



PLANNING COMMISSION
DATE: 4/13/15
AGENDA ITEM: 5A – BUSINESS ITEM
CASE # 2015-13

ITEM: Hunter's Crossing 2nd Addition Final Plat

SUBMITTED BY: Kyle Klatt, Planning Director

REVIEWED BY: Nick Johnson, City Planner
Jack Griffin, City Engineer

SUMMARY AND ACTION REQUESTED:

The Planning Commission is being asked to consider a Final Plat request from The Ryland Group for the second (and final) phase of a planned 51 unit residential development to be called Hunter's Crossing. The proposed subdivision is located within the original 23.10 acre parcel immediately east of Lake Elmo Avenue and approximately ¼ mile north of Interstate 94. The final plat includes 29 single-family lots located within the southern portion of the overall subdivision area. Staff is recommending approval of the request subject to compliance with the conditions listed in this report.

GENERAL INFORMATION

Applicant: The Ryland Group (Tracey Rust), 7599 Anagram Drive, Eden Prairie, MN

Property Owners: The Ryland Group (Tracey Rust), 7599 Anagram Drive, Eden Prairie, MN

Location: Part of Section 36 in Lake Elmo, north of I-94, east of Lake Elmo Avenue, and south of the Cimarron Golf Course property. North of 275 Lake Elmo Avenue North. PID Number 36.029.21.32.0033

Request: Application for final plat approval of a 29 unit residential subdivision to be named Hunter's Crossing 2nd Addition.

Existing Land Use and Zoning: Larger platted outlot within the Hunters Crossing preliminary plat are – undeveloped land. Current Zoning: LDR – Low Density Residential

Surrounding Land Use and Zoning: North – Hunters Crossing (first phase), vacant land, and Cimarron Manufactured Home Park; East – Trans-City industrial building; West – The Forest residential subdivision; South – currently vacant/agricultural but future site of proposed Air Lake Development business park; also two existing home sites located adjacent to development along Lake Elmo Avenue

Comprehensive Plan: Urban Low Density Residential (2.5 – 3.99 units per acre)

History: Sketch Plan reviewed by Planning Commission on 9/23/13. The site has historically been used for a golf driving range and practice facility. The City approved a

Conditional Use Permit for the driving range in 1990, and this permit, which is no longer valid, has been amended at least twice since this date. At some point in the past, the home in the extreme northwestern portion of the site (and outside the area to be platted) was split off from the larger parcel. The preliminary plat was approved by the City Council on July 1, 2014, and the final plat for the first phase of Hunters Crossing was approved on September 16, 2014.

Deadline for Action: Application Complete – 3/9/15
 60 Day Deadline – 5/9/15
 Extension Letter Mailed – No
 120 Day Deadline – 7/9/15

Applicable Regulations: Chapter 153 – Subdivision Regulations
 Article 10 – Urban Residential Districts (LDR)
 §150.270 Storm Water, Erosion, and Sediment Control

REQUEST DETAILS

The City of Lake Elmo has received a request from The Ryland Group for final plat approval of the second phase of the Hunter's Crossing residential subdivision. The area to be platted represents a little over half of the lots that were approved with the preliminary plat, and will include 29 single-family lots. All outlots for storm water management facilities, trails, and other common features were previously approved as part of the initial final plat. The City approved the Hunter's Crossing Preliminary Plat on July 1, 2014, and the final plat represents the southern portion of the overall area to be subdivided. The applicant has provided a detailed project narrative (attached) that provides summary of the request with information updated from the preliminary plat review where appropriate.

Hunters Crossing 2nd Addition will be located south of the first subdivision phase, which is situated immediately adjacent to the planned 5th Street minor collector route. The second addition will complete the planned looped road through the development and tie back into the portion of Laverne Avenue North that eventually connects to 5th Street. There have been no changes to the arrangement or location of lots as depicted on the preliminary plat.

When the applicant submitted the final plat for the first addition of Hunters Crossing, the associated construction plans did not include any portion of 5th Street that is planned along the northern boundary of the platted area. The developer asked to use an existing private access into the development for the first phase with the understanding that his temporary access road would be eliminated when the second phase was constructed. The second addition plans include the construction of 5th Street, which as proposed, would be split into two project phases so that the applicant could build the southern portion of the road at the same time as the Hunters Crossing 2nd Addition improvements. Lennar, which is planning to build townhouses on the property north of Hunters Crossing, cannot develop its land without the 5th Street improvements in place or under construction.

The 5th Street project is unique because the right-of-way for 5th Street straddles the boundary between the Ryland property to the south and the land that Lennar will be developing for townhouses to the north. Both parties have stated that they would prefer to build 5th Street as one project and share the costs for this construction rather than building half of the road with each development. In order to keep the Hunters Crossing project moving forward, Staff has previously agreed to allow the split

construction of 5th Street, but is strongly recommending that both parties reach agreement to build the entire road in one phase. In either case, the applicant will be providing public access to Hunters Crossing via 5th Street with this plat and will need to eliminate the private access road along Lake Elmo Avenue once 5th Street is open for traffic. Please note that the City's preliminary plat approval authorized the use of this temporary access to serve up to 25 lots. Because the 2nd Addition will include the construction of 5th Street, this condition will be met with the City's acceptance of all final plat improvements. Washington County does expect the temporary access to be eliminated once 5th Street is in place.

Consistent with the approved preliminary plat, the final plat does not include either of the two exception parcels along Lake Elmo Avenue, both of which will be provided with potential future connections to the streets internal to Hunters Crossing. As depicted in the attached plans, the southwest exception parcel will have access to Langley Avenue North via Outlot A; access to the other exception parcel was platted as part of the first addition. In both cases, these parcels will still be allowed to access Lake Elmo Avenue until they are redeveloped at some point in the future (both are guided for Medium Density Residential development).

The applicant has provided an updated landscape plan for both the first and second additions that addresses previous review comments from the City's landscape architecture consultant. Staff is waiting for final approval of these plans from the consultant, which are expected to meet the developer's requirements for landscaping within the overall project area. In terms of public park land dedication, the preliminary plat was approved without the dedication of land and the City and developer agreed to a cash payment in lieu of any land dedication (minus a credit for the construction of a public trail within the project area). The developer's agreement for the first addition allowed the developer to divide the cash payments to the City between the two project phases.

The grading plans for the first addition included the mass grading work for the portion of the site that is being platted as the second addition; therefore, the submitted construction plans do not duplicate and work that was previously approved by the City. The applicant has submitted detailed construction plans related to sanitary sewer, water main, storm sewer, landscaping, and other details that have been reviewed by City Staff.

The City's subdivision ordinance establishes the procedure for obtaining final subdivision approval, in which case a final plat may only be reviewed after the City takes action on a preliminary plat. As long as the final plat is consistent with the preliminary approval, it must be approved by the City. Please note that the City's approval of the Hunters Crossing Preliminary Plat did include a series of conditions that must be met by the applicant, which are addressed in the "Review and Analysis" section below. There are no public hearing requirements for a final plat.

The City's zoning map for all of the area included in the preliminary plat for Hunters Crossing 2nd Addition has previously been updated to be consistent with the City's Comprehensive Plan. All of the site is zone LDR – Urban Low Density Residential, and the proposed lots, setbacks, streets, and other plan elements have been found to be consistent with the LDR district requirements.

Staff has reviewed the final plat and found that it is consistent with the preliminary plat that was approved by the City. Please note that the final plat now includes proposed street names as recommended by the Planning Department. The City Engineer has reviewed the construction plans plat, and these comments are attached to this report. Although there are some additional revisions to these plans that will need to be addressed by the applicant, all of these revisions can be made before the City releases the final plat for recording.

REVIEW AND ANALYSIS

The preliminary plat for Hunters Crossing was approved with several conditions, which are indicated below along with Staff's comments on the status of each. The applicant has also provided overall narrative for the project with additional details concerning the work that will be performed within the 2nd Addition. Staff is recommending approval of the final plat with conditions intended to address the outstanding issues that will require additional review and/or documentation. In order to assist the Planning Commission with its review, Staff is also including a summary the critical issues that need to be resolved for the subdivision to move forward.

Critical Issues Summary:

- 1) The developer has submitted construction plans for 5th Street that splits the project into two distinct phases (north and south). This would allow the project to move forward in case the two developers with parcels adjacent to 5th Street, Ryland and Lennar, cannot reach agreement to build the entire road as one project. Both parties have indicated that they intend to work together on this project, and Staff will continue to help facilitate a joint project as needed.
- 2) Washington County has previously submitted comments concerning the improvements necessary within the Lake Elmo Avenue right-of-way at 5th Street. These improvements will need to be incorporated into the final construction plans for 5th Street and the developer has consented to make any improvements as required by the County.
- 3) All other recommended conditions of approval relate to final details that must be addressed by the applicant and can be handled prior to release of the final plat for recording.

Preliminary Plat Conditions – With Staff Update Comments (updated information in bold italics):

- 1) Within six months of preliminary plat approval, the applicant shall complete the following: a) the applicant shall provide adequate title evidence satisfactory to the City Attorney; and b) the applicant shall pay all fees associated with the preliminary plat. The above conditions shall be met prior to the City accepting an application for final plat and prior to the commencement of any grading activity on the site. ***Comments: a) title work has previously been submitted and reviewed by the City Attorney; b) the applicant has submitted an escrow payment related to the preliminary plat application that is being used to cover Staff and consultant expenses related to the City's review.***
- 2) The landscape plan and tree preservation plan shall be reviewed and approved by an independent forester or landscape architect in advance of the approval of a final plat and final construction plans. ***Comment: the applicant has submitted an updated landscape plan for both the first and second phases of Hunters Crossing that addresses previous comments from the City. The updated plans are being reviewed by the City's landscape consultant and will need to be finalized before landscape work commences on the site.***
- 3) The final landscape plan shall incorporate additional planting where feasible adjacent to the shared property lines with the parcels at 404 and 275 Lake Elmo Avenue North. ***Comments: The final landscape plan includes additional plantings along the southwestern property boundary. The number of plantings along the northwestern property boundary is similar to the***

preliminary plat; however, the location of the future access in this location (Outlot B) limits the developer's ability to add substantially more plantings along this boundary.

- 4) The applicant shall be responsible for updating the final construction plans to include the construction of all improvements within the Lake Elmo Avenue (CSAH 17) right-of-way as required by Washington County and further described in the review letter received from the County dated June 17, 2014. The required improvements shall include, but not be limited to the construction of a northbound right turn lane and southbound center turn lane. ***Comments: The 5th Street Plans will need to be updated to address all review comments from Washington County. The developer will need to secure a permit from the County to make the proposed connection to Lake Elmo Avenue from 5th Street.***
- 5) The developer shall follow all of the rules and regulations spelled out in the Wetland Conservation Act, and shall acquire the needed permits from the Valley Branch Watershed District prior to the commencement of any grading or development activity on the site. ***Comments: The applicant has received a permit from the Valley Branch Watershed District (attached) for the grading work proposed in the final plans. Grading work has commenced under this permit.***
- 6) The applicant shall enter into a maintenance agreement with the City that clarifies the individuals or entities responsible for any landscaping installed in areas outside of land dedicated as public park and open space on the final plat. ***Comments: The applicant has indicated that there will be a homeowner's association created for this development; the declarations and HOA documents were recorded with the first addition final plat. A maintenance agreement and evidence that the HOA has been established should be retained as a condition of approval for the final plat.***
- 7) The developer shall be required to pay a fee in lieu of park land dedication equivalent to the fair market value for the amount of land that is required to be dedicated for such purposes in the City's Subdivision Ordinance less the amount of land that is accepted for park purposes by the City. Any cash payment in lieu of land dedication shall be paid by the applicant prior to the release of the final plat for recording. ***Comments: The applicant will be required to pay the required fee in lieu of land dedication to recording the final plat. Because the project is being split into at least two final plats, the park fees will be pro-rated based on the percentage of lots being platted within the overall development.***
- 8) Any land under which paved public trails are located will be accepted as park land provided the developer constructs said paved trails as part of the public improvements for the subdivision. ***Comments: Staff is recommending that this condition be merged with the above condition for the final plat.***
- 9) The temporary access to Lake Elmo Avenue must be eliminated when access to 5th Street is provided. The City will not issue building permits for more than 25 lots within Hunter's Crossing until such time that the temporary access is closed. ***Comments: With this condition in place, the developer will be able to build out all homes in the first addition and three additional homes in the second addition (or some other combination to reach 25 homes) before 5th Street is completed and accepted by the City.***

- 10) The applicant must enter into a separate grading agreement with the City prior to the commencement of any grading activity in advance of final plat and plan approval. The City Engineer shall review any grading plan that is submitted in advance of a final plat, and said plan shall document extent of any proposed grading on the site. ***Comments: Grading work on the site has been completed under the plans approved with the first addition.***
- 11) All required modifications to the plans as requested by the City Engineer in a review letter dated May 23, 2014 shall be incorporated into the plans prior to consideration of a final plat. ***Comments: Revised plans have been submitted for review, and the attached comments from the City Engineer provide a response to the updated plans. All final revisions and modifications as requested by the City Engineer must be addressed by the applicant before the plat will be released for recording. The majority of the Engineer's comments will require minor modifications to the plans and specifications and are not unusual at this detailed level of review. Please note that the City Engineer's review included both the final plat and the related construction plans for 5th Street. The City Engineer did not have any final plat review comments.***
- 12) The applicant is encouraged to preserve or re-use as many trees as possible that are currently located on the property and to incorporate these trees as part of the landscape plan for the subdivision. ***Comments: Given the tight confines of the project area and the need to meet City and watershed district storm water requirements, there are relatively few opportunities to incorporate existing trees into the development. The applicant has stated that they will preserve or re-use trees if possible.***
- 13) The applicant shall provide written consent from the adjacent property owner to the north agreeing to the grading and storm sewer work depicted on this property. ***Comments: The applicant has stated that they will work with this property owner if any grading is necessary to construct the 5th Street improvements. Because Lennar Homes will be submitted a preliminary plat on this parcel later this spring, the required grading work and/or easements to facility grading on this site will be provided as part of a Lennar subdivision.***
- 14) Water improvements must be available to serve the subdivision. ***Comments: Water service has been extended to the site as part of a public improvement project. Ryland has previously agreed to pay the Water Availability Charge for the entire development prior to recording the first phase final plat.***
- 15) The applicant shall pay a Water Availability Charge consistent with the Lake Elmo Fee Schedule for the entire development prior to the release of the final plat for recording, regardless of project phasing. ***Comments: Please see note above.***

Staff is recommending that the conditions noted above that pertain to the final plat and that have not yet been addressed by the applicant should be adopted with the final plat. The City Engineer's review letters identify several issues that need to be addressed by the developer in order for the City to deem the final plans complete; however, all of these concerns are related to the construction plans and will not have any bearing on the final plat. Staff is recommending that City Officials not sign the final plat mylars until the City's construction plan review is finalized and all necessary easements are documented on the final plat.

Based on the above Staff report and analysis, Staff is recommending approval of the final plat with several conditions intended to address the outstanding issues noted above and to further clarify the City's expectations in order for the developer to proceed with the recording of the final plat.

The recommended conditions are as follows:

Recommended Conditions of Approval:

- 1) Final grading, drainage, and erosion control plans, utility plans, sanitary and storm water management plans, and street and utility construction plans shall be reviewed and approved by the City Engineer prior to the recording of the Final Plat. All changes and modifications to the Hunters Crossing 2nd Addition and 5th Street Construction plans requested by the City Engineer in review letters dated 4/2/15 and 4/3/15 shall be incorporated into these documents before they are approved.
- 2) Prior to the execution of the Final Plat by City officials, the Developer shall enter into a Developer's Agreement acceptable to the City Attorney and approved by the City Council that delineates who is responsible for the design, construction, and payment of the required improvements with financial guarantees therefore.
- 3) All easements as requested by the City Engineer and Public Works Department shall be documented on the Final Plat prior to the execution of the final plat by City Officials.
- 4) A Common Interest Agreement concerning management of the common areas of Hunter's Crossing and establishing a homeowner's association shall be submitted in final form to the Community Development Director before a building permit may be issued for any structure within this subdivision. The applicant shall also enter into a maintenance agreement with the City that clarifies the individuals or entities responsible for any landscaping installed in areas outside of land dedicated as public park and open space on the final plat
- 5) The final landscape plan shall be subject to review and approval by the Community Development Director.
- 6) The final construction plans for 5th street shall include the construction of all improvements within the Lake Elmo Avenue (CSAH 17) right-of-way as required by Washington County and further described in the review letter received from the County dated September 2, 2014.
- 7) The developer is encouraged to incorporate elements from the Lake Elmo Theming Study into the final design of the community mailboxes within Hunter's Crossing.
- 8) The developer shall pay a fee in lieu of park land dedication equivalent to the fair market value for the amount of land that is required to be dedicated for such purposes in the City's Subdivision Ordinance less the amount of land that is accepted for park purposes (or trails) by the City. Any cash payment in lieu of land dedication shall be pro-rated based on the percentage of the overall lots to be platted within the subdivision and shall be paid by the applicant prior to the release of the final plat for recording.
- 9) The applicant shall deed Outlot A, to the City upon recording of the final plat.

DRAFT FINDINGS

Staff is recommending that the Planning Commission consider the following findings with regards to the proposed Hunters Crossing 2nd Addition Final Plat:

- That the Hunters Crossing 2nd Addition final plat is consistent with the Lake Elmo Comprehensive Plan and the Future Land Use Map for this area.
- That the Hunters Crossing 2nd Addition final plat complies with the City's Urban Low Density Residential zoning districts.
- That the Hunters Crossing 2nd Addition final plat complies with all other applicable zoning requirements, including the City's landscaping, storm water, sediment and erosion control and other ordinances with the exceptions as noted in the above report.
- That the Hunters Crossing 2nd Addition final plat complies with the City's subdivision ordinance.
- That the Hunters Crossing 2nd Addition final plat is consistent with the City's engineering standards provided the plans are updated to address the City Engineer's comments documented in a letters dated April 2 and April 3, 2015.

RECCOMENDATION:

Staff recommends that the Planning Commission recommend approval of the Final Plat for Hunters Crossing 2nd Addition with the 9 conditions of approval as listed in the Staff report. Suggested motion:

“Move to recommend approval of the Hunters Crossing 2nd Addition Final Plat with the 9 conditions of approval as drafted by Staff”

ATTACHMENTS:

1. Application Form
2. Application Narrative
3. City Engineer Review Letters – 4/2/15 and 4/3/15
4. Hunter's Crossing Final Plat
5. Construction Plans: Utility and Street Construction
6. Final Landscape Plans
7. 5th Street Construction Plans (Partial – Full Plans Available Online)

ORDER OF BUSINESS:

- IntroductionPlanning Staff
- Report by StaffPlanning Staff

- Questions from the Commission Chair & Commission Members
- Public CommentsChair
- Discussion by the Commission Chair & Commission Members
- Action by the Commission..... Chair & Commission Members

MEMORANDUM

FOCUS ENGINEERING, inc.

Cara Geheren, P.E. 651.300.4261
Jack Griffin, P.E. 651.300.4264
Ryan Stempski, P.E. 651.300.4267
Chad Isakson, P.E. 651.300.4283

Date: April 2, 2015

To: Kyle Klatt, Planning Director
Cc: Jack Griffin, P.E., City Engineer

Re: Hunters Crossing 2nd Addition
Construction Plan Review

From: Ryan Stempski, P.E., Assistant City Engineer

An engineering review has been completed for the Hunters Crossing 2nd Addition. The submittal and review consisted of the following documentation prepared by Pioneer Engineering:

- Hunters Crossing 2nd Addition Final Plat, not dated.
- Construction Plans dated December 23, 2014 with a print date of March 5, 2015.
- Storm Sewer Chart dated July 25, 2014.

NOTE: A plan review for the 5th Street Construction Plans will be provided with a separate review memorandum.

STATUS/FINDINGS: Comments have been provided to direct plan corrections necessary for final construction plan approval. When submitting revised plans, please provide a point by point response letter that details the changes made to the plans.

GENERAL PLAN REQUIREMENTS AND FINAL PLAT:

- No final plat changes have been identified from an infrastructure
- The City has updated City Standard Plan Notes, Details and Specifications for use in 2015 construction. These documents will be provided by the City to be incorporated in the Final Construction Plans.
- The Plans must be revised to provide consistent use of line types, bold type and shade lines for a consistent depiction of existing improvements, record drawing information and proposed improvements.
- Revise 3rd Street N street name on all sheets to match the Final Plat of Hunters Crossing 2nd Addition.

SANITARY SEWER PLAN:

- Sheet 2 – Add a note to EX-MH-2-1 to relocate the off road structure marker to a minimum 2 feet off the bituminous trail.
- Sheet 4 – Use as-built data at EX-MH-3 to label slope and invert to proposed MH-31 and MH-32.
- Sheet 4 – Use as-built data at EX-MH-2 to label slope and invert to proposed MH-41.
- Sheet 4 – Correct stationing of proposed service crossing and add risers for all services deeper than 15 feet from EX-MH-2 to MH-41.

WATERMAIN PLAN:

- Sheet 4 – 3rd Street N watermain must be relocated the north side of the street per City Design Standards.
- Sheet 4 – Revise 6-inch gate valve to 8-inch gate valve and remove reducer for the Outlot A watermain stub.

STORM SEWER PLAN:

- Update Storm Sewer Chart to be consistent with the Plan.
- Standard Detail No. 404 must be included in the Plan.
- Sheet 5 – Extend draitile out of CBMH 221 and CB 222 to a minimum distance of 100 feet for each run.
- Sheet 6 – Include draitile with clean outs from CB-205 and CB-206 to the west 100' with clean outs.
- Sheet 6 – Terminate the draitile at 50 feet that runs east out of CB-203A and CB-203B. (This is the location of the high point in the street profile.)
- Sheet 6 – Extend draitile out of CBMH 202 to a minimum 100 feet in each direction.
- Sheet 7 – Add label and invert elevation for FES-250 in profile.

STREET AND TRAIL PLAN:

- Street widths (back of curb to back of curb), cul-de-sac radii and radii at all intersections must be clearly labeled on the Plan.
- Update street and trail plan sheets with all draitile comments provided for the STORM SEWER PLAN.
- Sheet 10 – Add a note to EX-MH-2-1 (STA 2+30) to relocate the off road structure marker to a minimum 2 feet off the bituminous trail.

LANDSCAPING, LIGHTING, SIGNING & STRIPING PLAN:

- The Landscape Plan comments provided by the City's Landscape Architect must be addressed prior to final approval of the Plan Set for construction.
- Include the proposed private utility conduit crossing locations on the Plan.
- "No Parking" signs must be revised to MMUTCD Type R8-3A.

MEMORANDUM

FOCUS ENGINEERING, inc.

Cara Geheren, P.E. 651.300.4261
Jack Griffin, P.E. 651.300.4264
Ryan Stempski, P.E. 651.300.4267
Chad Isakson, P.E. 651.300.4283

Date: April 3, 2015

To: Kyle Klatt, Planning Director
Cc: Jack Griffin, P.E., City Engineer

Re: 5th Street North Utility & Street
Construction Plan Review
(Hunters Crossing 2nd Addition)

From: Ryan Stempski, P.E., Assistant City Engineer

An engineering review has been completed for the 5th Street North Utility and Street Construction Plans. The submittal and review consisted of Construction Plans dated February 27, 2015 (Printed March 6, 2015) prepared by Pioneer Engineering.

STATUS/FINDINGS: Comments have been provided to direct plan corrections necessary for final construction plan approval. When submitting revised plans, please provide a point by point response letter that details the changes made to the plans.

GENERAL PLAN REQUIREMENTS:

- The City has updated City Standard Plan Notes, Details and Specifications, dated March 2015, for use in 2015 construction. Please incorporate the updated standards in the Final Construction Plans.
- Plan Notes are to be located on the applicable plan sheets and removed from the detail sheets.

SANITARY SEWER & WATERMAIN PLAN:

- Sheet 8 – Revise the sanitary sewer stub to PVC C900 material.
- Sheet 8 – Add plan note to tie all watermain stubs for a minimum two pipe segments.
- Sheet 8 – Add dimension for a minimum 7.5 feet of cover over the proposed watermain in the profile.

STORM SEWER PLAN:

- Sheet 5 – Revise the Phase 1 Removal Plan to indicate the removal of the existing stand pipe and culverts at the 5th Street and Lake Elmo Avenue intersection.
- Sheet 10 – Drintile extensions must be a minimum of 100 feet. Revise drintile length from CB-356 to a minimum of 100 feet.
- Sheet 10 – Additional drintile extensions are needed along 5th Street to facilitate subbase drainage. Add a minimum 100 feet of drintile to the west from CBMH 301, CB-311, CBMH 341 and CB-345.
- Sheet 10 – Proposed culvert pipe from FES-401 to FES-402 must be increased to a minimum 15 inches in diameter.
- Sheet 11 – Add drintile inverts to CBMH 301, CB-311, CBMH 341 and CB-345 in the profile.
- City Standard Detail No. 404 must be included for catch basin structures.

STREET CONSTRUCTION PLANS:

- Sheet 3 and 6 – Typical Sections and Details must be updated per the 5th Street Design Details dated March 2015. The typical sections must show the sidewalk and trail clear zones, the 10-foot drainage and utility

easements on either side of the R/W, and the depressed center median with daintile. The new 5th street pavement section detail should be used with all other information corrected to comply with the City typical sections and details.

- Sheet 5 – Add plan note to the Phase 1 Layout Plan requiring the concrete median nose to be constructed per MnDOT Standard Plate 7113A.
- Sheet 7 – Phasing Plan 2: The 5th Street phasing plan must be constructed in a manner that requires full lane paving to be installed using a full width paving machine. No pavement joints will be allowed in the wheel paths. Revise Phase 2 Removal Plan and Phase 2 Layout Plan to redefine the bituminous removal and paving limits to meet these requirements.
- Sheet 7 – Phase 2 Layout Plan: Revise layout plan to clarify and detail median construction phasing east of Laverne.
- Sheet 7 – Phase 2 Layout Plan: Add plan notes to include 6-inch perforated daintile in all planted median locations per the City standard details.
- Sheet 12 and 13 – Add street lane widths and intersection radii dimensions to the plan view.
- Sheet 12 and 13 – Revise vertical curve at STA 1+20 to meet minimum K value of 64.
- Sheet 12 and 13 – Plan must be updated to include a temporary turn-around at the east end of 5th Street and temporary drainage provisions must be detailed on the plans at the east termination point.
- Sheets 15-18 – Revise cross sections to require 4:1 slopes within R/W.

LIGHTING, SIGNING & STRIPING PLAN:

- Sheet 14 – Add plan note identifying the street lights as ‘Evans style lamp’ on 30 foot pole per City standards. Spacing must conform to 5th Street Design Details dated March 2015.
- Sheet 14 – Add crosswalk at the intersection of 5th Street and CSAH 17 (Lake Elmo Avenue).

LANDSCAPING PLANS:

- Sheet L1 and L2 – Landscape plans must be revised to meet 5th Street Design Details dated March 2015. Landscape review comments will be provided under separate memorandum from the City’s Landscape Architect.

Date Received: _____
Received By: _____
Permit #: _____



651-747-3900
3800 Laverne Avenue North
Lake Elmo, MN 55042

LAND USE APPLICATION

☐ Comprehensive Plan ☐ Zoning District Amend ☐ Zoning Text Amend ☐ Variance*(see below) ☐ Zoning Appeal

☐ Conditional Use Permit (C.U.P.) ☐ Flood Plain C.U.P. ☐ Interim Use Permit (I.U.P.) ☐ Excavating/Grading

☐ Lot Line Adjustment ☐ Minor Subdivision ☐ Residential Subdivision Sketch/Concept Plan

☐ PUD Concept Plan ☐ PUD Preliminary Plan ☐ PUD Final Plan

EASEMENT VACATION

Applicant: The Ryland Group ATTN: TRACEY RUST
Address: 7599 Anagram Dr, Eden Prairie, MN 55344
Phone #: (952) 229-6063
Email Address: trust@ryland.com

Fee Owner: SAME
Address: _____
Phone #: _____
Email Address: _____

Property Location (Address and Complete (long) Legal Description): Hunters Crossing

Detailed Reason for Request: - Public Roadway and utility easement vacation

- DISMISAL + UTILITY EASEMENT VACATION

*Variance Requests: As outlined in Section 301.060 C. of the Lake Elmo Municipal Code, the applicant must demonstrate practical difficulties before a variance can be granted. The practical difficulties related to this application are as follows:

In signing this application, I hereby acknowledge that I have read and fully understand the applicable provisions of the Zoning ordinance and current administrative procedures. I further acknowledge the fee explanation as outlined in the application procedures and hereby agree to pay all statements received from the City pertaining to additional application expense.

Signature of applicant: Tracey Rust Date: 3/9/15

Signature of fee owner: Michael W. DeVol Date: 3/9/15

Michael W. DeVol
DIVISION PRESIDENT

TWIN CITIES DIVISION

7599 Anagram Drive
Eden Prairie, MN 55344

952.229.6000 Tel
952.229.6024 Fax

www.ryland.com

March 3, 2015

Kyle Klatt
Planning Director
City of Lake Elmo
3800 Laverne Ave. N.
Lake Elmo, MN 55042

RE: Hunters Crossing – 2nd Addition Final Plat Application

Dear Mr. Klatt:

Ryland Homes is pleased to submit to the City of Lake Elmo the 2nd Addition Final Plat application for Hunters Crossing located on the east side of Lake Elmo Ave. N. approximately ¼ mile north of Interstate Hwy 94. The following written statements are being provided as part of the submittal requirements for the development:

A. Contact Information

- a. Owner/Developer/Applicant: The Ryland Group – Tracey Rust
7599 Anagram Drive
Eden Prairie, MN 55344
(952) 229-6063
- b. Engineer/Surveyor: Pioneer Engineering – Paul Cherne
2422 Enterprise Drive
Mendota Heights, MN 55120
(651) 251-0630

B. Site Data

- a. Address: Hunters Crossing 1st Addition, Lake Elmo, MN
- b. Zoning: LDR-Urban Low Density Residential.
- c. Parcel Size: 8.75 Acres (381,150 SF)
- d. PID: 36.029.21.32.0033
- e. Legal Description: Outlot C, Hunters Crossing 1st Addition, Washington County, Minnesota.

C. Final Subdivision and Lot Information:

- i. Proposed Development Name: Hunters Crossing 2nd Addition
- ii. See attached table for lot and block number, size and width and depth of lot.
- iii. See attached table with the Public Open Space.
- iv. No wetlands.
- v. See attached table with the proposed Right-of-Way.
- vi. See Final Plat for Easement locations.

D. Preliminary Plat Conditions:

1. Title and Fees: Title will be submitted under separate cover. All fees have been paid for Preliminary Plat.
2. Landscape plan has been submitted under separate cover.
3. Additional landscaping has been added along adjacent property lines.
4. Final construction plans will include the necessary improvements for 5th Street.
5. Valley Branch Watershed District granted approval for the wetland impacts on July 10, 2014.
6. Landscaping outside of public areas will be the responsibility of individual homeowners or the Home Owner's Association depending on the planting locations.
7. Park fee will be paid in lieu of park land dedication prior to final plat recording.
8. A public trail will be constructed with this development.
9. The temporary access from Lake Elmo Avenue will be eliminated when access to 5th Street is provided.
10. Grading was completed for the entire site as part of the 1st Addition.
11. Please see attached plans addressing the City Engineers comments.
12. Ryland will preserve or re-use trees if possible.
13. Ryland will work with the property owner to the north should grading be necessary to construct 5th Street improvements.
14. Ryland has already paid the Water Availability Charge for the entire development prior to 1st Addition Final Plat recording.

E. Density: The net density for the overall site is 3.93 lots/acre. This calculation is based on the number of lots divided by the acreage excluding outlots and right of way (51 lots / (23.10 -3.84-6.27) Acres = 3.93 lots/acre.)

F. Infrastructure Improvements: Hunters Crossing will ultimately have access from the future 5th Street corridor. The temporary access point for the site will be via the existing driveway entrance off of Lake Elmo Avenue. The internal streets with sidewalks parallel Lake Elmo Avenue and 5th Street with 2 cul-de-sacs on the east side of the property adjacent to the proposed stormwater basin. The stormwater basin located on the east side of the property has been designed in this location due to the low area of the site as well as allowing a natural buffer between the residential and future business park use. A trail is proposed along the south and east side of the basin to provide a connection from the development to 5th Street. Sanitary sewer service will be provided within the internal roadway system with connection to the 24" sanitary sewer service that the City recently installed to service this and other sites. Watermain service will also be provided within the internal roadway and connect to the watermain trunk service that was installed along Lake Elmo Avenue by the City in 2014.

2nd Addition of Hunters Crossing will consist of 29 lots with necessary streets and utilities.

G. Neighbor Concerns:

- a. Neighbor at Southwest corner - Ryland has discussed this project with the neighbors directly adjacent to the site. The neighbor at the southwest corner of the site mentioned concern for future grading and drainage entering their property and if Lake Elmo Avenue improvements would affect their property and/or driveway. Ryland's grading plan addresses the grading by matching existing grades at the property line. The current Lake Elmo Avenue & 5th Street intersection improvements do not extend south past the development therefore those improvements will not affect the current property owner at the southwest

- corner. Additional landscaping was added to increase screening along the properties lines with final placement of proposed trees to be agreed upon by the property owner, City and Ryland.
- b. Neighbor to the East – Ryland has met with the adjacent neighbor to the east and has acquired a temporary grading easement and permanent drainage and utility easement on their property.
 - c. Neighbor to the South – Ryland has been in contact with the neighbor to the south and currently has a draft easement agreement for a permanent drainage and utility easement. However, the agreement is between the City and the owner to the south, and its Ryland's understanding that language is still being agreed upon between the two parties.
- H. Conflicts with nearby land uses: Ryland believes that not only is this development not creating conflicts with nearby land uses or future uses but that it is encouraging future uses with it being the first development in the area and contributing to utility trunk service extensions and roadway improvements.
- I. No excessive burden on the City: With the City of Lake Elmo's plan to expand and create developments in Lake Elmo and given the size of this first development into the area, we do not anticipate any burdens on roadways, utilities, parks, schools, fire, police, or other services in the area.
- J. Proposed lakeshore access: Not applicable.
- K. Parks and/or open space: The City staff has recommended that a park is not necessary within the proposed development and that Ryland will pay a parkland dedication fee to contribute to a future regional park within the area.
- L. Development Schedule: The development will be constructed in two (2) phases with the first phase utilizing the existing access off of Lake Elmo Avenue until 5th Street is constructed and complete. Phase I consisted of 22 lots along the north side of the site with necessary streets, utilities and the stormwater basins. Phase II will consist of the remained of the development (29 lots) along with necessary streets and utilities. The following is a preliminary schedule for design/approvals and construction.
- a. 2nd Addition Final Plat Approval – April 2015
 - b. 2nd Addition Site Construction (Streets & Utilities) – June-August 2015
 - c. 5th Street Construction – July-August 2015

Ryland Homes has appreciated City Staff's comments and direction so far with this project and we look forward to continuing to work with City Staff to make this a successful neighborhood for the City of Lake Elmo. Please feel free to contact Tracey Rust at 952.229.6063 with any questions.

Sincerely,

THE RYLAND GROUP, INC.



Tracey Rust, PE
Entitlement Manager

Attachment: Hunters Crossing Information Table

HUNTERS CROSSING 2ND ADDITION

KNOW ALL PERSONS BY THESE PRESENTS That The Ryland Group, Inc., a Maryland corporation, owner of the following described property:

Outlot C, HUNTERS CROSSING 1ST ADDITION, according to the recorded plat thereof, Washington County, Minnesota

Has caused the same to be surveyed and plotted as HUNTERS CROSSING 2ND ADDITION and does hereby dedicate to the public for public use the public ways and the drainage and utility easements as created by this plat

In witness whereof said The Ryland Group, Inc., a Maryland corporation, has caused these presents to be signed by its proper officer this ____ day of _____, 20____

The Ryland Group, Inc., a Maryland corporation

_____, its _____

STATE OF MINNESOTA
COUNTY OF _____

This instrument was acknowledged before me on this _____, by _____ its _____ of The Ryland Group, Inc., a Maryland corporation, on behalf of the company

_____, Notary Public, _____

My Commission Expires _____

SURVEYOR'S CERTIFICATE

I, Peter J. Hawkinson do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been set, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this ____ day of _____, 20____

Peter J. Hawkinson, Licensed Land Surveyor
Minnesota License No. 42299

STATE OF MINNESOTA
COUNTY OF _____

This instrument was acknowledged before me on this _____, by Peter J. Hawkinson, Licensed Land Surveyor

_____, Notary Public, _____

My Commission Expires _____

CITY COUNCIL, Lake Elmo, Minnesota

This plat was approved by the City Council of the City of Lake Elmo, Minnesota, this ____ day of _____, 20____, and hereby certifies compliance with all requirements as set forth in Section 505.03, Subd. 2, Minnesota Statutes

By: _____
Mayor

By: _____
Clerk

COUNTY BOARD, Washington County, Minnesota

I hereby certify that on the ____ day of _____, 20____, the Board of Commissioners of Washington County, Minnesota, approved this plat

By: _____
County Board Chair

COUNTY SURVEYOR, Washington County, Minnesota

Pursuant to Chapter 820, Laws of Minnesota, 1971, and in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this ____ day of _____, 20____

By: _____
Washington County Surveyor

By: _____

COUNTY AUDITOR/TREASURER, Washington County, Minnesota

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20____ on the real estate hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes, and transfer entered on this ____ day of _____, 20____

By: _____
Washington County Auditor/Treasurer

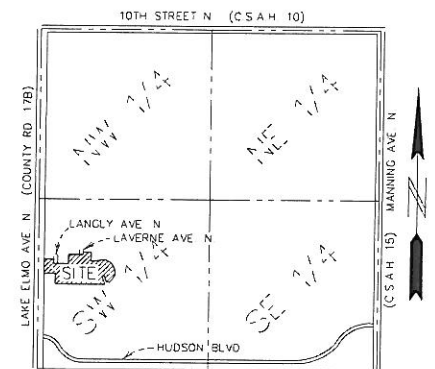
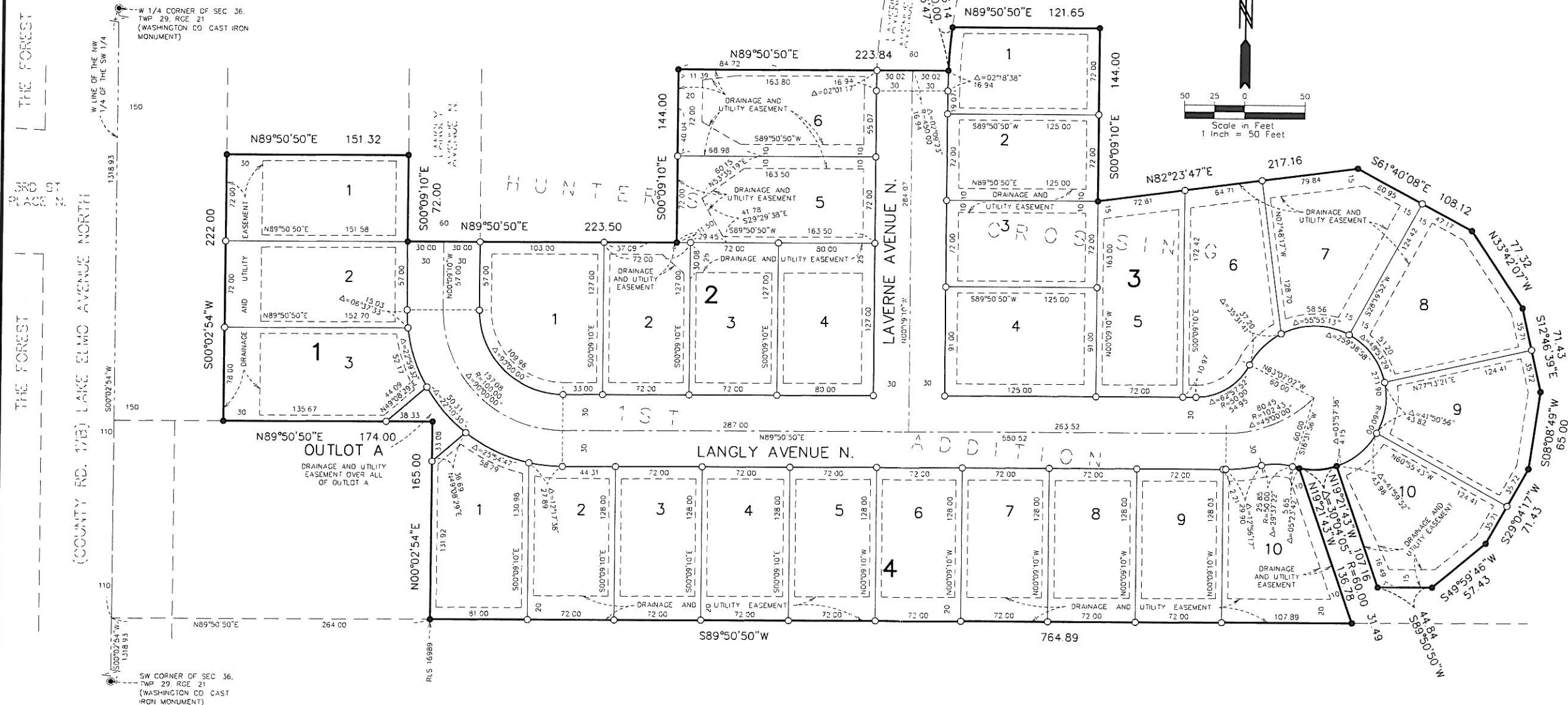
By: _____
Deputy

COUNTY RECORDER, Washington County, Minnesota

Document Number _____
I hereby certify that this instrument was recorded in the Office of the County Recorder for record on this ____ day of _____, 20____, at ____ a'clock ____ M. and was duly recorded in Washington County Records

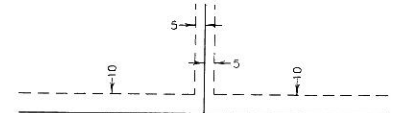
By: _____
Washington County Recorder

By: _____
Deputy



SECTION 36, TWP 29, RGE 21
LOCATION MAP
NO SCALE

DRAINAGE AND UTILITY
EASEMENTS ARE SHOWN THUS:



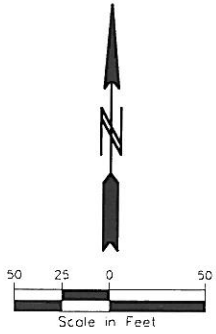
Being 5 feet in width, and adjoining lot lines unless otherwise indicated, and 10 feet in width and adjoining right of way lines and rear lot lines unless otherwise indicated and shown on the plat

THE ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE WEST LINE OF THE NW 1/4 OF THE SW 1/4 OF SEC. 36, TWP. 29, RGE. 21, WHICH IS ASSUMED TO HAVE A BEARING OF SOUTH 00°02'54\"/>

- DENOTES FOUND WASHINGTON COUNTY CAST IRON MONUMENT
- DENOTES 1/2 INCH BY 14 INCH IRON PIPE MONUMENT SET AND MARKED BY LICENSE NO. 42299, OR WILL BE SET IN ACCORDANCE WITH MS SECTION 505.021, SUBD. 10
- DENOTES FOUND 1/2 INCH IRON MONUMENT MARKED BY LICENSE NUMBER 42299 UNLESS OTHERWISE NOTED

PIONEERengineering
CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

HUNTERS CROSSING 2ND ADDITION
AREA SKETCH

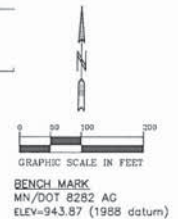
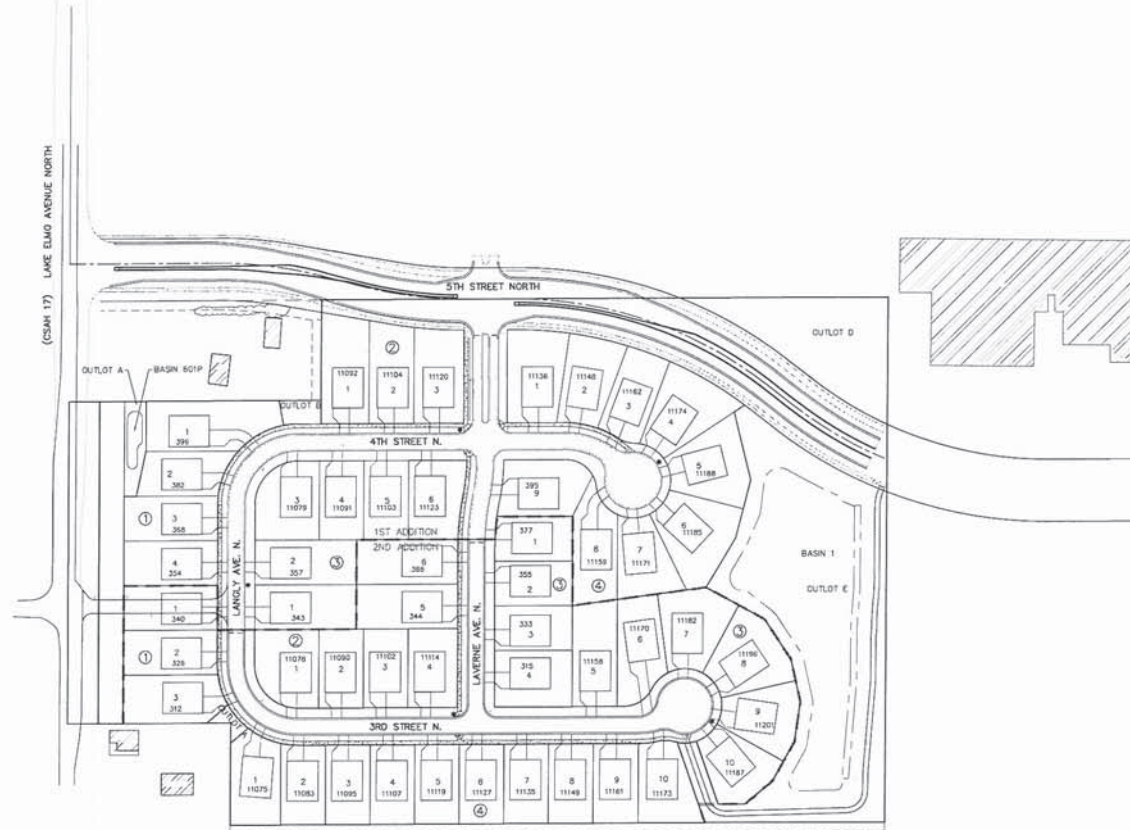
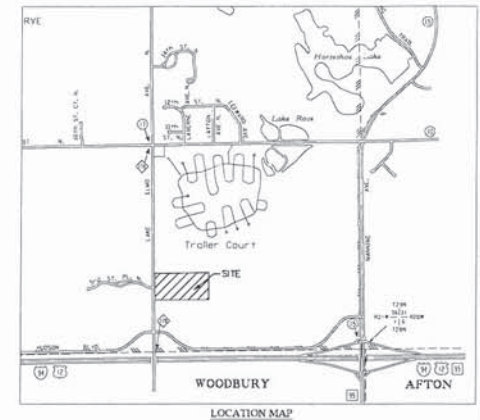


AREA SUMMARY		
BLOCK 1 =	34,042 SF	0.7814 AC
BLOCK 2 =	64,023 SF	1.4697 AC
BLOCK 3 =	110,228 SF	2.5304 AC
BLOCK 4 =	96,322 SF	2.2115 AC
TOTAL LOT AREA =	304,615 SF	6.9930 AC
TOTAL OUTLOT AREA =	1,304 SF	0.0299 AC
TOTAL R/W AREA =	75,040 SF	1.7227 AC
TOTAL AREA =	380,959 SF	8.7456 AC

LEGEND

EXISTING	PROPOSED	FUTURE	DESCRIPTION
			SANITARY MANHOLE
			EXISTING SANITARY SEWER
			PROPOSED SANITARY SEWER
			FUTURE SANITARY SEWER
			HYDRANT
			GATE VALVE
			REDUCER
			EXISTING WATERMAIN
			PROPOSED WATERMAIN
			FUTURE WATERMAIN
			CATCH BASIN
			BEEHIVE
			STORM MANHOLE
			FLARED END SECTION
			CONTROL STRUCTURE
			EXISTING STORM SEWER
			PROPOSED STORM SEWER
			FUTURE STORM SEWER
			SURMOUNTABLE CURB & GUTTER
			B-STYLE CURB & GUTTER
			REBORN CURB & GUTTER
			PHASE LINE
			EASEMENT LINE
			EXISTING 2' CONTOUR LINE
			EXISTING 10' CONTOUR LINE
			PROPOSED 2' CONTOUR LINE
			PROPOSED 10' CONTOUR LINE
			POND OUTLET LINE
			POND HIGH WATER LINE
			PROPOSED SPOT ELEVATION
			EMERGENCY OVERFLOW
			DELINEATED WETLAND LINE
			FEMA FLOODPLAIN BOUNDARY
			STANDARD EROSION CONTROL
			HEAVY-DUTY EROSION CONTROL
			TREE FENCE
			RETAINING WALL
			CONSERVATION AREA SIGN
			WETLAND BUFFER SIGN
			CULVERT
			EX. OVERHEAD UTILITY LINES
			EX. UNDERGROUND TELEVISION LINE
			EX. UNDERGROUND TELEPHONE LINE
			EX. UNDERGROUND FIBER OPTIC LINE
			EX. UNDERGROUND ELECTRIC LINE
			EX. UNDERGROUND GAS LINE
			EX. FENCE (BARBED WIRE)
			EX. FENCE (CHAIN LINK)
			EX. FENCE (WOOD)
			EX. CAST IRON MONUMENT
			EX. ELECTRIC BOX
			EX. FLAG POLE
			EX. NATURAL GAS METER
			EX. HAND HOLE
			EX. FOUND IRON PIPE
			EX. JUDICIAL LAND MARK
			EX. LIGHT POLE
			EX. PK NAIL
			EX. UTILITY POLE
			EX. LAWN SPRINKLER VALVE
			EX. LAWN SPRINKLER HEAD
			EX. SEMAPHORE
			EX. SERVICE
			EX. TELEPHONE BOX
			EX. TEST HOLE
			EX. TELEVISION BOX
			EX. WATER WELL
			EX. MONITORING WELL
			EX. MAILBOX
			EX. CONTROL POINT
			EX. SPIKE
			EX. SIGN
			EX. CLEANOUT
			EX. SIGNIFICANT TREE
			EX. TREE LINE
			EX. GRAVEL SURFACE
			EX. BITUMINOUS SURFACE
			EX. CONCRETE SURFACE
			SELECT BACKFILL MATERIAL
			GRAVEL CONST ENTRANCE

HUNTERS CROSSING 2ND ADDITION UTILITY AND STREET CONSTRUCTION LAKE ELMO, MINNESOTA



- SHEET INDEX**
1. COVER SHEET
 - 2-4. SANITARY SEWER & WATERMAIN
 - 5-7. STORM SEWER CONSTRUCTION
 - 8-9. STREET CONSTRUCTION
 10. BITUMINOUS TRAIL CONSTRUCTION
 11. SIGNING, STRIPING & LIGHTING PLAN
 - 12-18. CITY DETAILS

L1. LANDSCAPE PLAN

PIONEERengineering

2422 Enterprise Drive
Minnetonka, MN 55120

Phone: 952-881-1914
Fax: 952-881-1915
www.pioneereng.com

I hereby certify that this plan was prepared by
me or under my direct supervision and that I
am a duly Licensed Professional Engineer
under the laws of the State of Minnesota.

Sheet No. 17000 Date 12-25-2011

Project Name

Client 12-25-2011
Designed BY: KAW
Checked KAW

COVER SHEET

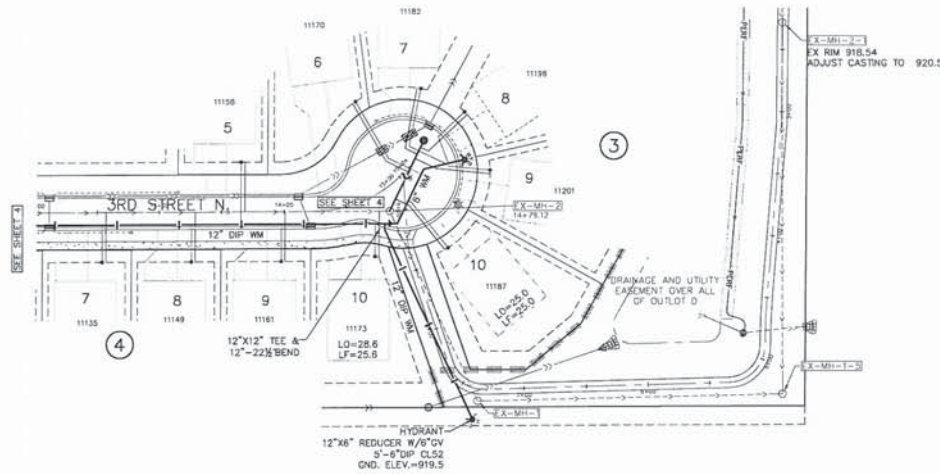
RYLAND HOMES
7599 ANACRAM DRIVE
EDEN PRAIRIE, MINNESOTA 55344

HUNTERS CROSSING 2nd ADDITION
LAKE ELMO, MINNESOTA

1 OF 18

LAKE ELMO STANDARD WATERMAIN NOTES (STANDARD DRAWING 300A)

- ALL WATERMAIN AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
- MANIPULATION OF EXISTING VALVES SHALL BE PERFORMED ONLY BY CITY PERSONNEL.
- WATERMAIN SHALL BE DUCTILE IRON PIPE, CLASS-52.
- ALL FITTINGS SHALL COMPLY WITH CEAM SPEC. 2611.2.A.1. ALL FITTINGS SHALL BE DUCTILE IRON PIPE WITH POLYETHYLENE ENCASEMENT. ALL CONNECTIONS SHALL BE INSTALLED UTILIZING COP-BLUE NUTS & BOLTS.
- USE GATE VALVES FOR ALL APPLICATIONS UP THROUGH 12 INCHES.
- GATE VALVES SHALL BE RESILIENT WEDGE AMERICAN FLOW CONTROL SERIES 2300 OR APPROVED EQUAL. GATE VALVES MUST COMPLY WITH CEAM SPEC 2611.2, C.2.
- USE BUTTERFLY VALVES FOR ALL APPLICATIONS GREATER THAN 12 INCHES.
- BUTTERFLY VALVES SHALL BE MUELLER LINESEAL III, OR APPROVED EQUAL. BUTTERFLY VALVES SHALL COMPLY WITH CEAM SPEC. 2611.2, C.3.
- BOLTS AND NUTS ON ALL VALVES AND HYDRANTS SHALL BE STAINLESS STEEL.
- ALL HYDRANTS SHALL BE INSTALLED 5.0 FEET BACK OF CURB.
- HYDRANTS SHALL BE WATEROUS "PACER" MODEL W9-67 OR APPROVED EQUAL, FITTED WITH FH 800 SERIES FLEX STAKE AND PAINTED RED.
- HYDRANTS SHALL HAVE TWO OUTLET NOZZLES FOR 2-1/2 (I.O.) HOSE CONNECTIONS AND ONE 4" ST02 NOZZLE.
- THE CURB STOP SERVICE ASSEMBLY SHALL HAVE A MINIMUM 1-FT ADJUSTMENT RANGE AND SHALL EXTEND 6 INCHES ABOVE FINISHED GRADE FULLY EXTENDED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING WATER TO HOMES AND BUSINESSES WHOSE WATER SUPPLY IS DISRUPTED DURING THE COURSE OF THE PROJECT.

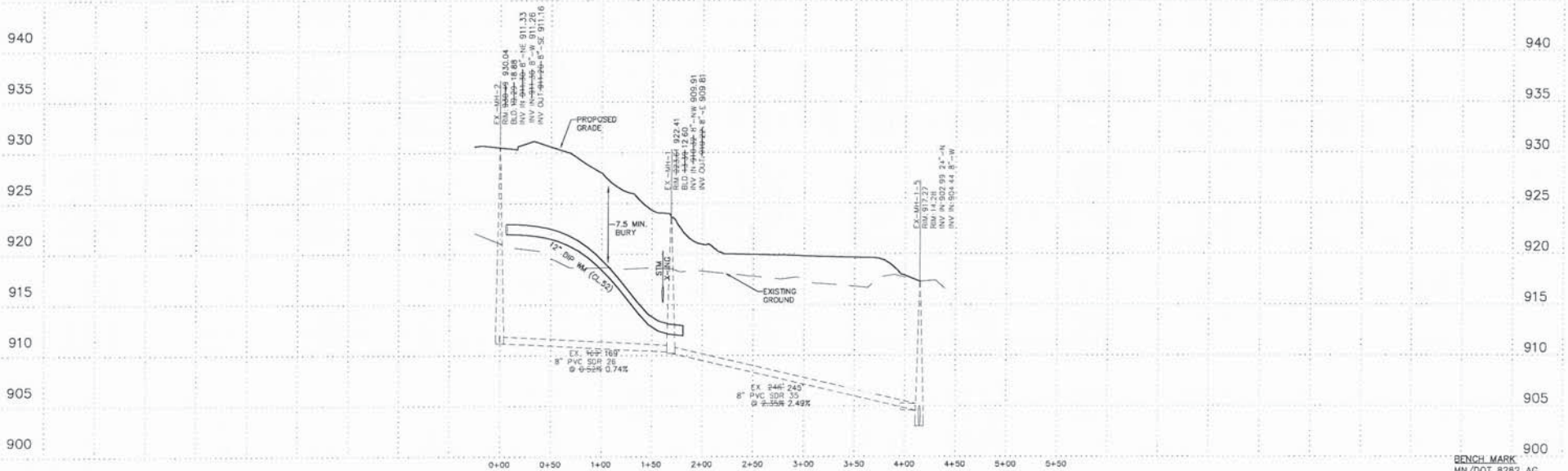
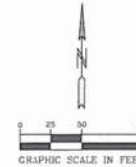


LAKE ELMO STANDARD SANITARY SEWER NOTES (STANDARD DRAWING 300A)

- ALL SANITARY SEWER AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
- ALL SANITARY SEWER PVC PIPE SHALL BE INSTALLED ACCORDING TO CITY STANDARD DRAWING 103 "GRAVULAR MATERIAL BEDDING METHOD (FOR PVC SANITARY SEWER PIPE)".
- UNLESS NOTED OTHERWISE, ALL SMOOTH WALLED SANITARY SEWER PVC PIPE AND FITTINGS SHALL BE SDR 35 WITH ELASTOMERIC GASKETED JOINTS.
- ALL SANITARY SEWER SERVICES SHALL BE 4-INCH PVC, SCH. 40 OR SDR 26 PIPE.
- SMOOTH WALLED PVC PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF ASTM D-3034 FOR THE SIZE, STANDARD DIMENSION RATIO (SDR), AND STRENGTH REQUIREMENTS INDICATED ON THE PLANS, SPECIFICATIONS, AND SPECIAL PROVISIONS.
- REINFORCED CONCRETE PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF M-007 SPEC 3236 (REINFORCED CONCRETE PIPE FOR THE TYPE, SIZE AND STRENGTH CLASS SPECIFIED HEREIN).
- JOINTS OF MANHOLE RISER SECTIONS SHALL BE TONGUE AND GROOVE WITH RUBBER "O" RING JOINTS PROVIDED ON ALL SANITARY SEWER MANHOLES.
- SANITARY SEWER INLET AND OUTLET PIPES SHALL BE JOINED TO THE MANHOLE WITH A GASKETED, FLEXIBLE, WATER TIGHT CONNECTION TO ALLOW DIFFERENTIAL SETTLEMENT OF THE PIPE AND MANHOLE TO TAKE PLACE.
- A 1'-0" TO 1'-4" MANHOLE SECTION SHALL BE INSTALLED UNDER THE CONE SECTION TO ALLOW FOR HEIGHT ADJUSTMENT WHENEVER POSSIBLE.
- ALL SERVICE LINE STUBS MUST HAVE A 2"x2" HARDWOOD MARKER WITH METAL SPIKE RUNNING FROM THE END OF PIPE TO FINISHED GRADE ELEVATION.
- UPON MAKING A CONNECTION TO AN EXISTING SANITARY SEWER STUB OR MANHOLE, DIRT AND DEBRIS SHALL BE PREVENTED FROM ENTERING THE EXISTING SEWER BY IMMEDIATELY INSTALLING WATER TIGHT PLUGS AS NEEDED IN THE EXISTING MANHOLE.

ADDITIONAL NOTES:

- SEE CITY OF LAKE ELMO STANDARD DETAILS FOR PUBLIC INFRASTRUCTURE.
- SEE LAKE ELMO STANDARD PLAN NOTES FOR GRADING AND EROSION CONTROL, DETAILS 600A, 600B, AND 600C.
- SEE LAKE ELMO STANDARD PLAN NOTES FOR SITE RESTORATION, DETAIL 600D.
- SERVICE AND RISER STATIONING IS FROM DOWNSTREAM MANHOLE.
- SERVICES IN PHASE 2 OF CONSTRUCTION WHICH THE SANITARY MAINLINE WAS INSTALLED IN PHASE 1 HAD WYES AND RISERS INSTALLED AND PLUGGED, WITH ENDS MARKED WITH 2"x2" HARDWOOD MARKER. LOTS INCLUDE: LOTS 1, 2 OF BLOCK 1, LOTS 5, 6 OF BLOCK 2, LOTS 1, 2, 3, 4, 5 OF BLOCK 3, AND LOTS 6, 7, 8, 9, 10 OF BLOCK 4.
- CONTRACTOR TO CONNECT TO RISERS NOTE IN #5 AND EXTEND SERVICE TO EASEMENT PER CITY DETAIL 313.



PIONEERengineering

2427 Enterprise Drive
Mendota Heights, MN 55120
Phone: 612-881-1944
Fax: 612-881-9488
www.pioneereng.com

I hereby certify that this plan was prepared by me, or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: *John J. [Signature]*
Reg. No.: 19888
Exp. Date: 12-31-2024

Site notes

Date: 12-29-2023
Designed: PJC/NAW
Checked: KAW

SANITARY SEWER AND WATERMAIN CONSTRUCTION

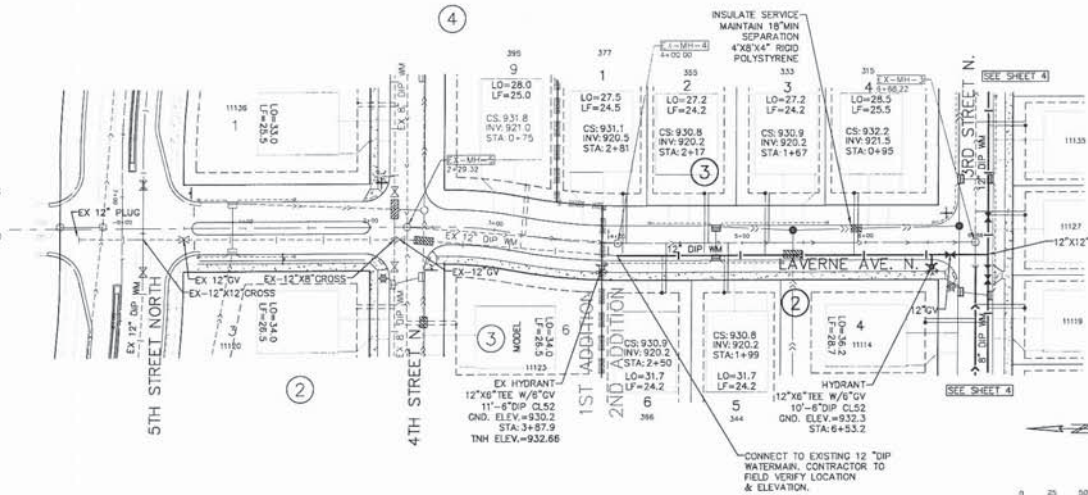
RYLAND HOMES
7599 ANAGRAM DRIVE
EDEN PRAIRIE, MINNESOTA 55444

HUNTERS CROSSING 2nd ADDITION
LAKE ELMO, MINNESOTA

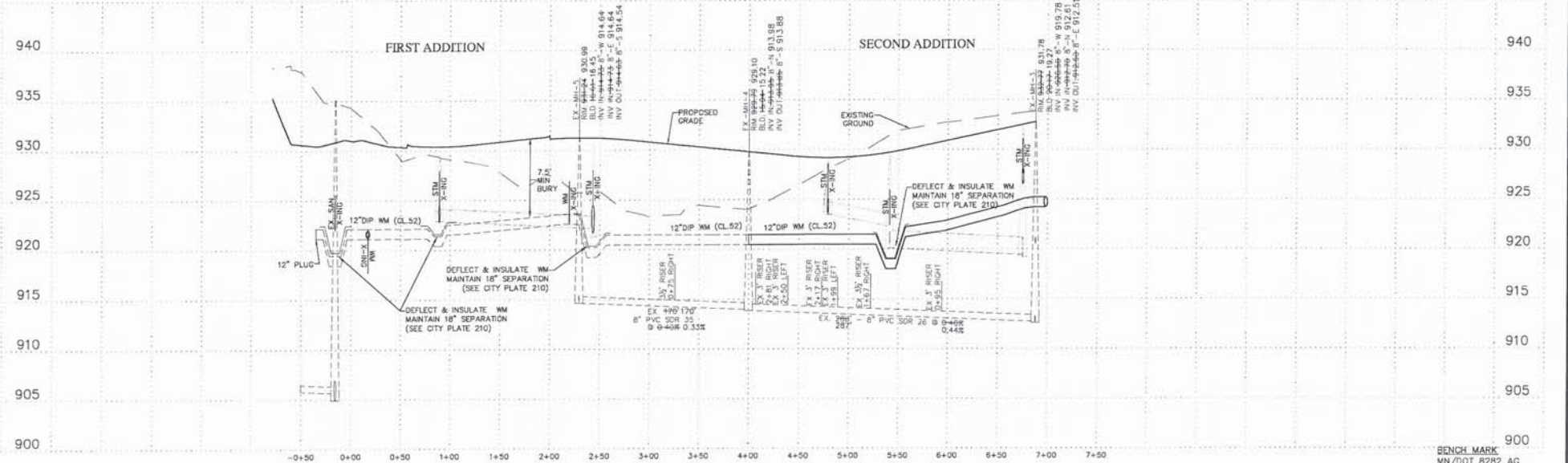
2 OF 18

LAKE ELMO STANDARD WATERMAIN NOTES: (STANDARD DRAWING 300A)

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4. ALL FITTINGS SHALL COMPLY WITH CEAM SPEC. 2611.2.1. ALL FITTINGS SHALL BE DUCTILE IRON PIPE WITH POLYETHYLENE ENCASEMENT. ALL CONNECTIONS SHALL BE INSTALLED UTILIZING COR-BLUE NUTS & BOLTS.
5. USE GATE VALVES FOR ALL APPLICATIONS UP THROUGH 12 INCHES.
6. GATE VALVES SHALL BE RESILIENT WEDGE AMERICAN FLOW CONTROL SERIES 2500 OR APPROVED EQUAL. GATE VALVES MUST COMPLY WITH CEAM SPEC 2611.2, C.2.
7. USE BUTTERFLY VALVES FOR ALL APPLICATIONS GREATER THAN 12 INCHES.
8. BUTTERFLY VALVES SHALL BE MUELLER LINESAL II, OR APPROVED EQUAL. BUTTERFLY VALVES SHALL COMPLY WITH CEAM SPEC. 2611.2, C.3.
9. BOLTS AND NUTS ON ALL VALVES AND HYDRANTS SHALL BE STAINLESS STEEL.
10. ALL HYDRANTS SHALL BE INSTALLED 5.0 FEET BACK OF CURB.
11. HYDRANTS SHALL BE WATERLOUS "TRADER" MODEL 88-87 OR APPROVED EQUAL. FITTED WITH FH 800 SERIES FLEX STAKE AND PAINTED RED.
12. HYDRANTS SHALL HAVE TWO OUTLET NOZZLES FOR 2-1/2 (I.D.) HOSE CONNECTIONS AND ONE 4" ST02 NOZZLE.
13. THE CURB STOP SERVICE ASSEMBLY SHALL HAVE A MINIMUM 1-FT ADJUSTMENT RANGE AND SHALL EXTEND 6 INCHES ABOVE FINISHED GRADE FULLY EXTENDED.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING WATER TO HOMES AND BUSINESSES WHOSE WATER SUPPLY IS DISRUPTED DURING THE COURSE OF THE PROJECT.



LAVERNE AVE. N.



LAKE ELMO STANDARD SANITARY SEWER NOTES: (STANDARD DRAWING 300A)

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3. UNLESS NOTED OTHERWISE, ALL SMOOTH WALLED SANITARY SEWER PVC PIPE AND FITTINGS SHALL BE SDR 35 WITH ELASTOMETRIC GASKETED JOINTS.
4. ALL SANITARY SEWER SERVICES SHALL BE 4-INCH PVC, SCH. 40 OR SDR 26 PIPE.
5. SMOOTH WALLED PVC PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF ASTM D-3034 FOR THE SIZE, STANDARD DIMENSION RATIO (SDR), AND STRENGTH REQUIREMENTS INDICATED ON THE PLANS, SPECIFICATIONS, AND SPECIAL PROVISIONS.
6. REINFORCED CONCRETE PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF MHDOT SPEC 3236 (REINFORCED CONCRETE PIPE FOR THE TYPE, SIZE AND STRENGTH CLASS SPECIFIED HEREIN).
7. JOINTS OF MANHOLE RISER SECTIONS SHALL BE TONGUE AND GROOVE WITH RUBBER "O" RING JOINTS PROVIDED ON ALL SANITARY SEWER MANHOLES.
8. SANITARY SEWER INLET AND OUTLET PIPES SHALL BE JOINED TO THE MANHOLE WITH A GASKETED, FLEXIBLE, WATER-TIGHT CONNECTION TO ALLOW DIFFERENTIAL SETTLEMENT OF THE PIPE AND MANHOLE TO TAKE PLACE.
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ADDITIONAL NOTES:

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2. SEE LAKE ELMO STANDARD PLAN NOTES FOR GRADING AND EROSION CONTROL. DETAILS 600A, 600B, AND 600C.
3. SEE LAKE ELMO STANDARD PLAN NOTES FOR SITE RESTORATION, DETAIL 600D.
4. SERVICE AND RISER STATIONING IS FROM DOWNSTREAM MANHOLE.
5. SERVICES IN PHASE 2 OF CONSTRUCTION WHICH THE SANITARY MAINLINE WAS INSTALLED IN PHASE 1 HAD WYES AND RISERS INSTALLED AND PLUGGED. WITH ENDS MARKED WITH 2"x2" HARDWOOD MARKER. LOTS INCLUDE: LOTS 1, 2 OF BLOCK 1, LOTS 5, 6 OF BLOCK 2, LOTS 1, 2, 3, 4, 5 OF BLOCK 3, AND LOTS 6, 7, 8, 9, 10 OF BLOCK 4.
6. CONTRACTOR TO CONNECT TO RISERS NOTE IN #5 AND EXTEND SERVICE TO EASEMENT PER CITY DETAIL 313.

PIONEERengineering

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Minnetonka, MN 55305
Tel: 953-181-1914
Fax: 953-181-9458
www.pioneereng.com

I certify that this plan was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: John J. [Signature]
Title: Professional Engineer
Date: 12-27-2014

Project: SANITARY SEWER AND WATERMAIN CONSTRUCTION
Client: RYLAND HOMES
Location: 7599 ANACRAM DRIVE, EDEN PRAIRIE, MINNESOTA 55444

Project: HUNTERS CROSSING 2nd ADDITION
Location: LAKE ELMO, MINNESOTA
Sheet: 3 OF 18

LAKE ELMO STANDARD SANITARY SEWER NOTES (STANDARD DRAWING 300A)

- ALL SANITARY SEWER AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
- ALL SANITARY SEWER PVC PIPE SHALL BE INSTALLED ACCORDING TO CITY STANDARD DRAWING 103 "GRANULAR MATERIAL BEDDING METHOD (FOR PVC SANITARY SEWER PIPE)".
- UNLESS NOTED OTHERWISE, ALL SMOOTH WALLED SANITARY SEWER PVC PIPE AND FITTINGS SHALL BE SDR 35 WITH ELASTOMERIC GASKETED JOINTS.
- ALL SANITARY SEWER SERVICES SHALL BE 4-INCH PVC, SCH. 40 OR SDR 26 PIPE.
- SMOOTH WALLED PVC PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF ASTM D-3034 FOR THE SIZE, STANDARD DIMENSION RATIO (SDR), AND STRENGTH REQUIREMENTS INDICATED ON THE PLANS, SPECIFICATIONS, AND SPECIAL PROVISIONS.
- REINFORCED CONCRETE PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF MHDOT SPEC 3236 (REINFORCED CONCRETE PIPE FOR THE TYPE, SIZE AND STRENGTH CLASS SPECIFIED HEREIN).
- JOINTS OF MANHOLE RISER SECTIONS SHALL BE TONGUE AND GROOVE WITH RUBBER "O" RING JOINTS PROVIDED ON ALL SANITARY SEWER MANHOLES.
- SANITARY SEWER INLET AND OUTLET PIPES SHALL BE JOINED TO THE MANHOLE WITH A GASKETED, FLEXIBLE, WATER-TIGHT CONNECTION TO ALLOW DIFFERENTIAL SETTLEMENT OF THE PIPE AND MANHOLE TO TAKE PLACE.
- A 1'-0" TO 1'-4" MANHOLE SECTION SHALL BE INSTALLED UNDER THE CONE SECTION TO ALLOW FOR HEIGHT ADJUSTMENT WHENEVER POSSIBLE.
- ALL SERVICE LINE STUBS MUST HAVE A 2"x2" HARDWOOD MARKER WITH METAL SPIKE RUNNING FROM THE END OF PIPE TO FINISHED GRADE ELEVATION.
- UPON MAKING A CONNECTION TO AN EXISTING SANITARY SEWER STUB OR MANHOLE, DIRT AND DEBRIS SHALL BE PREVENTED FROM ENTERING THE EXISTING SEWER BY IMMEDIATELY INSTALLING WATER-TIGHT PLUGS AS NEEDED IN THE EXISTING MANHOLE.

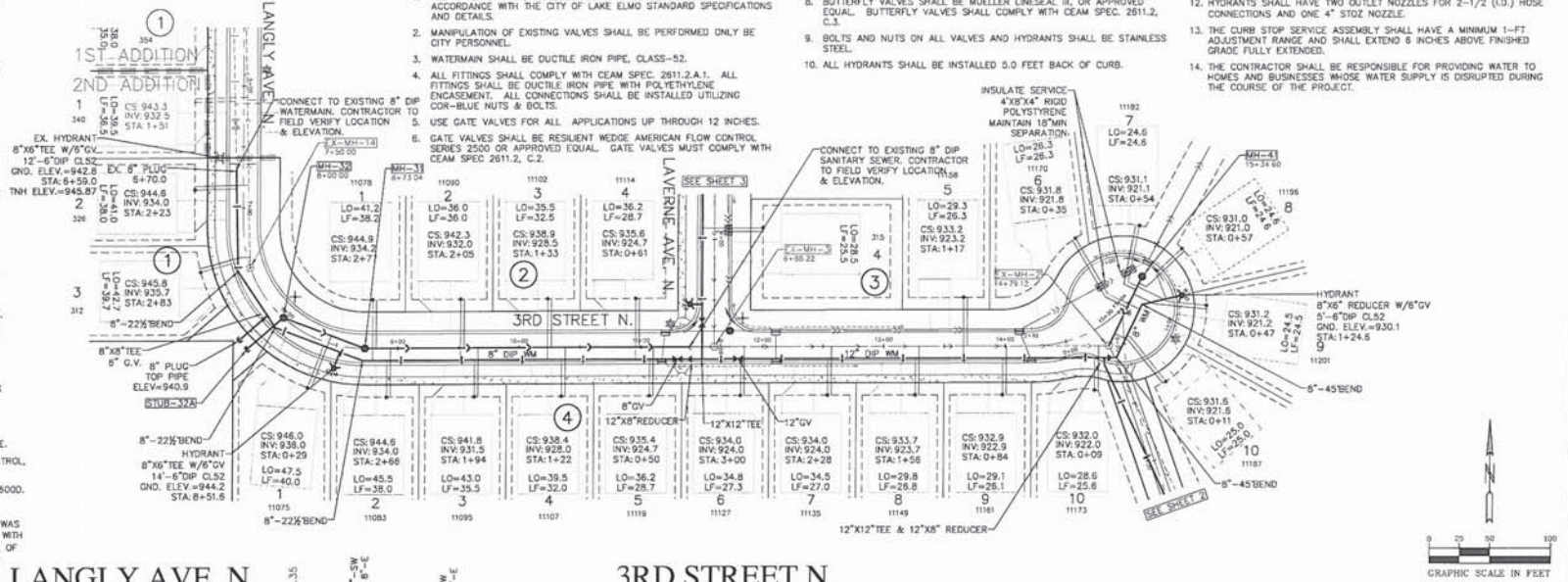
ADDITIONAL NOTES:

- SEE CITY OF LAKE ELMO STANDARD DETAILS FOR PUBLIC INFRASTRUCTURE.
- SEE LAKE ELMO STANDARD PLAN NOTES FOR GRADING AND EROSION CONTROL, DETAILS 800A, 800B, AND 800C.
- SEE LAKE ELMO STANDARD PLAN NOTES FOR SITE RESTORATION, DETAIL 800D.
- SERVICE AND RISER STATIONING IS FROM DOWNSTREAM MANHOLE.
- SERVICES IN PHASE 2 OF CONSTRUCTION WHICH THE SANITARY MAINLINE WAS INSTALLED IN PHASE 1 HAD WYES AND RISERS INSTALLED AND PLUGGED, WITH ENDS MARKED WITH 2"x2" HARDWOOD MARKER. LOTS INCLUDE: LOTS 1, 2 OF BLOCK 1, LOTS 5, 6 OF BLOCK 2, LOTS 1, 2, 3, 4, 5 OF BLOCK 3, AND LOTS 6, 7, 8, 9, 10 OF BLOCK 4.
- CONTRACTOR TO CONNECT TO RISERS NOTE IN #5 AND EXTEND SERVICE TO EASEMENT PER CITY DETAIL 312.

LAKE ELMO STANDARD WATERMAIN NOTES (STANDARD DRAWING 200A)

- ALL WATERMAIN AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
- MANIPULATION OF EXISTING VALVES SHALL BE PERFORMED ONLY BY CITY PERSONNEL.
- WATERMAIN SHALL BE DUCTILE IRON PIPE, CLASS-52.
- ALL FITTINGS SHALL COMPLY WITH CEAM SPEC. 2611.2.A.1. ALL FITTINGS SHALL BE DUCTILE IRON PIPE WITH POLYETHYLENE ENCASEMENT. ALL CONNECTIONS SHALL BE INSTALLED UTILIZING COR-BLUE NUTS & BOLTS.
- USE GATE VALVES FOR ALL APPLICATIONS UP THROUGH 12 INCHES.
- GATE VALVES SHALL BE RESILIENT WEDGE AMERICAN FLOW CONTROL SERIES 2500 OR APPROVED EQUAL. GATE VALVES MUST COMPLY WITH CEAM SPEC 2611.2, C.2.
- USE BUTTERFLY VALVES FOR ALL APPLICATIONS GREATER THAN 12 INCHES.
- BUTTERFLY VALVES SHALL BE MULLER LINESEAL III, OR APPROVED EQUAL. BUTTERFLY VALVES SHALL COMPLY WITH CEAM SPEC. 2611.2, C.3.
- BOLTS AND NUTS ON ALL VALVES AND HYDRANTS SHALL BE STAINLESS STEEL.
- ALL HYDRANTS SHALL BE INSTALLED 3.0 FEET BACK OF CURB.

- HYDRANTS SHALL BE WATERLOU "PACER" MODEL WD-87 OR APPROVED EQUAL, FITTED WITH FH 850 SERIES FLEX STAKE AND PAINTED RED.
- HYDRANTS SHALL HAVE TWO OUTLET NOZZLES FOR 2-1/2 (0.0) HOSE CONNECTIONS AND ONE 4" STOZ NOZZLE.
- THE CURB STOP SERVICE ASSEMBLY SHALL HAVE A MINIMUM 1'-0" ADJUSTMENT RANGE AND SHALL EXTEND 6 INCHES ABOVE FINISHED GRADE FULLY EXTENDED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING WATER TO HOMES AND BUSINESSES WHOSE WATER SUPPLY IS DISRUPTED DURING THE COURSE OF THE PROJECT.



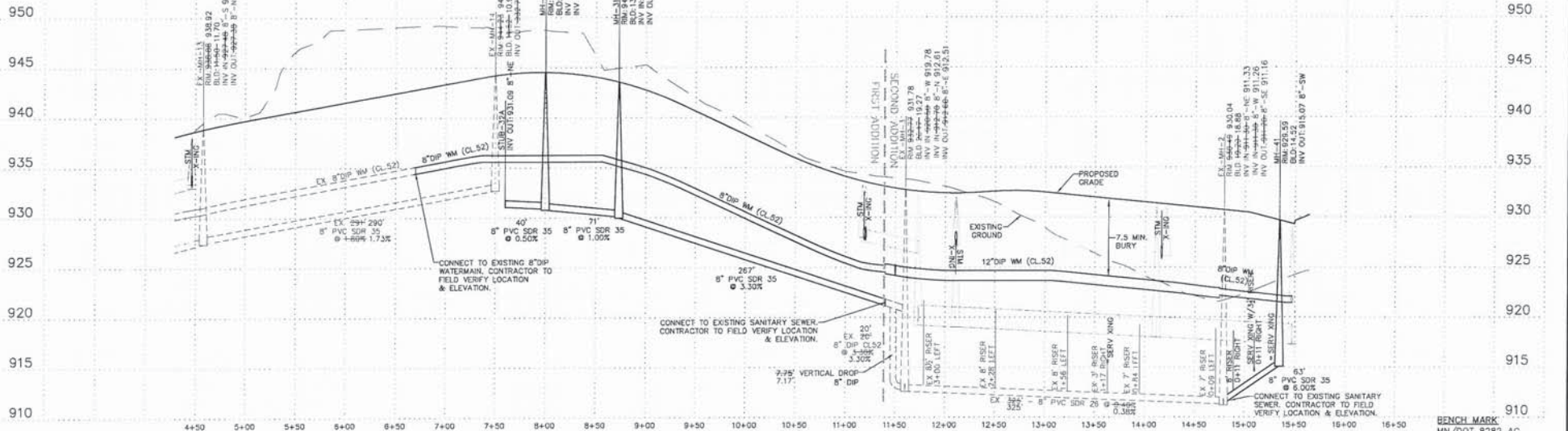
LANGLY AVE. N.

3RD STREET N.

FIRST ADDITION

SECOND ADDITION

FIRST ADDITION



PIONEEREngineering

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www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Name: John J. O'Connell
Title: Professional Engineer
Exp. No.: 10000 Date: 12/1/2014

Date: 12/1/2014
Designed: JJO
Checked: KAW
SANITARY SEWER AND WATERMAIN CONSTRUCTION

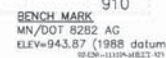
RYLAND HOMES
7999 ANAGRAM DRIVE
EDEN PRAIRIE, MINNESOTA 55444

HUNTERS CROSSING 2nd ADDITION
LAKE ELMO, MINNESOTA

4 OF 18

1. ALL STORM SEWER AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
2. REINFORCED CONCRETE PIPE AND FITTINGS SHALL CONFORM WITH REQUIREMENTS FOR HOUSTON SPEC (REINFORCED CONCRETE PIPE) FOR THE TYPE, SIZE, AND STRENGTH CLASS SPECIFIED HEREIN.
3. PRECAST CONCRETE MANHOLE AND CATCH BASIN SECTIONS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-477.
4. A 1'-0" TO 1'-4" MANHOLE SECTION SHALL BE INSTALLED UNDER THE ONE SECTION TO ALLOW FOR HEIGHT ADJUSTMENT WHENEVER POSSIBLE.
5. JOINTS OF MANHOLE RISER SECTIONS SHALL BE TONGUE AND GROOVE WITH RUBBER "O" RING JOINTS PROVIDED ON ALL STORM SEWER MANHOLES.
6. RIP-RAP SHALL BE HAND-PLACED OVER GEOTEXTILE FABRIC AND CONFORM TO MHOOT SPEC. 3601, CLASS III OR AS SPECIFIED HEREIN.
7. THE GEOTEXTILE FABRIC USED UNDER RIP-RAP SHALL EXTEND 3 FT. FROM THE APRON.
8. FURNISH & INSTALL TRASH GUARDS ON ALL FLARED END SECTIONS.
9. ALL SILT SHALL BE CLEARED OUT FROM THESE RIP-RAP AT THE END OF THE PROJECT.

1. SEE CITY OF LAKE ELMO STANDARD DETAILS FOR PUBLIC INFRASTRUCTURE.
2. SEE LAKE ELMO STANDARD PLAN NOTES FOR GRADING AND EROSION CONTROL, DETAILS 600A, 600B, AND 600C.
3. SEE LAKE ELMO STANDARD PLAN NOTES FOR SITE RESTORATION, DETAIL 600D.
4. FINAL STRUCTURE OFF SET TO BE VERIFIED BY CONTRACTOR BASED ON MATERIAL SUPPLIED TO PROJECT. FIELD STAKING SHALL BE SET ACCORDING TO BACK-OF-CURB.

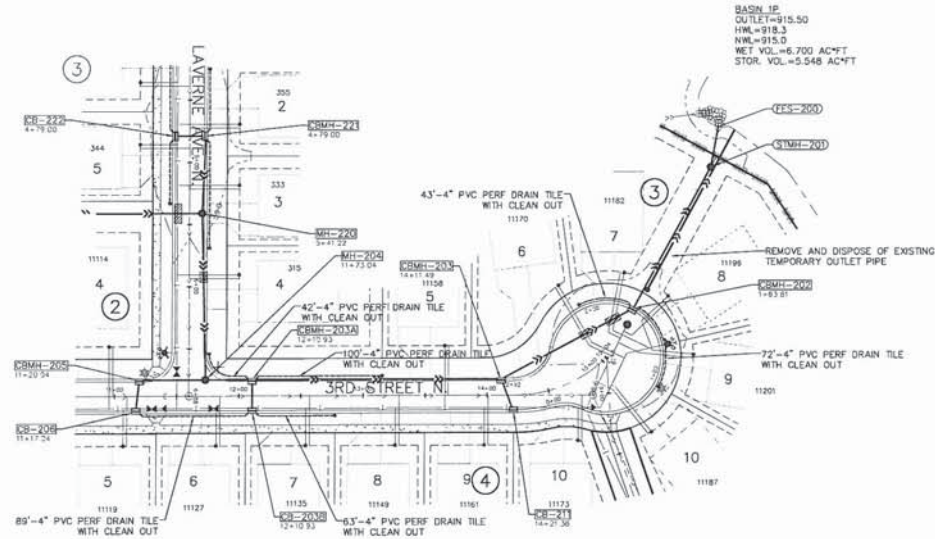
* 2ND ADDITION

LAKE ELMO STANDARD STORM SEWER NOTES: (STANDARD DRAWING 400A)

1. ALL STORM SEWER AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
2. REINFORCED CONCRETE PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF MHDOT SPEC. (REINFORCED CONCRETE PIPE) FOR THE TYPE, SIZE, AND STRENGTH CLASS SPECIFIED HEREIN.
3. PRECAST CONCRETE MANHOLE AND CATCH BASIN SECTIONS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-477.
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5. JOINTS OF MANHOLE RISER SECTIONS SHALL BE TONGUE AND GROOVE WITH RUBBER "O" RING JOINTS PROVIDED ON ALL STORM SEWER MANHOLES.
6. RIP-RAP SHALL BE HAND-PLACED OVER GEOTEXTILE FABRIC AND CONFORM TO MHDOT SPEC. 3601, CLASS III, OR AS SPECIFIED HEREIN.
7. THE GEOTEXTILE FABRIC USED UNDER RIP-RAP SHALL EXTEND 3 FT UNDER THE APRON.
8. FURNISH & INSTALL TRASH GUARDS ON ALL FLARED END SECTIONS.
9. ALL SILT SHALL BE CLEANED OUT FROM THE RIP-RAP AT THE END OF THE PROJECT.

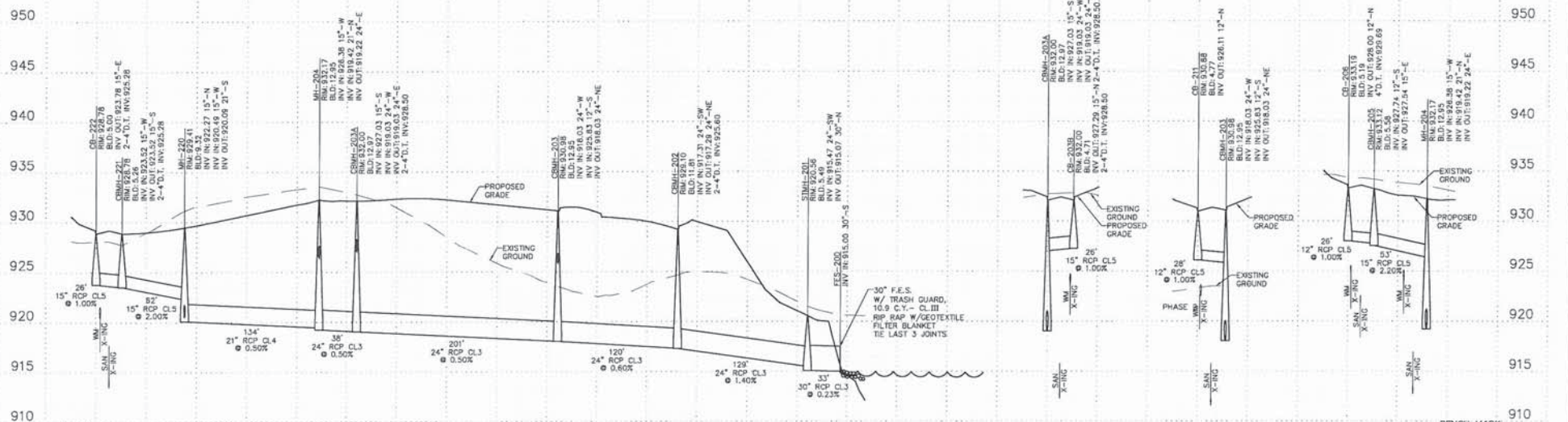
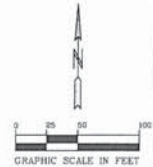
ADDITIONAL NOTES:

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STRUCTURE TABLE			
STRUCTURE NAME	STRUCTURE SIZE	MEAN CASTING OR EQUAL	
CB-2038	36"x24"	R-3067 V	
CB-206	36"x24"	R-3067 V	
CB-211	36"x24"	R-3067 V	
CB-222	36"x24"	R-3067 V	
CBMH-202	48" DIA.	R-3067 V	
CBMH-203	48" DIA.	R-3067 V	
CBMH-203A	48" DIA.	R-3067 V	
CBMH-205	48" DIA.	R-3067 V	
CBMH-221	48" DIA.	R-3067 V	
MH-204	60" DIA.	R-1642	
MH-220	48" DIA.	R-1642	
STMH-201	60" DIA.	R-1642	

* 2ND ADDITION



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I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Date: 12/27/2014

Reg. No. 17994 Date: 12/27/2014

Drawn: JAW

Check: JAW

STORM SEWER CONSTRUCTION

RYLAND HOMES
7599 ANAGRAM DRIVE
EDEN PRAIRIE, MINNESOTA 55344

HUNTERS CROSSING 2nd ADDITION
LAKE ELMO, MINNESOTA

6 OF 18

LAKE ELMO STANDARD STORM SEWER NOTES: (STANDARD DRAWING 400A)

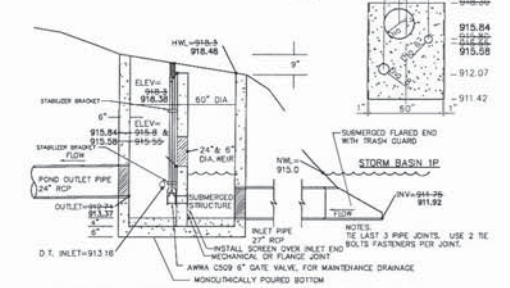
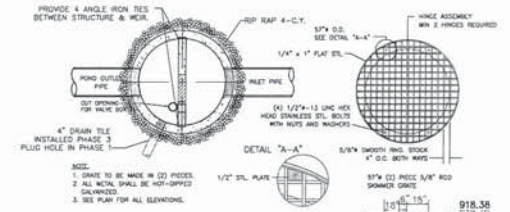
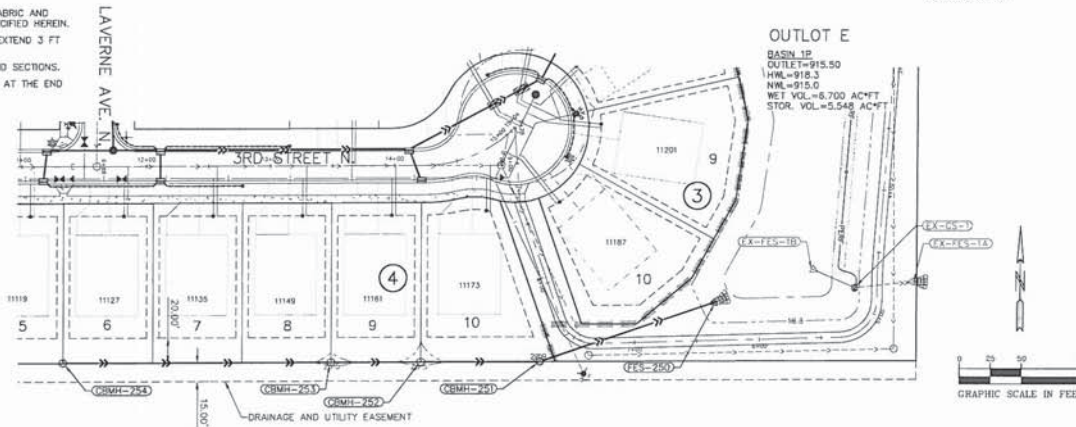
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5. JOINTS OF MANHOLE RISER SECTIONS SHALL BE TONGUE AND GROOVE WITH RUBBER "O" RING JOINTS PROVIDED ON ALL STORM SEWER MANHOLES.
6. RIP-RAP SHALL BE HAND-PLACED OVER GEOTEXTILE FABRIC AND CONFORM TO M-DOY SPEC, 3601, CLASS II, OR AS SPECIFIED HEREIN.
7. THE GEOTEXTILE FABRIC USED UNDER RIP-RAP SHALL EXTEND 3 FT UNDER THE APRON.
8. FURNISH & INSTALL TRASH GUARDS ON ALL FLARED END SECTIONS.
9. ALL SILT SHALL BE CLEANED OUT FROM THE RIP-RAP AT THE END OF THE PROJECT.

ADDITIONAL NOTES:

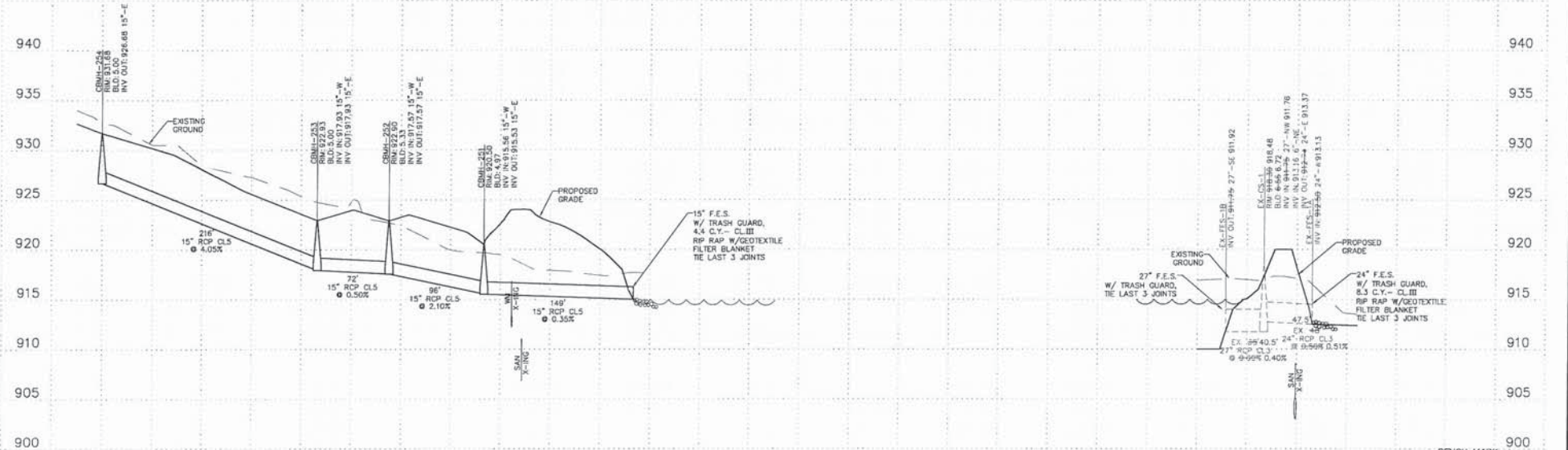
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2. SEE LAKE ELMO STANDARD PLAN NOTES FOR GRADING AND EROSION CONTROL, DETAILS 600A, 600B, AND 600C.
3. SEE LAKE ELMO STANDARD PLAN NOTES FOR SITE RESTORATION, DETAIL 600D.
4. FINAL STRUCTURE OFF SET TO BE VERIFIED BY CONTRACTOR BASED ON MATERIAL SUPPLIED TO PROJECT. FIELD STAKING SHALL BE SET ACCORDING TO BACK-OF-CURB.

STRUCTURE TABLE		
STRUCTURE NAME	STRUCTURE SIZE	NEENAH CASTING OR EQUAL
CBMH-231	48" DIA.	R-4342
CBMH-252	48" DIA.	R-4342
CBMH-253	48" DIA.	R-4342
CBMH-254	48" DIA.	R-4342
CS-1	60" DIA.	SPECIAL

* 2ND ADDITION



EXISTING POND OUTLET CONTROL STRUCTURE CS-1 (NOT TO SCALE)



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I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Name: *[Signature]*
Title: *[Title]*
Date: 12/27/2014

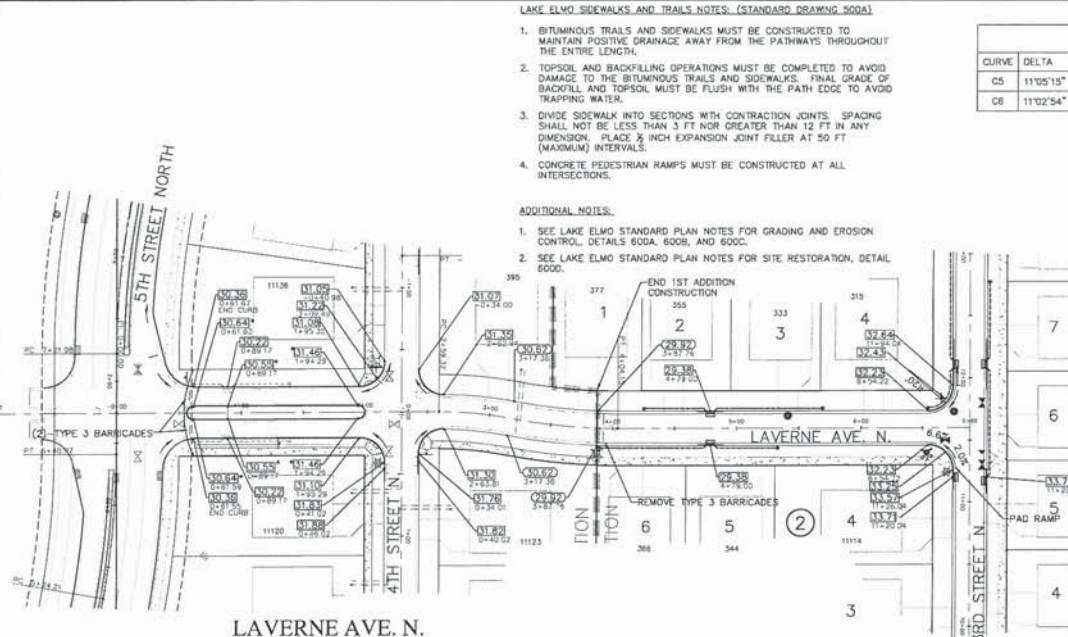
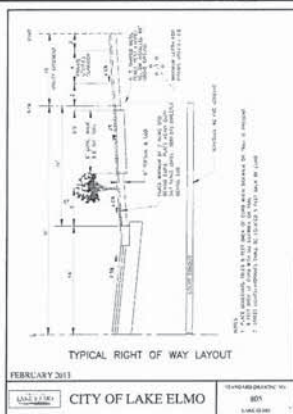
Date: 12/27/2014
Designed: PS/KAJ
Drawn: KAJ

STORM SEWER CONSTRUCTION

RYLAND HOMES
7999 ANAGRAM DRIVE
EDEN PRAIRIE, MINNESOTA 55448

HUNTERS CROSSING 2nd ADDITION
LAKE ELMO, MINNESOTA

7 OF 18



LAKE ELMO SIDEWALKS AND TRAILS NOTES: (STANDARD DRAWING 500A)

1. BITUMINOUS TRAILS AND SIDEWALKS MUST BE CONSTRUCTED TO MAINTAIN POSITIVE DRAINAGE AWAY FROM THE PATHWAYS THROUGHOUT THE ENTIRE LENGTH.
2. TOPSOIL AND BACKFILLING OPERATIONS MUST BE COMPLETED TO AVOID DAMAGE TO THE BITUMINOUS TRAILS AND SIDEWALKS. FINAL GRADE OF BACKFILL AND TOPSOIL MUST BE FLUSH WITH THE PATH EDGE TO AVOID TRAPPING WATER.
3. DIVIDE SIDEWALK INTO SECTIONS WITH CONTRACTION JOINTS. SPACING SHALL NOT BE LESS THAN 3 FT NOR GREATER THAN 12 FT IN ANY DIMENSION. PLACE 3/4 INCH EXPANSION JOINT FILLER AT 50 FT (MAXIMUM) INTERVALS.
4. CONCRETE PEDESTRIAN RAMPS MUST BE CONSTRUCTED AT ALL INTERSECTIONS.

ADDITIONAL NOTES:

1. SEE LAKE ELMO STANDARD PLAN NOTES FOR GRADING AND EROSION CONTROL, DETAILS 600A, 600B, AND 600C.
2. SEE LAKE ELMO STANDARD PLAN NOTES FOR SITE RESTORATION, DETAIL 600D.

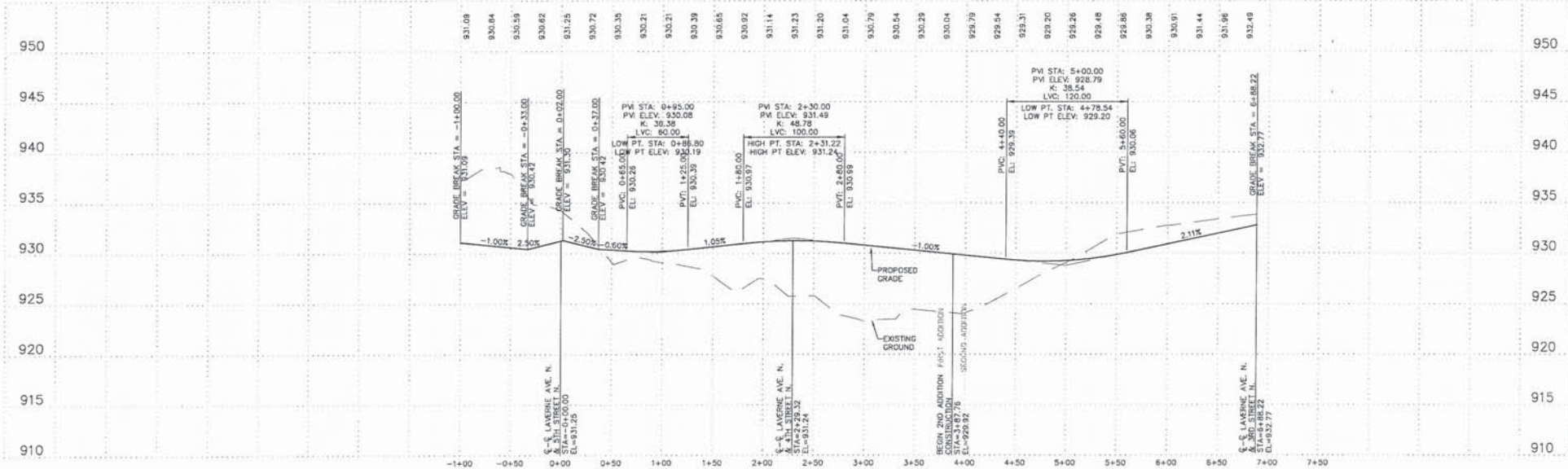
CURVE TABLE						
CURVE	DELTA	LENGTH	RADIUS	TANGENT	PC	PT
C5	11°05'15"	58.05	300.00	29.12	2+59.32	3+17.38
C6	11°02'54"	86.77	450.00	43.52	3+17.38	4+04.15

CURB LEGEND

- 08.15 = TOP OF CURB ELEVATION FOR SURMOUNTABLE
- 08.39 = TOP OF CURB ELEVATION FOR 8618 CURB (= TIP OUT GUTTER)
- 07.82 = BITUMINOUS ELEVATION
- = SURMOUNTABLE CURB & GUTTER
- = 8618 CURB & GUTTER
- = BITUMINOUS EDGE
- ▶ = PED. RAMP

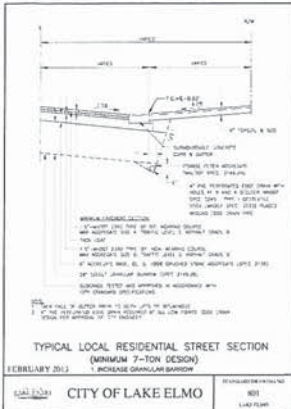


BENCH MARK
MN/DOT B292 AG
ELEV=943.87 (1988 datum)



LAKE ELMO SIDEWALKS AND TRAILS NOTES: (STANDARD DRAWING 500a)

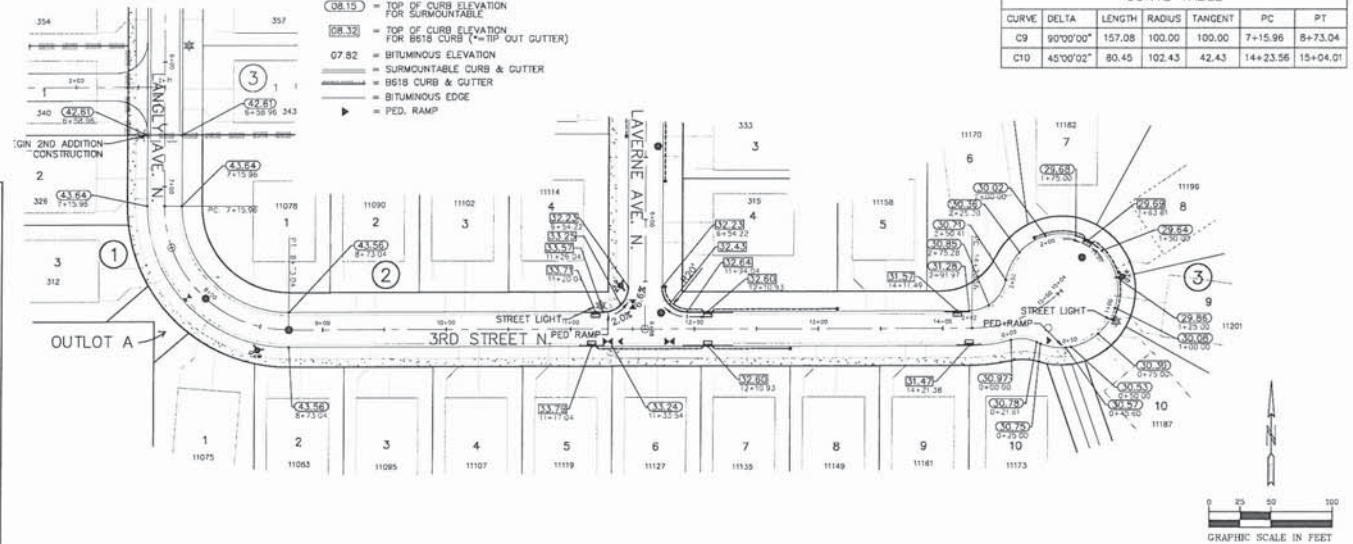
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2. TOPSOIL AND BACKFILL OPERATIONS MUST BE COMPLETED TO AVOID DAMAGE TO THE BITUMINOUS TRAILS AND SIDEWALKS. FINAL GRADE OF BACKFILL AND TOPSOIL MUST BE FLUSH WITH THE PATH EDGE TO AVOID TRAPPING WATER.
3. DIVIDE SIDEWALK INTO SECTIONS WITH CONTRACTION JOINTS. SPACING SHALL NOT BE LESS THAN 3 FT NOR GREATER THAN 12 FT IN ANY DIMENSION. PLACE 1/2 INCH EXPANSION JOINT FILLER AT 50 FT (MAXIMUM) INTERVALS.
4. CONCRETE PEDESTRIAN RAMPS MUST BE CONSTRUCTED AT ALL INTERSECTIONS.



CURB LEGEND

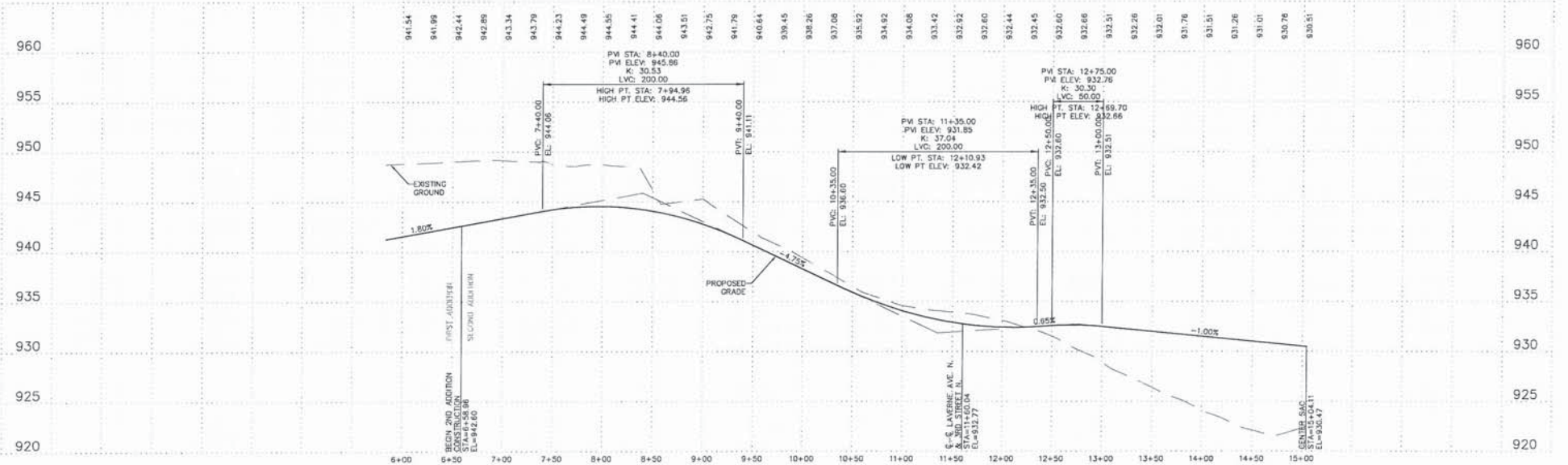
- 08.15 = TOP OF CURB ELEVATION FOR SURMOUNTABLE
- 08.32 = TOP OF CURB ELEVATION FOR 8018 CURB (=TIP OUT CUTTER)
- 07.82 = BITUMINOUS ELEVATION
- 08.15 = SURMOUNTABLE CURB & CUTTER
- 08.15 = 8018 CURB & CUTTER
- 08.15 = BITUMINOUS EDGE
- 08.15 = PED. RAMP

CURVE TABLE						
CURVE	DELTA	LENGTH	RADIUS	TANGENT	PC	PT
C9	90°00'00"	157.08	100.00	100.00	7+15.96	8+73.04
C10	45°00'02"	80.45	102.43	42.43	14+23.56	15+04.01



LANGLEY AVE. N.

3RD STREET N.



PIONEERengineering

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I hereby certify that this plan was prepared by me, or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Date: 12/15/2014

Drawn: J. J. KAW
Checked: J. J. KAW
Date: 12/15/2014

STREET CONSTRUCTION

RYLAND HOMES
7999 ANAGRAM DRIVE
EDEN PRAIRIE, MINNESOTA 55344

HUNTERS CROSSING 2nd ADDITION
LAKE ELMO, MINNESOTA

9 of 18

(CSAH 17) LAKE ELMO AVENUE NORTH

5TH STREET NORTH

FUTURE CITY PROJECT

OUTLOT D

OUTLOT A BASIN 601P

(2)-TYPE 3 BARRICADES
3 SPEED LIMIT 30
MMUTCD: R2-1
STREET LIGHT (TYP.)

STOP SIGN (TYP.)
MMUTCD: R1-1

COMMON STREET SIGN AND STOP SIGN
MMUTCD: R1-1

STREET LIGHT (TYP.)

4TH STREET N.

STOP SIGN (TYP.)
MMUTCD: R1-1

STREET SIGN

STREET LIGHT (TYP.)

1ST ADDITION

2ND ADDITION
REMOVE TYPE 3 BARRICADES

BEGIN 2ND ADDITION CONSTRUCTION

BASIN 1

OUTLOT E

STOP SIGN (TYP.)
MMUTCD: R1-1

NO PARKING ANY TIME
MMUTCD: R7-1

REMOVE TYPE 3 BARRICADES

BEGIN 2ND ADDITION CONSTRUCTION

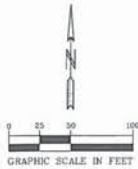
OUTLOT C

STREET LIGHT (TYP.)

3RD STREET N.

STREET SIGN

STREET LIGHT (TYP.)



BENCH MARK
MN/DOT 8282 AG
ELEV=943.87 (1988 datum)

LAKE ELMO SIGNING/PAVEMENT MARKING/LIGHTING NOTES: (STANDARD DRAWING 700A)

1. STREET LIGHTING SHALL BE INSTALLED PER CITY STANDARDS 5 FEET BACK OF CURB IN LOCATIONS SHOWN ON PLAN.
2. ALL SIGNS MUST MEET MMUTCD.
3. ALL SIGN SHEATHING TO BE HIGH INTENSITY DIAMOND GRADE.
4. SIGN POSTS TO BE UNPAINTED GALVANIZED METAL, 2.75 LBS/FT.
5. CITY TO FURNISH AND INSTALL STREET SIGNS.
6. POLY PREFORMED PAVEMENT MATERIALS SHALL BE USED FOR ALL PAVEMENT SYMBOLS.
7. PAINT FOR PAVEMENT MARKINGS SHALL MEET THE REQUIREMENTS OFF MNDOT "SPECIFICATIONS FOR WHITE AND YELLOW, THREE MINUTE DRY, ALKYD TRAFFIC PAINTS".

ADDITIONAL NOTES:

1. STREET SIGNS SHALL MEET CITY OF LAKE ELMO STANDARD DRAWING NO. 705.

PIONEERengineering

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Mendota Heights, MN 55120
(651) 681-1914
Fax: 651-9488
www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota
Reg No. 29965 Date: 12-25-2014

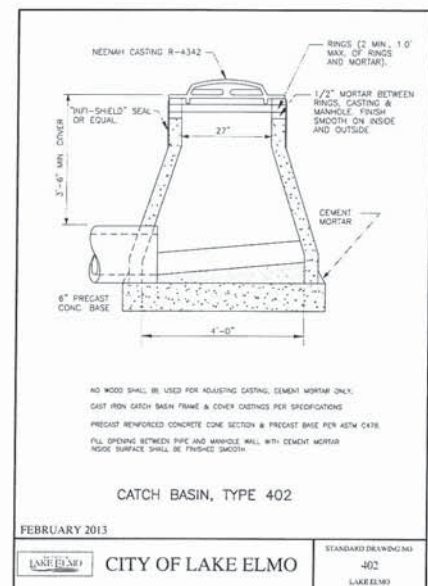
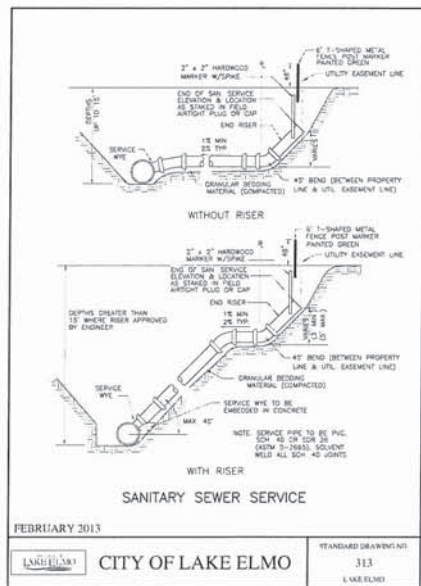
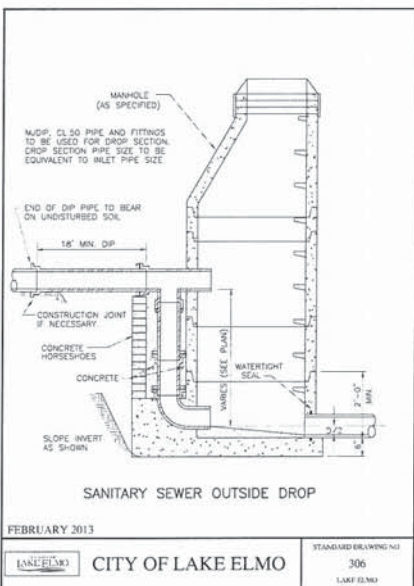
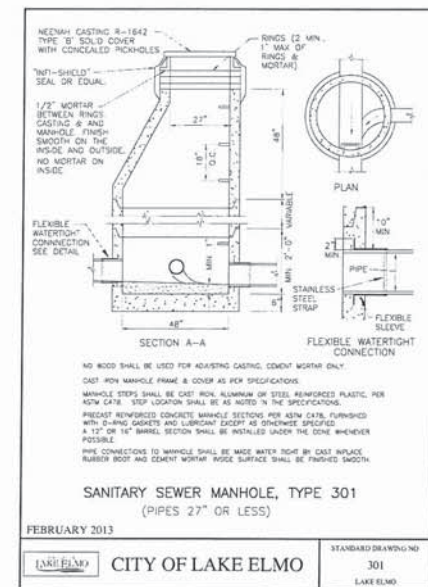
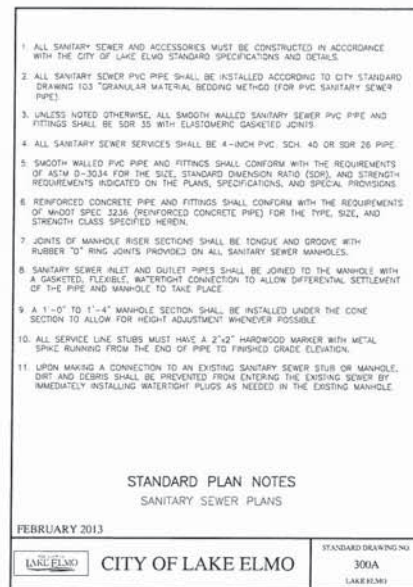
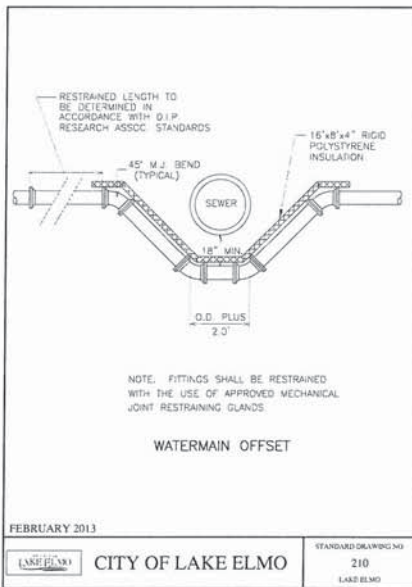
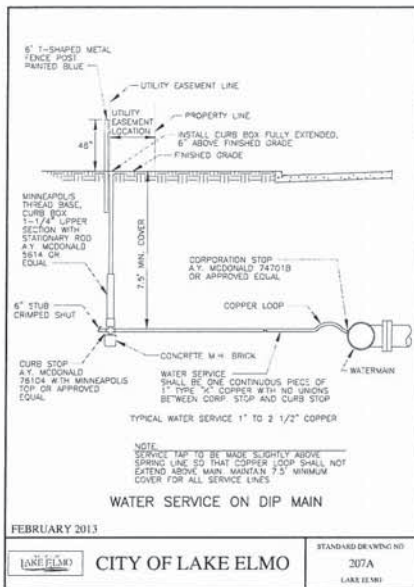
Date: 12-25-2014
Designed: PS, JAW
Drawn: KAW

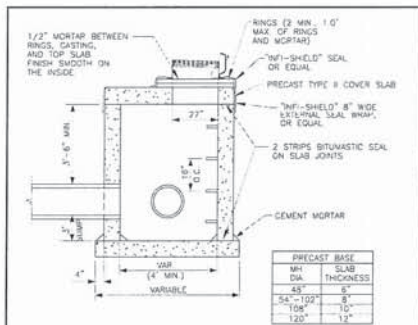
SIGNAGE & LIGHTING PLAN

RYLAND HOMES
7599 ANAGRAM DRIVE
EDEN PRAIRIE, MINNESOTA 55344

HUNTERS CROSSING 2nd ADDITION
LAKE ELMO, MINNESOTA

11 OF 18





NOTES: NO WOOD SHALL BE USED FOR ADJUSTING CASTING, CEMENT MORTAR ONLY.
 CAST IRON FRAME & DRIVE CASTINGS PER SPECIFICATIONS.
 MANHOLE STEPS SHALL BE CAST IRON, ALUMINUM OR STEEL REINFORCED PLASTIC PER ASTM C478. LOCATION SHALL BE AS NOTED IN THE SPECIFICATIONS.
 PRECAST REINFORCED CONCRETE BASE SLAB & COVER SLAB PER ASTM C478.
 PRECAST REINFORCED CONCRETE MANHOLE SECTIONS PER ASTM C478, FURNISHED WITH 3-RING GASKETS & LUBRICANT OR 4\"/>

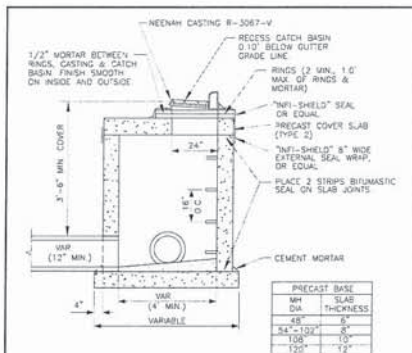
CATCH BASIN/MANHOLE WITH SUMP, TYPE 405

FEBRUARY 2013



CITY OF LAKE ELMO

STANDARD DRAWING NO.
405
LAKE ELMO



NO WOOD SHALL BE USED FOR ADJUSTING CASTING, CEMENT MORTAR ONLY.
 CAST IRON FRAME & DRIVE CASTINGS PER SPECIFICATIONS.
 MANHOLE STEPS SHALL BE CAST IRON, ALUMINUM OR STEEL REINFORCED PLASTIC PER ASTM C478. LOCATION SHALL BE AS NOTED IN THE SPECIFICATIONS.
 PRECAST REINFORCED CONCRETE BASE SLAB & COVER SLAB PER ASTM C478.
 PRECAST REINFORCED CONCRETE MANHOLE SECTIONS PER ASTM C478, FURNISHED WITH 3-RING GASKETS & LUBRICANT OR 4\"/>

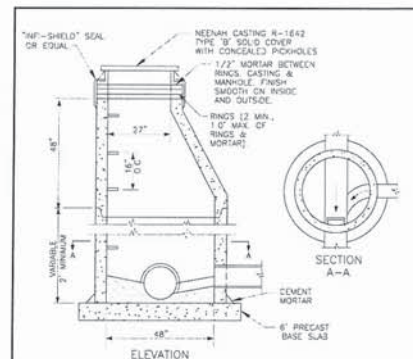
CATCH BASIN/MANHOLE, TYPE 406

FEBRUARY 2013



CITY OF LAKE ELMO

STANDARD DRAWING NO.
406
LAKE ELMO



NO WOOD SHALL BE USED FOR ADJUSTING CASTING, CEMENT MORTAR ONLY.
 CAST IRON FRAME & COVER AS PER SPECIFICATIONS.
 MANHOLE STEPS SHALL BE CAST IRON, ALUMINUM OR STEEL REINFORCED PLASTIC PER ASTM C478. LOCATION SHALL BE AS NOTED IN THE SPECIFICATIONS.
 PRECAST REINFORCED CONCRETE MANHOLE SECTIONS & BASE SLAB PER ASTM C478.
 FURNISH PRECAST MANHOLE SECTIONS WITH 3-RING GASKETS & LUBRICANT EXCEPT AS OTHERWISE SPECIFIED.
 A 1/2\"/>

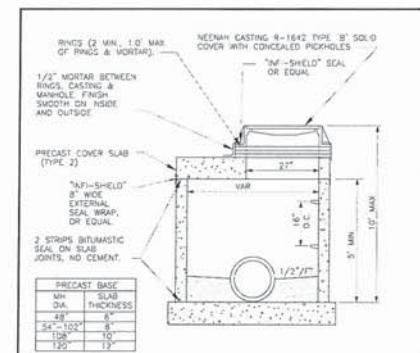
STORM SEWER MANHOLE, TYPE 407
(PIPES 27\"/>

FEBRUARY 2013



CITY OF LAKE ELMO

STANDARD DRAWING NO.
407
LAKE ELMO



NO WOOD SHALL BE USED FOR ADJUSTING CASTING, CEMENT MORTAR ONLY.
 CAST IRON FRAME & COVER AS PER SPECIFICATIONS.
 MANHOLE STEPS SHALL BE CAST IRON, ALUMINUM OR STEEL REINFORCED PLASTIC PER ASTM C478. LOCATION SHALL BE AS NOTED IN THE SPECIFICATIONS.
 PRECAST REINFORCED CONCRETE MANHOLE SECTIONS & BASE SLAB PER ASTM C478.
 FURNISH PRECAST MANHOLE SECTIONS WITH 3-RING GASKETS & LUBRICANT EXCEPT AS OTHERWISE SPECIFIED.
 FULL OPENING BETWEEN PIPE & MH WALL WITH CEMENT MORTAR.
 ROUGH SURFACE SHALL BE FINISHED SMOOTH.

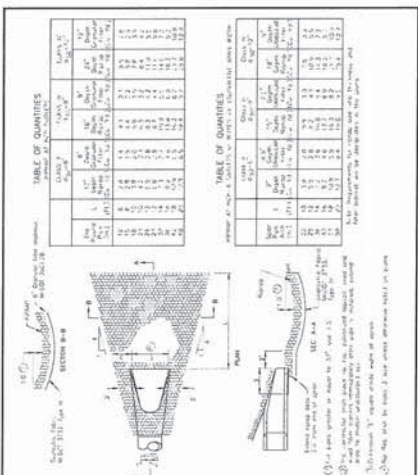
STORM SEWER MANHOLE, TYPE 409

FEBRUARY 2013



CITY OF LAKE ELMO

STANDARD DRAWING NO.
409
LAKE ELMO



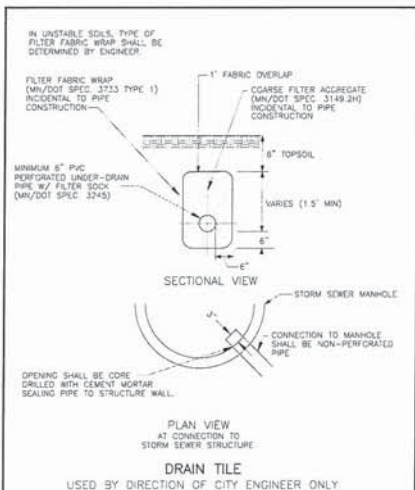
RIPRAP AT RCP OUTLETS

FEBRUARY 2013



CITY OF LAKE ELMO

STANDARD DRAWING NO.
411
LAKE ELMO



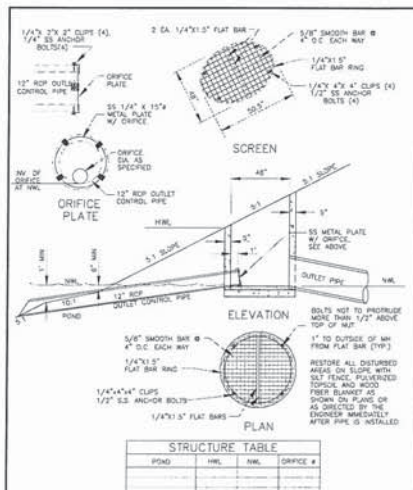
PLAN VIEW AT CONNECTION TO STORM SEWER STRUCTURE
 DRAIN TILE
 USED BY DIRECTION OF CITY ENGINEER ONLY

FEBRUARY 2013



CITY OF LAKE ELMO

STANDARD DRAWING NO.
412
LAKE ELMO



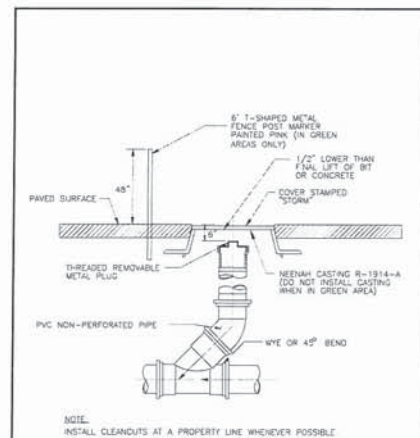
STRUCTURE TABLE
 POND SKIMMER

FEBRUARY 2013



CITY OF LAKE ELMO

STANDARD DRAWING NO.
417
LAKE ELMO



DRAINTILE CLEANOUT
 (CASTING USED FOR CURB STOPS IN HARD SURFACES)

FEBRUARY 2013



CITY OF LAKE ELMO

STANDARD DRAWING NO.
419
LAKE ELMO

PIEEREngineering

2422 Enterprise Drive
 Mendota Heights, MN 55120
 (954) 681-1914
 Fax: 681-9488
 www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

State: Minnesota

Reg. No.: 0000000000

Date: 02/25/2014

Drawn: SAW

Check: SAW

Scale: AS SHOWN

Notes: SEE SPECIFICATIONS

Revised: 02/25/2014

Drawn: SAW

Check: SAW

Scale: AS SHOWN

Notes: SEE SPECIFICATIONS

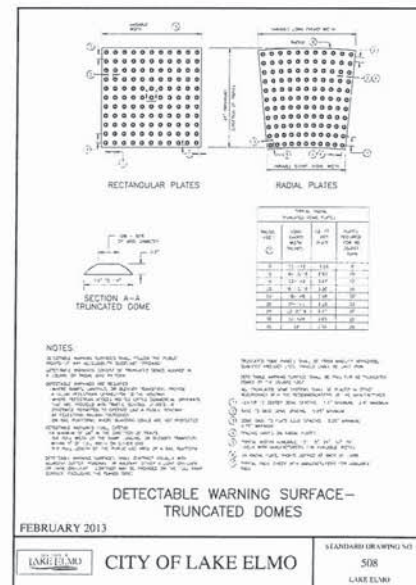
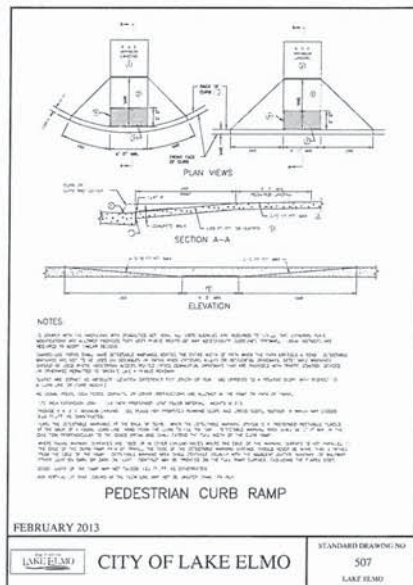
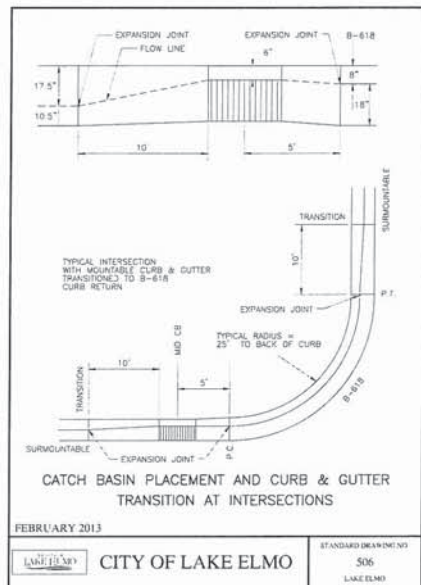
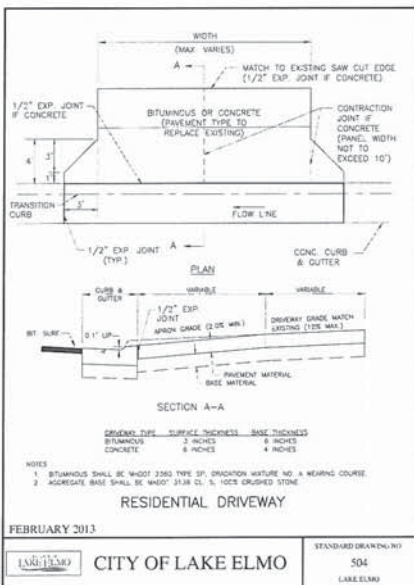
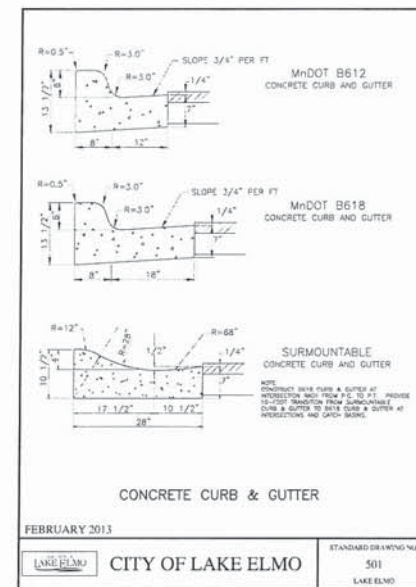
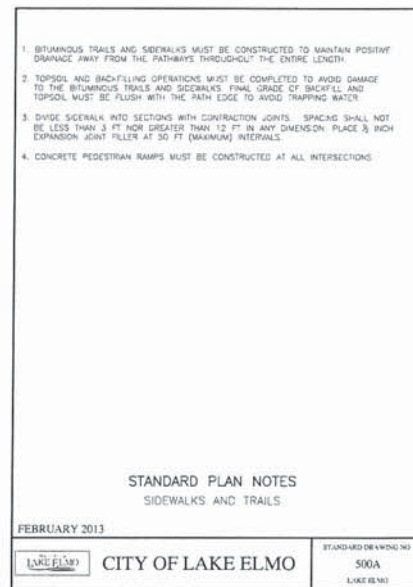
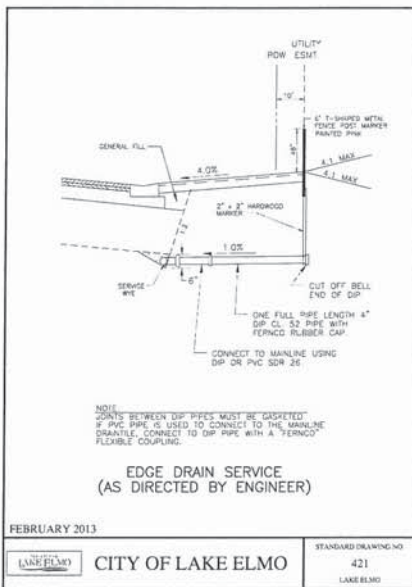
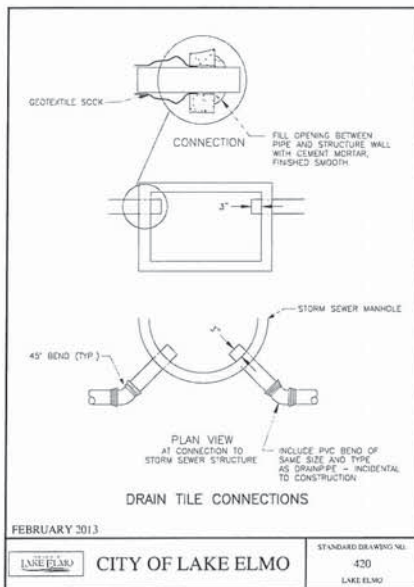
Revised: 02/25/2014

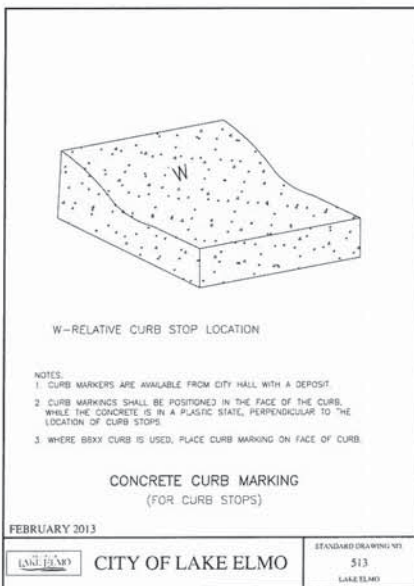
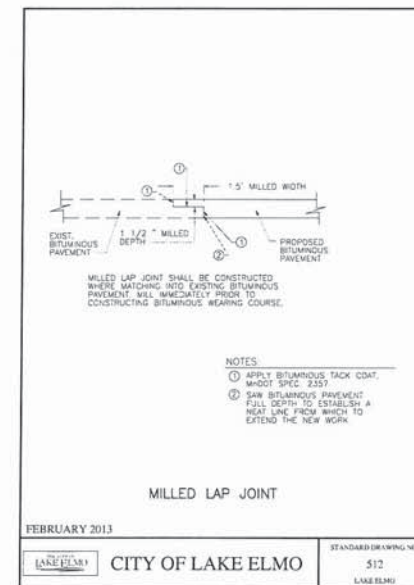
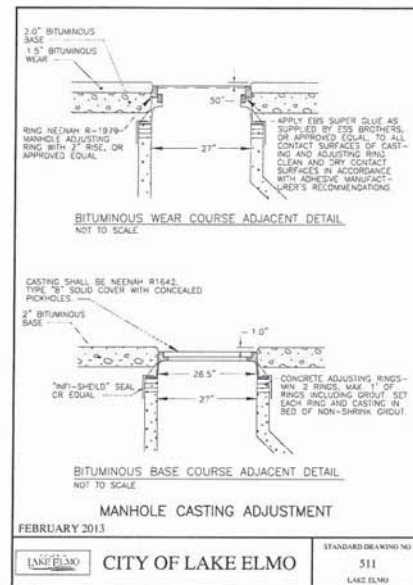
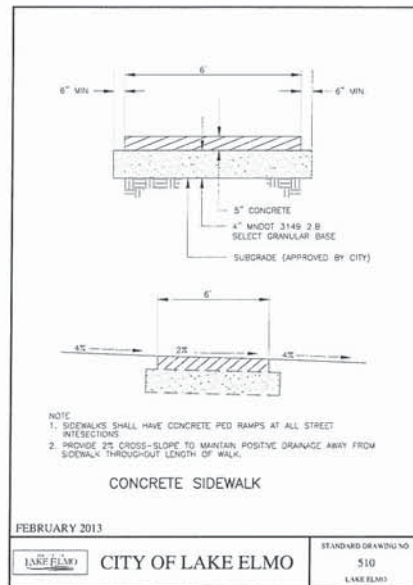
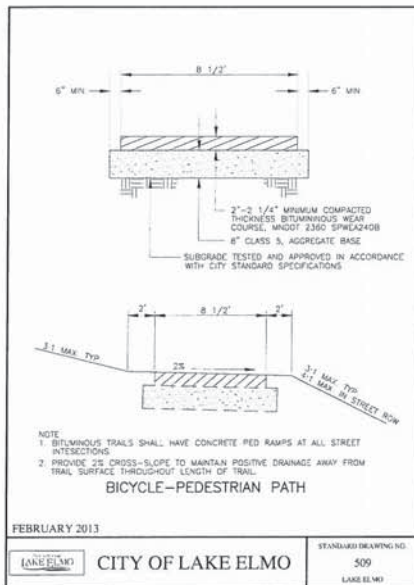
CITY DETAILS

RYLAND HOMES
 7799 ANAGRAM DRIVE
 EDEN PRAIRIE, MINNESOTA 55444

HUNTERS CROSSING 2nd ADDITION
 LAKE ELMO, MINNESOTA

14 OF 18





PIONEERengineering

2422 Enterprise Drive
Mendota Heights, MN 55120
(651) 681-1914
Fax: 651-9488
www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: *[Signature]*
Exp. No.: 10862
Date: 12-23-2014

Project:

Date: 12-23-2014
Designed: JH/JAW
Checked: KAW

CITY DETAILS

RYLAND HOMES
7799 ANACRAM DRIVE
SEEN FRANKS, MINNESOTA 55344

HUNTERS CROSSING 2nd ADDITION
LAKE ELMO, MINNESOTA

16 OF 18

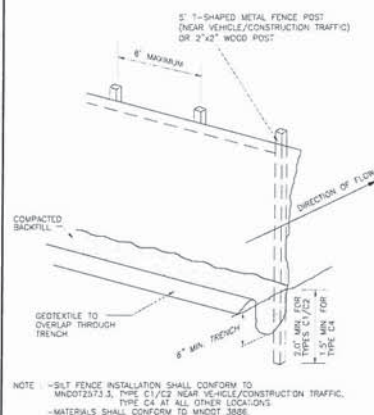
1. RESTORE ALL DISTURBED AREAS WITH 8 INCHES OF TOPSOIL CONFORMING TO WDOT 1977.
2. PROTECT ALL STORM SEWER INLETS AS SPECIFIED HEREIN AND MAINTAIN UNTIL STREET CONSTRUCTION IS COMPLETED.
3. MAINTAIN ALL SILT FENCE AND REPAIR OR REPLACE AS NEEDED OR REQUIRED UNTIL TURF HAS BEEN ESTABLISHED.
4. RESTORATION WORK SHALL BEGIN WITHIN 7 DAYS OF FINAL GRADING.
5. A MINIMUM OF 2 ROWS OF SOD SHALL BE PLACED ADJACENT TO THE BACK OF CURBS ALONG ALL BOULEVARDS. SILT FENCE SHALL BE PLACED DIRECTLY BEHIND THE SOD IN ACCORDANCE WITH THE CITY STANDARD DETAILS.
6. BOULEVARD AND DITCH RESTORATION INCLUDES FINE GRADING, WHICH INCLUDES THE REMOVAL OF ROCKS, DEBRIS AND SOIL CHUNKS, WHILE MAINTAINING POSITIVE DRAINAGE.

STANDARD PLAN NOTES SITE RESTORATION PLANS

FEBRUARY 2013

STANDARD DRAWING NO.
600D
LAKE ELMO

CITY OF LAKE ELMO

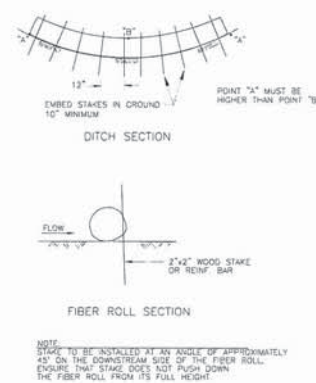


SILT FENCE

FEBRUARY 2013

STANDARD DRAWING NO.
601
LAKE ELMO

CITY OF LAKE ELMO

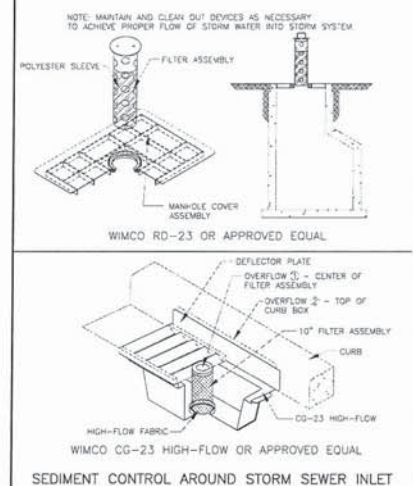


DITCH CHECK (FIBER ROLL)

FEBRUARY 2013

STANDARD DRAWING NO.
603
LAKE ELMO

CITY OF LAKE ELMO

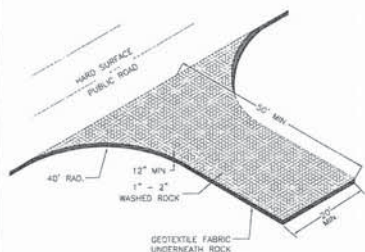


SEDIMENT CONTROL AROUND STORM SEWER INLET

FEBRUARY 2013

STANDARD DRAWING NO.
604
LAKE ELMO

CITY OF LAKE ELMO



ROCK CONSTRUCTION ENTRANCE

FEBRUARY 2013

STANDARD DRAWING NO.
605
LAKE ELMO

CITY OF LAKE ELMO

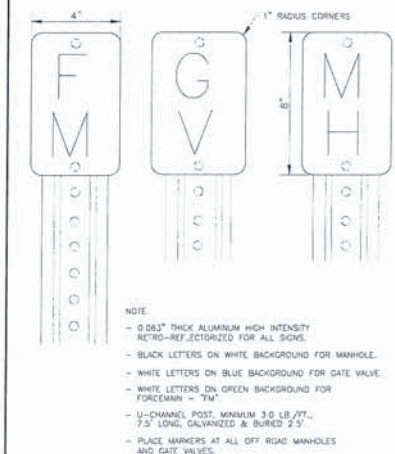
1. STREET LIGHTING SHALL BE INSTALLED PER CITY STANDARDS 5 FEET BACK OF CURB IN LOCATIONS SHOWN ON PLAN.
2. ALL SIGNS MUST MEET MAUTCO.
3. ALL SIGN SHEATHING TO BE HIGH INTENSITY DIAMOND GRADE.
4. SIGN POSTS TO BE UNPAINTED GALVANIZED METAL 2.75 LBS/FT.
5. CITY TO FURNISH AND INSTALL STREET SIGNS.
6. POLY PREFORMED PAVEMENT MATERIAL SHALL BE USED FOR ALL PAVEMENT SYMBOLS.
7. PAINT FOR PAVEMENT MARKINGS SHALL MEET THE REQUIREMENTS OF WDOT. "SPECIFICATIONS FOR WHITE AND YELLOW, THREE MINUTE DRY, ALKID TRAFFIC PAINTS".

STANDARD PLAN NOTES SIGNING/PAVEMENT MARKINGS/LIGHTING PLANS

FEBRUARY 2013

STANDARD DRAWING NO.
700A
LAKE ELMO

CITY OF LAKE ELMO



OFF ROAD STRUCTURE MARKERS

FEBRUARY 2013

STANDARD DRAWING NO.
705
LAKE ELMO

CITY OF LAKE ELMO

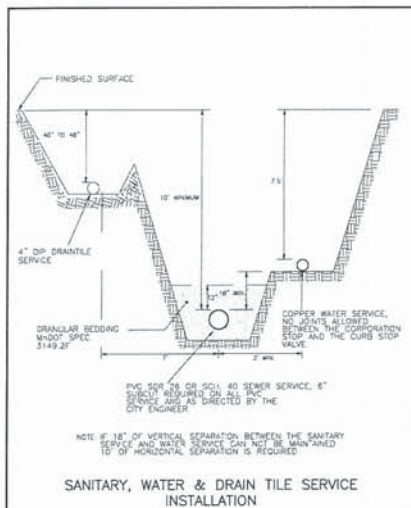
DIMENSION	30\"/>
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- NOTE
- 9\"/>

FEBRUARY 2013

STANDARD DRAWING NO.
706
LAKE ELMO

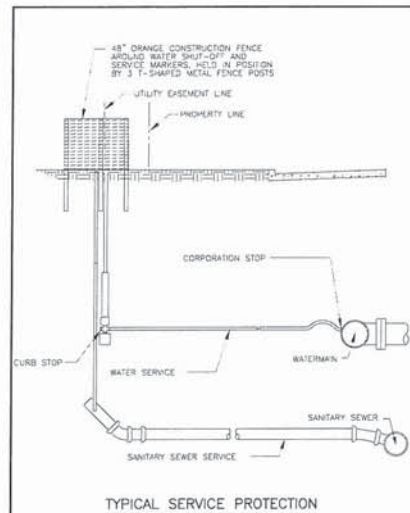
CITY OF LAKE ELMO



FEBRUARY 2013

CITY OF LAKE ELMO

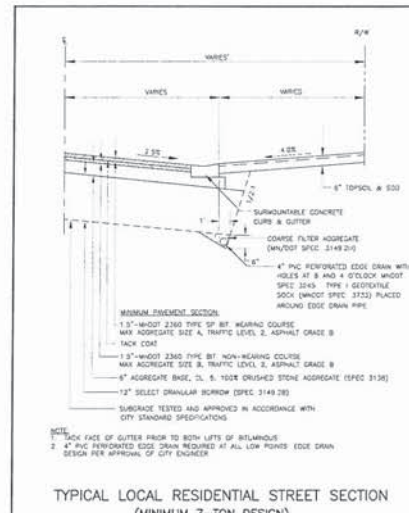
STANDARD DRAWING NO.
712
LAKE ELMO



FEBRUARY 2013

CITY OF LAKE ELMO

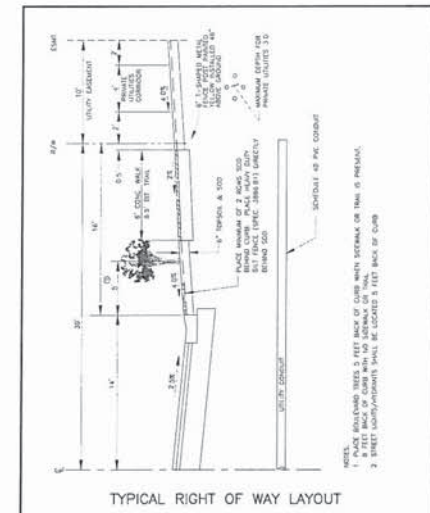
STANDARD DRAWING NO.
713
LAKE ELMO



FEBRUARY 2013

CITY OF LAKE ELMO

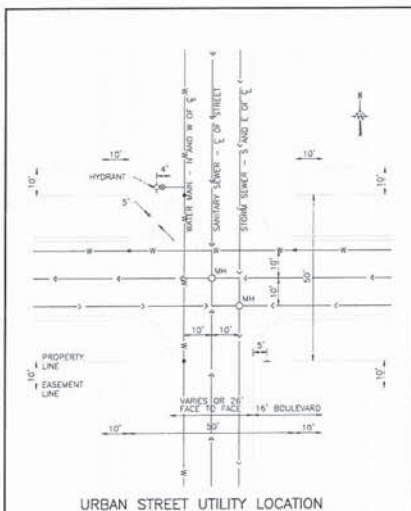
STANDARD DRAWING NO.
801
LAKE ELMO



FEBRUARY 2013

CITY OF LAKE ELMO

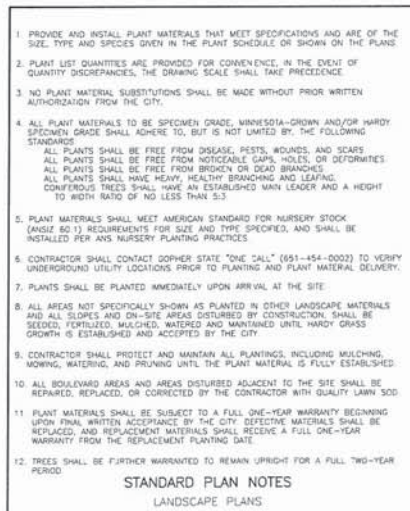
STANDARD DRAWING NO.
805
LAKE ELMO



FEBRUARY 2013

CITY OF LAKE ELMO

STANDARD DRAWING NO.
806
LAKE ELMO



FEBRUARY 2013

CITY OF LAKE ELMO

STANDARD DRAWING NO.
900A
LAKE ELMO

PIENGINEERING

2422 Enterprise Drive
Minnetonka Heights, MN 55120

(951) 681-1914
Fax: 681-9438
www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signature
Date: 12/25/2014

Project
Date: 12/25/2014

Drawn
Checked
Date: 12/25/2014

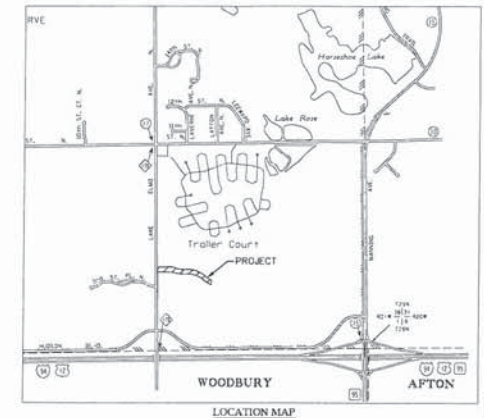
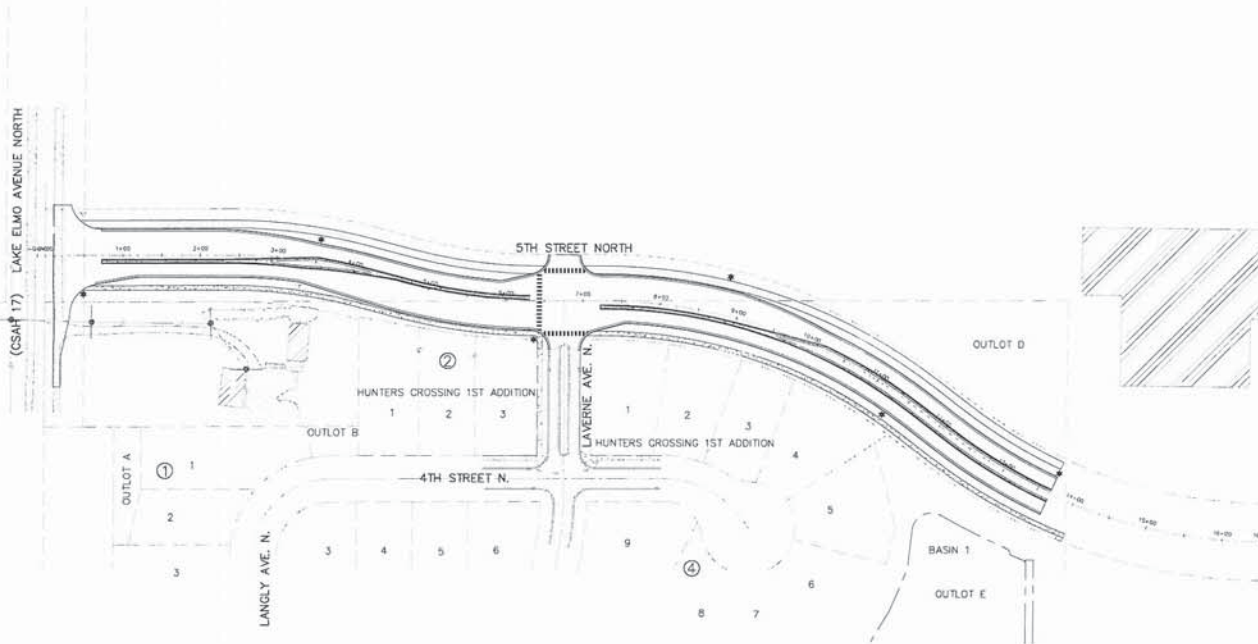
CITY DETAILS

RYLAND HOMES
7709 ANACRAM DRIVE
EDEN PRAIRIE, MINNESOTA 55344

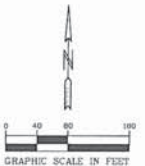
HUNTERS CROSSING 2nd ADDITION
LAKE ELMO, MINNESOTA

18 OF 18

5TH STREET NORTH UTILITY AND STREET CONSTRUCTION LAKE ELMO, MINNESOTA



BENCH MARK
MN/DOT 8282 AG
ELEV=943.87 (1988 datum)



SHEET INDEX

1. COVER SHEET
2. LEGEND SHEET
3. TYPICAL SECTIONS
4. STREET ALIGNMENT SHEET
5. PHASE 1 PLAN
6. PHASE 1 TYPICAL SECTIONS
7. PHASE 2 PLAN
- 8-9. SANITARY SEWER & WATERMAIN
- 10-11. STORM SEWER CONSTRUCTION
- 12-13. STREET CONSTRUCTION
14. SIGNING, STRIPING & LIGHTING PLAN
- 15-18. SECTIONS
- 19-25. CITY DETAILS
- L1-2. LANDSCAPE PLAN

PIONEERengineering

2422 Enterprise Drive
Minnetonka, MN 55305
www.pioneereng.com

I hereby certify that this plan was prepared by
me or under my direct supervision and that I
am a duly Licensed Professional Engineer
under the laws of the State of Minnesota.

Project: 5TH STREET NORTH
Sheet: 1 of 25
Date: 03-30-05

Date: 03-27-05
Designed: P. J. JENSEN
Drawn: MDM

COVER SHEET

RYLAND HOMES
7399 ANAGRAM DRIVE
EDEN PRAIRIE, MINNESOTA 55344

5TH STREET NORTH
LAKE ELMO, MINNESOTA

1 OF 25

LEGEND			
EXISTING	PROPOSED	FUTURE	DESCRIPTION
			SANITARY MANHOLE
			SANITARY SEWER (SANITARY & WATERMAIN PLANS)
			SANITARY SEWER (STORM SEWER PLANS)
			FORCE MAIN
			HYDRANT
			GATE VALVE
			REDUCER
			CURB STOP
			WATERMAIN (SANITARY & WATERMAIN PLANS)
			WATERMAIN (STORM SEWER PLANS)
			CATCH BASIN
			BED VALVE
			STORM MANHOLE
			FLARED END SECTION
			CONTROL STRUCTURE
			STORM SEWER (SANITARY & WATERMAIN PLANS)
			STORM SEWER (STORM SEWER PLANS)
			CULVERT
			PERFORATED DRANTILE
			SOLID DRANTILE SERVICE
			CASING
			UNDERGROUND ELECTRIC LINE
			UNDERGROUND FIBER OPTIC LINE
			UNDERGROUND GAS PIPELINE
			UNDERGROUND PETROLEUM PIPELINE
			UNDERGROUND TELEPHONE LINES
			OVERHEAD UTILITY LINES
EXISTING	PROPOSED	FUTURE	DESCRIPTION
			B612-STYLE CURB & GUTTER
			B624-STYLE CURB & GUTTER
			REBORN CURB & GUTTER
			EDGE OF BITUMINOUS
			YELLOW PAVEMENT STRIPING (SINGLE/DOUBLE)
			WHITE PAVEMENT STRIPING (SINGLE/DOUBLE)
			PHASE LINE
			CENTERLINE
			2' CONTOUR LINE
			10' CONTOUR LINE
			POND OUTLET LINE
			POND HIGH WATER LINE
			PROPOSED SPOT ELEVATION
			EMERGENCY OVERFLOW
			DRAINAGE FLOW ARROW
			DELINEATED / PROPOSED WETLAND LINE
			WETLAND BUFFER
			TREE LINE
			FEMA FLOODPLAIN BOUNDARY
			RETAINING WALL
			FENCE (BARBED WIRE)
			FENCE (CHAIN LINK)
			FENCE (WOOD)
			CONSERVATION AREA SIGN
			WETLAND BUFFER SIGN
			TYPE III BARRICADE
			LIGHT POLE
			STREET SIGNS
			PEDESTRIAN RAMP
EXISTING	PROPOSED	FUTURE	DESCRIPTION
			BOUNDARY
			RIGHT OF WAY
			LOT LINE
			EASEMENT
			SET BACK LINE
			SECTION LINE
			RESTRICTED ACCESS
HATCH PATTERNS			
	GRAVEL SURFACE		WETLAND
	BITUMINOUS SURFACE		WETLAND UPLAND BUFFER
	CONCRETE SURFACE		WETLAND MITIGATION
	R/P RAP		PERMANENT TURF RESTORATION
	SELECT BACKFILL MATERIAL		PERMANENT WET BASIN SEEDING
	EROSION CONTROL BLANKET		UPLAND/NATURAL AREA SEEDING
	MNDOT CATEGORY PER PLAN		

TOPOGRAPHIC SYMBOLS

	CATCH BASIN
	CATCH BASIN BED VALVE
	FLARED END SECTION
	GATE VALVE
	HYDRANT
	WATER SERVICE
	WATER WELL
	MONITORING WELL
	CLEANOUT
	HAND HOLE
	MANHOLE OTHER THAN SANITARY OR STORM
	SANITARY OR STORM MANHOLE
	LAWN SPRINKLER VALVE
	LAWN SPRINKLER HEAD
	UTILITY POLE
	TRANSFORMER BOX
	FIBER OPTIC BOX
	ELECTRIC BOX
	NATURAL GAS METER
	LIGHT POLE
	SCAPHONE
	TELEPHONE BOX
	CABLE BOX
	CAST IRON MONUMENT
	FOUND IRON PIPE
	JUDICIAL LAND MARK
	P.N.M.
	CONTROL POINT
	SPIKE
	FLAG POLE
	TEST HOLE
	MAILBOX
	SIGN
	BOLLARD
	CONSERVATION POST
	DECIDUOUS TREE
	CONIFEROUS TREE
	SHRUB / BUSH

EROSION & SEDIMENT CONTROL

	STANDARD EROSION CONTROL
	HEAVY-DUTY EROSION CONTROL
	SECONDARY EROSION CONTROL FENCE
	EROSION CONTROL AT BACK OF CURB
	TREE FENCE
	CATCH BASIN INLET PROTECTION
	STRAW BIO ROLLS
	ROCK BERM
	SUMPED RIP RAP PERMANENT ENERGY DISSIPATER
	DISCHARGE LOCATION
	GRAVEL CONSTRUCTION ENTRANCE
	TEMPORARY OUTLET FLOATING SKIMMER
	BASIN ACCESS 8% SLOPE MAX.

CURB LEGEND

	TOP OF CURB ELEVATION FOR B6 CURB
	TOP OF CURB ELEVATION FOR TIPOUT B6 CURB
	BITUMINOUS ELEVATION
	TIPOUT B612 CURB & GUTTER
	B612 CURB & GUTTER
	B624 CURB & GUTTER
	BITUMINOUS EDGE

ABBREVIATIONS

A	ALGEBRAIC DIFFERENCE
BV	BUTTERFLY VALVE
BM	BEST MANAGEMENT PRACTICE
CL	CENTER LINE
CB	CATCH BASIN
CBM	CATCH BASIN MANHOLE
CM	CORRUGATED METAL PIPE
CO	CLEAN OUT
CS	CURB STOP
DIP	DUCTILE IRON PIPE
DT	DRANTILE
EL/ELEV	ELEVATION
EX	EXISTING
FES	FLARED END SECTION
F-F	FACE TO FACE
FM	FORCEMAIN
GB	GRADE BREAK
GND	GROUND
GV	GATE VALVE
HP	HIGH POINT
HYD	HYDRANT
HWL	HIGH WATER LEVEL
INV	INVERT
K	CURVE COEFFICIENT
L	LENGTH
LF	LOWEST FLOOR
LO	LOOKOUT
LO	LOWEST OPENING
LP	LIQUID PETROLEUM
LP	LOW POINT
MH	MANHOLE
PC	POINT OF CURVATURE
PCC	COMPOUND CURVE
PI	POINT OF INTERSECTION
PL	PROPERTY LINE
PRC	POINT OF REVERSE CURVATURE
PVT	POINT OF TANGENCY
PVC	POINT OF VERTICAL CURVATURE
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
R	RADIUS
R	RAMBLER
RC	REINFORCED CONCRETE PIPE
R/W	RIGHT OFF WAY
SSWR	SANITARY SEWER
STA	STATION
STRM	STORM SEWER
SWPPP	STORM WATER POLLUTION PROTECTION PLAN
TN	TOP NOT HYDRANT
TYP	TYPICAL
WM	WATER MAIN
WO	WALKOUT

PIONEERengineering

2422 Enterprise Drive
Minnetonka, MN 55310
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Fax: 952-835-1948
www.pioneereng.com

I hereby certify that this plan was prepared by
me or under my direct supervision and that I
am a duly Licensed Professional Engineer
within the State of Minnesota.

Date: 02/27/2013
Drawing: 02/27/2013
Sheet: 02/27/2013

Project: 02/27/2013
Drawing: 02/27/2013
Sheet: 02/27/2013

Drawn: 02/27/2013
Checked: 02/27/2013
Date: 02/27/2013

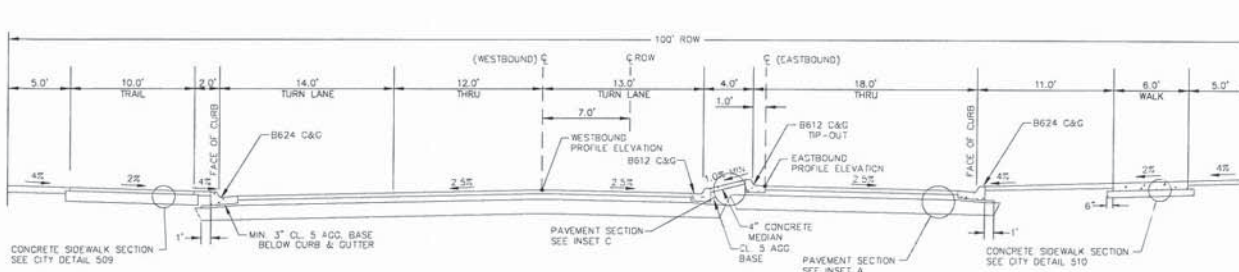
LEGEND AND NOTES

RYLAND HOMES
7299 ANAHEIM DRIVE
EDEN PRAIRIE, MINNESOTA 55444

5TH STREET NORTH
LAKE ELMO, MINNESOTA

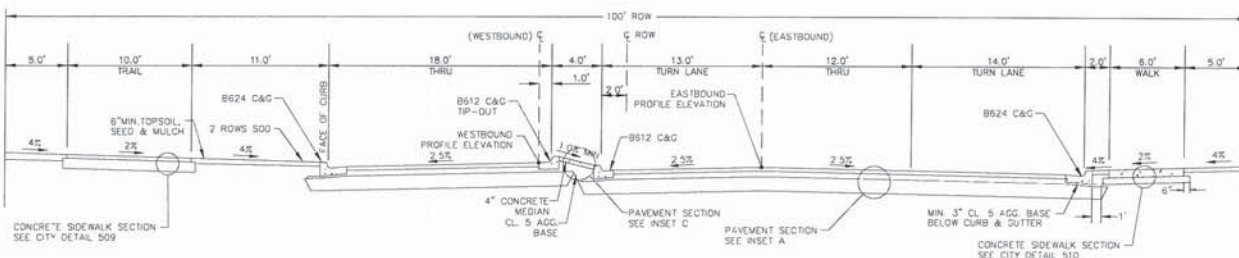
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2 OF 25



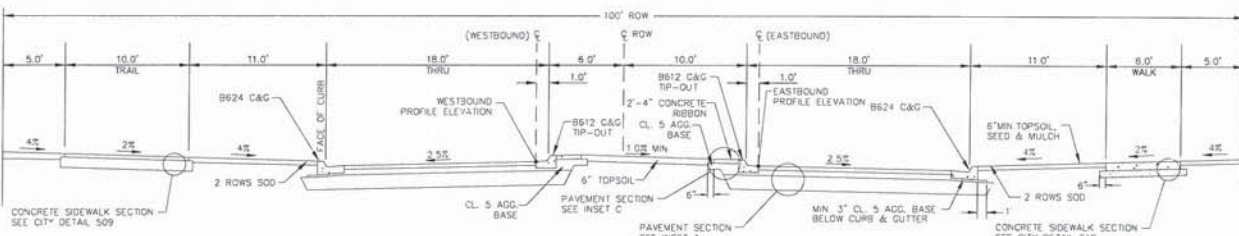
TYPICAL 5TH STREET NORTH SECTION WESTBOUND TURN LANES

TYPICAL SECTION (N.T.S.)
ROW STATION 0+72 TO 2+31 & 7+22 TO 8+98



TYPICAL 5TH STREET NORTH SECTION EASTBOUND TURN LANES

TYPICAL SECTION (N.T.S.)
ROW STATION 4+56 TO 6+31



TYPICAL 5TH STREET NORTH SECTION

TYPICAL SECTION (N.T.S.)
ROW STATION 10+19 TO 13+67



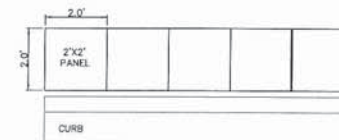
INSET A PAVEMENT SECTION
2" MNDOT 2360 TYPE SP 9.5, MIXTURE 2B WEARING COURSE
#2.57 TACK COAT
2" MNDOT 2360 TYPE SP 12.5, MIXTURE 2B BITUMINOUS BASE
8" CLASS 5 AGGREGATE BASE, 100% CRUSHED STONE MNDOT 3138
24" SELECT GRANULAR FILL MNDOT 3149 2B
APPROVED SUBGRADE (INCLUDES TEST ROLLING AND SUBGRADE PREPARATION)

INSET A PAVEMENT SECTION
TYPICAL SECTION (N.T.S.)



INSET C CONCRETE RIBBON SECTION
4" CONCRETE
4" CLASS 5 AGGREGATE BASE, 100% CRUSHED STONE MNDOT 3138
APPROVED SUBGRADE (INCLUDES TEST ROLLING AND SUBGRADE PREP AND SUBGRADE PREPARATION)

INSET C CONCRETE RIBBON SECTION
TYPICAL SECTION (N.T.S.)



NOTE:
1. ISOLATION JOINT AT 250' INTERVAL OR AT FIXED OBJECTS.
2. COLOR PER LANDSCAPE PLAN.

CONCRETE MEDIAN DETAIL
TYPICAL SECTION (N.T.S.)

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Minnetonka, MN 55120
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F: 952.338.1948
www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Water: *[Signature]*
Reg. No.: 19801 Date: JUL 30, 2015

Revisions:

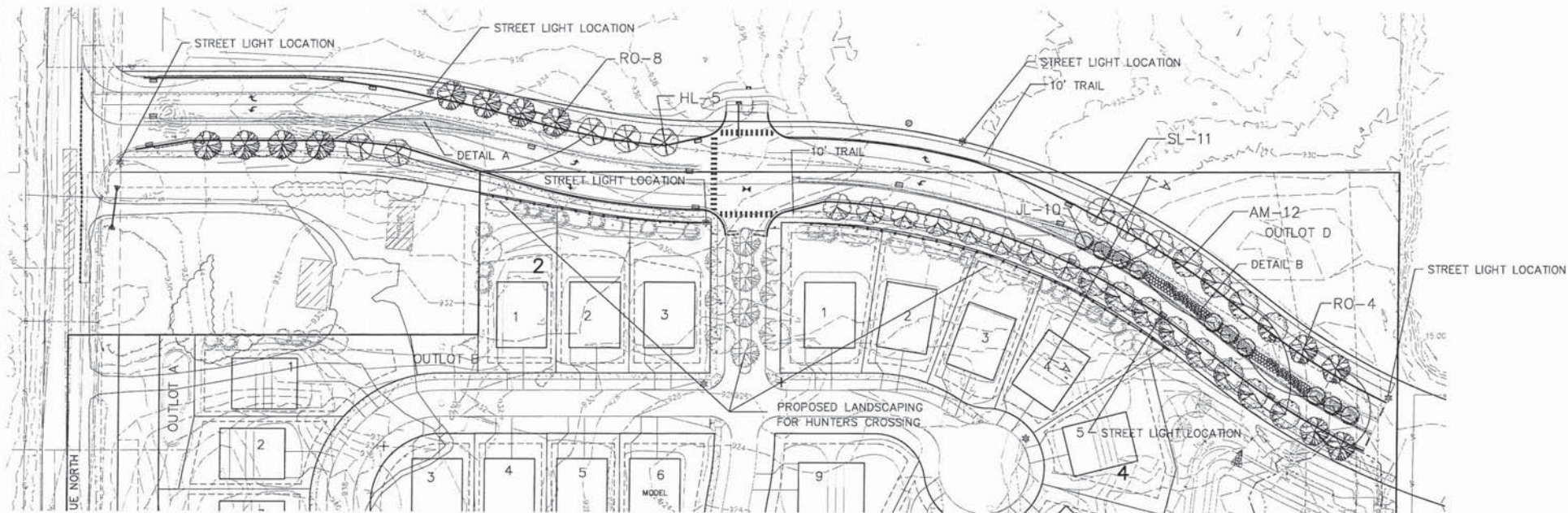
Date: 07/27/2015
Designed: YRS/BMM
Drawn: BMM

TYPICAL SECTIONS

RYLAND HOMES
7399 ANAGRAM DRIVE
EDEN PRAIRIE, MINNESOTA 55444

5TH STREET NORTH
LAKE ELMO, MINNESOTA

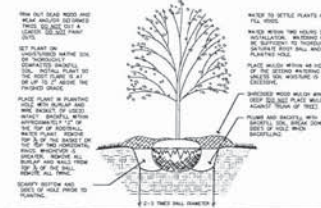
3 OF 25



KEY	COMMON NAME/SCIENTIFIC NAME	ROOT	QUANTITY
OVERSTORY TREES			
AM	AUTUMN BLAZE MAPLE/ACER X FREEMANI 'AUTUMN BLAZE'	2.5" B&B	12
SL	SENTRY LINDEN/TILIA AMERICANA 'SENTRY'	2.5" B&B	11
HL	THORNLESS HONEYLOCUST/GLEDITSIA TRACANTHOS VAR INERMIS	2.5" B&B	5
RO	RED OAK/QUERCUS RUBRA	2.5" B&B	12
ORNAMENTAL TREES			
JL	JAPANESE TREE LILAC/SYRINGA RETICULATA (CLUMP)	6' B&B	10

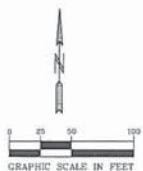
SEE SHEET L2 FOR DETAILS A AND B AND CROSS SECTION A-A'

DECIDUOUS TREE PLANTING DETAIL



LANDSCAPE NOTES

- THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE PROJECT SITE TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS PRIOR TO SUBMITTING A BID.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF PROPOSED PHYSICAL START DATE AT LEAST 5 DAYS IN ADVANCE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FIELD VERIFICATION OF ALL EXISTING UTILITY LOCATIONS ON THE PROJECT SITE WITH Gopher State One Call 1-800-255-1111 PRIOR TO COMMENCING WORK. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS TO FACILITATE PLANT RELOCATION.
- ALL CONTAINER MATERIAL TO BE ORDERED IN THE CONSUMER A MINIMUM OF SIX (6) MONTHS PRIOR TO PLANTING ON SITE.
- NO PLANT MATERIAL SHALL BE INSTALLED UNTIL GRADING HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL PLANT MATERIAL SHALL MEET THE STANDARDS FOUND IN THE AMERICAN ASSOCIATION OF HORTICULTURISTS-AMERICAN STANDARD FOR NURSERY STOCK.
- DECIDUOUS AND CONIFEROUS TREES SHALL NOT BE STAKED, BUT THE LANDSCAPE CONTRACTOR MUST GUARANTEE STABILITY TO A WIND SPEED OF 40 MPH.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM GUARANTEE OF ONE YEAR ONE (1) REPLACEMENT ON NEW PLANT MATERIALS. GUARANTEES SHALL BE ADDED UPON BY DEVELOPER/OWNER AND LANDSCAPE CONTRACTOR BEFORE SIGNING OFF AFTER INSTALLATION.
- IF THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN AND THE NUMBER SHOWN ON THE PLANT LIST, THE NUMBER SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WILDCUTS AND PLANTING SOIL QUANTITIES BY COMPLETING WORK SHOWN ON THE PLAN. THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON THE PLAN CORRECTLY.
- CONSTRUCTION SPACE FOR LAWN GRASS SHALL BE INDICATED WHERE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL REPAIR ALL DAMAGE TO THE SITE CAUSED BY THE PLANTING OPERATION AT NO COST TO THE OWNER.
- THE LANDSCAPE CONTRACTOR SHALL KEEP PERMANENT CLEAR UNOBSTRUCTED. ALL PESTERMIN AND WEEVIL ACCESS TO BE MAINTAINED THROUGHOUT CONSTRUCTION PERIOD. ALL WEEVILS SHALL BE PROMPTLY REPORTED FROM THE SITE, ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS AND PERMITS GOVERNING THE WORK.
- ESTIMATE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE ALLOWED.



PIONEERengineering

2422 Enterprise Drive
Mendota Heights, MN 55120
www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.
Name: Amelia L. Thompson
Reg. No.: 38755 Date: 5-4-2015

No. sheets: _____

Date: 5-4-2015
Designed by: _____
Drawn by: _____

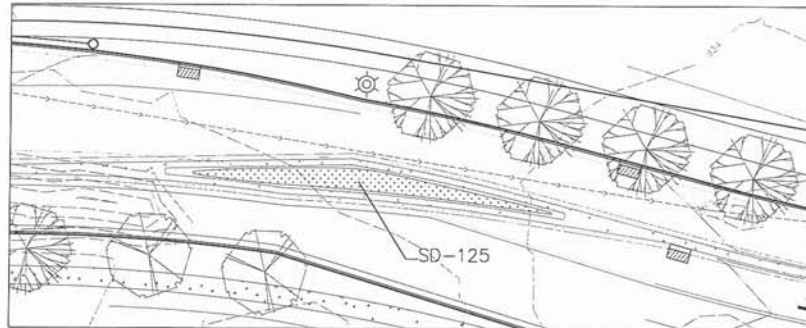
LANDSCAPE PLAN

RYLAND HOMES
1799 ANAHEIM DRIVE
EDEN PRAIRIE, MINNESOTA 55444

5TH STREET NORTH
LAKE ELMO, MINNESOTA

L1 of 2

DETAIL A



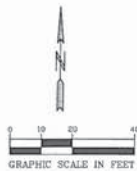
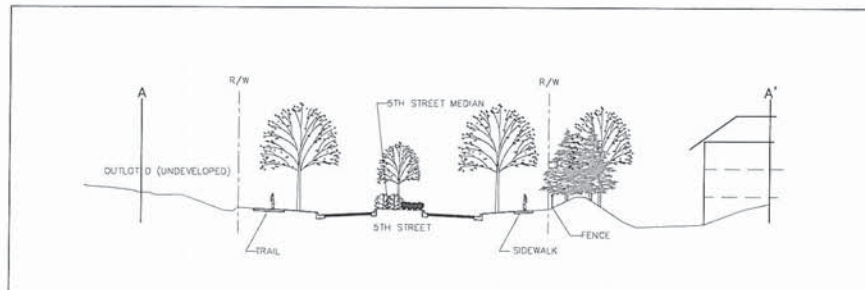
KEY	COMMON NAME/SCIENTIFIC NAME	ROOT	QUANTITY
SHRUBS			
GBC	GLOSSY BLACK CHOKEBERRY/ARONIA MELANOCARPIA	#3 POT	34
GFS	GOLDFLAME SPIREA/SPIRAEA X BUMALDA 'GOLDFLAME'	#3 POT	29
RR	RUGOSA ROSE/ROSA RUGOSA	#3 POT	35
PERENNIALS			
AJ	AUTUMN JOY SEDUM/SEDUM SPECTABILE 'AUTUMN JOY'	#1 POT	160
KF	KARL FOERSTER/CALAMAGROSTIS ACUTIFOLIA	#1 POT	160
SD	STELLA D'ORO DAYLILY/HERMOCAJUS 'STELLA D'ORO'	#1 POT	275

NOTES:

PERENNIAL AREAS TO BE AMENDED WITH COMPOST/PLANTING SOIL TO A DEPTH OF AT LEAST 6" MEDIAN PLANTING BEDS TO BE MULCHED WITH SHREDDED WOOD MULCH TO A DEPTH OF 3" NO WEED BARRIER USED BENEATH WOOD MULCH PREEN (OR EQUIVALENT) TO BE USED AT TIME OF PLANTING AND ACCORDING TO PACKAGE INSTRUCTIONS AS PART OF A REGULAR ONGOING MAINTENANCE PROGRAM. BOULEVARD AREAS BETWEEN ROAD AND TRAIL/SIDEWALK AND TRAIL/SIDEWALK AND PROPERTY LINE TO BE SODDED MEDIAN PLANTINGS TO BE TEMPORARILY IRRIGATED FOR AT LEAST ONE GROWING SEASON OR UNTIL PLANTINGS ARE ESTABLISHED. SODDED BOULEVARDS TO BE IRRIGATED AS PART OF ADJACENT DEVELOPMENTS. IRRIGATION DESIGNED BY OTHERS. MAINTENANCE (INCLUDING IRRIGATION) OF 5TH STREET LANDSCAPING TO BE RESPONSIBILITY OF CITY OF LAKE ELMO

MEDIAN PLANTS CHOSEN FOR LOW MAINTENANCE TENDANCIES ALONG WITH MODERATE TO HIGH SALT TOLERANCE.

CROSS-SECTION A-A'



PIONEERengineering

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Mendota Heights, MN 55120
651-681-1914
Fax: 651-681-9488
www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

Name: Joseph L. Thompson
Lic. No.: 36753
Date: _____

Address: _____

Sheet: LA-2015
Project: 28
Drawn: JB
Checked: JB

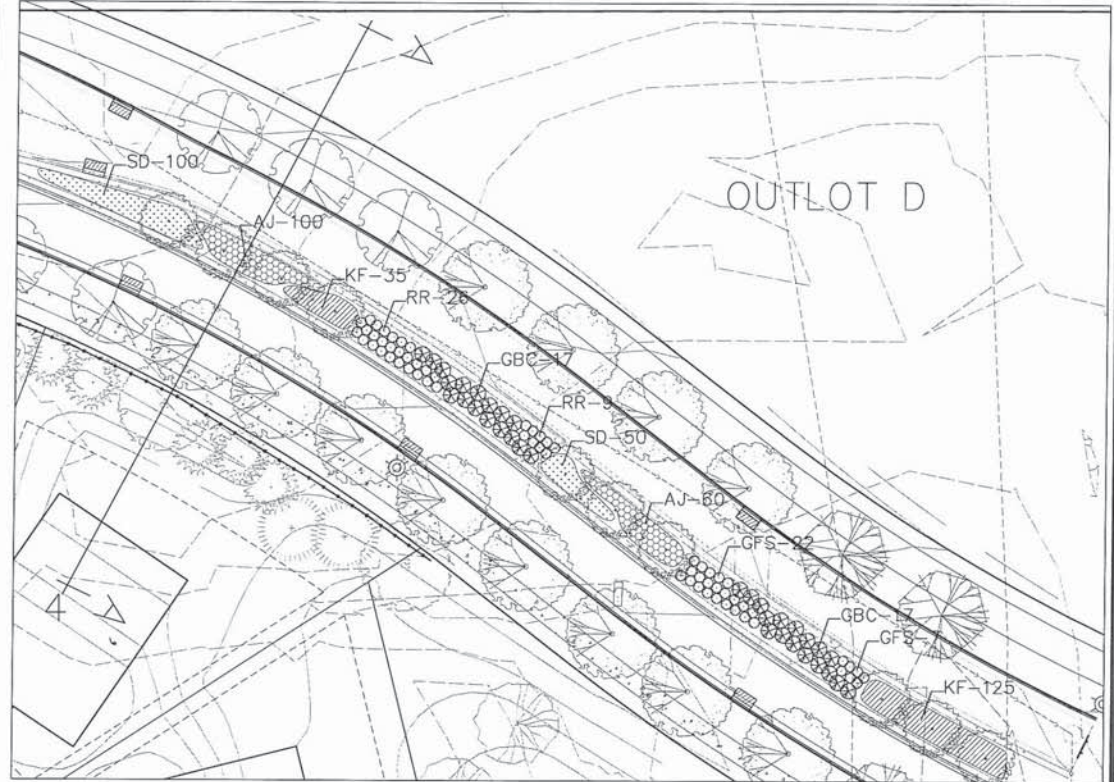
LANDSCAPE PLAN

RYLAND HOMES
7799 ANAGRAM DRIVE
EDEN PRAIRIE, MINNESOTA 55344

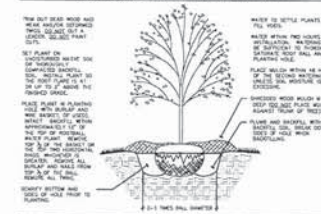
5TH STREET NORTH
LAKE ELMO, MINNESOTA

L2 OF 2

DETAIL B



DECIDUOUS TREE PLANTING DETAIL



LANDSCAPE NOTES

- THE LANDSCAPE CONTRACTOR SHALL VERIFY THE PROJECT SITE TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS PRIOR TO SUBMITTING A BID.
- THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LANDSCAPE ARCHITECT'S PROPOSED PHYSICAL EXISTING DATE AT LEAST 7 DAYS IN ADVANCE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FIELD VERIFICATION OF ALL EXISTING UTILITY LOCATIONS ON THE PROJECT SITE WITH EXISTING DATE AND CALL 1-800-4-A-UTILITY PRIOR TO COMMENCING WORK. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF EXISTING UTILITIES DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER. VERIFY THE LANDSCAPE ARCHITECT'S OF ANY COMMENTS TO PROTECTIVE PLANT RELOCATION.
- GRADING TO BE PERFORMED BY OTHERS.
- NO PLANT MATERIAL SHALL BE INSTALLED UNTIL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL PLANT MATERIAL SHALL MEET THE STANDARDS FOUND IN THE AMERICAN ASSOCIATION OF NORTHERN-AMERICAN STANDARDS FOR NURSERY STOCK.
- ALL CONTAINER MATERIAL TO BE GROWN IN THE CONTAINER A MINIMUM OF SIX (6) MONTHS PRIOR TO PLANTING ON SITE.
- DECIDUOUS AND CONIFEROUS TREES SHALL NOT BE STAKED, BUT THE LANDSCAPE CONTRACTOR MUST GUARANTEE STABILITY TO A WIND SPEED OF 50 M.P.H.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM GUARANTEE OF ONE YEAR ON THE REPLACEMENT OF NEW PLANT MATERIALS. GUARANTEE SHALL BE LIMITED TO THE LANDSCAPE CONTRACTOR AND LANDSCAPE ARCHITECT'S REVIEWING AND APPROVING THE REPLACEMENT OF NEW PLANT MATERIALS.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO SELECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY REPAIR, REPAIR OR AFTER REPLANTING.
- IF THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN AND THE NUMBER SHOWN ON THE PLANT LIST, THE NUMBER SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MULCHES AND PLANTING SOIL QUANTITIES TO COMPLETE WORK SHOWN ON THE PLAN. THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON THE PLAN FOR CORRECTION.
- CONCRETE SPACES FOR LAWN GRASS SHALL BE INSTALLED PRIOR TO PLANTING.
- THE LANDSCAPE CONTRACTOR SHALL REPAIR ALL DAMAGE TO THE SITE CAUSED BY THE PLANTING OPERATION AT NO COST TO THE OWNER.
- THE LANDSCAPE CONTRACTOR SHALL KEEP PLANTINGS CLEAN UNLESS, ALL PLANTINGS AND REPAIRS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION PERIOD. ALL PLANTINGS SHALL BE PROPERLY PROTECTED FROM THE SITE AND DAMAGE TO EXISTING FACILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS AND PERMITS REGARDING THE WORK.
- STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE ALLOWED ON ANY LOT, STREET OR LANDSCAPE STREET.

Date Received: _____
Received By: _____
Permit #: _____



651-747-3900
3800 Laveme Avenue North
Lake Elmo, MN 55042

LAND USE APPLICATION

☐ Comprehensive Plan ☐ Zoning District Amend ☐ Zoning Text Amend ☐ Variance*(see below) ☐ Zoning Appeal

☐ Conditional Use Permit (C.U.P.) ☐ Flood Plain C.U.P. ☐ Interim Use Permit (I.U.P.) ☐ Excavating/Grading

☐ Lot Line Adjustment ☐ Minor Subdivision ☐ Residential Subdivision Sketch/Concept Plan

☐ PUD Concept Plan ☐ PUD Preliminary Plan ☐ PUD Final Plan

☒ EASEMENT VACATION

Applicant: The Ryland Group ATTN: TRACEY RUST
Address: 7599 Anagram Dr, Eden Prairie, MN 55344
Phone #: (952) 229-6063
Email Address: trust@ryland.com

Fee Owner: SAME
Address: _____
Phone #: _____
Email Address: _____

Property Location (Address and Complete (long) Legal Description): Hunters Crossing

Detailed Reason for Request: - Public Roadway and utility easement vacation

- DRAINAGE + UTILITY EASEMENT VACATION

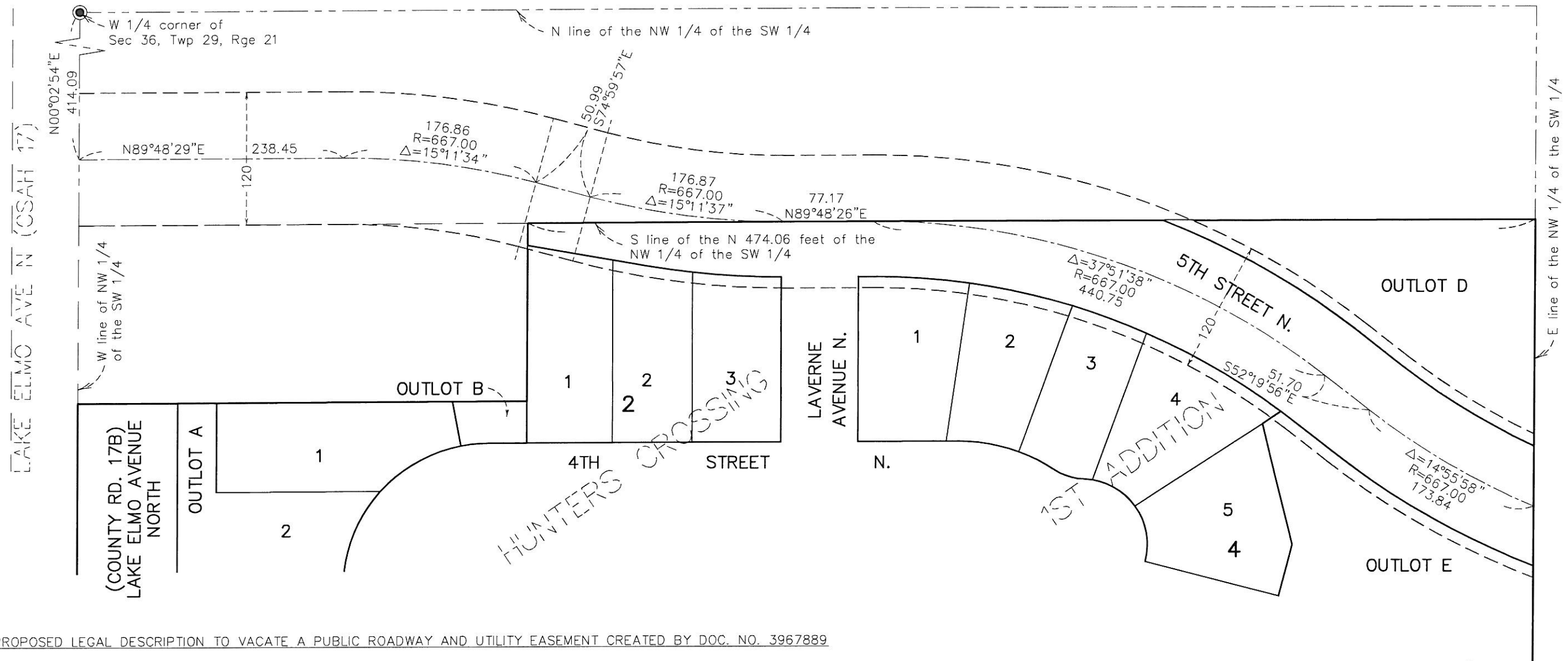
*Variance Requests: As outlined in Section 301.060 C. of the Lake Elmo Municipal Code, the applicant must demonstrate practical difficulties before a variance can be granted. The practical difficulties related to this application are as follows:

In signing this application, I hereby acknowledge that I have read and fully understand the applicable provisions of the Zoning ordinance and current administrative procedures. I further acknowledge the fee explanation as outlined in the application procedures and hereby agree to pay all statements received from the City pertaining to additional application expense.

Signature of applicant: Tracey Rust Date: 3/9/15

Signature of fee owner: [Signature] Date: 3/9/15

Michael W. Dvorc
DIVISION PRESIDENT



PROPOSED LEGAL DESCRIPTION TO VACATE A PUBLIC ROADWAY AND UTILITY EASEMENT CREATED BY DOC. NO. 3967889

That part of a 120.00 foot wide easement for public roadway and utility purposes created by document number 3967889, lying over, under, and across Lots 1, 2, and 3, Block 2, Lots 1, 2, 3, and 4, Block 4, and Outlots D and E, HUNTERS CROSSING 1ST ADDITION, according to the recorded plat thereof, Washington County, Minnesota.

The centerline of said easement is described as follows:

Commencing at the West Quarter corner of Section 36, Township 29 North, Range 21 West, Washington County, Minnesota; thence on an assumed bearing of South 00 degrees 02 minutes 54 seconds West along the west line of the Northwest Quarter of the Southwest Quarter of said Section 36, a distance of 414.09 feet to the point of beginning of said centerline; thence North 89 degrees 48 minutes 29 seconds East, a distance of 238.45 feet; thence southeasterly a distance of 176.86 feet along a tangential curve concave to the southwest having a radius of 667.00 feet and a central angle of 15 degrees 11 minutes 34 seconds; thence South 74 degrees 59 minutes 57 seconds East tangent to said curve, a distance of 50.99 feet; thence southeasterly a distance of 176.87 feet along a tangential curve concave to the northeast having a radius of 667.00 feet and a central angle of 15 degrees 11 minutes 37 seconds; thence North 89 degrees 48 minutes 26 seconds East tangent to said curve, a distance of 77.17 feet; thence southeasterly a distance of 440.75 feet along a tangential curve concave to the southwest having a radius of 667.00 feet and a central angle of 37 degrees 51 minutes 38 seconds; thence South 52 degrees 19 minutes 56 seconds East tangent to said curve, a distance of 51.70 feet; thence southeasterly a distance of 173.84 feet along a tangential curve, concave to the northeast, having a radius of 667.00 feet and a central angle of 14 degrees 55 minutes 58 seconds, to the east line of said Northwest Quarter of the Southwest Quarter and there terminating.

The sidelines of said easement shall be prolonged or shortened to terminate on said east line of the Northwest Quarter of the Southwest Quarter.

(THIS LEGAL DESCRIPTION SHALL BECOME VALID UPON RECORDING THE PLAT OF HUNTERS CROSSING 1ST ADDITION)

* THIS SKETCH DOES NOT PURPORT TO SHOW THE EXISTENCE OR NONEXISTENCE OF ANY ENCROACHMENTS FROM OR ONTO THE HEREON DESCRIBED LAND, EASEMENTS OF RECORD OR UNRECORDED EASEMENTS WHICH AFFECT SAID LAND OR ANY IMPROVEMENTS TO SAID LAND.

Not to Scale

 DENOTES PROPOSED EASEMENT TO BE VACATED

Description Sketch for:
The Ryland Group, Inc.

Cad File: 113105-Roadway
Vacation-HUNTERS
CROSSING

Folder #: 7553
Drawn by: mdp

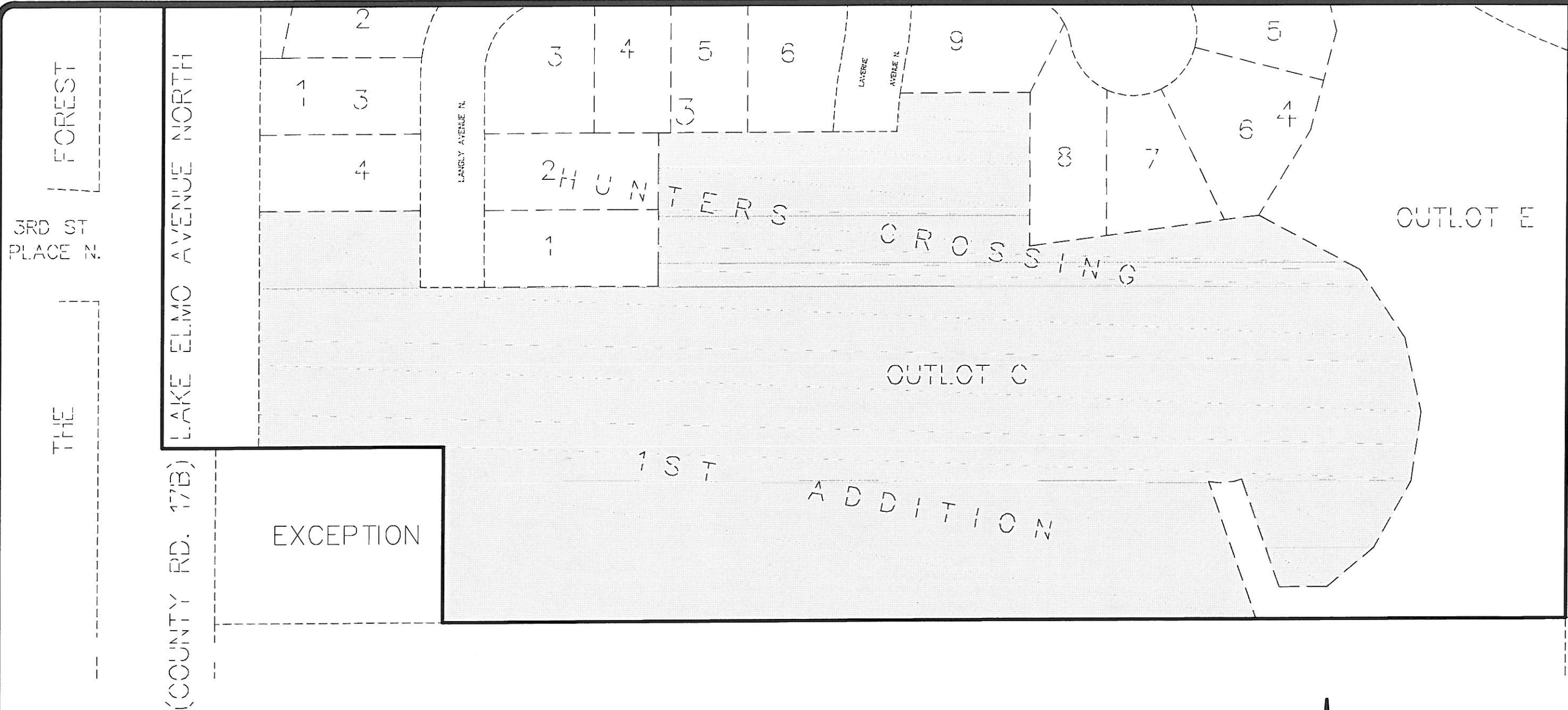
PIONEERengineering, P.A.
CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS

(651) 681-1914
Fax: 681-9488
www.pioneereng.com

2422 Enterprise Drive
Mendota Heights, MN 55120

Sheet
1 of 1

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PROPOSED LEGAL DESCRIPTION FOR EASEMENT VACATION

All drainage and utility easements lying over, under and across Outlot C, HUNTERS CROSSING 1ST ADDITION, according to the recorded plat thereof, Washington County, Minnesota, as delineated and dedicated on said HUNTERS CROSSING 1ST ADDITION.

* THIS SKETCH DOES NOT PURPORT TO SHOW THE EXISTENCE OR NONEXISTENCE OF ANY ENCROACHMENTS FROM OR ONTO THE HEREON DESCRIBED LAND, EASEMENTS OF RECORD OR UNRECORDED EASEMENTS WHICH AFFECT SAID LAND OR ANY IMPROVEMENTS TO SAID LAND.



DENOTES EASEMENT
TO BE VACATED



Not to Scale

Description Sketch for:
The Ryland Group, Inc.

Cad File: 113105-Easement
Vacation-Outlot C
Folder #: 7553
Drawn by: mdp

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2422 Enterprise Drive
Mendota Heights, MN 55120