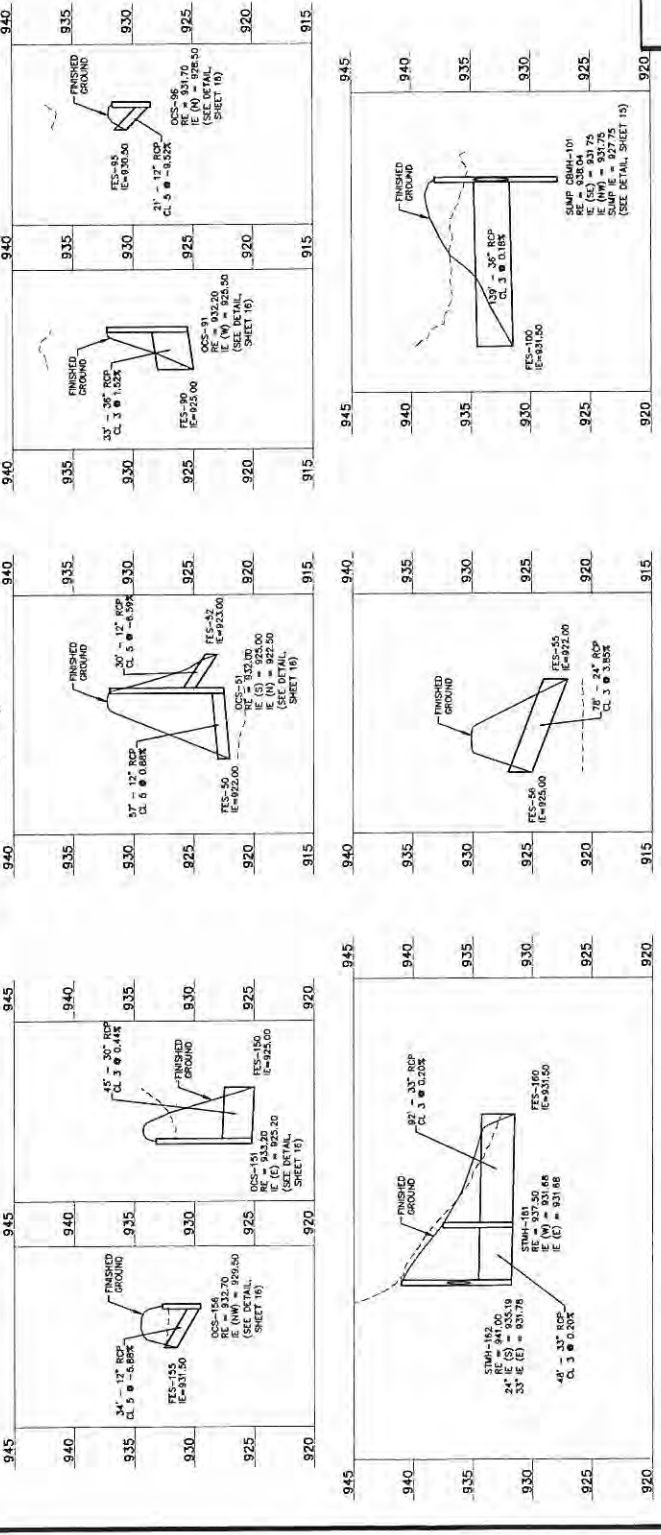
**Hammes**  
**Property**  
 Lake Elmo, Minnesota

**Storm Sewer and**  
**Street Construction**  
**Plan**

**Ryland Homes**  
 7999 Arapahoe Drive  
 Eden Prairie, Minnesota 55344



**Backyards**

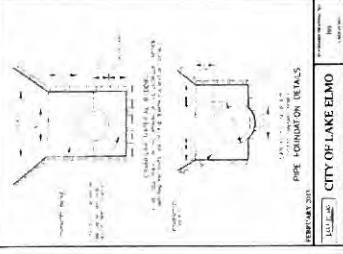
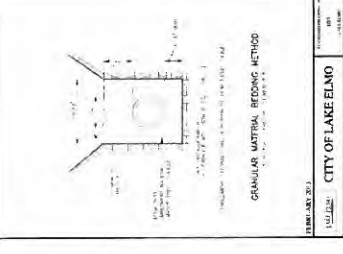
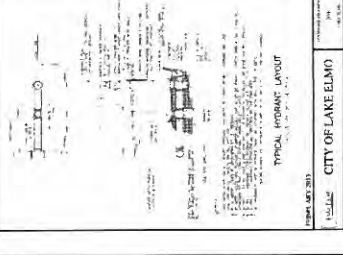

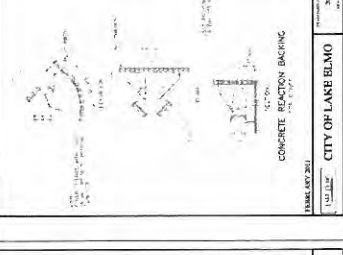
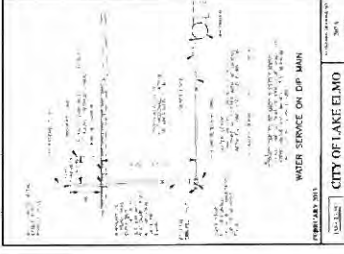
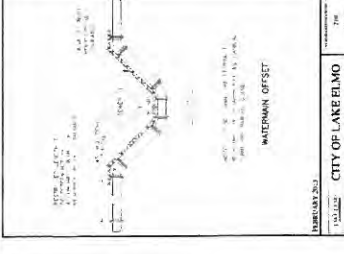
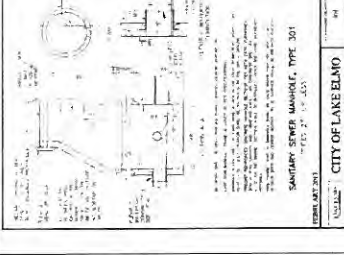
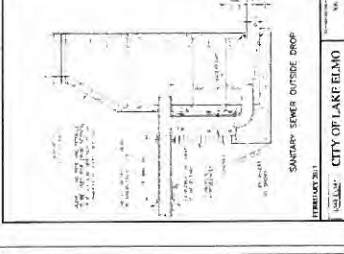
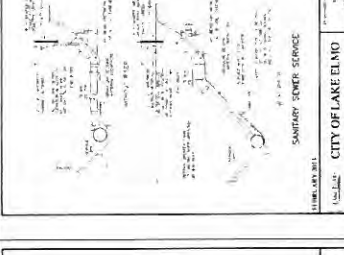
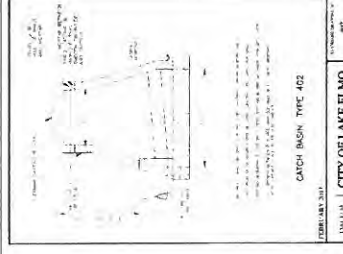
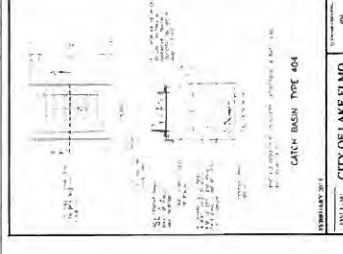
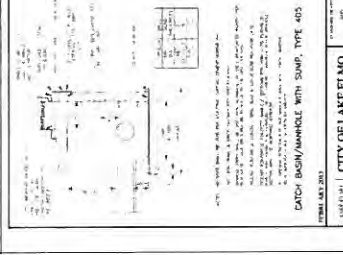
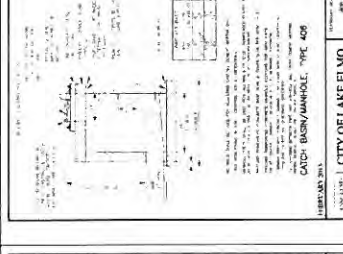
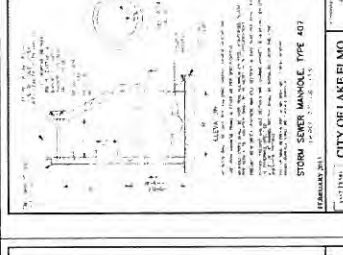


**Prepared for:**

Prepared by:	Checked by:	Drawn by:	Reviewed by:
Ryan M. Johnson	Ryan M. Johnson	Ryan M. Johnson	Ryan M. Johnson
Date: 07/07/14	Date: 07/07/14	Date: 07/07/14	Date: 07/07/14

Westwood Professional Services, Inc.  
 10000 Lake Elmo, MN 55344  
 952-461-1111  
 FAX: 952-461-1112  
 TOLL FREE: 1-800-333-3333  
 www.westwoodpro.com



 <p>PIPE FOUNDATION DETAILS</p>	 <p>CONCRETE REACTION BACING</p>	 <p>TYPICAL PUMPING LAYOUT</p>	 <p>CATCH VALVE INSTALLATION</p>	 <p>CONCRETE REACTION BACING</p>
 <p>WATERMAIN OFFSET</p>	 <p>SANITARY SEWER MANHOLE TYPE 401</p>	 <p>SANITARY SEWER OUTSIDE DROP</p>	 <p>SANITARY SEWER SERVICE</p>	 <p>STORM SEWER MANHOLE TYPE 407</p>
 <p>CATCH BASIN TYPE 402</p>	 <p>CATCH BASIN TYPE 404</p>	 <p>CATCH BASIN/MANHOLE TYPE 405</p>	 <p>CATCH BASIN/MANHOLE TYPE 406</p>	 <p>STREET CATCH</p>

Call 48 Hours before digging:  
811 or call811.com  
Common Ground Alliance

Westwood Professional Services, Inc.  
10000 Lake Ave. N.  
Suite 100  
Plymouth, MN 55442  
TEL: 763.881.1111  
WWW.WESTWOODPS.COM

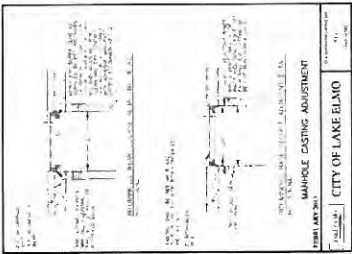
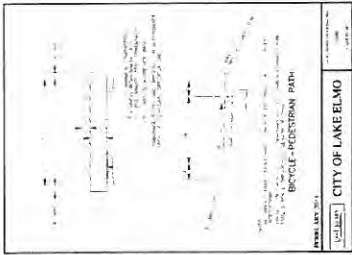
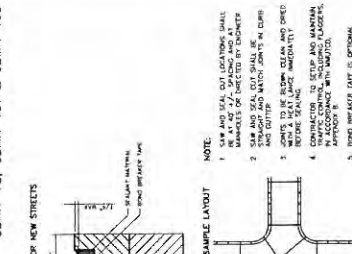
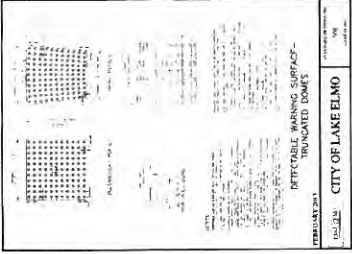
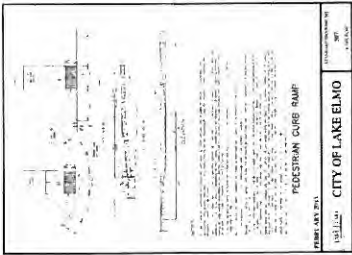
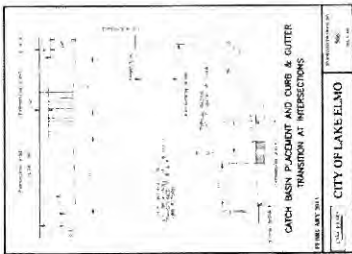
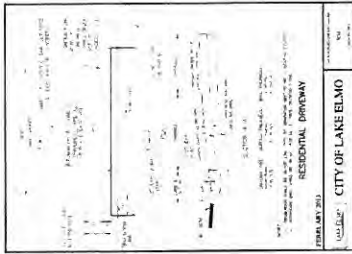
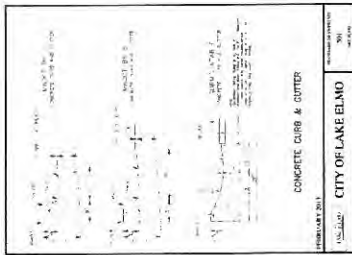
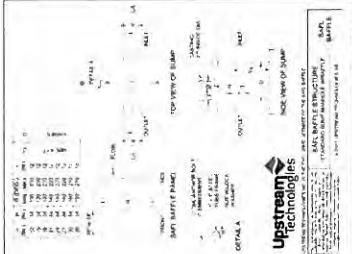
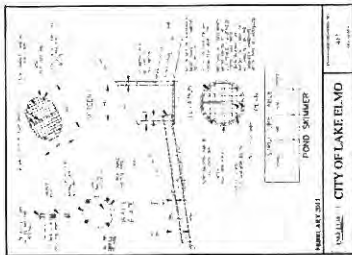
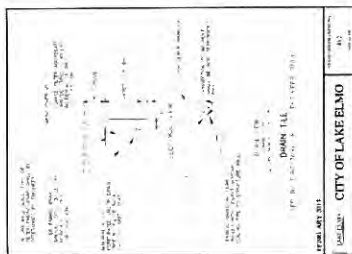
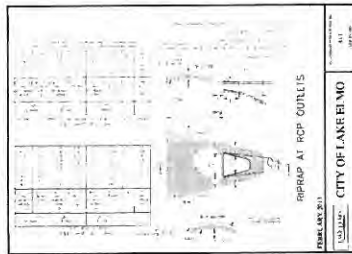
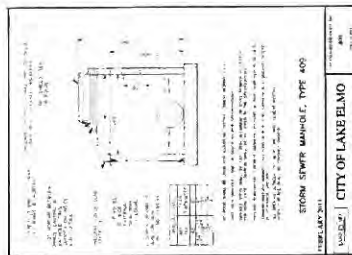
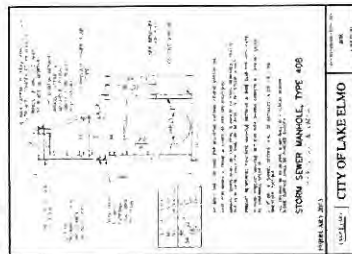
Issued under the authority of the Professional Engineer  
Randy M. Johnson  
Date: 08/27/14 License No. 41257

Prepared for:  
City of Lake Elmo  
City Engineer  
Randy M. Johnson

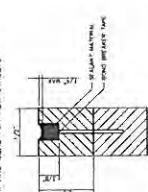
Ryland Homes  
7500 American Drive  
Eden Prairie, Minnesota 55344

Hammes  
Property  
Lake Elmo, Minnesota

Latest Revision Date 08/27/14  
Date 08/27/14 Sheet 14 of 17



SAW AND SEAL FOR NEW STREETS



SAW AND SEAL SAMPLE LAYOUT

- NOTE
- 1. SAW AND SEAL LOCATIONS SHALL BE MARKED WITH CHALK OR SPRAY PAINT.
- 2. SAW AND SEAL CUT SHALL BE 1/2" DEEP AND 1/2" WIDE.
- 3. JOINTS TO BE SAWN CLEAN AND DRY.
- 4. CONTRACTOR TO SEEP AND MANIPULATE SEALANT INTO JOINTS.
- 5. ROAD BREAKER RATE IS OPTIONAL.
- 6. SAW AND SEAL TO BE 1/2" DEEP AND 1/2" WIDE.

SAW AND SEAL

Westwood Professional Services, Inc.  
10000 Highway 100, Suite 100  
Eden Prairie, MN 55324  
Phone: 952.935.1000  
Fax: 952.935.1001  
www.westwoodmn.com

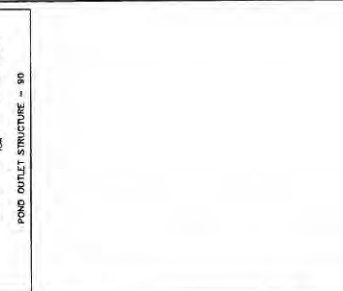
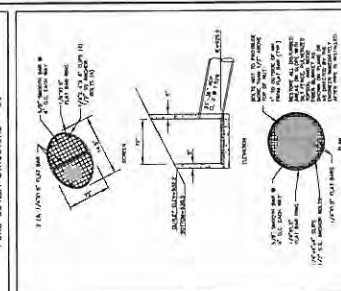
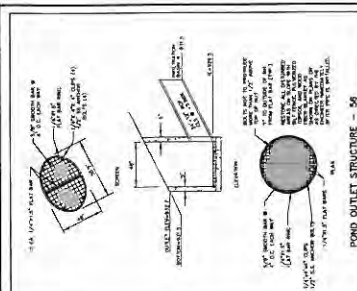
Project: 41257  
Date: 08/27/14  
Location: Lake Elmo, Minnesota

Prepared for:  
City of Lake Elmo  
City Engineer: [Signature]  
City Clerk: [Signature]

Ryland Homes  
7999 Arden Drive  
Eden Prairie, Minnesota 55344

Hammes Property  
Lake Elmo, Minnesota

Latest Revision Date: 08/27/14  
Date: 08/27/14  
Sheet: 15 of 17  
Details



Latest Revision Date: 09/03/14  
Date: 08/27/14 Sheet: 16 of 17

<div style="text-align: center;"> <h1>Hammes Property</h1> </div>	Date: 08/2
	Details


**Ryland Homes**  
7599 Anagram Drive  
Eden Prairie, Minnesota 55344

Prepared for:

Designs	CJ
Control	RM
Power	PM

1

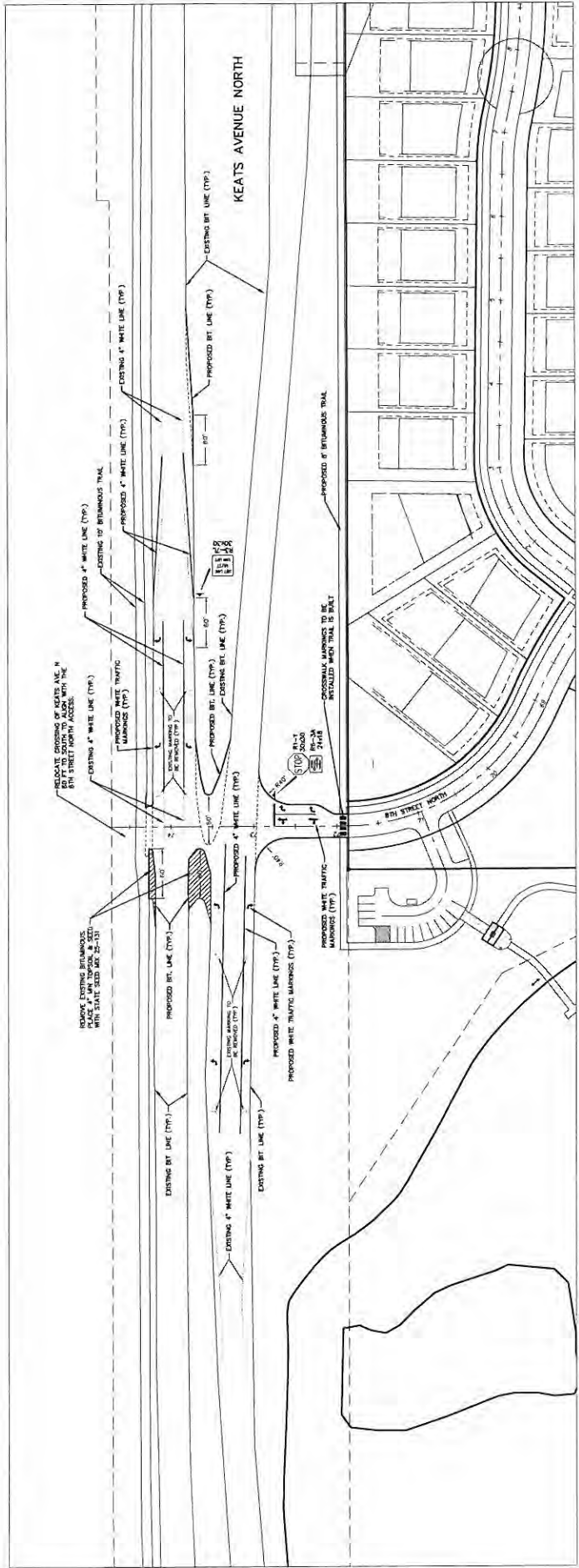
Ryan M. Graham  
DO NOT WRITE IN THESE SPACES  
15027



**Wentworth Professional Services, Inc.**  
 2900 Lakeside Drive  
 Dallas, TX 75228, 972.53.5343  
 P-COE 952.817.4250  
 FAX 952.817.5277  
 TOLL FREE 1-800-831-6340







- General Site Notes**
1. LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY EXCAVATION/CONSTRUCTION. ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHALL BE NOTIFIED.
  2. REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
  3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL NECESSARY TRAFFIC CONTROL DEVICES TO MAINTAIN THE MOVEMENT OF TRAFFIC THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, INSTALLATION, AND MAINTENANCE OF ALL TRAFFIC CONTROL DEVICES APPROVED BY THE CITY AND ENGINEER PRIOR TO ANY CONSTRUCTION.
  4. BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.

**Site Legend**

EXISTING	PROPOSED
PROPERTY LINE	PROPERTY LINE
LOT LINE	LOT LINE
EASEMENT LINE	EASEMENT LINE
CURB AND GUTTER	CURB AND GUTTER
POND NORMAL WATER LEVEL	POND NORMAL WATER LEVEL
FENCE	FENCE
CONCRETE SIDEWALK	CONCRETE SIDEWALK
HEAVY DUTY BITUMINOUS PAVEMENT	HEAVY DUTY BITUMINOUS PAVEMENT
NUMBER OF PARKING STALLS	NUMBER OF PARKING STALLS
TRAFFIC SIGNAL	TRAFFIC SIGNAL
POWER POLE	POWER POLE
BOLLARD / POST	BOLLARD / POST



Latest Revision Date: 09/03/14  
 Date: 09/27/14 Sheet: 17 OF 17

**Hammes Property**  
 Keats Avenue  
 Improvements Plan  
 Lake Elmo, Minnesota

**Ryland Homes**  
 7599 Augsburg Drive  
 Eden Prairie, Minnesota 55344

Prepared for:

Project:	CL
Client:	RH
Drawn:	DPH
Revised:	DPH

I, the undersigned, being a duly licensed Professional Engineer in the State of Minnesota, do hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer in the State of Minnesota.

**Ryan M. Tschetter**  
 License No. 41057  
 Date: 09/03/14

Westwood Professional Services, Inc.  
 11000 Lyndale Avenue South  
 Minneapolis, MN 55426  
 Phone: 763-833-0000  
 Fax: 763-833-0001  
 Website: www.westwood.com



# Construction Plans

for

## Grading, Drainage & Erosion Control Plans

for

### Hammes Property Lake Elmo, Minnesota

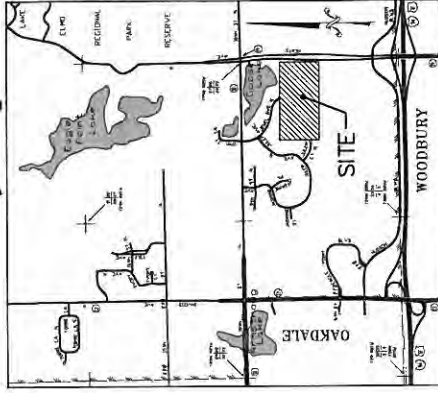
Prepared for:

**Ryland Homes**  
7599 Anagram Drive  
Eden Prairie, Minnesota 55344  
Contact: Mark Sonstegard  
Phone: 952-229-6000  
Fax: 952-229-6024

Prepared by:

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Westwood Professional Services, Inc.  
Eden Prairie, MN 55344  
PHONE: 952-877-7100  
FAX: 952-229-6024  
TOLL FREE: 1-800-331-0100  
www.westwoodmn.com  
Project number: 0002905.00  
Contact: Ryan M. Blum

Vicinity Map



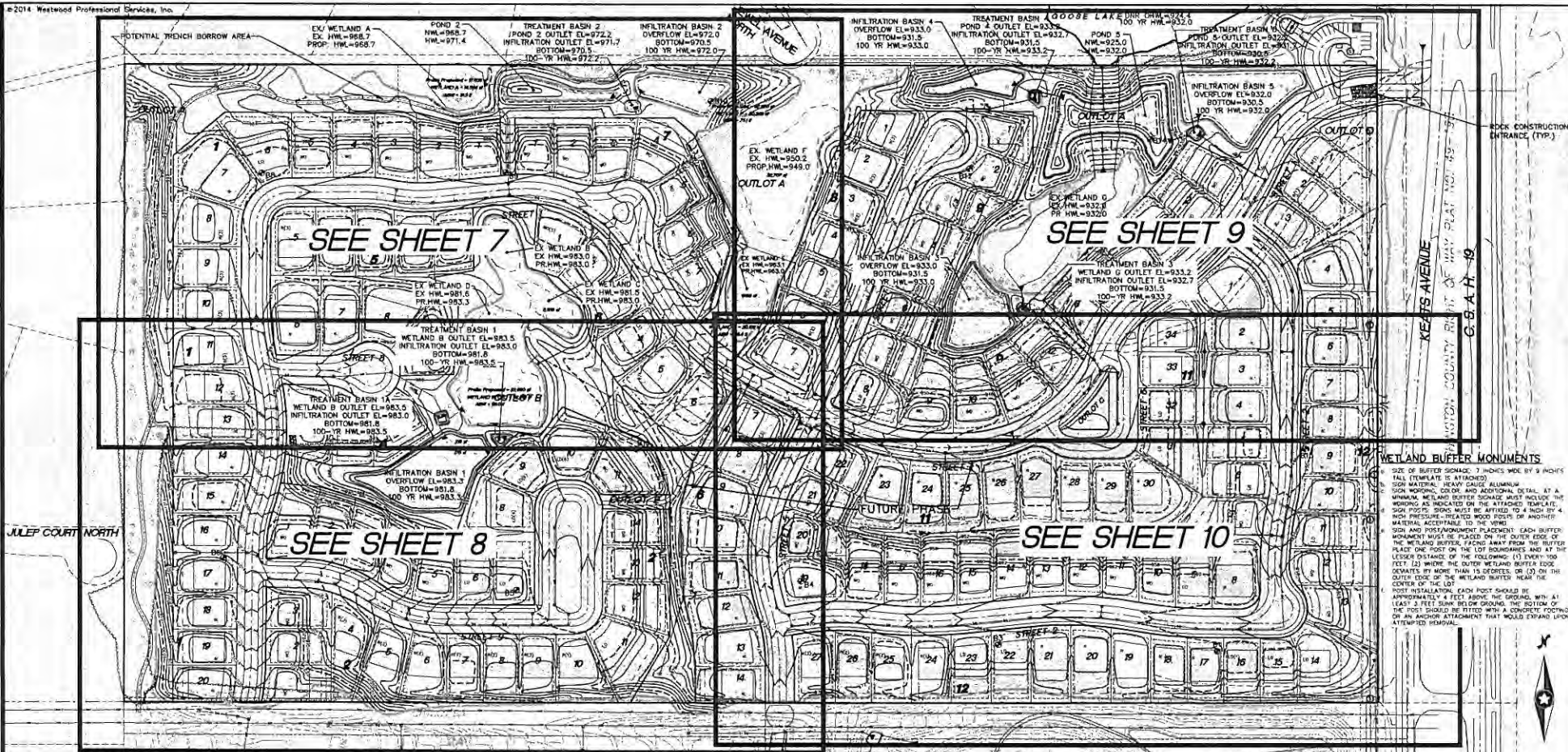
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Sheet List Table		
Sheet Number	Sheet Title	
1	Cover	
2	Overall Grading Plan	
3	Grading, Drainage & Erosion Control Plan	
4	Grading, Drainage & Erosion Control Plan	
5	Grading, Drainage & Erosion Control Plan	
6	Grading, Drainage & Erosion Control Plan	
7	Wetland Buffer Plan	
8	Wetland Buffer Plan	
9	Details	
10	Details	
11	Street Profiles	
12	Street Profiles	
13	Pre-Development Drainage Area Plan	
14	Post-Development Drainage Area Plan	

NO.	DATE	REVISION	SHEETS

**Construction Plans**  
for  
Grading, Drainage & Erosion Control  
Plans  
for  
Hammes Property  
Lake Elmo, Minnesota

Date: 06/27/14 Sheet: 1 of 14



### PROJECT SEQUENCING:

1. INSTALL PERIMETER SILT FENCE.
2. INSTALL ROCK CONSTRUCTION ENTRANCE(S).
3. GRADE PLOTS AND INSTALL TEMP. OUTLETS (FOR USE AS TEMPORARY BASINS).
4. INSTALL SILT FENCE AROUND PLOTS PER PLAN.
5. MASS GRADE SITE.
6. INSTALL TEMPORARY SEDIMENTATION BASINS PER NPDES OR AS DIRECTED BY THE ENGINEER.
7. INSTALL EROSION CONTROL BLANKET IN DESIGNATED AREAS AS THEY ARE GRADED.
8. SEED/GRASS SPECIFICATION INITIATED IMMEDIATELY UPON GRADING COMPLETION.
9. EXCAVATE INFILTRATION AREAS AFTER FINAL GRADE & STABILIZATION HAS OCCURRED.
10. REMOVE SILT FENCE AFTER PERMANENT VEGETATION HAS BEEN ESTABLISHED.

GENERAL NOTES:










- \* ALL CONTOURS AND SPOT ELEVATIONS ARE SHOWN TO FINISHED SURFACE/GUTTER GRADES UNLESS OTHERWISE NOTED.
- \* REFER TO THE SITE PLAN/RECORD PLAT FOR MOST CURRENT HORIZONTAL SITE DIMENSIONS AND LAYOUT.
- \* THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING UTILITIES AND TOPOGRAPHICAL FEATURES WITH THE OWNERS AND FIELD-VERIFY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM PLAN.
- \* SEE SHEET 7 FOR CITY OF LAKE ELMO STANDARD PLAN NOTES FOR GRADING AND EROSION CONTROL.

**NOTE:**

TO PREVENT SOIL COMPACTION, THE PROPOSED INFILTRATION AREAS SHALL BE STAKED OFF AND MARKED DURING CONSTRUCTION TO PREVENT HEAVY EQUIPMENT AND TRAFFIC FROM TRAVELING OVER IT. INFILTRATION AREAS SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES, SEDIMENT AND RUNOFF SHALL BE KEPT SEPARATE FROM THE FACILITY, USING PRACTICES SUCH AS DIVERSION BERMS AND VEGETATION AROUND THE FACILITY'S PERIMETER. INFILTRATION AREAS SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. THE CONTRIBUTING DRAINAGE AREA HAS BEEN CONSTRUCTED AND FULLY STABILIZED. THE FINAL PHASE OF EXCAVATION SHALL REMOVE ALL ACCUMULATED SEDIMENT AND BULKY DEBRIS BY LIGHT TRACKED EQUIPMENT. THE EXCAVATION SHALL BE BACKFILLED WITH A CLEAN, WELL-AERATED, HIGHLY POROUS SUBSTRATE. THE SOILS OF THE BASIN FLOOR SHALL BE LOOSENOED TO A DEPTH OF AT LEAST 24 INCHES TO PREVENT COMPACTION OF 85% STANDARD PROCTOR DENSITY PRIOR TO PLANTING.

**LEGEND:**

- |  |                                   |
|--|-----------------------------------|
|  | DEMOTES SOIL BORING               |
|  | DEMOTES SILT FENCE                |
|  | DEMOTES HEAVY DUTY SILT FENCE     |
|  | DEMOTES EXISTING CONTOURS         |
|  | DEMOTES PROPOSED CONTOURS         |
|  | DEMOTES PROPOSED INTERIM CONTOURS |
|  | DEMOTES FUTURE STORM SEWER        |
|  | DEMOTES EXISTING STORM SEWER      |
|  | DEMOTES PROPOSED STORM SEWER      |
|  | DEMOTES PROPOSED DRAINLINE        |
|  | DEMOTES EXISTING TREE LINE        |

- |   |   |
|---|---|
|  | DENOTES EXISTING SPOT ELEVATION                 |
|  | DENOTES PROPOSED SPOT ELEVATION                 |
|  | DENOTES BID-ROLL EROSION CHECKS                 |
|  | DENOTES EMERGENCY OVERFLOW ELEVATION            |
|  | DENOTES TREE PRESERVATION FENCING               |
|  | 3:1 SLOPE STABILIZATION EROSION CONTROL BLANKET |
|  | DENOTES WETLANDS                                |
|  | DENOTES WETLAND BUFFER MONUMENT                 |
|  | DENOTES WETLAND BUFFER                          |

• EXISTING AND PROPOSED SITE CONTOUR ELEVATIONS RELATED TO NAVD 1988 DATUM

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## Hammes Property

Date: 08/27/14 Sheet: 2 of 14

### Overall Grading Plan



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I hereby certify that this plan was prepared by me or under my  
direct supervision and that I am a duly Licensed PROFESSIONAL  
ENGINEER under the laws of the State of Minnesota.

*[Signature]*

Karen M. Hinkum

08/27/14 Thomas M. 41257

## References

Designated	CL
Checked	RM
Driver	HW
Entered Driving by/line	

Prepared for:

**Ryland Homes**  
7999 Anagram Drive  
Eden Prairie, Minnesota 55344

Lake Elmo, Minnesota











**Increased Professional Services, Inc.**  
7109 Airport Ave. Drive  
Eden Prairie, MN 55438  
PHONE: 952-937-6100  
FAX: 952-937-5072  
TOLL FREE: 1-888-937-5100







Wellhead	Existing Buffer	Proposed Buffer	Average Buffer Width
A	17,320 SF	14,524 SF	51.3 LF
B, C & D	78,945 SF	83,667 SF	59.0 LF
E	23,952 SF	20,192 SF	86.4 LF
F	72,409 SF	60,343 SF	76.1 LF

### LEGEND:

- DENOTES SOL. BORING  
 DENOTES S.F. FENCE  
 DENOTES HEAVY DUTY SULT FENCE  
 DENOTES EXISTING CONTIGUOUS  
 DENOTES PROPOSED CONTIGUOUS  
 DENOTES EXISTING STORM SEWER  
 DENOTES PROPOSED STORM SEWER  
 DENOTES EXISTING TREE LINE  
 DENOTES EXISTING NATURAL TREE  
 REMOVAL LIMITS  
 DENOTES EXISTING SPOT ELEVATION  
 DENOTES PROPOSED SPOT ELEVATION  
 DENOTES 80-FOOT EROSION CHECKS  
 DENOTES DRAINAGE OVERFLOW  
 ELEVATION  
 PROPOSED WETLAND BUFFER AREA  
 DENOTES WETLAND BUFFER MONUMENT
- \* EXISTING AND PROPOSED SITE  
 BOUNDARIES ARE NOT RELATED  
 TO NAD 83 OR DATUM



00027003WTF 01 4-93

**Hammes  
Property**

Lake Elmo, Minnesota.

## Ryland Homes

7399 Anagram Drive  
Eden Prairie, Minnesota 55344

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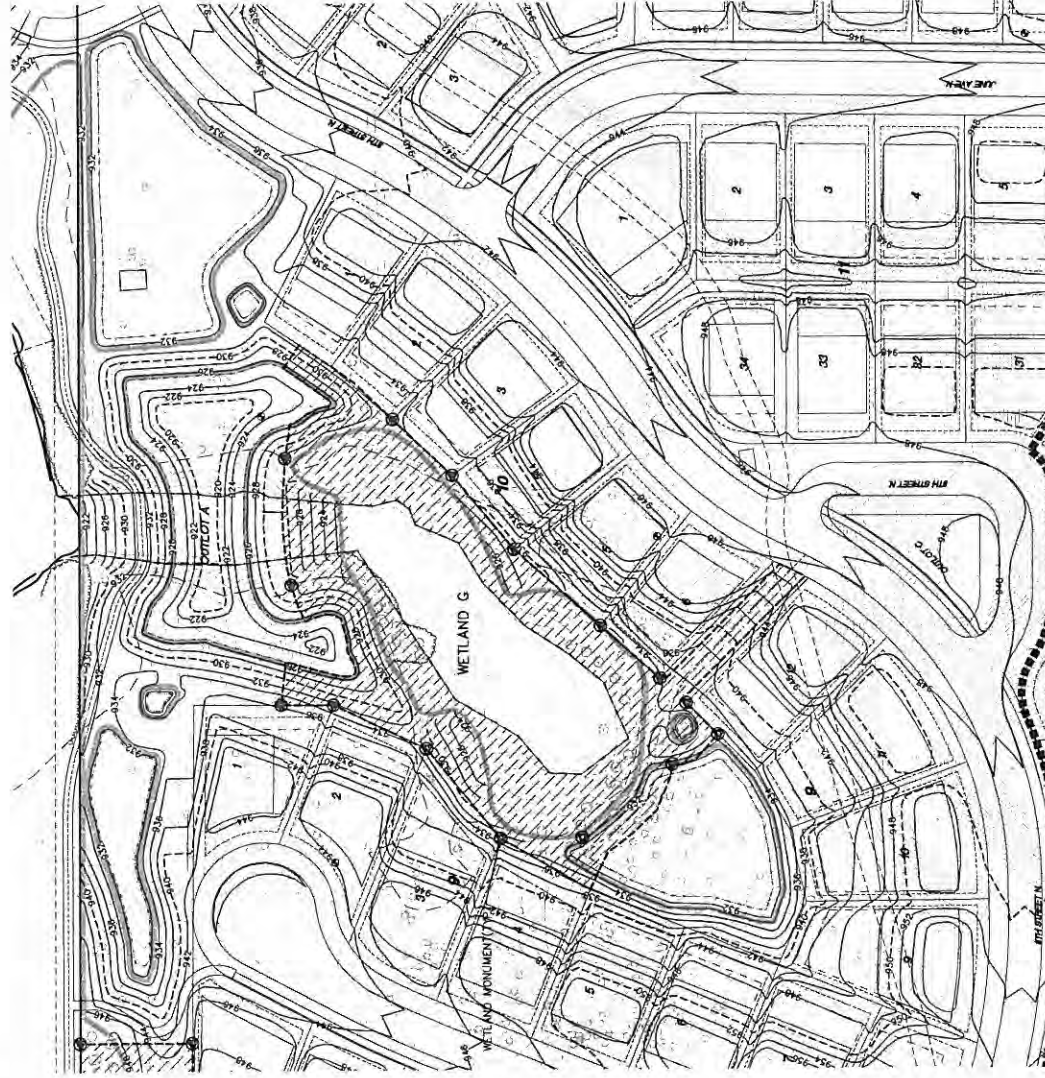
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Checked	2010
Printed	1/10
Record Drawing 21/10/10	

Ryan M. Hukam

Financial Professional Services, Inc.  
 10000 American Drive  
 Dallas, TX 75244  
 FAX: 214-341-5158  
 TEL: 214-341-5158  
 FAX: 214-341-5158







**LEGEND:**

- DENOTES SOIL BORING
- DENOTES SILT FENCE
- DENOTES HEAVY DUTY SILT FENCE
- DENOTES EXISTING CONTOURS
- DENOTES PROPOSED CONTOURS
- DENOTES PROPOSED STORM SEWER
- DENOTES PROPOSED TREE LINE
- DENOTES EXISTING TREE LINE
- DENOTES APPROXIMATE TREE REMOVAL LIMITS
- DENOTES EXISTING SPOT ELEVATION
- DENOTES EXISTING CONTOUR ELEVATION
- DENOTES BI-ROLLBACK EROSION CHECKS
- DENOTES EMERGENCY OVERFLOW ELEVATION
- DENOTES PROPOSED WETLAND BUFFER AREA
- DENOTES WETLAND BUFFER MONUMENT

\* EXISTING AND PROPOSED SITE ELEVATIONS ARE RELATED TO NAVD 1988 DATUM

Wetland	Proposed Buffer	Average Buffer Width
G	56,813 SF	83.9 LF



Date: 08/27/14 Sheet: 8 of 14

**Hammes Property**  
Lake Elgin, Minnesota

**Ryland Homes**  
2999 Aurora Drive  
Elgin, Minnesota 55120

Prepared for:

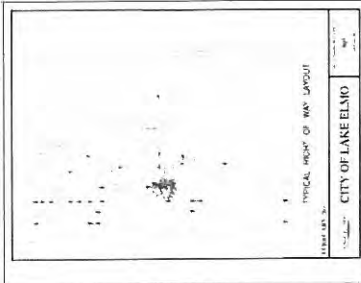
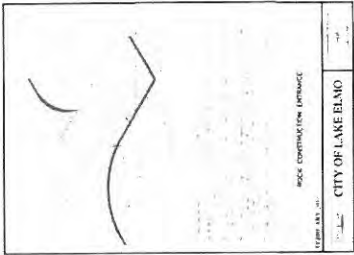
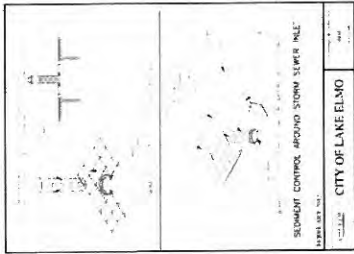
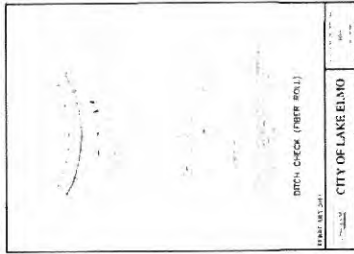
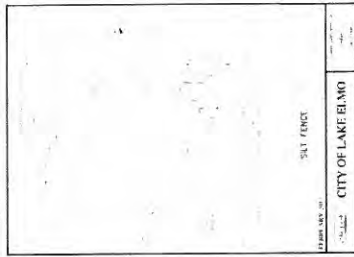
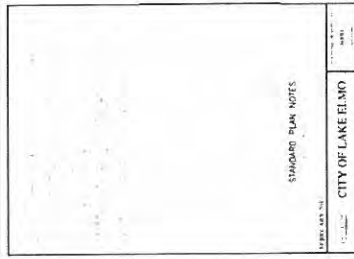
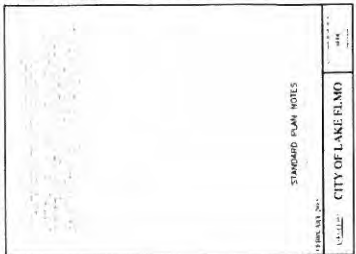
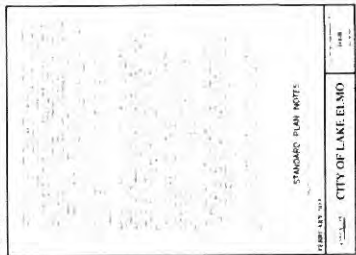
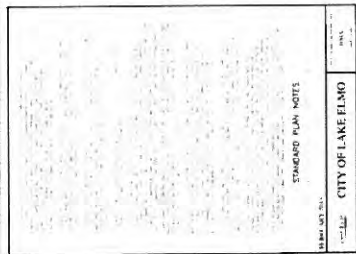
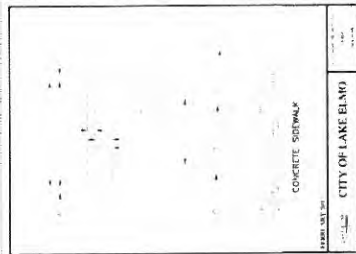
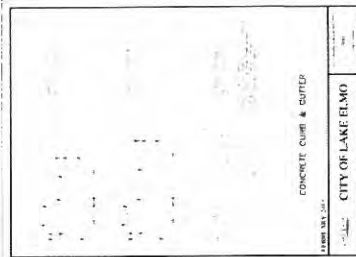
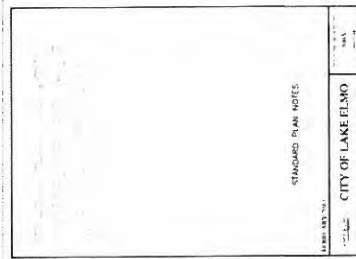
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Checked:	08/27/14
Drawn:	08/27/14
Revised Drawing:	08/27/14

Project Name:	Wetland Buffer Plan
Project Location:	Elgin, Minnesota
Project Number:	41257
Project Date:	08/27/14
Project Status:	Final

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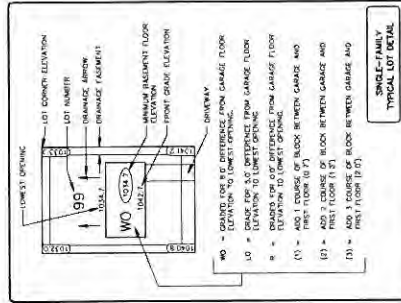
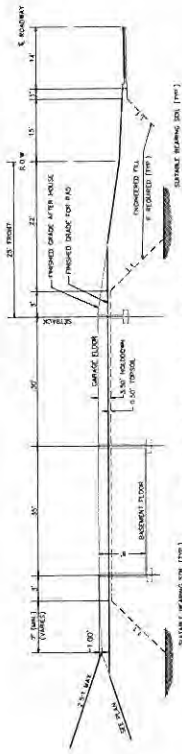
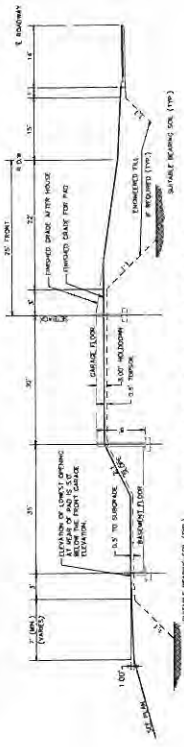
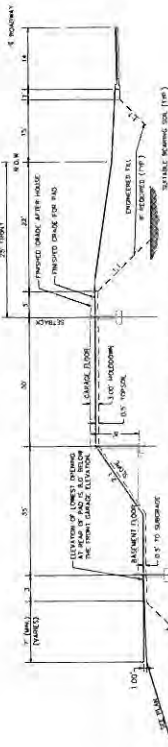
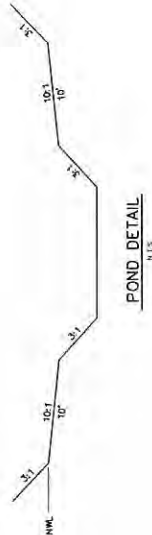
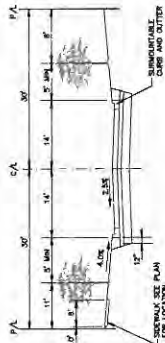
I have made the drawings and specifications for the work shown on this drawing and I am not responsible for any errors or omissions.  
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Date: 08/27/14 License No. 41257

Prepared for:  
Ryland Homes  
7999 Arapahoe Drive  
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Hammes Property

Details

Latest Revision Date: 08/27/14  
Drawing No. 14-000000-01  
Date: 08/27/14 Sheet: 9 of 14



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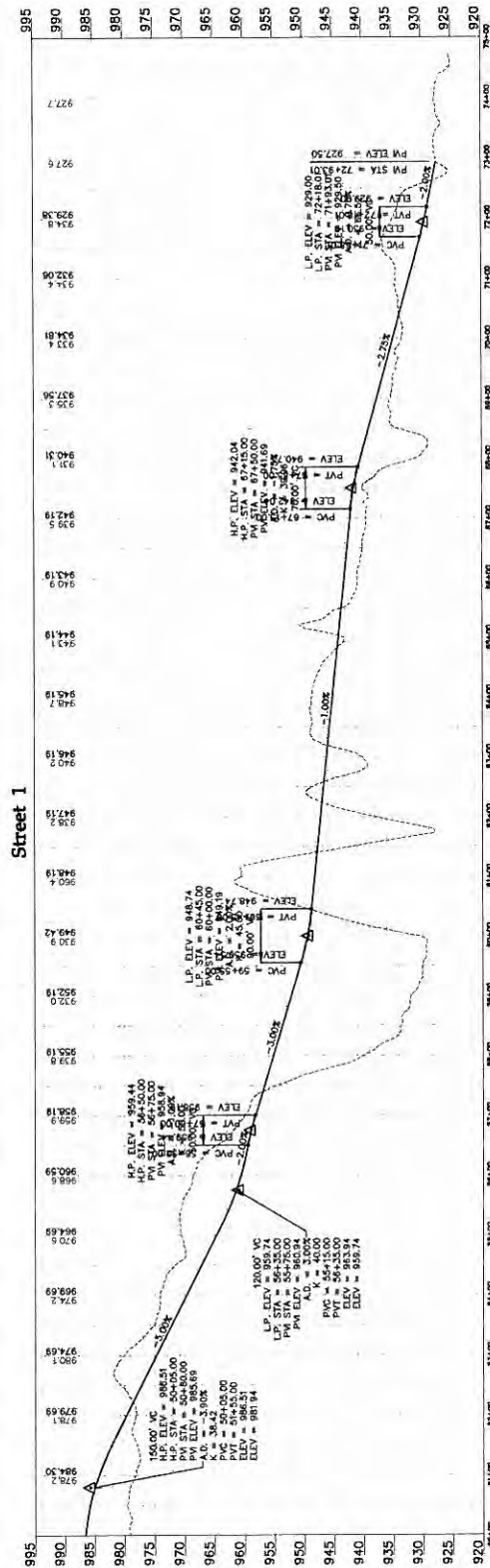
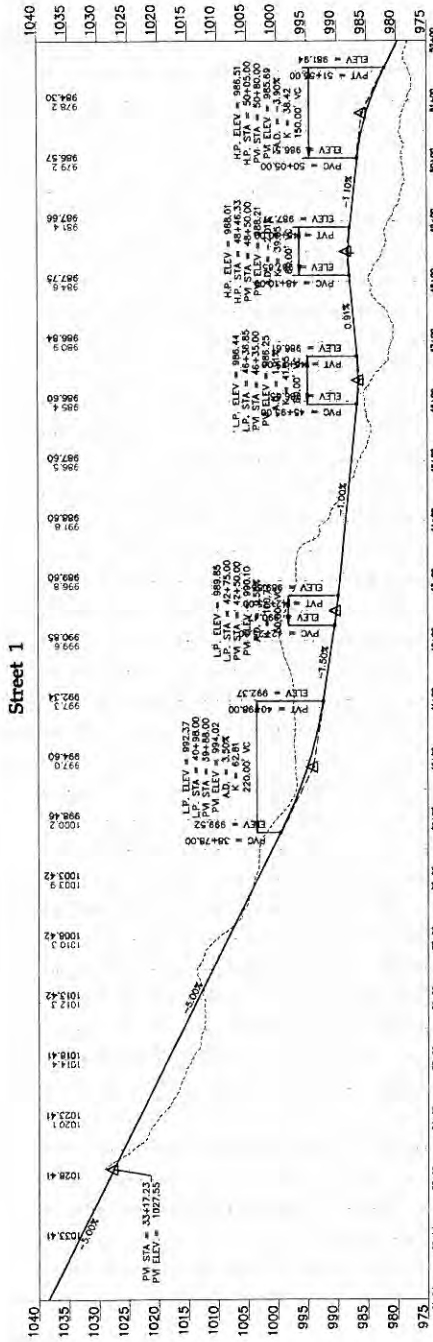
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Date: 08/27/14 Sheet: 10 of 14

**Hammes Property**  
Lake Elmo, Minnesota

**Ryland Homes**  
7599 Augsburg Drive  
Eden Prairie, Minnesota 55344

Prepared for:	Client:
Designed:	Client:
Checked:	Client:
Drawn:	Client:
Revised Drawing:	Client:

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Date: 08/27/14 Sheet: 11 of 14

**Hammes  
Property**  
Lake Elmo, Minnesota

**Ryland Homes**  
2900 Alexander Drive  
Eden Prairie, Minnesota 55344

Prepared for:

Client: ☐ CLL  
Checked: ☐ JMB  
Drawn: ☐ JMB  
Revised: ☐ JMB

Author: ☐ JMB  
Checked: ☐ JMB  
Drawn: ☐ JMB  
Revised: ☐ JMB  
Date: 08/27/14 - License No. 41257

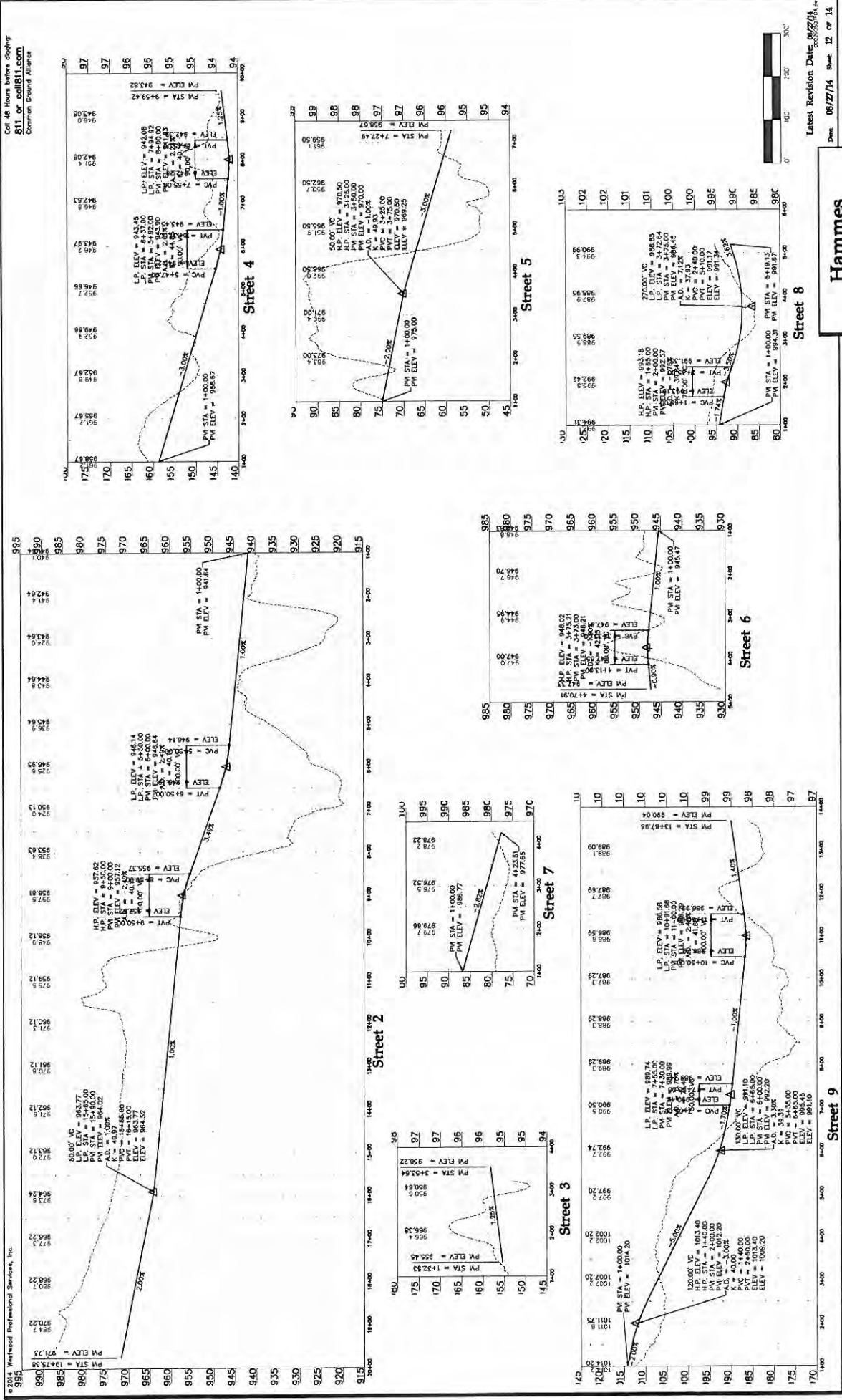
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Latest Revision Date: 08/27/14  
 Sheet: 12 of 14

**Hammes Property**  
 Lake Elmo, Minnesota

**Ryland Homes**  
 7999 Arapahoe Drive  
 Eden Prairie, Minnesota 55344

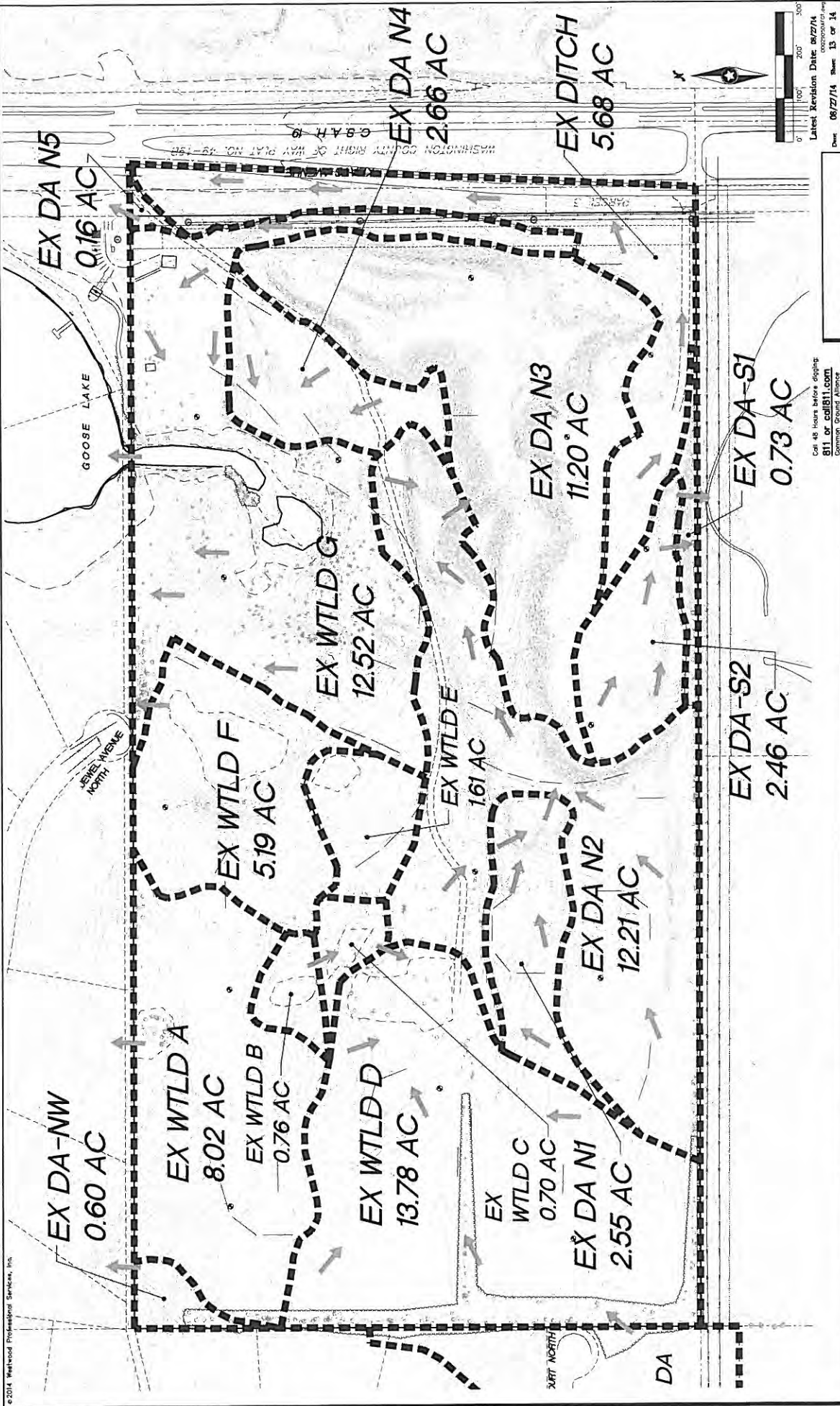
Prepared for:

Designed: ☐ CL ☐ ML ☐ RT  
 Checked: ☐ CL ☐ ML ☐ RT  
 Drawn: ☐ CL ☐ ML ☐ RT  
 Survey Drawing: ☐ CL ☐ ML ☐ RT

Revisions:  
 1. 08/27/14 4237

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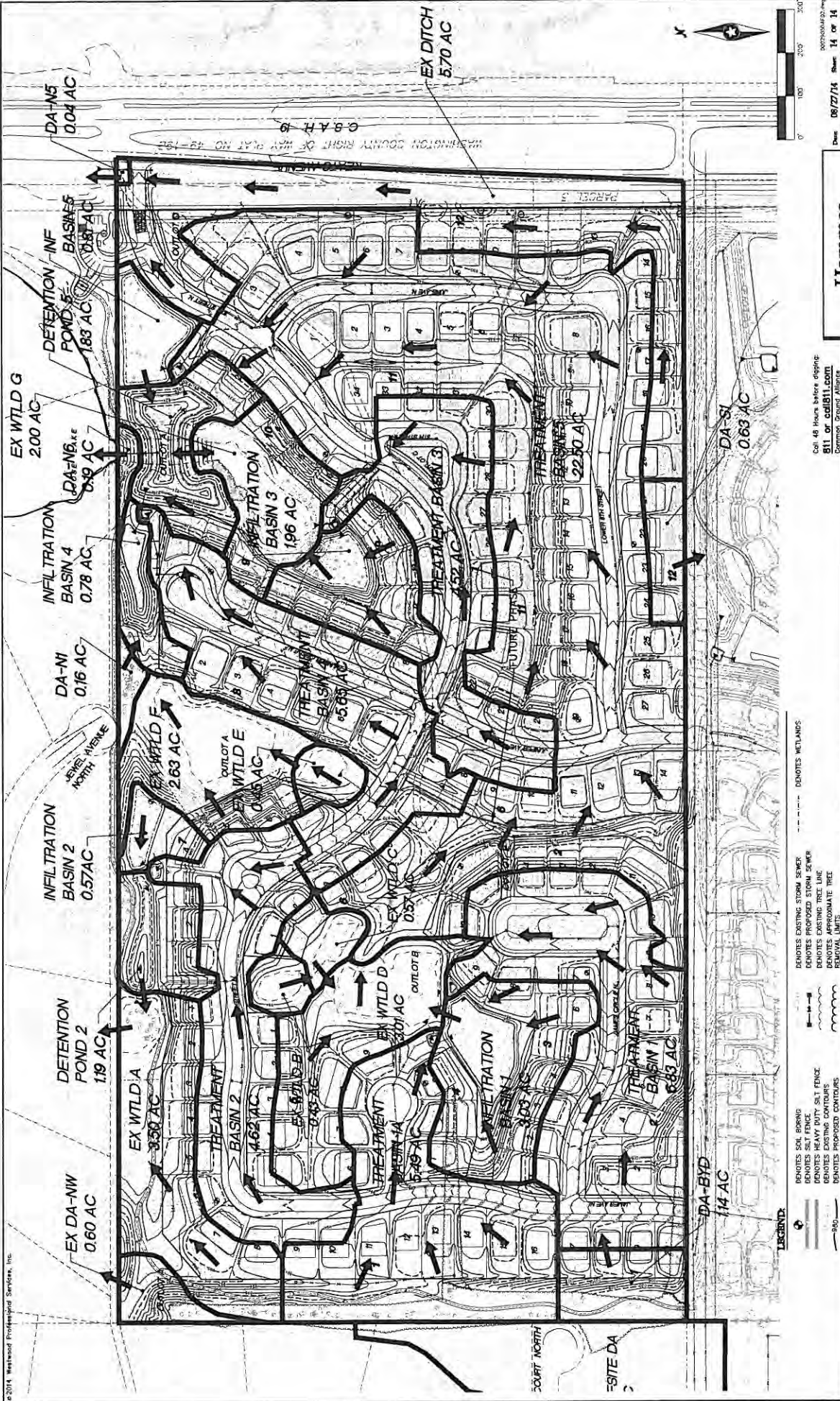


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**Ryland Homes**  
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 Eden Prairie, Minnesota 55344

**Hammes Property**  
 Lake Elmo, Minnesota

**Pre-Development  
 Drainage Area Plan**



**Hammes Property**  
Post-Development  
Drainage Area Plan  
Lake Elmo, Minnesota

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Prepared for:

Request	Client
Checked	Hammes
Drawn	Ryland Homes
Revised	Hammes

Legend:

- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING TREE LINE
- APPROXIMATE TREE REMOVAL LIMITS
- EXISTING SOIL BONDING
- PROPOSED SOIL BONDING
- EXISTING DUTY SALT FENCE
- PROPOSED DUTY SALT FENCE
- EXISTING PROPOSED CONTOURS
- PROPOSED CONTOURS

Scale: 0 to 300 feet

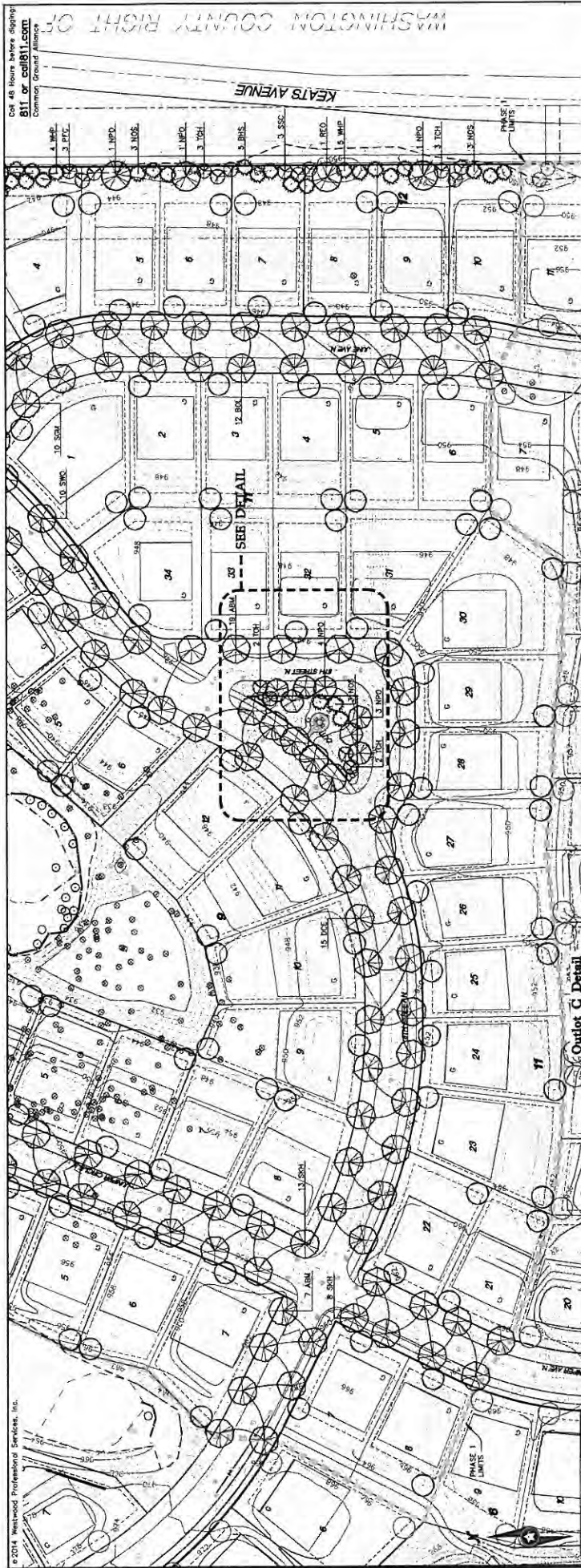
North Arrow

Site: 08/27/14

Sheet: 14 of 14





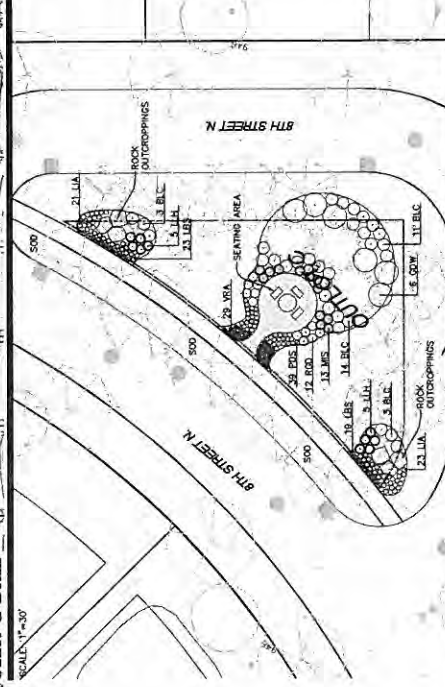


### Outlot C Final Plant Schedule

CODE	CITY	COMMON/ROTATIONAL NAME	SIZE	SPACING
001	01	Grass Seed Mix	1.0' x 1.0'	10' x 10'
002	01	Grass Seed Mix	1.0' x 1.0'	10' x 10'
003	01	Grass Seed Mix	1.0' x 1.0'	10' x 10'
004	01	Grass Seed Mix	1.0' x 1.0'	10' x 10'
005	01	Grass Seed Mix	1.0' x 1.0'	10' x 10'
006	01	Grass Seed Mix	1.0' x 1.0'	10' x 10'
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012	01	Grass Seed Mix	1.0' x 1.0'	10' x 10'
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NOTES: \* QUANTITIES OF PLANT MATERIALS LISTED ARE BASED ON THE LAYOUT OF THE PROJECT. STREET TREE LOCATIONS AND SPACING ARE SUBJECT TO CHANGE BASED ON CONSTRUCTED DRIVEWAY AND UTILITY LOCATIONS.

- DRY PRAIRIE SEED MIX
- STORMWATER SEED MIX
- WET PRAIRIE SEED MIX



09/17/14

Sheet 2 of 4

**Hammes Property**  
Lake Elmo, Minnesota

**Ryland Homes**  
7999 Argonne Drive  
Eden Prairie, Minnesota 55344

Prepared for:

Designed	CAM
Checked	CHM
Drawn	WTL
Field Drawing	WTL

Scale:

Notes:

Comments:

Revisions:

Approval:

Signature:

Date:

Project No. 24971

Client:

Address:

City:

State:

Zip:

Phone:

# Restoration Detail

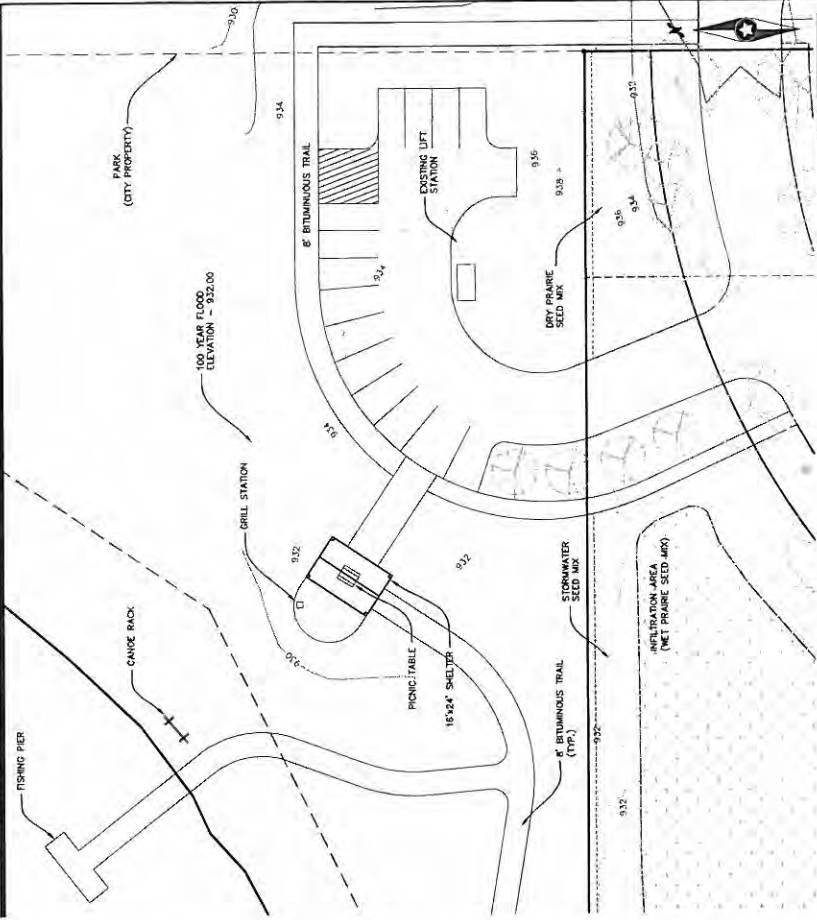


Restoration Detail Final Plant Schedule

CODE	QTY	COMMON/SCIENTIFIC NAME	SIZE	SPACING O.C.
SP2	79	Smooth Sycamore / Bluegum	8" DB O.C.	8' x 8' O.C.
SP3	10	Red Oak / Bur Oak	8" DB O.C.	8' x 8' O.C.
BLG	63	Black Chokeberry / Kruskal magnifico	4" DB O.C.	4' x 4' O.C.
BBS	16	Big Bluestem / Andropogon gerardii	36" O.C.	15' x 15' O.C.
BES	9	Black-eyed Susan / Rudbeckia hirta	18" O.C.	15' x 15' O.C.
WMC	17	Prairie Cordgrass / Sorghastrum nutans	18" O.C.	15' x 15' O.C.

NOTES: \* QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY

# North East Park Plan



Call 48 Hours before digging:  
811 or call811.com  
Common Ground Alliance

Date: 09/17/14 Sheet: 3 of 4  
09/09/2014 14:00

**Hammes Property**  
Lake Elmo, Minnesota

Final Landscape Details

**Ryland Homes**  
7099 Angstrom Drive  
Eden Prairie, Minnesota 55344

Prepared for:

Designed:	CMA
Checked:	CMA
Drawn:	WTL
Revised Drawing:	

Hammes Property  
7099 Angstrom Drive  
Eden Prairie, MN 55344  
Date: 09/17/14 14:00

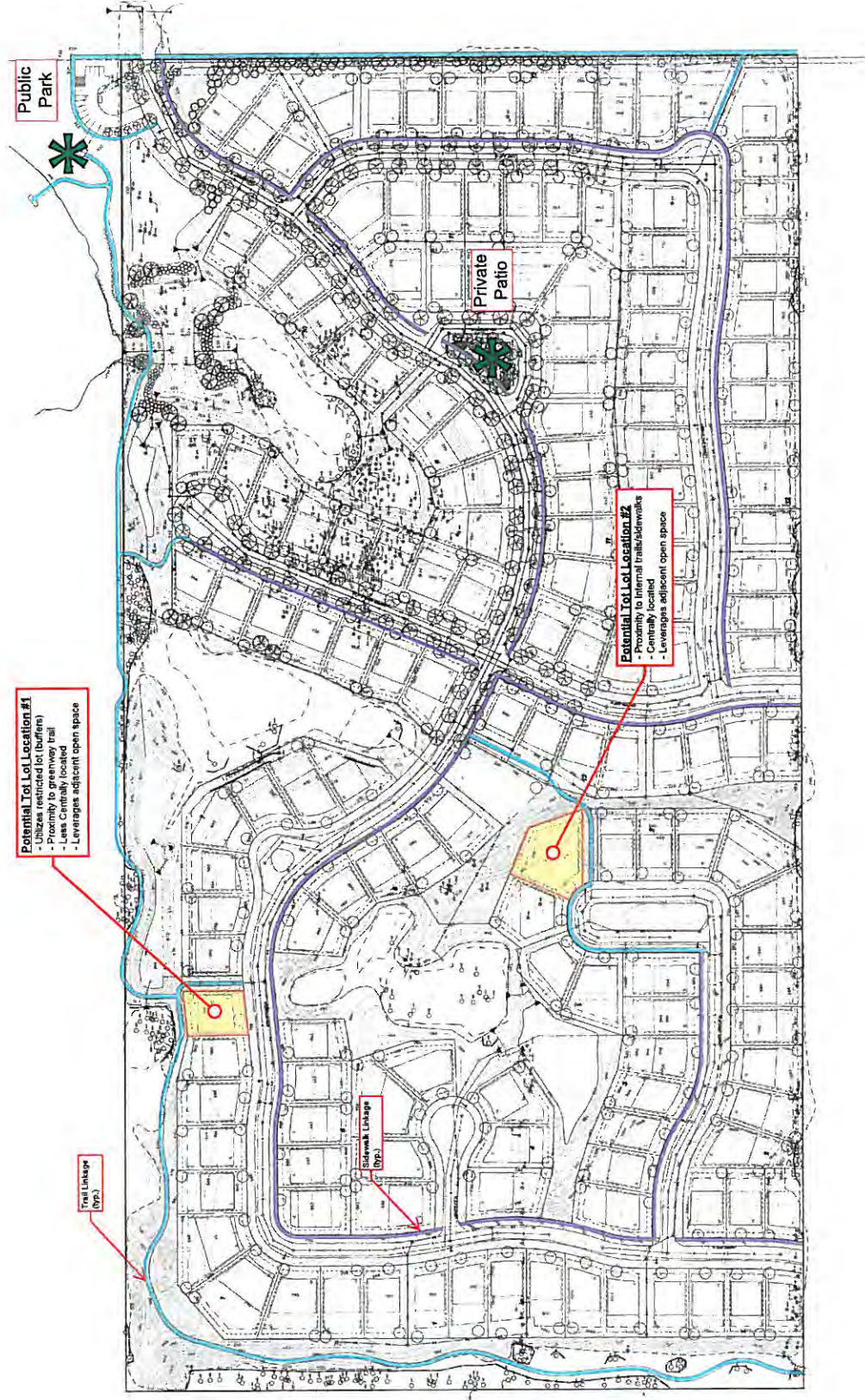
Westwood Professional Services, Inc.  
10000 Lake Elmo Road  
Eden Prairie, MN 55344  
Phone: 952.977.0000  
Fax: 952.977.0001  
Toll Free: 1-800-368-0000  
www.westwoodinc.com







# PARK LOCATION PLAN



**HAMMES ESTATES**  
LAKE ELMO, MN





## MEMORANDUM

# FOCUS ENGINEERING, inc.

Cara Geheren, P.E.	651.300.4261
Jack Griffin, P.E.	651.300.4264
Ryan Stempski, P.E.	651.300.4267
Chad Isakson, P.E.	651.300.4285

Date: September 18, 2014

To: Nick Johnson, City Planner  
Cc: Kyle Klatt, Planning Director  
From: Jack Griffin, P.E., City Engineer

Re: Hammes Estates  
Final Plat Review

An engineering review has been completed for the Hammes Estates development. Revised Preliminary Plans and Construction Plans were received on September 4, 2014. The submittal consisted of the following documentation prepared by Westwood Professional Services, Inc.:

- Preliminary Plan set (Plat Plan, Utility Plan, and Landscape Plans) dated 08.25.2014.
- Construction Grading, Drainage & Erosion Control Plans dated 08.27.2014.
- Construction Sanitary Sewer, Water Main, Storm Sewer and Streets dated 09.03.2014.
- Project Specification Manual dated May 2014.
- Preliminary Storm Water Runoff Narrative dated 08.07.2014.
- Plan revision response letter dated 08.28.2014.

**STATUS/FINDINGS:** Engineering review comments are provided below as they may be related to the application for Final Plat or represent more significant design and constructability issues. Upon completion of these issues and granting of Final Plat, staff will resume a more detailed Construction Plan review.

### PRELIMINARY AND FINAL PLAT COMMENTS

- Additional easements are required for the Preliminary and Final Plat as outlined within this memorandum.
- The Final Plat and Construction Plans should both be updated to include the Outlot ownership information. The Preliminary Plat indicated all Outlots to be dedicated to the City.
- Note: City utilities will be constructed within Outlot B as part of the first addition. Drainage and utility easements must be dedicated to the City of Lake Elmo as part of the First Addition Final Plat, including the drainage and utility easements over Outlot B.
- The development agreement should incorporate provisions to require the developer to oversee and address the 5 year invasive species monitoring requirements of the DNR Permit.
- Written permission must be provided from adjacent property owners for grading to extend beyond property lines.
- Written permission must be provided from the Savona development to allow an increase in peak discharge rate from the Hammes Site as proposed in the Stormwater Management Plan.
- Written approval to work within the Electrical Transmission Easement area must be provided prior to construction work.
- Final Grading Plans and Final Street and Utility Construction Plans must be completed and approved by the City Engineer prior to the start of construction. All construction plans must be in accordance with the Lake Elmo engineering design standards and plan format. Any changes proposed in the Lake Elmo



engineering design standards, standard details, plan notes, or specifications must be clearly identified in a "change request" letter by the developer's engineer and submitted for consideration.

#### UTILITY PLANS AND EASEMENTS

- In coordination with the City, a pressure reducing valve(s) must be constructed as part of the watermain improvements and located on an Outlot dedicated to the City.
- A 12-inch watermain stub must be extended east along Street 1 (8<sup>th</sup> Street North) to the intersection and County R/W of Keats Avenue for future extension to the east side of CSAH 19.
  - This 12-inch stub has been provided in the Final Construction Plan set for Phase 1, however it has not been corrected on the Preliminary Utility Plan dated 08.25. This correction must be included in the revised Preliminary Plans.
  - The future connection location for this 12-inch stub must be placed outside of the paved surface area of the new street.
- The 8-inch watermain line from the Street 8 cul-de-sac to the Street 9 cul-de-sac passes directly under infiltration basin 1 and does not maintain the state required 10-foot offset from storm sewer pipe. An alternate alignment or alternate loop connection must be determined as part of the revised Preliminary Plans. Additional easement must be provided on the Final Plat to accommodate this watermain location as it passes between lots.
- The sanitary sewer segment along the east side of Lot 6, Block 6 needs to move further east to maintain additional offset from the Lot 6 property line. This will result in a changed location for MH28 in the Final Construction Plans.
- Additional easement or pipe alignment adjustments are required at the northeast corner of Lot 1, Block 10 and along the rear yard of Lot 17, Block 11. Corrections are needed on both the revised Preliminary Plans and Final Construction Plans.
- Grading modifications are proposed above the City's existing sanitary sewer gravity and forcemain pipes along Keats Avenue. Show the proposed profile over these utilities and include the record drawing information provided in the Section 34 Water & Sewer Utility Extension Improvements. The existing conditions utilities must be revised on all plan sheets to correctly indicate their location.
- Show existing hydrant, 6-inch gate valve and box, and 12-inch x 6-inch reducer at the southern property line. Construction notes must be updated accordingly.

#### STORM SEWER SYSTEM

- The Preliminary storm sewer system plan did not comply with the City standard design requirements (minimum pipe cover significantly less than 3.5 feet). Preliminary storm sewer system plans must be revised to comply with City design standards.

#### CSAH 19 (KEATS AVENUE) IMPROVEMENTS

- Written documentation is required to demonstrate Washington County approval for the proposed access to Keats Avenue together with any County requirements.

#### WETLANDS AND WETLAND BUFFERS

- The VBWD does not allow impervious surfaces to be placed on wetlands or wetland buffers. The Plans must be revised so that the proposed Boardwalk Trail is constructed along the entire length of the trail that is located within the wetland buffer. Boardwalk construction details must be provided in the Final Construction Plans.
- The wetland buffer for Wetland G encroaches over the proposed storm water maintenance access road between Lot 6, Block 10 and Lot 12, Block 9. This buffer must be relocated to an area more acceptable to the preservation of buffer areas.

#### GRADING AND STORM WATER MANAGEMENT

- VBWD PERMIT: The project has received conditional permit approval through the VBWD. The applicant must revise and resubmit plans to the City as plan changes are made and resubmitted to the VBWD to

meet all conditions of the VBWD permit approval. The applicant must also submit to the City written documentation from the VBWD that the permit conditions have been satisfied prior to any construction work on the site.

- A VBWD permit must be obtained for the improvements at Goose Lake. Approval for these improvements have not been included in the Subdivision permit.
- A VBWD permit must be obtained for all Lots on Block 8 (Preliminary Plat) or Block 6 (Final Plat). Approval for these Lots have not yet been granted.
- Storm water facilities proposed as part of the site plan to meet VBWD permitting requirements must be constructed in accordance with the City Engineering Design Standards Manual.
- Flood protection measures must be incorporated for Lots 4, 5 and 6, Block 8 due to the Wetland E perched HWL. These lots are not yet permitted by the VBWD.
- Additional information is still needed to complete a review of the proposed storm water management plan and to verify the proposed grading.
  - Wetland A area: The existing HWL for Wetland A appears to extend north over the entire existing adjacent property. More information is needed to describe and verify the existing conditions in this area including the existing elevation of the adjacent home.
  - The Wetland A delineation must be shown on the plans.
  - Wetland A / Pond 2, Treatment Basin and Infiltration Basin 2 area: Place spot elevations at the high point enclosing Infiltration Basin 2 to ensure that the basin overflow routes west per the intended design.
- Storm water pond, infiltration basin, and wetland HWLs must be fully contained within Outlots. The 100-year HWL for Wetland G encroaches proposed Lots 4, 5 and 6, Block 10, and Lot 3, Block 9.
- The grade along the east side of Infiltration basin 5 must be raised along the park entrance road.
- The Park property improvements must be revised to better separate the public use area and the lift station utility area. See attached sketch for possible concept plan.
- The Park property trail from the Goose Lake berm to the picnic area is located below the 100-year HWL and in some locations appears to be below the DNR OHWL.

**Station #1**  
3510 Laverne Ave. No.  
Lake Elmo, MN 55042  
651-770-5006



**Station #2**  
4259 Jamaca Ave. No.  
Lake Elmo, MN. 55042  
651-779-8882

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**LAKE ELMO FIRE DEPARTMENT**

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September 18, 2014

After review of the HAMMES ESTATES FINAL PLAT – HAMMES WEST LLC, I have two areas of concern:

I have yet to receive final documentation showing that the previous soil contamination reported earlier this year has been mitigated. I recommend that the City not release the Final Plat for recording until the City has received the proper documentation related to the mitigation of the contamination.

Hydrant spacing seems to be well within our guidelines which I was very pleased to see. I would like to see the hydrant located in front of Lots 3 and 4, Block 6 on the west side of the Juniper Circle No. cul-de-sac be more equally spaced between the end of the road and the intersection at 8<sup>th</sup> St. No.

Reviewed by,

Greg Malmquist, Fire Chief

*"Proudly Serving Neighbors & Friends"*



**Station #1**  
3510 Laverne Ave. No.  
Lake Elmo, MN 55042  
651-770-5006



**Station #2**  
4259 Jamaca Ave. No.  
Lake Elmo, MN. 55042  
651-779-8882

---

**LAKE ELMO FIRE DEPARTMENT**

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September 19, 2014

Review of the HAMMES ESTATES FINAL PLAT – HAMMES WEST LLC

This is a follow up to the review letter dated September 18, 2014. Let me start by thanking all parties involved for supplying all the requested documentation related to the soil clean up as requested and in such a timely manner. After reviewing the provided documentation, I followed up with the MPCA for assistance and guidance in deciphering the documentation and ensuring, for everyone's benefit, that all required procedures and processes had been followed in the mitigation of this site. In conversation with the MPCA I discovered that the specifics of this site would cause it to fall under their Brownfield Program.

At this time I am requiring that all documentation related to the mitigation of this site be sent to the MPCA Brownfield Program by the property owners or their representative for review. After review, a letter from the MPCA ensuring that the site has been properly mitigated will need to be provided to the city.

Sincerely,

Greg Malmquist, Fire Chief

*"Proudly Serving Neighbors & Friends"*



## **HAMMES PROPERTY – DESIGN REVIEW REPORT** **LAKE ELMO, MN**

**LANDSCAPE ARCHITECTURAL DESIGN REVIEW DATED SEPTEMBER 10<sup>TH</sup>, 2014**

REVIEWED PLAN SET DATED AUGUST 25<sup>TH</sup>, 2014

### ***Required Action Items by Hammes Project Team***

1. The plan is in compliance with the landscape requirements. Since this preliminary plan doesn't call out each plant per location on plan, we are excited to look at the next generation of plan development which will have that level of specification for our review.
2. Where Colorado Green Spruce is specified: please replace with Norway Spruce.
3. Where possible, we would encourage planted islands in the cul-de-sacs within the development to reduce impervious surfaces and create a safer streetscape environment.
4. Please provide more information on the walls specified on the plans. Our preference is natural materials such as locally quarried stone or stone derived from the site construction process if appropriate in scale and geology.
5. Project Landscape Architect to provide landscape irrigation plans for all commonly held HOA & City R.O.W. areas.

**SINCERELY,**

**LANDSCAPE ARCHITECTURE, INC.**

STEPHEN MASTEY, ASLA, CLARB, LEED AP BD+C  
**DIRECTOR OF DESIGN**



LANDSCAPE ARCHITECTURE INCORPORATED  
WWW.LANDARCINC.COM

## **HAMMES PROPERTY – DESIGN REVIEW REPORT** **LAKE ELMO, MN**

**LANDSCAPE ARCHITECTURAL DESIGN REVIEW DATED SEPTEMBER 18<sup>TH</sup>, 2014**

REVIEWED PLAN SET DATED SEPTEMBER 17<sup>TH</sup>, 2014

### ***Required Action Items by Hammes Project Team***

1. The plan is in compliance with the landscape requirements.
2. Where Red Gnome Dogwood is specified: please replace with another shrub selection that is a hardier choice.
3. Please provide more detailed landscape information for North East Park.
4. Please provide more detailed information on entry monuments & signage proposed.
5. Please provide more detail on the hardscape materials and site furnishings proposed in Outlot C.
6. Provide landscape irrigation plans for all commonly held HOA & City R.O.W. areas.

**SINCERELY,**

**LANDSCAPE ARCHITECTURE, INC.**

STEPHEN MASTHEY, ASLA, CLARB, LEED AP BD+C  
**DIRECTOR OF DESIGN**



# VALLEY BRANCH WATERSHED DISTRICT PERMIT APPLICATION

TO BE COMPLETED BY VBWD:

PERMIT NUMBER 2014-07  
PERMIT FEE RECEIVED \$15,500  
DATE RECEIVED March 7, 2014

Return application to  
John Hanson  
Barr Engineering Company  
Engineers for the Valley Branch Watershed District  
4700 West 77<sup>th</sup> Street  
Edina, MN 55435-4803



A permit fee shall accompany this permit, unless waived by the Board of Managers.  
(Governmental Bodies are not required to pay a fee.)

Project Information		Applicant Information	
Name of Project: Hammes Property	Purpose of Project: Single-Family subdivision to create 165 lots	Name: Hammes West LLC Brian McGooldick	Address: 36 moonlight BAY
Project Location (street address, if known; otherwise, major intersection): Westside of Keats Avenue, south of Goose Lake		City, State, Zip: Stillwater, MN 55082	
City or Township: Lake Elmo		Phone: 651-387-1000	
Legal Description (proof of ownership required): PID: See attached survey Section: 34 Township: 29 Range: 21		Fax:	
Project Timeline: Start Date: 4/15/2014 Completion Date: 10/31/2016		Email: brian.mcgooldick@westwoodps.com	
Authorized Agent Information		Owner Information (If different than Applicant)	
Name: Ryan Bluhm	Business Name: Westwood Professional Services Address: 7699 Anagram Drive	Name: ELLIE HAMMES	Address: 1187 FROST Avenue
City, State, Zip: Eden Prairie, MN 55344		City, State, Zip: Maplewood, MN 55001	
Phone: 952-906-7432		Phone: 651-436-8656	
Fax: 952-937-5822		Fax: N/A	
Email: ryan.bluhm@westwoodps.com		Email: N/A	

Once a Valley Branch Watershed District permit has been approved, the permit conditions will be attached to the back of this form.

By signing this permit application, the permit applicant, his/her agent, and owner (hereinafter "Permittee") shall abide by all the conditions set by the Valley Branch Watershed District (VBWD). All work which violates the terms of the permit by reason of presenting a serious threat of soil erosion, sedimentation, or an adverse effect upon water quality or quantity, or violating any rule of the VBWD may result in the VBWD issuing a Stop Work Order which shall immediately cause the work on the project related to the permit to cease and desist. All work on the project shall cease until the permit conditions are met and approved by the VBWD representatives. In the event Permittee contests the Stop Work Order issued by the VBWD, Permittee shall attend a VBWD Board of Managers meeting and discuss the project. Any attorney fees, costs, or other expenses incurred on behalf of the VBWD in enforcing the terms of the permit shall be the sole expense of the permit applicant. Costs shall be payable from the permit applicant's permit fee. If said fees exceed the permit amount, the Permittee shall have ten (10) days from the date of receipt of the invoice from the VBWD to pay for the cost incurred in enforcing the permit, by which to pay the VBWD for said costs. If costs are not paid within the ten (10) days, the VBWD will draw on the permit applicant's surety. The Permittee agrees to be bound by the terms of the final permit and conditions required by the VBWD for approval of the permit. The permit applicant further acknowledges that he/she has the authority to bind the owner of the property and/or any entity performing the work on the property pursuant to the terms of the VBWD permit, and shall be responsible for complying with the terms of the VBWD permit.

Signatures (Required):

Hammes West LLC  
Brian J. McGooldick 3/7/14  
Applicant/Date

Ellie Hammes 3/7/14  
Owner (if different than Applicant)/Date

Owner's Authorized Agent/Date



LINCOLN FETTER • DAVID BUCHECK • DONALD SCHEEL • DALE BORASH • RAY LUCKSINGER

VALLEY BRANCH WATERSHED DISTRICT • P.O. BOX 838 • LAKE ELMO MINNESOTA 55042-0538

www.vbwd.org

August 25, 2014



Brian McGoldrick  
Hammes West, LLC  
36 Moonlight Bay  
Stillwater, MN 55082

**Re: Hammes Property: Lake Elmo, Minnesota  
VBWD Permit #2014-07**

Dear Mr. McGoldrick:

Enclosed is the Valley Branch Watershed District (VBWD) permit for your project. Please note the following conditions imposed by the Managers, which are also listed on the back of the permit.

1. This permit is not valid until the permit applicant submits documentation from the owner of the Savona development that he/she will allow an increase in the peak discharge rate from the Hammes site.
2. This permit is not valid until a maintenance agreement in the general format of Appendix B of the VBWD Rules is submitted to and approved by the VBWD Attorney and fully executed.
3. This permit does not allow any impervious surface (other than the outlet pipe and riprap of Pond 5) to be constructed within 25 feet of Elevation 924.4 of Goose Lake. This permit does not allow for the construction of the proposed parking lot and structure at the southeast corner of Goose Lake. The proposed boardwalk must conform to all applicable standards.
4. Wetland buffer signage must be installed as required by the VBWD Rules and Regulations. Specifications for the proposed signs shall be submitted and approved by the VBWD prior to installation.
5. Plans must be revised to include daintile around the perimeters of the proposed homes on Lots 1-3 of Block 9. This permit does not allow any homes to be constructed on Block 8. To ensure any homes constructed on Block 8 are protected from groundwater, at least 3 soil borings down to Elevation 924 must be constructed between Wetland F and the proposed building pads. Soil boring logs that include the Unified Soil Classification and any encountered water levels must be submitted.
6. The required fee and surety shall be submitted prior to construction. This permit is not valid until the permit fee and surety are submitted.



DAVID BUCHECK • LINCOLN FETCHER • DALE BORASH • JILL LUCAS • EDWARD MARCHAN

VALLEY BRANCH WATERSHED DISTRICT • P.O. BOX 838 • LAKE ELMO, MINNESOTA 55042-0538

[www.vbwd.org](http://www.vbwd.org)

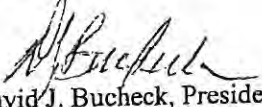
7. Prior to any construction, a construction sequencing plan shall be submitted, approved, and followed. The construction sequencing plan shall ensure that the project conforms to all VBWD Rules and Regulations throughout construction.
8. This permit is not transferable.
9. This permit is subject to obtaining all other permits required by governmental agencies having jurisdiction (including a NPDES permit).
10. The VBWD Engineer and Inspector shall be notified at least 3 days prior to commencement of work.
11. Erosion controls shall be installed prior to the commencement of grading operations and must be maintained throughout the construction period until turf is established. Additional erosion controls may be required, as directed by the VBWD Inspector or VBWD Engineer.
12. The following additional erosion controls shall be implemented on the site:
  - a. All proposed slopes 3 feet horizontal to 1 foot vertical (3H:1V) should be covered with erosion-control blanket.
  - b. Silt fence should follow existing contours as closely as feasible to limit the potential for gully erosion along the edges.
  - c. Any sediment that collects in storm sewers, ponds, or other water management features shall be removed.
  - d. If erosion occurs at the outlets of the storm sewer pipes, the applicant will be responsible for correcting the problem to the satisfaction of the VBWD.
13. To prevent soil compaction, the proposed infiltration area shall be staked off and marked during construction to prevent heavy equipment and traffic from traveling over it. If the infiltration facility is in place during construction activities, sediment and runoff shall be kept away from the facility, using practices such as diversion berms and vegetation around the facility's perimeter. The infiltration facility shall not be excavated to final grade until the contributing drainage area has been constructed and fully stabilized. The final phase of excavation shall remove all accumulated sediment and be done by light, tracked equipment to avoid compaction of the basin floor. To provide a well-aerated, highly porous surface, the soils of the basin floor shall be loosened to a depth of at least 24 inches to a maximum compaction of 85% standard proctor density prior to planting.
14. All disturbed areas shall be vegetated within 14 days of final grading.
15. The applicant is responsible for removal of all temporary erosion-control measures, including silt fence, upon establishment of permanent vegetation at the project site, as determined by the VBWD Engineer and/or Inspector.
16. Valley Branch Watershed District shall be granted drainage easements, which cover: (a) land adjacent to stormwater management facilities, wetlands, and lowlands up to their 100-year flood elevations and (b) all ditches, storm sewers, and maintenance access to the stormwater management facilities.



17. The minimum floor elevations for all buildable lots in the development shall be recorded in a Declaration of Covenants and Restrictions or on the final plat.
18. The required drainage easements and access easements shall be recorded with the Washington County Recorder's Office.
19. Return or allowed expiration of any remaining surety and permit close out is dependent on the permit holder providing proof that all required documents have been recorded (including but not limited to easements) and providing as-built drawings that show that the project was constructed as approved by the Managers and in conformance with the VBWD rules and regulations.

Thank you for your cooperation with the District's permit program.

Sincerely,

  
David J. Bucheck, President  
Valley Branch Watershed District

DJB/ymh

Enclosure

- c: Ray Marshall, VBWD Attorney  
Ray Roemmich, VBWD Inspector  
Molly Shodeen, MDNR  
Kyle Klatt, City Planning Director—City of Lake Elmo  
Jack Griffin, City Engineer, FOCUS Engineering—City of Lake Elmo  
Building Inspector—City of Lake Elmo  
Ryan Bluhm, Westwood Professional Services—Authorized Agent  
Ellie Hammes—Owner  
Nathan Campbell, Corps of Engineers  
Brad Johnson, MDNR  
Jed Chesnut, Washington Conservation District  
Brooke Haworth MDNR  
Ben Meyer, Minnesota Board of Water and Soil Resources  
Karen Wold, Barr Engineering Company  
Yvonne Huffman, Barr Engineering Company



## MINNESOTA DEPARTMENT OF NATURAL RESOURCES

## Public Waters Work Permit

Expiration Date: 08/27/2016

Permit Number

2015-0193

Pursuant to Minnesota Statutes, Chapter 103G, and on the basis of statements and information contained in the permit application, letters, maps, and plans submitted by the applicant and other supporting data, all of which are made part hereof by reference, **PERMISSION IS HEREBY GRANTED** to the applicant to perform actions as authorized below.

<b>Project Name:</b> Goose Lake shoreland berm	<b>County:</b> Washington	<b>Watershed:</b> Lower St. Croix River	<b>Resource:</b> Sand/Gravel Pit: Sand/Gravel Pit; Ditch: Ditch; Wetland: Goose (South) (82011302)	
<b>Purpose of Permit:</b> Harbor/Slip/Channel/Ditch Fill		<b>Authorized Action:</b> Place approximately 3,000 cubic yards of clean inorganic fill to create ditch block at the south end of Goose Lake to restore the shoreline to disconnect previously excavated gravel pit section from the lake; in accordance with plans received with the permit application 07-29-2014 and 08-06-2014.		
<b>Permittee:</b> HAMMES WEST LLC CONTACT: HAMMES, MR. 36 MOONLIGHT BAY STILLWATER, MN 55082 (651) 436-8656		<b>Authorized Agents (2):</b>  KELLY BOPRAY N7831 920TH STREET RIVER FALLS, WI 54022 (715) 307-4577 kjbopray@yahoo.com  JAMES GASPERINI 3121 ST. CROIX TRAIL SOUTH AFTON, MN 55001 (651) 436-8656 alo@aftonlaw.net		
<b>Property Description (land owned or leased or where work will be conducted):</b> UTM zone 15N, 507429m east, 4978468m north (centroid), SENE of Section 34, T29N, R21W				
<b>Authorized Issuer:</b> Molly Shodeen	<b>Title:</b> Area Hydrologist	<b>Issued Date:</b> 08/27/2014	<b>Effective Date:</b> 08/27/2014	<b>Expiration Date:</b> 08/27/2016

This permit is granted **subject** to the following **CONDITIONS**:

**APPLICABLE FEDERAL, STATE, OR LOCAL REGULATIONS:** The permittee is not released from any rules, regulations, requirements, or standards of any applicable federal, state, or local agencies; including, but not limited to, the U.S. Army Corps of Engineers, Board of Water and Soil Resources, MN Pollution Control Agency, watershed districts, water management organizations, county, city and township zoning.

**NOT ASSIGNABLE:** This permit is not assignable by the permittee except with the written consent of the Commissioner of Natural Resources.

**NO CHANGES:** The permittee shall make no changes, without written permission or amendment previously obtained from the Commissioner of Natural Resources, in the dimensions, capacity or location of any items of work authorized hereunder.

## **CONDITIONS** *(Continued from previous page)*

**SITE ACCESS:** The permittee shall grant access to the site at all reasonable times during and after construction to authorized representatives of the Commissioner of Natural Resources for inspection of the work authorized hereunder.

**TERMINATION:** This permit may be terminated by the Commissioner of Natural Resources at any time deemed necessary for the conservation of water resources of the state, or in the interest of public health and welfare, or for violation of any of the conditions or applicable laws, unless otherwise provided in the permit.

**COMPLETION DATE:** Construction work authorized under this permit shall be completed on or before the date specified above. The permittee may request an extension of the time to complete the project by submitting a written request, stating the reason thereof, to the Commissioner of Natural Resources.

**WRITTEN CONSENT:** In all cases where the permittee by performing the work authorized by this permit shall involve the taking, using, or damaging of any property rights or interests of any other person or persons, or of any publicly owned lands or improvements thereon or interests therein, the permittee, before proceeding, shall obtain the written consent of all persons, agencies, or authorities concerned, and shall acquire all property, rights, and interests needed for the work.

**PERMISSIVE ONLY / NO LIABILITY:** This permit is permissive only. No liability shall be imposed by the State of Minnesota or any of its officers, agents or employees, officially or personally, on account of the granting hereof or on account of any damage to any person or property resulting from any act or omission of the permittee or any of its agents, employees, or contractors. This permit shall not be construed as estopping or limiting any legal claims or right of action of any person other than the state against the permittee, its agents, employees, or contractors, for any damage or injury resulting from any such act or omission, or as estopping or limiting any legal claim or right of action of the state against the permittee, its agents, employees, or contractors for violation of or failure to comply with the permit or applicable conditions.

**EXTENSION OF PUBLIC WATERS:** Any extension of the surface of public waters from work authorized by this permit shall become public waters and left open and unobstructed for use by the public.

**WETLAND CONSERVATION ACT:** Where the work authorized by this permit involves the draining or filling of wetlands not subject to DNR regulations, the permittee shall not initiate any work under this permit until the permittee has obtained official approval from the responsible local government unit as required by the Minnesota Wetland Conservation Act.

**CONTRACTOR RESPONSIBILITY:** The permittee shall ensure the contractor has received and thoroughly understands all conditions of this permit. Contractors must obtain a signed statement from the property owner stating that permits required for work have been obtained or that a permit is not required, and mail a copy of the statement to the regional DNR Enforcement office where the proposed work is located. The Landowner Statement and Contractor Responsibility Form can be found at: <http://www.bwsr.state.mn.us/wetlands/wca/index.html#general>.

**INVASIVE SPECIES - EQUIPMENT DECONTAMINATION:** All equipment intended for use at a project site must be free of prohibited invasive species and aquatic plants prior to being transported into or within the state and placed into state waters. All equipment used in designated infested waters, shall be inspected by the Permittee or their authorized agent and adequately decontaminated prior to being transported from the worksite. The DNR is available to train inspectors and/or assist in these inspections. For more information refer to the "Best Practices for Preventing the Spread of Aquatic Invasive Species" at [http://files.dnr.state.mn.us/publications/ewr/invasives/ais/best\\_practices\\_for\\_prevention\\_ais.pdf](http://files.dnr.state.mn.us/publications/ewr/invasives/ais/best_practices_for_prevention_ais.pdf). Contact your regional Invasive Species Specialist for assistance at [www.mndnr.gov/invasives/contacts.html](http://www.mndnr.gov/invasives/contacts.html). A list of designated infested waters is available at [http://files.dnr.state.mn.us/eco/invasives/infested\\_waters.pdf](http://files.dnr.state.mn.us/eco/invasives/infested_waters.pdf). A list of prohibited invasive species is available at [www.mndnr.gov/eco/invasives/laws.html#prohibited](http://www.mndnr.gov/eco/invasives/laws.html#prohibited).

**EROSION AND SEDIMENT CONTROL:** In all cases, methods that have been determined to be the most effective and practical means of preventing or reducing sediment from leaving the worksite shall be installed in areas that slope to the water and on worksite areas that have the potential for direct discharge due to pumping or draining of areas from within the worksite (e.g., coffer dams, temporary ponds, stormwater inlets). These methods, such as mulches, erosion control blankets, temporary coverings, silt fence, silt curtains or barriers, vegetation preservation, redundant methods, isolation of flow, or other engineering practices, shall be installed concurrently or within 24 hours after the start of the project, and will be maintained for the duration of the project in order to prevent sediment from leaving the worksite. DNR requirements may be waived in writing by the authorized DNR staff based on site conditions, expected weather conditions, or project completion timelines.

**FISHERY PROTECTION - EXCLUSION DATES:** No activity affecting the bed of the protected water may be conducted between March 15 and June 30, to minimize impacts on fish spawning and migration. If work during this time is essential,



**CONDITIONS** *(Continued from previous page)*

it shall be done only upon written approval of the Area Fisheries Manager. See contact list at: [http://files.dnr.state.mn.us/fisheries/management/dnr\\_fisheries\\_managers.pdf](http://files.dnr.state.mn.us/fisheries/management/dnr_fisheries_managers.pdf). Should work begin elsewhere in the project area within these dates, all exposed soils that are within 200 feet of Public Waters and drain to those waters must complete erosion control measures within 24 hours of its disturbance to prevent sediment from entering Public Waters.

**MAINTENANCE:** Maintenance of this project to originally authorized conditions may be authorized by amendment to this permit.

**MONITORING:** The filled area shall be monitored for invasive species for a period of 5 years while the native vegetation is established. Planted area shall be monitored for species survival and replanted as necessary to maintain a robust planting.

**FLOATING SILT CURTAIN:** A floating silt curtain shall be placed in Goose Lake and maintained until the berm is stabilized with appropriate native vegetation.

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cc: Scott Arntzen, Conservation Officers, Forest Lake  
Jed Chesnut, SWCD  
Brooke Haworth, DNR Regional Environmental Assessment Ecologist, Region 3  
Tim Marion, DNR Wildlife, North Metro  
TJ DeBates, DNR Fisheries, East Metro Area  
Michael Welling, County, Washington  
John Hanson, Watershed District, VALLEY BRANCH WD  
Tom Hingsberger, Corps of Engineers, Washington  
Jay Riggs, SWCD, Washington Conservation District  
Dean Zuleger, City, Lake Elmo

## **MINUTES**

### **City of Lake Elmo Park Commission Monday, July 21, 2014**

**Members Present:** Hartley, Nelson, Ames, Weis, Zeno, Silvernale, Hietpas (6:34 pm)

**Members Absent:** Steele, Frick

**Others Present:** Planning Commissioner Larson, Taxpayer Relations & Communications Coordinator MacLeod, PWS Bouthilet, Park Maintainer Colemer, Councilmember Reeves, City Administrator Zuleger, Planning Intern Catherine Riley

The meeting was called to order by Chair Weis at 6:30 PM.

#### **Approval of Agenda**

Ames asked to add an item after VI.c - Sunfish Lake Park task force to discuss maintenance and entrance issues in park areas 2 & 3.

**M/S/P: Hartley/Ames: Approved as amended 6-0**

#### **Approval of June 16, 2014 Minutes**

Ames asked to change the word "toilet" to "toilets" on page three under item b.

**M/S/P: Ames/Hartley: Approved as amended 6-0**

#### **Presentations**

##### **a. 2014 Trail Audit - Riley**

Riley presented a trail audit packet that she has worked on. The plan discussed benefits of trails in a community, and emphasized the importance that the city trail system tie into regional trail systems. The audit was conducted on existing and future trails and detailed quality and material of the trails, rated on the PASER system.

Ames stated that he thought Riley did a great job, and felt it was a helpful update and provides insight that hadn't been addressed before. Ames asked if it would be appropriate to consider the trail system within the park reserve. Riley responded that there would likely be a lot of red tape to navigate around, but thought that it would be worth opening up that discussion. Ames referenced the existing trail system and felt that it was not an actual system, but more a series of groupings. He expressed that they need to be mindful going forward to make sure that they trails are connecting. Ames suggested that incoming developers are told up front about the philosophy to connect trails outside for each neighborhood.

Zuleger commented that the new 5<sup>th</sup> Street plan would include a connecting trail and felt that the key was to continue to work on the Lake Elmo Regional trail system.

Ames thought it might be worth approaching HOAs to see if they would like the City to take over maintenance of their private trails, as there is a high cost to maintain them. Riley responded that the planning department has approached HOAs about trail ownership and have received a mixed response, some negative. Zuleger stated that if the city were to take over maintenance on the trails, it is assumed that they would become public trails, and some HOAs are against that; would like to keep their trails private

Zeno added that he didn't think acquisition of HOA trails needed to be an all or nothing thing. That some of the HOA trails wouldn't necessarily contribute to the regional trail plan. Zeno also commented that if HOAs refused to make their trails public he advises that the City would build the trail system around those neighborhoods.

**a. Park Sign Update (MacLeod)**

MacLeod shared that two signs were finished (Reid and Pebble) and picked up earlier that day. The rest of the signs are anticipated to be completed by the first week of August, with Sunfish Lake Park being the next in line for completion. An amenity panel for one of the signs was in the council chambers for the commission to view.

**b. LERT Update (Weis)**

Weis stated that city planner Johnson has continued to talk to Washington County and that they are working on the west side access plan. Zuleger added that the LERT is currently on hold but the city has been talking with the county about being incorporated into the master plan to be considered by the Met Council. Zuleger added that Met Council Park and Open Space Chair, former Mayor Johnston, recently dropped off a copy of the master plan, which has been serving as a guide for next steps.

Hietpas referenced the search corridor and stated that the LERT was not currently part of that plan. She commented that regionally, there are a lot of trails going on in other areas, but hardly anything in Washington County and she would like to see more priority placed on Lake Elmo trails at a county level. Weis commented on other communities coming forward and that trail plan requests are becoming more prevalent in the county.

Ames asked what the next steps are. Zuleger responded that the city has been requesting that the search corridor be included as a key corridor in the county's trail plan between Oakdale and Stillwater, connecting to a regional park. The City is continuing to have conversations with the county about the best way to access the Lake Elmo Park Reserve. Weis has offered to present the LERT presentation to the County to keep the ball rolling. He emphasized that it is important to get included in the plan because it will open up a lot of funding opportunities.

**c. Hammes Park Space (Zuleger)**

Zuleger stated that there was an item not on the agenda that needed to be addressed: The Hammes subdivision park space. To recap, Zuleger shared that per previous discussion and in response to the commission's request, the Hammes developers had placed the park in the northwest corner of the development near Keats Avenue and Goose Lake. The proposed park space includes a fishing pier, shelter, grill, parking lot and is also where the lift station is located. Currently the plan does not include a play structure, which was initially requested by the park commission as a condition of approval. The Hammes developers are seeking input from the commission as to what type of play structure to include, and if they could receive credit for parkland dedication if the structure was included. Zuleger continued to point out additional green/meeting spaces within the development and the 100' buffer perimeter per the comp plan (including a trail).

Ames thought he remembered a small park internally in the neighborhood that would have a play structure. He is not sure that a play structure near a 55 mph roadway is a good place for a play structure. Ames also questioned where neighborhood children would play, as lot sizes looked small to consider private play sets.

Zuleger pointed out that the Lake Elmo Park Reserve was located a mile north of the development, with a phenomenal play set. Ames stated that he didn't feel current playgrounds were within reasonable walking distance for residents. Hietpas shared that she didn't feel that the green spaces included throughout the development were large enough for community meeting spaces.

Zuleger pointed out the location of neighboring parks in Stonegate and Lennar neighborhoods.

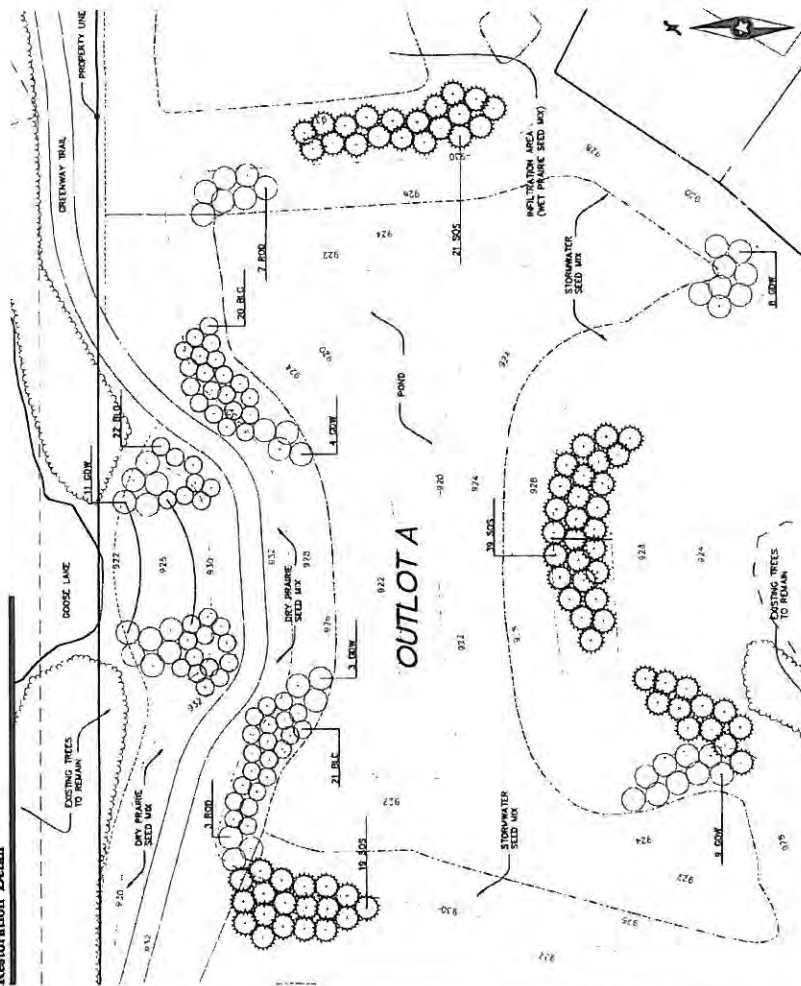
The commission requested that a location central in the neighborhood be considered for play structure placement. Zuleger said that he would forward their comments to the developers.

**Meeting adjourned at 9:54 PM**

Respectfully Submitted,  
Alyssa MacLeod, Recording Secretary



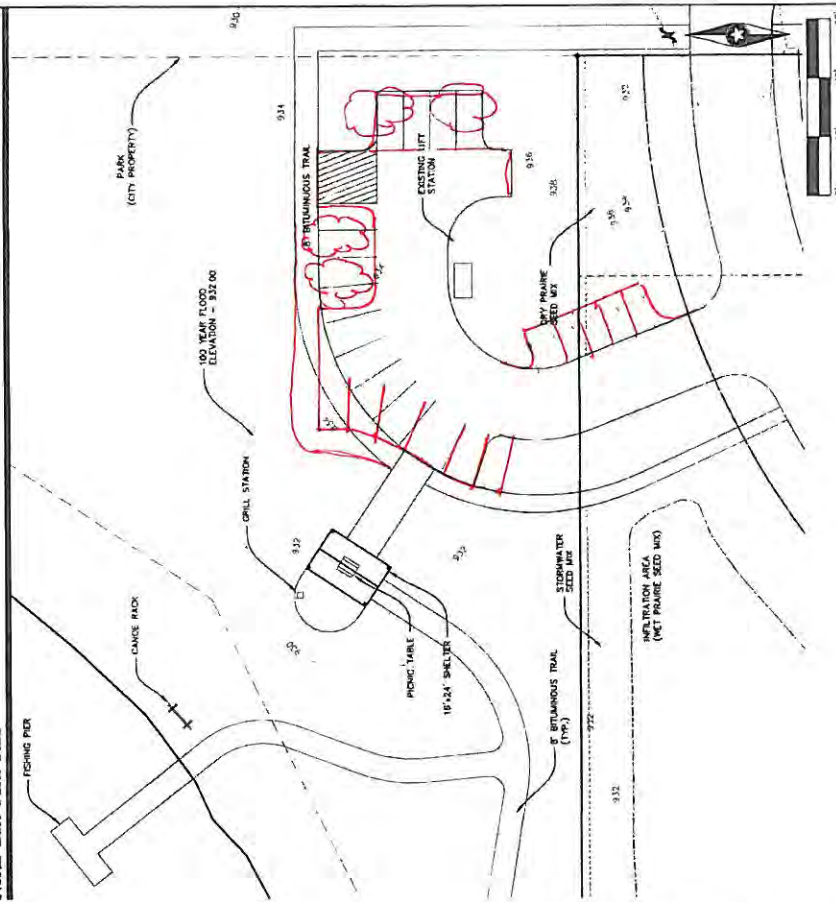
## Rentation Detail



### Restoration Detail Pinal Plant Schedule

CONSUMPTION/FINANCIAL UNIT	1990	1991	1992	1993	1994	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100	2101	2102	2103	2104	2105	2106	2107	2108	2109	2110	2111	2112	2113	2114	2115	2116	2117	2118	2119	2120	2121	2122	2123	2124	2125	2126	2127	2128	2129	2130	2131	2132	2133	2134	2135	2136	2137	2138	2139	2140	2141	2142	2143	2144	2145	2146	2147	2148	2149	2150	2151	2152	2153	2154	2155	2156	2157	2158	2159	2160	2161	2162	2163	2164	2165	2166	2167	2168	2169	2170	2171	2172	2173	2174	2175	2176	2177	2178	2179	2180	2181	2182	2183	2184	2185	2186	2187	2188	2189	2190	2191	2192	2193	2194	2195	2196	2197	2198	2199	2200	2201	2202	2203	2204	2205	2206	2207	2208	2209	2210	2211	2212	2213	2214	2215	2216	2217	2218	2219	2220	2221	2222	2223	2224	2225	2226	2227	2228	2229	2230	2231	2232	2233	2234	2235	2236	2237	2238	2239	2240	2241	2242	2243	2244	2245	2246	2247	2248	2249	2250	2251	2252	2253	2254	2255	2256	2257	2258	2259	2260	2261	2262	2263	2264	2265	2266	2267	2268	2269	2270	2271	2272	2273	2274	2275	2276	2277	2278	2279	2280	2281	2282	2283	2284	2285	2286	2287	2288	2289	2290	2291	2292	2293	2294	2295	2296	2297	2298	2299	2300	2301	2302	2303	2304	2305	2306	2307	2308	2309	2310	2311	2312	2313	2314	2315	2316	2317	2318	2319	2320	2321	2322	2323	2324	2325	2326	2327	2328	2329	2330	2331	2332	2333	2334	2335	2336	2337	2338	2339	2340	2341	2342	2343	2344	2345	2346	2347	2348	2349	2350	2351	2352	2353	2354	2355	2356	2357	2358	2359	2360	2361	2362	2363	2364	2365	2366	2367	2368	2369	2370	2371	2372	2373	2374	2375	2376	2377	2378	2379	2380	2381	2382	2383	2384	2385	2386	2387	2388	2389	2390	2391	2392	2393	2394	2395	2396	2397	2398	2399	2400	2401	2402	2403	2404	2405	2406	2407	2408	2409	2410	2411	2412	2413	2414	2415	2416	2417	2418	2419	2420	2421	2422	2423	2424	2425	2426	2427	2428	2429	2430	2431	2432	2433	2434	2435	2436	2437	2438	2439	2440	2441	2442	2443	2444	2445	2446	2447	2448	2449	2450	2451	2452	2453	2454	2455	2456	2457	2458	2459	2460	2461	2462	2463	2464	2465	2466	2467	2468	2469	2470	2471	2472	2473	2474	2475	2476	2477	2478	2479	2480	2481	2482	2483	2484	2485	2486	2487	2488	2489	2490	2491	2492	2493	2494	2495	2496	2497	2498	2499	2500	2501	2502	2503	2504	2505	2506	2507	2508	2509	2510	2511	2512	2513	2514	2515	2516	2517	2518	2519	2520	2521	2522	2523	2524	2525	2526	2527	2528	2529	2530	2531	2532	2533	2534	2535	2536	2537	2538	2539	2540	2541	2542	2543	2544	2545	2546	2547	2548	2549	2550	2551	2552	2553	2554	2555	2556	2557	2558	2559	2560	2561	2562	2563	2564	2565	2566	2567	2568	2569	2570	2571	2572	2573	2574	2575	2576	2577	2578	2579	2580	2581	2582	2583	2584	2585	2586	2587	2588	2589	2590	2591	2592	2593	2594	2595	2596	2597	2598	2599	2600	2601	2602	2603	2604	2605	2606	2607	2608	2609	2610	2611	2612	2613	2614	2615	2616	2617	2618	2619	2620	2621	2622	2623	2624	2625	2626	2627	2628	2629	2630	2631	2632	2633	2634	2635	2636	2637	2638	2639	2640	2641	2642	2643	2644	2645	2646	2647	2648	2649	2650	2651	2652	2653	2654	2655	2656	2657	2658	2659	2660	2661	2662	2663	2664	2665	2666	2667	2668	2669	2670	2671	2672	2673	2674	2675	2676	2677	2678	2679	2680	2681	2682	2683	2684	2685	2686	2687	2688	2689	2690	2691	2692	2693	2694	2695	2696	2697	2698	2699	2700	2701	2702	2703	2704	2705	2706	2707	2708	2709	2710	2711	2712	2713	2714	2715	2716	2717	2718	2719	2720	2721	2722	2723	2724	2725	2726	2727	2728	2729	2730	2731	2732	2733	2734	2735	2736	2737	2738	2739	2740	2741	2742	2743	2744	2745	2746	2747	2748	2749	2750	2751	2752	2753	2754	2755	2756	2757	2758	2759	2760	2761	2762	2763	2764	2765	2766	2767	2768	2769	2770	2771	2772	2773	2774	2775	2776	2777	2778	2779	2780	2781	2782	2783	2784	2785	2786	2787	2788	2789	2790	2791	2792	2793	2794	2795	2796	2797	2798	2799	2800	2801	2802	2803	2804	2805	2806	2807	2808	2809	2810	2811	2812	2813	2814	2815	2816	2817	2818	2819	2820	2821	2822	2823	2824	2825	2826	2827	2828	2829	2830	2831	2832	2833	2834	2835	2836	2837	2838	2839	2840	2841	2842	2843	2844	2845	2846	2847	2848	2849	2850	2851	2852	2853	2854	2855	2856	2857	2858	2859	2860	2861	2862	2863	2864	2865	2866	2867	2868	2869	2870	2871	2872	2873	2874	2875	2876	2877	2878	2879	2880	2881	2882	2883	2884	2885	2886	2887	2888	2889	2890	2891	2892	2893	2894	2895	2896	2897	2898	2899	2900	2901	2902	2903	2904	2905	2906	2907	2908	2909	2910	2911	2912	2913	2914	2915	2916	2917	2918	2919	2920	2921	2922	2923	2924	2925	2926	2927	2928	2929	2930	2931	2932	2933	2934	2935	2936	2937	2938	2939	2940	2941	2942	2943	2944	2945	2946	2947	2948	2949	2950	2951	2952	2953	2954	2955	2956	2957	2958	2959	2960	2961	2962	2963	2964	2965	2966	2967	2968	2969	2970	2971	2972	2973	2974	2975	2976	2977	2978	2979	2980	2981	2982	2983	2984	2985	2986	2987	2988	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2028	1	1
2029	1	1
2030	1	1



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**Hammes Estates Development  
Located West Of Keats Avenue North  
Lake Elmo, Minnesota 55042  
Element Materials Technology St. Paul Inc. Project No. ESP015780P**

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**FIELD OBSERVATION**

On 5/6/14 approximately 90 yds<sup>3</sup> of soil was excavated below a former wash conveyor line located at Latitude = 44° 57.501', Longitude = -90° 54.348', Elevation 938'. The recent discovery of petroleum impacted soil was promptly reported to the Minnesota Duty Officer under Duty Officer report #141426. Consistent with the standards and practices set forth by the MPCA, the soil was excavated then placed under and atop non-permeable polypropylene sheeting pending offsite landfill approval. Additional soil was then incorporated from another recent onsite contractor diesel fuel spill located at UTM coordinates 507425.87 meters easting, 4978168.15 meters northing. Both of these removal excavations were administered under the direction of an environmental professional using a Photoionization Detector (PID) to screen the soils. Whereas the areas were excavated until the native soil background levels in the base & sidewalls were free of any detectible PID levels. These recent spill episodes were excavated from the site in a timely manner such that no measureable levels of contamination remain onsite under and around these spill areas. Confirmation lab work of the stockpiled soil was then collected prior to the permitting of said soil for proper offsite disposal. On 8/6/14 & 8/7/14, 161 yds<sup>3</sup> of petroleum soil was transported to the SKB landfill in Rosemount, MN for proper disposal.

**CONCLUSIONS AND RECOMMENDATIONS**

The recent onsite cleanup measures were successful in the **complete excavation** of petroleum impacted soils. In-so far as the base and sidewalls under the "knee deep" excavations exhibited no detectible levels of petroleum vapors.

The earthwork contractor was hereby advised to fuel their equipment over areas equipped with a non-permeable poly "spill shield" or similar containment as to eliminate the risk of adverse environmental impacts to the soils. Our frequent onsite inspections have not seen any repeated spillages at the site.

At the time of this field observation, no additional investigation or cleanup measures have been required in association with this recent reported spill. Since both of the "post excavation" base and sidewall test samples were below the 10 parts per million PID values set forth by MPCA guidance 3-01, no additional investigation or cleanup measures is anticipated or required.

**STANDARD OF CARE**

Services performed for this project have been conducted in a manner consistent with the level of care and skill ordinarily exercised by members of the profession currently practicing in this area under similar budget and time constraints. No warranties, expressed or implied, are made. The material contained in this report is to be considered confidential. Distribution, sale or publication of this report or any part thereof without the expressed written consent of Element Materials Technology St. Paul, Inc. is prohibited. Additional copies of this report and their associated reliance letters may be obtained by contacting Element Materials Technology St. Paul Inc.

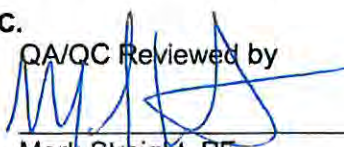
**ELEMENT MATERIALS TECHNOLOGY ST. PAUL INC.**

Report Prepared By:



Mike Malinowski, CES  
Certified Environmental Specialist

QA/QC Reviewed by



Mark Straight, PE  
Senior Project Engineer  
MN Reg. No. 41658

9/17/2014  
Date



JEWEL AVENUE NORTH

GOOSE LAKE

