



STAFF REPORT

DATE: 03-19-19

REGULAR

TO: City Council
FROM: Ken Roberts – Planning Director
ITEM: **Bentley Village** – Zoning Map Amendment and Preliminary Plat
REVIEWED BY: Ben Prchal, City Planner
Jack Griffin, City Engineer

BACKGROUND:

Pulte Homes of Minnesota is requesting City approval of two land use applications for a townhouse development to be known as Bentley Village. They include:

1. A zoning map amendment from RT (rural development transitional) to MDR (medium density residential); and
2. Preliminary Plat to create the lots and streets for 240 unit townhouse development.

On November 6, 2018, the City Council reviewed and commented on the 239-unit sketch plan for this site.

On February 25, 2019, the Planning Commission held a public hearing and recommended approval of Bentley Village subject to the conditions listed in the staff report. (Please see the attached meeting minutes for more information about the public hearing).

ISSUE BEFORE THE CITY COUNCIL:

The applicant and City staff are asking the City Council to review a zoning map amendment and the proposed preliminary plat for a townhouse development to be called Bentley Village.

GENERAL INFORMATION

<i>Applicant:</i>	Paul Heuer, Pulte Homes, 7500 Flying Cloud Drive, Ste 670, Eden Prairie, MN 55344
<i>Property Owners:</i>	Alan Dale, 6007 Culligan Way, Minnetonka, MN 55345
<i>Location:</i>	Part of the southwest quarter of the southeast quarter of Section 13, Township 29 North, Range 21 West. West PID: 34.029.21.34.0006, East PID 34.029.21.43.0003
<i>Requests:</i>	Zoning Map Amendment and Preliminary Plat
<i>Development Site Area:</i>	41.58 gross acres.
<i>Existing Land Use:</i>	Vacant
<i>Existing Zoning:</i>	RT – Rural Development Transitional
<i>Surrounding Area:</i>	North – Savona (Urban Low Density Residential); West – Multi-tenant strip mall and Lampert's lumber yard (Commercial); East – Vacant land (Commercial) and Savona townhomes (Urban Medium Density); South – Vacant land (Rural Development Transitional guided Mixed Use Commercial in draft 2040 Comprehensive Plan)

<i>Comprehensive Plan (2040):</i>	Medium Density Residential (4-8 units per acre)
<i>Proposed Zoning:</i>	Urban Medium Density Residential (MDR)
<i>History:</i>	Vacant property
<i>Deadline for Action:</i>	Application Complete – 01/25/2019 60 Day Timeline – 03/24/2019 Extension Sent – N/A
<i>Applicable Regulations:</i>	Article XII – Urban Residential Districts Chapter 153 - Subdivision Regulations Section 150.270 – Storm Water, Erosion and Sediment Control

PROPOSAL REVIEW/ANALYSIS:

Pulte Homes of Minnesota is proposing Bentley Village as a medium density townhouse development to be located on the south side of 5th Street, west of Keats Avenue and west of the Savona townhouse neighborhood. The developer is proposing a variety of townhouse styles and amenities in 4-6 unit buildings along with ponding areas, an on-site tot lot/playground, trails and sidewalks and an open play space for the residents.

Since the City's sketch plan review in 2018, the developer has made several changes to the proposed development. The applicant outlines the proposed changes on pages 6 and 7 of their project narrative. The proposed changes include widening the public street rights-of-way to better accommodate all the public improvements, providing room for snow storage, relocating the pool (now since deleted), increasing the perimeter setbacks, adding a playground/tot lot, adding trails and providing areas for guest parking.

They also revised the layout of the west end of the development because of design conflicts with the existing pipeline running through the site. The plans now show the storm water pond on the east side of the pipeline (instead of on the west side) with a redesigned street and lot layout in this area to work with and around the new pond location.

Land Use. The proposed land use within the development is single family attached homes (townhomes), which are a permitted use within the Urban Medium Density Residential zoning district.

Zoning Map Amendment. In order for this development to proceed, the City will need to approve a zoning map amendment (rezoning) for the property from RT – Rural Development Transitional to MDR – Urban Medium Density Residential. This proposed designation allows for attached housing (townhouses) and is consistent with the Comprehensive Plan designation (MDR) for the site.

Site Data.

As proposed, Bentley Village consists of 240 attached single-family homes (townhouses) on a 41.58 acre site. The maximum lot size shown for a townhouse is 1,951 square feet while the minimum lot size is 1,788 square feet.

Total Site Area:	41.58 acres
Residential Areas:	13.75 acres
Outlots:	13.64 acres
Rights-of-way:	14.19 acres
Gross Density:	5.77 units per acre
Net Density:	6.89 units per acre

Density. The proposed development includes 240 units. The site is a total of 41.58 acres with no wetland, proposed parkland, or arterial right-of-way. The calculation of net density is as follows: 41.58 acre site – 6.75 acres (5th Street ROW) = 34.83 acres. 240 units divided by 34.83 acres = 6.89 units per acre. The net density is therefore 6.89 units per acre. This meets the City’s density requirements for the Medium Density land use of 4-8 units per acre.

Outlots. The proposed preliminary plat, if approved by the City, would create a separate lot for each townhouse unit, rights-of-ways for the public streets and outlots for the areas around the townhouse lots (the common areas) and for the ponding areas. Outlots A, C, D, E, F, and G are shown for the common areas, Outlot B is shown for the ponding area on the east end of the site and Outlots H and I are for the ponding/infiltration areas in the western part of the development. All outlots would be owned and maintained by a homeowner’s association. Drainage and utility easements are required over all of each Outlot to provide for maintenance of the storm sewer system and storm water ponding by the City.

Buffer Areas. The project is not located in an area that will be subject to required buffering. However, the Zoning Code typically requires developers to provide screening between more intensive and less intensive land uses. Because the property to the north of 5th Street is single family residential, the City would usually require this development to provide screening along its north edge (along the south side of 5th Street) consisting of either a masonry wall or fence in combination with landscape material to form a screen at least six feet in height and not less than 90% opaque on a year-round basis. The City’s Landscape Architect, however, is not recommending this level of screening/planting along 5th Street because of the separation (distance) between the two different neighborhoods and because such a plan would be difficult to install along the north side of the site while maintaining the design and visual appeal of 5th Street through the area. (Please see his project review comments about this element of the project design).

Park Dedication. The proposed development is within a Neighborhood Park search area of the Comprehensive Plan. Savona Park meets the needs of this search area, as it is located just over 500 feet from the northern edge of the proposed development. The developer is proposing and Staff recommends that fees in lieu of land be paid in order to satisfy the park dedication requirements. As per the City’s Subdivision Regulations, the required cash equivalent payment shall be an amount equal to the fair market value of the percentage land dedication for the zoning district in which the subdivided property is located (the MDR zoning district requires 10% of the total acreage being developed), and the amount is to be determined by reference to current market data, if available, or by obtaining an appraisal from a licensed real estate appraiser. In summary, the developer will be required to 10% of the value of land as park dedication.

Parks Commission Review: At its February 20, 2019 meeting, the Parks Commission reviewed the proposed subdivision. The Parks Commission recommended the City require the developer make a cash contribution for the parks fund rather making a land dedication to the City for a public park.

Sidewalks and Trails. The applicant is proposing six-foot-wide sidewalks on one side of each street (on the inside of each street loop). They also are showing several 8-foot-wide trails on the plans. They would be in the center of each block - near the ponding area in Outlot H, behind Lots 1-9 of Block 5 (in Outlot F) behind Lots 63-71 in Block 1 (in Outlot A) and in the open play area in Block 3. The plans also show a 10-foot trail on the west side of the proposed north/south street (Road G) in the center of the development and behind Lots 19-23 in Block 1 to provide access to the north end of the storm water pond. (See sheets 8 and 9 of the project plans for the locations of the proposed sidewalks and trails).

Because of the proposed sidewalks and the overall design of the site, there may not be a need for three of the 8-foot-wide trail segments shown on the proposed plans. They include:

The trail on the north edge of the proposed ponding in Block 6 generally running east/west in behind Lots 1-20;

The trail behind (south of) Lots 1-9, Block 5; and

The trail behind (south of) Lots 63-71, Block 1 connecting Road D and Road F.

Staff will review all the final development plans including grading, streets, trail and sidewalk plans as part of the City's final plan approval. It appears that removing these three trail segments would decrease the amount of impervious surface on the site, would decrease the length and size of retaining walls and should make grading the site easier to accomplish without having to accommodate the trails.

The City's trail plan indicates the need for a trail connecting 5th Street North to Hudson Boulevard North so having a trail along the new north/south street (Road G) is consistent with this requirement.

Amenities. The developer plans to provide private amenities within the development. The original plans showed a swimming pool with guest parking in Block 3. The applicant recently changed the plan to now have a dog park instead of a pool in Block 3. They also are showing an open play area in Block 3, a tot lot/playground in Block 6 (near Outlot H) and trails and sidewalks throughout the site. These are proposed to private amenities that will be owned and maintained by the neighborhood Homeowners' Association.

Townhome Design. According to the applicant, their approach is to "individualize and stylize" each townhouse unit. This means each unit will differ in architecture and will vary in color scheme from all other units within the same building. Staff has attached photos of examples of the townhouses to this memo. Buyers also will be able to choose from a range of options for floor plans that will include three bedrooms with the option of four; a first floor sunroom addition with second floor owner's suite bathroom expansion; a loft; and a rooftop terrace.

All of the building exterior designs and materials will need to conform to the design standards in the Lake Elmo Design Guidelines and Standards Manual including those regarding building facades, rooflines, colors entries, lighting and exterior building materials. At first review, it appears that all the building styles and materials will meet or exceed the City's design standards for townhouses. City staff will need to verify the proposed exterior designs and materials will meet the city's design standards before issuing building permits for the townhouses. Homeowners' association fees will include maintenance of the yard, snow removal and the exteriors of the buildings.

Restrictive Covenants. The development will be encumbered by several restrictive covenants for the benefit of the residents including architectural guidelines, use restrictions, exterior storage requirements, vehicle parking (RV, etc.). The applicant is proposing to develop the HOA documents incorporating any concerns that might arise during the development review process and submitting them to the City for approval before final plat approval.

Access. The proposed plans show two access points into the site from 5th Street North that would line up directly with existing cross streets - one directly across from Julianne Avenue North and one directly across from Junco Road North. An additional access to the site will be provided from a new north/south street (Road G) connecting to 5th Street and ultimately Hudson Boulevard North. The location of the proposed north/south street was a planned connection point between 5th Street North and Hudson Boulevard North. The developer should either construct the portion of this street adjacent to the development with a temporary turnaround or work with the development to the south to construct the planned street to make a full connection from 5th Street North to Hudson Boulevard North. The applicant's original project plans showed Road G in a 100-foot-wide right-of-way – which is consistent with the City's standards for this street.

Restrictive Easements. There is a 50-foot wide natural gas pipeline easement that bisects the western portion of the property in which buildings cannot be placed. There are no lots proposed within this easement. There is also a 21-inch diameter storm sewer pipe with a 30-foot wide easement on the eastern edge of the property. The sketch plan showed some of this storm sewer and easement to remain in place and some to be realigned.

As noted earlier, the developer has revised project plans since the sketch plan review to better ensure their proposed project site and grading plans will work with and around the existing pipelines and the pipeline easement.

Streets. Bentley Village is proposed with several new public streets in a 53-foot-wide right-of-way with 28-foot wide street pavement. The applicant will be required to provide a cross section detailing the proposed 53 foot right-of-way with the revised preliminary plat plans, as City engineering standards typically call for a 60-foot right-of-way with 28-foot wide streets in residential areas. If streets are 28-feet wide, parking will be allowed on both sides of the streets (except where lanes are separated by a median).

The City engineer is recommending that new north/south street (Road G) be designed and constructed in a 100-foot-wide right-of-way to accommodate drive lanes, a center turn lane, trails and utilities while having enough room for right-hand turn lanes in the future. (Please see the attached design cross section for Road G.) Additionally, all portions of the 5th Street right-of-way that are located on the applicant's property will need to be dedicated with the final plat. Other general review comments from the City Engineer concerning streets are as follows:

- Ten (10) foot-wide utility easements are required on both sides of the public street right-of-way and are to be preserved for small utility installation (except for along Road G). The plans must be revised to eliminate all encroachments into the utility corridors. No boulevard trees can be placed in the 10-foot-wide (or any) utility easements.
- Six (6) foot concrete sidewalks must be provided along all continuous residential streets and along other streets as may be required for connectivity.
- All street intersections must be at 90 degrees and maintain 50 feet of tangent with maximum slopes of 2.5% for first 100 feet.
- Residential maximum longitudinal grade is 8% with no sidewalks, 6% where there are sidewalks. It appears these design requirements have been met with the proposed plans.
- Minimum diameter cul-de-sac is 90 feet with 120-foot right-of-way.

5th Street North Right-of-Way. As noted by the City Engineer, 5th Street North was constructed within a permanent roadway easement. The developer/applicant must dedicate this easement area to the City as public right-of-way on the final plat(s) as part of this development approval.

Street Names. The developer has not proposed any final street names with this plat. The street names will need to meet the requirements of the City's Street Naming Policy. To meet this policy and to be consistent with the street name pattern in the area, staff is proposing the following street names:

Road A and Road D – 4th Street North (from Lots 20 and 51 on the west end to the cul-de-sac on the east end).

Road A – 4th Street Lane N. (from Lot 10, Block 5 to Lot 35, Block 5)

Road B – Julianne Avenue North

Road F – 4th Street Lane N. (from Lot 21, Block 3 and Lot 42, Block 1 to Lot 62, Block 1).

Road A (n/s) – Jean Avenue North (from Lot 36, Block 5 to Lot 50, Block 5).

Road E and Road F – Junco Road North (from 5th Street to Lot 42, Block 1)

Road G – June Avenue North

Transportation Improvements. The City Engineer commented that there is a need for additional transportation review to evaluate if additional turn lanes should be required on 5th Street North including an eastbound right turn lane at Julianna Avenue and west bound turn lanes at Junco Road and/or Julianna Avenue. He also noted that the proposed development will increase traffic movements at the intersection

of CSAH -19 and 5th Street North and CSAH-19 and Hudson Boulevard. A financial contribution to traffic signal and turn lane improvements by the developer to one or both of these intersections should be considered by the City Council.

Development Phasing/Grading Phasing. The applicant has submitted a phasing plan showing the construction of the development occurring in four phases. Phase 1 would be constructed in 2019 and would include the new north/south street in the center of the site the area to the east of the new street with 63 units, the dog park and the eastern stormwater pond. Phase 2 would complete the eastern part of the development in 2020 with 70 units and a street connection to 5th Street North. For Phase 3, the applicant would continue the project to the west of the new north/south street with 43 units and the west pond in 2021 or 2022. The final phase, Phase 4, would complete the western end of the site in 2022 or 2023 with 64 units, a tot lot and another street connection to 5th Street North. The applicant notes in their project narrative that they expect full build out by 2026 but the pace of the phasing will be driven by market demand for the townhouses.

The grading, utility, street, sidewalk and trail construction for each phase will be subject to the approval of the City Engineer.

Utilities – Municipal Water Supply and Municipal Sanitary Sewer. The City Engineer’s review memo provides a review of the municipal sewer and water considerations for this development. Public water and sanitary sewer service are available in this area of Lake Elmo and the developer will be extending them into and through the site. As noted in the City Engineer’s review, the preliminary plat plans include utility plans that generally meet City engineering standards. He noted the following:

The applicant will be responsible for extending municipal water into the development at its sole cost and will be required to construct a looped watermain network with multiple connection points.

The applicant will be responsible to place hydrants throughout the property at the direction of the fire Department. All fire hydrants shall be owned and maintained by the City.

All utility plans will be subject to the final approval of the City Engineer.

Grading. All grading plans and activities shall meet the approval of the City Engineer. The grading plans show extensive grading in the pipeline easement to accommodate the proposed ponding area. This grading activity will require written approval from the pipeline company be submitted to the City. The grading plans also show a very small or no backyard area for Lots 24-42 of Block 1 and for Lots 32-47, Block 5. There are a variety of retaining walls shown on the plans including a 3-foot-tall to 8-foot-tall wall for Lots 6-15, Block 1. All retaining walls are to be privately owned and maintained. None of these design elements are necessarily prohibited by the City Code, but they demonstrate how tight and difficult the site is and will be for the applicant to develop.

Impervious Surfaces. The applicant is proposing to develop the site with 49.8 percent impervious surface coverage. The maximum allowed by the City Code is 50 percent so the current proposed plans would meet the City’s maximum impervious surface coverage standard. As the applicant revises the project plans to meet the requirements of the City Engineer or for any other review agency or permit, they will need to ensure the overall project does not exceed 50 percent impervious surface coverage.

Storm Water Management. The proposed development site is in the Valley Branch Watershed District (VBWD). The design of the storm water management systems must be compliant with the requirements of the State, VBWD, the City of Lake Elmo Storm Water Management Ordinance, and the City of Lake Elmo design standards manual. The applicant is advised to fully read and comprehend the City’s storm water and erosion control ordinance since these standards are different, and in some cases more stringent, than the watershed district.

In his project review, the City Engineer noted the following:

The storm water facilities must be platted as Outlots and they must fully incorporate the 100-year HWL, 10-foot maintenance bench and all maintenance access roads.

The storm water ponds will not be allowed to encroach on to adjacent private lots.

The storm water ponds must be constructed meeting City standards. This includes providing designated maintenance access roads, 20 feet wide, for all storm water facilities that extend from the public right-of-way to the maintenance bench with grades not exceeding 10 percent. Basin grading also must provide a maintenance bench from the access road to all storm sewer inlets and outfall pipe locations.

The City Engineer's review memo further addresses the stormwater management considerations and requirements for this development.

Environmental Review. An Environmental Assessment Worksheet (EAW) is not required for a development under 375 attached units in a city within the seven-county Twin Cities metropolitan area that has adopted a comprehensive plan under Minnesota Statutes. Because Lake Elmo meets this description and because the proposed development includes only 240 attached units, an EAW is not required.

City Engineer Review. The City Engineer's review comments are found as part of the attachments to this report and are incorporated throughout the report.

Standards for Single-Family Attached Dwellings (Townhouses), MDR District. The following outlines standards for single-family attached dwellings as well as explanation as to how these standards are met within the proposed preliminary plat:

1. A maximum of 8 units shall be permitted within a single building. Buildings with more than 8 units may be allowed as a conditional use.
 - *The maximum number of units proposed within a single building is six.*
2. Townhouses shall be located on lots in such a way that each individual unit has a minimum of 15 feet of street frontage. No parking shall be located in the front yard or between the front façade and the street.
 - a. Townhouses that do not meet the minimum requirements for frontage along a street or that have frontage along a private street may be allowed as a conditional use.
 - *It appears that each unit has at least 25 feet of street frontage.*
3. The primary entrance shall be located on the façade fronting a public street unless the townhouses are approved as a Conditional Use under division §154.454 (G) (2) (a) above; an additional entrance may be provided on the rear or side façade.
 - *Public streets are being proposed, and it appears the primary entrance for each unit front a public street.*
4. New housing types should be introduced in limited quantities to increase diversity and housing choice, not to replace whole blocks of existing housing. Therefore, no more than 1/4 of the lineal frontage of a developed block (measured around the entire block perimeter) may be converted to townhouse units, and no further townhouse, two-family or higher-density development is permitted once this threshold is reached.
 - *This is a new development not replacing existing housing.*
5. Townhouse units shall be designed to reflect the general scale and character of existing buildings on surrounding blocks, including front yard depth, height and roof pitch, primary materials, facade detailing and size and placement of window and door openings.
 - *The townhomes are comparable in scale and character of the existing Savona townhomes to the east and provide architectural interest with a variety of townhome styles that will vary with each unit within each building.*

6. Common open space for use by all residents or private open space adjacent to each unit shall be provided. Such open space shall comprise a minimum of 500 square feet per unit.

The project narrative states there will be 557 square feet of open space per unit.

Lot Dimensions and Bulk Requirements. The proposed preliminary plat provides a lot layout for the townhouse units along with the areas for street rights-of-way, for on-site ponding and for common space. As shown, each townhouse would be on a separate lot ranging in size from 1,781 square feet to 1,951 square feet. The proposed preliminary plat appears to meet many of the lot dimensions and bulk requirements for the Medium Density Residential (MDR) zoning district, as shown below:

Standard	Required	Proposed
Minimum Lot Area	4,000 square feet per unit	1781-1951 square feet
Minimum Lot Width	25 feet per unit	24-25.5 feet
Maximum Impervious Surface	50%	49.8%
Minimum Front Yard Setback	25 feet	Narrative indicates this will be met
Minimum Interior Sideyard Setback (principal buildings)	10 feet	Narrative indicates this will be met
Minimum Interior Sideyard Setback (accessory structures)	5 feet	Narrative indicates this will be met
Minimum Corner Sideyard Setback	15 feet	Narrative indicates this will be met
Minimum Rear Yard Setback	20 feet	Narrative indicates this will be met

While the total lot area of each townhouse lot in Bentley Village would be less than 4,000 square feet, it is staff's opinion the City should be most concerned with the overall project density and how that relates to the Comprehensive Plan. It is the total number of units and the potential impact those residents would have on public services and facilities that should be of the most importance to the City. In this case, the proposed development, with 6.9 units per acre, is well within the density range of 4-8 units per acre the City has established by the comprehensive Plan for medium density housing for this part of Lake Elmo.

If the City wants to accommodate medium density residential development, then the City should change the zoning code standard for the minimum lot size for single-family attached housing (townhouses) and for multi-family dwellings from 4,000 square feet to 2,000 square feet or to have no minimum lot sizes for these types of housing. This smaller lot size would accommodate building pads for each unit while allowing land for common areas and street rights-of-ways in an attached housing or multi-family housing development. The Planning Commission reviewed a first draft of a proposed ordinance amendment to make this change to the zoning code on March 11. They are recommending that the City make the change to the zoning ordinance as suggested by staff.

Issues with Setbacks and Building Placement

The original project plans the applicant submitted were not clear in showing that all of the proposed buildings and lots would meet all the required setbacks. Staff has included a detail from Sheet 7 of original the project plans that has a typical townhome lot layout showing the proposed lot lines and the building placement. However, staff has identified several locations on the original plans where it appears that corners of the proposed townhouses (or their patios) might encroach into required setbacks and/or easements or would be too close together to meet the City's 30-foot-spacing requirement to accommodate underground utilities (including storm sewer). These include:

Block 6 – Lots 27 and 51, Lot 28 and Lot 1

Block 1 – Lots 1, 11, 12, 23, 35, 39 (rear corners), Lots 18 and 19, Lots 29 and 30, Lots 34 and 35, spacing between Lots 38 and 39, Lots 42 and 43, Lots 58 and 59 and between Lots 66 and 67, the rear of Lot 71.

Block 2- Rear of Lots 1, 9 and 10, spacing between Lots 10 and 11 and between Lots 16 and 17.

Block 3 Lots 16 and 17 and Lots 20-21.

Block 4 – Lots 18, 19 and 28 (rear corner setbacks).

Block 5 – Lot 1 (rear corner setback)

Staff met with the developer after the Planning Commission meeting to further review the project plans in more detail. It now appears that all the structures, as shown on the original development plans, will meet all the required setbacks from property lines and rights-of-way. There are, however, some of the units on the original plans that would be set only 20 feet apart instead of 30 feet apart that the City Engineer requires when there is underground utilities running between the buildings. The developer has indicated to staff that they are revising the project plans to meet all City requirements for setbacks and building spacing. Staff is recommending the developer submit any and all revised project plans to staff that clearly show that all the units will meet all setback requirements and all spacing requirements for underground utilities.

Because of the extensive changes City staff has identified that the applicant needs to make to the plans to meet all City requirements, City staff is recommending the applicant revise all necessary project plans (plat, utilities, grading and drainage, etc.) and then submit the revised project plans to the City for review and approval before the City accepts a final plat application for the first phase of the development.

Lot Easements. The City requires 10-foot-wide drainage and utility easements along all public rights-of-way and rear property lines, five-foot-wide easements along all side property lines and other easements for stormwater management and public utilities as may be needed. The City will require the developer to show all easements (drainage, front, rear and side yard) on the revised preliminary plat (and the final plat) to meet City requirements.

As noted by the City Engineer, these easements must be reserved for small utilities without encroachment by other design elements (storm sewer pipe, retaining walls, buildings, landscaping, storm water retention). It appears there are several locations on the project plans where the design elements are shown in these required easements. As such, the applicant will need to revise the project plans to ensure the easements are reserved and protected for the intended uses (small utility installation).

Landscaping. The applicant provided tree preservation and proposed landscaping and tree planting plans for the site. The City's landscape architect has reviewed these plans and provided the City with several comments about them. (Please see his attached review memos). In summary, he lists in his memo several findings about the proposed plans including how they are incorrect or deficient including the number and type of proposed trees and plantings as required by the City Code. As such, the applicant will need to make revisions to these plans to meet all City Code standards. They also will need revising to reflect the changes to the site and utility plans as required by the City to meet building setbacks and spacing and the all changes required by the City Engineer.

The City should require the applicant to revise the landscape plans and then submit the revised plans at the time they submit all the revised Preliminary Plat plans. These plans will need to adhere to reflect all the changes required by the City's landscape architect and to meet the City's Landscape Requirements.

Landscape (retaining) Walls. Throughout the development, the developer has proposed landscape (retaining) walls to control grades. These walls may cross residential property lines and HOA property and some are shown within public rights-of-ways and the outlots. Staff recommends that any walls that cross residential property lines or residential property lines and HOA property be owned and maintained by the HOA. Staff also recommends that the walls shown within public rights-of-way be moved to HOA owned outlots and all retaining walls be owned and maintained by the HOA.

Subdivision Signs. Section 154.212(G) (1) (c) of the Zoning Code allows each residential subdivision to have one subdivision identification sign per entrance. The maximum size for subdivision identification sign is 32 square feet in area for the main entrance and a maximum sign area of 24 square feet per sign for all other locations. The developer has not yet proposed any signs and any signs would require a permit from the City.

Parking. The City's Zoning Code requires one parking space per studio and 1 bedroom unit, two parking spaces per 2 and 3 bedroom unit and an additional 10 percent of the total spaces for visitor parking. With the proposed mix of 240 units, the City Zoning Code requires the developer to provide at least 528 parking spaces (480 plus 48) on site. In this case, the developer is proposing 480 garage spaces (2 per unit) and 480 driveway spaces (2 per unit) for off-street parking for a total of 960 off-street parking spaces. Their parking plan also plan shows 125 spaces on the streets for parking for a total of 1,085 parking spaces within the development.

Fire Chief and Building Official Comments. The Fire Chief and Building Official provided the following comments:

- All aspects of this project must meet the 2015 MN State Fire Codes as applicable.
- Determination of sprinkler requirements per code.
- Location of fire hydrants (will be subject to Fire Department approval). Parking spaces that affect required clearances near fire hydrants will not be allowed.
- Roads – private or public, ensure proper widths, allowable parking, proper signage?
- Ensure proper access for emergency vehicles.
- Need details about chemical storage for pool.
- Any additional items identified as the project moves forward.
- All state building code, fire code and city regulations regarding drive lanes, fire lanes, no parking zones and signage shall be met.

Easement vacations. There are two drainage and utility easements on this site that the applicant will be asking the City to eventually vacate as part of the development approval. A vacation is an action taken by the City Council to give up the City's interest and need for the right-of-way (or an easement) and turning the ownership and responsibility for the corresponding land back to the adjacent or underlying property owner(s). Since the developer will be constructing new utilities (in different locations) and dedicating new easements to the City with the final plat(s), the City will not have a use for the existing easements. The City should review and consider the easement vacation requests as part of their consideration of the final plats for each phase of the development. The City will require the applicant to record the easement vacation resolution with the corresponding final plat.

CITY COUNCIL OPTIONS

As noted in this report and by reference with the comments and conditions of approval from the City Engineer and the City Landscape Architect, the City will be requiring the applicant to make many changes to the proposed development plans. As such, the City Council could:

1. Adopt Ordinance 08 – ____ approving the Zoning Map Amendment (rezoning) and adopt the Resolution approving the Bentley Village preliminary plat with the conditions of approval based on the findings. This approval would be subject to the applicant revising their preliminary plat application and plans to meet all the conditions of approval listed in this report and requiring the applicant to submit the revised preliminary plat and construction plans for City approval. Staff would recommend the approval of the revised preliminary plat occur before the City would accept a final plat application for any phase of the development. This process would ensure the applicant has met all city and other agency requirements before proceeding with the construction or final plat of any phase of the development.
2. Deny approving the Ordinance to change the zoning map and deny Resolution 2019 - ____ approving the preliminary plat and direct staff to prepare a Resolution for denial to be brought back at a future meeting.

Recommended Findings for Rezoning (Zoning Map Amendment):

That the proposed rezoning from RT (rural development transitional) to MDR (medium density residential) for the Bentley Village development would be consistent with the Comprehensive Plan.

Recommending Findings for Preliminary Plat:

Staff and the Planning Commission recommend that the City Council approving the Preliminary Plat for Bentley Village. This approval would be based on the following findings:

1. That the City reviewed the Bentley Village Sketch Plan on November 5, 2018 and the submitted preliminary plat is generally consistent with the city-approved sketch plan.
2. That the Applicant has submitted all application requirements outlined in Section 154.759: Application Requirements for Preliminary Plat.
3. That the Preliminary Plat is consistent with the intent of the Lake Elmo Comprehensive Plan and the Future Land Use Map for this area.
4. That the proposed Preliminary Plat meets the general intent of the medium density zoning district with modifications.
5. That the Preliminary Plat generally meet the City's Subdivision regulations.
6. That the Preliminary Plat is generally consistent with the City's engineering standards with exceptions as noted in the City Engineer's memorandum dated February ___, 2019.
7. That the Planning Commission held a public hearing on February 25, 2019, took testimony from 2 neighbors and recommended approval of the development, subject to conditions.

Recommended conditions of approval for Bentley Village. If the City Council wants to approve this proposal, staff recommends the following conditions of approval:

1. That the City approves a Zoning Map Amendment to rezone the site from RT (Rural Development Transitional) to MDR (Medium Density Residential).
2. That the preliminary plat includes parcels with the PID#s 34-029-21-34-0006 and 34-029-21-43-0003.
3. That all comments and conditions of approval in the City Engineer's Memorandum dated February 17, 2019 be addressed and included with the revised project plans for City approval.

4. That revised preliminary plat plans include an overall tree planting and landscape plans for each phase of the development. Landscaping must not conflict with utilities and with pond maintenance access. Boulevard trees are not allowed in the 10-foot-wide drainage and utility easements along the public streets. All landscaping and tree plans shall incorporate the comments and conditions in the Landscape Architect's memos dated February 15, 2019 and March 6, 2019 and shall be approved by the City's Landscape Architect.
5. That the developer shall incorporate each phase of Bentley Village into the Common Interest Agreement concerning management of the common areas and establish a homeowner's association that shall be submitted in final form to the Planning Director before the City will issue a building permit for any structure in any phase of the development. Said agreement shall comply with Minnesota Statutes 515B-103, and specifically the provisions concerning the transfer of control to the future property owners. The HOA documents shall include required maintenance of all private amenities including open space and trails.
6. The applicant shall enter into a landscape license and maintenance agreement with the City that clarifies the individuals or entities responsible for any landscaping installed for each platted phase of the development.
7. That the HOA be responsible for the ownership and maintenance of all landscape (retaining) walls within the development.
8. That the developer shall install an HOA owned and maintained children's play structure or other similar improvement on Outlot H as shown on the preliminary plat submittal.
9. That the developer provide the City fees in lieu of park land dedication as required by 153.15 of the City Code with each final plat.
10. That the revised preliminary plat plans include a parking area for the HOA pool/recreation area (if the developer constructs the pool) that meets all applicable standards.
11. That the HOA documents include architectural requirements that require 4-sided architecture on all buildings and garage doors shall not have flat panels. The City encourages the builder to include windows and/or other architectural features in all exterior doors and garage doors. City staff shall approve all building exterior designs including colors and materials before the City issues building permits for the town houses.
12. That the developer submit a sidewalk and trail phasing plan to be approved by City Staff and that the developer/contractor construct the public sidewalks and trails within each phase before the City issues building permits for that phase of development.
13. That the developer install a six-foot-wide concrete public sidewalk on one side of every street in the development.
14. That the Applicant place storm water ponds within outlots including the 100-year high water flood level and all maintenance access. All outlots are to be owned and maintained by the HOA with drainage and utility easements placed over all of each Outlot.
15. All storm water facilities shall be publicly owned and maintained. A storm water maintenance and easement agreement in a form acceptable to the City shall be executed and recorded with the final plat.
16. That if the applicant/developer wants to reuse storm water for private irrigation within the development that the project engineer submit details to the City about the proposed storm water reuse system and ongoing operations that will be subject to approval by the City. The applicant must clearly define the proposed ownership, maintenance and ongoing operational responsibilities for the proposed system and City acceptance of storm water reuse will be contingent upon the City agreeing to the ongoing ownership, maintenance and operation plan, including the execution of a storm water maintenance agreement that addresses storm water reuse. In addition, all storm water system plans and specifications shall be subject to approval by the City Engineer and must address recommended reuse water quality, stormwater pond pump intake design, pond draw down guidelines, filtration recommendations, backflow prevention design, and potable water back-up supply design.

17. The Preliminary Plat approval is conditioned upon the applicant meeting all City standards and design requirements unless specifically addressed otherwise in these conditions.
18. The revised preliminary plat and Final Plat(s) shall include all necessary public right-of-way and easements for 5th Street North and for Road G.
19. The revised preliminary plat plans shall include a stormwater management plan including a summary report describing the overall management plan and performance criteria for all required storm events.
20. That the applicant shall obtain all necessary permits including but not limited to all applicable city permits (building, grading, sign, etc.), NPDES/SWPPP permits and Valley Branch Watershed District approval before starting any grading or construction activities.
21. That the preliminary plat plans be approved by Valley Branch Watershed District and that the applicant provide the City evidence that all conditions attached to a Valley Branch Watershed District permit will be met before the starting any grading activity on the site.
22. The applicant must provide the City a letter of approval from the owner of the gas main to perform the proposed work in the gas pipeline easement as a condition of preliminary plat approval and before the contractor starts any site work or site grading.
23. The applicant shall provide the City with a copy of written permission for any off-site grading work and storm sewer discharges to adjacent properties before starting any site work, grading and as part of any final plat application.
24. That the applicant or developer address all the comments of the Fire Chief and the Building Official with final site and building plans including the placement of buildings and fire hydrants, street and driveway design, on-street parking and emergency vehicle access within the site.
25. That the applicant revise the project plans to show storm sewer easements and effective maintenance areas with a minimum width of 30 feet with a minimum of 15 feet of clearance from the pipe centerline. This includes locations where underground pipes run between buildings.
26. That there shall be no encroachments into drainage and utility easements and corridors other than those reviewed and approved by the City Engineer and upon execution of an easement encroachment agreement. Prohibited encroachments include, but are not limited to trees, landscaping, retaining walls, buildings and storm water retention.
27. That the developer prepare exhibits for City staff approval that clearly identifies the property lines, easements, proposed building locations and the required and proposed setbacks for each of the lots and each building site within the development.
28. That all garage doors be setback at least 25 feet from the street right-of-way to provide off street parking on the driveway to allow vehicle parking without blocking a public sidewalk.
29. That the applicant update the preliminary plat plans to include street names that are consistent with the City's street naming policy with the names listed herein. All street names shall be approved by the City Council.
30. The Applicant(s) or developers shall submit a photometric plan for the development for staff review and approval. All lighting must meet the requirements of Sections 150.035-150.038 of the City Code.
31. Before to the installation or construction of any subdivision identification signs or neighborhood markers within the development, the developer shall submit sign plans to the City for review and obtain a sign permit from the City.
32. That the applicant provide the City a detailed construction and staging plan with the construction plans and final plat for each phase of the development. These plans are to clearly indicate the phasing of the site grading, the phasing of the construction of each public infrastructure component (including required turn lanes, trails and sidewalks) and shall address access to that phase of the development for construction purposes and for residents. The City may require temporary cul-de-sacs at the end of streets with the first and third phases of the development.
33. Before the execution and recording of a final plat for any phase of the development, the developer or applicant shall enter into a Developer's Agreement with the City for that phase or project. The

Developer's Agreement must be approved by the City Attorney and by the City Council. Each such Developer's Agreement shall delineate who is responsible for the design, construction and payment for the required improvements with financial guarantees therefore.

34. The applicant or developer shall enter into a separate grading agreement with the City before starting any grading activity in advance of final plat approval. The City Engineer shall review any grading plan that is submitted in advance of a final plat, and said plan shall document extent of any proposed grading on the site.
35. That the applicant submit revised preliminary plat and project plans meeting all conditions of approval for City review and approval. The revised applicant/developer project plans shall meet all of the above conditions before the City will accept a final plat application for any phase of the development and before the start of any clearing or grading activity on the site.

FISCAL IMPACT:

There would be no fiscal impact to the City at this time, as the developer would be required to pay for any amendments needed to accommodate the increase in REC units. The Sketch Plan approval did not afford the applicant development rights. When the property develops, it will have urban services and will pay sewer and water connection charges, building permit fees and the like.

RECOMMENDATION(S):

Staff and the Planning Commission are recommending that the City Council approve the zoning map amendment (rezoning) with the following motion:

“Move to adopt Ordinance 08-224 , approving of the proposed Zoning Map Amendment as requested by Pulte Homes of Minnesota for the site of the Bentley Village development on the south side of 5th Street North from RT (rural development transitional) to MDR (medium density residential) with recommended conditions of approval.”

Staff and the Planning Commission also are recommending approval of the proposed Bentley Village Preliminary Plat with the following motion:

“Move to adopt Resolution 2019 -020 approving the Bentley Village Preliminary Plat subject to the findings and conditions of approval listed in the staff report.”

ATTACHMENTS:

1. Preliminary Plat Application Materials with Project Narrative dated 1-25-2019
2. Updated Project Application Narrative dated March 11, 2019
3. City Maps
4. Colored Site Plan
5. Parking Exhibit
6. Phasing Plan
7. Preliminary Plat and Plans (11x17) (electronic only)
8. Typical Townhouse Lot Detail
9. Building Elevations
10. City Engineer Review Memorandum 2-17-19
11. Road G Design Cross Section
12. Landscape Architect Review dated 2-15-19
13. Landscape Architect review dated 3-06-19
14. Planning Commission minutes dated 2-25-19
15. Ordinance 08- 224 approving Zoning Map Amendment
16. Resolution 2019 - 020 approving the Bentley Village preliminary Plat

Vendor Number 091CIT106

Check Number 0050929102

Check Date 12/28/18

Invoice	Date	Co	Lot	Lot Address	Opt	Acct Cat	Acct Cat Description	Amount
084920884201401	12/21/18						Preacquisition Land Costs	15,595.00+
**** TOTAL ****								15,595.00

THE ORIGINAL DOCUMENT HAS A WHITE REFLECTIVE WATERMARK ON THE BACK. HOLD AT AN ANGLE TO VIEW. DO NOT CASH IF NOT PRESENT.



Pulte Homes of Minnesota, LLC
3350 Peachtree Road, NE
Suite 150
Atlanta, GA 30326

Check Number 0050929102

Check Date 12/28/18

84-1278
0611

Void After 180 Days

PAY

FIFTEEN THOUSAND FIVE HUNDRED NINETY FIVE AND 00/100
DOLLARS

\$****15,595.00

Bank of America
Customer Connection
Atlanta, Dekalb County, GA

TO THE CITY OF LAKE ELMO
ORDER OF 3800 LAVERNE AVENUE NORTH
LAKE ELMO, MN 55042

Blair

Date Received: _____
Received By: _____
LU File #: _____



651-747-3900
3800 Laverne Avenue North
Lake Elmo, MN 55042

PRELIMINARY PLAT APPLICATION

Applicant: Pulte Homes of Minnesota, LLC - Paul Heuer
Address: 7500 FLYING CLOUD DRIVE, SUITE 670, EDEN PRAIRIE, MN 55344
Phone #: 952-229-0722
Email Address: PAUL.HEUER@PULTEGROUP.COM

Fee Owner: DPS-LAKE ELMO, LLC
Address: 6007 CULLIGAN WAY, MINNETONKA, MN 55345
Phone #: 952-288-2201
Email Address: ADALE@STONEHENGE-USA.COM

Property Location (Address and Complete (long) Legal Description: SEE NARRATIVE

General information of proposed subdivision: RESIDENTIAL TOWNHOME NEIGHBORHOOD. SEE NARRATIVE.

Conducted pre-application meeting with Staff?

☒ Yes

☐ No

In signing this application, I hereby acknowledge that I have read and fully understand the applicable provisions of the Zoning Ordinance and current administrative procedures. I further acknowledge the fee explanation as outlined in the application procedures and hereby agree to pay all statements received from the City pertaining to additional application expense.

Signature of applicant: [Signature] Date: 1-11-19

* Signature of Fee Owner: [Signature] Date: 1-4-19



Lake Elmo City Hall
651-747-3900
3800 Laverne Avenue North
Lake Elmo, MN 55042

ACKNOWLEDGEMENT OF RESPONSIBILITY

This is to certify that I am making application for the described action by the City and that I am responsible for complying with all City requirements with regard to this request. This application should be processed in my name and I am the party whom the City should contact regarding any matter pertaining to this application.

I have read and understand the instructions supplied for processing this application. The documents and/or information I have submitted are true and correct to the best of my knowledge. I will keep myself informed of the deadlines for submission of material and of the progress of this application.

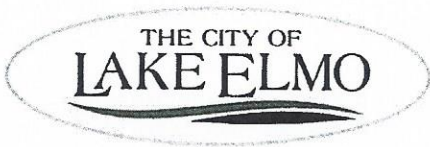
I understand that this application may be reviewed by City staff and consultants. I further understand that additional information, including, but not limited to, traffic analysis and expert testimony may be required for review of this application. I agree to pay to the City upon demand, expenses, determined by the City, that the City incurs in reviewing this application and shall provide an escrow deposit to the City in an amount to be determined by the City. Said expenses shall include, but are not limited to, staff time, engineering, legal expenses and other consultant expenses.

I agree to allow access by City personnel to the property for purposes of review of my application.

Signature of applicant  Date 1-11-19

Name of applicant PAUL HEUER - INATE HOMES OF MN Phone 952-229-6722
(Please Print)

Name and address of Contact (if other than applicant) _____



Lake Elmo City Hall
651-747-3900
3800 Laverne Avenue North
Lake Elmo, MN 55042

AFFIRMATION OF SUFFICIENT INTEREST

I hereby affirm that I **am the fee title owner** of the below described property or that I have written authorization from the owner to pursue the described action.

Name of applicant _____
(Please Print)

Street address/legal description of subject property _____

*

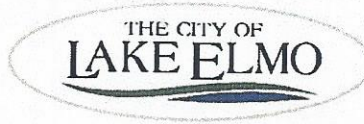
Alan Dale
Signature

1-5-19
Date

If you are not the fee owner, attach another copy of this form which has been completed by the fee owner or a copy of your authorization to pursue this action.

If a corporation is fee title holder, attach a copy of the resolution of the Board of Directors authorizing this action.

If a joint venture or partnership is the fee owner, attach a copy of agreement authorizing this action on behalf of the joint venture or partnership.



City of Lake Elmo
Escrow Agreement for Municipal Review Services
Deposit Agreement

THIS AGREEMENT is made this 11th day of JANUARY, 2019, by the Applicant and Owner (hereinafter individually and collectively referred to as "Applicant") in favor of the City of Lake Elmo, a municipal corporation of Minnesota (hereinafter referred to as "City").

A. "Applicant" whose name and address is:

PULTE HOMES OF MINNESOTA, LLC
7500 FLYING CLOUD DRIVE, SUITE 670
EDEN PRAIRIE, MN 55344

B. "Owner" whose name and address is:

DPS- LAKE-ELMO, LLC
6007 CURRIAN WAY
MINNETONKA, MN 55345

RECITALS

WHEREAS, the Applicant has applied to the City for approval for one or more of the following:
(Circle One)

- | | |
|-------------------------------------|-----------------------------|
| <input type="checkbox"/> | 1. Concept / Sketch Plan |
| <input checked="" type="checkbox"/> | 2. Preliminary Plat |
| <input type="checkbox"/> | 3. Final Plat |
| <input type="checkbox"/> | 4. Planned Unit Development |
| <input type="checkbox"/> | 5. Open Space Development |
| <input type="checkbox"/> | 6. Conditional Use Permit |
| <input type="checkbox"/> | 7. Commercial Zoning / Use |
| <input type="checkbox"/> | 8. EAW Review |

WHEREAS, the Applicant acknowledges the receipt of benefit to the property, from the City's technical and compliance review of the application; and

WHEREAS, under authority granted to it, including Minnesota Statutes Chapters 412 and 462, the City will process the application on the condition that the Applicant enter into this Deposit Agreement, which agreement defines certain duties and responsibilities of the Applicant, as well as the City; and the Applicant shall provide cash to the City in the amount satisfactory to the City; and provide security to the City for the payment of all review costs incurred by the City.

NOW THEREFORE, the City and Applicant agree as follows:

1. **Requirement.** The Applicant is required to make the necessary deposits prior to the process of municipal planning, public works, legal & engineering review commences.
2. **Review Process.** Applicant acknowledges and agrees that the City shall commence to review and process the review request checked above at such a time that this Agreement is executed by all parties and the cash required for the specific review is deposited and posted by the City's Finance Department. The City may provide a review completion schedule to the Applicant at the time of deposit. The City reserves the right to modify the schedule based on the completeness of the application, the need for additional information for review, or revisions to the application that may occur during the scheduled review.
3. **Use of Deposited Funds.** The City may draw upon the deposits to pay the costs it incurs in connection with reviewing the application. The City shall determine all of its costs, including both administrative and consulting services, at the rates charged by the City or its consultants, determined according to the City's adopted fee schedule. A copy of the current administrative and consulting rates is attached as Exhibit "A", which rates are subject to change by the City, without notice to the Applicant. Exhibit "A" should not be construed as an exhaustive list of consultants and Applicants shall be responsible for all other consulting fees related to the application. The City shall provide Applicant with the applicable rates for consultants used in the review prior to commencement. This Agreement does not pertain to ancillary charges incurred by reviewing of other governmental bodies, including but not limited to, Soil & Water Conservation Districts, Washington County Government, Water Shed, or any other unit of government that may, by right, have review authority.
4. **Conditions of Deposit.** The following stipulations and conditions shall apply to the deposit account for review services contemplated under this Agreement.
 - a. Payment shall be made to City consultants, included but not limited to legal and planning, in the amounts billed to the City, according to consulting rates in effect at the time of the execution of the agreement. Such consulting deemed necessary for the proper review of the application shall be at a usual and customary rate as it relates to the subject matter of the application for payment as determined by the City.
 - b. The City shall reimburse itself from deposit accounts for all costs and expense incurred by the City in connection with the implementation and enforcement of this Agreement. Reimbursement shall occur on a monthly basis and the City's Finance Department shall notify Applicant of the reimbursement via account reconciliation report.
 - c. The City shall not be responsible for paying any interest on the money deposited under the Agreement.
 - d. If in the discretion of both the City's Finance Department and the Community Development Department, there is deemed to be an inadequate balance in the deposit account to pay for all fees and costs incurred by the City, the City will notify the Applicant for the need for an additional deposit. The total of the additional deposit shall be calculated by City staff based on the amount of work yet to be completed in the review of the application. Applicant

agrees to make the additional deposit within (10) days of a receipt of such notice. For purposes hereof, receipt of notice shall be deemed made upon the depositing of the notice in the U.S. Mail, postage paid. In the event, the Applicant fails to make the additional deposit with (10) days of receipt of the notice, the City will terminate its review process and not re-commence until the appropriate deposit is made and posted by the City's Finance Department.

e. No applications will be processed or forwarded to the appropriate governing reviewing body by the City until all amounts due under this Agreement have been paid in full.

5. **Positive Balance in Escrow Accounts.** Upon the happening of any of the following events, the balance in the deposit account less outstanding fees shall be paid to the Applicant within (90) days of receipt by the City of a written request by the Applicant for payment: (1) completion of the development process; or (2) the application is withdrawn by the Applicant; (3) the applicant is denied by the City for any reason.
6. **Deposit Amounts.** The initial deposit amount contemplated for each the purposes described under the Agreement, which may be revised by the City from time to time, are set forth for Exhibit "B" attached hereto.
7. **Accounting.** If there has been activity in the account, the City will provide a monthly accounting of all expenses charged against the account or when requested by the Applicant. An accounting will also be provided when the City notices the need for an additional escrow deposit.
8. **Terms of Breach.** In the event of any terms of this Agreement are breached by the Applicant, including, but not limited to failure to make additional deposits when required by the City, the City may cease processing any application submitted by the Applicant or order the Applicant to cease any further development or progress under the terms of this Agreement, or both. Applicant indemnifies and holds the City harmless from any liability, claim, action or suit by or any obligation to the Applicant arising from or in connection with the City exercising or enforcing the terms and conditions of this Agreement or action on the Application. The Applicant shall pay all costs and expenses, including reasonable attorney fees and suit costs, incurred by the City arising from or in connection with the City any terms and conditions of this Agreement.
9. **Validity.** If any portion, section, subsection, sentence, clause, paragraph or phrase of this Agreement is for any reason held to be invalid, such invalidity shall not affect the validity of the remaining portion of this Agreement.
10. **Binding Agreement.** The parties mutually recognize and agree that all terms and conditions of this Agreement shall run with the land herein described and shall be binding upon the heirs, successors, administrators and assigns of the parties referenced in this Agreement.
11. **Amendments.** The terms of this Agreement shall not be amended without the written consent of the City and all parties hereto.

[Signature Page Follows]

IN WITNESS WHEREOF, we have hereunto set our hands and seals.

APPLICANT

OWNER:

[Signature]
By: PAUL HEUER
Its: DIRECTOR OF LAND PLANNING

DPS - Lake Elmo LLC
By: Alan Dale
Its: Chief Manager

By: _____
Its: _____

By: _____
Its: _____

STATE OF MINNESOTA)
) ss.
COUNTY OF ~~WASHINGTON~~)
 HENNEPIN

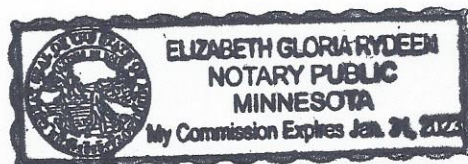
On this 3 day of JANUARY, 2019, before me a Notary Public within and for said County, personally appeared PAUL HEUER and _____ to me personally known, to be the person described in and who executed the foregoing instrument and acknowledged that he / she / they executed that same as his / her / their free act and deed.

[Signature]
Notary Public

STATE OF MINNESOTA)
) ss.
COUNTY OF WASHINGTON)



On this 4 day of January, 2019, before me a Notary Public within and for said County, personally appeared Alan Dale and n/a to me personally known, to be the person described in and who executed the foregoing instrument and acknowledged that he / she / they executed that same as his / her / their free act and deed.



[Signature]
Notary Public

CITY OF LAKE ELMO

By: Kristina Handt
Its: City Administrator

Attest: Julie Johnson, City Clerk

STATE OF MINNESOTA)
) ss.
COUNTY OF WASHINGTON)

On this ____ day of _____, 201 , before me a Notary Public within and for said
County, personally appeared _____ and _____ to me
personally known, to be the person described in and who executed the foregoing instrument and
acknowledged that he / she/ they executed that same as his / her / their free act and deed.

Notary Public



“Bentley Village”

APPLICATION FOR: PRELIMINARY PLAT & REZONING

**LAKE ELMO, MINNESOTA
January 25, 2019**

Introduction

Pulte Homes of Minnesota, LLC (“Pulte”) is pleased to be submitting this application.

Our company mission statement is ***“Building Consumer Inspired Homes and Communities to Make Lives Better”***. We currently operate under three distinct brands of homebuilding throughout the country: Pulte Homes, Centex Homes, and Del Webb. Pulte’s Minnesota Division has an office in Eden Prairie. We sold approximately 500 homes in the Twin Cities in 2018, all under the Pulte Homes brand.

Pulte will act as both developer of the property and builder of the homes. The primary contact for Pulte is:

Paul Heuer, Director of Land Planning & Entitlement
7500 Flying Cloud Drive, Suite 670
Eden Prairie, MN 55344
952-229-0722
Paul.Heuer@PulteGroup.com

The owner of the property is:

DPS - Lake Elmo, LLC – Alan Dale
6007 Culligan Way
Minnetonka, MN 55345
952-288-2201
adale@stonehenge-usa.com

The surveyor, civil engineer, and landscape architect is:

Alliant Engineering
Primary contact: Mark Rausch
733 Marquette Ave Ste 700
Minneapolis, MN 55402-2340
(612) 767-9339
mrausch@alliant-inc.com

The Property

Legal Description:

That portion of the East Half of the Southwest Quarter and that portion of the West Half of the Southeast Quarter, both in Section 34, Township 29, Range 21, Washington County, Minnesota, described as follows:

Commencing at the West Quarter corner of said Section 34; thence South 00 degrees 00 minutes 40 seconds East, along the West line of said Section 34, a distance of 472.55 feet; thence North 89 degrees 57 minutes 32 seconds East, a distance of 1315.91 feet to the West line of said East Half of the Southwest Quarter; thence South 00 degrees 02 minutes 55 seconds West, along said West line a distance of 714.99 feet to the point of beginning; thence North 89 degrees 55 minutes 22 seconds East, a distance of 212.38 feet; thence Southeasterly along a tangential curve concave to the Southwest having a central angle of 29 degrees 05 minutes 37 seconds, a radius of 1100.00 feet for an arc distance of 558.56 feet; thence South 60 degrees 59 minutes 01 seconds East, tangent to said curve, a distance of 224.27 feet; thence Southeasterly along a tangential curve concave to the North, having a central angle of 68 degrees 21 minutes 23 seconds, a radius of 760.00 feet for an arc distance of 906.71 feet; thence North 50 degrees 39 minutes 36 seconds East, a distance of 410.97 feet; thence Northeasterly along a tangential curve concave to the Southeast, having a central angle of 20 degrees 49 minutes 17 seconds, a radius of 1060.00 feet for an arc distance of 385.20 feet; thence North 71 degrees 28 minutes 52 seconds East, tangent to said curve, a distance of 202.22 feet to the East line of said West Half of the Southeast Quarter; thence South 00 degrees 01 minutes 13 seconds West, along the East line a distance of 1089.33 feet to a line hereinafter referred to as Line 'X'; thence South 89 degrees 40 minutes 54 seconds West, along said Line 'X' and its westerly extension, a distance of 1324.76 feet to the East line of said East Half of the Southwest Quarter; thence South 00 degrees 06 minutes 31 seconds West, along said East line a distance of 15.85 feet to the North line of the South 675.00 feet of said East Half of the Southwest Quarter; thence South 89 degrees 53 minutes 57 seconds West, along said North line a distance of 1314.35 feet to said West line of the East Half of the Southwest Quarter; thence North 00 degrees 02 minutes 55 seconds East, along said West line a distance of 774.53 feet to the point of beginning.

Line 'X' is described as follows:

Commencing at the southwest corner of said West Half of the Southeast Quarter; thence North 00 degrees 06 minutes 31 seconds East, assumed bearing, along the west line of said West Half of the Southeast Quarter, a distance of 82.86 feet to the north line of Parcel 29C of Minnesota Department of Transportation Right of Way Plat No. 82-43; thence North 89 degrees 18 minutes 27 seconds East, along said north line, a distance of 40.00 feet; thence North 00 degrees 06 minutes 31 seconds East, a distance of 607.73 feet to the point of beginning; thence North 89 degrees 40 minutes 54 seconds East, a distance of 1284.76 feet to the east line of said West Half of the Southeast Quarter, and said Line 'X' there terminating.

Property Identification Number:

34-029-21-34-0006 west property
34-029-21-43-0003 east property

Address:

9450 Hudson Boulevard, Lake Elmo, MN 55042 – west property
East property has no address

Key Facts

- Existing zoning is R2-PUD
- 2030 Comprehensive Plan indicates Urban Medium Density with a density range of 4.5 to 7 units/acre
- 2040 Draft Comprehensive Plan indicates Urban Medium Density with a density range of 4 to 8 units/acre
- Proposed zoning is MDR Urban Medium Density Residential
- Proposed use is 240 attached townhomes with homeowner's association maintenance
- Gross calculations:
 - West property = 839,837 square feet = 19.28 acres
 - East property = 971,593 square feet = 22.30 acres
 - Total = 1,811,430 square feet = 41.58 acres
 - Gross density = 240 units/41.58 acres = 5.77 units/acre
- Net calculations:
 - Gross area = 1,811,430 square feet = 41.58 acres
 - 5th Street ROW dedication = 294,126 square feet = 6.75 acres
 - Net area = 1,517,304 = 34.83 acres
 - Net density = 6.89 acres
- Dimensions/Setbacks
 - 25-foot front setback
 - 25-foot rear setback
 - 15-foot corner/side setback
 - 20-foot side internal setback (building separation)
- Public utilities and streets
- Local streets are 28-feet wide within a 53-foot right-of-way
- Right-of-way area:
 - Local = 291,556 square feet = 6.69 acres
 - Collector (Road G) = 32,278 square feet = 0.74 acres
 - 5th Street = 294,126 square feet = 6.75 acres
 - Total = 617,960 square feet = 14.19 acres
- Open space area:
 - Open space (public outlots B,H,I) = 138,438 square feet = 3.18 acres
 - Open space (private outlots A,C,D,E,F,G) = 455,577 square feet = 10.46 acres
 - Open space total = 594,015 square feet = 13.64 acres
- Open space/unit requirement = 500 sf
- Minimum open space/unit provided = 557 sf
- Impervious surface requirement = 50% maximum
- Impervious surface provided = 739,433 square feet = 49.8%

Neighborhood Vision

This property is in a very attractive location. It is conveniently located near freeways, parks, and retail. However, its proximity to I-94 (as near as 700 feet) leads to higher levels of noise. This, in

addition to having a commercial property immediately to the south is an indicator that this property is not a strong candidate for detached homes. The ideal use for this property is attached housing as a natural transition between commercial properties to the south and single-family properties to the north. Townhome buyers tend to be more tolerant of freeway noise and more intensive land uses.

Our vision is to create an attractive townhome neighborhood with a focus on convenient access to regional amenities and privately owned recreational amenities within the neighborhood. Key neighborhood traits are:

1. **Access** – Bentley Village is very short drive to I-94 and 494, leading to high level of convenience for homeowners.
2. **Parks** – Lake Elmo Park Reserve is just over one mile from Bentley Village, offering a wide variety of recreational opportunities such as walking trails, swimming, archery, fishing, horseback riding, camping, and cross-country skiing. A City park with a playground is just to the north of 5th Street North with trail access connecting the park to 5th Street North. 5th Street North has a trail along the north side and a sidewalk along the south side. Bentley Village has a wide range of recreational opportunities nearby.
3. **Retail** – A wide variety of retail properties are just blocks away from the neighborhood, including restaurants, Target, Walmart, Trader Joe's, Cabela's, and many others.
4. **Private Amenities** – We are planning the incorporation of private amenities for the use of Bentley Village residents. Not only are such amenities attractive for homebuyers, but they also help to create a sense of neighborhood identity and to facilitate social interaction in a neighborhood.

Neighborhood Design

We have carefully studied the market, the City's Comprehensive Plan, the property, and the surrounding uses and have worked diligently to create a neighborhood layout that is ideally suited for this property. We are very pleased with how our vision and the resulting plan have come together. Below is a description of the various traits and strategies utilized in designing the neighborhood.

Access

The trunk transportation network serving this property is in place. What remains is to connect to the existing network at the safest locations.

We are making two connections to 5th Street North directly across from Jasmine Road North and Junco Road North. By connecting at these locations, we will avoid the introduction of additional connection points to 5th Street North. This results in the safest possible access to 5th Street North.

We are also planning for a 100-foot wide right-of-way to accommodate a future planned collector street which will connect 5th Street North to the commercial properties to the south and ultimately to Hudson Boulevard North. We plan to build the portion of collector street that runs through the subject property and to connect to this street to serve both the west and east properties.

Combined, both the west and east properties have two safe access points with strong internal connectivity between the access points.

Physical Constraints

Near the west edge of the west property, a natural gas pipeline bisects the property. Buildings cannot be placed within this existing 50-foot wide easement. We have designed the neighborhood to comply with these requirements.

On the north side of the west property, an existing overland drainage and utility easement exists. We will extend storm sewer to collect this water and will provide new drainage and utility easements. The old easement will be vacated. We have included an exhibit with this application to facilitate vacation.

Near the east edge of the east property, an existing temporary 21-inch diameter storm sewer pipe within an existing 30-foot wide easement runs through a portion of the property. This storm sewer will be realigned and the easement will be vacated. We have included an exhibit with this application to facilitate vacation.

Parks

It is our understanding that the parks and open space dedicated within properties to the north of 5th Street North satisfy park needs for the area. Therefore, we anticipate paying park dedication fees to satisfy our park requirements. The incorporation of private recreational amenities within Bentley Village will reduce the demand/need for public parks and recreational amenities in the area.

Building Orientation

One important design attribute that can make a townhome neighborhood feel more “livable” is to vary the orientation of the buildings. This prevents the feeling of “barracks” that can sometime occur if attention is not given to how the geometric layout of the neighborhood impacts how it “feels.” We are utilizing this strategy most powerfully at the primary intersection of 5th Street North and the future collector road. Additionally, we have purposely created internal streets that do not run in parallel, thereby preventing the “barracks” feel.

Private Amenities

A key part of creating new neighborhoods is understanding our customers and anticipating their desires. This property is in an attractive location, surrounded by a variety of recreational, retail, and convenience-oriented amenities. Still, many people desire private, social gathering places to form bonds with their immediate neighbors. This is an important priority for many of our customers, and the size of the neighborhood is large enough to economically sustain such amenities. Based on our early market research, we are planning the following private amenities, all to be owned and maintained by a professionally managed home owners association:

- Swimming pool – Early market research is not conclusive regarding a pool. It is possible that we may replace the pool with a dog park or other amenity.
- Playground/tot lot – Although a public tot lot exists north of 5th Street North, this street will increasingly become a barrier as traffic volumes increase. Inclusion of a private tot lot will be desirable.
- Open play areas – We are planning some open play area in both the east and west sides. Residents will find many uses for these versatile spaces.
- Trails

Parking

Adequate parking in a townhome neighborhood is critical and we have a great deal of experience in this area. We have designed the neighborhood to have a significant amount of guest parking (see parking plan). In addition, the parking lot for the pool area is available for overflow parking. It is our understanding that homeowners living in the existing townhome neighborhood to the east have complained about lack of guest parking in their neighborhood. Please be assured that our design differs from the adjacent neighborhood, which primarily includes narrow private streets that do not allow parking. We are utilizing wider public streets that accommodate parking on one side throughout the neighborhood. The difference in guest parking accommodation is substantial.

Changes Since Sketch Plan

The Planning Commission provided comments on the sketch plan application on October 22, 2018. The City Council provided comments on the sketch plan application on November 7, 2018. In addition, City staff provided comments via review memos.

We carefully considered the comments received from all parties and have responded by revising it:

1. Widened right-of-way – One engineering comment was that the 50-foot right-of-way may not be wide enough to easily accommodate the necessary public infrastructure. We worked with the City Engineer to establish a right-of-way width that works well (53 feet) and we have incorporated this into the new neighborhood design.
2. Snow storage – Another engineering comment was that there may not be enough room for snow storage at the end of the two cul-de-sacs. We revised the plan to create a large open area for snow storage at the end of the east cul-de-sacs. The west cul-de-sac was eliminated. See below item 10.
3. Intersection angle – We straightened an intersection to result in it being at a 90-degree angle, which is desirable from an engineering standpoint.
4. Relocated the pool – The old pool location was in a remote area that could cause difficulties related to maintenance. We relocated the pool to a location that will provide much more convenient access for maintenance. It will also increase the attractiveness of the neighborhood by placing the pool in a highly visible location from the streets.
5. Created wider, more beautiful entrances – It is important to us to have neighborhood entrances that are beautiful and welcoming. Entrances set the tone and character of a neighborhood. We have created entrances with landscaped center islands that provide a sense of arrival, beauty, and security and we have utilized standards provided by the City Engineer.
6. Increased perimeter setbacks – We increased the perimeter setbacks from the east, south, and west property lines from the required 20 feet to 25 feet to provide additional space for accommodating drainage and landscaping.
7. Added playground/tot lot – We heard a suggestion to add a private tot lot. After contemplating how busy 5th Street N could be in the future, we felt that a neighborhood of this size would find a private tot lot to be desirable.

8. Added trails – We heard a suggestion to add more private trails. We also heard engineering describe how sidewalks have sometimes been required in Lake Elmo to have sidewalks on both sides of the street. This is a somewhat unusual policy. However, we came up with a solution to both comments. Instead of a secondary (duplicate) sidewalk along the streets, we created a separate private trail system that allows pedestrians to walk or bike through the neighborhood from end to end. The result is a more attractive and functional pedestrian system and less public infrastructure for the City to maintain.
9. Parking – We have heard positive feedback from neighbors about our new neighborhood. However, we have heard complaints within the townhome neighborhood to the east that they lack adequate guest parking. As described above and demonstrated in our parking plan, we are providing a significant amount of guest parking within the neighborhood.
10. Pipeline driven revisions – As we completed preliminary engineering, it became apparent that our storm sewer in the west end of the property would conflict with the existing gas pipeline running through the property. To resolve this conflict, we were forced to move the west pond from the west side of the pipeline to the east side. This resolved the conflict. By bringing the pond into the neighborhood, it also resulted in making the neighborhood feel more open and less dense.

Ordinance Revision Required

As discussed during the sketch plan review process, there is currently a contradiction between the City's Comprehensive Plan and Zoning Ordinance. The 2030 Comp Plan allows a density of 4.5 to 7 units/acre. (The 2040 draft Comp Plan allows a density of 4 to 8 units/acre.) The current zoning ordinance requires a minimum lot area of 4,000 square feet for this land use. These regulations conflict with each other and cannot be reconciled without changing either the Comp Plan or the ordinance.

It is not uncommon for cities to experience this type of contradiction. Typically, the Comp Plan is the "leading" document and ordinances are revised to align with the Comp Plan. We recommend that the ordinance be revised in parallel with processing this application.

Adjacent Land Uses

There are no conflicts with adjacent land uses. Traditionally, townhomes and other multifamily residential land uses are utilized as transitional buffers between more intensive uses and less intensive uses. In this case, single family homes lie to the north. However, 5th Street North lies between these two land uses, providing a significant existing buffer. To the east of the neighborhood lies similar townhomes. To the west lies industrial uses. Properties to the south are guided for Mixed Use – Commercial, a somewhat higher intensive land use. A townhome neighborhood is the ideal transitional land use for this location.

Natural Resources

There are no wetlands or significant tree stands on the subject property.

Justification that Services have Capacity

The subject property is in an area of the City that has recently been developing. In conjunction with the adjacent development, new infrastructure has been designed and extended to and through the area to adequately serve the area.

A new sanitary sewer has been extended through the subject property with service stubs extended into the property. This sewer serves Phase 1 of the Regional Sewer Staging Plan and it discharges to the MCES WONE Interceptor. Our application includes land uses and densities consistent with the Comp Plan, so the sewer has been designed to accommodate this neighborhood.

Water main has previously been constructed along 5th Street North. According to the City engineer memo from the sketch plan review, “the existing water system has sufficient capacity”. Our application includes land uses and densities consistent with the Comp Plan, so the water has been designed to accommodate this neighborhood.

Storm water quantity is traditionally handled on site by limiting post development flows to be equal to or less than predevelopment flows. Due to sandy soils found on site, we will be infiltrating storm water to meet City and Watershed quality requirements. The ponds designed to serve the neighborhood are of sufficient size to serve the new neighborhood.

5th Street North has been recently designed and constructed to serve a fully developed area.

The land use and density proposed with this application is consistent with the Comp Plan. Therefore, all past and current long-term planning for fire, public safety, parks, and schools are unchanged by this application.

Our Homes

Pulte Homes is known for the extraordinary steps that we take to ensure that we are designing and building homes that meet the needs and desires of home buyers. We continually reach out to the public and Pulte homeowners to get feedback to improve our home designs. We call this Life Tested®. Through this intensive process, we have conceived of and incorporated many innovative home design features such as the Pulte Planning Center, Everyday Entry, Super Laundry, Oversized Pantry, and the Owner’s Retreat. This exhaustive process has played a major part in Pulte’s success in “Building Consumer Inspired Homes and Communities to Make Lives Better.”

Townhome Design

Our overall approach in designing the exterior of these two-story townhomes was to “individualize and stylize” each unit. The result is individual units which differ in architecture from all other units within the same building and which vary in color scheme. The result is that each unit will appear unique and distinct within each building and to a substantial degree within the new community. Attached you will find photos of the buildings to be constructed.

Innovative Approach to Rowhome Floor Plans

It is worth noting that our approach to “individualized and stylized” rowhome units extends to the interior as well. Buyers can choose from a range of options that were not typically seen in the previous generation of townhome floor plans:

- a. 3 bedrooms with an option for a 4th
- b. 1st floor sunroom addition with 2nd floor owner’s suite bathroom expansion
- c. Loft
- d. Rooftop terrace

We find that this versatile townhome appeals to a much broader spectrum of demographics than the previous generation of townhomes. This two-story townhome appeals to young, first time homebuyers, young families, and empty nesters in search of homeowner’s association maintenance of the yard, snow removal, and exterior of the buildings.

Phasing & Schedule

The following preliminary schedule for development is envisioned based on current projections and information.

2019	Development of Phase 1
2020	Development of Phase 2
2021 or 2022	Development of Phase 3
2022 or 2023	Development of Phase 4
2024-2026	Full build out

We have created a detailed Phasing Plan that is included with this application. We put a considerable amount of thought into balancing the infrastructure issues and coming up with a workable Phasing Plan. Please also note that the Phasing Plan includes a brief listing of the infrastructure and amenities included within each phase.

This submittal includes:

- *Land Use application*
- *Application fee/escrow of \$15,595*
 - *Preliminary plat = \$1,850 fee + \$10,000 escrow*
 - *Zoning amendment (rezoning) = \$1,245 fee + \$2,500 escrow*
- *This narrative*
- *Parcel info/mailing labels*
- *Survey, engineering, and landscape architecture, phasing, and parking exhibits*
- *Neighborhood rendering*
- *Example home photos*
- *Example home floor plans*

Example Photos of Elevations



Example Photos of Elevations



Example Photos of Elevations



Example Photos of Elevations





Rainier

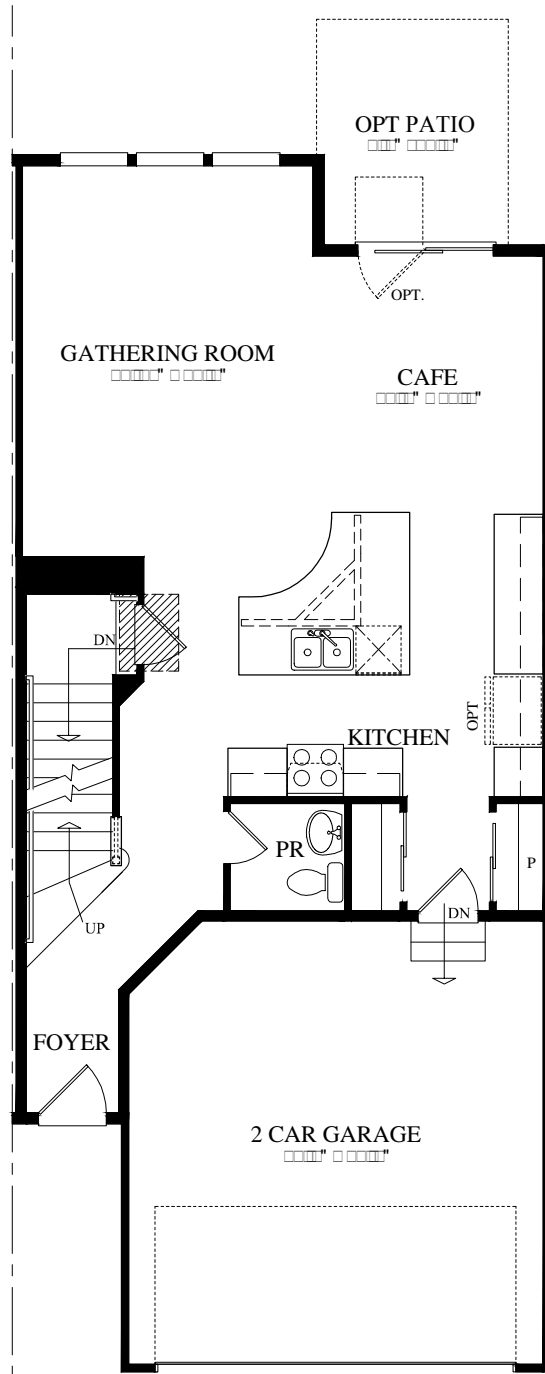


Floor plans, Elevations and Options will vary from Community to Community and may not reflect current changes. Dimensions shown are approximate.

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2407.902-Rainier-(FL-GE-KC)-MN-Base-BROC.dwg - BRO COVER

2407.902-Rainier-MN-Base-24' (2 Story) Unit-06152016



First Floor

9'-0" Ceiling

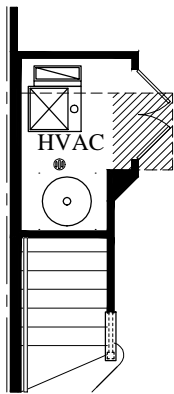
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2407.902-Rainier-(FL-GE-KC)-MN-Base-BROC.dwg - 6-FL1-N-L

2407.902-Rianier-MN-Base-24' (2 Story) Unit-06152016

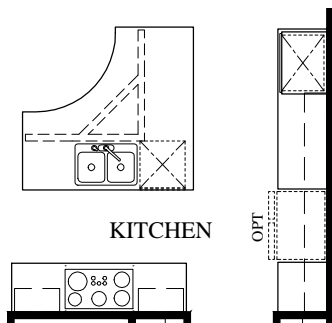




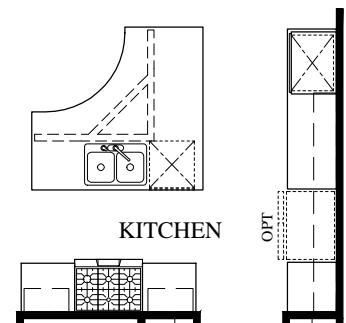
Mechanical on Slab



Fireplace Option



Gourmet Kitchen Option



Chef's Kitchen Option

First Floor Options

9'-0" Ceiling

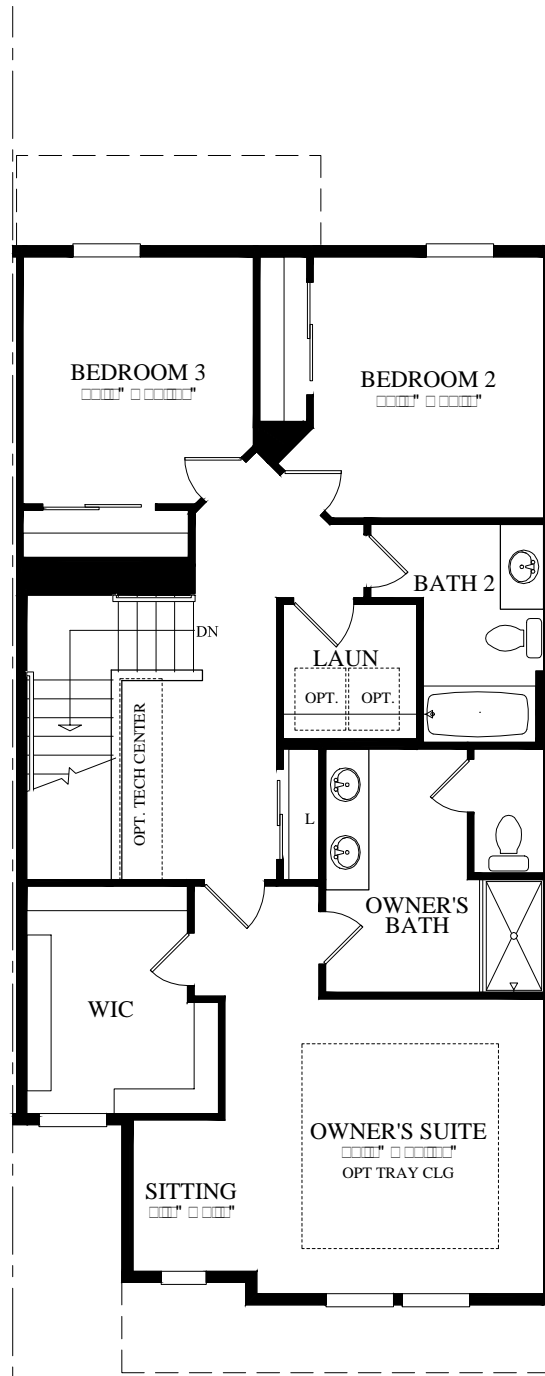
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2407.902-Rainier-(FL-GE-KC)-MN-Base-BROC.dwg - 6-OP10-N-L

2407.902-Rainier-MN-Base-24' (2 Story) Unit-06152016





Second Floor

8'-0" Ceiling (Opt. 9'-0" Ceiling)

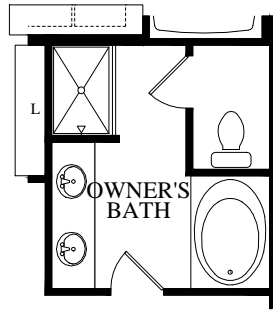
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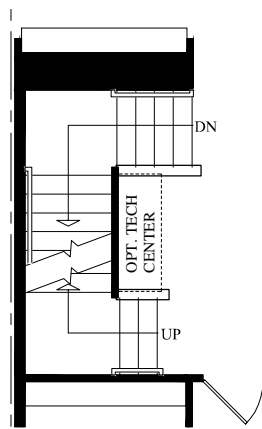
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2407.902-Rainier-MN-Base-24' (2 Story) Unit-06152016

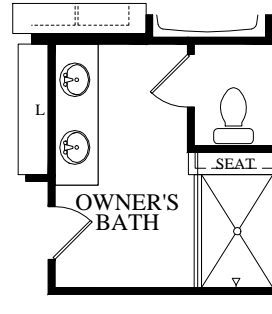




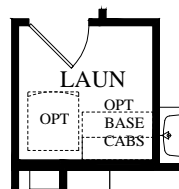
Owner's Bath Option 1



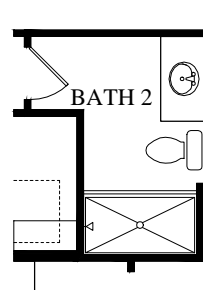
Stairs w/ Habitable Attic Option



Owner's Bath Option 2



Stacked W/D Option



Shower Option at Bath 2

Second Floor Options

8'-0" Ceiling (Opt. 9'-0" Ceiling)

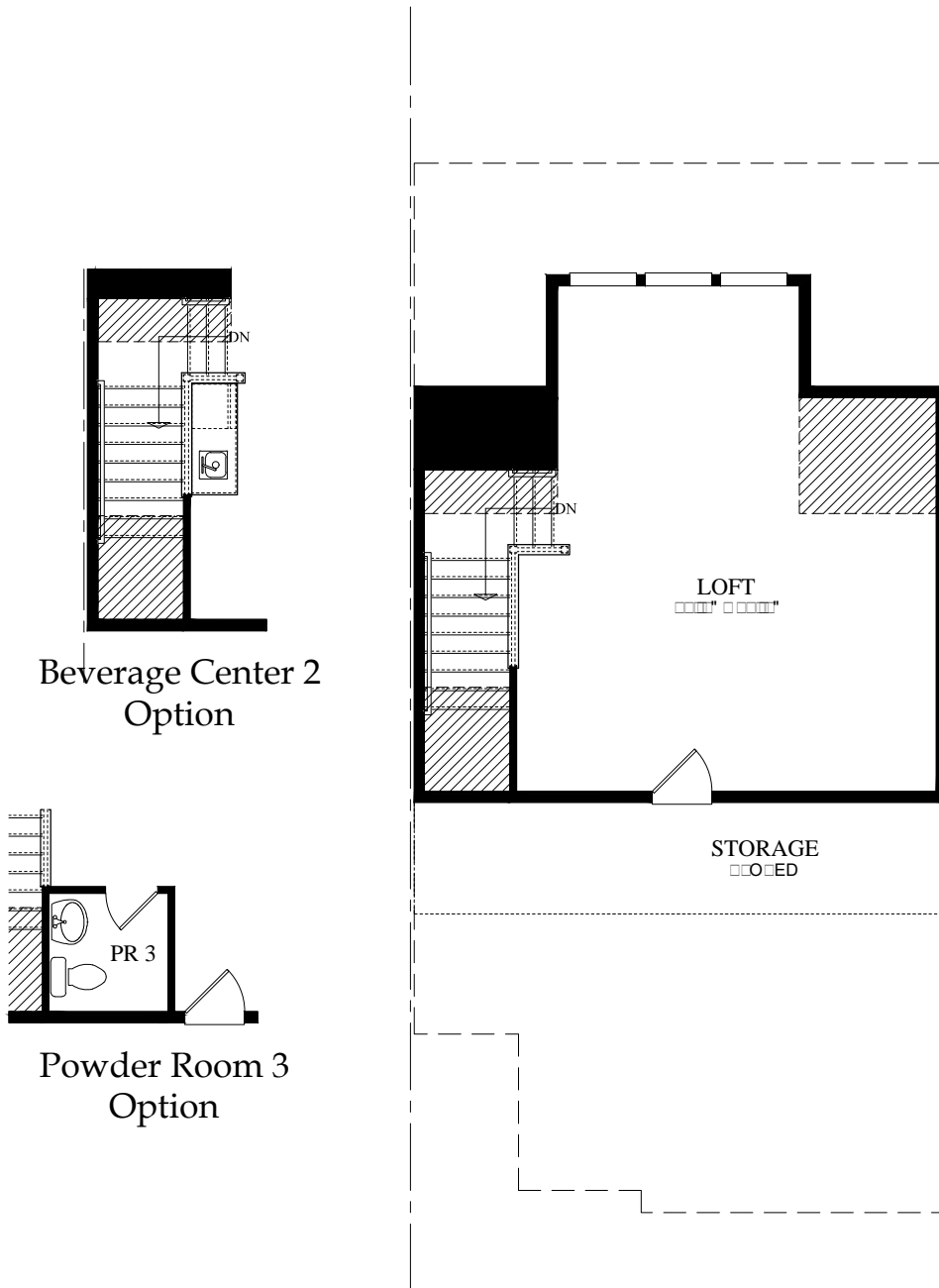
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2407.902-Rainier-(FL-GE-KC)-MN-Base-BROC.dwg - 6-OP20-N-L

2407.902-Rainier-MN-Base-24' (2 Story) Unit-06152016





Habitable Attic Option

8'-0" Ceiling

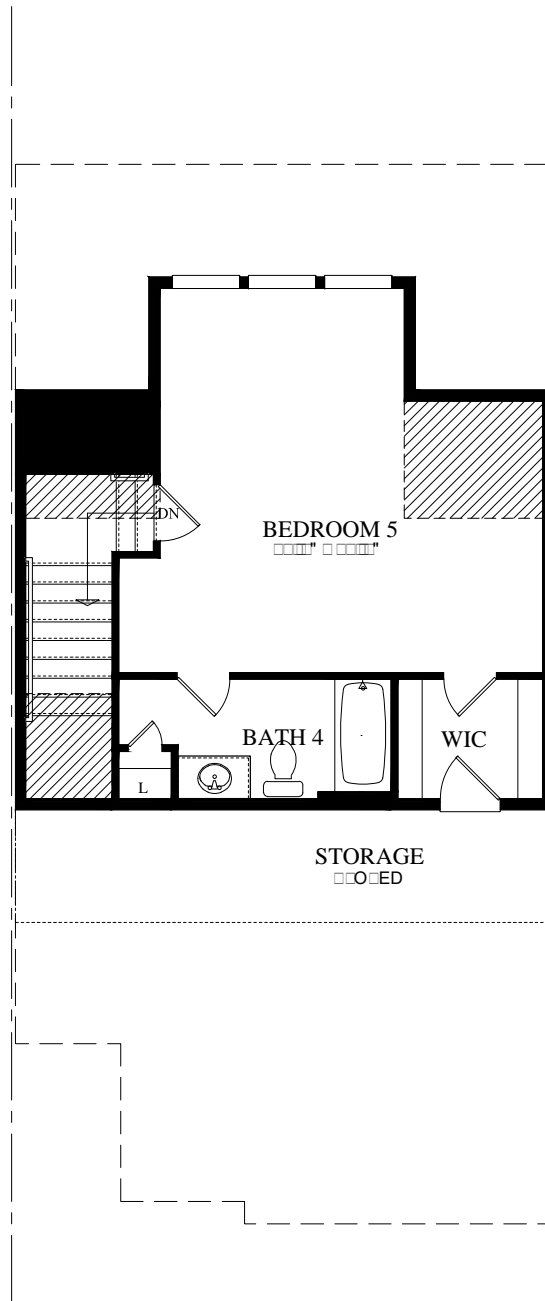
Floor plans, Elevations and Options will vary from Community to Community and may not reflect current changes. Dimensions shown are approximate.

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2407.902-Rainier-(FL-GE-KC)-MN-Base-BROC.dwg - 6-OPHA10-N-L

2407.902-Rainier-MN-Base-24' (2 Story) Unit-06152016





Habitable Attic w/ Bedroom 5/ Bath 4 Option

8'-0" Ceiling

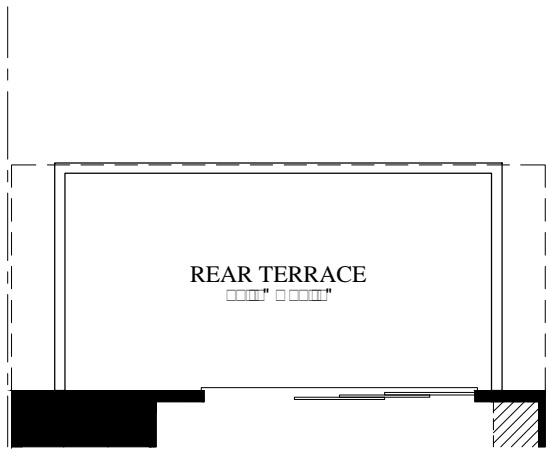
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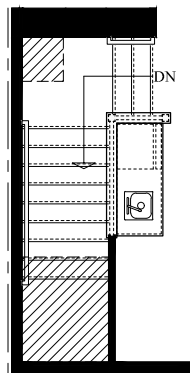
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2407.902-Rainier-MN-Base-24' (2 Story) Unit-06152016

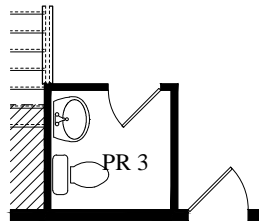




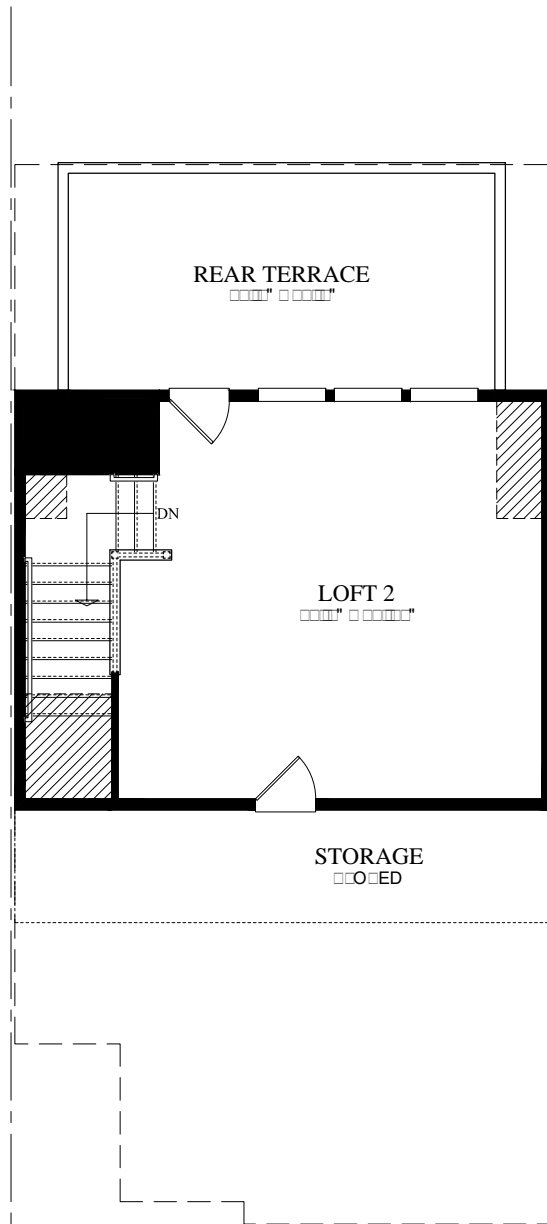
Sliding Glass Door Option



Beverage Center 2 Option



Powder Room 3 Option



Habitable Attic w/ Rear Terrace Option

8'-0" Ceiling

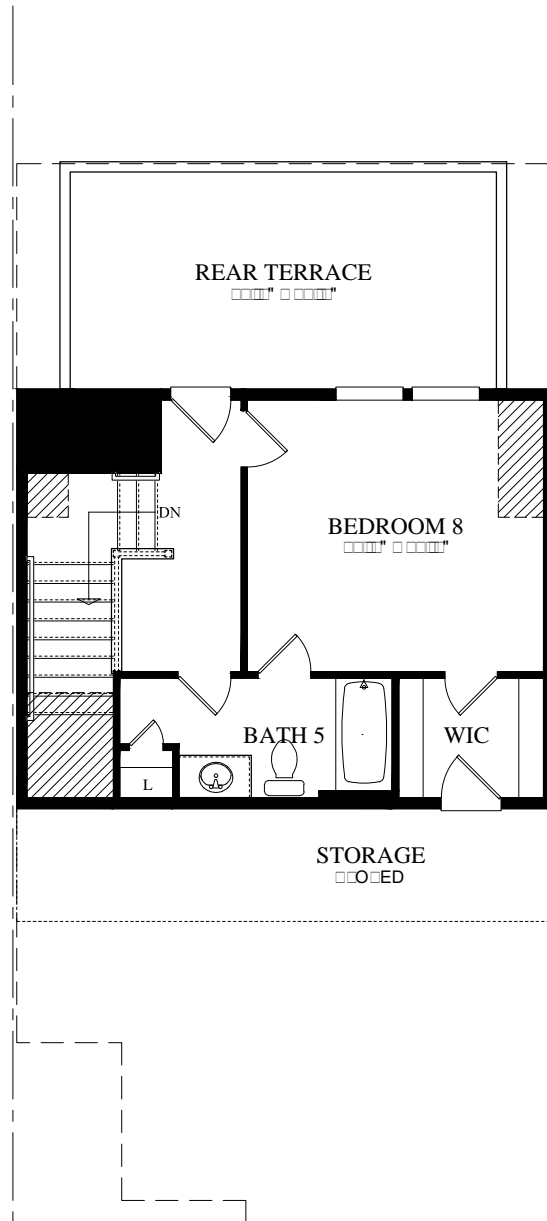
Floor plans, Elevations and Options will vary from Community to Community and may not reflect current changes. Dimensions shown are approximate.

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2407.902-Rainier-(FL-GE-KC)-MN-Base-BROC.dwg - 6-OPHA30-N-L

2407.902-Rainier-MN-Base-24' (2 Story) Unit-06152016





Habitable Attic w/ Rear Terrace and Bedroom 8/ Bath 5 Option

8'-0" Ceiling

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2407.902-Rainier-(FL-GE-KC)-MN-Base-BROC.dwg - 6-OPHA40-N-L

2407.902-Rainier-MN-Base-24' (2 Story) Unit-06152016





Denali

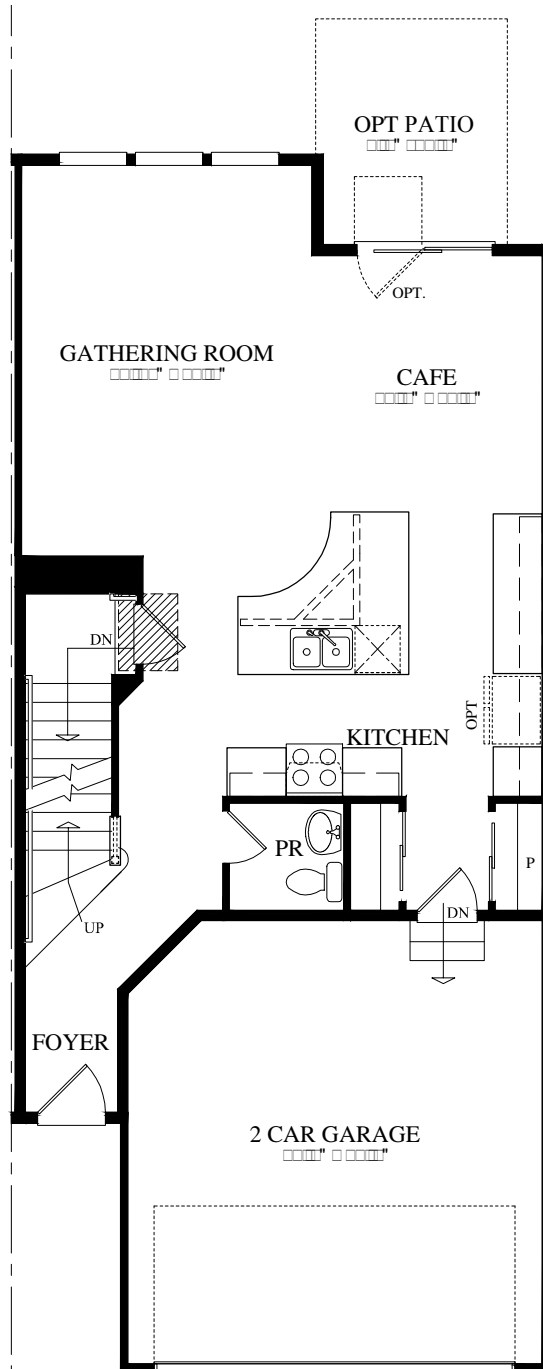


Floor plans, Elevations and Options will vary from Community to Community and may not reflect current changes. Dimensions shown are approximate.

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2467.902-Denali-(FL-GE-KC)-MN-Base-BROC.dwg - BRO COVER

2467.902-Denali-MN-Base-24' (2 Story) Unit-06152016



First Floor

9'-0" Ceiling

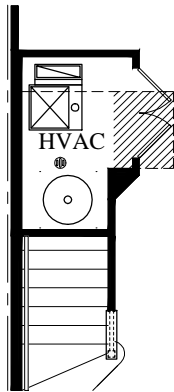
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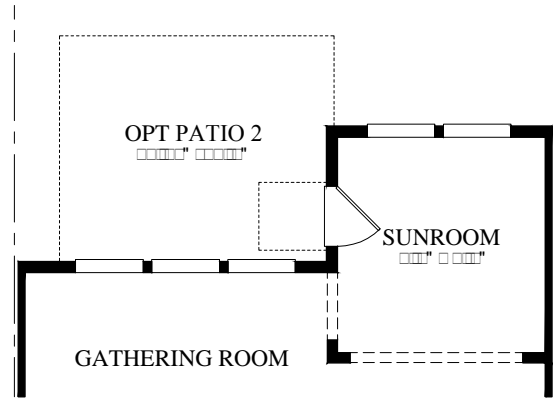
2467.902-Denali-(FL-GE-KC)-MN-Base-BROC.dwg - 6-FL1-N-L

2467.902-Denali-MN-Base-24' (2 Story) Unit-06152016





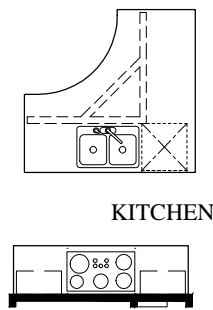
Mechanical on Slab



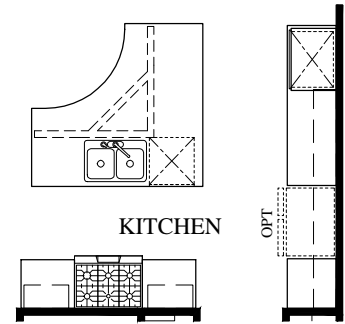
Rear House Extension Option



Fireplace Option



Gourmet Kitchen Option



Chef's Kitchen Option

First Floor Options

9'-0" Ceiling

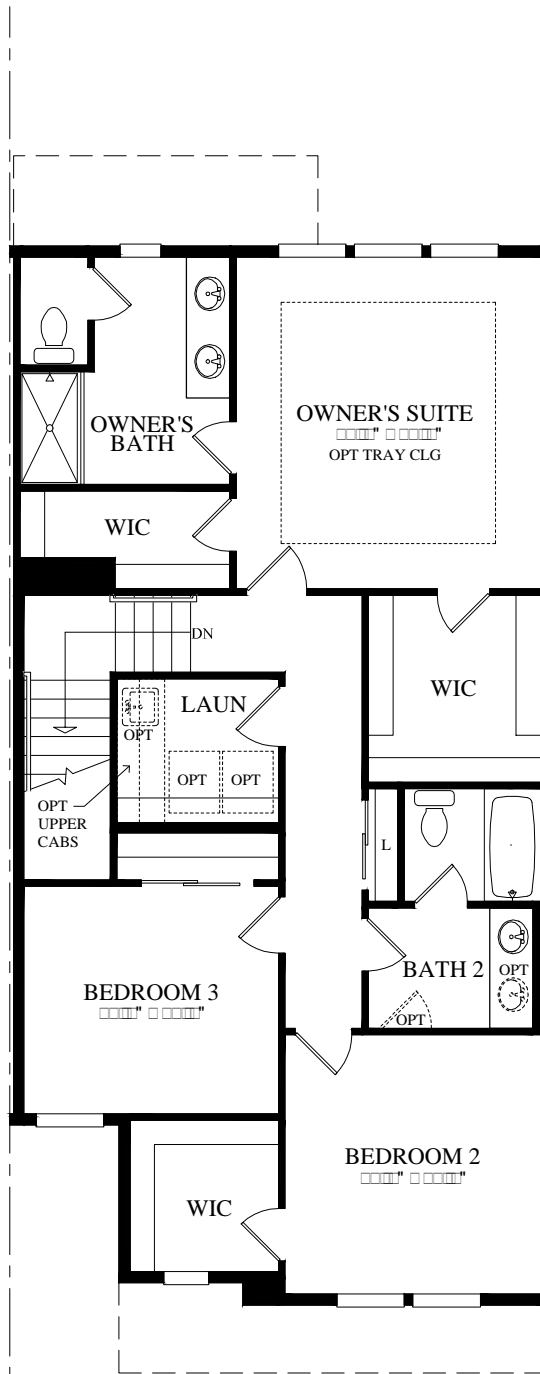
Floor plans, Elevations and Options will vary from Community to Community and may not reflect current changes. Dimensions shown are approximate.

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2467.902-Denali-(FL-GE-KC)-MN-Base-BROC.dwg - 6-OP10-N-L

2467.902-Denali-MN-Base-24' (2 Story) Unit-06152016





Second Floor

8'-0" Ceiling (Opt. 9'-0" Ceiling)

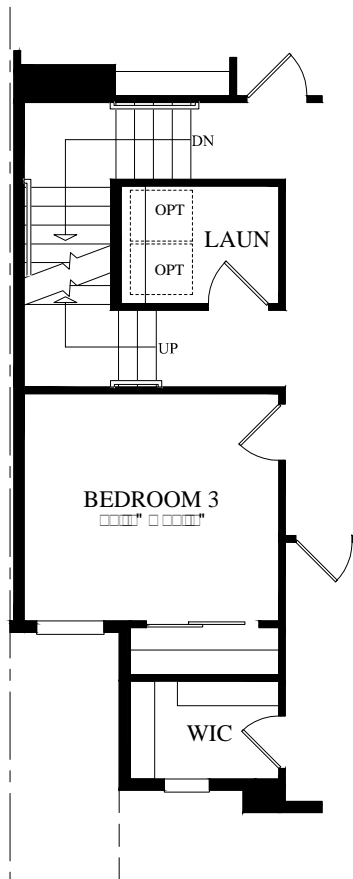
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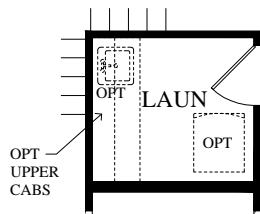
2467.902-Denali-(FL-GE-KC)-MN-Base-BROC.dwg - 6-FL2-N-L

2467.902-Denali-MN-Base-24' (2 Story) Unit-06152016

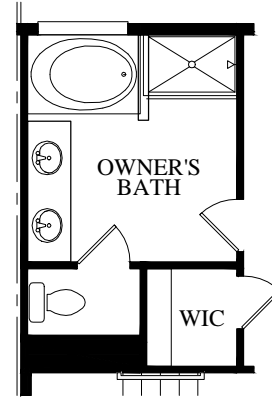




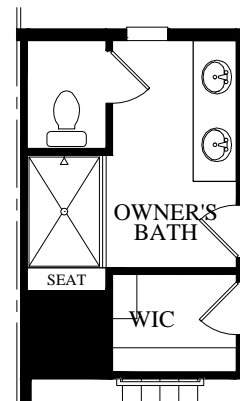
Stairs w/ Habitable
Attic Option



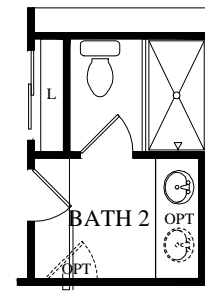
Stacked W/D Option



Owner's Bath Option 1



Owner's Bath 2 Option



Shower Option at Bath 2

Second Floor Options

8'-0" Ceiling (Opt. 9'-0" Ceiling)

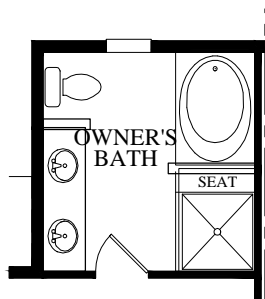
Floor plans, Elevations and Options will vary from Community
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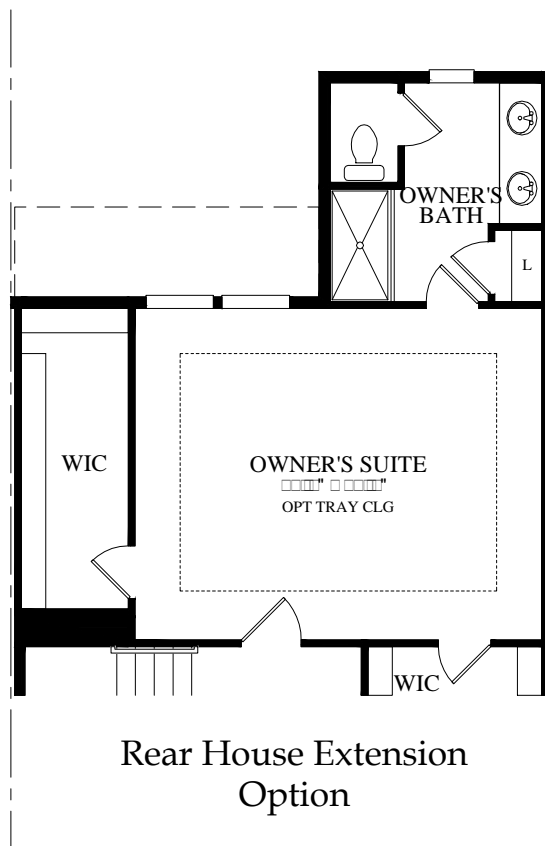
2467.902-Denali-(FL-GE-KC)-MN-Base-BROC.dwg - 6-OP20-N-L

2467.902-Denali-MN-Base-24' (2 Story) Unit-06152016





Owner's Bath 1 Option at
Rear House Extension



Rear House Extension
Option

Second Floor Options

8'-0" Ceiling (Opt. 9'-0" Ceiling)

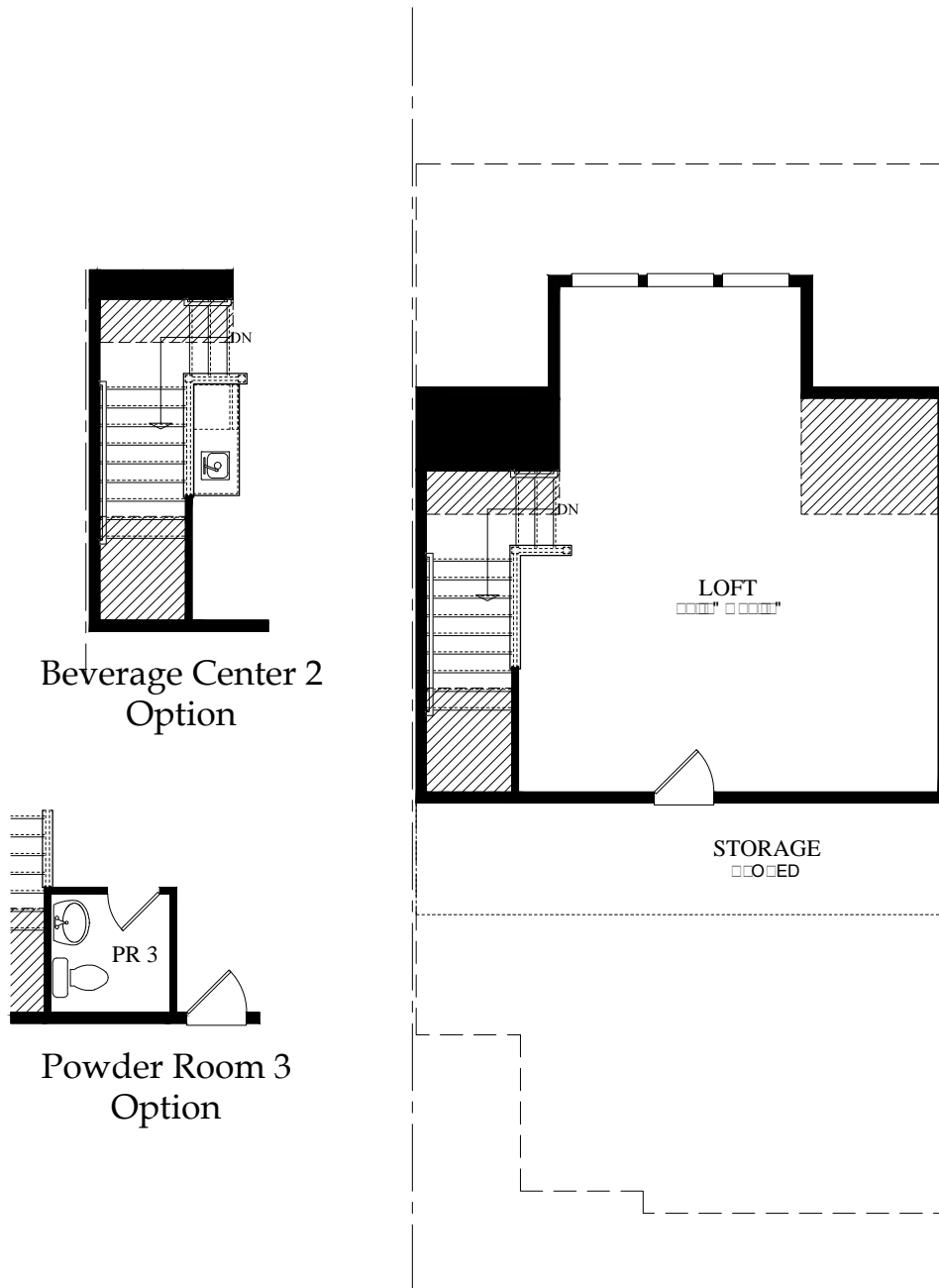
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2467.902-Denali-(FL-GE-KC)-MN-Base-BROC.dwg - 6-OP21-N-L

2467.902-Denali-MN-Base-24' (2 Story) Unit-06152016





Habitable Attic Option

8'-0" Ceiling

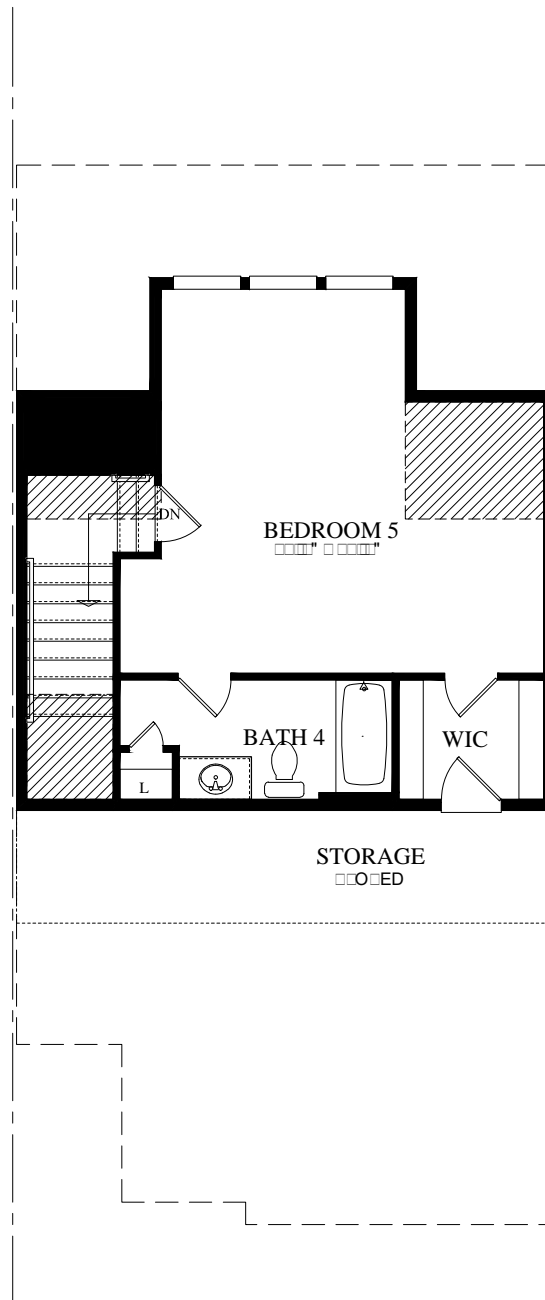
Floor plans, Elevations and Options will vary from Community to Community and may not reflect current changes. Dimensions shown are approximate.

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2467.902-Denali-(FL-GE-KC)-MN-Base-BROC.dwg - 6-OPHA10-N-L

2467.902-Denali-MN-Base-24' (2 Story) Unit-06152016





Habitable Attic w/ Bedroom 5/ Bath 4 Option

8'-0" Ceiling

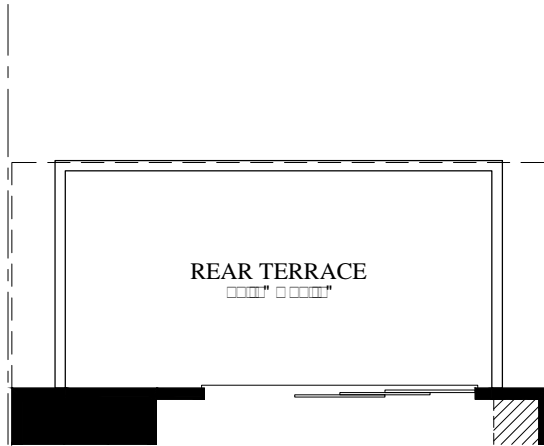
Floor plans, Elevations and Options will vary from Community to Community and may not reflect current changes. Dimensions shown are approximate.

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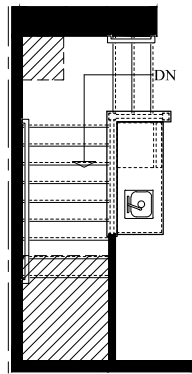
2467.902-Denali-(FL-GE-KC)-MN-Base-BROC.dwg - 6-OPHA20-N-L

2467.902-Denali-MN-Base-24' (2 Story) Unit-06152016

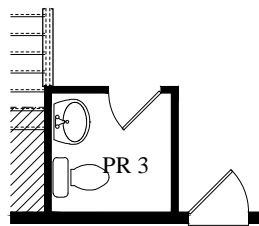




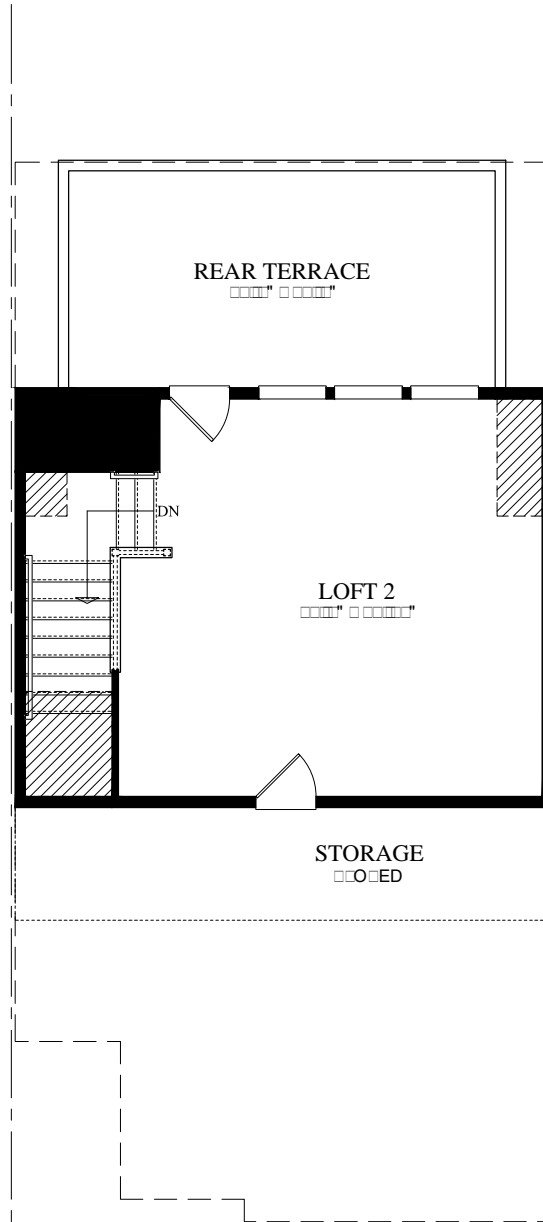
Sliding Glass Door Option



Beverage Center 2
Option



Powder Room 3
Option



Habitable Attic w/ Rear Terrace Option

8'-0" Ceiling

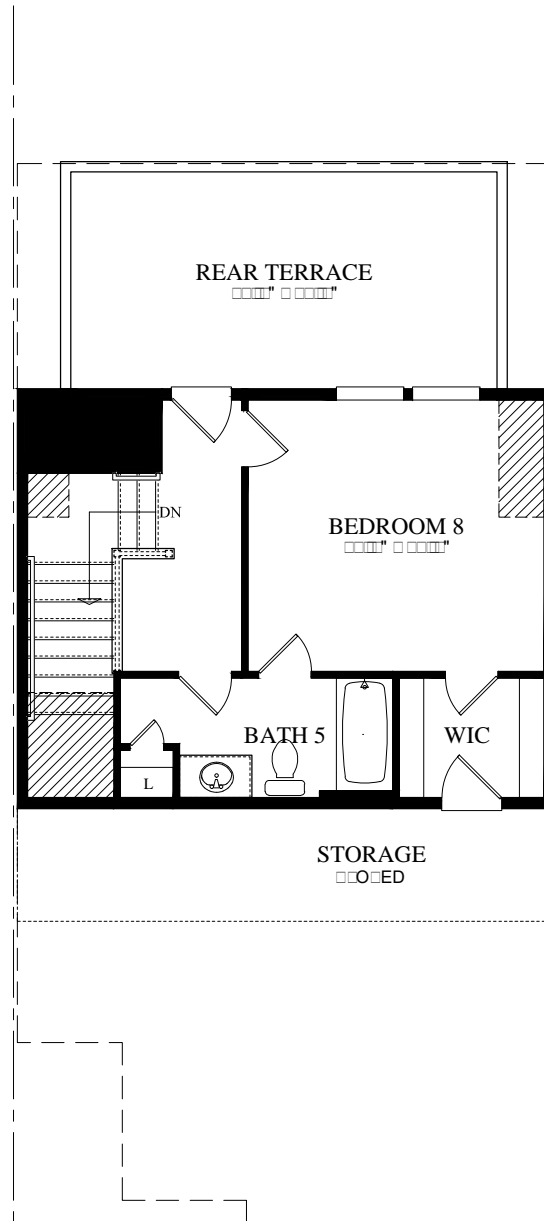
Floor plans, Elevations and Options will vary from Community to Community and may not reflect current changes. Dimensions shown are approximate.

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2467.902-Denali-(FL-GE-KC)-MN-Base-BROC.dwg - 6-OPHA30-N-L

2467.902-Denali-MN-Base-24' (2 Story) Unit-06152016





Habitable Attic w/ Rear Terrace and Bedroom 8/ Bath 5 Option

8'-0" Ceiling

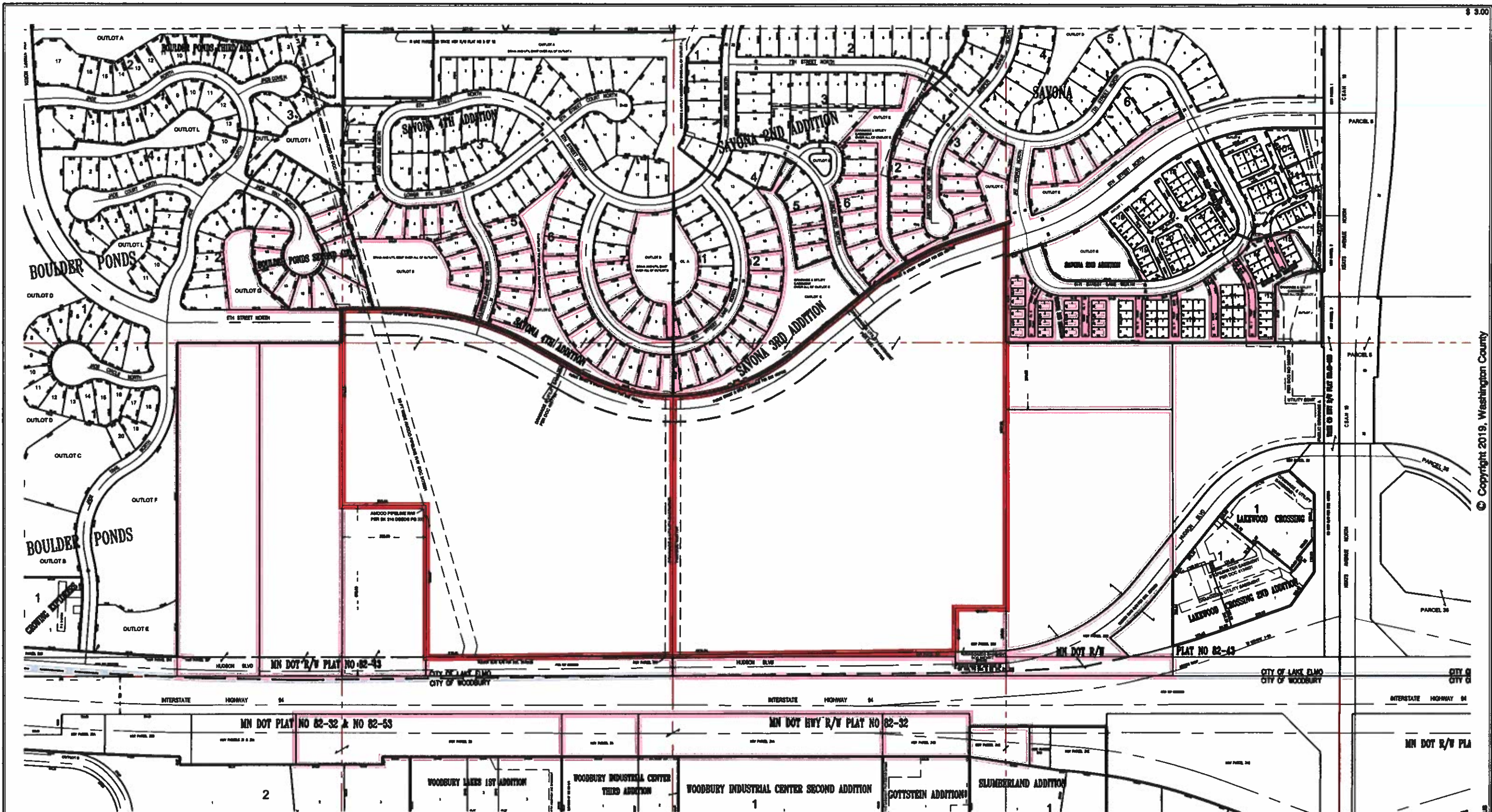
Floor plans, Elevations and Options will vary from Community to Community and may not reflect current changes. Dimensions shown are approximate.

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2467.902-Denali-(FL-GE-KC)-MN-Base-BROC.dwg - 6-OPHA40-N-L

2467.902-Denali-MN-Base-24' (2 Story) Unit-06152016





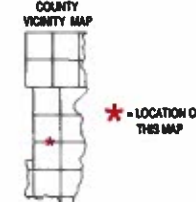
Washington County
PUBLIC WORKS DEPARTMENT
SURVEY DIVISION
11680 Myron Road North
Sawyer, Minnesota 55082
(851) 430-4300
publicworks@co.washington.mn.us
www.co.washington.mn.us/surveyor

- LEGEND**
- DNR PROTECTED WATERS
 - DNR PROTECTED WETLAND
 - DNR PROTECTED WATERCOURSE
 - MUNICIPAL BOUNDARY
 - PARK BOUNDARY



SECTION-TOWNSHIP-RANGE INDEX

2802821	2702821	2602821
3302821	3402821	3502821
0402821	0302821	0202821



SECTION VICINITY MAP

22	21	12	11
NW	+	NE	
23	24	13	14
32	31	42	41
SW	+	SE	
33	34	43	44

PROPERTY IDENTIFICATION NUMBER FORMAT (DECODE)

SECTION	TOWNSHIP	RANGE	QUARTER	SPECIFIC PARCEL
00	000	00	00	0000

(0001) = LAST FOUR DIGITS OF PROPERTY IDENTIFICATION NUMBER

THIS DRAWING IS THE RESULT OF A COMPILATION AND REPRODUCTION OF LAND RECORDS AS THEY APPEAR IN VARIOUS WASHINGTON COUNTY OFFICES. WASHINGTON COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES. PROPERTY LINES AS SHOWN ARE FOR REFERENCE PURPOSES AND MAY NOT REPRESENT ACTUAL LOCATIONS.

MAP LAST UPDATED: November 5, 2018

NO ADDITIONAL CHANGES HAVE BEEN REPORTED TO DATE

DATE OF CONTOURS: November, 2011 DATE OF PHOTOGRAPHY: None

Parcel Search: January 4, 2019 at 4:13 p.m. by SURVPUB
350 feet surrounding multiple parcels. 127 parcels, 79 labels.

0302821120003	3402921340009	3402921420083
0302821120005	3402921340010	3402921420084
0302821120021	3402921410020	3402921420085
0302821210004	3402921410021	3402921420086
0302821210122	3402921410022	3402921420087
3402921310046	3402921410030	3402921420088
3402921310047	3402921410032	3402921420089
3402921310048	3402921410065	3402921420090
3402921310049	3402921410066	3402921420091
3402921310050	3402921410067	3402921420092
3402921310051	3402921410068	3402921420097
3402921310052	3402921410069	3402921420098
3402921310053	3402921410070	3402921430001
3402921310059	3402921410071	3402921430003
3402921310060	3402921410072	3402921430004
3402921310061	3402921410073	3402921430005
3402921310062	3402921410074	3402921430006
3402921310063	3402921410075	3402921430007
3402921310064	3402921410076	3402921430008
3402921310068	3402921410077	3402921430009
3402921310069	3402921410078	3402921440004
3402921310070	3402921410079	3402921440006
3402921310071	3402921410080	3402921440012
3402921310072	3402921410081	
3402921310073	3402921410082	
3402921310077	3402921410164	
3402921310078	3402921410165	
3402921310079	3402921410166	
3402921310080	3402921420009	
3402921310081	3402921420010	
3402921310083	3402921420011	
3402921310084	3402921420012	
3402921310087	3402921420013	
3402921320034	3402921420014	
3402921320045	3402921420015	
3402921320046	3402921420016	
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3402921320050	3402921420020	
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3402921320054	3402921420061	
3402921320055	3402921420062	
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3402921330005	3402921420066	
3402921340002	3402921420067	
3402921340004	3402921420068	
3402921340006	3402921420069	
3402921340007	3402921420070	
3402921340008	3402921420075	

SAVONA NEIGHBORHOOD ASSOCIATION
or Current Resident
7100 NORTHLAND CIR N SUITE 300
BROOKLYN PARK MN 55428

BERSIE JOAN L
or Current Resident
569 6TH STREET LN N
LAKE ELMO MN 55042

VOSS JEFFREY R
or Current Resident
9793 5TH STREET LN N
LAKE ELMO MN 55042

CRUBAUGH CHRISTOPHER & KATIE
or Current Resident
9604 JUNCO RD N
LAKE ELMO MN 55042

DAUGHERTY ERIC M & ANN E
or Current Resident
553 6TH STREET LN N
LAKE ELMO MN 55042

OMALLEY SHEENA C & JASON L SPORTEL
or Current Resident
9797 5TH STREET LN N
LAKE ELMO MN 55042

WATSON LAYLAND J
or Current Resident
9609 JUNCO RD N
LAKE ELMO MN 55042

BEYTEN BRADLEY J
or Current Resident
9703 7TH ST N
LAKE ELMO MN 55042

DENNING JENNIFER L
or Current Resident
9775 5TH STREET LN N
LAKE ELMO MN 55042

HAMMERLIND MICHAEL T & LYNN M
or Current Resident
9624 JUNCO RD N
LAKE ELMO MN 55042

MAJESKI MATTHEW T & KATHERINE A
or Current Resident
9733 7TH ST N
LAKE ELMO MN 55042

PATEL HARESH R & SWATI H
or Current Resident
9759 5TH ST N
LAKE ELMO MN 55042

MOROSKI JEFFERY W & SUSAN L
or Current Resident
9823 5TH STREET LN N
LAKE ELMO MN 55042

EVERS MATTHEW J & ANNE C
or Current Resident
16414 PELICAN BEACH LN
HOUSTON TX 77044

DEEB CAROLYN A
or Current Resident
9761 5TH STREET LN N
LAKE ELMO MN 55042

FRITZE KIRSTEN & JOHN
or Current Resident
9799 5TH STREET LN N
LAKE ELMO MN 55042

DAHLMAN DAN & JODY
or Current Resident
623 JUNIPER CT N
LAKE ELMO MN 55042

LECHNER JACOB W & KRISTEN A BERTELSON
or Current Resident
538 6TH STREET LN N
LAKE ELMO MN 55042

MALMQUIST NOAH & BRITTANY
or Current Resident
9773 5TH STREET LN N
LAKE ELMO MN 55042

MCNEILL MICHAEL & MELISSA
or Current Resident
584 JUNIPER CT N
LAKE ELMO MN 55042

KOBE MICHEAL W
or Current Resident
9616 JUNCO RD N
LAKE ELMO MN 55042

THOR MARC T & DIANE L
or Current Resident
9753 5TH ST LN N
LAKE ELMO MN 55042

EFFIOM EMILIA B
or Current Resident
9819 5TH STREET LN N
LAKE ELMO MN 55042

FAM MARIAM Y & DAVID
or Current Resident
9636 JUNCO RD N
LAKE ELMO MN 55042

LEONARD RUSSELL F & JUDY A
or Current Resident
9757 5TH STREET LN N
LAKE ELMO MN 55042

MEIERHOFER ROBERT
or Current Resident
9821 5TH STREET LN N
LAKE ELMO MN 55042

AYALEW TEGIST Z
or Current Resident
9719 7TH ST N
LAKE ELMO MN 55042

US HOME CORPORATION
or Current Resident
16305 36TH AVE N # 600
PLYMOUTH MN 55446

THEIS RICHARD J & DIANE A
or Current Resident
9825 5TH STREET LN N
LAKE ELMO MN 55042

NADEN NICHOLAS & MARY B NEUMAN
or Current Resident
568 JUNIPER CT N
LAKE ELMO MN 55042

RANGEL JUSTIN L & KATHLEEN I E
or Current Resident
513 JUNIPER CT N
LAKE ELMO MN 55042

PICKEL KYLE J & JAMIE L
or Current Resident
9623 JUNCO RD N
LAKE ELMO MN 55042

RISTVEDT PAUL A & KATIE L
or Current Resident
528 JUNIPER CT N
LAKE ELMO MN 55042

CITY OF LAKE ELMO
or Current Resident
3800 LAVERNE AVE N
LAKE ELMO MN 55042

NETO URBANO N S & ANA B M SANTIAGO
or Current Resident
9637 JUNCO RD N
LAKE ELMO MN 55042

TAGUE MICHAEL J & MICHELLE L
or Current Resident
510 JUNIPER CT N
LAKE ELMO MN 55042

MILES MITCH & DREW
or Current Resident
9795 5TH STREET LN N
LAKE ELMO MN 55042

WILLETT MITCHELL S & LAUREN L
or Current Resident
9660 JUNCO RD N
LAKE ELMO MN 55042

ALWIN CHILDREN LLC
or Current Resident
413 SIXTH ST N
HUDSON WI 54016

BORDERS-ROBINSON ANGALA B & AARON ROBINSON
or Current Resident
9777 5TH STREET LN N
LAKE ELMO MN 55042

BATTAH ANISA A ETAL
or Current Resident
9648 JUNCO RD N
LAKE ELMO MN 55042

EBERTZ WALTER J
or Current Resident
1147 CLIPPER WAY
WOODBURY MN 55125

ARNT JODY
or Current Resident
9779 5TH STREET LN N
LAKE ELMO MN 55042

PHAM TUAN & VIVIAN
or Current Resident
9785 7TH ST N
LAKE ELMO MN 55042

STATE OF MN-DOT
or Current Resident
1500 COUNTY ROAD B2 W
ROSEVILLE MN 55113

DEGNAN TERRY L & JAMES R NEWMAN
or Current Resident
9751 5TH ST LN N
LAKE ELMO MN 55042

DEEGAN GREGORY E & LINDSAY M
or Current Resident
602 JUNIPER CT N
LAKE ELMO MN 55042

PETERSEN TRACY K
or Current Resident
9185 JADE WAY N
LAKE ELMO MN 55042

BURNSVOLD DEAN & ROBBIN
or Current Resident
9755 5TH STREET LN N
LAKE ELMO MN 55042

KOWALSKI MICHAEL A & KATERYNA R
or Current Resident
9771 7TH ST N
LAKE ELMO MN 55042

MACHADO EDUARDO & LISA
or Current Resident
9228 JADE WAY N
LAKE ELMO MN 55042

HALVERSON JESSICA R & MATTHEW A
or Current Resident
545 6TH STREET LN N
LAKE ELMO MN 55042

ESHLEMAN DANIEL S & KELSEY J
or Current Resident
565 JUNIPER CT N
LAKE ELMO MN 55042

HART THOMAS & TONY HANSEN
or Current Resident
9217 JADE WAY N
LAKE ELMO MN 55042

HUYNH TAM T & BANG TRINH
or Current Resident
537 6TH ST LN N
LAKE ELMO MN 55042

SIMON JESSICA J & JOHN W
or Current Resident
597 JUNIPER CT N
LAKE ELMO MN 55042

ATIENZA ILLUMINADA & RANDOLPH
or Current Resident
560 6TH STREET LN N
LAKE ELMO MN 55042

SAVONA TOWNHOMES HOMEOWNERS ASSOC
or Current Resident
3300 EDINBOROUGH WAY SUITE 202
EDINA MN 55435

NGUYEN TOMMY T & ANTONELA D POPTELECAN-NGUYEN
or Current Resident
546 JUNIPER CT N
LAKE ELMO MN 55042

MARTIN BLAKE & KELLI
or Current Resident
513 6TH STREET LN N
LAKE ELMO MN 55042

SHANLEY ROBERT J & KRISTIN T
or Current Resident
526 6TH STREET LN N
LAKE ELMO MN 55042

DPS-LAKE ELMO LLC
or Current Resident
6007 CULLIGAN WAY
MINNETONKA MN 55345

STOHLMANN GARY L & CHAR LES M
or Current Resident
9167 JADE WAY N
LAKE ELMO MN 55042

EAYRS MICHAEL A & MARY J
or Current Resident
9192 JADE WAY
LAKE ELMO MN 55042

CREATIVE HOMES INC
or Current Resident
707 COMMERCE DR # 410
WOODBURY MN 55125

BERG DANIEL R & GAYLE
or Current Resident
9250 JADE WAY N
LAKE ELMO MN 55042

WINTER DEAN A & MARY P
or Current Resident
9240 JADE WAY
LAKE ELMO MN 55042

NOVAK JASON & KATHERINE
or Current Resident
565 6TH STREET LN N
LAKE ELMO MN 55042

OP4 BOULDER PONDS LLC
or Current Resident
1660 HWY 100 S # 400
SAINT LOUIS PARK MN 55416

GIDDINGS CHRISTOPHER J & NICOLE D
or Current Resident
529 6TH STREET LN N
LAKE ELMO MN 55042

SUBRAMANI VISWANATH & RENUKADEVI SUYAMBUNATHAN
or Current Resident
548 6TH STREET LN N
LAKE ELMO MN 55042

LANG HARRY D & ROBIN S
or Current Resident
505 6TH STREET LN N
LAKE ELMO MN 55042

LASKA BRIAN J & ELIZABETH
or Current Resident
536 6TH STREET LN N
LAKE ELMO MN 55042

HSRE LAKE ELMO LLC
or Current Resident
9200 HUDSON BLVD
LAKE ELMO MN 55042

VUE TOU F & SABRINA YANG
or Current Resident
530 6TH STREET LN N
LAKE ELMO MN 55042

LAMPERT YARDS INC
or Current Resident
1850 COMO AVE
ST PAUL MN 55108-2715

PETERSON KELSEY & MITCHELL A
or Current Resident
539 6TH ST LN N
LAKE ELMO MN 55042

GATSBY INV I LLC
or Current Resident
5500 PARK PLACE
EDINA MN 55424

ROTH BRITTNI & RYAN
or Current Resident
521 6TH STREET LN N
LAKE ELMO MN 55042



“Bentley Village”

**APPLICATION FOR:
PRELIMINARY PLAT, REZONING, EASEMENT VACATION**

**LAKE ELMO, MINNESOTA
March 11, 2019**

Introduction

Pulte Homes of Minnesota, LLC (“Pulte”) is pleased to be submitting this application.

Our company mission statement is ***“Building Consumer Inspired Homes and Communities to Make Lives Better”***. We currently operate under three distinct brands of homebuilding throughout the country: Pulte Homes, Centex Homes, and Del Webb. Pulte’s Minnesota Division has an office in Eden Prairie. We sold approximately 500 homes in the Twin Cities in 2018, all under the Pulte Homes brand.

Pulte will act as both developer of the property and builder of the homes. The primary contact for Pulte is:

Paul Heuer, Director of Land Planning & Entitlement
7500 Flying Cloud Drive, Suite 670
Eden Prairie, MN 55344
952-229-0722
Paul.Heuer@PulteGroup.com

The owner of the property is:

DPS - Lake Elmo, LLC – Alan Dale
6007 Culligan Way
Minnetonka, MN 55345
952-288-2201
adale@stonehenge-usa.com

The surveyor, civil engineer, and landscape architect is:

Alliant Engineering
Primary contact: Mark Rausch
733 Marquette Ave Ste 700
Minneapolis, MN 55402-2340
(612) 767-9339
mrausch@alliant-inc.com

The Property

Legal Description:

That portion of the East Half of the Southwest Quarter and that portion of the West Half of the Southeast Quarter, both in Section 34, Township 29, Range 21, Washington County, Minnesota, described as follows:

Commencing at the West Quarter corner of said Section 34; thence South 00 degrees 00 minutes 40 seconds East, along the West line of said Section 34, a distance of 472.55 feet; thence North 89 degrees 57 minutes 32 seconds East, a distance of 1315.91 feet to the West line of said East Half of the Southwest Quarter; thence South 00 degrees 02 minutes 55 seconds West, along said West line a distance of 714.99 feet to the point of beginning; thence North 89 degrees 55 minutes 22 seconds East, a distance of 212.38 feet; thence Southeasterly along a tangential curve concave to the Southwest having a central angle of 29 degrees 05 minutes 37 seconds, a radius of 1100.00 feet for an arc distance of 558.56 feet; thence South 60 degrees 59 minutes 01 seconds East, tangent to said curve, a distance of 224.27 feet; thence Southeasterly along a tangential curve concave to the North, having a central angle of 68 degrees 21 minutes 23 seconds, a radius of 760.00 feet for an arc distance of 906.71 feet; thence North 50 degrees 39 minutes 36 seconds East, a distance of 410.97 feet; thence Northeasterly along a tangential curve concave to the Southeast, having a central angle of 20 degrees 49 minutes 17 seconds, a radius of 1060.00 feet for an arc distance of 385.20 feet; thence North 71 degrees 28 minutes 52 seconds East, tangent to said curve, a distance of 202.22 feet to the East line of said West Half of the Southeast Quarter; thence South 00 degrees 01 minutes 13 seconds West, along the East line a distance of 1089.33 feet to a line hereinafter referred to as Line 'X'; thence South 89 degrees 40 minutes 54 seconds West, along said Line 'X' and its westerly extension, a distance of 1324.76 feet to the East line of said East Half of the Southwest Quarter; thence South 00 degrees 06 minutes 31 seconds West, along said East line a distance of 15.85 feet to the North line of the South 675.00 feet of said East Half of the Southwest Quarter; thence South 89 degrees 53 minutes 57 seconds West, along said North line a distance of 1314.35 feet to said West line of the East Half of the Southwest Quarter; thence North 00 degrees 02 minutes 55 seconds East, along said West line a distance of 774.53 feet to the point of beginning.

Line 'X' is described as follows:

Commencing at the southwest corner of said West Half of the Southeast Quarter; thence North 00 degrees 06 minutes 31 seconds East, assumed bearing, along the west line of said West Half of the Southeast Quarter, a distance of 82.86 feet to the north line of Parcel 29C of Minnesota Department of Transportation Right of Way Plat No. 82-43; thence North 89 degrees 18 minutes 27 seconds East, along said north line, a distance of 40.00 feet; thence North 00 degrees 06 minutes 31 seconds East, a distance of 607.73 feet to the point of beginning; thence North 89 degrees 40 minutes 54 seconds East, a distance of 1284.76 feet to the east line of said West Half of the Southeast Quarter, and said Line 'X' there terminating.

Property Identification Number:

34-029-21-34-0006 west property
34-029-21-43-0003 east property

Address:

9450 Hudson Boulevard, Lake Elmo, MN 55042 – west property
East property has no address

Key Facts

- Existing zoning is R2-PUD
- 2030 Comprehensive Plan indicates Urban Medium Density with a density range of 4.5 to 7 units/acre
- 2040 Draft Comprehensive Plan indicates Urban Medium Density with a density range of 4 to 8 units/acre
- Proposed zoning is MDR Urban Medium Density Residential
- Proposed use is 240 attached townhomes with homeowner's association maintenance
- Gross calculations:
 - West property = 839,837 square feet = 19.28 acres
 - East property = 971,593 square feet = 22.30 acres
 - Total = 1,811,430 square feet = 41.58 acres
 - Gross density = 240 units/41.58 acres = 5.77 units/acre
- Net calculations:
 - Gross area = 1,811,430 square feet = 41.58 acres
 - 5th Street ROW dedication = 294,126 square feet = 6.75 acres
 - Net area = 1,517,304 = 34.83 acres
 - Net density = 6.89 acres
- Dimensions/Setbacks
 - 25-foot front setback
 - 25-foot rear setback
 - 15-foot corner/side setback
 - 20-foot side internal setback (building separation)
- Public utilities and streets
- Local streets are 28-feet wide within a 53-foot right-of-way
- Right-of-way area:
 - Local = 292,918 square feet = 6.72 acres
 - Collector (Road G) = 25,809 square feet = 0.59 acres
 - 5th Street = 294,126 square feet = 6.75 acres
 - Total = 612,853 square feet = 14.07 acres
- Open space:
 - Open space area = 750,926 square feet = 17.24 acres
- Open space/unit requirement = 500 sf
- Minimum open space/unit provided = 557 sf
- Impervious surface requirement = 50% maximum
- Impervious surface provided = 721,557 square feet = 47.66%

Neighborhood Vision

This property is in a very attractive location. It is conveniently located near freeways, parks, and retail. However, its proximity to I-94 (as near as 700 feet) leads to higher levels of noise. This, in addition to having a commercial property immediately to the south is an indicator that this property is not a strong candidate for detached homes. The ideal use for this property is

attached housing as a natural transition between commercial properties to the south and single-family properties to the north. Townhome buyers tend to be more tolerant of freeway noise and more intensive land uses.

Our vision is to create an attractive townhome neighborhood with a focus on convenient access to regional amenities and privately owned recreational amenities within the neighborhood. Key neighborhood traits are:

1. **Access** – Bentley Village is very short drive to I-94 and 494, leading to high level of convenience for homeowners.
2. **Parks** – Lake Elmo Park Reserve is just over one mile from Bentley Village, offering a wide variety of recreational opportunities such as walking trails, swimming, archery, fishing, horseback riding, camping, and cross-country skiing. A City park with a playground is just to the north of 5th Street North with trail access connecting the park to 5th Street North. 5th Street North has a trail along the north side and a sidewalk along the south side. Bentley Village has a wide range of recreational opportunities nearby.
3. **Retail** – A wide variety of retail properties are just blocks away from the neighborhood, including restaurants, Target, Walmart, Trader Joe's, Cabela's, and many others.
4. **Private Amenities** – We are planning the incorporation of private amenities for the use of Bentley Village residents. Not only are such amenities attractive for homebuyers, but they also help to create a sense of neighborhood identity and to facilitate social interaction in a neighborhood.

Neighborhood Design

We have carefully studied the market, the City's Comprehensive Plan, the property, and the surrounding uses and have worked diligently to create a neighborhood layout that is ideally suited for this property. We are very pleased with how our vision and the resulting plan have come together. Below is a description of the various traits and strategies utilized in designing the neighborhood.

Access

The trunk transportation network serving this property is in place. What remains is to connect to the existing network at the safest locations.

We are making two connections to 5th Street North directly across from Jasmine Road North and Junco Road North. By connecting at these locations, we will avoid the introduction of additional connection points to 5th Street North. This results in the safest possible access to 5th Street North.

We are also planning for an 80-foot wide right-of-way to accommodate a future planned collector street which will connect 5th Street North to the commercial properties to the south and ultimately to Hudson Boulevard North. We plan to build the portion of collector street that runs through the subject property and to connect to this street to serve both the west and east properties.

Combined, both the west and east properties have two safe access points with strong internal connectivity between the access points.

Physical Constraints

Near the west edge of the west property, a natural gas pipeline bisects the property. Buildings cannot be placed within this existing 50-foot wide easement. We have designed the neighborhood to comply with these requirements.

On the north side of the west property, an existing overland drainage and utility easement exists. We will extend storm sewer to collect this water and will provide new drainage and utility easements. The old easement will be vacated. We have included an exhibit with this application to facilitate vacation.

Near the east edge of the east property, an existing temporary 21-inch diameter storm sewer pipe within an existing 30-foot wide easement runs through a portion of the property. This storm sewer will be realigned and the easement will be vacated. We have included an exhibit with this application to facilitate vacation.

Parks

It is our understanding that the parks and open space dedicated within properties to the north of 5th Street North satisfy park needs for the area. Therefore, we anticipate paying park dedication fees to satisfy our park requirements. The incorporation of private recreational amenities within Bentley Village will reduce the demand/need for public parks and recreational amenities in the area.

Building Orientation

One important design attribute that can make a townhome neighborhood feel more “livable” is to vary the orientation of the buildings. This prevents the feeling of “barracks” that can sometime occur if attention is not given to how the geometric layout of the neighborhood impacts how it “feels.” We are utilizing this strategy most powerfully at the primary intersection of 5th Street North and the future collector road. Additionally, we have purposely created internal streets that do not run in parallel, thereby preventing the “barracks” feel.

Private Amenities

A key part of creating new neighborhoods is understanding our customers and anticipating their desires. This property is in an attractive location, surrounded by a variety of recreational, retail, and convenience-oriented amenities. Still, many people desire private, social gathering places to form bonds with their immediate neighbors. This is an important priority for many of our customers, and the size of the neighborhood is large enough to economically sustain such amenities. Based on our market research, we are planning the following private amenities, all to be owned and maintained by a professionally managed home owners association:

- Dog park – This type of amenity is becoming very popular with our buyers. The convenience of having a dog park within a neighborhood is very attractive to a wide variety of our buyers.
- Playground/tot lot – Although a public tot lot exists north of 5th Street North, this street will increasingly become a barrier as traffic volumes increase. Inclusion of a private tot lot will be desirable.
- Open play areas – We are planning some open play area in both the east and west sides. Residents will find many uses for these versatile spaces.

- Trails

Parking

Adequate parking in a townhome neighborhood is important and we have a great deal of experience in this area. We have designed the neighborhood to have a significant amount of guest parking (see parking plan). It is our understanding that homeowners living in the existing townhome neighborhood to the east have complained about lack of guest parking in their neighborhood. Please be assured that our design differs from the adjacent neighborhood, which primarily includes narrow private streets that do not allow parking. We are utilizing wider public streets that accommodate parking on one side throughout the neighborhood. The difference in guest parking accommodation is substantial.

Changes Since Sketch Plan

The Planning Commission provided comments on the sketch plan application on October 22, 2018. The City Council provided comments on the sketch plan application on November 7, 2018. In addition, City staff provided comments via review memos.

We carefully considered the comments received from all parties and have responded by revising it:

1. Widened right-of-way – One engineering comment was that the 50-foot right-of-way may not be wide enough to easily accommodate the necessary public infrastructure. We worked with the City Engineer to establish a right-of-way width that works well (53 feet) and we have incorporated this into the new neighborhood design.
2. Snow storage – Another engineering comment was that there may not be enough room for snow storage at the end of the two cul-de-sacs. We revised the plan to create a large open area for snow storage at the end of the east cul-de-sacs. The west cul-de-sac was eliminated. See below item 10.
3. Intersection angle – We straightened an intersection to result in it being at a 90-degree angle, which is desirable from an engineering standpoint.
4. Relocated the pool – The old pool location was in a remote area that could cause difficulties related to maintenance. We relocated the pool to a location that will provide much more convenient access for maintenance. It will also increase the attractiveness of the neighborhood by placing the pool in a highly visible location from the streets.
5. Created wider, more beautiful entrances – It is important to us to have neighborhood entrances that are beautiful and welcoming. Entrances set the tone and character of a neighborhood. We have created entrances with landscaped center islands that provide a sense of arrival, beauty, and security and we have utilized standards provided by the City Engineer.
6. Increased perimeter setbacks – We increased the perimeter setbacks from the east, south, and west property lines from the required 20 feet to 25 feet to provide additional space for accommodating drainage and landscaping.
7. Added playground/tot lot – We heard a suggestion to add a private tot lot. After contemplating how busy 5th Street N could be in the future, we felt that a neighborhood of this size would find a private tot lot to be desirable.

8. Added trails – We heard a suggestion to add more private trails. We also heard engineering describe how sidewalks have sometimes been required in Lake Elmo to have sidewalks on both sides of the street. This is a somewhat unusual policy. However, we came up with a solution to both comments. Instead of a secondary (duplicate) sidewalk along the streets, we created a separate private trail system that allows pedestrians to walk or bike through the neighborhood from end to end. The result is a more attractive and functional pedestrian system and less public infrastructure for the City to maintain.
9. Parking – We have heard positive feedback from neighbors about our new neighborhood. However, we have heard complaints within the townhome neighborhood to the east that they lack adequate guest parking. As described above and demonstrated in our parking plan, we are providing a significant amount of guest parking within the neighborhood.
10. Pipeline driven revisions – As we completed preliminary engineering, it became apparent that our storm sewer in the west end of the property would conflict with the existing gas pipeline running through the property. To resolve this conflict, we were forced to move the west pond from the west side of the pipeline to the east side. This resolved the conflict. By bringing the pond into the neighborhood, it also resulted in making the neighborhood feel more open and less dense.

Update on March 8, 2019 – We recently revised the site plan in response to the review memo prepared by the City Engineer. Although it is difficult to notice the minor revisions made, the current site plan complies with requirements related to easement widths and many other comments.

Ordinance Revision Required

As discussed during the sketch plan review process, there is currently a contradiction between the City's Comprehensive Plan and Zoning Ordinance. The 2030 Comp Plan allows a density of 4.5 to 7 units/acre. (The 2040 draft Comp Plan allows a density of 4 to 8 units/acre.) The current zoning ordinance requires a minimum lot area of 4,000 square feet for this land use. These regulations conflict with each other and cannot be reconciled without changing either the Comp Plan or the ordinance.

It is not uncommon for cities to experience this type of contradiction. Typically, the Comp Plan is the "leading" document and ordinances are revised to align with the Comp Plan. We recommend that the ordinance be revised in parallel with processing this application.

Adjacent Land Uses

There are no conflicts with adjacent land uses. Traditionally, townhomes and other multifamily residential land uses are utilized as transitional buffers between more intensive uses and less intensive uses. In this case, single family homes lie to the north. However, 5th Street North lies between these two land uses, providing a significant existing buffer. To the east of the neighborhood lies similar townhomes. To the west lies industrial uses. Properties to the south are guided for Mixed Use – Commercial, a somewhat higher intensive land use. A townhome neighborhood is the ideal transitional land use for this location.

Natural Resources

There are no wetlands or significant tree stands on the subject property.

Justification that Services have Capacity

The subject property is in an area of the City that has recently been developing. In conjunction with the adjacent development, new infrastructure has been designed and extended to and through the area to adequately serve the area.

A new sanitary sewer has been extended through the subject property with service stubs extended into the property. This sewer serves Phase 1 of the Regional Sewer Staging Plan and it discharges to the MCES WONE Interceptor. Our application includes land uses and densities consistent with the Comp Plan, so the sewer has been designed to accommodate this neighborhood.

Water main has previously been constructed along 5th Street North. According to the City engineer memo from the sketch plan review, “the existing water system has sufficient capacity”. Our application includes land uses and densities consistent with the Comp Plan, so the water has been designed to accommodate this neighborhood.

Storm water quantity is traditionally handled on site by limiting post development flows to be equal to or less than predevelopment flows. Due to sandy soils found on the eastern part of the site, we will be infiltrating storm water to meet City and Watershed quality requirements. The pond on the western part of the site will act as a storm water reuse pond. Storm water from this pond will be used to irrigate the grounds in the western part of the neighborhood. This is a commonly used strategy which has environmental advantages such as preserving potable water. The ponds designed to serve the neighborhood are of adequate size to serve the new neighborhood.

5th Street North has been recently designed and constructed to serve a fully developed area.

The land use and density proposed with this application is consistent with the Comp Plan. Therefore, all past and current long-term planning for fire, public safety, parks, and schools are unchanged by this application.

Our Homes

Pulte Homes is known for the extraordinary steps that we take to ensure that we are designing and building homes that meet the needs and desires of home buyers. We continually reach out to the public and Pulte homeowners to get feedback to improve our home designs. We call this Life Tested®. Through this intensive process, we have conceived of and incorporated many innovative home design features such as the Pulte Planning Center, Everyday Entry, Super Laundry, Oversized Pantry, and the Owner's Retreat. This exhaustive process has played a major part in Pulte's success in “Building Consumer Inspired Homes and Communities to Make Lives Better.”

Townhome Design

Our overall approach in designing the exterior of these two-story townhomes was to “individualize and stylize” each unit. The result is individual units which differ in architecture from all other units within the same building and which vary in color scheme. The result is that each unit will appear unique and distinct within each building and to a substantial degree within the new community. Attached you will find photos of the buildings to be constructed.

Innovative Approach to Rowhome Floor Plans

It is worth noting that our approach to “individualized and stylized” rowhome units extends to the interior as well. Buyers can choose from a range of options that were not typically seen in the previous generation of townhome floor plans:

- a. 3 bedrooms with an option for a 4th
- b. 1st floor sunroom addition with 2nd floor owner’s suite bathroom expansion
- c. Loft
- d. Rooftop terrace

We find that this versatile townhome appeals to a much broader spectrum of demographics than the previous generation of townhomes. This two-story townhome appeals to young, first time homebuyers, young families, and empty nesters in search of homeowner’s association maintenance of the yard, snow removal, and exterior of the buildings.

Phasing & Schedule

The following preliminary schedule for development is envisioned based on current projections and information.

2019	Development of Phase 1
2020	Development of Phase 2
2021 or 2022	Development of Phase 3
2022 or 2023	Development of Phase 4
2024-2026	Full build out

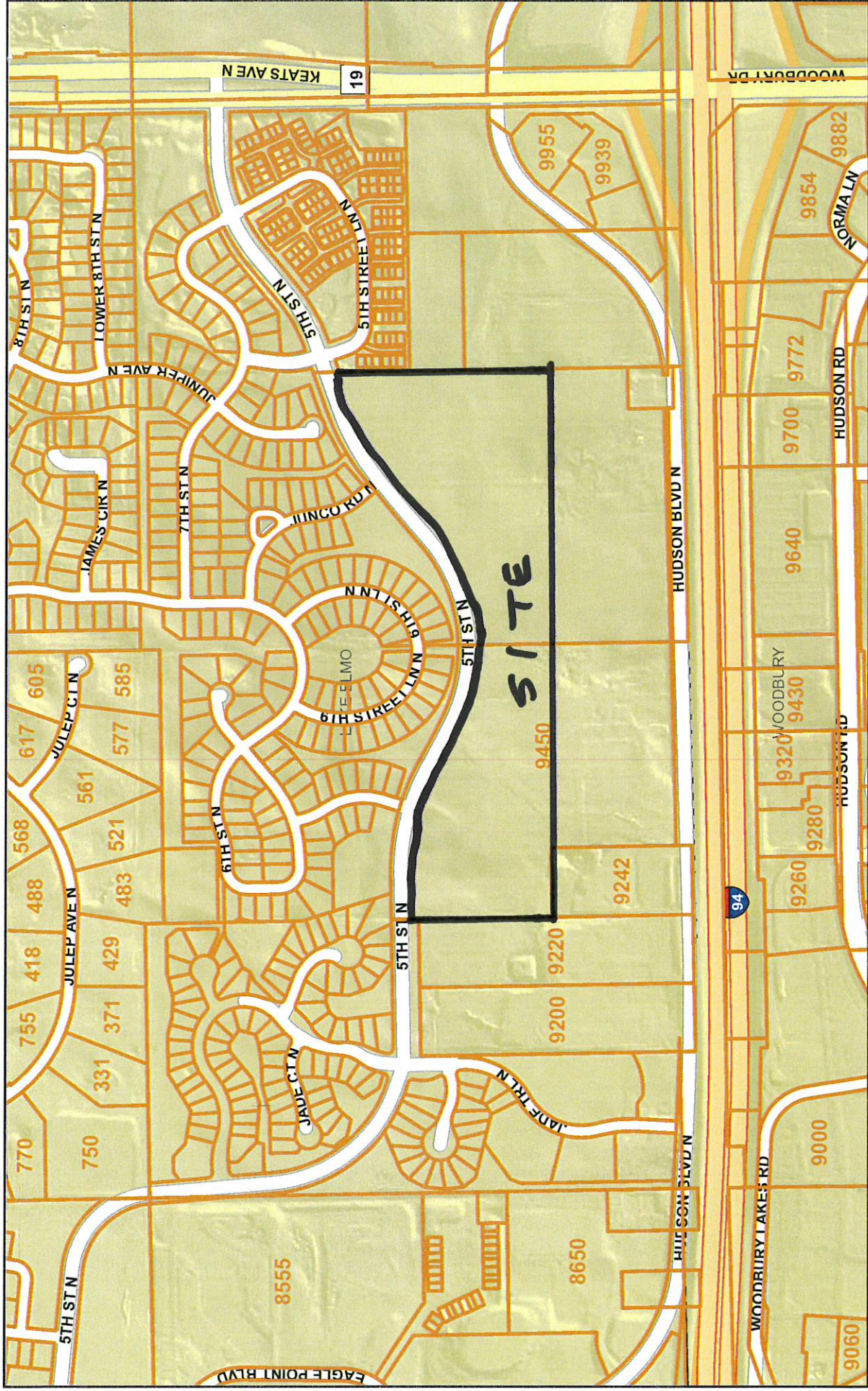
We have created a detailed Phasing Plan that is included with this application. We put a considerable amount of thought into balancing the infrastructure issues and coming up with a workable Phasing Plan. Please also note that the Phasing Plan includes a brief listing of the infrastructure and amenities included within each phase.

This submittal includes:

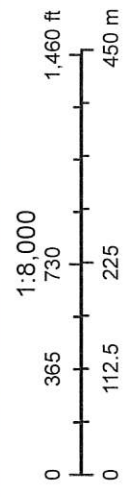
- *Land Use application*
- *Application fee/escrow of \$16,255*
 - *Preliminary plat = \$1,850 fee + \$10,000 escrow*
 - *Zoning amendment (rezoning) = \$1,245 fee + \$2,500 escrow*
 - *Vacation of two drainage and utility easements = \$1,030*
- *This narrative*
- *Parcel info/mailling labels*
- *Survey, engineering, and landscape architecture, phasing, and parking exhibits*

- *Neighborhood rendering*
- *Example home photos*
- *Example home floor plans*

Washington County, MN



January 4, 2019

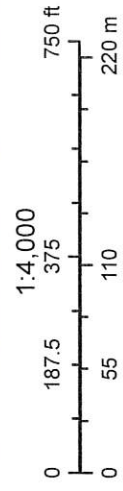


Disclaimer: Map and parcel data are believed to be accurate, but accuracy is not guaranteed. This is not a legal document and should not be substituted for a title search, appraisal, survey, or for zoning verification.

Washington County, MN



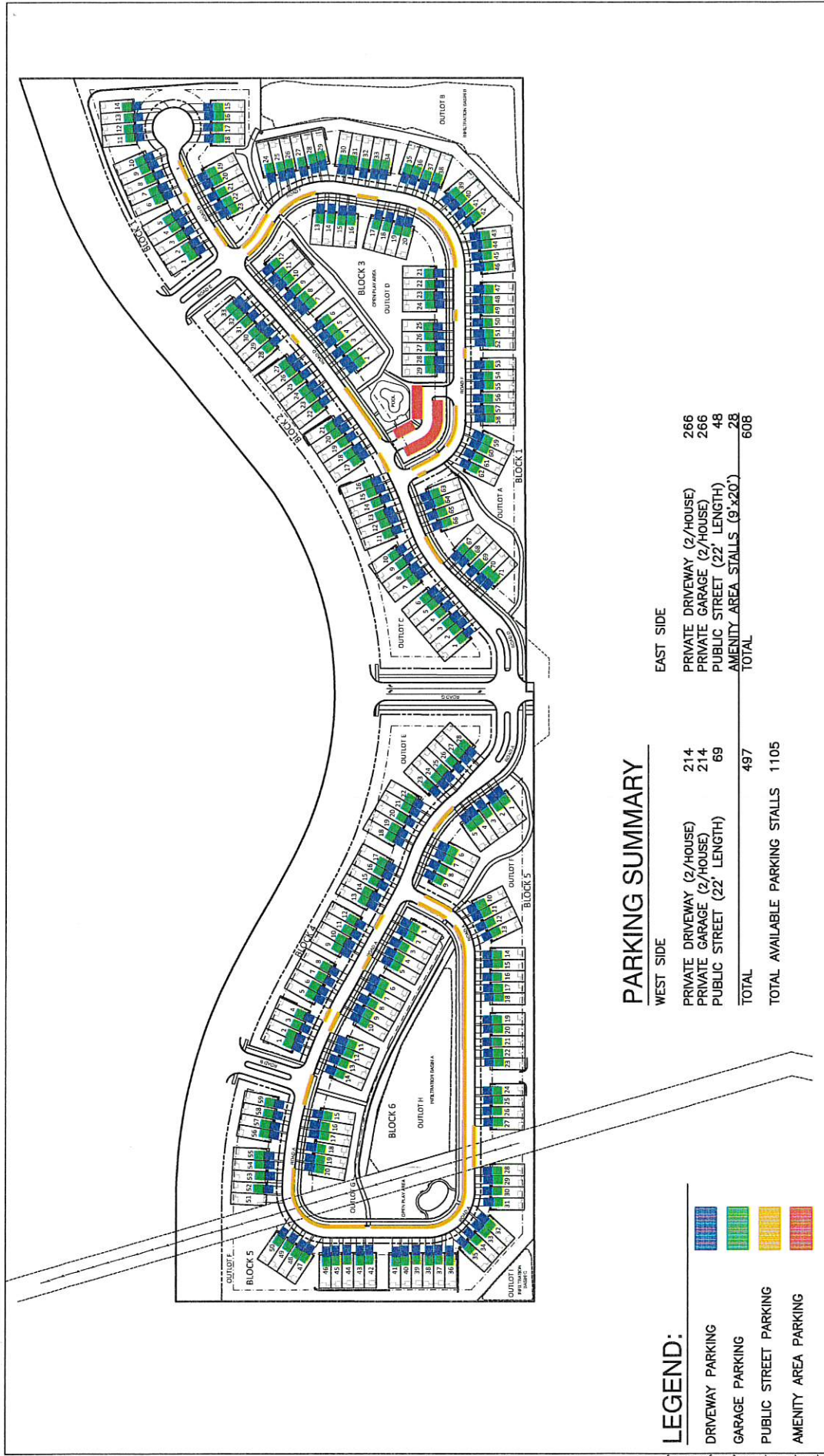
January 4, 2019





BENTLEY VILLAGE

Lake Elmo, Minnesota



LEGEND:

- DRIVEWAY PARKING
- GARAGE PARKING
- PUBLIC STREET PARKING
- AMENITY AREA PARKING

PARKING SUMMARY

WEST SIDE	EAST SIDE
PRIVATE DRIVEWAY (2/HOUSE)	PRIVATE DRIVEWAY (2/HOUSE)
PRIVATE GARAGE (2/HOUSE)	PRIVATE GARAGE (2/HOUSE)
PUBLIC STREET (22' LENGTH)	PUBLIC STREET (22' LENGTH)
AMENITY AREA STALLS (9'x20')	AMENITY AREA STALLS (9'x20')
TOTAL	TOTAL
214	266
214	266
69	48
497	28
TOTAL AVAILABLE PARKING STALLS	1105

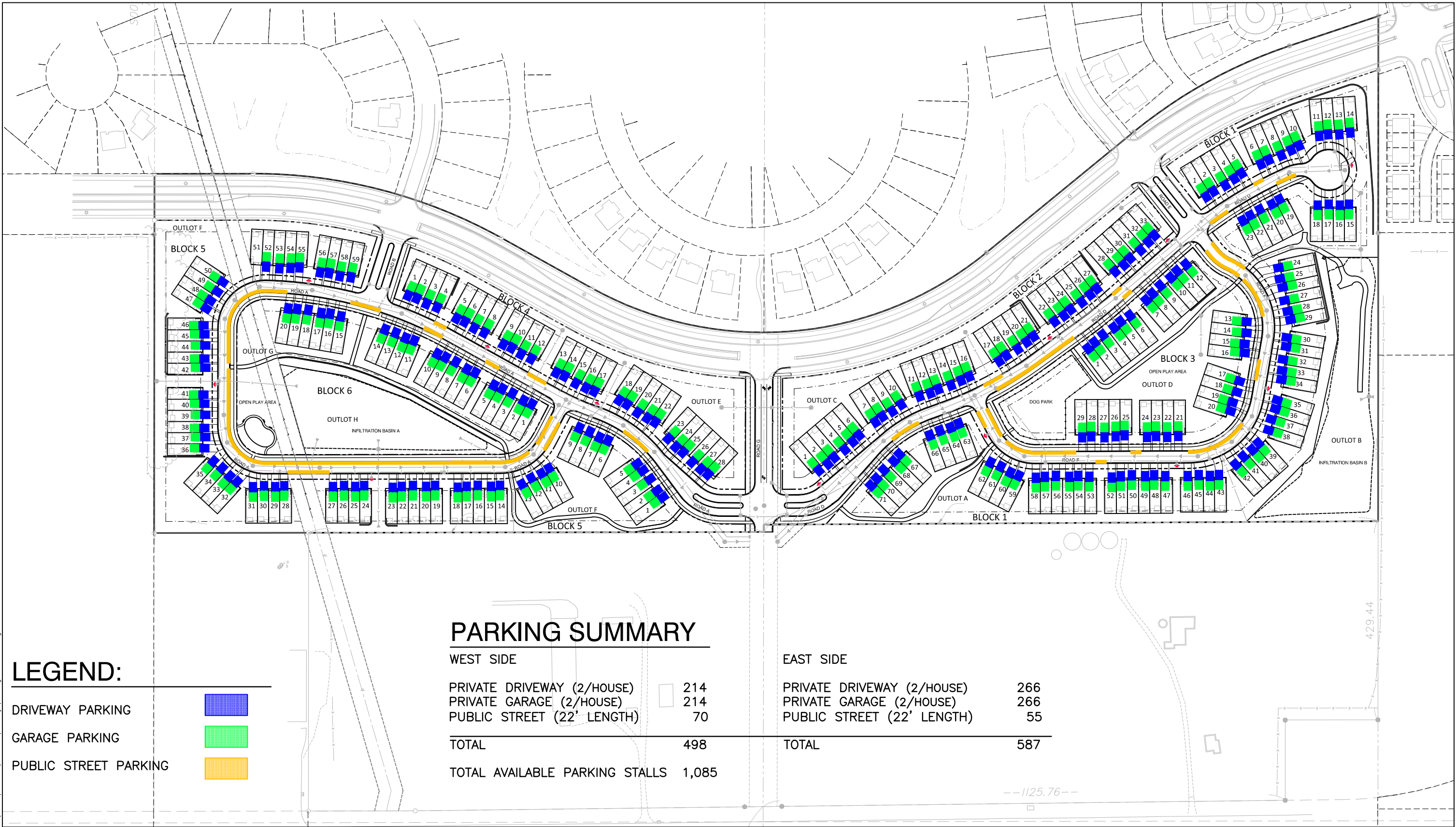
LEGEND:

- DRIVEWAY PARKING
- GARAGE PARKING
- PUBLIC STREET PARKING
- AMENITY AREA PARKING

BENTLEY VILLAGE - PARKING EXHIBIT

LAKE ELMO, MINNESOTA

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LEGEND:

DRIVEWAY PARKING



GARAGE PARKING

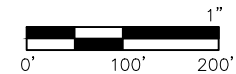


PUBLIC STREET PARKING



BENTLEY VILLAGE - PARKING EXHIBIT

LAKE ELMO, MINNESOTA



DATE: 3-11-2019
DRAWN BY: TAS



Drawing name: X:\2018\180165\exhibits\Phasing Plan.dwg Jan. 23, 2019 - 9:48am





ALLIANT
ENGINEERING

733 Marquette Avenue
Suite 700
Minneapolis, MN 55402
612.758.3080
www.alliant-inc.com



BENTLEY VILLAGE
LAKE ELMO, MINNESOTA
PRELIMINARY PLAT SUBMITTAL
PHASING PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA

MARK RAUSCH, PE
Date _____ License No. _____

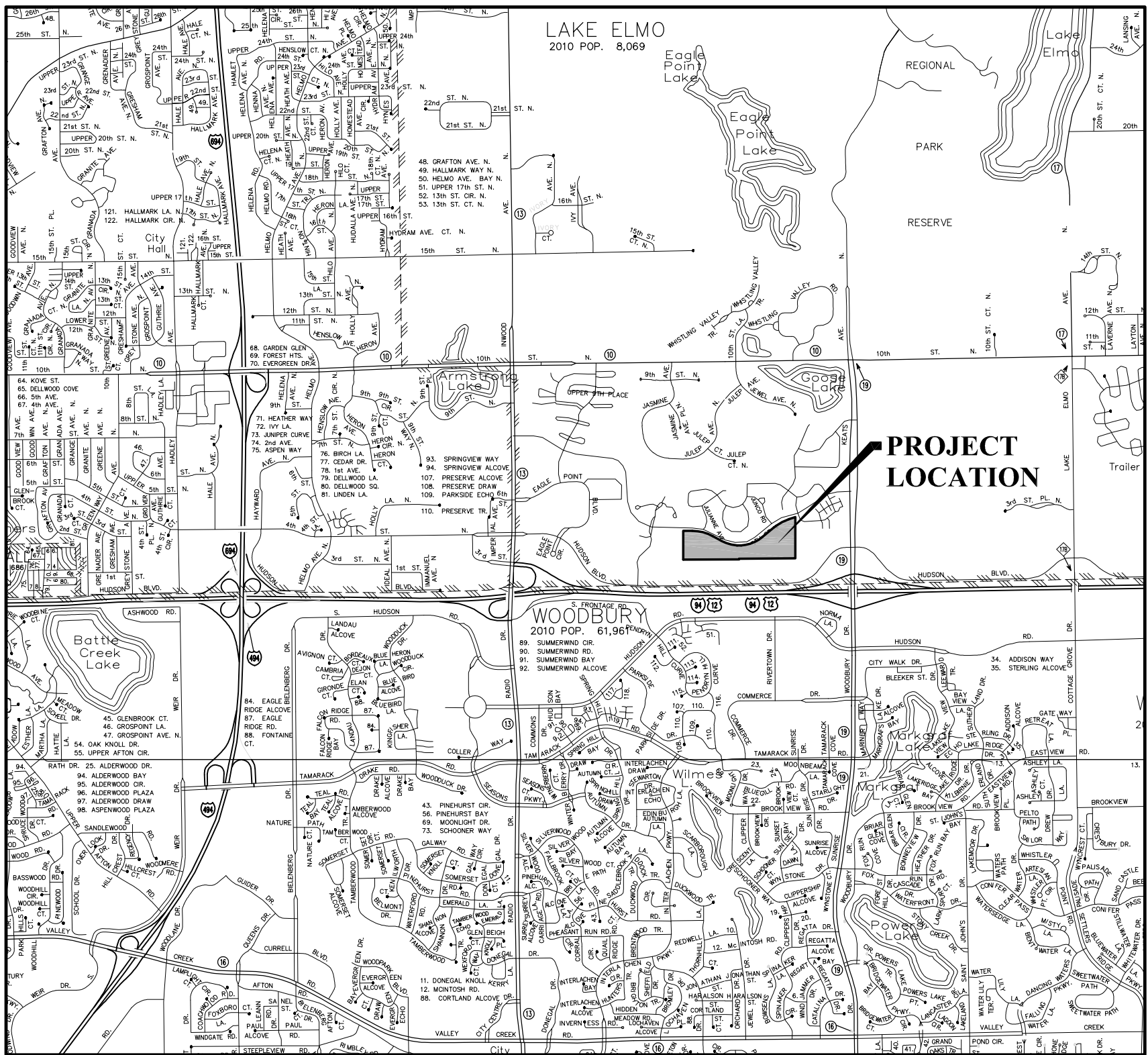
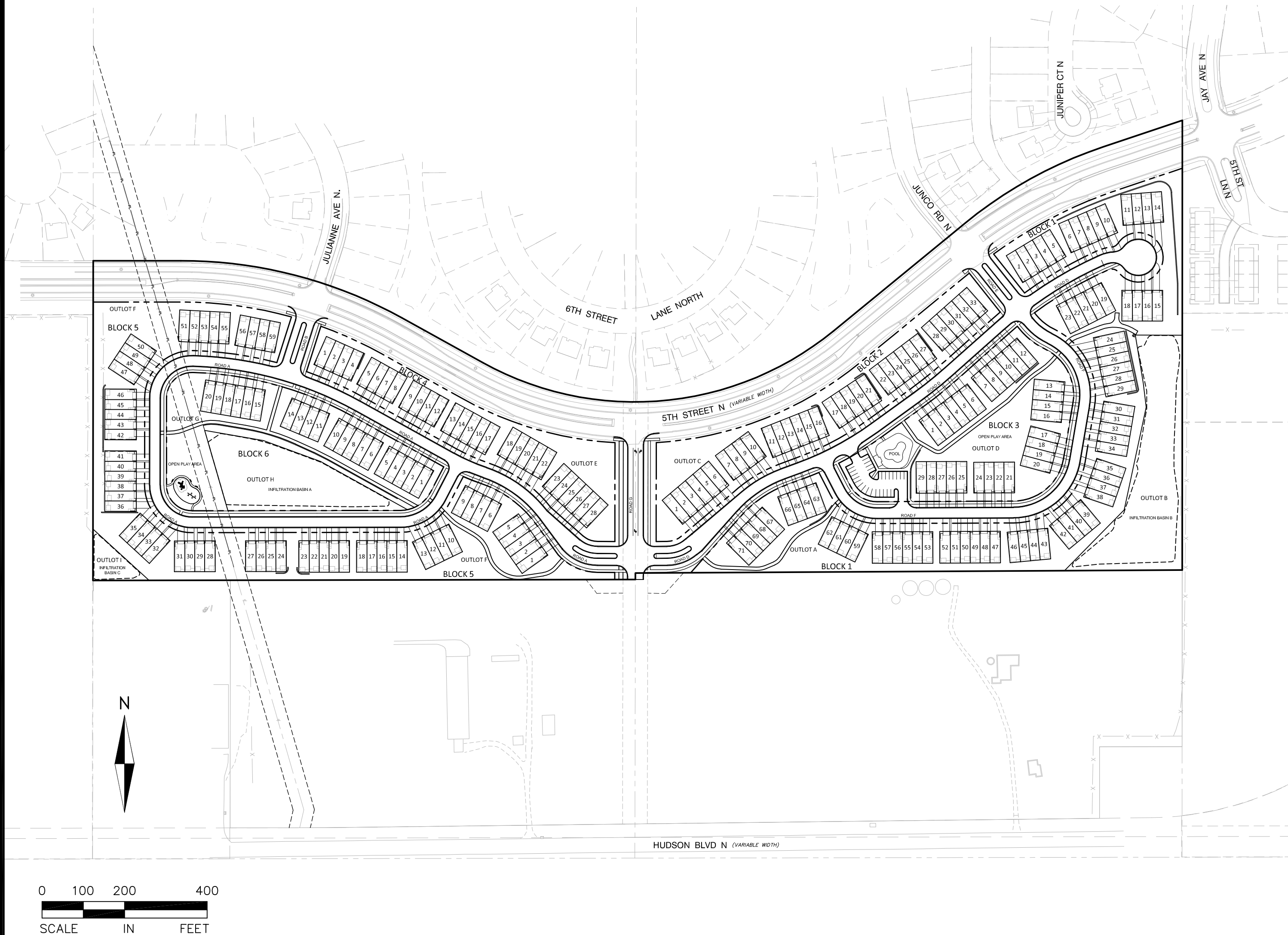
QUALITY ASSURANCE/CONTROL

BY	DATE
DATE	ISSUE
1-25-19	PHASING PLAN

PROJECT TEAM DATA	
DESIGNED:	MPR
DRAWN:	SIL
PROJECT NO:	218-0165

BENTLEY VILLAGE

LAKE ELMO, MINNESOTA



VICINITY MAP
NOT TO SCALE

SHEET INDEX

	NO.
COVER SHEET	1
EXISTING CONDITIONS SURVEY	2-3
PRELIMINARY PLAT	4-6
SITE PLAN	7-9
GRADING AND DRAINAGE PLAN	10-12
INFILTRATION BASIN DETAILS	13-14
GRADING PROFILES	15
EROSION AND SEDIMENT CONTROL PLAN	16-18
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SANITARY SEWER AND WATERMAIN PLAN	20-22
STORM SEWER PLAN	23-25
TREE PRESERVATION PLAN	26-28
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LANDSCAPE PLAN	30-32
LANDSCAPE SCHEDULE, NOTES AND DETAILS	33

DEVELOPER

PULTE HOMES
7500 FLYING CLOUD DRIVE
SUITE 670
EDEN PRAIRIE, MN 55344
PH: 952-229-0722
CONTACT: PAUL HEUER
EM: Paul.Heuer@PulteGroup.com

CONSULTANT

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SURVEYOR

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LICENSE NO. 18425
EM: dolmstead@alliant-inc.com

LANDSCAPE ARCHITECT

MARK KRONBECK
LICENSE NO. 26222
EM: mkronbeck@alliant-inc.com

FOR REVIEW ONLY
PRELIMINARY
NOT FOR CONSTRUCTION



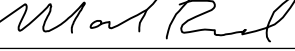
ALLIANT
ENGINEERING

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Suite 700
Minneapolis, MN 55402
612.758.3080
www.alliant-inc.com



BENTLEY VILLAGE
LAKE ELMO, MINNESOTA
PRELIMINARY PLAT SUBMITTAL
COVER SHEET

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA


MARK RAUSCH, PE
1-25-19 43480
Date License No.

QUALITY ASSURANCE/CONTROL

BY	DATE
DATE	ISSUE
1-25-19	CITY SUBMITTAL

PROJECT TEAM DATA	
DESIGNED:	MPR
DRAWN:	SIL
PROJECT NO:	218-0165

Drawing name: X:\2018\180165\survey\existing_conditions\180165survey.dwg Jan 24, 2019 -- 12:40pm

LEGAL DESCRIPTION

That portion of the East Half of the Southwest Quarter and that portion of the West Half of the Southeast Quarter, both in Section 34, Township 29, Range 21, Washington County, Minnesota, described as follows:

Commencing at the West Quarter corner of said Section 34; thence South 00 degrees 00 minutes 40 seconds East, along the West line of said Section 34, a distance of 472.55 feet; thence North 89 degrees 57 minutes 32 seconds East, a distance of 1315.91 feet to the West line of said East Half of the Southwest Quarter; thence South 00 degrees 02 minutes 55 seconds West, along said West line a distance of 714.99 feet to the point of beginning; thence North 89 degrees 55 minutes 22 seconds East, a distance of 212.38 feet; thence Southeasterly along a tangential curve concave to the Southwest having a central angle of 29 degrees 05 minutes 37 seconds, a radius of 1100.00 feet for an arc distance of 558.56 feet; thence South 60 degrees 59 minutes 01 seconds East, tangent to said curve, a distance of 224.27 feet; thence Southeasterly along a tangential curve concave to the North, having a central angle of 68 degrees 21 minutes 23 seconds, a radius of 760.00 feet for an arc distance of 906.71 feet; thence North 50 degrees 39 minutes 36 seconds East, a distance of 410.97 feet; thence Northeasterly along a tangential curve concave to the Southeast, having a central angle of 20 degrees 49 minutes 17 seconds, a radius of 1060.00 feet for an arc distance of 385.20 feet; thence North 71 degrees 28 minutes 52 seconds East, tangent to said curve, a distance of 202.22 feet to the East line of said West Half of the Southeast Quarter; thence South 00 degrees 01 minutes 13 seconds West, along the East line a distance of 1517.53 to a line parallel with and distant 217.80 feet North of the North right of way line of Highway No. 12; thence South 89 degrees 54 minutes 16 seconds West, along said parallel line, a distance of 200.00 feet to a line parallel with and distant 200.00 feet West of said East line of the West Half of the Southeast Quarter; thence South 00 degrees 01 minutes 13 seconds West, along said parallel line, a distance of 173.18 feet to the North line of Minnesota Department of Transportation Right of Way Plat No. 82-43; thence South 89 degrees 18 minutes 12 seconds West, along said North line a distance of 1875.94 feet; thence continuing along said North line South 89 degrees 53 minutes 55 seconds West, a distance of 230.61 feet to the East line of the West 333.00 feet of said East Half of the Southwest Quarter; thence North 00 degrees 02 minutes 55 seconds East, along said line a distance of 599.89 feet to the North line of the South 675.00 feet of said East Half of the Southwest Quarter; thence South 89 degrees 53 minutes 57 seconds West, along said North line a distance of 333.00 feet to said West line of the East Half of the Southwest Quarter; thence North 00 degrees 02 minutes 55 seconds East, along said West line a distance of 774.53 feet to the point of beginning.

Washington County, Minnesota
Abstract Property

PROPOSED DEVELOPMENT LEGAL DESCRIPTION

That portion of the East Half of the Southwest Quarter and that portion of the West Half of the Southeast Quarter, both in Section 34, Township 29, Range 21, Washington County, Minnesota, described as follows:

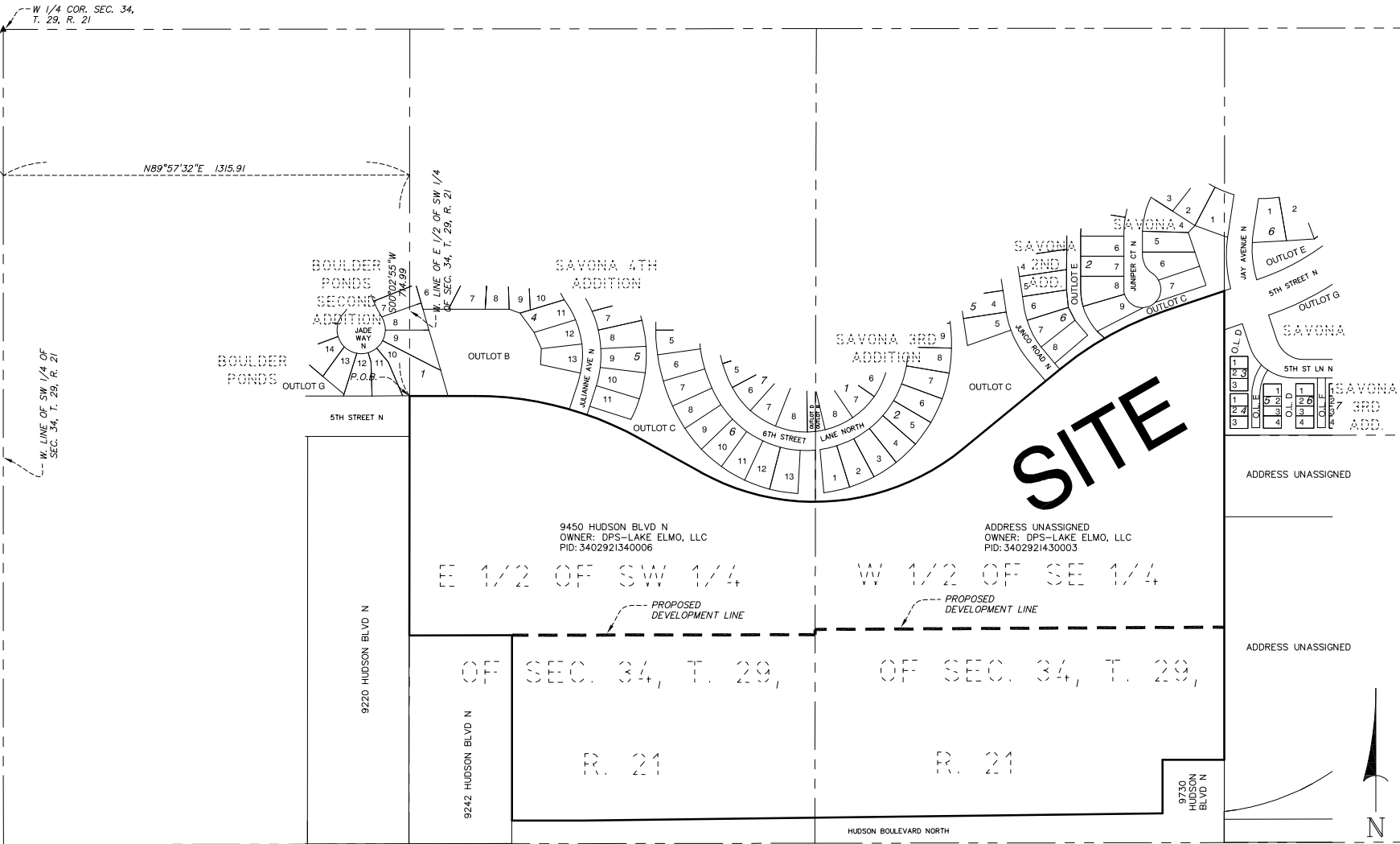
Commencing at the West Quarter corner of said Section 34; thence South 00 degrees 00 minutes 40 seconds East, along the West line of said Section 34, a distance of 472.55 feet; thence North 89 degrees 57 minutes 32 seconds East, a distance of 1315.91 feet to the West line of said East Half of the Southwest Quarter; thence South 00 degrees 02 minutes 55 seconds West, along said West line a distance of 714.99 feet to the point of beginning; thence North 89 degrees 55 minutes 22 seconds East, a distance of 212.38 feet; thence Southeasterly along a tangential curve concave to the Southwest having a central angle of 29 degrees 05 minutes 37 seconds, a radius of 1100.00 feet for an arc distance of 558.56 feet; thence South 60 degrees 59 minutes 01 seconds East, tangent to said curve, a distance of 224.27 feet; thence Southeasterly along a tangential curve concave to the North, having a central angle of 68 degrees 21 minutes 23 seconds, a radius of 760.00 feet for an arc distance of 906.71 feet; thence North 50 degrees 39 minutes 36 seconds East, a distance of 410.97 feet; thence Northeasterly along a tangential curve concave to the Southeast, having a central angle of 20 degrees 49 minutes 17 seconds, a radius of 1060.00 feet for an arc distance of 385.20 feet; thence North 71 degrees 28 minutes 52 seconds East, tangent to said curve, a distance of 202.22 feet to the East line of said West Half of the Southeast Quarter; thence South 00 degrees 01 minutes 13 seconds West, along the East line a distance of 1089.33 feet to a line hereinafter referred to as Line 'X'; thence South 89 degrees 40 minutes 54 seconds West, along said Line 'X' and its westerly extension, a distance of 1324.76 feet to the East line of said East Half of the Southwest Quarter; thence South 00 degrees 06 minute 31 seconds West, along said East line a distance of 15.85 feet to the North line of the South 675.00 feet of said East Half of the Southwest Quarter; thence South 89 degrees 53 minutes 57 seconds West, along said North line a distance of 1314.35 feet to said West line of the East Half of the Southwest Quarter; thence North 00 degrees 02 minutes 55 seconds East, along said West line a distance of 774.53 feet to the point of beginning.

Line 'X' is described as follows:

Commencing at the southwest corner of said West Half of the Southeast Quarter; thence North 00 degrees 06 minutes 31 seconds East, assumed bearing, along the west line of said West Half of the Southeast Quarter, a distance of 82.86 feet to the north line of Parcel 29C of Minnesota Department of Transportation Right of Way Plat No. 82-43; thence North 89 degrees 18 minutes 27 seconds East, along said north line, a distance of 40.00 feet; thence North 00 degrees 06 minutes 31 seconds East, a distance of 607.73 feet to the point of beginning; thence North 89 degrees 40 minutes 54 seconds East, a distance of 1284.76 feet to the east line of said West Half of the Southeast Quarter, and said Line 'X' there terminating.

NOTES

- This survey and the property description shown herein are based upon Information found in the commitment for title Insurance prepared by Commercial Partners Title, LLC as issuing agent for Stewart Title Guaranty Company, Commitment no. 55162, dated November 6, 2018.
- The locations of underground utilities are depicted based on information from Gopher State One Call system for a "Boundary Survey locate". The information was provided by a combination of available maps, proposed plans or city records and field locations which may not be exact. Verify all utilities critical to construction or design.
- The orientation of this bearing system is based on the Washington County Coordinate System NAD83 (1986).
- All distances are in feet.
- The area of the above described property is 3,162,661 square feet or 72.605 acres; area north of proposed development line is 1,811,430 square feet or 41.585 acres.
- Bench Mark 1: Top Nut of Hydrant located in the NE quadrant of 5th Street and Julianne Ave N has an elevation of 1032.25 feet NGVD 29.
- Bench Mark 2: Top Nut of Hydrant located in the NW quadrant of 5th Street and Junco Rd N has an elevation of 1009.69 feet NGVD 29.
- Elevations at curb line are to top back of curb.
- Names of adjacent owners per Washington County Tax Records.
- Residential home dimensions on adjacent property are shown per City records where available.



LEGAL DESCRIPTION AND ADJACENT PARCEL DETAIL

1" = 250'

LEGEND

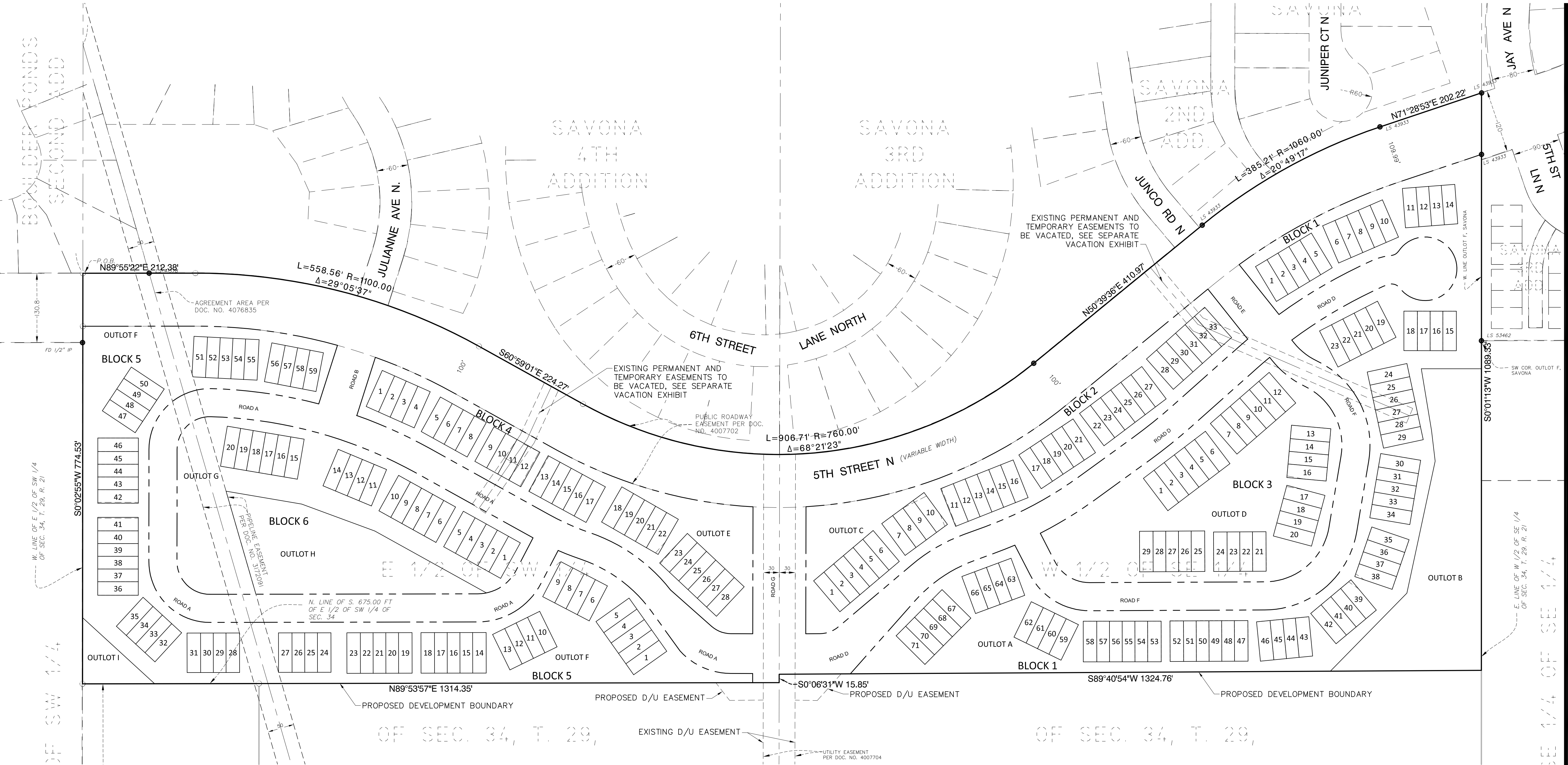
- SET CAP IRON MONUMENT 18425
 - FOUND IRON MONUMENT
 - ⊙ FOUND CAST IRON MONUMENT
 - ▲ FOUND MAG NAIL
 - x WATER VALVE
 - TELEPHONE BOX
 - ⊙ SANITARY MANHOLE
 - ⊙ CATCH BASIN
 - ⊙ POWER POLE
 - GUY WIRE
 - FIBER OPTIC VAULT
 - ◆ FIRE HYDRANT
 - ★ LIGHT POLE
 - 4 SIGN
 - WELL
 - ⊙ STORM MANHOLE
 - CURB STOP
 - MAIL BOX
 - 1800.57' x TOP OF EXPOSED GAS PIPE
 - 1773' x TREE W/ TAG NO.
 - 1800.57' x GROUND ELEVATION
 - (R) PER RECORD AS-BUILT
- G — GAS
 - S — SANITARY SEWER
 - W — STORM SEWER W/ FLARED END
 - I — WATERMAIN
 - F — FIBER OPTIC
 - U — OVERHEAD UTILITY
 - E — UNDERGROUND ELECTRIC
 - X — FENCE
 - 1002 — CONTOUR PER FIELDWORK/LIDAR
 - 1002 — CONTOUR PER RECORD PLAN
 - — EDGE OF WATER
 - CONCRETE
 - BITUMINOUS
 - GRAVEL
 - TREE LINE
 - PROPOSED DEVELOPMENT LINE

PLAT	LOT	BLOCK	OWNER
BOULDER PONDS		OUTLOT G	CITY OF LAKE ELMO
BOULDER PONDS SECOND ADDITION	14	1	CREATIVE HOMES INC
BOULDER PONDS SECOND ADDITION	13	1	HART THOMAS & TONY HANSEN
BOULDER PONDS SECOND ADDITION	12	1	OP4 BOULDER PONDS LLC
BOULDER PONDS SECOND ADDITION	11	1	BERG DANIEL R & GAYLE
BOULDER PONDS SECOND ADDITION	10	1	WINTER DEAN A & MARY P
BOULDER PONDS SECOND ADDITION	9	1	MACHADO EDUARDO & USA
BOULDER PONDS SECOND ADDITION	8	1	CREATIVE HOMES INC
BOULDER PONDS SECOND ADDITION	7	1	CREATIVE HOMES INC
SAVONA 4TH ADDITION		OUTLOT B	CITY OF LAKE ELMO
SAVONA 4TH ADDITION		OUTLOT C	CITY OF LAKE ELMO
SAVONA 4TH ADDITION		OUTLOT D	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	6	4	US HOME CORPORATION
SAVONA 4TH ADDITION	7	4	US HOME CORPORATION
SAVONA 4TH ADDITION	8	4	US HOME CORPORATION
SAVONA 4TH ADDITION	9	4	US HOME CORPORATION
SAVONA 4TH ADDITION	10	4	US HOME CORPORATION
SAVONA 4TH ADDITION	11	4	US HOME CORPORATION
SAVONA 4TH ADDITION	12	4	US HOME CORPORATION
SAVONA 4TH ADDITION	13	4	US HOME CORPORATION
SAVONA 4TH ADDITION	14	4	US HOME CORPORATION
SAVONA 4TH ADDITION	15	4	US HOME CORPORATION
SAVONA 4TH ADDITION	16	4	US HOME CORPORATION
SAVONA 4TH ADDITION	17	4	US HOME CORPORATION
SAVONA 4TH ADDITION	18	4	US HOME CORPORATION
SAVONA 4TH ADDITION	19	4	US HOME CORPORATION
SAVONA 4TH ADDITION	20	4	US HOME CORPORATION
SAVONA 4TH ADDITION	21	4	US HOME CORPORATION
SAVONA 4TH ADDITION	22	4	US HOME CORPORATION
SAVONA 4TH ADDITION	23	4	US HOME CORPORATION
SAVONA 4TH ADDITION	24	4	US HOME CORPORATION
SAVONA 4TH ADDITION	25	4	US HOME CORPORATION
SAVONA 4TH ADDITION	26	4	US HOME CORPORATION
SAVONA 4TH ADDITION	27	4	US HOME CORPORATION
SAVONA 4TH ADDITION	28	4	US HOME CORPORATION
SAVONA 4TH ADDITION	29	4	US HOME CORPORATION
SAVONA 4TH ADDITION	30	4	US HOME CORPORATION
SAVONA 4TH ADDITION	31	4	US HOME CORPORATION
SAVONA 4TH ADDITION	32	4	US HOME CORPORATION
SAVONA 4TH ADDITION	33	4	US HOME CORPORATION
SAVONA 4TH ADDITION	34	4	US HOME CORPORATION
SAVONA 4TH ADDITION	35	4	US HOME CORPORATION
SAVONA 4TH ADDITION	36	4	US HOME CORPORATION
SAVONA 4TH ADDITION	37	4	US HOME CORPORATION
SAVONA 4TH ADDITION	38	4	US HOME CORPORATION
SAVONA 4TH ADDITION	39	4	US HOME CORPORATION
SAVONA 4TH ADDITION	40	4	US HOME CORPORATION
SAVONA 4TH ADDITION	41	4	US HOME CORPORATION
SAVONA 4TH ADDITION	42	4	US HOME CORPORATION
SAVONA 4TH ADDITION	43	4	US HOME CORPORATION
SAVONA 4TH ADDITION	44	4	US HOME CORPORATION
SAVONA 4TH ADDITION	45	4	US HOME CORPORATION
SAVONA 4TH ADDITION	46	4	US HOME CORPORATION
SAVONA 4TH ADDITION	47	4	US HOME CORPORATION
SAVONA 4TH ADDITION	48	4	US HOME CORPORATION
SAVONA 4TH ADDITION	49	4	US HOME CORPORATION
SAVONA 4TH ADDITION	50	4	US HOME CORPORATION
SAVONA 4TH ADDITION	51	4	US HOME CORPORATION
SAVONA 4TH ADDITION	52	4	US HOME CORPORATION
SAVONA 4TH ADDITION	53	4	US HOME CORPORATION
SAVONA 4TH ADDITION	54	4	US HOME CORPORATION
SAVONA 4TH ADDITION	55	4	US HOME CORPORATION
SAVONA 4TH ADDITION	56	4	US HOME CORPORATION
SAVONA 4TH ADDITION	57	4	US HOME CORPORATION
SAVONA 4TH ADDITION	58	4	US HOME CORPORATION
SAVONA 4TH ADDITION	59	4	US HOME CORPORATION
SAVONA 4TH ADDITION	60	4	US HOME CORPORATION
SAVONA 4TH ADDITION	61	4	US HOME CORPORATION
SAVONA 4TH ADDITION	62	4	US HOME CORPORATION
SAVONA 4TH ADDITION	63	4	US HOME CORPORATION
SAVONA 4TH ADDITION	64	4	US HOME CORPORATION
SAVONA 4TH ADDITION	65	4	US HOME CORPORATION
SAVONA 4TH ADDITION	66	4	US HOME CORPORATION
SAVONA 4TH ADDITION	67	4	US HOME CORPORATION
SAVONA 4TH ADDITION	68	4	US HOME CORPORATION
SAVONA 4TH ADDITION	69	4	US HOME CORPORATION
SAVONA 4TH ADDITION	70	4	US HOME CORPORATION
SAVONA 4TH ADDITION	71	4	US HOME CORPORATION
SAVONA 4TH ADDITION	72	4	US HOME CORPORATION
SAVONA 4TH ADDITION	73	4	US HOME CORPORATION
SAVONA 4TH ADDITION	74	4	US HOME CORPORATION
SAVONA 4TH ADDITION	75	4	US HOME CORPORATION
SAVONA 4TH ADDITION	76	4	US HOME CORPORATION
SAVONA 4TH ADDITION	77	4	US HOME CORPORATION
SAVONA 4TH ADDITION	78	4	US HOME CORPORATION
SAVONA 4TH ADDITION	79	4	US HOME CORPORATION
SAVONA 4TH ADDITION	80	4	US HOME CORPORATION
SAVONA 4TH ADDITION	81	4	US HOME CORPORATION
SAVONA 4TH ADDITION	82	4	US HOME CORPORATION
SAVONA 4TH ADDITION	83	4	US HOME CORPORATION
SAVONA 4TH ADDITION	84	4	US HOME CORPORATION
SAVONA 4TH ADDITION	85	4	US HOME CORPORATION
SAVONA 4TH ADDITION	86	4	US HOME CORPORATION
SAVONA 4TH ADDITION	87	4	US HOME CORPORATION
SAVONA 4TH ADDITION	88	4	US HOME CORPORATION
SAVONA 4TH ADDITION	89	4	US HOME CORPORATION
SAVONA 4TH ADDITION	90	4	US HOME CORPORATION
SAVONA 4TH ADDITION	91	4	US HOME CORPORATION
SAVONA 4TH ADDITION	92	4	US HOME CORPORATION
SAVONA 4TH ADDITION	93	4	US HOME CORPORATION
SAVONA 4TH ADDITION	94	4	US HOME CORPORATION
SAVONA 4TH ADDITION	95	4	US HOME CORPORATION
SAVONA 4TH ADDITION	96	4	US HOME CORPORATION
SAVONA 4TH ADDITION	97	4	US HOME CORPORATION
SAVONA 4TH ADDITION	98	4	US HOME CORPORATION
SAVONA 4TH ADDITION	99	4	US HOME CORPORATION
SAVONA 4TH ADDITION	100	4	US HOME CORPORATION

SAVONA 4TH ADDITION	12	6	JASKA BRIAN J & ELIZABETH
SAVONA 4TH ADDITION	13	6	VUE TOU F & SABRINA YANG
SAVONA 4TH ADDITION	14	6	NOVAK JASON & KATHERINE
SAVONA 4TH ADDITION	15	6	US HOME CORPORATION
SAVONA 4TH ADDITION	16	6	US HOME CORPORATION
SAVONA 4TH ADDITION	17	6	US HOME CORPORATION
SAVONA 4TH ADDITION	18	6	PETERSON KELSEY & MITCHELL A
SAVONA 4TH ADDITION	19	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	20	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	21	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	22	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	23	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	24	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	25	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	26	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	27	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	28	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	29	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	30	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	31	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	32	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	33	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	34	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	35	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	36	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	37	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	38	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	39	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	40	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	41	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	42	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	43	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	44	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	45	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	46	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	47	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	48	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	49	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	50	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	51	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	52	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	53	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	54	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	55	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	56	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	57	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	58	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	59	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	60	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	61	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	62	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	63	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	64	6	CITY OF LAKE ELMO
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SAVONA 4TH ADDITION	66	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	67	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	68	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	69	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	70	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	71	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	72	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	73	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	74	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	75	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	76	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	77	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	78	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	79	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	80	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	81	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	82	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	83	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	84	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	85	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	86	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	87	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	88	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	89	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	90	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	91	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	92	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	93	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	94	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	95	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	96	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	97	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	98	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	99	6	CITY OF LAKE ELMO
SAVONA 4TH ADDITION	100	6	CITY OF LAKE ELMO

SAVONA 3RD ADDITION	1	6	VOSS JEFFREY R
SAVONA 3RD ADDITION	2	6	MILES MITCH & DREW
SAVONA 3RD ADDITION	3	6	OMALLEY SHEENA C & JASON L SPOTEL
SAVONA 3RD ADDITION	4	6	FRITZE KIRSTEN & JOHN
SAVONA 3RD ADDITION	5	6	EFFROM EMILIA B
SAVONA 3RD ADDITION	6	6	MEIERHOFF ROBERT
SAVONA 3RD ADDITION	7	6	MOROSKI JEFFERY W & SUSAN L
SAVONA 3RD ADDITION	8	6	THEIS RICHARD J & DIANE A
SAVONA 3RD ADDITION	9	6	SAVONA NEIGHBORHOOD ASSOCIATION
SAVONA 3RD ADDITION	10	6	PICKEL KYLE J & JAMIE L
SAVONA 3RD ADDITION	11	6	NETO URBANO N S & ANA R M SANTIAGO
SAVONA 3RD ADDITION	12	6	KOBE MICHAEL W
SAVONA 3RD ADDITION	13	6	HAMMER LIND MICHAEL T & LYNN M
SAVONA 3RD ADDITION	14	6	FARM MAR AVY I & DAVID
SAVONA 3RD ADDITION	15	6	BATTAH ANISA A ETAL
SAVONA 3RD ADDITION	16	6	WILLET MITCHELL S & LAUREN L
SAVONA 3RD ADDITION	17	6	SAVONA NEIGHBORHOOD ASSOCIATION
SAVONA 3RD ADDITION	18	6	SAVONA NEIGHBORHOOD ASSOCIATION
SAVONA 3RD ADDITION	19	6	CITY OF LAKE ELMO
SAVONA 3RD ADDITION	20	6	CITY OF LAKE ELMO
SAVONA 3RD ADDITION	21	6	CITY OF LAKE ELMO
SAVONA 3RD ADDITION	22	6	CITY OF LAKE ELMO

Drawing name: X:\2018\180165\plan sheets\Preliminary Plat\180165preplat.dwg, Jan 24, 2019, 11:55am



PARCEL AREA TABLE		
PARCEL	AREA SF	AREA AC
B1-L1	1,951	0.04
B1-L2	1,836	0.04
B1-L3	1,836	0.04
B1-L4	1,836	0.04
B1-L5	1,951	0.04
B1-L6	1,951	0.04
B1-L7	1,836	0.04
B1-L8	1,836	0.04
B1-L9	1,836	0.04
B1-L10	1,951	0.04
B1-L11	1,900	0.04
B1-L12	1,788	0.04
B1-L13	1,788	0.04
B1-L14	1,900	0.04
B1-L15	1,900	0.04
B1-L16	1,788	0.04
B1-L17	1,788	0.04
B1-L18	1,900	0.04
B1-L19	1,951	0.04
B1-L20	1,836	0.04
B1-L21	1,836	0.04
B1-L22	1,836	0.04

PARCEL AREA TABLE		
PARCEL	AREA SF	AREA AC
B1-L23	1,951	0.04
B1-L24	1,951	0.04
B1-L25	1,836	0.04
B1-L26	1,836	0.04
B1-L27	1,836	0.04
B1-L28	1,836	0.04
B1-L29	1,951	0.04
B1-L30	1,951	0.04
B1-L31	1,836	0.04
B1-L32	1,836	0.04
B1-L33	1,836	0.04
B1-L34	1,951	0.04
B1-L35	1,900	0.04
B1-L36	1,788	0.04
B1-L37	1,788	0.04
B1-L38	1,900	0.04
B1-L39	1,900	0.04
B1-L40	1,788	0.04
B1-L41	1,788	0.04
B1-L42	1,900	0.04
B1-L43	1,900	0.04
B1-L44	1,788	0.04

PARCEL AREA TABLE		
PARCEL	AREA SF	AREA AC
B1-L45	1,788	0.04
B1-L46	1,900	0.04
B1-L47	1,951	0.04
B1-L48	1,836	0.04
B1-L49	1,836	0.04
B1-L50	1,836	0.04
B1-L51	1,836	0.04
B1-L52	1,951	0.04
B1-L53	1,951	0.04
B1-L54	1,836	0.04
B1-L55	1,836	0.04
B1-L56	1,836	0.04
B1-L57	1,836	0.04
B1-L58	1,951	0.04
B1-L59	1,900	0.04
B1-L60	1,788	0.04
B1-L61	1,788	0.04
B1-L62	1,900	0.04
B1-L63	1,900	0.04
B1-L64	1,788	0.04
B1-L65	1,788	0.04
B1-L66	1,900	0.04

PARCEL AREA TABLE		
PARCEL	AREA SF	AREA AC
B1-L67	1,951	0.04
B1-L68	1,836	0.04
B1-L69	1,836	0.04
B1-L70	1,836	0.04
B1-L71	1,951	0.04
B2-L1	1,951	0.04
B2-L2	1,836	0.04
B2-L3	1,836	0.04
B2-L4	1,836	0.04
B2-L5	1,836	0.04
B2-L6	1,951	0.04
B2-L7	1,900	0.04
B2-L8	1,788	0.04
B2-L9	1,788	0.04
B2-L10	1,900	0.04
B2-L11	1,951	0.04
B2-L12	1,836	0.04
B2-L13	1,836	0.04
B2-L14	1,836	0.04
B2-L15	1,836	0.04
B2-L16	1,951	0.04
B2-L17	1,951	0.04

PARCEL AREA TABLE		
PARCEL	AREA SF	AREA AC
B2-L18	1,836	0.04
B2-L19	1,836	0.04
B2-L20	1,836	0.04
B2-L21	1,951	0.04
B2-L22	1,951	0.04
B2-L23	1,836	0.04
B2-L24	1,836	0.04
B2-L25	1,836	0.04
B2-L26	1,836	0.04
B2-L27	1,951	0.04
B2-L28	1,951	0.04
B2-L29	1,836	0.04
B2-L30	1,836	0.04
B2-L31	1,836	0.04
B2-L32	1,836	0.04
B2-L33	1,951	0.04
B3-L1	1,951	0.04
B3-L2	1,836	0.04
B3-L3	1,836	0.04
B3-L4	1,836	0.04
B3-L5	1,836	0.04
B3-L6	1,951	0.04

PARCEL AREA TABLE		
PARCEL	AREA SF	AREA AC
B3-L7	1,951	0.04
B3-L8	1,836	0.04
B3-L9	1,836	0.04
B3-L10	1,836	0.04
B3-L11	1,836	0.04
B3-L12	1,951	0.04
B3-L13	1,900	0.04
B3-L14	1,788	0.04
B3-L15	1,788	0.04
B3-L16	1,900	0.04
B3-L17	1,900	0.04
B3-L18	1,788	0.04
B3-L19	1,788	0.04
B3-L20	1,900	0.04
B3-L21	1,900	0.04
B3-L22	1,788	0.04
B3-L23	1,788	0.04
B3-L24	1,900	0.04
B3-L25	1,951	0.04
B3-L26	1,836	0.04
B3-L27	1,836	0.04
B3-L28	1,836	0.04

PARCEL AREA TABLE		
PARCEL	AREA SF	AREA AC
B3-L29	1,951	0.04
B4-L1	1,900	0.04
B4-L2	1,788	0.04
B4-L3	1,788	0.04
B4-L4	1,900	0.04
B4-L5	1,900	0.04
B4-L6	1,788	0.04
B4-L7	1,788	0.04
B4-L8	1,900	0.04
B4-L9	1,900	0.04
B4-L10	1,788	0.04
B4-L11	1,788	0.04
B4-L12	1,900	0.04
B4-L13	1,951	0.04
B4-L14	1,836	0.04
B4-L15	1,836	0.04
B4-L16	1,836	0.04
B4-L17	1,951	0.04
B4-L18	1,951	0.04
B4-L19	1,836	0.04
B4-L20	1,836	0.04
B4-L21	1,836	0.04

PARCEL AREA TABLE		
PARCEL	AREA SF	AREA AC
B4-L22	1,951	0.04
B4-L23	1,951	0.04
B4-L24	1,836	0.04
B4-L25	1,836	0.04
B4-L26	1,836	0.04
B4-L27	1,836	0.04
B4-L28	1,951	0.04
B5-L1	1,951	0.04
B5-L2	1,836	0.04
B5-L3	1,836	0.04
B5-L4	1,836	0.04
B5-L5	1,951	0.04
B5-L6	1,900	0.04
B5-L7	1,788	0.04
B5-L8	1,788	0.04
B5-L9	1,900	0.04
B5-L10	1,900	0.04
B5-L11	1,788	0.04
B5-L12	1,788	0.04
B5-L13	1,900	0.04
B5-L14	1,951	0.04
B5-L15	1,836	0.04

PARCEL AREA TABLE		
PARCEL	AREA SF	AREA AC
B5-L16	1,836	0.04
B5-L17	1,836	0.04
B5-L18	1,951	0.04
B5-L19	1,951	0.04
B5-L20	1,836	0.04
B5-L21	1,836	0.04
B5-L22	1,836	0.04
B5-L23	1,951	0.04
B5-L24	1,900	0.04
B5-L25	1,788	0.04
B5-L26	1,788	0.04
B5-L27	1,900	0.04
B5-L28	1,900	0.04
B5-L29	1,788	0.04
B5-L30	1,788	0.04
B5-L31	1,900	0.04
B5-L32	1,900	0.04
B5-L33	1,788	0.04
B5-L34	1,788	0.04
B5-L35	1,900	0.04
B5-L36	1,951	0.04
B5-L37	1,836	0.04

PARCEL AREA TABLE		
PARCEL	AREA SF	AREA AC
B5-L38	1,836	0.04
B5-L39	1,836	0.04
B5-L40	1,836	0.04
B5-L41	1,951	0.04
B5-L42	1,951	0.04
B5-L43	1,836	0.04
B5-L44	1,836	0.04
B5-L45	1,836	0.04
B5-L46	1,951	0.04
B5-L47	1,900	0.04
B5-L48	1,788	0.04
B5-L49	1,788	0.04
B5-L50	1,900	0.04
B5-L51	1,945	0.04
B5-L52	1,836	0.04
B5-L53	1,836	0.04
B5-L54	1,836	0.04
B5-L55	1,951	0.04
B5-L56	1,900	0.04
B5-L57	1,788	0.04
B5-L58	1,788	0.04
B5-L59	1,900	0.04

PARCEL AREA TABLE		
PARCEL	AREA SF	AREA AC
B6-L1	1,951	0.04
B6-L2	1,836	0.04
B6-L3	1,836	0.04
B6-L4	1,836	0.04
B6-L5	1,951	0.04
B6-L6	1,951	0.04
B6-L7	1,836	0.04
B6-L8	1,836	0.04
B6-L9	1,836	0.04
B6-L10	1,951	0.04
B6-L11	1,900	0.04
B6-L12	1,788	0.04
B6-L13	1,788	0.04
B6-L14	1,900	0.04
B6-L15	1,951	0.04
B6-L16	1,836	0.04
B6-L17	1,836	0.04
B6-L18	1,836	0.04
B6-L19	1,836	0.04
B6-L20	1,951	0.04
OUTLOT A	160,460	3.68
OUTLOT B	76,800	1.76

PARCEL AREA TABLE		
PARCEL	AREA SF	AREA AC
OUTLOT C	67,485	1.55
OUTLOT D	91,796	2.11
OUTLOT E	57,606	1.32
OUTLOT F	151,700	3.48
OUTLOT G	78,230	1.80
OUTLOT H	53,142	1.22
OUTLOT I	8,496	0.20
ROW (5TH ST)	294,126	6.75
ROW (A,B)	136,349	3.13
ROW (D,E,F)	155,207	3.56
ROW G	32,278	0.74
TOTAL	1,811,430	41.58

FOR REVIEW ONLY
PRELIMINARY
NOT FOR CONSTRUCTION

LEGEND:

- PROPERTY LINE
- - - LOT LINE
- - - R.O.W
- - - EASEMENT LINE
- FOUND IRON MONUMENT
- SET CAP IRON MONUMENT

0 50 100 200
SCALE IN FEET

N

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612.758.3080
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Pulte
Homes

BENTLEY VILLAGE
LAKE ELMO, MINNESOTA

PRELIMINARY PLAT SUBMITTAL

PRELIMINARY PLAT - OVERALL

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA

MARK RAUSCH, PE
1-25-19 43480
Date License No.

QUALITY ASSURANCE/CONTROL

BY	DATE
DATE	ISSUE
1-25-19	CITY SUBMITTAL

PROJECT TEAM DATA

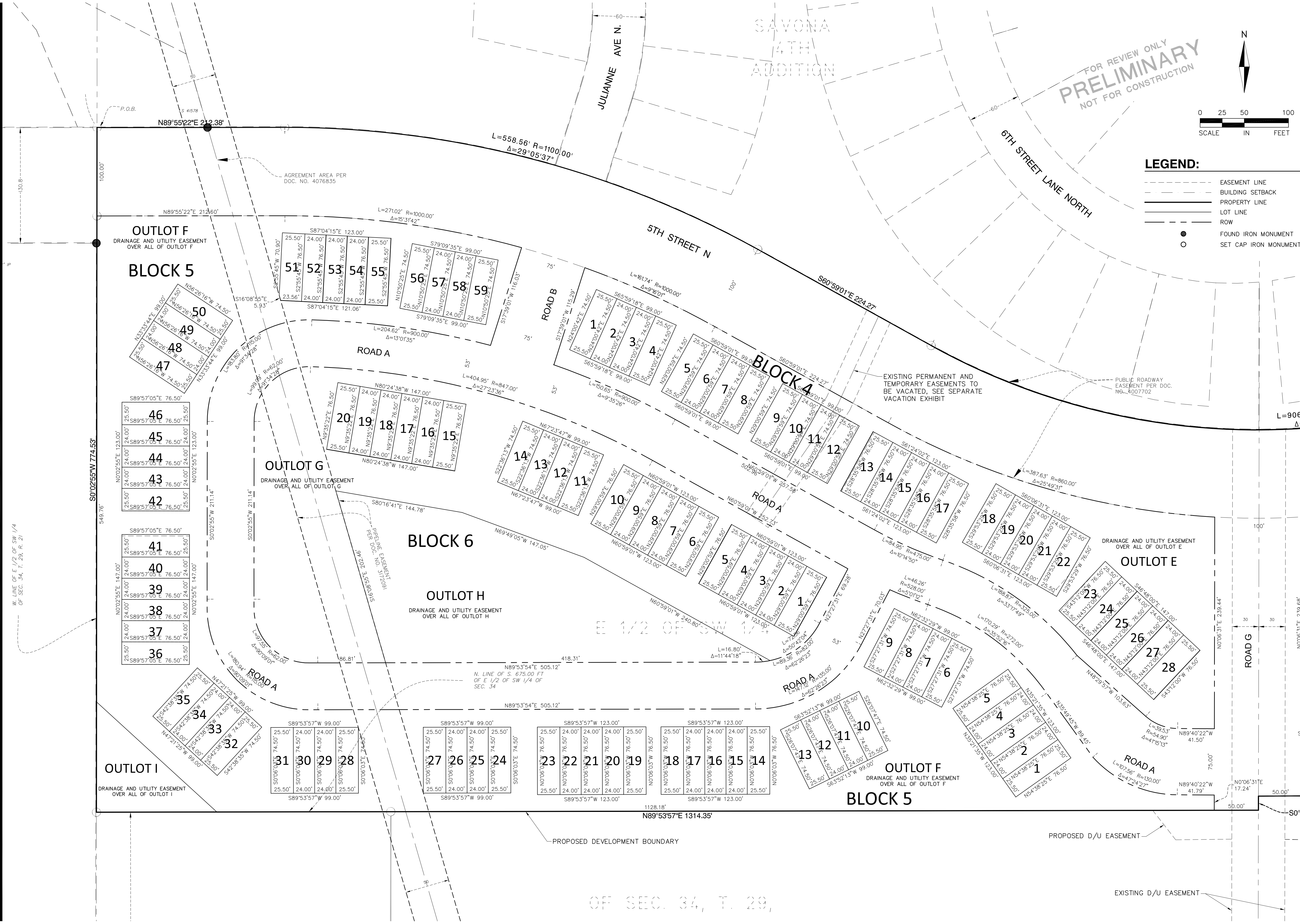
DESIGNED:	MPR
DRAWN:	SIL
PROJECT NO:	218-0165

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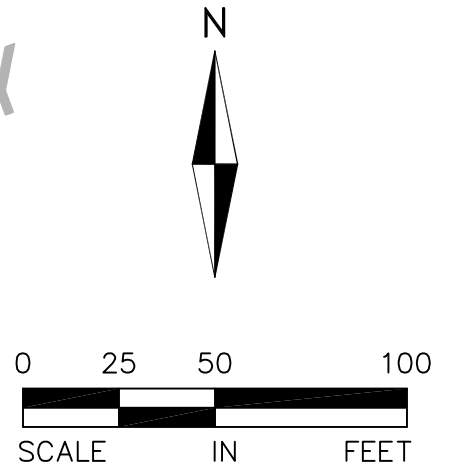
SHEET 4 of 33

Drawing name: X:\2018\180165\plan sheets\Preliminary Plat\180165preplat.dwg Jan 24, 2019 -- 11:55am

W. LINE OF E 1/2 OF SW 1/4
OF SEC. 34, T. 29, R. 2



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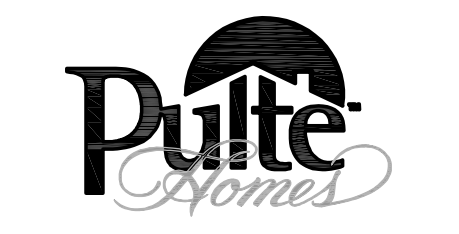


LEGEND:

- EASEMENT LINE
- BUILDING SETBACK
- PROPERTY LINE
- LOT LINE
- ROW
- FOUND IRON MONUMENT
- SET CAP IRON MONUMENT

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LAKE ELMO, MINNESOTA
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PRELIMINARY PLAT - WEST PARCEL

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1-25-19 43480
Date License No.

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 EASEMENT LINE
 BUILDING SETBACK
 PROPERTY LINE
 LOT LINE
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BENTLEY VILLAGE

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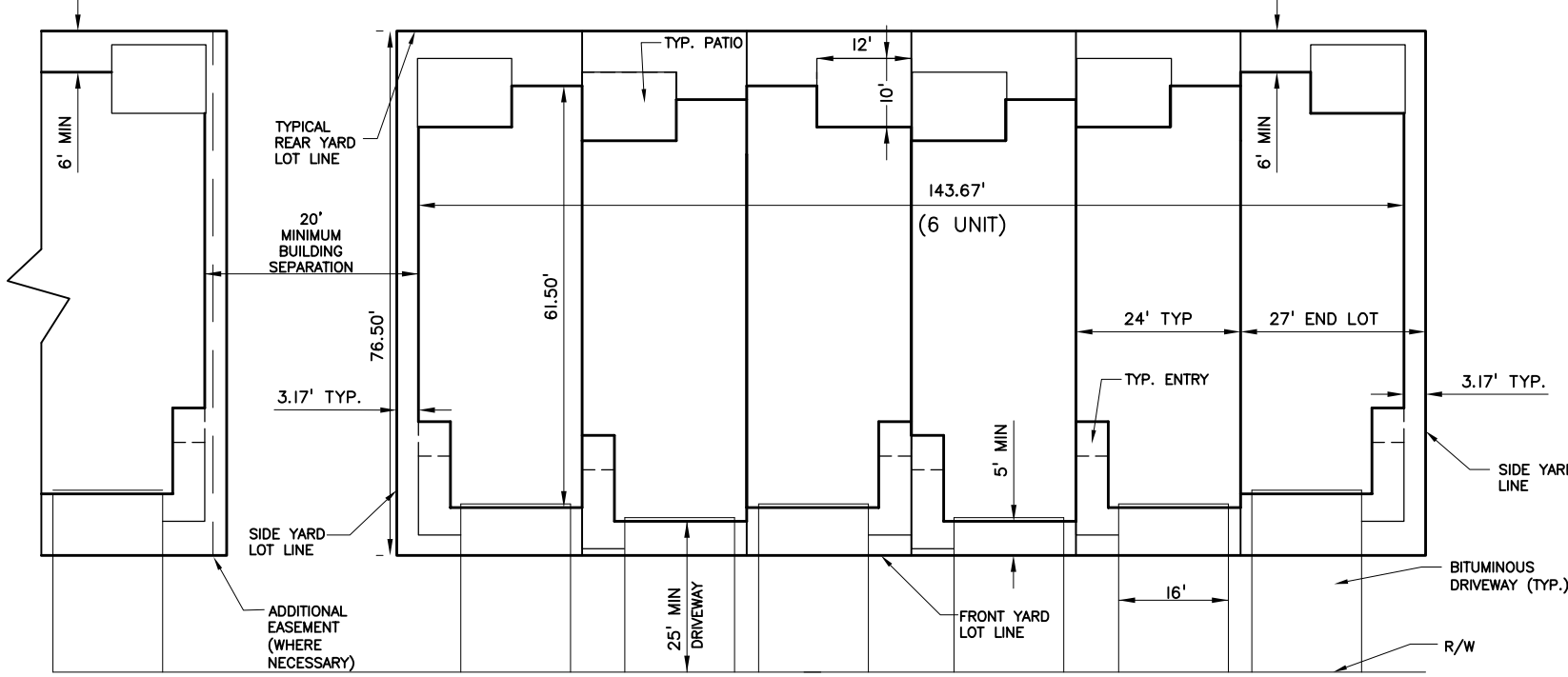
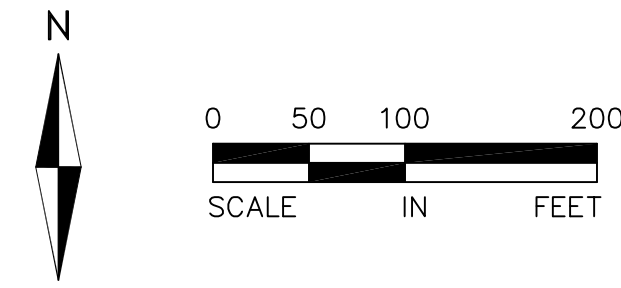
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PROJECT NO:	218-0165

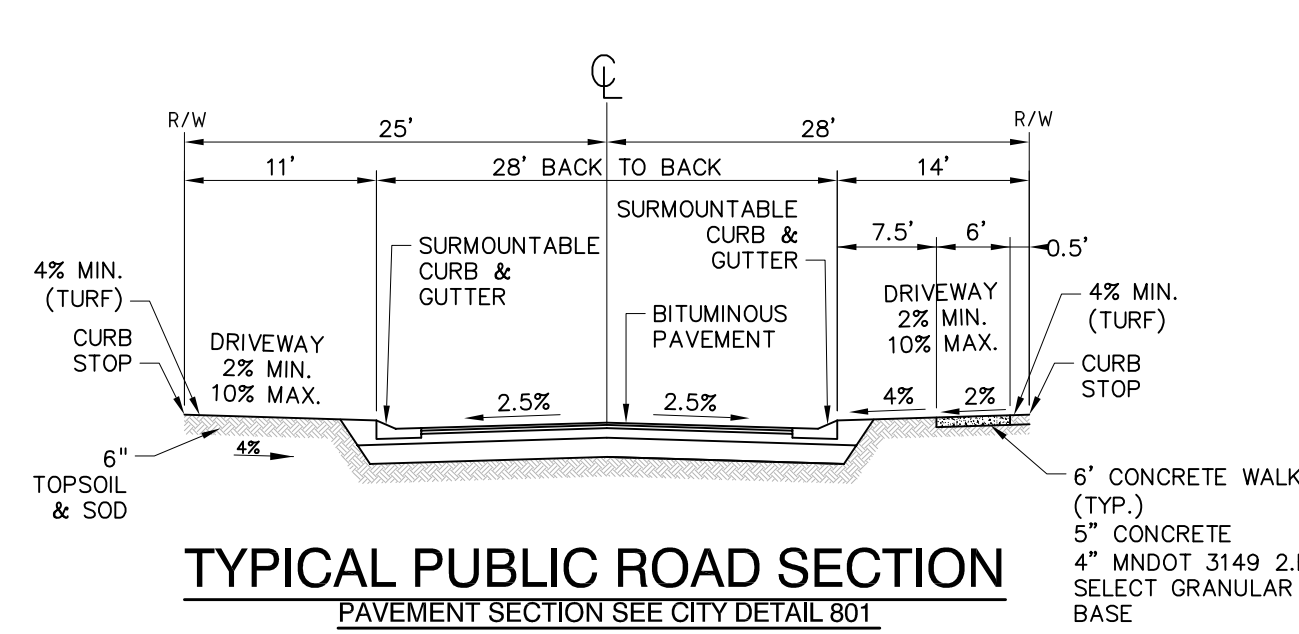
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LEGEND:

- EASEMENT LINE
- BUILDING SETBACK
- PROPERTY LINE
- LOT LINE
- ROW
- RETAINING WALL
- MAINTENANCE ACCESS



TYPICAL TOWNHOME LOT DETAIL

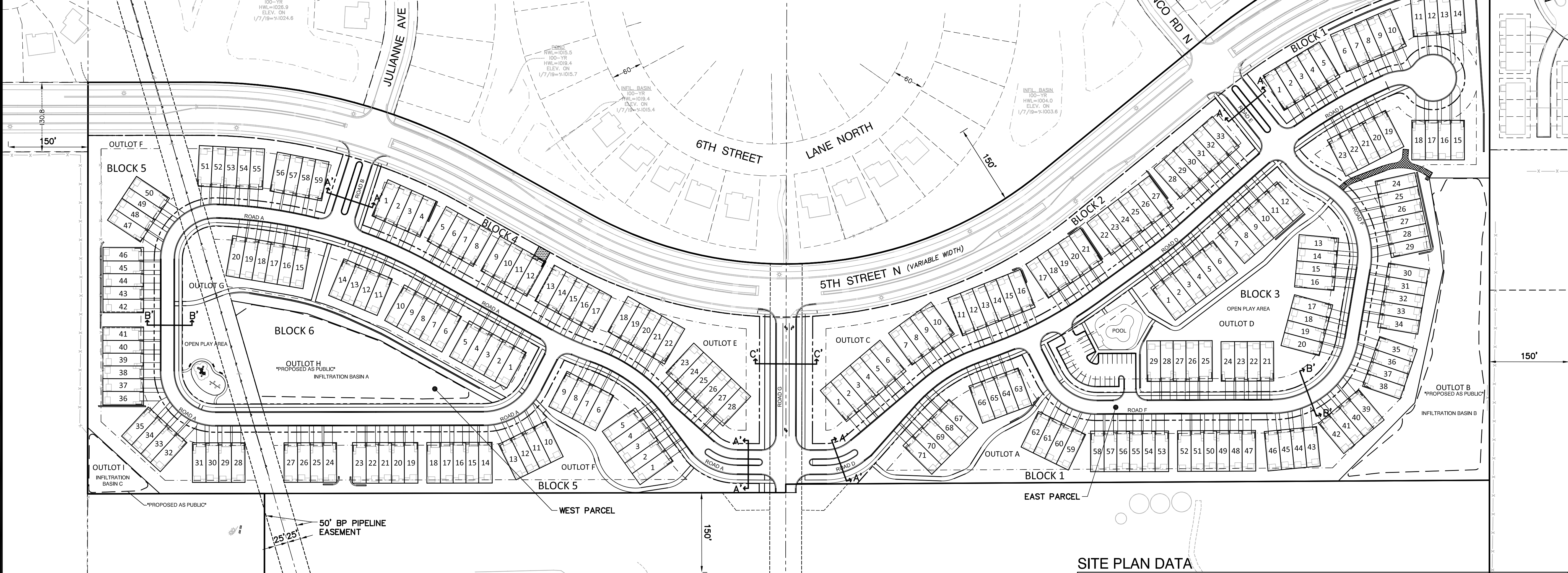


TYPICAL PUBLIC ROAD SECTION

PAVEMENT SECTION SEE CITY DETAIL 801

INTERNAL STREETS
SECTION B'-B'

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STANDARD PLAN NOTES
SIDEWALKS AND TRAILS

MARCH 2017

CITY OF LAKE ELMO

STANDARD PLAN NOTES
SIGNING/PAVEMENT MARKINGS/LIGHTING PLANS

MARCH 2017

CITY OF LAKE ELMO

TYPICAL LOCAL RESIDENTIAL STREET SECTION
(MINIMUM 7-TON DESIGN)

MARCH 2017

CITY OF LAKE ELMO

MEDIAN ROAD SECTION
PAVEMENT SECTION SEE CITY DETAIL 801
SECTION A'-A'

COLLECTOR ROAD SECTION
"ROAD G" - SECTION C'-C'

COLLECTOR PAVEMENT SECTION

BENTLEY VILLAGE		AREA DATA	
INCLUDED PID'S:	3402921340006 = DPS-LAKE ELMO LLC (PARTIAL) 3402921430003 = DPS-LAKE ELMO LLC (PARTIAL)	GROSS DEVELOPMENT AREA	1,811,430 SF / 41.58 ACRES
BENTLEY VILLAGE LAND USE AND ZONING:		EAST	971,593 SF / 22.30 ACRES
EXISTING ZONING:	R2-PUD - ONE- AND TWO-FAMILY RESIDENTIAL	WEST	839,837 SF / 19.28 ACRES
PROPOSED ZONING:	MDR - MULTI-FAMILY BUILDING DISTRICT	WETLAND	NONE
EXISTING LAND USE:	URBAN MEDIUM DENSITY	5TH ST. R/W DEDICATION	294,126 SF / 6.75 ACRES
PROPOSED LAND USE:	URBAN MEDIUM DENSITY	COLLECTOR ROAD R/W DEDICATION (ROAD G)	32,278 SF / 0.74 ACRES
PROPOSED SETBACKS:		TOTAL LOTS PROPOSED	240
FRONT:	25 FT	EAST	(133)
REAR:	25 FT	WEST	(107)
CORNER SIDE (R/W):	15 FT	TOTAL DEVELOPABLE AREA	
SIDE INTERNAL (MINIMUM BUILDING SEPARATION)	20 FT	1,485,026 SF / 34.09 AC	
MINIMUM OPEN SPACE PER UNIT	500 SF	TOTAL DEVELOPABLE IMPERVIOUS AREA	
MINIMUM OPEN SPACE PROVIDED	557 SF	739,433 SF / 16.98 AC (49.79%)	
PROVIDED PARKING:		PRIVATE DRIVEWAY (2/HOUSE)	
		480	
		PRIVATE GARAGE (2/HOUSE)	
		480	
		PUBLIC STREET (22' LENGTH)	
		117	
		AMENITY AREA STALLS (9'X20')	
		28	
		TOTAL STALLS	
		1105	

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LAKE ELMO, MINNESOTA

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SITE PLAN - OVERALL

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Date 1-25-19 License No. 43480

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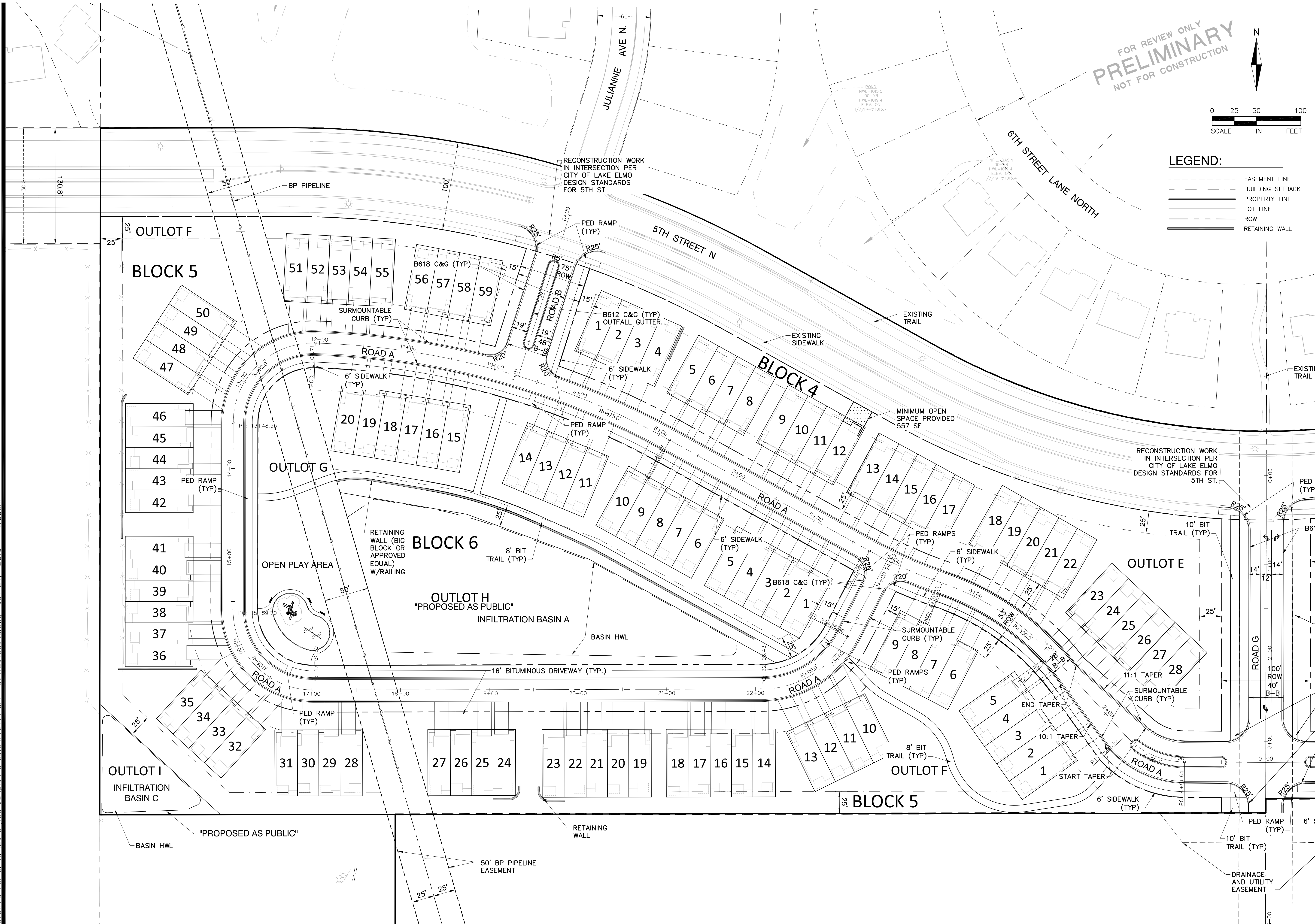
PROJECT TEAM DATA


DESIGNED:	MPR
DRAWN:	SIL
PROJECT NO:	218-0165

7

SHEET 7 of 33


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SITE PLAN - WEST PARCEL

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DESIGNED:	MPR
DRAWN:	SIL
PROJECT NO:	218-0165

8

SHEET 8 of 33

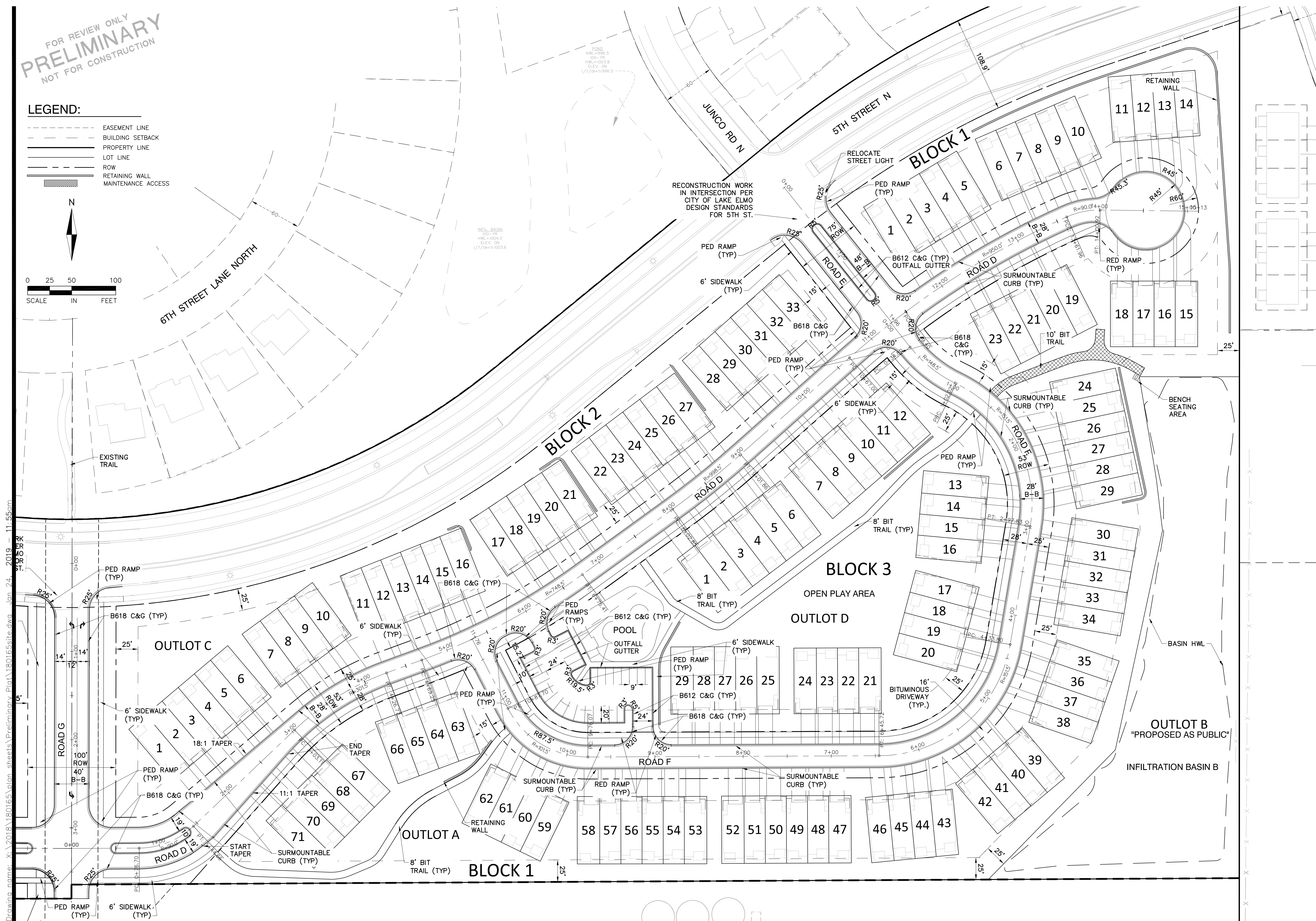
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LEGEND:

- EASEMENT LINE
- BUILDING SETBACK
- PROPERTY LINE
- LOT LINE
- ROW
- RETAINING WALL
- MAINTENANCE ACCESS



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PRELIMINARY PLAT SUBMITTAL
SITE PLAN - EAST PARCEL

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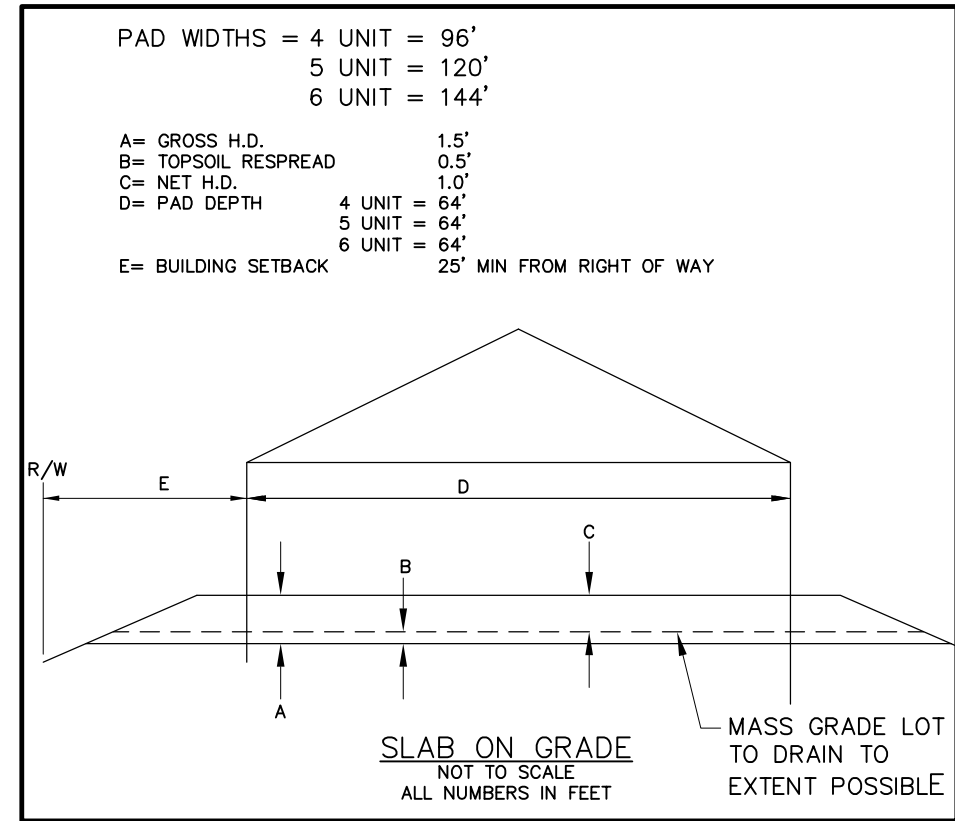
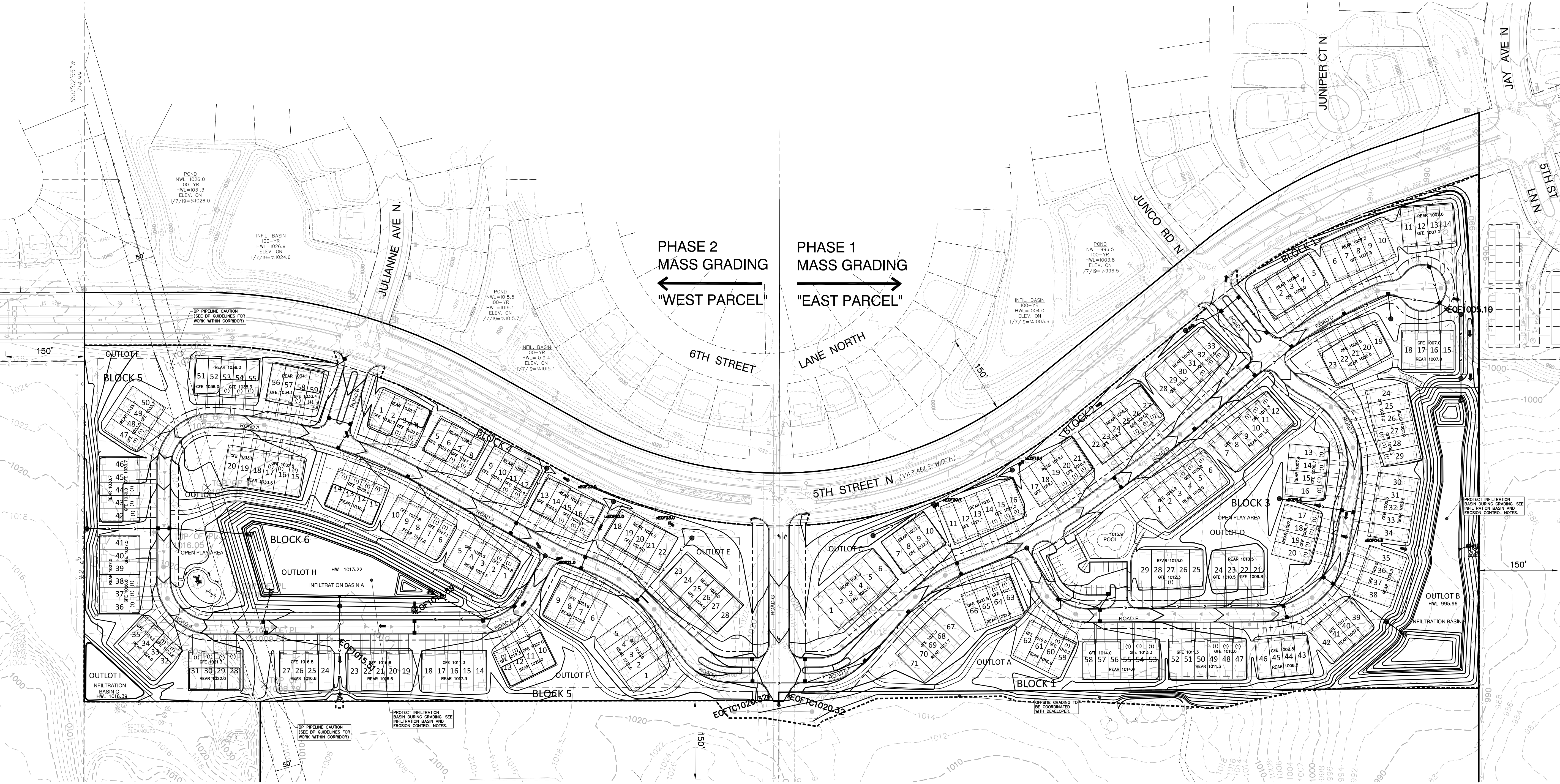
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PROJECT NO: 218-0165

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HOLD DOWN DETAILS TOWNHOMES

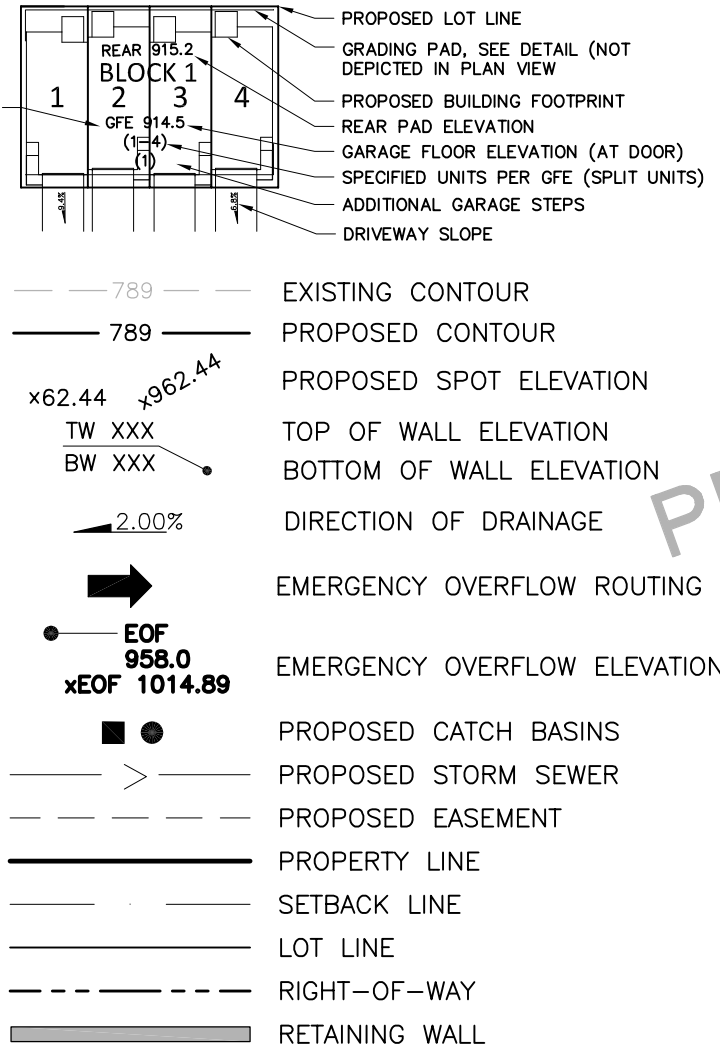
INFILTRATION BASIN NOTES:

1. ALL TEMPORARY EROSION CONTROL DEVICES MUST BE INSTALLED PRIOR TO INSTALLATION/CONSTRUCTION OF INFILTRATION BASIN.
2. ALL STORMWATER RUNOFF SHALL BE DIVERTED AWAY FROM INFILTRATION AREA TO TEMPORARY SEDIMENT POND OR FOREBAY UNTIL BASIN IS COMPLETELY GRADED AND PLANTED.
3. CONSTRUCTION OF BASIN SHALL BE SUSPENDED DURING PERIODS OF RAINFALL OR SNOWMELT. CONSTRUCTION SHALL REMAIN SUSPENDED IF PONDED WATER IS PRESENT OR IF RESIDUAL SOIL MOISTURE CONTRIBUTES SIGNIFICANTLY TO THE POTENTIAL FOR COMPACTION.
4. COMPACTION AND SMEARING OF THE SOILS BENEATH THE FLOOR AND SIDE SLOPES OF THE INFILTRATION BASIN AREA, SHALL BE MINIMIZED. DURING SITE DEVELOPMENT, THE AREA DEDICATED TO THE INFILTRATION BASIN SHALL BE CORDONED OFF TO PREVENT ACCESS BY HEAVY EQUIPMENT. ACCEPTABLE EQUIPMENT FOR CONSTRUCTING THE BASIN INCLUDES EXCAVATION HOES, LIGHT EQUIPMENT WITH TURF TYPE TIRES, MARSH EQUIPMENT OR WIDE TRACK LOADERS.
5. IF COMPACTION OCCURS AT THE BASE OF THE BASIN, THE SOIL SHALL BE REFRACTURED TO A DEPTH AT LEAST 36". IF SMEARING OCCURS, THE SMEARED AREAS OF THE INTERFACE SHALL BE CORRECTED BY RAKING OR ROTO-TILLING.
6. CONTRACTOR TO DIG TEST PITS DURING TIME OF CONSTRUCTION TO EVALUATE ANY POSSIBLE NEEDS FOR SOIL CORRECTIONS. ENGINEER TO REVIEW TEST PITS TO DETERMINE THE NEED FOR AN UNDERDRAIN FOR EITHER TEMPORARY TURF ESTABLISHMENT, OR TO RELIEVE SEASONALLY HIGH WATER CONDITIONS.
7. INFILTRATION BASINS MUST MEET INFILTRATION RATES OF 0.2 IN/HR FOR BASIN A AND 0.8 IN/HR FOR BASIN B

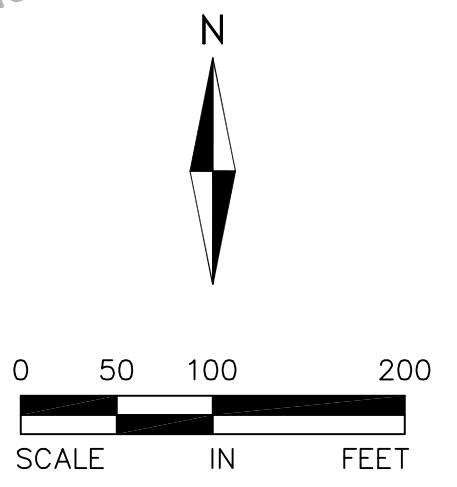
GRADING AND DRAINAGE NOTES:

1. ALL FINISHED GRADES SHALL SLOPE AWAY FROM PROPOSED BUILDINGS AT MINIMUM GRADE OF 2.0%. ALL SWALES SHALL HAVE A MINIMUM SLOPE OF 2.0%.
2. THE CONTRACTOR SHALL KEEP THE ADJACENT ROADWAYS FREE OF DEBRIS AND PREVENT THE OFF-SITE TRACKING OF SOIL IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY AND WATERSHED.
3. NOTIFY GOPHER STATE ONE CALL, AT (800) 252-1166, 48 HOURS PRIOR TO START OF CONSTRUCTION.
4. ALL IMPROVEMENTS TO CONFORM WITH CITY OF LAKE ELMO CONSTRUCTION STANDARDS SPECIFICATION, LATEST EDITION.
5. ROCK CONSTRUCTION ENTRANCES SHALL BE PROVIDED AT ALL CONSTRUCTION ACCESS POINTS.
6. REFER TO GEOTECHNICAL REPORT AND PROJECT MANUAL, FOR SOIL CORRECTION REQUIREMENTS AND TESTING REQUIREMENTS.
7. STRIP TOPSOIL PRIOR TO ANY CONSTRUCTION. REUSE STOCKPILE ON SITE. STOCKPILE PERIMETERS MUST BE PROTECTED WITH SILT FENCE.
8. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
9. IMMEDIATELY FOLLOWING GRADING OF (3:1 OR GREATER) SIDE SLOPES AND DRAINAGE SWALES, WOOD FIBER BLANKET OR OTHER APPROVED SOIL STABILIZING METHOD (APPROVED BY ENGINEER) SHALL BE APPLIED OVER APPROVED SEED MIXTURE AND A MINIMUM OF 6" TOPSOIL.
10. THE GENERAL CONTRACTOR MUST DISCUSS DEWATERING PLANS WITH ALL SUBCONTRACTORS TO VERIFY NPDES REQUIREMENTS. IF DEWATERING IS REQUIRED DURING CONSTRUCTION, CONTRACTOR SHOULD CONSULT WITH EROSION CONTROL INSPECTOR AND ENGINEER TO DETERMINE APPROPRIATE METHOD.
11. REFER TO STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR ALL EROSION AND SEDIMENT CONTROL DEVICE LOCATION, DESCRIPTIONS, NOTES AND DETAILS INCLUDING CONCRETE WASHOUT STATION INSTRUCTIONS.

GRADING LEGEND:



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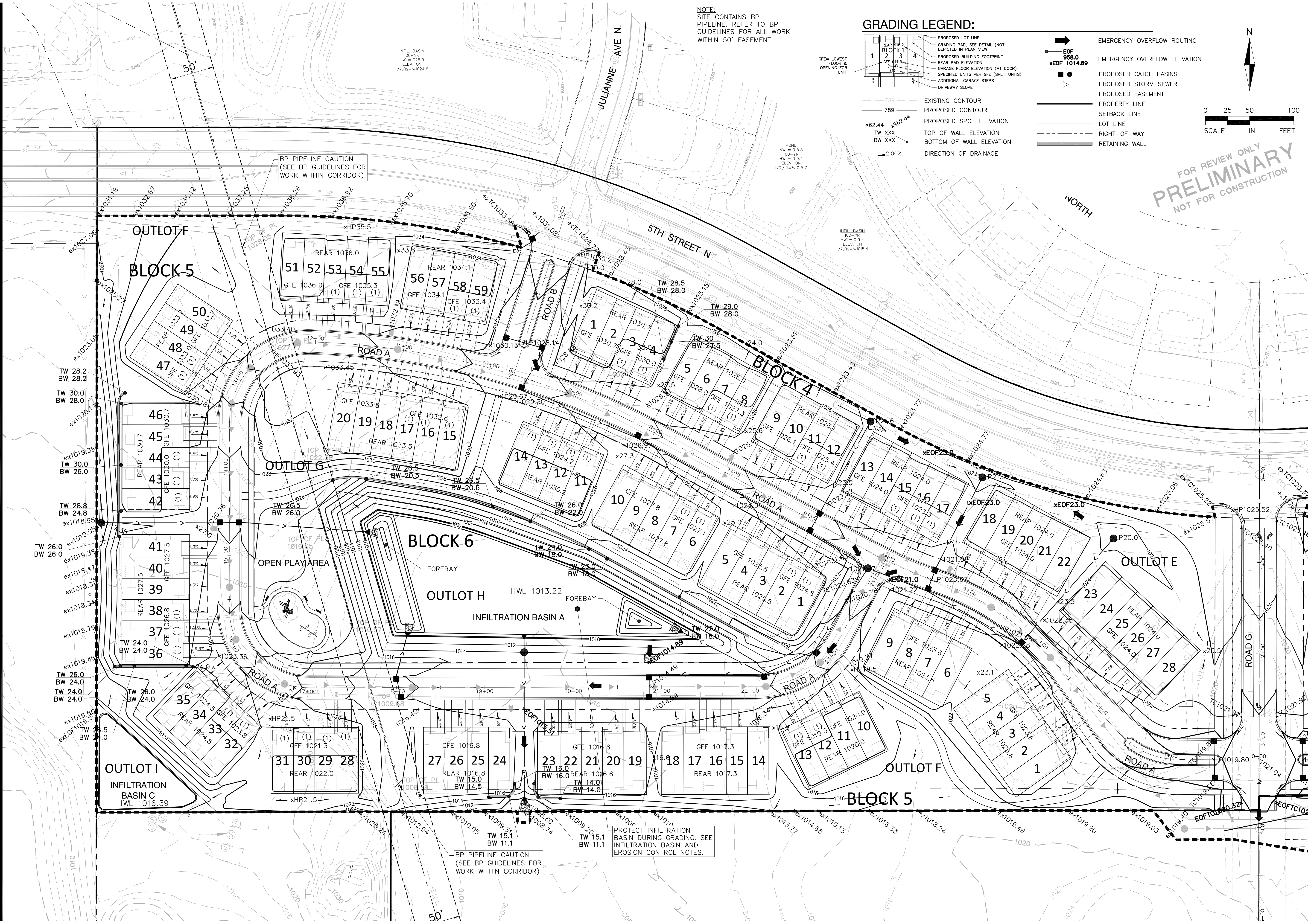
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1-25-19 43480
Date License No.

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DATE	ISSUE
1-25-19	CITY SUBMITTAL

PROJECT TEAM DATA
DESIGNED: MPR
DRAWN: SIL
PROJECT NO: 218-0165

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NOTE:
SITE CONTAINS BP
PIPELINE. REFER TO BP
GUIDELINES FOR ALL WORK
WITHIN 50' EASEMENT.

GRADING LEGEND:

- PROPOSED LOT LINE
- GRADING PAD, SEE DETAIL (NOT DEPICTED IN PLAN VIEW)
- PROPOSED BUILDING FOOTPRINT
- REAR PAD ELEVATION
- GARAGE FLOOR ELEVATION (AT DOOR)
- SPECIFIED UNITS PER GFE (SPLIT UNITS)
- ADDITIONAL GARAGE STEPS
- DRIVEWAY SLOPE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
- DIRECTION OF DRAINAGE
- EMERGENCY OVERFLOW ROUTING
- EMERGENCY OVERFLOW ELEVATION
- PROPOSED CATCH BASINS
- PROPOSED STORM SEWER
- PROPOSED EASEMENT
- PROPERTY LINE
- SETBACK LINE
- LOT LINE
- RIGHT-OF-WAY
- RETAINING WALL



0 25 50 100
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GRADING AND DRAINAGE PLAN - WEST PARCEL

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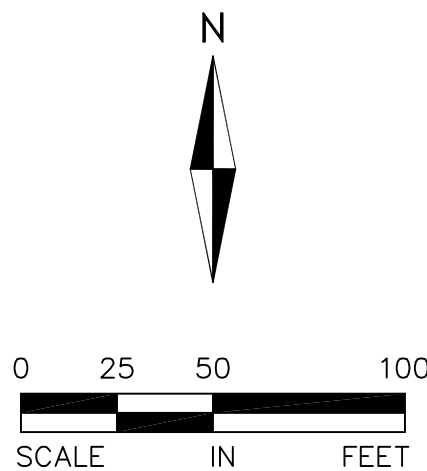
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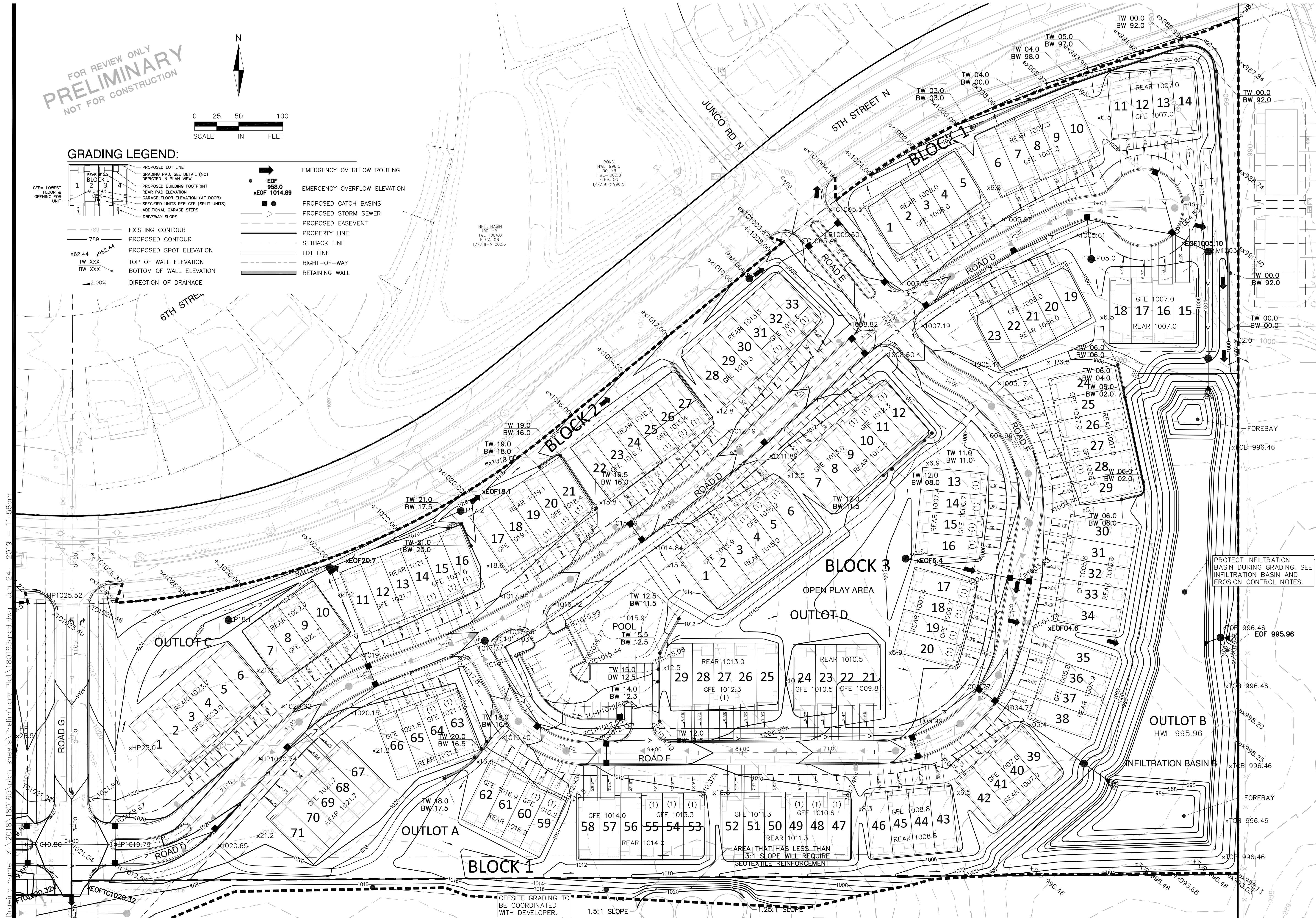
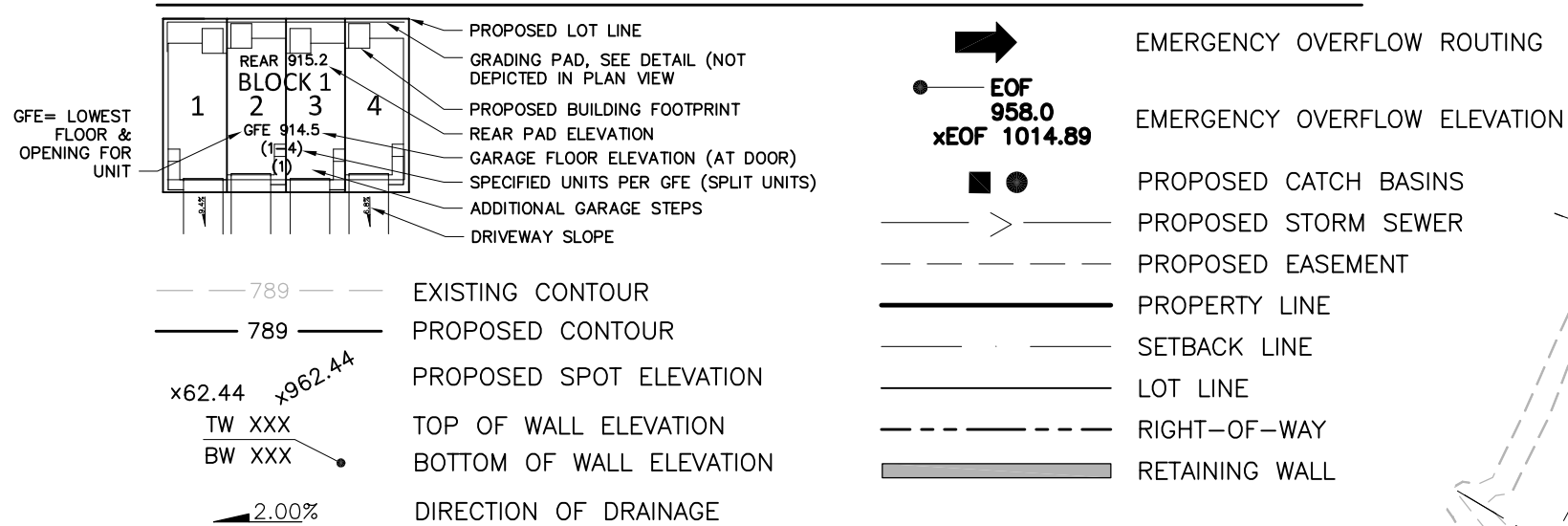
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GRADING LEGEND:



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GRADING AND DRAINAGE PLAN - EAST PARCEL

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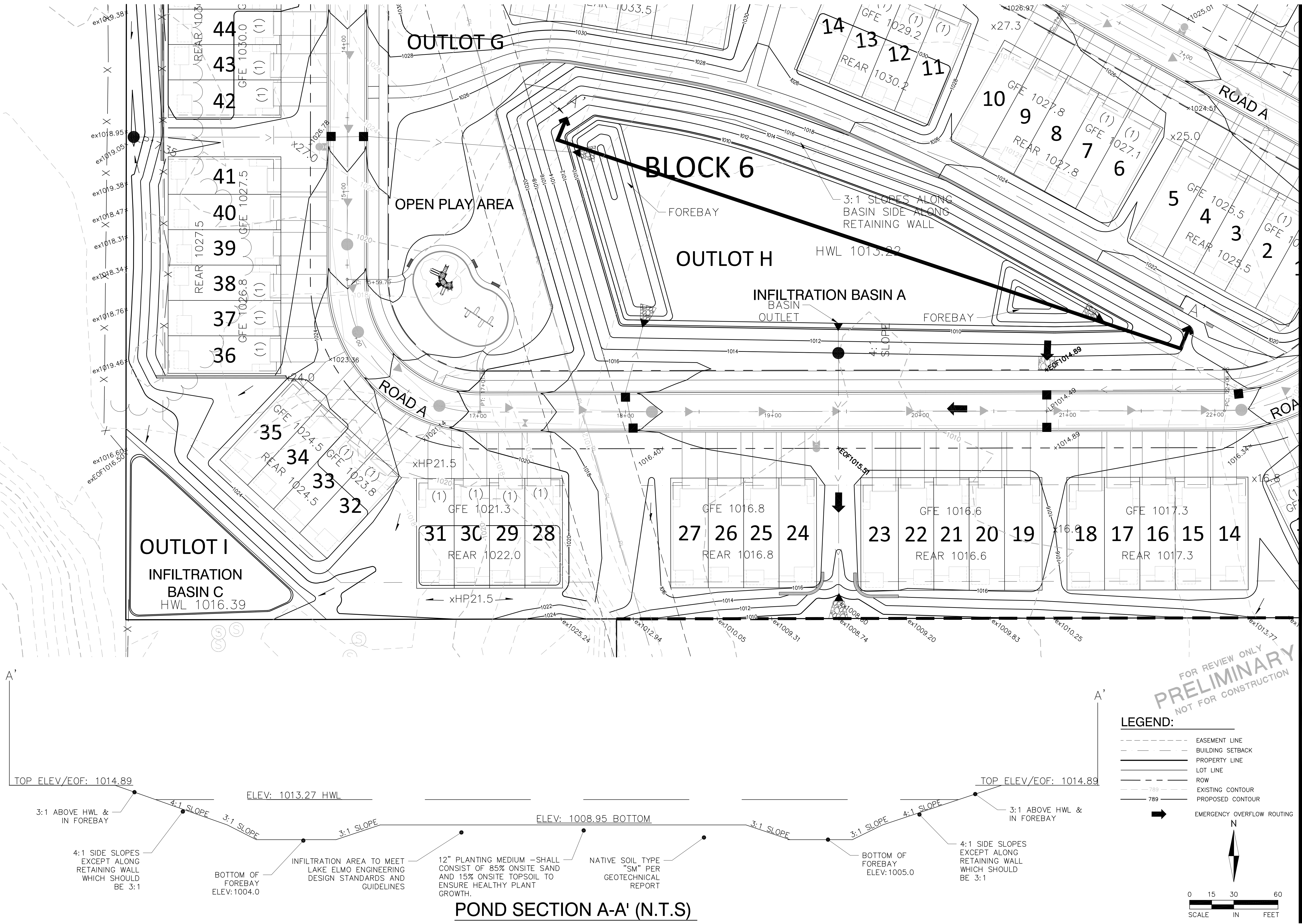
BY DATE
DATE ISSUE
1-25-19 CITY SUBMITTAL


PROJECT TEAM DATA
DESIGNED: MPR
DRAWN: SIL
PROJECT NO: 218-0165

12

SHEET 12 of 33


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PRELIMINARY PLAT SUBMITTAL

POND DETAIL

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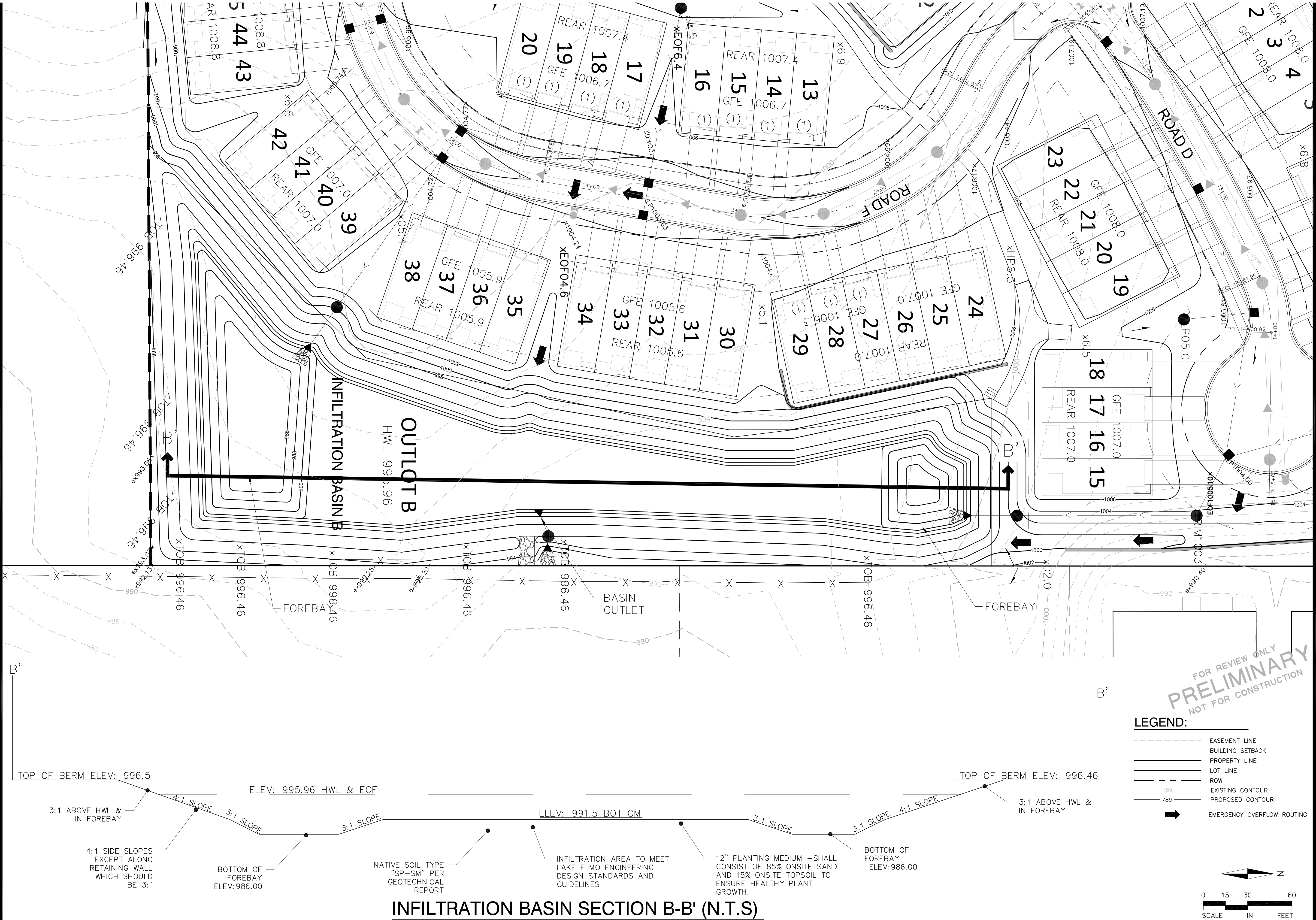
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BY	DATE
DATE ISSUE	
1-25-19	CITY SUBMITTAL

PROJECT TEAM DATA	
DESIGNED:	MPR
DRAWN:	SIL
PROJECT NO:	218-0165

13

SHEET 13 of 33

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LAKE ELMO, MINNESOTA

PRELIMINARY PLAT SUBMITTAL

INFILTRATION BASIN DETAIL

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Mark Rausch

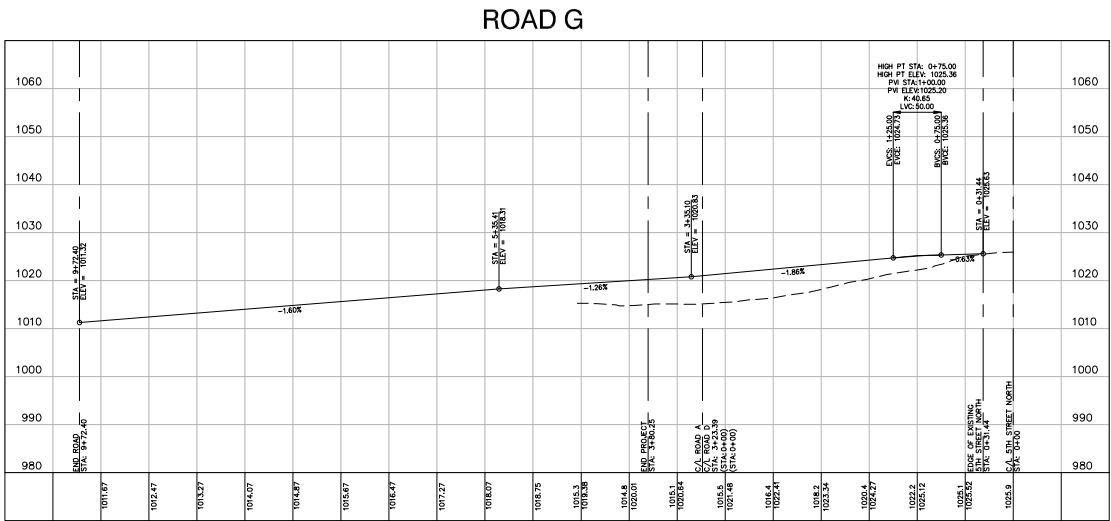
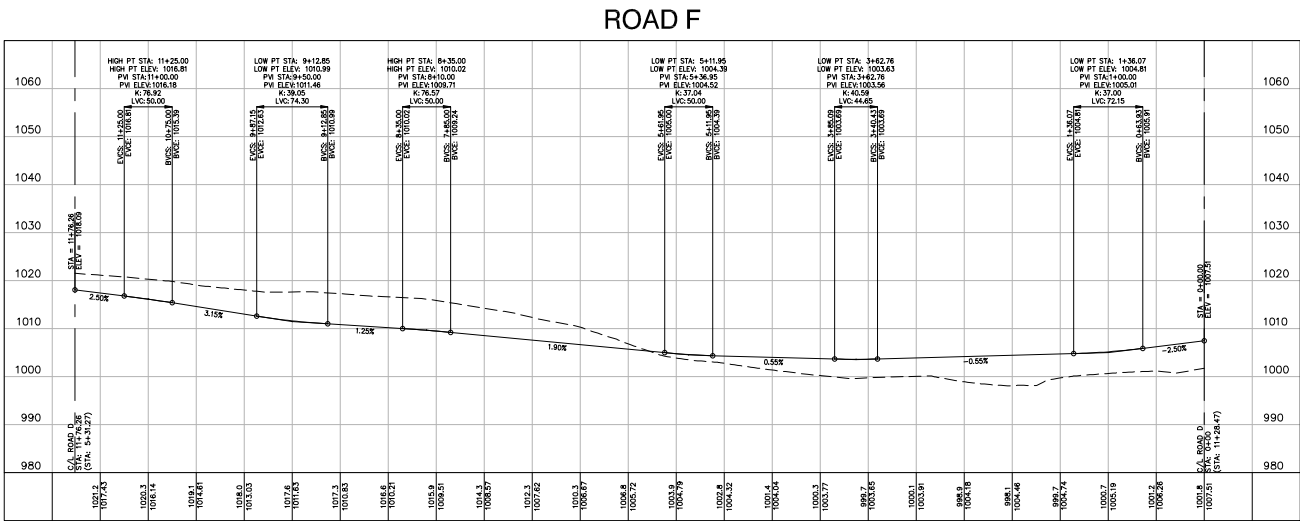
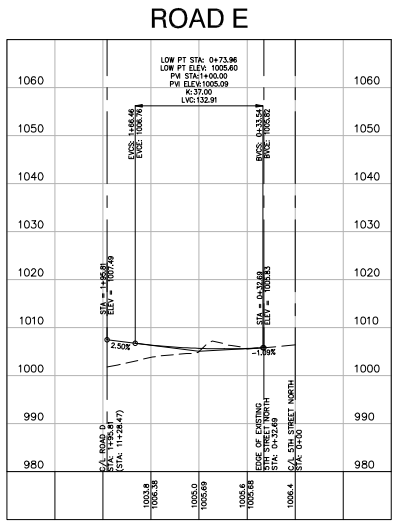
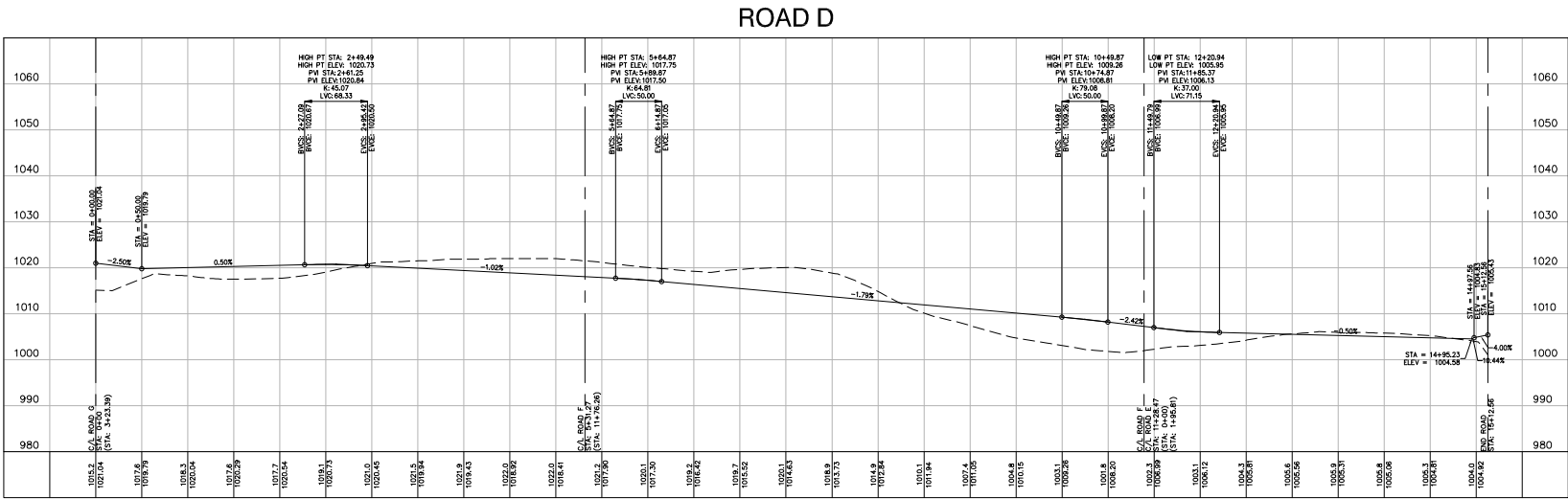
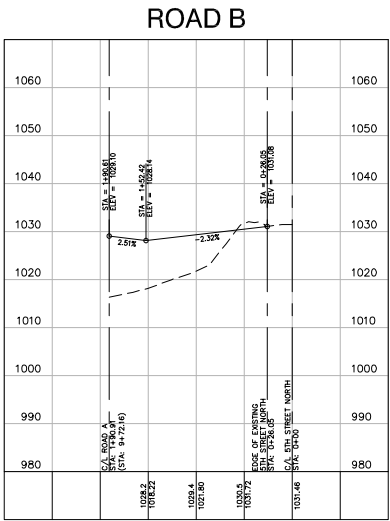
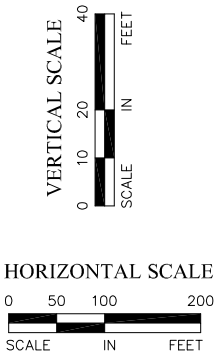
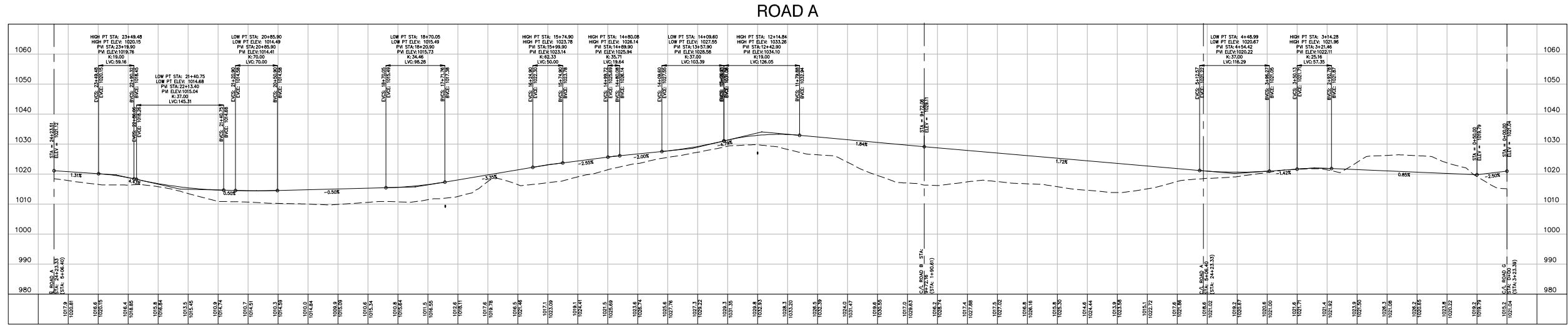
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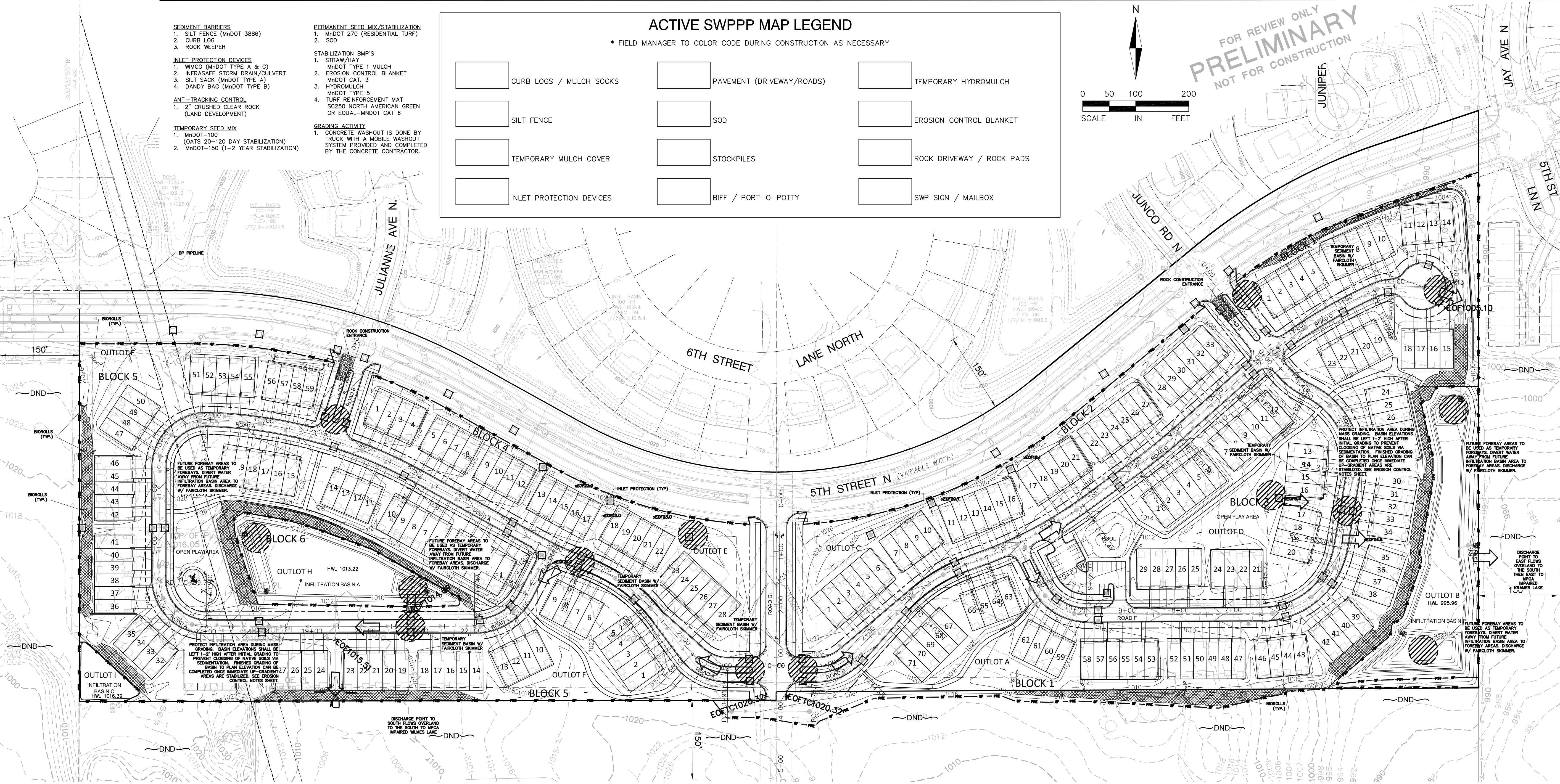
PROJECT TEAM DATA	
DESIGNED:	MPR
DRAWN:	SIL
PROJECT NO:	218-0165

14

SHEET 14 of 33



Drawing name: X:\2018\180165\plan sheets\Preliminary Plat\180165escp.dwg Jan. 24, 2019 11:57am



SWPPP BMP QUANTITIES: (PER PLAN)

SILT FENCE	LF
INLET PROTECTION	EA
BIOROLL	EA
SEED/SOD POST GRADING AREA	AC

EROSION CONTROL

PULTE HOMES
7500 FLYING CLOUD DRIVE, SUITE 670
EDEN PRAIRIE, MN 55344
PH: 952-229-0723
CELL: 612-369-2694
CONTACT: CHAD ONSGARD
EM: chad.onsgard@pultegroup.com

NOTE:

1. SEE SHEET 19 FOR ALL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS.

NOTE TO CONTRACTOR:

THE MASS GRADING CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ALL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) AS SHOWN IN SWPPP (EXCEPT FOR POST GRADE BMPs NEEDED AFTER UTILITY CONSTRUCTION ACTIVITY). THE BMPs ARE TO BE INSTALLED AT A MINIMUM AS SHOWN IN THE PLAN. IF CONDITIONS ARISE, ADDITIONAL BMP SUPPLEMENTATION TO PREVENT SITE EROSION OR SEDIMENT TRANSPORT MAY BE NECESSARY. THE MASS GRADING CONTRACTOR IS RESPONSIBLE FOR ALL BMPs REQUIRED TO COMPLETE THE MASS GRADING ACTIVITIES AND SUBSEQUENT TEMPORARY SOIL STABILIZATION NECESSARY TO PREPARE SITE FOR STREET AND UTILITY CONSTRUCTION AND HOME BUILDING. AT THE COMPLETION OF MASS GRADING WORK AND SATISFACTORY SITE SOIL STABILIZATION, THE DEVELOPER AND MASS GRADING CONTRACTOR SHALL COORDINATE THE TRANSFER OF NPDES PERMIT RESPONSIBILITIES TO THE STREET AND UTILITY CONTRACTOR AND THE CITY.

THE STREET AND UTILITY CONTRACTOR AND CITY WILL THEN ASSUME THE RESPONSIBILITY TO PROVIDE INSPECTION AND MAINTENANCE OF ANY IN-PLACE BMPs AS WELL AS INSTALL THE ADDITIONAL BMPs REQUIRED IN THE STREET AND UTILITY CONSTRUCTION DOCUMENT SWPPP. UPON COMPLETION OF STREET AND UTILITY CONSTRUCTION, THE STREET AND UTILITY CONTRACTOR SHALL REMOVE ANY BMPs INSTALLED DURING THE STREET AND UTILITY PHASE THAT ARE NO LONGER REQUIRED AND COORDINATE THE TRANSFER OF NPDES PERMIT RESPONSIBILITIES BACK TO THE DEVELOPER OR TERMINATE THE PORTION OF THE NPDES PERMIT TRANSFERRED TO THE CITY AND THEIR CONTRACTOR.

CONSTRUCTION SEQUENCING:

MASS GRADING PHASE:

1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
2. PREPARE TEMPORARY PARKING AND STORAGE AREA.
3. INSTALL THE PRE-GRADING SILT FENCES AND INLET PROTECTION BMPs ON THE SITE.
4. CONSTRUCT ALL PRE-GRADING EROSION AND SEDIMENTATION CONTROL BMPs.
5. COMPLETE MASS GRADING AND INSTALL TEMPORARY AND PERMANENT SEEDING AND PLANTING.
6. CONSTRUCT POST-GRADING SILT FENCE ON THE SITE.

STREET & UTILITY PHASE:

1. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
2. INSTALL RIP RAP AROUND OUTLET STRUCTURES.
3. INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES.
4. PREPARE SITE FOR PAVING.
5. PAVE SITE.
6. INSTALL INLET PROTECTION DEVICES.
7. INSTALL POST STREET AND UTILITY SILT FENCE.
8. INSTALL PRIVATE UTILITIES
9. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED), IF REQUIRED BY THE CONTRACT

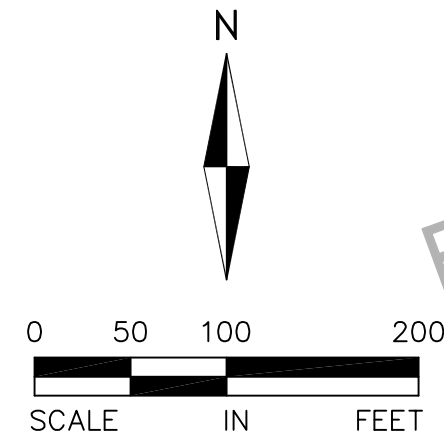
IMPAIRED WATER REQUIREMENT DURING CONSTRUCTION:

- A. ALL EXPOSED SOIL AREAS MUST BE STABILIZED AS SOON AS POSSIBLE TO LIMIT SOIL EROSION BUT IN NO CASE LATER THAN SEVEN (7) DAYS AFTER CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARY OR PERMANENTLY CEASED.
- B. TEMPORARY SEDIMENT BASIN REQUIREMENTS DESCRIBED IN PART III, B.1.5 MUST BE USED FOR COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH FIVE (5) OF MORE ACRES AT A TIME.

ACTIVE SWPPP MAP LEGEND

* FIELD MANAGER TO COLOR CODE DURING CONSTRUCTION AS NECESSARY

	CURB LOGS / MULCH SOCKS		PAVEMENT (DRIVEWAY/ROADS)		TEMPORARY HYDROMULCH
	SILT FENCE		SOD		EROSION CONTROL BLANKET
	TEMPORARY MULCH COVER		STOCKPILES		ROCK DRIVEWAY / ROCK PADS
	INLET PROTECTION DEVICES		BIFF / PORT-O-POTTY		SWP SIGN / MAILBOX



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BENTLEY VILLAGE

LAKE ELMO, MINNESOTA

PRELIMINARY PLAT SUBMITTAL

EROSION AND SEDIMENT CONTROL PLAN - OVERALL

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA

Mark Paul

MARK RAUSCH, PE
1-25-19
Date
43480
License No.

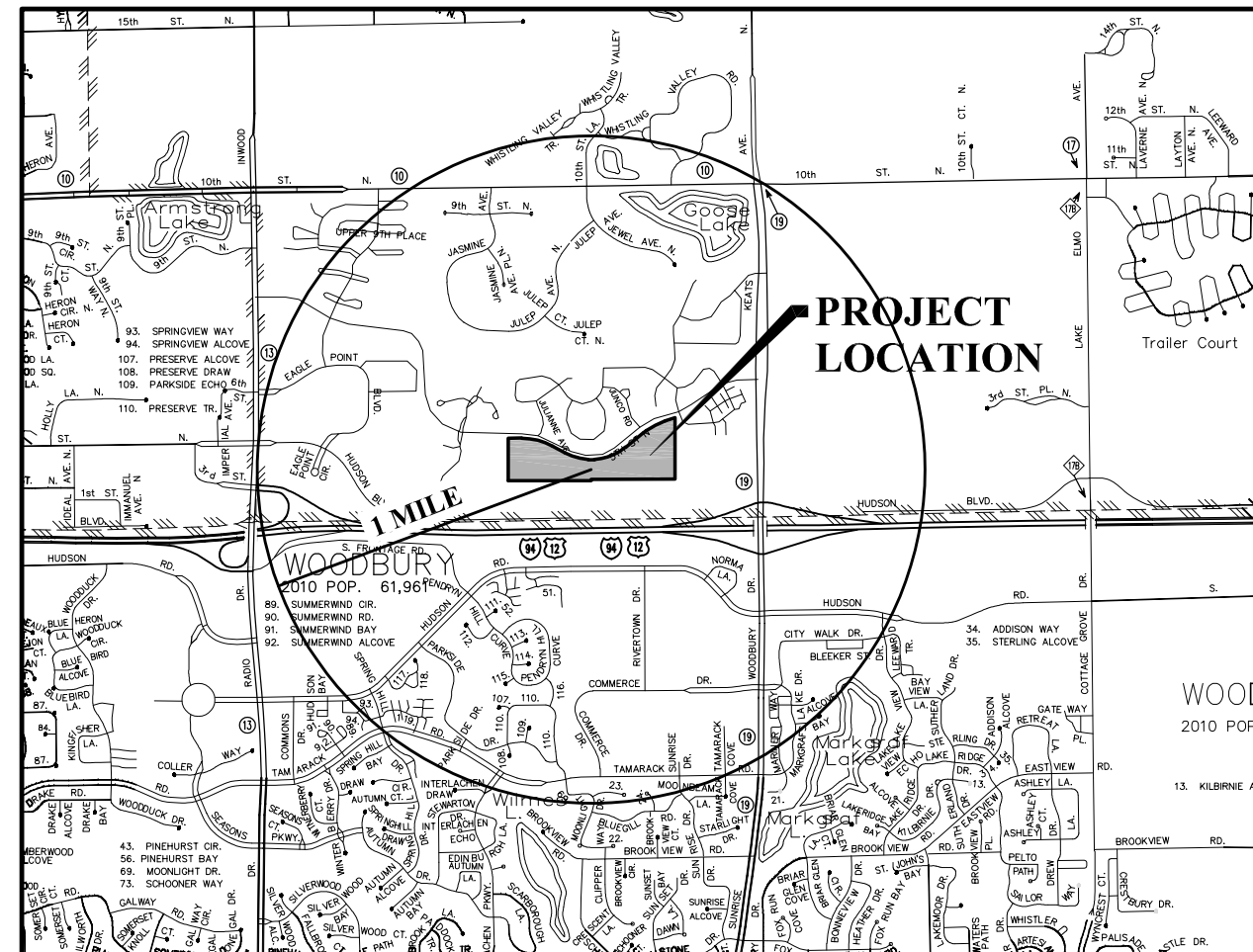
QUALITY ASSURANCE/CONTROL

BY DATE

DATE ISSUE
1-25-19 CITY SUBMITTAL

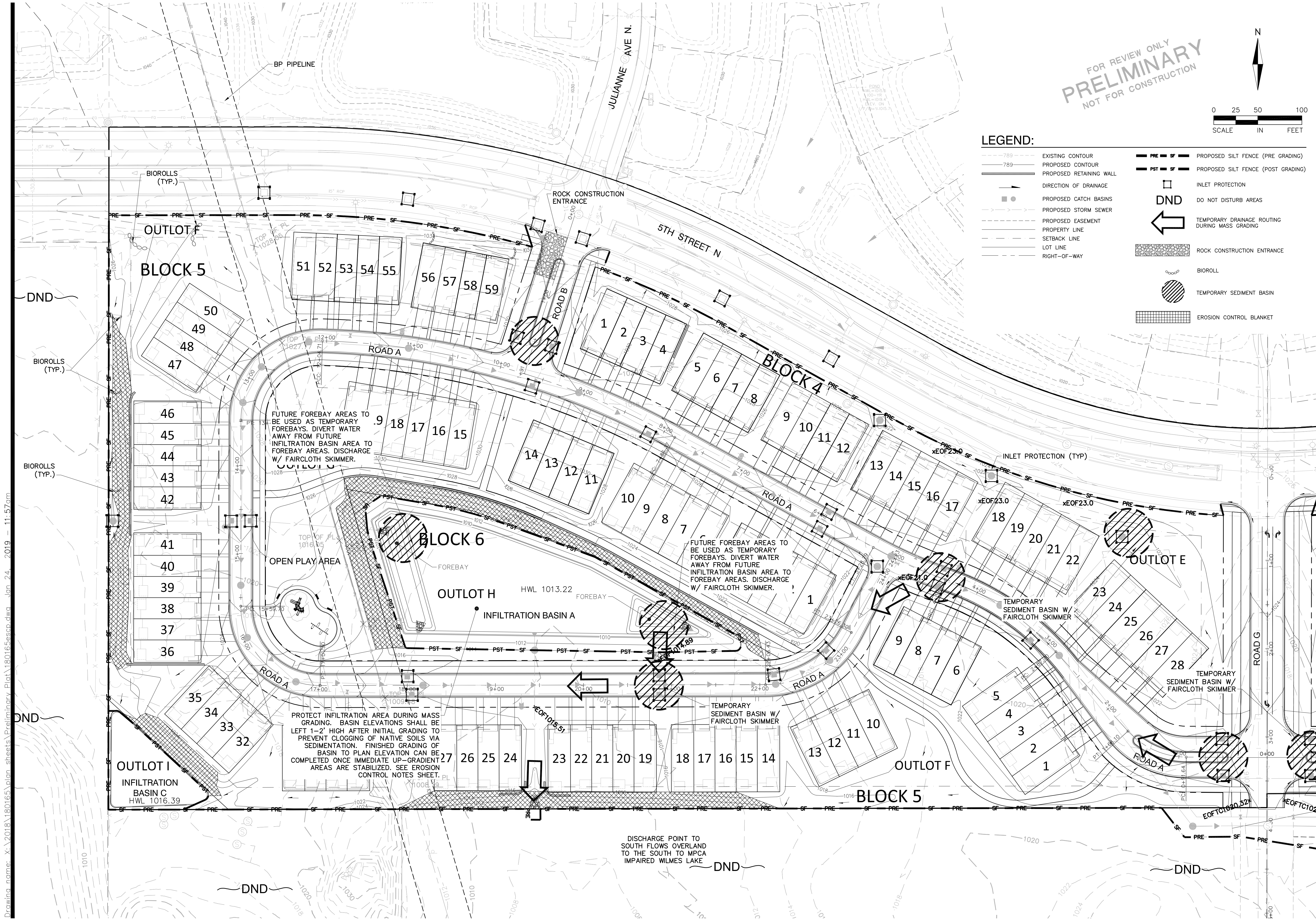
PROJECT TEAM DATA

DESIGNED: MPR
DRAWN: SIL
PROJECT NO: 218-0165

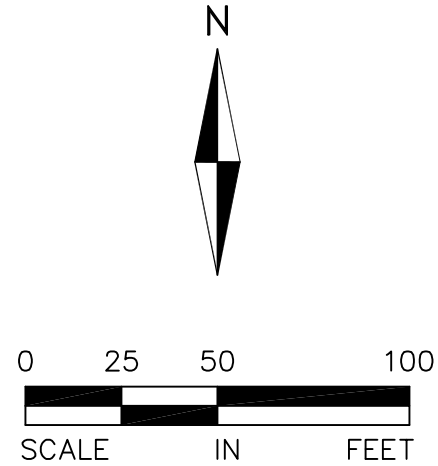


VICINITY MAP
SCALE: 1" = 3000'

Drawing name: X:\2018\180165\plan sheets\Preliminary Plat\180165esep.dwg Jan. 24, 2019 11:57am



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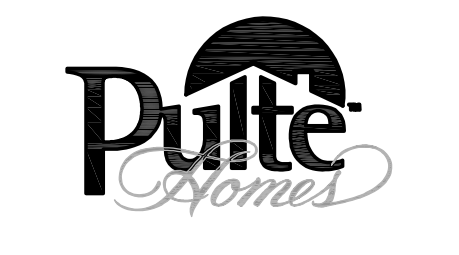


LEGEND:

- | | | | |
|-------------|-------------------------|--------------------|--|
| --- 789 --- | EXISTING CONTOUR | --- PRE --- SF --- | PROPOSED SILT FENCE (PRE GRADING) |
| --- 789 --- | PROPOSED CONTOUR | --- PST --- SF --- | PROPOSED SILT FENCE (POST GRADING) |
| --- | PROPOSED RETAINING WALL | □ | INLET PROTECTION |
| → | DIRECTION OF DRAINAGE | DND | DO NOT DISTURB AREAS |
| ● | PROPOSED CATCH BASIN | ← | TEMPORARY DRAINAGE ROUTING DURING MASS GRADING |
| --- | PROPOSED STORM SEWER | █ | ROCK CONSTRUCTION ENTRANCE |
| --- | PROPOSED EASEMENT | ○ | BIOROLL |
| --- | PROPERTY LINE | ⊗ | TEMPORARY SEDIMENT BASIN |
| --- | SETBACK LINE | ▨ | EROSION CONTROL BLANKET |
| --- | LOT LINE | | |
| --- | RIGHT-OF-WAY | | |

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BENTLEY VILLAGE
LAKE ELMO, MINNESOTA
PRELIMINARY PLAT SUBMITTAL
EROSION AND SEDIMENT CONTROL PLAN - WEST PARCEL

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Mark Raush, PE
1-25-19 43480
Date License No.

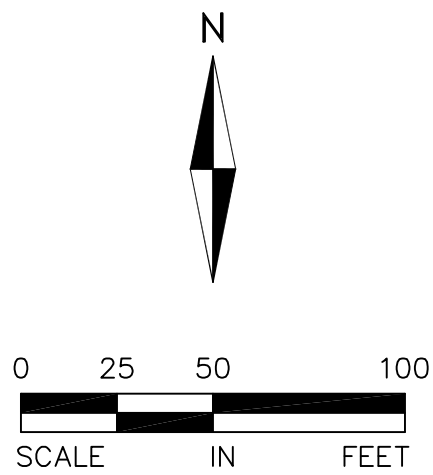
QUALITY ASSURANCE/CONTROL

BY	DATE
DATE	ISSUE
1-25-19	CITY SUBMITTAL

PROJECT TEAM DATA

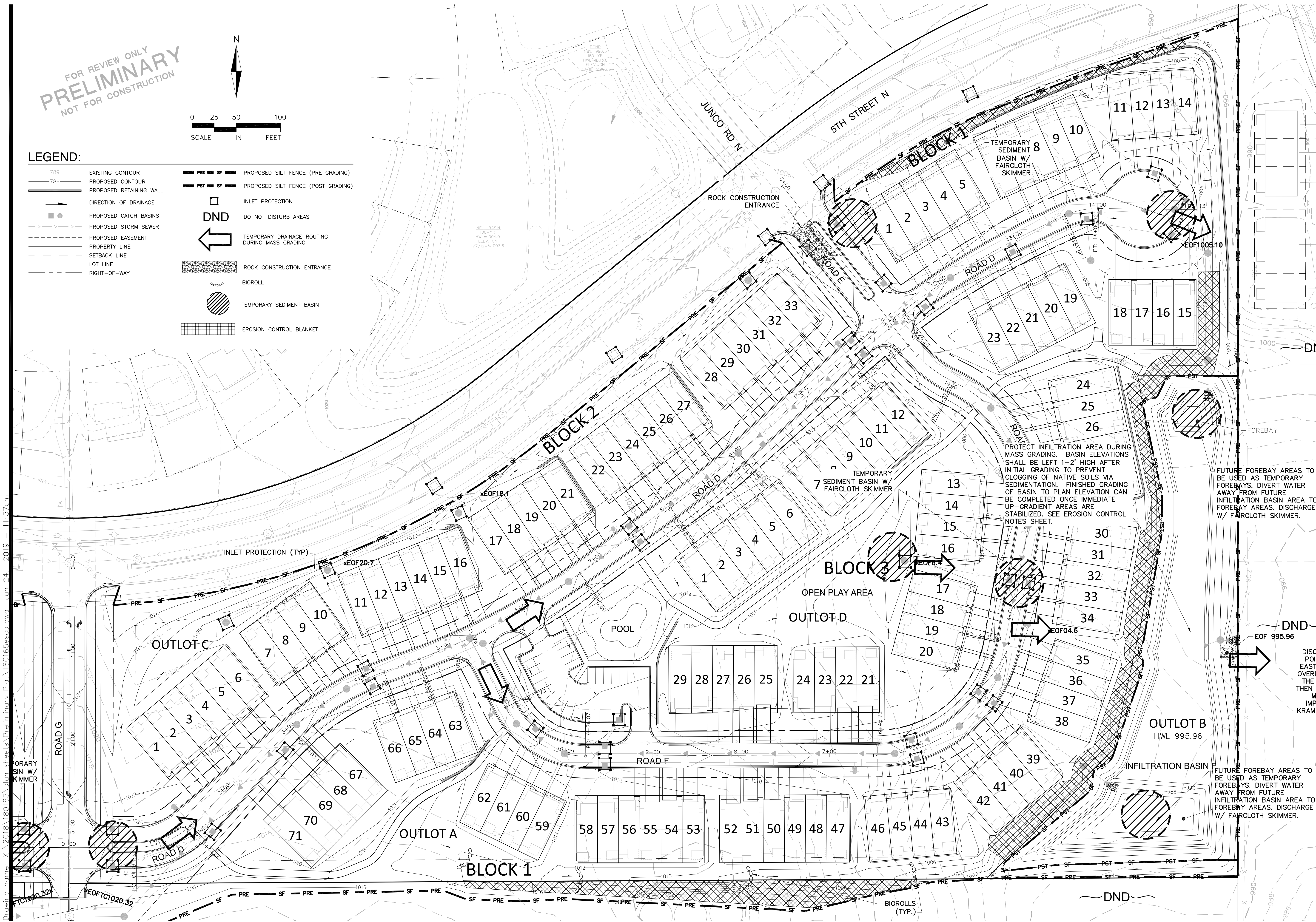
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DRAWN:	SIL
PROJECT NO:	218-0165

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LEGEND:

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED RETAINING WALL
- DIRECTION OF DRAINAGE
- PROPOSED CATCH BASINS
- PROPOSED STORM SEWER
- PROPOSED EASEMENT
- PROPERTY LINE
- SETBACK LINE
- LOT LINE
- RIGHT-OF-WAY
- PROPOSED SILT FENCE (PRE GRADING)
- PROPOSED SILT FENCE (POST GRADING)
- INLET PROTECTION
- DO NOT DISTURB AREAS
- TEMPORARY DRAINAGE ROUTING DURING MASS GRADING
- ROCK CONSTRUCTION ENTRANCE
- BIOROLL
- TEMPORARY SEDIMENT BASIN
- EROSION CONTROL BLANKET



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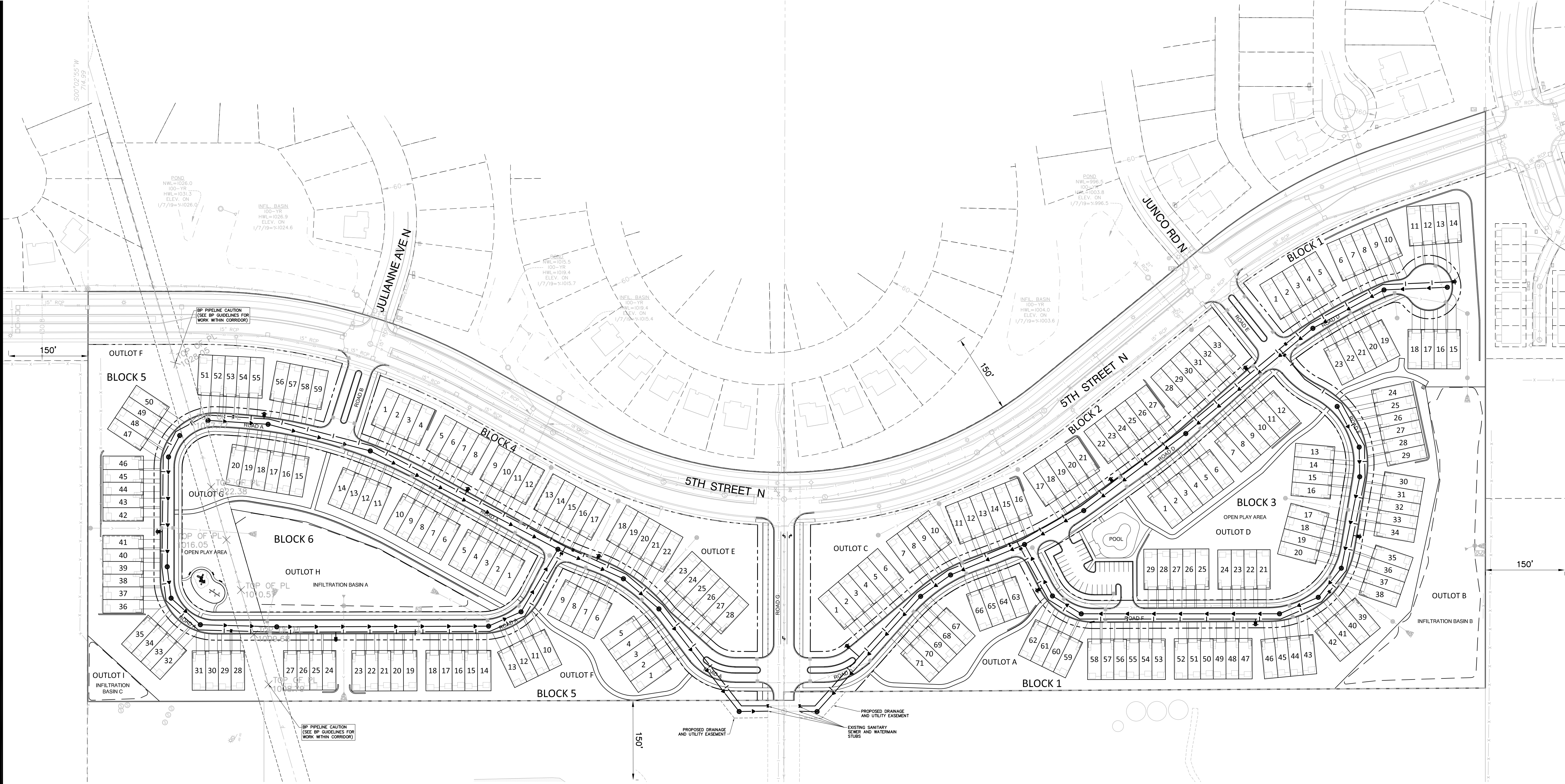
BENTLEY VILLAGE
LAKE ELMO, MINNESOTA
PRELIMINARY PLAT SUBMITTAL
EROSION AND SEDIMENT CONTROL PLAN - EAST PARCEL

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Mark Rausch
MARK RAUSCH, PE
1-25-19 43480
Date License No.
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BY DATE
DATE ISSUE
1-25-19 CITY SUBMITTAL

PROJECT TEAM DATA
DESIGNED: MPR
DRAWN: SIL
PROJECT NO: 218-0165

Drawing name: X:\2018\180165\plan sheets\Preliminary\Plot\180165\util.dwg Jan 24, 2019 11:58am



1. ALL SANITARY SEWER AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
2. ALL SANITARY SEWER PVC PIPE SHALL BE INSTALLED ACCORDING TO CITY STANDARD DRAWING 103 "GRANULAR MATERIAL BEDDING METHOD (FOR PVC SANITARY SEWER PIPE)".
3. UNLESS NOTED OTHERWISE, ALL SMOOTH WALLED SANITARY SEWER PVC PIPE AND FITTINGS SHALL BE SDR 35 WITH ELASTOMERIC CASKETING JOINTS.
4. ALL SANITARY SEWER SERVICES SHALL BE 4-INCH PVC, SCH. 40.
5. SMOOTH WALLED PVC PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF ASTM D-3034 FOR THE SIZE, STANDARD DIMENSION RATIO (SDR), AND STRENGTH REQUIREMENTS INDICATED ON THE PLANS, SPECIFICATIONS, AND SPECIAL PROVISIONS.
6. REINFORCED CONCRETE PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF MCDOT SPEC 3236 (REINFORCED CONCRETE PIPE) FOR THE TYPE, SIZE, AND STRENGTH CLASS SPECIFIED HEREIN.
7. JOINTS OF MANHOLE RISER SECTIONS SHALL BE TONGUE AND GROOVE WITH RUBBER "O" RING JOINTS PROVIDED ON ALL SANITARY SEWER MANHOLES.
8. SANITARY SEWER INLET AND OUTLET PIPES SHALL BE JOINED TO THE MANHOLE WITH A CASKETING, FLEXIBLE, WATER-TIGHT CONNECTION TO ALLOW DIFFERENTIAL SETTLEMENT OF THE PIPE AND MANHOLE TO TAKE PLACE.
9. A 1'-0" TO 1'-4" MANHOLE SECTION SHALL BE INSTALLED UNDER THE CONE SECTION TO ALLOW FOR HEIGHT ADJUSTMENT WHENEVER POSSIBLE.
10. ALL SERVICE LINE STUBS MUST HAVE A 2"x2" HARDWOOD MARKER WITH METAL SPIKE RUNNING FROM THE END OF PIPE TO FINISHED GRADE ELEVATION.
11. UPON MAKING A CONNECTION TO AN EXISTING SANITARY SEWER STUB OR MANHOLE, DIRT AND DEBRIS SHALL BE PREVENTED FROM ENTERING THE EXISTING SEWER BY IMMEDIATELY INSTALLING WATER-TIGHT PLUGS AS NEEDED IN THE EXISTING MANHOLE.
12. ALL MAINLINE SANITARY SEWER AND SERVICES SHALL HAVE TRACER WIRE PER CITY SPECIFICATIONS AND DETAILS.

STANDARD PLAN NOTES
SANITARY SEWER PLANS

MARCH 2017

CITY OF LAKE ELMO

1. ALL WATERMAIN AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
2. MANIPULATION OF EXISTING VALVES SHALL BE PERFORMED ONLY BY CITY PERSONNEL.
3. WATERMAIN SHALL BE DUCTILE IRON PIPE, ENCASED IN POLYETHYLENE, CLASS-52.
4. ALL FITTINGS SHALL COMPLY WITH CEM SPEC 2611.2.2.1. ALL FITTINGS SHALL BE DUCTILE IRON PIPE WITH POLYETHYLENE ENCASEMENT. ALL CONNECTIONS SHALL BE INSTALLED UTILIZING COR-SLEEVE NUTS & BOLTS.
5. USE GATE VALVES FOR ALL APPLICATIONS UP THROUGH 12 INCHES.
6. GATE VALVES SHALL BE RESILIENT WEDGE AMERICAN FLOW CONTROL SERIES 2600 OR APPROVED EQUAL. GATE VALVES MUST COMPLY WITH CEM SPEC 2611.2.2.2.
7. USE BUTTERFLY VALVES FOR ALL APPLICATIONS GREATER THAN 12 INCHES.
8. BUTTERFLY VALVES SHALL BE MUELLER UNISEAL II, OR APPROVED EQUAL. BUTTERFLY VALVES SHALL COMPLY WITH CEM SPEC 2611.2.2.3.
9. BOLTS AND NUTS ON ALL VALVES AND HYDRANTS SHALL BE STAINLESS STEEL.
10. ALL HYDRANTS SHALL BE INSTALLED 5.0 FEET BACK OF CURB.
11. HYDRANTS SHALL BE WATERLOUS "PACER" MODEL WB-67 OR APPROVED EQUAL, FITTED WITH FH-800 SERIES FLEX SHAKE AND PAINTED RED.
12. HYDRANTS SHALL HAVE TWO OUTLET NOZZLES FOR 2-1/2" (LD), HOSE CONNECTIONS AND ONE 4" STORK NOZZLE (MODELS WB-67) AND PORTLAND NUT END CAP.
13. THE CURB STOP SERVICE ASSEMBLY SHALL HAVE A MINIMUM 1'-0" ADJUSTMENT RANGE AND SHALL EXTEND 8 INCHES ABOVE FINISHED GRADE FULLY EXTENDED.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING WATER TO HOMES AND BUSINESSES WHOSE WATER SUPPLY IS DISRUPTED DURING THE COURSE OF THE PROJECT.

STANDARD PLAN NOTES
WATERMAIN PLANS

MARCH 2017

CITY OF LAKE ELMO

UTILITY NOTES:

1. EXISTING UTILITIES, SERVICE LOCATIONS AND ELEVATIONS SHALL BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.
2. MAINTAIN A MIN 18" VERTICAL SEPARATION AT ALL PIPE CROSSINGS. WATER AND SANITARY SEWER LINES TO MAINTAIN 10' VERTICAL SEPARATION. LOWER WATERMAIN AS NECESSARY.
3. CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS PRIOR TO THE START OF CONSTRUCTION.
4. PROVIDE POLYSTYRENE INSULATION FOR ALL STORM SEWER AND WATERMAIN CROSSINGS WHERE VERTICAL OR HORIZONTAL SEPARATION IS LESS THAN 3'.
5. ALL UTILITY WORK WITHIN THE R.O.W. SHALL COMPLY WITH THE CITY OF LAKE ELMO ENGINEERING GUIDELINES.
6. NOTIFY GOPHER STATE ONE CALL 48 HOURS IN ADVANCE OF ANY UTILITY WORK.
7. PROVIDE TEMPORARY TRAFFIC CONTROL IN COMPLIANCE WITH MNDOT "TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS-FIELD MANUAL" LATEST REVISION, FOR ANY CONSTRUCTION WITHIN PUBLIC R.O.W.
8. CONTRACTOR SHALL CONTACT THE UTILITY SUPERVISOR, SCOTT NEWBERGER AT (763) 509-5999 AT LEAST 48 HOURS PRIOR TO WORKING IN THE STREET R.O.W.
9. ALL SANITARY MANHOLES TO BE 48" DIAMETER CONCRETE W/NEENAH R-1642 CASTING, UNLESS NOTED OTHERWISE.
10. WATERMAIN, SERVICES, AND VALVES SHALL BE INSTALLED WITH MINIMUM 7.5' OF COVER.
11. WATER SERVICES SHALL BE 1.5" DIA. COPPER, TYPE "K", CTS PIPE W/ 1.5" CORP. STOP + 1.5" CURB BOX.
12. SEWER SERVICES SHALL BE MINIMUM 2% SLOPE UNLESS OTHERWISE NOTED ON THE PLANS.
13. CONTRACTOR SHALL INSTALL "MEGALUG" OR APPROVED EQUAL MECHANICAL JOINT RESTRAINING DEVICE INSTEAD OF WOOD OR CONCRETE THRUST BLOCKING. CONCRETE AND/OR WOOD BLOCKING IS NOT ALLOWED.
14. WATER SERVICES MAY BE PLACED IN SAME TRENCH AS SEWER SERVICES PROVIDED THAT A 24" VERTICAL & A 36" HORIZONTAL SEPARATION ARE MAINTAINED.
15. ALL CURB BOXES SHALL BE ADJUSTED TO AN ELEVATION OF 1" BELOW FINISHED GRADE.
16. ALL PROPOSED OUTLOTS ARE TO BE COVERED FULLY BY DRAINAGE AND UTILITY EASEMENTS

LEGEND:

- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATERMAIN
- PROPOSED CATCH BASIN
- PROPOSED SANITARY MANHOLE
- PROPOSED GATE VALVE
- PROPOSED HYDRANT
- EXISTING GATE VALVE
- EXISTING HYDRANT
- EXISTING WATERMAIN
- EXISTING CATCH BASIN
- EXISTING STORM MANHOLE
- EXISTING STORM SEWER
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY SEWER



0 50 100 200
SCALE IN FEET

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BENTLEY VILLAGE

LAKE ELMO, MINNESOTA

PRELIMINARY PLAT SUBMITTAL

SANITARY SEWER AND WATERMAIN PLAN-OVERALL

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1-25-19 43480
Date License No.

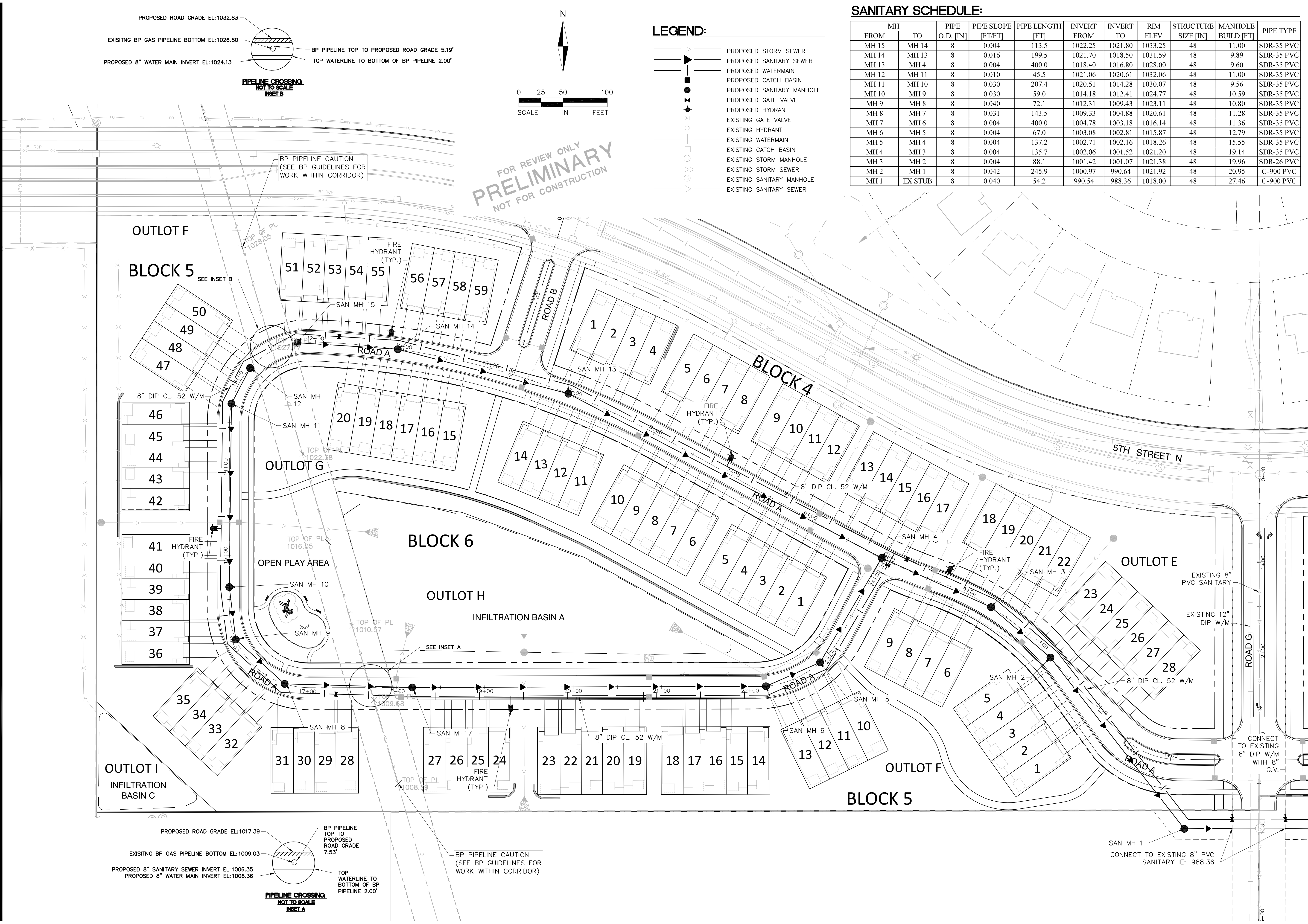
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BY	DATE
DATE	ISSUE
1-25-19	CITY SUBMITTAL

PROJECT TEAM DATA
DESIGNED: MPR
DRAWN: SIL
PROJECT NO: 218-0165

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LAKE ELMO, MINNESOTA

PRELIMINARY PLAT SUBMITTAL

SANITARY SEWER AND WATERMAIN PLAN - WEST PARCEL

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PROJECT NO:	218-0165

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SHEET 21 of 33

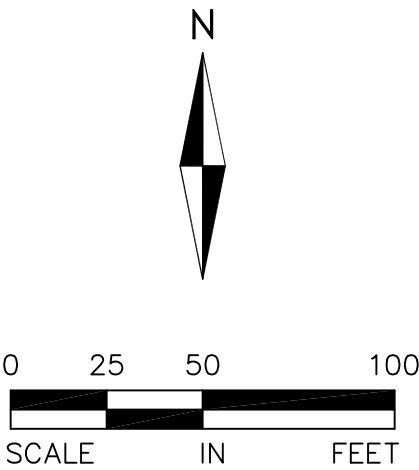
SANITARY SCHEDULE:

MH		PIPE	PIPE SLOPE	PIPE LENGTH	INVERT FROM	INVERT TO	RIM ELEV	STRUCTURE SIZE [IN]	MANHOLE BUILD [FT]	PIPE TYPE
FROM	TO	O.D. [IN]	[FT/FT]	[FT]						
MH 32	MH 31	8	0.004	119.7	995.22	994.74	1004.62	48	9.40	SDR-35 PVC
MH 31	MH 30	8	0.004	152.7	994.64	994.03	1005.22	48	10.58	SDR-35 PVC
MH 30	MH 29	8	0.004	311.6	993.93	992.68	1006.00	48	12.07	SDR-35 PVC
MH 29	MH 28	8	0.004	241.5	992.58	991.62	1011.91	48	19.33	SDR-26 PVC
MH 28	MH 19	8	0.004	128.9	991.52	991.00	1016.23	48	24.71	SDR-26 PVC
MH 27	MH 26	8	0.004	87.3	995.80	995.45	1004.72	48	8.92	SDR-35 PVC
MH 26	MH 25	8	0.004	56.0	995.35	995.13	1004.15	48	8.80	SDR-35 PVC
MH 25	MH 24	8	0.004	176.2	995.03	994.32	1003.92	48	8.89	SDR-35 PVC
MH 24	MH 23	8	0.004	70.2	994.22	993.94	1004.18	48	9.96	SDR-35 PVC
MH 23	MH 22	8	0.004	79.6	993.84	993.52	1004.72	48	10.88	SDR-35 PVC
MH 22	MH 21	8	0.004	374.3	993.42	991.93	1006.21	48	12.79	SDR-26 PVC
MH 21	MH 20	8	0.004	63.9	991.83	991.57	1013.04	48	21.21	SDR-26 PVC
MH 20	MH 19	8	0.004	110.7	991.47	991.03	1015.09	48	23.62	SDR-26 PVC
MH 19	MH 18	8	0.004	151.0	990.90	990.30	1018.09	48	27.19	SDR-26 PVC
MH 18	MH 17	8	0.004	69.5	990.20	989.92	1019.62	48	29.42	C-900 PVC
MH 17	MH 16	8	0.004	292.0	989.82	988.65	1020.22	48	30.40	C-900 PVC
MH 16	EX STUB	8	0.006	32.9	988.55	988.36	1018.20	48	29.65	C-900 PVC

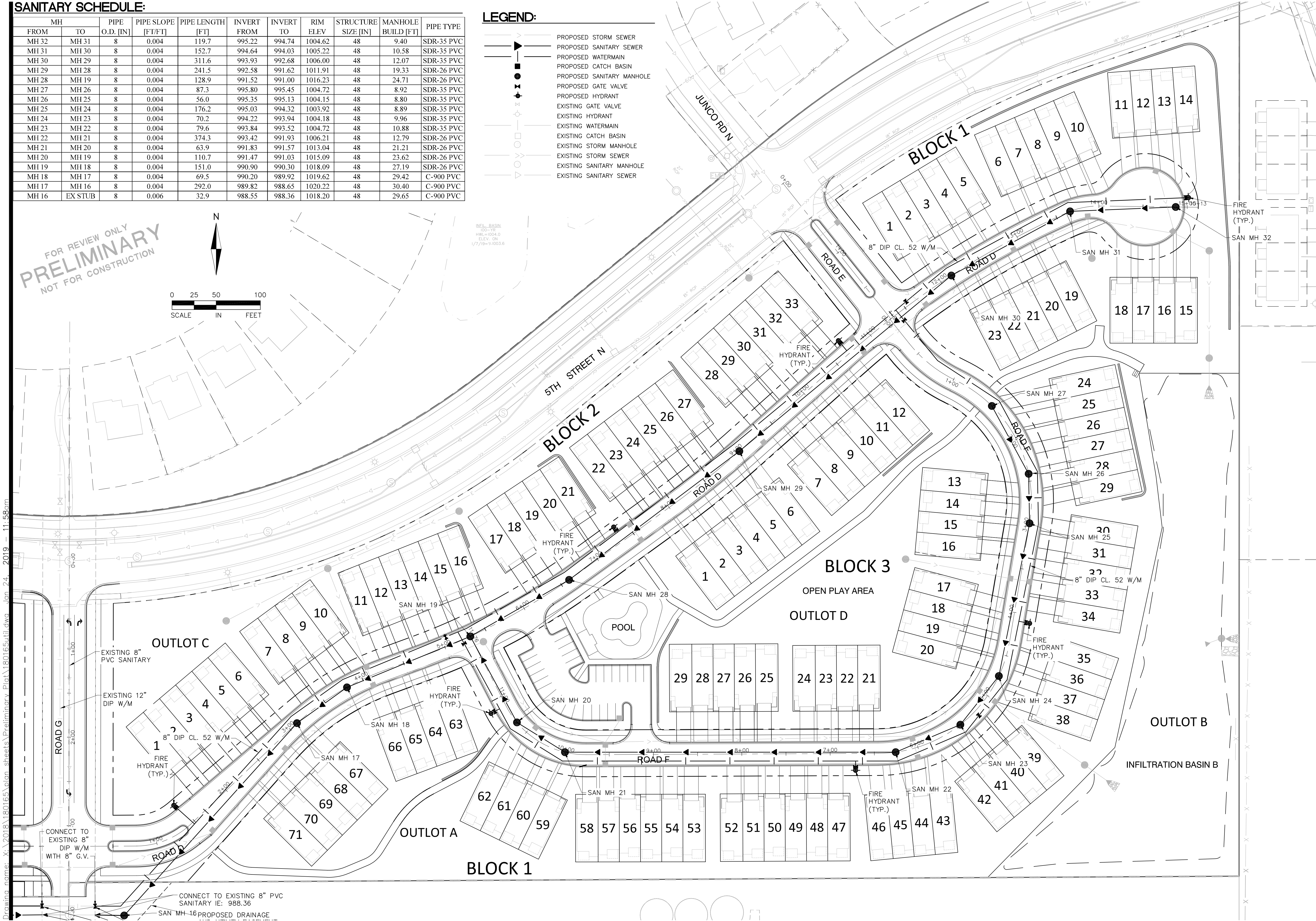
LEGEND:

- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATERMAIN
- PROPOSED CATCH BASIN
- PROPOSED SANITARY MANHOLE
- PROPOSED GATE VALVE
- PROPOSED HYDRANT
- EXISTING GATE VALVE
- EXISTING HYDRANT
- EXISTING WATERMAIN
- EXISTING CATCH BASIN
- EXISTING STORM MANHOLE
- EXISTING STORM SEWER
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY SEWER

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INFIL BASIN
100'-10"
HWL=1004.0
ELEV. ON
1/77/88=1003.6



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BENTLEY VILLAGE

LAKE ELMO, MINNESOTA

PRELIMINARY PLAT SUBMITTAL

SANITARY SEWER AND WATERMAIN PLAN - EAST PARCEL

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1-25-19 43480
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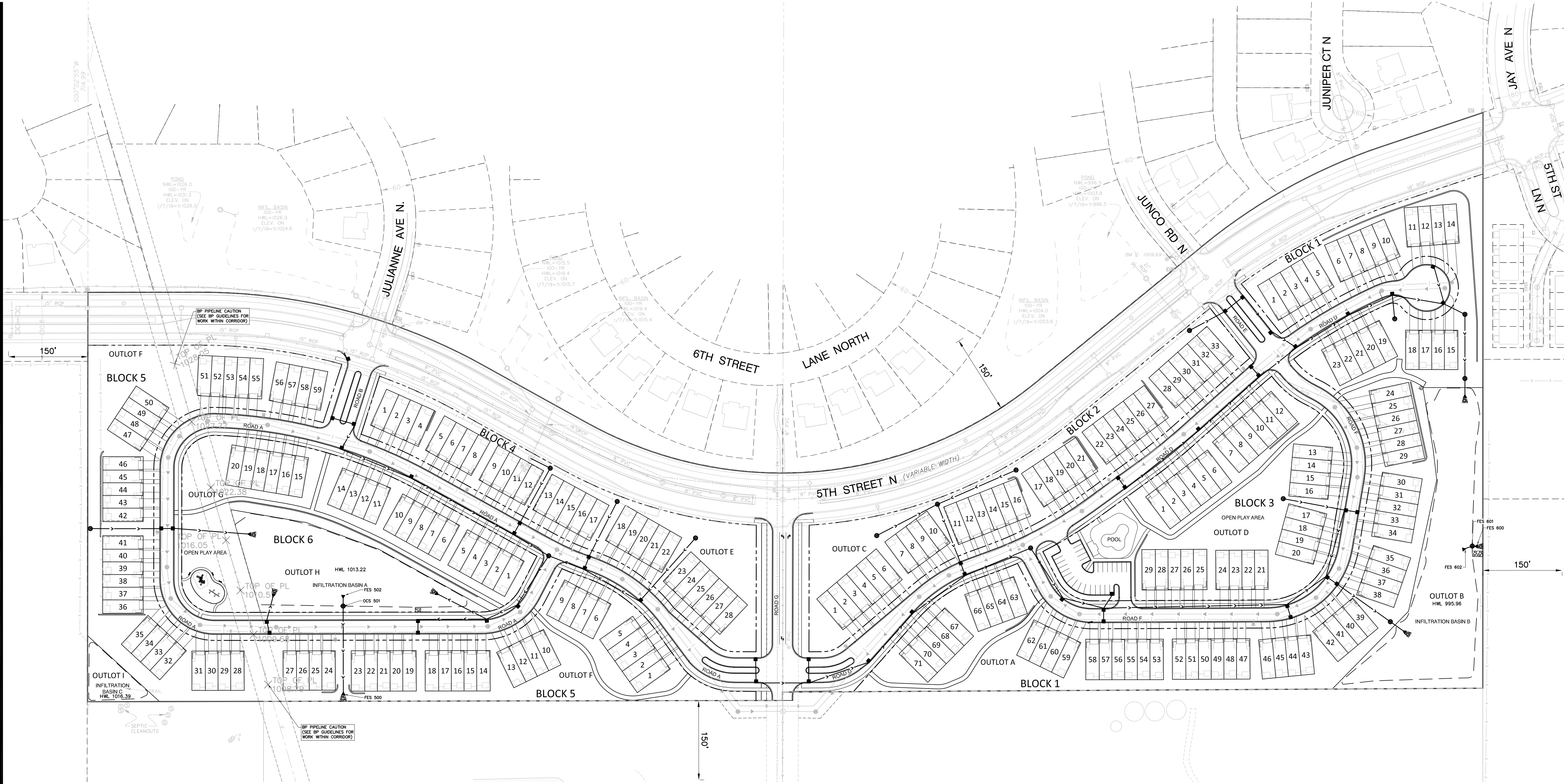
QUALITY ASSURANCE/CONTROL

BY DATE
DATE ISSUE
1-25-19 CITY SUBMITTAL

PROJECT TEAM DATA
DESIGNED: MPR
DRAWN: SIL
PROJECT NO: 218-0165

22

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1. ALL STORM SEWER AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
2. REINFORCED CONCRETE PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF M-HOT SPEC 3236 (REINFORCED CONCRETE PIPE) FOR THE TYPE, SIZE, AND STRENGTH CLASS SPECIFIED HEREIN.
3. PRECAST CONCRETE MANHOLE AND CATCH BASIN SECTIONS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-477.
4. A 1'-0" TO 1'-4" MAN-HOLE SECTION SHALL BE INSTALLED UNDER THE COONE SECTION TO ALLOW FOR HEIGHT ADJUSTMENT WHENEVER POSSIBLE.
5. JOINTS OF MANHOLE RISER SECTIONS SHALL BE TONGUE AND GROOVE WITH RUBBER 'O' RING JOINTS PROVIDED ON ALL STORM SEWER MANHOLES.
6. RIP-RAP SHALL BE HAND-PLACED OVER GEOTEXTILE FABRIC AND CONFORM TO M-HOT SPEC. 3601, CLASS III, OR AS SPECIFIED HEREIN.
7. THE GEOTEXTILE FABRIC USED UNDER RIP-RAP SHALL EXTEND 3 FT UNDER THE APRON.
8. FURNISH & INSTALL TRASH GUARDS ON ALL FLARED END SECTIONS.
9. ALL SILT SHALL BE CLEANED OUT FROM THE RIP-RAP AT THE END OF THE PROJECT.
10. STORM SEWER STRUCTURES WITHIN 10 FT OF WATERMAIN ARE TO HAVE WATER TIGHT CONNECTIONS PER MDH REQUIREMENTS.

STANDARD PLAN NOTES
STORM SEWER PLANS

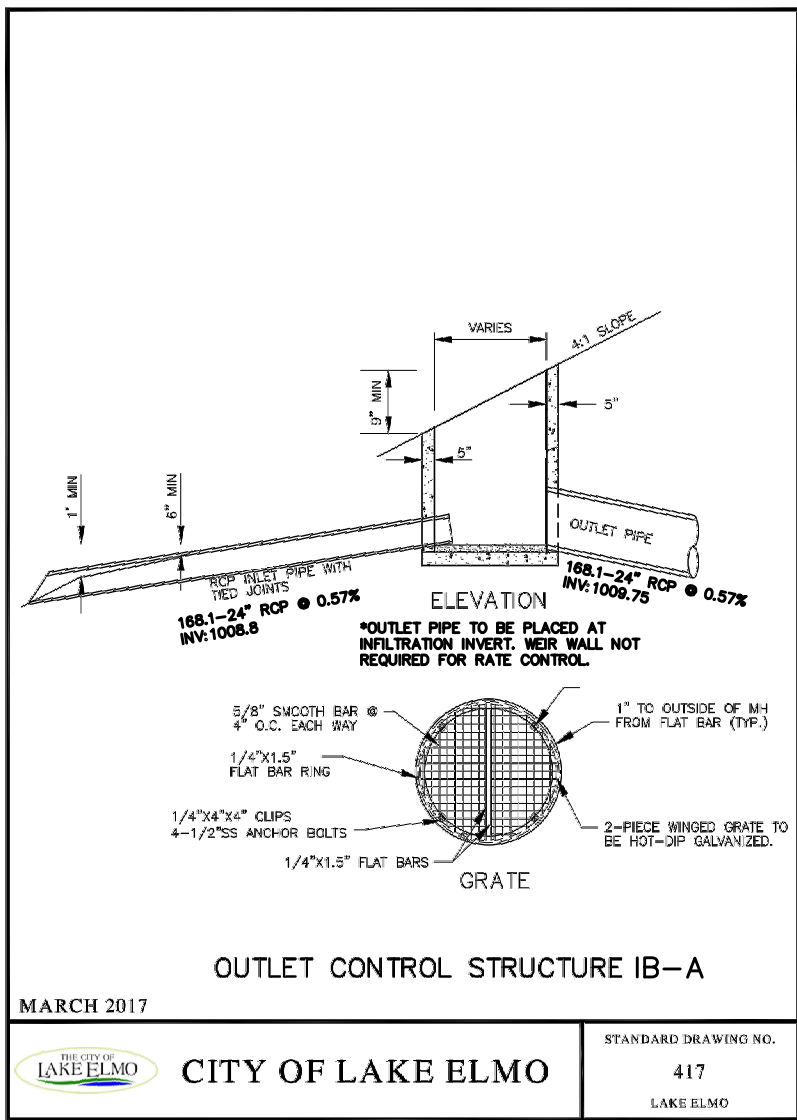
MARCH 2017

CITY OF LAKE ELMO

STANDARD DRAWING NO.
490A
LAKE ELMO

STORM SEWER NOTES:

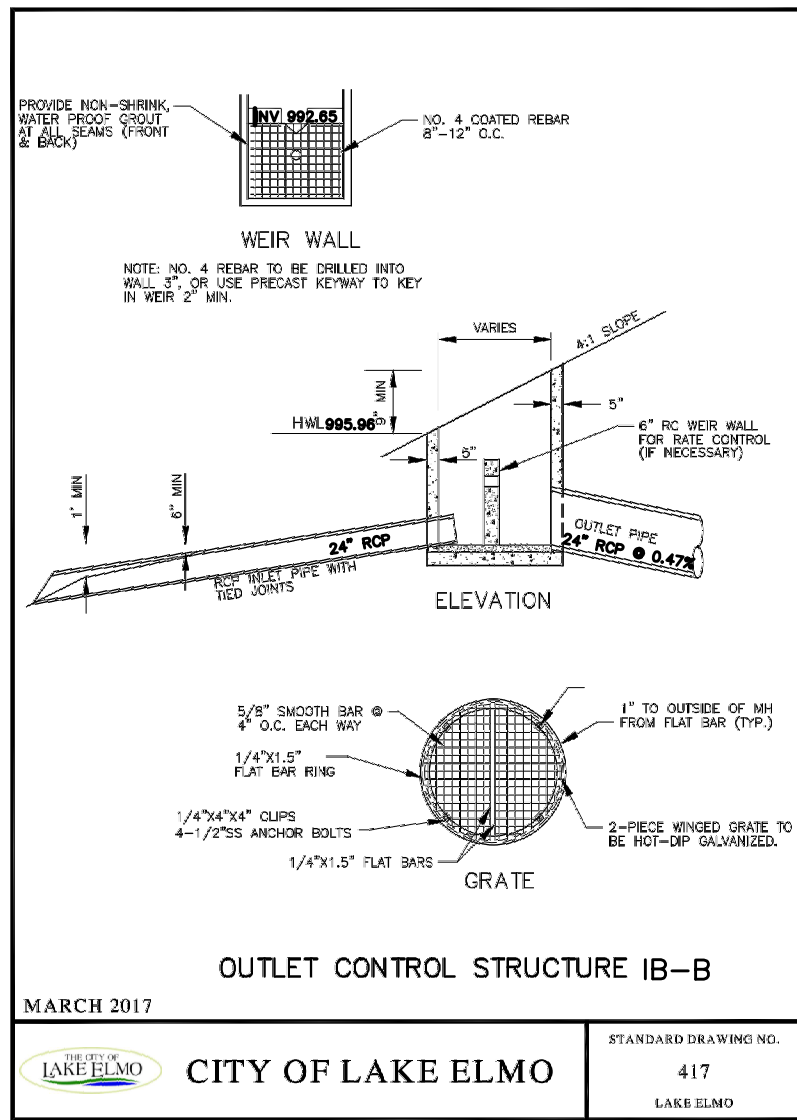
1. EXISTING UTILITIES, SERVICE LOCATIONS AND ELEVATIONS SHALL BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.
2. MAINTAIN A MIN 18" VERTICAL SEPARATION AT ALL PIPE CROSSINGS.
3. CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS PRIOR TO THE START OF CONSTRUCTION.
4. PROVIDE POLYSTYRENE INSULATION FOR ALL STORM SEWER CROSSINGS WHERE VERTICAL OR HORIZONTAL SEPARATION IS LESS THAN 3'.
5. ALL STORM SEWER WORK SHALL COMPLY WITH THE CITY OF LAKE ELMO ENGINEERING GUIDELINES.
6. NOTIFY GOPHER STATE ONE CALL 48 HOURS IN ADVANCE OF ANY UTILITY WORK.
7. PROVIDE TEMPORARY TRAFFIC CONTROL IN COMPLIANCE WITH MNDOT "TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS-FIELD MANUAL" LATEST REVISION, FOR ANY CONSTRUCTION WITHIN PUBLIC R.O.W.
8. ALL CASTINGS SHALL BE NEENAH OR APPROVED EQUAL.
9. ALL PROPOSED OUTLOTS ARE TO BE FULLY COVERED BY DRAINAGE AND UTILITY EASEMENTS.



MARCH 2017

CITY OF LAKE ELMO

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MARCH 2017

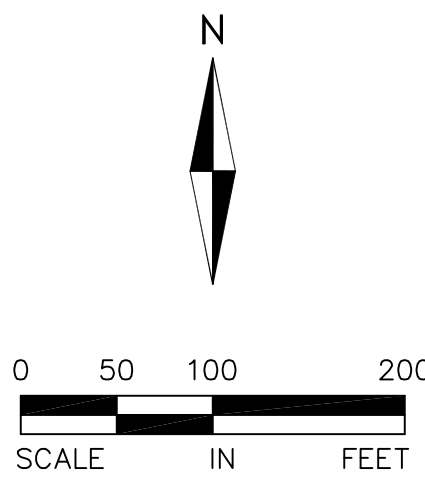
CITY OF LAKE ELMO

STANDARD DRAWING NO.
417
LAKE ELMO

LEGEND:

- PROPOSED STORM SEWER
- PROPOSED DRAIN TILE
- PROPOSED SANITARY SEWER
- PROPOSED WATERMAIN
- PROPOSED CATCH BASIN
- PROPOSED SANITARY MANHOLE
- PROPOSED GATE VALVE
- PROPOSED HYDRANT
- EXISTING GATE VALVE
- EXISTING HYDRANT
- EXISTING WATERMAIN
- EXISTING CATCH BASIN
- EXISTING STORM MANHOLE
- EXISTING STORM SEWER
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY SEWER

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BENTLEY VILLAGE
LAKE ELMO, MINNESOTA
PRELIMINARY PLAT SUBMITTAL
STORM SEWER PLAN - OVERALL

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA

MARK RAUSCH, PE
1-25-19 43480
Date License No.

QUALITY ASSURANCE/CONTROL

BY	DATE
DATE	ISSUE
1-25-19	CITY SUBMITTAL

PROJECT TEAM DATA
DESIGNED: MPR
DRAWN: SIL
PROJECT NO: 218-0165

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0 25 50 100
SCALE IN FEET



LEGEND:

- PROPOSED STORM SEWER
- PROPOSED DRAINTILE
- PROPOSED SANITARY SEWER
- PROPOSED WATERMAIN
- PROPOSED CATCH BASIN
- PROPOSED SANITARY MANHOLE
- PROPOSED GATE VALVE
- PROPOSED HYDRANT
- EXISTING GATE VALVE
- EXISTING HYDRANT
- EXISTING WATERMAIN
- EXISTING CATCH BASIN
- EXISTING STORM MANHOLE
- EXISTING STORM SEWER
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY SEWER

STORM SEWER SCHEDULE:

MH/CB		P. DIA.	P. SLOPE	P. TYPE	PIPE	P. VELOCITY	FROM	TO	RIM	STR.	CAST	BUILD
FROM	TO	D [IN]	S [FT/FT]		LENGTH [FT]	MAX [FT/S]	INVERT	INVERT	ELEV	TYPE	TYPE	[FT]
CB 319	CBMH 318	12	0.0044	RCP	159.83	3.01	1016.00	1015.30	1020.00	27	R-4342	4.00
CBMH 318	CBMH 315	15	0.0033	RCP	120.82	3.02	1015.20	1014.80	1021.41	48	R-3067-V	6.21
CB 317	CBMH 316	12	0.0142	RCP	115.05	5.41	1017.50	1015.87	1021.50	27	R-4342	4.00
CBMH 316	CBMH 315	15	0.0033	RCP	28.00	3.02	1015.87	1015.77	1020.13	48	R-3067-V	4.26
CBMH 315	MH 307	15	0.0037	RCP	71.90	3.20	1014.80	1014.53	1020.13	48	R-3067-V	5.33
CB 314	CBMH 313	12	0.015	RCP	48.03	5.56	1023.53	1022.81	1027.53	2X3	R-3067-V	4.00
CBMH 313	CBMH 312	15	0.02	RCP	54.11	7.44	1022.81	1021.73	1027.53	48	R-3067-V	4.72
CBMH 312	CBMH 311	15	0.02	RCP	141.92	7.44	1021.73	1018.89	1028.35	48	R-3067-V	6.62
CBMH 311	CBMH 308	15	0.02	RCP	222.10	7.44	1018.89	1014.45	1025.87	48	R-3067-V	6.98
EXISTING MH	CBMH 310	18	0.0026	RCP	41.60	3.03	1014.36	1014.25	1024.36	48	R-3067-V	10.00
CBMH 310	CBMH 309	18	0.0026	RCP	115.81	3.03	1014.25	1013.95	1021.60	48	R-3067-V	7.35
CBMH 309	CBMH 308	18	0.0026	RCP	28.00	3.03	1013.95	1013.88	1022.04	48	R-3067-V	8.09
CBMH 308	MH 307	18	0.007	RCP	77.93	4.97	1013.88	1013.33	1022.04	48	R-3067-V	8.16
MH 307	CBMH 306	21	0.006	RCP	111.11	5.10	1013.33	1012.67	1021.00	48	R-1642	7.67
CBMH 306	CBMH 305	21	0.022	RCP	63.01	9.77	1011.87	1010.48	1017.92	48	R-3067-V	6.05
CB 302	CBMH 301	15	0.009	RCP	28.02	4.99	1009.70	1009.45	1013.95	2X3	R-3067-V	4.25
CBMH 301	CBMH 305	18	0.0033	RCP	129.87	3.41	1009.45	1009.02	1013.95	60	R-3067-V	8.50
CBMH 305	FES 300	33	0.0012	RCP	102.79	3.08	1009.02	1008.90	1015.30	48	R-3067-V	6.28
CB 802	CBMH 801	12	0.03	RCP	27.49	7.86	1011.62	1010.80	1015.87	2X3	R-3067-V	4.25
CB 403	CBMH 402	12	0.014	RCP	131.00	5.37	1013.35	1011.52	1017.35	27	R-4342	4.00
CBMH 402	CBMH 401	15	0.017	RCP	28.00	6.86	1011.42	1010.94	1025.94	48	R-3067-V	14.52
CBMH 401	FES 400	15	0.009	RCP	148.82	4.99	1010.84	1009.50	1025.94	60	R-3067-V	19.10
FES 502	OCS 501	24	0.05	RCP	20.2		1008.95	1007.94				
OCS 501	FES 500	24	0.0057	RCP	168.1		1009.75	1008.792		48	GRATE	8.25
CB 700	EXISTING CBMH 450	12	0.0044	RCP	12.81		1027.5	1027.444	1031.5	2X3	R-3067-V	8
CB 802	CBMH 801	12	0.03	RCP	27.49	7.86	1011.62	1010.80	1015.87	2X3	R-3067-V	4.25
CBMH 801	CBMH 800	18	0.007	RCP	46.58	4.97	1009.83	1009.50	1015.79	48	R-3067-V	5.96



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BENTLEY VILLAGE

LAKE ELMO, MINNESOTA

PRELIMINARY PLAT SUBMITTAL

STORM SEWER PLAN - WEST PARCEL

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MARK RAUSCH, PE
1-25-19 43480
Date License No.

QUALITY ASSURANCE/CONTROL

BY DATE
DATE ISSUE
1-25-19 CITY SUBMITTAL

PROJECT TEAM DATA
DESIGNED: MPR
DRAWN: SIL
PROJECT NO: 218-0165

24

SHEET 24 of 33

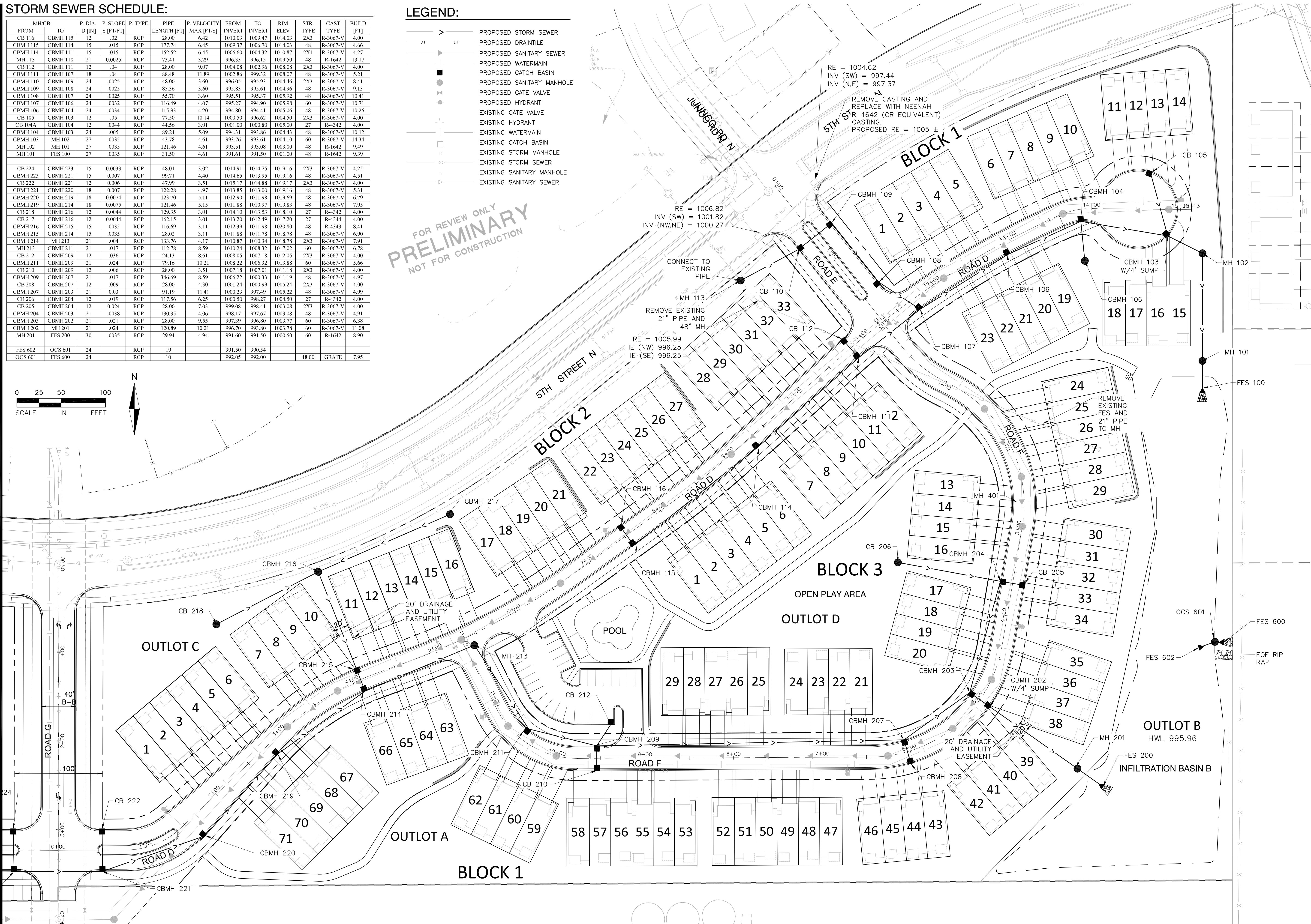
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Drawing name: X:\2018\180165\plan sheets\Preliminary Plat\180165strm.dwg Jan 24, 2019 - 11:58am

A scale bar with markings at 0, 25, 50, and 100. Below the bar, the labels "SCALE", "IN", and "FEET" are positioned under the 0, 50, and 100 marks respectively.

	PROPOSED STORM SEWER
	PROPOSED DRAIN TILE
	PROPOSED SANITARY SEWER
	PROPOSED WATERMAIN
	PROPOSED CATCH BASIN
	PROPOSED SANITARY MANHOLE
	PROPOSED GATE VALVE
	PROPOSED HYDRANT
	EXISTING GATE VALVE
	EXISTING HYDRANT
	EXISTING WATERMAIN
	EXISTING CATCH BASIN
	EXISTING STORM MANHOLE
	EXISTING STORM SEWER
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY SEWER

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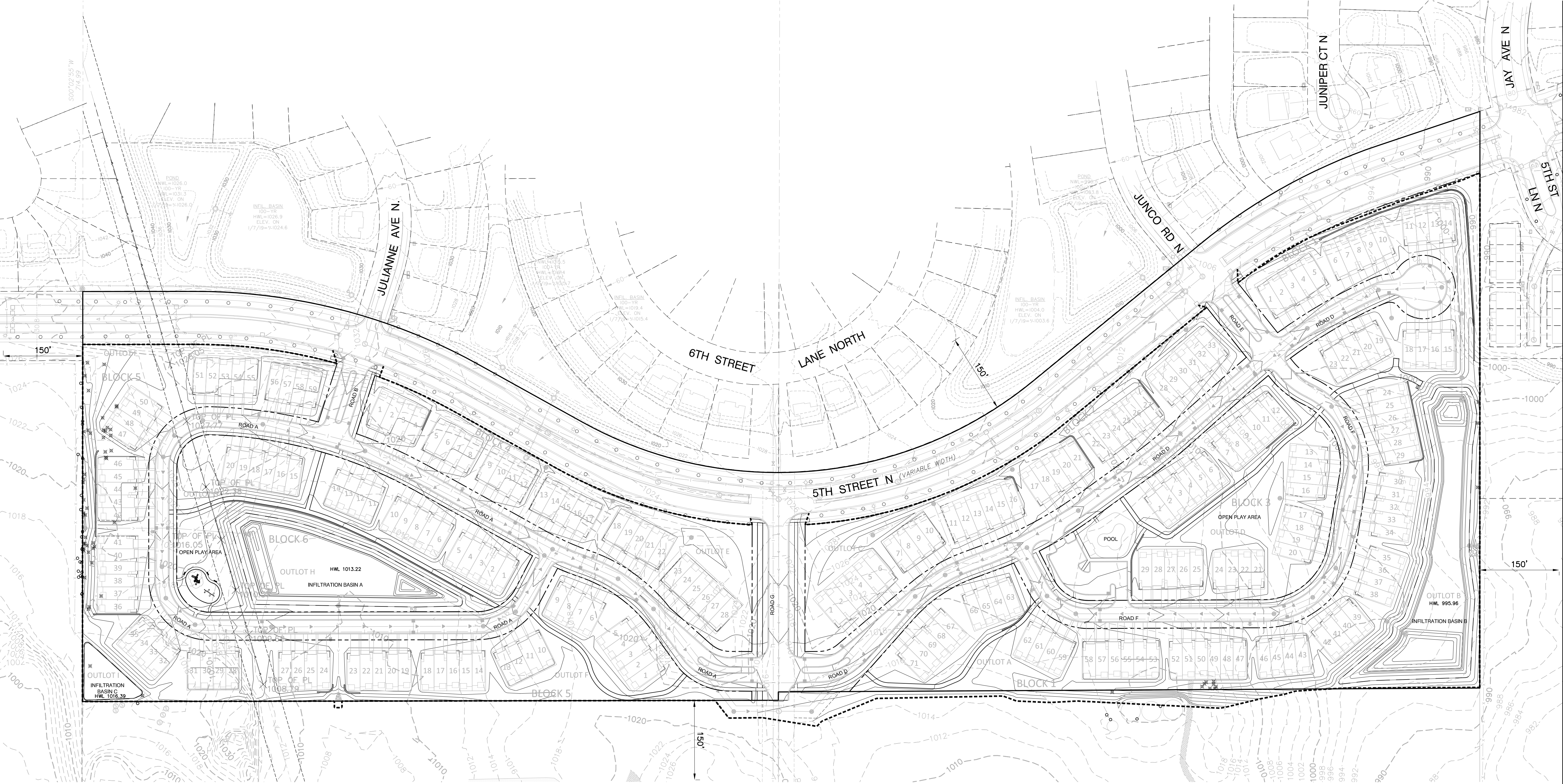


STORM SEWER PLAN - EAST PARCEL

PROJECT TEAM DATA	
DESIGNED:	MPR
DRAWN:	SIL
PROJECT NO:	218-0165

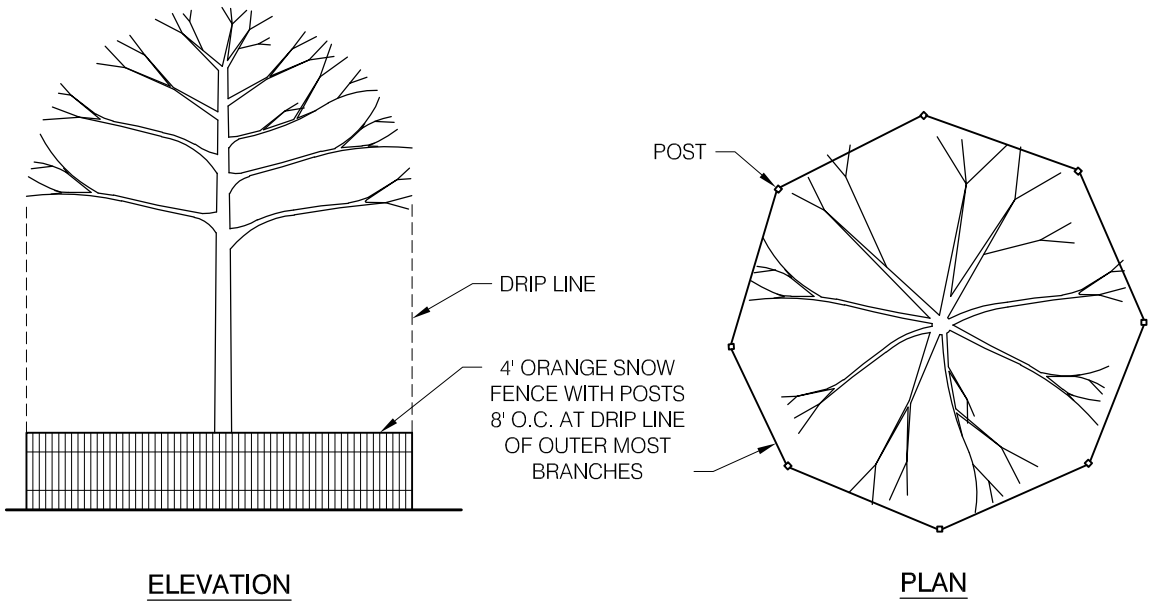
SHEET 25 of 33

Drawing name: X:\2018\180165\plan sheets\Preliminary Plot\180165tree.dwg Jan 24, 2019 11:59am



TREE PRESERVATION NOTES:

- SIGNIFICANT TREE, AS DEFINED BY CITY OF LAKE ELMO ZONING CODE, IS ANY HEALTHY TREE MEASURING SIX INCHES IN DIAMETER OR LARGER AT A HEIGHT OF 54 INCHES ABOVE GROUND FOR HARD WOOD DECIDUOUS TREES, EIGHT INCHES IN DIAMETER OR LARGER FOR CONIFEROUS/EVERGREEN TREES, OR TWELVE INCHES IN DIAMETER OR LARGER FOR COMMON TREES.
- BEFORE ANY CONSTRUCTION OR GRADING OF DEVELOPMENT PROJECT IS TO OCCUR, A TREE PROTECTION FENCE (AT LEAST 4 FEET IN HEIGHT AND STAKED WITH POSTS NO LESS THAN EVERY 8 FEET) SHALL BE INSTALLED AROUND THE DRIP LINE OF WOODED AREAS, THE DRIP LINES OF SIGNIFICANT TREES TO BE PRESERVED OR AT THE PERIMETER OF THE CRITICAL ROOT ZONE (WHICHEVER IS GREATER). SIGNS SHALL BE PLACED ALONG THIS FENCE LINE IDENTIFYING THE AREA AS A TREE PROTECTION AREA AND PROHIBITING GRADING BEYOND THE FENCE LINE. THIS FENCE MUST REMAIN IN PLACE UNTIL ALL GRADING AND CONSTRUCTION ACTIVITY IS TERMINATED.
- NO EQUIPMENT, CONSTRUCTION MATERIALS OR SOIL MAY BE STORED WITHIN THE DRIP LINES OF ANY SIGNIFICANT TREES TO BE PRESERVED.
- NO ENCROACHMENT, LAND DISTURBANCE, GRADE CHANGE, TRENCHING, FILLING, COMPACTION OF CHANGE IN SOIL CHEMISTRY SHALL OCCUR WITHIN FENCED AREAS PROTECTING SIGNIFICANT TREES.
- CONTRACTOR TO PREVENT THE CHANGE IN SOIL CHEMISTRY DUE TO CONCRETE WASHOUT AND LEAKAGE OR SPILLAGE OF TOXIC MATERIALS, SUCH AS FUELS OR PAINTS.
- DRAINAGE PATTERNS ON THE SITE SHALL NOT CHANGE CONSIDERABLY CAUSING DRASTIC ENVIRONMENTAL CHANGES IN THE SOIL MOISTURE CONTENT WHERE TREES ARE INTENDED TO BE PRESERVED.
- NO SIGNIFICANT TREES SHALL BE REMOVED UNTIL THIS TREE PRESERVATION PLAN IS APPROVED BY THE CITY OF LAKE ELMO.
- SEE SHEET 29 FOR TREE INVENTORY LIST.



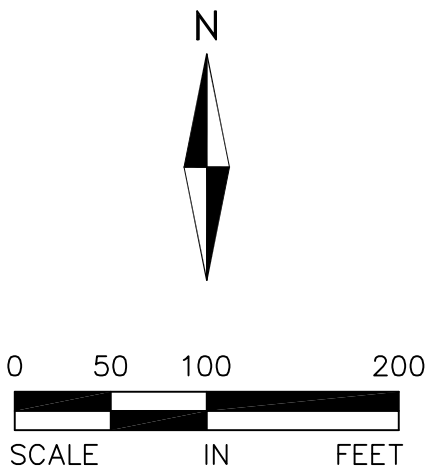
- NOTES:
- TREE PROTECTION SHALL BE PROVIDED BY CONTRACTOR AS REQUIRED TO ENSURE SURVIVABILITY OF EXISTING TREES TO REMAIN.
 - NO HEAVY EQUIPMENT SHALL BE STORED WITHIN THE TREE DRIP LINE AS DESIGNATED ABOVE.
 - REFER TO TREE PRESERVATION PLAN FOR LOCATION OF TREE PROTECTION FENCE.

1
26
TREE PROTECTION FENCE
NOT TO SCALE

LEGEND:

- TREES TO BE SAVED
- TREES TO BE REMOVED
- TREE PROTECTION LIMITS
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED CATCH BASINS
- PROPOSED STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED EASEMENT
- PROPERTY LINE
- SETBACK LINE
- LOT LINE
- RIGHT-OF-WAY

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BENTLEY VILLAGE
LAKE ELMO, MINNESOTA
PRELIMINARY PLAT SUBMITTAL
TREE PRESERVATION PLAN - OVERALL

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Mark Kronbeck, PLA, ASLA

MARK KRONBECK, PLA, ASLA
1-25-19 26222
Date License No.

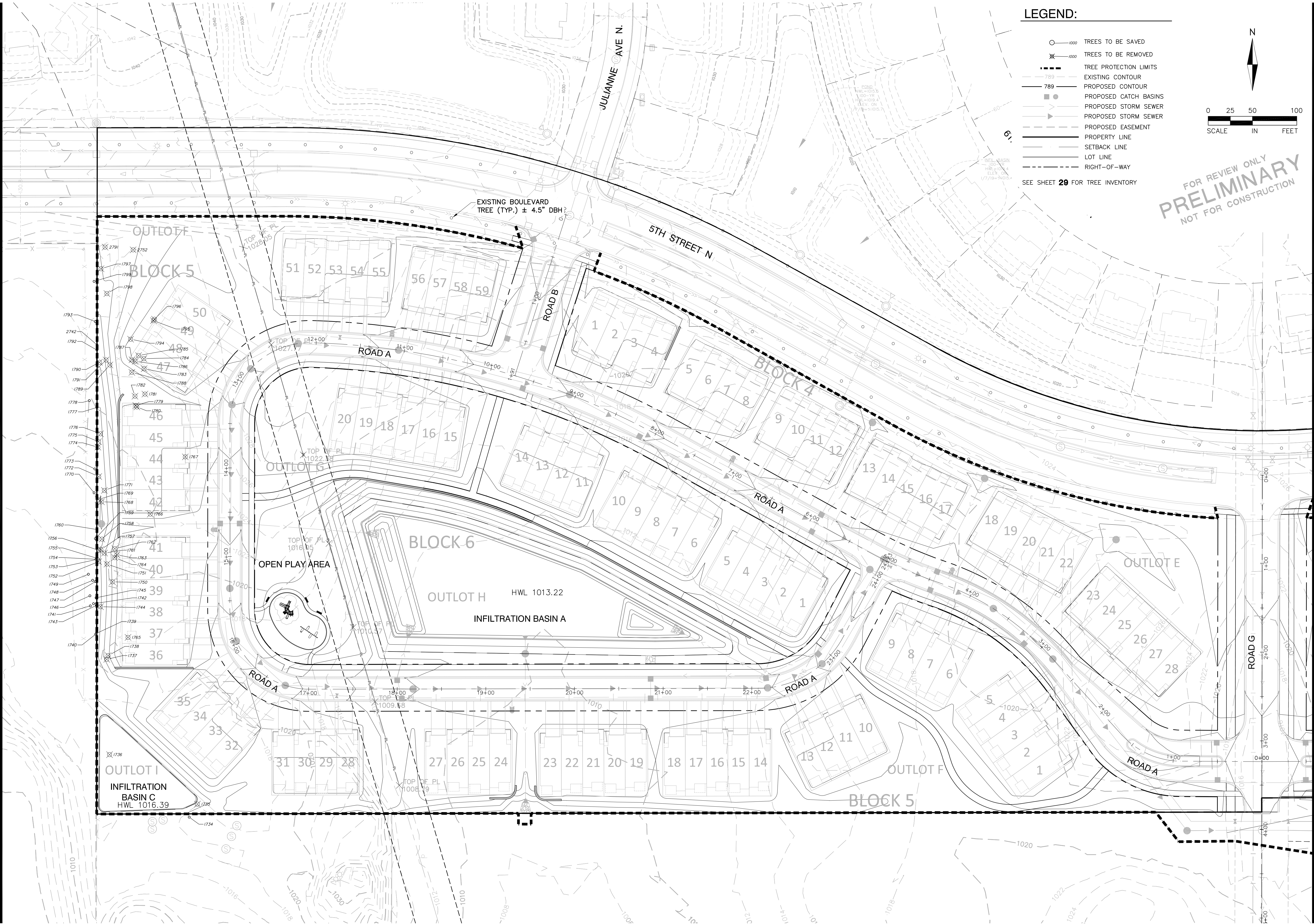
QUALITY ASSURANCE/CONTROL	
BY	DATE
DATE	ISSUE
1-25-19	CITY SUBMITTAL

PROJECT TEAM DATA	
DESIGNED:	MPR
DRAWN:	SIL
PROJECT NO:	218-0165

26

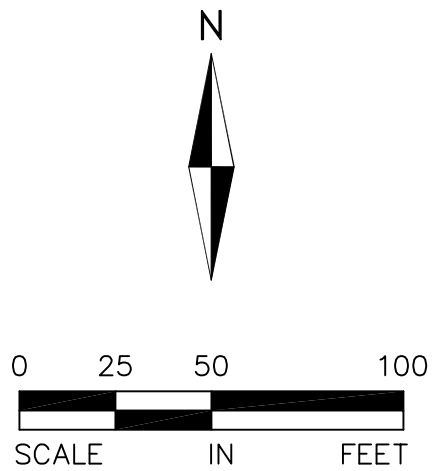
SHEET 26 of 33

Drawing name: X:\2018\180165\plan sheets\Preliminary Plat\180165Tree.dwg Jan 24, 2019 11:59am



LEGEND:

- 1000 TREES TO BE SAVED
 - ⊗ 1000 TREES TO BE REMOVED
 - TREE PROTECTION LIMITS
 - - - 789 EXISTING CONTOUR
 - 789 PROPOSED CONTOUR
 - PROPOSED CATCH BASINS
 - PROPOSED STORM SEWER
 - PROPOSED STORM SEWER
 - PROPOSED EASEMENT
 - PROPERTY LINE
 - SETBACK LINE
 - LOT LINE
 - RIGHT-OF-WAY
- SEE SHEET 29 FOR TREE INVENTORY



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LAKE ELMO, MINNESOTA
PRELIMINARY PLAT SUBMITTAL
TREE PRESERVATION PLAN - WEST PARCEL

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Mark Kronbeck
MARK KRONBECK, PLA, ASLA
1-25-19 26222
Date License No.

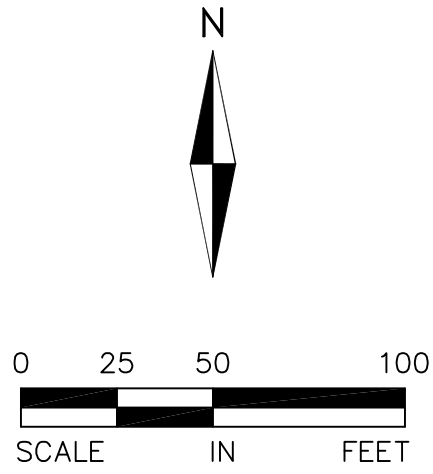
QUALITY ASSURANCE/CONTROL

BY	DATE
DATE	ISSUE
1-25-19	CITY SUBMITTAL

PROJECT TEAM DATA	
DESIGNED:	MPR
DRAWN:	SIL
PROJECT NO:	218-0165

Drawing name: X:\2018\180165\plan_sheets\Preliminary Plot\180165tree.dwg Jan 24, 2019 11:59am

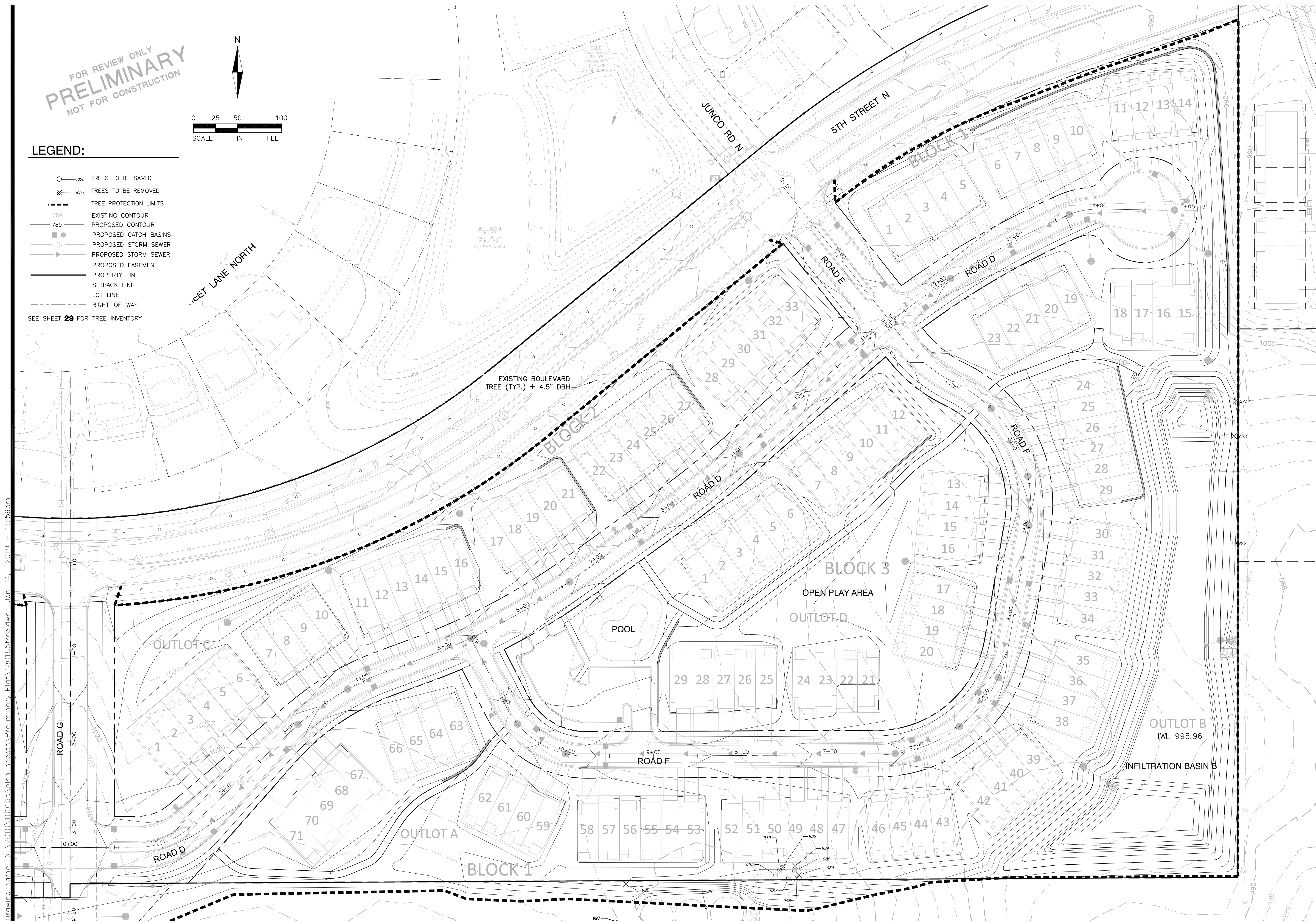
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LEGEND:

- 1000 TREES TO BE SAVED
- ✕ 1000 TREES TO BE REMOVED
- - - - - TREE PROTECTION LIMITS
- - - - - 789 EXISTING CONTOUR
- - - - - 789 PROPOSED CONTOUR
- PROPOSED CATCH BASINS
- PROPOSED STORM SEWER
- PROPOSED STORM SEWER
- - - - - PROPOSED EASEMENT
- - - - - PROPERTY LINE
- - - - - SETBACK LINE
- - - - - LOT LINE
- - - - - RIGHT-OF-WAY

SEE SHEET 29 FOR TREE INVENTORY



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BENTLEY VILLAGE

LAKE ELMO, MINNESOTA

PRELIMINARY PLAT SUBMITTAL

TREE PRESERVATION PLAN - EAST PARCEL

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1-25-19 26222
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DATE ISSUE
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PROJECT TEAM DATA
DESIGNED: MPR
DRAWN: SIL
PROJECT NO: 218-0165

28

SHEET 28 of 33

Drawing name: X:\2018\180165\oldn streets\Preliminary Plat\180165Tree.dwg Jan 24, 2019 -- 11:59am

Tag Number	DBH	Common Name	Notes	SIGNIFICANT	Remove	Common Tree Remove Inches	Hardwood Trre Remove Inches
968	7	American Elm	good		X		
986	14	Big Tooth Aspen	Good	X	X	14	
987	16	American Elm	2x trunk 9,7 good	X	X	16	
988	13	Box Elder	Good	X	X	13	
989	12	American Elm	Good	X	X	12	
990	12	Box Elder	Good	Offsite			
991	8	Black Cherry	Good	Offsite			
992	11	American Elm	good	X	X	11	
993	10	American Elm	Good	X	X	10	
994	11	American Elm	Good	X	X	11	
995	18	Box Elder	Good	X	X	18	
996	11	American Elm	good	X	X	11	
997	17	Box Elder	Good	Offsite			
1000	13	Box Elder	Good	Offsite			
1734	15	Box Elder	Good	Offsite			
1735	12	Box Elder	Good	X	X	12	
1736	14	Box Elder	Good	X	X	14	
1737	10	Black Cherry	Good	X	X		10
1738	9	Black Cherry	good	X	X		9
1739	9	White Oak	stressed, epicchomic	X			
1740	18	White Oak	2x trunk 9,9 Stressed, branching	X			
1741	7	White Oak	Poor	Offsite			
1742	8	White Oak	Good	Offsite			
1743	8	White Oak	Good	X			
1744	9	White Oak	Good	X	X		9
1745	19	Box Elder	Good	X			
1746	8	White Oak	Good	Offsite			
1747	9	White Oak	Good	Offsite			
1748	9	White Oak	Good	Offsite			
1749	8	Red Oak	Good	Offsite			
1750	7	Red Oak	Good	X	X		7
1751	6	White Oak	Good	X	X		6
1752	15	Red Oak	Good	X	X		15
1753	18	Red Oak	Good	X			
1754	16	Red Oak	Good	X			
1755	15	Red Oak	Good	X			
1756	16	Red Oak	Poor, Stem Rot		X		
1757	18	Red Oak	Poor, Stem Rot		X		
1758	11	Red Oak	Poor		X		
1759	17	Red Oak	Good	Offsite			
1760	7	White Oak	Good	X	X		7
1761	8	Black Cherry	poor	X	X		8
1762	12	Red Oak	Good	X	X		12
1763	10	Red Oak	Good	X	X		10
1764	11	Red Oak	Good	X	X		11
1765	7	Red Oak	Good	X	X		7
1766	7	Red Oak	Good	X	X		7
1767	7	Black Cherry	Good	X	X		7
1768	21	Red Oak	Good	X	X		21
1769	20	Red Oak	Good	X	X		20
1770	17	Red Oak	Good	Offsite			
1771	19	Black Cherry	2x trunk 10,9 good	X	X		19
1772	17	White Oak	Good	X	X		17
1773	17	Box Elder	good	Offsite			
1774	21	Red Oak	Good	X	X		21
1775	28	White Oak	2x trunk 15,13 good	X	X		28
1776	28	White Oak	good	X	X		28
1777	15	Hackberry	Good	X			
1778	11	Red Oak	Good	Offsite			
1779	15	Big Tooth Aspen	Good	X	X	15	
1780	7	Red Oak	Good	X	X		7
1781	7	Red Oak	Good	X	X		7
1782	10	Red Oak	Good	X	X		10
1783	8	Red Oak	Good	X	X		8
1784	11	Red Oak	Good	X	X		11
1785	7	Red Oak	Good	X	X		7
1786	8	Red Oak	Good	X	X		8
1787	6	Red Oak	Good	X	X		6
1788	6	Red Oak	Good	X	X		6
1789	12	Black Cherry	Good	X	X		12
1790	27	White Oak	2x trunk 17,10 good	X	X		27
1791	14	Box Elder	Good	X	X	14	
1792	19	Red Oak	Good	X			
1793	16	Red Oak	Good	Offsite			
1794	7	Red Oak	Good	X	X		7
1795	15	Red Oak	2x trunk 8,7 good	X	X		15
1796	7	Red Oak	Good	X	X		7
1797	18	Red Oak	poor	X	X		18
1798	8	Red Oak	Good	X	X		8
1799	10	White Oak	good	Offsite			
2737	18	American Elm	Good	X	X	18	
2760	45	American Elm	4x trunk 12,11,11,11 good	X	X	45	
2791	26	Box Elder	Pt 25884 2x trunk 14,8	X	X	26	
2752	19	Box Elder	Pt 25886	X	X	19	
2742	44	Oak	Pt 25868 2x trunk 25, 19	X			

TREE SUMMARY

SIGNIFICANT TREE DBH ONSITE	
COMMON TREE DBH	313
HARDWOOD TREE DBH	590
TOTAL ONSITE	903
SIGNIFICANT TREE DBH ONSITE TO BE REMOVED	
COMMON TREE DBH	279
HARDWOOD TREE DBH	443
TOTAL REMOVED	722 (79.96%)
NET TREE DBH PRESERVED	181 (20.04%)

TREE PRESERVATION CALCULATION

TOTAL SIGNIFICANT TREE DBH ONSITE	903
30% TOTAL ALLOWED TO BE REMOVED	270.9
ALLOCATION OF 30% ALLOWED TREE DBH TO BE REMOVED	
COMMON TREE DBH	270.9
HARDWOOD TREE DBH	0
REQUIRED MITIGATION DBH	
COMMON TREE DBH	8.1
HARDWOOD TREE DBH	443
REPLACEMENT CALCULATION	
8.1 DBH X 0.25 IN	2.025
443 DBH X 0.5 IN	221.5
TOTAL REPLACEMENT DBH REQUIRED	224

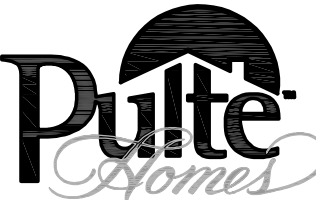
LEGEND

- DENOTES TREES TO BE REMOVED
- DENOTES OFFSITE TREES



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BENTLEY VILLAGE

LAKE ELMO, MINNESOTA

PRELIMINARY PLAT SUBMITTAL

TREE INVENTORY

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1-25-19 26222
Date License No.

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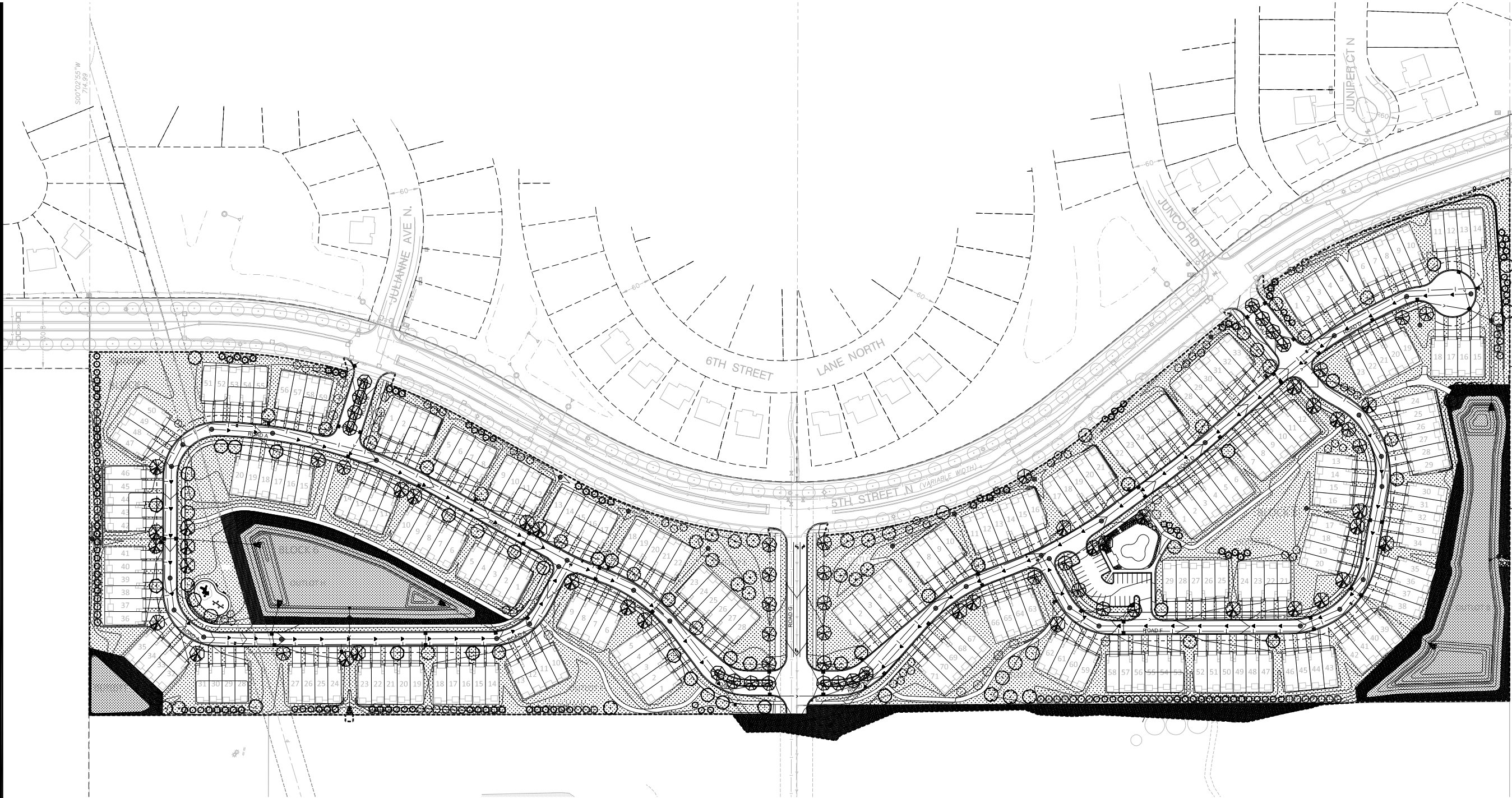
BY	DATE
DATE	ISSUE
1-25-19	CITY SUBMITTAL

PROJECT TEAM DATA

DESIGNED: MPR
DRAWN: SIL
PROJECT NO: 218-0165

29

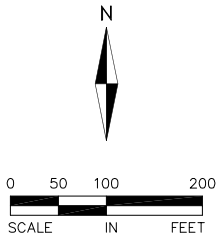
Drawing name: X:\2018\180165\plan sheets\Preliminary Plat\180165\land.dwg Jan. 24, 2019 12:36pm



LEGEND

- OVERSTORY DECIDUOUS TREES
- ORNAMENTAL TREES
- CONIFEROUS TREES
- FLOWERING & EVERGREEN SHRUBS
- PERENNIALS
- INFILTRATION AREA SEED MIX:
MN STATE SEED MIX 33-262 (DRY SWALE/POND)
- SIDE SLOPE MIX:
MN STATE SEED MIX 33-261 (STORMWATER SOUTH & WEST)
- SOD

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PRELIMINARY PLAT SUBMITTAL
LANDSCAPE PLAN - OVERALL

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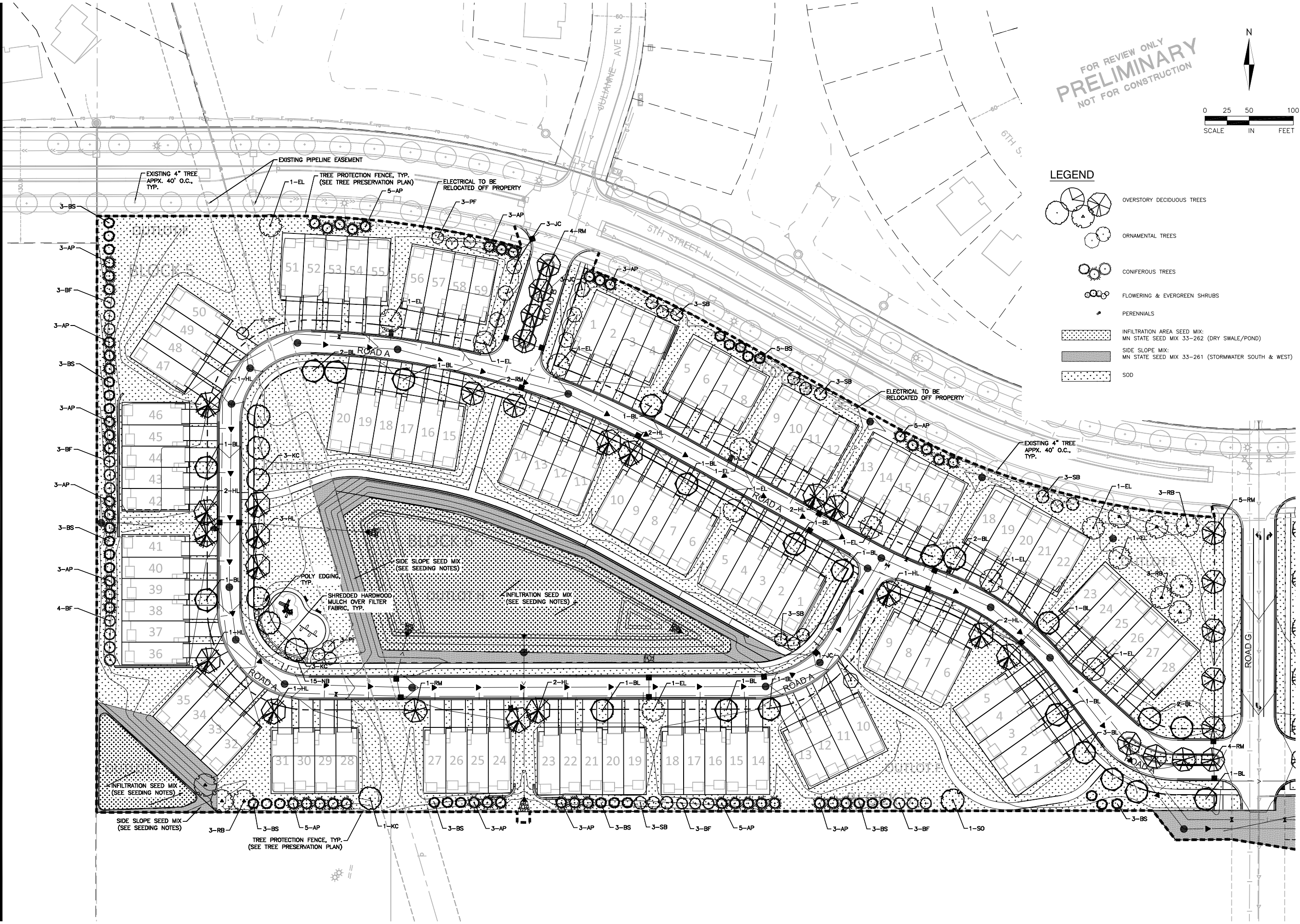
Mark Kronbeck, PLA, ASLA
1-25-19 26222
Date License No.

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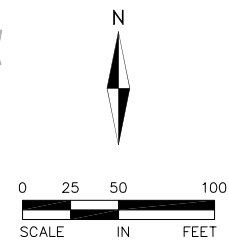
BY	DATE
DATE	ISSUE
1-25-19	CITY SUBMITTAL

PROJECT TEAM DATA
DESIGNED: MPR
DRAWN: SIL
PROJECT NO: 218-0165

Drawing name: X:\2018\180165\plan sheets\Preliminary Plat\180165land.dwg Jan 24, 2019 12:36pm



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- LEGEND**
- OVERSTORY DECIDUOUS TREES
 - ORNAMENTAL TREES
 - CONIFEROUS TREES
 - FLOWERING & EVERGREEN SHRUBS
 - PERENNIALS
 - INFILTRATION AREA SEED MIX:
MN STATE SEED MIX 33-262 (DRY SWALE/POND)
 - SIDE SLOPE MIX:
MN STATE SEED MIX 33-261 (STORMWATER SOUTH & WEST)
 - SOD

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BENTLEY VILLAGE
LAKE ELMO, MINNESOTA
PRELIMINARY PLAT SUBMITTAL
LANDSCAPE PLAN - WEST PARCEL

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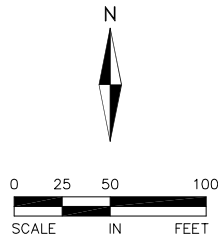
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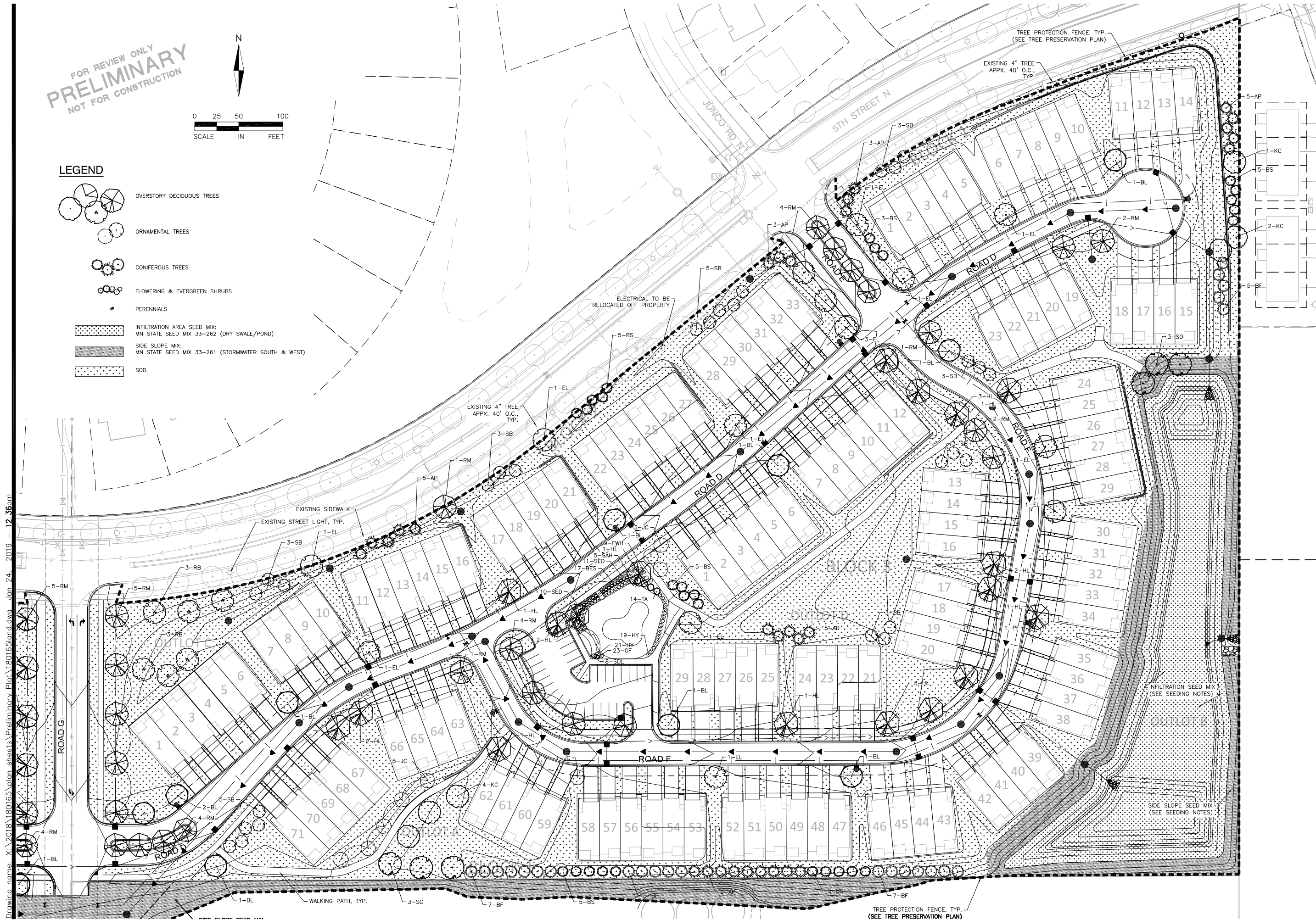
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LEGEND

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BENTLEY VILLAGE

LAKE ELMO, MINNESOTA

PRELIMINARY PLAT SUBMITTAL

LANDSCAPE PLAN - EAST PARCEL

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Mark Kronbeck

MARK KRONBECK, PLA, ASLA
1-25-19 26222
Date License No.

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PROJECT NO: 218-0165

32

SHEET 32 of 33

Drawing name: X:\2018\180165\plan sheets\Preliminary Plat\180165land.dwg Jan 24, 2019 -- 12:36pm

LANDSCAPE SCHEDULE

QTY	KEY	COMMON NAME / SCIENTIFIC NAME	SIZE	NOTES
OVERSTORY TREES - 168				
32	BL	Boulevard Linden <i>Tilia americana</i> 'Boulevard'	2.5" Cal. B&B	Straight Trunk, No V-Crotch
26	EL	Patriot Elm <i>Ulmus patriot</i>	2.5" Cal. B&B	Straight Trunk, No V-Crotch
35	HL	Northern Acclaim Honeylocust <i>Gleditsia triacanthos</i> var. <i>Inermis</i> 'Harve'	2.5" Cal. B&B	Straight Trunk, No V-Crotch
13	KC	Kentucky Coffeetree 'Espresso' <i>Gymnocladus dioicus</i> 'Espresso'	2.5" Cal. B&B	Straight Trunk, No V-Crotch
15	RB	River Birch <i>Betula nigra</i>	2.5" Cal. B&B	Straight Trunk, No V-Crotch
40	RM	Autumn Blaze Red Maple <i>Acer x freemanii</i> 'Jeffersred'	2.5" Cal. B&B	Straight Trunk, No V-Crotch
7	SO	Swamp White Oak <i>Quercus bicolor</i>	2.5" Cal. B&B	Straight Trunk, No V-Crotch
CONIFEROUS TREES - 181				
80	AP	Austrian Pine <i>Pinus nigra</i>	6' ht. B&B	Full Form
40	BF	Balsam Fir <i>Abies balsamea</i>	6' ht. B&B	Full Form
57	BS	Blackhills Spruce <i>Picea glauca densata</i>	6' ht. B&B	Full Form
4	TA	Techny Arborvitae <i>Thuja occidentalis</i> 'Techny'	6' ht. B&B	Full Form
ORNATMENTAL TREES - 67				
16	JC	Japanese Tree Lilac <i>Syringa reticulata</i>	2.5" cal. B&B	Straight Trunk, No V-Crotch
8	PC	Prairie Rose Crabapple <i>Malus</i> 'Prairie Rose'	2.5" cal. B&B	Straight Trunk, No V-Crotch
43	SB	Autumn Brilliance Serviceberry <i>Amerflanchier x grandiflora</i> 'Autumn Brilliance'	6' ht. B&B	Clump Form
SHRUBS AND PERENNIALS - 139				
23	GF	Goldflame Spirea <i>Spirea x bumalda</i> 'Goldflame'	18" ht. cont.	Min. 5 canes at ht. specified.
38	HY	Little Lime Hydrangea <i>Hydrangea paniculata</i> 'Jane'	24" ht. cont.	Min. 5 canes at ht. specified.
15	NB	Tiny Wine Ninebark <i>Physocarpus opulifolius</i> 'SMPOTW'	24" ht. cont.	Min. 5 canes at ht. specified.
8	BDL	Baja Daylily <i>Hemerocalis</i> 'Baja'	1 gal. cont.	
17	BES	Black-eyed Susan <i>Rudbekia hirta</i> 'Little Gold Star'	1 gal. cont.	
9	FWH	Francis Williams Hosta <i>Hosta sieboldiana</i> 'Francis Williams'	1 gal. cont.	
8	SAH	Sagae Hosta <i>Hosta</i> 'Sagae'	1 gal. cont.	
21	SED	Neon Sedum <i>Sedum spectabile</i> 'Neon'	1 gal. cont.	

NOTE: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN A DISCREPANCY

SEEDING NOTES:

INFILTRATION AREA SEED MIX: MN STATE SEED MIX 33–262. SEEDING RATE TO BE 44 LBS/ACRE (PURE LIVE SEED).

SIDE SLOPE MIX: MN STATE SEED MIX 33–261. SEEDING RATE TO BE 35 LBS/ACRE (PURE LIVE SEED).

APPLY SEED PER THE FOLLOWING: MULCH SEEDED AREAS WITH Mn/DOT TYPE 3 (MCIA CERTIFIED WEED FREE) MULCH AT A RATE OF 1 TON PER ACRE WITHIN 48 HOURS OF SEEDING. MULCH SHOULD THEN BE DISC ANCHORED TO KEEP IT FROM BLOWING AWAY.

SEEDING SHALL BE APPLIED FROM APRIL 15 – JULY 20 OR SEPTEMBER 20 – FREEZE UP. IF HYDROSEEDING UTILIZE APPROXIMATELY 500 GALLONS OF WATER PER ACRE. REFER TO Mn/DOT SPEC 3884 FOR PROPER INSTALLATION OF HYDRO-SEED. ALL NATIVE SEEDS USED ON THIS PROJECT SHALL BE CERTIFIED TO BE OF MINNESOTA ORIGIN BY THE MINNESOTA CROP IMPROVEMENT ASSOCIATION (MCIA). SITE TO BE PREPARED BY LOOSENING TOPSOIL TO A MINIMUM DEPTH OF 3 INCHES. THE SITE TO BE HARROWED OR RAKED FOLLOWING SEEDING, AND THEN PACKED USING A CULTI-PACKER OR EQUIVALENT. SEE MNDOT SEEDING MANUAL FOR REFERENCE.

MAINTAIN SEEDED AREAS BY WATERING, REMULCHING AND REPLANTING AS NECESSARY TO ESTABLISH A UNIFORMLY DENSE STAND OF THE SPECIFIED GRASSES UNTIL ACCEPTED. ANY AREAS FAILING TO ESTABLISH A STAND SHALL BE RESEED, REFERTILIZED AND REMULCHED WHENEVER 70% VEGETATIVE COVER IS NOT ACHIEVED. RESEEDING SHALL CONFORM IN ALL RESPECTS TO THESE SPECIFICATIONS. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO THE WORK AREAS RESULTING FROM EROSION AND/OR EQUIPMENT. THE CONTRACTOR SHALL REPAIR DAMAGE, INCLUDING REGRAIDING, RESEEDING, ETC. AS NECESSARY, BEFORE SIGNIFICANT DAMAGE OCCURS.

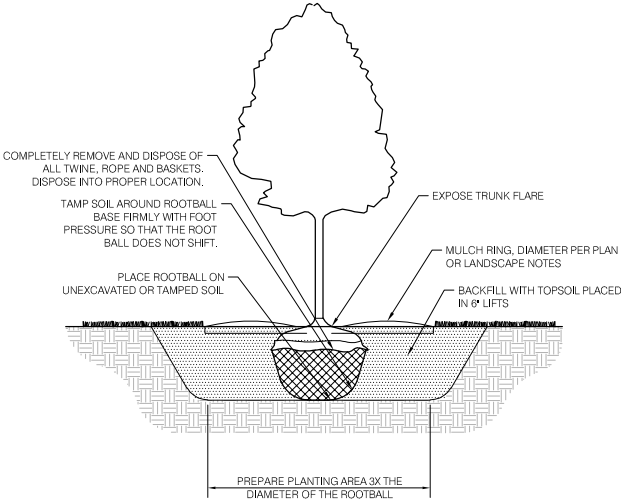
REFER TO MN STATE SEED MIX MANUAL.

PLANTING NOTES:

1. INSTALL 4" MIN. TOP SOIL TO ALL SOD AND SEED AREAS. FINE GRADE ALL SOD AND SEED AREAS.
2. STAKE OR MARK ALL PLANT MATERIAL LOCATIONS PRIOR TO INSTALLATION.
3. ALL MULCH AREAS, UNLESS SPECIFIED AS OTHER, TO BE BED MULCHED WITH 4" DEPTH OF DOUBLE SHREDDED HARDWOOD MULCH COLOR DARK BROWN OVER WEED BARRIER. POLY EDGING TO BE VALLEY VIEW BLACK DIAMOND OR APPROVED EQUAL.
4. INSTALL 4–6" DEPTH SHREDDED HARDWOOD MULCH AROUND ROOT SAUCER OF ALL TREES ISOLATED FROM PLANT BEDS.
5. PLANTING SOIL SHALL CONSIST OF 1:1:1 SELECT LOAMY TOPSOIL, PEAT MOSS, PIT RUN SAND.
6. COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE. MAKE ALL REPLACEMENTS PROMPTLY (AS PER DIRECTION OF OWNER).
7. ALL MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN.
8. ALL TREE TRUNKS SHALL BE WRAPPED WITH BROWN CREPE TREE WRAP. APPLY WRAP IN NOVEMBER AND REMOVE IN APRIL.
9. CALL GOPHER STATE ONE CALL AT 651–454–0002 FOR LOCATING ALL UNDERGROUND UTILITIES AND AVOID DAMAGE TO UTILITIES DURING THE COURSE OF THE WORK.
10. MAINTAIN ALL PLANT MATERIALS, INCLUDING WATERING, UNTIL THE TIME OF ACCEPTANCE.
11. COORDINATE INSTALLATION WITH GENERAL CONTRACTOR.
12. STAKING AND GUYING OF TREES OPTIONAL: MAINTAIN PLUMBNESS OF TREES FOR DURATION OF WARRANTY PERIOD.
13. BLEND AREAS OF CONSTRUCTION LIMITS AT PROPERTY LINES.
14. CONTRACTOR TO SUPPLY DESIGN AND INSTALLATION OF AN IRRIGATION PLAN WITH 100% COVERAGE FOR DESIGNED SOD AND SHRUB AREAS. SOD AND SHRUB AREAS TO BE ON SEPARATE ZONES. USE RAIN BIRD OR APPROVED EQUAL. INSTALL SEPARATE METER FOR IRRIGATION SYSTEM. COORDINATE WITH G.C. PROVIDE RAIN SENSOR AND INSTALL NATIVE SEED AREAS ON SEPARATE ZONES. IRRIGATION RUN TIMES IN SEEDED AREAS SHOULD BE REDUCED FOR THE ZONES SHUT DOWN AFTER THE FIRST 2 YEARS OF ESTABLISHMENT.
15. SWEEP AND WASH ALL PAVED SURFACES AND REMOVE ALL DEBRIS RESULTING FROM LANDSCAPE OPERATIONS.
16. GENERAL CONTRACTOR SHALL FOLLOW THE COUNTY/STATE SOIL & EROSION CONTROL SPECIFICATION FOR DISTURBED AREA STABILIZATION.

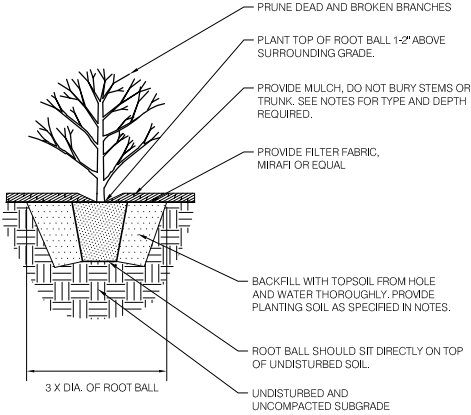
LANDSCAPE REQUIREMENTS:

TREE REPLACEMENT:	90 TREES REQUIRED
224 DBH / 2.5 INCHES: (SEE TREE PRESERVATION PLAN FOR CALCS)	
ONE TREE PER 50 FEET OF STREET FRONTAGE: 5,908.0616 FT / 50 = 118 TREES	118 TREES REQUIRED
5 TREES PER ACRE OF DEVELOPMENT: 41.56 ac x 5 = 208 TREES	208 TREES REQUIRED
	416 TOTAL TREES REQUIRED
	416 TOTAL TREES PROVIDED



- NOTES:
1. TREE STAKING IS OPTIONAL.
 2. DO NOT PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN OR DEAD BRANCHES.
 3. FOR TREES IN CONTAINERS, REMOVE CONTAINER PRIOR TO PLANTING. FOR BARE ROOT TREES, PLACE TREE IN MIDDLE OF PLANTING HOLE, SPREAD ROOTS OUT RADIIALLY FROM THE TRUNK AROUND THE PREPARED HOLE.

1 DECIDUOUS TREE PLANTING NO SCALE



2 SHRUB PLANTING NOT TO SCALE



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BENTLEY VILLAGE

LAKE ELMO, MINNESOTA

PRELIMINARY PLAT SUBMITTAL

LANDSCAPE SCHEDULE, NOTES AND DETAILS

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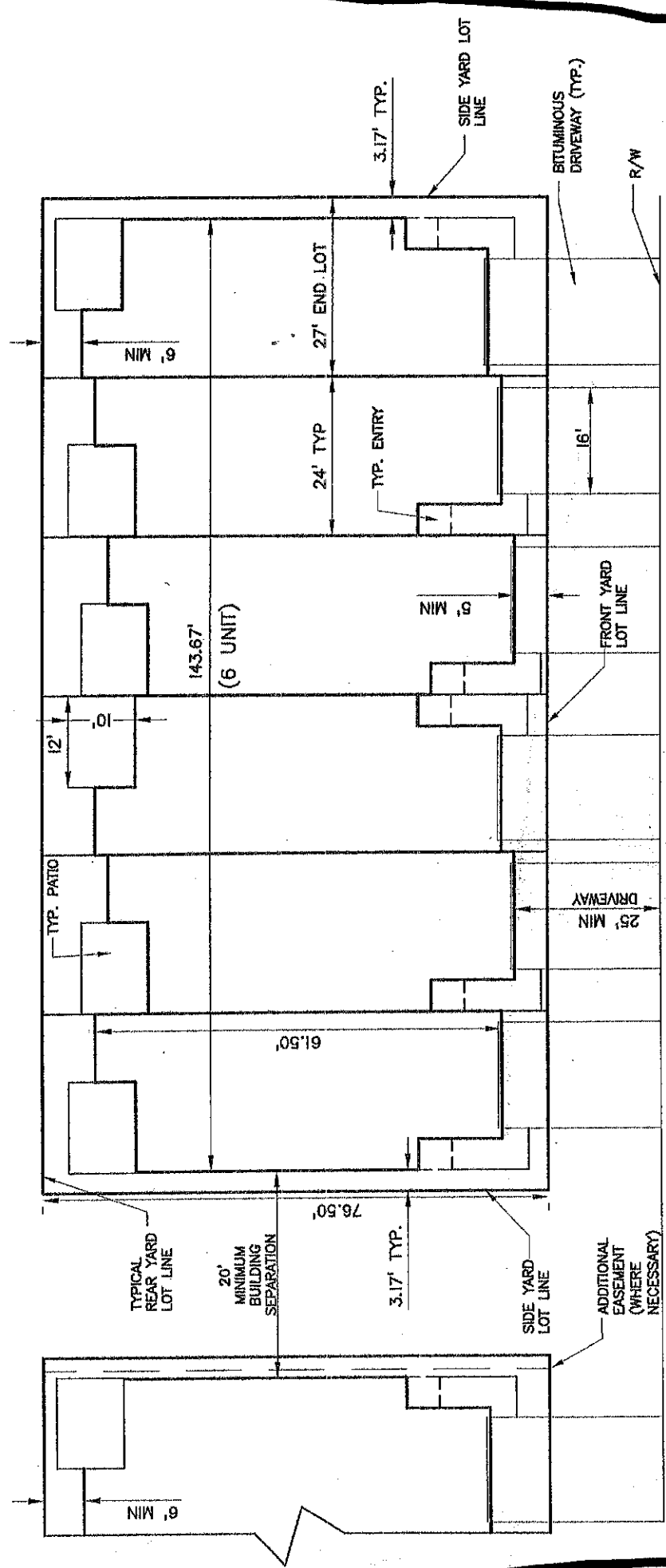
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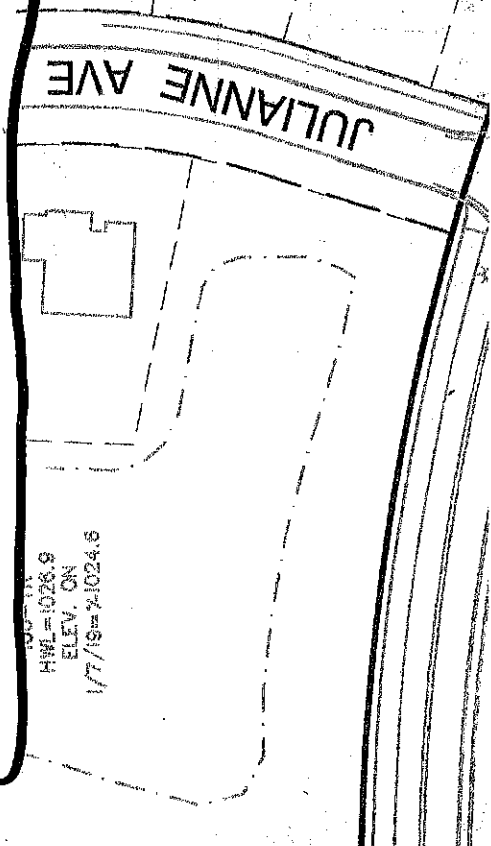
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PROJECT TEAM DATA	
DESIGNED:	MPR
DRAWN:	CKS
PROJECT NO:	218–0165

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TYPICAL TOWNHOME LOT DETAIL



100-YR HWL=1026.9 ELEV. ON 1/7/19=7-1024.6

Example Photos of Elevations



Example Photos of Elevations



Example Photos of Elevations



Example Photos of Elevations



MEMORANDUM

FOCUS ENGINEERING, inc.

Cara Geheren, P.E. 651.300.4261
Jack Griffin, P.E. 651.300.4264
Ryan Stempski, P.E. 651.300.4267
Chad Isakson, P.E. 651.300.4285

Date: February 17, 2019

To: Ken Roberts, Planning Director
Cc: Chad Isakson, Assistant City Engineer
From: Jack Griffin, P.E., City Engineer

Re: Bentley Village
Preliminary Plan Engineering Review

An engineering review has been completed for the Bentley Village Preliminary Plat/Plans. The submittal consisted of the following documentation prepared by Alliant Engineering and received on January 31, 2019:

- Preliminary Plat/Plans dated January 25, 2019.
- Stormwater Management Plan dated January 25, 2019.
- Phasing Plan dated January 25, 2019.
- Drainage and Utility Vacation Exhibits dated January 25, 2019.

STATUS/FINDINGS: Engineering has prepared the following review comments:

PRELIMINARY PLAT AND PRELIMINARY SITE PLANS

- Preliminary plat approval should be contingent upon all public improvements being designed and constructed in accordance with the City Engineering Design Standards Manual.
- Preliminary plat approval should also be contingent upon the preliminary plans being revised and approved by the City prior to the City accepting an application for any phase of final plat.
- All Outlots (A, B, C, D, E, F, G, H and I) should be shown as HOA owned. Outlot ownership should be identified on the preliminary plat and on all construction plans.
- Drainage and utility easements have been shown over all Outlots. These easements will allow for City maintenance of the storm water BMPS and storm sewer system. However, the preliminary plans must be revised to eliminate all encroachments (buildings, retaining walls, trees, small utility corridors) that result in "effective" maintenance easement areas that are less than City minimum requirements.
- The site plans and preliminary plans must be revised to show a dedicated 10-foot utility corridor along all public streets, including 5th Street North, without encroachment by other design elements (e.g. storm sewer pipe, retaining walls, buildings, landscaping, storm water retention, etc.). The easements have been provided as required but the corridors have not been reserved for the dedicated purpose.
- All storm sewer pipe easements and effective maintenance areas must be a minimum 30-feet in width. Additional width may be required for deeper storm sewer. Significant plan revisions are needed to provide the minimum 15-feet of clearance from the pipe centerline. Storm sewer closer than 15-feet from plat boundaries will require off-site easements over the adjacent property. Retaining walls are not allowed to be constructed over storm sewer.
- Written landowner permission must be submitted as part of the final plat applications for any off-site grading work and storm water discharges to adjacent properties. The proposed off-site easements must be shown on the preliminary site plans, grading plans, and utility plans.

- Typical Townhome Lot Detail. The typical Townhome Lot detail proposes a minimum setback of 25 feet from the right-of-way to the garage door. Preliminary Plat approval should identify this requirement as a condition of approval to ensure that vehicles parked in the driveway do not obstruct sidewalks.
- Driveway connections to City Streets. The site plans and preliminary plans must be revised to show all private driveways within the public right-of-way to be perpendicular to the street.
- Once driveways are shown perpendicular to the street, a detailed street/boulevard plan must be incorporated into the preliminary plans that specifically identifies each on-street parking location, dedicated areas for snow storage, hydrant placement, mail box locations, street light locations, water/sewer service locations, and landscaping improvements. The proposed parking plan does not take these conflicts into consideration.
- Landscape Plans must be revised to avoid planting conflicts with utilities and pond maintenance access. Tree plantings must remain outside of utility easements, including the 10-foot small utility corridor along all public roads, and clear from all storm water maintenance benches and access roads. Tree plantings must be offset a minimum of 10 feet from watermains, hydrants, sanitary sewer mains, storm sewers, and water/sewer services. Water/sewer services must be shown on the landscape plans.
- All proposed retaining walls should be privately owned and maintained.

PHASING PLAN

- The phasing plan includes the construction of Road G (North-South Collector Roadway) as part of Phase 1. This is beneficial to direct traffic away from 5th Street and to initiate both the east development and west development from Road G rather than 5th Street.
- The phasing plan must be included in the Final approved Preliminary Plan set.
- The phasing plan should include the watermain, sanitary sewer and storm sewer infrastructure to be completed with each phase of the development, including the storm water basin outfall piping.
- Temporary cul-de-sacs per City standard details will be required with Phase 1 and 3 and should be shown on the phasing plans.

TRANSPORTATION IMPROVEMENTS

- 5th Street North Right-of-Way Dedication. The existing collector street to the north of the site (5th Street North) was constructed by Lennar within a permanent roadway easement. This easement area must be dedicated to the City as public right-of-way as part of this development. Per the City design standards for 5th Street, a 10 ft. utility easement corridor along the south side of the 5th Street right-of-way must also be reserved for small utilities with no encroachment from the development improvements.
- Site Access from 5th Street North. The preliminary plans propose three new public street intersections with 5th Street North; one at Junco Road North; one at Julianne Avenue North; and the construction of a new north-south collector street (Road G) that will eventually connect 5th Street North with Hudson Boulevard. All proposed intersections are consistent with approved access configuration along 5th Street.
- Additional Site Access. The new public streets proposed for this development will each have secondary access to the new north-south collector street (Road G) that will eventually connect 5th Street North with Hudson Boulevard. Access spacing appears to be acceptable along the new collector street.
- Road G (New North-South Collector Street) Alignment. Road G is consistent with the City's planning efforts and the proposed street is shown in the approximate location as planned. However, there are existing sanitary sewer and watermain utilities located in the corridor. The design for this new collector street must therefore consider the existing location of these utilities and must be consistent with City right-of-way and boulevard design standards.
- Public Street Typical Sections. The preliminary plan typical sections must be updated to provide all required information consistent with City design standard details. The 10-foot utility corridors must be shown on each side for all public streets to be preserved for small utility installation. Driveway grades must be shown at 4% along boulevards, at 2% along the sidewalk, and can vary up to 10% once beyond

the public right-of-way. Any proposed landscaping within the public right-of-way must be shown on the typical sections for review by the City.

- Road G Typical Section. The Typical Section of Road G (North-South Collector Street) must be determined by the City as the plat moves forward through the process, including required right-of-way width and lane configuration. The preliminary plans propose a 40-foot wide paved street to include two 12-foot drive lanes and one 12-foot center turn lane, within a 100-foot right-of-way. The right-of-way width may be able to be reduced to 80-feet through City staff evaluation. In addition, per City design standards, 10-foot utility easements must be provided along each side of the new R/W. An 8-foot wide bituminous trail is proposed on the east boulevard to connect to the future Hudson Boulevard trail corridor and a 6-foot sidewalk is proposed on the west boulevard.
- 5th Street North Turn Lanes. Eastbound right turn lanes (RTL) along 5th Street are in place at the intersections of Road G and Junco Road but not at Julianna Avenue. A westbound left turn lane (LTL) along 5th Street is in place at the Road G intersection. Additional transportation review is necessary to evaluate if additional turn lanes should be required including an eastbound right turn lane (RTL) at Julianna Avenue and westbound left turn lanes (LTL) at Junco Road and/or Julianna Avenue.
- Road G Turn Lanes Required at intersection with 5th Street. A northbound RLT and LTL is proposed at the intersection of 5th Street North and Road G.
- The proposed development will increase traffic movements at the intersections of CSAH-19 and 5th Street North and CSAH-19 and Hudson Boulevard. A financial contribution to traffic signal and turn lane improvements to one or both of these intersections should be considered.

RESIDENTIAL STREETS AND RIGHT-OF-WAYS

- All streets are proposed to be publicly owned and maintained. Public streets are proposed to meet the City's Engineering Design Standard street width of 28-feet with 45-foot cul-de-sac radii. However, the applicant is proposing a reduced right-of-way width from the City standard 60 feet to 53 feet. The reduced width is adequate for the proposed design since boulevard trees are not proposed within the right-of-way and the street section is not centered within the right-of-way. A six (6) foot sidewalk is proposed along one side of all residential streets within a 28-foot right-of-way from centerline and the other side of the street is within a 25-foot right-of-way from centerline with no sidewalk.
- In addition to the 53-foot right-of-way, a 10-foot utility corridor must be preserved for small utility installation along both sides of the street. A 10-foot drainage and utility easement is provided through the overall Outlot easements, however the preliminary plans must be revised to eliminate all encroachments to the utility corridors. The site plans and preliminary plans must be revised to show on the plans the dedicated 10-foot utility corridors along all public streets, including the south boulevard of 5th Street.
- The proposed internal street network is well interconnected creating multiple access routes into and out of the development. Only one short cul-de-sac has been proposed.
- The street plan proposes raised landscaped medians at all entrance points. Divided roadways must be a minimum of 19 feet wide each way from back of curb to back of curb.
- The City Standard boulevard must not exceed a 4% grade to the street. The driveway grades shown on the street typical sections must be removed. Grades exceeding 4% may be used outside the right-of-way.
- Coordinated landscape plans. The boulevard layout does not accommodate boulevard trees within the public right-of-way. No boulevard trees can be placed within the 10-foot utility easements. Landscaping requirements/plans must be planned accordingly.
- The south leg of Road E, at the intersection with Road D, must be revised to provide a minimum 50-foot tangent prior to the start of the horizontal curve. All street intersections must be at 90 degrees and maintain 50 feet of tangent with maximum slopes of 2.5%. Streets must also meet City standards for horizontal and vertical curvature. The City standard minimum horizontal curve radius is 90.
- Residential maximum longitudinal grade is 8% with no sidewalks, 6% where there are sidewalks. These requirements have been met with the proposed plans.

- Surmountable concrete curb and gutter shall be installed along areas with future driveways and B618 curb installed along entrance roadways and roadway stretches with no lots. The plans must be revised to incorporate the B style curb where appropriate.

GRADING PLAN, STORMWATER MANAGEMENT AND STORM SEWER SYSTEM

- The site plan is subject to a storm water management plan meeting State, VBWD and City rules. Storm water facilities proposed as part of the site plan to meet State and VBWD permitting requirements must be constructed in accordance with the City Engineering Design Standards Manual. Preliminary Plan revisions are required to comply.
- All storm water facilities and infiltration basins have been placed in Outlots as required. Drainage and utility easements have been proposed over all of each Outlot to facilitate maintenance by the City.
- The Stormwater facility Outlots must fully incorporate the 100-year HWL, 10-foot maintenance bench, and all maintenance access roads.
- Stormwater Ponds must be constructed meeting City standards. Stormwater forebays require a 10:1 safety bench at the NWL with the NWL shown on the plans. Designated maintenance access roads, 20 feet in width, must be provided for all storm water facilities and must extend from the public right-of-way to the maintenance bench with grades not exceeding 10%. Basin grading must also provide a maintenance bench from the access road to all storm sewer inlets and outfall pipe locations.
- Infiltration basin A proposes significant grading within the existing gas pipeline easement. Documentation must be provided by the gas main owner to demonstrate approval for this grading impact. The preliminary plans and existing conditions plan must be updated to show the existing gas main location including pipe size, material and depth.
- The NWL (forebays) and 100-year HWL basin elevations, and 100-year HWL contour must be shown on the plans for each storm water facility to facilitate plan review. The maintenance access roads/benches must be clearly shown to verify no obstructions (including landscaping) within the access locations.
- Infiltration Basin C capacity is required to meet volume control requirements, but the basin must be relocated. Infiltration basins are not allowed in Type D soils. The basin also appears to be within 35 feet of an off-site septic system to the south (see existing conditions plan). No maintenance access is proposed.
- Additional borings are required for each infiltration basin. A minimum of 2 borings are required per basin and must be obtained from within the actual proposed basin location. Additional borings are required for basins larger than 10,000 square feet (see engineering design standards manual).
- Overland emergency overflows have been provided as required. All emergency overflow elevations must be fully protected by drainage easement.
- All lots must have the minimum floor elevation at least 2 feet above any BMP 100-year HWL and at least 1-foot above any emergency overflow point. These conditions appear to have been met with the proposed preliminary plans.
- The 100-year HWL must be calculated and the 100-year HWL contour placed on the plans for all localized catch basin low points and the entire 100-year HWL must be fully protected by drainage and utility easement. This information has not been provided.
- The maximum curb run prior to a catch basin is 350 feet. The preliminary plans appear to meet this standard. Additional CBs may be required along Road F between STA 0+00 and STA 3+62 to enhance drainage through flat area.
- Additional storm sewer and CBs will likely be required along Road G to accommodate the wider street pavement widths and drainage from 5th Street North.
- Minimum storm sewer pipe size is 15-inch except for the storm sewer lead pipe located within paved streets. The storm sewer must be increased to the minimum 15-inch pipe for storm runs from CB218-CB216; CB217-CB216; CB206-CB204; CB319-CB318; CB317-CB316; CB403-CB402.
- The storm water model assumes a 12" x 6" orifice. This detail should be added to the storm sewer plans.

- The storm sewer system shall be designed to maintain the City standard **minimum** pipe cover of 3.0 feet. Drain tile is required as part of the City standard street section at all localized low points in the street. Drain tile considerations may impact the storm sewer design and depth requirements at low points.
- Street Grades. Street profile design should not include minimum grades to allow for construction tolerances. The Road A street profile grades from STA 19+00 to STA 21+50 and Road F street profile grades from STA 1+50 to STA 5+00 should be increased to avoid flat areas and potential standing water in the curb line.

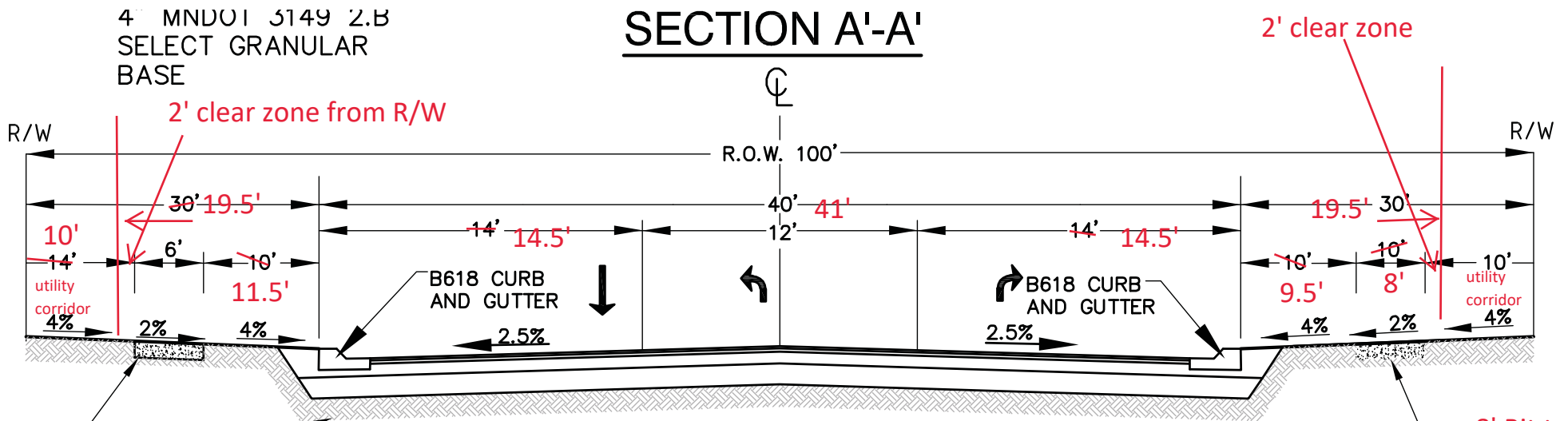
MUNICIPAL SANITARY SEWER

- The development is proposing 240 REC units that will be discharged to the MCES WONE Interceptor. This is consistent with the Comprehensive Sewer Plan. The applicant will be responsible to connect to the City sanitary sewer system located along the alignment for the future collector roadway and extend sanitary sewer into the property at applicant's sole cost.
- Reconfiguration of the sanitary sewer connection points may be required. The preliminary plans show the sanitary sewer connection to be made outside of the plat boundaries on the adjacent property to the south. The preliminary plans identify proposed drainage and utility easements necessary to make this connection. Additional drainage and utility easement will be required to meet the City minimum 15-foot from the pipe centerline. Written permission from the adjacent property owner must be submitted with any final plat demonstrating the ability to acquire the necessary easements.
- The applicant may be required to stub sanitary sewer mains to adjacent properties if needed to maintain sewer access to all adjacent parcels (to be reviewed with final plans).
- Any main sewer lines not installed within public right-of-way will require minimum 30-foot easements centered over the pipe (or wider dependent upon the sewer depths) dedicated to the City and in the form of the City's Utility Easement Agreement.
- The preliminary plans must be updated to show the sanitary sewer services.

MUNICIPAL WATER SUPPLY

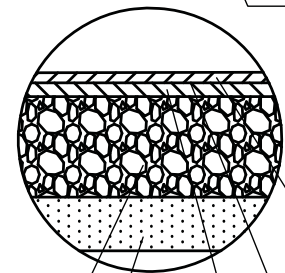
- The applicant will be responsible to extend municipal water into the development at its sole cost and will be required to construct a looped watermain network with multiple connection points. It is assumed that all of the property can be served by the City's high-pressure zone. Watermain should be installed along Road B and connected to existing watermain in 5th Street North at Julianne Avenue and watermain should be installed along Road E and connected to existing watermain in 5th Street North at Junco Road.
- The applicant may be required to provide watermain stub(s) to adjacent properties to maintain water access to all adjacent properties. Watermain stubs should be extended to the adjacent property to the south of the development near the west and east ends of the plat boundaries.
- No watermain pipe oversizing is anticipated at this time. Further review will be completed as the application moves forward through the process.
- Reconfiguration of the watermain connection points may be required. The preliminary plans show the watermain connections to be made outside of the plat boundaries on the adjacent property to the south. The preliminary plans identify proposed drainage and utility easements necessary to make this connection. Additional drainage and utility easement will be required to meet the City minimum 15-foot from the pipe centerline. Written permission from the adjacent property owner must be submitted with any final plat demonstrating the ability to acquire the necessary easements.
- The applicant will be responsible to place hydrants throughout the property at the direction of the Fire Department. Hydrant and system valve requirements and placement will be addressed as part of final plat and construction plan review. All fire hydrants shall be owned and maintained by the City.
- Any watermain lines and hydrants placed within the development will require minimum 30-foot easements centered over the pipe. Easements must be dedicated to the City and be provided in the City's standard form of easement agreement.

SECTION A'-A'



COLLECTOR ROAD SECTION "ROAD G" - SECTION C'-C'

8" AGGREGATE BASE CLASS 5, 100% CRUSHED STONE
AGGREGATE (SPEC 3138)
12" GRANULAR BORROW (SPEC 3149.2B)



8' Bit trail
10' BIT TRAIL
2"-2 1/4" BIT
8" CLASS 6, AG

2"-MNDOT
MAX AGGR
TACK COAT
2"-MNDOT
MAX AGGRE

COLLECTOR PAVEMENT SECTION



To: Ken Roberts, City of Lake Elmo Planning Director
From: Lucius Jonett, Wenck Landscape Architect
Date: February 15, 2019
Subject: City of Lake Elmo Landscape Plan Review
Bentley Village Preliminary Plat, Review #1

Submittals

- Tree Preservation Plan, dated 1-25-2019, received 2-01-2019 .
- Preliminary Landscape Plans, dated 1-25-2019, received 2-01-2019.

Location: Northwest quadrant of the intersection of Keats Ave. N & Interstate Hwy 94, Lake Elmo, MN. South of the Savona Development.

Land Use Category: Urban Medium Density Residential

Surrounding Land Use Concerns: The property to the north (Savona Development) is Urban Low Density Residential and is less intensive land use than this proposed Urban Medium Density Residential. The properties to the west (Lampert's lumber yard), east and south are, or are guided, to be Commercial zones which are more intensive land use than this proposed Urban Medium Density Residential.

Special landscape provisions in addition to the zoning code: This proposed development will be required to provide screening along all borders North, South, West and East consisting of either a masonry wall or fence in combination with landscape material that forms a screen at least six feet in height and not less than 90% opaque on a year-round basis.

Tree Preservation:

- A. A tree preservation plan has been submitted that **does not** meet all requirements.
1. Significant trees are appropriately designated:
 - i. Over 6" DBH for hardwood deciduous trees (Birch, Cherry, Hickory, Ironwood, Hard Maples, Oak and Walnut). Tree Tag # 1756, 1757, and 1758 are significant hardwood trees and were not included in the tree replacement calculations.
 - ii. Over 12" DBH for common trees (Ash, Aspen, Basswood, Catalpa, Elm, Hackberry, Locust, Poplar, Silver Maple, Willow and any other tree not defined as a hardwood deciduous tree or a coniferous/evergreen tree). Tree Tag # 992, 994, and 996 are not significant common trees and were included in the tree replacement calculations.

Entire Site		
Total Caliper Inches of Significant Trees On-Site:	915	Cal Inches
Common Trees	280	
Conifer/Evergreen Trees	0	
Hardwood Trees	635	
Significant Inches Removed On-Site	767	Cal Inches
Common Trees	279	
Conifer/Evergreen Trees	0	
Hardwood Trees	488	
30% Tree Removal Limits (Cal. Inches)	Allowed	Proposed
Subtract Common Tree Removals	84	279
Subtract Conifer/Evergreen Tree Removals	0	0
Subtract Hardwood Tree Removals	190.5	488
Removals in excess of 30% allowances		
Removals in excess of 30% allowances	492.5	Cal Inches
Common Removals in Excess of 30% Allowance	195.0	
Conifer Removals in Excess of 30% Allowance	0.0	
Hardwood Removals in Excess of 30% Allowance	297.5	
Common Tree Replacement Needed (1/4 the dia inches removed)	48.8	Cal Inches
Conifer Tree Replacement Needed (1/2 the dia inches removed)	0.0	Cal Inches
Hardwood Tree Replacement Needed (1/2 the dia inches removed)	148.8	Cal Inches
Common Tree Replacement Required @ 2.5" per Tree	20	# Trees
Conifer Tree Replacement Required @ 3" per 6' Tall Tree	0	# Trees
Hardwood Tree Replacement Required @ 2.5" per Tree	60	# Trees

- B. There is a significant tree on the property. Tree ID #2742 – 44" DBH Oak. The tree is not marked for removal.
- C. Tree replacement is required because more than thirty (30) percent of the diameter inches of significant trees surveyed will be removed.

- D. Tree replacement calculations **do not** follow the current required procedure as of the ordinance updates approved on 9-19-2018:
1. A calculation must be provided which breaks out the number of inches removed for hardwood, evergreen/coniferous, and common trees. The 30% removal figure applies to each category individually and trees over the 30% allowance are to be replaced according to:
 - i. Common tree species shall be replaced with new trees at a rate of one-fourth ($1/4$) the diameter inches removed.
 - ii. Coniferous/evergreen tree species shall be replaced with new coniferous or evergreen trees at a rate of one-half ($1/2$) the diameter inches removed. Since coniferous species are often sold by height rather than diameter inch, the following conversion formula can be used: $\text{Height of Replacement Coniferous Tree} / 2 = \text{Diameter Inches of Credit}$
 - iii. Hardwood deciduous tree species shall be replaced with new hardwood deciduous trees at a rate of ($1/2$) the diameter inches removed.
- E. This project is residential development; therefore mitigation replacement trees shall be in addition to landscape required tree counts.

Landscape Requirements:

The preliminary landscape plans meet the code required number of trees.

Preliminary Plan (Code Required) Proposed			
Street frontage	5908		Lineal Feet
Lake Shore	0		Lineal Feet
Stream Frontage	0		Lineal Feet
Total Linear Feet	5908		Lineal Feet
/50 Feet = Required Frontage Trees	119		Trees
Development or Disturbed Area	-		SF
Development or Disturbed Area	41.6		Acres
*5 = Required Development Trees	208		Trees
Interior Parking Lot Spaces*	28		Spaces
/10 = Required Parking Lot Trees	0		Trees
Required Mitigation Trees	80		
Required Number of Trees (**)	407		
Total Trees to Date		416	

* Parking lot landscaping or screening trees are included in landscape required tree Counts.

None if 0 - 30 Parking Spaces

** Residential development - mitigation replacement trees are in addition to landscape required tree Counts.

1. A minimum one (1) tree **is not** proposed for every fifty (50) feet of street frontage.
2. A minimum of five (5) trees are proposed to be planted for every one (1) acre of land that is developed or disturbed by development activity.

The landscape plans **do not** meet the minimum compositions of required trees:

- Up to 15% of the required number of trees may be ornamental tree

Master Plan	Qty	% Composition	
Deciduous Shade Trees	168	40%	>25% required
Coniferous Trees	181	44%	>25% required
Ornamental Trees	67	16%	<15% required

Tree Count 416

- A. A landscape plan has been submitted that **does not** include all requirements.
 1. Landscaped areas should be of adequate size to allow proper plant growth, protect plantings from vehicular and pedestrian traffic, and provide adequate areas for plant maintenance.
 2. The landscape plan **does not** include required City standard notes and details.
 3. All **utilities** and pavements are not shown on the landscape plan to review for tree placement conflicts.

- B. The landscape plan **does not** include the landscape layout requirements:

Topsoil Minimum 6-inch

- C. Interior Parking Lot Landscaping – The development does include interior parking lots, but the number of parking spaces falls below the threshold of additional landscape requirements.
- D. Perimeter Parking Lot Landscaping – The development does not include perimeter parking lots.
- E. Screening – The landscape plan **does not** meet screening requirements.

Screening **is** required by City code. Screening shall be used to provide visual and noise separation of intensive uses from less intensive uses. Where screening is required in the City Code between uses or districts, it shall consist of either a masonry wall or fence in combination with landscape material that forms a screen at least six (6) feet in height, and not less than ninety percent (90%) opaque on a year-round basis. Landscape material shall include trees, planted at a minimum of one deciduous or coniferous tree per forty (40) linear feet along the property line. Additional landscape material such as shade trees or trellises may be required to partially screen views from above.

Special Landscape Considerations:

- A. 5th Street – The development is along 5th Street, which has been previously or is schedule to be constructed by other developments. No additional landscape requirements are required of this applicant.

Findings:

1. Indication of 3 trees as significant and 3 trees as not significant was incorrect. This impacts the tree replacement calculation. The application is also using an incorrect tree replacement calculation and not following the updated formula that is required with the updates to Ordinance 08-220 on 9-19-2018. Following the current replacement calculation formula requires less tree replacement than the applicant is proposing.
2. Applicant rounded the required number of trees for road frontage at 118.16 down to 118. Application should round up on any fractions of trees.
3. Too many ornamental trees are used in the landscape plan, exceeding the 15% maximum composition. Applicant should revise the planting plan and schedule as needed to make sure the quantity of ornamental trees is less than 15% of the proposed tree planting.
4. Tree symbols are not drawn to full mature size on the proposed landscape plans and should be updated to make sure there is adequate landscape space between property lines and buildings. An example is on the southern property line where the buildings are approximately 18' from the property line. The Austrian pines are drawn at 12' diameter, while their mature diameter is 30' to 40'. There is not enough room for the mature trees

in this location. Applicant should update the scale of the proposed plantings and make adjustments to the layout (trees or buildings) as required.

5. City standard landscape details and notes have not been used. Applicant should include the City standard landscape notes and details in the drawings and remove their notes that are no longer applicable.
6. Utilities are not shown on the landscape plans to review for utility conflicts. Applicant should include that layer in the landscape drawings.
7. Topsoil depth is incorrectly labeled in the planting notes on sheet 33 as 4" minimum. City standard is 6" minimum. Applicant should update the note to the correct depth of 6".
8. Top soil depth is to be 6" and is called out correctly on cross-section drawings, however note 1 in the planting notes on sheet 33 states 4" of topsoil. Note needs to be updated.
9. A single, straight row of evergreen trees is inadequate for screening as proposed on the West and South property lines. Vegetative screening should consist of more than one row of evergreen trees and include a row of other trees or native shrubs in front of the evergreens to soften the "development wall" effect. The layout of the proposed screening on the East boundary is the minimum acceptable trees for screening and should include native shrubs to provide additional screening depth. The applicant should reconsider the layout of the proposed vegetative screen or consider other screening elements such as masonry wall or fences in combination with landscape material to provide screening.
10. Requiring full screening along the north property line (5th Street) is not recommended as it will interfere with the required boulevard tree plantings in the 5th Street Design Guidelines. The proposed plantings along 5th street are not drawn to mature scale and when updated may require relocation so the trees are not growing into the 5th street boulevard trees or the buildings. Applicant should update the scale of the proposed plantings and make adjustments to the layout (trees or buildings) as required.

Recommendation:

It is recommended that condition of approval include:

1. Submit a revised landscape plan addressing the findings above.

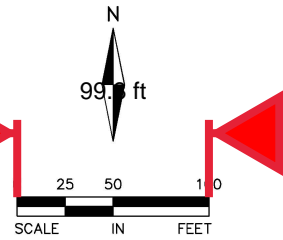
Sincerely,



Lucius Jonett, PLA (MN)
Wenck Associates, Inc.
City of Lake Elmo Municipal Landscape Architect

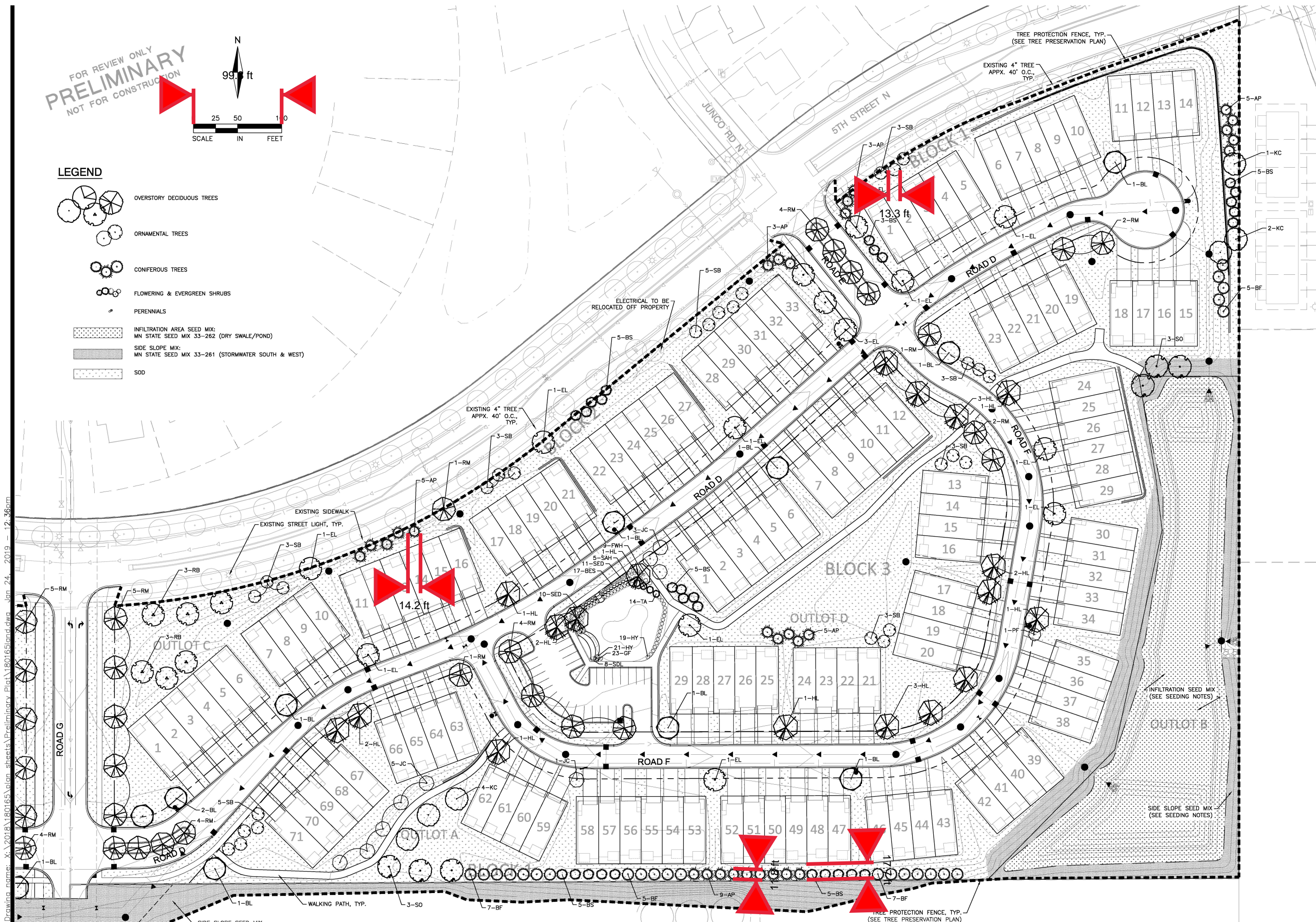
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FOR REVIEW ONLY
PRELIMINARY
NOT FOR CONSTRUCTION



LEGEND

- OVERSTORY DECIDUOUS TREES
- ORNAMENTAL TREES
- CONIFEROUS TREES
- FLOWERING & EVERGREEN SHRUBS
- PERENNIALS
- INFILTRATION AREA SEED MIX:
MN STATE SEED MIX 33-262 (DRY SWALE/POND)
- SIDE SLOPE MIX:
MN STATE SEED MIX 33-261 (STORMWATER SOUTH & WEST)
- SOD



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www.alliant-inc.com



BENTLEY VILLAGE

LAKE ELMO, MINNESOTA

PRELIMINARY PLAT SUBMITTAL

LANDSCAPE PLAN - EAST PARCEL

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed LANDSCAPE ARCHITECT under the laws of the State of MINNESOTA

Mark Kronbeck

MARK KRONBECK, PLA, ASLA
1-25-19 26222
Date License No.

QUALITY ASSURANCE/CONTROL

BY	DATE
DATE	ISSUE
1-25-19	CITY SUBMITTAL

PROJECT TEAM DATA
DESIGNED: MPR
DRAWN: SIL
PROJECT NO: 218-0165

32



To: Ken Roberts, City of Lake Elmo Planning Director
From: Lucius Jonett, Wenck Landscape Architect
Date: March 6, 2019
Subject: City of Lake Elmo Landscape Plan Review
Bentley Village Preliminary Plat, Review #2

Submittals

- Tree Preservation Plan, dated 1-25-2019, received 2-01-2019.
- Preliminary Landscape Plans, dated 1-25-2019, received 2-01-2019.

Meetings

- A design review meeting was held on February 28, 2019 with the applicant and City staff attending to review and discuss the findings in the preliminary plat landscape review #1, dated 2-11-2019.

Location: Northwest quadrant of the intersection of Keats Ave. N & Interstate Hwy 94, Lake Elmo, MN. South of the Savona Development.

Land Use Category: Urban Medium Density Residential

Surrounding Land Use Concerns:

The property to the north (Savona Development) is Urban Low Density Residential and is less intensive land use than the proposed Urban Medium Density Residential. Screening is required on the north boundary.

The properties to the west (Lampert's lumber yard), east and south are, or are guided, to be Commercial or Mixed-Use Commercial zones which are more intensive land use than this proposed Urban Medium Density Residential. Screening is not required on the west, east or south boundaries.

Special landscape provisions in addition to the zoning code: This proposed development will be required to provide screening along all borders North, South, West and East consisting of either a masonry wall or fence in combination with landscape material that forms a screen at least six feet in height and not less than 90% opaque on a year-round basis.

Tree Preservation:

- A. A tree preservation plan has been submitted that **does not** meet all requirements.
1. Significant trees are appropriately designated:
 - i. Over 6" DBH for hardwood deciduous trees (Birch, Cherry, Hickory, Ironwood, Hard Maples, Oak and Walnut). Tree Tag # 1756, 1757, and 1758 are significant hardwood trees and were not included in the tree replacement calculations.
 - ii. Over 12" DBH for common trees (Ash, Aspen, Basswood, Catalpa, Elm, Hackberry, Locust, Poplar, Silver Maple, Willow and any other tree not defined as a hardwood deciduous tree or a coniferous/evergreen tree). Tree Tag # 992, 994, and 996 are not significant common trees and were included in the tree replacement calculations.

		Entire Site	
Total Caliper Inches of Significant Trees On-Site:		915	Cal Inches
Common Trees		280	
Conifer/Evergreen Trees		0	
Hardwood Trees		635	
Significant Inches Removed On-Site		767	Cal Inches
Common Trees		279	
Conifer/Evergreen Trees		0	
Hardwood Trees		488	
30% Tree Removal Limits (Cal. Inches)		Allowed	Proposed
Subtract Common Tree Removals		84	279
Subtract Conifer/Evergreen Tree Removals		0	0
Subtract Hardwood Tree Removals		190.5	488
Removals in excess of 30% allowances			
Removals in excess of 30% allowances		492.5	Cal Inches
Common Removals in Excess of 30% Allowance		195.0	
Conifer Removals in Excess of 30% Allowance		0.0	
Hardwood Removals in Excess of 30% Allowance		297.5	
Common Tree Replacement Needed (1/4 the dia inches removed)		48.8	Cal Inches
Conifer Tree Replacement Needed (1/2 the dia inches removed)		0.0	Cal Inches
Hardwood Tree Replacement Needed (1/2 the dia inches removed)		148.8	Cal Inches
Common Tree Replacement Required @ 2.5" per Tree		20	# Trees
Conifer Tree Replacement Required @ 3" per 6' Tall Tree		0	# Trees
Hardwood Tree Replacement Required @ 2.5" per Tree		60	# Trees

- B. There is a significant tree on the property. Tree ID #2742 – 44" DBH Oak. The tree is not marked for removal.
- C. Tree replacement is required because more than thirty (30) percent of the diameter inches of significant trees surveyed will be removed.

- D. Tree replacement calculations **do not** follow the current required procedure as of the ordinance updates approved on 9-19-2018:
1. A calculation must be provided which breaks out the number of inches removed for hardwood, evergreen/coniferous, and common trees. The 30% removal figure applies to each category individually and trees over the 30% allowance are to be replaced according to:
 - i. Common tree species shall be replaced with new trees at a rate of one-fourth ($1/4$) the diameter inches removed.
 - ii. Coniferous/evergreen tree species shall be replaced with new coniferous or evergreen trees at a rate of one-half ($1/2$) the diameter inches removed. Since coniferous species are often sold by height rather than diameter inch, the following conversion formula can be used: $\text{Height of Replacement Coniferous Tree} / 2 = \text{Diameter Inches of Credit}$
 - iii. Hardwood deciduous tree species shall be replaced with new hardwood deciduous trees at a rate of ($1/2$) the diameter inches removed.
- E. This project is residential development; therefore mitigation replacement trees shall be in addition to landscape required tree counts.

Landscape Requirements:

The preliminary landscape plans meet the code required number of trees.

Preliminary Plan (Code Required) Proposed			
Street frontage	5908		Lineal Feet
Lake Shore	0		Lineal Feet
Stream Frontage	0		Lineal Feet
Total Linear Feet	5908		Lineal Feet
/50 Feet = Required Frontage Trees	119		Trees
Development or Disturbed Area	-		SF
Development or Disturbed Area	41.6		Acres
*5 = Required Development Trees	208		Trees
Interior Parking Lot Spaces*	28		Spaces
/10 = Required Parking Lot Trees	0		Trees
Required Mitigation Trees	80		
Required Number of Trees (**)	407		
Total Trees to Date		416	

* Parking lot landscaping or screening trees are included in landscape required tree Counts.

None if 0 - 30 Parking Spaces

** Residential development - mitigation replacement trees are in addition to landscape required tree Counts.

1. A minimum one (1) tree **is not** proposed for every fifty (50) feet of street frontage.
2. A minimum of five (5) trees are proposed to be planted for every one (1) acre of land that is developed or disturbed by development activity.

The landscape plans **do not** meet the minimum compositions of required trees:

- Up to 15% of the required number of trees may be ornamental tree

Master Plan	Qty	% Composition	
Deciduous Shade Trees	168	40%	>25% required
Coniferous Trees	181	44%	>25% required
Ornamental Trees	67	16%	<15% required

Tree Count 416

- A. A landscape plan has been submitted that **does not** include all requirements.
 1. Landscaped areas should be of adequate size to allow proper plant growth, protect plantings from vehicular and pedestrian traffic, and provide adequate areas for plant maintenance.
 2. The landscape plan **does not** include required City standard notes and details.
 3. All **utilities** and pavements are not shown on the landscape plan to review for tree placement conflicts.

B. The landscape plan **does not** include the landscape layout requirements:

Topsoil Minimum 6-inch

C. Interior Parking Lot Landscaping – The development does include interior parking lots, but the number of parking spaces falls below the threshold of additional landscape requirements.

D. Perimeter Parking Lot Landscaping – The development does not include perimeter parking lots.

E. Screening – The landscape plan does meet screening requirements.

Special Landscape Considerations:

A. 5th Street – The development is along 5th Street, which has been previously or is schedule to be constructed by other developments. No additional landscape requirements are required of this applicant.

Findings:

1. Indication of 3 trees as significant and 3 trees as not significant was incorrect. This impacts the tree replacement calculation. The application is also using an incorrect tree replacement calculation and not following the updated formula that is required with the updates to Ordinance 08-220 on 9-19-2018. Following the current replacement calculation formula requires less tree replacement than the applicant is proposing.
2. Applicant rounded the required number of trees for road frontage at 118.16 down to 118. Application should round up on any fractions of trees.
3. Too many ornamental trees are used in the landscape plan, exceeding the 15% maximum composition. Applicant should revise the planting plan and schedule as needed to make sure the quantity of ornamental trees is less than 15% of the proposed tree planting.
4. Tree symbols are not drawn to full mature size on the proposed landscape plans and should be updated to make sure there is adequate landscape space between property lines and buildings. An example is on the southern property line where the buildings are approximately 18' from the property line. The Austrian pines are drawn at 12' diameter, while their mature diameter is 30' to 40'. There is not enough room for the mature trees in this location. Applicant should update the scale of the proposed plantings and make adjustments to the layout (trees or buildings) as required.
5. City standard landscape details and notes have not been used. Applicant should include the City standard landscape notes and details in the drawings and remove their notes that are no longer applicable.
6. Building service utilities are not shown on the landscape plans to review for utility conflicts with proposed plantings. Applicant should include that layer in the landscape drawings.

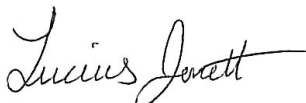
7. Topsoil depth is incorrectly labeled in the planting notes on sheet 33 as 4" minimum. City standard is 6" minimum. Applicant should update the note to the correct depth of 6".
8. Requiring full screening along the north property line (5th Street) is not recommended as it will interfere with the required boulevard tree plantings in the 5th Street Design Guidelines. The proposed plantings along 5th street are not drawn to mature scale and when updated may require relocation so the trees are not growing into the 5th street boulevard trees or the buildings. Applicant should update the proposed planting symbols to show mature diameters for the proposed species and make adjustments to the layout (trees or buildings) as required.
9. The property to the South is currently vacant land (Rural Development Transitional guided for Commercial development in 2030 Comprehensive Plan and Mixed Use Commercial in draft 2040 Comprehensive Plan). Currently vacant can be interpreted as a currently less intensive use than this proposed development and by ordinance would require screening. Because the property to the South is planned to be a more intensive land use, then by ordinance future development of the South properties would be required to provide screening. The proposed single row planting along the south property of this development's preliminary plat is a fair compromise for current conditions. If the development occurs in multiple phases, each phase should be evaluated for changes of intensity along the southern border, and screening requirements adjusted accordingly.

Recommendation:

It is recommended that condition of approval include:

1. Submit a revised landscape plan addressing findings 1 through 8 above.

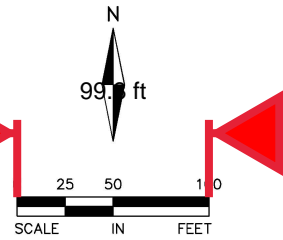
Sincerely,



Lucius Jonett, PLA (MN)
Wenck Associates, Inc.
City of Lake Elmo Municipal Landscape Architect

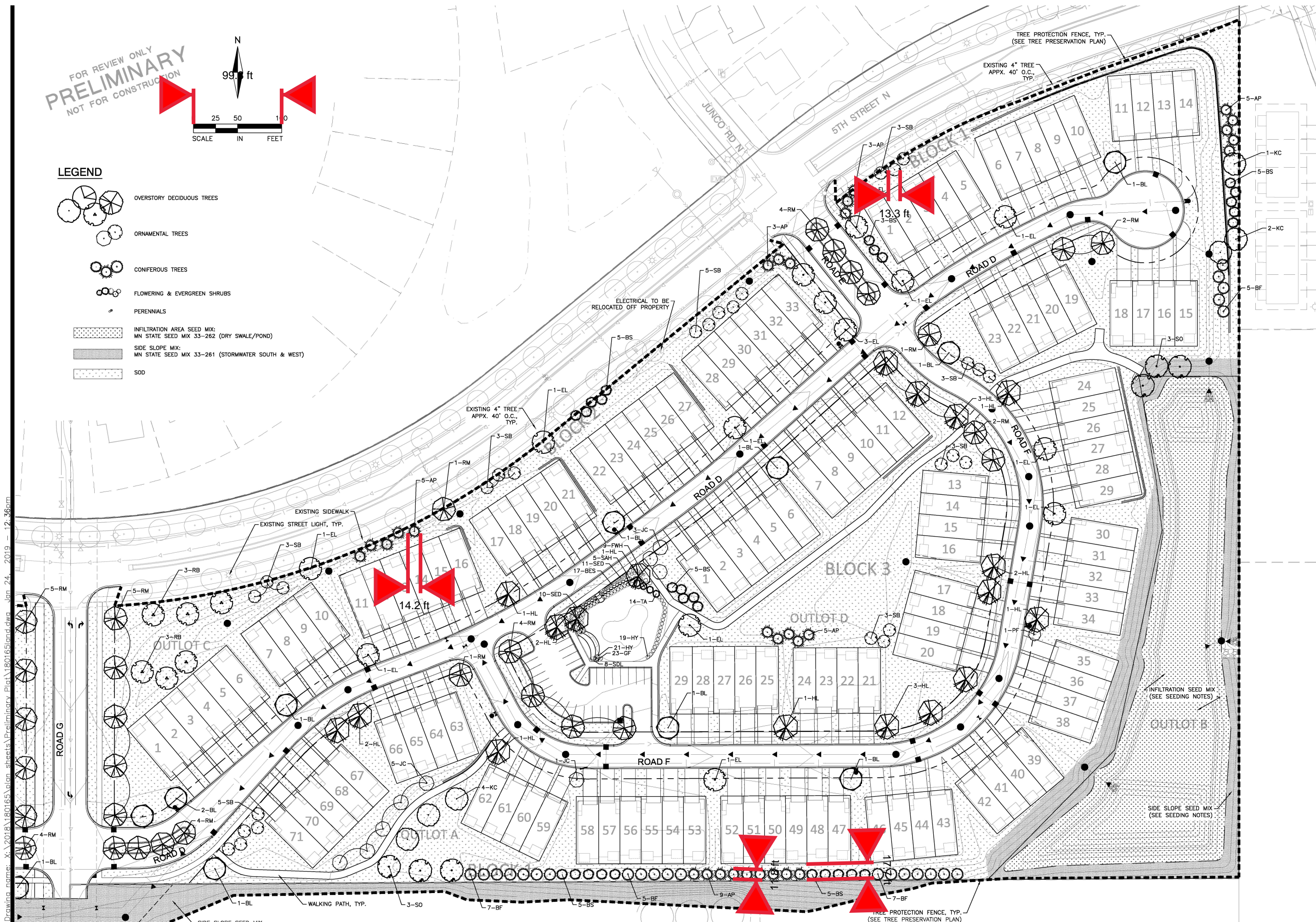
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FOR REVIEW ONLY
PRELIMINARY
NOT FOR CONSTRUCTION



LEGEND

- OVERSTORY DECIDUOUS TREES
- ORNAMENTAL TREES
- CONIFEROUS TREES
- FLOWERING & EVERGREEN SHRUBS
- PERENNIALS
- INFILTRATION AREA SEED MIX:
MN STATE SEED MIX 33-262 (DRY SWALE/POND)
- SIDE SLOPE MIX:
MN STATE SEED MIX 33-261 (STORMWATER SOUTH & WEST)
- SOD



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612.758.3080
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BENTLEY VILLAGE

LAKE ELMO, MINNESOTA

PRELIMINARY PLAT SUBMITTAL

LANDSCAPE PLAN - EAST PARCEL

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed LANDSCAPE ARCHITECT under the laws of the State of MINNESOTA

Mark Kronbeck

MARK KRONBECK, PLA, ASLA
1-25-19 26222
Date License No.

QUALITY ASSURANCE/CONTROL

BY	DATE
DATE	ISSUE
1-25-19	CITY SUBMITTAL

PROJECT TEAM DATA
DESIGNED: MPR
DRAWN: SIL
PROJECT NO: 218-0165

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**City of Lake Elmo
Planning Commission Meeting
Minutes of February 25, 2019**

Chairman Weeks called to order the meeting of the Lake Elmo Planning Commission at 7:00 p.m.

COMMISSIONERS PRESENT: Cadenhead, Weeks, Hartley, Holtz, Steil and Risner

COMMISSIONERS ABSENT: Johnson

STAFF PRESENT: Planning Director Roberts, City Planner Prchal & Fire Chief Malmquist

Approve Agenda:

M/S/P: Holtz/Hartley, move to approve the agenda as presented, ***Vote: 6-0, motion carried unanimously.***

Approve Minutes: February 11, 2019

M/S/P: Hartley/Cadenhead, move to approve the February 11, 2019 minutes as amended, ***Vote: 6-0, motion carried unanimously.***

Public Hearing – Preliminary Plat, Easement Vacations and Rezoning – Pulte Homes

Roberts started his presentation regarding the application from Pulte Homes on Minnesota for a preliminary plat, easement vacation and a rezoning to develop a townhouse project called Bentley Village. This development is on the south side of 5th Street and will have 240 attached townhomes on approximately 41.6 acres for an average density of 5.77 units per acre. The developer has been working on refining the plan based on comments from the concept review.

These townhomes would be privately owned and governed by a homeowners association. The developer is proposing public streets that are 28 feet wide. There will be a trail on one side of the street. The development is proposed to be done in 4 phases, which will be market driven. In regards to parking, driveways will be constructed to be 25 feet long, with 2 car garages. There will be room for two vehicles in the driveway without blocking the sidewalk. There will be additional parking allowed on the street and a there is proposed parking at the pool area. Each unit will be privately owned with the area around it being common area.

The City Engineer feels that there are some setbacks that are not met. The developer will need to revise the project plan to clearly show that all the units will meet setback and spacing requirements. There are changes that will need to be made to the landscaping based on the City landscape architect comments. There are 33 conditions of approval. The most important one is that the applicant submit revised preliminary plat plans meeting all conditions of approval before the City will accept a final plat application for any phase of development and before the start of any clearing or grading activity.

Steil asked if there has been any discussion with the developer after the previous meeting regarding the north/south street "street G" in terms of how that will be constructed and connected. Roberts stated that at a minimum, this developer will be required to construct the road to their property line, possibly with a temporary cul-de-sac. Holtz stated that with all of the potential changes that are going to be required, it could affect the number of units. Holtz is wondering if Roberts has an idea of what the units per acres might be reduced to. Roberts stated that he is guessing they might lose 10-12 units and will definitely be medium density.

Hartley thought there was something about 4 sided architecture and that there was something requiring a window on the garage door. Roberts stated that the City does require four sided architecture and he will need to check on the garage door window requirement. Hartley stated that the examples did not have it which is why he asked about it.

Holtz asked if it is pretty normal to have so many recommended conditions at this stage. Roberts stated that with a big project like this, it is not unusual and Lake Elmo is more detail driven than other places.

Hartley asked about the statement that this project is consistent with the Comprehensive Plan. Which one would that be since we are in the process of adopting the 2040 plan? Roberts stated that it is consistent with both in regards to density.

Cadnehead asked why the streets are City owned, but the storm pond is owned by HOA. Roberts stated that is at the direction of the City Engineer.

Hartley stated that the City Engineer stated the increase in traffic might require a traffic signal or turn lane improvements, but a financial contribution was not included as a condition. Roberts stated that it is highlighted in the City Engineers report, but is not a condition of approval.

Paul Heuer, Director of Land Planning and Entitlement, Pulte Homes will give a brief presentation. Pulte works hard to make a neighborhood look good from the outside. Pulte includes a lot of open space to make the neighborhood feel more open. There is an HOA that maintains amenities. There will be a dog park, tot lot and open play area

within the development. The most substantial change from concept plan to preliminary plat is that the storm pond was moved because of the pipeline. There was also a lot of engineering comments that were addressed. A variety of demographics are served as there are many options that can be selected including a sunroom, rooftop terrace, etc. Heuer stated that there are 3 comments that have caused some concern. The first is the regional transportation comment that there should be a financial contribution to a traffic signal or turn lane. Pulte is paying 130K for a regional street and feels they are paying their fair share. Second the comment from the City Engineer that the easement for the storm sewer be 30 feet wide. Pulte is confused by that as ordinance 150.277 says that if the sewer pipes are less than 10 feet in depth within private property, the easement should be a minimum of 20 feet wide. The last item is in regards to landscaping. The review put the entire burden on them, when it should be the more intense use to the South. Pulte is proposing to put in half of the buffer.

Cadenhead is wondering if Pulte has been in contact with the holder of the pipeline easement. Heuer stated that early on they reached out and got their design standards and have worked with them to get the elevation of the pipeline. Pulte will work very closely with them throughout this process.

Heuer stated that they will need to sit down with City staff to work out some of the outstanding issues. Heuer doesn't feel that they will need to lose any units once they meet with staff and work things out. Heuer stated that it is unusual for the HOA to own the storm sewer and that may be a discussion item with the City.

Cadenhead asked about the storm water maintenance fee charged by the City. Roberts stated that this development would participate in that fee. Roberts believes that it is the storm ponds that are being referred to, and that can be worked out.

Public Hearing opened at 7:48 pm

John Ehret, 9124 Jade Court, is wondering how the City calculates the width of a parking vehicle on a 28 foot wide street. Ehret stated that a fire lane is 20 feet and he is concerned about parking on the street diminishing the ability for emergency vehicles to get down the street. Ehret stated that currently winter snow storage has become a problem. Ehret is concerned about the reach of the fire apparatus on these 3 story buildings. Ehret is also concerned about the timing on the connection road to Hudson Blvd.

Tom Hart, 9217 Jade Way N, the walking trail on the North side of 5th Street currently gets a lot of traffic. It has been a challenge to get that trail cleared in the winter. The Boulder Ponds and Savona HOA's have had many conversations with Administrator Handt, but sidewalks are cleared by property owners, but the trails are not cleared by the City. Hart is wondering if there is a proposal for sidewalks on the south side of the road. Hart is concerned about people walking on uncleaned icy trails.

The Planning Director received 3 letters regarding this project. One letter is not in favor of the project because of congestion, one letter is concerned about using the street name "Jewel", the last letter is concerned about the privacy and screening along the North side of this site to create more of a buffer.

Public Hearing closed at 7:55 pm

M/S/P: Hartley/Risner, move to recommend approval of the Bentley Village Preliminary Plat and easement vacations subject to the staff recommended findings and conditions of approval listed in the staff report, **Vote: 6-0, motion carried unanimously.**

Holtz asked if the 20 foot vs 30 foot easement discussion is something they need to talk about tonight. Roberts stated that it would not need to be discussed tonight as staff is scheduled to meet with the developer on Thursday February 28th to work through the conditions before it goes to City Council.

The applicant is required to submit a revised Preliminary Plat and Construction plans before submitting for Final Plat. That would only need to come back to Planning Commission if there were significant changes.

Holtz asked about the plowing practice for internal trails, which was a question raised at public comments. Heuer stated that private trails running throughout neighborhood would typically be plowed with 2" of snow or more. Heuer stated that Sidewalks and trails owned by the City would be up to City policy on when they are cleared. Roberts stated that the City doesn't clear sidewalks.

M/S/P: Hartley/Holtz, move to recommend approval of the proposed Zoning Map Amendment as requested by Pulte Homes of Minnesota for the Bentley Village development site on the south side of 5th Street North from RT to MDR with recommended conditions of approval, **Vote: 6-0, motion carried unanimously.**

Hartley is concerned that this development does not meet the minimum required lot area per unit and staff has suggested that is ok. He is also concerned that the landscaping requirement is not met. Hartley is wondering if staff needs direction from the Planning Commission that the ordinance needs to be met. Roberts stated that he has been thinking about that and what he will be proposing is a code amendment in the medium and high density ordinance to drop the minimum lot area and to just use the density as guidance for unit counts.

Hartley stated that he is less concerned with the deviations from the landscape requirements because they seem to make sense. Weeks thinks there should be some flexibility in the landscaping ordinance because in some cases, it just doesn't work.

Roberts stated that he will be talking to the landscape architect on Thursday regarding some of those issues.

Public Hearing – Preliminary Plat, Rezoning and Planned Unit Development – 4 Corners 2nd

Roberts started his presentation regarding an application from Terry Emerson for a Preliminary Plat, Preliminary PUD Plan, Zoning Map Amendment and Right-of-Way vacations for a commercial development to be known as Four Corners Second addition. This proposal includes the realignment of Hudson Boulevard and the creation of several lots for commercial development. This includes the lot for the park and ride the storm water pond and commercial uses.

Roberts stated that this project was sent to Washington County and MN Dot for review as they both own right-of-way along this project. The realignment is subject to approval of the City Engineer, Washington County and MN Dot.

Hartley asked what the current zoning of the bus facility is. Roberts stated it is Business Park. Roberts stated that there is not sewer and water in this part of the City. As part of the bus terminal approval, the developer was required to bring sewer and water to that site. As part of the approval of this site, the developer will be required to extended sewer and water all the way to Manning Ave.

Cadenhead asked if the City has been in contact with Metro Transit regarding the park and ride. Roberts stated that they are ready to submit their application, but they were told the City can't accept anything until there is a preliminary plat. Holtz asked what their response was to the number of lots. Roberts stated they received funding based on 550 spaces, which is the design proposed.

Weeks is torn about asking the applicant to contribute to the future stoplight. The traffic is already high on Manning Ave, but she is not sure the rest of the taxpayers should have to pay for it either. The stoplight at Hudson Blvd and Keats will cost taxpayers \$1.8 Million.

Hartley stated that this applicant is doing a road re-alignment at their expense which solves some problems long term. The City is getting a lot of benefit from approving this development.

Tim Feeman, Folz Freeman surveying representing Terry Emerson, has been met with staff many times and feels that the proposal meets what the City is looking for. Essentially this plat is driven by creating the lot for the park and ride. This plat also creates 3 additional outlots. Outlot C is for the storm water ponding, Outlot B will be developed with future commercial and Outlot A is undetermined.

Cadenhead is wondering about from a traffic management standpoint if the connection from Hudson Blvd to the North is in the correct place. Cadenhead thinks that there should maybe be a traffic study on that. Freeman stated that they hired the design engineer that the City uses to design the new part of Hudson Blvd. They show the access easement so that there is no question that there will be access to that parcel to the north. Freeman stated that Washington County has stated that the traffic signal is not needed at this time and the traffic volumes will not be coming from that development.

Weeks asked if they talked to the property owner to the North about project and the Road easement. Freeman stated that it is hard to lock something down with the neighbor until the details are worked out with City staff.

Public Hearing opened at 8:45 pm

No one spoke and there were no written comments

Public Hearing closed at 8:46 pm

M/S/P: Hartley/Holtz, move to recommend approval of the Four Corners 2nd addition Preliminary Plat, Preliminary Planned Unit Development Plans and easement (right-of-way) vacations subject to the staff recommended findings and conditions of approval, ***Vote: 6-0, motion carried unanimously.***

Weeks heard previous City Council members state that they feel this park and ride would mostly benefit people coming from Hudson. Weeks disagrees with that as she has heard from a number of people that are very excited about this. Weeks feels this is a good thing for the City to draw more commercial into the City to help the tax base.

M/S/P: Hartley/Risner, move to recommend approval of the proposed Zoning Map Amendment as requested by Terry Emerson for the Lot 1, Block One and Outlots A, B and C from RT to C for Four Corners 2nd addition with the staff recommended findings and conditions of approval, ***Vote: 6-0, motion carried unanimously.***

Public Hearing – Re-zoning of the property to Limited Commercial, Lot Consolidation, and Conditional Use Permit – Animal Inn

Prchal started his presentation regarding an application from Animal Inn for a re-zoning, lot consolidation, and Conditional Use Permit. Prchal stated that the property owner would like to combine all of the parcels into one lot. This can only be accomplished if the lots are all zoned the same. Three of the four parcels are zoned as Agriculture and one is zoned as Rural Residential. The easiest option is to rezone all of the parcels to Limited Commercial to match the Comprehensive Plan. The property owner owns all of the properties and would like the CUP to apply to all of them.

The dictating CUP is 2000-20. There is not a lot of deviation from that, but one recommended change is that currently there is a limit to the number of dogs that can be in each building. Prchal stated that there is an overall limit and how the owner chooses to house the dogs should be up to them. The conditions of approval are all spelled out in the staff report. The conditions highlight the conditions and uses that are allowed.

Holtz asked about condition number 4 and why there are hours listed that the animals can be outside. Prchal stated that the hours listed are the same as construction hours. Roberts stated that those are the standard hours in the code in regards to regulating noise levels for any outdoor activities. Holtz doesn't see that the noise from the animals would be problematic and would like to see condition #4 removed. Risner asked about condition #8 and if administering medications would be considered veterinary services.

Dawn Larson, owner, stated that there has not been a restriction on hours up to this point. Larson stated that they are respectful to their neighbors regarding noise. Larson stated that administering medications prescribed by a veterinarian is not performing those services. Larson stated that they do not kennel outside. They have outdoor runs that are attached to indoor runs. Larson stated that the limit of 150 dogs is fine as they rarely would hit that number.

Weeks asked if they will be adding veterinary services anytime in the future. Larson stated that they will not. They will be moving the pet grooming into the old veterinary building. Weeks asked if there are any plans to put more buildings on the property. Larson stated that there are no plans to add additional buildings.

Roberts asked Larson if there were any other issues with the conditions that the applicant would like to discuss. Larson stated that they regulate when the animals are outside. Hartley asked which parcel has the animal hospital on. Prchal stated parcel 5 had the animal hospital on it.

Public Hearing opened at 9:20 pm

Dennis Steinberg, owns the property at 8603 34th St N, and are in support of the application.

There was no written correspondence

Public Hearing closed at 9:21 pm

M/S/P: Holtz/Hartley, move to amend the conditions and eliminate all of condition #4, friendly amendment to only strike from condition #4 the sentence that reads "Dogs can have access to outdoor areas from 7am to 7pm during the week and 8am and 6pm on weekends", ***Vote: 6-0, motion carried unanimously.***

Cadenhead would argue that everything after the outdoor kenneling could be removed. He hesitates to eliminate everything because the property could change hands and the next owner might feel this is ok and that should be avoided in the future. Prchal stated that CUP's run with the land and can continue with the next owner. Steil stated that he is concerned that they might be opening up something in the future that they might not want. Roberts stated that he is not as concerned about the hours, but he would suggest keeping the first sentence and striking the hours. Holtz would accept that as a friendly amendment.

M/S/P: Hartley/Holtz, move to recommend approval of the request by Joan Tauer of Animal Inn to Rezone the properties from Agricultural and Rural Residential to Limited Commercial, consolidate properties defined as 16.029.21.42.0010, 16.029.21.43.0012, 16.029.21.43.0006, 16.029.21.42.0005, and 16.029.21.42.0001 and amend the existing CUP to apply to the newly combined property, subject to the conditions of approval recommended by staff and amended by the Planning Commission, **Vote: 6-0, motion carried unanimously.**

City Council Updates – February 19, 2019

1. Mixed use Business Park and Mixed Use Commercial Zoning Ordinance

Staff Updates

1. Upcoming Meetings
 - a. March 11, 2019
 - b. March 25, 2019

Meeting adjourned at 9:31 pm

Respectfully submitted,

Joan Ziertman
Building Permit Technician

**CITY OF LAKE ELMO
COUNTY OF WASHINGTON
STATE OF MINNESOTA**

ORDINANCE NO. 08-224

**AN ORDINANCE AMENDING THE LAKE ELMO CITY CODE OF ORDINANCES BY
AMENDING THE OFFICIAL ZONING MAP OF THE CITY OF LAKE ELMO**

SECTION 1. The Lake Elmo City Council hereby ordains the following properties to be rezoned from RT– Rural Development Transitional to MDR – Medium Density Residential:

Proposed Bentley Village Development Legal Description

That portion of the East Half of the Southwest Quarter and that portion of the West Half of the Southeast Quarter, both in Section 34, Township 29, Range 21, Washington County, Minnesota, described as follows:

Commencing at the West Quarter corner of said Section 34; thence South 00 degrees 00 minutes 40 seconds East, along the West line of said Section 34, a distance of 472.55 feet; thence North 89 degrees 57 minutes 32 seconds East, a distance of 1315.91 feet to the West line of said East Half of the Southwest Quarter; thence South 00 degrees 02 minutes 55 seconds West, along said West line a distance of 714.99 feet to the point of beginning; thence North 89 degrees 55 minutes 22 seconds East, a distance of 212.38 feet; thence Southeasterly along a tangential curve concave to the Southwest having a central angle of 29 degrees 05 minutes 37 seconds, a radius of 1100.00 feet for an arc distance of 558.56 feet; thence South 60 degrees 59 minutes 01 seconds East, tangent to said curve, a distance of 224.27 feet; thence Southeasterly along a tangential curve concave to the North, having a central angle of 68 degrees 21 minutes 23 seconds, a radius of 760.00 feet for an arc distance of 906.71 feet; thence North 50 degrees 39 minutes 36 seconds East, a distance of 410.97 feet; thence Northeasterly along a tangential curve concave to the Southeast, having a central angle of 20 degrees 49 minutes 17 seconds, a radius of 1060.00 feet for an arc distance of 385.20 feet; thence North 71 degrees 28 minutes 52 seconds East, tangent to said curve, a distance of 202.22 feet to the East line of said West Half of the Southeast Quarter; thence South 00 degrees 01 minutes 13 seconds West, along the East line a distance of 1089.33 feet to a line hereinafter referred to as Line 'X'; thence South 89 degrees 40 minutes 54 seconds West, along said Line 'X' and its westerly extension, a distance of 1324.76 feet to the East line of said East Half of the Southwest Quarter; thence South 00 degrees 06 minute 31 seconds West, along said East line a distance of 15.85 feet to the North line of the South 675.00 feet of said East Half of the Southwest Quarter; thence South 89 degrees 53 minutes 57 seconds West, along said North line a distance of 1314.35 feet to said West line of the East Half of the Southwest Quarter; thence North 00 degrees 02 minutes 55 seconds East, along said West line a distance of 774.53 feet to the point of beginning.

Line 'X' is described as follows:

Commencing at the southwest corner of said West Half of the Southeast Quarter; thence North 00 degrees 06 minutes 31 seconds East, assumed bearing, along the west line of said West Half of the Southeast Quarter, a distance of 82.86 feet to the north line of Parcel 29C of Minnesota Department of Transportation Right of Way Plat No. 82-43; thence North 89 degrees 18 minutes 27 seconds East, along said north line, a distance of 40.00 feet; thence North 00 degrees 06 minutes 31 seconds East, a distance of 607.73 feet to the point of beginning; thence North 89 degrees 40 minutes 54 seconds East, a distance of 1284.76 feet to the east line of said West Half of the Southeast Quarter, and said Line 'X' there terminating.

All situated in the County of Washington, State of Minnesota.

SECTION 2. The Lake Elmo City Council also hereby ordains that the Zoning Administrator shall make the applicable changes to the official Zoning Map of the City of Lake Elmo.

SECTION 3. Effective Date. This ordinance shall become effective immediately upon adoption and publication in the official newspaper of the City of Lake Elmo.

SECTION 4. Adoption Date. This Ordinance 08- was adopted on this 19th day of March, 2019, by a vote of ___ Ayes and ___ Nays.

LAKE ELMO CITY COUNCIL

Mike Pearson, Mayor

ATTEST:

Julie Johnson, City Clerk

This Ordinance 08-224 was published on the ____ day of _____, 2019.

**CITY OF LAKE ELMO
WASHINGTON COUNTY
STATE OF MINNESOTA**

RESOLUTION NO. 2019-020

***A RESOLUTION APPROVING THE BENTLEY VILLAGE ZONING MAP AMENDMENT
AND PRELIMINARY PLAT.***

WHEREAS, Pulte Homes of Minnesota (“Applicants”) have submitted an application to the City of Lake Elmo (“City”) for a Preliminary Plat for a subdivision to be called Bentley Village, copies of which are on file in the City Planning Department; and

WHEREAS, the proposed Zoning Map Amendment and Preliminary Plat are for a residential town house community on 41.58 acres of land located between 5th Street and Hudson Boulevard and west of Keats Avenue and will include 240 town houses and outlots for storm water ponding and common areas; and

WHEREAS, the Lake Elmo City Council reviewed the Bentley Village sketch plan on November 6, 2018; and

WHEREAS, the Lake Elmo Planning Commission held a Public Hearing on February 25, 2019 to consider the Zoning Map Amendment and Preliminary Plat; and

WHEREAS, on February 25, 2019, the Lake Elmo Planning Commission adopted a motion to recommend the City Council approve the Zoning Map Amendment to rezone the subject properties from RT (rural development transitional) to MDR (medium density residential); and

WHEREAS, on February 25, 2019, the Lake Elmo Planning Commission adopted a motion to recommend that the City Council approve the Bentley Village Preliminary Plat; and

WHEREAS, the Lake Elmo Planning Commission has submitted its report and recommendation about the proposed Zoning Map Amendment and Preliminary Plat for the proposed Bentley Village development to the City Council as part of a memorandum from the Planning Department dated February 25, 2019; and

WHEREAS, the City Council reviewed the recommendations of the Planning Commission and City staff about the proposed Bentley Village Preliminary Plat and Zoning Map Amendment at its meeting on March 19, 2019.

NOW, THEREFORE, based upon the testimony elicited and information received, the City Council makes the following:

FINDINGS

1. That the City reviewed the Bentley Village Sketch Plan on November 5, 2018 and the submitted preliminary plat is generally consistent with the city-approved sketch plan.
2. That the Applicant has submitted all application requirements outlined in Section 154.759: Application Requirements for Preliminary Plat.

3. That the proposed preliminary plat for Bentley Village is for a 240-unit townhouse development on 41.58 acres of undeveloped land.
4. That the proposed zoning map amendment and Preliminary Plat for Bentley Village are consistent with the intent of the Lake Elmo Comprehensive Plan and the Future Land Use Map for this area.
5. That the proposed Preliminary Plat meets the general intent and standards of the medium density residential zoning district with modifications.
6. That the Preliminary Plat generally meet the City's Subdivision regulations.
7. That the Preliminary Plat is generally consistent with the City's engineering standards with exceptions as noted in the City Engineer's memorandum dated February 17, 2019.
8. That the Planning Commission held a public hearing on February 25, 2019, took testimony from 2 neighbors and recommended approval of the development, subject to conditions.

CONCLUSIONS AND DECISION

Based on the foregoing, the City approves the Applicants' request for a Zoning Map Amendment and Preliminary Plat for the Bentley Village development, provided the following conditions are met:

1. That the City approves a Zoning Map Amendment to rezone the site from RT (Rural Development Transitional) to MDR (Medium Density Residential).
2. That the preliminary plat includes parcels with the PID#s 34-029-21-34-0006 and 34-029-21-43-0003.
3. That all comments and conditions of approval in the City Engineer's Memorandum dated February 17, 2019 be addressed and included with the revised project plans for City approval.
4. That revised preliminary plat plans include an overall tree planting and landscape plans for each phase of the development. Landscaping must not conflict with utilities and with pond maintenance access. Boulevard trees are not allowed in the 10-foot-wide drainage and utility easements along the public streets. All landscaping and tree plans shall incorporate the comments and conditions in the Landscape Architect's memos dated March 6, 2019 and shall be approved by the City's Landscape Architect.
5. That the developer shall incorporate each phase of Bentley Village into the Common Interest Agreement concerning management of the common areas and establish a homeowner's association that shall be submitted in final form to the Planning Director before the City will issue a building permit for any structure in any phase of the development. Said agreement shall comply with Minnesota Statutes 515B-103, and specifically the provisions concerning the transfer of control to the future property owners. The HOA documents shall include required maintenance of all private amenities including open space and trails.
6. The applicant shall enter into a landscape license and maintenance agreement with the City that clarifies the individuals or entities responsible for any landscaping installed for each platted phase of the development.
7. That the HOA be responsible for the ownership and maintenance of all landscape (retaining) walls within the development.

8. That the developer shall install an HOA owned and maintained children's play structure or other similar improvement on Outlot H as shown on the preliminary plat submittal.
9. That the developer provide the City fees in lieu of park land dedication as required by 153.15 of the City Code with each final plat.
10. That the revised preliminary plat plans include a parking area for the HOA pool/recreation area (if the developer constructs the pool) that meets all applicable standards.
11. That the HOA documents include architectural requirements that require 4-sided architecture on all buildings and garage doors shall not have flat panels. The City encourages the builder to include windows and/or other architectural features in all exterior doors and garage doors. City staff shall approve all building exterior designs including colors and materials before the City issues building permits for the town houses.
12. That the developer/contractor construct the trails within each phase before the City issues building permits for that phase of development.
13. That the developer install a six-foot-wide concrete public sidewalk on one side of every street in the development.
14. That the Applicant place storm water ponds within outlots including the 100-year high water flood level and all maintenance access. All outlots are to be owned and maintained by the HOA with drainage and utility easements placed over all of each Outlot.
15. All storm water facilities shall be publicly owned and maintained. A storm water maintenance and easement agreement in a form acceptable to the City shall be executed and recorded with the final plat.
16. That if the applicant/developer wants to reuse storm water for private irrigation within the development that the project engineer submit details to the City about the proposed storm water reuse system and ongoing operations that will be subject to approval by the City. The applicant must clearly define the proposed ownership, maintenance and ongoing operational responsibilities for the proposed system and City acceptance of storm water reuse will be contingent upon the City agreeing to the ongoing ownership, maintenance and operation plan, including the execution of a storm water maintenance agreement that addresses storm water reuse. In addition, all storm water system plans and specifications shall be subject to approval by the City Engineer and must address recommended reuse water quality, stormwater pond pump intake design, pond draw down guidelines, filtration recommendations, backflow prevention design, and potable water back-up supply design.
17. The Preliminary Plat approval is conditioned upon the applicant meeting all City standards and design requirements unless specifically addressed otherwise in these conditions.
18. The revised preliminary plat and Final Plat(s) shall include all necessary public right-of-way and easements for 5th Street North and for Road G.
19. The revised preliminary plat plans shall include a stormwater management plan including a summary report describing the overall management plan and performance criteria for all required storm events.
20. That the applicant shall obtain all necessary permits including but not limited to all applicable city permits (building, grading, sign, etc.), NPDES/SWPPP permits and Valley Branch Watershed District approval before starting any grading or construction activities.

21. That the preliminary plat plans be approved by Valley Branch Watershed District and that the applicant provide the City evidence that all conditions attached to a Valley Branch Watershed District permit will be met before the starting any grading activity on the site.
22. The applicant must provide the City a letter of approval from the owner of the gas main to perform the proposed work in the gas pipeline easement as a condition of preliminary plat approval and before the contractor starts any site work or site grading.
23. The applicant shall provide the City with a copy of written permission for any off-site grading work and storm sewer discharges to adjacent properties before starting any site work, grading and as part of any final plat application.
24. That the applicant or developer address all the comments of the Fire Chief and the Building Official with final site and building plans including the placement of buildings and fire hydrants, street and driveway design, on-street parking and emergency vehicle access within the site.
25. That the applicant revise the project plans to show storm sewer easements and effective maintenance areas with a minimum width of 30 feet with a minimum of 15 feet of clearance from the pipe centerline. This includes locations where underground pipes run between buildings.
26. That there shall be no encroachments into drainage and utility easements and corridors other than those reviewed and approved by the City Engineer and upon execution of an easement encroachment agreement. Prohibited encroachments include, but are not limited to trees, landscaping, retaining walls, buildings and storm water retention.
27. That the developer prepare exhibits for City staff approval that clearly identifies the property lines, easements, proposed building locations and the required and proposed setbacks for each of the lots and each building site within the development.
28. That all garage doors be setback at least 25 feet from the street right-of-way to provide off street parking on the driveway to allow vehicle parking without blocking a public sidewalk.
29. That the applicant update the preliminary plat plans to include street names that are consistent with the City's street naming policy with the names listed herein. All street names shall be approved by the City Council.
30. The Applicant(s) or developers shall submit a photometric plan for the development for staff review and approval. All lighting must meet the requirements of Sections 150.035-150.038 of the City Code.
31. Before to the installation or construction of any subdivision identification signs or neighborhood markers within the development, the developer shall submit sign plans to the City for review and obtain a sign permit from the City.
32. That the applicant provide the City a detailed construction and staging plan with the construction plans and final plat for each phase of the development. These plans are to clearly indicate the phasing of the site grading, the phasing of the construction of each public infrastructure component (including required turn lanes, trails and sidewalks) and shall address access to that phase of the development for construction purposes and for residents. The City may require temporary cul-de-sacs at the end of streets with the first and third phases of the development.
33. Before the execution and recording of a final plat for any phase of the development, the developer or applicant shall enter into a Developer's Agreement with the City for that

phase or project. The Developer's Agreement must be approved by the City Attorney and by the City Council. Each such Developer's Agreement shall delineate who is responsible for the design, construction and payment for the required improvements with financial guarantees therefore.

34. The applicant or developer shall enter into a separate grading agreement with the City before starting any grading activity in advance of final plat approval. The City Engineer shall review any grading plan that is submitted in advance of a final plat, and said plan shall document extent of any proposed grading on the site.
35. That the applicant submit revised preliminary plat and project plans meeting all conditions of approval for City review and approval. The revised applicant/developer project plans shall meet all of the above conditions before the City will accept a final plat application for any phase of the development and before the start of any clearing or grading activity on the site.

Passed and duly adopted this 19th day of March, 2019 by the Lake Elmo City Council.

Mike Pearson, Mayor

ATTEST:

Julie Johnson, City Clerk