

SATHRE-BERGQUIST, INC.

150 SOUTH BROADWAY, WAYZATA, MINNESOTA,
55391 (952) 476-6000 FAX (952) 476-0104

Date: February 26, 2019

Subject: Legacy at North Star 2nd Addition – 74 Lots – Final Plat Narrative

Prepared For: GWSA LAND DEVELOPMENT, LLC.

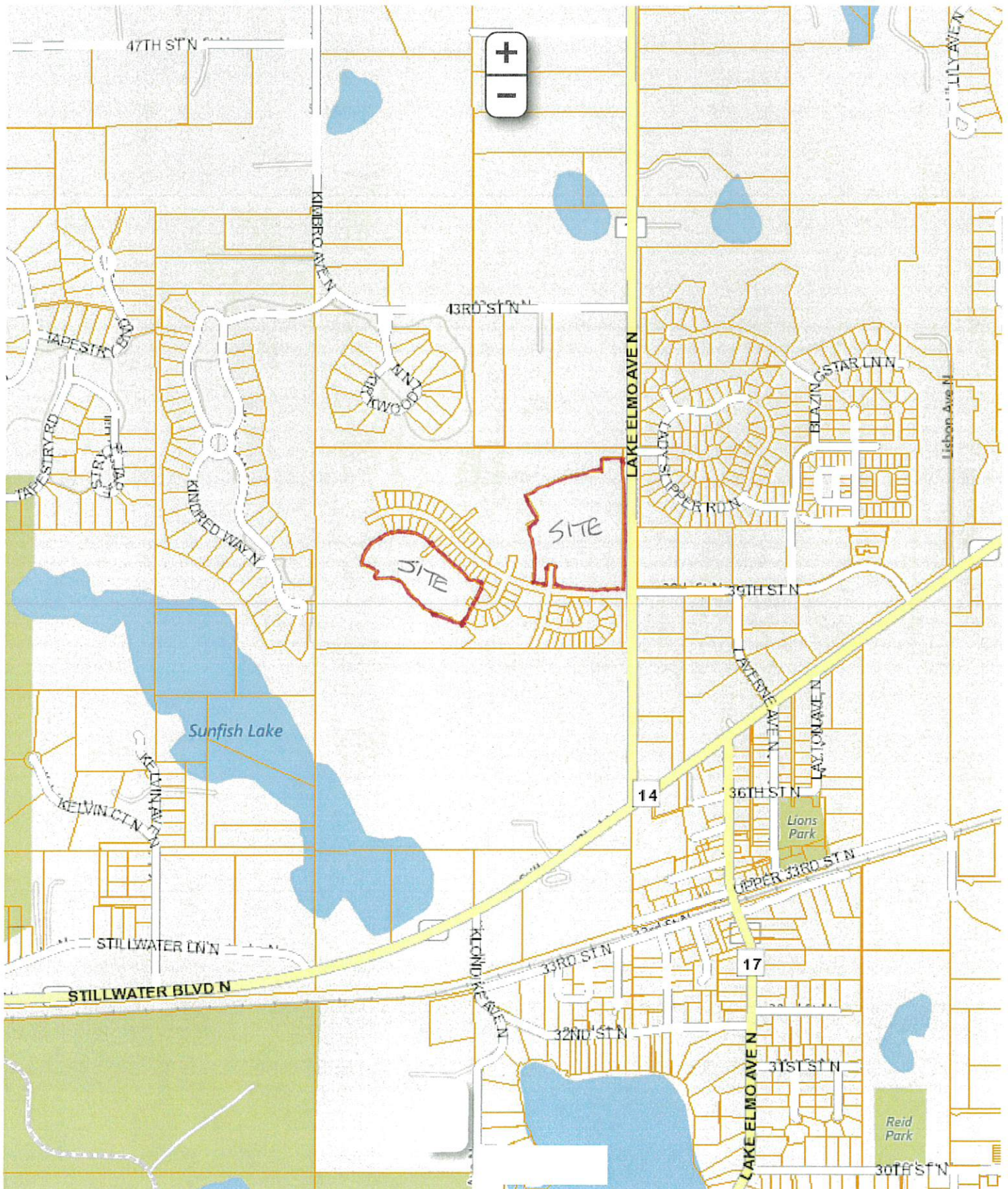
Contact: Craig Allen

Narrative:

The proposed final plat for Legacy at North Star 2nd Addition will consist of 74 single family residential lots. The 2nd addition area was platted as 76 lots however Block 1 and Block 4 now consist of 8 lots as builders are wanting larger lots and 2 lots have been removed to accommodate. The site is located to the west of Lake Elmo Ave and north of Stillwater Boulevard. The site is a total of +/- 22.8 Acres. (Please see the final plat application package). The project is proposed as PUD zoning.

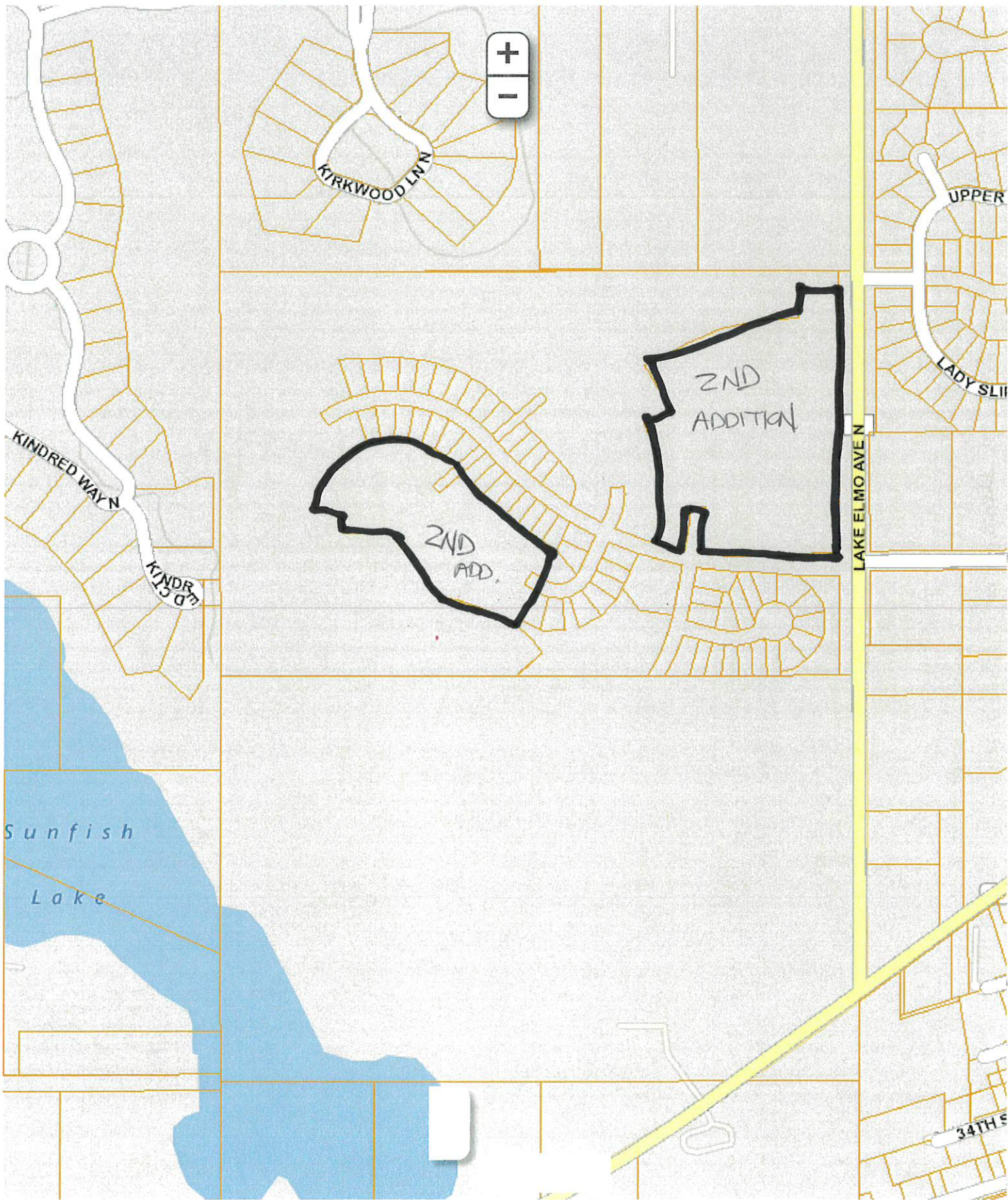


Property Viewer





Property Viewer



LEGACY AT NORTH STAR 2ND ADDITION

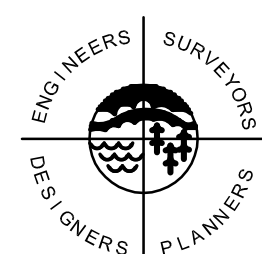
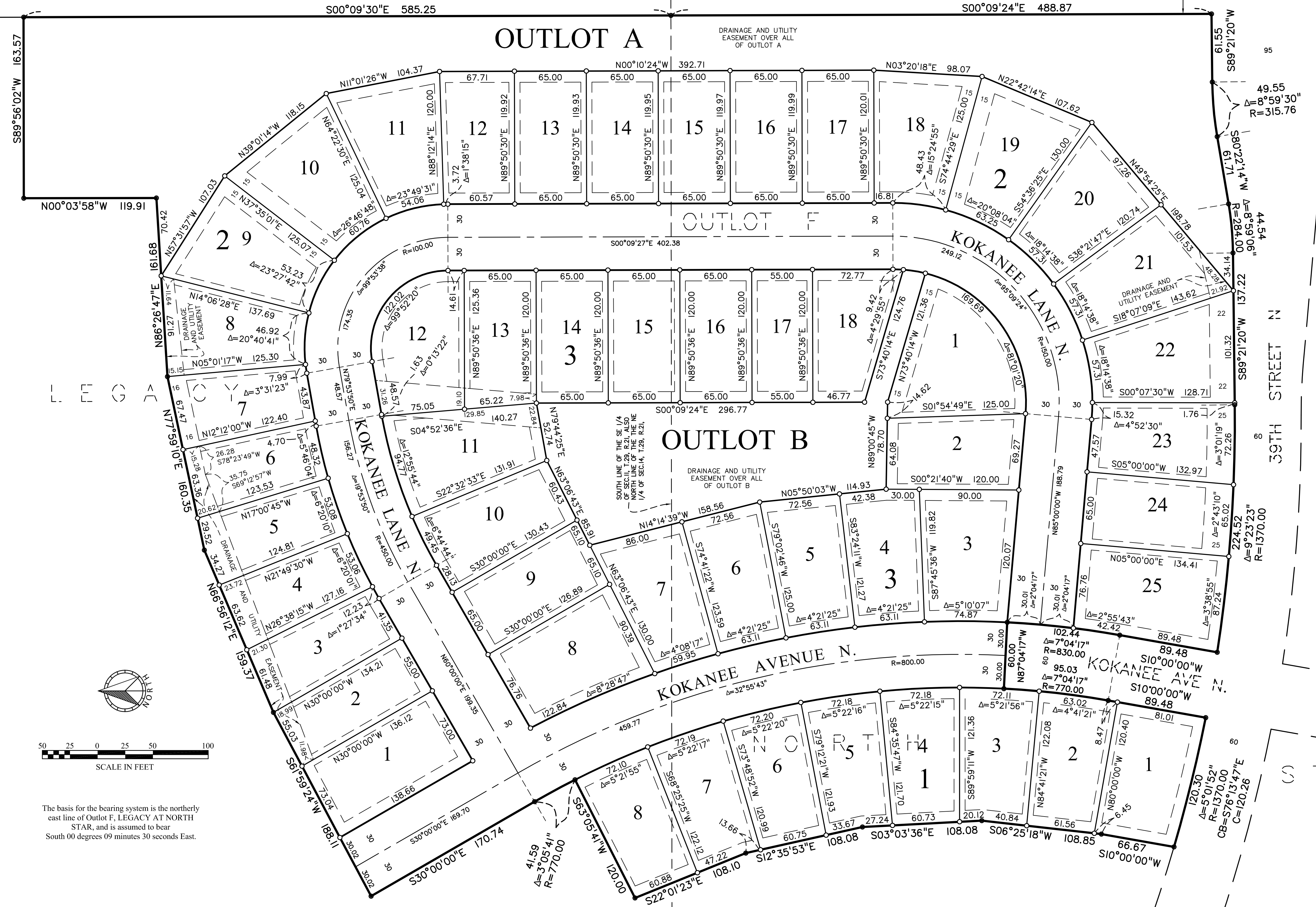
BROOKMAN 3RD ADDITION

41ST STREET N.

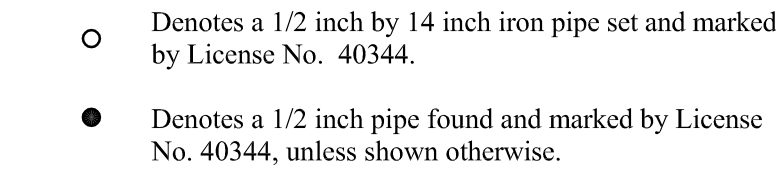
39TH STREET N.

LAKE ELMO AVENUE N.

(C.S.A.H. NO. 17)



SATHRE-BERGQUIST, INC.



NOT TO SCALE

The basis for the bearing system is the northerly east line of Outlot F, LEGACY AT NORTH STAR, and is assumed to bear South 00 degrees 09 minutes 30 seconds East.

(See Sheet 2 of 3 Sheets)

415

LAKE ELMO AVENUE N.

(C.S.AH. NO. 17)

OUTLOT F

DRAINAGE AND UTILITY
EASEMENT OVER ALL
OF OUTLOT F

OUTLOT E

DRAINAGE AND UTILITY
EASEMENT OVER ALL
OF OUTLOT E

OUTLOT G

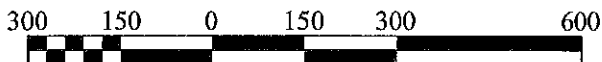
DRAINAGE AND UTILITY
EASEMENT OVER ALL
OF OUTLOT G

Easement Area To Be Vacated



EASEMENT VACATION DESCRIPTION

A drainage and utility easement over all of Outlot E, Outlot F and Outlot G, LEGACY AT NORTH STAR, according to the recorded plat thereof, Washington County, Minnesota.



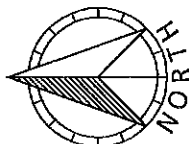
SCALE IN FEET

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 31st day of October, 2018.

SATHRE-BERGQUIST, INC.

Jared J. Averbeck
Jared J. Averbeck, PLS
javerbeck@sathre.com
Minnesota License No. 53642



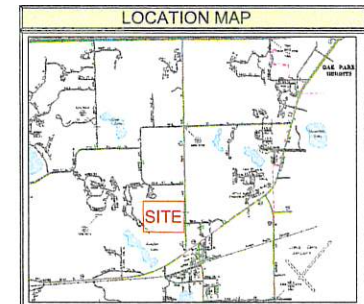
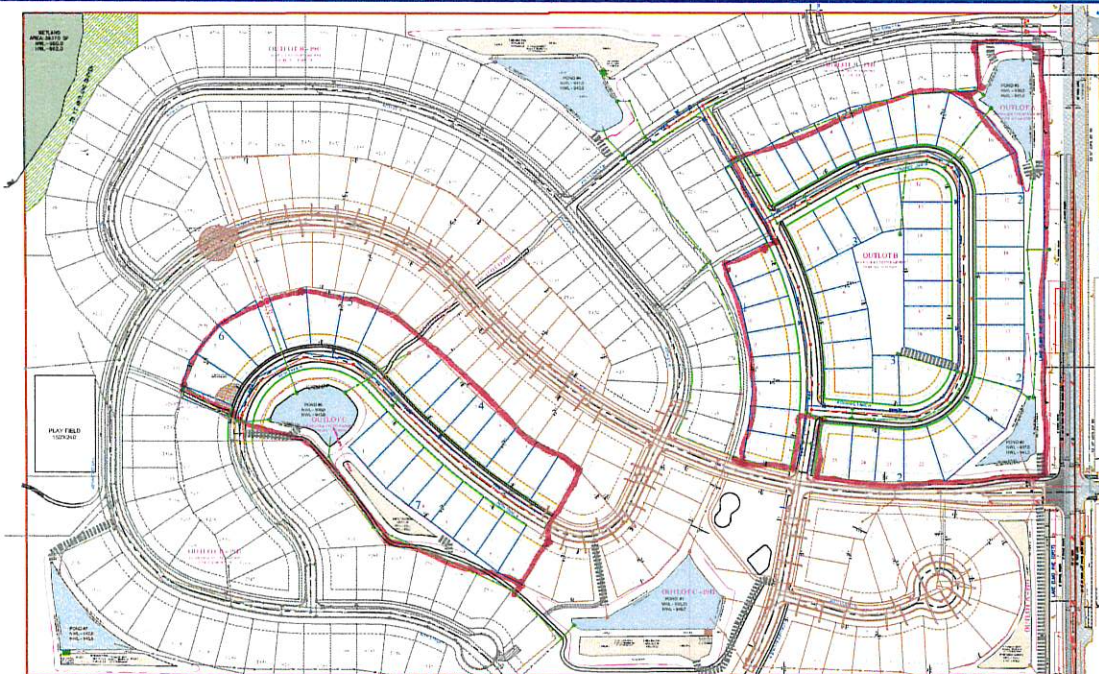
SATHRE-BERGQUIST, INC.

150 South Broadway Ave.
Wayzata, MN. 55391
(952) 476-6000 www.sathre.com

Easement Vacation Exhibit
Prepared For
GWSA Land Development, LLC

Date: 10/31/18	Revision Date: 02/27/19
Prepared By: JJA	Check By:
Layout Sheet:	
Project Number: 3120-047-200	

1/1



SHEETS INDEX TABLE	
SHEET	DESCRIPTION
1	TITLE SHEET
2	OUTLOT MAP
3-5	FINAL SIGNAGE/LIGHTING/STRIPING PLAN
6-9	FINAL STREET PLANS
10-14	FINAL SANITARY & WATERMAIN PLAN
15-21	FINAL STORM PLAN
22	FINAL GRADING PLAN
23-26	FINAL EROSION CONTROL PLAN
27	PHASE 2 - PHASING PLAN
28-31	DETAILS

PREPARED BY	PREPARED FOR
ENGINEER SATHRE-BERGQUIST, INC. 150 SOUTH BROADWAY WAYZATA, MINNESOTA 55391 PHONE: (652) 476-6000 FAX: (652) 476-6100 CONTACT: ROBERT S. MCKINLEY, P.E. EMAIL: RMCKINLEY@SATHRE.COM	DEVELOPER GWSA LAND DEVELOPMENT, LLC 1085 OLD COUNTY RD 15 SUITE 200 PLUMCROFT, MN 55441 CONTACT: JEFFREY ELLER PHONE: (652) 276-4473 EMAIL: JELLER@GWSADEVELOPMENT.COM

OUTLOT OWNERSHIP	
OUTLOT	OWNER
A	CITY
B	CITY
C	CITY
D	HOA - DRAINAGE & UTILITY EASEMENT OVER ENTIRE OUTLOT
E	HOA - DRAINAGE & UTILITY EASEMENT OVER ENTIRE OUTLOT
A - PH1	CITY
B - PH1	SCHILTZEN FAMILY - DRAINAGE & UTILITY EASEMENT OVER ENTIRE OUTLOT
C - PH1	CITY
D - PH1	HOA - DRAINAGE & UTILITY EASEMENT OVER ENTIRE OUTLOT
E - PH1	HOA - DRAINAGE & UTILITY EASEMENT OVER ENTIRE OUTLOT

DENOTES PERMANENT DRAINAGE & UTILITY EASEMENT

DENOTES TEMPORARY DRAINAGE EASEMENT

LEGACY AT NORTHSTAR 2ND ADDITION STREET AND UTILITY IMPROVEMENTS

PERMANENT ROADWAY EASEMENT

EXISTING ROADWAY EASEMENT

FINAL BUILD OUT

PUD CONCEPT PLAN

Zoning - PUD
 Fysb - 25 ft
 Sysb - 15 ft (Total)
 Rysb - 20 ft
 Corner Lot - 20 ft
 60' Row - 28' B-B Streets

50'65" VILLA - 73
 (55'65" x +/- 140')

57' SINGLE FAMILY - 44
 (57' x +/- 120')

65' SINGLE FAMILY - 147
 (65' x +/- 130')

TOTAL UNITS - 254

PHASE 2 BUILD OUT

PUD CONCEPT PLAN

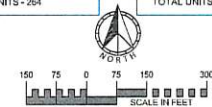
Zoning - PUD
 Fysb - 25 ft
 Sysb - 15 ft (Total)
 Rysb - 20 ft
 Corner Lot - 20 ft
 60' Row - 28' B-B Streets

50'65" VILLA - 43
 (55'65" x +/- 140')

57' SINGLE FAMILY - 0
 (57' x +/- 120')

55'65" SINGLE FAMILY - 31
 (65' x +/- 130')

TOTAL UNITS - 74



EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

DRAWING NAME	NO.	BY	DATE	REVISIONS	USE (INCLUDING COPYING, DISTRIBUTION, AND/OR CONVEYANCE OF INFORMATION) OF THIS PRODUCT IS STRICTLY PROHIBITED WITHOUT SATHRE-BERGQUIST, INC.'S EXPRESS WRITTEN AUTHORIZATION. USE WITHOUT SAID AUTHORIZATION CONSTITUTES AN ILLEGITIMATE USE AND SHALL THEREBY INDEMNIFY SATHRE-BERGQUIST, INC. OF ALL RESPONSIBILITY. SATHRE-BERGQUIST, INC. RESERVES THE RIGHT TO HOLD ANY ILLEGITIMATE USER OR PARTY LEGALLY RESPONSIBLE FOR DAMAGES OR LOSSES RESULTING FROM ILLEGITIMATE USE.
LN GP					
DRAWN BY					
TOW					
CHECKED BY					
RSM					
DATE					
10/22/18					

I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Robert S. McKinley
 Robert S. McKinley, P.E.
 Date: 10/20/18 Lic. No. 24428

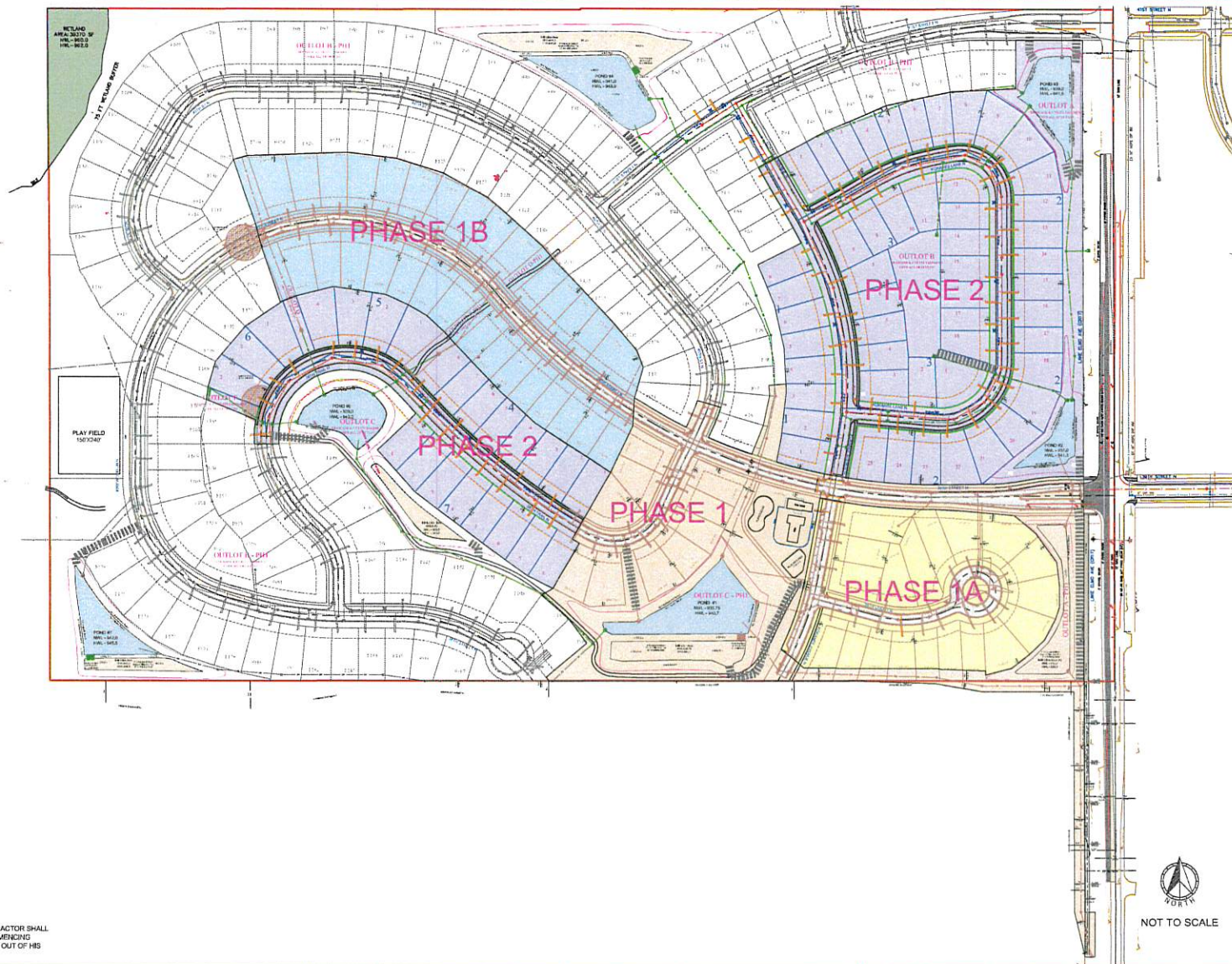


SATHRE-BERGQUIST, INC.
 150 SOUTH BROADWAY WAYZATA, MN 55391 (652) 476-6000

CITY PROJECT NO.
 LAKE ELMO,
 MINNESOTA

TITLE SHEET
 LEGACY AT NORTHSTAR 2ND ADDITION
 GWSA LAND DEVELOPMENT, LLC

FILE NO.
 3120-047-200
 1
 31



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Robert S. Madsen
 ROBERT S. MADSEN, P.E.
 Date: 10/31/18 Lic. No. 24728

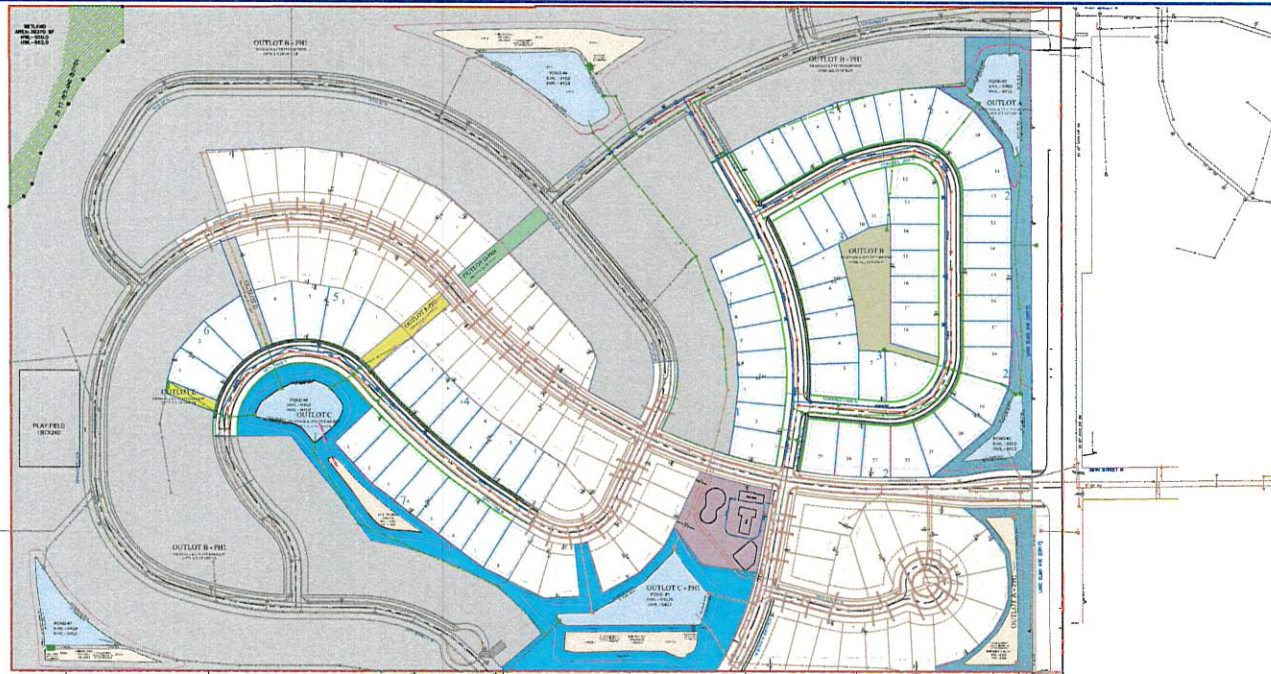


SATHRE-BERGQUIST, INC.
 150 SOUTH BROADWAY WAYZATA, MN, 55391 (652) 476-6000

CITY PROJECT NO.
 LAKE ELMO,
 MINNESOTA

PHASE 1 - PHASING PLAN
LEGACY AT NORTHSTAR 2ND ADDITION
GWSA LAND DEVELOPMENT, LLC.

FILE NO.
 3120-047-200
 27
 31



OUTLOT OWNERSHIP

OUTLOT	OWNER
A, A-PH1	CITY
B-PH1	SCHILTGEN FAMILY - DRAINAGE & UTILITY EASEMENT OVER ENTIRE OUTLOT
B	CITY
C, C-PH1	CITY
D-PH1	HOA - DRAINAGE & UTILITY EASEMENT OVER ENTIRE OUTLOT
D	HOA - DRAINAGE & UTILITY EASEMENT OVER ENTIRE OUTLOT
E, E-PH1	HOA - DRAINAGE & UTILITY EASEMENT OVER ENTIRE OUTLOT
	PLATTED LOT - HOA AMENITY LOT
	PLATTED SINGLE FAMILY LOTS

- DENOTES PERMANENT DRAINAGE & UTILITY EASEMENT
- DENOTES TEMPORARY GRADING EASEMENT
- PERMANENT ROADWAY EASEMENT
- EX SOFT ROADWAY EASEMENT
- DENOTES TEMPORARY DRAINAGE DITCH WITHIN DRAINAGE & UTILITY EASEMENT

	2ND ADDITION	FUTURE	EASTING
BACKWASH CATCH BASIN	0	0	0
CATCH BASIN	0	0	0
STORM COVER / MANHOLE	0	0	0
FLARED END SECTION W/PIPE	0	0	0
SAFETY RAILING / FENCE	0	0	0
TERRACE	0	0	0
WATERMATS / GATE VALVE	0	0	0
DRAINAGE AND UTILITY GUIDELINES	0	0	0



NOT TO SCALE

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LN GP								LEGACY AT NORTHSTAR 2ND ADDITION	3120-047-200
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TCW									
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RSM									
DATE									
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150 SOUTH BROADWAY WAYZATA, MN 55391 (651) 476-0200

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MINNESOTA

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