



PLANNING COMMISSION  
DATE: 4/27/15  
AGENDA ITEM: 5B – BUSINESS ITEM  
CASE # 2015-16

ITEM: Village Preserve Final Plat

SUBMITTED BY: Nick Johnson, City Planner

REVIEWED BY: Kyle Klatt, Community Development Director  
Jack Griffin, City Engineer  
Washington County Public Works  
Valley Branch Watershed District  
Greg Malmquist, Fire Chief  
Stephen Mastey, Landscape Architecture, Inc.

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#### **SUMMARY AND ACTION REQUESTED:**

The Planning Commission is being asked to consider an application for a Final Plat submitted by GWSA Land Development, LLC. The Final Plat application represents the first phase of the Village Preserve residential development and includes 46 single family residential lots. The proposed project is located north of 39<sup>th</sup> Street, immediately east of Lake Elmo Ave. and immediately west of the planned Wildflower at Lake Elmo residential development. Staff is recommending approval of the Village Preserve Final Plat subject to compliance with 10 conditions as noted in this report.

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#### **GENERAL INFORMATION**

*Applicant:* GWSA Land Development, LLC (Craig Allen); 10850 Old County Road 15, Suite 200, Plymouth, MN 55441

*Property Owners:* Schiltgen Farms, Inc.; 10880 Stillwater Blvd. N., Lake Elmo, MN 55042

*Location:* Part of Sections 12, Township 29 North, Range 21 West in Lake Elmo, north of 39<sup>th</sup> Street and east of Lake Elmo Avenue (CSAH 17). PID Number: 12.029.21.33.0001.

*Request:* Application for a Final Plat for the 1<sup>st</sup> phase of the Village Preserve residential subdivision. The Final Plat (1<sup>st</sup> Phase of Village Preserve) includes 46 single family lots and various outlots planned for stormwater management, parkland and future residential lots.

*Existing Land Use and Zoning:* Vacant agricultural land. Current Zoning: RT – Rural Development Transitional Zoning District; Proposed Zoning: LDR - Urban Low Density Residential

*Surrounding Land Use and Zoning:* North – vacant/agricultural land (likely flood plain); west – agricultural land, guided for Village Urban Low Density Residential (V-LDR); south – vacant land guided for Village Mixed-Use (VMX); east – vacant/agricultural land guided for

	Village Medium Density Residential (V-MDR) and planned for Wildflower at Lake Elmo planned residential development
<i>Comprehensive Plan:</i>	Village Urban Medium Density Residential (2.5 – 4.99 units per acre).
<i>History:</i>	Sketch Plan review by Planning Commission on 3/10/14. Sketch Plan review by the Park Commission on 3/17/14. The Village Preserve Preliminary Plat was approved by the City Council on 7/15/14 (Resolution #2014-59). Park Plan reviewed by Park Commission on 4/20/15.
<i>Deadline for Action:</i>	Application Complete – 3/20/2015 60 Day Deadline – 5/19/2015 Extension Letter Mailed – N/A 120 Day Deadline – 7/20/2015
<i>Applicable Regulations:</i>	Chapter 153 – Subdivision Regulations Article 10 – Urban Residential Districts (LDR) §150.270 Storm Water, Erosion, and Sediment

## REQUEST DETAILS

The City of Lake Elmo has received a request from GWSA Land Development, LLC for a Final Plat to subdivide 39.8 acres of land located within the northern portion of the Village Planning Area. The Final Plat would represent the first phase of the Village Preserve residential subdivision and include 46 single family lots, as well as various outlots planned for stormwater management, parkland, trails, and future single family lots as guided by the approved Preliminary Plat. The proposed plat is located north of 39<sup>th</sup> Street, immediately east of Lake Elmo Ave. (CSAH 17), and immediately west of the planned Wildflower at Lake Elmo subdivision. The subject properties have historically been used for agricultural purposes.

The final plat area represents the initial project phase of the Village Preserve residential subdivision, which is planned to be constructed in two phases. The developer intends to build homes in the western half of the site in the first phase. The developer will be conducting final mass grading on the entirety of the site as part of the 1<sup>st</sup> phase of development, whereas the street and utility construction will follow the proposed phasing as demonstrated on the plans. The applicant has submitted detailed construction plans related to sanitary sewer, water main, storm sewer, grading, drainage, landscaping, and other details that have been reviewed by the City Engineer, Fire Chief and Landscape Consultant.

The City's subdivision ordinance establishes the procedure for obtaining final subdivision approval, in which case a final plat may only be reviewed after the City takes action on a preliminary plat. As long as the final plat is consistent with the preliminary approval, it must be approved by the City. Please note that the City's approval of the Village Preserve Preliminary Plat did include a series of conditions that must be met by the applicant, which are addressed in the "Review and Analysis" section below. Staff has reviewed the final plat and found that it is consistent with the preliminary plat that was approved by the City on July 15, 2014. Please note that the final plat and construction plans now include approved street names for the subdivision.

The City Engineer has reviewed the final plat, and his comments are attached to this report. The majority of the Engineer's comments focus on the easement and outlot boundaries provided in the plat. Although there are some additional revisions and additions necessary for the Final Plat and final

construction plans that need to be addressed by the applicant, the revisions can be made before the City releases the final plat for recording. Staff is recommending that all revisions and modifications noted within the City Engineer's review memorandum date 4/13/15 be completed prior to the release of Final Plat for recording as a condition of approval.

## FINAL PLAT REVIEW AND ANALYSIS

The preliminary plat for Village Preserve was approved with several conditions, which are indicated below along with Staff's comments on the status of each. For those items and issues that are not directly addressed below, Staff has provided additional comments following the preliminary plat conditions list. Staff is recommending approval of the final plat, but with additional conditions intended to address the outstanding issues that will require additional review and/or documentation.

Please also note that the applicant has also provided a response to the preliminary plat conditions as part of the project narrative (Attachment #2).

### **Preliminary Plat Conditions – With Staff Update Comments (updated information in bold italics):**

- 1) Within six months of preliminary plat approval, the applicant shall complete the following:
  - a. The applicant shall provide adequate title evidence satisfactory to the City Attorney. *The applicant has communicated to staff that the purchase of the property is contingent upon Final Plat approval, and title evidence will be provided to the City Attorney prior to the plat being recorded. Adequate title evidence is an important step prior to the plat being recorded, not prior to consideration of final plat. Staff has determined that the inclusion of this condition was done in error.*
  - b. The applicant shall submit a revised Preliminary Plat and plans meeting all conditions of approval. All of the above conditions shall be met prior to the City accepting an application for Final Plat and prior to the commencement of any grading activity on the site. *With regards to updated preliminary plans, the applicant has submitted final construction plans and a draft final plat for all portions of the site to address the review comments of the City Engineer. As opposed to updated preliminary plans, the applicant has chosen to provide final plats and plans for the entire site. Taking this approach will not only allow for the City to document all easements and improvements on the site in final form, but will allow for an easier review process for future phases of the Village Preserve subdivision. These final plans for the whole site will provide a more-than-adequate record of the review of the Village Preserve project for future use.*
- 2) The City Engineer shall review and approve all revised Preliminary Plans that are submitted to the City in advance of Final Plat to satisfy Condition #1. *The engineer has reviewed the full final plat and final construction plan set for the entire Village Preserve site. The engineer's review comments for the plat and constructions plans are attached to this report (Attachment #9). The applicant has since submitted updated plans. Upon early review, it appears that most of the Engineer's review comments have been addressed. The City Engineer's review is likely to be complete prior to the Planning Commission's review of the*

*final plat. Because the majority of these comments are related to the construction plans and finalizing these plans for construction, Staff is recommending that the Planning Commission complete its review of the final plat subject to final approval of the final construction plans by the City Engineer.*

- 3) The Preliminary Plat approval is conditioned upon the applicant meeting all minimum City standards and design requirements. *The applicant has acknowledged that it is necessary to meet all City standards and design requirements. The City Engineer has identified final modifications to construction plans in a memorandum dated 4/13/15. Staff is recommending that the final modifications to the final plat and construction plans be required as a condition of approval (Condition #1).*
- 4) All required modifications to the plans as requested by the City Engineer in a review letter dated June 23, 2014 shall be incorporated into the plans prior to consideration of a Final Plat. *The applicant has submitted final plans for the entirety of the Village Preserve site to address review comments from the City Engineer. The Engineer has reviewed the updated plans for the total site and submitted two review memorandums; one focused on final plat and one focused on final construction plans.*
- 5) The developer shall follow all of the rules and regulations spelled out in the Wetland Conservation Act, and shall acquire the needed permits from Valley Branch Watershed District prior to the commencement of any grading or development activity on the site. *The applicant has obtained the necessary permit from Valley Branch Watershed District (see Attachment #11). The issued permit contains several conditions that must be followed by the applicant. Staff is recommending as a condition of approval (Condition #8) that the applicant provide evidence that all conditions of the Valley Branch permit have been met.*
- 6) Related to proposed storm water discharge to the north, the applicant must provide written permission from the property owner of the parcel located immediately north of the proposed Village Preserve subdivision consenting to the discharge location, volume and rate(s) in advance of submitting Final Plat. *The applicant has submitted an agreement (Attachment #3) between GWSA Land Development, LLC and Robert Engstrom Companies outlining the terms and conditions of joint improvements that serve both the Village Preserve and Wildflower at Lake Elmo sites. Provision #2 of the agreement includes written permission by Robert Engstrom Companies to allow stormwater from the Village Preserve site to be discharged to the north. Through the submission of the agreement outlining joint-improvements, this condition has been completed.*
- 7) The applicant shall be responsible for the submission of final plans and the construction of all improvements within the Lake Elmo Avenue (CSAH 17) right-of-way as required by Washington County and further described in the review letter received from the County dated June 24, 2014. *The applicants have submitted updated final plans for proposed improvements on Lake Elmo Ave. (Attachment #8) to Washington County. The County has responded with additional review comments (Attachment #12) for the proposed improvements. Staff would recommend that completion of the plans and improvements to Lake Elmo Ave. as directed by Washington County be included as a condition of approval (Condition #9) for the Village Preserve Final Plat.*

- 8) The Landscape Plan shall be updated per the recommendations of the City's Landscape Consultant, describe in a memo dated 6/25/14. *The developer has submitted updated landscape plans as part of the final plat application. The final landscape plan has been reviewed by the City's landscape consultant, Stephen Mastey. The landscape consultant has communicated that the plan properly addresses the City's landscape and tree preservation ordinances, and has provided a thoughtful and varied landscape plan. Two additional items requested by Mastey include irrigation plans for the development and additional detail of the entry median adjacent to Lake Elmo Avenue. Staff would recommend a condition of approval (Condition #7) that these additional details be submitted to the City prior to executing the final plat.*
- 9) The developer shall be required to submit an updated parkland dedication calculation in advance of Final Plat to clarify the proposed amount of dedication being provided in the Village Preserve Subdivision. For whatever amount of land the applicant is short of the required parkland dedication amount, the applicant will either:
  - a. Subdivide the parcel under contract with Schiltgen Farms, Inc. and dedicate the land being proposed for parkland dedication east of Reid Park; or
  - b. Post an escrow in the amount equal to the fees in lieu of land dedication for the equal market value of the remaining land dedication requirement for Village Preserve until such time the land is dedicated east of Reid Park.

*The applicant is proposing to purchase, subdivide and dedicate land east of Reid Park to fulfill the necessary parkland dedication amount for the Village Preserve residential subdivision. However, this action will not be completed prior to the consideration of the Final Plat and Development Agreement by the City Council. Therefore, the applicant is proposing to post fees in lieu of land dedication until such time that the land east of Reid Park is dedicated to the City. The total required parkland dedication for the entire site would be 3.98 acres, while the required dedication amount only for phase 1 of the subdivision would be 2.56 acres. Within phase 1 of the development, the applicants are providing 0.99 acres of parkland, resulting in a minimum fee amount equivalent to 1.57 acres (2.56 acres - 0.99 acres = 1.57 acres) to address parkland needs in phase 1. The applicant has an option to address the parkland dedication amount for the total site or in a prorated amount for phase 1 of the development. Staff is recommending that the developer be required to submit the necessary fee amount for the City to hold in escrow until the necessary amount of parkland is dedicated to the City. The dedication of parkland to the east of Reid Park is consistent with the City's Comprehensive Plan and the direction provided by the City's Park Commission.*

- 10) Secondary access to the site must be provided as part of the 2nd phase of the Village Preserve Subdivision. Said access must be included in the Final Plat and final construction documents for the 2nd phase of the development. *Per the agreement with Robert Engstrom Companies and the likely timing of improvements within the Wildflower at Lake Elmo residential development, secondary access to the Village Preserve subdivision will likely be provided as part of the 1<sup>st</sup> phase of the development.*
- 11) The applicant must enter into a separate grading agreement with the City prior to the commencement of any grading activity in advance of final plat and plan approval. The City

Engineer shall review any grading plan that is submitted in advance of a final plat, and said plan shall document extent of any proposed grading on the site. *The applicant has communicated to staff that no grading will commence on the site prior to the final plat and development agreement being approved by the City. Staff does not anticipate grading to occur prior to all approvals are in place for the Village Preserve subdivision. The applicant will be required to fulfill all conditions of plat approval prior to construction activity commences.*

- 12) Application for Final Plat for the Village Preserve subdivision will not be accepted until approved plans for the extension of sanitary sewer to the site have been accepted or ordered by the City. *The Eastern Village Sewer Project was ordered in 2014 and is nearly complete. The project includes the installation of sanitary sewer from just south of the railroad tracks north through the eastern side of the Village up through 39<sup>th</sup> Street. The final segment of sanitary sewer need to complete the eastern trunk system would extend from the railroad tracks to the lift station east of Reid Park. The plans that complete this connection have been submitted to the City as part of the Easton Village Final Plat. The Easton Village Final Plat was approved by the City Council in February of 2015. Completion of this sewer segment is a condition of approval for the 1<sup>st</sup> phase of Easton Village. In addition to the final plat approval, the City Council has approved a development contract for Easton Village that includes the trunk sewer line that will connect the 39<sup>th</sup> Street sewer to the 40<sup>th</sup> Street lift station. The final construction plans for Easton Village have been submitted for review by the City and are close to receiving final approval from the City Engineer.*

*It is important to note that City staff has confidence in the completion of the eastern sewer system given the process and approvals that have occurred. However, it is important that no homes be built prior the sewer being operational. With the exception of model homes, staff recommends that no building permits are issued in Village Preserve until the eastern sewer is fully operational. In addition, any model homes that are constructed prior to the sewer being operational should not be eligible for certificate of occupancy. The recommended condition of approval is listed as Condition #10.*

- 13) All of the outlots within the Village Preserve Preliminary Plat that serve as parkland or storm water management shall be dedicated to the City. *With the exception of Outlot C, all of the outlots in the Village Preserve Final Plat shall be dedicated to the City. All of these outlots serve either a stormwater management or parkland purpose. Staff recommends that the dedication of all outlots other than Outlot C be a condition of final plat approval.*

Staff is recommending that the conditions noted above that pertain to the Final Plat and that have not yet been addressed by the applicant should be adopted with the Final Plat. The City Engineer's review letter does identify modifications related to easements and construction plans that need to be addressed by the developer in order for the City to provide final approval the final plat and plans. However, staff is confident that the requested plat revisions are feasible without compromising the design of the plat. Staff is recommending that City Officials not sign the final plat mylars until the City's construction plan review is finalized and all necessary easements are documented on the Final Plat.

In addition to the plans revisions noted above, it is important to recognize that there a number of improvements proposed for the subdivision that are shared improvements with the Wildflower at Lake Elmo subdivision. The Wildflower planned development recently received Preliminary Plat

and Preliminary PUD Plan approval in April of 2015. The improvements that are shared between the developments are identified in the City Engineer's memorandum and include sanitary sewer, the Layton Ave. access, and multiple stormwater management facilities. To address the timing and logistics of the construction of the shared improvements, the applicant has submitted an agreement between the applicant and Robert Engstrom Companies detailing the responsibilities and rights of the two parties. Should the construction of improvements completed by Robert Engstrom Companies be delayed for whatever reason, the GWSA Land Development, LLC has the right to construct the improvements and be reimbursed by Robert Engstrom Companies. Robert Engstrom Companies has given City staff every indication that the first phase of the Wildflower at Lake Elmo development will be constructed this year. Nevertheless, it is important that all improvements necessary for the Village Preserve development be constructed prior to the issuance of building permits for the subdivision. Staff is recommending a condition of approval that all shared improvements necessary for the first phase of the Village Preserve subdivision be constructed prior to the issuance of building permits.

Based on the above Staff report and analysis, Staff is recommending approval of the Final Plat with several conditions intended to address the outstanding issues noted above and to further clarify the City's expectations in order for the developer to proceed with the recording of the Final Plat.

The recommended conditions are as follows:

***Recommended Conditions of Approval:***

- 1) Final grading, drainage, and erosion control plans, utility plans, sanitary and storm water management plans, and street and utility construction plans shall be reviewed and approved by the City Engineer prior to the recording of the Final Plat. All changes and modifications to the plat and plans requested by the City Engineer in a memo dated 4/13/15 shall be incorporated into these documents before they are approved.
- 2) Prior to the release of Final Plat for recording, the developer shall provide evidence in a form satisfactory to the City Attorney that warrants it has fee interest in area included in the Village Preserve Final Plat.
- 3) Prior to the release of the Final Plat for recording, the Developer shall enter into a Developer's Agreement acceptable to the City Attorney and approved by the City Council that delineates who is responsible for the design, construction, and payment of the required improvements with financial guarantees therefore.
- 4) All easements as requested by the City Engineer and Public Works Department shall be documented on the Final Plat prior to the release of the Final Plat for recording.
- 5) A Common Interest Agreement concerning management of the common areas of Village Preserve and establishing a homeowner's association shall be submitted in final form to the Community Development Director before a building permit may be issued for any structure within this subdivision. Said agreement shall comply with Minnesota Statutes 515B-103, and specifically the provisions concerning the transfer of control to the future property owners. The applicant shall also enter into a maintenance agreement with the City that clarifies the individuals or entities responsible for any landscaping installed in areas outside of land dedicated as public park and open space on the Final Plat.

- 6) As part of the development agreement for the 1st phase of the Village Preserve development, the applicant shall provide fees in lieu of land dedication for a minimum of 1.57 acres of land to fulfill the City's parkland dedication requirements prior to the release of Final Plat for recording. The fee can be provided in a pro-rated amount for the Phase 1 Area or in an amount addressing the total residential portion of the site.
- 7) The Final Landscape Plan shall include irrigation plans and additional detail of the entry median adjacent to Lake Elmo Avenue. The Final Landscape Plans shall be approved prior to the release of Final Plat for recording.
- 8) The applicant shall provide evidence that all conditions attached to the Valley Branch Watershed District permit for the Final Plat and associated grading work have been met prior to the release of the Final Plat for recording.
- 9) The applicant shall update the Lake Elmo Ave. improvements per the direction of Washington County prior to the Final Plat being released for recording. The applicant is responsible to construct all necessary improvements to Lake Elmo Ave.
- 10) All public improvements outside of the Village Preserve site needed to serve the residential subdivision, including the Eastern Village Sewer and facilities shared with the Wildflower at Lake Elmo development, must be completed prior to the issuance of building permits in the Village Preserve residential subdivision.

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#### **DRAFT FINDINGS**

Staff is recommending that the Planning Commission consider the following findings with regards to the proposed Boulder Ponds Final Plat and Final PUD Plan:

- 1) That the Village Preserve Final Plat is consistent with the Preliminary Plat and Plans as approved by the City of Lake Elmo on July 15, 2014.
  - 2) That the Village Preserve Final Plat is consistent with the Lake Elmo Comprehensive Plan and the Future Land Use Map for this area.
  - 3) That the Village Preserve Final Plat complies with the City's Urban Low Density Residential zoning district.
  - 4) That the Village Preserve Final Plat complies with all other applicable zoning requirements, including the City's landscaping, storm water, sediment and erosion control and other ordinances, except as noted in this report or attachment thereof.
  - 5) That the Village Preserve Final Plat complies with the City's subdivision ordinance.
  - 6) That the Village Preserve Final Plat is consistent with the City's engineering standards with the exceptions noted by the City Engineer in his review comments to the City dated April 14, 2015.
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**RECCOMENDATION:**

Staff is recommending approval of the Village Preserve Final Plat with the 10 conditions of approval as listed in the Staff report. The suggested motion is the following:

*“Move to recommend approval of the Village Preserve Final Plat with the 10 conditions of approval as drafted by Staff based on the findings of fact listed in the Staff Report.”*

**ATTACHMENTS:**

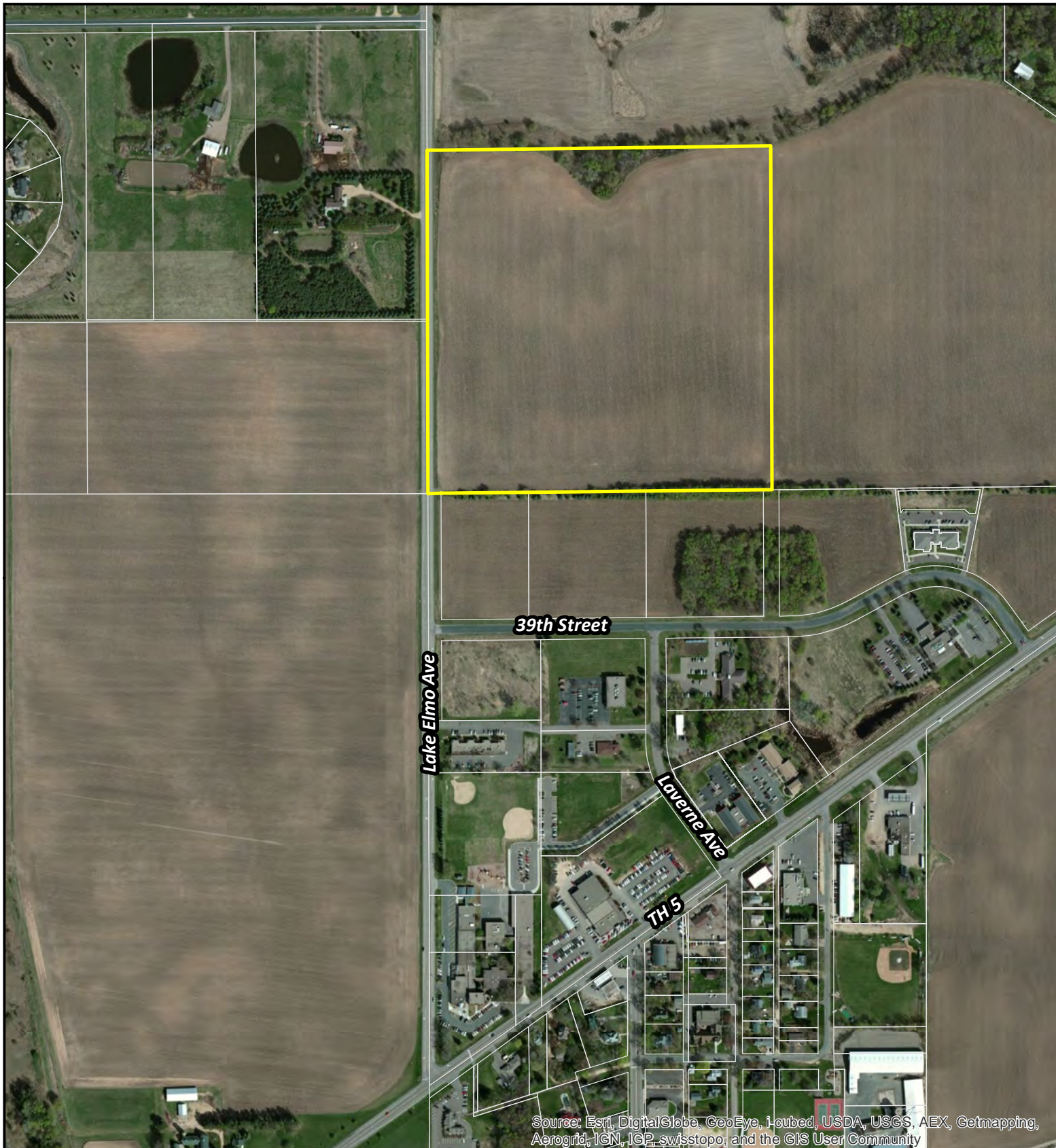
1. Location Map
2. Application Forms and Project Narrative
3. Agreement on Joint-Improvements w/Robert Engstrom Companies
4. Final Plat (3 sheets)
5. Final Site/Phasing Plan (1 sheet)
6. Final Grading Plans (3 sheets)
7. Final Landscape Plan (3 sheets)
8. Turn Lane Exhibit (2 sheets)
9. City Engineer Review Memorandum, dated 4/14/15
10. Fire Chief Review Memorandum, dated 4/20/15
11. Landscape Consultant Review Memorandum, dated 4/22/15
12. Washington County Review Email w/Exhibit, dated 4/21/15
13. Valley Branch Watershed District Permit, dated 3/18/15

**NOT ATTACHED BUT AVAILABLE UPON REQUEST:**

1. Final Street Plans
2. Final Utility Plans
3. Final Storm Plans
4. Final Erosion Control Plans

**ORDER OF BUSINESS:**

- Introduction ..... Planning Staff
- Report by Staff ..... Planning Staff
- Questions from the Commission ..... Chair & Commission Members
- Discussion by the Commission ..... Chair & Commission Members
- Action by the Commission ..... Chair & Commission Members



## Location Map: 12.029.21.33.0001



Data Source: Washington County, MN  
3-7-2014



12.029.21.33.0001  
(Sketch Plan Location)

0 250 500 1,000 Feet  
1"=500'



Date Received: \_\_\_\_\_  
Received By: \_\_\_\_\_  
LU File #: \_\_\_\_\_



651-747-3900  
3800 Lavene Avenue North  
Lake Elmo, MN 55042

## FINAL PLAT APPLICATION

Applicant: GWSA Land Development, LLC  
Address: 10850 OLD County Road 15, Suite 200, Plymouth, MN 55441  
Phone #: 952-270-4473  
Email Address: CRAIG@GonyeaCompany.com

Fee Owner: Schiltgen Farms, Inc  
Address: 10880 Stillwater Blvd N., Lake Elmo, MN 55042  
Phone #: 651-303-8188  
Email Address: Pete.Schiltgen@gmail.com

Property Location (Address and Complete (long) Legal Description): The Southwest Quarter of the Southwest Quarter of Section 12, Township 29 North, Range 21 West, Washington County, Minnesota

General information of proposed subdivision: 91 Single family homes on +/- 39.84 acres of land located on the east side of Lake Elmo Avenue, approximately 525 feet north of 39th Street North

Final plat for Phase I - 46 Single family homes

In signing this application, I hereby acknowledge that I have read and fully understand the applicable provisions of the Zoning Ordinance and current administrative procedures. I further acknowledge the fee explanation as outlined in the application procedures and hereby agree to pay all statements received from the City pertaining to additional application expense.

Signature of applicant: Craig D. Gonyea Date: 2/17/15

Fee Owner Signature: \_\_\_\_\_ Date: \_\_\_\_\_



Lake Elmo City Hall  
651-747-3900  
3800 Laverne Avenue North  
Lake Elmo, MN 55042

## **AFFIRMATION OF SUFFICIENT INTEREST**

I hereby affirm that **I am the fee title owner** of the below described property or that I have written authorization from the owner to pursue the described action.

Name of applicant CRAIG ALLEN  
(Please Print)

Street address/legal description of subject property The Southwest Quarter of The  
Southwest Quarter of Section 12, Township 29 North, Range  
21 West, Washington County, Minnesota

Craig Allen 2/17/15  
Signature Date

FEE OWNER:

**If you are not the fee owner**, attach another copy of this form which has been completed by the fee owner or a copy of your authorization to pursue this action.

**If a corporation is fee title holder**, attach a copy of the resolution of the Board of Directors authorizing this action.

**If a joint venture or partnership is the fee owner**, attach a copy of agreement authorizing this action on behalf of the joint venture or partnership.



Lake Elmo City Hall  
651-747-3900  
3800 Lavene Avenue North  
Lake Elmo, MN 55042

## ***ACKNOWLEDGEMENT OF RESPONSIBILITY***

This is to certify that I am making application for the described action by the City and that I am responsible for complying with all City requirements with regard to this request. This application should be processed in my name and I am the party whom the City should contact regarding any matter pertaining to this application.

I have read and understand the instructions supplied for processing this application. The documents and/or information I have submitted are true and correct to the best of my knowledge. I will keep myself informed of the deadlines for submission of material and of the progress of this application.

I understand that this application may be reviewed by City staff and consultants. I further understand that additional information, including, but not limited to, traffic analysis and expert testimony may be required for review of this application. I agree to pay to the City upon demand, expenses, determined by the City, that the City incurs in reviewing this application and shall provide an escrow deposit to the City in an amount to be determined by the City. Said expenses shall include, but are not limited to, staff time, engineering, legal expenses and other consultant expenses.

I agree to allow access by City personnel to the property for purposes of review of my application.

Signature of applicant  Date 2/17/15

Name of applicant CRAIG ALLEN Phone 952-270-4443  
(Please Print)

Name and address of Contact (if other than applicant) \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_



**Village Preserve  
Development Narrative  
Phase 1  
April 20, 2015**

**Developer Introduction:**

GWSA LAND DEVELOPMENT, LLC.  
Craig Allen  
10850 Old County Road 15  
Suite 200  
Plymouth, Minnesota 55441  
Telephone: 952-270-4473  
Email: [craig@gonyeacompany.com](mailto:craig@gonyeacompany.com)

The developer is proposing a community of 91 single family homes on +/- 39.84 acres of land located on the east side of Lake Elmo Avenue (CASH17), approximately 525 feet north of 39<sup>th</sup> Street North. The developer is requesting Final Plat for 46 of the 91 single family homes in Phase 1 on +/- 25.6 acres of the total +/-39.84. This proposed residential development will consist of higher end single family homes. It is anticipated that these homes will range in price from \$400,000 to \$750,000. The development is located in an area of Lake Elmo with easy access to the transportation system. This will provide the future home owners a secluded place to live that is located within minutes of all the amenities Lake Elmo has to offer with the regional facilities of the larger metropolitan area.

***Village Preserve***

The project is anticipated to be constructed in two phases. The primary access is Lake Elmo Avenue. A community amenity area/park will be developed (proposed Outlot D) between the Village Preserve development and the proposed Wildflower at Lake Elmo development. Village Preserve is located within the Stillwater School District #834.

**Development Team:**

**Civil Engineering, Surveying & Land Planning**

**Sathre-Bergquist, Inc.**

Robert S. Molstad, P.E.  
David B. Pemberton, P.L.S.  
150 South Broadway  
Wayzata, Minnesota 55391  
Telephone: 952-476-6000  
Facsimile: 952-476-0104  
Email: [molstad@sathre.com](mailto:molstad@sathre.com)  
Email: [pemberton@sathre.com](mailto:pemberton@sathre.com)

**Wetland & Biological Sciences**

**Kjolhaug Environmental Services**

Melissa Barrett  
26105 Wild Rose Lane  
Shorewood, MN 55331

Telephone: 952-401-8757  
Email: [Melissa@kjolhaugenv.com](mailto:Melissa@kjolhaugenv.com)

Soil Sciences

**Haugo GeoTechnical Services**

Paul Haugo  
13570 Grove Drive #278  
Maple Grove, MN 55311  
Telephone: (612) 554-4829  
Email: [p.haugo@gmail.com](mailto:p.haugo@gmail.com)

**Property Ownership:**

Schiltgen Farms, Inc.  
PID: 1202921330001  
The Southwest Quarter of the Southwest Quarter of Section 12, Township 29 North, Range 21 West, Washington County, Minnesota.

Pete Schiltgen  
10880 Stillwater Blvd. North  
Lake Elmo, MN 55042  
Telephone: (651) 303-8188  
[Peteschiltgen@gmail.com](mailto:Peteschiltgen@gmail.com)

**Comprehensive Plan, Zoning, Density, & Variances:**

The planned Land Use is Village Urban Medium Density. On the Village Land Use Plan, the project site is classified as Village Urban Medium Density (V-MDR). The density range for V-MDR is 2.5 – 4.99 units per acre. The attached final plat shows 46 single family lots that are a minimum width of 65 feet. The smallest lot area is L4B4 – 8,455 sf and the largest lot area is L7B1 at 20,480 sf, with an average lot area of 12,469 for the entire project.

**Lake Elmo Zoning:**

LDR District  
Minimum Lot Area – 8,000 square feet  
Minimum Width – 60 feet  
Front Yard Setback – 25 feet  
Side Yard Setback – 5 feet to garage and 10 feet to living space  
Corner Yard Setback – 15 feet  
Rear Yard Setback – 20 feet

**Density:**

***Total Site:***

Gross Site Area: 39.84 acres  
Gross Density =  $91/39.84 = 2.28$  units per acre

CSAH 17 ROW: 2.27 acres

Open Space: 1.22 acres

Net Area:  $39.84 - 2.27 - 1.22 = 36.35$  acres

Net Density =  $91/36.35 = 2.50$  units per acre

**Variances** – No variances are proposed.

A final plat lot area tabulation sheet for Phase 1 is in Appendix A of this narrative.

**Site Analysis:**

The site is bordered on the north and east by the proposed Wildflower at Lake Elmo development, a Robert Engstrom Development. The site is bordered on the west by Lake Elmo Avenue and on the south by future commercial properties. The primary access to the site will be via Lake Elmo Avenue with a second access from 39<sup>th</sup> Street North via Layton Avenue North.

The site is currently being used for agricultural purposes. Please refer to the ALTA Survey and the aerial photos. Utility service, sanitary sewer will be provided to the site as part of the proposed Trunk Sanitary Sewer project that will extend sewer service from the new lift station at Reid Park, north to the Site. Watermain exists on the east side of Lake Elmo Avenue and will be extended to the south east corner of the project from 39<sup>th</sup> Street North. Storm water will be managed and outlet from the site in accordance with the City and Watershed requirements. The site is within the Valley Branch Watershed District. Minor utilities (gas, electric, phone, and TV) will need to be extended to service the site.

The topography of the site is relatively flat on most of the site, 940 to 945 along Lake Elmo Avenue and sloping southeast to 938 at the south east corner. The highest elevations are in the northwest corner at +/- 955. There is an existing slope in the north central portion of the site that slopes from 940 down to 920.

There are no wetlands on the site.

The USDA Soil Survey of the project site indicates Antigo Silt Loams, Campia Silt Loams, and Mahtomedi Loamy Sand. The soils that are present consist of mostly moderately well drained loams and sandy loams with a moderate permeability.

**Street Design:**

Village Preserve proposes to have public streets; the public streets within the project would be 28' B-B, with a sidewalk along one side of the street, within a 60' ROW. The cul-de-sacs will have a 45' radius to the back of curb. All streets will be constructed to the City of Lake Elmo standard street section.

**Utility Services:**

City sanitary sewer will need to be extended to the site. Water is currently available to serve the site, see notes above.

**Site Grading:**

The site grading is planned to begin in the spring of 2015. The project will be graded in one phase. The overall graded area is +/- 38 acres. We are proposing to grade all streets to the proposed hold downs and prepare corrected building pads for all home sites. We are creating three storm water ponding areas and

two infiltration areas to meet the storm water treatment requirements of the City and the Watershed. It is our design objective to balance the site with on-site material, some import of suitable structural fill material may be necessary for building pad, and street.

**Storm water:**

The storm water facilities proposed in Village Preserve are illustrated on the enclosed preliminary plans. Runoff from the site will be directed to storm sewer inlet locations, collected and conveyed to the proposed treatment pond(s) and filtration area(s). The ponds and filtration areas will provide temporary storage of storm water runoff, treatment of storm water and sediment removal. The storm water plan will provide adequate treatment and storage to meet the City of Lake Elmo and the Valley Branch Watershed District requirements.

**Wetlands:**

There are no wetlands on the site.

**Traffic:**

Village Preserve proposes one primary access point off of Lake Elmo Avenue and a secondary street connection to 39<sup>th</sup> Street North via Layton Avenue North.

Traffic Generation – (anticipate 10 trips per day per home site)

Total Site: 91 Lots = 910 trips per day

Phase 1: 46 Lots = 460 trips per day

The additional traffic generated from this site is not anticipated to have a noticeable impact on the existing traffic in the area and is on the lower end of the proposed Comprehensive Plan guiding.

**Trail System:**

Six-foot concrete sidewalks are proposed along residential streets within the site. In addition, there are 8.5 foot trails proposed to promote neighborhood connectivity as well as encourage and expand pedestrian use of Downtown.

**Park:**

The neighborhood park and a majority of the trails will be installed with Phase 1 of the development. The developer is proposing dedicating land adjacent to Reid Park in lieu of park dedication fees. The developer is working with Robert Engstrom Companies and the Lake Elmo Park Commission on possible park improvements.

**Woodland Areas & Protection:**

**I. Introduction**

A current tree survey in accordance with City of Lake Elmo requirements has been completed for this site and is included in the submittal. The tree inventory plan is shown on the Erosion Control Plan. Only 14 trees were identified, per the City requirements.

## **II. Tree Species, Distribution and Size:**

The site has 318 caliper inches of significant trees, with 15 caliper inches of exempt trees for a net total of 303 caliper inches. The trees are located throughout the site. The species include Cherry, Maple, Box Elder, Red Cedar and a few others. A table containing data on the trees, as well as a map which shows tree location, species, size and condition, are shown in the preliminary plans, please see the Erosion Control Plan.

### **Tree Removal & Restitution:**

The Village Preserve development will impact approximately 61.4% of the significant trees on the site. The development is over the allowable 30% threshold and a proposed replacement plan has been prepared for the project.

### **Landscape Plan, Monuments, & Entrance:**

This development will have a divided entry off of Lake Elmo Avenue and some small berming along Lake Elmo Avenue. Many of the lots will have pond views or overlook views, due to the site topography. The storm water pond and treatment areas will have landscaping to create unique water treatment facilities for the proposed project. A custom entry monument may be designed and constructed at the proposed entrance(s). This will create a sense of luxury and livability for the new single family residents, while providing safer access to the site.

### **Homeowner's Association and Restrictive Covenants:**

The developer will prepare restrictive covenants and standards that will apply to this 91 lot project. The restrictive covenants will be tailored to the developer's vision of the project. Each home will be required to meet the specifics of building types, landscaping, and overall goals of the development.

A master HOA will be created for the Village Preserve project. This association will be in charge of the monumentation, entrance, landscaping, and infiltration basins. The HOA will also be responsible for maintenance issues within the subdivision. These may include special landscaping, mailboxes, signage, and other common elements.

### **Preliminary Plat Conditions for Approval**

- 1) Within six months of preliminary plat approval, the applicant shall complete the following:
  - a. The applicant shall provide adequate title evidence satisfactory to the City Attorney.  
***Comment: Title work will be submitted for review before City officials sign the final plat.***
  - b. The applicant shall submit a revised Preliminary Plat and plans meeting all conditions of approval. All of the above conditions shall be met prior to the City accepting an application for Final Plat and prior to the commencement of any grading activity on the site.
- 2) The City Engineer shall review and approve all revised Preliminary Plans that are submitted to the City in advance of Final Plat to satisfy Condition #1. ***Comment: Revised plans have been submitted for City Engineer to review.***
- 3) The Preliminary Plat approval is conditioned upon the applicant meeting all minimum City standards and design requirements.

- 4) All required modifications to the plans as requested by the City Engineer in a review letter dated June 23, 2014 shall be incorporated into the plans prior to consideration of a Final Plat. ***Comment: All modifications requested in Engineer review letter have been incorporated.***
- 5) The developer shall follow all of the rules and regulations spelled out in the Wetland Conservation Act, and shall acquire the needed permits from Valley Branch Watershed District prior to the commencement of any grading or development activity on the site. ***Comment: Village Preserve has received Valley Branch Watershed District storm water permit. Plans have been updated with their conditions of approval.***
- 6) Related to proposed storm water discharge to the north, the applicant must provide written permission from the property owner of the parcel located immediately north of the proposed Village Preserve subdivision consenting to the discharge location, volume and rate(s) in advance of submitting Final Plat. ***Comment: Applicant and neighboring landowner have an agreement to discharge storm water to the north.***
- 7) The applicant shall be responsible for the submission of final plans and the construction of all improvements within the Lake Elmo Avenue (CSAH 17) right-of-way as required by Washington County and further described in the review letter received from the County dated June 24, 2014. ***Comment: Lake Elmo Avenue improvement plans have been submitted.***
- 8) The Landscape Plan shall be updated per the recommendations of the City's Landscape Consultant, describe in a memo dated 6/25/14. ***Comment: Landscape Plans have been updated with Landscape Consultant recommendations dated 6/25/14.***
- 9) The developer shall be required to submit an updated parkland dedication calculation in advance of Final Plat to clarify the proposed amount of dedication being provided in the Village Preserve Subdivision. For whatever amount of land the applicant is short of the required parkland dedication amount, the applicant will either:
  - a. Subdivide the parcel under contract with Schiltgen Farms, Inc. and dedicate the land being proposed for parkland dedication east of Reid Park; or
  - b. Post an escrow in the amount equal to the fees in lieu of land dedication for the equal market value of the remaining land dedication requirement for Village Preserve until such time the land is dedicated east of Reid Park.

***Comment: Applicant has provided updated parkland dedication calculations. Applicant will choose one of the two options for parkland dedication listed above, both resulting in land dedication east of Reid Park.***

- 10) Secondary access to the site must be provided as part of the 2nd phase of the Village Preserve Subdivision. Said access must be included in the Final Plat and final construction documents for the 2nd phase of the development. ***Comment: Secondary access is included in Phase 1 plans.***
- 11) The applicant must enter into a separate grading agreement with the City prior to the commencement of any grading activity in advance of final plat and plan approval. The City Engineer shall review any grading plan that is submitted in advance of a final plat, and said plan shall document extent of any proposed grading on the site. ***Comment: Applicant does not intend to grade site prior to final plat approval.***
- 12) Application for Final Plat for the Village Preserve subdivision will not be accepted until approved plans for the extension of sanitary sewer to the site have been accepted or ordered by the City. ***Comment: Applicant has two agreements with local landowners to extend sanitary sewer privately to the site once they have final plat approval and the City accepts a developer's agreement for Village Preserve.***
- 13) All of the outlots within the Village Preserve Preliminary Plat that serve as parkland or storm water management shall be dedicated to the City. ***Comment: All outlots will be dedicated to the City.***

## APPENDIX A:

### *Village Preserve (Phase 1) – Final Plat Lot Area Summary*

<b>BLOCK 1</b>	<b>GROSS AREA</b>				<b>WETLAND AREA</b>		<b>NET AREA</b>				<b>WIDTH @ SETBACK</b>		
Lot 1	13,873	s.f.	0.32	acres	0	s.f.	13,873	s.f.	0.32	acres	95	+/-	l.f.
Lot 2	14,656	s.f.	0.34	acres	0	s.f.	14,656	s.f.	0.34	acres	85.3	+/-	l.f.
Lot 3	17,337	s.f.	0.40	acres	0	s.f.	17,337	s.f.	0.40	acres	84.1	+/-	l.f.
Lot 4	14,344	s.f.	0.33	acres	0	s.f.	14,344	s.f.	0.33	acres	95.6	+/-	l.f.
Lot 5	16,946	s.f.	0.39	acres	0	s.f.	16,946	s.f.	0.39	acres	80.1	+/-	l.f.
Lot 6	11,249	s.f.	0.26	acres	0	s.f.	11,249	s.f.	0.26	acres	80.1	+/-	l.f.
Lot 7	14,660	s.f.	0.34	acres	0	s.f.	14,660	s.f.	0.34	acres	80.8	+/-	l.f.
Lot 8	18,881	s.f.	0.43	acres	0	s.f.	18,881	s.f.	0.43	acres	80.8	+/-	l.f.
Lot 9	12,822	s.f.	0.29	acres	0	s.f.	12,822	s.f.	0.29	acres	80.5	+/-	l.f.
Lot 10	15,944	s.f.	0.37	acres	0	s.f.	15,944	s.f.	0.37	acres	91.5	+/-	l.f.
Lot 11	12,123	s.f.	0.28	acres	0	s.f.	12,123	s.f.	0.28	acres	85.2	+/-	l.f.
Lot 12	13,294	s.f.	0.31	acres	0	s.f.	13,294	s.f.	0.31	acres	95	+/-	l.f.
Lot 13	12,057	s.f.	0.28	acres	0	s.f.	12,057	s.f.	0.28	acres	82	+/-	l.f.
Lot 14	11,603	s.f.	0.27	acres	0	s.f.	11,603	s.f.	0.27	acres	80.6	+/-	l.f.
Lot 15	11,650	s.f.	0.27	acres	0	s.f.	11,650	s.f.	0.27	acres	80.7	+/-	l.f.
Total	211,438	s.f.	4.85	acres	0	s.f.	211,438	s.f.	4.85	acres			
<b>BLOCK 2</b>	<b>GROSS AREA</b>				<b>WETLAND AREA</b>		<b>NET AREA</b>				<b>WIDTH @ SETBACK</b>		
Lot 1	12,737	s.f.	0.29	acres	0	s.f.	12,737	s.f.	0.29	acres	133.6	+/-	l.f.
Lot 2	12,581	s.f.	0.29	acres	0	s.f.	12,581	s.f.	0.29	acres	108.6	+/-	l.f.
Lot 3	11,315	s.f.	0.26	acres	0	s.f.	11,315	s.f.	0.26	acres	81	+/-	l.f.
Lot 4	11,523	s.f.	0.26	acres	0	s.f.	11,523	s.f.	0.26	acres	80.7	+/-	l.f.
Lot 5	11,835	s.f.	0.27	acres	0	s.f.	11,835	s.f.	0.27	acres	80.8	+/-	l.f.
Lot 6	11,179	s.f.	0.26	acres	0	s.f.	11,179	s.f.	0.26	acres	94.1	+/-	l.f.
Total	71,170	s.f.	1.63	acres	0	s.f.	71,170	s.f.	1.63	acres			
<b>BLOCK 3</b>	<b>GROSS AREA</b>				<b>WETLAND AREA</b>		<b>NET AREA</b>				<b>WIDTH @ SETBACK</b>		
Lot 1	9,342	s.f.	0.21	acres	0	s.f.	9,342	s.f.	0.21	acres	83.3	+/-	l.f.
Lot 2	10,415	s.f.	0.24	acres	0	s.f.	10,415	s.f.	0.24	acres	93.2	+/-	l.f.
Lot 3	10,341	s.f.	0.24	acres	0	s.f.	10,341	s.f.	0.24	acres	74.5	+/-	l.f.
Lot 4	10,588	s.f.	0.24	acres	0	s.f.	10,588	s.f.	0.24	acres	80.9	+/-	l.f.
Lot 5	12,100	s.f.	0.28	acres	0	s.f.	12,100	s.f.	0.28	acres	85.2	+/-	l.f.
Lot 6	11,544	s.f.	0.27	acres	0	s.f.	11,544	s.f.	0.27	acres	65	+/-	l.f.
Lot 7	11,662	s.f.	0.27	acres	0	s.f.	11,662	s.f.	0.27	acres	65	+/-	l.f.
Lot 8	11,500	s.f.	0.26	acres	0	s.f.	11,500	s.f.	0.26	acres	87.4	+/-	l.f.
Lot 9	11,325	s.f.	0.26	acres	0	s.f.	11,325	s.f.	0.26	acres	97.6	+/-	l.f.
Total	98,818	s.f.	2.27	acres	0	s.f.	98,818	s.f.	2.27	acres			

<b>BLOCK 4</b>	<b>GROSS AREA</b>				<b>WETLAND AREA</b>		<b>NET AREA</b>				<b>WIDTH @ SETBACK</b>		
Lot 1	14,334	s.f.	0.33	acres	0	s.f.	14,334	s.f.	0.33	acres	71.4	+/-	l.f.
Lot 2	13,065	s.f.	0.30	acres	0	s.f.	13,065	s.f.	0.30	acres	65	+/-	l.f.
Lot 3	10,624	s.f.	0.24	acres	0	s.f.	10,624	s.f.	0.24	acres	65	+/-	l.f.
Lot 4	8,455	s.f.	0.19	acres	0	s.f.	8,455	s.f.	0.19	acres	65	+/-	l.f.
Lot 5	8,509	s.f.	0.20	acres	0	s.f.	8,509	s.f.	0.20	acres	65	+/-	l.f.
Lot 6	8,571	s.f.	0.20	acres	0	s.f.	8,571	s.f.	0.20	acres	65	+/-	l.f.
Lot 7	10,205	s.f.	0.23	acres	0	s.f.	10,205	s.f.	0.23	acres	65	+/-	l.f.
Lot 8	12,673	s.f.	0.29	acres	0	s.f.	12,673	s.f.	0.29	acres	71	+/-	l.f.
Lot 9	11,314	s.f.	0.26	acres	0	s.f.	11,314	s.f.	0.26	acres	71	+/-	l.f.
Lot 10	8,980	s.f.	0.21	acres	0	s.f.	8,980	s.f.	0.21	acres	65	+/-	l.f.
Lot 11	10,346	s.f.	0.24	acres	0	s.f.	10,346	s.f.	0.24	acres	65	+/-	l.f.
Lot 12	11,856	s.f.	0.27	acres	0	s.f.	11,856	s.f.	0.27	acres	65	+/-	l.f.
Lot 13	14,676	s.f.	0.34	acres	0	s.f.	14,676	s.f.	0.34	acres	65	+/-	l.f.
Lot 14	12,340	s.f.	0.28	acres	0	s.f.	12,340	s.f.	0.28	acres	65	+/-	l.f.
Lot 15	10,881	s.f.	0.25	acres	0	s.f.	10,881	s.f.	0.25	acres	65.5	+/-	l.f.
Lot 16	11,012	s.f.	0.25	acres	0	s.f.	11,012	s.f.	0.25	acres	75.3	+/-	l.f.
Total	177,839	s.f.	4.08	acres	0	s.f.	177,839	s.f.	4.08	acres			
<b>OUTLOT</b>	<b>GROSS AREA</b>				<b>WETLAND AREA</b>		<b>NET AREA</b>				<b>WIDTH @ SETBACK</b>		
A	14,306	s.f.	0.33	acres	0	s.f.	14,306	s.f.	0.33	acres	0	+/-	l.f.
B	85,678	s.f.	1.97	acres	0	s.f.	85,678	s.f.	1.97	acres	0	+/-	l.f.
C	580,709	s.f.	13.33	acres	0	s.f.	580,709	s.f.	13.33	acres	0	+/-	l.f.
D	65,261	s.f.	1.50	acres	0	s.f.	65,261	s.f.	1.50	acres	0	+/-	l.f.
E	23,870	s.f.	0.55	acres	0	s.f.	23,870	s.f.	0.55	acres	0	+/-	l.f.
F	40,766	s.f.	0.94	acres	0	s.f.	40,766	s.f.	0.94	acres	0	+/-	l.f.
G	1,735	s.f.	0.04	acres	0	s.f.	1,735	s.f.	0.04	acres	0	+/-	l.f.
H	36,958	s.f.	0.85	acres	0	s.f.	36,958	s.f.	0.85	acres	0	+/-	l.f.
I	49,235	s.f.	1.13	acres	0	s.f.	49,235	s.f.	1.13	acres	0	+/-	l.f.
Total	898,519	s.f.	20.63	acres	0	s.f.	898,519	s.f.	20.63	acres			
<b>R/W</b>	<b>GROSS AREA</b>				<b>WETLAND AREA</b>		<b>NET AREA</b>				<b>WIDTH @ SETBACK</b>		
	348,735	s.f.	8.01	acres	0	s.f.	348,735	s.f.	8.01	acres	0	+/-	l.f.
<b>TOTAL</b>	<b>GROSS AREA</b>				<b>WETLAND AREA</b>		<b>NET AREA</b>						
	1,735,349	s.f.	39.84	acres	0	s.f.	1,735,349	s.f.	39.84	acres			

## Agreement

This is an agreement between GWSA Land Development, LLC (GWSA) the developer of Village Preserve and Robert Engstrom Companies (REC) developer of Wildflower at Lake Elmo.

Whereas both companies are developing land in Lake Elmo, they have some common interests, which are defined and to be resolved as development proceeds and subject to recording a final plat:

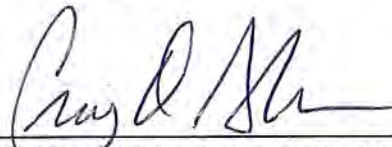
1. Pond #3 on Outlot E of Village Preserve needs to be constructed for the benefit of both parties. The pond is on the Village Preserve plat and will be constructed by GWSA. In the event that GWSA does not construct the pond by the time it needs to be utilized by REC for surface-water management, REC shall have the right to construct said pond and recover expenses from GWSA.
2. REC shall construct a surface-water retention pond and infiltration basin in the northerly portion of the Wildflower at Lake Elmo plan. GWSA shall have permission to divert storm-water to these facilities as recommended by REC and GWSA consulting engineers. Likewise, the cost of the storm sewer pipe to facilitate this arrangement will be split evenly. A limitation on the amount of water that GWSA may divert north will be approved by REC and the Valley Branch Watershed District. If REC does not construct said ponds in time for the GWSA development, GWSA shall have the right to construct said ponds and recover expenses from REC.
3. Both parties agree to split the cost of the entrance road, watermain and storm sewer "Entrance Improvements" to and including the Village Preserve entrance from the main Wildflower at Lake Elmo road. Portions of Entrance Improvements are on the Village Preserve plat and will be constructed by Wildflower at Lake Elmo. In the event that Wildflower at Lake Elmo does not construct the Entrance Improvements by the time it needs to be utilized by Village Preserve, GWSA shall have the right to construct said Entrance Improvements and recover expenses from REC. Sanitary sewer costs and improvements will be part of a separate agreement with GWSA, REC and Easton Village, LLC.
4. Both parties shall endeavor to obtain temporary easements adjacent to Layton Avenue.
5. The Wildflower at Lake Elmo plat infringes on the GWSA property at the very northwest corner of The Village Preserve and also a slight portion of the entrance road. GWSA agrees to plat these two small areas as part of the City ROW.
6. Although not required by the city, REC will dedicate a small amount of land (approximately 0.2 acres) to be added to the GWSA Park Dedication area. REC will continue to develop improvement plans for the park to be submitted to the Lake Elmo Parks Department.

7. Both parties have a common adjoining lot area that will be a common drainage swale and storm-sewer collection area with the cost to be split evenly.
8. GWSA is aware that REC could have a need for surplus excavation material generated from Village Preserve grading. GWSA agrees to allow REC access to a reasonable amount of surplus material to be determined once final plans are approved.
9. The Village Preserve lots will donate \$50.00 each per year to the Wildflower at Lake Elmo Association in exchange for considerations listed herein plus operating rules to be agreed upon by both parties.
10. REC will designate in conjunction with GWSA the location of the connecting trail. GWSA will construct and pay for the connection.



Robert Engstrom Companies

Date 4/20/15



GWSA Land Development, LLC

Date 4/20/2015

# VILLAGE PRESERVE

**KNOW ALL PERSONS BY THESE PRESENTS:** That GWSA Land Development, LLC, a Minnesota limited liability company, fee owner, of the following described property situated in the State of Minnesota, County of Washington, to wit:

The Southwest Quarter of the Southwest Quarter of Section 12, Township 29 North, Range 21 West, Washington County, Minnesota.

Has caused the same to be surveyed and platted as VILLAGE PRESERVE and does hereby dedicate to the public for public use the public way, as shown on the plat and also dedicate the drainage and utility easements as created by this plat.

In witness whereof said GWSA Land Development, LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officer this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

By: GWSA Land Development, LLC.

\_\_\_\_\_  
Craig Allen, Chief Manager

## STATE OF MINNESOTA, COUNTY OF HENNEPIN

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2015 , by Craig Allen, Chief Manager of GWSA Land Development, LLC, a Minnesota limited liability company, on behalf of the company.

\_\_\_\_\_  
Notary Public, Hennepin County, Minnesota

My Commission Expires: \_\_\_\_\_ Printed Name

## SURVEYORS CERTIFICATION

I David B. Pemberton do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on the plat; that all monuments depicted on the plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

\_\_\_\_\_  
David B. Pemberton, Licensed Land Surveyor  
Minnesota License No. 40344

## STATE OF MINNESOTA, COUNTY OF HENNEPIN

This instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2015, by David B. Pemberton.

\_\_\_\_\_  
Notary Public, Hennepin County, Minnesota

My Commission Expires \_\_\_\_\_ Printed Name

## LAKE ELMO, MINNESOTA PLANNING COMMISSION

Approved by the Planning Commission of the city of Lake Elmo, Minnesota, this \_\_\_\_\_ day of \_\_\_\_\_, 2015 .

Signed: \_\_\_\_\_  
Chair, Planning Commission

Singed: \_\_\_\_\_  
Secretary, Planning Commission

## LAKE ELMO, MINNESOTA

This plat of VILLAGE PRESERVE was approved by the City Council of the City of Lake Elmo, Minnesota this \_\_\_\_\_ day of \_\_\_\_\_, 2015 , and hereby certifies compliance with all requirements as set forth in Minnesota Statutes, Section 505.03, Subd. 2.

Signed: CITY OF LAKE ELMO

By: \_\_\_\_\_ Mayor

By: \_\_\_\_\_ Clerk

## COUNTY SURVEYOR

Pursuant to Chapter 820, Laws of Minnesota, 1971, and in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

By: \_\_\_\_\_ Washington County Surveyor

By: \_\_\_\_\_

## COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, and Section 272.12, taxes payable in the year 2015, on real estate hereinbefore described, have been paid; and there are no delinquent taxes, and transfer entered on this \_\_\_\_\_ day of \_\_\_\_\_, 2015 .

By: \_\_\_\_\_ Washington County Auditor/Treasurer

By: \_\_\_\_\_ Deputy

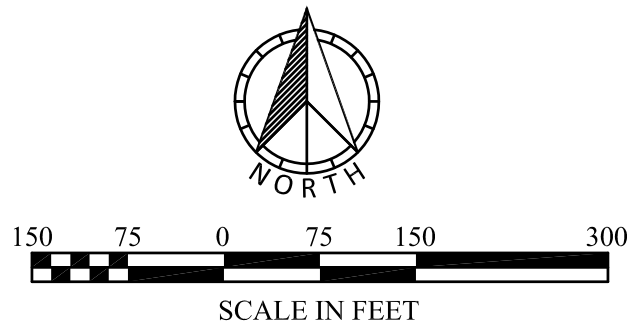
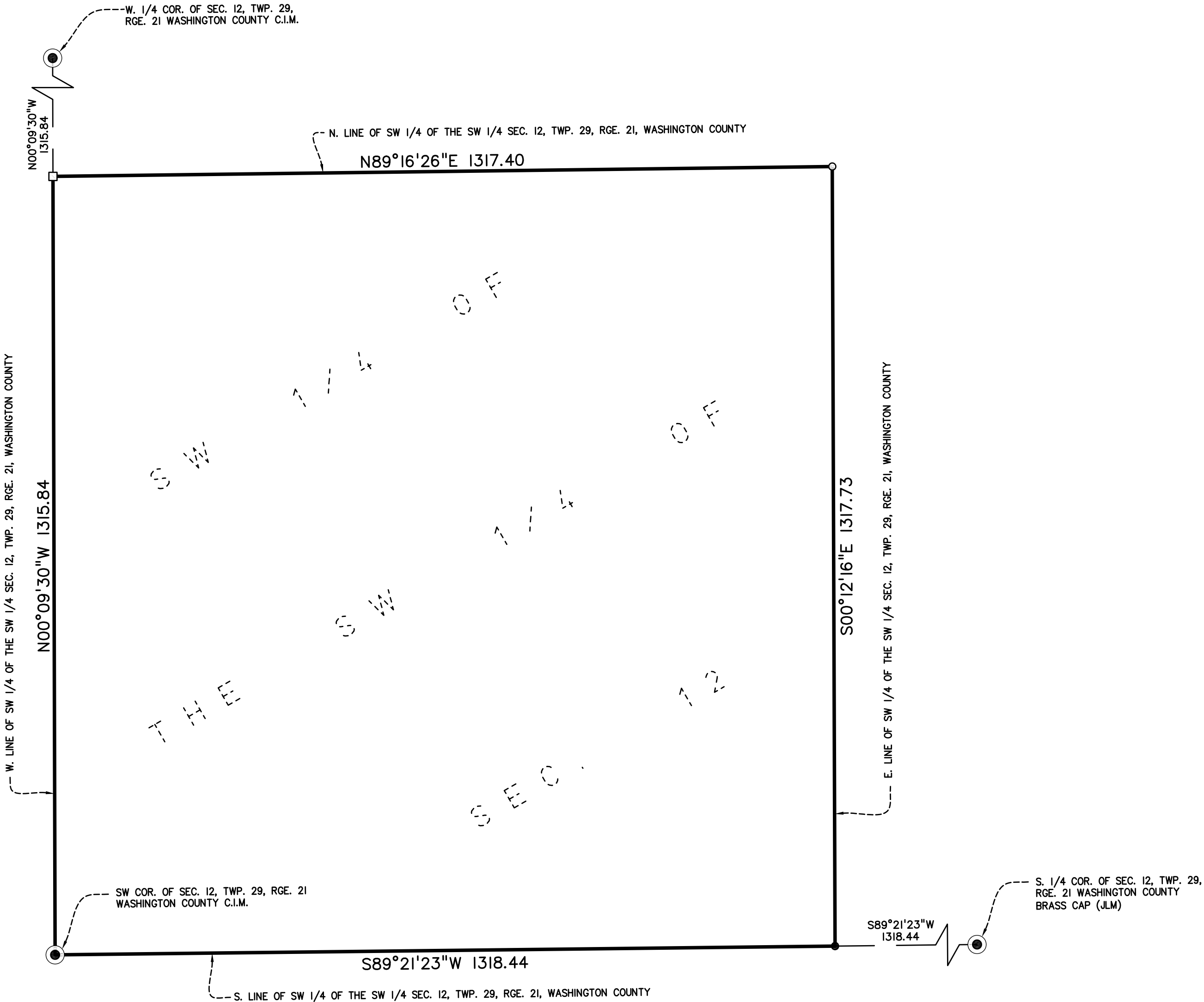
## COUNTY RECORDER

Document Number \_\_\_\_\_

I hereby certify that this instrument was recorded in the Office of the County Recorder for record on this \_\_\_\_\_ day of \_\_\_\_\_, 2015 , at \_\_\_\_\_ o'clock \_\_\_\_\_, M. and was duly recorded in Washington County Records.

By: \_\_\_\_\_ Washington County Recorded

By: \_\_\_\_\_ Deputy

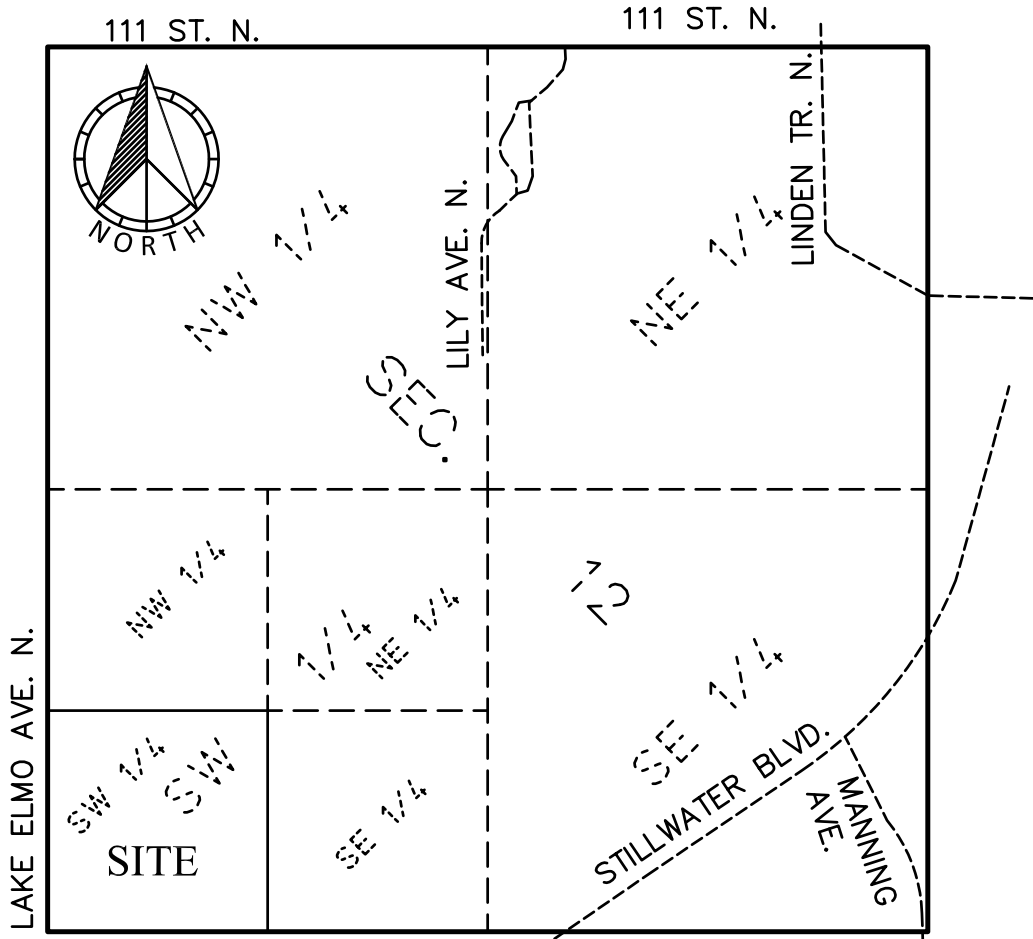


- Denotes a 1/2 inch by 14 inch iron pipe set in the ground and marked by License No. 40344
- Denotes a Found Iron Monument
- Denotes Set nail and disc marked by License No. 40344
- ⊙ Denotes a Cast-Iron-Monument

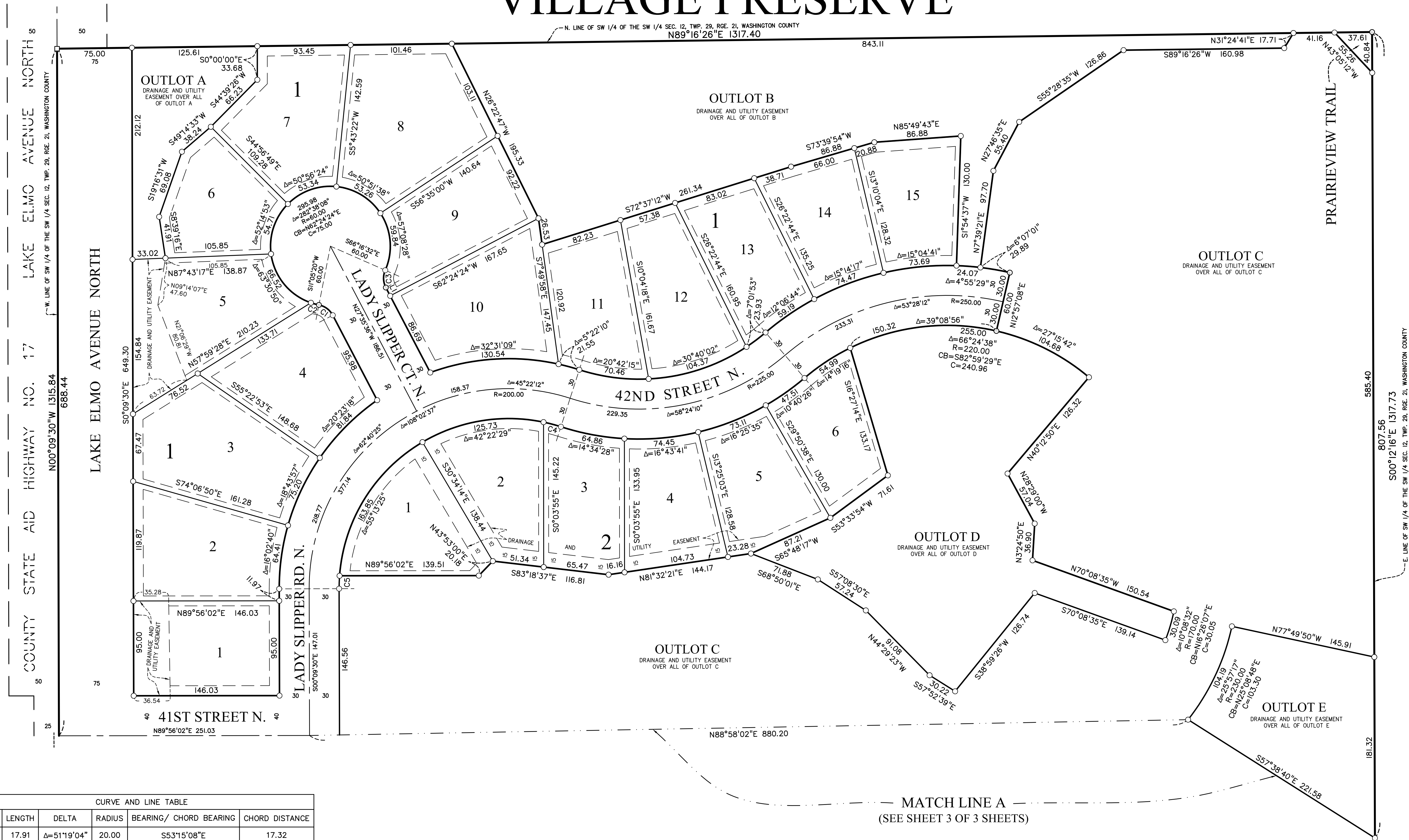
The basis for the bearing system of this plat is the west line of Southwest Quarter of the Southwest Quarter of Section 12, Township 29, Range 21, Washington County, Minnesota is assumed to have a bearing of North 00 degrees 09 minutes 30 seconds West (Washington County coordinate system NAD 83/ 1986 Adj.)

## LOCATION MAP

SECTION 12, TWP. 29N., RGE. 21W.  
NOT TO SCALE

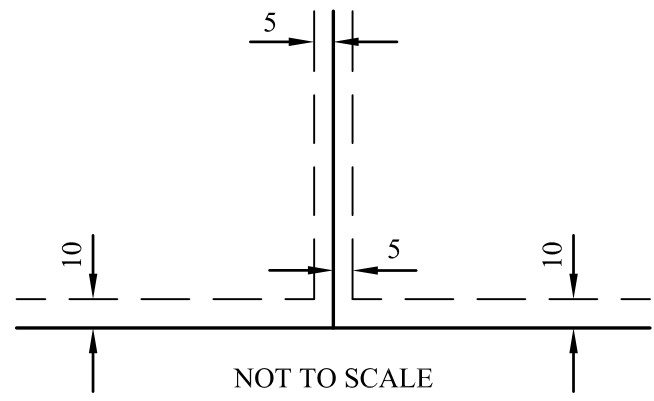


# VILLAGE PRESERVE

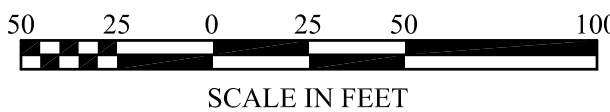


CURVE AND LINE TABLE					
TAG #	LENGTH	DELTA	RADIUS	BEARING/ CHORD BEARING	CHORD DISTANCE
C1	17.91	$\Delta=51^{\circ}19'04''$	20.00	S53°15'08"E	17.32
C2	8.31	$\Delta=7^{\circ}55'55''$	60.00	S74°46'43"E	8.30
C3	17.91	$\Delta=51^{\circ}19'04''$	20.00	N1°56'04"W	17.32
C4	18.04	$\Delta=6^{\circ}04'51''$	170.00	S75°09'19"E	18.03
C5	12.95	$\Delta=4^{\circ}21'52''$	170.00	S2°01'25"W	12.95
L1	9.39			N27°35'36"W	

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



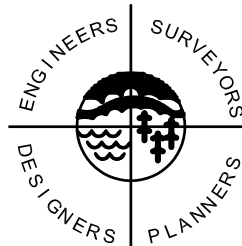
NOT TO SCALE  
Being 5 feet in width when adjoining side lot lines, unless otherwise indicated, and 10 feet in width when adjoining public ways and rear lot lines, unless otherwise indicated, as shown on the plat.



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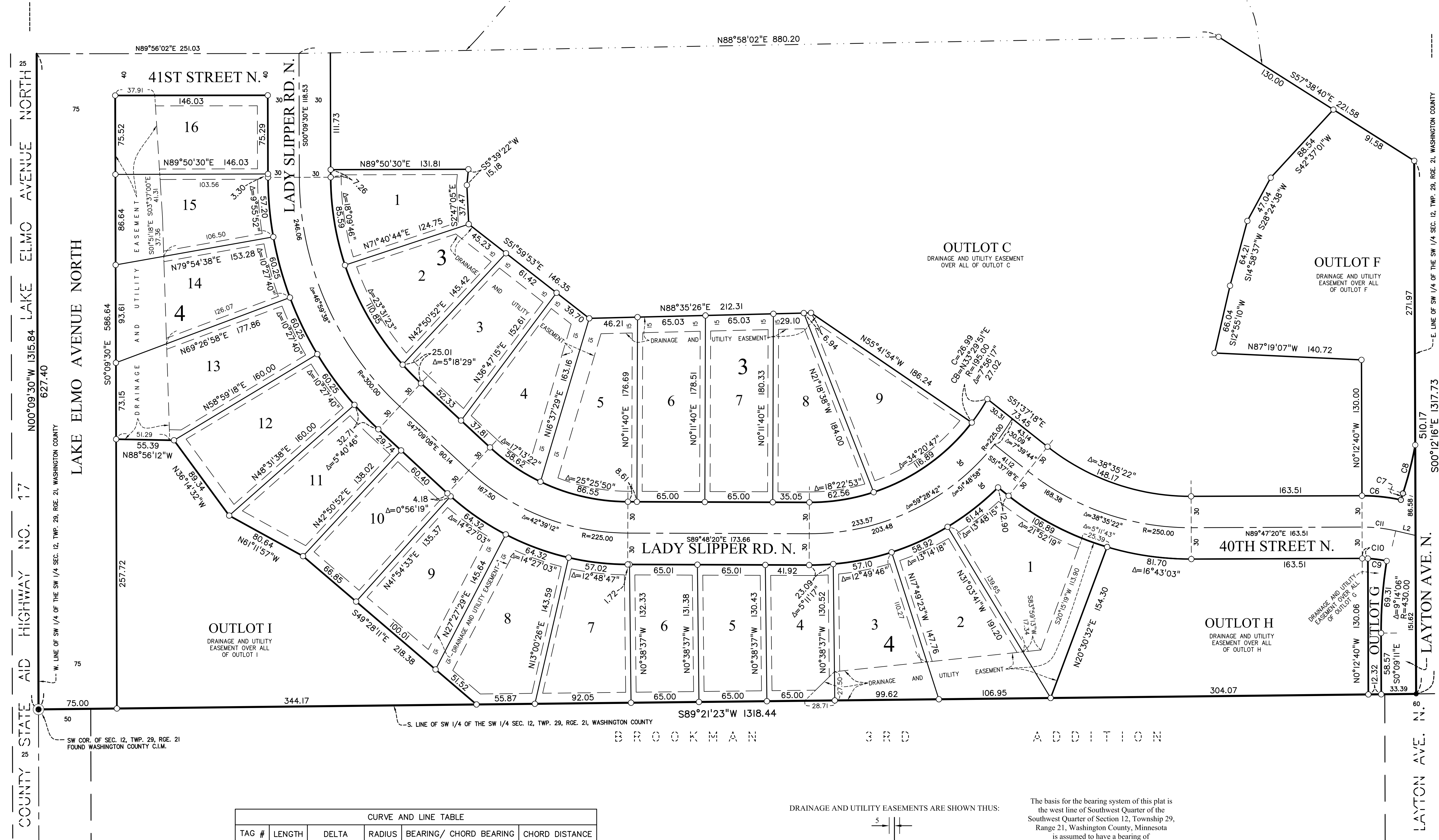
MATCH LINE A  
(SEE SHEET 3 OF 3 SHEETS)



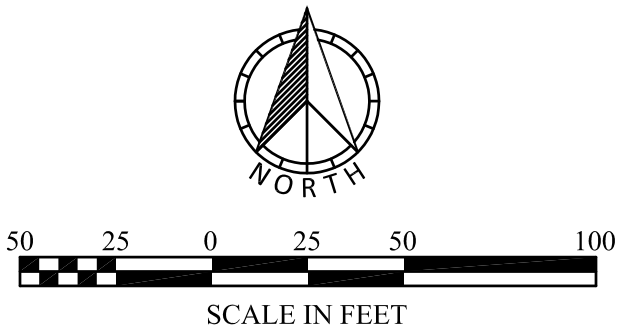
SATHRE-BERGQUIST, INC.

# VILLAGE PRESERVE

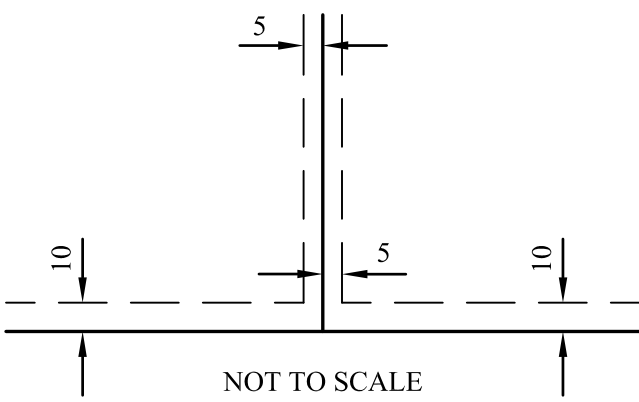
MATCH LINE A  
(SEE SHEET 2 OF 3 SHEETS)



CURVE AND LINE TABLE					
TAG #	LENGTH	DELTA	RADIUS	BEARING/ CHORD BEARING	CHORD DISTANCE
C6	37.54	$\Delta=12^{\circ}39'07''$	170.00	N83°53'07"W	37.46
C7	6.53	$\Delta=0^{\circ}52'11''$	430.00	S17°31'08"W	6.53
C8	47.80	$\Delta=7^{\circ}24'10''$	370.00	S14°15'08"W	47.77
C9	18.20	$\Delta=9^{\circ}28'52''$	110.00	S82°39'00"E	18.18
C10	5.42	$\Delta=2^{\circ}49'14''$	110.00	N88°48'03"W	5.41
C11	32.49	$\Delta=13^{\circ}17'45''$	140.00	S83°33'48"E	32.42
L2	19.47			S76°54'55"E	

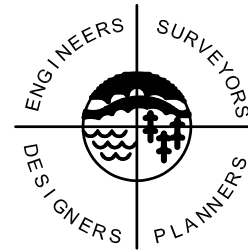


DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



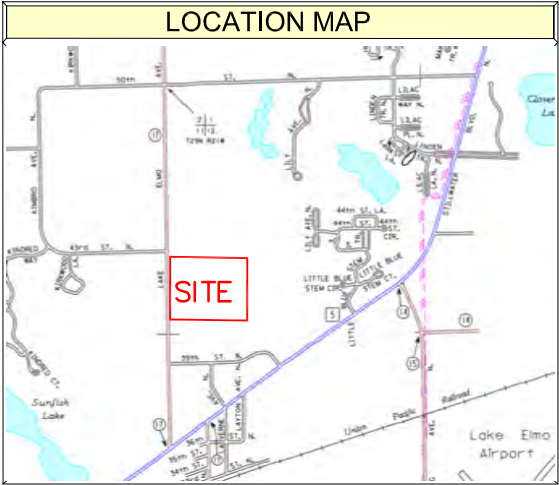
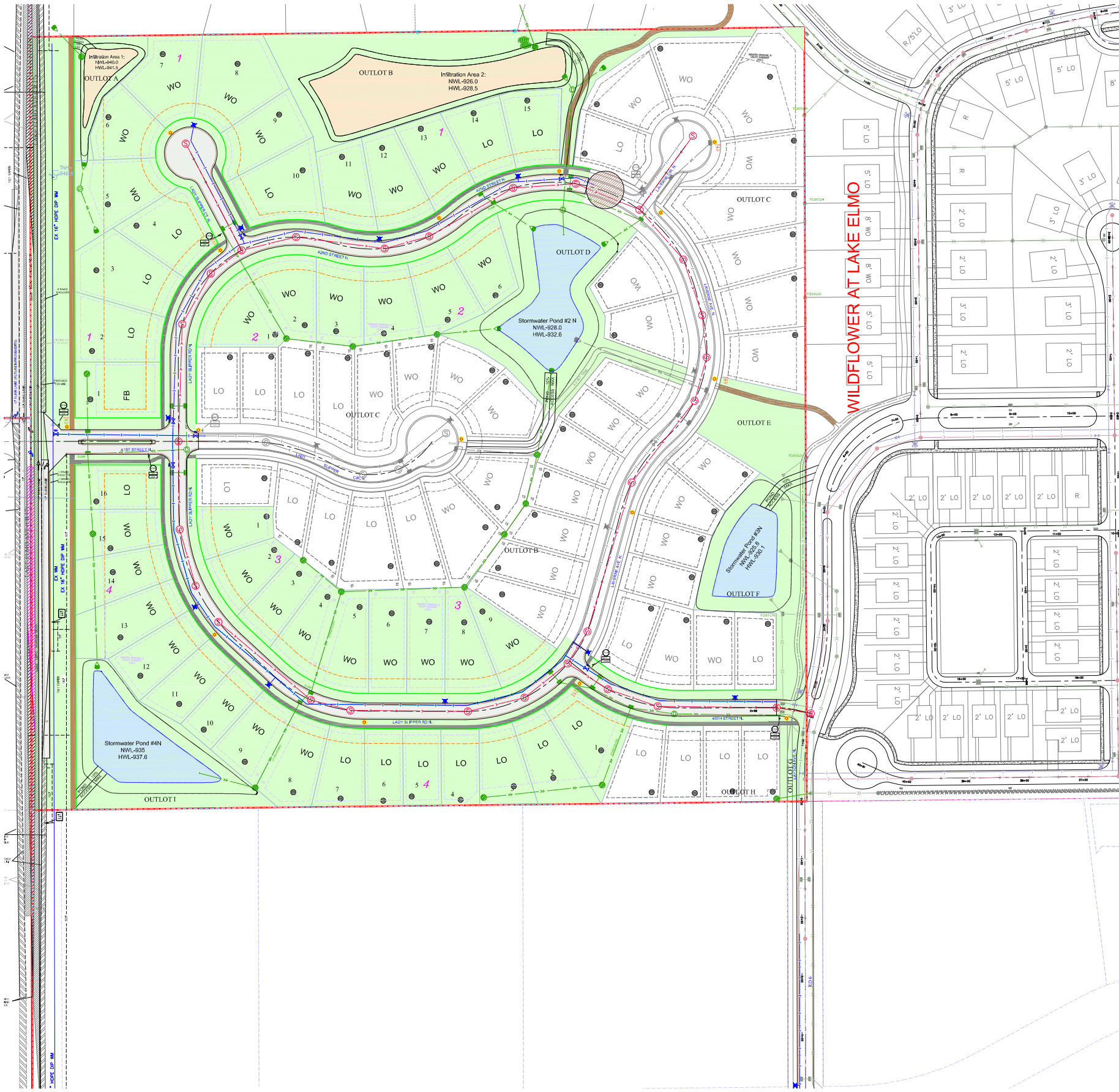
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SATHRE-BERGQUIST, INC.

SYMBOL LEGEND		
DESCRIPTION	PROPOSED	EXISTING
MINOR CONTOUR		
MAJOR CONTOUR		
LOT LINE		
WATERMAIN		
BUILDING SETBACK BOUNDARY		
PARCEL BOUNDARY LINE		
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
RIGHT-OF-WAY		
DRAINILE W/ CLEANOUTS		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION WRIP-RAP		
STORM STRUCTURE LABEL		
SANITARY STRUCTURE LABEL		
SANITARY SEWER MANHOLE		
HYDRANT		
GATE VALVE		
WELL		
DRAIN FLOW/RUNOFF ARROW		
EMERGENCY OVERFLOW SWALE		
SOIL BORING LOCATION		
SILT FENCE		
TREE PRESERVATION FENCE		
BARRICADE		
SPOT ELEVATION		
TBC SPOT ELEVATION		
UTILITY POLE		
LIGHT POLE		
HANDICAP PARKING SPACE		

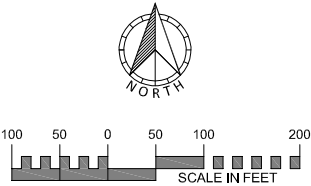


SHEET INDEX TABLE	
Page	Description
1	Title Sheet
2-3	Lake Elmo Ave. Improvement Plan
4-8	Street Plans
9-14	Sanitary Sewer and Watermain Plans
15-21	Storm Sewer Plans
22-24	Grading Plans
25-27	Erosion Control Plans
28-31	City Details

PREPARED BY	PREPARED FOR
ENGINEER SATHRE-BERGQUIST, INC. 150 SOUTH BROADWAY WAYZATA, MINNESOTA 55391 PHONE: (952) 476-6000 FAX: (952) 476-0104 CONTACT: ROBERT S. MOLSTAD, P.E. EMAIL: MOLSTAD@SATHRE.COM	DEVELOPER GWSA LAND DEVELOPMENT CONTACT: CRAIG ALLEN PHONE: (952) 546-5070 EMAIL: CRAIG@GONYEACOMPANY.COM

Village Preserve:  
+/- 39.84 Acres  
65' Lots - 59  
80' Lots - 32  
CSAH 17 ROW: 2.27 acres  
Open Space/Park = 1.22 acres  
Net Density: 91/36.35 = 2.5 units/acre

V-MDR District  
2.5-4.0 units/acre  
Min Lot Area - 7,000 sf  
Min Lot Width - 50'  
Fysb - 25'  
Sysb - 5' / 10'  
Cysb - 15'  
Rysb - 20'



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DRAWING NAME	NO.	BY	DATE	REVISIONS
BASE_PARCELS A-B	01	ERJ	03/05/15	WATERSHED COMMENT REVISIONS
DRAWN BY	02	ERJ	03/20/15	CITY COMMENT REVISIONS
CHECKED BY	03	SRT	04/13/15	WATERSHED COMMENT REVISIONS
CHECKED BY	04	ERJ	04/20/15	CITY COMMENT REVISIONS
RSM				
DATE				
02/20/15				

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I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Robert S. Molstad*  
ROBERT S. MOLSTAD, P.E.  
Date: 02/20/15 Lic. No. 26728

ENGINEERS SURVEYORS  
DESIGNERS PLANNERS

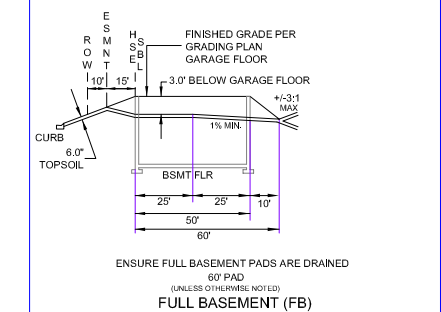
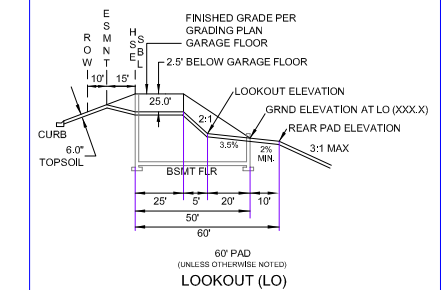
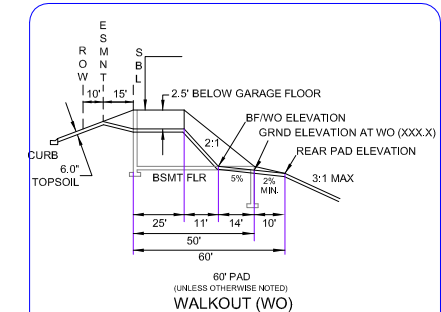
**SATHRE-BERGQUIST, INC.**  
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO.  
LAKE ELMO,  
MINNESOTA

TITLE SHEET  
VILLAGE PRESERVE - PHASE 1  
GWSA LAND DEVELOPMENT, LLC.

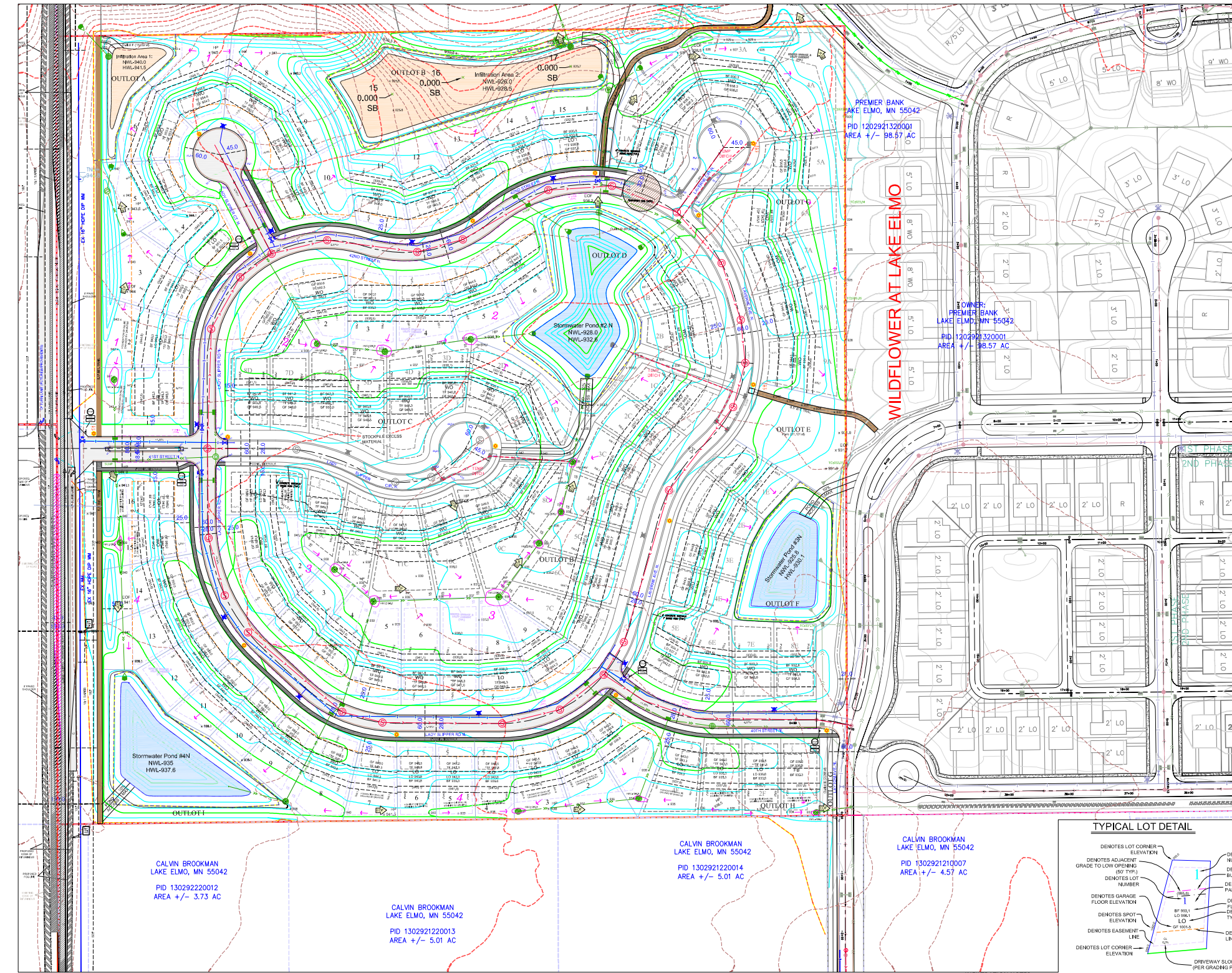
FILE NO.  
3120-047  
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31

SYMBOL LEGEND		
DESCRIPTION	PROPOSED	EXISTING
MINOR CONTOUR	958	958
MAJOR CONTOUR	960	960
LOT LINE		
WATERMAIN	WM	WM
BUILDING SETBACK BOUNDARY		
PARCEL BOUNDARY LINE		
DRAINAGE AND UTILITY EASEMENTS		
CURB AND GUTTER		
RIGHT-OF-WAY		
DRAIN TILE W/CLANDUSTS		
BACKYARD CATCH BASIN		
CATCH BASIN		
STORM SEWER MANHOLE		
FLARED END SECTION W/WRP/RAP		
STORM STRUCTURE LABEL	2	4
SANITARY STRUCTURE LABEL	3	5
SANITARY SEWER MANHOLE		
HYDRANT	WM	WM
GATE VALVE	WM	WM
WELL		
DRAIN FLOW/RUNOFF ARROW		
EMERGENCY OVERFLOW SWALE		
SOIL BORING LOCATION		
SILT FENCE		
TREE PRESERVATION FENCE		
BARRICADE	OR	OR
SPOT ELEVATION		
TBC SPOT ELEVATION		
UTILITY POLE		
LIGHT POLE		
HANDICAP PARKING SPACE		



NOTES:  
1. GRADE (999.0) BEHIND EACH HOMESITE IS THE LOW GROUND ELEVATION AND PROPOSED TOP OF TOPSOIL. SUBGRADE SHALL BE DOWN 0.50 FEET.  
2. ESTABLISH FINISH GRADE AT ALL 10' FRONT YARD UTILITY EASEMENT LOCATIONS.  
3. THESE DETAILS REFERENCE A 8" POURED FOUNDATION WALL, AND A 0.7" DROP FROM REAR TOP FOUNDATION TO GROUND ELEVATION FOR ALL LOOKOUTS AND WALKOUTS.

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POND NOTES:

Wet Pond Lining:

- In-Place Permeability: 1 x 10-6 cm/sec or less.
- Grain Size: P200 content 50 percent by weight or greater, maximum gravel content 5 percent by weight. Maximum particle size of 2.5 inch in any dimension.
- Clay Content: 25 percent by weight or greater (0.02 mm).
- Liquid Limit: 25 percent or greater.
- Plasticity Index: 12 percent or greater.
- Compaction: 95 percent Standard Proctor density or greater depending on Contractor source testing results.
- Source Testing: The Contractor shall supply test results from an independent testing lab for a sample taken at the clay source to verify the above specifications will be met. The results shall be submitted to the Engineer at least two weeks prior to delivery to the site. The specific location of the source must be included with the submittal.
- In-Place Testing: After placement of the clay, the Contractor shall arrange for in-place testing by an independent testing lab to verify the above specifications are met. Testing shall include compaction, grain size, Atterberg limits, and permeability using a relatively undisturbed thin wall sample (Shelby tube). The in-place testing frequency shall be one sample tested every 1,000 CY of clay placed.

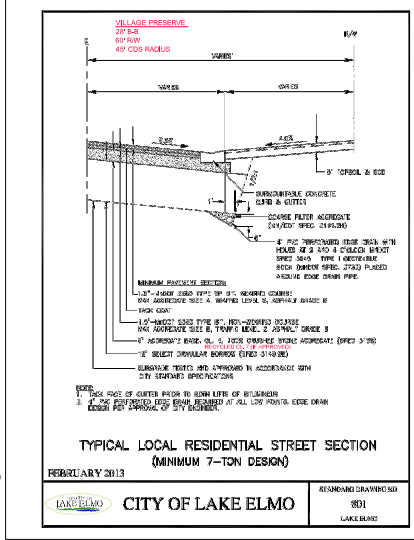
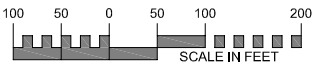
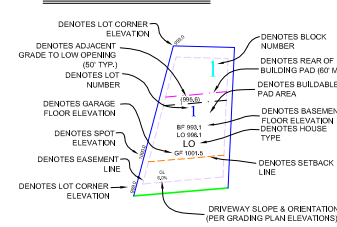
WATERSHED NOTES:

- No construction shall start until all permit conditions are met.
- The infiltration material shall be in conformance with Mn/DOT Specification 3877.1G, or an equivalent approved by the VBWD.
- The VBWD Engineer and Inspector shall be notified at least three days prior to the commencement of work.
- All disturbed areas shall be vegetated within 14 days of final grading.

INFILTRATION NOTES:

After construction, the contractor must provide documentation that constructed infiltration areas perform as designed. Methods to document infiltration performance must be approved by the VBWD Engineer prior to documentation. Available options for documentation include:  
A. Time and date-stamped photographs showing that the infiltration basin drains dry within 48 hours after a natural precipitation event approximately equivalent to the design storm.  
B. Time and date-stamped photographs showing that the infiltration basin drains dry within 48 hours after a basin is filled with water from municipal water supply, water trucks, or stormwater ponds.

TYPICAL LOT DETAIL



- CONSTRUCTION NOTES
- INSTALL SILT FENCE AS SHOWN ON PLAN, AS REQUIRED BY THE CITY OF LAKE ELMO OR DIRECTED BY THE ENGINEER.
  - THE WATER QUALITY POND MUST BE EXCAVATED AT THE BEGINNING OF GRADING OPERATIONS TO PROVIDE TEMPORARY STORM WATER DETENTION DURING CONSTRUCTION. SAND AND SILT MUST BE REMOVED FROM THE POND AS NECESSARY DURING CONSTRUCTION AND AT THE COMPLETION OF THE PROJECT.
  - BEGIN GRADING. INSTALL PERFORATED RISER PIPE IN PONDS WHEN POND GRADING IS COMPLETE. TEMPORARY DRAINAGE PIPE SHALL BE USED FOR INTERMEDIATE DRAINAGE DURING THE CONSTRUCTION PERIOD AS NECESSARY AND DIRECTED BY THE ENGINEER. INSTALL SILT FENCE AROUND EXCAVATED PONDS.
  - INSPECT POND, SILT FENCE, AND ROCK ENTRANCE BERM AFTER ALL RAINFALL EVENTS AS REQUIRED BY THE NPDES PERMIT.
  - LINE ALL PONDS WITH A MINIMUM 3" ORGANIC SOILS & SEED SLOPES BETWEEN NWL AND 100 YR HWL WITH A WATER TOLERANT MIX. (OR AS NOTED)
  - REMOVE PERFORATED RISER PIPE WHEN STORM SEWER AND OUTLET STRUCTURE FOR PONDS ARE INSTALLED.
  - POND - 10:1 BENCH (1 FOOT) THEN 4:1 MAX
  - LO & WO PADS 3:1 MAX. ALL OTHER SLOPES 4:1 MAX (UNLESS NOTED)
  - RESTORATION - 27.0 ACRES  
A. RESTORE ALL DISTURBED AREAS WITH 4" TO 6" OF TOPSOIL, OR EXISTING ON-SITE ORGANIC MTL.  
B. SEED POND SLOPES AND DETENTION AREAS WITH MN/DOT 310 OR BWSR P8 SEED MIX AT A RATE OF 100 LBS/ACRE AND FERTILIZE WITH 20-0-10 AT 100 LBS/ACRE, SEED WETLAND BUFFER AREAS WITH MN/DOT 350-MESIC PRAIRIE (36.5 PLS LBS/AC) OR BWSR 35-241 SEED MIX AND FERTILIZE WITH 20-0-10 AT 100 LBS/ACRE. (REFER TO WETLAND CREATION/BANKING PLAN FOR WETLAND SEED MIX REQUIREMENTS).  
C. SEED ALL OTHER DISTURBED AREAS WITH MN/DOT 250 AT A RATE OF 100 LBS/ACRE AND FERTILIZE WITH 20-0-10 AT 100 LBS/ACRE. (UNLESS OTHERWISE NOTED)  
D. ONLY PHOSPHOROUS FREE FERTILIZER IS TO BE USED ON SITE.  
E. MULCH WITH TYPE 1 AT A RATE OF 2 TONS/ACRE AND DISC ANCHOR IMMEDIATELY AFTER PLACEMENT. USE WOODFIBER BLANKET ON ALL SLOPES 3:1 (FT) OR GREATER.  
F. PLACE APPROVED STORM SEWER INLET PROTECTION IN OR AROUND ALL STORM SEWER INLETS AND MAINTAIN UNTIL STREET CONSTRUCTION IS COMPLETED. REFER TO CITY DETAILS FOR APPROVED DEVICES.  
G. MAINTAIN ALL SILT FENCE UNTIL TURF HAS BEEN ESTABLISHED.  
H. RESTORATION WORK WILL BE COMPLETED WITHIN 72 HOURS OF GRADING COMPLETION.
  - GRADE BACK 3" FROM FACE OF ALL RETAINING WALLS
  - SILT FENCE - BEFORE GRADING - 5,000 LF, AFTER GRADING - 3,910 LF

GENERAL NOTES:  
1. THE GRADING CONTRACTOR IS RESPONSIBLE FOR ALL STORM WATER INSPECTIONS ACCORDING TO THE MPCA STORM WATER PERMIT. THIS INCLUDES BOTH WEEKLY INSPECTIONS AND INSPECTIONS DONE AFTER A 0.5" RAIN EVENT. A COPY OF THE INSPECTION REPORT MUST BE EMAILED TO THE ENGINEER AND DEVELOPER ON A WEEKLY BASIS.

2. THE CONTRACTOR SHALL PLACE INLET PROTECTION DEVICES IN ACCORDANCE WITH THE CITY OF LAKE ELMO'S DETAIL FOR ALL STORM SEWER INLETS AND MAINTAIN THEM AS AN EFFECTIVE SILT CONTROL DEVICE. INLET PROTECTION SHALL BE REMOVED WHEN RESTORATION HAS BEEN ESTABLISHED.

3. ALL RETAINING WALLS WILL REQUIRE A STRUCTURAL DESIGN, A BUILDING PERMIT & A FINAL INSPECTION REPORT.

4. A 1'-2" CRUSHED ROCK BERM SHALL BE PLACED AT THE SITE ENTRANCE, TO REINFORCE SILT FENCE, AND MINIMIZE EROSION ON TO THE STREETS. THE ROCK BERMS SHALL BE THE WIDTH OF THE ENTRANCE AND 2 FEET HIGH WITH 4:1 SLOPES. (SEE DETAIL)

5. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM THE BUILDING PAD AND STREET AREAS THROUGHOUT CONSTRUCTION.

6. THE CONTRACTOR SHALL ATTEMPT TO PREVENT SOIL MATERIALS FROM LEAVING THE SITE BY EROSION AND VEHICLE WHEEL TRACKING. HE SHALL BE RESPONSIBLE FOR CLEANING OF STREET, BOULEVARD AND UTILITY FACILITIES THAT RECEIVE ANY ERODED OR TRACKED SOIL MATERIAL OR OTHER CONSTRUCTION DEBRIS OR MATERIAL.

7. EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

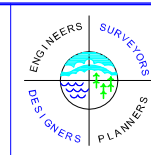
8. BUILDING PADS ARE 60" DEEP, UNLESS OTHERWISE NOTED. THE FRONT AND REAR BUILDING PAD LINES ARE SHOWN ON THE PLAN. THE ENGINEER SHOULD BE CONTACTED IF THE CONTRACTOR HAS ANY QUESTIONS REGARDING BUILDING PADS.

9. STREET SWEEPING REQUIRED A MINIMUM OF ONE TIME PER WEEK OR AS DIRECTED BY THE CITY ENGINEER.

DRAWING NAME	NO.	BY	DATE	REVISIONS
BASE_PARCELS A-B	01	ERJ	03/05/15	WATERSHED COMMENT REVISIONS
DRAWN BY	02	ERJ	03/20/15	CITY COMMENT REVISIONS
CHECKED BY	03	SRT	04/13/15	WATERSHED COMMENT REVISIONS
RSM	04	ERJ	04/20/15	CITY COMMENT REVISIONS
DATE				
02/20/15				

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*Robert S. Molstad*  
ROBERT S. MOLSTAD, P.E.  
Date: 02/20/15 Lic. No. 26728

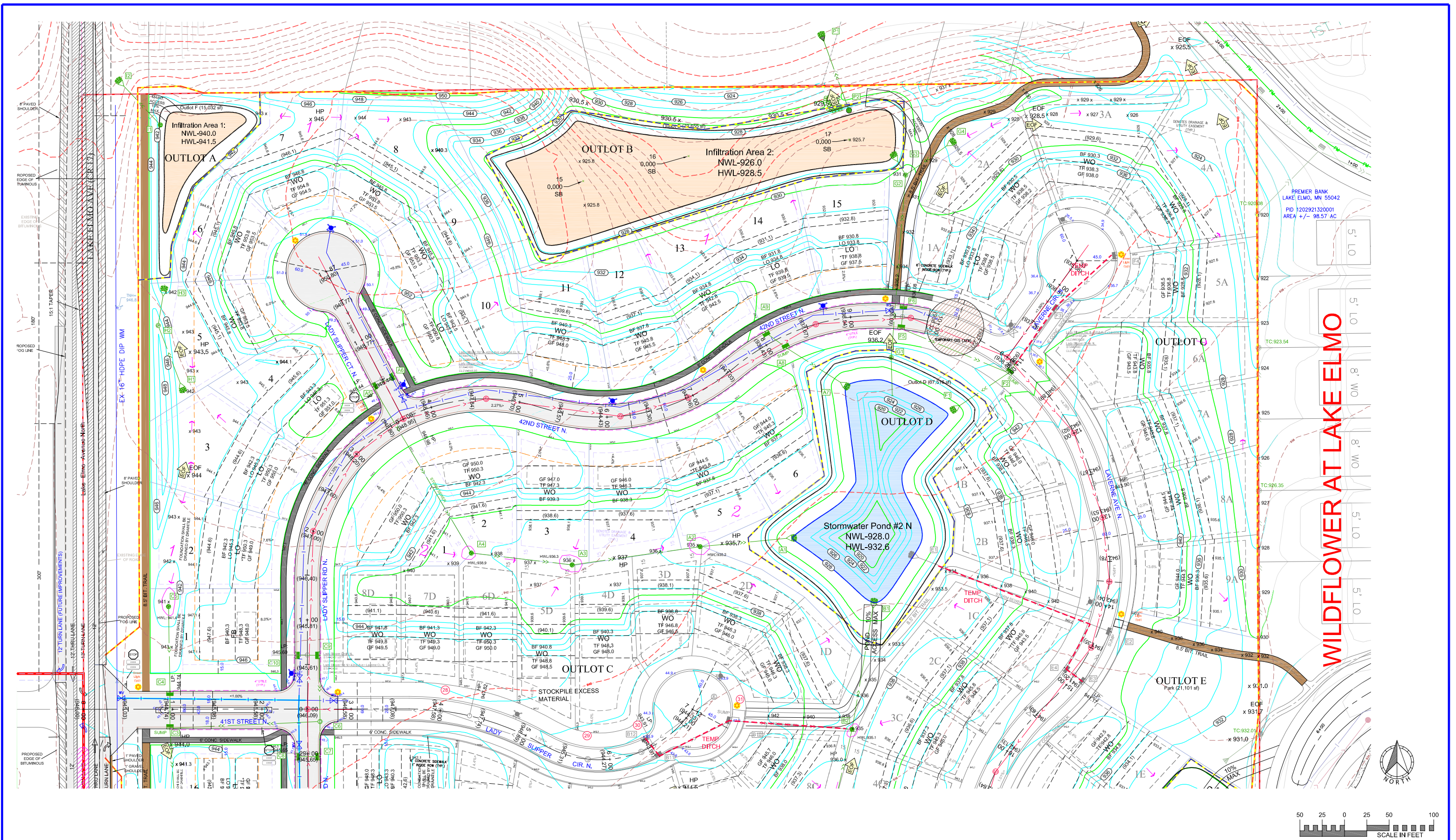


**SATHRE-BERGQUIST, INC.**  
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

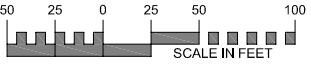
CITY PROJECT NO.  
  
LAKE ELMO,  
MINNESOTA

FINAL GRADING PLAN  
  
VILLAGE PRESERVE - PHASE 1  
  
GWSA LAND DEVELOPMENT, LLC.

FILE NO.  
3120-047  
  
22  
  
31



WILDFLOWER AT LAKE ELMO



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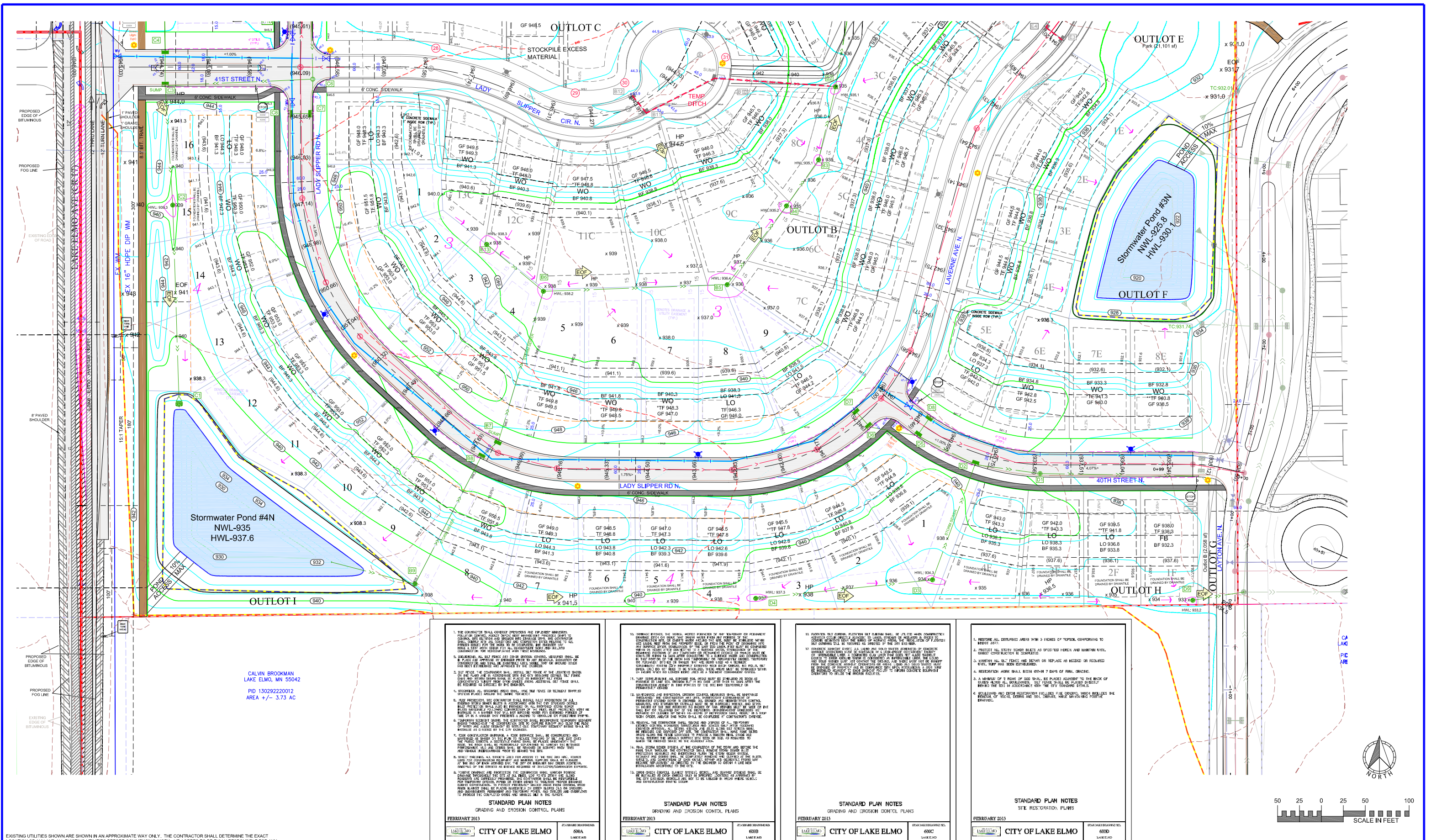
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*Robert S. Molstad*  
ROBERT S. MOLSTAD, P.E.  
Date: 02/20/15 Lic. No. 26728

**SATHRE-BERGQUIST, INC.**  
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

ENGINEERS  
SURVEYORS  
DESIGNERS  
PLANNERS

CITY PROJECT NO.	FILE NO.
LAKE ELMO, MINNESOTA	3120-047
FINAL GRADING PLAN	23
VILLAGE PRESERVE - PHASE 1	31
GWSA LAND DEVELOPMENT, LLC.	



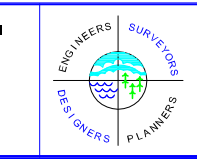
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DRAWING NAME	NO.	BY	DATE	REVISIONS
BASE PARCELS A-B	01	ERJ	03/05/15	WATERSHED COMMENT REVISIONS
DRAWN BY	02	ERJ	03/20/15	CITY COMMENT REVISIONS
CHECKED BY	03	ERJ	04/13/15	WATERSHED COMMENT REVISIONS
RSM	04	ERJ	04/20/15	CITY COMMENT REVISIONS
DATE				
02/20/15				

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*Robert S. Molstad*  
ROBERT S. MOLSTAD, P.E.  
Date: 02/20/15 Lic. No. 2678



**SATHRE-BERGQUIST, INC.**  
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO. \_\_\_\_\_  
**LAKE ELMO, MINNESOTA**

**FINAL GRADING PLAN**  
**VILLAGE PRESERVE - PHASE 1**  
**GWSA LAND DEVELOPMENT, LLC.**

Upland Dry Prairie Mix				
Common Name	Scientific Name	% of Mix	PLS	
GRASS				
Side-Oats Gramma	Bouteloua curtipendula	35.0	5.25 lbs./ac.	
Blue Grama	Bouteloua gracilis	5.0	0.75 lbs./ac.	
Canda Wild Rye	Elymus canadensis	9.3	1.39 lbs./ac.	
Junegrass	Koeleria macrantha	1.3	0.19 lbs./ac.	
Little Bluestem	Schizachyrium scoparium	26.0	3.90 lbs./ac.	
Prairie Dropseed	Sporobolus heterolepis	3.5	0.53 lbs./ac.	
FORBS				
Prairie Onion	Allium stellatum	1.0	0.15 lbs./ac.	
Leadplant	Amorpha canescens	0.5	0.08 lbs./ac.	
Butterfly Milkweed	Asclepias tuberosa	0.3	0.04 lbs./ac.	
Smooth Blue Aster	Aster laevis	0.5	0.08 lbs./ac.	
Sky-Blue Aster	Aster oolentangiensis	0.5	0.08 lbs./ac.	
Partridge Pea	Chamaecrista fasciculata	3.3	0.49 lbs./ac.	
White Prairie Clover	Dalea candida	3.0	0.45 lbs./ac.	
Purple Prairie Clover	Dalea purpureum	4.0	0.60 lbs./ac.	
Wild Bergamot	Monarda fistulosa	0.8	0.11 lbs./ac.	
Prairie Cinquefoil	Potentilla arguta	0.5	0.08 lbs./ac.	
Long-Headed Coneflower	Ratibida columnifera	0.8	0.11 lbs./ac.	
Black Eyed Susan	Rudbeckia hirta	3.0	0.45 lbs./ac.	
Old Field Goldenrod	Solidago nemoralis	0.3	0.04 lbs./ac.	
Showy Goldenrod	Solidago speciosa	0.5	0.08 lbs./ac.	
Hoary Vervain	Verbena stricta	1.3	0.19 lbs./ac.	
		100.0	15.00 lbs./ac.	

Wet Mesic Prairie Mix				
Common Name	Scientific Name	% of Mix	PLS	
GRASS				
Big Bluestem	Andropogon gerardii	18.0	2.70 lbs./ac.	
Blue-Joint Grass	Calamagrostis canadensis	0.5	0.08 lbs./ac.	
Fox Sedge	Carex vulpinoidea	2.0	0.30 lbs./ac.	
Virginia Wild Rye	Elymus virginicus	23.5	3.53 lbs./ac.	
Reed Manna Grass	Glyceria grandis	2.0	0.30 lbs./ac.	
Switchgrass	Panicum virgatum	5.0	0.75 lbs./ac.	
Little Bluestem	Schizachyrium scoparium	4.0	0.60 lbs./ac.	
Indian Grass	Sorghastrum nutans	20.0	3.00 lbs./ac.	
Prairie Cord Grass	Spartina pectinata	5.0	0.75 lbs./ac.	
FORBS				
Marsh Milkweed	Asclepias incarnata	2.3	0.34 lbs./ac.	
New England Aster	Aster novae-angliae	0.5	0.08 lbs./ac.	
Canada Milk Vetch	Astragalus canadensis	2.5	0.38 lbs./ac.	
Canada Tick Trefoil	Desmodium canadense	0.8	0.11 lbs./ac.	
Boneset	Eupatorium perfoliatum	0.5	0.08 lbs./ac.	
Sneezeweed	Helenium autumnale	0.5	0.08 lbs./ac.	
Common Ox-Eye	Heliopsis helianthoides	2.5	0.38 lbs./ac.	
Prairie Blazing Star	Liatris pycnostachya	1.3	0.19 lbs./ac.	
Monkey Flower	Mimulus ringens	1.3	0.19 lbs./ac.	
Obedient Plant	Physostegia virginiana	1.0	0.15 lbs./ac.	
Yellow Coneflower	Ratibida pinnata	1.3	0.19 lbs./ac.	
Black Eyed Susan	Rudbeckia hirta	1.3	0.19 lbs./ac.	
Purple Meadow Rue	Thalictrum dasycarpum	0.8	0.11 lbs./ac.	
Blue Vervain	Verbena hastata	2.3	0.34 lbs./ac.	
Ironweed	Vernonia fasciculata	1.5	0.23 lbs./ac.	
		100.0	15.00 lbs./ac.	

Upland Grass Mix (Lot Coverage Only)				
Common Name	Scientific Name	% of Mix	PLS	
GRASS				
Side-Oats Gramma	Bouteloua curtipendula	30.0	3.00 lbs./ac.	
Blue Grama	Bouteloua gracilis	10.0	1.00 lbs./ac.	
Silky Wild Rye	Elymus villosus	10.0	1.00 lbs./ac.	
Junegrass	Koeleria macrantha	2.0	0.20 lbs./ac.	
Little Bluestem	Schizachyrium scoparium	43.0	4.30 lbs./ac.	
Prairie Dropseed	Sporobolus heterolepis	5.0	0.50 lbs./ac.	
		100.0	10.00 lbs./ac.	

SOURCE				
All seed will be purchased from Minnesota Native Landscapes.				
Minnesota Native Landscapes				
8740 77th St NE				
Osego, MN 55362				

EXECUTION				
Ground Preparation				
Prior to seeding, the Contractor shall spray the proposed seeding area with a non-selective glyphosate herbicide such as Round-Up. Approximately three to four weeks later the site should be cultivated using a deep-tine plow and then disked to produce a smooth firm seed bed. Allow weeds to germinate and grow. When weed seeds and roots have reached a height of 2-4 inches, the site should again be sprayed with a second herbicide application. Wait 10 days and then shallow till the soil to a depth of 1 inch. Tilling deeper will bring additional weed seeds to the surface.				
Once the area to be planted has been properly prepared, the Contractor shall commence with seeding.				

NATIVE SEEDING	
A.	Native plant community seeding can take place during two periods of the year. The first window of opportunity is from the time the site preparation work is concluded in the spring until approximately July 15. The second period is in the fall between October 1st and freeze-up. The latter is considered a dormant seeding and the seedlings do not germinate until late spring of the following growing season. It is recommended that the native seeding be conducted in June and early July.
B.	All native grass seed should be applied with a Triax native seed drill, at a rate as specified according to individual specifications PLS (pure live seed) per acre. In areas too narrow or steep for equipment, grass seed may be hand broadcast. Cover crop shall be applied after Native Mix has been seeded.
C.	Raking or dragging and rolling shall follow all seeding to insure good soil contact.
D.	The Contractor shall mulch all seeded areas with clean straw or marsh hay at a rate of 2 tons/acre and shall be disc anchored into place.

MAINTENANCE	
Year 1	During the first season, the seeded area shall be cut back approximately once each month to prevent the production of weed seeds and to reduce shade on the maturing native plantings. When the seeded area has reached a height of 8-10 inches, a flail-type mower shall be used to cut weeds and native plantings to a height of 4-6 inches. Rotary mowers and sickle bar mowers are not acceptable. In no case shall the seeded area be allowed to exceed 10 inches in height during the first season.
	Pulling weeds is not recommended as this can uproot small, undeveloped native seedlings. Spot spray thistle, reed canary grass and any other problematic weeds.
Year 2	In the spring of the second season, the plantings should be mowed again. Mowing should occur approximately 3-4 times during the second season. If weeds continue to persist during the second year additional mowings may be required. Do not let weeds go to seed. Seeded areas shall not be burned during the second year.
Year 3	Spot spray perennial weeds if necessary.
Years 4-5	Continue spot treatment spray of weeds and conduct burning (3-5 year rotation) alternate spring and fall

Invasive Species Control	
Certain species of perennial weeds may need to be controlled by spot treating with a herbicide for sufficient control. Perennial weeds may be canary grass, smooth brome, quack grass, purple loosestrife and Canada thistle. Canada thistle should be spot treated as soon as clumps appear to avoid the need to spray large areas.	
Grass-specific herbicides shall be used to control reed canary grass; however they are not to be used near open water.	

TREE MITIGATION PLANTING LEGEND				
KEY	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE NOTES
TREES				
HAR	Hackberry	Celtis occidentalis	3	2.5" BB straight single leader
HLR	Skyline Honey Locust	Gleditsia tricanthos var. inermis 'Skycole'	3	2.5" BB straight single leader
ROR	Red Oak	Quercus rubra	4	2.5" BB straight single leader
SMR	Green Mountain Maple	Acer saccharum 'Green Mountain'	4	2.5" BB straight single leader
Total			14	

REQUIRED SITE TREE PLANTING LEGEND - PHASE 1				
KEY	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE NOTES
TREES				
AL	Redmond Linden	Tilia americana 'Redmond'	9	2.5" BB straight single leader
HA	Hackberry	Celtis occidentalis	13	2.5" BB straight single leader
HL	Skyline Honey Locust	Gleditsia tricanthos var. inermis 'Skycole'	10	2.5" BB straight single leader
RB	River Birch	Betula nigra	13	2.5" BB multi-stem
RM	Red Sunset Maple	Acer rubrum 'Franksred'	10	2.5" BB straight single leader
RO	Red Oak	Quercus rubra	11	2.5" BB straight single leader
SM	Fall Fiesta Maple	Acer saccharum 'Baista'	7	2.5" BB straight single leader
WO	White Oak	Quercus alba	9	2.5" BB straight single leader
EVERGREENS				
BH	Black Hills Spruce	Picea glauca densata	43	6" BB
NP	Norway Pine	Pinus resinosa	30	6" BB
SN	Norway Spruce	Picea abies	34	6" BB
ORNAME NTALS				
CA	Adams Crabapple	Malus 'Adams'	25	2.5" BB straight single leader
CS	Snowdrift Crabapple	Malus 'Snowdrift'	24	2.5" BB straight single leader
Total			238	

TREE PLANTING REQUIREMENTS = 5 TREES / ACRE DISTURBED
40 ACRES DISTURBED = 200 TREES (MINIMUM) OR 500 CALIPER INCHES
PHASE 1: 25.64 ACRES = 129 TREES
PHASE 2: 14.19 ACRES = 71 TREES

STREET FRONTAGE TREE PLANTING LEGEND - PHASE 1				
KEY	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE NOTES
TREES				
AL	Greenspire Linden	Tilia cordata 'Greenspire'	11	2.5" BB Straight single leader
AM	Autumn Blaze Maple	Acer x freemanii 'Jeffersred'	10	2.5" BB Straight single leader
HA	Hackberry	Celtis occidentalis	10	2.5" BB Straight single leader
HL	Imperial Honey Locust	Gleditsia tricanthos var. inermis 'Impcole'	8	2.5" BB Straight single leader
PE	Princeton Elm	Ulmus americana 'Princeton'	11	2.5" BB Straight single leader
RM	Red Sunset Maple	Acer rubrum 'Franksred'	11	2.5" BB Straight single leader
RO	Red Oak	Quercus rubra	13	2.5" BB Straight single leader
SM	Fall Fiesta Maple	Acer saccharum 'Baista'	7	2.5" BB Straight single leader
WO	White Oak	Quercus alba	9	2.5" BB Straight single leader
TOTAL			90	

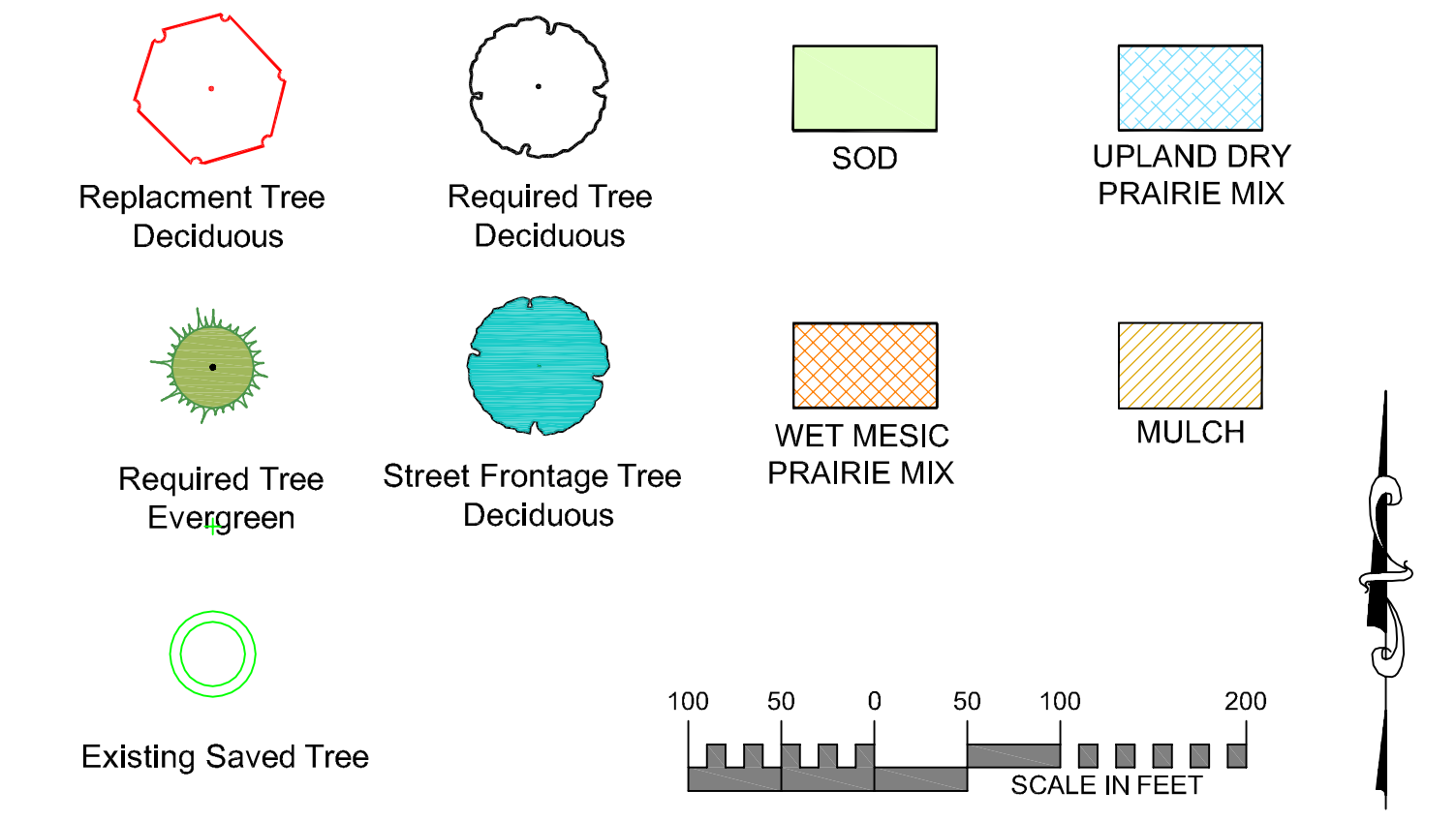
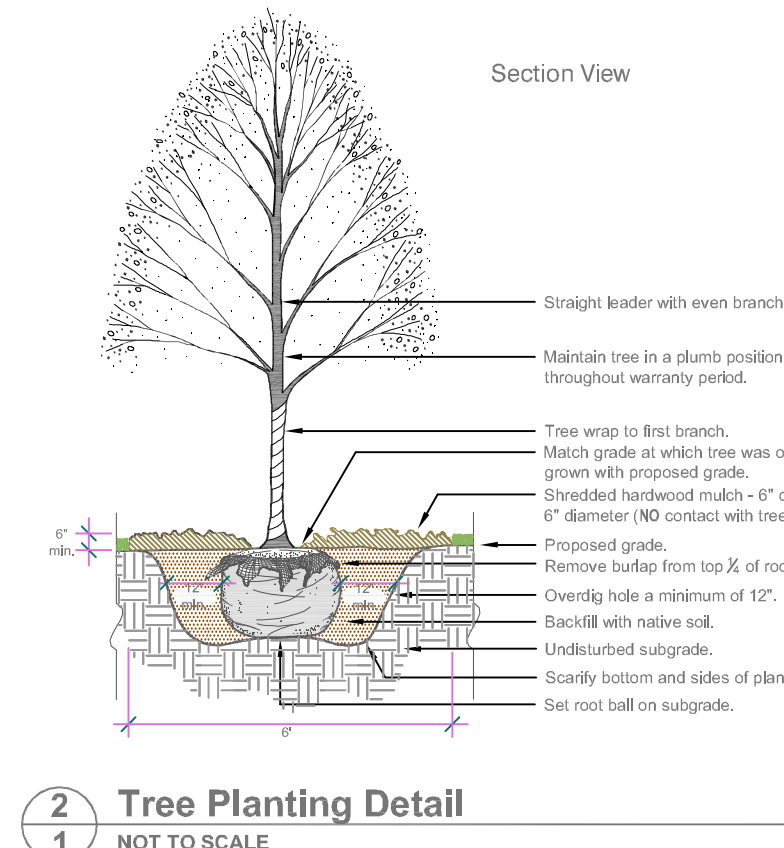
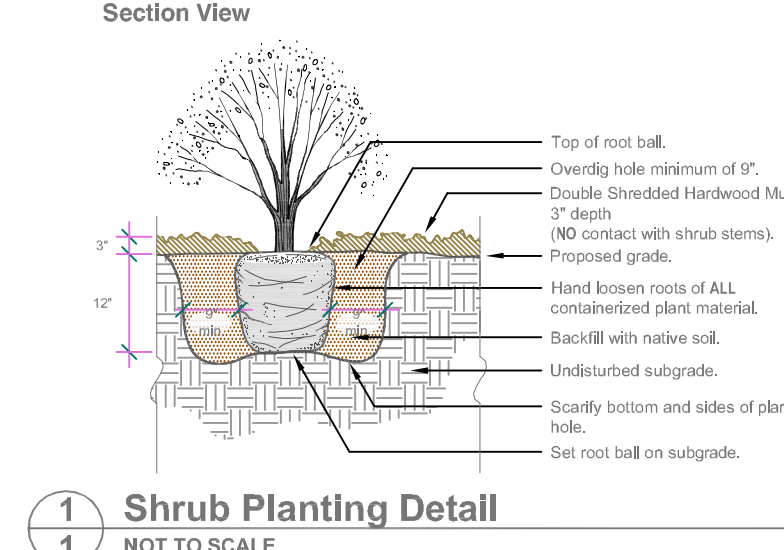
TREE PLANTING REQUIREMENTS= 1 TREE / 50 LINEAR FT.
TOTAL SITE: 10,062 LINEAR FT. = 202 TREES ( MINIMUM) OR 505 CALIPER IN.
PHASE 1: 6,918 LINEAR FT. = 139 TREES
PHASE 2: 3,144 LINEAR FT. = 63 TREES
DUE TO CONFLICTS WITH UTILITIES GOING TO EACH PROPERTY, THE EQUIVALENT OF 40 2.5 CALIPER IN. TREES HAVE BEEN RELOCATED TO THE SITE TREE PLANTING LEGEND

NOTES:	
ALL TREES SHALL HAVE A MINIMUM DEPTH OF 6" HARDWOOD BARK MULCH 6" DIAMETER RING AROUND THE BASE OF THE TREE. KEEP MULCH OFF TREE TRUNK.	
ALL TREES TO BE FIELD STAKED PRIOR TO INSTALLATION. LANDSCAPE CONTRACTOR TO COORDINATE FIELD REVIEW OF PROPOSED TREE LOCATIONS WITH CITY AND PROJECT LANDSCAPE ARCHITECTS PRIOR TO ANY TREE INSTALLATION.	
ALL STREET FRONTAGE TREE PITS AND BACK FILL SHALL BE FREE OF CLASS V OR SIMILAR MATERIAL. TREES ARE TO BE BACKFILLED WITH NATIVE ON SITE TOPSOIL.	
MINIMUM OF 2 ROWS OF SOD BEHIND CURB.	
AREAS WITH SIDEWALKS SHALL BE SODDED FROM BACK OF CURB TO SIDEWALK.	
ALL RESIDENTIAL LOTS SHALL BE TEMPORARILY SEEDDED WITH UPLAND GRASS MIX.	
ALL OUTLOTS SHALL BE PERMANENTLY SEEDDED WITH UPLAND DRY PRAIRIE MIX WITH EXCEPTION TO OUTLOTS TO BE SODDED AS SHOWN IN PLAN.	
TREE CALCULATIONS ARE BASED UPON CITY CODE AND ONE TREE EQUALS 2.5 CALIPER TREE INCHES. FOR TREES SMALLER THAN 2.5 CALIPER TREE INCHES MULTIPLE TREES USED TO GET EQUAL CALIPER TREE INCHES.	
BERMS ALONG ENTRANCES SHALL BE MULCHED WITH DOUBLE SHREDDED HARDEWOOD BARK MULCH TO A DEPTH OF 4".	
TREE PROTECTION FENCE SHALL BE PLACED AROUND ALL EXISTING TREES TO BE SAVED ON THE SITE.	

TREE MITIGATION CALCULATIONS: PHASE 1 & 2	
Total Cal. in. of Significant Trees	318
30% Allowed Removal of Total In.	95.4
Total Removed Caliper Inches	186
Cal. in. of Removed Common on Trees	138
Cal. in. of Removed Hardwoods	48
Common Trees Less Allowable Tree Removal Limit	
	42.6
Hardwood Trees Less Allowable Tree Removal Limit	48
Replacment Schedule	
Common Inches @ .25" Per 1"	10.65
Hardwood Inches @ .5" / 1"	24
Combined Inches	34.65
Number of 2.5" Replacmnt Trees	14

PHASING CALCULATIONS CALCULATION S	
Phase 1 Street Frontage Trees	90
Phase 2 Street Frontage Trees	72
Total	162
Phase 1 Required Site Trees	238
Phase 2 Required Site Trees	2
Total	240

ALL PHASES OF REQUIRED SITE TREES ARE SHOWN ON PHASE ONE DUE TO PLANTING LOCATIONS REQUIRING ACCESS PROVIDED DURING PHASE 1
-----------------------------------------------------------------------------------------------------------------------------



DRAWING NAME	NO.	BY	DATE	REVISIONS
NM	1	NM	6-5-14	Tree Protection Added. Shifted trees for new base.
DRAWN BY	2	NM	6-9-14	New Base
NM	3	NM	6-11-14	New Silt Fence
CHECKED BY	4	NM	2-11-15	Revised Trees for Utilites and New Base
TDW	5	NM	2-23-15	Project Split into Phases
DATE	6	NM	2-24-15	Trees Shifted to Lots
04/25/14				

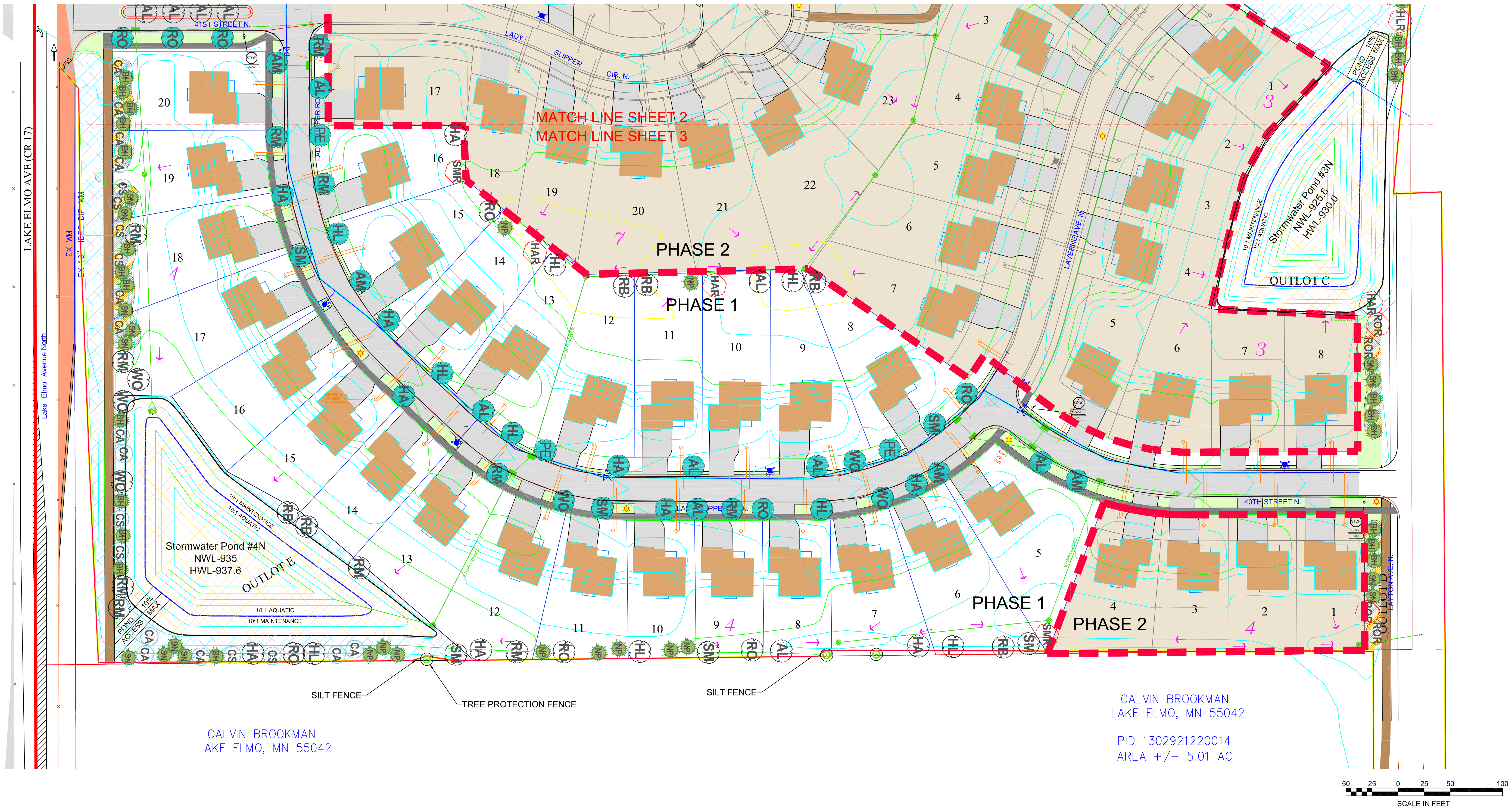
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----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered Landscape Architect under the laws of the State of Minnesota.
Signed:
Date: 4-25-14 Registration #: 20144

Norby & Associates Landscape Architects, Inc.
100 East Second Street Chaska, MN 55318 (952) 361-0644

CITY PROJECT NO.	TREE MITIGATION AND LANDSCAPE PLAN	FILE NO.
LAKE ELMO, MINNESOTA	PARCEL B - PHASE 1 SCHILTGEN FARMS GW LAND DEVELOPMENT	3120-047
		LP1
		LP3





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I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered Landscape Architect under the laws of the State of Minnesota.

Signed: *Calvin Brookman*

Date: 4-25-14 Registration #: 20144

**Norby & Associates**  
Landscape Architects, Inc.

100 East Second Street Chaska, MN 55318 (952) 361-0644

CITY PROJECT NO.  
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**LAKE ELMO,**  
MINNESOTA

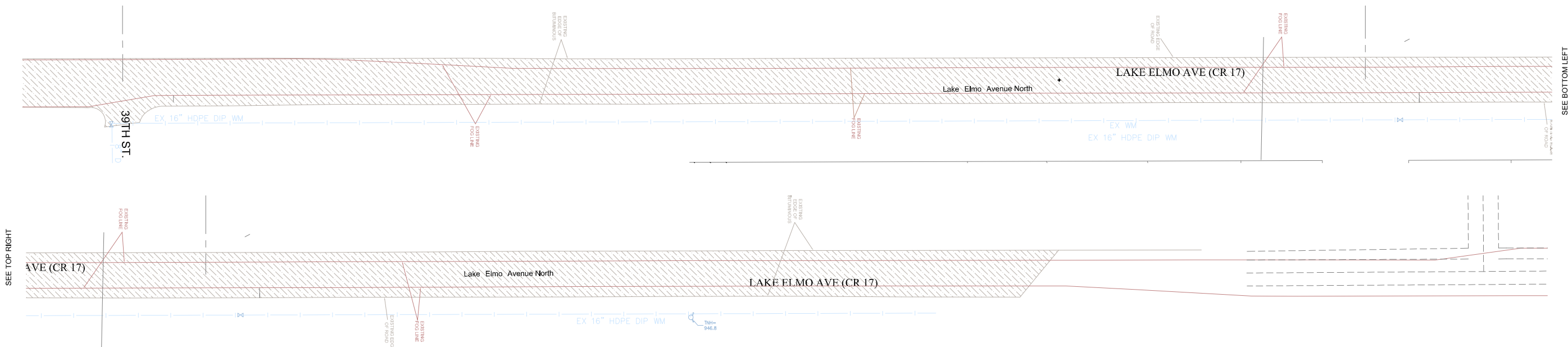
**TREE MITIGATION AND LANDSCAPE PLAN**

**PARCEL B - PHASE 1**  
**SCHILTGEN FARMS**  
**GW LAND DEVELOPMENT**

FILE NO.  
3120-047

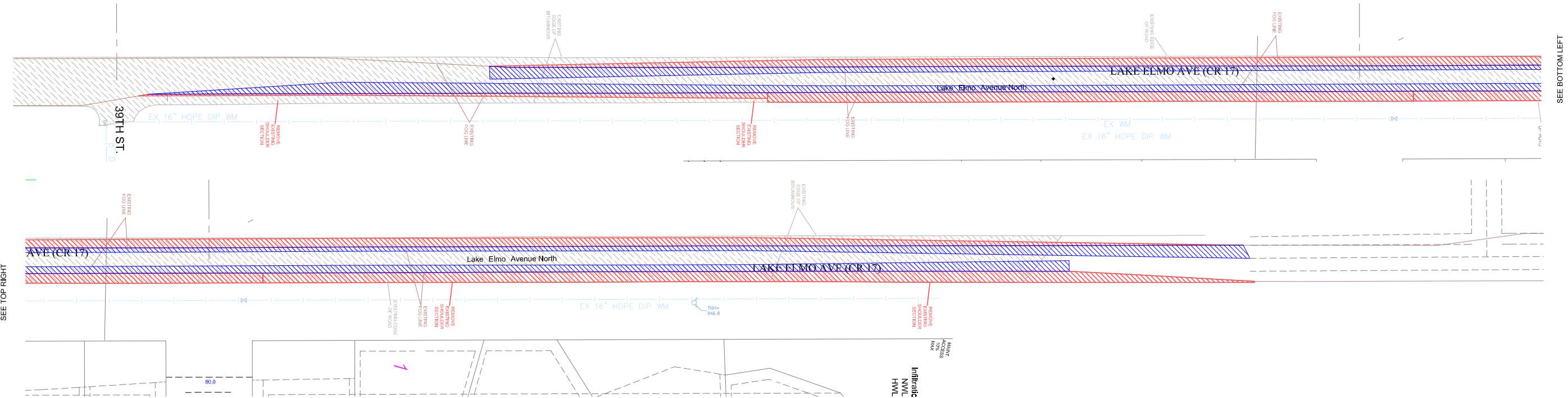
**LP3**  
**LP3**

EXISTING CONDITIONS



REMOVAL/ SAWCUT AND MILL PLAN

REMOVAL SHOWN IN RED  
MILL SHOWN IN BLUE



NOTES

1. REMOVE EXISTING SHOULDER SECTION AS SHOWN. (2,685 S.Y.)
2. SAWCUT & MILL 2" AS SHOWN. (2,625 S.Y.)

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BASE_PARCELS A-B	01	ERJ	03/05/15	WATERSHED COMMENT REVISIONS
DRAWN BY	02	ERJ	03/20/15	CITY COMMENT REVISIONS
ERJ	03	SRT	04/13/15	WATERSHED COMMENT REVISIONS
CHECKED BY	04	ERJ	04/20/15	CITY COMMENT REVISIONS
RSM				
DATE				
02/20/15				

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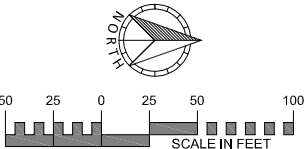


**SATHRE-BERGQUIST, INC.**  
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

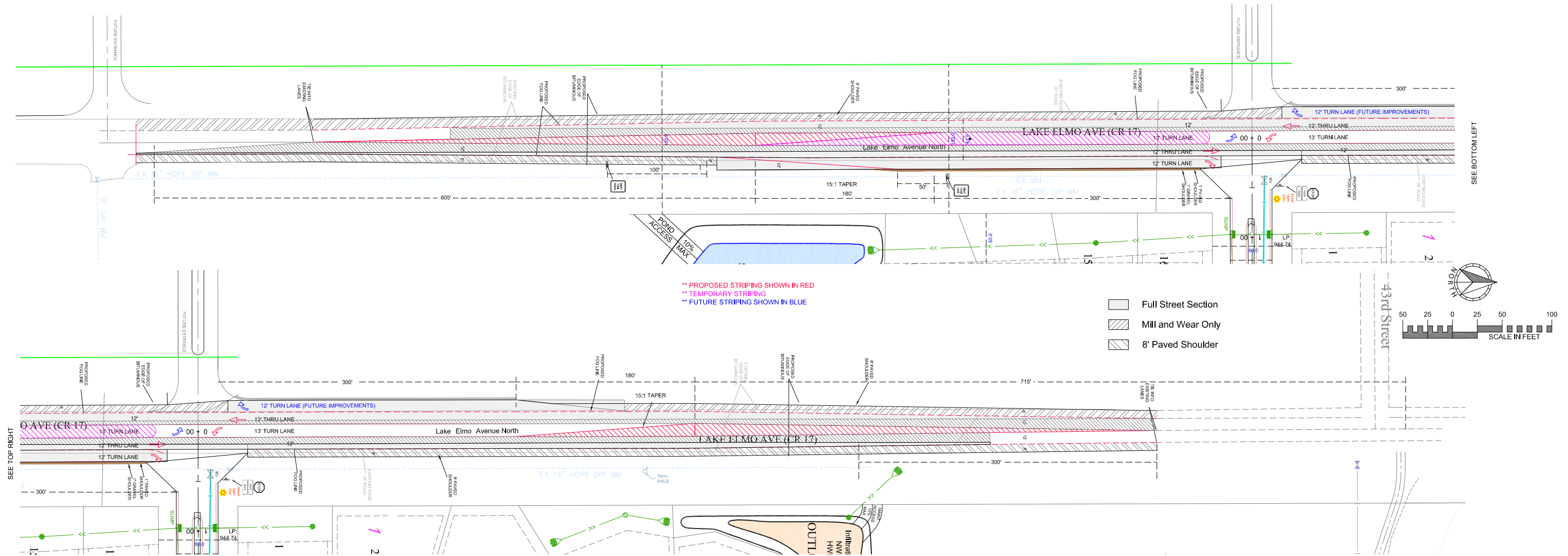
CITY PROJECT NO.
LAKE ELMO, MINNESOTA

**LAKE ELMO AVE IMPROVEMENTS**  
**VILLAGE PRESERVE - PHASE 1**  
**GWSA LAND DEVELOPMENT, LLC.**

FILE NO.  
3120-047  
**2**  
**31**



## PROPOSED LANE IMPROVEMENTS



### PAVEMENT SECTION NOTES

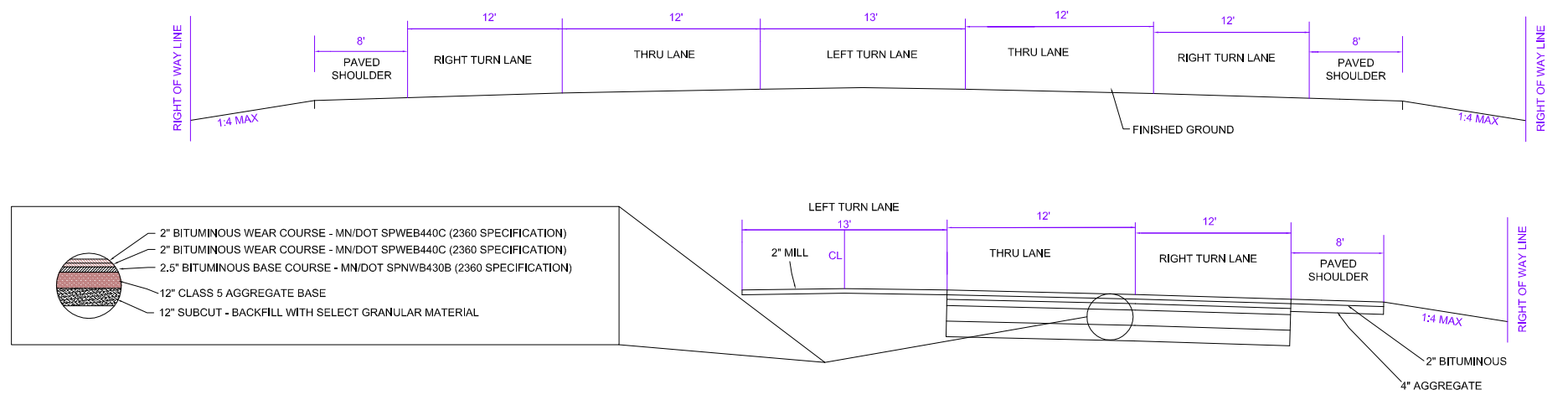
1. THE PAVEMENT SECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH MNDOT "STANDARD SPECIFICATION FOR CONSTRUCTION" AND ALSO THE REQUIREMENTS OF THE OWNERS SOIL ENGINEER.
2. ALL THICKNESSES, AS SPECIFIED, ARE TO BE CONSIDERED MINIMUM DEPTHS, AFTER COMPACTION.
3. MNDOT SPEC. 2357 BITUMINOUS TACK COAT SHALL BE PLACED BETWEEN SUCCESSIVE BITUMINOUS LIFTS AND AGAINST ABUTTING CONCRETE CURB EDGES.
4. RECYCLED BITUMINOUS WEAR COURSE MIX WILL NOT BE ALLOWED.
5. FULL WIDTH PAVING ONLY (MUST BE INSTALLED WITH PAVING MACHINE)

**NOTE TO CONTRACTOR**

1. NOTIFY RESIDENTS ALONG THE LENGTH OF LAKE ELMO AVE (CR 17) TURN LANE IMPROVEMENTS 72 HOURS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL PROVIDE ACCESS AT ALL TIMES.
2. CONTRACTOR MUST NOTIFY WASHINGTON COUNTY AT LEAST 72 HOURS PRIOR TO COMMENCING LAKE ELMO AVE, (CR 17) IMPROVEMENTS.

### STREET NOTES

1. REMOVE EXISTING SIGNAGE & STRIPING AS NECESSARY FOR NEW CONSTRUCTION.
2. TURN LANE STRIPPING AND SIGNAGE SHALL BE INSTALLED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), THE CONTRACTOR SHALL SUBMIT A TEMPORARY TRAFFIC CONTROL PLAN TO BE APPROVED BY THE ENGINEER PRIOR TO COMMENCEMENT OF ROAD IMPROVEMENTS.
3. TYPICAL 8' TURN LANE ARROWS TO BE USED.
4. PLACE SHOULDER BASE AGGREGATE AS DIRECTED BY THE ENGINEER, (1' GRAVEL SHOULDERS SHALL BE 6" THICK)
5. 8' PAVED SHOULDER SECTION SHALL BE 2" BITUMINOUS AND 4" AGGREGATE BASE



EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

DRAWING NAME	NO.	BY	DATE	REVISIONS
BASE - PARCELS A-B	01	ERJ	03/05/15	WATERSHED COMMENT REVISIONS
DRAWN BY	02	ERJ	03/20/15	CITY COMMENT REVISIONS
ERJ	03	SRT	04/13/15	WATERSHED COMMENT REVISIONS
CHECKED BY	04	ERJ	04/20/15	CITY COMMENT REVISIONS
RSM				
DATE				
02/20/15				

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I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Robert S Molstad

---

ROBERT S. MOLSTAD, P.E.  
Date: 02/20/15 Lic. No. 26428



**SATHRE-BERGQUIST, INC.**  
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO.  
—

LAKE ELMO,  
MINNESOTA

LAKE ELMO AVE IMPROVEMENTS  
VILLAGE PRESERVE - PHASE 1  
GWSA LAND DEVELOPMENT, LLC.

FILE NO.

3120-047

3

31

# MEMORANDUM

## FOCUS ENGINEERING, inc.

Cara Geheren, P.E.	651.300.4261
Jack Griffin, P.E.	651.300.4264
Ryan Stempski, P.E.	651.300.4267
Chad Isakson, P.E.	651.300.4285

Date: April 13, 2015

To: Nick Johnson, City Planner  
Cc: Chad Isakson, FOCUS Engineering

Re: Village Preserve – Parcel B  
Final Plat/Construction Plan Review

From: Jack Griffin, P.E., City Engineer

An engineering review has been completed for the Village Preserve development by GW Land Development. Final Plat/Final Construction Plans were received on March 24, 2015. The submittal consisted of the following documentation prepared by Sathre-Bergquist, Inc., or as noted:

- Village Preserve Phase 1 Final Plat, not dated.
- Development Narrative Phase 1, dated February 15, 2015.
- Stormwater Management Plan, revised February 18, 2015.
- Specifications dated February 5, 2015.
- Final Construction Plans dated March 20, 2015.
- Phasing Plan dated February 20, 2015.
- Tree Mitigation and Landscape Plans prepared by Norby & Associates, dated March 20, 2015.

**STATUS/FINDINGS:** An engineering review has been separated for Final Plat approval and Final Construction Plan approval. Please see the following review comments relating to the Final Plat application.

### REVISED PRELIMINARY PLAT:

- A revised Preliminary Plan set must be submitted to fulfill the conditions of Preliminary Plat approval. The revised preliminary plans are needed for staff to complete its plan review and to provide plan corrections demonstrating the project can be implemented consistent with City standards and approval conditions.
- Provide point by point response letter describing the changes made to satisfy each condition of approval, including a point by point response letter for the City Engineer review letter dated June 23, 2014.
- Outlot ownership must be shown on the revised preliminary plans.

### FINAL PLAT:

- Outlots A, B, D, F, G, and I must be dedicated to the City for ongoing operation and maintenance of proposed storm water facilities.
- Outlot E will be City owned as Parkland dedication.
- A maintenance access road must be provided to Infiltration Basin 1 with a grade not exceeding 10%. The maintenance access road must be contained within Outlot A and shown on the plans. Outlot A may need to be expanded accordingly.

- Outlot B may need to be expanded to fully incorporate the HWL elevation of 928.5. The HWL contour must be shown using standard contour extrapolation methods as will be constructed in the field. The current HWL contour of 928.5 is shown crossing the 928.0 contour.
- The Phase 1 Plat does not show future (Phase 2) lot easements. The revised Preliminary Plans are therefore needed to facilitate staff review and finalize storm sewer alignments and/or easements.
- All easements for City utilities must be a minimum of 30 feet with the pipe centered on the easement.
  - Phase 1 Plat revisions are required as follows:
    - Additional easement is required or storm sewer pipe realignment is needed at Structure D9 at the southeast corner of Lot 1F.
    - Additional easement is required or storm sewer pipe realignment is needed at the northeast corner of Lot 8E for the storm sewer run from Layton Avenue.
    - Additional easement is required or storm sewer pipe realignment is needed at Structure D4 and Lot 4, Block 4.
  - The following Phase 2 Plat revisions may be required:
    - Additional easement is required or storm sewer pipe realignment is needed along the storm sewer run from E2 to E1, along Lot 1C.
    - Verify minimum 15 foot easements along south side of Lots 9C through 13C.
    - Verify minimum 15 foot easements from proposed storm sewer pipe along rear yard of Lots 8C and 1D.
    - Verify minimum 15 foot easements along rear yard of Lots 2D through 6D.
    - Verify minimum 15 foot easements along rear yard of Lots 4A through 9A.

#### PHASE 1 SCOPE OF IMPROVEMENTS:

- The Phase 1 construction plans do not cover the full scope of improvements necessary to support the Phase 1 Plat. Additional improvements must be incorporated into the construction plans and Phase 1 Plat submittal or the Phase 1 Plat approval must be contingent upon agreements being in place acceptable to the City to assure that the necessary supporting public infrastructure for the Phase 1 Plat will be constructed. The conditional approval should include provisions to not allow building permits, including model homes, until construction of all supporting infrastructure is completed.
- Supporting infrastructure includes:
  - Layton Avenue Sanitary Sewer from 39<sup>th</sup> Street North to 40<sup>th</sup> Street north.
  - Village East Trunk Sanitary Sewer from the Reid Park Lift Station to the UPRR.
  - Storm sewer run from 40<sup>th</sup> Street North to Pond 3N.
  - Pond 3N storm sewer outfall pipe.
  - The receiving storm sewer pipe and storm water pond from Pond 3N outfall pipe located on the Wildflower at Lake Elmo northerly property.

#### FINAL CONSTRUCTION PLANS

- No construction, including grading operations may occur on the site until the applicant has received City Engineer approval for the final construction plans and has obtained all applicable permits for the Subdivision.
- The Final Plat shall not be recorded until final construction plan approval is granted.
- Final construction plan review comments will be provided separately to assist the applicant with the completion of Final Construction Plans.

## MEMORANDUM

# FOCUS ENGINEERING, inc.

Cara Geheren, P.E. 651.300.4261  
Jack Griffin, P.E. 651.300.4264  
Ryan Stempski, P.E. 651.300.4267  
Chad Isakson, P.E. 651.300.4285

Date: April 13, 2015

To: Nick Johnson, City Planner  
Cc: Chad Isakson, FOCUS Engineering

Re: Village Preserve – Parcel B  
Construction Plan Review

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- Tree Mitigation and Landscape Plans prepared by Norby & Associates, dated March 20, 2015.

**STATUS/FINDINGS:** This review supplements the Final Plat/Construction Plan Review completed by Focus Engineering, Inc. dated April 13, 2015. In addition to the Final Plat review comments, the following comments are being provided to assist you in finalizing the construction plans for the project.

### GRADING, STORM WATER MANGEMENT AND EROSION CONTROL

- City standard plan notes for grading and erosion control and City standard plan notes for site restoration must be placed on the grading and erosion control plans in unedited form. Any project specific plan notes not covered by the City standard plan notes shall be listed separately and are subject to City review.
- Revise erosion control plans to meet City standard requirements for erosion control materials, installation details, seed mixes and phasing notes.
- Lots 5 and 6, Block 2 show Basement Floor elevations at 936.8 and 936.3 respectively. The overland emergency overflow for the adjacent area is listed at 936.2. Revisions are needed to provide a minimum of 1 foot of freeboard from the EOF.
- The maintenance access road to Stormwater Pond 2N must be shown on the preliminary plans and construction plans and must be extended to the public R/W with a grade that does not exceed 10%.
- The maintenance access road to Stormwater Pond 3N must be shown on the preliminary plans and construction plans and must be extended to the public R/W of Layton Avenue with a grade that does not exceed 10%.
- Add maintenance access road to Infiltration Basin 1. Access road to be 20 foot minimum width at 10% maximum grade and to be located within Outlot A or County R/W.
- The Block 2 rear yard grades must be revised to provide a minimum 2% longitudinal grade.

## STREET PLANS

- The one-way pavement widths for the 41st Street North center island parkway is a minimum 18 feet from face of curb to face of curb.
- A maximum allowable street grade of 2% must be maintained for the first 50 feet from all intersections. Six intersections should be adjusted accordingly.
- The plans must be revised to lengthen all vertical sag curves to the City standard minimum K-value of 37. Five sag curves must be adjusted accordingly.
- Improvements along CSAH 17 (Lake Elmo Avenue) should be revised on Plan Sheets 2 and 3 to clearly indicate the improvements as required by Washington County's review memorandum. Improvements should be updated for both the preliminary plans and Phase 1 construction plans.

## WATERMAIN AND SANITARY SEWER PLANS

- City standard plan notes for watermain and sanitary sewer must be placed on the sanitary sewer and watermain plan sheets in unedited form. Any project specific plan notes not covered by the City standard plan notes shall be listed separately and are subject to City review.
- Sheet 10, 40<sup>th</sup> Street profile. Add existing watermain and sewer infrastructure information that the proposed system will connect to.
- Sheet 11. Add/relocate manholes to improve centerline sewer alignment between manholes 7-9.
- Relocate manholes 2, 3, 21, 22, 23, 24, and 25 to improve centerline sewer alignment.
- Add plan and profile notes indicating watermain pipe size and material.
- Relabel the second Plan Sheet 12 to Plan Sheet 13.
- Extend the existing and proposed profiles to the full extent of the sewer/water profiles.

## STORM SEWER SYSTEM

- City standard plan notes for storm sewer must be placed on the storm sewer plan sheets in unedited form. Any project specific plan notes not covered by the City standard plan notes shall be listed separately and are subject to City review.
- Storm sewer design calculations must be submitted for City review. Storm sewer revisions will be required, if necessary, to meet City standard maximum pipe velocities and discharge velocities throughout the system.
- The storm sewer system must meet the City standard minimum pipe cover of 3.5 feet. The plans appear to comply with this requirement with the following exceptions.
  - A 200 foot storm sewer run centered over CBMH C2. This exception is approved by the City at the request of the developer.
  - At OS-B9 outlet structure, additional pipe cover is needed. The pipe alignment should be shifted away from the maintenance access road to allow additional cover and remove pipe from a compacted/exposed surface.
  - Add cover over storm sewer run from G2 to G4.
- Correct the storm sewer profile over G2 to G4 and change pipe size to City standard minimum 15-inch.
- Correct the storm sewer profiles for Storm D4, G1, and I1.
- Shorten the pipe run from H2 to H1 to maintain minimum pipe cover.
- The pipe run from P1 to P2 is shown at 5%. The pipe size and slope must be revised to maintain discharge velocity below 5 fps.
- Sump manholes must be shown and labeled on plan view and indicated in the profile. Structures A8, B7, B10, C3, E2 and F2 must be sump manholes.

## PROJECT MANUAL – SPECIFICATIONS

- Specifications must be revised and submitted as follows:
- The City Standard Specifications for Public Infrastructure dated February 2015 must be located in the project manual prior to any other technical specifications utilized or inserted. The specifications must clearly

indicate that the City Standard Specifications govern for the project unless specific written approval by the City has been provided.

- Following the provisions of the City Standard Specifications for Public Infrastructure, supplemental specifications may be used and inserted if they are clearly placed within the manual under a section titled "Supplemental Specifications". Please include the following statement as the first clause of the supplemental provisions, *"The City Standard Specifications for Public Infrastructure, dated February 2015, shall apply to the work performed under this contract. Any supplemental specifications are intended to supplement the City Standard Specifications, however they do NOT supersede the City Standard Specifications, Details, Design Standards, or ordinances unless specific written approval has been provided by the City"*.

**Station #1**

3510 Laverne Ave. No.  
Lake Elmo, MN 55042  
651-770-5006

**LAKE ELMO FIRE DEPARTMENT****Station #2**

4259 Jamaca Ave. No.  
Lake Elmo, MN. 55042  
651-779-8882

April 20, 2015

After review of the VILLAGE PRESERVE PHASE I - FINAL PLAT, it appears that the items identified in my review letter dated August 27, 2014 (shown below) have been addressed.

- ROADWAYS
  - Street naming and numbering per city ordinance.
- FIRE HYDRANTS
  - Spacing/Location, it appears there are some that may be closer than the 500' spacing required and could be eliminated. Locate on corners of intersections to gain the most benefit from hydrants.

I would like to commend staff and all parties involved for addressing these concerns and meeting the requirements as set forward by the City. In particular the matter of street naming/numbering, as this can become rather difficult at times due to the unique designs of the roadways. I believe all parties concerned met the intent of the standards as adopted by the City and for that I am grateful as this will help us moving forward in our efforts to ensure the timeliest response possible. Thank you.

Reviewed by

Greg Malmquist, Fire Chief

*"Proudly Serving Neighbors & Friends"*



## **VILLAGE PRESERVE – DESIGN REVIEW REPORT** **LAKE ELMO, MN**

**LANDSCAPE ARCHITECTURAL DESIGN REVIEW DATED APRIL 22<sup>nd</sup>, 2015**

REVIEWED PLAN SET DATED FEBRUARY 24<sup>TH</sup>, 2015

### ***Required Action Items by Village Preserve Project Team***

1. Please provide more detail as to the groundcover plantings within the entry median off Lake Elmo Avenue North. Preference would be to see a pollinator friendly plant or plant mix.
2. Village Preserve Project Landscape Architect to provide landscape irrigation plans for all commonly held HOA & City R.O.W. areas.
3. Planting plan for Outlot B (City Park) as represented is appropriate for an undeveloped City Park. If developer is successful in working with the City to develop Outlot B as part of the development project at this time by creating an active use park we would request to revisit the design and how it impacts the city required landscape.
4. The landscape architect has done a great job providing a maintenance plan for all native seeding areas within all commonly held HOA & City Outlot / R.O.W areas. In addition to this information for the same area the City requests a copy of the executed agreement with an approved ecosystem management provider for these services including stated financial commitments.

**SINCERELY,**

**LANDSCAPE ARCHITECTURE, INC.**

STEPHEN MASTEY, ASLA, CLARB, LEED AP BD+C  
**DIRECTOR OF DESIGN**

## Nick Johnson

---

**From:** Carol Hanson <Carol.Hanson@co.washington.mn.us>  
**Sent:** Tuesday, April 21, 2015 11:17 AM  
**To:** 'ejohnson@sathre.com'  
**Cc:** Nick Johnson; Joe Gustafson; Nik Costello; Wayne Sandberg  
**Subject:** Village Preserve plan revisions for CSAH 17  
**Attachments:** DOC042115-04212015084602.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hello Eric,

We have reviewed the construction plan sheets for CSAH 17 lane modifications and request changes as shown on the attached plan sheets.

Please feel free to give me a call if you have any questions.

Thank You,

Carol

Carol Hanson

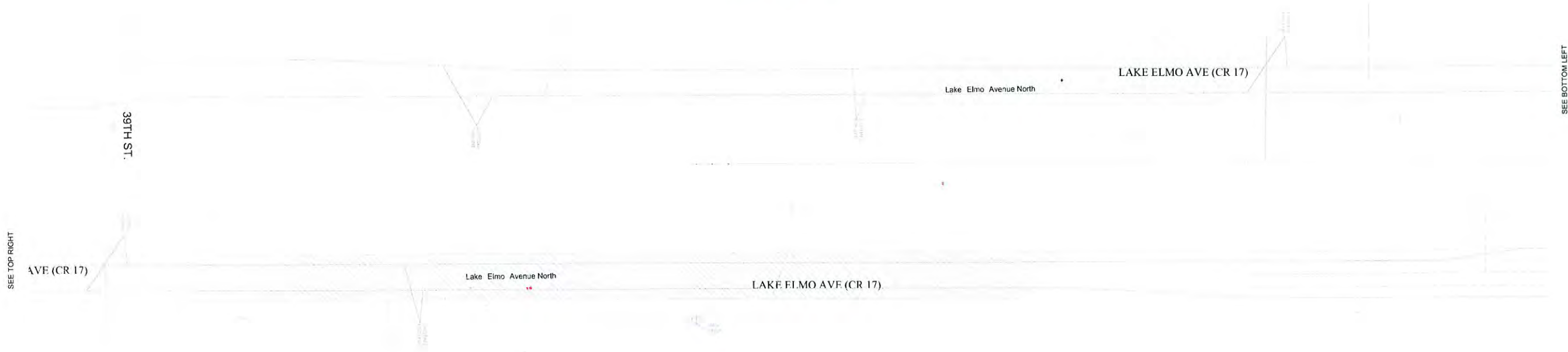
Washington County Public Works

11660 Myeron Road N

Stillwater MN 55082

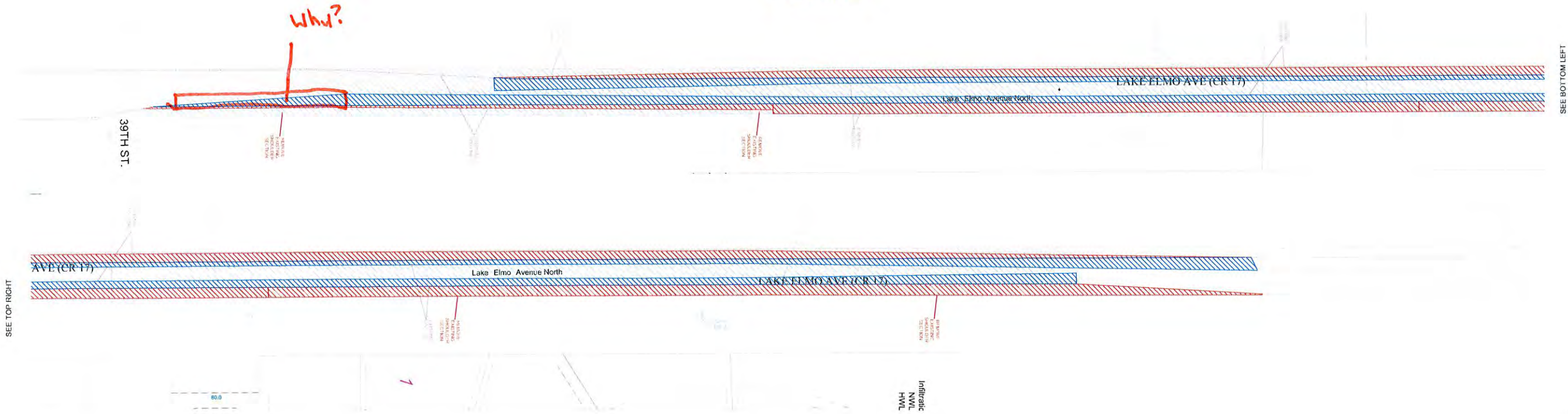
(651) 430-4313

EXISTING CONDITIONS



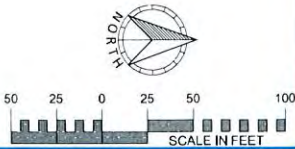
REMOVAL/ SAWCUT AND MILL PLAN

REMOVAL SHOWN IN RED  
MILL SHOWN IN BLUE



NOTES

1. REMOVE EXISTING SHOULDER SECTION AS SHOWN. (2,685 S.Y.)
2. SAWCUT & MILL 2" AS SHOWN. (2,625 S.Y.)



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DRAWN BY	02	ERJ	03/20/15	CITY COMMENT REVISIONS
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*Robert S. Molstad*  
ROBERT S. MOLSTAD, P.E.  
Date: 02/20/15 Lic. No. 26428



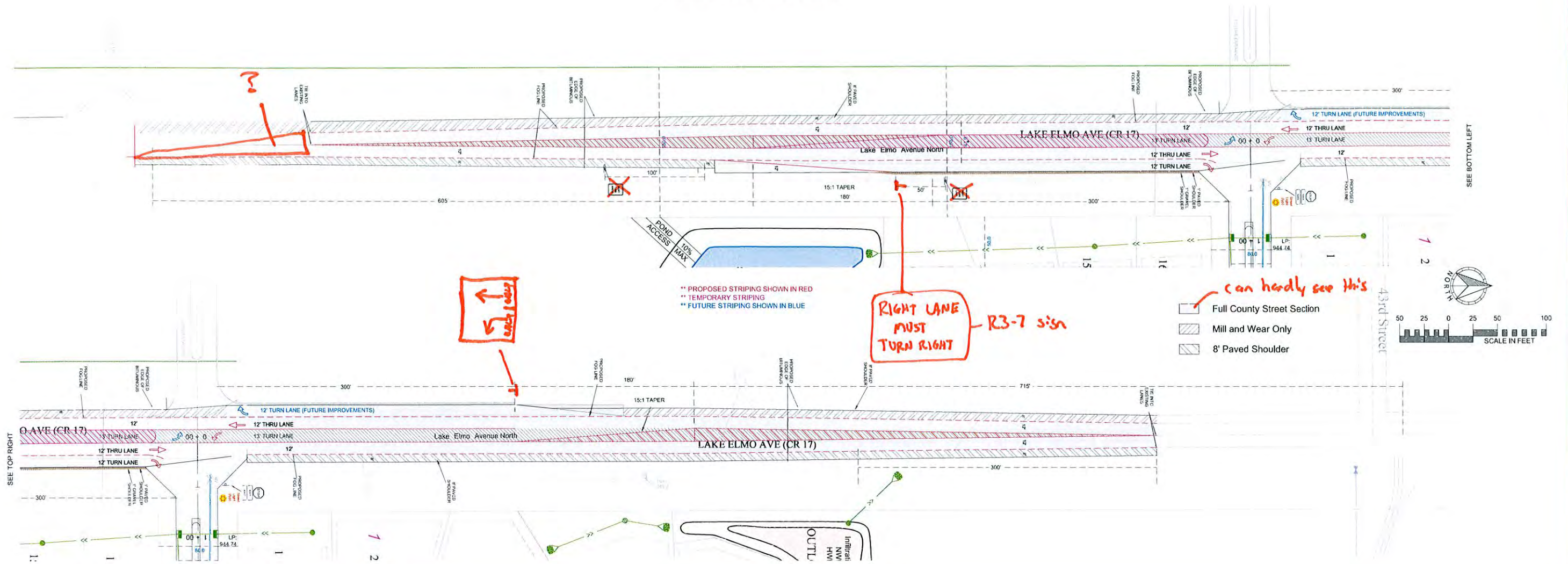
**SATHRE-BERGQUIST, INC.**  
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO.  
LAKE ELMO, MINNESOTA

LAKE ELMO AVE IMPROVEMENTS  
VILLAGE PRESERVE - PHASE 1  
GWSA LAND DEVELOPMENT, LLC.

FILE NO.  
3120-047  
2  
31

### PROPOSED LANE IMPROVEMENTS



## PAVEMENT SECTION NOTES

1. THE PAVEMENT SECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH MNDOT "STANDARD SPECIFICATION FOR CONSTRUCTION" AND ALSO THE REQUIREMENTS OF THE OWNERS SOIL ENGINEER.
2. ALL THICKNESSES, AS SPECIFIED, ARE TO BE CONSIDERED MINIMUM DEPTHS, AFTER COMPACTION.
3. MNDOT SPEC. 2357 BITUMINOUS TACK COAT SHALL BE PLACED BETWEEN SUCCESSIVE BITUMINOUS LIFTS AND AGAINST ADJUTTING CONCRETE CURB EDGES.
4. RECYCLED BITUMINOUS WEAR COURSE MIX WILL NOT BE ALLOWED.
5. FULL WIDTH PAVING ONLY (MUST BE INSTALLED WITH PAVING MACHINE)

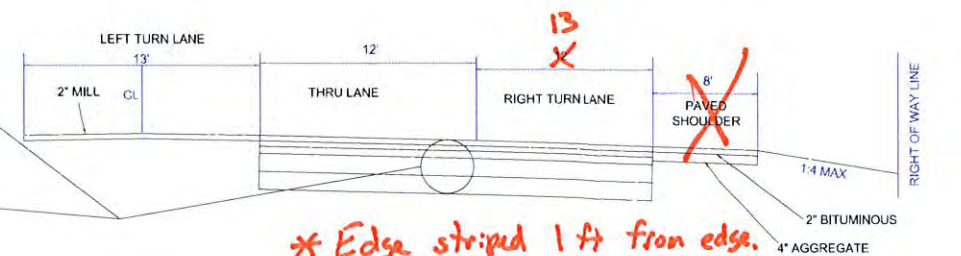
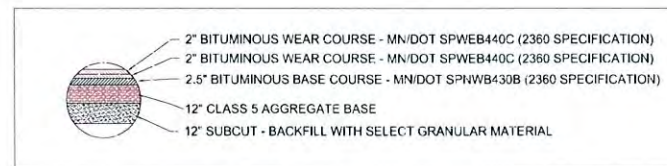
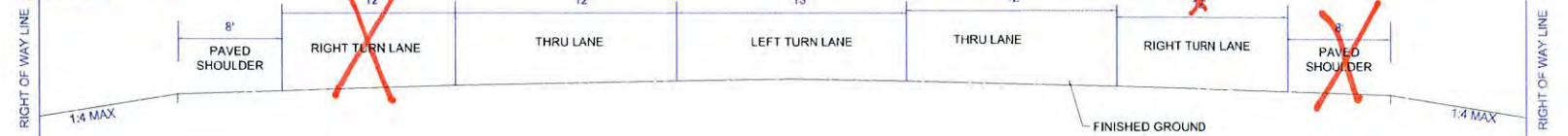
**NOTE TO CONTRACTOR**

1. NOTIFY RESIDENTS ALONG THE LENGTH OF LAKE ELMO AVE (CR 17) TURN LANE IMPROVEMENTS 72 HOURS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL PROVIDE ACCESS AT ALL TIMES.
2. CONTRACTOR MUST NOTIFY WASHINGTON COUNTY AT LEAST 72 HOURS PRIOR TO COMMENCING LAKE ELMO AVE. (CR 17) IMPROVEMENTS.

## STREET NOTES

1. REMOVE EXISTING SIGNAGE & STRIPING AS NECESSARY FOR NEW CONSTRUCTION.
2. TURN LANE STRIPINGS AND SIGNAGE SHALL BE INSTALLED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). THE CONTRACTOR SHALL SUBMIT A TEMPORARY TRAFFIC CONTROL PLAN TO BE APPROVED BY THE ENGINEER PRIOR TO COMMENCEMENT OF ROAD IMPROVEMENTS.
3. TYPICAL 8' TURN LANE ARROWS TO BE USED.
4. PLACE SHOULDER BASE AGGREGATE AS DIRECTED BY THE ENGINEER. (1" GRAVEL SHOULDERS SHALL BE 6" THICK)
5. 8' PAVED SHOULDER SECTION SHALL BE 2" BITUMINOUS AND 4" AGGREGATE BASE

Nowhere here do we have  
right turn lanes on both  
sides in the same  
cross-section.



\* Edge striped 1 ft from edge.  
13 ft pavement, 12 ft striped.

EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

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*Robert S. Molstad*

ROBERT S. MOLSTAD, P.E.  
Date: 01/20/15 Lic. No. 26428



**SATHRE-BERGQUIST, INC.**  
150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO.

LAKE ELMO,  
MINNESOTA

LAKE ELMO AVE IMPROVEMENTS  
VILLAGE PRESERVE - PHASE 1  
GWSA LAND DEVELOPMENT, LLC.

E NO.  
20-047



1



March 18, 2015

Craig Allen  
GWSA Land Development, LLC  
Suite 200  
10850 Old County Rd. 15  
Plymouth, MN 55441

**Re: Village Preserve—Lake Elmo, Minnesota  
VBWD Permit #2015-06**

Dear Mr. Allen:

Enclosed is the Valley Branch Watershed District (VBWD) permit for your project. Please note the following conditions imposed by the Managers, which are also listed on the back of the permit.

1. No construction shall start until all permit conditions are met. If the Valley Branch Watershed District Board is not satisfied that the conditions are met, the permit will be revoked.
2. The infiltration material shall be in conformance with Mn/DOT Specification 3877.1G, or an equivalent specification approved by the VBWD.
3. This permit is not valid until a maintenance agreement in the general format of Appendix B of the VBWD Rules is submitted to and approved by the VBWD Attorney.
4. The permit holder must obtain permission for any work outside of his property.
5. Prior to construction, the required surety and fee shall be submitted.
6. The plan sheets shall be revised to show the correct inverts at the pond outlet structures.
7. Drain tile shall be installed around the perimeters of the foundations at Block 1, Lots 1 and 2 and the lot north of Block 3, Lot 1.
8. Plans shall be revised to show minimum floor elevations at least 2 feet higher than the adjacent water body's 100-year flood level.
9. This permit is not transferable.



DAVID BUCHECK • LINCOLN FETCHER • DALE BORASH • JILL LUCAS • EDWARD MARCHAN

VALLEY BRANCH WATERSHED DISTRICT • P.O. BOX 838 • LAKE ELMO, MINNESOTA 55042-0538

[www.vbwd.org](http://www.vbwd.org)

10. This permit is subject to obtaining all other permits required by governmental agencies having jurisdiction (including a NPDES permit).
11. The VBWD Engineer and Inspector shall be notified at least three days prior to commencement of work.
12. Erosion controls shall be installed prior to the commencement of grading operations and must be maintained throughout the construction period until turf is established. Additional erosion controls may be required, as directed by the VBWD Inspector or VBWD Engineer.
13. The following additional erosion controls shall be implemented on the site:
  - a. All proposed slopes three-feet horizontal to one-foot vertical (3H:1V) should be covered with erosion-control blanket.
  - b. Silt fence should follow existing contours as closely as feasible to limit the potential for gully erosion along the edges.
  - c. Any sediment that collects in storm sewers, ponds, or other water management features shall be removed.
  - d. Street sweeping shall be performed if sediment collects on streets.
  - e. If erosion occurs at the outlets of the storm sewer pipes the applicant will be responsible for correcting the problem to the satisfaction of the VBWD.
14. To prevent soil compaction, the proposed infiltration area shall be staked off and marked during construction to prevent heavy equipment and traffic from traveling over it. If the infiltration facility is in place during construction activities, sediment and runoff shall be kept away from the facility, using practices such as diversion berms and vegetation around the facility's perimeter. The infiltration facility shall not be excavated to final grade until the contributing drainage area has been constructed and fully stabilized. The final phase of excavation shall remove all accumulated sediment and be done by light, tracked equipment to avoid compaction of the basin floor. To provide a well-aerated, highly porous surface, the soils of the basin floor shall be loosened to a depth of at least 24 inches to a maximum compaction of 85% standard proctor density prior to planting.
15. All disturbed areas shall be vegetated within 14 days of final grading.
16. The applicant is responsible for removal of all temporary erosion-control measures, including silt fence, upon establishment of permanent vegetation at the project site as determined by the VBWD Engineer and/or Inspector.
17. Valley Branch Watershed District shall be granted drainage easements which cover: (a) land adjacent to stormwater management facilities, wetlands, and lowlands up to their 100-year flood elevations and (b) all ditches, storm sewers, and maintenance accesses to the stormwater management facilities.

18. The minimum floor elevations for all buildable lots in the development shall be recorded in a Declaration of Covenants and Restrictions or on the final plat.
19. The required drainage easements and access easements shall be recorded with the Washington County Recorder's Office.
20. Return or allowed expiration of any remaining surety and permit closeout is dependent on the permit holder providing proof that all required documents have been recorded (including but not limited to easements) and providing as-built drawings that show that the project was constructed as approved by the Managers and in conformance with the VBWD rules and regulations.

Thank you for your cooperation with the District's permit program.

Sincerely,

David J. Bucheck, President  
Valley Branch Watershed District

DJB/ymh  
Enclosure

c: Ray Marshall, VBWD Attorney  
Ray Roemmich, VBWD Inspector  
Jenifer Sorensen, MDNR  
Kyle Klatt, City Planning Director—City of Lake Elmo  
Jack Griffin, City Engineer, FOCUS Engineering—City of Lake Elmo  
Building Inspector—City of Lake Elmo  
Nate Herman, Sathre-Bergquist, Inc.—Authorized Agent  
Schiltgen Farm, Inc.—Owner  
Karen Wold, Barr Engineering Company  
Yvonne Huffman, Barr Engineering Company

1. No construction shall start until all permit conditions are met. If the Valley Branch Watershed District Board is not satisfied that the conditions are met, the permit will be revoked.
2. The infiltration material shall be in conformance with Mn/DOT Specification 3877.1G, or an equivalent specification approved by the VBWD.
3. This permit is not valid until a maintenance agreement in the general format of Appendix B of the VBWD Rules is submitted to and approved by the VBWD Attorney.
4. The permit holder must obtain permission for any work outside of his property.
5. Prior to construction, the required surety and fee shall be submitted.
6. The plan sheets shall be revised to show the correct inverts at the pond outlet structures.
7. Drain tile shall be installed around the perimeters of the foundations at Block 1, Lots 1 and 2 and the lot north of Block 3, Lot 1.
8. Plans shall be revised to show minimum floor elevations at least 2 feet higher than the adjacent water body's 100-year flood level.
9. This permit is not transferable.
10. This permit is subject to obtaining all other permits required by governmental agencies having jurisdiction (including a NPDES permit).
11. The VBWD Engineer and Inspector shall be notified at least three days prior to commencement of work.
12. Erosion controls shall be installed prior to the commencement of grading operations and must be maintained throughout the construction period until turf is established. Additional erosion controls may be required, as directed by the VBWD Inspector or VBWD Engineer.
13. The following additional erosion controls shall be implemented on the site:
  - a. All proposed slopes three-feet horizontal to one-foot vertical (3H:1V) should be covered with erosion-control blanket.
  - b. Silt fence should follow existing contours as closely as feasible to limit the potential for gully erosion along the edges.
  - c. Any sediment that collects in storm sewers, ponds, or other water management features shall be removed.
  - d. Street sweeping shall be performed if sediment collects on streets.
  - e. If erosion occurs at the outlets of the storm sewer pipes the applicant will be responsible for correcting the problem to the satisfaction of the VBWD.
14. To prevent soil compaction, the proposed infiltration area shall be staked off and marked during construction to prevent heavy equipment and traffic from traveling over it. If the infiltration facility is in place during construction activities, sediment and runoff shall be kept away from the facility, using practices such as diversion berms and vegetation around the facility's perimeter. The infiltration facility shall not be excavated to final grade until the contributing drainage area has been constructed and fully stabilized. The final phase of excavation shall remove all accumulated sediment and be done by light, tracked equipment to avoid compaction of the basin floor. To provide a well-aerated, highly porous surface, the soils of the basin floor shall be loosened to a depth of at least 24 inches to a maximum compaction of 85% standard proctor density prior to planting.
15. All disturbed areas shall be vegetated within 14 days of final grading.
16. The applicant is responsible for removal of all temporary erosion-control measures, including silt fence, upon establishment of permanent vegetation at the project site as determined by the VBWD Engineer and/or Inspector.
17. Valley Branch Watershed District shall be granted drainage easements which cover: (a) land adjacent to stormwater management facilities, wetlands, and lowlands up to their 100-year flood elevations and (b) all ditches, storm sewers, and maintenance accesses to the stormwater management facilities.
18. The minimum floor elevations for all buildable lots in the development shall be recorded in a Declaration of Covenants and Restrictions or on the final plat.
19. The required drainage easements and access easements shall be recorded with the Washington County Recorder's Office.
20. Return or allowed expiration of any remaining surety and permit closeout is dependent on the permit holder providing proof that all required documents have been recorded (including but not limited to easements) and providing as-built drawings that show that the project was constructed as approved by the Managers and in conformance with the VBWD rules and regulations.

Approved: \_\_\_\_\_ **March 12, 2015**

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*Signature*

**Valley Branch Watershed District**

\_\_\_\_\_  
*Title*

**Note:** The grant of this permit in no way purports to permit acts, which may be prohibited by other governmental agencies.