



STAFF REPORT

DATE: 06/18/19

REGULAR

TO: City Council
FROM: Ken Roberts, Planning Director
AGENDA ITEM: **Zoning Map Amendment and Preliminary Plat and Preliminary Planned Unit Development (PUD) Plans – Springs Apartments**
REVIEWED BY: Ben Prchal, City Planner
Jack Griffin, City Engineer

BACKGROUND:

The City has received land use requests from Continental 483 Fund LLC (c/o Gwyn Wheeler) for approval of:

1. A Zoning Map Amendment (rezoning) from RT (rural development transitional) to HDR (urban high density residential); and
2. Preliminary Plat and Preliminary Planned Unit Development (PUD) Plans for a 300 unit multi-family residential development on a 17.01-acre parcel to be called Springs Apartments.

The City Council reviewed and approved the concept plans for this PUD on March 5, 2019. This approval was documented in Resolution 2019-017 and was subject to 13 conditions of approval.

On May 13, 2019, the Planning Commission reviewed the proposal, held a public hearing and recommended approval of the land use requests (including an increase in project density because of the proposed development amenities) for the Springs Apartments.

ISSUE BEFORE THE CITY COUNCIL:

The City Council is being asked to consider the proposed zoning map amendment, preliminary plat and development stage (preliminary) planned unit development (PUD) plans for the development to known as the Springs Apartments.

GENERAL INFORMATION:

- *Property Owner:* DPS-Lake Elmo, LLC of 6007 Culligan Way, Minnetonka, MN 55345
- *Applicant:* Continental 483 Fund LLC (c/o Gwyn Wheeler)
- *Location:* North of Hudson Blvd. N, west of Keats Avenue
- *Site Area:* 17.57 gross acres, 17.33 net acres
- *Land Use Guidance:* 2030 Comprehensive Plan – Commercial, 2040 Comprehensive Plan – Mixed Use Commercial
- *Existing Zoning:* Rural Development Transitional
- *Proposed Zoning:* Urban High Density Residential

- *Surrounding Land Use Guidance:* Commercial to the East, Urban Medium Density Residential to the North, Commercial to the West, and Hudson Boulevard and I-94 to South.
- *History:* The property has been used as rural vacant land and as a homestead. There is a wetland on the site that staff is estimating is about 0.3 acres in size. It is located along the north side of Hudson Blvd about 240 feet west of the east property line of the site. A large portion of the eastern part of the site is covered in trees.
- *Deadline for Action:* Application Complete: 4-12-2019
60-day timeline: 6-10-2019
120-day timeline: 8-9-2019 (time extension letter sent)

PROPOSAL DETAILS/ANALYSIS:

Project Overview/Site Plan. The proposed site plan includes 15 buildings with 20 units each. The buildings are a townhouse design, two stories tall with a mix of studio, 1-bedroom, 2-bedroom and 3-bedroom units. Many units provide attached, direct-access garages for a total of 120 attached garage spaces for the 300 units. The applicant also is planning to have seven detached garage buildings (with a total of 42 spaces), 399 surface parking spaces, an approximately 4,300 square foot club house (including a large gathering room, fitness center, kitchen area, coffee bar and office space), pool with sun deck, trash enclosure, mail kiosk, and one pet playground all within a fenced, controlled access community.

The site plan shows the primary entrance to the development would be off of Hudson Boulevard and there would be an emergency access drive connecting to the north/south road (Julia Avenue) to the west of the site. The applicant also is proposing to preserve much of an existing wetland on the site that is near Hudson Boulevard.

About the Applicant. Continental 483 Fund LLC. (Applicant) desires to develop a Class A, market-rate apartment community within the City. The company, started in 1979, is based out of Menomonee Falls, WI, and as of 2019 has broken ground on 22,000 apartment homes in 18 states. 65 Springs Apartment communities, similar to this proposed development, have been developed, including three in Minnesota (Apple Valley, Rochester, and Savage). The applicant has indicated in meetings with City that Continental owns and operates all Springs developments and they do not have third party management of their properties.

2040 Comprehensive Plan Update. As the City Council is aware, the City has been working to complete its required 2040 Comprehensive Plan update. The City Council approved the proposed Plan update at its February 5, 2019 meeting and authorized City staff to submit the updated Comprehensive Plan to the Metropolitan Council for their approval. Since then, City staff and the City Planning consultant have been working with the Metropolitan Council to clarify information in the proposed plan and we have submitted additional information to ensure the 2040 Comprehensive Plan will be complete and will meet all the requirements of the Metropolitan Council. This review and approval process by the Metropolitan Council may take up to 120 days. However, staff has been working closely with Metropolitan Council staff and we are hopeful they will approve the 2040 Comprehensive Plan by September. Once the Metropolitan Council approves the proposed Plan, the City must give the proposed 2040 Comprehensive Plan final approval and then start using and implementing the updated Plan.

Land Use. The proposed land use map in the 2040 Comprehensive Plan update shows this site designated as MU-C (mixed use commercial). The proposed 2040 Plan notes “this designation is a new land use and identifies where a mix of commercial and residential uses may be integrated to benefit from proximity and adjacencies to each other. Commercial uses in this category include service and retail uses such as, but not limited to, restaurants, shops, convenience stores, salons, studios and dry cleaners. Land with this designation is assumed to develop with a minimum of 50 percent residential use with a density ranging from 10-15 dwelling units per acre.”

In this case, the applicant is proposing a development with 300 dwelling units on 17.33 net acres. This calculates to 17.31 dwelling units per net acre thus exceeding the density limits set for this area in the 2040 Comprehensive Plan (without any credit for density bonuses that the City may grant through the PUD process). At 15 dwelling units per net acre, this site could accommodate 260 units. (Please see the Density Analysis below for more information about this.)

With the pending land use designation (MU-C) for this site, the City will not be able to give final approval to the proposal until after the Metropolitan Council and the City Council have finalized the 2040 Comprehensive Plan. The City could require the applicant to wait to submit the final plat and final PUD plans for this project after the City has given the 2040 Comprehensive Plan final approval. This timing will ensure that what is proposed for this site is consistent with the 2040 Comprehensive Plan and that the City will get credit for the residential density that the project would bring to this part of Lake Elmo.

Another option would be for the City to require the applicant to wait to submit applications for final PUD and final plat approval until the City has notification from the Metropolitan Council that the proposed Comprehensive Plan is complete for their review. City staff has been working closely with the Metropolitan Council staff since February to submit and resubmit all required data and information to them to ensure the proposed Comprehensive Plan update is complete. Once the City knows the proposed Comprehensive Plan update is complete, staff is confident that the Metropolitan Council will approve the proposed Comprehensive Plan in a timely manner.

The developer may choose to submit an application to the City for final PUD approval before they City has conformation from the Metropolitan Council about the completeness of the Lake Elmo Comprehensive Plan update. The City's review process for the final PUD plans should take about 50-60 days. If the developer makes such an application to the City, it would be at their own risk and the City could not give any final project approvals until after the 2040 Comprehensive Plan has received all final approvals. It is possible that the City's review of the final project plans would be occurring while the Metropolitan Council is processing and reviewing the City's 2040 Comprehensive Plan update.

No matter when the applicant submits applications for final plat and final PUD approval, the City will need to make any and all final project approvals contingent upon final approvals of the 2040 Comprehensive Plan by the Metropolitan Council and by the City Council.

Zoning Map Amendment. In order for this development to proceed, the City also will need to approve a zoning map amendment (rezoning) for the property from RT (rural development transitional) to HDR (urban high density residential). According the Lake Elmo Zoning Code, the HDR district is to provide for moderate to high density attached and multi-family housing, designed to present an attractive appearance to neighboring street and adjacent uses, to include sufficient private and semi-private outdoor space and to be well-integrated into their surroundings. Development in this district may occur at densities in excess of seven dwelling units per acre, provided the overall densities are consistent with the net densities specified in the Comprehensive Plan.

As drafted by staff, the Ordinance to amend the Zoning Map for this site, if approved by the City Council, would only become effective after the Metropolitan Council approves the 2040 Comprehensive Plan.

Preliminary Plat/PUD Plans

Preliminary Plat. The proposed preliminary plat shows one parcel for the project site. This site will be on one lot within the proposed final plat for the former Bentley Village (now Union Park) development. I have attached a copy of the proposed Union Park final plat for your reference. This proposed final plat creates several lots and outlots for development and would dedicate the right-of-way for Julia Avenue and for 5th Street North. The original project plans did not show the required 100-foot-wide street right-of-way

for the north/south street (Julia Avenue) and any additional right-of-way along Hudson Boulevard that might be needed to accommodate the required turn lanes and public trail. The City should require the developer to include all necessary street right-of-way on the final plat as a condition of approval.

Density Analysis. The City calculates the site density for this site as follows: Site – 17.01 acres plus 0.56 acres (1/2 right-of-way for north/south road) – 0.24 acres (wetland) = 17.33 net acres. 300 units divided by 17.33 acres = 17.31 units per net acre. As noted above, this density would exceed the City's density requirements for residential development in the mixed use commercial land use designation of 15 unit units per acre. This is the maximum allowed density without any credit for an increase in density through bonuses the City may grant through the PUD process.

Proposed Unit Breakdown. The proposed number of dwelling units totals 300. The following table provides a breakdown of the proposed unit types and the number of units of each:

Unit Type	Number of Units
Studios	30
1-Bedroom	120
2-Bedroom	120
3-Bedroom	30

PUD – Overlay and Minimum Requirements.

Consistency with Planned Unit Development Regulations. Staff has reviewed the proposed plan for its consistency with requirements of Article XVII: Planned Unit Development (PUD) Regulations and has found the following:

- **Intent.** The intent of a PUD is to provide for flexibility in the use of land and the placement and size of buildings in order to better utilize site features and obtain a higher quality of development. A PUD is required for the proposed development, as more than one principal building is proposed to be placed on a platted lot, there is a proposed reduce building setback from the west property line and the proposed detached garage buildings are larger than the maximum-allowed 1,000 square feet in size.
- **Identified Objectives.** When reviewing requests for PUDs, the City is to consider whether one or more objectives as outlined in Section 154.751: Identified Objectives of the Zoning Code will be served or is achieved. Staff has found that the proposed development would meet the following objectives:
 - A. *Innovation in land development techniques that may be more suitable for a given parcel than conventional approaches.*
 - The proposed development is not a typical, multi-story apartment building and instead proposes a townhouse design two stories in height with private, ground-level entrances to each unit.
 - C. *Provision of a more adequate, usable, and suitably located open space, recreational amenities and other public facilities than would otherwise be provided under conventional land development techniques.*

- The proposed development is proposing a number of recreational amenities to residents within the PUD including a pet playground, clubhouse and a swimming pool.
- D. *Accommodation of housing of all types with convenient access to employment opportunities and/or commercial facilities; and especially to create additional opportunities for senior and affordable housing.*
- The proposed development will provide additional housing opportunities within the City, as there are currently very few multi-family residential buildings within the City.
- G. *Coordination of architectural styles and building forms to achieve greater compatibility within the development and surrounding land uses.*
- The townhouse design will be compatible in design those of the nearby Savona townhomes and with the future Pulte townhomes to the north of the site.
- H. *Higher standards of site and building design than would otherwise be provided under conventional land development technique.*
- The City may impose such guidelines on high density residential development such as this proposal.
- **Minimum Requirements.** PUDs must meet the following minimum requirements:
 - A. *Lot Area. A PUD must include a minimum of 5 acres for undeveloped land or 2 acres for developed land within the approved development.*
 - The proposed development exceeds this requirement with a proposed 20.36 acre development.
 - B. *Open Space: For all PUDs, at least 20% of the project area not within street rights-of-way to be preserved as protected open space. Other public or site amenities may be approved as an alternative to this requirement. Any required open space must be available to the residents, tenants, or customers of the PUD for recreational purposes or similar benefit. Land reserved for storm water detention facilities and other required site improvements may be applied to this requirement. Open space shall be designed to meet the needs of residents of the PUD and the surrounding neighborhoods, to the extent practicable, for parks, playgrounds, playing fields and other recreational facilities.*
 - The applicant indicated in their project narrative that there will be 5.77 acres of open space with this development. This is 28 percent of the gross project site area including the pet area, green spaces and landscaped areas.
 - C. *Street Layout... In newly developing areas, streets shall be designed to maximize connectivity in each cardinal direction, except where environmental or physical constraints make this infeasible. All streets shall terminate at other streets, at public land, or at a park or other community facility, except that local streets may terminate in stub streets when those will be connected to other streets in future phases of the development or adjacent developments.*
 - The new north/south road connecting 5th Street to Hudson Blvd (Julia Avenue) meets this requirement. It is a recommended condition of approval that the developer address all the comments outlined in the Engineering memo dated May 8, 2019 before submitting plans for a final plat and final PUD approval for this site.

Proposed PUD Amenities. The City's PUD ordinance provides that if developers provide amenities with their projects the City may increase density by up to 20 percent. In this case, because the applicant is proposing a housing density of 17.31 units per net acre, the developer will need to provide amenities with the project to justify the increased housing density above the expected allowed density range of 10-15 units per acre of the future MU-C land use designation. In addition, a PUD should include features or elements that meet the one or more of the City's identified objectives (as noted above). The PUD also should offer the City (and future residents) amenities in exchange for the flexibility of allowing a reduced setback to the westerly property line, having more than one building on a parcel as well as allowing detached garages larger than 1,000 square feet.

In this case, the developer noted on Pages 5 and 6 of their narrative the following site amenities they believe qualify for amenity points:

- *Public Right-of-Way Dedication.* The dedication of land and construction of a public road, trail, pathway or greenway that is part of an approved city plan, but outside the scope of the immediate project area. Right-of-way improvements should be designed per the specifications of the City Engineer. (10 points possible)

For this development, the staff-recommended right-of-way dedications are typical for any subdivision or development and are a part of the project area as they are directly adjacent to their site. The proposed right-of-way dedications are not outside the scope of the immediate project area. (PC recommended - 10 points) (Staff recommended - 0 points)

- *Contained Parking.* The purpose of this amenity is to better integrate surface parking into the site and reduce the amount of visible surface parking from the public right-of-way. Parking should be rear-loaded and hidden by the building façade or integrated into the site in some other fashion that is acceptable to the City. (5 points possible)

By proposing 162 garage spaces for its residents, the proposed development limits the amount of visible surface parking. The plans show some vehicle surface parking that would be visible from Hudson Boulevard and Julia Avenue, but much of the surface parking would be set behind the proposed buildings. This design reduces the amount of the surface parking that would be visible from the public rights-of-way adjacent to the site. (PC recommended - 5 points) (Staff recommended – 5 points)

- *Pedestrian Improvements.* By proposing a site and building design that allows for exceptional and accessible pedestrian and/or bicycle access through and /or around the site. The improvements shall use a combination of trails, landscaping, decorative materials, access control and lighting to create safe, clear and aesthetically pleasing pedestrian facilities through and/or around the site that comply with ADA accessibility requirements. (5 points possible)

In this case, the developer is proposing a series of trails and sidewalks in and around their site that will provide many places for pedestrians to move about without having to walk on the streets or on the driveways. Many of the proposed sidewalks provide access to the entrances to the individual units while other sidewalks allow for safer and easier pedestrian movement throughout the site. The City should require the developer to add a 5-foot-wide concrete sidewalk with ADA ramps at driveway crossings along the west side of the main entrance driveway. This sidewalk should run from the club house to Hudson Boulevard to help facilitate pedestrian movement to and from their site to the trail along Hudson Boulevard. However, if the City wants to award amenity points for these trails and sidewalks, then the City should not give the developer credit toward their park dedication fees for these same items. (PC recommended - 0 points) (Staff recommended – 5 points)

- *Plaza.* The applicant is proposing a pool, an approximately 4,300 square foot club house (including a large gathering room, fitness center, a kitchen area, coffee bar and office space) and the pet play area (dog park) within the development. The clubhouse/pool area could serve as a

plaza within this development as the PUD ordinance indicates that plazas are landscaped or paved open areas of a minimum of 1,000 square feet and wholly or partially enclosed by a building or buildings. The PUD ordinance requires that plazas within commercial or mixed-use development shall be open to the public during daylight hours. The PUD ordinance does not require that plazas within residential PUDs be open to the public. It also should also be noted that the proposed development is providing a dog park that Staff believes in and of itself warrants amenity points. (5 points possible) (PC recommended - 5 points) (Staff recommended – 5 points)

- *Natural features.* Site planning that preserves significant natural features or restores ecological functions of a previously damaged natural environment.

In this case, the latest plans for the Springs show the preservation of much of the existing wetland along Hudson Boulevard. The applicant made this change after the Concept Plan review and after input from the Watershed District that included their requirements for wetland protection and preservation. (3 points possible) (PC recommended – 0 points) (Staff recommended – 0 points)

In addition to the site amenities listed above, the PUD ordinance also lists other possible amenities the City could approve to grant an increase in project density. They are:

- *Providing theming.* Significant use of various elements of theming consistent with the 2013 Lake Elmo Branding and Theming Project, including but not limited to signage, fencing, landscaping lighting and site furnishings. The City will award amenity points based upon the quality and magnitude of the Theming elements integrated into the project. (1-3 points possible)

In this case, the City could award the developer amenity points for the use vehicular and pedestrian lighting in and around their site, increasing their landscaping and tree planting well above the minimums set by the Code, (especially along Hudson Boulevard), adding several benches within their site and using a white, ornamental-style fence around their site.

It is a recommended condition of approval that if the applicant wants credit for using theming in their design to gain amenity points that they provide the City specific examples of proposed development fencing, landscaping, lighting and site furnishings, including the clubhouse that will meet the standards outlined in the Lake Elmo Branding and Theming Study.

- *Additional Amenities?* Additionally, the City also may consider the allotment of amenity “points” for site amenities that are not otherwise specified within the ordinance.

For this site, with a maximum of 15 dwelling units per acre, a 20 percent increase in density would bring the maximum density to 18 dwelling units per acre. At 17.33 net acres, the site could have up to 312 dwelling units if the City approved the maximum amount amenity points to increase the project density. To have 300 units on their site, the City will need to approve at least 17 amenity points. Without any amenity points for increased density, the applicant would need to reduce the number of dwelling units in the development to a maximum of 260 units – a reduction in 40 units from the 300 proposed units.

AMENITY POINTS SUMMARY

The Planning Commission, during their review of the proposal on May 13, 2019, considered the various proposed amenities and made recommendations about the points they thought the City should award for the amenities to justify increasing the project density. Their recommendations for amenity points were:

Right-of-way dedication – 10 points
Contained parking – 5 points
Plaza – 5 points

PC recommended total – 20 Points

The applicant, on Pages 5 and 6 in their latest project narrative, suggests the City should award the proposal the following amenity points:

Right-of-way dedication – 10 points
Contained parking – 5 points
Pedestrian Improvements – 5 points
Plaza – 5 points
Natural features – 3 points

Applicant suggested total – 28 points

Staff is recommending the City Council approve the following amenity points for this proposal:

Contained parking – 5 points
Plaza – 5 points
Pedestrian Improvements – 5 points (with no park dedication credits for these)
Other (possible theming)?? (1-2 points possible)

Staff Recommended Total – 15 points

Staff did not agree with the Planning Commission’s recommendation nor the applicant’s request of awarding amenity point for the public right-of-way dedication. This is because the requested right-of-way is adjacent to the development and **not outside the scope of the immediate project area** as required by the City Code.

The City Council will need to finalize what design elements in the development should receive amenity points (and how many points for each) so Staff can memorialize these amenities within the findings of fact (on pages 15 and 16) and in the Resolution.

Consistency with Proposed Urban High Density Zoning District. As noted earlier, the proposed development will require City approval of a Zoning Map Amendment to rezone the property to Urban High Density Residential (from the current RT (rural development transition)) zoning designation. As such, staff reviewed the proposed PUD Plans against the standards including setbacks, impervious coverage, etc. of the Urban High Density Residential zoning district, as shown below.

Standard	Required	Proposed
Impervious Surface Maximum	75 percent	66 percent
Minimum Lot Area	1,800 square feet per unit	2,469 square feet per unit (average)
Minimum Lot Width	60 feet	1,085 feet on Hudson Blvd.
Front Yard Setback (Hudson Blvd)	20 feet	20 feet
Interior Side Yard	10 feet	55 feet
Corner Side Yard	15 feet	10 feet (to north/south road)
Rear Yard Setback	20 feet	20 feet
Accessory Building Setbacks	10 feet	15 feet
Maximum Building Height	50 feet	35 feet (to roof peak)
Detached Structures	1,000 square feet maximum	3,000 square feet
Parking	Not to be located in the front yard or between the front façade and street.	Parking is located in front of the proposed club house, though this parking lot design is consistent the design of parking

		lots for commercial/office buildings and would not be parking for the residential buildings on the site.
Open space	200 square feet of common open space provided per unit. In this case, at least 60,000 square feet.	251,449 square feet = 5.77 acres (830 square feet per unit)

Site Plan Review

Streets and Access. The proposed site plan shows a primary access driveway into the site from Hudson Boulevard. After their initial submittal, the applicant submitted a revised site plan showing the secondary site access (at least for emergency vehicles) moved from Hudson Boulevard to the planned north/south street (Julia Avenue) on the west side of the site. They made this change to the access based on early staff comments about the proposal. The new north/south street is a planned public street connection between 5th Street North and Hudson Boulevard North. The developer should either construct the portion of the north/south street adjacent to the development with a temporary turnaround on the north end or work with the proposed development to the north to construct the entire planned north/south street to make a continuous street connection from 5th Street North to Hudson Boulevard North.

Issues with the proposed setbacks. The applicant is asking the City to approve a 10-foot side yard setback (instead of the required 15-foot setback) from the west property line for the buildings along the north/south road. As a condition of approval, the City is requiring the developer to dedicate a 100-foot-wide right-of-way for this road, consistent with the requirements the City made for the Bentley Village development to the north. The applicant notes that because of this right-of-way requirement, they need the reduce setback to make their proposed site plan work.

Impervious Surfaces. As noted by the applicant in the project narrative and in the table above, the proposed plan is 66 percent impervious, well below the maximum impervious surface standard in the HDR zoning district of 75 percent.

Streets, Sidewalks and Trails. The City will be requiring the applicant to reconstruct Hudson Boulevard along the frontage of their site to an “Urban Section” (with curb and gutter, turn lanes and a bituminous trail along the north side of the road). The City also will be requiring the applicant to design and construct the north/south road (Julia Avenue) adjacent to their western property line from Hudson Boulevard north to Bentley Village. This road section will be in a 100-foot-wide right-of-way to accommodate drive lanes, a center turn lane, turn lanes, a bituminous trail on one side of the road and a concrete sidewalk on the other side. This right-of-way width and design is consistent with the City requirements for the new north/south road in the Bentley Village development to the north of the site. (Please see the attached design cross section for Road G (now known as Julia Avenue)).

The Comprehensive Plan’s Trail Plan shows a planned trail along the proposed north/south street that will be on the west side of the development. The latest proposed project plans show the future road with a trail and a sidewalk along the future north/south road. The City should require the developer to show the north/south road on all project plans and to install the planned trail(s) along Hudson Boulevard and along the north/south street and crosswalks with pedestrian ramps where needed as part of this development.



Within the development site itself, the developer will be constructing 4 and 5-foot-wide concrete sidewalks along the private driveways and between the buildings to provide pedestrian access throughout the site. As noted above, the City should require the applicant to extend the concrete side along the west side of their entrance drive to the trail along Hudson Boulevard.

Easements. The City will require the applicant to dedicate 10-foot-wide drainage and utility easements along all property lines and drainage and utility easements for watermain and fire hydrants as they will become public infrastructure. The City also may require other easements as the applicant refines their project plans – especially around the wetland and the wetland buffer and in regards to the stormwater management system.

Architecture/Proposed Design. The proposed design of the development is a townhouse design with the residential buildings being two stories in height with private, ground-level entrances to each unit. The building elevations provide architectural interest with use of exterior accents, a large percentage of windows, and high quality materials including fiber cement board siding and stone masonry. The buildings create additional high architectural value with use of varied roof lines, and vertical and horizontal articulation. These features will give the buildings a more attractive appearance than buildings with flat facades and consistent or straight facades and roof lines. The proposed color pallets for the buildings include slate, gray, beige and browns. I have included several images of the proposed building elevations for your review.

The typical interiors of the units include dark wood colored cabinets, stainless steel appliances, granite countertops in all kitchens and wood laminate flooring. Select units will be upgraded to include enhanced finishes, painted access walls, granite countertops throughout, among other features.

Adherence to Lake Elmo Design Guidelines and Standards.

The proposed development adheres to the Lake Elmo Design Guidelines and Standards in that:

- The proposed structures are located and oriented in a manner that allows for pedestrian accessibility and provides visual interest from the public right-of-way.

- The buildings are located as close to the public street as possible, easily accessible from the street; setbacks are varied slightly; recreational and common spaces are located at the interior or rear of the site.
- The parking areas do not account for more than 50% of street frontage.
- The trash enclosure is located away from most of the residential buildings.
- Examples of past developments adhere to building design requirements. It is a recommended condition of final PUD approval that the applicant include a detailed architectural plan proposal (with a listing of colors, materials, etc) for the all the buildings in the development for City approval.

All of the building exterior designs and materials will need to conform to the design standards in the Lake Elmo Design Guidelines and Standards Manual including those regarding building facades, rooflines, colors entries, lighting and exterior building materials. At first review, it appears that all the building styles and materials will meet or exceed the City's design standards for multiple-family structures. City staff will need to verify the proposed exterior designs and materials will meet the City's design standards before the City issues building permits for the clubhouse or for the residential buildings.

Garages. The proposed plans include 120 attached garages and 7 detached garage buildings with 6 garage stalls in each building. There also is a proposed maintenance garage building for the residents to perform minor service to their vehicles and to wash their vehicles.

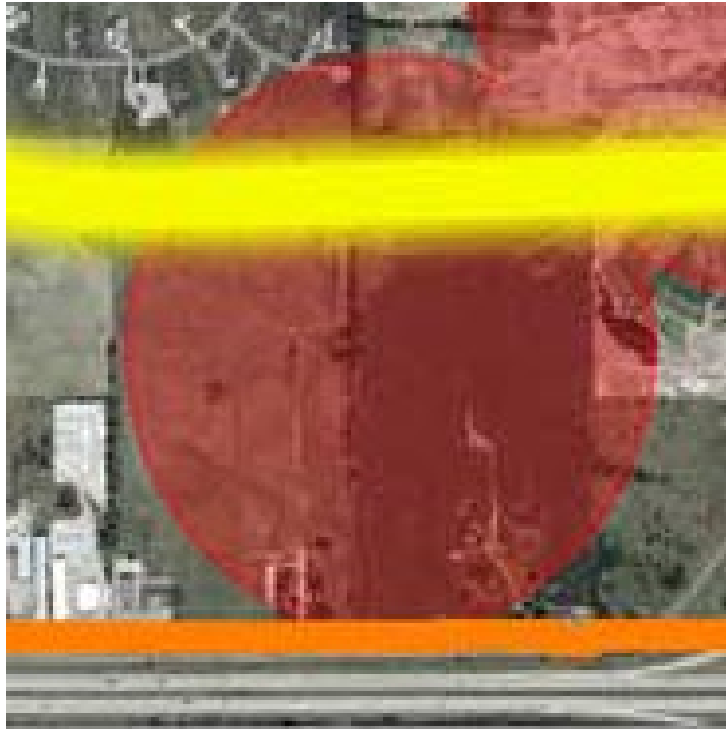
Wetland and Buffers. The site has a 0.4 acre wetland on the south side of the property along Hudson Boulevard. The applicant had proposed with the Concept Plan for the site to fill the entire wetland. After review and approval by the Watershed District, the latest project plans show the applicant preserving much of the wetland and providing a 25-foot-wide buffer around the wetland on their site. The only filling of the wetland is the part along Hudson Boulevard to accommodate the City- required turn lane and trail on the north side of the road. The City requires the applicant to put easements on the final plat to accommodate the wetland and the wetland buffer.

Tree Removal, Preservation and Replacement. There is an area of about 300,000 square feet (6.9 acres) of tree cover on the site. The applicant provided a tree inventory that documented the significant or specimen trees on the property. They include several large spruce trees in the southeast corner of the site, along with elms, oaks, maples and aspen trees on the property. The proposed project would remove all the existing trees on the site.

Landscaping. The applicant has provided the City with a landscaping plan for the site. The City's Landscape Architect has reviewed these plans and has found that they do not meet all City requirements. I have attached his review comments for your review. He noted that the applicant is not proposing to plant enough trees (184 versus 233) and the proposed composition or types of trees do not meet the City requirements. He also noted that the applicant is proposing to plant trees near proposed utility lines where the City wants to have new trees placed at least 10 feet from the nearest utility. In addition, he noted that the proposed screening along the north side of the site (with a proposed single, row of evergreen trees), is inadequate to meet the City's screening requirements. The City will require the applicant to revise the landscaping and screening plans to meet or exceed the City's Landscape Requirements for the replanting of trees and for screening.

Landscape Walls. The applicant is proposing several landscape (retaining) walls around much of the perimeter of the site. The proposed grading plans show these walls ranging in height from 3 feet to 12 feet. Any such wall that is taller than 4 feet requires a separate building permit from the City and must be designed by a licensed Minnesota engineer or architect. The walls will be the responsibility of the developer/owner to maintain in perpetuity.

Parkland Dedication. The Parks Commission reviewed the proposed development at its February 20, 2019 meeting. At that meeting they recommended that the developer pay the City cash in lieu of land dedication to meet the City's park dedication requirements. The proposed development does not propose a public park but does provide recreation for its residents through the club house, pool and open space. This area of Lake Elmo is already served by Savona Park.



The proposed development site (include road right-of-ways) consists of 17.57 acres, and the required parkland dedication for the Urban High Density Residential zoning district is 10%. The required amount of fees would be 10% of the fair market value of the property. This value is usually determined by the purchase price of the property, which has yet to be revealed to the City. If the purchase price is not available, then the City would consider using the appraised value of the property to determine the dollar amount of the contribution for parks as created by this development.

The developer may meet some of the City's park dedication requirements with the construction of the new trails. However, the City should not grant the developer amenity points for density purposes for installing the trails if the City gives the developer park dedication credit for the same trails.

Subdivision Signs. Section 154.212(G) (1) (c) of the Zoning Code allows each residential subdivision to have one subdivision identification sign per entrance. The maximum size for subdivision identification sign is 32 square feet in area for the main entrance and a maximum sign area of 24 square feet per sign for all other locations.

The developer submitted a drawing for an entrance monument sign with the PUD plans that has 52.1 square feet of sign face. They will need to reduce the size of this sign to a maximum of 32 square feet of sign face to meet the City Code standards. Any signs would require a permit from the City.

Parking. The City's Zoning Code requires one parking space per studio and 1 bedroom unit, two parking spaces per 2 and 3 bedroom units and at least one visitor space per four units. With the proposed mix of 300 units, the City Zoning Code requires the developer to provide at least 525 parking spaces on site. In this case, the developer is proposing a total of 562 parking spaces – including attached garage and detached garage spaces (163 total) and 399 surface parking spaces. The proposed plans include 17

parking spaces to the west of the main entrance drive aisle near the clubhouse that are intended for employees and visitors. The clubhouse, with 4,000 square feet of space, would require 15 off-street parking spaces.

The total proposed parking computes to a unit parking ratio of 1.87 spaces per unit – above the 1.75 parking spaces per unit required by the City Code.

The proposed width and length of parking stalls is compliant with code, and the proposed width (estimated to be 24') is adequate for a 2-way drive aisle width according to the Zoning Code. Of these parking spaces, a total of 22 spaces are proposed to be Americans with Disabilities Act (ADA)-accessible. The ADA requires 2% of parking spaces totaling over 501 to be ADA-accessible, and so the proposed number of ADA parking spaces is compliant, provided they are built with adequate width and access aisle spacing.

Engineering Comments. The City Engineer has provided a detailed review memo (dated May 8, 2019) regarding the proposed General Preliminary Plat/Plans. I have attached this memo for reference. Staff would like to highlight the following comments in summary:

- *Streets and Transportation*
 - *Hudson Boulevard Right-of-Way.* Additional right-of-way on Hudson Blvd must be dedicated to the City as needed to accommodate the Hudson Boulevard improvements, including turn lanes and a 10-foot-wide utility easement.
 - *Hudson Boulevard Improvements.* Hudson Boulevard must be improved along the frontage of the proposed development in accordance with the Hudson Boulevard Design Standards, with an Urban Section along the north boulevard and a bituminous trail. The developer will be required to construct right turn lanes at both the entrance to the proposed development and at the intersection with the new north-south collector street, and a left turn lane at the development entrance.
 - *New North-South Collector Street Improvements.* The developer must construct new north-south collector street along the west side of the development, from Hudson Boulevard to the northerly plat line of the Springs of Lake Elmo. The new street shall be designed and constructed as an urban collector street consistent with City design standards and within a 100-foot-wide right-of-way, including a bituminous trail along one side and a concrete sidewalk along the other side.
 - *New North-South Collector Street Right-of-Way Dedication.* The property owner or developer must dedicate a 100-foot-wide right-of-way/roadway easement to the city for the new north-south collector street. The proposed perimeter fencing must be located outside of the 10-foot-wide drainage and utility easement.
 - *Site Access.* The proposed site plan proposes a single primary access to the site on Hudson Boulevard approximately 660 feet east of the proposed new north-south collector street. This proposed access spacing from the new collector street meets the City minimum spacing of 660 feet.
 - *Secondary/Emergency Access.* The latest site plan shows a secondary access to the new north-south collector street and is called out a proposed emergency access point.
 - *Perimeter Decorative Fence.* As shown, this fence encroaches the 10 foot utility easement, and so the fence location must be revised to preserve the City standard 10-foot-wide drainage and utility easement.
 - *Private Streets.* Private streets are proposed within the development that would remain privately owned and maintained. The interior street and driveway design may require revisions to ensure the adequacy of fire lanes and for emergency vehicle access.
- *Municipal Sanitary Sewer*
 - The plans include a sanitary sewer utility plan that proposes 300 REC units plus additional facilities such as a fitness center, swimming pool and a car care center.

- Sanitary sewer is available to the site. The applicant or developer will be responsible for connecting to the city's 10-inch sanitary sewer system and extend sanitary sewer in to the property at the applicant's sole cost.
- *Municipal Water Supply*
 - The existing water system has sufficient capacity for domestic service for the proposed 300 REC units and additional facilities.
 - The applicant will be responsible to place fire hydrants throughout the property at the direction of the Fire Department. All fire hydrants shall be owned and maintained by the City.
 - Any watermain lines and fire hydrants placed within the development will require 30-foot-wide utility easements centered over the pipe. These easements must be dedicated to the city and provided in the city's standard form of easement agreement.
- *Stormwater Management*
 - The storm water management plan is not complete. The proposed development is subject the construction of a storm water management plan and system that meets State, Valley Branch Watershed District (VBWD) and City rules. All stormwater facilities need to be designed and installed in accordance with City and Valley Branch Watershed District (VBWD) requirements. The storm water management plan must be revised to incorporate storm water management for the Hudson Boulevard and Julia Avenue Street improvements.
 - All stormwater facilities constructed for this development and are internal to the site are to remain privately owned and maintained. The City will require the applicant or developer to execute and record of a Stormwater Maintenance and Easement Agreement with the City in its standard form.
 - Even as privately owned and maintained facilities, the City requires the developer to provide maintenance access roads or drives that meet City engineering design standards for all storm water facilities.

North/South Road (Julia Avenue) Design. The City Engineer noted the City standards for this road in his comments. I have attached the typical cross-section for this road for your review.

Development Phasing/Grading Phasing. The project narrative notes that the developer intends to grade the entire site and install the public improvements in a single phase with each building gaining occupancy in sequential order starting with the Clubhouse. Their hope is start site work this fall (pending City approvals) with final completion of the entire development by the fall of 2021.

Valley Branch Watershed District Review. The City has not yet seen any comments from the Watershed District about this proposal other than those early one about the proposal to fill the wetland.

Stormwater Management and Storm Sewer System Improvements. The proposed development site is in the Valley Branch Watershed District (VBWD). The design of the storm water management systems must be compliant with the requirements of the State, VBWD, the City of Lake Elmo Storm Water Management Ordinance, and the City of Lake Elmo design standards manual. The applicant is advised to fully read and comprehend the City's storm water and erosion control ordinance since these standards are different, and in some cases more stringent, than the watershed district.

In his project review, the City Engineer noted the following:

The storm water facilities will be privately owned and maintained so no outlots will be required for the underground storm water facilities. The storm water management plan must incorporate storm water management for the Hudson Boulevard and Julia Avenue Street improvements.

The City will require drainage and utility easements over all 100-year high water level areas and to protect all overland emergency overflow paths.

The City Engineer's review memo further addresses the stormwater management considerations and requirements for this development.

Utilities – Municipal Water Supply and Municipal Sanitary Sewer. The City Engineer's review memo provides a review of the municipal sewer and water considerations for this development. Public water and sanitary sewer service are available in this area of Lake Elmo and the developer will be extending them into and through the site. He noted the following:

The applicant will be responsible for extending municipal water into the development at its sole cost and will be required to construct a looped watermain network with multiple connection points. This includes a connection to the future watermain in the Bentley Village development to the north.

The applicant will be responsible to place hydrants throughout the property at the direction of the Fire Department. All fire hydrants shall be owned and maintained by the City.

All utility plans will be subject to the final approval of the City Engineer.

Staff has reviewed the plans based on the assumption that the sanitary sewer extended internal to the site will be privately owned and maintained by the applicant.

Fire Chief Comments. The Fire Chief reviewed and commented on the preliminary project plans. He notes the developer will need to space and place fire hydrants in the development according to code and that access to the buildings must be maintained in all weather conditions. I have attached his comments for your reference.

RECOMMENDED FINDINGS:

Recommended Finding for Rezoning:

That the proposed rezoning will be consistent with the proposed land use classification for the site as designated in the 2040 Comprehensive Plan.

Recommended Findings for Preliminary Plat/Preliminary PUD. Staff recommends approval of the Preliminary Plat and Preliminary PUD Plan for the Springs Apartments based on the following findings:

1. That if the 2040 Lake Elmo Comprehensive Plan Update and updated Land Use Map are approved in 2019, that the new land use designation for the site of the proposed planned development will be MU-C (mixed use commercial); and that the preliminary PUD Plan would be consistent with the intent of the 2040 Lake Elmo Comprehensive Plan and the 2040 Land Use Map for this area.
2. That the preliminary PUD Plan complies with the general intent of the Urban High Density Residential zoning district with PUD modifications.
3. That the preliminary PUD Plan generally complies with the City's Subdivision regulations.
4. That the preliminary PUD Plan must be revised to be consistent with the City's engineering standards as noted in the City Engineer's memorandum dated May 8, 2019.
5. That the preliminary PUD Plan meets the minimum requirements for a PUD including minimum lot area, open space and street layout.
6. That the preliminary PUD Plan meets more than one of the required PUD objectives identified in Section 154.751 including providing: innovation in land development techniques that may be more suitable for a given parcel than conventional approaches; provision of a more adequate, usable, and suitably located open space, recreational amenities and other public facilities than would otherwise be provided under conventional land development techniques; accommodation of housing of all types with convenient access to employment opportunities and/or commercial

facilities; and especially to create additional opportunities for senior and affordable housing; coordination of architectural styles and building forms to achieve greater compatibility within the development and surrounding land uses; and higher standards of site and building design than would otherwise be provided under conventional land development technique.

7. That the preliminary PUD Plan includes several amenities that may be worthy of amenity points to increase the overall housing density in the development. These amenities may include: right-of-way dedication, contained parking, pedestrian improvements, a plaza (gathering area) and the use of design elements consistent with the 2013 Lake Elmo Branding and Theming project.
8. That the Applicant's preliminary PUD plan provides the following amenities, for which the City may award amenity points:
 - a. Pedestrian improvements. (5 points)
 - b. Theming elements from the Lake Elmo Theming Study (2 points).
 - c. Plaza/gathering location (5 points).
 - d. Contained Parking (5 points)

FISCAL IMPACT:

There would be no fiscal impact to the City at this time, as the developer will be required to pay for any amendments needed to accommodate the increase in REC units. The Concept Plan approval did not afford the applicant development rights. When the property develops, it will have urban services and will pay sewer and water connection charges, building permit fees and the like that the developer and/or contractors will pay.

RECOMMENDATIONS:

Recommended Conditions of Approval. Staff and the Planning Commission recommend the City Council approve the requested Preliminary Plat and Preliminary PUD plans for the Springs Apartments on Hudson Boulevard subject to the following conditions:

1. That the Metropolitan Council give final approval of the City's 2040 Comprehensive Plan Update and adoption of the final version of the 2040 Comprehensive Plan by the Lake Elmo City Council. The City's final plat approval will be good for 120 days after the Met Council's approval of the City's 2040 Comprehensive Plan update or for 120 days after the City Council's approval of the final plat, whichever comes later.
2. That the City approves a Zoning Map Amendment to rezone the site from RT (Rural Development Transitional) to HDR (Urban High Density Residential).
3. That the applicant prepare the final plat and final PUD plans showing all of the site perimeter property lines - including any revisions necessary for including the right-of-way for the north-south street and all additional right-of-way needed for Hudson Boulevard as the proposal only includes a portion of the parcel with the PID# 34.029.21.43.0003.
4. That the final plat and final PUD Plans submittal identify all requests for flexibility from the Zoning Code.
5. That the applicant address all comments and conditions of approval in the City Engineer's Memorandum dated May 8, 2019 with revised project plans for the future final plat and final PUD Plans submittal.
6. That the final Plat and final PUD Plans submittal include a revised tree preservation/replanting and revised landscape plans to address all the comments and changes noted in the memo from the City's Landscape Architect dated May 7, 2019. These final plans must be reviewed and approved by the City's Landscape Architect before the applicant submits applications for final plat and final PUD approval.

7. That the final Plat and final PUD Plans submittal include updated open space and impervious surface calculations.
8. That the final plat show a drainage and utility easement over the wetland and the wetland buffers, including the 100-year high water level.
9. That a bituminous trail be installed along Hudson Boulevard and along the future north/south road (Julia Avenue) as part of this development.
10. That the applicant provide the City fees in lieu of park land dedication as required by Section 153.14 with future final plat.
11. That if the applicant wants amenity points for theming, that they provide the City for staff approval specific examples of proposed development fencing, landscaping, lighting and site furnishings, including the clubhouse, that will meet the standards outlined in the Lake Elmo Branding and Theming Study.
12. That the final plat and final PUD Plans submittal include detailed architectural plans for the exterior of the buildings (including colors and a listing of all exterior materials) for staff review and approval.
13. That the applicant receive a permit from the Valley Branch Watershed District for the construction of the proposed development.
14. All storm water facilities internal to the site shall be privately owned and maintained. A storm water maintenance and easement agreement in a form acceptable to the City shall be executed and recorded with the final plat for all 100-year high water level areas and to protect all overland emergency flow paths.
15. The Preliminary Plat approval is conditioned upon the applicant meeting all City standards and design requirements unless specifically addressed otherwise in these conditions.

16. That the PUD overlay zoning allow for the following:

- a. Setbacks:

Springs Apartments at Lake Elmo Minimum Building Setbacks

Front (Hudson Blvd).	20 ft.
Interior Side	10 ft.
Corner Side (Julia Avenue)	10 ft.
Rear (north property line)	20 ft.

- b. Attached Garages: That the attached garages shall not exceed 1,000 sq. ft. in area at the ground floor level except by conditional use permit.
 - c. Detached Garages: That the detached garages shall not exceed 3,000 sq. ft. in area at the ground floor level.
17. The Final Plat shall include all necessary public right-of-way and easements for Hudson Boulevard and for the new north/south road (Julia Avenue North).
 18. The Final Plat submittal must include a complete storm water management plan and construction plans that provide all design details for the proposed underground storage systems including details regarding building roof drainage connections. These plans also must incorporate storm water management for the Hudson Boulevard and Julia Avenue Street improvements including the future

east bound left turn lane along Hudson Boulevard at Julia Avenue and must meet all VBWD requirements.

19. Before the City issues any building permits, the developer shall delineate and identify all wetland buffers via staking, fencing and/or signage that is acceptable to the City.
20. The developer shall follow all of the rules and regulations spelled out in the Wetland Conservation Act, and shall acquire the needed permits from the appropriate watershed districts before the commencement of any grading or development activity on the site.
21. That the applicant shall obtain all necessary permits including but not limited to all applicable City permits (building, grading, sign, etc.), NPDES/SWPPP permits and Valley Branch Watershed District approval before starting any site grading or construction activities.
22. That the Final Plat include Valley Branch Watershed District preliminary review comments and that the applicant provide the City evidence that all conditions attached to a Valley Branch Watershed District permit will be met before the starting any grading activity on the site.
23. The applicant shall provide the City with a copy of written permission for any off-site grading work and storm sewer discharges to adjacent properties before starting any site work, grading and as part of any final plat application.
24. That the applicant or developer address all the comments of the Fire Chief and the Building Official with final PUD, site and building plans including the placement of buildings and fire hydrants, street and driveway design, parking and emergency vehicle access within the site.
25. That the applicant revise the project plans to show watermain easements and effective maintenance areas with a minimum width of 30 feet with a minimum of 15 feet of clearance from the pipe centerline and easement agreements are included with the final plat application and plans.
26. That there shall be no encroachments into drainage and utility easements and corridors other than those reviewed and approved by the City Engineer and upon execution of an easement encroachment agreement. Prohibited encroachments include, but are not limited to trees, landscaping, fences, retaining walls, buildings and storm water retention, except the City will allow limited tree planting and landscaping in the drainage and utility easement along the north property line of the site, subject to City staff approval
27. That the developer prepare exhibits for City staff approval that clearly identifies the property lines, easements, proposed locations of retaining walls, fences and accessory buildings and the required and proposed setbacks for each building site within the development.
28. The Applicant(s) or developer shall submit a photometric plan for the development for staff review and approval. All lighting must meet the requirements of Sections 150.035-150.038 of the City Code.
29. Before the installation or construction of any subdivision identification signs or neighborhood markers within the development, the developer shall submit sign plans to the City for review and obtain a sign permit from the City. The proposed monument entrance sign submitted with the preliminary PUD plans is not approved as it exceeds the City size limit of 32 square feet.
30. That the applicant provide the City a detailed construction and staging plan with the construction plans and final plat for the development. These plans are to clearly indicate the phasing of the site grading, the phasing of the construction of each public infrastructure component (including required streets, turn lanes, trails and sidewalks) and shall address access to that phase of the development for construction purposes and for residents. The City may require temporary cul-de-sacs at the end of streets or driveways.
31. Before the execution and recording of a final plat for the development, the developer or applicant shall enter into a Developer's Agreement with the City. The Developer's Agreement must be approved by the City Attorney and by the City Council. Such Developer's Agreement shall delineate who is responsible for the design, construction and payment for the required improvements with financial guarantees therefore.
32. The applicant or developer shall enter into a separate grading agreement with the City before starting any grading activity in advance of final plat approval. The City Engineer shall review any grading plan that is submitted in advance of a final plat, and said plan shall document extent of any proposed grading on the site.

33. That the applicant revise the site and project plans to show a five-foot-wide concrete sidewalk along the west side of the entrance driveway (with the necessary pedestrian ramps) connecting the Clubhouse to the trail along Hudson Boulevard.
34. That the applicant shall submit revised preliminary plat and project plans meeting all conditions of approval for City review and approval. The revised applicant/developer project plans shall meet all of the above conditions before the City will accept a final plat application for any phase of the development and before the start of any clearing or grading activity on the site.
35. That the City's preliminary plat approval is good for one year from the date of City Council action, unless the applicant requests and the City Council approves a time extension.
36. That the maximum density shall not exceed 15 dwelling units per net acre unless the City Council approves specific project amenity points that increase the allowed density for the proposal.

RECOMMENDATIONS:

Staff and the Planning Commission recommend approval of the Preliminary Plat and Preliminary PUD Plans for the Springs Apartments to be located on Hudson Boulevard with the following motion (the City Council cannot give this development final approval until the Metropolitan Council approves the Lake Elmo 2040 Comprehensive Plan update):

“Move to adopt Resolution 2019 - 043 approving the preliminary plat and preliminary PUD Plans as requested by Continental 483 Fund LLC for PID# 34.029.21.43.0003 for the project to be known as the Springs Apartments located on the north side of Hudson Boulevard, subject to recommended findings and conditions of approval as listed in the staff report.”

Staff and the Planning Commission recommend approval of the Zoning Map Amendment (rezoning) of the site of the proposed Springs Apartments from RT (rural development transitional) to HDR (urban high-density residential) after final approval of the 2040 Comprehensive Plan with the following motion:

“Move to adopt Ordinance 08- 223 approving the zoning map amendment (rezoning) of site of the Springs Apartments on Hudson Boulevard from RT (rural development transitional) to HDR (urban high density residential) after final approval of the 2040 Comprehensive Plan based on the findings listed in the Staff report.”

ATTACHMENTS:

1. Updated Project Narrative dated June 6, 2019
2. 2 City Maps
3. Aerial Photo 2
4. Overall Plan and Revised Site Plan
5. Proposed Union Park Final Plat
6. Density Exhibit
7. Project Plans (#21654)
8. N/S Road Typical Section
9. Building Elevations
10. Fire Chief comments
11. City Engineer's comments dated May 8, 2019
12. Landscape Architect comments dated May 7, 2019
13. Neighbor comments dated May 4, 2019
14. May 13, 2019 Planning Commission minutes
15. Resolution 2019 - ____ Preliminary Plat/Preliminary PUD approval
16. Ordinance 08-XXX - Zoning Map Amendment

**CITY OF LAKE ELMO
WASHINGTON COUNTY
STATE OF MINNESOTA
RESOLUTION NO. 2019-043**

***RESOLUTION APPROVING THE CONTINENTAL 483 FUND LLC – SPRINGS
APARTMENTS PRELIMINARY PLAT AND PRELIMINARY PUD PLANS***

WHEREAS, the City of Lake Elmo is a municipal corporation organized and existing under the laws of the State of Minnesota; and

WHEREAS, Continental 483 Fund LLC, c/o Gwyn Wheeler, W134 N8675 Executive Parkway, Menomonee Falls, Wisconsin 53051, submitted an application to the City of Lake Elmo (City) for a Preliminary Plat and Preliminary PUD Plan for a 300 unit, attached housing residential planned unit development on a 17.33 acre site to be known as the Springs Apartments, a copy of which is on file in the City of Lake Elmo Planning Department; and

WHEREAS, notice was published, mailed and posted pursuant to the Lake Elmo Zoning Ordinance, Section 154.102; and

WHEREAS, the Lake Elmo Planning Commission held public hearing on May 13, 2019 to review and consider the Preliminary Plat and Preliminary PUD plans; and

WHEREAS, the Lake Elmo Planning Commission adopted a motion recommending to the City Council approval of the Preliminary Plat and Preliminary PUD plans subject to conditions of approval; and

WHEREAS, the Lake Elmo Planning Director submitted a report and recommendation regarding the Preliminary Plat and Preliminary PUD plans as part of a memorandum to the City Council for the June 18, 2019 City Council Meeting; and

WHEREAS, the City Council reviewed the Preliminary Plat and Preliminary PUD application and plans for the Springs Apartments at its meeting held on June 18, 2019 and made the following findings of fact:

1. That if the 2040 Lake Elmo Comprehensive Plan Update and updated Land Use Map are approved in 2019, that the new land use designation for the site of the proposed planned development will be MU-C (mixed use commercial); and that the Preliminary Plat and Preliminary PUD Plan would be consistent with the intent of the 2040 Lake Elmo Comprehensive Plan and the 2040 Land Use Map for this area.
2. That the Preliminary Plat and Preliminary PUD Plan complies with the general intent of the Urban High Density Residential zoning district with PUD modifications.
3. That the Preliminary Plat and Preliminary PUD Plan generally complies with the City's Subdivision regulations.

4. That the Preliminary Plat and Preliminary PUD Plan are generally consistent with the City's engineering standards with exceptions as noted in the City Engineer's memorandum dated May 8, 2019.
5. The Preliminary PUD Plan meets the minimum requirement for a PUD including minimum lot area, open space and street layout.
6. The Preliminary PUD Plan meets more than one of the required PUD objectives identified in Section 154.751 including providing: innovation in land development techniques that may be more suitable for a given parcel than conventional approaches; provision of a more adequate, usable, and suitably located open space, recreational amenities and other public facilities than would otherwise be provided under conventional land development techniques; accommodation of housing of all types with convenient access to employment opportunities and/or commercial facilities; and especially to create additional opportunities for senior and affordable housing; coordination of architectural styles and building forms to achieve greater compatibility within the development and surrounding land uses; and higher standards of site and building design than would otherwise be provided under conventional land development technique.
7. The Preliminary PUD Plan meets the expected residential density requirements provided by the 2040 Comprehensive Plan's Land Use Map designation (mixed-use commercial) for this site.
8. That the preliminary PUD Plan includes several amenities that may be worthy of amenity points to increase the overall housing density in the development. These amenities may include: right-of-way dedication, contained parking, pedestrian improvements, a plaza (gathering area) and the use of design elements consistent with the 2013 Lake Elmo Branding and Theming project.
9. That the Applicant's preliminary PUD plan provides the following amenities, for which the City may award amenity points:
 - b. Theming elements from the Lake Elmo Theming Study (2 points).
 - c. Plaza/gathering location (5 points).
 - d. Contained Parking (5 points)
 - e. Pedestrian improvements (5 points)

NOW, THEREFORE, BE IT RESOLVED THAT the City Council does hereby approve the Preliminary Plat and Preliminary PUD Plans for the Springs Apartments on Hudson Boulevard as prepared by Continental 483 Fund LLC subject to the following conditions:

1. That the Metropolitan Council give final approval of the City's 2040 Comprehensive Plan Update and adoption of the final version of the 2040 Comprehensive Plan by the Lake Elmo City Council. The City's final plat approval will be good for 120 days after the Met Council's approval of the City's 2040 Comprehensive Plan update or for 120 days after the City Council's approval of the final plat, whichever comes later.
2. That the City approves a Zoning Map Amendment to rezone the site from RT (Rural Development Transitional) to HDR (Urban High Density Residential).

3. That the applicant prepare the final plat and final PUD plans showing all of the site perimeter property lines - including any revisions necessary for including the right-of-way for the north-south street and all additional right-of-way needed for Hudson Boulevard as the proposal only includes a portion of the parcel with the PID# 34.029.21.43.0003.
4. That the final plat and final PUD Plans submittal identify all requests for flexibility from the Zoning Code.
5. That the applicant address all comments and conditions of approval in the City Engineer's Memorandum dated May 8, 2019 with revised project plans for the future final plat and final PUD Plans submittal.
6. That the final Plat and final PUD Plans submittal include a revised tree preservation/replanting and revised landscape plans to address all the comments and changes noted in the memo from the City's Landscape Architect dated May 7, 2019. These final plans must be reviewed and approved by the City's Landscape Architect before the applicant submits applications for final plat and final PUD approval.
7. That the final Plat and final PUD Plans submittal include updated open space and impervious surface calculations.
8. That the final plat show a drainage and utility easement over the wetland and the wetland buffers, including the 100-year high water level.
9. That a bituminous trail be installed along Hudson Boulevard and along the future north/south (Julia Avenue) road as part of this development.
10. That the applicant provide the City fees in lieu of park land dedication as required by Section 153.14 with future final plat.
11. That if the applicant wants amenity points for theming, that they provide the City for staff approval specific examples of proposed development fencing, landscaping, lighting and site furnishings, including the clubhouse that will meet the standards outlined in the Lake Elmo Branding and Theming Study.
12. That the final plat and final PUD Plans submittal include detailed architectural plans for the exterior of the buildings (including colors and a listing of all exterior materials) for staff review and approval.
13. That the applicant receive a permit from the Valley Branch Watershed District for the construction of the proposed development.
14. All storm water facilities internal to the site shall be privately owned and maintained. A storm water maintenance and easement agreement in a form acceptable to the City shall be executed and recorded with the final plat for all 100-year high water level areas and to protect all overland emergency flow paths.
15. The Preliminary Plat approval is conditioned upon the applicant meeting all City standards and design requirements unless specifically addressed otherwise in these conditions.
16. That the PUD overlay zoning allow for the following:
 - d. Setbacks:

Springs Apartments at Lake Elmo Minimum Building Setbacks

Front (Hudson Blvd).	20 ft.
Interior Side	10 ft.

Corner Side (Julia Avenue)	10 ft.
Rear (north property line)	20 ft.

- e. Attached Garages: That the attached garages shall not exceed 1,000 sq. ft. in area at the ground floor level except by conditional use permit.
 - f. Detached Garages: That the detached garages shall not exceed 3,000 sq. ft. in area at the ground floor level.
17. The Final Plat shall include all necessary public right-of-way and easements for Hudson Boulevard and for the new north/south road (Julia Avenue North).
 18. The Final Plat submittal must include a complete storm water management plan and construction plans that provide all design details for the proposed underground storage systems including details regarding building roof drainage connections. These plans also must incorporate storm water management for the Hudson Boulevard and Julia Avenue Street improvements including the future east bound left turn lane along Hudson Boulevard at Julia Avenue and must meet all VBWD requirements.
 19. Before the City issues any building permits, the developer shall delineate and identify all wetland buffers via staking, fencing and/or signage that is acceptable to the City.
 20. The developer shall follow all of the rules and regulations spelled out in the Wetland Conservation Act, and shall acquire the needed permits from the appropriate watershed districts before the commencement of any grading or development activity on the site.
 21. That the applicant shall obtain all necessary permits including but not limited to all applicable City permits (building, grading, sign, etc.), NPDES/SWPPP permits and Valley Branch Watershed District approval before starting any site grading or construction activities.
 22. That the Final Plat include Valley Branch Watershed District preliminary review comments and that the applicant provide the City evidence that all conditions attached to a Valley Branch Watershed District permit will be met before the starting any grading activity on the site.
 23. The applicant shall provide the City with a copy of written permission for any off-site grading work and storm sewer discharges to adjacent properties before starting any site work, grading and as part of any final plat application.
 24. That the applicant or developer address all the comments of the Fire Chief and the Building Official with final PUD, site and building plans including the placement of buildings and fire hydrants, street and driveway design, parking and emergency vehicle access within the site.
 25. That the applicant revise the project plans to show watermain easements and effective maintenance areas with a minimum width of 30 feet with a minimum of 15 feet of clearance from the pipe centerline and easement agreements are included with the final plat application and plans.
 26. That there shall be no encroachments into drainage and utility easements and corridors other than those reviewed and approved by the City Engineer and upon execution of an easement encroachment agreement. Prohibited encroachments include, but are not limited to trees, landscaping, fences, retaining walls, buildings and storm water

retention, except the City will allow limited tree planting and landscaping in the drainage and utility easement along the north property line, subject to City staff approval.

27. That the developer prepare exhibits for City staff approval that clearly identifies the property lines, easements, proposed locations of retaining walls, fences and accessory buildings and the required and proposed setbacks for each building site within the development.
28. The Applicant(s) or developer shall submit a photometric plan for the development for staff review and approval. All lighting must meet the requirements of Sections 150.035-150.038 of the City Code.
29. Before the installation or construction of any subdivision identification signs or neighborhood markers within the development, the developer shall submit sign plans to the City for review and obtain a sign permit from the City. The proposed monument entrance sign submitted with the preliminary PUD plans is not approved as it exceeds the City size limit of 32 square feet.
30. That the applicant provide the City a detailed construction and staging plan with the construction plans and final plat for the development. These plans are to clearly indicate the phasing of the site grading, the phasing of the construction of each public infrastructure component (including required streets, turn lanes, trails and sidewalks) and shall address access to that phase of the development for construction purposes and for residents. The City may require temporary cul-de-sacs at the end of streets or driveways.
31. Before the execution and recording of a final plat for the development, the developer or applicant shall enter into a Developer's Agreement with the City. The Developer's Agreement must be approved by the City Attorney and by the City Council. Such Developer's Agreement shall delineate who is responsible for the design, construction and payment for the required improvements with financial guarantees therefore.
32. The applicant or developer shall enter into a separate grading agreement with the City before starting any grading activity in advance of final plat approval. The City Engineer shall review any grading plan that is submitted in advance of a final plat, and said plan shall document extent of any proposed grading on the site.
33. That the applicant revise the site and project plans to show a five-foot-wide concrete sidewalk along the west side of the entrance driveway (with the necessary pedestrian ramps) connecting the Clubhouse to the trail along Hudson Boulevard.
34. That the applicant shall submit revised preliminary plat and project plans meeting all conditions of approval for City review and approval. The revised applicant/developer project plans shall meet all of the above conditions before the City will accept a final plat application for any phase of the development and before the start of any clearing or grading activity on the site.
35. That the City's preliminary plat approval is good for one year from the date of City Council action, unless the applicant requests and the City Council approves a time extension.
36. That the maximum density shall not exceed 15 dwelling units per net acre unless the City Council approves specific project amenity points that increase the allowed density for the proposal.

Passed and duly adopted this 18th day of June, 2019 by the Lake Elmo Minnesota City Council.

Mike Pearson, Mayor

ATTEST:

Julie Johnson, City Clerk

**CITY OF LAKE ELMO
COUNTY OF WASHINGTON
STATE OF MINNESOTA**

ORDINANCE NO. 08-223

**AN ORDINANCE AMENDING THE LAKE ELMO CITY CODE OF ORDINANCES BY
AMENDING THE OFFICIAL ZONING MAP OF THE CITY OF LAKE ELMO**

SECTION 1. The Lake Elmo City Council hereby ordains the following property to be rezoned from RT– Rural Development Transitional to HDR – High Density Residential:

Proposed Springs Apartments Development Legal Description

That part of the Southwest Quarter of the Southeast Quarter, Section 34, Township 29, Range 21, Washington County, Minnesota described as follows:

Commencing at the southwest corner of said Southwest Quarter of the Southeast Quarter; thence North 00 degrees 06 minutes 31 seconds East, assumed bearing, along the west line of said Southwest Quarter of the Southeast Quarter, a distance of 82.86 feet to the north line of Parcel 29C of Minnesota Department of Transportation Right of Way Plat No. 82-43; thence North 89 degrees 18 minutes 27 seconds East, along said north line, a distance of 40.00 to the point of beginning; thence North 00 degrees 06 minutes 31 seconds East, a distance of 607.73 feet; thence North 89 degrees 40 minutes 54 seconds East, a distance of 1284.76 feet to the east line of said Southwest Quarter of the Southeast Quarter; thence South 00 degrees 01 minutes 13 seconds West, along said east line, a distance of 428.20 feet to a point 267.8 feet north of the southeast corner of said Southwest Quarter of the Southeast Quarter; thence South 89 degrees 54 minutes 16 seconds West, parallel to the south line of said Southwest Quarter of the Southeast Quarter, a distance of 200.00 feet; thence South 00 degrees 01 minutes 13 seconds West, parallel to the east line of said Southwest Quarter of the Southeast Quarter, a distance of 173.21 feet to said north line of Parcel 29C; thence South 89 degrees 18 minutes 27 seconds West, along said north line, a distance of 1085.76 feet to the point of beginning.

Also known as Outlot H, Union Park Addition

All situated in the County of Washington, State of Minnesota.

SECTION 2. The Lake Elmo City Council also hereby ordains that the Zoning Administrator shall make the applicable changes to the official Zoning Map of the City of Lake Elmo.

SECTION 3. Effective Date. This ordinance shall become effective only after the Metropolitan Council approves the Lake Elmo 2040 Comprehensive Plan and immediately upon adoption and publication in the official newspaper of the City of Lake Elmo.

SECTION 4. Adoption Date. This Ordinance 08-223 was adopted on this 18th day of June, 2019, by a vote of ____ Ayes and ____ Nays.

LAKE ELMO CITY COUNCIL

Mike Pearson, Mayor

ATTEST:

Julie Johnson, City Clerk

This Ordinance 08-223 was published on the ____ day of _____, 2019.

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LAND USE REQUEST

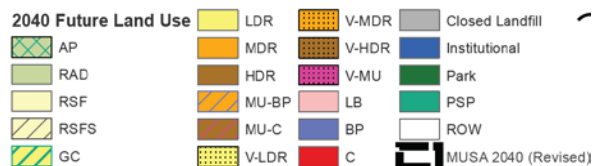
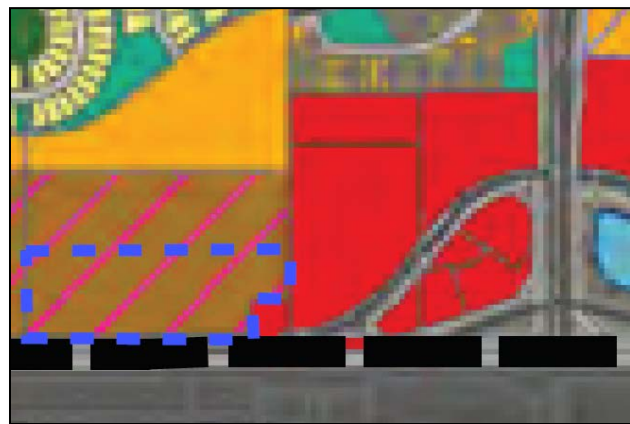
Continental 483 Fund LLC ("Continental") formally requests consideration of a Zoning District Amendment as well as a Preliminary Plat/PUD application for its proposed Springs at Lake Elmo (the "Springs") from the City of Lake Elmo. The proposed site for the Springs apartment community is generally located west of Keats Avenue on the north side of Hudson Boulevard, as shown on the enclosed site plan. Continental proposes an up-scale, market-rate apartment community on the 17.63-acre site (17.01 acres excluding right of way), see enclosed Density Exhibit.

The Springs includes 300 homes within 15 residential buildings. The buildings will offer a townhouse design featuring two stories with private, ground-level entrances to each unit. Residents will have a choice between attached, direct-access garages, detached garages and ample surface parking to best fit their needs. There will be a mix of studio, 1-bedroom, 2-bedroom, and 3-bedroom units, as broken down in the chart to the right.

HOME TYPE	NUMBER OF HOMES
STUDIO	30
1-BEDROOM	120
2-BEDROOM	120
3-BEDROOM	30

The proposed land use is consistent with the 2040 Comprehensive Plan Future Land Use designation of Mixed Use-Commercial (MU-C). The subject site requires a rezoning from Rural Development Transitional (RT) to Urban High Density Planned Unit Development (HDR-PUD). The Future Land Use designation of MU-C allows for residential densities up to 15 units per acre; with greater densities allowed through the PUD process. Continental's request proposes a density of 17.02 du/acre gross and 17.34 du/acre net (excluding onsite predevelopment wetland area). The proposed project density will require the incorporation of site amenity points to achieve a density increase from the base MU-C density maximum. The proposed density bonus amenity points are outlined in detail on Page 5.

The existing RT district zoning is an interim holding zone. Rezoning to HDR is required for the proposed density and a PUD is necessary to have more than one principal building per parcel of land. Continental's proposal meets or exceeds the criteria of the base HDR zoning district, with the exception of the interior corner building setback and the size of the detached garages (see Dimensional Standards on page 4). Additionally, the Springs will be a high-quality apartment community that is compatible in architecture and scale to existing land uses. Continental would like the opportunity to provide a unique, upscale rental housing option in this very fitting location to support Lake Elmo's growth.



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Continental has reached a private agreement with the current land owner to design and construct June Avenue North. The new connector road will be complete prior to completion of the Springs community. The City of Lake Elmo has determined the necessary width of the June Avenue right of way is to be 100' instead of the originally planned 80'. Continental requires a reduced setback on that frontage in order to accommodate the City's requirement for the additional right of way area.

Continental has received approval for a partial fill of the existing wetland from the Valley Branch Watershed District. The project has gone through a number of site plan revisions in order to minimize the impact to the wetland. However, a portion of the wetland will need to be impacted in order to provide the multiuse bituminous trail required by the City. The existing wetland is approximately 0.4 acres and the remaining area after the impact is 0.24 acres. A 25' minimum wetland buffer will be maintained around the remaining portion of the wetland, apart from the required trail on the south side along Hudson Blvd.

The proposed Springs community is anticipated to break ground in late summer of 2019, pending municipal approvals. Construction is to be completed in a single phase with each building gaining occupancy in sequential order starting with the Clubhouse. All public improvements will occur with initial sitework early in the project. Occupancy of the Clubhouse is expected in Spring of 2020, with the residential buildings coming online every 2-3 weeks thereafter and final completion of the community to be achieved by late summer of 2021.

Along with the submitted site plan, elevations, sign package and associated documents, the following is a list of the project standards to be considered as a part of the PUD:

- Architectural Standards:
 - Maximum 2 stories or 35' to top of roof peak
 - Minimum 25' principal building separation
 - Exterior Materials:
 - Mix of stone masonry and fiber cement siding on all four facades of the primary buildings.
 - The percentage of each material will be provided as shown in the enclosed elevations.



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- Resident amenities to include:
 - Minimum 4,000 sf clubhouse
 - Pool with outdoor seating
 - Grill area
 - Fitness center
 - Pet playground
 - Car care center with
 - Pet Spa
- Signage:
 - 3 illuminated clubhouse tower building signs
 - Maximum of 20 SF each
 - 1 illuminated double faced monument sign with electronic reader board
 - Sign to be setback from property line a minimum of 5'
 - Gross sign area may be 60 SF per side maximum (sign area plus electronic reader board)
 - Maximum 12' tall from adjacent grade
- Accessory Structures:
 - The design and construction of any garage, carport, or storage building shall be similar to or compatible with the design and construction of the main building. The exterior building materials, roof style, and colors shall be similar to and compatible with the main building.
 - The structure shall meet the required yard setbacks for a principal structures.
 - Detached garages shall not exceed 3,000 square feet at ground floor level and shall not exceed a height of 22 feet.
- Overall Parking Standards:
 - Parking will meet the City Ordinance.



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- Dimensional Standards:

ZONING CODE COMPARISON		
	URBAN HDR ZONING DISTRICT	PROPOSED SPRINGS DEVELOPMENT
MINIMUM LOT AREA	1,800 sf / unit	17.01 acres (2,469 sf/unit)
OPEN SPACE REQUIREMENT	200 sf / unit	830 sf / unit (251,449 sf = 5.772 ac)
BUILDING SETBACK- FRONT (Hudson Blvd)	20'	20'
BUILDING SETBACK- REAR	20'	20'
BUILDING SETBACK- CORNER SIDE (June Ave N)	15'	10'
BUILDING SETBACK- INTERIOR SIDE	10'	10'
BUILDING HEIGHT	stories n/a - 50'	2 stories - 32'
BUILDING HEIGHT-CLUBHOUSE	50'	32'
LOT COVERAGE	75%	66% (489,765 sf = 11.243 ac)
DENSITY	7.5 du/ac - 15.0 du/ac	14.91 du/ac (net) 14.73 du/ac (gross)
BUILDING SEPARATION	N/A	30' min.
PARKING	1.75 spaces / unit	1.75 spaces / unit
GARAGE PARKING	N/A	163 spaces (.54 / unit)
DETACHED STRUCTURES	Max. 1,000 SF	3,000 SF
LANDSCAPING	154.258 of Zoning Code	Meets
LIGHTING	150.035 - 150.038 of Zoning Code	Meets

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Density Bonus Calculation

The Planned Unit Development (PUD) being prepared by Continental 483 Fund LLC is formally seeking the maximum increase of 20% in the *Amenity Points and Equivalent Density Increase* system for its proposed residential development. The increased density will be achieved through a variety of site amenities that include a combination of: public right-of-way dedication/construction, contained parking, pedestrian improvements, a plaza and an array of natural features.

Public Right-of-Way Dedication (10 Points)

The Springs at Lake Elmo is facilitating the dedication of land for Julia Avenue North. The new right-of-way will be roughly 100' wide and feature a trail that will expand the City's planned trail system per the 2040 Comprehensive Land Use Plan goals. Additionally, Hudson Avenue will feature several improvements that include two right turn deceleration lanes, curb, gutter, storm system, and trail on the right-of-way to connect Hudson and Julia to the existing trail system to the north. Both right-of-way improvement projects are part of a wider plan to enhance the City's connectivity, and will be designed to the specifications of the City Engineer.

Contained Parking (5 Points)

The Springs at Lake Elmo has made a conscience effort to creatively integrate parking into the site and reduce the number of visible surface parking stalls from the public right-of-way. This has been achieved by rear-loading the parking stalls throughout the project and by using the principal and accessory structures to block the public's view of those stalls.

Pedestrian Improvements (5 Points)

The Springs at Lake Elmo will serve as a critical component in expanding the Lake Elmo trail system, ultimately contributing to a greater quality of life in Lake Elmo. The project will offer improvements on Hudson Boulevard and the future Julia Avenue North. Beyond resident amenities and high-quality finishes, a sense of place is created for the community through a thoughtfully designed site plan. Ample open space, landscaping, courtyards, and pedestrian connectivity throughout will foster neighbor interaction and contribute to place making in Lake Elmo. The development will support pedestrian and bicycle access by connecting and constructing a new 8' wide trail, and will provide ADA connection to the right-of-way designed to the specifications of the Hudson Boulevard and Julia Avenue North design guidelines.

Plaza (5 Points)

The Springs at Lake Elmo understands the importance of connecting communities, which is why the 4,340 square foot clubhouse and pool ("plaza") will serve as a gathering space for Springs residents and provide opportunities for community outreach events hosted by the onsite operations team.

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Natural Features (3 Points)

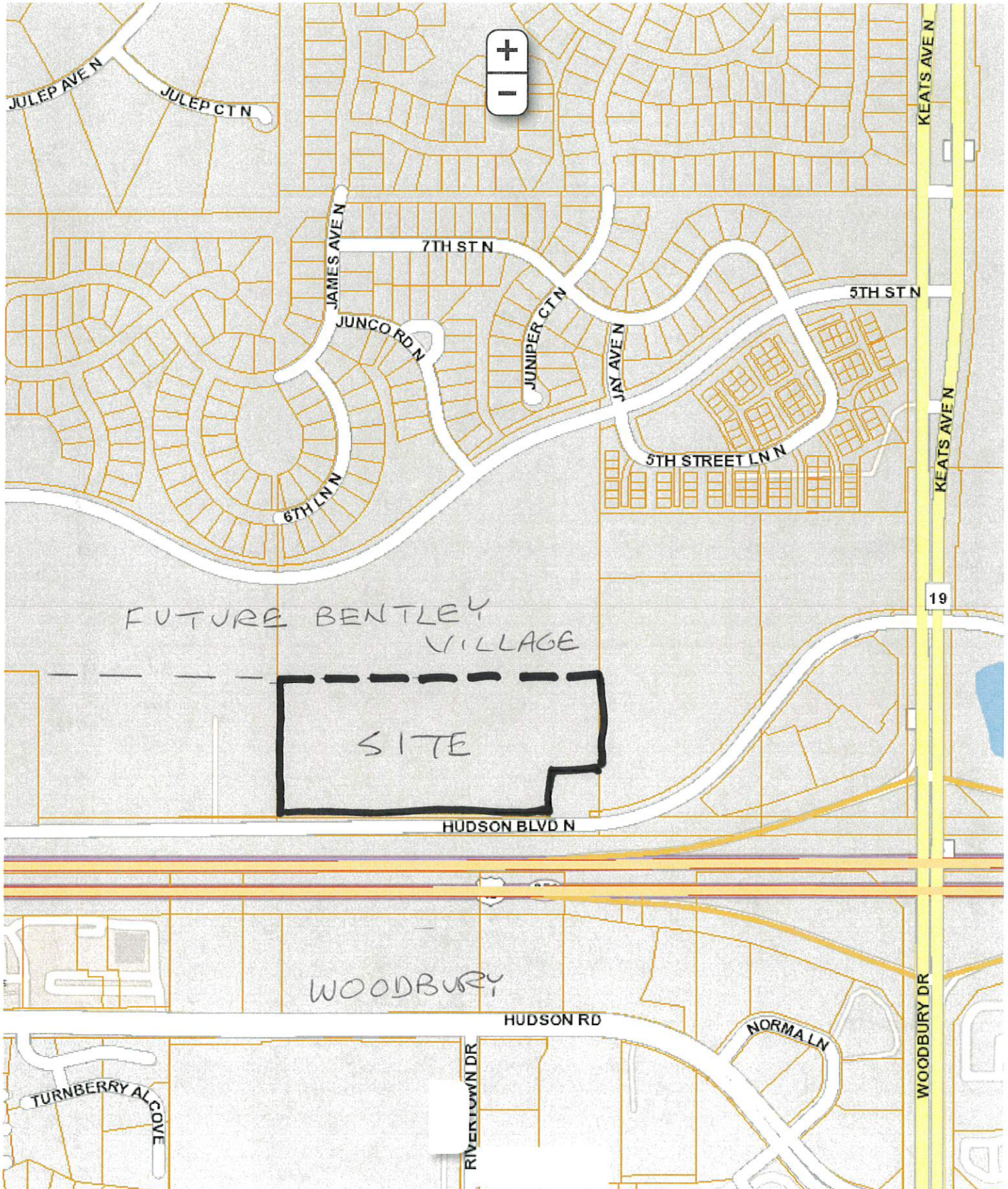
The Springs at Lake Elmo has held multiple meetings with the City of Lake Elmo staff and Valley Branch Watershed District to find a creative solution to accommodate all stakeholders' requirements. Through this joint effort, the least amount of wetland will be impacted, while complying with the City's required improvements along Hudson Boulevard. Ultimately, the project will preserve a natural feature while restoring ecological functions through the project's stormwater collection system.

Conclusion

The Springs at Lake Elmo is requesting a density increase through the *Amenity Points and Equivalent Density Increase* system for the maximum allowable points (20%). The project meets the standards for the following site amenities: public right-of-way dedication/construction, contained parking, pedestrian improvements, a plaza and preservation of natural features. The Springs at Lake Elmo will support a population of roughly 500 people with significant disposable income. Continental estimates that the total annual expenditures for the average Springs household is \$50,000 and will thereby contribute roughly \$14 million each year in the local economy. The development will provide a smooth transition from existing multifamily residential development to the east and higher intensity retail corridor along I-94 with two-story and the Pulte townhomes to the North. Ultimately, the project will serve as an important community destination and connector for the City's planned improvements and overall future. In order to achieve all the benefits listed herein, the project first needs to achieve a density bonus increase of 20%. The high quality, amenity-driven Springs at Lake Elmo project will set a precedent for multifamily developments for years to come and will produce a significant public benefit in Lake Elmo.

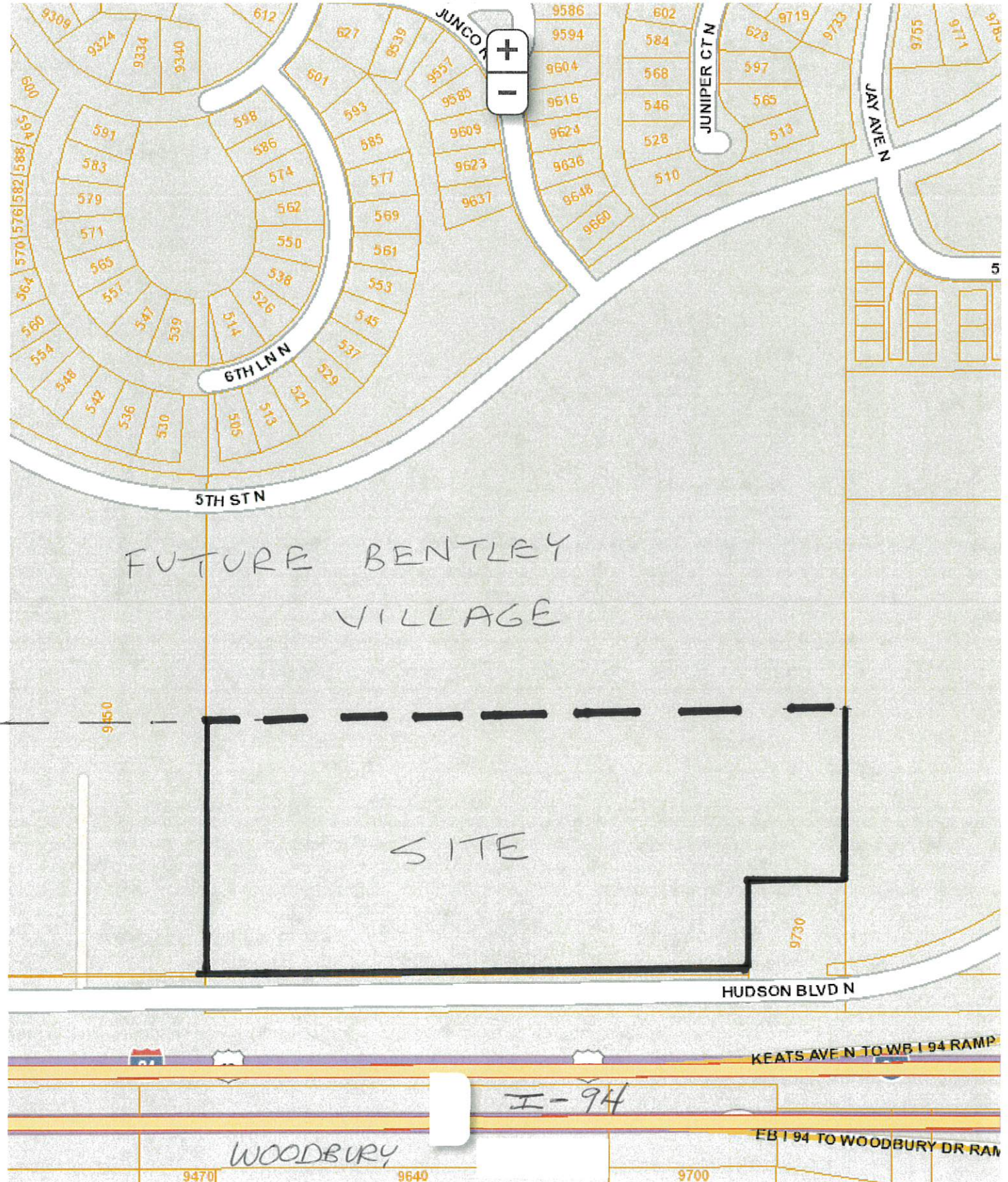


Property Viewer

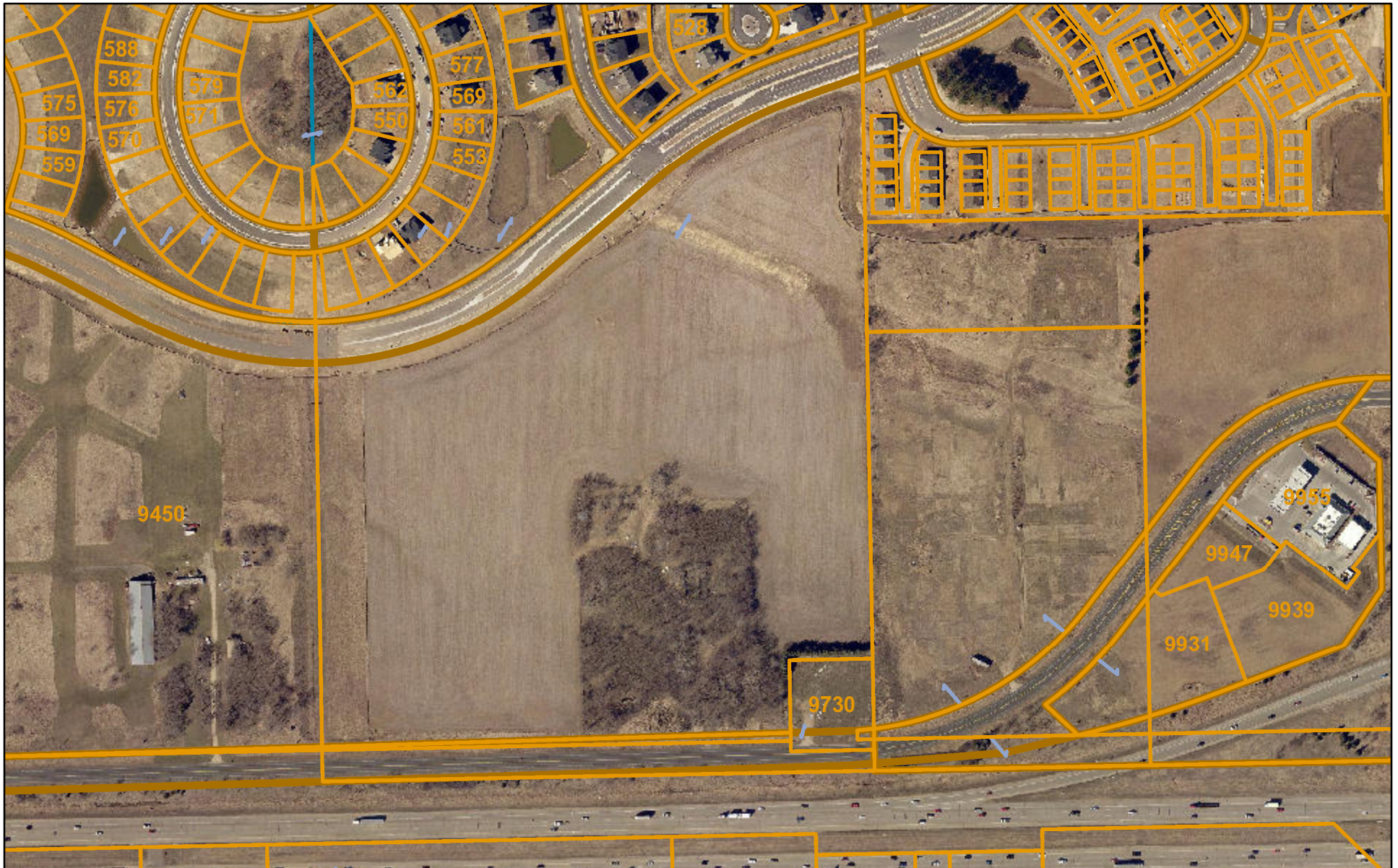




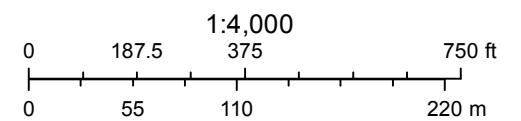
Property Viewer

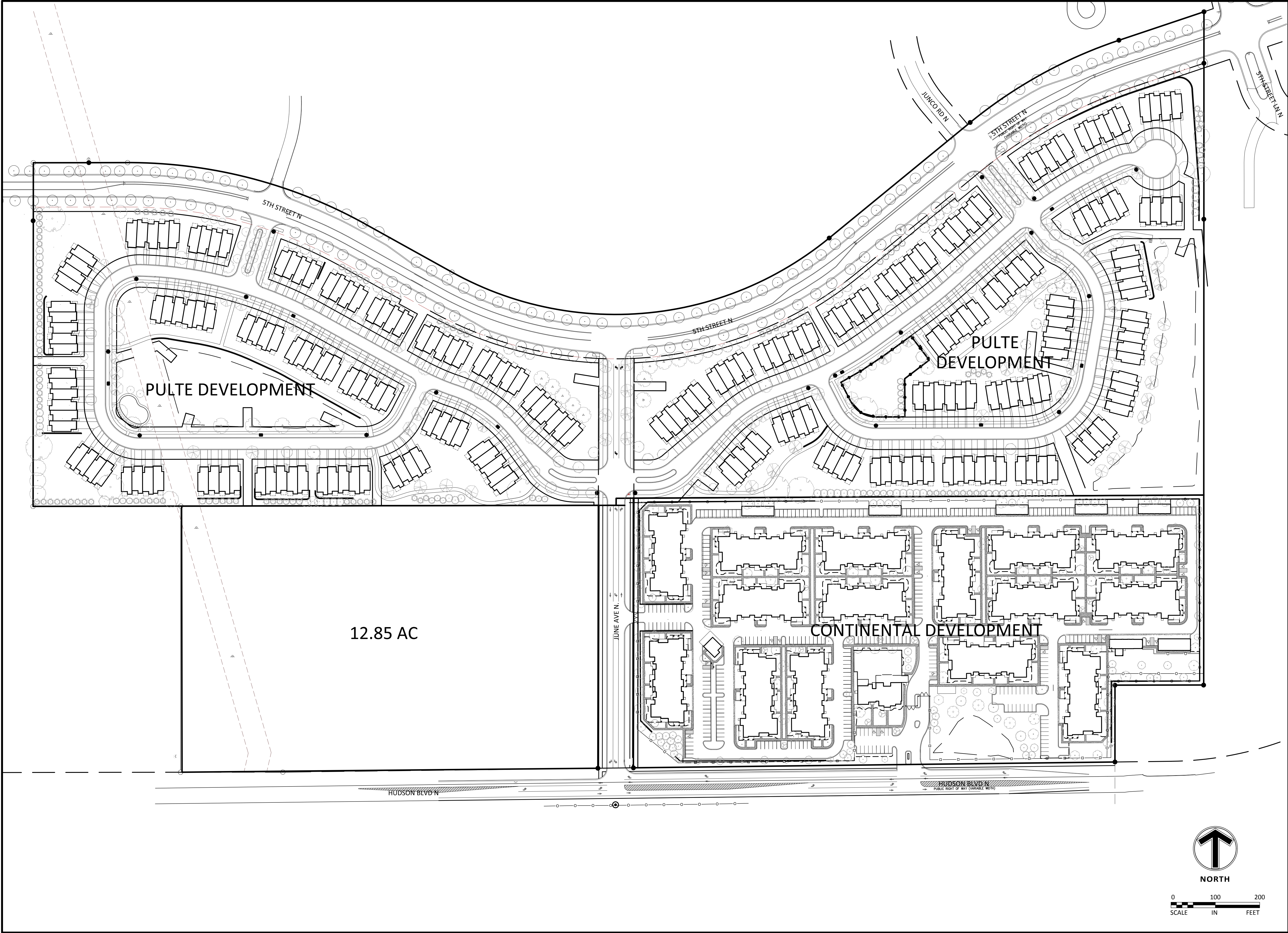


Washington County, MN



January 24, 2019





Sambatek
www.sambatek.com
12800 Whitewater Drive, Suite 300
Minnetonka, MN 55343
763.476.6010 telephone
763.476.8532 facsimile
Engineering | Surveying | Planning | Environmental

Client
CONTINENTAL
483 FUND LLC

W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051

Project
SPRINGS AT
LAKE ELMO

Location
LAKE ELMO,
MINNESOTA
9955 HUDSON BOULEVARD NORTH

Certification

PRELIMINARY

Summary
Designed: EAV Drawn: CIL
Approved: EAV Book / Page:
Phase: PRELIMINARY Initial Issue: 4/12/2019

Revision History	
No.	Date By Submittal / Revision
4/12/2019	CITY SUBMITTAL
5/1/2019	CITY PRELIMINARY RESUBMITTAL

Sheet Title
OVERALL
DEVELOPMENT
PLAN

Sheet No. Revision
C2.06

Project No. 21654

Client
CONTINENTAL
483 FUND LLC

W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051

Project
SPRINGS AT
LAKE ELMO

Location
LAKE ELMO,
MINNESOTA
9955 HUDSON BOULEVARD NORTH

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Eric A. Vogel
Registration No. 14 Date: 4/12/2019

If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

Summary

Designed: EAV Drawn: CIL
Approved: EAV Book / Page:
Phase: PRELIMINARY Initial Issue: 4/12/2019

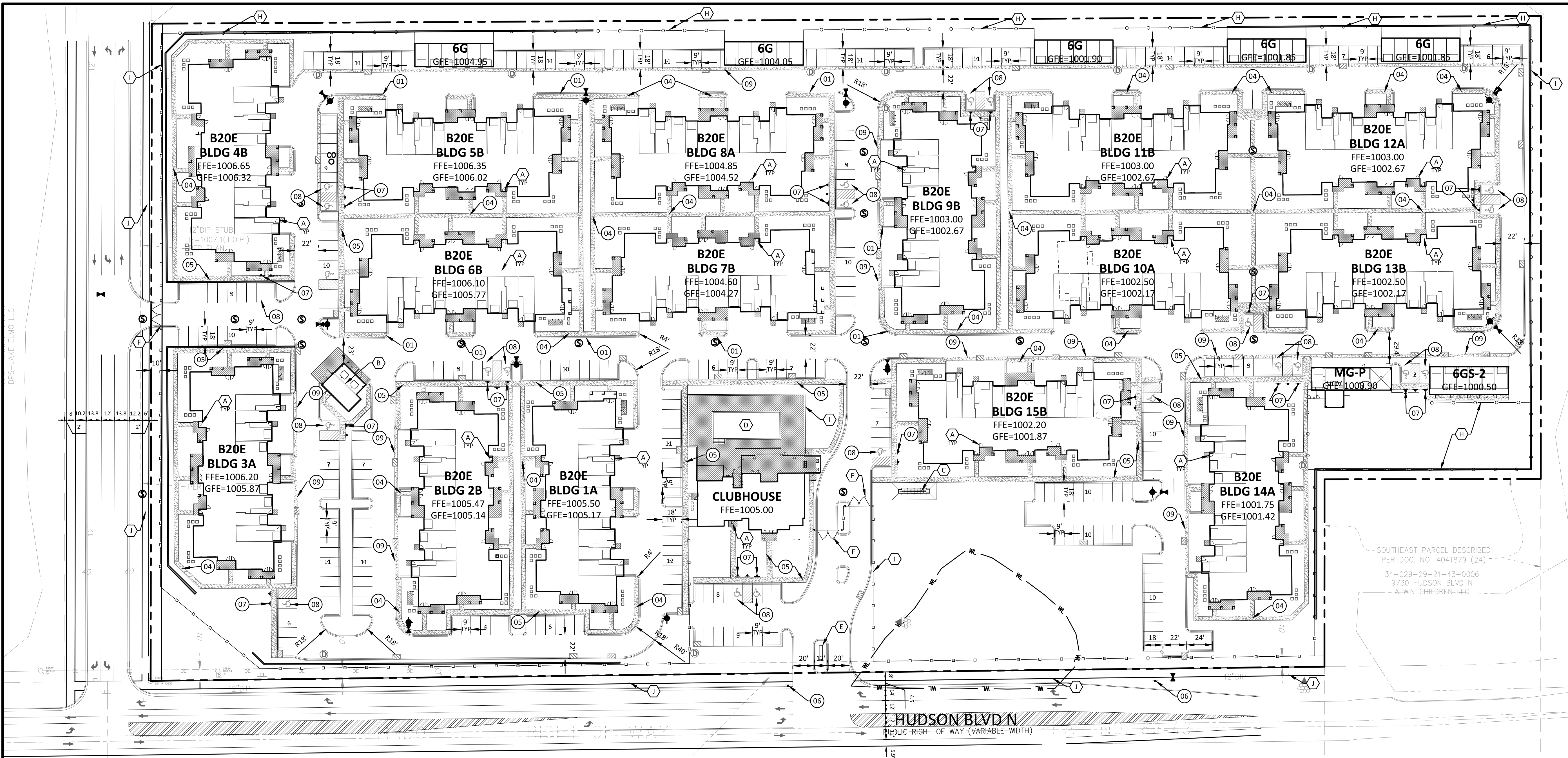
Revision History

No.	Date By	Submittal / Revision
4/12/2019		CITY SUBMITTAL
5/1/2019		CITY PRELIMINARY RESUBMITTAL

Sheet Title
SITE PLAN

Sheet No. **Revision**
C3.01

Project No. **21654**



LEGEND	PROPOSED	EXISTING	
PROPERTY LIMIT	—	---	
CURB & GUTTER	—	---	
EASEMENT	---	---	
BUILDING	—	---	
RETAINING WALL	—	---	
WETLAND LIMITS	—	---	
TREELINE	—	---	
SAWCUT LINE	—	---	
SIGN	—	---	
PIPE BOLLARD	—	---	
NUMBER OF PARKING STALLS PER ROW	XX	XX	
KEY NOTE	XX	XX	
DETAIL	XX	XX	
CHAIN LINK FENCE	—	---	
DECORATIVE WOODEN FENCE	—	---	
AIR CONDITIONING UNIT	—	---	

DEVELOPMENT SUMMARY		
AREA GROSS SITE AREA	741,214 SF	17.02 AC
BUILDING INFORMATION	QUANTITY	HEIGHT
B20E (20 DU/BUILDING)	15 UNITS	2-STORY / 35' 15 UNITS
TOTAL RESIDENT BUILDINGS		
GENERAL HOME MIX	HOMES	PERCENTAGE
1-BEDROOM	30	10%
2-BEDROOM	120	40%
3-BEDROOM	120	40%
TOTAL HOMES	300	100%
ZONING		
EXISTING ZONING	RURAL DEVELOPMENT TRANSITIONAL	
PROPOSED ZONING	URBAN HIGH-DENSITY PLANNED UNIT (HDR.PUD)	
PARKING INFORMATION		
GARAGE TOTALS:		
NUMBER OF ATTACHED MAINTENANCE GARAGES	120 GARAGES	1
NUMBER OF STAND ALONE GARAGES	42 GARAGES	
TOTAL GARAGE	163 GARAGES	
PARKING REQUIRED PER CODE	525 SPACES	
SURFACE PARKING AMOUNT	399 SPACES	
TOTAL PARKING PROVIDED	562 SPACES	
UNIT PARKING RATIO	1.87	
COVERED PARKING RATIO	0.29	
CLUBHOUSE PARKING	17 SPACES	
*INCLUDED IN PARKING CALCS	(24 ADA)	

- DEVELOPMENT NOTES**
- ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
 - ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "GUTTER OUT" WHERE WATER DRAINS AWAY FROM CURB. ALL OTHER AREAS SHALL BE CONSTRUCTED AS "GUTTER IN" CURB. COORDINATE WITH GRADING CONTRACTOR.
 - ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
 - ALL PARKING STALLS TO BE 9' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - SEE ARCHITECTURAL PLANS FOR LIGHT POLE FOUNDATION DETAIL AND FOR EXACT LOCATIONS OF LIGHT POLE.
 - REFER TO FINAL PLAT FOR LOT BOUNDARIES, LOT NUMBERS, LOT AREAS, AND LOT DIMENSIONS.
 - ALL GRADIENTS ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 2.08% (1:48). THE MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS AISLE SHALL BE 2.08% (1:48). THE CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS PAVEMENT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT AND COORDINATE WITH GRADING CONTRACTOR.
 - "NO PARKING" SIGNS SHALL BE PLACED ALONG ALL DRIVEWAYS AS REQUIRED BY CITY.

- KEY NOTES**
- (A) BUILDING, STOOPS, STAIRS SEE ARCHITECTURAL PLANS
 - (B) TRASH/RECYCLING PICKUP AREA - SEE ARCHITECTURAL PLANS
 - (C) MAIL KIOSK - SEE ARCHITECTURAL PLANS
 - (D) POOL - SEE ARCHITECTURAL PLANS
 - (E) MONUMENT SIGN - SEE ARCHITECTURAL PLANS
 - (F) VEHICLE GATE - SEE ARCHITECTURAL PLANS
 - (G) TRANSFORMER - LOCATION TBD
 - (H) CHAIN LINK FENCE - SEE ARCHITECTURAL PLANS
 - (I) DECORATIVE WOODEN FENCE - SEE ARCHITECTURAL PLANS
 - (J) BITUMINOUS PATH
- DETAILS**
- (01) 8-612 CONCRETE CURB AND GUTTER - SEE SHEET C9.01
 - (02) 8-618 CONCRETE CURB AND GUTTER - SEE SHEET C9.01
 - (03) TAPERED CURB - SEE SHEET C9.01
 - (04) 4' SIDEWALK - SEE SHEET C9.01
 - (05) 5' SIDEWALK - SEE SHEET C9.01
 - (06) STOP SIGN - SEE SHEET C9.01
 - (07) ACCESSIBLE PARKING SIGN - SEE SHEET C9.01
 - (08) ACCESSIBLE PARKING STALL - SEE SHEET C9.01
 - (09) VALLEY GUTTER - SEE SHEET C9.01

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOMHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS ACTIVE. NO DRAIN TILE SHALL BE BACKFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

UNION PARK

KNOW ALL BY THESE PRESENTS: That DPS-Lake Elmo, LLC, a Minnesota limited liability company, owner of the following described property situated in the County of Washington, State of Minnesota to wit:

That portion of the East Half of the Southwest Quarter and that portion of the West Half of the Southeast Quarter, both in Section 34, Township 29, Range 21, Washington County, Minnesota, described as follows:

Commencing at the West Quarter corner of said Section 34; thence South 00 degrees 00 minutes 40 seconds East, along the West line of said Section 34, a distance of 472.55 feet; thence North 89 degrees 57 minutes 32 seconds East, a distance of 1315.91 feet to the West line of said East Half of the Southwest Quarter; thence South 00 degrees 02 minutes 55 seconds West, along said West line a distance of 714.99 feet to the point of beginning; thence North 89 degrees 55 minutes 22 seconds East, a distance of 212.38 feet; thence Southeasterly along a tangential curve concave to the Southwest having a central angle of 29 degrees 05 minutes 37 seconds, a radius of 1100.00 feet for an arc distance of 558.56 feet; thence South 60 degrees 59 minutes 01 seconds East, tangent to said curve, a distance of 224.27 feet; thence Southeasterly along a tangential curve concave to the North, having a central angle of 68 degrees 21 minutes 23 seconds, a radius of 760.00 feet for an arc distance of 906.71 feet; thence North 50 degrees 39 minutes 36 seconds East, a distance of 410.97 feet; thence Northeasterly along a tangential curve concave to the Southeast, having a central angle of 20 degrees 49 minutes 17 seconds, a radius of 1060.00 feet for an arc distance of 385.20 feet; thence North 71 degrees 28 minutes 52 seconds East, tangent to said curve, a distance of 202.22 feet to the East line of said West Half of the Southeast Quarter; thence South 00 degrees 01 minutes 13 seconds West, along the East line a distance of 1517.53 to a line parallel with and distant 217.80 feet North of the North right of way line of Highway No. 12; thence South 89 degrees 54 minutes 16 seconds West, along said parallel line, a distance of 200.00 feet to a line parallel with and distant 200.00 feet West of said East line of the West Half of the Southeast Quarter; thence South 00 degrees 01 minutes 13 seconds West, along said parallel line, a distance of 173.18 feet to the North line of Minnesota Department of Transportation Right of Way Plat No. 82-43; thence South 89 degrees 18 minutes 12 seconds West, along said North line a distance of 1875.94 feet; thence continuing along said North line South 89 degrees 53 minutes 55 seconds West, a distance of 230.61 feet to the East line of the West 333.00 feet of said East Half of the Southwest Quarter; thence North 00 degrees 02 minutes 55 seconds East, along said line a distance of 599.99 feet to the North line of the South 675.00 feet of said East Half of the Southwest Quarter; thence South 89 degrees 53 minutes 57 seconds West, along said North line a distance of 333.00 feet to said West line of the East Half of the Southwest Quarter; thence North 00 degrees 02 minutes 55 seconds East, along said West line a distance of 774.53 feet to the point of beginning.

Washington County, Minnesota
Abstract Property

Has caused the same to be surveyed and platted as UNION PARK and does hereby donate and dedicate to the public for public use the public ways and the drainage and utility easements as created by this plat.

In witness whereof said DPS-Lake Elmo, LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officer this ____ day of _____, 20____.

Signed: DPS-Lake Elmo, LLC.

Chief Manager

STATE OF _____
COUNTY OF _____

This Instrument was acknowledged before me on this ____ day of _____, 20____, by _____, Chief Manager, DPS-Lake Elmo, LLC, a Minnesota limited liability company, on behalf of the corporation.

Signature

Printed

Notary Public, _____ County, _____
My Commission Expires _____

I Dennis B. Olmstead, Licensed Land Surveyor, do hereby certify that I have surveyed or directly supervised the survey of the property described on the plat; and prepared this plat or directly supervised the preparation of this plat; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set as shown; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this surveyor's certification are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this ____ day of _____, 20____

Dennis B. Olmstead, Licensed Land Surveyor
Minnesota License No. 18425

STATE OF MINNESOTA
COUNTY OF HENNEPIN

This Instrument was acknowledged before me on this ____ day of _____, 20____, by Dennis B. Olmstead, Licensed Land Surveyor, Minnesota License No. 18425.

Signature

Printed

Notary Public, _____ County, Minnesota
My Commission Expires _____

CITY OF LAKE ELMO, MINNESOTA

This plat was approved by the City Council of Lake Elmo, Minnesota this ____ day of _____, 20____, and hereby certifies compliance with all requirements as set forth in Minnesota Statutes, Section 505.03, Subdivision 2.

Signed: _____ Attest: _____
Mayor City Administrator

COUNTY SURVEYOR

Pursuant to Chapter 820, Laws of Minnesota, 1971, and in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this ____ day of _____, 20____.

By: _____ By: _____
Washington County Surveyor

COUNTY AUDITOR/TREASURER APPROVAL

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9 and Section 272.12, taxes payable in the year 20____, on real estate hereinbefore described, have been paid; there are no delinquent taxes, the current taxes and transfer has been entered, on this ____ day of _____, 20____.

By: _____ By: _____
Washington County Auditor/Treasurer Deputy

COUNTY RECORDER

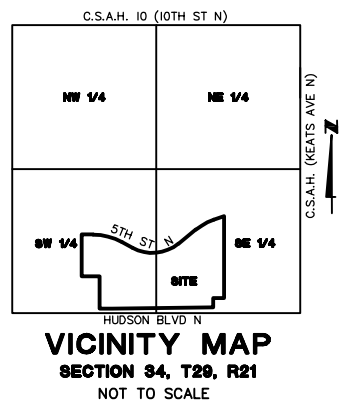
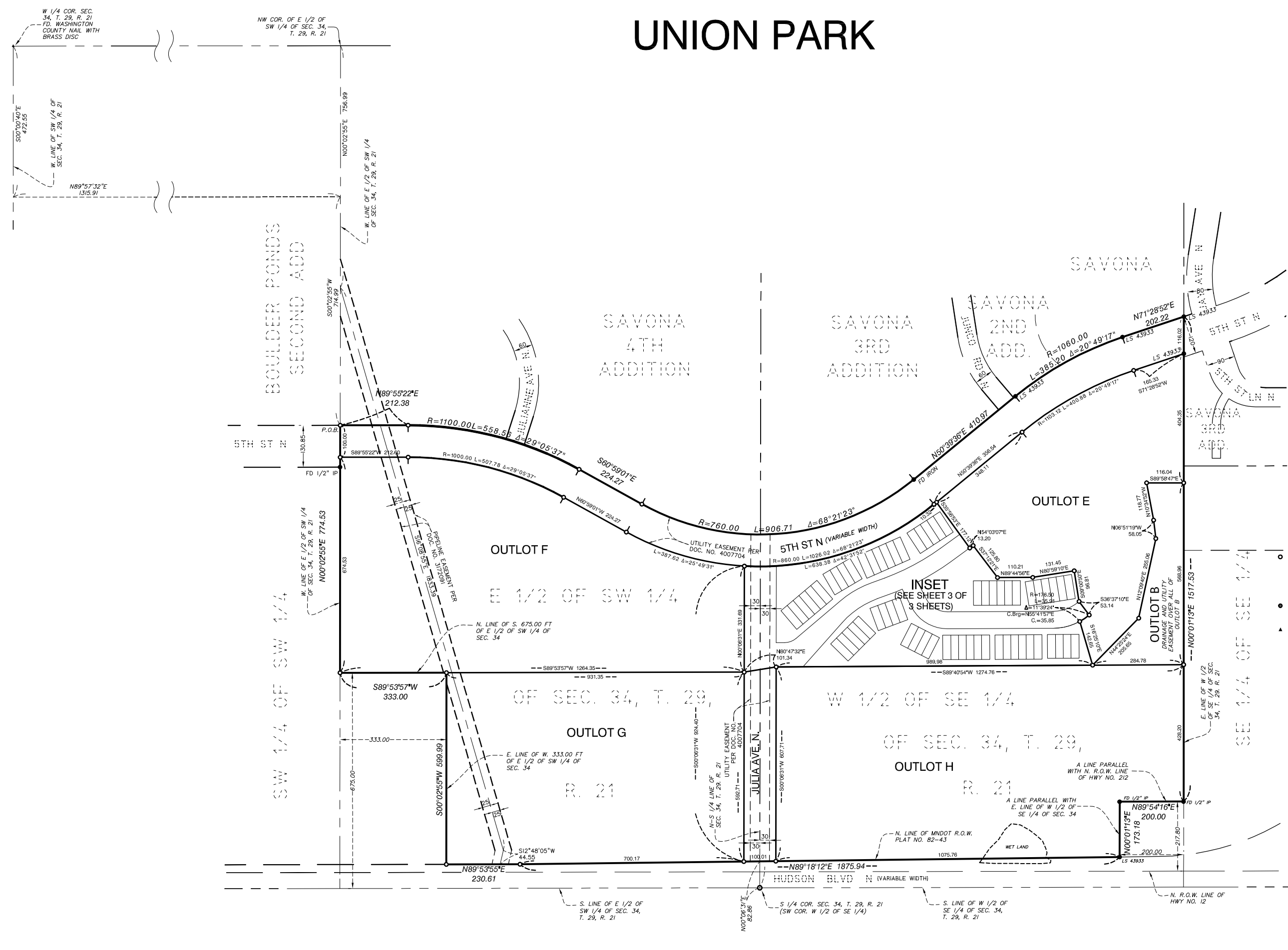
Document Number _____

I hereby certify that this Instrument was recorded in the Office of the County Recorder for record on this ____ day of _____, 20____ at ____ o'clock ____M, and was duly recorded in Washington County Records.

By: _____ By: _____
Washington County Recorder Deputy

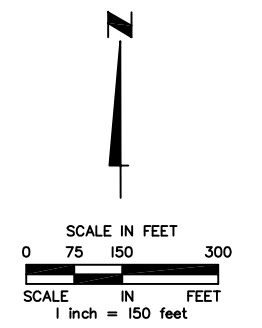


UNION PARK



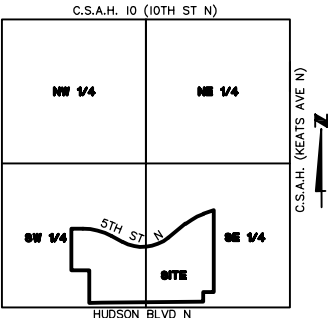
- DENOTES SET, 1/2 INCH BY 14 INCH IRON PIPE WITH PLASTIC CAP INSCRIBED ALLIANT LS 18425. THESE MONUMENTS WILL BE PLACED IN THE GROUND AS SHOWN WITHIN ONE YEAR AFTER THE RECORDING DATE OF THIS PLAT.
- DENOTES FOUND, 1/2 INCH BY 14 INCH, IRON PIPE WITH PLASTIC CAP INSCRIBED LS _____
- ▲ DENOTES FOUND MAG NAIL.

THE ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE WASHINGTON COUNTY COORDINATE SYSTEM NAD83 (1986).

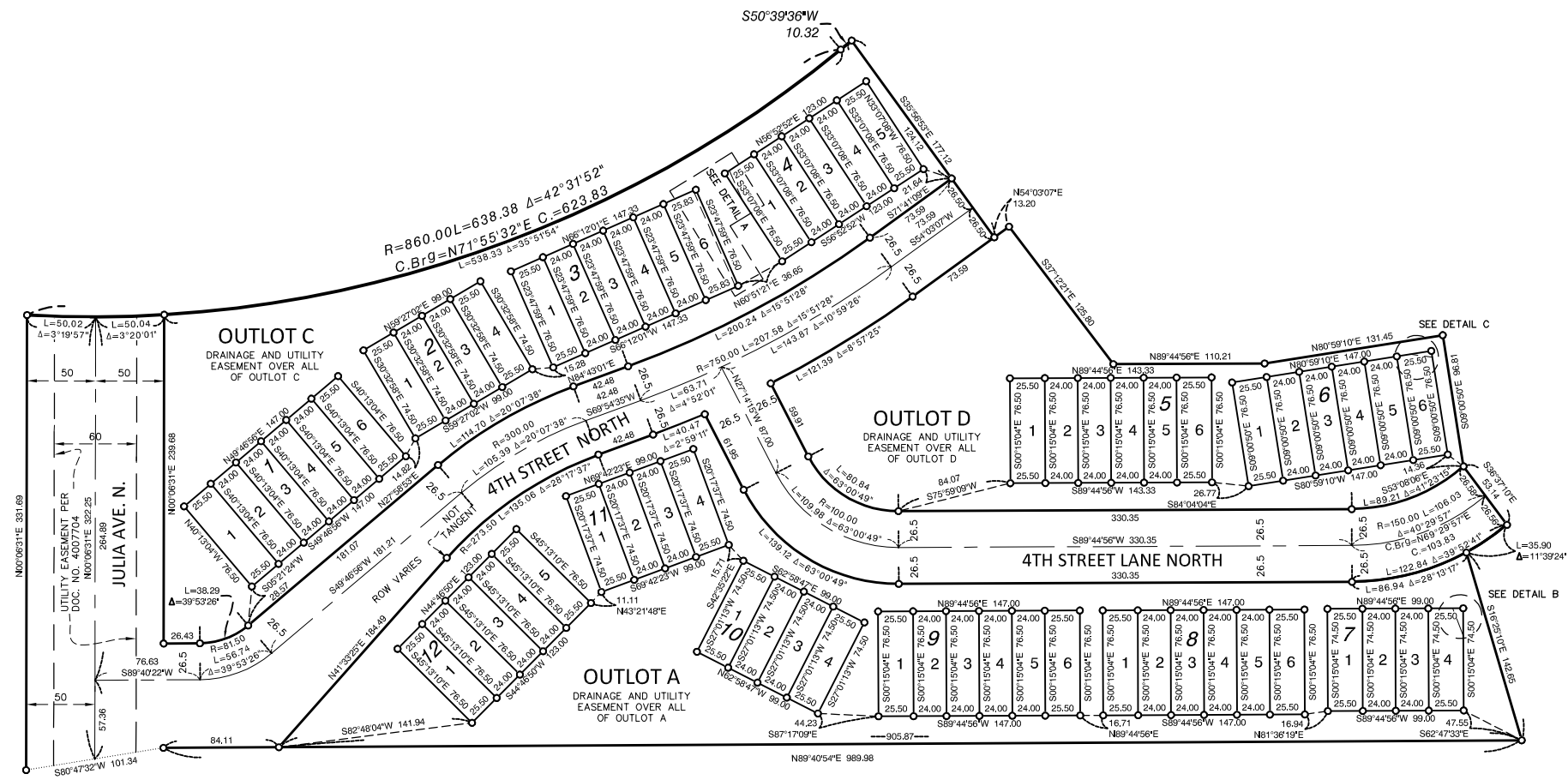


UNION PARK

INSET



VICINITY MAP
SECTION 34, T29, R21
NOT TO SCALE

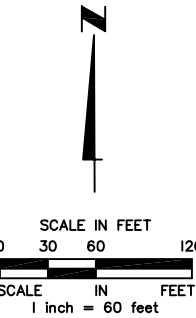
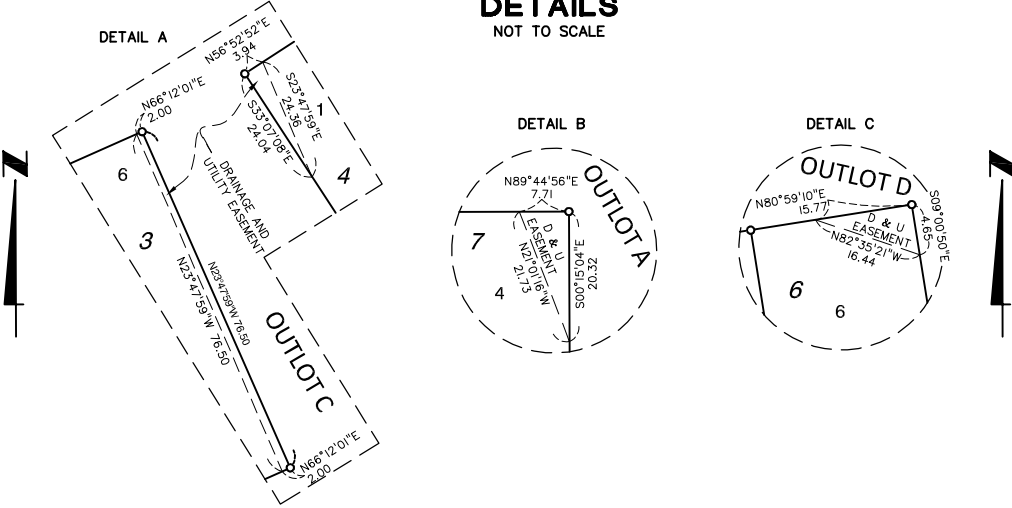


- DENOTES SET, 1/2 INCH BY 14 INCH IRON PIPE WITH PLASTIC CAP INSCRIBED ALLIANT LS 18425. THESE MONUMENTS WILL BE PLACED IN THE GROUND AS SHOWN WITHIN ONE YEAR AFTER THE RECORDING DATE OF THIS PLAT.
- DENOTES FOUND, 1/2 INCH BY 14 INCH, IRON PIPE WITH PLASTIC CAP INSCRIBED LS _____

THE ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE WASHINGTON COUNTY COORDINATE SYSTEM NAD83 (1986).

DETAILS

NOT TO SCALE



Monday, Apr 22, 2019 3:42:38 PM

\\minnesotad\lake Elm\HudsonBlvd_KeatsAve_NWC\dwg\PCP.dwg - Environmental\Site\Density - HudsonBlvd_KeatsAve_NWC.D14.dwg



LEGEND

<div></div>	PROPERTY BOUNDARY
<div></div>	UNDISTURBED WETLAND
<div></div>	DISTURBED WETLAND
<div></div>	RIGHT OF WAY

GROSS SITE CALCULATION	
MULTIFAMILY AREA	16.77 ACRES
WETLAND AREA	0.24 ACRES
HUDSON BLVD R.O.W.	2.23 ACRES
FUTURE ROAD R.O.W.	1.12 ACRES
TOTAL AREA	20.36 ACRES
GROSS DENSITY	14.73 DU/ACRE

NET SITE CALCULATION	
MULTIFAMILY AREA	16.77 ACRES
(-) WETLAND AREA*	0.00 ACRES
HUDSON BLVD R.O.W.	2.23 ACRES
FUTURE ROAD R.O.W.	1.12 ACRES
TOTAL AREA	20.12 ACRES
NET DENSITY *	14.91 DU/ACRE
*NOT INCLUDING UNDISTURBED WETLANDS	

CONTINENTAL C483 FUND LLC
An affiliate of



STATE: MN
DRAWN BY: LDB
INITIAL DATE DRAWN: 4/22/2019

CITY: LAKE ELMO
STREET: HUDSON BLVD & KEATS AVE, NWC

REVISIONS

REV	DESCRIPTION	DATE	REV	DATE
1	MINOR SITE PLAN REVISIONS	2/1/2019		

NORTH
SHEET:

REV: 1



EX-DENSITY

Preliminary Site Development Plans

for

Springs at Lake Elmo

Lake Elmo, Minnesota

Presented by:

Continental Properties

CONSULTANT CONTACT LIST:

DEVELOPER/OWNER

CONTINENTAL 483 FUND LLC

W134 N8675 EXECUTIVE PARKWAY

MENOMONEE FALLS, WI 53051

TEL 262-653-9352

CONTACT: GWYN WHEELER

CIVIL ENGINEER

SAMBATEK

12800 WHITEWATER DRIVE, SUITE 300

MINNETONKA, MN 55343

TEL 763-476-6010

FAX 763-476-8532

CONTACT: ERIC VOGEL, PE

ARCHITECT

KHALER SLATER

111 W WISCONSIN AVE

MILWAUKEE, WI 53203

TEL 414-373-2000

FAX 414-272-2001

CONTACT: DENNIS POHLMAN

SURVEYOR

SAMBATEK

12800 WHITEWATER DRIVE, SUITE 300

MINNETONKA, MN 55343

TEL 763-476-6010

FAX 763-476-8532

CONTACT: CRAIG JOHNSON, LS

GEOTECHNICAL

PROFESSIONAL SERVICE INDUSTRIES, INC.

2915 WATERS ROAD, SUITE 112

EAGAN, MN 55121

TEL 651-646-8148

CONTACT: JOSEPH ROZMIAREK

LANDSCAPE ARCHITECT

SAMBATEK

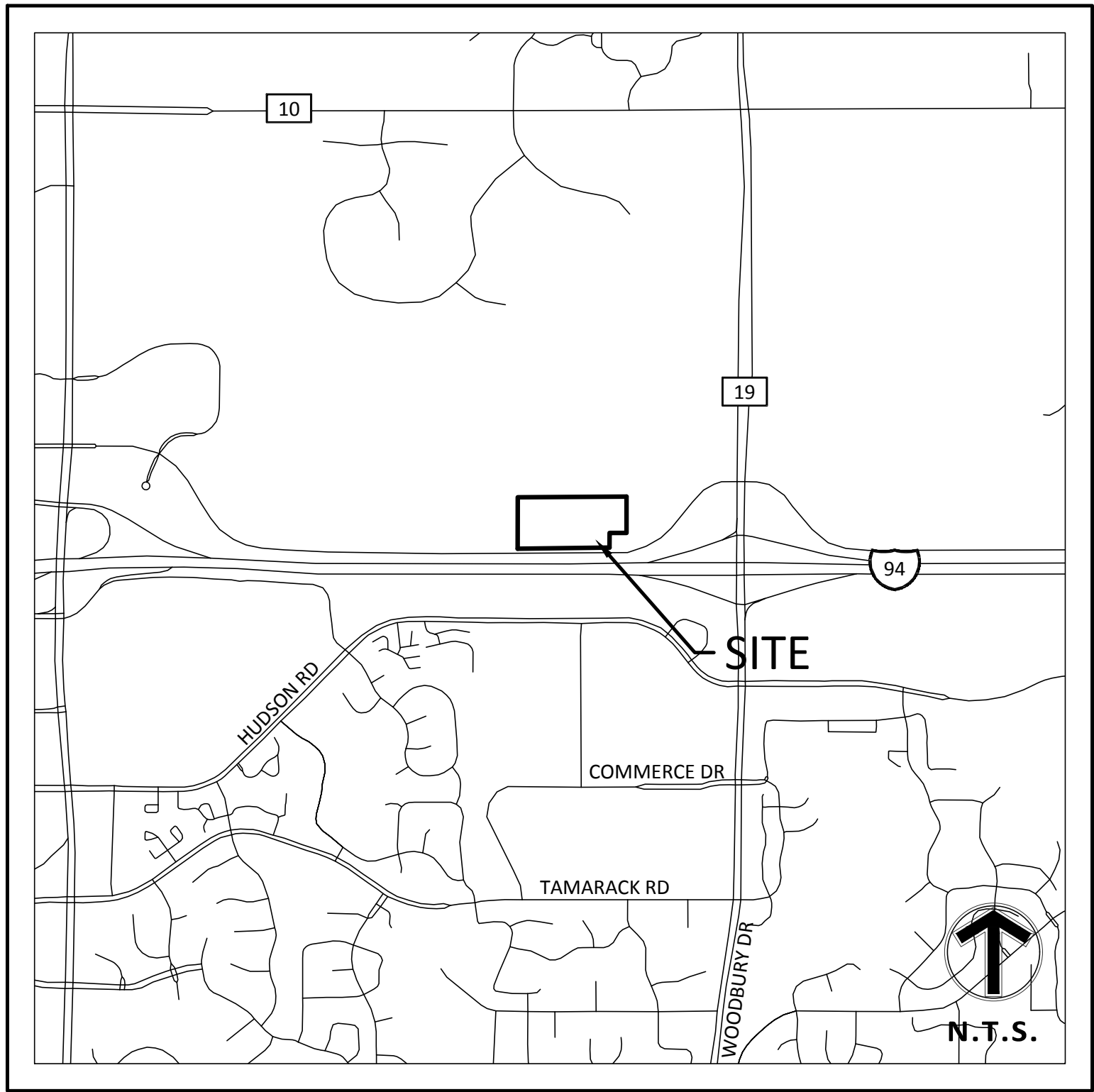
12800 WHITEWATER DRIVE, SUITE 300

MINNETONKA, MN 55343

TEL 763-476-6010

FAX 763-476-8532

CONTACT: WILLIAM DELANEY, PLA



VICINITY MAP

NO SCALE

BENCHMARKS

BENCHMARK #1 = MNDOT Disc "8282 AX" - Elev=938.31
Located at NE Quad. of Int. Hwy. 94 & Keats Ave.

BENCHMARK #2 = TNH - ELEV=1001.01
South property line of subject property @ midpoint of line.

SHEET INDEX

SHEET	DESCRIPTION
C1.01	TITLE SHEET
C2.01	ALTA SURVEY
C2.02	FINAL PLAT (1 OF 2)
C2.03	FINAL PLAT (2 OF 2)
C2.04	EXISTING CONDITIONS
C2.05	DEMOLITION PLAN
C3.01	SITE PLAN
C4.01	GRADING PLAN
C5.01	EROSION CONTROL PHASE I
C5.02	EROSION CONTROL PHASE II
C5.03	EROSION CONTROL NOTES AND DETAILS
C6.01	SANITARY SEWER AND WATERMAIN PLAN
C6.02	STORM SEWER PLAN
C9.01	DETAILS
L1.01	LANDSCAPE PLAN
L1.02	SHRUB PLAN WEST
L1.03	SHRUB PLAN EAST
L1.04	LANDSCAPE NOTE AND DETAILS
L1.05	TREE INVENTORY

GOVERNING SPECIFICATIONS

CITY OF LAKE ELMO ENGINEERING DESIGN STANDARDS (MARCH 2017)

CITY ENGINEER'S ASSOCIATION OF MINNESOTA STANDARD SPECIFICATIONS (2013)

MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION (2016 EDITION)



Sambatek
www.sambatek.com

12800 Whitewater Drive, Suite 300
Minnetonka, MN 55343

763.476.6010 telephone
763.476.8532 facsimile

Engineering | Surveying | Planning | Environmental

Client

CONTINENTAL

483 FUND LLC

W134 N8675 EXECUTIVE PARKWAY

MENOMONEE FALLS, WI 53051

Project

SPRINGS AT

LAKE ELMO

Location

LAKE ELMO,

MINNESOTA

9955 HUDSON BOULEVARD NORTH

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Eric A. Vogel

Registration No. 14 Date: 4/12/2019

If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

Summary

Designed: EAV Drawn: CIL

Approved: EAV Book / Page:

Phase: PRELIMINARY Initial Issue: 4/12/2019

Revision History

No.	Date By	Submittal / Revision
4/12/2019		CITY SUBMITTAL

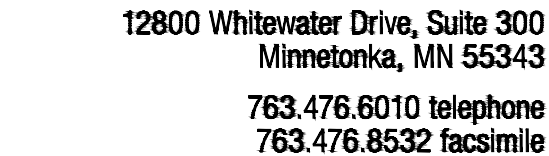
Sheet Title

TITLE SHEET

Sheet No. Revision

C1.01

Project No. 21654



Client
CONTINENTAL
483 FUND LLC

Project SPRINGS AT LAKE ELMO

Certification

Summary

Revision History		
No.	Date	By Submittal / Revision
	4/12/2019	CITY SUBMITTAL
A.	01/11/19	TITLE COMMITMENT
B.	01/24/19	WELLS LOCATED
C.	03/12/19	ATTORNEY COMMENTS

Sheet No. Revision
C1.02

Apr 12, 2019 - 3:10pm - User:clichty L:\PROJECTS\21654.01\CAD\Survey\Sheets\2165401-ALTA.dwg

SPRINGS AT LAKE ELMO

Know all persons by these presents: That Continental 483 Fund LLC, a Minnesota limited liability company, owner, of the following described property situated in the County of Washington, State of Minnesota, to wit:

That part of the Southwest Quarter of the Southeast Quarter, Section 34, Township 29, Range 21, Washington County, Minnesota described as follows:

Commencing at the southwest corner of said Southwest Quarter of the Southeast Quarter; thence North 00 degrees 06 minutes 31 seconds East, assumed bearing, along the west line of said Southwest Quarter of the Southeast Quarter, a distance of 82.86 feet to the north line of Parcel 29C of Minnesota Department of Transportation Right of Way Plat No. 82-43; thence North 89 degrees 18 minutes 27 seconds East, along said north line, a distance of 40.00 to the point of beginning; thence North 00 degrees 06 minutes 31 seconds East, a distance of 607.73 feet; thence North 89 degrees 40 minutes 54 seconds East, a distance of 1284.76 feet to the east line of said Southwest Quarter of the Southeast Quarter; thence South 00 degrees 01 minutes 13 seconds West, along said east line, a distance of 428.20 feet to a point 267.8 feet north of the southeast corner of said Southwest Quarter of the Southeast Quarter; thence South 89 degrees 54 minutes 16 seconds West, parallel to the south line of said Southwest Quarter of the Southeast Quarter, a distance of 200.00 feet; thence South 00 degrees 01 minutes 13 seconds West, parallel to the east line of said Southwest Quarter of the Southeast Quarter, a distance of 173.21 feet to said north line of Parcel 29C; thence South 89 degrees 18 minutes 27 seconds West, along said north line, a distance of 1085.76 feet to the point of beginning.

Has caused the same to be surveyed and platted as SPRINGS AT LAKE ELMO and does hereby dedicate to the public for public use the public way, and the drainage and utility easements as created by this plat.

In witness whereof said Continental 483 Fund LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officer this _____ day of _____, 20_____.

Signed: Continental 483 Fund LLC, a Minnesota limited liability company

By: _____, its _____

STATE OF _____
COUNTY OF _____

The foregoing instrument was acknowledged before me on this _____ day of _____, 20_____, by

_____, _____, of Continental 483 Fund LLC, a Minnesota limited liability company, on behalf of the company.

Notary Public, _____ County, Minnesota
My Commission Expires _____

Notary Printed Name

I Craig E. Johnson do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, existing as of the date of this certificate are shown and labeled on this Plat; and all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 20_____.

Craig E. Johnson, Licensed Land Surveyor,
Minnesota License No. 44530

STATE OF MINNESOTA
COUNTY OF _____

The foregoing instrument was acknowledged before me on this _____ day of _____, 20_____, by
Craig E. Johnson, a Licensed Land Surveyor.

Notary Public, _____ County, Minnesota
My Commission Expires _____

Notary Printed Name

CITY COUNCIL, Lake Elmo, Minnesota

This plat was approved by the City Council of Lake Elmo, Minnesota, this _____ day of _____, 20_____, and hereby certifies compliance with all requirements as set forth in the Minnesota Statutes, Section 505.03, Subdivision 2.

Signed: _____ Attest: _____
Mayor Clerk

COUNTY SURVEYOR, Washington County, Minnesota

Pursuant to Chapter 820, Laws of Minnesota, 1971, and in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this _____ day of _____, 20_____.

By _____ By _____
Washington County Surveyor

COUNTY AUDITOR/TREASURER, Washington County, Minnesota

Pursuant to Minnesota Statutes, Section 505.021, Subd.9 and Section 272.12, taxes payable in the year 20____, on real estate hereinbefore described, have been paid; and there are no delinquent taxes and transfer has been entered, on this _____ day of _____, 20_____.

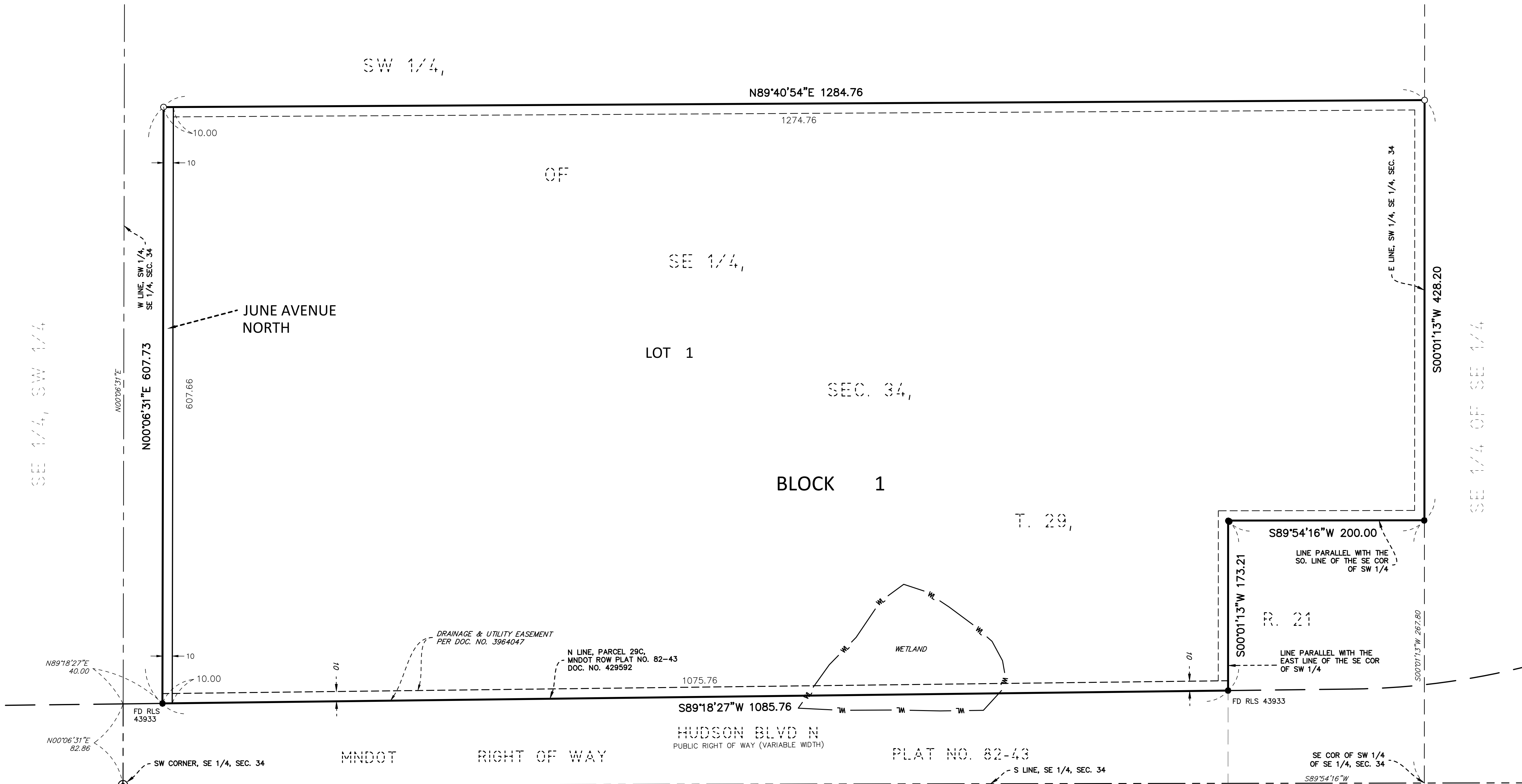
By _____ By _____
Washington County Auditor / Treasurer Deputy

COUNTY RECORDER, Washington County, Minnesota Document Number _____

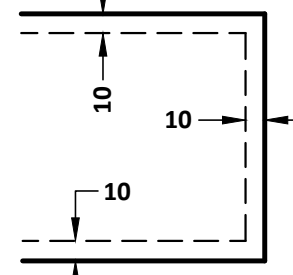
I hereby certify that this instrument was filed in the office of the County Recorder for record on this ____ day of _____, 20_____, at _____ o'clock ____M. and was duly recorded in Washington County Records.

By: _____ By: _____
Washington County Recorder Deputy

SPRINGS AT LAKE ELMO

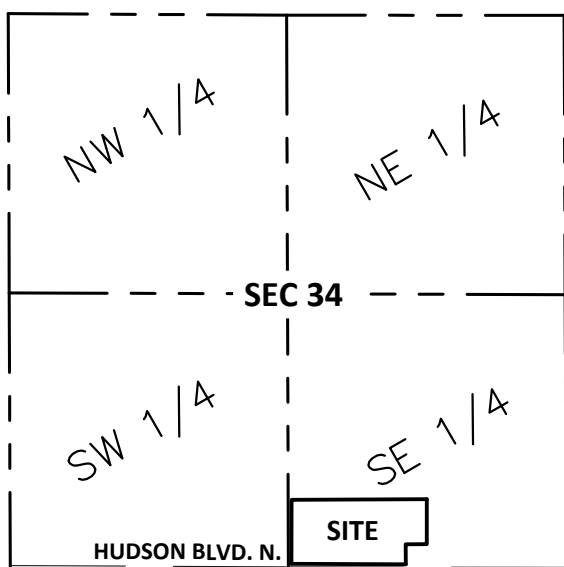


**DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:
(NOT TO SCALE)**



BEING 10 FEET IN WIDTH, UNLESS OTHERWISE INDICATED, AND ADJOINING RIGHT-OF-WAY LINES, FRONT, REAR AND SIDE LOT LINES AS SHOWN ON THE PLAT.

VICINITY MAP



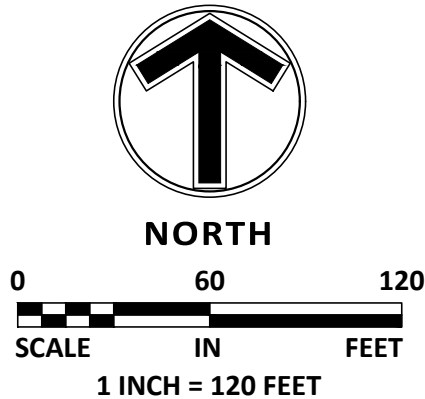
**SECTION 34, TOWNSHIP 29 N, RANGE 21
WASHINGTON COUNTY, MINNESOTA**



NORTH

- DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET AND MARKED BY LICENSE NO. 44530.
- DENOTES 1/2 INCH OPEN END IRON MONUMENT FOUND UNLESS NOTED OTHERWISE.

THE EAST LINE OF THE OF THE SW 1/4 OF THE SE 1/4 IS
ASSUMED TO HAVE A BEARING OF NORTH 00 DEGREE
10 MINUTES 13 SECONDS WEST.



SAMBATEK, INC.
ENGINEERING, PLANNING
AND LAND SURVEYING

Client
**CONTINENTAL
483 FUND LLC**

W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051

Project
**SPRINGS AT
LAKE ELMO**

Location
**LAKE ELMO,
MINNESOTA**
9955 HUDSON BOULEVARD NORTH

Certification

PRELIMINARY

Summary

Designed: EAV Drawn: CIL
Approved: EAV Book / Page:
Phase: PRELIMINARY Initial Issue: 4/12/2019

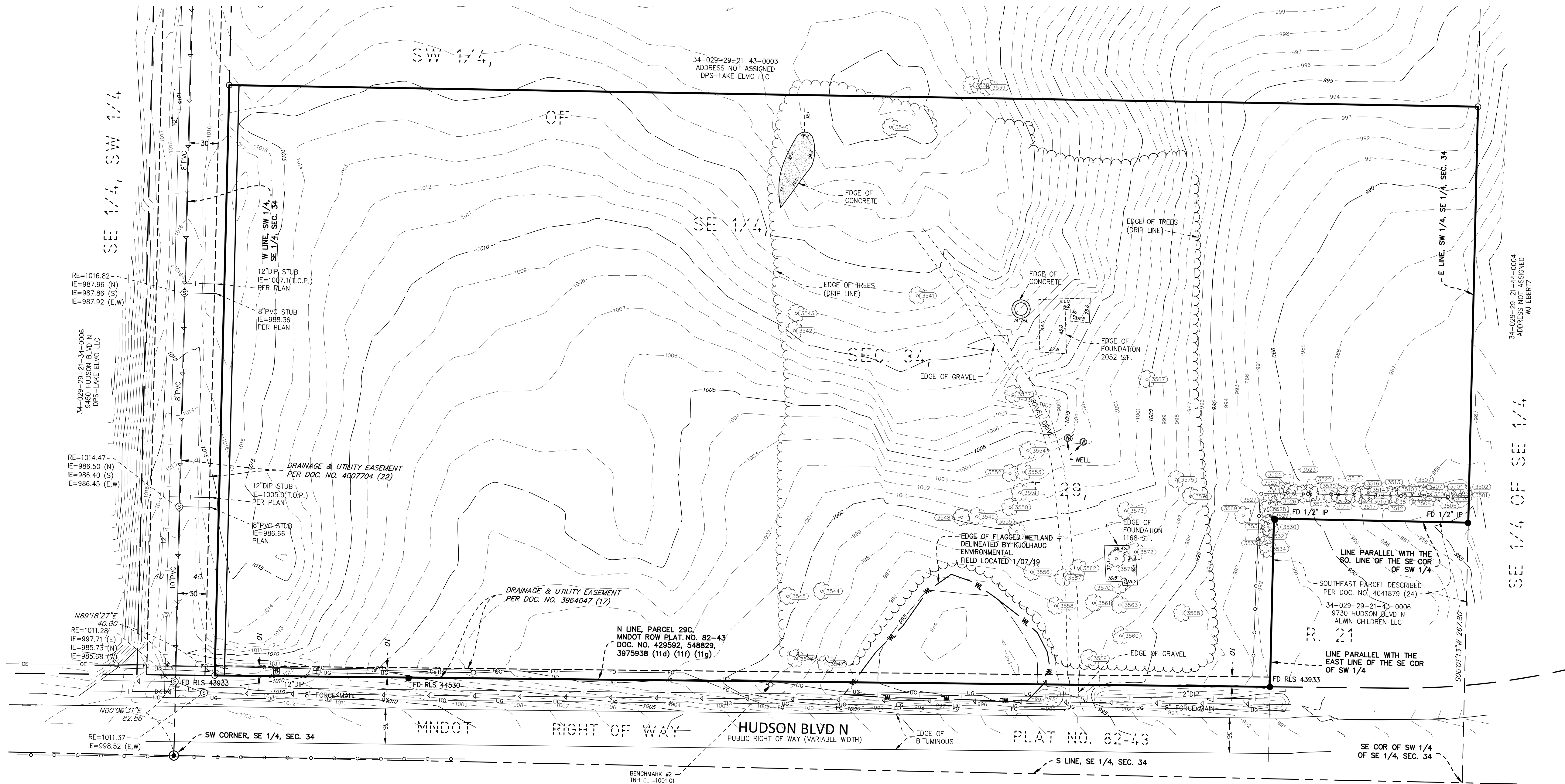
Revision History

No.	Date	By	Submittal / Revision
	4/12/2019		CITY SUBMITTAL

Sheet Title
**EXISTING
CONDITIONS**

Sheet No. Revision
C2.04

Project No. 21654



SUBJECT PROPERTY

That part of the Southwest Quarter of the Southeast Quarter, Section 34, Township 29, Range 21, Washington County, Minnesota described as follows:

Commencing at the southwest corner of said Southwest Quarter of the Southeast Quarter; thence North 00 degrees 06 minutes 31 seconds East, assumed bearing, along the west line of said Southwest Quarter of the Southeast Quarter, a distance of 82.86 feet to the north line of Parcel 29C of Minnesota Department of Transportation Right of Way Plat No. 82-43; thence North 89 degrees 18 minutes 27 seconds East, along said north line, a distance of 40.00 to the point of beginning; thence North 00 degrees 06 minutes 31 seconds East, a distance of 607.73 feet; thence North 89 degrees 40 minutes 54 seconds East, a distance of 1284.76 feet to the east line of said Southwest Quarter of the Southeast Quarter; thence South 00 degrees 01 minutes 13 seconds West, along said east line, a distance of 428.20 feet to a point 267.8 feet north of the southeast corner of said Southwest Quarter of the Southeast Quarter; thence South 89 degrees 54 minutes 16 seconds West, parallel to the south line of said Southwest Quarter of the Southeast Quarter, a distance of 200.00 feet; thence South 00 degrees 01 minutes 13 seconds West, parallel to the east line of said Southwest Quarter of the Southeast Quarter, a distance of 173.21 feet to said north line of Parcel 29C; thence South 89 degrees 18 minutes 27 seconds West, along said north line, a distance of 1085.76 feet to the point of beginning.

PROPERTY SUMMARY

- SUBJECT PROPERTY IDENTIFICATION NUMBER IS 3402921430003.
- THE GROSS AREA OF THE SUBJECT PROPERTY IS 17.0159 ACRES OR 741,214 SQUARE FEET.

SURVEY NOTES

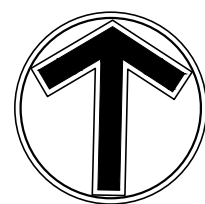
- SURVEY COORDINATE BASIS: WASHINGTON COUNTY COORDINATE SYATEM NAD 83 (1986)
- FIELD WORK WAS COMPLETED ON 01/21/2019.
- THE VERTICAL DATUM IS BASED ON NAVD88.

BENCHMARK #1 = MNDOT DISC "8282 AX" - ELEV=938.31,
LOCATED AT NE QUAD. OF INT. HWY. 94 & KEATS AVE.

BENCHMARK #2 = TNH - ELEV=1001.01,
SOUTH PROPERTY LINE OF SUBJECT PROPERTY @ MIDPOINT OF LINE.

LEGEND

● FOUND MONUMENT	☒ GAS METER
⊙ FOUND CAST IRON MONUMENT	⊙ GAS MANHOLE
⊙ FOUND RIGHT-OF-WAY MONUMENT	⊙ ELECTRIC MANHOLE
⊙ SET MONUMENT	⊙ ELECTRIC METER
○ MARKED LS 43933	⊙ TELEPHONE PEDESTAL
⊙ GATE VALVE / HYDRANT	⊙ CABLE TV BOX
⊙ SANITARY MANHOLE	⊙ COMMUNICATIONS MANHOLE
⊙ CLEAN OUT	RLS REGISTERED LAND SURVEYOR
⊙ STORM MANHOLE	FD FOUND
⊙ STORM CATCH BASIN	— I — WATERMAIN
⊙ FLARED END SECTION	— D — SANITARY SEWER
⊙ TRANSFORMER	— S — STORM SEWER
⊙ LIGHT	— UE — UNDERGROUND ELECTRIC
⊙ GUY ANCHOR	— UT — UNDERGROUND TELEPHONE
⊙ UTILITY POLE	— UG — UNDERGROUND GAS
— BOUNDARY LINE	— OE — OVERHEAD ELECTRICAL WIRE
— RIGHT-OF-WAY LINE	— FO — FIBER OPTIC
— UNDERLYING / ADJACENT LOT	— O — CHAIN LINK FENCE
— TIE LINE	— □ — WOOD FENCE
— SECTION LINE	— x — WIRE FENCE
(100.00) DEED DISTANCE	⊙ DECIDUOUS TREE
⊙ GUARD POST	⊙ CONCRETE SURFACE
⊙ SIGN	⊙ WELL



0 60 120
SCALE IN FEET

Client
**CONTINENTAL
483 FUND LLC**

W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051

Project
**SPRINGS AT
LAKE ELMO**

Location
**LAKE ELMO,
MINNESOTA**

9955 HUDSON BOULEVARD NORTH

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Eric A. Vogel
Registration No. 1214 Date: 4/12/2019

If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

Summary

Designed: EAV Drawn: CIL
Approved: EAV Book / Page:
Phase: PRELIMINARY Initial Issue: 4/12/2019

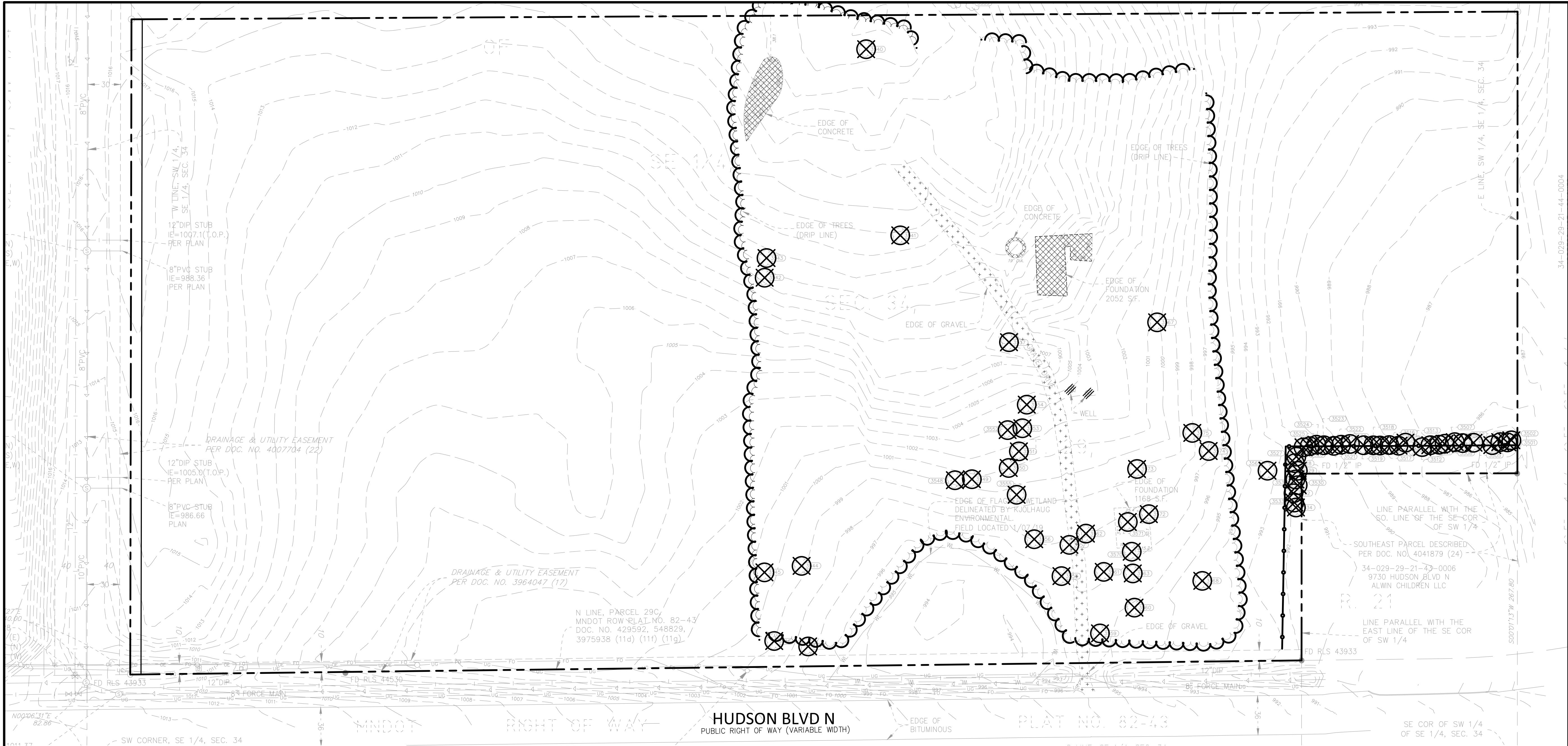
Revision History

No.	Date By	Submittal / Revision
1	4/12/2019	CITY SUBMITTAL

Sheet Title
**DEMOLITION
PLAN**

Sheet No. Revision
C2.05

Project No. 21654



LEGEND

	EXISTING
GAS METER	
HYDRANT	
LIGHT	
STORM SEWER	
WATERMAIN	
SANITARY SEWER	
OVERHEAD ELECTRIC	
UNDERGROUND TELEPHONE	
UNDERGROUND CABLE TV	
UNDERGROUND ELECTRIC	
UNDERGROUND GAS	
CHAIN LINK FENCE	
STONE RETAINING WALL	
SPRINKLER HEAD	
SPRINKLER VALVE	
EDGE OF TREES	
TREES / SHRUBS	
CONCRETE	
CONCRETE CURB	
BITUMINOUS CURB	

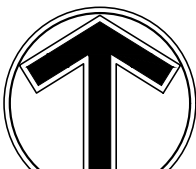
THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL 1. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS ACTIVE. NO DRAIN TILE SHALL BE BACKFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

DEMOLITION NOTES

- DEMOLITION NOTES ARE NOT COMPREHENSIVE. CONTRACTOR SHALL VISIT THE SITE PRIOR TO CONSTRUCTION TO OBTAIN A CLEAR UNDERSTANDING OF THE INTENDED SCOPE OF WORK.
- THE DESIGN SHOWN IS BASED ON ENGINEER'S UNDERSTANDING OF EXISTING CONDITIONS. THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON ALTA AND TOPOGRAPHIC MAPPING PREPARED BY XXXX DATED XXXX-XXXX. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS WITHOUT EXCEPTION, CONTRACTOR SHALL HAVE MADE, AT OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- THE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES AND IN ACCORDANCE WITH APPLICABLE CODES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE GEOTECHNICAL REPORT AND/OR GEOTECHNICAL ENGINEER.
- CLEARING AND GRUBBING: CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- CONTRACTOR IS RESPONSIBLE FOR THE DISCONNECTION OF UTILITY SERVICES TO EXISTING BUILDINGS PRIOR TO DEMOLITION OF THE BUILDINGS.
- CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO REMOVAL AND/OR RELOCATION OF UTILITIES. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANIES' FORCES AND ANY FEES WHICH ARE TO BE PAID TO UTILITY COMPANIES FOR SERVICES. CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- CONTRACTOR IS SPECIFICALLY CAUTIONED THAT LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM INFORMATION AVAILABLE. ENGINEER ASSUMES NO RESPONSIBILITY FOR THE UTILITY MAPPING ACCURACY. PRIOR TO START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES 48 HOURS PRIOR TO ANY EXCAVATION FOR ON-SITE LOCATIONS OF EXISTING UTILITIES. THE LOCATIONS OF UTILITIES SHALL BE OBTAINED BY THE CONTRACTOR BY CALLING MINNESOTA GOPHER STATE ONE CALL AT 800-252-1166 OR 651-454-0002.
- THE MAPPING LOCATION OF ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH WORK. UTILITIES DETERMINED TO BE ABANDONED SHALL BE REMOVED IF UNDER THE BUILDING INCLUDING 10' BEYOND FOUNDATIONS.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ROAD RIGHT OF WAY DURING CONSTRUCTION.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., TO THE BEST PRACTICES.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
- PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED AND APPROVED BY THE LOCAL AUTHORITY.
- CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- CONTRACTOR TO PROTECT EXISTING FEATURES WHICH ARE TO REMAIN. DAMAGE TO ANY EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
- ABANDON OR REMOVE ALL SANITARY, WATER AND STORM SERVICES PER CITY STANDARDS. COORDINATE ALL WORK WITH CITY. ALL STREET RESTORATION SHALL BE COMPLETED IN COMPLIANCE WITH LOCAL STANDARDS.
- CONTRACTOR SHALL PREPARE AND SUBMIT TO THE GOVERNING AUTHORITY A TRAFFIC AND/OR PEDESTRIAN TRAFFIC PLAN PER CITY/COUNTY/STATE STANDARDS TO BE APPROVED BY THE LOCAL GOVERNING AUTHORITY.



0 50 100
SCALE IN FEET

Client
CONTINENTAL
483 FUND LLC

W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051

Project
SPRINGS AT
LAKE ELMO

Location
LAKE ELMO,
MINNESOTA
9955 HUDSON BOULEVARD NORTH

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Eric A. Vogel
Registration No. 14 Date: 4/12/2019
If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

Summary

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Approved: EAV Book / Page:
Phase: PRELIMINARY Initial Issue: 4/12/2019

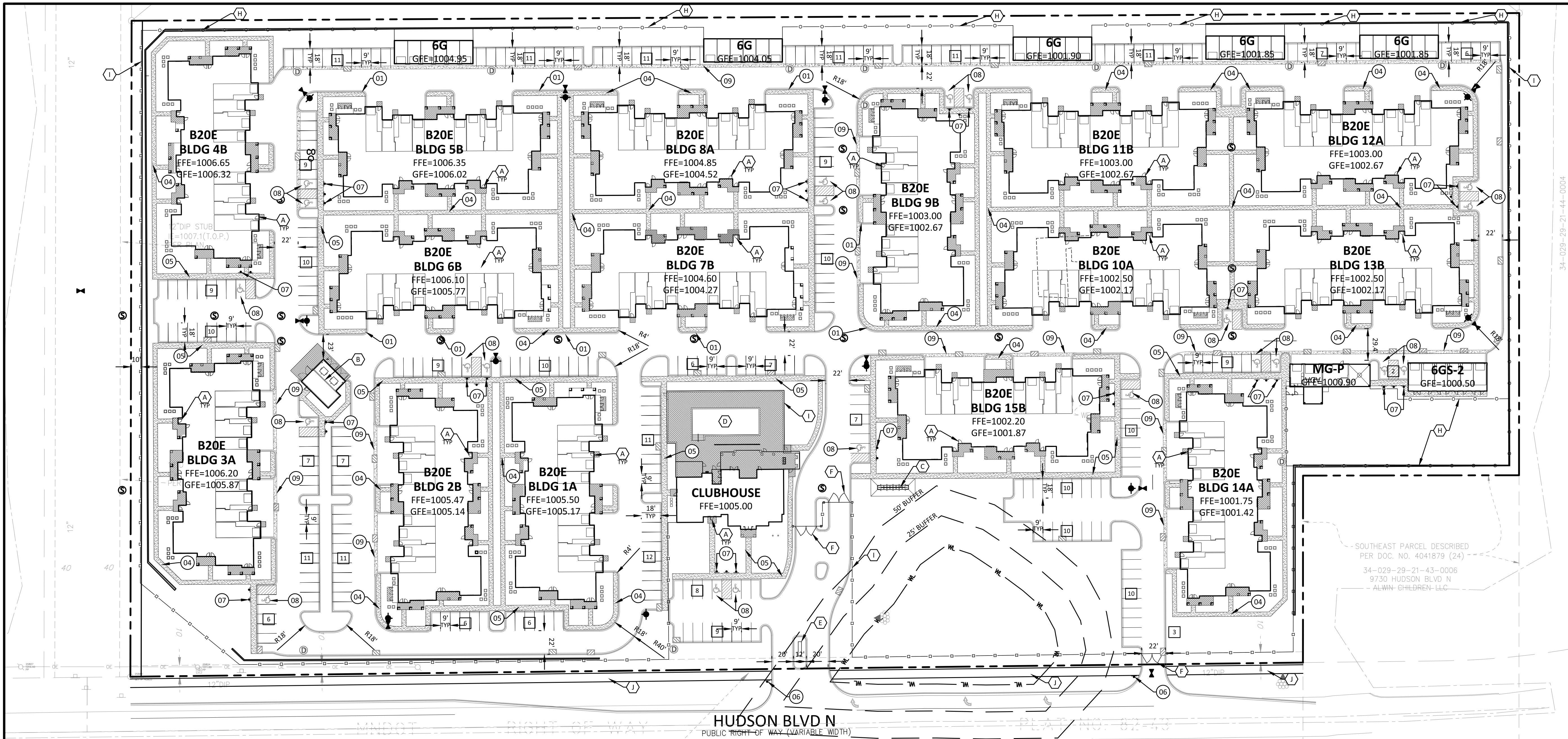
Revision History

No. Date By Submittal / Revision
4/12/2019 CITY SUBMITTAL

Sheet Title
SITE PLAN

Sheet No. **Revision**
C3.01

Project No. 21654



LEGEND			
PROPERTY LIMIT	PROPOSED	EXISTING	
CURB & GUTTER	---	---	
EASEMENT	---	---	
BUILDING	---	---	
RETAINING WALL	---	---	
WETLAND LIMITS	---	---	
TREELINE	---	---	
SAWCUT LINE	---	---	
SIGN	---	---	
PIPE BOLLARD	---	---	
NUMBER OF PARKING STALLS PER ROW	XX	XX	
KEY NOTE	XX	XX	
DETAIL	XX	XX	
CHAIN LINK FENCE	---	---	
DECORATIVE WOODEN FENCE	---	---	
AIR CONDITIONING UNIT	---	---	

DEVELOPMENT SUMMARY			
AREA	741,214 SF	17.02 AC	
GROSS SITE AREA			
BUILDING INFORMATION			
B20E (20 DU/BUILDING)	QUANTITY	HEIGHT	
TOTAL RESIDENT BUILDINGS	15 UNITS	2-STORY / 35' 15 UNITS	
GENERAL HOME MIX			
STUDIO	30	10%	
1-BEDROOM	120	40%	
2-BEDROOM	120	40%	
3-BEDROOM	30	10%	
TOTAL HOMES	300	100%	
ZONING			
EXISTING ZONING			
PROPOSED ZONING			
PARKING INFORMATION			
GARAGE TOTALS:			
NUMBER OF ATTACHED	120 GARAGES		
MAINTENANCE GARAGES	1		
NUMBER OF STAND ALONE	42 GARAGES		
TOTAL GARAGE	163 GARAGES		
PARKING REQUIRED PER CODE	525 SPACES		
SURFACE PARKING AMOUNT	399 SPACES		
TOTAL PARKING PROVIDED	562 SPACES		
UNIT PARKING RATIO	1.87		
COVERED PARKING RATIO	0.29		
CLUBHOUSE PARKING	17 SPACES		
*INCLUDED IN PARKING CALCS	(24 ADA)		

- DEVELOPMENT NOTES**
- ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
 - ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "GUTTER OUT" WHERE WATER DRAINS AWAY FROM CURB. ALL OTHER AREAS SHALL BE CONSTRUCTED AS "GUTTER IN" CURB. COORDINATE WITH GRADING CONTRACTOR.
 - ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
 - ALL PARKING STALLS TO BE 9' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - SEE ARCHITECTURAL PLANS FOR LIGHT POLE FOUNDATION DETAIL AND FOR EXACT LOCATIONS OF LIGHT POLE.
 - REFER TO FINAL PLAT FOR LOT BOUNDARIES, LOT NUMBERS, LOT AREAS, AND LOT DIMENSIONS.
 - ALL GRADIENTS ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 2.08% (1:48). THE MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS AISLE SHALL BE 2.08% (1:48). THE CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS PAVEMENT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT AND COORDINATE WITH GRADING CONTRACTOR.
 - "NO PARKING" SIGNS SHALL BE PLACED ALONG ALL DRIVEWAYS AS REQUIRED BY CITY.

- KEY NOTES**
- (A) BUILDING, STOOPS, STAIRS SEE ARCHITECTURAL PLANS
 - (B) TRASH/RECYCLING PICKUP AREA - SEE ARCHITECTURAL PLANS
 - (C) MAIL KIOSK - SEE ARCHITECTURAL PLANS
 - (D) POOL - SEE ARCHITECTURAL PLANS
 - (E) MONUMENT SIGN - SEE ARCHITECTURAL PLANS
 - (F) VEHICLE GATE - SEE ARCHITECTURAL PLANS
 - (G) TRANSFORMER - LOCATION TBD
 - (H) CHAIN LINK FENCE - SEE ARCHITECTURAL PLANS
 - (I) DECORATIVE WOODEN FENCE - SEE ARCHITECTURAL PLANS
 - (J) BITUMINOUS PATH
- DETAILS**
- (01) 8-612 CONCRETE CURB AND GUTTER - SEE SHEET C9.01
 - (02) 8-618 CONCRETE CURB AND GUTTER - SEE SHEET C9.01
 - (03) TAPERED CURB - SEE SHEET C9.01
 - (04) 4" SIDEWALK - SEE SHEET C9.01
 - (05) 5" SIDEWALK - SEE SHEET C9.01
 - (06) STOP SIGN - SEE SHEET C9.01
 - (07) ACCESSIBLE PARKING SIGN - SEE SHEET C9.01
 - (08) ACCESSIBLE PARKING STALL - SEE SHEET C9.01
 - (09) VALLEY GUTTER - SEE SHEET C9.01

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA". THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOMPER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS ACTIVE. NO DRAIN TILE SHALL BE BACKFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



Client
CONTINENTAL
483 FUND LLC

Project SPRINGS AT LAKE ELMO

Location
LAKE ELMO,
MINNESOTA
9955 HUDSON BOULEVARD NORTH

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

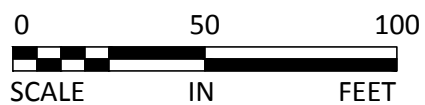
Eric A. Vogel
Registration No. 54914 Date: 4/12/2019
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Designed: EAV Drawn: CJL
Approved: EAV Book / Page:
Phase: PRELIMINARY Initial Issue: 4/12/2019

No.	Date By	Submittal / Revision
	4/12/2019	CITY SUBMITTAL

Sheet No. Revision
C4.01

- 14.d. AREAS WHICH ARE TO RECEIVE TOPSOIL SHALL BE GRADED TO WITHIN 0.30 FOOT ABOVE OR BELOW THE REQUIRED ELEVATION, UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
- 14.e. TOPSOIL SHALL BE GRADED TO PLUS OR MINUS 1/2 INCH OF THE SPECIFIED THICKNESS.
15. AFTER THE SITE GRADING IS COMPLETED, IF EXCESS OR SHORTAGE OF SOIL MATERIAL EXISTS, CONTRACTOR SHALL TRANSPORT ALL EXCESS SOIL MATERIAL OFF THE SITE TO AN AREA SELECTED BY THE CONTRACTOR, OR IMPORT SUITABLE MATERIAL TO THE SITE.
16. CONTRACTOR SHALL DETERMINE THE LOCATION OF ANY HAIL ROADS THAT MAY BE REQUIRED TO COMPLETE THE SITE GRADING. CONSTRUCTION AND MAINTENANCE OF HAIL ROADS SHALL BE IN ACCORDANCE WITH THE "HAIL ROAD" SITE MAP. CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE GOVERNING AUTHORITY OF EACH ROADWAY. CONTRACTOR SHALL STOP WHATEVER SCHEDULE, AND COMPLY WITH ALL CONDITIONS WHICH ARE REQUIRED BY EACH GOVERNING AUTHORITY OF EACH ROADWAY.
17. DISTURBED AREAS WITHIN WETLAND MITIGATION SITE AND ANY DISTURBED AREAS WITHIN THE WETLAND SHALL BE RESTORED WITH 6 TO 12 INCHES OF ORGANIC SOILS, PREFERABLY SOILS THAT WERE PREVIOUSLY REMOVED FROM WETLAND AREAS. SEEDING IN THE WETLAND MITIGATION AREA SHALL BE THE NORMAL WATER LEVEL. SEED SHALL BE MN STATE 3K-27.2. WE MEADOW SOUTH AND WEST, OR APPROVED EQUIV. FOR SEED. SEED MIXES, OATS AND WINTER WHEAT SHOULD BE SELECTED BASED ON THE TIME OF YEAR THAT THE MIX IS BEING USED. OATS SHOULD BE INCLUDED IN MIXES IF BEING USED BETWEEN OCTOBER 15TH AND AUGUST 1ST. WHEAT SHOULD BE USED BETWEEN AUGUST 1ST AND OCTOBER 15TH. THE SEEDING RATE IS THE SAME FOR OATS AND WINTER WHEAT. MIX 3K-27.2 SHOULD BE APPLIED AT 12 POUNDS PER ACRE. SEED SHALL BE WATERED UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
18. FILL PLACED WITHIN THE BUILDING PAD AREAS SHALL BE IN CONFORMANCE WITH HUD/FHA PROCEDURES AND DATA SHEET 79G.
19. RETAINING WALL(S) SHALL BE CONSTRUCTED OF (MODULAR BLOCK, TREATED TIMBER, BOUNDER, ETC.) MATERIAL. CONTRACTOR SHALL SUBMIT TO THE ENGINEER AND LOCAL AUTHORITY CERTIFIED ENGINEERING DRAWINGS, DESIGN CALCULATIONS AND SOIL BORINGS. THE CERTIFIED ENGINEER FOR THE RETAINING WALL(S) SHALL PROVIDE CONSTRUCTION OBSERVATIONS OF THE RETAINING WALL, IMPROVEMENT, AND A LETTER CERTIFYING THE INSTALLATION OF THE WALL(S) WAS CONSTRUCTED IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.





Client

W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051

Location
LAKE ELMO,
MINNESOTA
9955 HUDSON BOULEVARD NORTH

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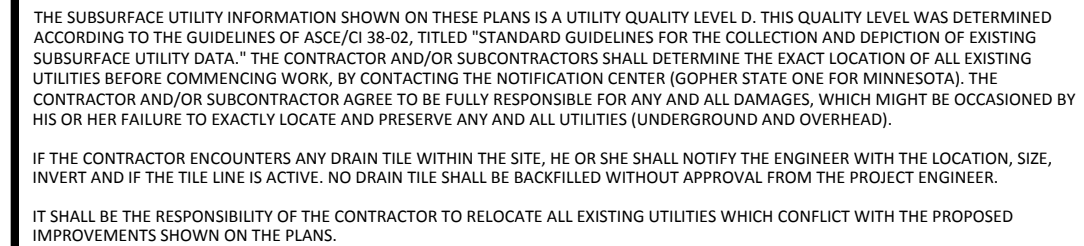
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	4/12/2019		CITY SUBMITTAL

Project No. 21654



THE EROSION CONTROL PLAN SHEETS ALONG WITH THE REST OF THE SWPPP MUST BE KEPT ONSITE UNTIL THE NOTICE OF TERMINATION IS FILED WITH THE MPCA. THE CONTRACTOR MUST UPDATE THE SWPPP, INCLUDING THE EROSION CONTROL PLAN SHEETS AS NECESSARY TO INCLUDE ADDITIONAL REQUIREMENTS, SUCH AS ADDITIONAL OR MODIFIED BMPs DESIGNED TO CORRECT PROBLEMS IDENTIFIED. AFTER FILING THE NOTICE OF TERMINATION, THE SWPPP, INCLUDING THE EROSION CONTROL PLAN SHEETS, AND ALL REVISIONS TO IT MUST BE SUBMITTED TO THE OWNER, TO BE KEPT ON FILE IN ACCORDANCE WITH THE RECORD RETENTION REQUIREMENTS DESCRIBED IN THE SWPPP NARRATIVE.

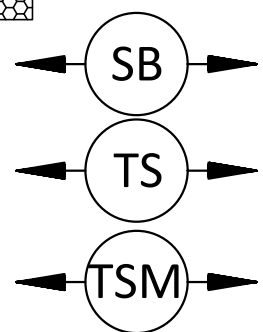
ITEM	UNIT	QUANTITY
SILT FENCE	LINEAR FEET	4183
SILT DIKE	LINEAR FEET	0
BIO-ROLL	LINEAR FEET	6
CONSTRUCTION ENTRANCE	UNIT	1

* REFER TO SHEET C5.03 FOR GENERAL NOTES, MAINTENANCE NOTES, LOCATION MAPS, AND STANDARD DETAILS

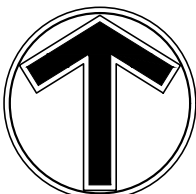
URB & GUTTER
STORM SEWER
DRAINTILE
CONTOUR
OVERFLOW ELEV.
SILT FENCE
SILT DIKE
LIMITS OF DISTURBANCE
SOIL BORINGS
DIRECTION OF
OVERLAND FLOW
TEMPORARY DIVERSION
DITCH
CHECK DAM
LIMITS OF DRAINAGE
SUB-BASIN
BIO-ROLL
INLET PROTECTION DEVICE 1
INLET PROTECTION DEVICE 2
TEMPORARY STONE
CONSTRUCTION ENTRANCE
TEMPORARY SEDIMENT BASIN

TEMPORARY STORAGE AND PARKING AREA

TEMPORARY STABILIZATION MEASURES
(SEED, MULCH, MATS OR BLANKETS AS
OUTLINED IN THE SWPPP)

[illegible]

NOTE: CONTRACTOR OR GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE



Client
CONTINENTAL
483 FUND LLC

W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051

Project
SPRINGS AT
LAKE ELMO

Location
LAKE ELMO,
MINNESOTA

9955 HUDSON BOULEVARD NORTH

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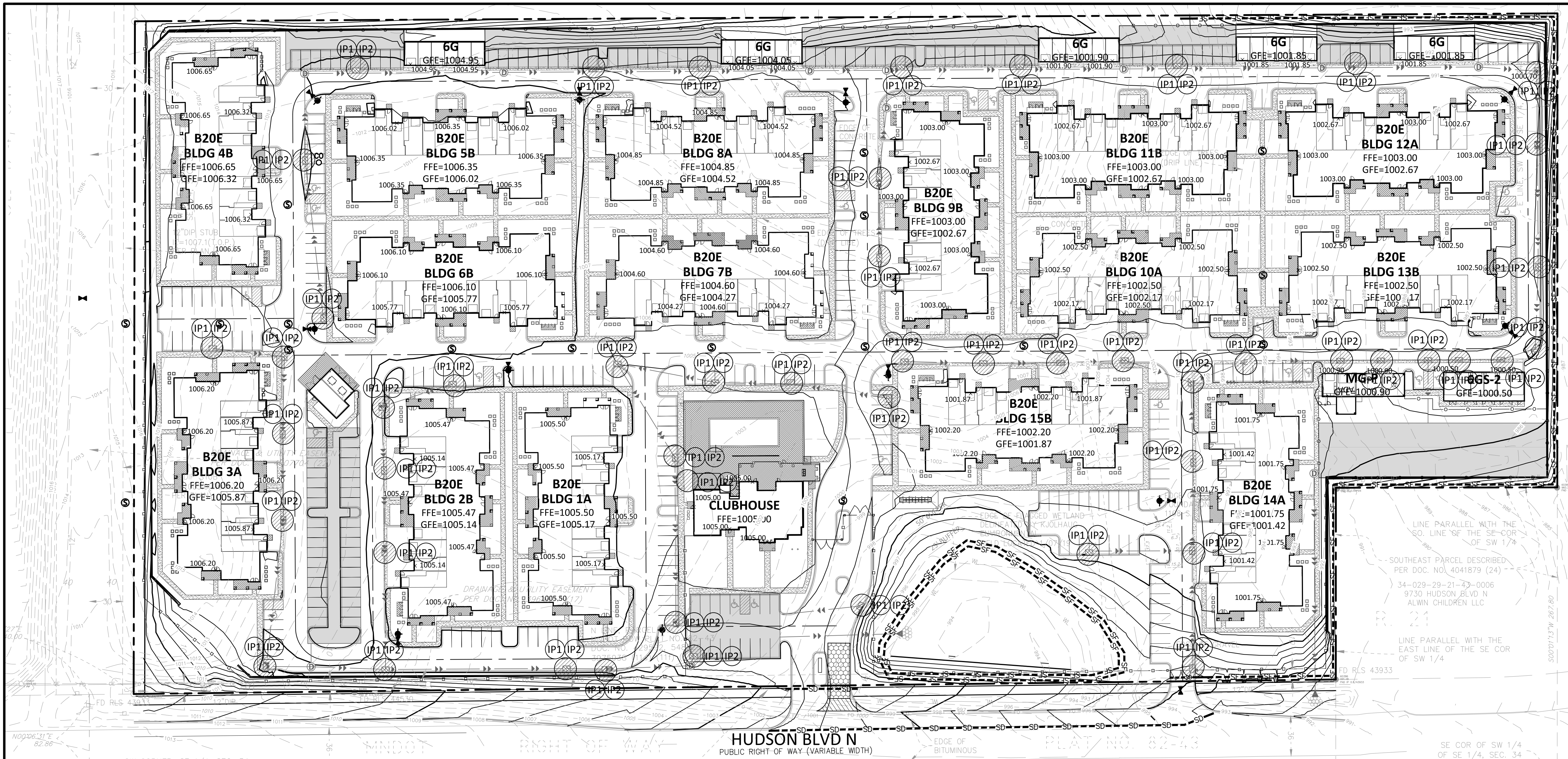
Revision History

No. Date By Submittal / Revision
4/12/2019 CITY SUBMITTAL

Sheet Title
EROSION
CONTROL
PHASE II

Sheet No. Revision
C5.02

Project No. 21654



NOTE TO CONTRACTOR

THE EROSION CONTROL PLAN SHEETS ALONG WITH THE REST OF THE SWPPP MUST BE KEPT ONSITE UNTIL THE NOTICE OF TERMINATION IS FILED WITH THE MPCA. THE CONTRACTOR MUST UPDATE THE SWPPP, INCLUDING THE EROSION CONTROL PLAN SHEETS AS NECESSARY TO INCLUDE ADDITIONAL REQUIREMENTS, SUCH AS ADDITIONAL OR MODIFIED BMPs DESIGNED TO CORRECT PROBLEMS IDENTIFIED. AFTER FILING THE NOTICE OF TERMINATION, THE SWPPP, INCLUDING THE EROSION CONTROL PLAN SHEETS, AND ALL REVISIONS TO IT MUST BE SUBMITTED TO THE OWNER, TO BE KEPT ON FILE IN ACCORDANCE WITH THE RECORD RETENTION REQUIREMENTS DESCRIBED IN THE SWPPP NARRATIVE.

EROSION CONTROL MATERIALS
QUANTITIES

ITEM	UNIT	QUANTITY
SILT FENCE	LINEAR FEET	2360
SILT DIKE	LINEAR FEET	493
CONSTRUCTION ENTRANCE	UNIT	1
INLET PROTECTION DEVICE (IP-1)	UNIT	51
INLET PROTECTION DEVICE (IP-2)	UNIT	51

* REFER TO SHEET C5.03 FOR GENERAL NOTES, MAINTENANCE NOTES, LOCATION MAPS, AND STANDARD DETAILS

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CE 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. BY CONTACTING THE NOTIFICATION CENTER (GOMER STATE ONE FOR MINNESOTA), THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

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LEGEND

PROPOSED **EXISTING**

CURB & GUTTER
STORM SEWER
DRAINILE
CONTOUR
OVERFLOW ELEV.
SILT FENCE
SILT DIKE
LIMITS OF DISTURBANCE
SOIL BORINGS
DIRECTION OF OVERLAND FLOW
TEMPORARY DIVERSION
DITCH
CHECK DAM
LIMITS OF DRAINAGE
SUB-BASIN
BIO-ROLL
INLET PROTECTION DEVICE 1
INLET PROTECTION DEVICE 2
TEMPORARY STONE
CONSTRUCTION ENTRANCE
TEMPORARY SEDIMENT BASIN
TEMPORARY STORAGE AND PARKING AREA
TEMPORARY STABILIZATION MEASURES (SEED, MULCH, MATS OR BLANKETS AS OUTLINED IN THE SWPPP)
UNDERGROUND STORM SEWER SYSTEM

SB
TS
TSM

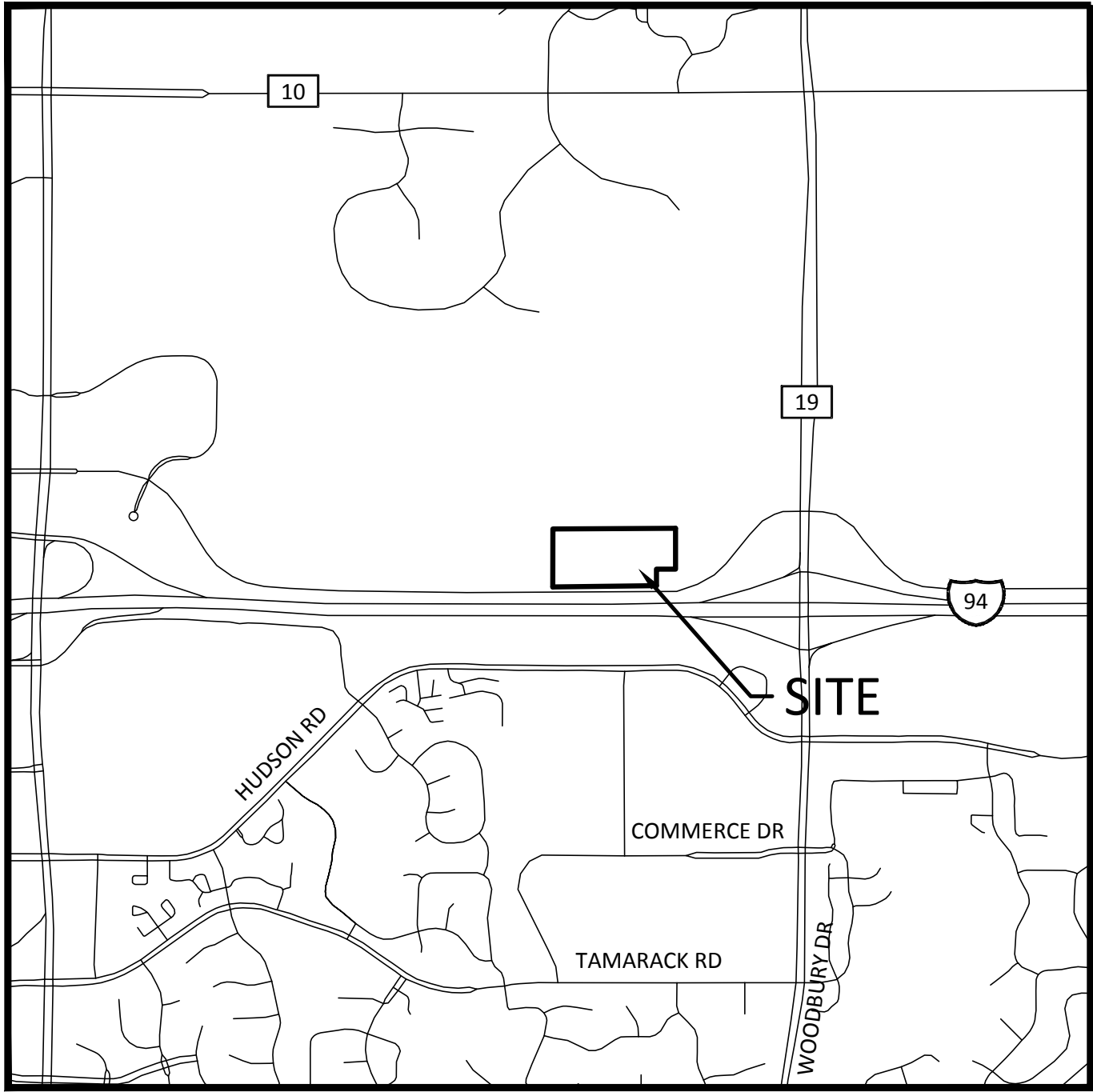
SOIL EROSION / SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN
TEMPORARY CONTROL MEASURES																		
STRIP & STOCKPILE TOPSOIL																		
ROUGH GRADE / SEDIMENT CONTROL																		
TEMPORARY CONSTRUCTION ROADS																		
FOUNDATION / BUILDING CONSTRUCTION																		
SITE CONSTRUCTION																		
PERMANENT CONTROL STRUCTURES																		
FINISH GRADING																		
LANDSCAPING / SEED / FINAL STABILIZATION																		
STORM FACILITIES																		

NOTE: CONTRACTOR OR GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

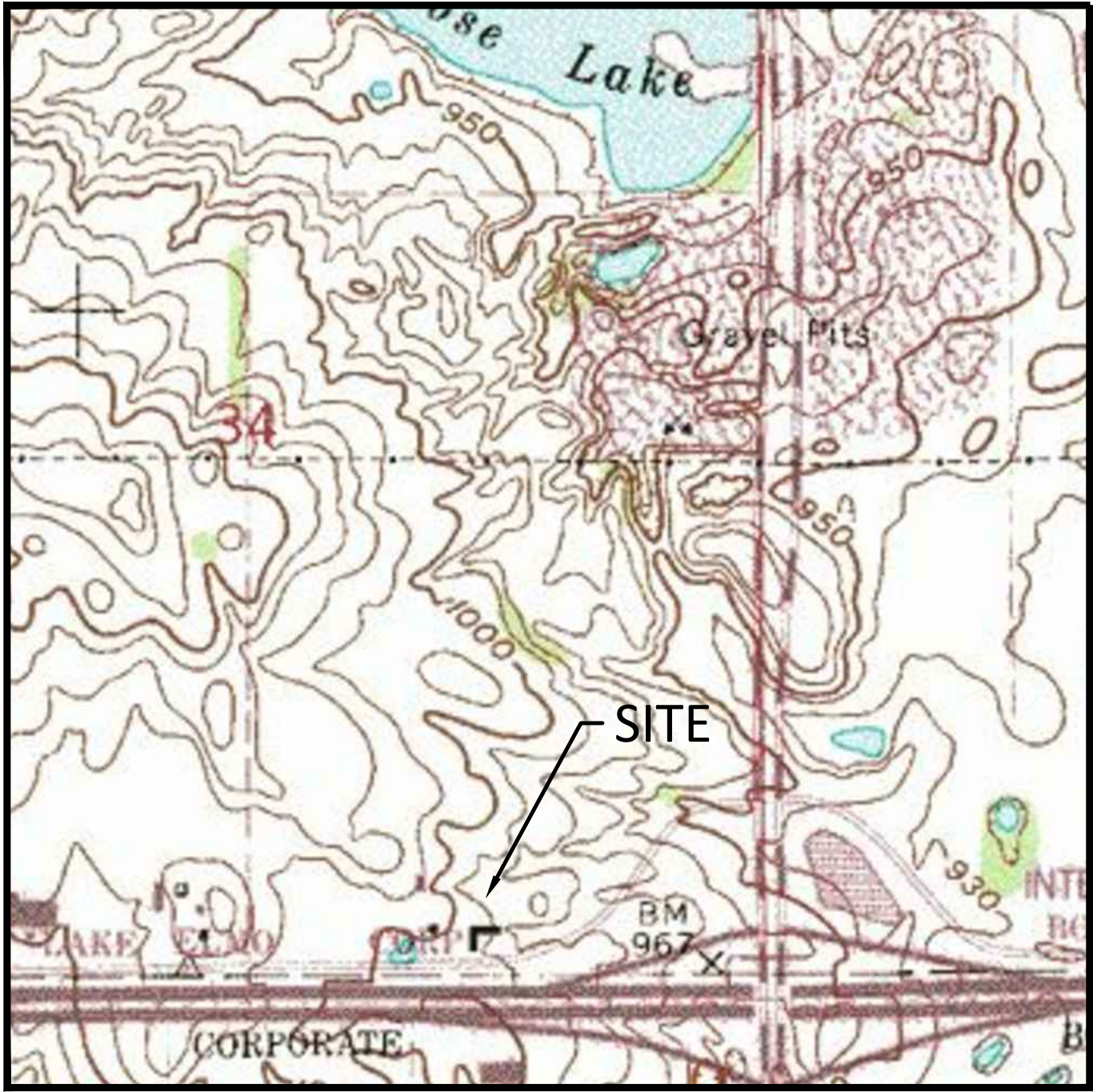


EROSION & SEDIMENTATION CONTROL NOTES & DETAILS / "SITE MAP"



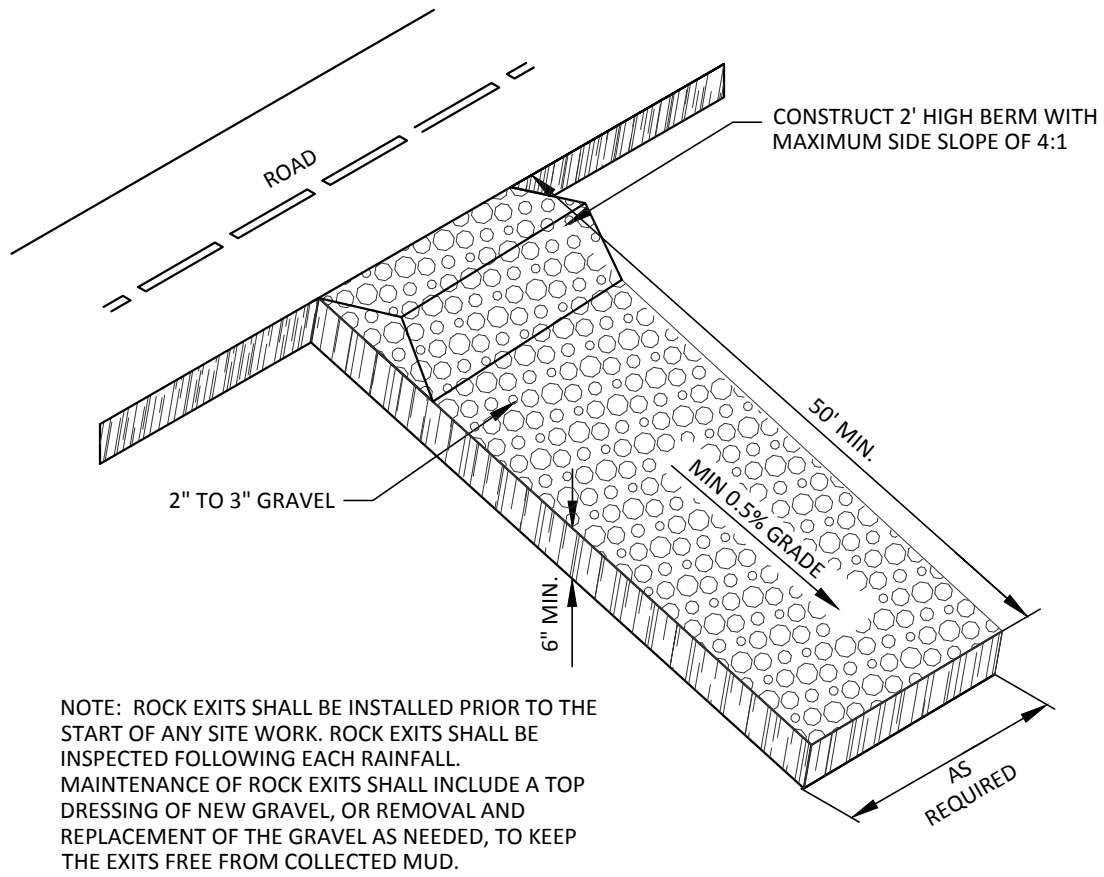
SITE LOCATION MAP

NOT TO SCALE



USGS MAP

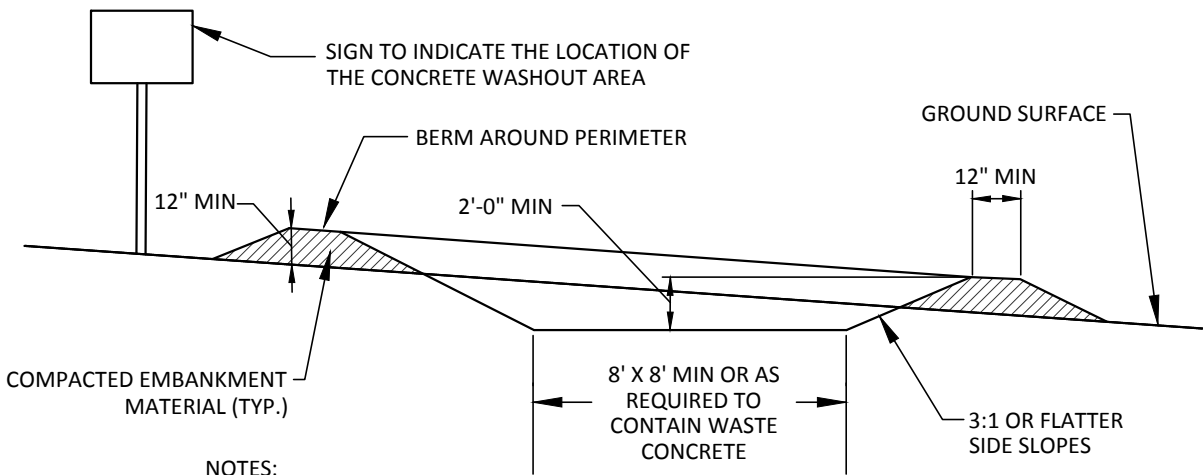
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NOTE: ROCK EXITS SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE WORK. ROCK EXITS SHALL BE INSPECTED FOLLOWING EACH RAINFALL. MAINTENANCE OF ROCK EXITS SHALL INCLUDE A TOP DRESSING OF NEW GRAVEL, OR REMOVAL AND REPLACEMENT OF THE GRAVEL AS NEEDED, TO KEEP THE EXITS FREE FROM COLLECTED MUD.

ROCK EXIT DRIVE

NOT TO SCALE

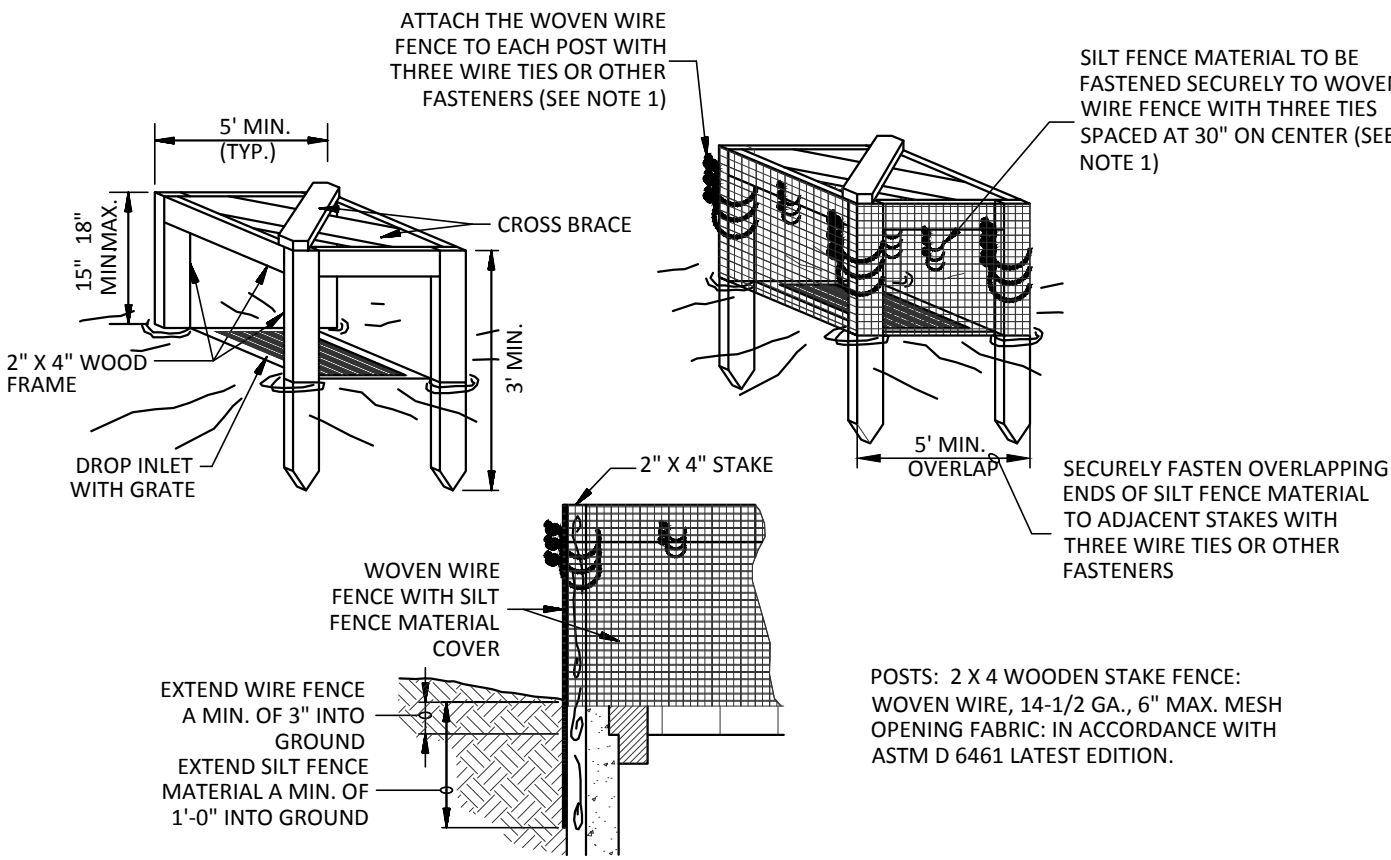


NOTES:

1. CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
2. CONCRETE WASHOUT AREA SHALL BE LINED WITH MINIMUM 10 MIL THICK PLASTIC LINER.
3. VEHICLE TRACKING CONTROL IS REQUIRED IF ACCESS TO CONCRETE WASHOUT AREA IS OFF PAVEMENT.
4. SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE WASHOUT AREA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT AREA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
5. THE CONCRETE WASHOUT AREA SHALL BE REPAIRED AND ENLARGED OR CLEANED OUT AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE.
6. AT THE END OF CONSTRUCTION, ALL CONCRETE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN ACCEPTED WASTE SITE.
7. WHEN THE CONCRETE WASHOUT AREA IS REMOVED, THE DISTURBED AREA SHALL BE SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER ACCEPTED BY THE CITY.

CONCRETE WASHOUT AREA

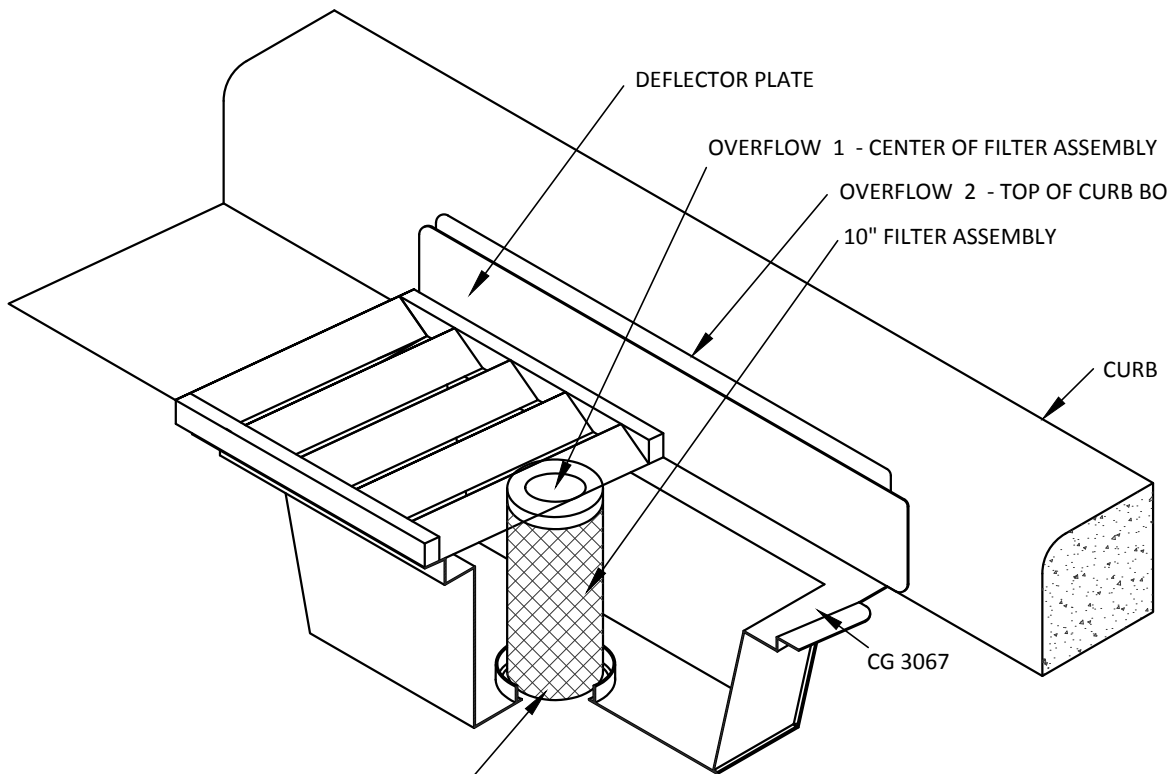
NOT TO SCALE



1. ATTACH THE WOVEN WIRE FENCE TO EACH POST AND THE GEOTEXTILE TO THE WOVEN WIRE FENCE (SPACED EVERY 30") WITH THREE WIRE TIES OR OTHER FASTENERS. ALL SPACED WITHIN THE TOP 8" OF THE FABRIC. ATTACH EACH TIE DIAGONALLY 45 DEGREES THROUGH THE FABRIC, WITH EACH PUNCTURE AT LEAST 1" VERTICALLY APART.
2. WHEN TWO SECTIONS OF SILT FENCE MATERIAL ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED ACROSS TWO POSTS.
3. MAINTENANCE SHALL BE PERFORMED AS NOTED IN THE SWPPP. DEPTH OF ACCUMULATED SEDIMENTS MAY NOT EXCEED ONE-HALF THE HEIGHT OF THE FABRIC. MAINTENANCE CLEANOUT MUST BE CONDUCTED REGULARLY TO PREVENT ACCUMULATED SEDIMENTS FROM REACHING ONE-HALF THE HEIGHT OF THE SILT FENCE MATERIAL ABOVE GRADE.
4. ALL SILT FENCE INLETS SHALL INCLUDE WIRE SUPPORT.

SILT FENCE INLET PROTECTION (IP-1)

NOT TO SCALE



- ROAD DRAIN CASTING APPLICABILITY
- NEENAH R-3067
 - NEENAH R-3512

ROAD DRAIN INLET PROTECTION (IP-2)

NOT TO SCALE

GENERAL EROSION NOTES:

1. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME. WHERE A CONFLICT EXISTS BETWEEN LOCAL JURISDICTIONAL STANDARD SPECIFICATIONS AND SAMBATEK STANDARD SPECIFICATIONS, THE MORE STRINGENT SPECIFICATION SHALL APPLY.
2. THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THIS DRAWING (EROSION & SEDIMENTATION CONTROL PLAN-ESC PLAN), THE STANDARD DETAILS, THE PLAN NARRATIVE, AND ITS APPENDICES, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING & SUBMITTING THE APPLICATION FOR THE MPCA GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE SWPPP AND THE STATE OF MINNESOTA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT, ISSUED AUGUST 1, 2018) AND BECOME FAMILIAR WITH THE CONTENTS. THE SWPPP AND ALL OTHER RELATED DOCUMENTS MUST BE KEPT AT THE SITE DURING CONSTRUCTION.
4. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMP'S) AS REQUIRED BY THE SWPPP & PERMITS. CONTRACTOR SHALL OVERSEE THE INSPECTION & MAINTENANCE OF THE BMP'S AND EROSION PREVENTION FROM BEGINNING OF CONSTRUCTION AND UNTIL CONSTRUCTION IS COMPLETED, IS APPROVED BY ALL AUTHORITIES, AND THE NOTICE OF TERMINATION (NOT) HAS BEEN FILED WITH THE MPCA BY EITHER THE OWNER OR OPERATOR AS APPROVED ON PERMIT. ADDITIONAL BMP'S SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
5. CONTRACTOR SHALL COMPLY WITH TRAINING REQUIREMENTS IN PART 21.1-21.3 OF THE GENERAL PERMIT.
6. BMP'S AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
7. ESC PLAN MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
8. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THE ESC PLANS SHALL BE CLEARLY DELINEATED (E.G. WITH FLAGS, STAKES, SIGNS, SILT FENCE, ETC.) ON THE DEVELOPMENT SITE BEFORE WORK BEGINS. GROUND DISTURBING ACTIVITIES MUST NOT OCCUR OUTSIDE THE LIMITS OF DISTURBANCE.
9. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
10. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) MUST BE LIMITED TO A DEFINED AREA OF THE SITE AND SHALL BE CONTAINED AND PROPERLY TREATED OR DISPOSED. NO ENGINE DEGREASING IS ALLOWED ON SITE.
11. ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER IS NOT ACCEPTABLE. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA REGULATIONS. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES. SELF-CONTAINED CONCRETE WASHOUTS ON CONCRETE DELIVERY TRUCKS ARE ALLOWED.
12. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
13. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
14. SOLID WASTE: COLLECTED SEDIMENT, ASPHALT & CONCRETE MILLINGS, FLOATING DEBRIS, PAPER, PLASTIC, FABRIC, CONSTRUCTION & DEMOLITION DEBRIS & OTHER WASTES MUST BE DISPOSED OF PROPERLY & MUST COMPLY WITH MPCA DISPOSAL REQUIREMENTS.
15. HAZARDOUS MATERIALS: OIL, GASOLINE, PAINT & ANY HAZARDOUS SUBSTANCES MUST BE PROPERLY STORED, INCLUDING SECONDARY CONTAINMENT, TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. RESTRICTED ACCESS TO STORAGE AREAS MUST BE PROVIDED TO PREVENT VANDALISM. STORAGE & DISPOSAL OF HAZARDOUS WASTE MUST BE IN COMPLIANCE WITH MPCA REGULATIONS.
16. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE SWPPP, SHALL BE INITIATED AS SOON AS PRACTICABLE AND PRIOR TO SOIL DISTURBING ACTIVITIES UPSLOPE.
17. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED SHALL BE TEMPORARILY SEEDED, WITHIN 14 DAYS OF INACTIVITY. SEEDING SHALL BE IN ACCORDANCE WITH MN/DOT SEED MIXTURE NUMBER 21-111 OR 21-112 DEPENDING ON THE SEASON OF PLANTING (SEE MN/DOT SPECIFICATION SECTION 2575.3) SEEDING METHOD AND APPLICATION RATE SHALL CONFORM TO MN/DOT SPECIFICATION SECTION 2575.3. TEMPORARY MULCH SHALL BE APPLIED IN ACCORDANCE WITH MN/DOT SPECIFICATION SECTION 2575.3F1 AND 2575.3G. ALTERNATIVELY, HYDRAULIC SOIL STABILIZER IN ACCORDANCE WITH MN/DOT SPECIFICATION SECTION 2575.3H MAY BE USED IN PLACE OF TEMPORARY MULCH.
18. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED. THESE AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE TIME TABLE DESCRIBED ABOVE. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN FOR VEGETATIVE COVER.

AREA SUMMARY IN ACRES

PAVEMENT AREA	6.56 AC±
BUILDING AREA	4.67 AC±
SEEDED AREA	5.79 AC±
TOTAL DISTURBED	17.02 AC±
PRE - CONSTRUCTION IMPERVIOUS	0.05 AC±
POST - CONSTRUCTION IMPERVIOUS	11.23 AC±

MAINTENANCE NOTES:

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. THE DESIGNATED CONTACT PERSON NOTED ON THIS PLAN MUST ROUTINELY INSPECT THE CONSTRUCTION ON SITE ONCE EVERY SEVEN DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. ALL SILT FENCES MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/2 OF THE HEIGHT OF THE FENCE. THESE REPAIRS MUST BE MADE WITHIN 24 HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
2. TEMPORARY AND PERMANENT SEDIMENTATION BASINS MUST BE DRAINED AND THE SEDIMENT REMOVED WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES 1/2 THE STORAGE VOLUME. DRAINAGE AND REMOVAL MUST BE COMPLETED WITHIN 72 HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS (SEE PART 10.1-10.5 OF THE GENERAL PERMIT).
3. SURFACE WATERS, INCLUDING DRAINAGE DITCHES AND CONVEYANCE SYSTEMS, MUST BE INSPECTED FOR EVIDENCE OF SEDIMENT BEING DEPOSITED BY EROSION. CONTRACTOR MUST REMOVE ALL DELTAS AND SEDIMENT DEPOSITED IN SURFACE WATERS, INCLUDING DRAINAGE WAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS, AND RESTABILIZE THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED SOIL. THE REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) DAYS OF DISCOVERY UNLESS PRECLUDED BY LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS. CONTRACTOR SHALL USE ALL REASONABLE EFFORTS TO OBTAIN ACCESS. IF PRECLUDED, REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) CALENDAR DAYS OF OBTAINING ACCESS. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL LOCAL, REGIONAL, STATE AND FEDERAL AUTHORITIES AND RECEIVING ANY APPLICABLE PERMITS, PRIOR TO CONDUCTING ANY WORK.
4. CONSTRUCTION SITE VEHICLE EXIT LOCATIONS MUST BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING ONTO PAVED SURFACES. TRACKED SEDIMENT MUST BE REMOVED FROM ALL OFF-SITE PAVED SURFACES, WITHIN 24 HOURS OF DISCOVERY, OR IF APPLICABLE, WITHIN A SHORTER TIME TO COMPLY WITH PART 9.11-9.12 OF THE GENERAL PERMIT.
5. CONTRACTOR IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF TEMPORARY AND PERMANENT WATER QUALITY MANAGEMENT BMP'S, AS WELL AS ALL EROSION PREVENTION AND SEDIMENT CONTROL BMP'S, FOR THE DURATION OF THE CONSTRUCTION WORK AT THE SITE. THE PERMITTEE(S) ARE RESPONSIBLE UNTIL ANOTHER PERMITTEE HAS ASSUMED CONTROL (ACCORDING TO PART 3.1 TO 3.8 OF THE MPCA GENERAL PERMIT) OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED OR THE SITE HAS UNDERGONE FINAL STABILIZATION, AND A (N.O.T.) HAS BEEN SUBMITTED TO THE MPCA.
6. IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED IN A MANNER AND AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS (E.G., FUGITIVE SEDIMENT IN STREETS COULD BE WASHED INTO STORM SEWERS BY THE NEXT RAIN AND/OR POSE A SAFETY HAZARD TO USERS OF PUBLIC STREETS).
7. ALL INFILTRATION AREAS MUST BE INSPECTED TO ENSURE THAT NO SEDIMENT FROM ONGOING CONSTRUCTION ACTIVITIES IS REACHING THE INFILTRATION AREA AND THESE AREAS ARE PROTECTED FROM COMPACTION DUE TO CONSTRUCTION EQUIPMENT DRIVING ACROSS THE INFILTRATION AREA.

SEQUENCE OF CONSTRUCTION

PHASE I:

1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
2. PREPARE TEMPORARY PARKING AND STORAGE AREA.
3. CONSTRUCT THE SILT FENCES ON THE SITE.
4. INSTALL INLET PROTECTION DEVICES ON EXISTING STORM STRUCTURES, AS SHOWN ON THE PLAN.
5. CONSTRUCT THE SEDIMENTATION AND SEDIMENT TRAP BASINS, AS REQUIRED.
6. HALT ALL ACTIVITIES AND CONTACT THE CIVIL ENGINEERING CONSULTANT TO PERFORM INSPECTION OF BMP'S. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER PRE-CONSTRUCTION MEETING WITH ENGINEER AND ALL GROUND DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.
7. CLEAR AND GRUB THE SITE.
8. BEGIN GRADING THE SITE.
9. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.

PHASE II:

1. TEMPORARILY SEED DENUDED AREAS.
2. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
3. INSTALL RIP RAP AROUND OUTLET STRUCTURES.
4. INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES.
5. PREPARE SITE FOR PAVING.
6. PAVE SITE.
7. INSTALL INLET PROTECTION DEVICES.
8. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
9. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED), IF REQUIRED BY THE CONTRACT.



12800 Whitewater Drive, Suite 300
Minnetonka, MN 55343
763.476.6010 telephone
763.476.8532 facsimile

Engineering | Surveying | Planning | Environmental

Client
CONTINENTAL
483 FUND LLC

W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051

Project
SPRINGS AT
LAKE ELMO

Location
LAKE ELMO,
MINNESOTA

9955 HUDSON BOULEVARD NORTH

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Eric A. Vogel
Registration No. 14 Date: 4/12/2019

If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

Summary

Designed: EAV Drawn: CIL
Approved: EAV Book / Page:
Phase: PRELIMINARY Initial Issue: 4/12/2019

Revision History

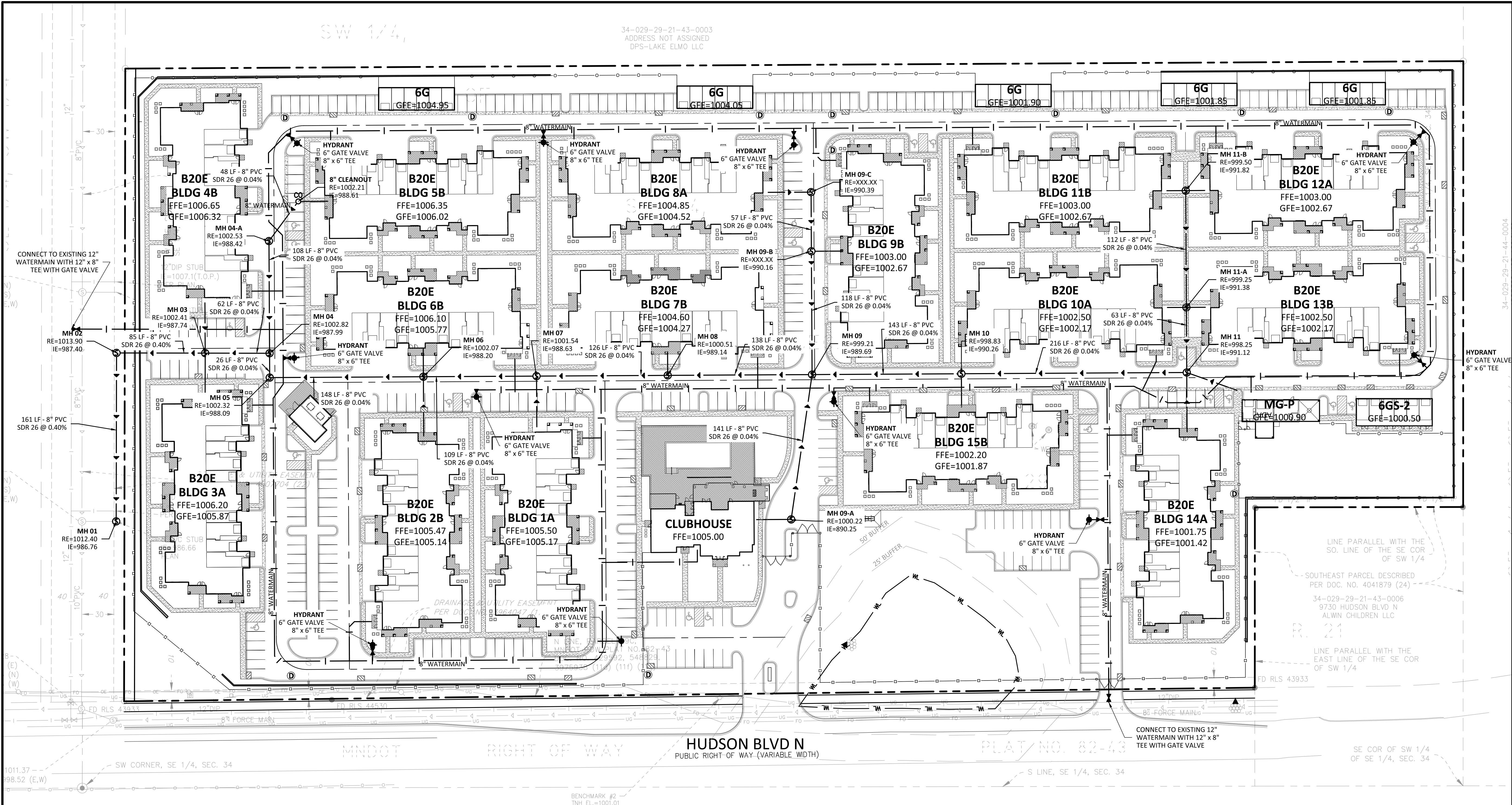
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4/12/2019 CITY SUBMITTAL

Sheet Title
EROSION
CONTROL
NOTES AND
DETAILS

Sheet No. Revision

C5.03

Project No. 21654



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Client
**CONTINENTAL
483 FUND LLC**

W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051

Project
**SPRINGS AT
LAKE ELMO**

Location
**LAKE ELMO,
MINNESOTA**

9955 HUDSON BOULEVARD NORTH

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**SANITARY
SEWER AND
WATERMAIN
PLAN**

Sheet No. Revision
C6.01

Project No. 21654

Client CONTINENTAL 483 FUND LLC

W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051

Project SPRINGS AT LAKE ELMO

Location LAKE ELMO, MINNESOTA

9955 HUDSON BOULEVARD NORTH

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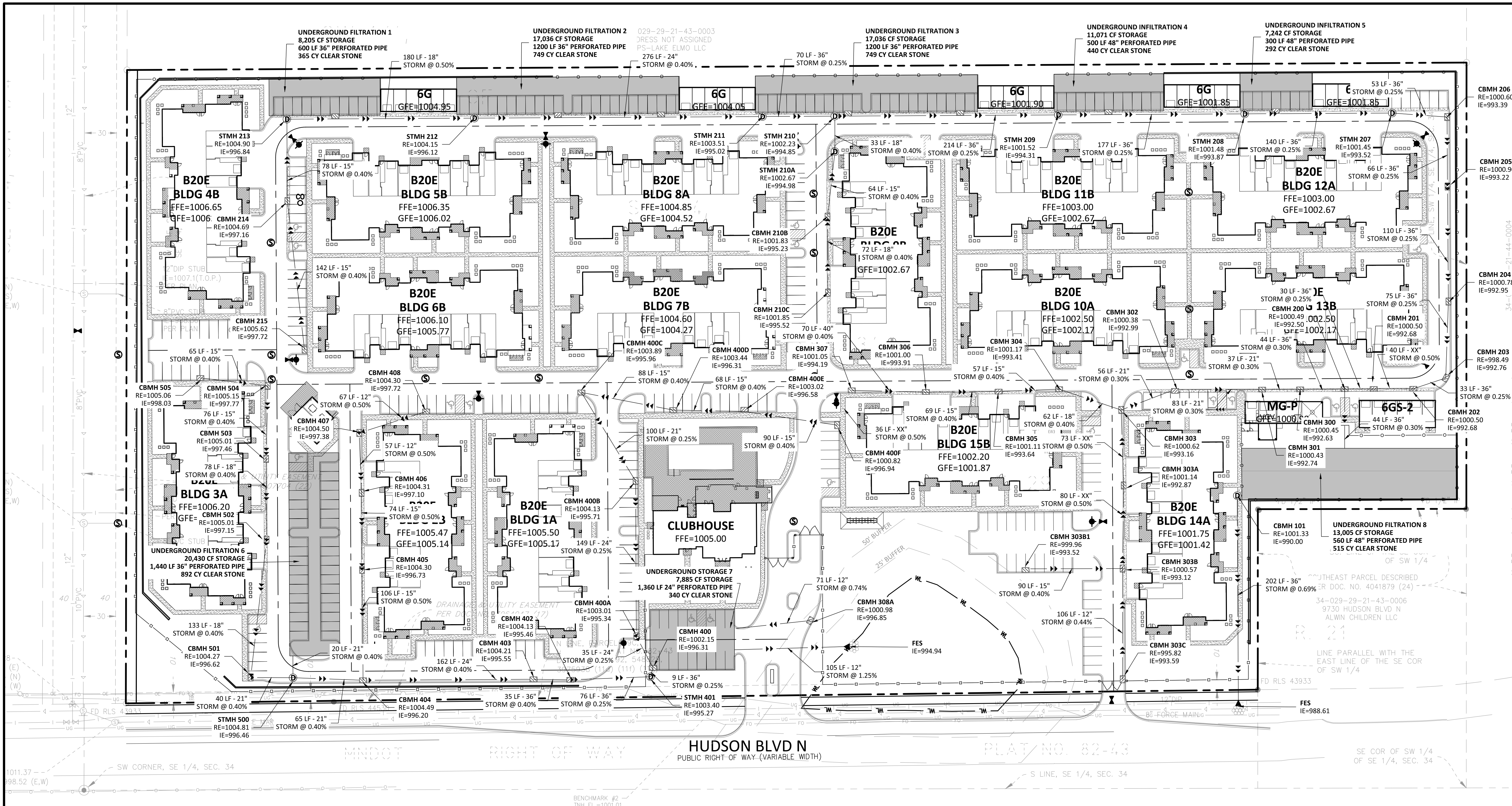
Revision History

No.	Date By	Submittal / Revision
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Sheet Title STORM SEWER PLAN

Sheet No. Revision C6.02

Project No. 21654



LEGEND	
PROPOSED	EXISTING
CURB & GUTTER	
STORM SEWER	
SANITARY SEWER	
FORCE MAIN (SAN.)	
WATERMAIN	
EASEMENT	
DRAIN TILE	
GAS LINE	
ELECTRIC	
TELEPHONE	
UNDERGROUND STORM SEWER SYSTEM	

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CES 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOVERNOR STATE ONE) FOR MINNESOTA. THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS LIVE. NO DRAIN TILE SHALL BE BACKFILLED OR DESTROYED WITHOUT THE PRESENTING ENGINEER'S APPROVAL. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

UTILITY CONSTRUCTION NOTES

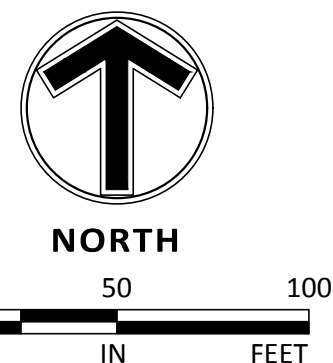
- THE UTILITY IMPROVEMENTS FOR THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "STANDARD UTILITIES SPECIFICATIONS" AS PUBLISHED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), EXCEPT AS MODIFIED HEREIN. CONTRACTOR SHALL OBTAIN A COPY OF THESE SPECIFICATIONS.
 - ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY REQUIREMENTS.
 - CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP WATERMAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE THE LIABILITY OF CONTRACTOR.
 - A MINIMUM VERTICAL SEPARATION OF 18 INCHES AND HORIZONTAL SEPARATION OF 10-FEET BETWEEN OUTSIDE PIPE DIAMETERS IS REQUIRED AT ALL WATERMAIN AND SEWER MAIN (BUILDING, STORM AND SANITARY) CROSSINGS.
- ALL MATERIALS SHALL BE AS SPECIFIED IN CEAM SPECIFICATIONS EXCEPT AS MODIFIED HEREIN.
 - ALL MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY.
 - ALL SANITARY SEWER TO BE PVC SDR-35, UNLESS NOTED OTHERWISE.
 - ALL SANITARY SEWER SERVICES TO BUILDING SHALL BE PVC SCH 40 CONFORMING TO ASTM D2665.
 - ALL WATERMAIN TO BE DUCTILE IRON - CLASS 52, UNLESS NOTED OTHERWISE.
 - ALL WATERMAIN TO HAVE 7.5-FEET OF COVER OVER TOP OF WATERMAIN.
 - PROVIDE THRUST BLOCKING AND MECHANICAL JOINT RESTRAINTS ON ALL WATERMAIN JOINTS PER CITY STANDARDS.
 - ALL STORM SEWER PIPE TO BE SMOOTH INTERIOR DUAL WALL HDPE PIPE WITH WATER TIGHT GASKETS, UNLESS NOTED OTHERWISE.

- ALL STORM SEWER PIPE FOR ROOF DRAIN SERVICES TO BUILDING SHALL BE PVC SCH 40 CONFORMING TO ASTM D2665.
- RIP RAP SHALL BE MNDOT CLASS 3.
- COORDINATE ALL BUILDING SERVICE CONNECTION LOCATIONS AND INVERT ELEVATIONS WITH MECHANICAL CONTRACTOR PRIOR TO CONSTRUCTION.
- ALL BUILDING SERVICE CONNECTIONS (STORM, SANITARY, WATER) WITH FIVE FEET OR LESS COVER ARE TO BE INSULATED FROM BUILDING TO POINT WHERE 5-FEET OF COVER IS ACHIEVED.
- CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- SAFETY NOTICE TO CONTRACTORS: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER OR THE DEVELOPER TO CONDUCT CONSTRUCTION REVIEW OF CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF CONTRACTOR'S SAFETY MEASURES IN, ON OR NEAR THE CONSTRUCTION SITE.
- ALL AREAS OUTSIDE THE PROPERTY BOUNDARIES THAT ARE DISTURBED BY UTILITY CONSTRUCTION SHALL BE RESTORED IN KIND. SODDED AREAS SHALL BE RESTORED WITH 6 INCHES OF TOPSOIL PLACED BENEATH THE SOD.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS.

- ALL SOILS TESTING SHALL BE COMPLETED BY AN INDEPENDENT SOILS ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE SOILS ENGINEER. THE UTILITY BACKFILL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE SOILS ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND SOIL INSPECTIONS WITH THE SOILS ENGINEER.

A GEOTECHNICAL ENGINEERING REPORT HAS BEEN COMPLETED BY:
COMPANY: INTERTEK-PSI
ADDRESS: 2915 WATERS ROAD, SUITE 112 EAGAN, MN 55121
PHONE: 651-646-8148
DATED: FEBRUARY 11, 2019

CONTRACTOR SHALL OBTAIN A COPY OF THIS SOILS REPORT.
- CONTRACTOR SHALL SUBMIT 2 COPIES OF SHOP DRAWINGS FOR MANHOLE AND CATCH BASIN STRUCTURES TO ENGINEER. CONTRACTOR SHALL ALLOW 5 WORKING DAYS FOR SHOP DRAWING REVIEW.
- CONTRACTOR AND MATERIAL SUPPLIER SHALL DETERMINE THE MINIMUM DIAMETER REQUIRED FOR EACH STORM SEWER STRUCTURE.
- (REMOVE IF THERE IS NO UNDERGROUND SYSTEM)
THE UNDERGROUND STORMWATER SYSTEM SHOWN ON THE UTILITY PLAN AND THE DETAIL SHEETS IS FOR INFORMATIONAL PURPOSES ONLY AND DEPICTS THE MINIMUM STORAGE REQUIREMENTS AND THE SYSTEM ELEVATIONS. THE CONTRACTOR (WITH THEIR SUPPLIER OR DESIGNER) SHALL SUBMIT DESIGN DRAWINGS TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. THE DESIGN DRAWINGS SHALL DEPICT THE FINAL LAYOUT AND DETAILS FOR CONSTRUCTION. THE DRAWINGS SHALL BE CERTIFIED BY A LICENSED ENGINEER FOR THE STATE IN WHICH THE PROJECT IS CONSTRUCTED. THE SUBMITTAL SHALL INCLUDE ALL NECESSARY PRODUCT INFORMATION, DESIGN CALCULATIONS AND BEDDING REQUIREMENTS FOR THE PROPOSED STORMWATER SYSTEM. FOLLOWING CONSTRUCTION, THE CERTIFYING ENGINEER SHALL SUBMIT A LETTER TO THE OWNER AND ENGINEER INDICATING THEY OBSERVED THE INSTALLATION AND THE INSTALLATION OF THE STORMWATER SYSTEM WAS IN CONFORMANCE WITH THE CERTIFIED DRAWINGS.



Client
**CONTINENTAL
483 FUND LLC**

W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051

Project
**SPRINGS AT
LAKE ELMO**

Location
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9955 HUDSON BOULEVARD NORTH

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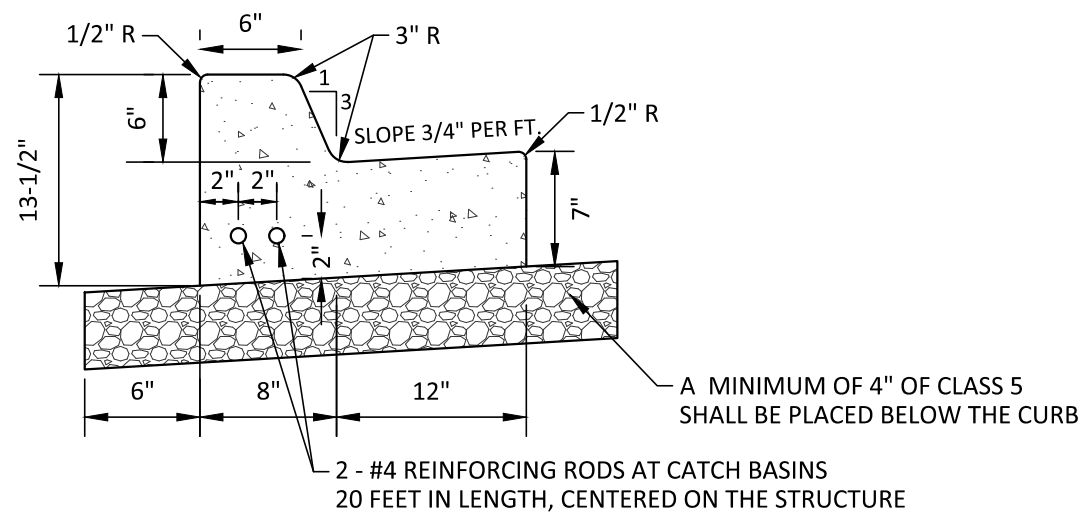
Summary
Designed: EAV Drawn: CIL
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Revision History
No. Date By Submittal / Revision
4/12/2019 CITY SUBMITTAL

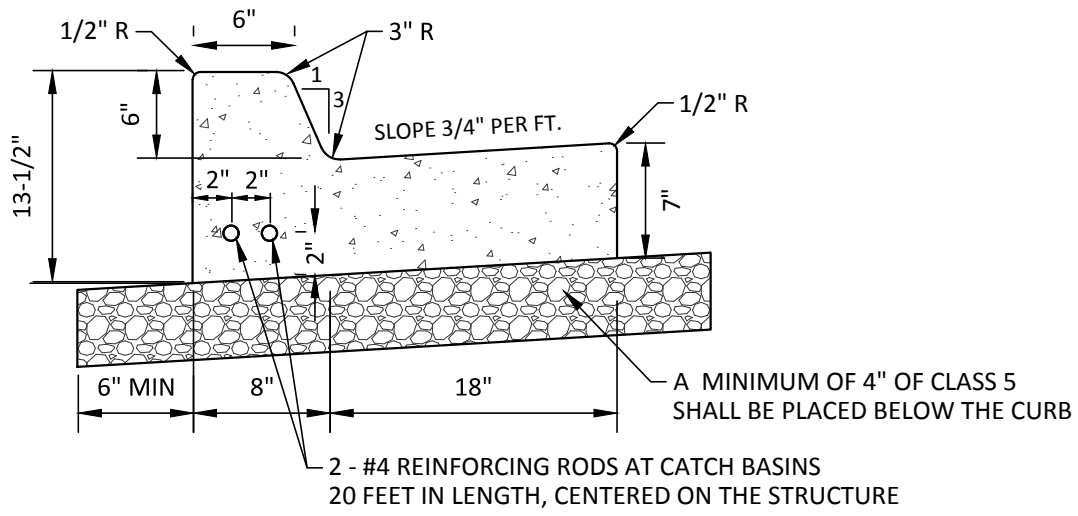
**Sheet Title
DETAILS**

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C9.01

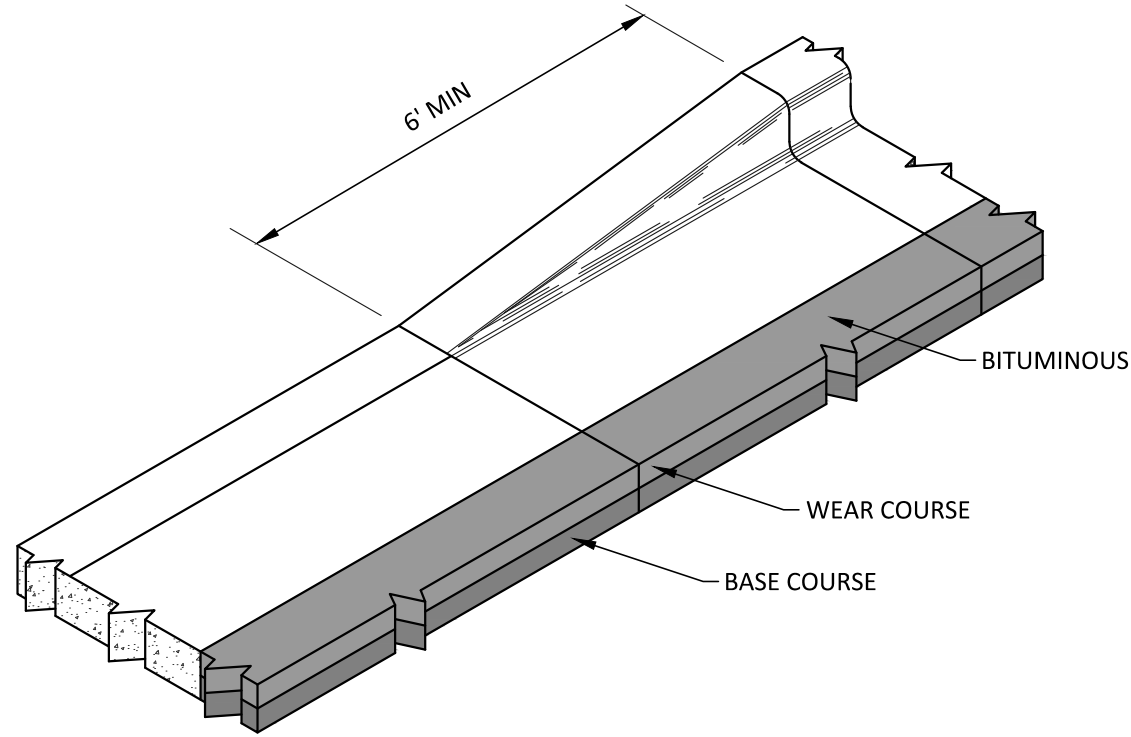
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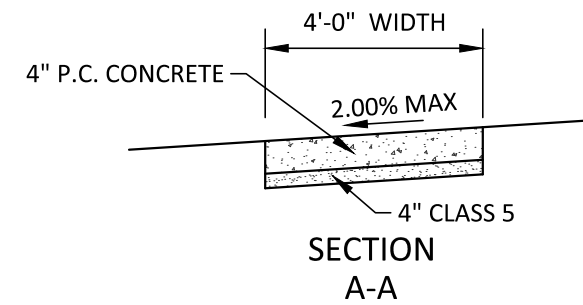
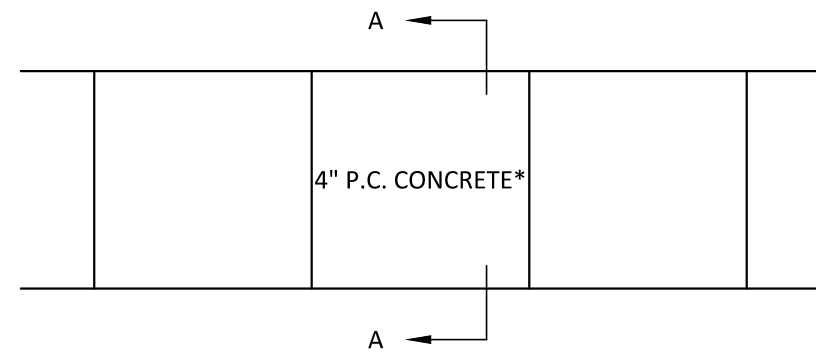
01 B612 CONCRETE CURB & GUTTER
N.T.S.



02 B618 CONCRETE CURB & GUTTER
N.T.S.



03 CURB TRANSITION
N.T.S.

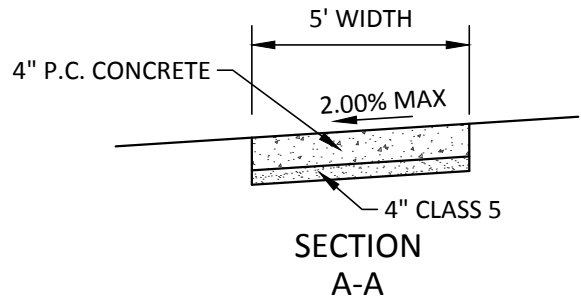
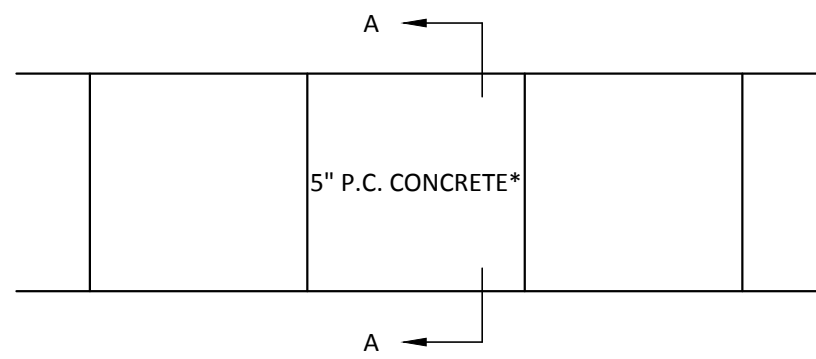


GENERAL NOTES FOR CONCRETE CONSTRUCTION:

1. THE CONCRETE SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF MN/DOT "STANDARD SPECIFICATIONS FOR CONSTRUCTION".
2. SIDEWALK CONTROL JOINTS SHALL BE LOCATED AT 5 FEET ON CENTER. SIDEWALK EXPANSION JOINTS SHALL BE LOCATED AT A MAXIMUM OF 100 FEET ON CENTER, AND WHERE SIDEWALK ABUTS CURB, STRUCTURES, AND OTHER FIXED OBJECTS. SEAL ALL EXPANSION JOINTS. BROOM FINISH SHALL BE PERPENDICULAR TO THE LINE OF TRAFFIC.

*THE THICKNESS SHALL BE INCREASED TO A MINIMUM DEPTH OF 4 INCHES AT DRIVEWAY CROSSINGS.

04 4' CONCRETE SIDEWALK
N.T.S.

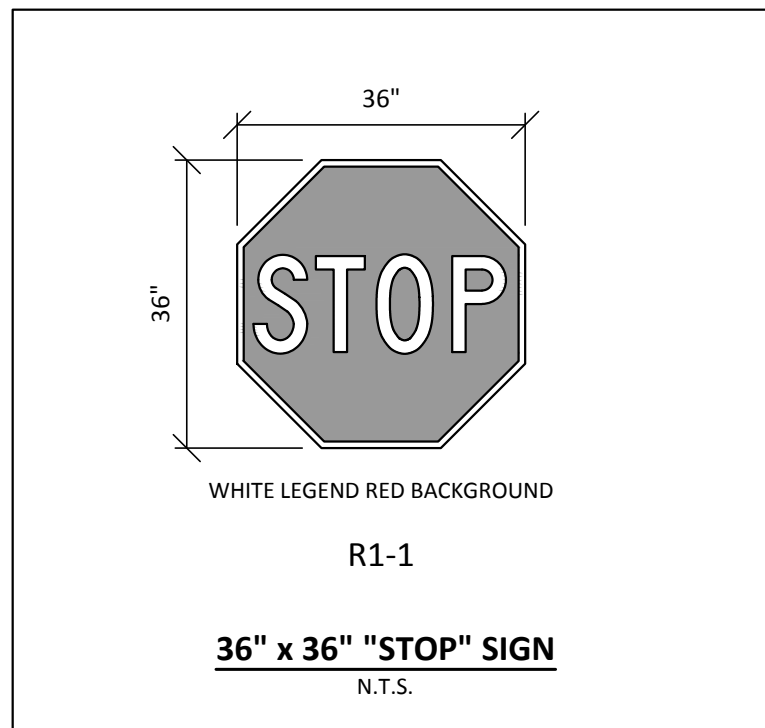


GENERAL NOTES FOR CONCRETE CONSTRUCTION:

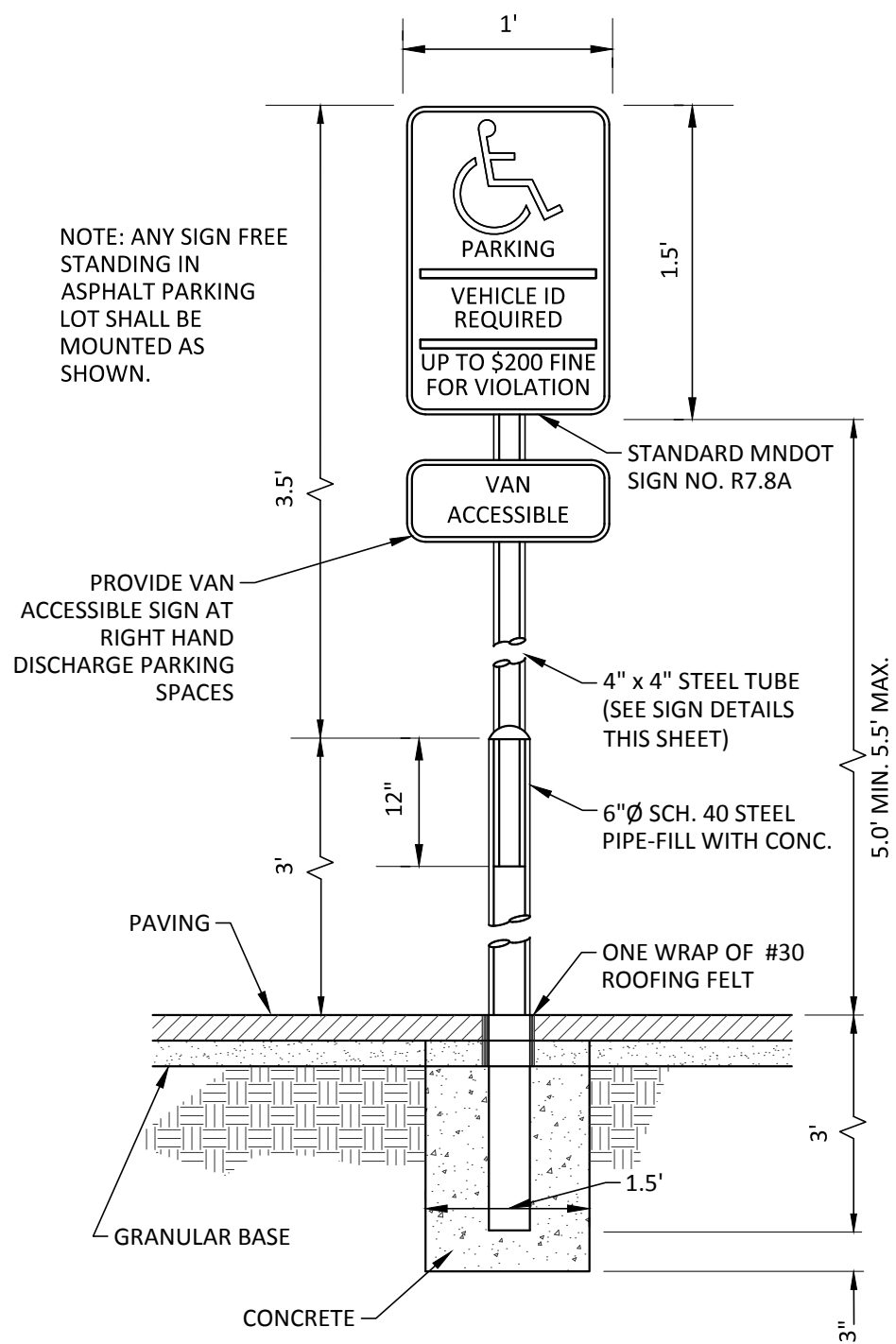
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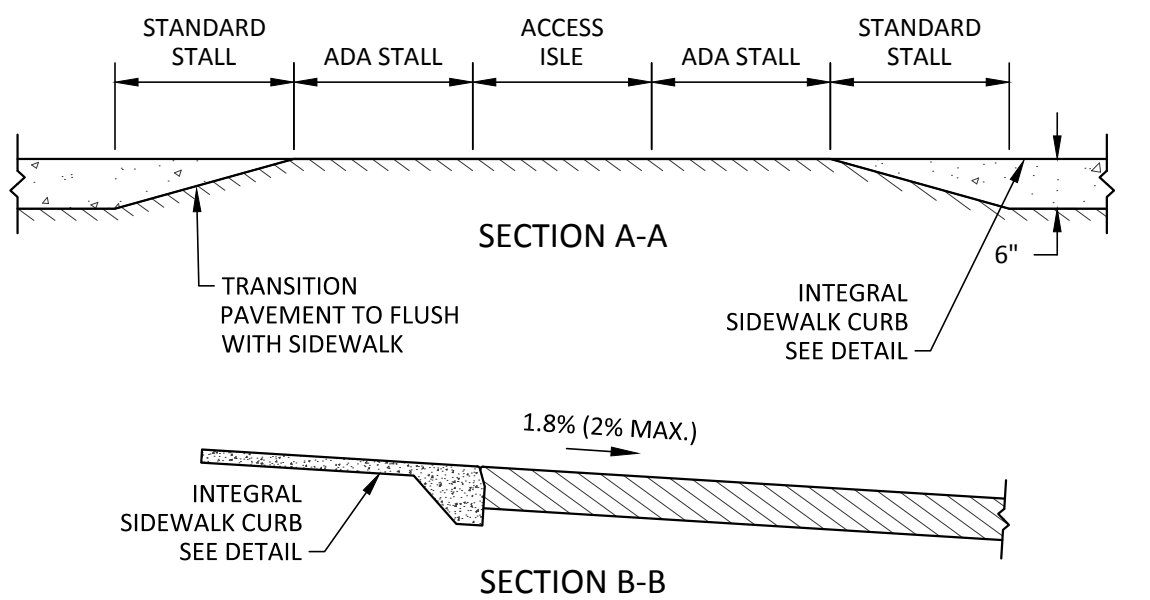
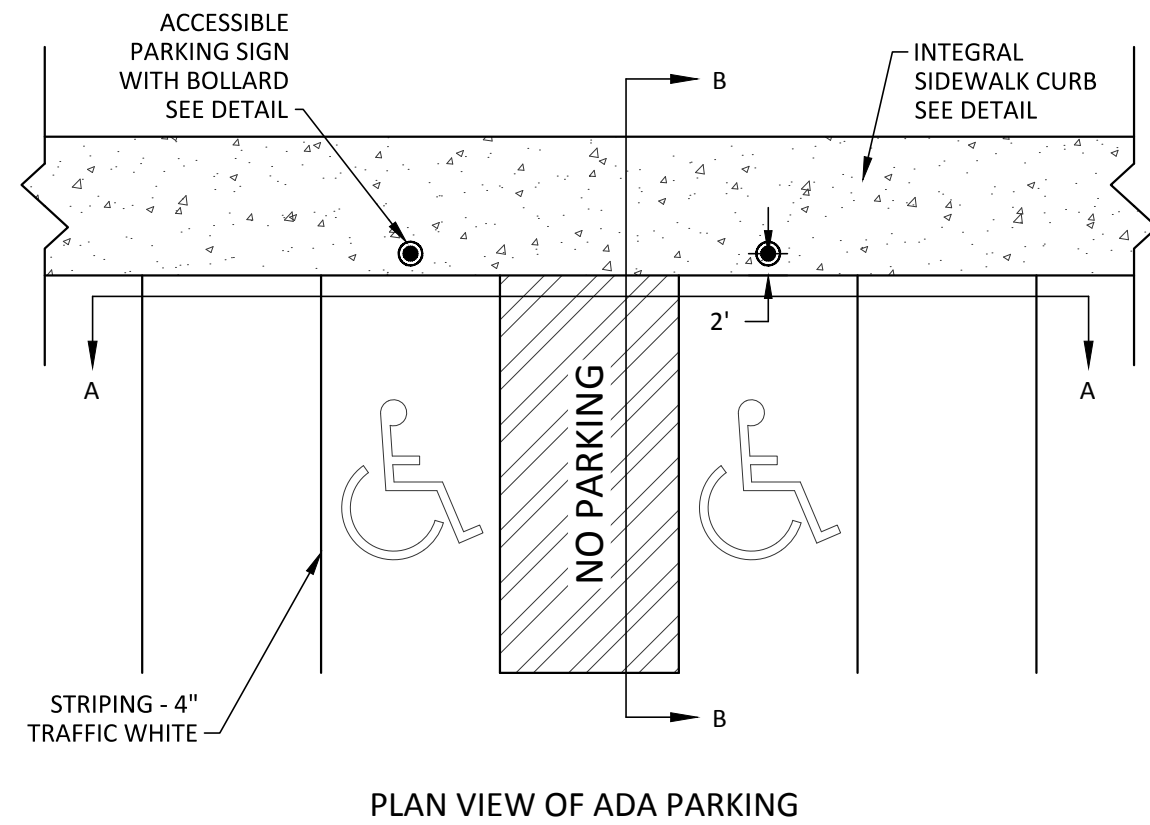
05 CONCRETE SIDEWALK
N.T.S.



06 STOP SIGN DETAIL
N.T.S.

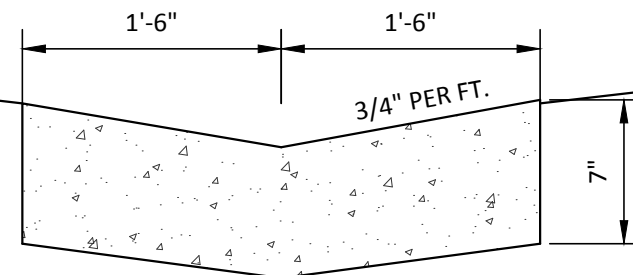


07 ACCESSIBLE PARKING SIGN
N.T.S.



08 ADA PARKING
N.T.S.

AT ALL UTILITY TRENCH CROSSINGS, 2 #4 REINFORCING RODS SHALL BE PLACED IN THE LOWER PORTION OF THE GUTTER; RODS TO BE 20 FEET IN LENGTH.



09 CONCRETE VALLEY GUTTER
N.T.S.

Client
**CONTINENTAL
483 FUND LLC**

W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051

Project
**SPRINGS AT
LAKE ELMO**

Location
**LAKE ELMO,
MINNESOTA**
9955 HUDSON BOULEVARD NORTH

Certification

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed LANDSCAPE ARCHITECT under the laws of the State of Minnesota.

William L. Delaney
Registration No. 1552 Date: 4/12/2019

This certification is not valid unless wet signed in blue ink. If applicable, contact us for a wet signed copy of this survey which is available upon request at Sambatek, Minnetonka, MN office.

Summary

Designed: EAV Drawn: CIL
Approved: EAV Book / Page:
Phase: PRELIMINARY Initial Issue: 4/12/2019

Revision History

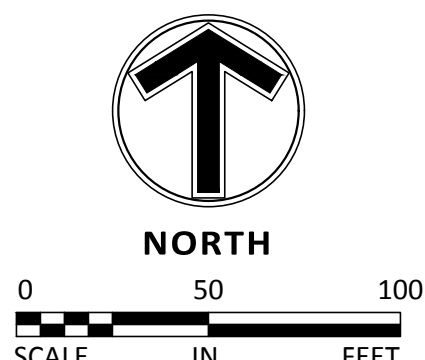
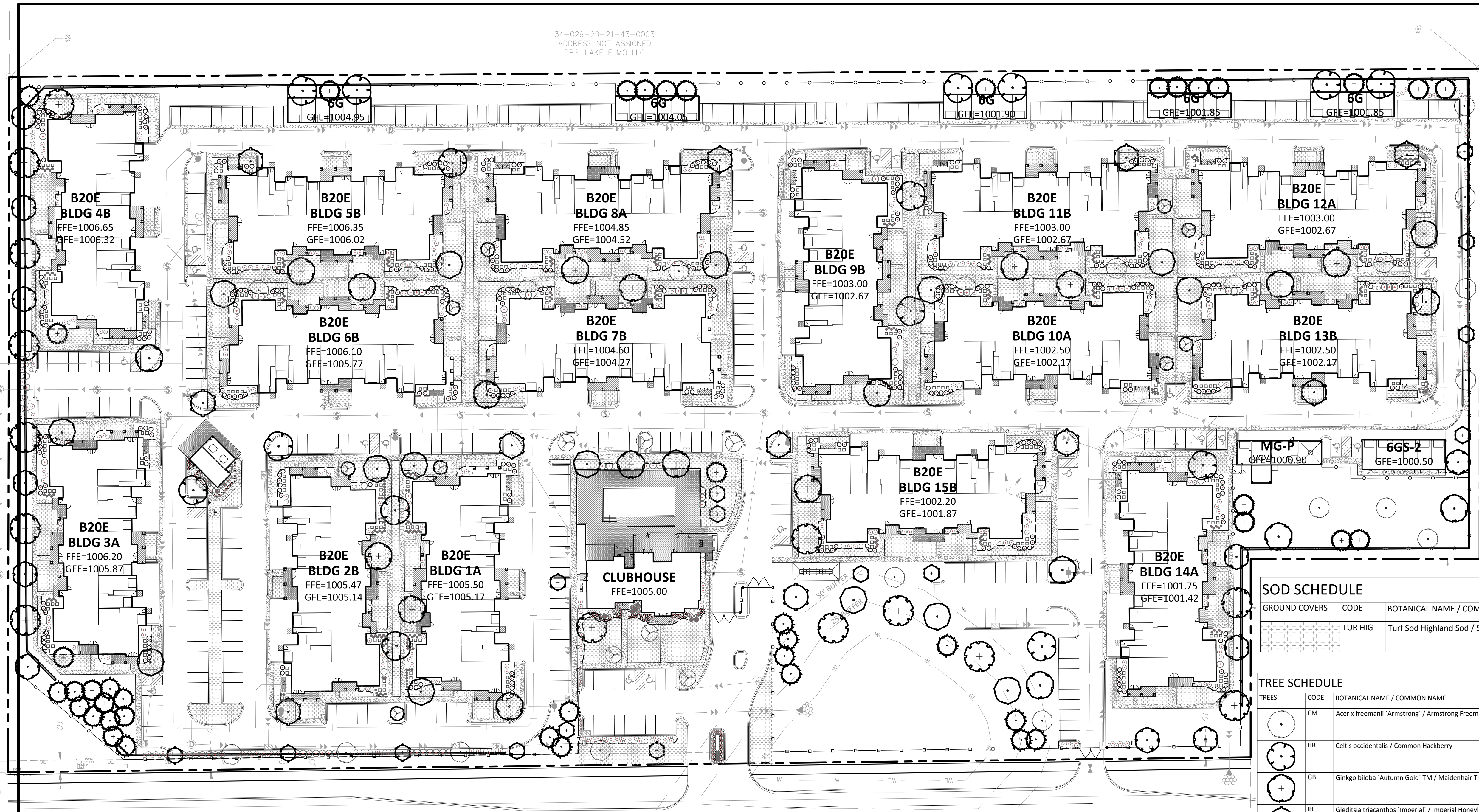
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4/12/2019 CITY SUBMITTAL

**Sheet Title
LANDSCAPE
PLAN**

Sheet No. Revision
L1.01

Project No. 21654

34-029-29-21-43-0003
ADDRESS NOT ASSIGNED
DPS-LAKE ELMO LLC



SOD SCHEDULE

GROUND COVERS	CODE	BOTANICAL NAME / COMMON NAME	CONT	QTY
	TUR HIG	Turf Sod Highland Sod / Sod	Sod	76,939 sf

TREE SCHEDULE

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
	CM	Acer x freemanii 'Armstrong' / Armstrong Freeman Maple	B & B	3"Cal.		21
	HB	Celtis occidentalis / Common Hackberry	B & B	3"Cal.		15
	GB	Ginkgo biloba 'Autumn Gold' TM / Maidenhair Tree	B & B	3"Cal.		13
	IH	Gleditsia triacanthos 'Imperial' / Imperial Honeylocust	B & B	3"Cal.		11
	KC	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree	B & B	3"Cal.		11
	SO	Quercus bicolor / Swamp White Oak	B & B	3"Cal.		14
	RP	Quercus robur x warei 'Long' / Regal Prince Oak	B & B	3"Cal.		15
	BL	Tilia americana 'Boulevard' / Boulevard Linden	B & B	3"Cal.		9
	PE	Ulmus americana 'Princeton' / American Elm	B & B	3"Cal.		16
CONIFERS	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
	NS	Picea abies / Norway Spruce	B & B		6'	18
	AP	Pinus nigra / Austrian Black Pine	B & B		6'	15
	WP	Pinus strobus / White Pine	B & B		6'	11
ORN. TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
	SB	Amelanchier canadensis 'Autumn Brilliance' / Autumn Brilliance Serviceberry	B & B	2"Cal		9
	JL	Syringa reticulata / Japanese Tree Lilac	B & B	2"Cal		6

LEGEND

PROPOSED	EXISTING
PROPERTY LIMIT	STANDARD DUTY ASPHALT PAVING
CURB & GUTTER	HEAVY DUTY ASPHALT PAVING
EASEMENT	CONCRETE PAVING
BUILDING	CONCRETE SIDEWALK
RETAINING WALL	ARCHITECTURAL CONCRETE
WETLAND LIMITS	
TREELINE	
SIGN	
PIPE BOLLARD	
NUMBER OF PARKING STALLS PER ROW	
KEY NOTE	
DETAIL	
CHAIN LINK FENCE	
DECORATIVE WOODEN FENCE	
AIR CONDITIONING UNIT	
NON-STEEL EDGER	

LAKE ELMO, MN LANDSCAPE CODE

MITIGATION FROM TREE PRESERVATION PLAN

COMMON TREES (46" @ 3" TREES)	REQUIRED 15 TREES
CONIFER TREES (149" @ 6" TREES)	50 TREES
HARDWOOD TREES (129" @ 3" TREES)	43 TREES
TOTAL	108 TREES

SETBACK AREA LANDSCAPE REQUIREMENTS

STREET FRONTAGE (1100 FT / 50 = 22 TREES @ 2.5")	REQUIRED 18 TREES
(22 X 2.5" = 55" @ 3" TREES)	
DISTURBED AREA (17 ACRES X 5 = 85 TREES @ 2.5")	71 TREES
(85 X 2.5" = 213" @ 3" TREES)	89 TREES
TOTAL	

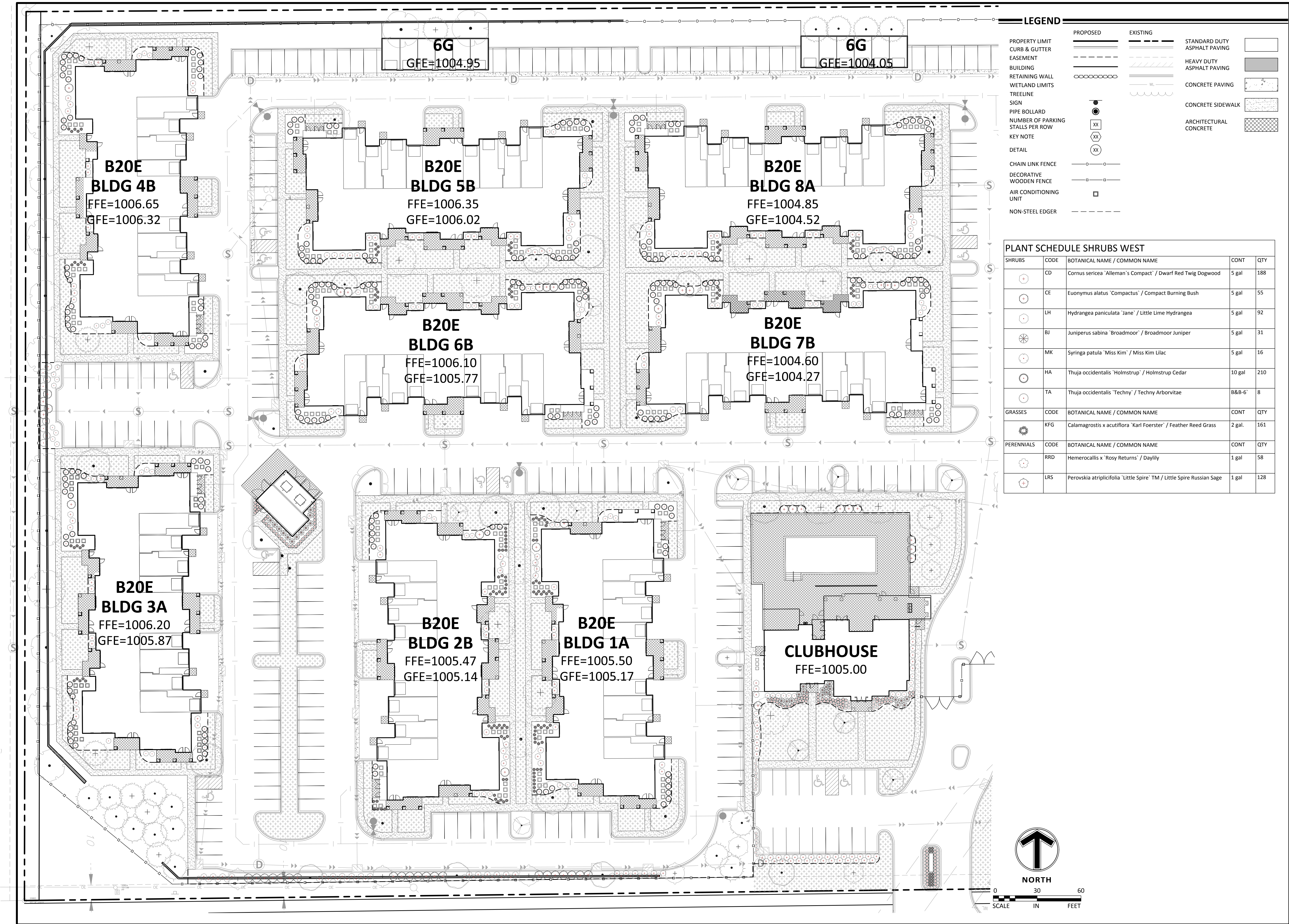
PROPOSED PLANTINGS

REQUIRED	PROPOSED	PERCENTAGE
OVERSTORY TREES	125 TREES	74%
CONIFEROUS TREES	44 TREES	26%
ORNAMENTAL TREES*	15 TREES	
TOTAL	197 TREES	169 TREES

SHRUBS AND PERENNIALS

1,449 UNITS

*DOES NOT COUNT TOWARDS REPLACEMENT TREE TOTALS.



Client
CONTINENTAL
483 FUND LLC

W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051

Project
SPRINGS AT
LAKE ELMO

Location
LAKE ELMO,
MINNESOTA
9955 HUDSON BOULEVARD NORTH

Certification
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed LANDSCAPE ARCHITECT under the laws of the State of Minnesota.

William L. Delaney
Registration No. 1352 Date: 4/12/2019
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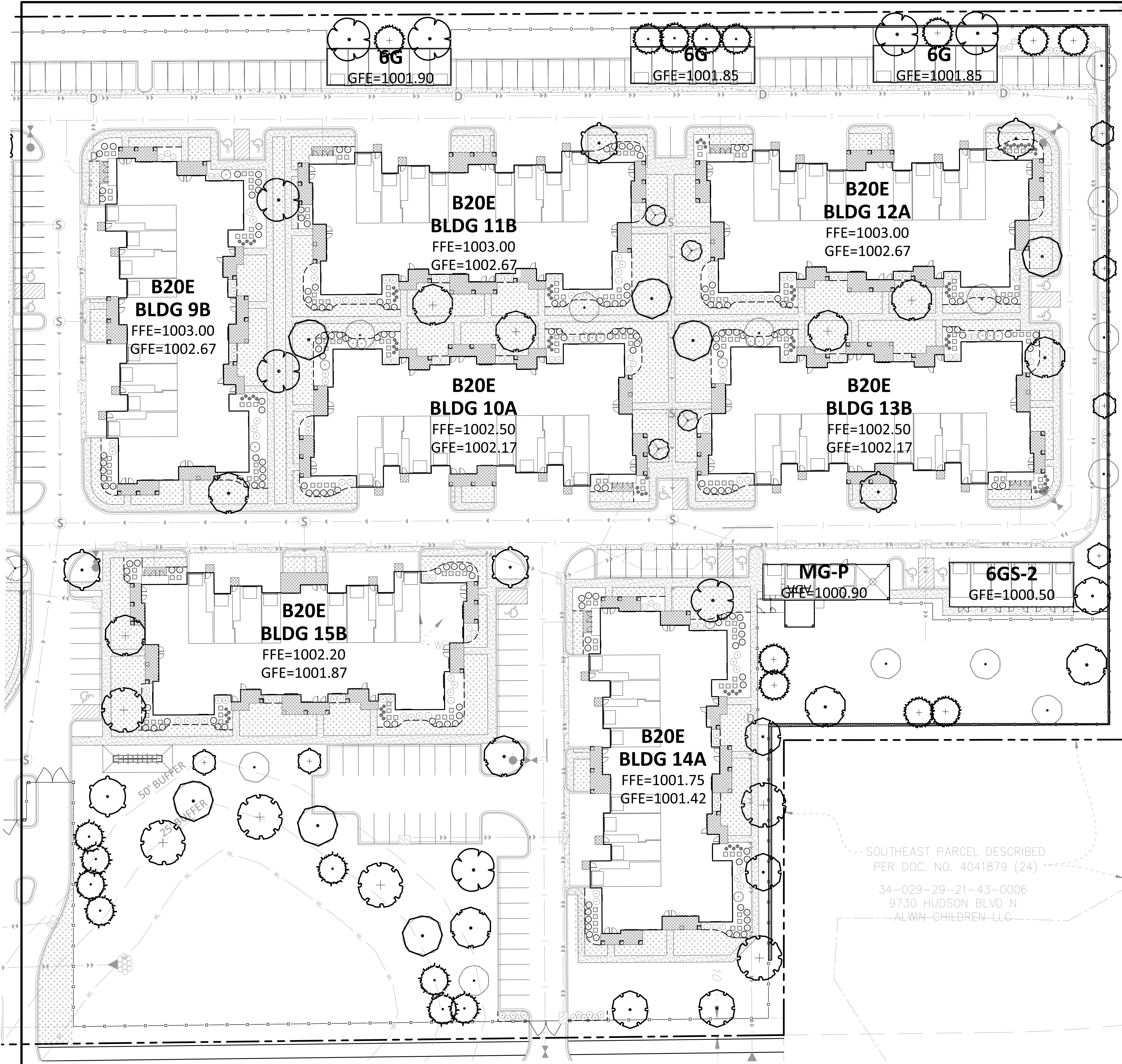
Summary
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Revision History
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4/12/2019 CITY SUBMITTAL

Sheet Title
SHRUB PLAN
WEST

Sheet No. Revision
L1.02

Project No. 21654



LEGEND

PROPERTY LIMIT	PROPOSED	EXISTING	STANDARD DUTY ASPHALT PAVING	
CURB & GUTTER			HEAVY DUTY ASPHALT PAVING	
EASEMENT			CONCRETE PAVING	
BUILDING			CONCRETE SIDEWALK	
RETAINING WALL			ARCHITECTURAL CONCRETE	
WETLAND LIMITS				
TREELINE				
SIGN				
PIPE BOLLARD				
NUMBER OF PARKING STALLS PER ROW				
KEY NOTE				
DETAIL				
CHAIN LINK FENCE				
DECORATIVE WOODEN FENCE				
AIR CONDITIONING UNIT				
NON-STEEL EDGER				

PLANT SCHEDULE SHRUBS EAST

SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	QTY
	CD	Cornus sericea 'Alleman's Compact' / Dwarf Red Twig Dogwood	5 gal	114
	CE	Euonymus alatus 'Compactus' / Compact Burning Bush	5 gal	16
	LH	Hydrangea paniculata 'Jane' / Little Lime Hydrangea	5 gal	72
	MK	Syringa patula 'Miss Kim' / Miss Kim Lilac	5 gal	17
	HA	Thuja occidentalis 'Holmstrup' / Holmstrup Cedar	10 gal	184
GRASSES	CODE	BOTANICAL NAME / COMMON NAME	CONT	QTY
	KFG	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	2 gal.	99

Client
**CONTINENTAL
483 FUND LLC**

W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051

Project
**SPRINGS AT
LAKE ELMO**

Location
**LAKE ELMO,
MINNESOTA**
9955 HUDSON BOULEVARD NORTH

Certification

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed LANDSCAPE ARCHITECT under the laws of the State of Minnesota.

William L. Delaney
Registration No. 352 Date: 4/12/2019

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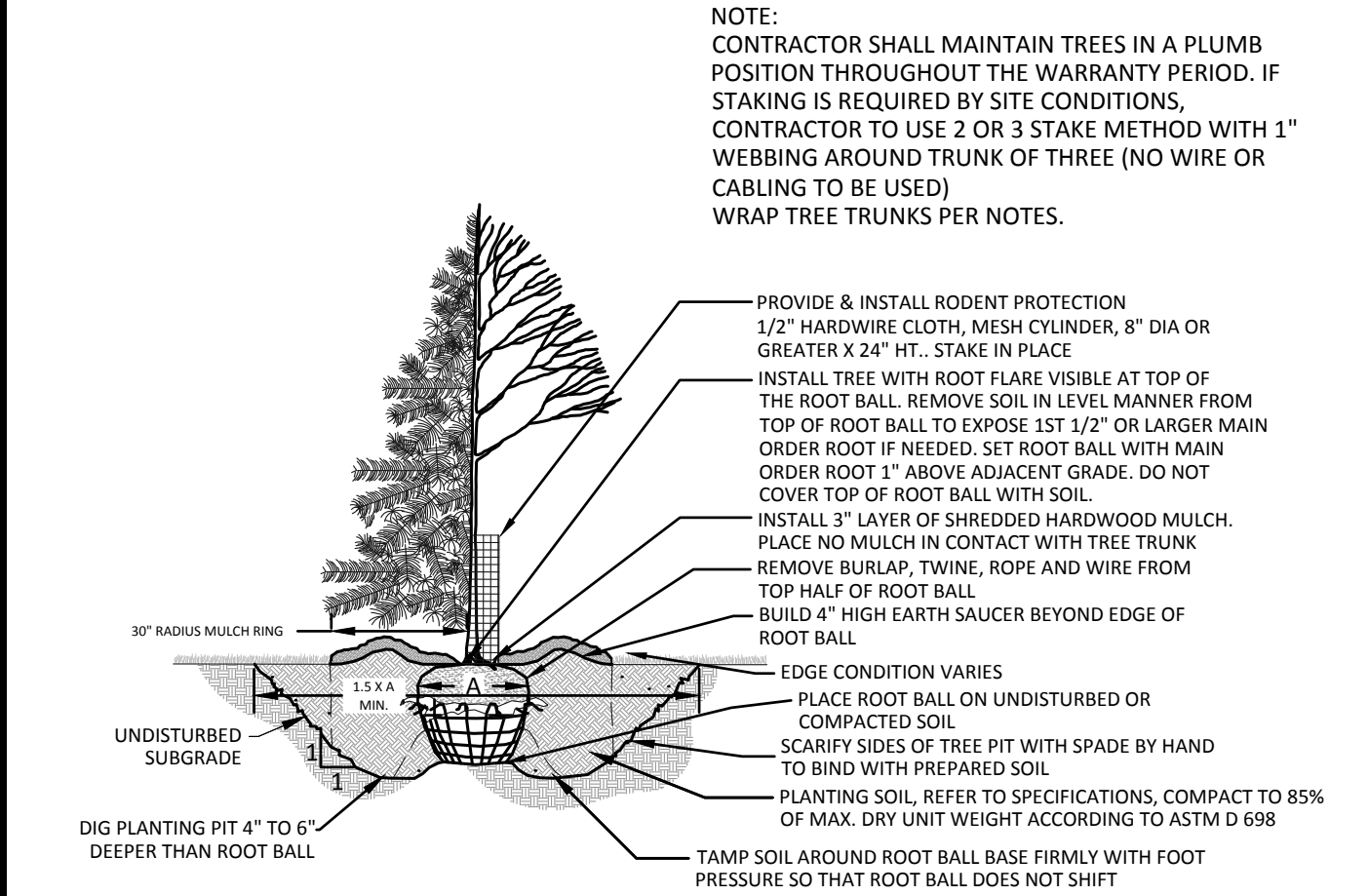
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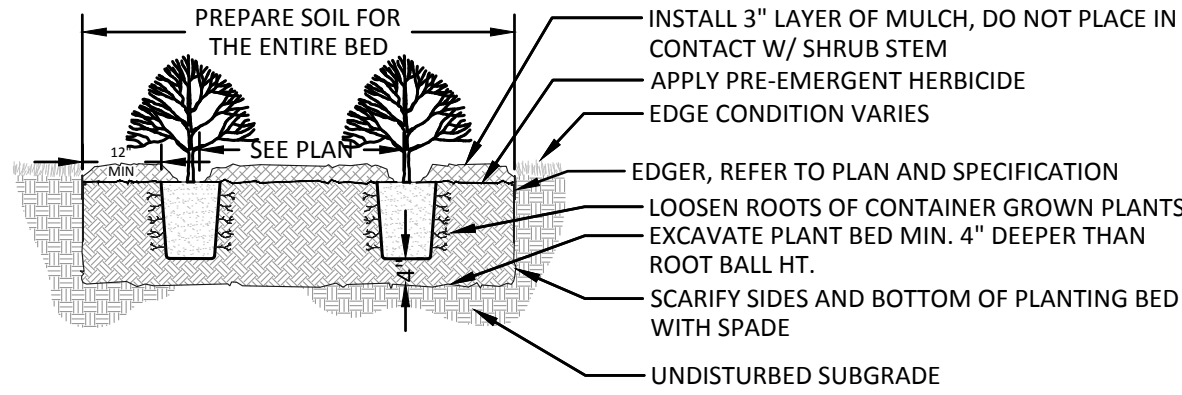
Sheet Title
**SHRUB PLAN
EAST**

Sheet No. Revision
L1.03

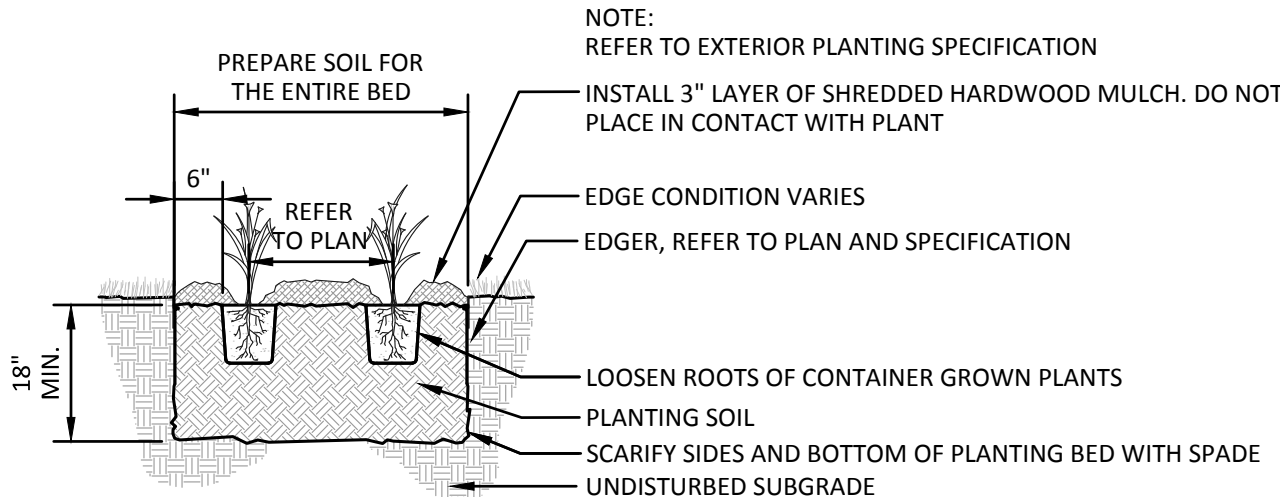
Project No. 21654



1 TREE PLANTING DETAIL
1/4" = 1'-0" P-01



2 SHRUB PLANTING DETAIL
3/8" = 1'-0" P-02



3 PERENNIAL PLANTING DETAIL
1/2" = 1'-0" P-03

NOTES

GENERAL NOTES:

- THE CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF THE WORK.
- THE CONTRACTOR SHALL VERIFY PLAN LAYOUT AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN OR INTENT OF THE LAYOUT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS, AND PERMITS GOVERNING THE WORK.
- THE CONTRACTOR SHALL PROTECT EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION. DAMAGE TO SAME SHALL BE REPAIRED AND/OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- LOCATE AND VERIFY ALL UTILITIES, INCLUDING IRRIGATION LINES, WITH THE OWNER FOR PROPRIETARY UTILITIES AND GOPHER STATE ONE CALL 48 HOURS BEFORE DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ANY DAMAGES TO SAME. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS TO FACILITATE PLANT RELOCATION.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.**
- THE CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.
- THE PLAN TAKES PRECEDENCE OVER THE LANDSCAPE LEGEND IF DISCREPANCIES EXIST. QUANTITIES SHOWN IN THE PLANTING SCHEDULE ARE FOR THE CONTRACTOR'S CONVENIENCE. CONTRACTOR TO VERIFY QUANTITIES SHOWN ON THE PLAN.
- THE SPECIFICATIONS TAKE PRECEDENCE OVER THE PLANTING NOTES AND GENERAL NOTES.
- EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED TO THE DRIP LINE FROM ALL CONSTRUCTION TRAFFIC, STORAGE OF MATERIALS ETC. WITH 4' HT. ORANGE PLASTIC SAFETY FENCING ADEQUATELY SUPPORTED BY STEEL FENCE POSTS 6' O.C. MAXIMUM SPACING.
- LONG-TERM STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE ALLOWED.
- CONTRACTOR SHALL REQUEST IN WRITING, A FINAL ACCEPTANCE INSPECTION.

PLANTING NOTES:

- NO PLANTS SHALL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- A GRANULAR PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANT BEDS AT THE MANUFACTURERS RECOMMENDED RATE PRIOR TO PLANT INSTALLATION.
- ALL PLANTING STOCK SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK," ANSI-Z60, LATEST EDITION, OF THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIALS.
- OVERSTORY TREES SHALL BEGIN BRANCHING NO LOWER THAN 6' ABOVE PAVED SURFACES.
- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE AND BE CONTAINER GROWN OR Balled and BURLAPPED AS INDICATED IN THE LANDSCAPE LEGEND.
- PLANT MATERIALS TO BE INSTALLED PER PLANTING DETAILS.
- ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY BEFORE, DURING, OR AFTER INSTALLATION.
- NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE ACCEPTED UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL QUANTITIES, SHAPES OF BEDS AND LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN AND ADJUSTED TO CONFORM TO THE EXACT CONDITIONS OF THE SITE. THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIALS PRIOR TO INSTALLATION.
- ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
- MULCH: SHREDDED HARDWOOD MULCH, COLOR: DARK CHOCOLATE BROWN, CLEAN AND FREE OF NOXIOUS WEEDS OR OTHER DELETERIOUS MATERIAL, IN ALL MASS PLANTING BEDS AND FOR TREES, UNLESS INDICATED AS ROCK MULCH ON DRAWINGS. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT PRIOR TO DELIVERY ON-SITE FOR APPROVAL. DELIVER MULCH ON DAY OF INSTALLATION. USE 3" FOR SHRUB BEDS, TREE RINGS, AND 3" FOR PERENNIAL/GROUND COVER BEDS, UNLESS OTHERWISE DIRECTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MULCHES AND PLANTING SOIL QUANTITIES TO COMPLETE THE WORK SHOWN ON THE PLAN.
- USE ANTI-DESICCANT (WILTFRUE OR APPROVED EQUAL) ON DECIDUOUS PLANTS MOVED IN LEAF AND FOR EVERGREENS MOVED ANYTIME. APPLY AS PER MANUFACTURER'S INSTRUCTION. ALL EVERGREENS SHALL BE SPRAYED IN THE LATE FALL FOR WINTER PROTECTION DURING WARRANTY PERIOD.
- WRAP ALL SMOOTH-BARKED DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO DECEMBER 1 AND REMOVE WRAPPING AFTER MAY 1. TREE WRAPPING MATERIAL SHALL BE WHITE TWO-WALLED PLASTIC SHEETING APPLIED FROM TRUNK FLARE TO THE FIRST BRANCH.
- ALL DECIDUOUS, PINE, AND LARCH PLANTINGS SHALL RECEIVE RODENT PROTECTION PER MNDOT 2571.31.2
- PLANTING SOIL FOR TREES, SHRUBS AND GROUND COVERS: FERTILE FRIABLE LOAM CONTAINING A LIBERAL AMOUNT (4% MIN.) OF HUMUS AND CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. IT SHALL COMPLY WITH MNDOT SPECIFICATION 3877 TYPE B SELECT TOPSOIL. MIXTURE SHALL BE FREE FROM HARDPACK SUBSOIL, STONES, CHEMICALS, NOXIOUS WEEDS, ETC. SOIL MIXTURE SHALL HAVE A PH BETWEEN 6.1 AND 7.5 AND 10-0-10 FERTILIZER AT THE RATE OF 3 POUNDS PER CUBIC YARD. IN PLANTING BEDS INCORPORATE THIS MIXTURE THROUGHOUT THE ENTIRE BED IN A 8" LAYER AND ROTO-TILLING IT INTO THE TOP 12" OF SOIL AT A 1:1 RATIO. ANY PLANT STOCK NOT PLANTED ON DAY OF DELIVERY SHALL BE HELED IN AND WATERED UNTIL INSTALLATION. PLANTS NOT MAINTAINED IN THIS MANNER WILL BE REJECTED.
- CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT EACH EXCAVATED TREE AND SHRUB PIT WILL PERCOLATE PRIOR TO INSTALLING PLANTING MEDIUM AND PLANTS. THE CONTRACTOR SHALL FILL THE BOTTOM OF SELECTED HOLES WITH SIX INCHES OF WATER AND CONFIRM THAT THIS WATER WILL PERCOLATE WITHIN A 24-HOUR PERIOD. IF THE SOIL AT A GIVEN AREA DOES NOT DRAIN PROPERLY, A PVC DRAIN OR GRAVEL SUMP SHALL BE INSTALLED OR THE PLANTING SHALL BE RELOCATED IF DIRECTED BY THE LANDSCAPE ARCHITECT.
- ALL PLANTS SHALL BE GUARANTEED FOR TWO COMPLETE GROWING SEASONS (APRIL 1 - NOVEMBER 1), UNLESS OTHERWISE SPECIFIED. THE GUARANTEE SHALL COVER THE FULL COST OF REPLACEMENT INCLUDING LABOR AND PLANTS.

- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 3 DAYS PRIOR TO PLANNED DELIVERY. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 24 HOURS IN ADVANCE OF BEGINNING PLANT INSTALLATION.
- SEASONS/TIME OF PLANTING AND SEEDING: NOTE: THE CONTRACTOR MAY ELECT TO PLANT IN OFF-SEASONS ENTIRELY AT HIS/HER RISK. DECIDUOUS
 - POTTED PLANTS: 4/1 - 6/1; 9/21 - 11/1
 - DECIDUOUS/B&B: 4/1 - 6/1; 9/21 - 11/1
 - EVERGREEN POTTED PLANTS: 4/1 - 6/1; 9/21-11/1
 - EVERGREEN B&B: 4/1 - 5/1; 9/21 - 11/1
 - TURF/LAWN SEEDING: 4/1 - 6/1; 7/20 - 9/20
 - NATIVE MIX SEEDING: 4/15 - 7/20; 9/20-10/20
- MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PORTION OF THE WORK IS IN PLACE. PLANT MATERIAL SHALL BE PROTECTED AND MAINTAINED UNTIL THE INSTALLATION OF THE PLANTS IS COMPLETE, INSPECTION HAS BEEN MADE, AND PLANTINGS ARE ACCEPTED EXCLUSIVE OF THE GUARANTEE. MAINTENANCE SHALL INCLUDE WATERING, CULTIVATING, MULCHING, REMOVAL OF DEAD MATERIALS, RE-SETTING PLANTS TO PROPER GRADE AND KEEPING PLANTS IN A PLUMB POSITION. AFTER ACCEPTANCE, THE OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES. HOWEVER, THE CONTRACTOR SHALL CONTINUE TO BE RESPONSIBLE FOR KEEPING THE TREES PLUMB THROUGHOUT THE GUARANTEE PERIOD.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL LANDSCAPE LEGEND SPECIFICATIONS.
- WATERING: MAINTAIN A WATERING SCHEDULE WHICH WILL THOROUGHLY WATER ALL PLANTS ONCE A WEEK. IN EXTREMELY HOT, DRY WEATHER, WATER MORE OFTEN AS REQUIRED BY INDICATIONS OF HEAT STRESS SUCH AS WILTING LEAVES. CHECK MOISTURE UNDER MULCH PRIOR TO WATERING TO DETERMINE NEED. CONTRACTOR SHALL MAKE THE NECESSARY ARRANGEMENTS FOR WATER.
- WEED PRE-EMERGENT TREATMENTS SHALL BE SPREAD IN ALL LANDSCAPE BEDS

TURF NOTES:

- TURF ESTABLISHMENT SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROVISIONS OF THE MN/DOT 2105 AND 2575 EXCEPT AS MODIFIED BELOW:
- ALL AREAS TO RECEIVE SOD SHALL ALSO RECEIVE 6" OF TOPSOIL PRIOR TO INSTALLING SOD. TOPSOIL SHALL BE FREE OF TREE ROOTS, STUMPS, BUILDING MATERIAL, AND TRASH, AND SHALL BE FREE OF STONES LARGER THAN 1 1/2" INCHES IN ANY DIMENSION.
 - WHERE SOD ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
 - SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, SOD SHALL BE STAKED SECURELY.
 - TURF ON ALL OTHER AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED BY SEEDING, MULCHING AND FERTILIZING. SEED MIXTURE NO. 25-151 WILL BE PLACED AT THE RATE OF 120 POUNDS PER ACRE.
 - ALL DISTURBED AREAS TO BE TURF SEEDDED, ARE TO RECEIVE 6" TOP SOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. FOR SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES INSTALL EROSION CONTROL BLANKET.
 - ALL DISTURBED AREAS TO RECEIVE NATIVE SEED, ARE TO RECEIVE PLANTING SOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. FOR SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES INSTALL EROSION CONTROL BLANKET.

GENERAL TREE SPECIFICATIONS:

- ALL STREET AND PARKING LOT TREES SHALL BE LIMBED UP TO THE FOLLOWING HEIGHTS:
 - 2" CAL. TREES: LOWEST BRANCH 6' HT.
 - 3" CAL.+ TREES: LOWEST BRANCH 7' HT.
- TREE CANOPY WIDTH SHALL BE RELATIVE TO HEIGHT/CALIPER OF TREE AND TYPE OF TREE.
 - 1" CALIPER/6-8' HT: 3-4' WIDTH MIN.
 - 2" CALIPER/12-14' HT: 4-5' WIDTH MIN.
 - 3" CALIPER/14-16' HT: 6-7' WIDTH MIN.
- CANOPY TREES SHALL NOT HAVE CO-DOMINATE LEADERS IN LOWER HALF OF TREE CROWN. ALL TREES SHALL HAVE SYMMETRICAL OR BALANCED BRANCHING ON ALL SIDES OF THE TREE.
- TREES SHALL NOT BE TIPPED PRUNED.
- TREES SHALL BE FREE OF PHYSICAL DAMAGE FROM SHIPPING AND HANDLING. DAMAGED TREES SHALL BE REJECTED.
- SUMMER DUG TREES SHALL HAVE ROOTBALL SIZE INCREASED BY 20%
- TREES WHICH EXCEED RECOMMENDED CALIPER TO HEIGHT RELATIONSHIP SHALL BE REJECTED.

IRRIGATION NOTES:

- IRRIGATION SYSTEM TO BE DESIGN/BUILD. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL OF SYSTEM LAYOUT PRIOR TO INSTALLATION.
- ALL SOD TO RECEIVE SPRAY OR ROTOR IRRIGATION HEADS WITH MINIMUM DESIGN OF 1" IRRIGATION PER WEEK.
- ALL PLANT BEDS TO RECEIVE DRIP LINE IRRIGATION, WITH A MINIMUM DESIGN OF .25" IRRIGATION PER WEEK.
- CONTRACTOR TO INSTALL A TOTAL OF 4 QUICK COUPLERS AT THE CORNERS OF THE PROPERTY. A 2.5" TYPE K SOURCE PIPE IS PROVIDED BY MECHANICAL.

Client CONTINENTAL 483 FUND LLC

W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051

Project SPRINGS AT LAKE ELMO

Location LAKE ELMO, MINNESOTA

9955 HUDSON BOULEVARD NORTH

Certification

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed LANDSCAPE ARCHITECT under the laws of the State of Minnesota.

William L. Delaney
Registration No. 2532 Date: 4/12/2019
This certification is not valid unless wet signed in blue ink. If applicable, contact us for a wet signed copy of this survey which is available upon request at Sambatek, Minnetonka, MN office.

Summary

Designed: EAV Drawn: CIL
Approved: EAV Book / Page:
Phase: PRELIMINARY Initial Issue: 4/12/2019

Revision History

No.	Date By	Submittal / Revision
4/12/2019		CITY SUBMITTAL

Sheet Title LANDSCAPE NOTE AND DETAILS

Sheet No. Revision

L1.04

Project No. 21654



Client
CONTINENTAL
483 FUND, LLC

Location
9955 HUDSON
BLVD. N.
LAKE ELMO, MN

Summary

Revision History

No.	Date	By	Submittal / Revision

Sheet No. Revision

Project No. 21654.01

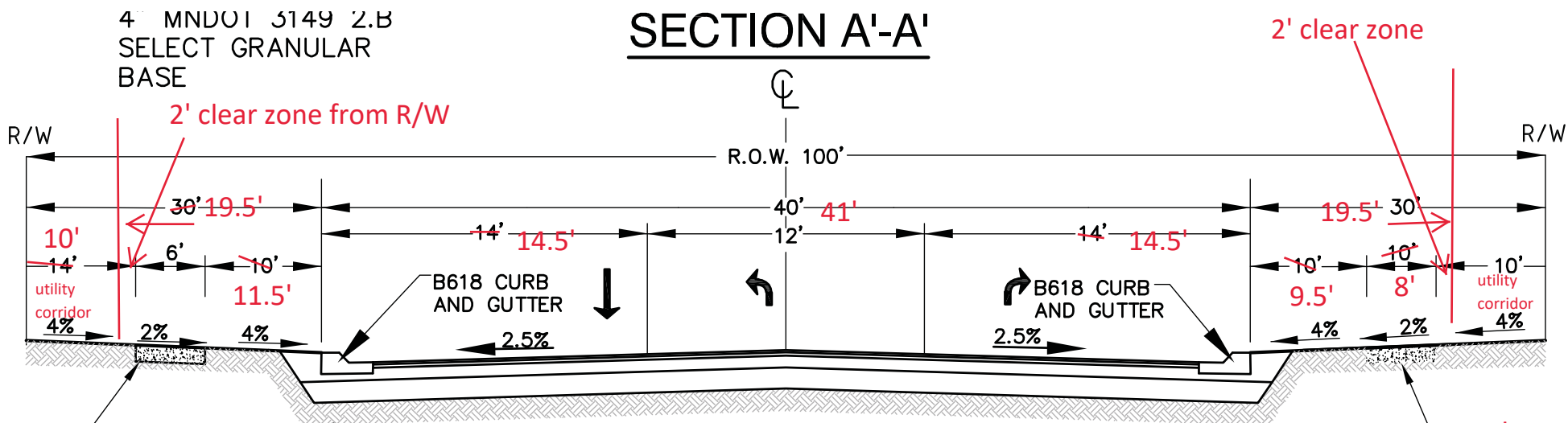


== SURVEY NOTES

1. The bearing system is based on the Washington County coordinate system, NAD83 (1986 Adjust). With an assumed bearing of South 00 degrees 01 minutes 13 seconds West for the east line of the Southwest Quarter of the Southeast Quarter, Section 34, Township 29, Range 21.

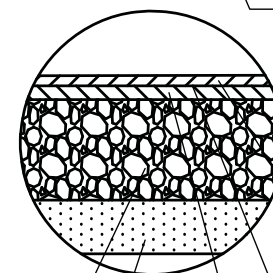
TAG NO.	DIA.	SPECIES
3501	25' (6'')	Spruce - Colorado (Picea pungens)
3502	30' (6'')	Spruce - Colorado (Picea pungens)
3503	35' (7'')	Spruce - Colorado (Picea pungens)
3504	40' (11'')	Spruce - Colorado (Picea pungens)
3505	35' (10'')	Spruce - Colorado (Picea pungens)
3506	35' (9'')	Spruce - Colorado (Picea pungens)
3507	40' (8'')	Spruce - Colorado (Picea pungens)
3508	40' (12'')	Spruce - Colorado (Picea pungens)
3509	38' (9'')	Spruce - Colorado (Picea pungens)
3510	35' (9'')	Spruce - Colorado (Picea pungens)
3511	35' (9'')	Spruce - Colorado (Picea pungens)
3512	35' (8'')	Spruce - Colorado (Picea pungens)
3513	35' (10'')	Spruce - Colorado (Picea pungens)
3514	35' (9'')	Spruce - Colorado (Picea pungens)
3515	35' (11'')	Spruce - Colorado (Picea pungens)
3516	35' (9'')	Spruce - Colorado (Picea pungens)
3517	26' (7'')	Spruce - Colorado (Picea pungens)
3518	40' (12'')	Spruce - Colorado (Picea pungens)
3519	38' (7'')	Spruce - Colorado (Picea pungens)
3520	40' (10'')	Spruce - Colorado (Picea pungens)
3521	40' (10'')	Spruce - Colorado (Picea pungens)
3522	40' (9'')	Spruce - Colorado (Picea pungens)
3523	38' (7'')	Spruce - Colorado (Picea pungens)
3524	40' (10'')	Spruce - Colorado (Picea pungens)
3525	35' (7'')	Spruce - Colorado (Picea pungens)
3526	32' (7'')	Spruce - Colorado (Picea pungens)
3527	38' (8'')	Spruce - Colorado (Picea pungens)
3528	35' (8'')	Spruce - Colorado (Picea pungens)
3529	45' (10'')	Spruce - Colorado (Picea pungens)
3530	45' (12'')	Spruce - Colorado (Picea pungens)
3531	45' (12'')	Spruce - Colorado (Picea pungens)
3532	38' (6'')	Spruce - Colorado (Picea pungens)
3533	38' (11'')	Spruce - Colorado (Picea pungens)
3534	40' (10'')	Spruce - Colorado (Picea pungens)
3535	13	Elm - American (Ulmus americana)
3536	18	Elm - American (Ulmus americana)
3537	13	Maple - Silver (acer saccharinum)
3538	12	Elm - Siberian (Ulmus pumula)
3539	14	Elm - Siberian (Ulmus pumula)
3540	7	Cherry - Black (Prunus serotina)
3541	8	Cherry - Black (Prunus serotina)
3542	12	Ash - Green (Fraxinus pennsylvanica)
3543	12	Ash - Green (Fraxinus pennsylvanica)
3544	25	Oak - White (Quercus alba)
3545	25	Oak - White (Quercus alba)
3546	27	Oak - White (Quercus alba)
3547	22	Oak - White (Quercus alba)
3548	28	Maple - Silver (acer saccharinum)
3549	24	Maple - Silver (acer saccharinum)
3550	12	Aspen - Big Tooth (Populus grandidentata)
3551	12	Aspen - Big Tooth (Populus grandidentata)
3552	18	Aspen - Big Tooth (Populus grandidentata)
3553	15	Aspen - Big Tooth (Populus grandidentata)
3554	14	Aspen - Big Tooth (Populus grandidentata)
3555	28	Aspen - Big Tooth (Populus grandidentata)
3556	29	Maple - Silver (acer saccharinum)
3557	31	Oak - White (Quercus alba)
3558	39	Maple - Silver (acer saccharinum)
3559	18	Oak - White (Quercus alba)
3560	17	Maple - Silver (acer saccharinum)
3561	32	Oak - White (Quercus alba)
3562	26	Oak - White (Quercus alba)
3563	37	Oak - White (Quercus alba)
3564	-	
3565	-	
3566	-	
3567	29	Elm - Siberian (Ulmus pumula)
3568	20	Elm - American (Ulmus americana)
3569	13	Elm - Siberian (Ulmus pumula)
3570	12	Aspen - Big Tooth (Populus grandidentata)
3571	13	Aspen - Big Tooth (Populus grandidentata)
3572	12	Aspen - Big Tooth (Populus grandidentata)
3573	39	Maple - Silver (acer saccharinum)
3574	20	Elm - Siberian (Ulmus pumula)
3575	13	Elm - American (Ulmus americana)

SECTION A'-A'



COLLECTOR ROAD SECTION "ROAD G" - SECTION C'-C'

8" AGGREGATE BASE CLASS 5, 100% CRUSHED STONE
AGGREGATE (SPEC 3138)
12" GRANULAR BORROW (SPEC 3149.2B)



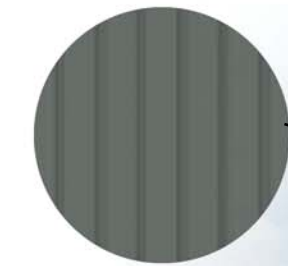
8' Bit trail
10' BIT TRAIL
2"-2 1/4" BIT
8" CLASS 6, AG

2"-MNDOT
MAX AGGR
TACK COAT
2"-MNDOT
MAX AGGRE

COLLECTOR PAVEMENT SECTION

6' CONCRETE WALK
(TYP.)
5" CONCRETE
4" MNDOT 3149 2.B
SELECT GRANULAR
BASE

6"
TOPSOIL
& SOD



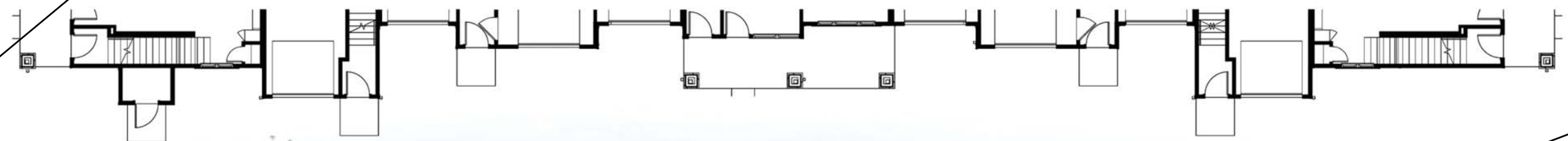
Board and Batten
"Slate Tile"
SW 7624



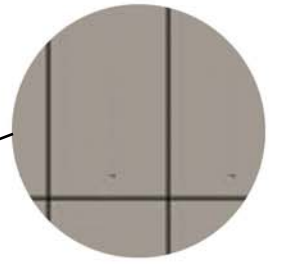
Stone
"Texas Rubble"
Coronado CT501



Front Elevation
SCALE: 1/16"=1'-0"



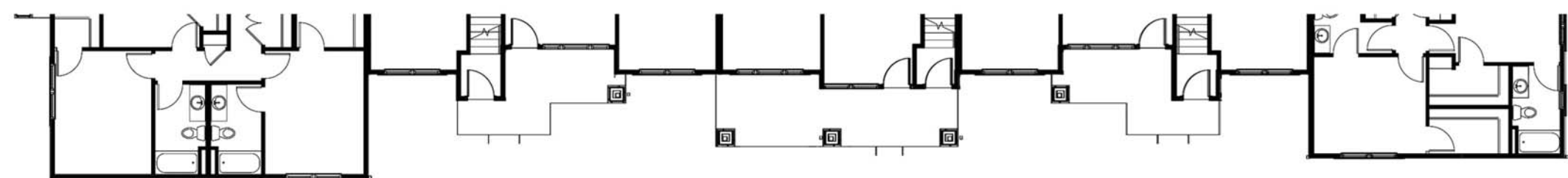
Door
"Slate Tile"
SW 7624



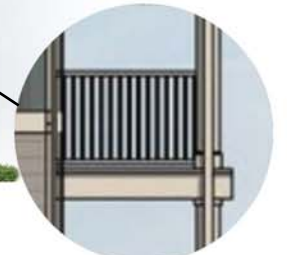
Flat Panel
"Gray Area"
SW 7052



Rear Elevation
SCALE: 1/16"=1'-0"



Lap
"Gray Area"
SW 7052

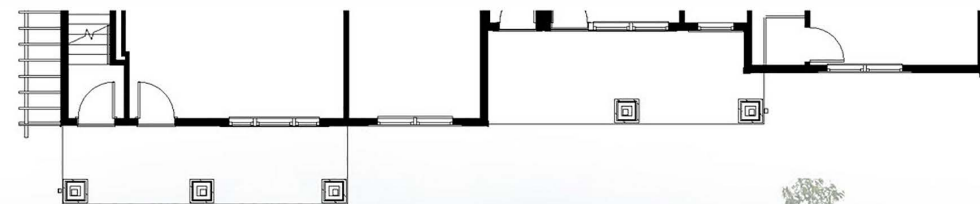


Trim
"Accessible Beige"
SW 7052



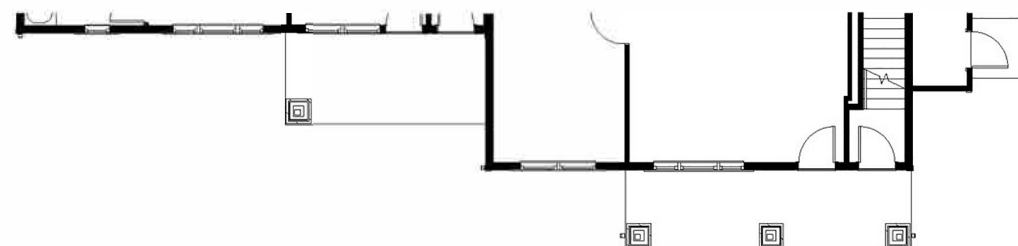
Right Elevation

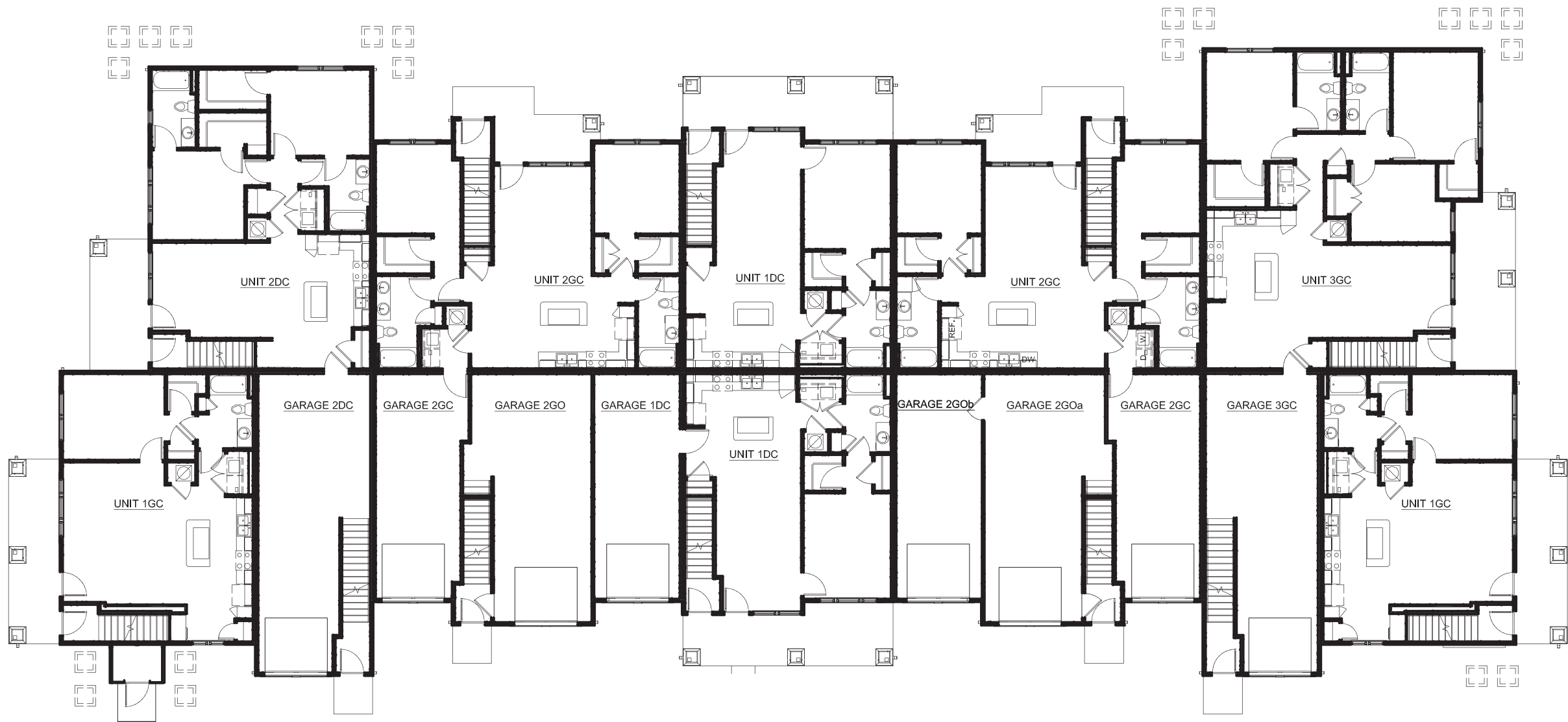
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Left Elevation

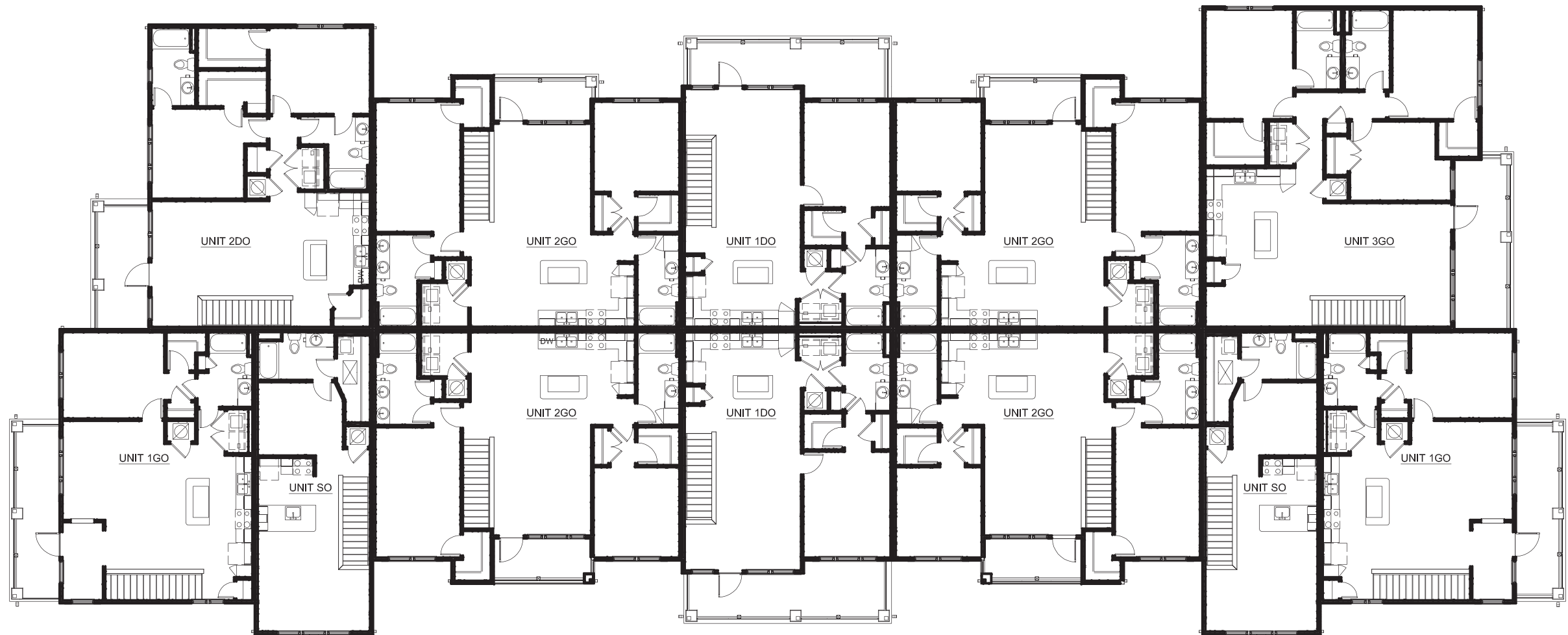
SCALE: 1/16"=10' 1/8"=1'





First Floor Plan

SCALE: 1/16"=10' xelev-1



Second Floor Plan
SCALE: 1/16"=1'0" xref-1



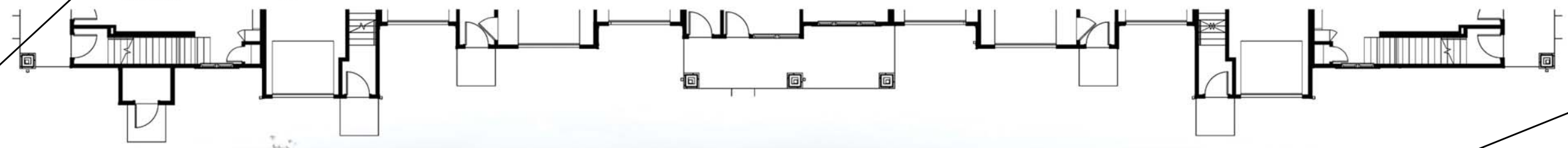
Board and Batten
"Foothills"
SW 7514



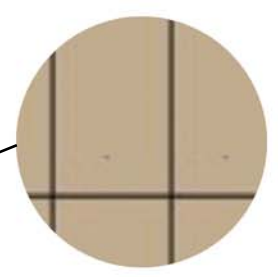
Stone
"Texas Rubble"
Coronado CT501



Front Elevation
SCALE: 1/16"=1'-0"



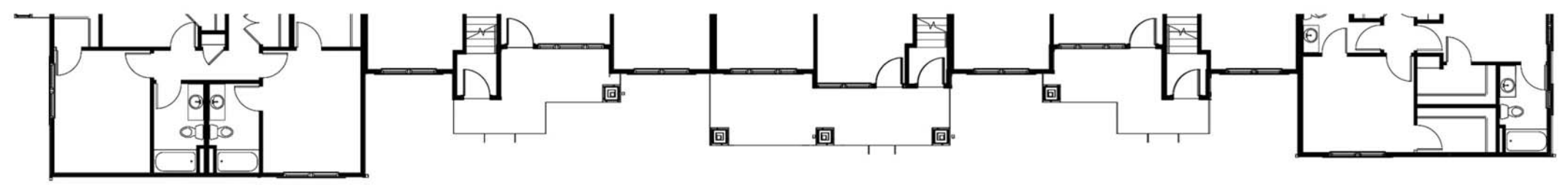
Door
"Foothills"
SW 7514



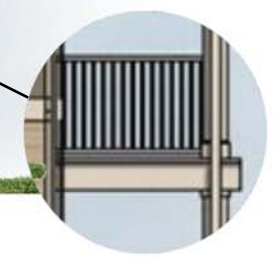
Flat Panel
"Basket Beige"
SW 6143



Rear Elevation
SCALE: 1/16"=1'-0"



Lap
"Basket Beige"
SW 6143

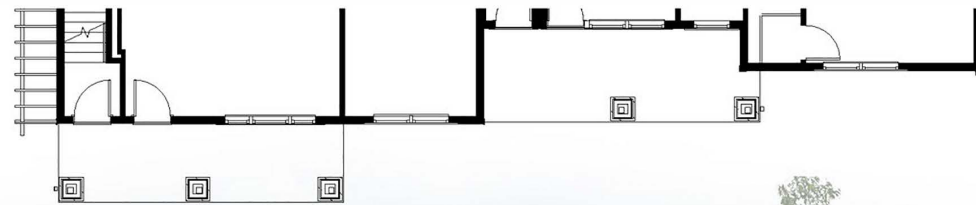


Trim
"Accessible Beige"
SW 7036



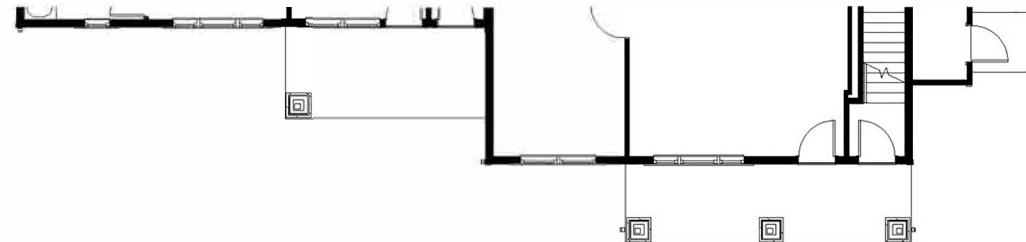
Right Elevation

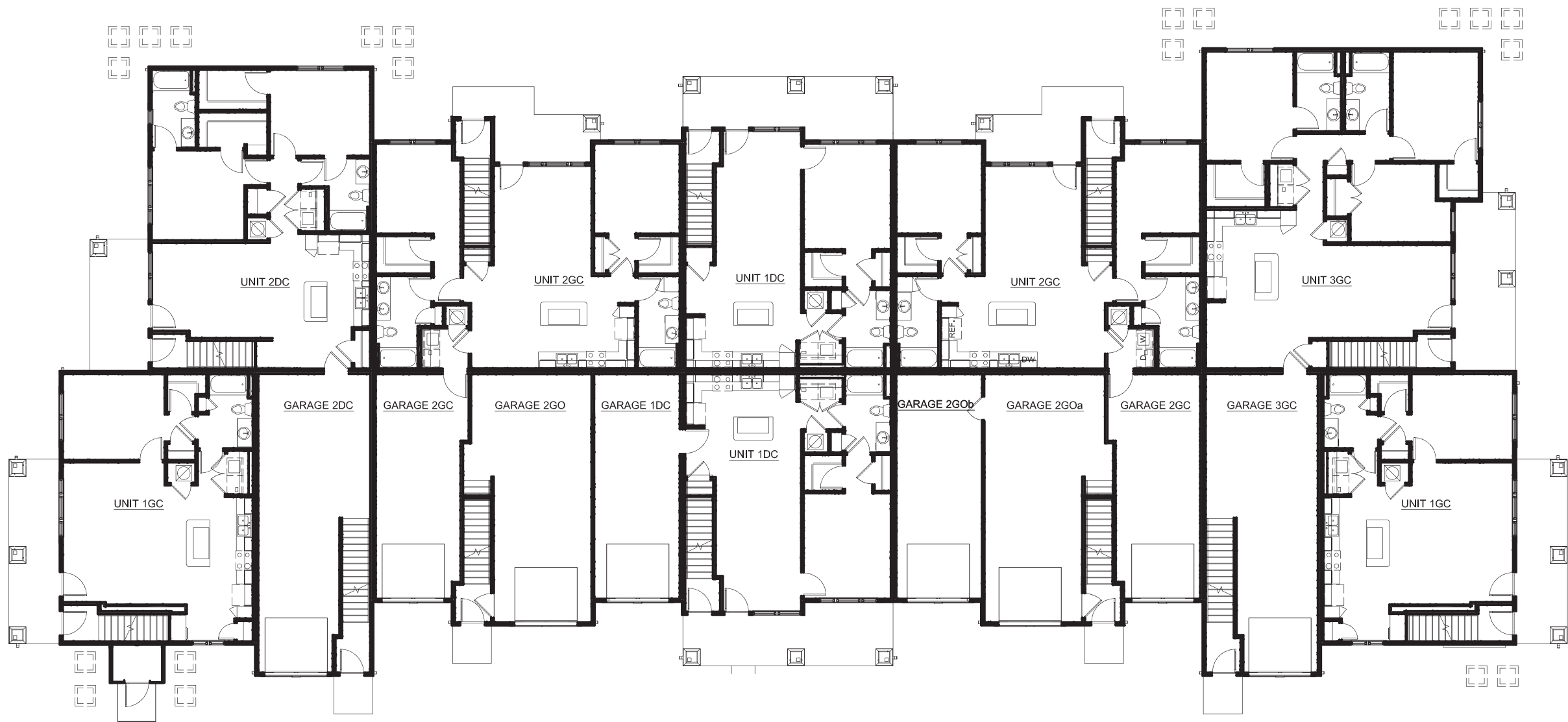
SCALE: 1/16"=10' 1/8" 1/8" 1/8"



Left Elevation

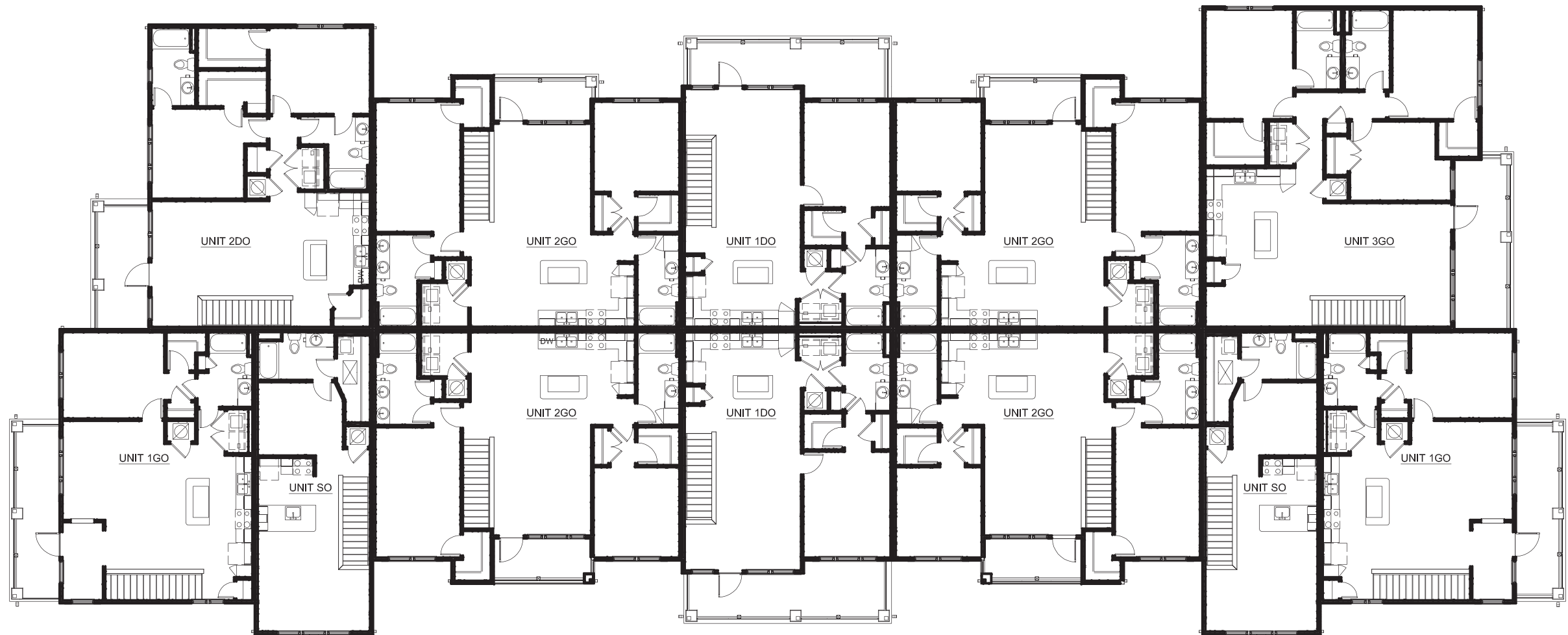
SCALE: 1/16"=10' 1/8" 1/8" 1/8"





First Floor Plan

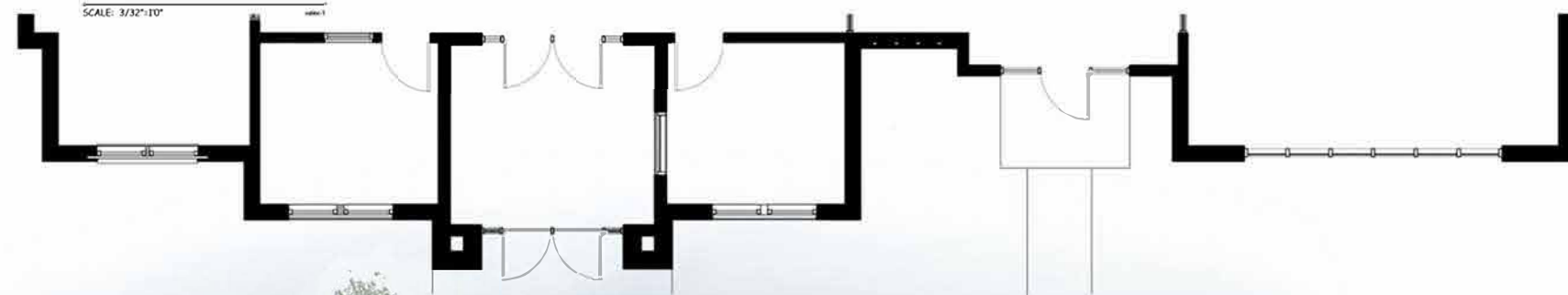
SCALE: 1/16"=10" xelev-1



Second Floor Plan
SCALE: 1/16"=1'0" xref-1



Front Elevation



Right Side Elevation



CLUBHOUSE

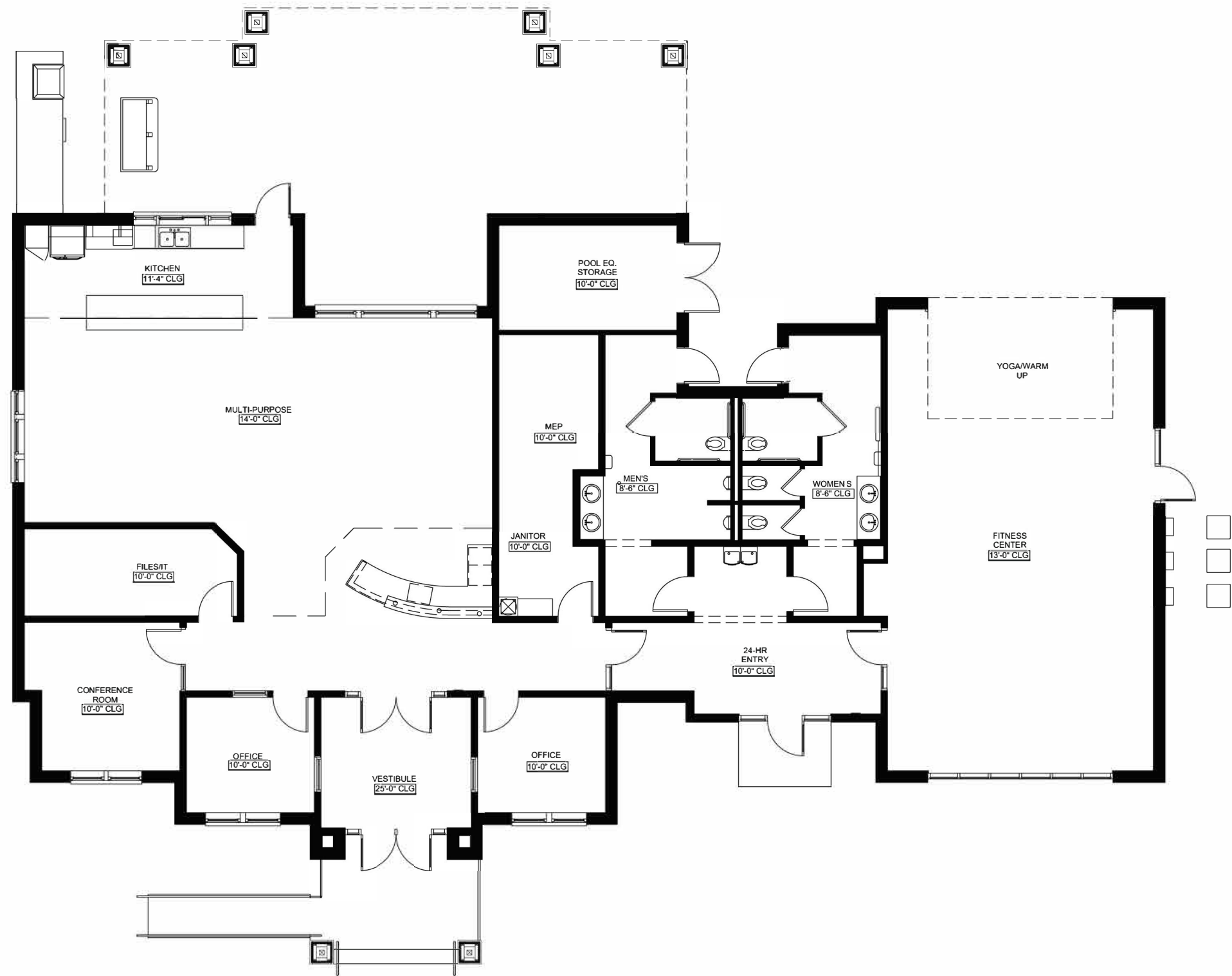


Rear Elevation
SCALE: 3/32"=1'0"



Left Side Elevation
SCALE: 3/32"=1'0"

CLUBHOUSE



Clubhouse Floor Plan

SCALE: 3/32"=1'0"

xxlvy-1

CLUBHOUSE FLOOR PLAN

Station #1
3510 Laverne Ave. No.
Lake Elmo, MN 55042
651-770-5006



Station #2
4259 Jamaca Ave. No.
Lake Elmo, MN. 55042
651-779-8882

LAKE ELMO FIRE DEPARTMENT

May 3, 2019

This is a follow up review, based on the limited drawings provided, for the revised plans of the SPRINGS APARTMENTS dated 5/1/19. The applicant has addressed some of the items from the previous review dated April 17, 2019. I have also added items, more specific, under the final bullet based on the revised drawing.

- FDC (Fire Department Connection) locations for each building to be approved by Fire Chief.
[Incomplete.](#)
- Locations and spacing of fire hydrants to meet requirements of 300' spacing by road.
[Incomplete.](#)
- Clubhouse lockbox location to be approved.
[Incomplete.](#)
- Ensure roads are built to current standards with proper turning radius.
[Engineering to confirm.](#)
- Revise current secondary Fire Apparatus Access Road to meet requirements of MN State Fire Code Appendix D 104.3 Remoteness. Per code spacing between access points should be approximately 700'.
[Addressed.](#)
- Address Section D105 AERIAL ACCESS ROADS, which is determined by the height of the buildings.
[Incomplete.](#)
- Chemical storage for pool.
[Incomplete.](#)
- All applicable codes from the MN State Fire Code 2015.
 - [Meet requirements for security gates pertaining to width and emergency access.](#)
 - [Ensure year around, maintained access to all sides of structures.](#)

Greg Malmquist, Fire Chief

"Proudly Serving Neighbors & Friends"

MEMORANDUM

FOCUS ENGINEERING, inc.

Cara Geheren, P.E. 651.300.4261
Jack Griffin, P.E. 651.300.4264
Ryan Stempski, P.E. 651.300.4267
Chad Isakson, P.E. 651.300.4285

Date: May 8, 2019

To: Ken Roberts, Planner Director
Cc: Chad Isakson, Assistant City Engineer
From: Jack Griffin, P.E., City Engineer

Re: Springs at Lake Elmo (Continental Properties)
Preliminary Plat/Plan Review

We have reviewed the Springs at Lake Elmo Preliminary Plat/Plans received April 12, 2019 and revised plans received May 1, 2019 consisting of the following documentation:

- Preliminary Site Development Plans, Sheets C1.01 – C9.01, dated March 21, 2019.
- Revised Preliminary Site Development Plans, Sheets C2.06 and C3.01, dated May 1, 2019.
- Land Use Request Narrative dated April 12, 2019
- Supplemental Narrative and application memorandum, undated, received May 1, 2019.
- Stormwater Management Plan dated March 22, 2019.
- Traffic Impact Study dated and received April 26, 2019.

STATUS/FINDINGS: Engineering has prepared the following review comments based on the plans submitted.

PRELIMINARY PLAT AND EASEMENTS

- The Preliminary Plat creates one lot (Lot 1, Block 1) with 10-foot drainage and utility easements on all sides of the lot, except no easement is proposed along the west property line. The City is requiring a 100-foot right-of-way along the proposed North-South Collector Road along this west property line and has agreed that the small utility corridor may be placed within the road right-of-way.
- The preliminary plans show several retaining wall and fencing encroachments to the Lot 1 Block 1, 10-foot drainage and utility easements.
- The plat must be revised to include a drainage and utility easement over the wetland and wetland buffers, and must include the 100-year high water level.
- North-South Collector Street (Julia Avenue) Right-of-Way Dedication. A 100-foot Right-of-way/Roadway Easement must be dedicated to the City along Julia Avenue to allow for the construction of this improvement as part of this development project. The dedicated right-of-way must be identified and made a part of the Final Plat. If roadway easement is proposed along the west half of Julia Avenue the easement must be provided in the City standard form of easement agreement and a fully signed and executed easement agreement must be submitted with the final plat application. The 100-foot right-of-way/easement must be centered over the existing sanitary sewer pipe and aligned with the right-of-way provided in the Bentley Village preliminary plat.
- Hudson Boulevard Right-of-Way Dedication. Additional right-of-way may need to be dedicated to the City along Hudson Boulevard to accommodate the Hudson Boulevard Improvements, including turn lanes and trail. The existing conditions plan and preliminary plans/plat are incomplete in regards to showing the existing Hudson Boulevard roadway centerline and right-of-way. A minimum right-of-way of 50 feet to the north from existing centerline is required. Additional right-of-way may be needed at turn lanes to meet the Hudson Boulevard design standards.

- There are no Outlots proposed or needed for the privately owned and maintained underground storm water facilities. Drainage and utility easements will be required over all 100-year high water level areas and to protect all overland emergency overflow paths. For any privately owned and maintained storm water facilities, the applicant will be required to execute and record a Stormwater Maintenance and Easement Agreement in the City's standard form of agreement.
- The storm water management plan was incomplete. Stormwater management is required for all project improvements including Julia Avenue and Hudson Boulevard. Additional storm water facilities must be located in Outlots or easements that are part of the Final Plat or within drainage and utility easements provided in the City standard form of easement agreement. Fully signed and executed easement agreements must be submitted with the final plat application.
- Watermain utility easements. The proposed watermain interior to the site will be owned and maintained by the City. Drainage and utility easements are required over the watermain and hydrants, 30-feet in width, centered over the watermain/hydrant. The easements must be shown on the grading, watermain, storm sewer and site plans, and must be provided on the Final Plat.
- Sanitary sewer utility easements. The proposed sanitary sewer interior to the site will be privately owned and maintained. Drainage and utility easements are NOT required.
- Written landowner permission must be submitted as part of the final plat applications for any off-site grading work and storm water discharges to adjacent properties. The proposed off-site easements must be shown on the preliminary site plans, grading plans, and utility plans. Fully signed and executed easement agreements must be submitted with the final plat application.

STORMWATER MANAGEMENT PLAN

- The Stormwater Management Plan is incomplete. Preliminary Plat approval must be contingent upon a complete storm water management plan meeting State, VBWD and City rules. Storm water facilities proposed as part of the site plan to meet State and VBWD permitting requirements must be constructed in accordance with the City Engineering Design Standards Manual.
 - The storm water management plan must be revised to incorporate storm water management for the Hudson Boulevard and Julia Avenue Street improvements.
 - Permitting requirements will require rate control from all points of discharge from the site and will require volume control. Overland emergency overflows or outlets are required as part of the site plan for flood protection. The storm water management plan must be revised to demonstrate that the pre and post discharges are reduced at ALL site locations rather than one combined location.
 - The storm water management must be revised to relocate the outfall pipe to avoid conflicting with the urbanization of the north boulevard of Hudson Boulevard and must be redesigned to control outfall velocities and erosion.
 - The Final Plat submittal must include a complete storm water management plan and construction plans that provide all design details for the proposed underground storage systems including details regarding building roof drainage connections.
 - Preliminary plan review and comments from the VBWD must be submitted with the Final Plat application.
 - Maintenance access roads meeting the City engineering design standards must be provided for all storm water facilities, including privately owned and maintained facilities.
 - To the extent adjacent properties are impacted by storm water management discharges, written permission from those properties must be submitted as part of the Final Plat application.
 - The storm water management plan must be certified by a MN registered professional engineer.

PRELIMINARY SITE PLANS

- Hudson Boulevard Improvements. Hudson Boulevard must be improved along the frontage of the proposed development in accordance with the Hudson Boulevard Design Standards, with an Urban section along the north boulevard and bituminous trail. An east bound right turn lane and must be

constructed along Hudson Boulevard at both the entrance to the proposed development and at the intersection with Julia Avenue. Storm water management for a future west bound left turn lane at Julia Avenue must be accommodated or it must be demonstrated that storm water management can be readily addressed with a future project. These improvements must be submitted as part of the Final Plat and construction plans.

- North-South Collector Street (Julia Avenue) Improvements. Julia Avenue must be constructed along the west side of the development, from Hudson Boulevard to the northly plat line of the Springs at Lake Elmo. Julia Avenue shall be designed as an urban collector street consistent with City design standards and within a 100-foot right-of-way, including a bituminous trail along one side and a sidewalk along the other side. The street alignment must accommodate the existing sanitary sewer and trunk watermain such that manholes are not within wheel paths. These improvements must be submitted as part of the Final Plat and construction plans.
- The vertical profile for Julia Avenue and its relation to the existing sanitary sewer and watermain facilities must be submitted and approved by the City Engineer prior to the development of Final Plat Construction Plans and submittal of Final Plat. The profile plan must extend the full length from 5th Street North to Hudson Boulevard, and show existing grade, existing utilities and proposed street profile with vertical curve design data.
- Sheet C3.01 Revised Site Plan. A revised site plan was received that among other changes, relocates the secondary (emergency) access to Julia Avenue. This new location is a requirement for City approval. Design details for the emergency access will need to be further reviewed once the remaining grading and utility plan revisions are received.
- Sheet C3.01 Revised Site Plan. The typical section dimensions shown for Hudson Boulevard are not consistent with the Hudson Boulevard design standards and appear to create a centerline shift to the south. This design/alignment may not be an approvable design. Information provided is incomplete to facilitate a full review. The Final Plat application must include a revised Hudson Boulevard design that is consistent with the City design standards.
- Sheet C3.01 Revised Site Plan. Perimeter Fence. A perimeter decorative fence is shown around most of the proposed site and often encroaches the easement or right-of-way by 1-2 feet. The fence locations must be revised to reside 1-foot inside the property lines or easement lines as applicable.
- Sheet C3.01 Revised Site Plan. Retaining walls are shown around the perimeters for most of the site. The retaining wall locations must be revised to reside on or inside of the property lines or easements as measured at the wall footing to preserve the full use of the easement or right-of-way.
- Sheet C4.01 Grading Plan. The grading plan is incomplete.
 - All localized 100-year HWL elevations and HWL contours must be shown on the grading plans.
 - The wetland NWL and HWL must be shown on the plans.
 - The overland emergency overflow path must be shown on the plans.
 - Building pad elevations must be a minimum of 2-feet above all adjacent 100-year HWL elevations and at least 1-foot above all adjacent emergency overflow elevations.
 - Proposed grading contours must be labeled more frequently to facilitate plan review.
 - All 100-year HWL areas and EOFs must be fully protected by drainage and utility easements.
 - The wetland and wetland buffers must be fully protected by drainage and utility easements.
 - All easements must be shown on the Preliminary Plat, site plan, grading and utility plans.
- Sheets C5.01 – C5.03 Erosion Control Plans. The erosion control plans must be revised to be consistent with the City of Lake Elmo Design Standards manual including use of City Standard erosion control plan notes and details. Conflicting or redundant plan notes and details should be removed from the plans.
- Sheet C6.01. Sanitary Sewer and Watermain Plan. This plan is incomplete.
 - The utility plan must include the minimum 30-foot utility easements centered over all watermain and hydrants. The easements must also be shown on the grading, storm sewer and site plans.

- The existing utilities along Hudson Boulevard have been shown incorrectly and are not complete. A field survey must be completed to verify utility locations along Hudson Boulevard and Julia Avenue and the plans revised accordingly. The existing pressure reduction valve (PRV) located along Hudson Boulevard is a critical component of the City's infrastructure and must be accurately shown on the plans to facilitate staff review and to demonstrate no encroachments.
- The proposed watermain plans must be revised to connect to the City's existing high-pressure zone in three locations. 1) Connect to the existing 12-inch watermain along Julia Avenue as shown on the plans along the emergency secondary access. 2) Connect to the existing 12-inch high pressure zone watermain in Hudson Boulevard with the connection located west of the existing PRV station. 3) Coordinate 12-inch watermain loop connection with Bentley Village located approximately 1,050 feet east from the Julia Avenue centerline. Remove the 12-inch watermain connection to the low pressure zone along Hudson Boulevard, east of the wetland.
- The sanitary sewer plans must be revised to replace approximately 160 feet of existing 8-inch sanitary sewer located in the Julia Avenue right-of-way with 10-inch sanitary sewer with a new manhole directly west of the Springs sewer connection location. A public 8-inch sewer stub must then extend east to a second manhole placed at the right-of-way edge to terminate the public sanitary sewer. The private sanitary sewer will then extend east into the site from this manhole.
- The plans must clearly identify utilities to be owned by the City and to be owned by Springs.
- No watermain pipe oversizing is anticipated at this time. Further review will be completed with the Final Plat application.
- The applicant will be responsible to place hydrants throughout the property at the direction of the Fire Department. All fire hydrants shall be owned and maintained by the City.
- Sheet C6.02. Storm Sewer Plan. The storm sewer plan is incomplete.
 - The storm sewer improvements along Hudson Boulevard and Julia Avenue must be incorporated into the construction plans for City review.
 - The plans must clearly identify storm sewer to be owned by the City and to be owned by Springs. All storm sewer to be owned and maintained by the City and all storm sewer located in City right-of-way must be design and constructed in accordance with the City Design Standards Manual.
 - The plans must include a storm sewer structure chart showing structure type, number, build, rim, invert, pipe cover and structure casting.
 - Storm sewer calculations must be submitted with the storm sewer plans to show pipe velocities meeting City design standards.
- Sheet C9.01. Civil Details. Civil details and construction plans must be revised to include the City Standard Plan Notes and Details for all infrastructure components that are to be owned and maintained by the City and for grading and erosion control. City Standard Plan Notes are to be placed on the applicable plan sheet depicting City owned infrastructure and the City Standard Details are to be shown on a detail sheet and identified for use with public owned infrastructure (see City standard plan format requirements).
- Private Streets. The streets interior to the development are proposed to remain privately owned and maintained. Interior street design is required to provide adequate fire lanes and safety access. The plans must include turning templates to demonstrate adequate turning radius for fire safety apparatus.
- Due to the high density of this development it is strongly recommended that plan details for grading and utility plans be submitted using a 1" = 20 scale.

TRAFFIC IMPACT STUDY, prepared by Swing Traffic Solutions, dated April 26, 2019

- The Traffic Impact Study concludes that the proposed development has appropriate access to the site and surrounding roadway network and the roadway network will function well with the project. However, this conclusion assumes that the CSAH19-Hudson Boulevard Traffic Signal is constructed as planned by the City prior to the completion of the development and that dedicated left and right turn lanes are constructed at both the Hudson Boulevard and Julia Avenue intersection and at the development entrance.



To: Ken Roberts, City of Lake Elmo Planning Director
From: Lucius Jonett, Wenck Landscape Architect
Date: May 7, 2019
Subject: City of Lake Elmo Landscape Plan Review
Springs at Lake Elmo, Review #1

Submittals

- Tree Preservation Plan, dated April 12, 2019, received April 12, 2019.
- Landscape Plans, dated April 12, 2019, received April 12, 2019.

Location: North of Hudson Boulevard North, West of Keats Avenue North in Lake Elmo, MN

Land Use Category: Rural Development Transitional being rezoned to Urban High Density Planned Unit Development

Surrounding Land Use Concerns:

The property to the north (Bentley Village) is Urban Medium Density Residential and is less intensive land use than the proposed Urban High Density Residential. Screening is required on the north boundary.

The property's use to the west (Rural Development Transitional) is unknown at the moment and east (Commercial) is a zone that is more intensive land use than this proposed Urban High Density Residential. Screening is not required on the east or west boundaries. To the south is Interstate 94 where screening is suggested to help with noise abatement.

Special landscape provisions in addition to the zoning code:

None.

Tree Preservation:

A. A tree preservation plan has been submitted that does meet all requirements.

Entire Site		
Total Caliper Inches of Significant Trees On-Site:	1050	Cal Inches
Common Trees	489	
Conifer/Evergreen Trees	303	
Hardwood Trees	258	
Nuisance Trees	0	
Significant Inches Removed On-Site	1050	Cal Inches
Common Trees	489	
Conifer/Evergreen Trees	303	
Hardwood Trees	258	
Nuisance Trees	0	
30% Tree Removal Limits (Cal. Inches)	Allowed	Proposed
Subtract Common Tree Removals	146.7	489
Subtract Conifer/Evergreen Tree Removals	90.9	303
Subtract Hardwood Tree Removals	77.4	258
Removals in excess of 30% allowances		
Removals in excess of 30% allowances	142.0	Cal Inches
Common Removals in Excess of 30% Allowance	342.3	
Conifer Removals in Excess of 30% Allowance	212.1	
Hardwood Removals in Excess of 30% Allowance	180.6	
Common Tree Replacement Needed (1/4 the dia inches removed)	85.6	Cal Inches
Conifer Tree Replacement Needed (1/2 the dia inches removed)	106.1	Cal Inches
Hardwood Tree Replacement Needed (1/2 the dia inches removed)	90.3	Cal Inches
Common Tree Replacement Required @ 3" per Tree	29	# Trees
Conifer Tree Replacement Required @ 3" per 6' Tall Tree	36	# Trees
Hardwood Tree Replacement Required @ 3" per Tree	31	# Trees

B. There are 37 specimen trees identified in the tree inventory. The following tree ID numbers are defined as specimen, 3501-3534, 3557, 3561, and 3563. All specimen trees are proposed for removal.

C. Tree replacement is required because more than thirty (30) percent of the diameter inches of significant trees surveyed will be removed.

D. Tree replacement calculations does follow the required procedure.

E. This project is residential development; therefore, mitigation replacement trees shall be in addition to landscape required tree counts.

Landscape Requirements:

The preliminary landscape plans **do not** meet the code required number of trees. The preliminary plans show fewer than the code required tree quantities.

	Master Plan (Code Required)	Master Plan Proposed	
Street frontage	1100		Lineal Feet
Lake Shore	0		Lineal Feet
Stream Frontage	0		Lineal Feet
Total Linear Feet	1100		Lineal Feet
/50 Feet = Required Frontage Trees	22		Trees
Development or Disturbed Area	-		SF
Development or Disturbed Area	17		Acres
*5 = Required Development Trees	85		Trees
Interior Parking Lot Spaces*	36		Spaces
/10 = Required Parking Lot Trees	4		Trees
Perimeter Parking Lot Frontage Length*	1286		Lineal Feet
/50 = Required Frontage Strip Trees	26		Trees
Required Mitigation Trees	96		
Required Number of Trees	233		
Total Trees to Date		184	

* Residential development - mitigation replacement trees are in addition to landscape required tree counts.

1. A minimum one (1) tree is proposed for every fifty (50) feet of street frontage.
2. A minimum of five (5) trees are proposed to be planted for every one (1) acre of land that is developed or disturbed by development activity.

The landscape plans do meet the minimum compositions of required trees:

- At least 25% of the required number of trees shall be deciduous shade trees
- At least 25% of the required number of trees shall be coniferous trees
- Up to 15% of the required number of trees may be ornamental tree

Master Plan	Qty	% Composition	
Deciduous Shade Trees	125	74%	>25% required
Coniferous Trees	44	26%	>25% required
Ornamental Trees	15	9%	<15% required

Tree Count 169

A. A landscape plan has been submitted that **does not include** all requirements.

1. The landscape plan **does not** include required City standard notes and details.

- B. The landscape plan **does not** meet the landscape layout requirements.
- No utility conflicts; Prefer that the trunk of trees shall be 10 feet from the nearest utility, including water and sewer service stubs to each lot.
- C. Interior Parking Lot Landscaping – The development does include several interior parking lots. Only one meets the threshold of 30 parking spaces and **does not** meet the following landscape requirements.
1. At least 5% of the interior area of parking lots with more than 30 parking spaces is devoted to landscape planting areas. The parking lot is measured at approximately 8,650 square feet and a planting bed measuring approximately 0 square feet separates the parking lot from the circle drive/drop-off area. The planting area is approximately 0% of the interior of the parking lot area.
 2. The planting area includes 1 shade tree and does not satisfy the minimum required 4 tree planted to meet the requirements for this interior parking lot.
- D. Perimeter Parking Lot Landscaping – The development **does** include perimeter parking lots and **does not** meet the following landscape requirements.
1. Alongside and rear property lines abutting residential properties or districts, screening shall be provided, consisting of either a masonry wall, fence or berm in combination with landscape material that forms a screen a minimum of four (4) feet in height, a maximum of six (6) feet in height, and not less than ninety percent (90%) opaque on a year-round basis. Landscape material shall include trees, planted at a minimum of one deciduous or coniferous tree per forty (40) linear feet along the property line.
- E. Screening – The landscape plan **does not** meet screening requirements.

Screening is required by City code. Screening shall be used to provide visual and noise separation of intensive uses from less intensive uses. Where screening is required in the City Code between uses or districts, it shall consist of either a masonry wall (chain link will not suffice) or fence in combination with landscape material that forms a screen at least six (6) feet in height, and not less than ninety percent (90%) opaque on a year-round basis. Landscape material shall include trees, planted at a minimum of one deciduous or coniferous tree per forty (40) linear feet along the property line. Additional landscape material such as shade trees or trellises may be required to partially screen views from above.

A single, straight row of evergreen trees is inadequate for screening. Vegetative screening should consist of more than one row of evergreen trees and include a row of other trees or native shrubs in front of the evergreens to soften the “development wall” effect.

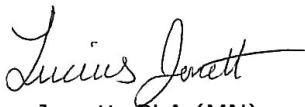
Findings:

1. Tree calculations for mitigation and landscape requirements are based on 3" DBH trees. This diameter exceeds the minimum size required and provides fewer trees at a larger diameter.
2. Tree replacement calculations do not follow the required procedure. We are not able to follow the math of how the common, conifer, and nuisance species were tabulated. Please provide tabulations.
3. Preliminary landscape sheets do not include required City standard notes and details. Update details using City standard notes and details.
4. There are some landscape conflicts with utility lines. Please refer to attached document for problem areas. Please correct tree spacing so the trunk of trees shall be 10 feet from the nearest utility, including water and sewer service stubs to each lot.
5. The preliminary landscape plans do not calculate interior parking lot and perimeter parking lot tree plantings. Please refer to attached document for identified issues. Please update landscape plan to provide the required plantings.
6. The north side of the property will need to satisfy both screening and perimeter parking lot requirements.

Recommendation:

It is recommended that a condition of approval include submitting a revised landscape plan addressing findings 2-6 listed above.

Sincerely,



Lucius Jonett, PLA (MN)
Wenck Associates, Inc.
City of Lake Elmo Municipal Landscape Architect

Client
**CONTINENTAL
483 FUND LLC**

W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051

Project
**SPRINGS AT
LAKE ELMO**

Location
**LAKE ELMO,
MINNESOTA**
9955 HUDSON BOULEVARD NORTH

Certification

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed LANDSCAPE ARCHITECT under the laws of the State of Minnesota.

William L. Delaney
Registration No. 52 Date: 4/12/2019

This certification is not valid unless wet signed in blue ink. If applicable, contact us for a wet signed copy of this survey which is available upon request at Sambatek, Minnetonka, MN office.

Summary

Designed: EAV Drawn: CIL
Approved: EAV Book / Page:
Phase: PRELIMINARY Initial Issue: 4/12/2019

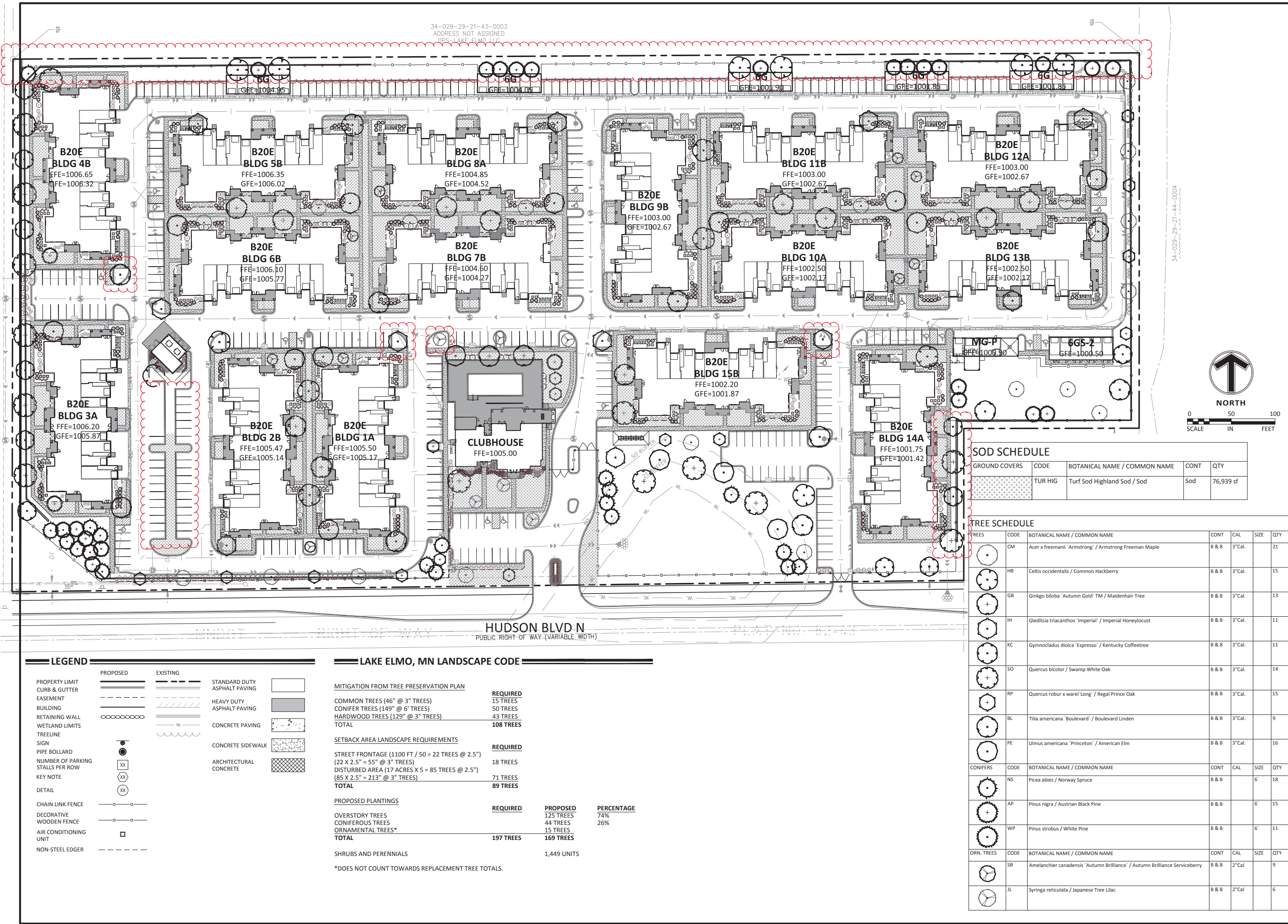
Revision History

No. Date By Submittal / Revision
4/12/2019 CITY SUBMITTAL

Sheet Title
**LANDSCAPE
PLAN**

Sheet No. Revision
L1.01

Project No. 21654



Saturday May 4, 2019

Good Evening Lake Elmo Planning Commission,

My family and I have lived in the Savona Neighborhood for a year now. I've seen the videos of past Council meetings of my neighbors fighting to stop Continental from building apartments along this entire stretch of 5th St. & Hudson Road. Here are a few key points from what I brought to the discussion at the February meeting where I spoke up.

If these are going to truly be marketed as "high end" apartments, then the standard for the inside, outside, and surrounding landscapes should be required to look "high end".

A few key points that the Planning Commission and City should request Continental revise in their plan before making a firm consideration:

1. **No Chain Link Fences** - We as a Savona Neighborhood are required to have aluminum fences - Please keep a higher standard for design. Require that Continental have a 6 to 8 foot metal/split rail fence. This will keep the area looking aesthetically pleasing and hold a higher standard for design on future apartments that want to build in Lake Elmo
 - a. From their plans they have "decorative fencing" in certain areas
 - b. The entire property should be surrounded by 6 to 8 foot metal fencing
 - c. Nicer townhomes will be built behind these apartments, I bet those residents would appreciate nicer fencing when they have to look out at these apartments
2. **Green Space** - why is there no designated green space for kids and families? For this large of a complex, there should be a section for people and not just pets.
3. **Have an emergency exit for residents** - I know in the February meeting there was yet to be a decision on a 2nd exit for residents. Has this been determined and figured out?

Please hold Continental to a higher standard as Lake Elmo's first apartment complex.

Thank You for your time and consideration.

Sincerely,

Annie Daugherty
553 6th St. Ln N.
Lake Elmo, MN 55042



**City of Lake Elmo
Planning Commission Meeting
Minutes of May 13, 2019**

Chairman Johnson called to order the meeting of the Lake Elmo Planning Commission at 7:00 p.m.

COMMISSIONERS PRESENT: Johnson, Weeks, Hartley, Holtz, and Steil

COMMISSIONERS ABSENT: Risner, Cadenhead

STAFF PRESENT: Planning Director Roberts

Approve Agenda:

M/S/P: Hartley/Weeks move to approve the agenda as presented, ***Vote: 5-0, motion carried unanimously.***

Approve Minutes: None

Public Hearing – Preliminary Planned Unit Development (PUD) Plan, Preliminary Plat and Zoning Map Change – Springs Apartments

Roberts gave a presentation regarding the requests for the proposed Springs Apartments. The proposed site plan includes 15 buildings with 20 units each. The buildings are a townhouse design, two stories tall with a mix of studio, 1-bedroom, 2-bedroom and 3-bedroom units. Many units provide attached, direct-access garages for a total of 120 attached garage spaces for the 300 units. The applicant also is planning to have seven detached garage buildings (with a total of 42 spaces), 399 surface parking spaces, an approximately 4,300 square foot club house (including a large gathering room, fitness center, kitchen area, coffee bar and office space), pool with sun deck, trash enclosure, mail kiosk, and one pet playground all within a fenced, controlled access community.

The proposed site plan shows the primary entrance to the development would be off of Hudson Boulevard and there would be an emergency access drive connecting to the north/south road (Julia Avenue) to the west of the site. The applicant also is proposing to preserve much of an existing wetland on the site that is near Hudson Boulevard.

This request would create 300 apartment units on a site that is about 17.3 net acres for a proposed density of 17.31 dwelling units per net acre thus exceeding the density limits set for this area in the 2040 Comprehensive Plan (without any credit for density bonuses that the City may grant through the PUD process). At 15 dwelling units per net acre, this site could accommodate 260 units.

Roberts also noted that the pending land use designation is (MU-C) for this site and the City will not be able to give final approval the proposal until after the Metropolitan Council and the City Council have finalized the 2040 Comprehensive Plan. The City could require the applicant to wait to submit the final plat and final PUD plans for this project after the City has given the 2040 Comprehensive Plan final approval. This timing will ensure that what is proposed for this site is consistent with the 2040 Comprehensive Plan and that the City will get credit for the residential density that the project would bring to this part of Lake Elmo. He also noted that no matter when the applicant submits applications for final plat and final PUD approval, the City will need to make any and all final project approvals contingent upon final approvals of the 2040 Comprehensive Plan by the Metropolitan Council and by the City Council.

Director Roberts explained that in order for this development to proceed, the City will need to approve a zoning map amendment (rezoning) for the property from RT (rural development transitional) to HDR (urban high density residential). Staff is recommending approval of the proposed zoning map change for this site.

The Commission discussed the proposed project density and the differences in how the applicant is measuring the site size and calculating the proposed density versus how staff calculated the project density.

Gwen Wheeler, representing the applicant, (Continental 483 Fund LLC) spoke to the Commission about some of the information in the staff report including the history of the Company and the proposed project density. She also answered several questions from the Commission about the proposal.

The Chair opened the Public Hearing at 8:23 PM and noted the comments from one Lake Elmo resident in an e-mail submitted to the City. She noted in her e-mail concerns about the design of the fence around the development site, the amount of green space within the development and the need for an emergency exit from the development.

Brian Zeller, realtor, representing the owner of a commercial property east of the proposed development site, spoke in favor of the proposed development. He stated that the commercial-land owners want more roof tops in the area (thus more residents) to support the existing and future commercial developments.

The Chair closed the public hearing at 8:31 PM.

After more review and discussion by the Commission, they made the following motions:

M/S/P: Hartley/Weeks, move to recommend approval of the preliminary plat and preliminary PUD Plans as requested by Continental 483 Fund LLC for PID# 34.029.21.43.0003 for the project to be known as the Springs Apartments located on the north side of Hudson Boulevard, subject to recommended conditions of approval. ***Vote: 5-0, motion carried unanimously.***

M/S/P: Hartley/Weeks, move to recommend approval of the rezoning of site of the Springs Apartments on Hudson Boulevard from RT (rural development transitional) to HDR (urban high density residential) after final approval of the 2040 Comprehensive Plan based on the findings listed in the Staff report. ***Vote: 5-0, motion carried unanimously.***

City Council Updates – May 7, 2019

1. Easton Village 5th Addition – Final Plat

Staff Updates

1. Upcoming Meetings
 - a. May 29, 2019
 - b. June 10, 2019

Meeting adjourned at 8:49 pm

Respectfully submitted,

Ken Roberts
Planning Director