



MAYOR AND COUNCIL COMMUNICATION

DATE: 10/4/2016

REGULAR

ITEM #: 21

AGENDA ITEM: Conditional Use Permit Request for Self-Service Storage Facility and Exterior Vehicle Storage at 9200 Hudson Blvd N

SUBMITTED BY: Emily Becker, City Planner

THROUGH: Kristina Handt, City Administrator

REVIEWED BY: Stephen Wensman, Planning Director

BACKGROUND:

The property located at 9200 Hudson Boulevard North is currently operated by Midwest Recreation Clearinghouse, LLC (Cranky Ape Powersport Auctions), which remarkets bank-repossessed, insurance-reparable recreational vehicles, and consignments, providing these items for purchase by the general public via an online bidding system, and stores these items at the subject property. This operation is allowed by Interim Use Permit for open sales lot activity, which was granted in 2010. At that time, the property was located in a holding district within the City, which, by the direction of Council, allowed only interim uses. The Interim Use Permit was subject to a number of conditions, including that it would be valid until any one of the following events occurred: after ten years from the date of approval; upon the sale or transfer of ownership; violation of the conditions of this Consent Agreement; or until the redevelopment of the Property for a permitted or conditional use as allowed by the City's zoning regulations.

The subject property has since been rezoned, and is located in a Commercial district. Midwest Recreation Clearinghouse, LLC has expressed plans to relocate and has been in negotiations to sell the property to Wasatch Storage Partners, which plans to redevelop the property for a self-service storage facility with outdoor vehicle storage. These uses are both conditional uses in the Commercial district, and so Wasatch Storage Partners has requested a Conditional Use Permit for the property.

ISSUE BEFORE COUNCIL:

The Council is respectfully requested to consider a request for a Conditional Use Permit for a self-service storage facility and outdoor vehicle storage for the property located at 9200 Hudson Boulevard North.

PROPOSAL DETAILS/ANALYSIS:

Proposal Details:

- The proposed project consists of the addition of four new storage buildings. Outdoor recreational vehicle storage, with a total of 170 parking spaces, is proposed on the northern end of the site, with the possibility of the addition of two future storage buildings.

- The perimeter of the property will be fenced in, and motorized gates with keypad-only access are proposed. There will also be security cameras and an office burglar alarm. In addition to fencing, the perimeter of the property will be landscaped for added screening.
- The south end of Building A will be utilized as an office, which will be open between the hours of 8:30 a.m. and 6:30 p.m. The office provides a location for existing and potential customers to interact with employees, lease units, make payments, and to purchase boxes, tape, locks, and packing material. The facility will staff two to three employees at a time; regional operational and facility managers will also frequent the site. The storage units are accessible through the secured gate at any time.
- A 4-space parking lot is proposed to the west of Existing Building A, accessible through a new driveway off of Hudson Blvd. The main drive aisles between the two existing buildings will remain as two-way traffic and the drive aisles between the proposed storage buildings will provide one-way traffic.
- If the Conditional Use Permit is approved by Council, the applicant intends to proceed with construction drawings and seek approval for building permits. Construction would start as soon as possible, and project completion is anticipated in the second quarter of 2017.

Planning and Zoning Issues:

- *Tree Removal.* The applicant has provided an adequate tree removal plan, which will be subject to replacement requirements.
- *Landscaping.* A landscape plan has been submitted that provides some screening of the property as it abuts residential districts but will need to be updated to include items listed in the recommended conditions of approval in order to be compliant with City standards.
- *Off-Street Parking.* The applicant will need to meet additional requirements for off-street parking as outlined in the recommended conditions of approval.
- *Off-Street Loading.* Staff's interpretation is that the site would not require an off-street loading area due to the nature of the use.
- *Setbacks.* The proposed site plan meets all required setbacks. The property is separated from all residential zones by a minimum of a 75-foot right-of-way.
- *Building Design.* The property is located in the I-94 Corridor and is therefore subject to standards set forth in the City's Design Guidelines & Standards Manual. The site will need to meet conditions set forth in regards to design outlined in the recommended conditions of approval. Specifically, the proposed building material is exterior insulation finishing system (EIFS), which is not a recommended building material in the manual. Additionally, the parapets of the roof are not of varying height as is recommended.
- *Pedestrian Access.* There is an existing on-street bike route on Hudson Boulevard, however, Staff does not find it necessary to require pedestrian access to the facility, as the use normally requires vehicles for hauling storage items.
- *Signage.* Signage will need to comply with the City's Sign Regulations and approved through permits. The sign proposed on the west side of Building A as shown in the Exterior Perspective does not comply, as only one sign per building per street frontage is allowed. Additionally, "No Parking" and "Fire Lane" signs are not indicated on the site plan; these will need to be approved by the City.
- *Lighting.* A photometric plan was provided that shows no direct or sky-reflected glare to be proposed on to adjoining properties or right-of-way. Twelve 25-foot high pole lights with three-

foot bases are proposed within and surrounding the recreational vehicle storage area, with an additional two along the entrance driveway. 165 more lights are proposed to line the storage buildings.

- *Specific Development Standards of Article 7.* All development standards set forth in Article 7 of the Zoning Code for self-service storage facility and sales and storage lots are met. Additionally, standards for exterior storage in the Commercial zoning district are met provided additional screening is provided along 5th Street; this is a recommended condition of approval.
- *Drainage and Stormwater Management and Utilities.* The applicant will need to make all required revisions per the City Engineer's memo dated September 8, 2016 in order to be in compliance with City standards. This is a recommended condition of approval.
- *Fire Safety Access.* The applicant has provided fire truck turning radius for a pumper fire truck. The Fire Chief has stated this is the type of truck that would be used at this site. The site plan shows four fire hydrants but will need to be revised according to comments provided by the City Building Official, Fire Chief, and City Engineer.
- *Environmental Issues.* The Minnesota Pollution Control Agency (MPCA) became aware of a petroleum tank release at the subject property. A report has been submitted to the MPCA regarding this release. Staff has contacted the MPCA regarding this issue and was told that while more information is needed, the site is not viewed as an environmental risk at this time. The City should require remediation has been performed satisfactorily to MPCA standards.

Required Findings:

- The attached Resolution details recommended findings.

Conditions:

- The recommended conditions of approval are outlined in the attached Resolution and address non-compliance with City requirements.

FISCAL IMPACT:

The estimated renovations to the property are \$3.5 to \$4 million. Building permit revenue generated from a project of such value is expected to be around \$30,000. The tax revenue of self-service storage facilities is typically based on the number of units and market data rent prices.

PLANNING COMMISSION/PUBLIC HEARING:

A public hearing was held on the proposed variance at the September 26, 2016 Planning Commission meeting. The meeting minutes are attached to this report. No one from the public spoke at the meeting. The Commission recommended approval with an affirmative vote of 5 to 2. Affirmative comments included the following:

- The proposal is an improvement to current conditions.
- The use is functional and is an "invisible use" serving the community.
- It is a use that has already been designated as conditional in the district.

Some concerns raised included the following:

- That this type of use creates only a few jobs and has less of an impact on taxes than other uses might.
- Concern about impact on adjacent uses and desire for more screening.

- EIFS building material is not desirable; tree removal; and the architecture should be improved (one commissioner suggested a “farm theme”).

OPTIONS:

The Council may:

- Approve the Conditional Use Permit request, with recommended conditions of approval.
- Amend the recommended conditions of approval and approve the Conditional Use Permit request.
- Deny the Conditional Use Permit request.

RECOMMENDATION:

Staff respectfully requests that the Council approve, as recommended by the Planning Commission and Staff, the request made by Wasatch Storage Partners for a Conditional Use Permit for a self-service storage facility and outdoor vehicle storage at the property located at 9200 Hudson Boulevard N, subject to conditions of approval with the following motion:

“Move to approve request made by Wasatch Storage Partners for a Conditional Use Permit for a self-service storage facility and outdoor vehicle storage at the property located at 9200 Hudson Boulevard N, subject to the outlined conditions of approval.”

ATTACHMENTS:

- Resolution 2016-87
- Conditional Use Permit application and materials
- Planning Commission meeting minutes (9/26/16)

**CITY OF LAKE ELMO
WASHINGTON COUNTY
STATE OF MINNESOTA**

RESOLUTION 2016-87

***A RESOLUTION APPROVING A CONDITIONAL USE PERMIT FOR A SELF-SERVICE
STORAGE FACILITY AND OUTDOOR VEHICLE STORAGE FOR THE PROPERTY
LOCATED AT 9200 HUDSON BOULEVARD NORTH***

WHEREAS, the City of Lake Elmo is a municipal corporation organized and existing under the laws of the State of Minnesota; and

WHEREAS, Wasatch Storage Partners, 131 S 700E Ste 102, American Fork, UT 48003 (the “Applicant”) has submitted an application to the City of Lake Elmo (the “City”) for a Conditional Use Permit for a self-service storage facility and outdoor vehicle storage for the property located at 9200 Hudson Boulevard North (the “Property”); and

WHEREAS, notice has been published, mailed and posted pursuant to the Lake Elmo Zoning Ordinance, Section 154.102; and

WHEREAS, the Lake Elmo Planning Commission held a public hearing on said matter on September 26, 2016; and

WHEREAS, the Lake Elmo Planning Commission has submitted its report and recommendation to the City Council as part of a Staff Memorandum dated October 4, 2016, 2016; and

WHEREAS, the City Council considered said matter at its October 4, 2016 meeting.

NOW, THEREFORE, based on the testimony elicited and information received, the City Council makes the following:

FINDINGS

- 1) That the procedures for obtaining said Conditional Use Permit are found in the Lake Elmo Zoning Ordinance, Section 154.106.
- 2) That all the submission requirements of said Section 154.106 have been met by the Applicant.
- 3) That the proposed Conditional Use Permit includes the following components:

- a) A Conditional Use Permit for a self-service storage facility and outdoor vehicle storage for the Property located at 9200 Hudson Boulevard North.
- 4) That the Conditional Use Permit for a self-service storage facility and outdoor vehicle storage will be for the Property legally described as follows: W1/2-E1/2-SW1/4-SW1/4 EXC TO HWY EXC HWY PARCEL 29F MN DOT R/W PLAT 82 43 SECTION 34 TOWNSHIP 029 RANGE 021. PID# 34.029.21.33.0005.
- 5) The proposed use will not be detrimental to or endanger the public health, safety, comfort, convenience or general welfare of the neighborhood or the city. **The proposed use is very similar to the current use of the Property. Storage of hazardous materials is prohibited in lease agreements with tenants. Vehicle trips to the site are not expected to increase and may even be reduced. Site improvements will likely reduce nuisances such as weeds, dust and debris migrating to neighboring properties.**
- 6) The use or development conforms to the City of Lake Elmo Comprehensive Plan. **The proposal is consistent with the Comprehensive Plan in that the Property is guided for commercial use. Self-service storage and vehicle storage are conditional uses in the Commercial zoning district.**
- 7) The use or development is compatible with the existing neighborhood. **The use is compatible with the existing neighborhood, as the Property is located in a commercial zoning district. Furthermore, self-service storage and vehicle storage will serve an expected increase in the number of residents resulting from new housing developments and could potentially help reduce the amount of exterior storage on residents' lawns and in their garages.**
- 8) The proposed use meets all specific development standards for such use listed in Article 7 of this Chapter. **The proposal complies with development standards as outlined in this report, though some standards set forth in the Lake Elmo Design Guidelines and Standards Manual are not met.**
- 9) If the proposed use is in a flood plain management or shoreland area, the proposed use meets all the specific standards for such use listed in Chapter 150, §150.250 through 150.257 (Shoreland Regulations) and Chapter 152 (Flood Plain Management). **The Property is located outside the 0.2% annual chance floodplain.**
- 10) The proposed use will be designed, constructed, operated and maintained so as to be compatible in appearance with the existing or intended character of the general vicinity and will not change the essential character of that area. **The proposed project is a redevelopment/repurposing of an existing site. Proposed site improvements should enhance the appearance of the Property.**
- 11) The proposed use will not be hazardous or create a nuisance as defined under this Chapter to existing or future neighboring structures. **The proposed development will be fenced and landscaped so as to not create a nuisance for existing and future neighboring properties.**

Additionally, the site is proposed to be well-secured through security cameras, keypad-only access, and an office alarm.

- 12) The proposed use will be served adequately by essential public facilities and services, including streets, police and fire protection, drainage structures, refuse disposal, water and sewer systems and schools or will be served adequately by such facilities and services provided by the persons or agencies responsible for the establishment of the proposed use. **This is addressed throughout the Planning and Zoning Issues section of this report. The Applicant has addressed concerns of the Building Official and Fire Chief by providing adequate turning ratios for a fire truck. The Applicant will need to provide fire hydrant locations as specified by the Building Official and Fire Chief. If the Applicant also addresses the comments provided in the City Engineer Memo, this criteria will be met.**
- 13) The proposed use will not create excessive additional requirements at public cost for public facilities and services and will not be detrimental to the economic welfare of the community. **The proposal will pay sewer and water service charges, benefiting the community.**
- 14) The proposed use will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, Property or the general welfare because of excessive production of traffic, noise, smoke, fumes, glare or odors. **Traffic to the site is expected to be minimal, and visits are expected to be short. Minimal noise is expected to come from the site, short of the sounds of unloading and loading items. Hazardous materials are prohibited from being stored on site, and lighting has been evaluated and determined to not cause a nuisance as proposed.**
- 15) Vehicular approaches to the property, where present, will not create traffic congestion or interfere with traffic on surrounding public thoroughfares. **The proposed use will likely create no more traffic congestion than already exists at the site.**
- 16) The proposed use will not result in the destruction, loss or damage of a natural or scenic feature of major importance. **N/A**

CONCLUSIONS AND DECISION

Based on the foregoing, the Applicant's application for a Conditional Use Permit for a self-service storage facility and outdoor vehicle storage is granted, subject to the following conditions:

- 1) Applicant shall obtain all necessary permits including but not limited to all applicable city permits (building, grading, sign, etc.), NPDES/SWPPP permits, South Washington Watershed District approval.
- 2) Applicant must address all engineering review comments outlined in Engineering Memo dated September 8, 2016.
- 3) A copy of the lease agreement shall be provided to the City and include prohibition of: the storage or handling of hazardous materials; commercial transactions; inhabitation of storage facilities or recreational vehicles; inoperable and unlicensed vehicles. Such prohibitions shall not be removed from the lease.

- 4) The City should be provided confirmation from the MPCA that the site poses no environmental risk associated with the petroleum tank release.
- 5) Landscape Plans shall be revised: to include an additional 12 trees added to the internal parking/storage area; to include additional trees providing top-down screening and approved by Landscape Architect; to comply with City irrigation specifications and with water supply connection detail; and to add screening along 5th Street North.
- 6) Applicant shall provide financial security of 125% of the value of landscaping materials to the City, to be released after a two-year time period after installation.
- 7) The Site Plan shall be modified to show a proof-of-parking area of at least 28 21-foot wide stalls in the vehicle storage area. These need be converted only if so directed by the City.
- 8) Exterior storage shall be limited to recreational vehicles as defined by the City's Zoning Code.
- 9) Location of Proposed Building #5 must be changed, as it is proposed to encroach needed watermain and hydrant easements.
- 10) Fire hydrant locations must be revised according the Building Official and Fire Chief Comments dated September 14, 2016.
- 11) Drive lanes shall be painted with one-way drive arrows and parking spaces are to be marked with painted lines at least four (4) inches wide.
- 12) The plans shall comply with the City's recommended building materials and design standards as recommended by the City.
- 13) The plans shall be revised to reduce the entrance drive width to comply with City Code.
- 14) A sign permit shall be required prior to installation of any commercial signs on the site and all signs shall comply with City Sign Regulations of Section 154.212 of the City Code.
- 15) The site plans shall be revised to show the exact locations of "No Parking" and "Fire Lane" signs.

Passed and duly adopted this 4th day of October, 2016 by the City Council of the City of Lake Elmo, Minnesota.

Michael Pearson, Mayor

ATTEST:

Julie Johnson, City Clerk

Date Received: _____
Received By: _____
Permit #: _____



651-747-3900
3800 Lawrence Avenue North
Lake Elmo, MN 55042

LAND USE APPLICATION

- ☐ Comprehensive Plan ☐ Zoning District Amend ☐ Zoning Text Amend ☐ Variance*(see below) ☐ Zoning Appeal
- ☒ Conditional Use Permit (C.U.P.) ☐ Flood Plain C.U.P. ☐ Interim Use Permit (I.U.P.) ☐ Excavating/Grading
- ☐ Lot Line Adjustment ☐ Minor Subdivision ☐ Residential Subdivision Sketch/Concept Plan
- ☐ PUD Concept Plan ☐ PUD Preliminary Plan ☐ PUD Final Plan

Applicant: Scott Wyckoff, Wasatch Storage Partners
Address: 131 S. 700 E., Suite 102 American Fork, UT 84003
Phone #: 801-707-6976
Email Address: swyckoff@wasatchstoragepartners.com

Fee Owner: Brian Livingston, Star River Holdings
Address: 9200 Hudson Blvd N, Lake Elmo, MN 55042
Phone #: 651-292-4209
Email Address: BLIVINGSTON@STARIVR.COM

Property Location (Address and Complete (long) Legal Description): 9200 Hudson Blvd,
Lake Elmo, MN

Detailed Reason for Request: Obtain a Conditional Use Permit so we
can redevelop the site into a state of the art self
storage facility.

*Variance Requests: As outlined in Section 301.050 C. of the Lake Elmo Municipal Code, the applicant must demonstrate practical difficulties before a variance can be granted. The practical difficulties related to this application are as follows:

In signing this application, I hereby acknowledge that I have read and fully understand the applicable provisions of the Zoning ordinance and current administrative procedures. I further acknowledge the fee explanation as outlined in the application procedures and hereby agree to pay all statements received from the City pertaining to additional application expense.

Signature of applicant: [Signature] Date: 7/22/2016

Signature of fee owner: [Signature] Date: 7/22/2016
STAR RIVER HOLDINGS

Conditional Use Permit Application 9200 Hudson Blvd. Self Storage Project

2. Written Statement

A. Developer/Applicant: Scott Wyckoff
Wasatch Storage Partners
131 S. 700 E., Suite 102
American Fork, UT 84121
Direct: 801-707-6976
Office: 801692-1474
swyckoff@wasatchstoragepartners.com

Owner/Seller: Brian Livingston
Star River Holdings, L.L.C.
9200 Hudson Blvd
Lake Elmo, MN 55042
651-292-4209
blivingston@crankyape.com

Civil Engineer: Mike Bultman, PE
Sambatek Engineering
12800 Whitewater Drive, Suite 300
Minnetonka, MN 55343
763-398-0867
MBultman@sambatek.com

Architect: Chris Whitehouse
DJR Architecture Inc.
333 Washington Avenue North
Suite 210 Union Plaza
Minneapolis, MN 55401
612-676-2736
cwhitehouse@djri-inc.com

B. Address: 9200 Hudson Blvd N, Lake Elmo, MN 55042.
Zoning classification: Commercial (Per the City of Lake Elmo Zoning Code.
Parcel Size: 408,645 Square Feet (9.381 acres)
Property Identification Number (PID): 34.029.21.33.0005

Legal Description per Title Commitment: The West ½ of the East ½ of the Southwest ¼ of the Southwest ¼ of Section 34, Township 29, Range 21, Washington County, Minnesota, except for that part taken for Minnesota State Trunk Highway No. 12 in Right of Way Plat 82-43, files as Document No. 429592

- C. Prior to 1978, the site was used for agriculture purposes and a farmstead was located on the south side. The east building has been present since 1978 with storage of boats/trailers/vehicles on the west side of the site. The west building was built around 1984 with parking to the west and south and storage along the far western site border. Beginning in 1997, storage was expanded north on the site until 2008. According to historical sources, the site was occupied by J & W Marineland/J & W Boat and Motor from 1973 to 1992; Dolan Marine from 1992 to 2005; Link Recreational from 2005 to 2010.

The property is currently operating as, "Cranky Ape". They specialize in remarketing bank repossessed, insurance repairable recreational vehicles along with consignments. CrankyApe.com provides these items for purchase by the general public via an online electronic bidding system. They have occupied the site from 2011 to the present time.

Multiple conversations and communication between the applicant, their consultants and city planning have occurred. Initial discussions included an explanation of our project and what we wanted to do, followed by conceptual drawings and renderings, and more recently discussion and review of Application materials. We were told in these conversations that Self Storage was a conditional use and that an investment in upgrading the existing buildings, adding new building and enhancing the properties curb appeal would probably be well received.

- D. i. The proposed project consists of the addition of 4 new storage buildings with the possibility of 2 future storage buildings located on the north end of the site. Our site will comprise of roughly 30% of new green space/landscaping area. This is well above the 25% minimum requirement for green space on a commercial site.

The site layout will be improved for better traffic circulation and well defined drive aisles. One way traffic will be utilized between the new storage buildings that are 24 feet wide, which is sufficient room for one-way traffic. The main drive aisles will remain as two-way traffic.

Building and parking setback requirements will be met with the proposed site layout, allowing for adequate transitions between the adjacent properties. The perimeter of the property will be landscaped to compensate for any loss of trees. Extra landscape and screening will be given to the west and north sides, where the site is adjacent to residential districts.

A majority of the existing stormwater runoff leaves the site untreated. The proposed project will utilize pre-treatment devices and ponding areas to provide infiltration, volume control, and water quality to help meet the requirements set forth by the South Washington Watershed District.

- ii. The self-storage business will have office hours between 8:30 am and 6:30 pm. The office is outside of the gate and has open access to the public. The office provides a location for existing and potential customers to interact with employees, lease units, make payments and purchase boxes, tape, locks and packing material. Existing customers will be able to enter an access code at the gate, drive into the facility to their leased unit without having to enter the office. This access to units through the secured gate is available at any time. The facility will be staffed with 2 – 3 employees at a time with regional employees frequently visiting and working at the site (Operational and Facility Service Managers). Security features include perimeter fencing, motorized gates with keypad only access, security cameras and an office burglar alarm.

The applicant intends to proceed immediately with Construction Drawings and seek approval for Building Permits pending the approval of the Conditional Use Permit. Construction would start as soon as possible and project completion is anticipated in the second quarter of 2017.

- E.
 - i. The proposed use will not be detrimental the health, safety, morals, convenience, or the general welfare of the surrounding lands. The environmental impact will be significantly reduced on the site. There will be no storing or handling of hazardous materials, it is strictly prohibited in our lease agreement with customers. There will be no maintenance or repair of vehicles trips to the site will be reduced, creating less traffic congestion and impact on the cities road and street infrastructure. In addition during the environmental investigation by the Applicant, underground storage tanks were identified. The owner removed those tanks eliminating a recognized environmental conditions. In addition improvements to the site and recreational vehicle storage area should reduce the number of nuisance animals, weeds, dust and debris that would migrate from the site to the neighboring properties.
 - ii. The proposed project conforms with the City of Lake Elmo Comprehensive Plan and the 2030 Land Use Map.
 - iii. The self-storage business will be compatible to the existing neighborhood and surrounding properties.
 - iv. The specific development standards for this use will be met.
 - v. The development is located outside the 0.2% annual chance floodplain.
 - vi. The project is redevelopment/repurposing of an existing site. The new streetscape elevations and site improvements should dramatically improve the appearance of the site from all neighboring property owners and the freeway. The new look will also be dramatically more modern and current than the neighboring lumber yard and consistent with residential development.
 - vii. The proposed development will be adequately fenced and landscaped as to not create a nuisance for existing or future neighboring structures. The site will operate during normal business hours as well.
 - viii. The proposed development will be served adequately by essential public facilities. An accessible parking stall will be provided as required by ADA code. Drive aisle widths will

be adequate for police/fire protection and customer vehicles. All drainage structures will be sufficiently drain rainwater and can be accessed for maintenance purposes. A perimeter fence will be provided to help protect public safety as well.

- ix. The storage use is very low impact and should not cause any additional burden on public facilities or public cost.
- x. The use will not involve activities, processes, materials, equipment and conditions of operations that will be detrimental to any persons, property, or the general welfare because of excessive production of traffic, noise, smoke, fumes, glare or odors. These impacts should be less than the existing facility because of the decreased vehicle traffic and business operation.
- xi. Traffic congestion should not be an issue on the site or on the surrounding streets.
- xii. The proposed project will not impact any natural or scenic features of major importance.

MEMORANDUM

FOCUS ENGINEERING, inc.

Cara Geheren, P.E.	651.300.4261
Jack Griffin, P.E.	651.300.4264
Ryan Stempski, P.E.	651.300.4267
Chad Isakson, P.E.	651.300.4285

Date: September 8, 2016

To: Emily Becker, City Planner
Cc: Stephen Wensman, Planning Director
From: Jack Griffin, P.E., City Engineer

Re: Wasatch Storage (9200 Hudson Blvd)
Site Plan Review

A Site Plan engineering review has been completed for the Wasatch Storage improvements at 9200 Hudson Boulevard. The submittal consisted of the following documentation prepared by Sambatek:

- Preliminary Civil Site Plans dated 08/25/2016.
- ALTA Survey dated 07/28/2016.
- Landscape Plan dated 08/25/2016.
- Storm Water Management Plan dated 08/24/2016.
- CUP Application Narrative.
- Building renderings and Photometric Plan dated 08/25/2016.

Engineering review comments are as follows:

Existing Condition Plans

1. The existing conditions plan must be revised to provide a complete depiction of the Hudson Boulevard right-of-way. All information must be shown on one plan sheet located in the Site Plan set (not supplemented by the ALTA survey) and must be presented at a scale that provides a legible plan. As presented, staff cannot complete a thorough review to identify all impacts for the proposed improvements. Upon resubmittal, additional site plan review will be necessary.
2. The existing conditions plan must be revised and resubmitted showing the existing conditions for a minimum distance of 150 feet in each direction from the property limits or project limits. Information beyond 150 feet may be necessary to identify downstream drainage facilities.
 - Hudson Blvd lane widths and shoulder widths have not be added to the plans.
 - The existing conditions must be detailed along Jade Trail where the project proposes to connect to the existing city watermain.

Site Plans

1. Utility Easements. All easements must be added to the Site Plan.
2. Fire Access. The Site Plan must be updated to identify all fire lanes and fire lane signage for city review. Parking stalls/vehicle storage areas must be eliminated to provide 24-hour access to all hydrant locations.

Drainage, Stormwater Management and Erosion Control

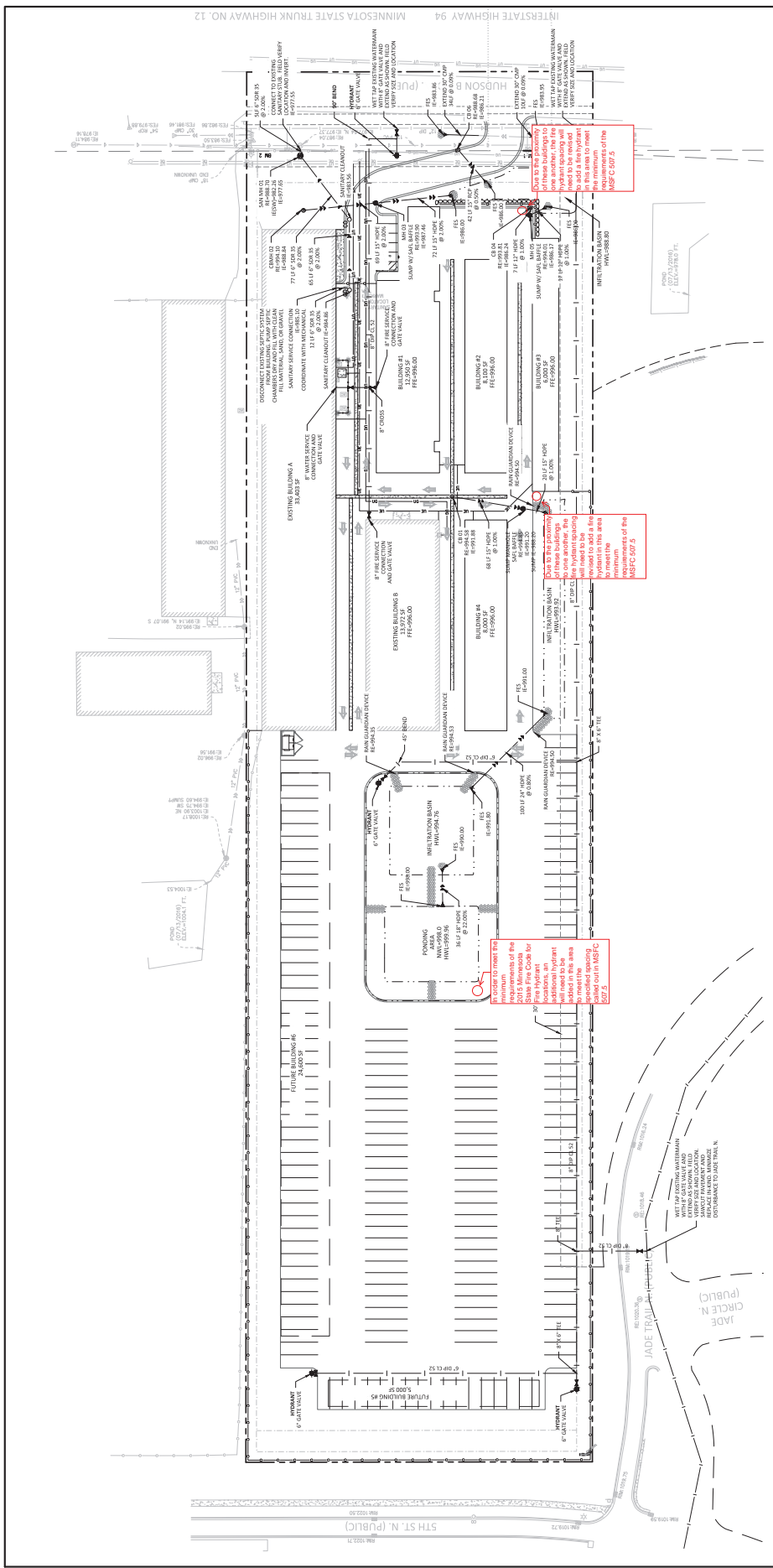
1. City and SWWD Storm Water Permits required. The site redevelopment is located in the South Washington Watershed District (SWWD) jurisdiction and will require permanent storm water quality and quantity measures compliant with City and SWWD standards. The proposed parking and storage facility improvements will add approximately 0.19 acres of impervious coverage to the existing property for a total of 6.6 impervious acres.























2. State MPCA/NPDES Permit. A SWPPP/NPDES Permit will be needed for the project, however permanent treatment standards are not required by the state MPCA/NPDES permit since < 1 acre of new impervious area is added to the site.
3. Proposed Storm Water Facilities. The site plan proposes a series of storm water management practices consisting of a storm water retention pond, three infiltration basins, sump manholes and a grassed swale with check dams prior to the storm water being discharged to the Hudson Boulevard right-of-way, across I-94 and to Wilmes Lake in Woodbury.
4. Rate and Volume Control Reduction. The storm water practices provides rate and volume control that reduces the rate of runoff for the 2, 10, and 100-year storm events and provides volume reduction consistent with SWWD rules.
5. Assumed Infiltration Rates. Soil borings must be provided at all infiltration locations to determine the infiltration rates for design purposes and additional infiltration capacity must be provided if determined to be necessary.
6. Water Quality. The storm water practices also provides a net reduction in total suspended solids (TSS) and total phosphorus (TP) from the existing conditions, however the SWWD annual pollutant discharge goal of 0.1 lb/TP per acre is not met for maximum allowable TP loading prescribed for Wilmes Lake. Additional treatment may be necessary as determined by SWWD. The TP leaving the site will be reduced from an existing 13.2 lbs to a proposed 1.1 lbs per year.
7. The storm water pond and infiltration basins must be labeled to match the storm water management plan. Correct discrepancy between the plans and the submitted model for Pond 9 outlet pipe.
8. Infiltration Basin 7P discharges directly to Hudson Boulevard right-of-way using a riprap EOF as the only outlet. Grading clarification, detail and revisions are needed around the south and west sides of Infiltration Basin 7P to ensure the HWL is contained and the discharge is limited to a controlled point. The HWL contour must be located entirely within the site and may not encroach upon the drainage and utility easements or City/County R/W. A pipe outlet must be used instead of a rip rap overflow, which may lead to erosion issues.
9. The grading must be revised to remove the depression at the north end of the site and at the northwest corner of the site to avoid any potential standing water.
10. Reinforced EOFs should be provided to match the functioning crest length up to the 100-year event (eg, Pond 9 EOF has an active flow width of >20' above a 10-year elevation).
11. Reinforcement must be added to Infiltration Basin 4P overflow outlet with EOF elevation noted.
12. Riprap areas should include fabric and riprap quantities should be listed on the plans. Plan details should be included in the plan set.
13. Add plan note to subcut infiltration basin bottoms 6-inches, scarify 8-12-inches deep and add 6-inches of Rooting Topsoil Borrow (Mn/DOT 3877.2E) to grade.
14. Temporary blanket should be placed over seeded infiltration basin bottoms to maintain moisture and aid in seed establishment.
15. Areas to receive temporary erosion control blanket (eg, swales) must be identified on the plans.
16. City Standard Plan Notes for Grading and Erosion Control must be placed directly on the Grading and Drainage Plan. All non-City plan notes that duplicate or contradict the City plan notes must be removed.

Utility Plans

1. All fire hydrants on the site will be city owned and maintained. The plans must be updated to include a minimum 30-foot easement centered over the pipe to all hydrant locations. A 15-foot easement is also required in all directions around each hydrant.
2. The hydrant at infiltration basin 5P must be relocated to be fully outside of the infiltration basin area and must be placed on a fully protected raised curbed median area with protective bollards.
3. The proposed hydrant along Hudson Blvd. will be city owned and maintained. The watermain must be configured to be publically owned up to the hydrant/gate valve. A second gate valve should be installed to start the 8-inch private service to the site. The 8-inch watermain service must be labeled on the plans "8-inch DIP CL 52 water service".

4. City Standard Plan Notes for Watermain must be placed directly on the Utility Plan to apply for all City owned watermain and hydrants. All non-City plan notes that duplicate or contradict the City plan notes must be removed or specifically called out to apply for service pipe only.
5. The Site Plan must detail the street cut and restoration plan, including the construction limits and street section requirements for the watermain connection at Jade Trail. The street cut and restoration must be completed at full street width.
6. The 30-inch driveway culvert in city right-of-way must be RCP pipe.
7. CB-06 must be relocated to avoid conflicts with the existing sanitary sewer along Hudson Blvd.
8. Minimum storm sewer pipe size is 15-inch. Revise storm sewer from CB-04 and MH-05.

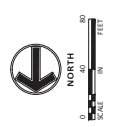


LEGEND	POCKYPOSED	EXISTING
CLUBS & GUTTER		
STOMASSEVER		
POCKYPOSED		
POCKYPOSED (NO)		
WATER BAKAN		
FAKOURT		
POCKYPOSED		
POCKYPOSED		
GAS LINE		
ELECTRIC		
TELEPHONE		

	PROPOSED	EXISTING
CHIM & GUTTER	10	10
STORM SEWER	11	10
STREET LIGHT	12	12
POWDERMAN (CAN)	13	13
WATERMANN	14	14
BASEMENT	15	15
DOWN TILE	16	16
GAS LINE	17	17
ELECTRIC	18	18
TELEPHONE	19	19

UTILITY CONSTRUCTION NOTES

1. ALL UTILITIES SHALL BE CONDUCTED IN ACCORDANCE WITH CITY OF CHICAGO ORDINANCES.
2. ALL UTILITIES SHALL BE CONDUCTED IN ACCORDANCE WITH CITY OF CHICAGO ORDINANCES.
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10. ALL UTILITIES SHALL BE CONDUCTED IN ACCORDANCE WITH CITY OF CHICAGO ORDINANCES.
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12. ALL UTILITIES SHALL BE CONDUCTED IN ACCORDANCE WITH CITY OF CHICAGO ORDINANCES.
13. ALL UTILITIES SHALL BE CONDUCTED IN ACCORDANCE WITH CITY OF CHICAGO ORDINANCES.
14. ALL UTILITIES SHALL BE CONDUCTED IN ACCORDANCE WITH CITY OF CHICAGO ORDINANCES.
15. ALL UTILITIES SHALL BE CONDUCTED IN ACCORDANCE WITH CITY OF CHICAGO ORDINANCES.

[illegible]



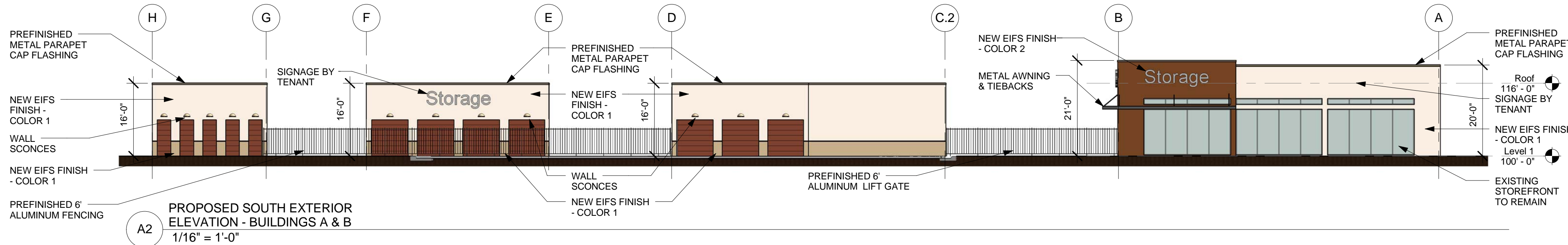
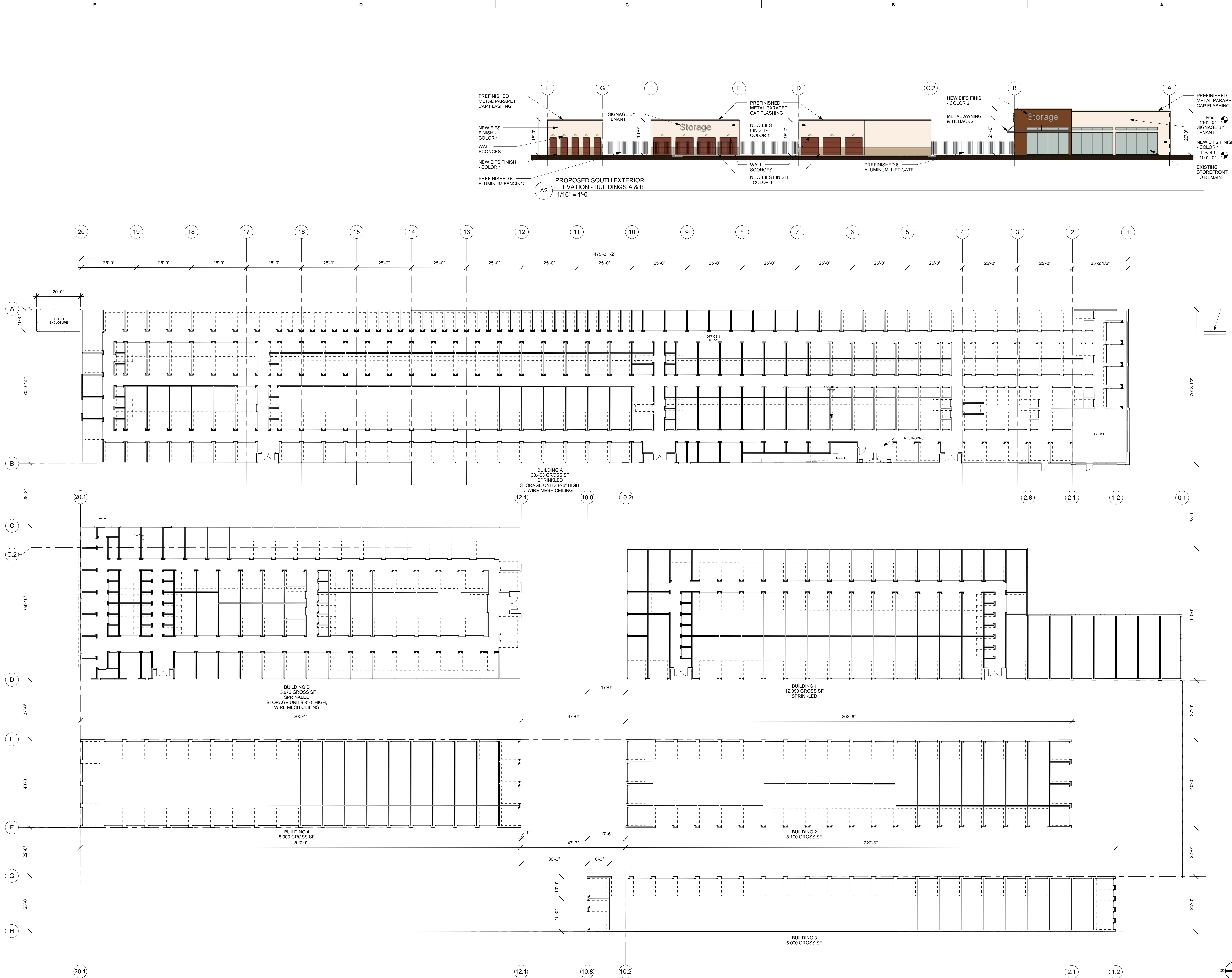
WASATCH STORAGE

Lake Elmo, Minnesota

8-25- 2016

Exterior Perspective

16-024



A1 FLOOR PLAN - LEVEL 1
1/16" = 1'-0"

Wasatch Storage - Lake Elmo

OVERALL BUILDINGS A-B, 1-4

PRELIMINARY: NOT FOR CONSTRUCTION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Scott Nelson
Architect
License Number: 17444
Expiration Date: 7-15-16

CLIENT
Contractor
Checked by: SN

Project #: 16-046.0
Date: 7-15-16
Drawn by: CW
Checked by: SN

Issue: 17444
Revision Number: 7-15-16

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DJR
ARCHITECTURE, INC.
1000 Hennepin Avenue, Suite 100
Minneapolis, Minnesota 55401
612.676.2700 www.djr-inc.com

Civil

Structural

Contractor

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

APPROVE: _____

DESIGNER: _____

REGISTERED NUMBER: _____

DATE: 7-15-16

PRELIMINARY - NOT FOR CONSTRUCTION

Issue: _____

Project #: 16-046.0

Date: 7-15-16

Drawn by: CW

Checked by: SN

Wasatch Storage - Lake Elmo

Enter address here

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BUILDING A

A110

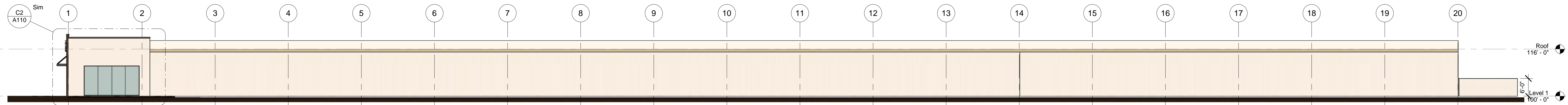
E

D

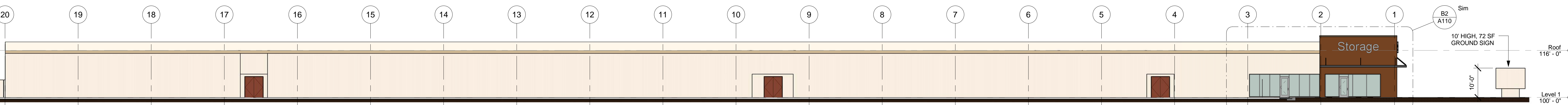
C

B

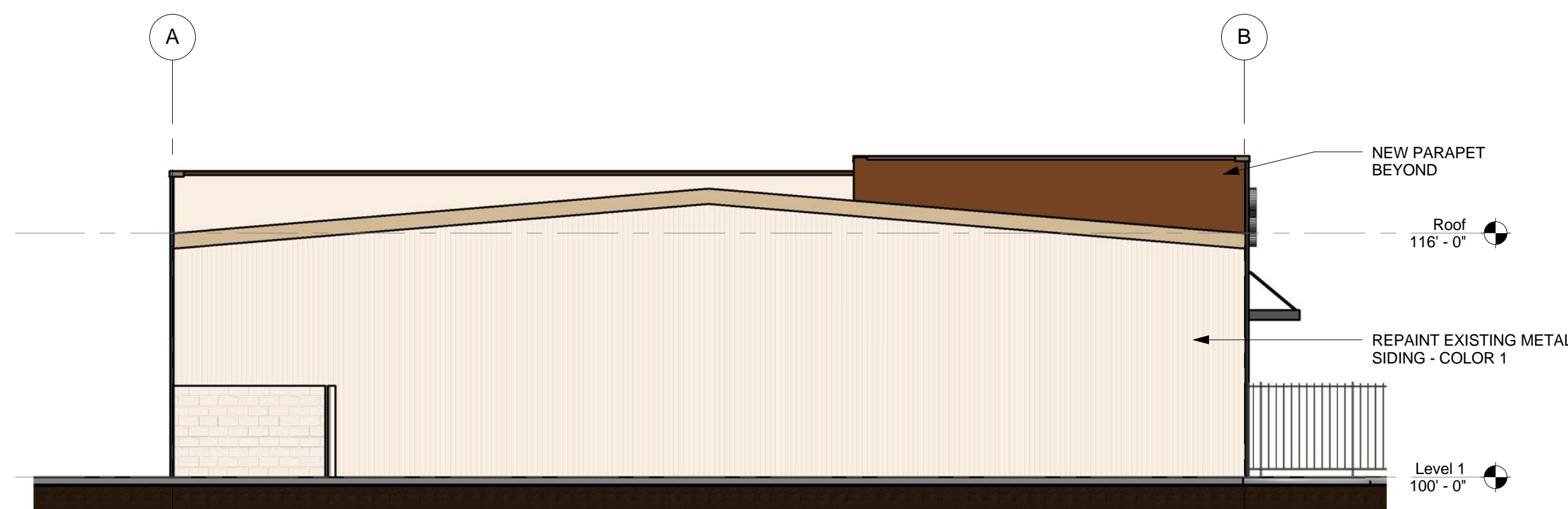
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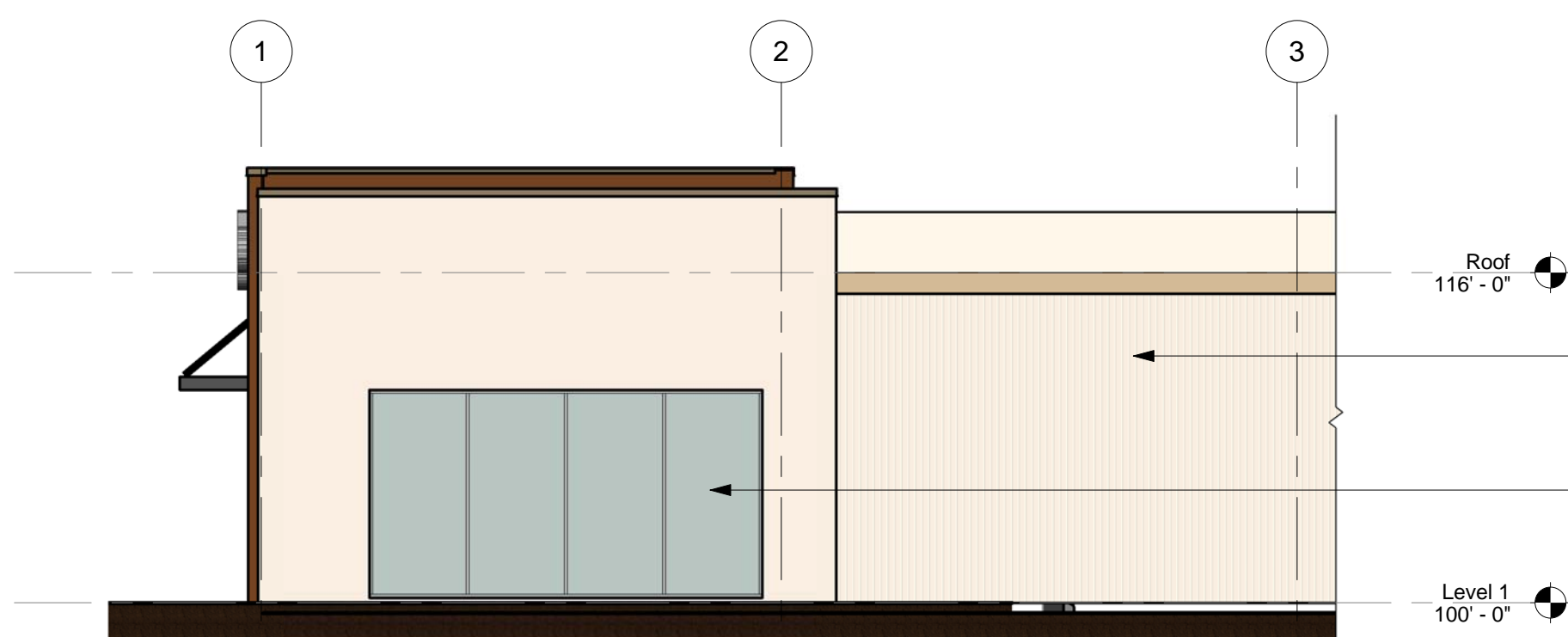
A5 BUILDING A - EAST OVERALL
1/16" = 1'-0"



A4 WEST EXTERIOR ELEVATION
1/16" = 1'-0"



C3 NORTH EXTERIOR ELEVATION
1/8" = 1'-0"



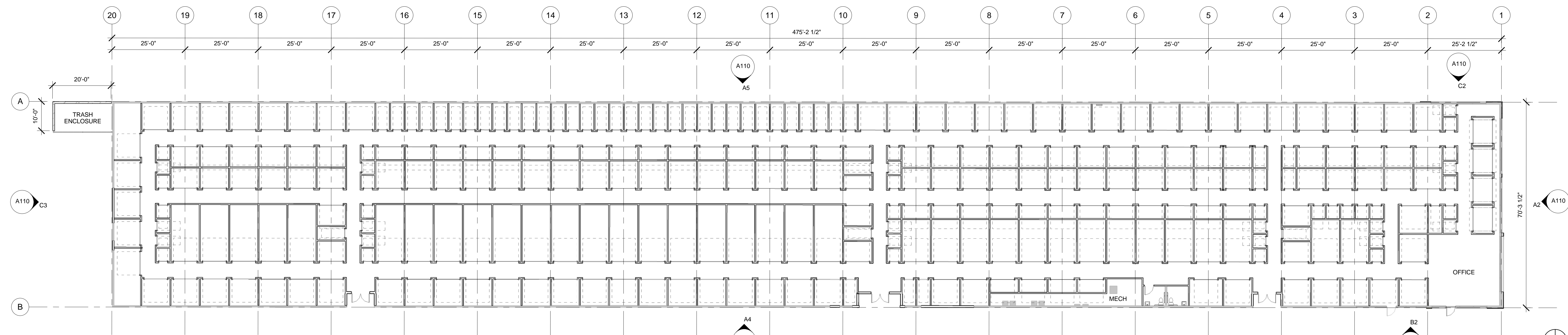
C2 EAST EXTERIOR ELEVATION
1/8" = 1'-0"



B2 PROPOSED WEST EXTERIOR ENTRY
ELEVATION
1/8" = 1'-0"

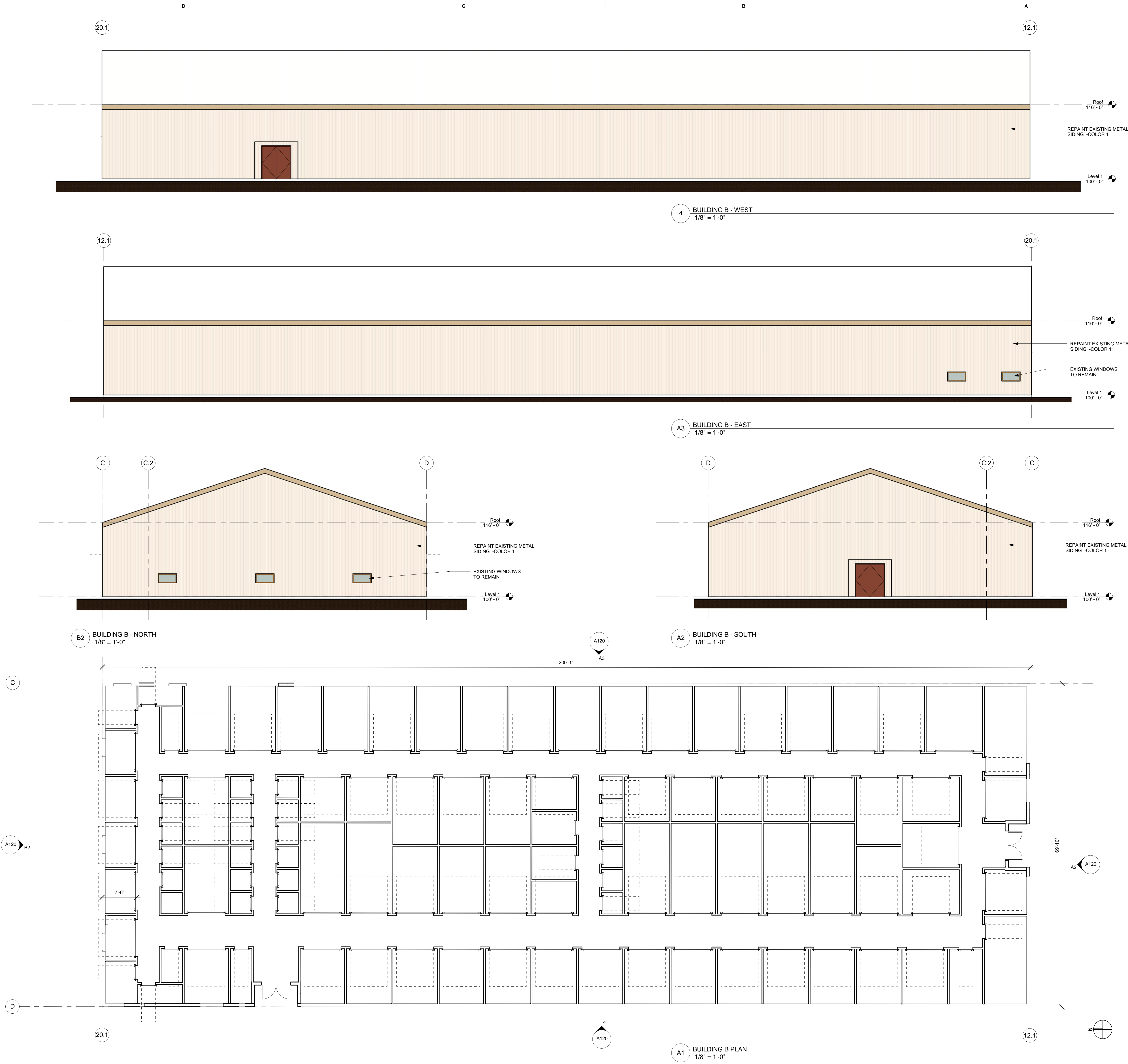


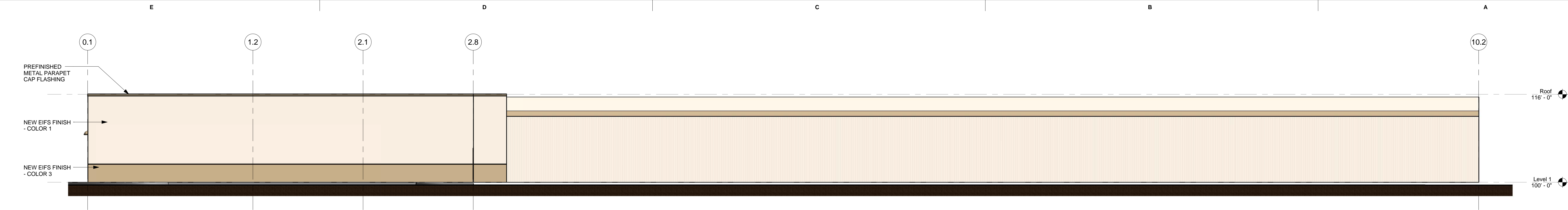
A2 BUILDING A - SOUTH
1/8" = 1'-0"



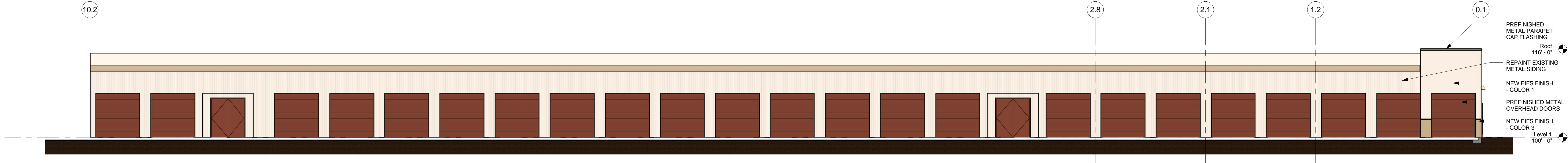
A1 BUILDING A PLAN
1/16" = 1'-0"

SPRINKLED
STORAGE UNITS 8'-6" HIGH, WIRE MECH CEILINGS

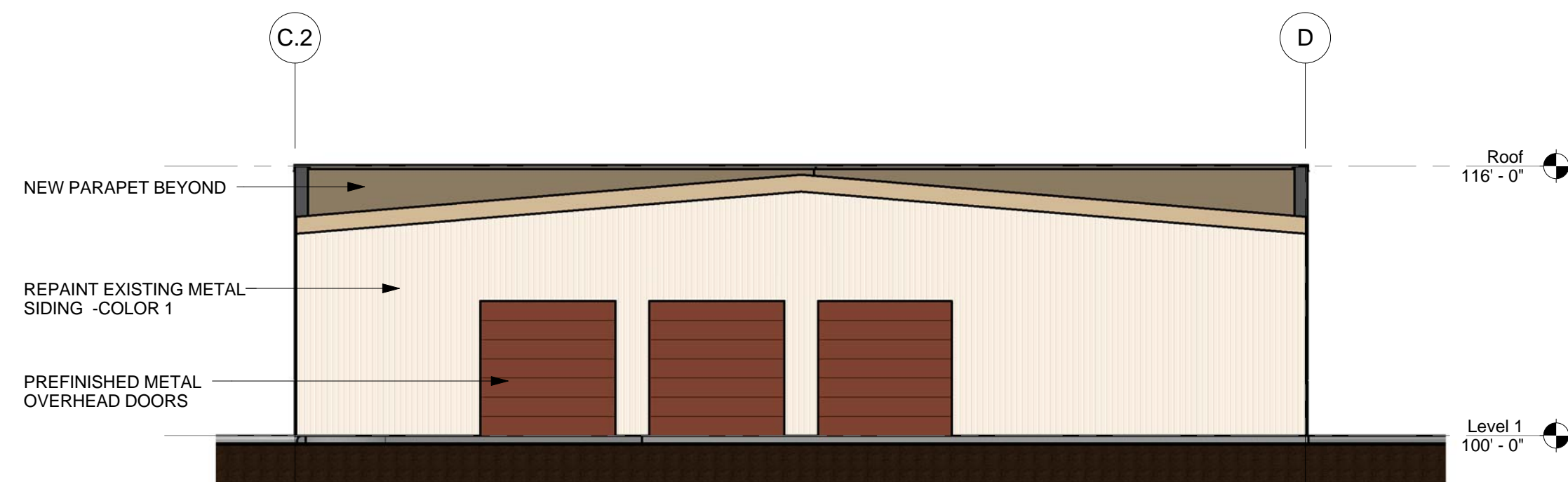




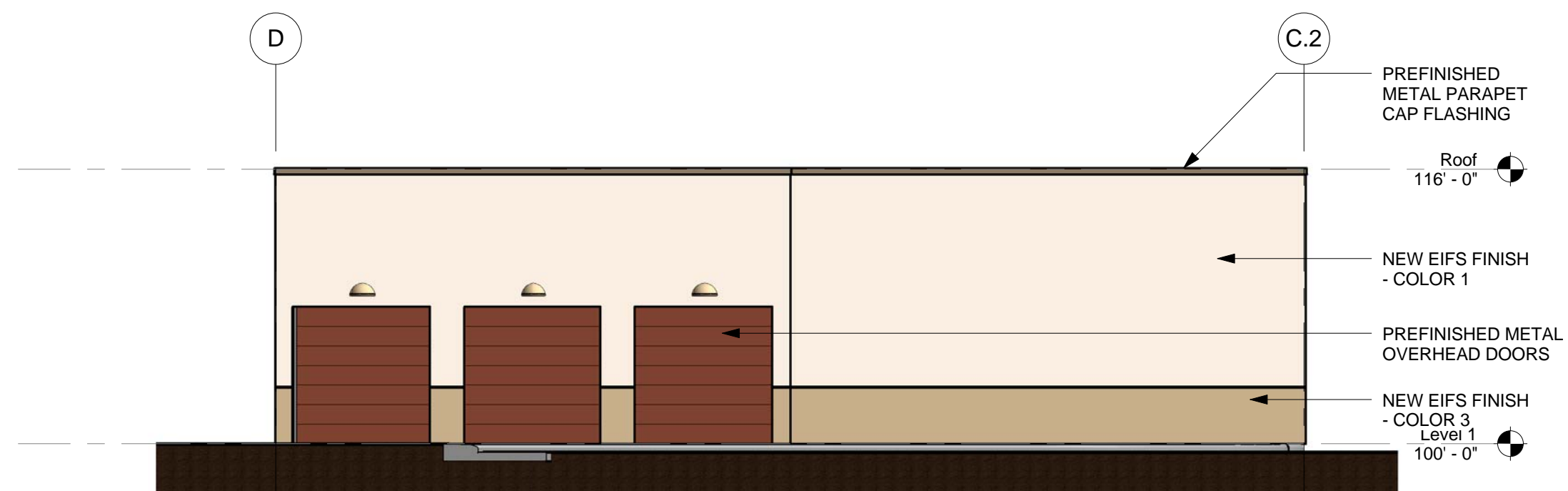
A4 BUILDING 1 - EAST
1/8" = 1'-0"



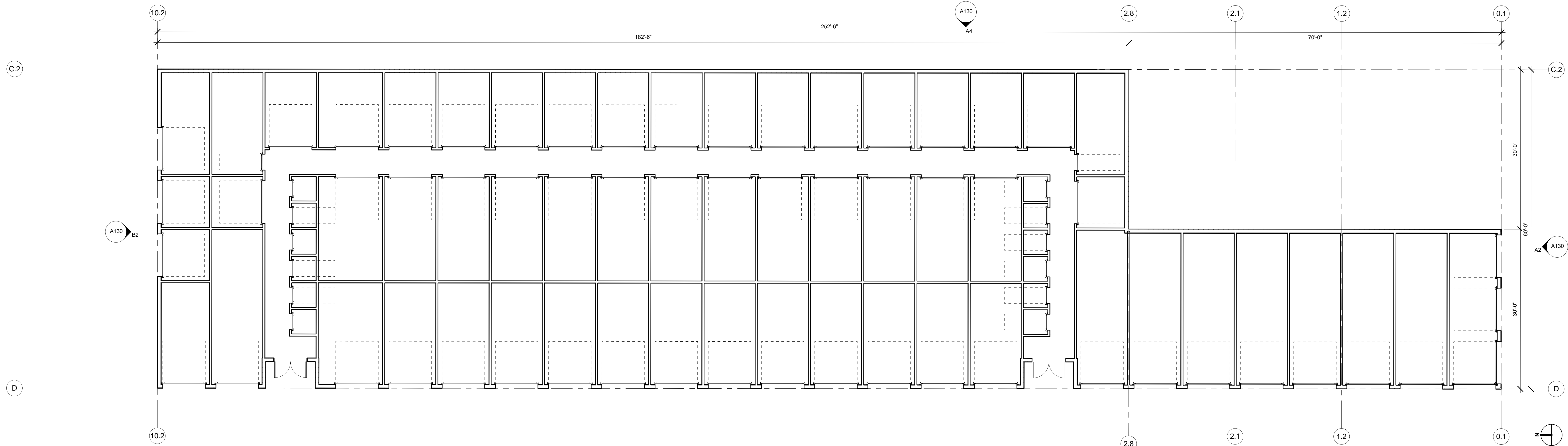
A3 BUILDING 1 - WEST
1/8" = 1'-0"



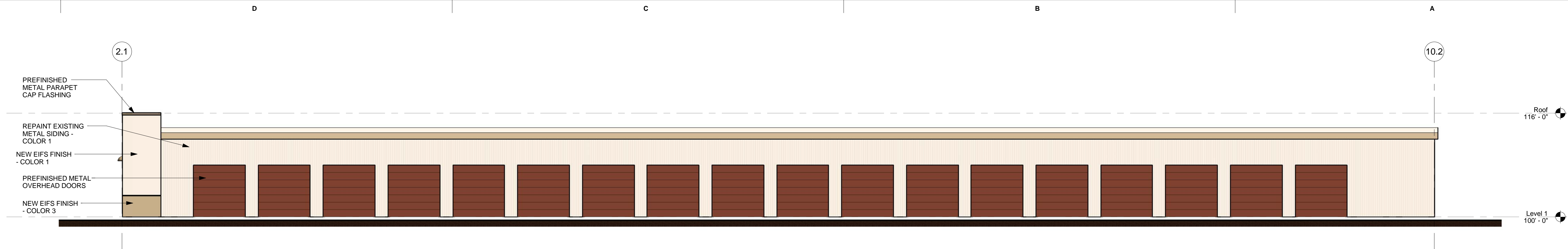
B2 BUILDING 1 - NORTH
1/8" = 1'-0"



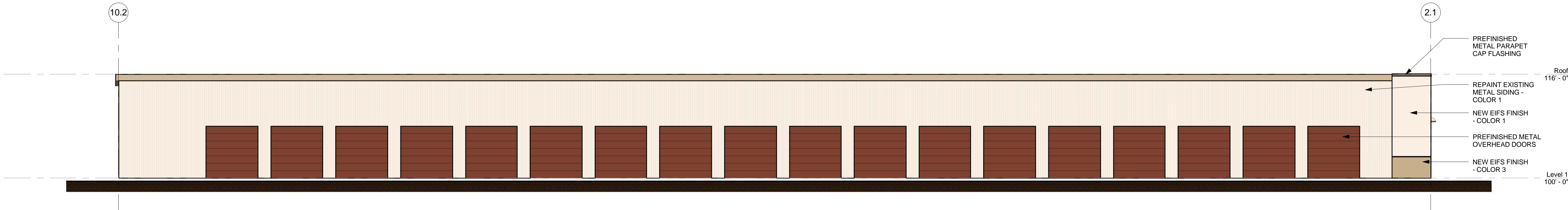
A2 BUILDING 1 - SOUTH
1/8" = 1'-0"



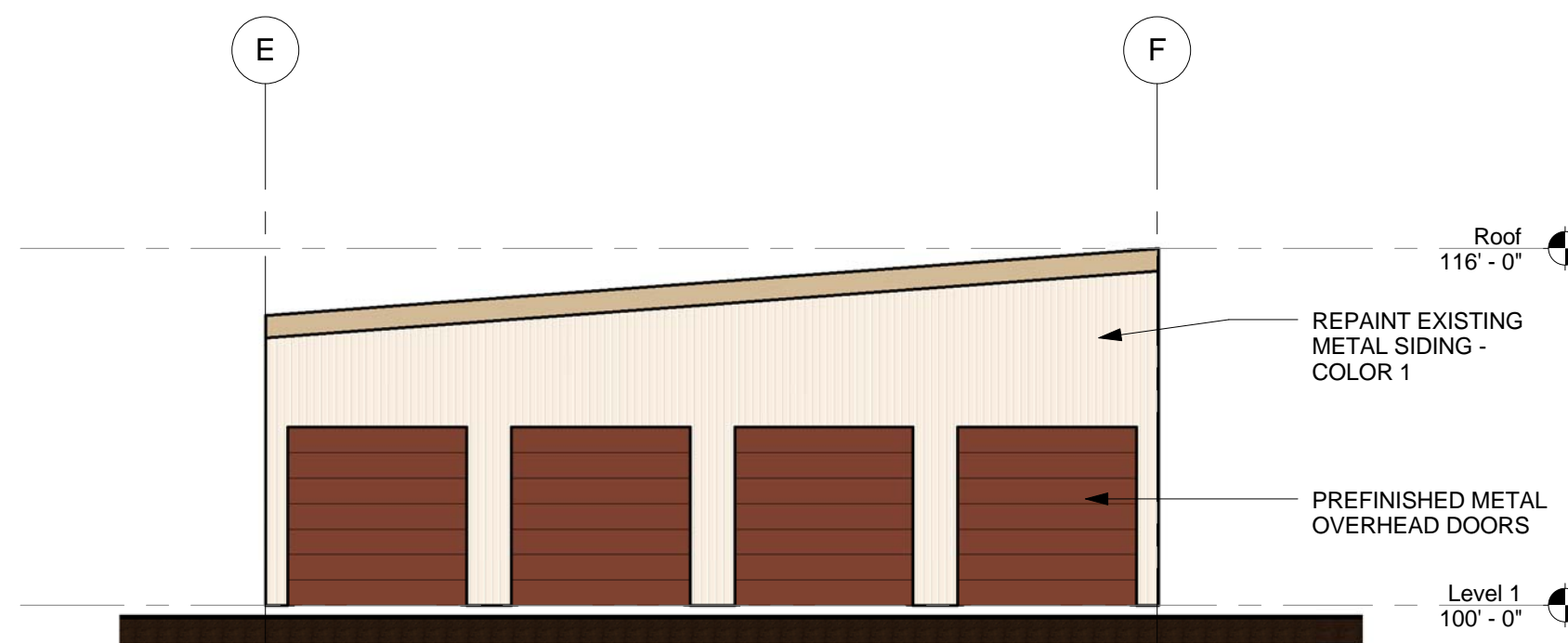
A1 BUILDING 1 PLAN
1/8" = 1'-0"



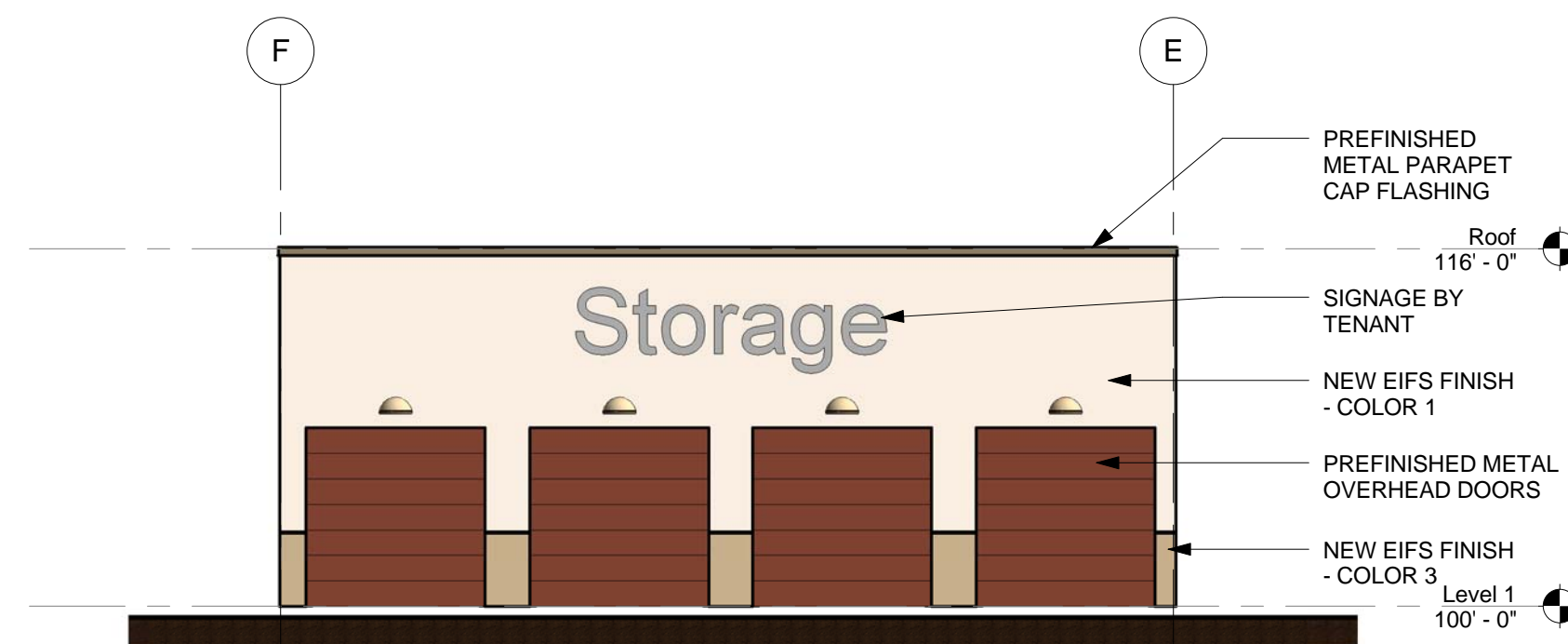
A4 BUILDING 2 - EAST
1/8" = 1'-0"



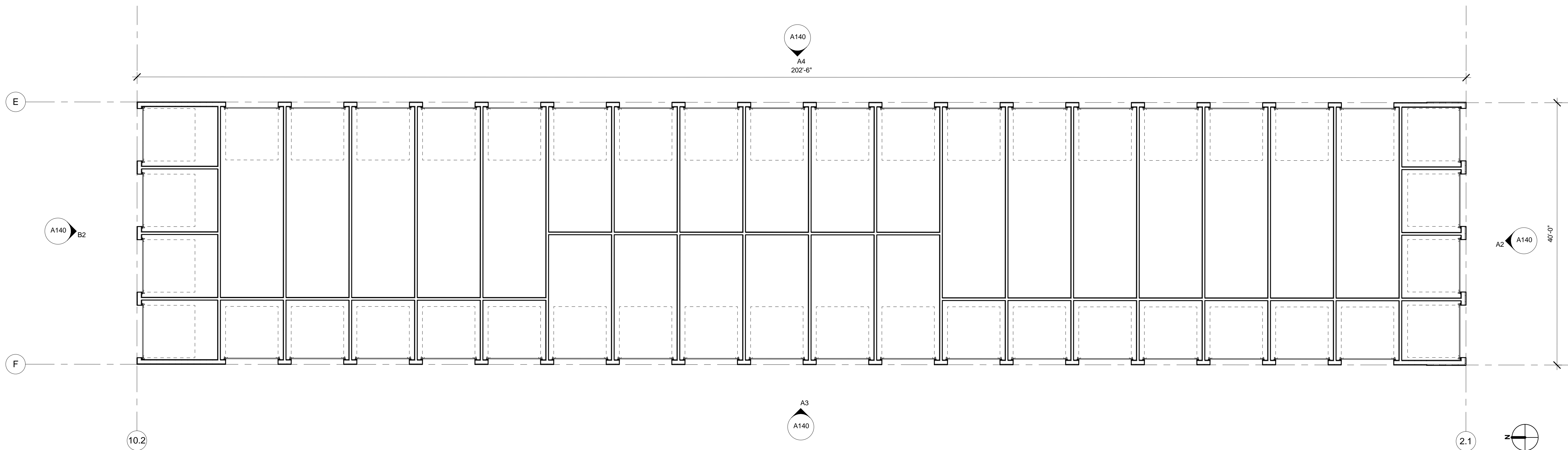
A3 BUILDING 2 - WEST
1/8" = 1'-0"



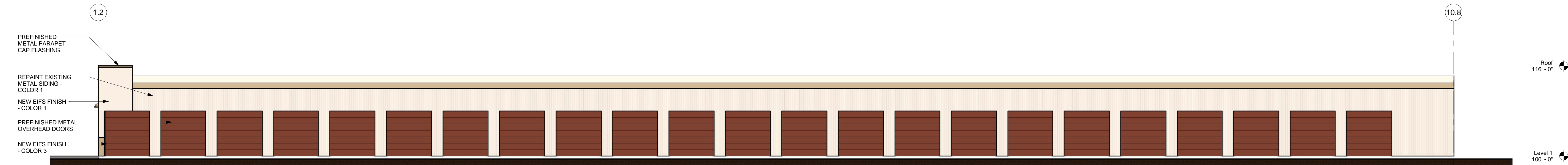
B2 BUILDING 2 - NORTH
1/8" = 1'-0"



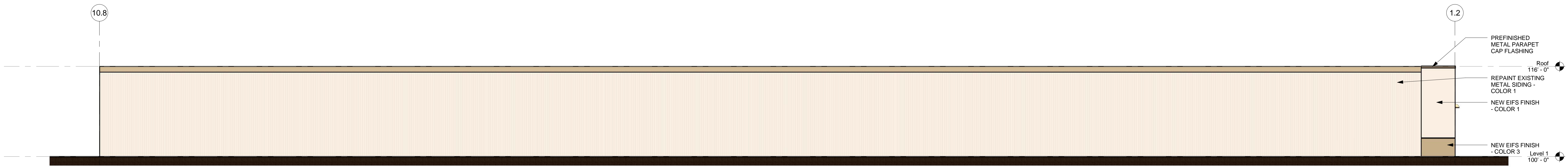
A2 BUILDING 2 - SOUTH
1/8" = 1'-0"



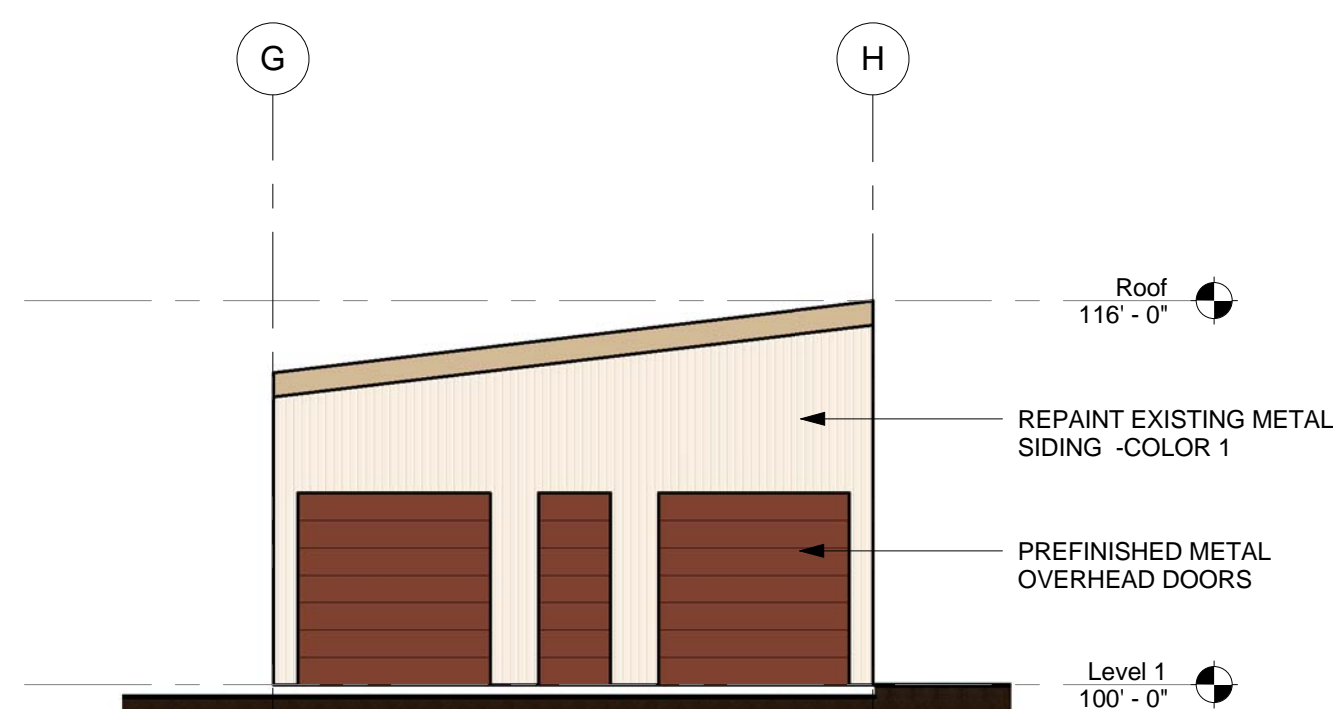
A1 BUILDING 2 PLAN
1/8" = 1'-0"



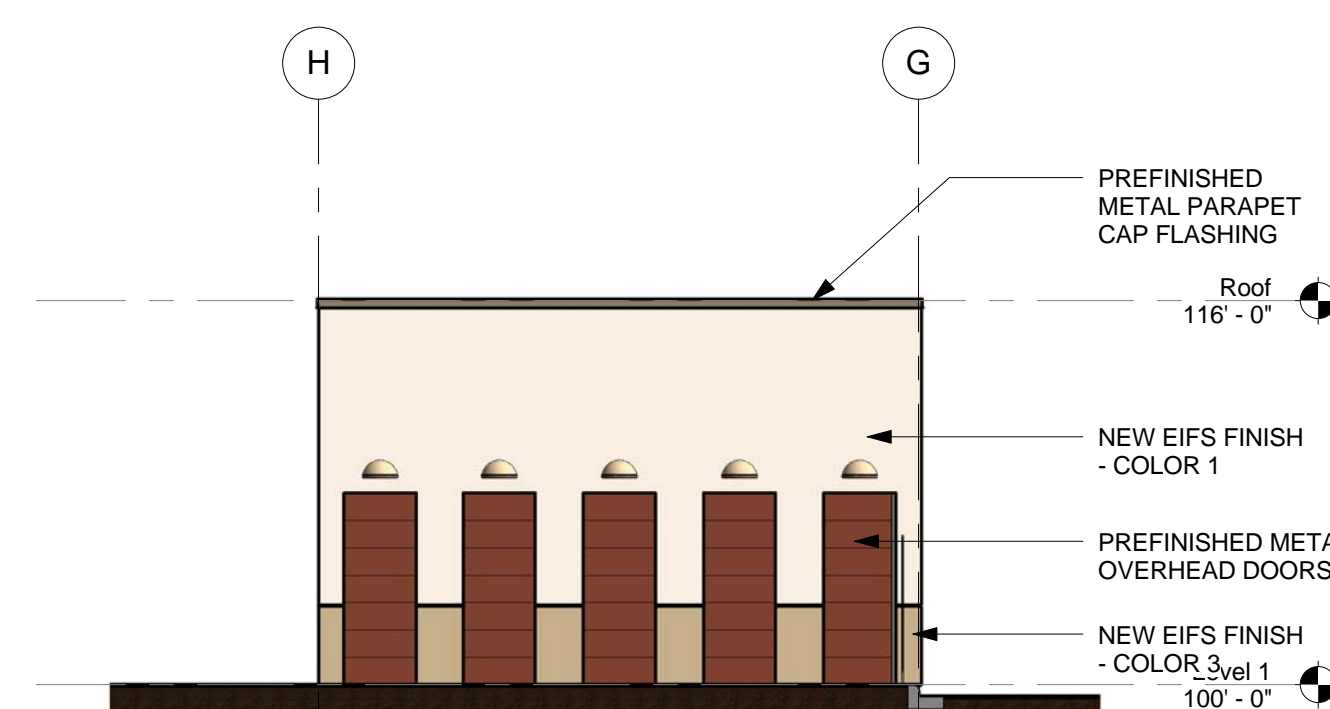
A4 BUILDING 3 - EAST
1/8" = 1'-0"



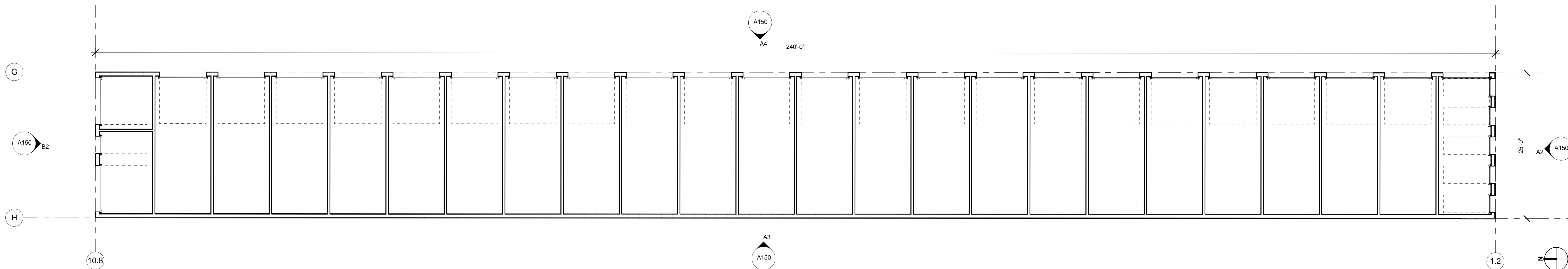
A3 BUILDING 3 - WEST
1/8" = 1'-0"



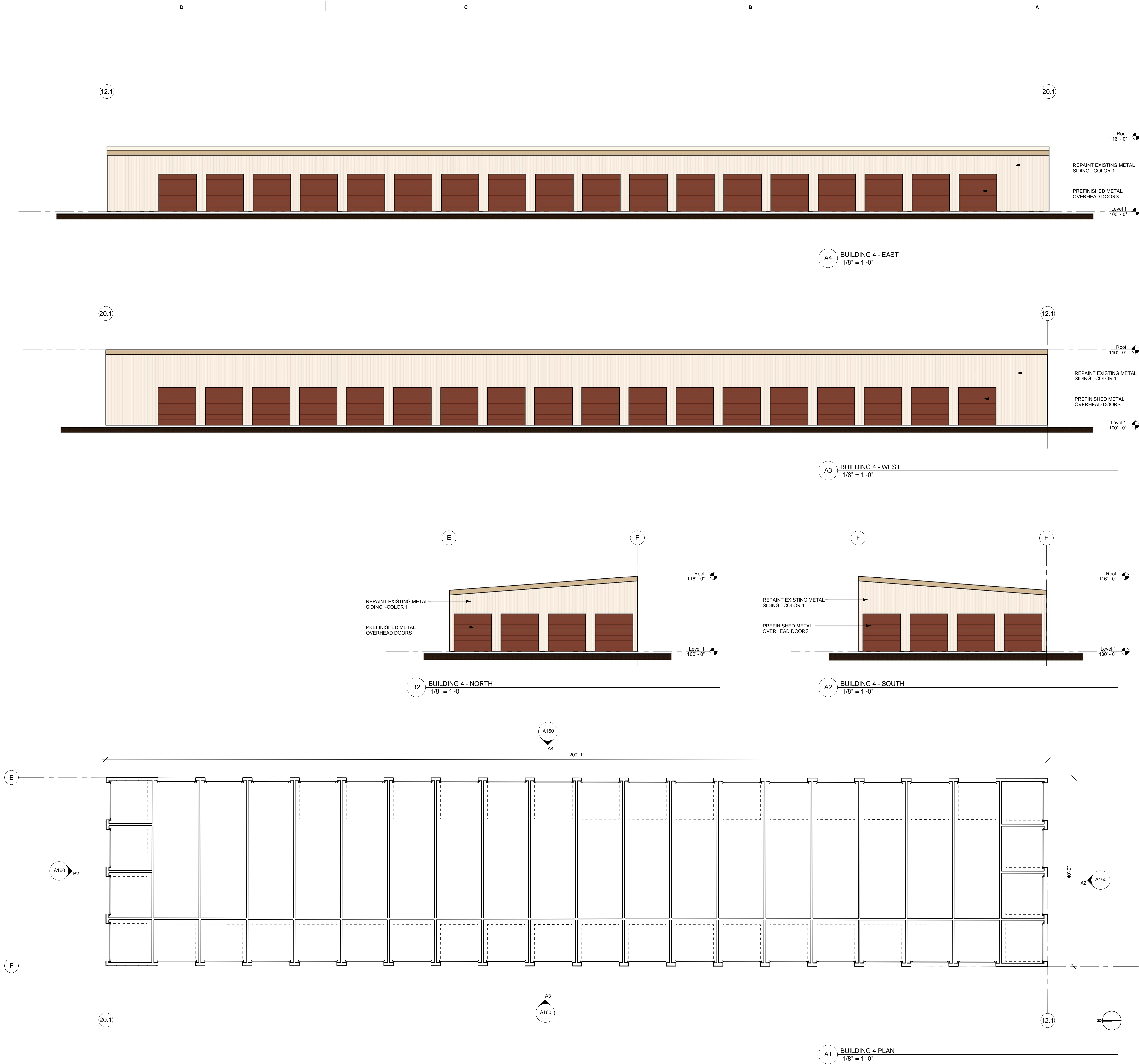
B2 BUILDING 3 - NORTH
1/8" = 1'-0"



A2 BUILDING 3 - SOUTH
1/8" = 1'-0"



A1 BUILDING 3 PLAN
1/8" = 1'-0"



Preliminary Site Development Plans

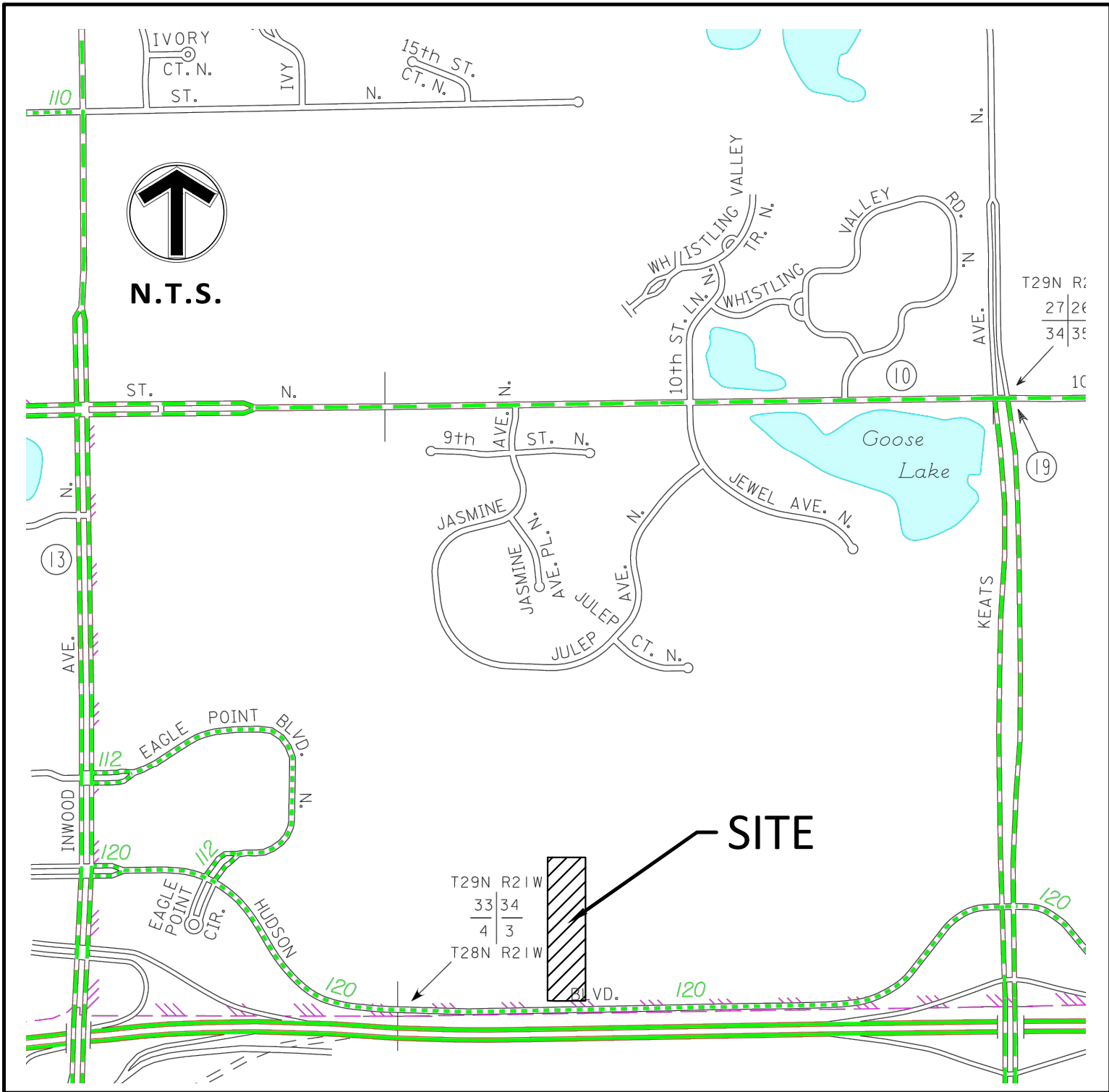
for

9200 Hudson Blvd Redevelopment

Lake Elmo, Minnesota

Presented by:

Wasatch Storage Partners



VICINITY MAP
NO SCALE

BENCHMARKS

- BM NO. 1

TOP NUT HYDRANT WEST OF EXISTING ENTRY.

ELEV.=990.64
- BM NO. 2

TOP NUT OF HYDRANT NEAR EAST PROPERTY LINE.

ELEV.=991.23

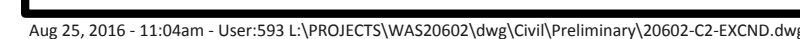
SHEET INDEX

SHEET	DESCRIPTION
C1.01	TITLE SHEET
C2.01	EXISTING CONDITIONS & TREE REMOVAL PLAN
C3.01	SITE PLAN
C3.02	FIRE TURNING EXHIBIT
C4.01	GRADING AND DRAINAGE PLAN
C4.02	CITY STANDARD GRADING & E'C NOTES
C6.01	UTILITY PLAN
L1.01	LANDSCAPE PLAN

*AN ALTA SURVEY DATED 8/25/2016, COMPLETED BY SAMBATEK, HAS BEEN INCLUDED.

131 S. 700 E, SUITE 102
AMERICAN FORK, UT 84003

Project No. WAS20602



Client
**WASATCH
STORAGE
PARTNERS**
131 S. 700 E, SUITE 102
AMERICAN FORK, UT 84003

Project
**9200 HUDSON
BLVD
REDEVELOPMENT**

Location
LAKE ELMO, MN

Certification

Summary

Designed: MGB Drawn: JMW
Approved: MCA Book / Page:
Phase: PRELIMINARY Initial Issued: 07/25/2016

Revision History

No.	Date	By	Submittal / Revision
7/25/2016			CUP APPLICATION
8/25/2016			REVISED CUP APPLICATION

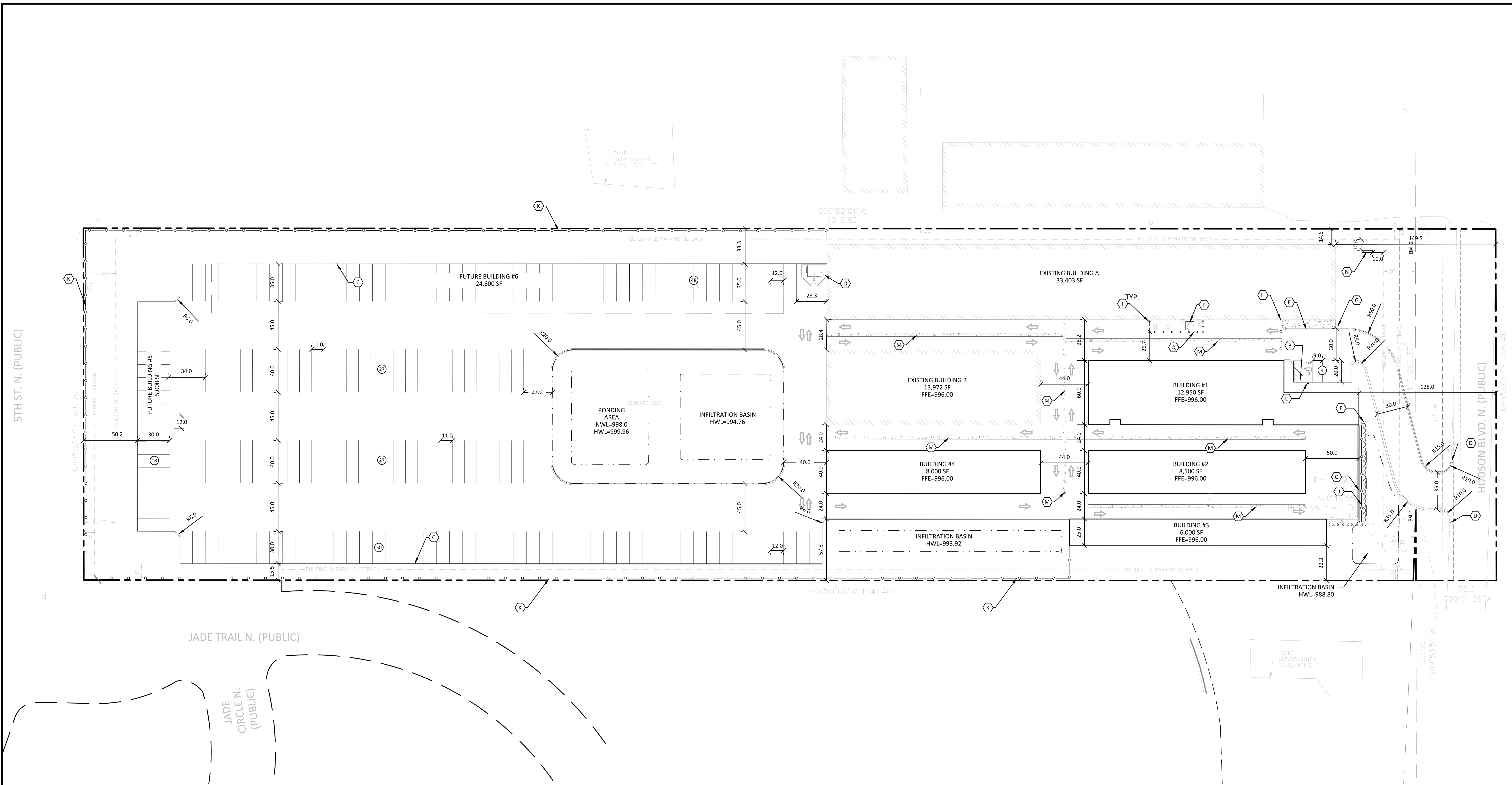
Sheet Title

SITE PLAN

Sheet No. Revision

C3.01

Project No. WAS20602



DEVELOPMENT NOTES

- ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "GUTTER OUT" WHERE WATER DRAINS AWAY FROM CURB. ALL OTHER AREAS SHALL BE CONSTRUCTED AS "GUTTER IN" CURB. COORDINATE WITH GRADING CONTRACTOR.
- ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
- ALL PARKING STALLS TO BE 9' IN WIDTH AND 20' IN LENGTH UNLESS OTHERWISE INDICATED.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- SEE ARCHITECTURAL PLANS FOR LIGHT POLE FOUNDATION DETAIL AND FOR EXACT LOCATIONS OF LIGHT POLE.
- ALL GRADIENTS ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 2.08% (1:48). THE MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS RLE SHALL BE 2.08% (1:48). THE CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS PAVEMENT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT AND COORDINATE WITH GRADING CONTRACTOR.
- "NO PARKING"/"FIRE LANE" SIGNS SHALL BE PLACED ALONG ALL DRIVEWAYS AS REQUIRED BY CITY.

KEY NOTES

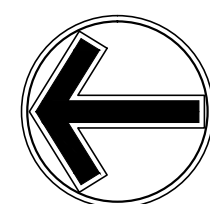
- BUILDING, STOOPS, STAIRS (SEE ARCHITECTURAL PLANS).
- BITUMINOUS CURB.
- B-612 CONCRETE CURB AND GUTTER.
- CONNECT TO EXISTING CURB.
- FLAT CURB SECTION.
- SEGMENTAL BLOCK RETAINING WALL (DESIGN BY OTHERS)
- NOSE DOWN CURB.
- ALUMINUM ENTRY GATE (DESIGN BY OTHERS)
- CONCRETE PIPE BOLLARD
- ALUMINUM FENCE (DESIGN BY OTHERS)
- VINYL COATED CHAIN LINK FENCE (DESIGN BY OTHERS)
- ACCESSIBLE SIGNAGE
- 3' WIDE CONCRETE VALLEY GUTTER
- PLYLON SIGN (DESIGN BY OTHERS)
- TRASH ENCLOSURE (DESIGN BY OTHERS)
- TRANSFORMER PAD (DESIGN BY OTHERS)
- OPAQUE MAINTENANCE FREE PANEL SCREENING FENCE

LEGEND

PROPOSED	EXISTING	STANDARD DUTY ASPHALT PAVING
PROPERTY LIMIT		
CURB & GUTTER		
EASEMENT		
BUILDING		
RETAINING WALL		
WETLAND LIMITS		
TREELINE		
SAWCUT LINE		
SIGN		
PIPE BOLLARD		
NUMBER OF PARKING STALLS PER ROW		
KEY NOTE		

DEVELOPMENT SUMMARY

AREA		
GROSS SITE AREA	408,645 SF	9.38 AC
IMPERVIOUS	287,060 SF	6.59 AC
PERVIOUS	121,585 SF	2.79 AC
BUILDING SETBACKS		
FRONT	30 FEET	
INTERIOR SIDE	10 FEET	
CORNER SIDE	25 FEET	
REAR	30 FEET	
REAR ACCESSORY BUILDING	10 FEET	
RESIDENTIAL ZONE (FROM ADJACENT LOT LINE)	50 FEET	
PARKING SETBACKS		
FRONT	15 FEET	
INTERIOR SIDE	10 FEET	
CORNER SIDE	15 FEET	
REAR	10 FEET	
RESIDENTIAL ZONE (FROM ADJACENT LOT LINE)	35 FEET	
ZONING		
EXISTING ZONING	COMMERCIAL	
PROPOSED ZONING	COMMERCIAL	
PARKING SUMMARY		
9' X 20' STALLS	5	
ACCESSIBLE STALLS	1	
RV PARKING STALLS	170	



0 40 80
SCALE IN FEET

Client
**WASATCH
STORAGE
PARTNERS**
131 S. 700 E, SUITE 102
AMERICAN FORK, UT 84003

Project
**9200 HUDSON
BLVD
REDEVELOPMENT**

Location
LAKE ELMO, MN

Certification

Summary

Designed: MGB Drawn: JMW
Approved: MCA Book / Page:
Phase: PRELIMINARY Initial Issued: 07/25/2016

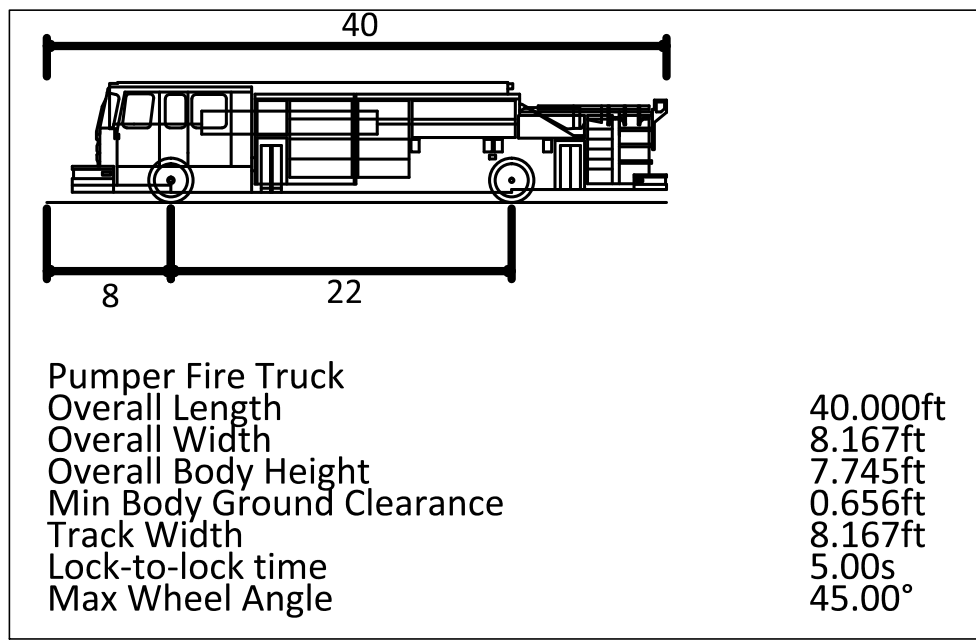
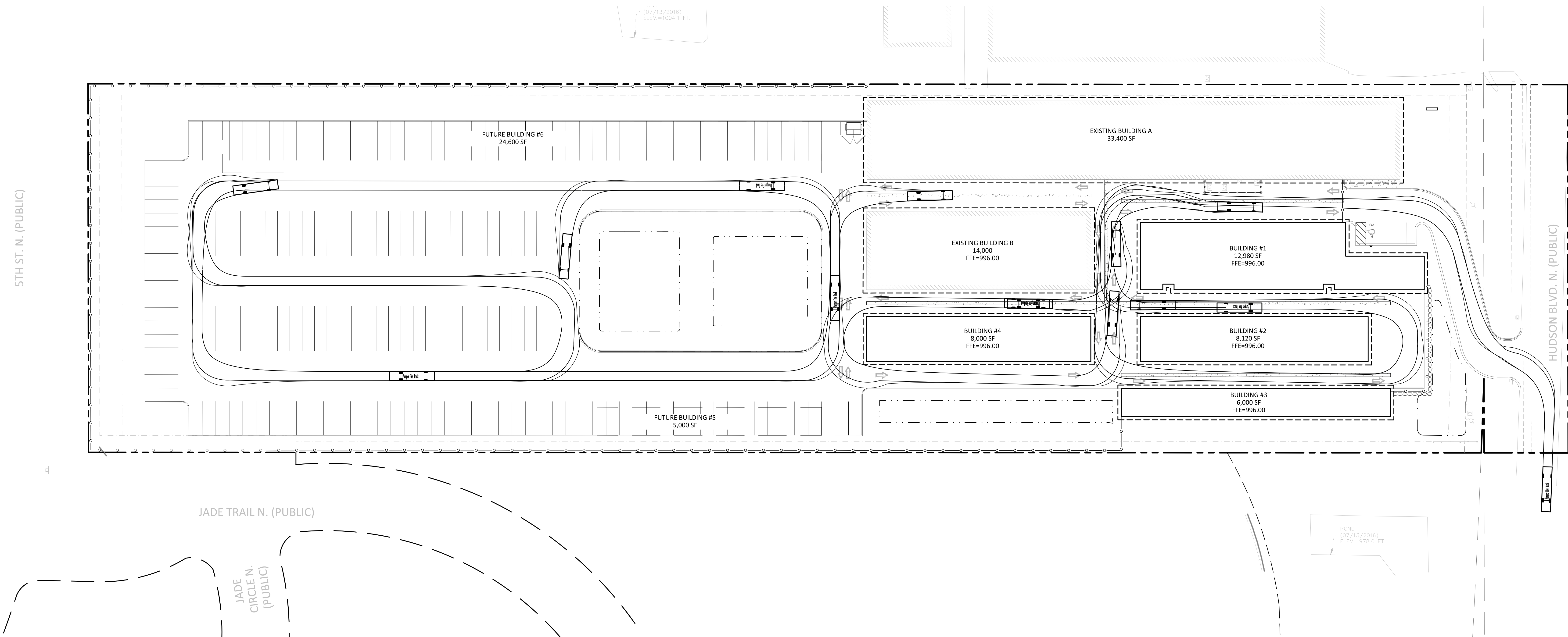
Revision History

No.	Date	By	Submittal / Revision
7/25/2016			CIP APPLICATION
8/17/2016			REVISED APPLICATION

Sheet Title
**FIRE TURNING
EXHIBIT**

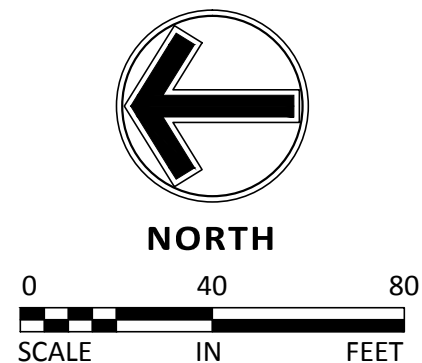
Sheet No. Revision
C3.02

Project No. WAS20602



LEGEND			
PROPERTY LIMIT	PROPOSED	EXISTING	
CURB & GUTTER			STANDARD DUTY ASPHALT PAVING
EASEMENT			HEAVY DUTY ASPHALT PAVING
BUILDING			CONCRETE PAVING
RETAINING WALL			
WETLAND LIMITS			
TREELINE			
SAWCUT LINE			
SIGN			
PIPE BOLLARD			
NUMBER OF PARKING STALLS PER ROW			
KEY NOTE			

DEVELOPMENT SUMMARY			
AREA			
GROSS SITE AREA	408,645 SF	9.38 AC	
IMPERVIOUS	287,060 SF	6.59 AC	
PERVIOUS	121,585 SF	2.79 AC	
BUILDING SETBACKS			
FRONT	30 FEET		
INTERIOR SIDE	10 FEET		
CORNER SIDE	25 FEET		
REAR	30 FEET		
REAR ACCESSORY BUILDING	10 FEET		
RESIDENTIAL ZONE (FROM ADJACENT LOT LINE)	50 FEET		
PARKING SETBACKS			
FRONT	15 FEET		
INTERIOR SIDE	10 FEET		
CORNER SIDE	15 FEET		
REAR	10 FEET		
RESIDENTIAL ZONE (FROM ADJACENT LOT LINE)	35 FEET		
ZONING			
EXISTING ZONING	COMMERCIAL		
PROPOSED ZONING	COMMERCIAL		
PARKING SUMMARY			
9' X 20' STALLS	5		
ACCESSIBLE STALLS	1		
RV PARKING STALLS	170		



Client

WASATCH STORAGE PARTNERS

131 S. 700 E, SUITE 102
AMERICAN FORK, UT 84003

Project

9200 HUDSON BLVD REDEVELOPMENT

Location

LAKE ELMO, MN

Certification

Summary

Designed: mgb Drawn: jmw

Approved: mca Book / Page:

Phase: PRELIMINARY Initial Issued: 07/25/2016

Revision History

No. Date By Submittal / Revision

7/25/2016	CLP APPLICATION
8/25/2016	REVISED CLP APPLICATION

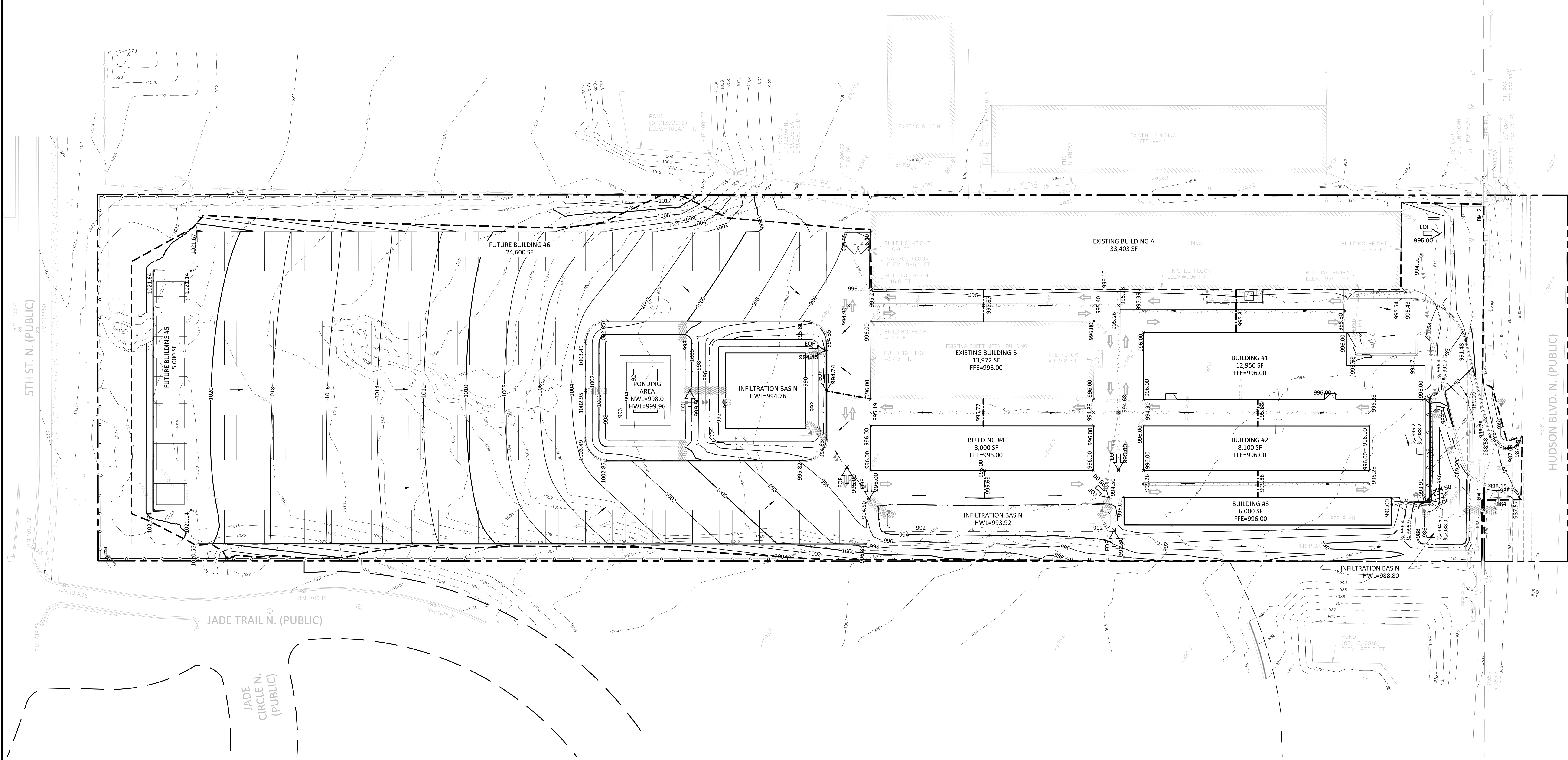
Sheet Title

GRADING AND DRAINAGE PLAN

Sheet No. Revision

C4.01

Project No. WAS20602



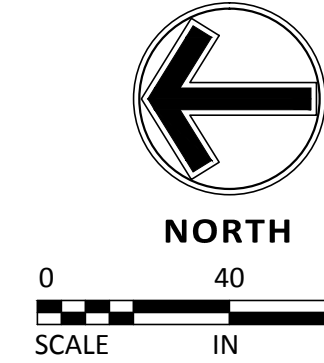
GRADING NOTES

- PROPOSED CONTOURS ARE TO FINISHED SURFACE ELEVATION. SPOT ELEVATIONS ALONG PROPOSED CURB DENOTE GUTTER GRADE.
 - CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "GUTTER OUT" WHERE WATER DRAINS AWAY FROM CURB. ALL OTHER AREAS SHALL BE CONSTRUCTED AS "GUTTER IN" CURB.
 - ALL GRADIENT ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 2.08% (1:48). MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS AISLE SHALL BE 2.08% (1:48). CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT. COORDINATE ALL WORK WITH PAVING CONTRACTOR.
 - CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
 - SAFETY NOTICE TO CONTRACTORS: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER OR THE DEVELOPER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON OR NEAR THE CONSTRUCTION SITE.
 - CONTRACTOR SHALL COMPLETE THE SITE GRADING CONSTRUCTION IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER'S SOILS ENGINEER. ALL SOIL TESTING SHALL BE COMPLETED BY THE OWNER'S SOILS ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOIL TESTS AND CONSULTING WITH THE SOILS ENGINEER.
- A GEOTECHNICAL ENGINEERING SOILS REPORT HAS BEEN COMPLETED BY:
- COMPANY: TERRACON
ADDRESS: 13400 15TH AVE N, PLYMOUTH, MN
PHONE: 763-489-3100
DATED: 7/21/2016
- CONTRACTOR SHALL OBTAIN A COPY OF THE SOILS REPORT.
- CONTRACTOR SHALL COMPLETE DETERAWERING AS REQUIRED TO COMPLETE THE SITE GRADING CONSTRUCTION.
 - PRIOR TO PLACEMENT OF THE AGGREGATE BASE, A TEST ROLL SHALL BE PERFORMED ON THE STREET AND PARKING AREA SUBGRADE. CONTRACTOR SHALL PROVIDE A LOADED RANDEN AREA TRUCK WITH A GROSS WEIGHT OF 25 TONS. THE TEST ROLLING SHALL BE AT THE DIRECTION OF THE SOILS ENGINEER AND SHALL BE COMPLETED IN AREAS AS DIRECTED BY THE SOILS ENGINEER. DIRECTION OF THE SUBGRADE SOILS SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER.
 - REPLACE ALL SUBGRADE SOIL DISTURBED DURING THE CONSTRUCTION THAT HAVE BECOME UNSUITABLE AND WILL NOT PASS A TEST ROLL. REMOVE UNSUITABLE SOIL FROM THE SITE AND IMPORT SUITABLE SOIL AT NO ADDITIONAL COST TO THE OWNER.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING VEHICULAR AND PEDESTRIAN TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS.
 - EXISTING TREES AND OTHER NATURAL VEGETATION WITHIN THE PROJECT AND/OR ADJACENT TO THE PROJECT ARE OF PRIME CONCERN TO THE CONTRACTOR'S OPERATIONS AND SHALL BE A RESTRICTED AREA. CONTRACTOR SHALL PROTECT TREES TO REMAIN AT ALL TIMES. EQUIPMENT SHALL NOT NECESSARILY BE OPERATED UNDER NEARBY TREES AND EXTREME CAUTION SHALL BE EXERCISED WHEN WORKING ADJACENT TO TREES. SHOULD ANY PORTION OF THE TREE BRANCHES REQUIRE REMOVAL TO PERMIT OPERATION OF THE CONTRACTOR'S EQUIPMENT, CONTRACTOR SHALL OBTAIN THE SERVICES OF A PROFESSIONAL TREE TRIMMING SERVICE TO TRIM THE TREES PRIOR TO THE BEGINNING OF OPERATION. SHOULD CONSTRUCTION RESULT IN THE BREAKING OF ANY LIMBS, THE REMOVAL OF THE LIMBS SHOULD BE REMOVED IMMEDIATELY AND CUTS SHALL BE PROPERLY PROTECTED TO MINIMIZE ANY LASTING DAMAGE TO THE TREE. NO TREES SHALL BE REMOVED WITHOUT AUTHORIZATION BY THE ENGINEER. COSTS FOR TRIMMING SERVICES SHALL BE CONSIDERED INCIDENTAL TO THE GRADING CONSTRUCTION AND NO SPECIAL PAYMENT WILL BE MADE.
 - 11.b. RESTRICTED AREAS SHALL INCLUDE ALL DESIGNATED TREE AREAS OUTSIDE OF THE DESIGNATED CONSTRUCTION ZONE. ALL VEGETATION WITHIN THE RESTRICTED AREAS SHALL REMAIN.

INFILTRATION BASIN CONSTRUCTION NOTES

- INFILTRATION BASIN CONSTRUCTION REQUIREMENTS:
(INCLUDES ALL DEVICES USING FILTRATION THROUGH A SOIL MEDIUM TO CAPTURE STORM WATER RUNOFF BUT ARE NOT LIMITED TO: INFILTRATION BASINS, INFILTRATION TRENCHES, INFILTRATION BASINS, RAINFALL GARDENS, SAND FILTERS, ORGANIC FILTERS, BIORETENTION AREAS, ENHANCED SWALES, DRY STORAGE PONDS WITH UNDERDRAIN DISCHARGE, AND NATURAL DEPRESSIONS (IF USED TO PROVIDE STORMWATER TREATMENT OF NEW IMPERVIOUS SURFACES))
- THE INFILTRATION BASIN SHALL BE EXCAVATED TO NO LOWER THAN 2.0 FEET ABOVE FINISHED GRADE DURING CONSTRUCTION WITH THE EXCEPTION OF INSTALLING THE INLET FLARED END SECTION (IF APPLICABLE). ONCE STREET AND UTILITY CONSTRUCTION CEASES AND "FINAL STABILIZATION" (AS DEFINED ACCORDING TO MINNEDOT CONSTRUCTION STORM WATER PERMIT SECTION IV.G) OF CONTRIBUTING DRAINAGE AREA HAS BEEN COMPLETED, AND ONLY AFTER THE OWNER'S ENGINEER AUTHORIZES CONTRACTOR TO PROCEED, INFILTRATION BASIN SHALL BE EXCAVATED TO FINISHED GRADE.
- HEAVY EQUIPMENT SHALL NOT TRAVEL WITHIN THE INFILTRATION BASIN AREA. EXCAVATION WITHIN THE INFILTRATION BASIN SHALL BE PERFORMED BY USE OF A BACKHOE BUCKET WITH TEETH. CONTRACTOR SHALL DISC OR RILL THE SOILS IF REQUIRED BY THE SOILS ENGINEER.
- INFILTRATION BASIN SHALL BE PROTECTED BY SILT FENCE DURING ALL CONSTRUCTION ACTIVITIES. ALL DEPOSITED SEDIMENT DURING CONSTRUCTION ACTIVITY SHALL BE PROPERLY DISPOSED OF DOWNSTREAM OF INFILTRATION BASIN, IF POSSIBLE.
- ALL FLARED END SECTION INLETS AND CATCH BASIN MANHOLE INLETS SHALL HAVE INLET EROSION CONTROL PLACED IN PLACE UNTIL FINAL STABILIZATION BASIN HAS OCCURRED.
- ABOVE THE INFILTRATION BASIN OUTLET ELEVATION, INCLUDING THE BERM AND DISTURBED AREAS, A MINIMUM OF 4" DEPTH OF TOPSOIL MATERIAL SHALL BE PLACED TO THE FINISHED GRADE ELEVATION. TOPSOIL SHALL MEET (MINNEDOT) SPECIFICATION. THE AREA SHALL BE SEED WITH MN STATE SEED MIXTURE 35-131 (LOW MAINTENANCE TURF) APPLIED AT A RATE OF 220 LBS/ACRE, OR MN STATE SEED MIXTURE 35-241 (MESIC PRAIRIE GENERAL) APPLIED AT A RATE OF 36.5 LBS/ACRE. SOO MEETING (MINNEDOT) SPECIFICATION 3878-2-B CAN BE SUBSTITUTED FOR SEED.
- SEED APPLICATION PROCEDURE:
MIXTURE APPLICATION PROCEDURES SHALL FOLLOW (MINNEDOT) SPECIFICATION 2575.3. SEED SHALL BE SECURED BY USE OF (MINNEDOT) SPECIFICATION 3885 CATEGORY 1 EROSION BLANKET.
- ABSENT A SOIL TEST, FERTILIZER MEETING ANALYSIS 22-5-10 (NPK) 80% W.I.N. SHALL BE APPLIED AT A RATE OF 35 LBS/ACRE FOR SEED MIXTURE 35-131, OR FERTILIZER WITH AN ANALYSIS OF 18-1-8 (NPK) FOR LOAMS, CLAY LOAM SOIL, OR 17-10-7 (NPK) FOR SANDS WITH LESS THAN 30% ORGANIC AND CLAY MATTER. NATURAL BASE SHALL BE APPLIED AT A RATE OF 15 LBS/ACRE FOR SEED MIXTURE 35-241.
- BELOW THE INFILTRATION BASIN OUTLET, INCLUDING BASIN FLOOR, PLACE PLANTING MEDIUM SOIL BASED ON - SITE SOIL CONDITIONS, AND ALSO BASED ON LANDSCAPE ARCHITECT, WATERFED, AND/OR CITY RECOMMENDATIONS (SEE DETAIL ON PLAN). DISTURBED AREAS TO BE SEED WITH MN STATE SEED MIXTURE 35-261 (STORMWATER SOUTH AND WEST) APPLIED AT A RATE OF 35 LBS/ACRE. DRAINILE INSTALLATION (IF REQUIRED) SHALL BE INSTALLED CONCURRENTLY WITH FLOOR CONSTRUCTION.
- NOTE: INFILTRATION BASIN FLOOR EXCAVATING, PLANTING MEDIUM SOIL PLACEMENT, DRAINILE INSTALLATION, ETC. SHALL TAKE PLACE ONLY AFTER THE OWNER'S ENGINEER AUTHORIZES CONTRACTOR TO PROCEED AND AFTER INFILTRATION BASIN SIDESLOPES (ABOVE OUTLET ELEVATION) HAVE UNDERGONE "FINAL STABILIZATION" WHICH INCLUDES FLUSHING OUT ACCUMULATED SILT AND SEDIMENT FROM CONTRIBUTING STORM SEWER. EXCAVATED BASIN MATERIAL SHALL BE DISPOSED OF DOWNSTREAM OF BASIN AREA, IF POSSIBLE, OR OFF-SITE.
- FILL PLACED WITHIN THE BUILDING PAD AREAS SHALL BE IN CONFORMANCE WITH HUD/FHA PROCEDURES AND DATA SHEET 790.
- RETAINING WALL(S) SHALL BE CONSTRUCTED OF MODULAR BLOCK. CONTRACTOR SHALL SUBMIT TO THE ENGINEER AND LOCAL AUTHORITY CERTIFIED ENGINEERING DRAWINGS, DESIGN CALCULATIONS AND SOIL BORINGS. THE CERTIFIED ENGINEER FOR THE RETAINING WALLS SHALL PROVIDE CONSTRUCTION OBSERVATIONS OF THE RETAINING WALL IMPROVEMENT, AND A LETTER CERTIFYING THE INSTALLATION OF THE WALL(S) WAS CONSTRUCTED IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.

**SEE SHEET C4.02 FOR CITY OF LAKE ELMO STANDARD PLAN NOTES FOR GRADING AND EROSION CONTROL



LEGEND

PROPOSED	EXISTING
PROPERTY LIMIT	
CURB & GUTTER	
STORM SEWER	
DRAINILE	
BUILDING	
RETAINING WALL	
WETLAND LIMITS	
TREELINE	
SPOT ELEVATION	
CONTOUR	
RIP RAP	
OVERFLOW ELEV.	
SOIL BORINGS	
GRADE BREAK	

Client

WASATCH
STORAGE
PARTNERS

131 S. 700 E, SUITE 102
AMERICAN FORK, UT 84003

Project

9200 HUDSON
BLVD
REDEVELOPMENT

Location

LAKE ELMO, MN

Certification

Summary

Designed: MGB Drawn: JMW
Approved: MCA Book / Page:
Phase: PRELIMINARY Initial Issued: 07/25/2016

Revision History

No.	Date	By	Submittal / Revision
7/25/2016			CLIP APPLICATION
8/25/2016			REVISED CLIP APPLICATION

Sheet Title

CITY STANDARD
GRADING & EC
NOTES

Sheet No. Revision

C4.02

Project No. WAS20602

1. THE CONTRACTOR SHALL CONDUCT OPERATIONS AND IMPLEMENT MINNESOTA POLLUTION CONTROL AGENCY (MPCA) BEST MANAGEMENT PRACTICES (BMP) TO CONTROL SITE SILTATION AND EROSION INTO DRAINAGE WAYS. THE CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS AND COMPLETION DATES RELATIVE TO ALL PERMITS ISSUED FOR THE WORK TO BE COMPLETED. THE ENGINEER MAY ISSUE A STOP WORK ORDER FOR ALL DEVELOPMENT WORK AND BUILDING CONSTRUCTION FOR NONCOMPLIANCE WITH THESE MEASURES.
2. SEQUENCING. ALL SILT FENCE AND OTHER EROSION CONTROL MEASURES SHALL BE IN PLACE AND APPROVED BY ENGINEER PRIOR TO ANY REMOVALS, EXCAVATION OR CONSTRUCTION AND SHALL BE MAINTAINED UNTIL VIABLE TURF OR GROUND COVER HAS BEEN ESTABLISHED AND APPROVED BY THE ENGINEER.
3. SILT FENCE. THE CONTRACTOR SHALL INSTALL SILT FENCE AT THE LOCATIONS SHOWN ON THE PLANS AND IN ACCORDANCE WITH THE CITY STANDARD DETAILS. SILT FENCE DAMS AND INTERIM SUMPS SHALL BE PLACED TO INTERCEPT SILT FROM CONCENTRATED RUNOFF FROM OPEN GRADED AREAS. ADDITIONAL SILT FENCE SHALL BE REQUIRED AS DIRECTED BY THE ENGINEER.
4. STOCKPILES. ALL STOCKPILE AREAS SHALL HAVE SILT FENCE OR SEDIMENT TRAPPING SYSTEMS PLACED AROUND THE ENTIRE PERIMETER.
5. INLET PROTECTION. THE CONTRACTOR SHALL INSTALL INLET PROTECTION ON ALL EXISTING STORM SEWER INLETS IN ACCORDANCE WITH THE CITY STANDARD DETAILS. INLET PROTECTION SHALL ALSO BE PROVIDED ON ALL PROPOSED STORM SEWER INLETS IMMEDIATELY FOLLOWING CONSTRUCTION OF THE INLET. INLET PROTECTION MUST BE INSTALLED IN A MANNER THAT WILL NOT IMPOUND WATER FOR EXTENDED PERIODS OF TIME OR IN A MANNER THAT PRESENTS A HAZARD TO VEHICULAR OR PEDESTRIAN TRAFFIC.
6. TEMPORARY SEDIMENT BASINS. THE CONTRACTOR SHALL INCORPORATE TEMPORARY SEDIMENT BASINS THROUGHOUT THE CONSTRUCTION SITE TO CAPTURE RUNOFF AND SLOW THE FLOW OF WATER AND ALLOW SEDIMENT TO SETTLE OUT. TEMPORARY SEDIMENT BASINS SHALL BE INSTALLED AS DIRECTED BY THE CITY ENGINEER.
7. ROCK CONSTRUCTION ENTRANCE. A ROCK ENTRANCE SHALL BE CONSTRUCTED AND MAINTAINED AS SHOWN ON THE PLAN TO REDUCE TRACKING OF SILT AND DIRT ONTO THE PUBLIC STREETS. A GEOTEXTILE FABRIC SHALL BE PLACED UNDERNEATH THE ROCK. THE ROCK SHALL BE PERIODICALLY REPLENISHED TO MAINTAIN THE INTENDED PERFORMANCE. MUD AND DEBRIS SHALL BE REMOVED OR SCRAPED FROM TIRES AND VEHICLE UNDERCARRIAGE PRIOR TO LEAVING THE SITE.
8. STREET SWEEPING. ALL STREETS USED FOR ACCESS TO THE SITE AND HAUL ROUTES USED FOR CONSTRUCTION EQUIPMENT AND MATERIAL SUPPLIES SHALL BE CLEANED AT THE END OF EACH WORKING DAY. THE CITY OR ENGINEER MAY ORDER ADDITIONAL SWEEPING OF THE STREETS AS DEEMED REQUIRED AT DEVELOPER/CONTRACTOR EXPENSE.
9. POSITIVE DRAINAGE AND PROTECTION. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE THROUGHOUT THE SITE AT ALL TIMES. LOW POINTS WITHIN AND ALONG ROADWAYS ARE EXPRESSLY PROHIBITED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DITCHES, PIPING OR OTHER MEANS TO FACILITATE PROPER DRAINAGE DURING CONSTRUCTION. TO PROTECT PREVIOUSLY GRADED AREAS FROM EROSION, WOOD FIBER BLANKET SHALL BE PLACED IMMEDIATELY ON STEEP SLOPES (1:3 OR GREATER) AND EMBANKMENTS, PERMANENT AND TEMPORARY PONDS, AND OUTLETS AND OVERFLOWS TO PROTECT THE COMPLETED GRADE AND MINIMIZE SILT IN THE RUNOFF.

STANDARD PLAN NOTES
GRADING AND EROSION CONTROL PLANS

FEBRUARY 2013



CITY OF LAKE ELMO

STANDARD DRAWING NO.

600A

LAKE ELMO

10. DRAINAGE DITCHES. THE NORMAL WETTED PERIMETER OF ANY TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE THAT DRAINS WATER FROM ANY PORTION OF THE CONSTRUCTION SITE, OR DIVERTS WATER AROUND THE SITE, MUST BE STABILIZED WITHIN 200 LINEAL FEET FROM THE PROPERTY EDGE, OR FROM THE POINT OF DISCHARGE INTO ANY SURFACE WATER. STABILIZATION OF THE LAST 200 LINEAL FEET MUST BE COMPLETED WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER. STABILIZATION OF THE REMAINING PORTIONS OF ANY TEMPORARY OR PERMANENT DITCHES OR SWALES MUST BE COMPLETE WITHIN 14 DAYS AFTER CONNECTING TO A SURFACE WATER AND CONSTRUCTION IN THAT PORTION OF THE DITCH HAS TEMPORARILY OR PERMANENTLY CEASED. TEMPORARY OR PERMANENT DITCHES OR SWALES THAT ARE BEING USED AS A SEDIMENT CONTAINMENT SYSTEM (WITH PROPERLY DESIGNED ROCK DITCH CHECKS, BIO ROLLS, SILT DIKES, ETC.) DO NOT NEED TO BE STABILIZED. THESE AREAS MUST BE STABILIZED WITHIN 24 HOURS AFTER NO LONGER BEING USED AS A SEDIMENT CONTAINMENT SYSTEM.
11. TURF ESTABLISHMENT. ALL EXPOSED SOIL AREAS MUST BE STABILIZED AS SOON AS POSSIBLE TO LIMIT SOIL EROSION BUT IN NO CASE LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
12. MAINTENANCE AND INSPECTION. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION AND UNTIL SATISFACTORY ESTABLISHMENT OF PERMANENT GROUND COVER IS OBTAINED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, AND STORMWATER OUTFALLS MUST BE BE INSPECTED WEEKLY, AND WITHIN 24 HOURS OF THE SITE RECEIVING 0.5 INCHES OF RAIN. REPAIRS MUST BE MADE ON THE SAME DAY OR FOLLOWING DAY OF THE INSPECTION. UNSATISFACTORY CONDITIONS NOT REPAIRED OR CLEANED UP WITHIN 48-HOURS OF NOTIFICATION SHALL RESULT IN A STOP WORK ORDER, AND/OR SAID WORK SHALL BE COMPLETED AT CONTRACTOR'S EXPENSE.
13. REMOVAL. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TEMPORARY EROSION CONTROL MEASURES, STRUCTURES AND DEVICES ONLY AFTER RECEIVING ENGINEER APPROVAL. ALL DEBRIS, STAKES, AND SILTS ALONG SILT FENCES SHALL BE REMOVED AND DISPOSED OFF SITE. THE CONTRACTOR SHALL HAND RAKE SILTED AREAS ALONG THE FENCE LOCATIONS TO PROVIDE A SMOOTH FINAL GRADE AND SHALL RESTORE THE GROUND SURFACE WITH SEED OR SOD, AS REQUIRED, TO MATCH THE FINISHED GRADE TO THE ADJACENT AREA.
14. FINAL STORM SEWER SYSTEM. AT THE COMPLETION OF THE WORK AND BEFORE THE FINAL WALK THROUGH, THE CONTRACTOR SHALL REMOVE STORM SEWER INLET PROTECTION MEASURES AND THOROUGHLY FLUSH THE STORM SEWER SYSTEM. SEDIMENT AND DEBRIS SHALL BE COMPLETELY REMOVED AND CLEANED AT THE INLETS, OUTLETS, AND DOWNSTREAM OF EACH OUTLET. RIPRAP AND GEOTEXTILE FABRIC MAY REQUIRE REPLACEMENT AS DIRECTED BY THE ENGINEER TO OBTAIN A LIKE NEW INSTALLATION ACCEPTABLE TO THE CITY.
15. DITCH CHECK (BIOROLL BLANKET SYSTEM). BIOROLL AND BLANKET SYSTEMS SHALL BE INSTALLED AS DITCH CHECKS ONLY IN SPECIFIED LOCATIONS AS APPROVED BY THE CITY ENGINEER. BIOROLLS ARE NOT TO BE UTILIZED IN AREAS WHERE VEHICLE AND CONSTRUCTION TRAFFIC OCCUR.

STANDARD PLAN NOTES
GRADING AND EROSION CONTOL PLANS

FEBRUARY 2013



CITY OF LAKE ELMO

STANDARD DRAWING NO.

600B

LAKE ELMO

16. FLOTATION SILT CURTAIN. FLOTATION SILT CURTAIN SHALL BE UTILIZED WHEN CONSTRUCTION ACTIVITIES OCCUR DIRECTLY ADJACENT TO LAKES, STREAMS OR WETLANDS IN ORDER TO CONTAIN SEDIMENTS NEAR THE BANKS OF WORKING AREAS. THE INSTALLATION OF FLOTATION SILT CURTAINS WILL BE REQUIRED AS DIRECTED BY THE CITY ENGINEER.
17. CONCRETE WASHOUT ONSITE. ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER THAT DOES NOT ALLOW WASHOUT LIQUIDS TO ENTER GROUND WATER IS CONSIDERED AN IMPERMEABLE LINER. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA REGULATIONS. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.

STANDARD PLAN NOTES
GRADING AND EROSION CONTOL PLANS

FEBRUARY 2013



CITY OF LAKE ELMO

STANDARD DRAWING NO.

600C

LAKE ELMO

Client

**WASATCH
STORAGE
PARTNERS**

131 S. 700 E, SUITE 102
AMERICAN FORK, UT 84003

Project

**9200 HUDSON
BLVD
REDEVELOPMENT**

Location

LAKE ELMO, MN

Certification

Summary

Designed: MGB Drawn: JMW

Approved: MCA Book / Page:

Phase: PRELIMINARY Initial Issued: 07/25/2016

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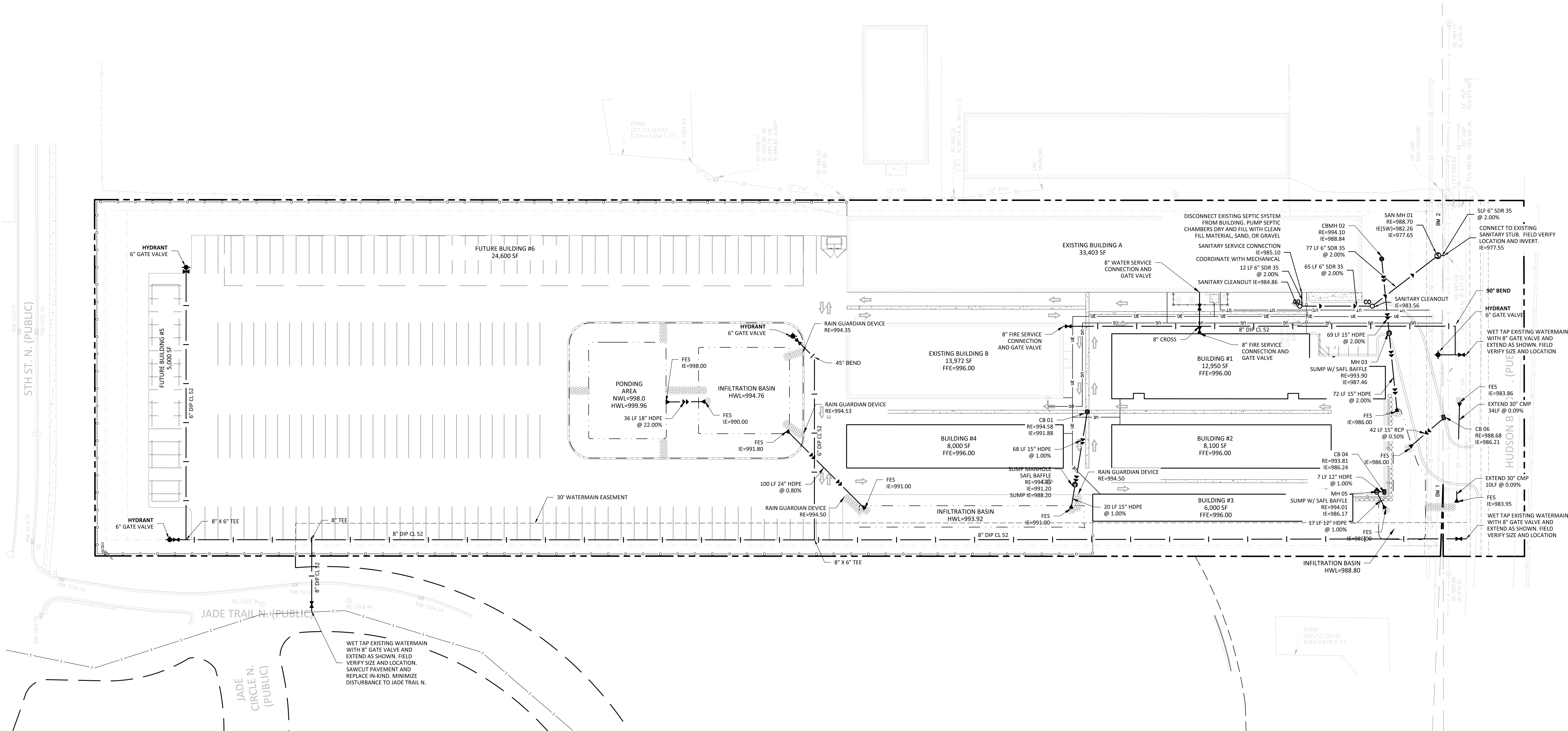
Sheet Title

UTILITY PLAN

Sheet No. Revision

C6.01

Project No. WAS20602



UTILITY CONSTRUCTION NOTES

- THE UTILITY IMPROVEMENTS FOR THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "STANDARD UTILITIES SPECIFICATIONS" AS PUBLISHED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), EXCEPT AS MODIFIED HEREIN. CONTRACTOR SHALL OBTAIN A COPY OF THESE SPECIFICATIONS.
 - ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY REQUIREMENTS.
 - CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP WATERMAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE THE LIABILITY OF CONTRACTOR.
 - A MINIMUM VERTICAL SEPARATION OF 18 INCHES AND HORIZONTAL SEPARATION OF 10 FEET BETWEEN OUTSIDE PIPE DIAMETERS IS REQUIRED AT ALL WATERMAIN AND SEWER MAIN (BUILDING, STORM AND SANITARY) CROSSINGS.
- ALL MATERIALS SHALL BE AS SPECIFIED IN CEAM SPECIFICATIONS EXCEPT AS MODIFIED HEREIN.
 - ALL MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY.
 - ALL SANITARY SEWER TO BE PVC SDR-35, UNLESS NOTED OTHERWISE.
 - ALL SANITARY SEWER SERVICES TO BUILDING SHALL BE PVC SCH 40 CONFORMING TO ASTM D2665.
 - ALL WATERMAIN TO BE DUCTILE IRON - CLASS 52, UNLESS NOTED OTHERWISE.
 - ALL WATERMAIN TO HAVE 7.5- FEET OF COVER OVER TOP OF WATERMAIN.
 - PROVIDE THRUST BLOCKING AND MECHANICAL JOINT RESTRAINTS ON ALL WATERMAIN JOINTS PER CITY STANDARDS.
 - ALL STORM SEWER PIPE TO BE SMOOTH INTERIOR DUAL WALL HDPE PIPE WITH WATER TIGHT GASKETS, UNLESS NOTED OTHERWISE.
 - ALL STORM SEWER PIPE FOR ROOF DRAIN SERVICES TO BUILDING SHALL BE PVC SCH 40 CONFORMING TO ASTM D2665.
 - RIP RAP SHALL BE Mn/DOT CLASS 3.
- COORDINATE ALL BUILDING SERVICE CONNECTION LOCATIONS AND INVERT ELEVATIONS WITH MECHANICAL CONTRACTOR PRIOR TO CONSTRUCTION.
- ALL BUILDING SERVICE CONNECTIONS (STORM, SANITARY, WATER) WITH FIVE FEET OR LESS COVER ARE TO BE INSULATED FROM BUILDING TO POINT WHERE 5- FEET OF COVER IS ACHIEVED.
- CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- SAFETY NOTICE TO CONTRACTORS: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE

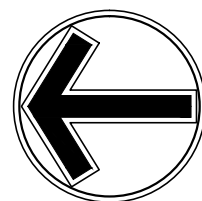
LEGEND

PROPOSED	EXISTING
CURB & GUTTER	
STORM SEWER	
SANITARY SEWER	
FORCEMAIN (SAN.)	
WATERMAIN	
EASEMENT	
DRAINTILE	
GAS LINE	
ELECTRIC	
TELEPHONE	

- ENGINEER OR THE DEVELOPER TO CONDUCT CONSTRUCTION REVIEW OF CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF CONTRACTOR'S SAFETY MEASURES IN, ON OR NEAR THE CONSTRUCTION SITE.
- ALL AREAS OUTSIDE THE PROPERTY BOUNDARIES THAT ARE DISTURBED BY UTILITY CONSTRUCTION SHALL BE RESTORED IN KIND. SODDED AREAS SHALL BE RESTORED WITH 6 INCHES OF TOPSOIL PLACED BENEATH THE SOD.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS.
 - ALL SOILS TESTING SHALL BE COMPLETED BY AN INDEPENDENT SOILS ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE SOILS ENGINEER. THE UTILITY BACKFILL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE SOILS ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND SOIL INSPECTIONS WITH THE SOILS ENGINEER.
- A GEOTECHNICAL ENGINEERING REPORT HAS BEEN COMPLETED BY:
- COMPANY: TERRACON
ADDRESS: 13400 15TH AVE N PLYMOUTH, MN
PHONE: (763) 489-3100
DATED: 7/21/2016
- CONTRACTOR SHALL OBTAIN A COPY OF THIS SOILS REPORT.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR MANHOLE AND CATCH BASIN STRUCTURES TO ENGINEER. CONTRACTOR SHALL ALLOW 5 WORKING DAYS FOR SHOP DRAWING REVIEW.
 - CONTRACTOR AND MATERIAL SUPPLIER SHALL DETERMINE THE MINIMUM DIAMETER REQUIRED FOR EACH STORM SEWER STRUCTURE.
 - ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS AND SERVICE LINES TO BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY PROVIDERS. CONTRACTOR SHALL PROVIDE CARRIER CONDUITS FOR GAS, ELECTRIC AND TELEPHONE CROSSINGS AT PUBLIC STREETS AND DRIVEWAY LOCATIONS.
 - GAS ENTRY WITH GAS METER: CONTRACTOR RESPONSIBLE FOR INSTALLING PIPE BOLLARD PROTECTION AT METER. CONTRACTOR SHALL COORDINATE WITH GAS COMPANY FOR TYING OF INDIVIDUAL METER.
 - PROPOSED LOCATION OF TRANSFORMER PAD: CONTRACTOR TO VERIFY EXACT LOCATION AND SIZE WITH POWER COMPANY PRIOR TO INSTALLATION. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF CONCRETE PAD, CONDUIT, AND PIPE BOLLARDS AS REQUIRED BY THE ELECTRIC COMPANY. CONTRACTOR SHALL COORDINATE SAID WORK WITH THE ELECTRIC COMPANY.
 - WATERMAIN WITHIN 30' EASEMENT TO BE PUBLICLY OWNED AND MAINTAINED. ALL OTHER WATERMAIN TO BE PRIVATELY OWNED AND MAINTAINED.

LEGEND

PROPOSED	EXISTING
CURB & GUTTER	
STORM SEWER	
SANITARY SEWER	
FORCEMAIN (SAN.)	
WATERMAIN	
EASEMENT	
DRAINTILE	
GAS LINE	
ELECTRIC	
TELEPHONE	



NORTH
0 40 80
SCALE IN FEET

Client

**WASATCH
STORAGE
PARTNERS**

131 S. 700 E, SUITE 102
AMERICAN FORK, UT 84003

Project

**9200 HUDSON
BLVD
REDEVELOPMENT**

Location

LAKE ELMO, MN

Certification

Summary

Designed: jmm Drawn: jmm

Approved: jmm Book / Page:

Phase: PRELIMINARY Initial Issued: 07/25/2016

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7/25/2016 CUP APPLICATION
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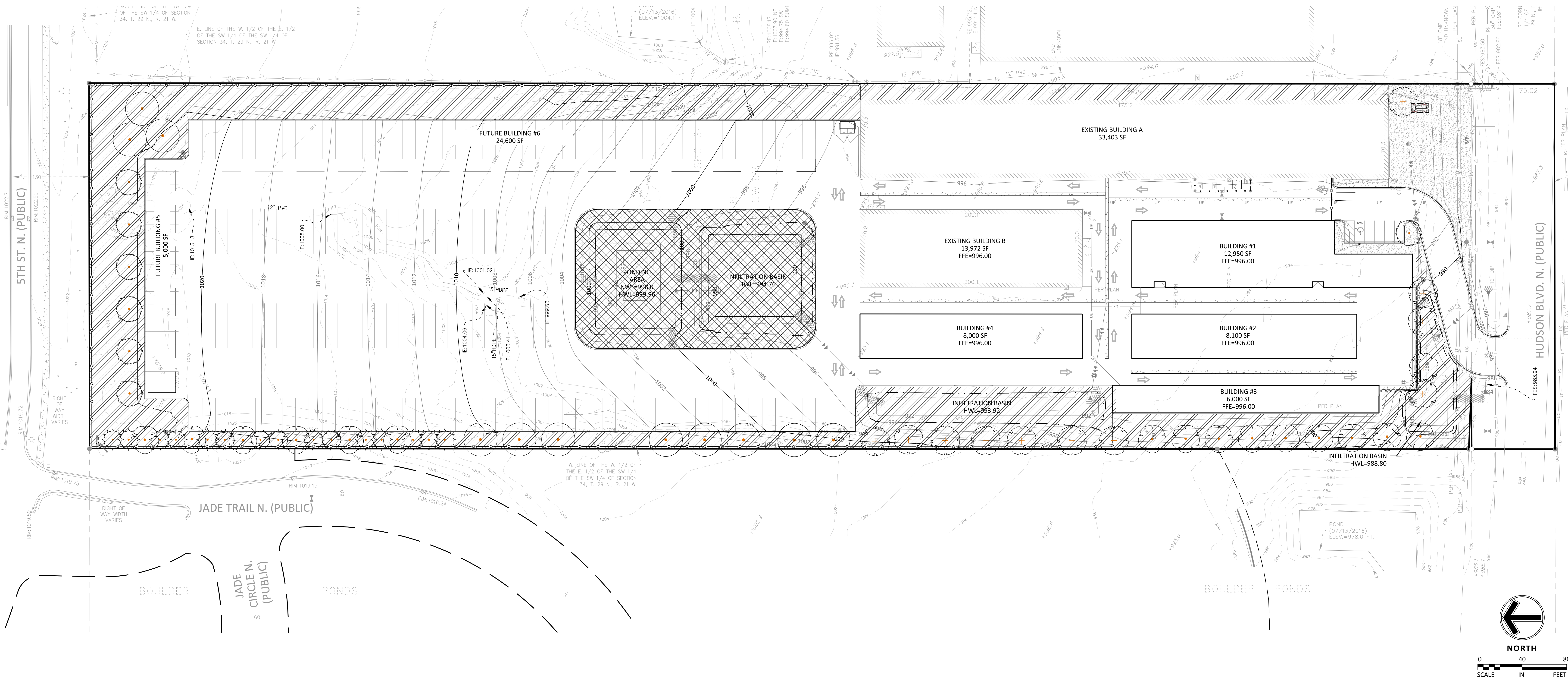
Sheet Title

**LANDSCAPE
PLAN**

Sheet No. Revision

L1.01

Project No. WAS20602



PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
	SG	Acer freemanii / Sienna Glen / Sienna Glen Maple	B & B	2.5" Cal		11
	HB	Celtis occidentalis / Common Hackberry	B & B	2.5" Cal		15
	SO	Quercus bicolor / Swamp White Oak	B & B	2.5" Cal		12
	PE	Ulmus americana / Princeton / American Elm	B & B	2.5" Cal		7
CONIFERS	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
	NS	Picea abies / Norway Spruce	B & B	6"		5
	BS	Picea glauca densata / Black Hills Spruce	B & B	6"		10
PERENNIALS	CODE	BOTANICAL NAME / COMMON NAME	CONT			QTY
	RRD	Hemerocallis x 'Rosy Returns' / Daylily	1 gal			20
GROUND COVERS	CODE	BOTANICAL NAME / COMMON NAME	QTY			
	TUR MN2	Turf Seed MN 25-131 / Low Maintenance Turf	84,126 sf			
	TUR MN	Turf Seed MN 33-361 / Stormwater Basin Seed Mix	26,659 sf			
	TUR HIG	Turf Sod Highland Sod / Sod	9,906 sf			

CITY LANDSCAPE CODE

- 1 TREE PER 50 LF OF STREET FRONTAGE
- MINIMUM OF 5 TREES PLANTED/ ACRE OF DISTURBED AREA
- MUST SCREEN RESIDENTIAL AREAS AT A HEIGHT OF 4'
- CONIFERS MUST BE AT LEAST 25% OF TREE TOTAL

TOTAL STREET FRONTAGE: 328.44 LF= 6.57 TREES

TOTAL DISTURBED AREA: 7.66 ACRES = 38.3 TREES

TREE PRESERVATION NOTES

- 30% OF DIAMETER INCHES OF SIGNIFICANT TREES MAY BE REMOVED WITHOUT REPLACEMENT
- COMMON TREES SHALL BE REPLACED AT A RATE OF 1/3 THE INCHES REMOVED.

TREES TO BE REMOVED:

BOXELDER- 345 INCHES
COTTONWOOD- 60 INCHES
POPLAR- 187 INCHES

TOTAL INCHES REMOVED: 592 INCHES

TOTAL INCHES SUBJECT TO REPLACEMENT: 414.4 INCHES

TOTAL INCHES TO REPLACE: 103.6 INCHES

TOTAL INCHES PROPOSED: 160.5 INCHES

NOTES

GENERAL NOTES:

- THE CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF THE WORK.
- THE CONTRACTOR SHALL VERIFY PLAN LAYOUT AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN OR INTENT OF THE LAYOUT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS, AND PERMITS GOVERNING THE WORK.
- THE CONTRACTOR SHALL PROTECT EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION. DAMAGE TO SAME SHALL BE REPAIRED AND/OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- LOCATE AND VERIFY ALL UTILITIES, INCLUDING IRRIGATION LINES, WITH THE OWNER FOR PROPRIETARY UTILITIES AND Gopher State One Call 48 HOURS BEFORE DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ANY DAMAGES TO SAME. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS TO FACILITATE PLANT RELOCATION.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.
- THE CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.
- THE PLAN TAKES PRECEDENCE OVER THE LANDSCAPE LEGEND IF DISCREPANCIES EXIST. QUANTITIES SHOWN IN THE PLANTING SCHEDULE ARE FOR THE CONTRACTOR'S CONVENIENCE. CONTRACTOR TO VERIFY QUANTITIES SHOWN ON THE PLAN.
- THE SPECIFICATIONS TAKE PRECEDENCE OVER THE PLANTING NOTES AND GENERAL NOTES.
- EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED TO THE DRIP LINE FROM ALL CONSTRUCTION TRAFFIC, STORAGE OF MATERIALS ETC. WITH 4" HT. ORANGE PLASTIC SAFETY FENCING ADEQUATELY SUPPORTED BY STEEL FENCE POSTS 6' O.C. MAXIMUM SPACING.
- LONG-TERM STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE ALLOWED.
- CONTRACTOR SHALL REQUEST IN WRITING, A FINAL ACCEPTANCE INSPECTION.

PLANTING NOTES:

- NO PLANTS SHALL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- A GRANULAR PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANT BEDS AT THE MANUFACTURER'S RECOMMENDED RATE PRIOR TO PLANT INSTALLATION.
- ALL PLANTING STOCK SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK," ANSI-Z60, LATEST EDITION, OF THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIALS.
- OVERSTORY TREES SHALL BEGIN BRANCHING NO LOWER THAN 6' ABOVE PAVED SURFACES.
- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE AND BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE LANDSCAPE LEGEND.
- PLANT MATERIALS TO BE INSTALLED PER PLANTING DETAILS.
- ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY BEFORE, DURING, OR AFTER INSTALLATION.
- NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE ACCEPTED UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
- ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
- MULCH: SHREDED HARDWOOD MULCH, CLEAN AND FREE OF NOXIOUS WEEDS OR OTHER DELETERIOUS MATERIAL. IN ALL MASS PLANTING BEDS AND FOR TREES, UNLESS INDICATED AS ROCK MULCH ON DRAWINGS. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT PRIOR TO DELIVERY ON-SITE FOR APPROVAL. DELIVER MULCH ON DAY OF INSTALLATION. USE 4" FOR SHRUB BEDS, AND 3" FOR PERENNIAL/GROUND COVER BEDS, UNLESS OTHERWISE DIRECTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MULCHES AND PLANTING SOIL QUANTITIES TO COMPLETE THE WORK SHOWN ON THE PLAN.
- USE ANTI-DESICCANT (WILTTRUF OR APPROVED EQUAL) ON DECIDUOUS PLANTS MOVED IN LEAF AND FOR EVERGREENS MOVED ANYTIME. APPLY AS PER MANUFACTURER'S INSTRUCTION. ALL EVERGREENS SHALL BE SPRAYED IN THE LATE FALL FOR WINTER PROTECTION DURING WARRANTY PERIOD.
- PLANTING SOIL FOR TREES, SHRUBS AND GROUND COVERS: FERTILE FRABLE LOAM CONTAINING A LIBERAL AMOUNT (4% MIN.) OF HUMUS AND CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. IT SHALL COMPLY WITH MNDOT SPECIFICATION 3877 TYPE B SELECT TOPSOIL MIXTURE. SHALL BE FREE FROM HARDPACK SUBSOIL, STONES, CHEMICALS, NOXIOUS WEEDS, ETC. SOIL MIXTURE SHALL HAVE A PH BETWEEN 6.1 AND 7.5 AND 10-0-10 FERTILIZER AT THE RATE OF 3 POUNDS PER CUBIC YARD. IN PLANTING BEDS INCORPORATE THIS MIXTURE THROUGHOUT THE ENTIRE BED IN A 6" LAYER AND ROTO-TILLING IT INTO THE TOP 12" OF SOIL AT A 1:1 RATIO. ANY PLANT STOCK NOT PLANTED ON DAY OF DELIVERY SHALL BE HELED IN AND WATERED UNTIL INSTALLATION. PLANTS NOT MAINTAINED IN THIS MANNER WILL BE REJECTED.
- ALL PLANTS SHALL BE GUARANTEED FOR TWO COMPLETE GROWING SEASONS (APRIL 1 - NOVEMBER 1), UNLESS OTHERWISE SPECIFIED. THE GUARANTEE SHALL COVER THE FULL COST OF REPLACEMENT INCLUDING LABOR AND PLANTS.
- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 3 DAYS PRIOR TO PLANNED DELIVERY. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 24 HOURS IN ADVANCE OF BEGINNING PLANT INSTALLATION.
- SEASONS/TIME OF PLANTING AND SEEDING: NOTE: THE CONTRACTOR MAY ELECT TO PLANT IN OFF-SEASONS ENTIRELY AT HIS/HER RISK. DECIDUOUS
17.1. POTTED PLANTS: 4/1 - 6/1; 9/21 - 11/1
17.2. DECIDUOUS B&B: 4/1 - 6/1; 9/21 - 11/1
17.3. EVERGREEN POTTED PLANTS: 4/1 - 6/1; 9/21 - 11/1
17.4. EVERGREEN B&B: 4/1 - 5/1; 9/21 - 11/1
17.5. TURF/LAWN SEEDING: 4/1 - 6/1; 7/20 - 9/20
17.6. NATIVE MIX SEEDING: 4/1 - 7/20; 9/20-10/20
18. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PORTION OF THE WORK IS IN PLACE. PLANT MATERIAL SHALL BE PROTECTED AND MAINTAINED UNTIL THE INSTALLATION OF THE PLANTS IS COMPLETE. INSPECTION HAS BEEN MADE, AND PLANTINGS ARE ACCEPTED EXCLUSIVE OF THE GUARANTEE. MAINTENANCE SHALL INCLUDE WATERING, CULTIVATING, MULCHING, REMOVAL OF DEAD MATERIALS, RE-SITTING PLANTS TO PROPER GRADE AND KEEPING PLANTS IN A PLUMB POSITION. AFTER ACCEPTANCE, THE OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES. HOWEVER, THE CONTRACTOR SHALL CONTINUE TO BE RESPONSIBLE FOR KEEPING THE TREES PLUMB THROUGHOUT THE GUARANTEE PERIOD.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFLATES PRIOR TO TOTAL ACCEPTANCE OF THE WORK SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL LANDSCAPE LEGEND SPECIFICATIONS.
- WATERING: MAINTAIN A WATERING SCHEDULE WHICH WILL THOROUGHLY WATER ALL PLANTS ONCE A WEEK. IN EXTREMELY HOT, DRY WEATHER, WATER MORE OFTEN AS REQUIRED BY INDICATIONS OF HEAT STRESS SUCH AS WILTING LEAVES. CHECK MOISTURE UNDER MULCH PRIOR TO WATERING TO DETERMINE NEED. CONTRACTOR SHALL MAKE THE NECESSARY ARRANGEMENTS FOR WATER.

TURF NOTES:

- TURF ESTABLISHMENT SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROVISIONS OF THE MNDOT 2105 AND 2575 EXCEPT AS MODIFIED BELOW.
- ALL AREAS TO RECEIVE SOD SHALL ALSO RECEIVE 4" OF TOPSOIL PRIOR TO INSTALLING SOD. TOPSOIL SHALL BE FREE OF TREE ROOTS, STUMPS, BUILDING MATERIAL, AND TRASH, AND SHALL BE FREE OF STONES LARGER THAN 1 1/2" INCHES IN ANY DIMENSION.
 - WHERE SOD ADJUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
 - SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, SOD SHALL BE STAKED SECURELY.
 - ALL DISTURBED AREAS TO BE TURF SEED, ARE TO RECEIVE 4" TOP SOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. FOR SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES INSTALL EROSION CONTROL BLANKET.
 - ALL DISTURBED AREAS TO RECEIVE NATIVE SEED, ARE TO RECEIVE PLANTING SOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. FOR SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES INSTALL EROSION CONTROL BLANKET.

1 TREE PLANTING DETAIL

UNDISTURBED SUBGRADE
36" RADIUS MULCH RING
12" HARDWARE CLOTH MESH CYLINDER, 6" DIA OR GREATER X 36" HT. STAKE IN PLACE
INSTALL TREE WITH ROOT FLARE VISIBLE AT TOP OF THE ROOT BALL. REMOVE SOIL IN LEVEL MANNER FROM TOP OF ROOT BALL TO EXPOSE 1ST 12" OR LARGER MAIN ORDER ROOT IF NEEDED. SET ROOT BALL WITH MAIN ORDER ROOT 1" ABOVE ADJACENT GRADE. DO NOT COVER TOP OF ROOT BALL WITH SOIL.
PLACE NO MULCH IN CONTACT WITH TREE TRUNK.
REMOVE BURLAP, TWINE, ROPE AND WIRE FROM TOP HALF OF ROOT BALL.
BUILD 4" HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL.
EDGE CONDITION VARIES
PLACE ROOT BALL ON UNDISTURBED OR COMPACTED SOIL.
SCARIFY SERIES OF TREE PIT WITH SPADE BY HAND TO BIND WITH PREPARED SOIL.
PLANTING SOIL, REFER TO SPECIFICATIONS, COMPACT TO 85% OF MAX. DRY UNIT WEIGHT ACCORDING TO ASTM D 1586.
TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT
DIP PLANTING PIT 4" TO 6" DEEPER THAN ROOT BALL
NTS



**City of Lake Elmo
Planning Commission Meeting
Minutes of September 26, 2016**

Chairman Kreimer called to order the meeting of the Lake Elmo Planning Commission at 7:00 p.m.

COMMISSIONERS PRESENT: Fields, Dodson, Dunn, Larson, Griffin, Kreimer, and Lundquist

COMMISSIONERS ABSENT: Haggard, Williams

STAFF PRESENT: Planning Director Wensman

Approve Agenda:

An amendment was suggested to add getting some information on Minnesota Administration rule 6120 that was brought up at the last City Council meeting.

M/S/P: Fields/Dodson, move to approve the Agenda as amended, ***Vote: 7-0, motion carried Unanimously.***

Approve Minutes: September 12, 2016

M/S/P: Fields/Dodson, move to approve the September 12, 2016 minutes as amended, ***Vote: 7-0, motion carried.***

Public Hearing – Conditional Use Permit – Wasatch Storage

Wenman started his presentation for a conditional use permit for a self-storage facility and exterior vehicle storage for the property located at 9200 Hudson Boulevard in the Commercial Zoning District, PID 34.029.21.33.0005. Wensman went through the existing site conditions. Lamperts and Boulder Ponds borders this property. They are proposing 4 new buildings and 170 spaces for RV's with 2 proposed future buildings. They are proposing security of fencing, gate keypad and security cameras. There will be 4 handicap accessible spaces. There will be 2-3 employees at a time. Office hours would be 8:30a-6:30p. Wensman went over the tree preservation requirements and the proposed landscape plan. There are 10 additional parking lot trees required. The proposal does meet setback requirements. There was some concern regarding the setback for Boulder Ponds, but the setback requirement is met. The parking stalls proposed meets the requirements and dimensional standards.

The buildings do meet the setback and height requirements. They are subject to the City's design guidelines and standards manual. Wensman went through the proposed fencing and signage proposed and what is required. The lighting plan meets the city lighting standards. The maximum impervious surface requirement is met. 70.25% is proposed with the City maximum being 75%. They need to meet all of the City standards for Drainage and Stormwater and meet the engineer comments for revisions. There are some required easements for hydrants and connections for City Standards. There might be a conflict for future buildings. They demonstrated that they meet requirements for emergency services, but they need additional fire hydrants.

Wensman stated that the 12 required findings for approval of a conditional use permit are all met. There were no comments received. Staff is recommending approval of the CUP subject to 17 staff recommended conditions.

Dodson asked about potential berming and choice of trees along the North boundary. Wensman stated that is the intent with the requested changes to the landscape plan. Dodson asked about REC counts. Wensman stated that the REC count comes from MET Council and there are probably not a lot of REC's with this application.

Dodson asked about the storage ponds and if they could be moved to one of the borders to provide more of a screening. Wensman stated that the back of the site is like a bowl and the ponds would not be able to be moved. Griffin asked if the SWWS has looked at this proposal. Wensman stated that he has no confirmation that they have looked at it.

Dodson is wondering if the Planning Commission has latitude to decide if the design meets what is acceptable to the city. Wensman stated that the Commission has the ability to enforce the design standards.

Kreimer asked if our design standards included recommended fence material. Wensman stated that in the front, the fence is compliant, but in the back it is not necessary as no one sees it.

Larson asked if there were any similar uses in the City. Wensman stated that the only other self storage is a small 12 unit facility in the Village area. Wensman stated that this is a fairly restrictive site as it is long and narrow.

Scott Wyckoff, Wasatch Storage, said they took the previous comments regarding screening, parapet height, etc. into consideration. Wyckoff showed aerial photos and street level photos showing the landscaping. Wyckoff showed pictures of buildings incorporating suggestions from the Planning Commission.

Public Hearing opened at 7:40 pm

There were no other written or electronic comments received

Public hearing closed at 7:40 pm

Fields thinks the applicant has done a nice job for this type of use. However, we have very limited area for commercial and this is along 94. Commercial property is the primary resource to bring in employment and lower the residential property tax burden. Fields feels this development makes a very limited contribution to the City in terms of employment or tax base. He is concerned that if this development goes in, it will set the standard for lower value uses for other developments coming forward in the vicinity.

Dodson is persuaded by the argument made by Commissioner Fields and struggles with the aesthetics of this project. Dunn stated it is an improvement to what is there now, however, this is our prime commercial district. She struggles with this being a good fit and the scope of it is so huge. She is not real excited about it. Lundquist does not believe that if it meets the zoning, that they can vote against it just because they want something better. Larson stated that this property has been available and no business has come forward. This is a difficult site and from a standpoint of other businesses, it will not be visible. This will serve the community and he would like to support it because it is an improvement and they will meet the recommendations.

Dunn asked Wensman to explain the differences between permitted and conditional uses. Wensman stated that it is conditional to give the City some discretion in the use of the land. It provides safeguards to the City. Fields asked if he was saying that approving a CUP is not discretionary. Wensman stated that with a CUP, you can put conditions on it to make it more acceptable, but if they are willing to meet those things, it should be granted. Kreimer stated that they were told a number of years ago that they are not tasked with fiscal impact and employment. They are tasked with if it meets the code. The Planning Commission is not responsible to make a project viable, but are tasked with making sure it meets the code. Dodson stated that he would like to see the building look more like a farm building to be more aesthetically pleasing. Kreimer pointed out that it is in the middle of the other buildings.

Dunn would like to add to condition #5 that they should try to save as many of the mature healthy trees as possible. Wensman stated that the trees on the site are not of high value species and the City does not go out of their way to save them.

M/S/P: Lundquist/Larson, move to recommend approval of the CUP for a self storage facility and Outdoor Vehicle Storage for the property located at 9200 Hudson Blvd North subject to the 12 findings of fact and 17 conditions of approval, ***Vote: 5-2, motion carried, with Dunn and Dodson voting no.***

Fields stated that they have limited ability to deny based on financial and employment issues, so he will have to support it.

Dodson feels that it does not meet the design standards. Wensman stated that they do meet the basics of the standards, while there could be room for improvement. Kreimer would like to see a little more enhancement on the front, but feels they are meeting the requirements. Dunn wanted to make sure that the SWWD looked at this project and this site for the runoff.

Public Hearing – Interim Use Permit – Common Ground Church

Wensman started his presentation regarding an interim use permit for the keeping of horses in the public facility zoning district. The Church had an interim use permit that expired at the end of 2011, and it has not been renewed since. There are 4 acres identified for the pasture of the horses. Staff is recommending approval with 6 conditions, including the date for termination for December 31, 2026.

Dawn Oswald, applicant, stated that they have been able to serve many different groups including teen challenge, Willow Health and other adult groups.

Griffin asked what they do with the manure. Oswald stated that they compost it back into the ground. Griffin stated that Washington Conservation district has plans that people can get for composting sites and there are sanitation services that will come and get the manure.

Rolf is wondering if there are ever cooperative events where other horses are brought in. Oswald stated that they have not. She stated that they are foster horses and they like to have 2. They have an electric fence that is powered by solar.

Public Hearing opened at 8:22 pm

Bob Taverna, 10174 Stillwater Lane, this is the first notice that they have received. He is concerned that when they come to work with the horses, they are parking on the road by the stop sign. He would like them to put class five on the other side of the gate to get the cars off of the road. With school buses, etc. it is very tight when they are parking on the road. The back yard of the church is his front yard. If they could make it a little more pleasant, he would appreciate it. Where the horses are, is actually supposed to be a retention pond and now the water can't get across Kelvin and is backing up behind the Church.

There were no other written or electronic comments received

Public Hearing closed at 8:30 pm

Dodson is wondering about the gate being on the corner. Is there any chance that the gate could be moved? Oswald stated that it was the flattest part of the property to put