

Mayor:
Dean Johnston
Council members:
Steve DeLapp
Liz Johnson
Anne Smith

Lake Elmo City Council

Tuesday

February 1, 2005

3800 Laverne Avenue No.
Lake Elmo, MN 55042
777-5510 777-9615 (fax)

Please read:

Since the City Council does not have time to discuss every point presented, it may appear that decisions are preconceived. However, staff provides background information to the City Council on each agenda item in advance; and decisions are based on this information and experience. In addition, some items may have been discussed at previous council meetings.

If you are aware of information that has not been discussed, please fill out a "Request to Appear Before the City Council" form; or, if you came late, raise your hand to be recognized. Comments that are pertinent are appreciated. Items may be continued to a future meeting if additional time is needed before a decision can be made.

6:00 p.m. – Interviews for City Council Appointment

Agenda

City Council Meeting Convenes 7:00 PM

Pledge of Allegiance

1. Agenda

2. Minutes:

January 18, 2005

3. PUBLIC INQUIRIES/INFORMATIONAL:

A. PUBLIC INQUIRIES:

B. PUBLIC INFORMATIONAL:

(1) Introduction of Representative Mike Charron

(2) Council Appointment

✓ (3) OAKDALE WATER

Public Inquiries/Informational is an opportunity for citizens to bring the Council's attention any items not currently on the agenda. In addressing the Council, please state your name and address for the record, and a brief summary of the specific item being addressed to the Council. To allow adequate time for each person wishing to address the Council, we ask that individuals limit their comments to three (3) minutes. Written documents may be distributed to the Council prior to the meeting or as bench copies, to allow a more timely presentation.

4. CONSENT AGENDA

A. Resolution No. 2005-011: Approving ⁹⁰ Claims

B. Ordinance 97-145: 2005 Fee Schedule

Those items listed under the Consent Calendar are considered to be routine by the City Council and will be enacted by one motion under a Consent Calendar format. There will be no separate discussion of these items unless a Council member so requests, in which event, the item will be removed from the general order of business and considered separately in its normal sequence on the agenda.

5. FINANCE

A.

6. NEW BUSINESS

MET COUNCIL

TOTAL TO DATE 364,723

1184⁰⁰
THIS MONTH

7. MAINTENANCE/PARK/FIRE/BUILDING:

A. Ordinance 97-146: Park Hours

DEC 7 WAS 363,539
FOR 2004 107,660

JOHNSTON H-O AW
DELAAP - CAIN ABSTAIN

<p>8. CITY ENGINEER'S REPORT:</p> <p>A. Proposed Public Works Garage: Terri Olsen, TKDA — SENT BACK TO COMMITTEE 5-0</p> <p>B. Change to Water Tower Project --- LOCATE TOWER IN PARK 4-0 COLIN ABSTAIN</p>	Tom Prew	
<p>9. PLANNING, LAND USE & ZONING:</p> <p>A. Eagle Point Business Park: Resolution No. 2005-012 Approving the Preliminary Plat and Final Plat of Eagle Point 4th Addition, Resolution No. 2005-013: Denying the PUD Plan Amendment, Resolution No. 2005-014: Approving the Section 520 Site Plan for City and Country Credit Union</p> <p>B. Trails Plan Open House</p> <p>C. Denning</p>	C. Dillerud	
<p>10. CITY ATTORNEY'S REPORT:</p> <p>A.</p>		
<p>11. CITY ADMINISTRATOR'S REPORT:</p> <p>A. Ordinance 97-147: Planning Commission Composition, Appointments</p> <p>B. Ordinance 97-148: Parks Commission Composition</p> <p>C. CIC Appointment</p> <p>D. Met Council Proposed Agreement</p> <p>E. Council Planning Joint Workshop</p>	<p>TABLE 4-0 DENSTON JAY</p> <p>BACK TO COMMITTEE 5-0</p> <p>APPROVE 5-0</p>	
<p>12. CITY COUNCIL REPORTS:</p> <p>A. Mayor Hunt JOHNSON</p> <p>B. Council Member DeLapp</p> <p>C. Council Member Johnson ✓</p> <p>D. Council Member Smith</p>		
<p>CIC Meeting: <u>February 2nd, 7 p.m.</u></p> <p>Employee and Volunteer Recognition Banquet, Friday, <u>February 4th, 6 p.m.</u>, Machine Shed</p> <p>Council Committees: <u>February 8th, 5:30 p.m.</u></p> <p>Park Trails Open House: <u>February 16th, 5 p.m.</u></p>	<p><u>March 2nd, 7 p.m.</u>, INFORMATIONAL MEETING: City's Surface Water Pollution Prevention Plan</p> <p>BOARD OF REVIEW: <u>May 4, 4-6 p.m.</u></p>	



City of Lake Elmo

651/777-5510

3800 Laverne Avenue North / Lake Elmo, MN 55042

INTERVIEW SCHEDULE FOR CITY COUNCIL APPOINTMENT FEBRUARY 1, 2005

TIME	CANDIDATE
6:00 p.m.	Julie Bunn 2986 Lake Elmo Avenue N.
6:15 p.m.	Rita Conlin 8560 Ironwood Trail N.
6:30 p.m.	Mike Pearson 2805 Lisbon Avenue N.
6:45 p.m.	Todd Ptacek 812 Julep Avenue N.

The interviews will be televised and last approximately ten minutes.

**CITY OF LAKE ELMO
WASHINGTON COUNTY, MINNESOTA**

**RESOLUTION NO. 2005-011
RESOLUTION APPROVING CLAIMS**

BE IT RESOLVED THAT Claim Numbers 237, 238, DD329 through DD338, 26805 through 26816, were used for Staff Payroll dated January 20, 2005, claims 26817 through 26862, in the total amount of \$115,472.64 are hereby approved.

ADOPTED, by the Lake Elmo City Council on the 1st day of February, 2005.

Dean A. Johnston
Mayor

ATTEST:

Martin J. Rafferty
City Administrator

Accounts Payable Computer Check Proof List

User: administrator
Printed: 01/27/2005 - 3:07 PM

SPRINGBROOK SOFTWARE

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
Vendor: ACEHARD 02146663	Ace Hardware Nozzle triggers and heads Check Total:	15.95 15.95	02/01/2005	Check Sequence: 1 101-430-3100-42210	ACH Enabled: No
Vendor: ADVGR 9039	Advanced Graphix, Inc. Decals for Speed Trailer Check Total:	112.78 112.78	02/01/2005	Check Sequence: 2 410-480-8000-45800	ACH Enabled: No
Vendor: AMDAHL 1640	Chris Amndahl Locks - Fire Dept. Check Total:	1,100.00 1,100.00	02/01/2005	Check Sequence: 3 101-420-2220-44010	ACH Enabled: No
Vendor: ARAM 629-5614966 629-5635238	Aramark Linen City Hall Linen City Hall Check Total:	46.68 50.84 97.52	02/01/2005 02/01/2005	Check Sequence: 4 101-410-1940-44010 101-410-1940-44010	ACH Enabled: No
Vendor: ARAMAU 56049126-1 56137401-1	ARAMARK Uniforms - Public Works Uniforms - Public Works Check Total:	163.20 223.45 386.65	02/01/2005 02/01/2005	Check Sequence: 5 101-430-3100-44170 101-430-3100-44170	ACH Enabled: No
Vendor: ATTWI 023-2750230	AT&T Wireless Floater Phone - Fire Dept. Check Total:	20.49 20.49	02/01/2005	Check Sequence: 6 101-420-2220-43210	ACH Enabled: No
Vendor: AVAYA 2720353493	AVAYA Inc. Monthly Telephone Maint.	150.36	02/01/2005	Check Sequence: 7 101-410-1940-44040	ACH Enabled: No

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
	Check Total:	150.36			
Vendor: BATTYPL 94777	Batteries Plus Woodbury Batteries - Fire Dept. Check Total:	125.00 125.00	02/01/2005	Check Sequence: 8 101-420-2220-42210	ACH Enabled: No
Vendor: BIFFS W246125	Biff's Inc. Sunfish Lake Park Check Total:	74.26 74.26	02/01/2005	Check Sequence: 9 101-450-5200-44120	ACH Enabled: No
Vendor: CARQUEST D368139	Car Quest Oil and Filters Check Total:	51.12 51.12	02/01/2005	Check Sequence: 10 101-430-3100-42150	ACH Enabled: No
Vendor: COPYIMAG 56089	Copy Images, Inc. Monthly Copier Maint. Check Total:	261.60 261.60	02/01/2005	Check Sequence: 11 101-410-1940-44040	ACH Enabled: No
Vendor: DAHLG 25534	Dahlgren Shardlow and Uban LE Fire Services Analysis Check Total:	7,219.25 7,219.25	02/01/2005	Check Sequence: 12 101-420-2220-44300	ACH Enabled: No
Vendor: DECATUR 00129166	Decatur Electronics Speed Trailer Check Total:	10,220.00 10,220.00	02/01/2005	Check Sequence: 13 410-480-8000-45800	ACH Enabled: No
Vendor: EMERGAPP 20240 20241	Emergency Apparatus Maint. Dry Service -3173 Dry Service -3183 Check Total:	258.95 238.95 497.90	02/01/2005 02/01/2005	Check Sequence: 14 101-420-2220-44040 101-420-2220-44040	ACH Enabled: No
Vendor: FXL Feb 2005 Final 2004	FXL, Inc. Assessing Services for February 2005 Assessing Services for 2004 - Fibal Pmt. Check Total:	1,700.00 14,065.50 15,765.50	02/01/2005 02/01/2005	Check Sequence: 15 101-410-1550-43100 101-410-1550-43100	ACH Enabled: No
Vendor: GENESIS IVC00303	Next Genesis Productions Software	225.00	02/01/2005	Check Sequence: 16 101-410-1520-43180	ACH Enabled: No

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
	Check Total:	225.00			
Vendor: HAWKINS 677297	Hawkins, Inc. Hydrofluosilicic Acid Check Total:	371.20 371.20	02/01/2005	Check Sequence: 17 601-494-9400-42160	ACH Enabled: No
Vendor: HERITAGE 13828	Heritage Printing Paper Check Total:	28.34 28.34	02/01/2005	Check Sequence: 18 101-420-2220-42000	ACH Enabled: No
Vendor: HUMANRIG 2005 Dues	League of MN Human Rights Com Annual Dues Check Total:	55.00 55.00	02/01/2005	Check Sequence: 19 101-410-1110-44330	ACH Enabled: No
Vendor: IIMC 19363	IIMC Annual Fee - Sharon Check Total:	125.00 125.00	02/01/2005	Check Sequence: 20 101-410-1320-44330	ACH Enabled: No
Vendor: LEAGMN 1-000019644	League of MN Cities Conf. - Dean Johnston Check Total:	175.00 175.00	02/01/2005	Check Sequence: 21 101-410-1110-44370	ACH Enabled: No
Vendor: LINDVENN 296681-0840	Lindquist & Vennum P.L.L.P. Comp Plan Amendment Appeal Check Total:	1,184.00 1,184.00	02/01/2005	Check Sequence: 22 101-410-1940-43020	ACH Enabled: No
Vendor: MAMA 1016 1070	Metropolitan Area Manager Association MAMA Luncheon Annual Membership Check Total:	18.00 50.00 68.00	02/01/2005 02/01/2005	Check Sequence: 23 101-410-1320-44370 101-410-1110-44370	ACH Enabled: No
Vendor: McCarthy 20102	McCarthy Well Company 4 Tubes of turbine grease Check Total:	55.50 55.50	02/01/2005	Check Sequence: 24 601-494-9400-42270	ACH Enabled: No
Vendor: MNDNR 2004 Water	MN DNR Waters 2004 Annual Water Report	167.70	02/01/2005	Check Sequence: 25 601-494-9400-43820	ACH Enabled: No

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
	Check Total:	167.70			
Vendor:NORTHTOO 0261059532 0562044380 0562046031	HSBC Business Solutions Adapter, Tape Grinding Wheels, Map Light Swivel Casters, Camera for Speed Trlr. Check Total:	23.40 11.68 43.18 78.26	02/01/2005 02/01/2005 02/01/2005	Check Sequence: 26 101-430-3100-42150 101-430-3100-42210 410-480-8000-45800	ACH Enabled: No
Vendor:OAKD-HIS 2005 Donation	Historical SocietyOakdale Lake Elmo Donation Check Total:	1,000.00 1,000.00	02/01/2005	Check Sequence: 27 101-410-1110-44300	ACH Enabled: No
Vendor:ONECALL 4120501	Gopher State One-CallOne Call Concepts, Inc Line Locates Check Total:	28.75 28.75	02/01/2005	Check Sequence: 28 101-430-3100-44300	ACH Enabled: No
Vendor:PETTYCI 01272005 01272005 01272005	Petty Cash MAMA Luncheon Mtg. - M. Rafferty Dinners - City Council Interviews Envelopes - Utility Billing Check Total:	30.00 33.00 28.74 91.74	02/01/2005 02/01/2005 02/01/2005	Check Sequence: 29 101-410-1320-44370 101-410-1110-44300 601-494-9400-42000	ACH Enabled: No
Vendor:PINKY 39022	Pinky's Sewer Service, Inc. Pumped tank at 7990 50th St. Check Total:	245.00 245.00	02/01/2005	Check Sequence: 30 602-495-9450-44030	ACH Enabled: No
Vendor:PRESS 01/04-01/10 01/18-01/24	StevenPress Cable Operator - Retro Pay Cable Operator for 01/18, 01/24 Check Total:	28.00 108.00 136.00	02/01/2005 02/01/2005	Check Sequence: 31 101-410-1320-43620 101-410-1320-43620	ACH Enabled: No
Vendor:QUICKSI 6225641	Quicksilver Document Delivery Check Total:	74.16 74.16	02/01/2005	Check Sequence: 32 101-410-1910-44300	ACH Enabled: No
Vendor:QWEST 6517142209-456	Qwest Hudson Lift Station	35.96	02/01/2005	Check Sequence: 33 602-495-9450-43210	ACH Enabled: No

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
	Check Total:	35.96			
Vendor: ROGERS 12223 12223	Rogers Printing Services Stationery, Envelopes Stationery, Envelopes Water Dept. Check Total:	266.25 76.68 342.93	02/01/2005 02/01/2005	Check Sequence: 34 101-410-1320-42030 601-494-9400-42030	ACH Enabled: No
Vendor: RUD 01/17-01/26 01/18-01/27	Diane Prince-Rud Cleaning City Hall Cleaning Fire Hall Check Total:	240.00 240.00 480.00	02/01/2005 02/01/2005	Check Sequence: 35 101-410-1940-44010 101-420-2220-44010	ACH Enabled: No
Vendor: S&T 01JP7567 01JPQ2309	S&T Office Products, Inc. DVDs Laminated Refills, Binders Check Total:	103.54 434.12 537.66	02/01/2005 02/01/2005	Check Sequence: 36 101-410-1320-42000 101-410-1320-42000	ACH Enabled: No
Vendor: SANDCRK 88340	Sand Creek Group, Ltd. 2005 Annual Renewal Check Total:	750.00 750.00	02/01/2005	Check Sequence: 37 101-410-1320-44330	ACH Enabled: No
Vendor: SPRINT 0526076028-3	Sprint Fire Dept. Laptop Connection Check Total:	56.22 56.22	02/01/2005	Check Sequence: 38 101-420-2220-43210	ACH Enabled: No
Vendor: STILLFOR 278560	Stillwater Ford Ford truck Fuel Filter, Heater - PW Check Total:	124.67 124.67	02/01/2005	Check Sequence: 39 101-430-3100-44040	ACH Enabled: No
Vendor: STILLGAZ 00004108 00004118	Stillwater Gazette Public Hearing Notice - Ordinance Public Hearing Notice EP Bus. Pk. Check Total:	29.40 25.20 54.60	02/01/2005 02/01/2005	Check Sequence: 40 101-410-1320-43510 101-410-1320-43510	ACH Enabled: No
Vendor: TKDA 000200500303 000200500304 000200500305 000200500305	TKDA, Inc. VFW Ballfield Lights Whisp. Valley Insp./Review City Hall 2005 streets	152.22 101.48 2,332.39 50.74	02/01/2005 02/01/2005 02/01/2005 02/01/2005	Check Sequence: 41 404-480-8000-43030 803-490-9070-43030 410-480-8000-45200 409-480-8000-43030	ACH Enabled: No

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
000200500305	City Code, Staff Migs, 5yr CIP	4,612.57	02/01/2005	101-410-1930-43030	
000200500305	Card. View Plat, Wildflower, Tapestry	3,297.93	02/01/2005	803-490-9070-43030	
000200500316	MSA	50.74	02/01/2005	402-480-8000-43030	
000200500318	Hill Trail Overlay	827.55	02/01/2005	409-480-8000-43030	
000200500320	SW Mgmt & MS4/NPDES II	3,956.52	02/01/2005	603-496-9500-43030	
000200500321	Water System Study/Mapping	1,537.82	02/01/2005	601-494-9400-43030	
000200500324	Old Village Traffic Study	330.39	02/01/2005	101-410-1910-43020	
000200500345	Water Sys Interconnection	18,188.81	02/01/2005	601-494-9400-43030	
000200500349	LE Water Tank- Prel. Design	72.60	02/01/2005	601-494-9400-43030	
	Check Total:	35,511.76			
Vendor: United 2004 OEA	United Properties Investments 2004 OEA Fee	225.00	02/01/2005	Check Sequence: 42 101-410-1320-44330	ACH Enabled: No
	Check Total:	225.00			
Vendor: VALCAST 151034	Valley Casting, Inc. Appreciation Dinner Pins	717.88	02/01/2005	Check Sequence: 43 101-410-1110-44300	ACH Enabled: No
	Check Total:	717.88			
Vendor: WAS-PH 5345	Washington County Haz Waste Generator License	45.00	02/01/2005	Check Sequence: 44 101-430-3100-44300	ACH Enabled: No
	Check Total:	45.00			
Vendor: WASHFIRE 2005	WASHINGTON COUNTY FIRE CHIEFS ASSOCIAT 2005 Dues Wash Cty Fire Chiefs Assoc.	50.00	02/01/2005	Check Sequence: 45 101-420-2220-44330	ACH Enabled: No
	Check Total:	50.00			
Vendor: XCEL 0073-736-544019	Xcel Energy 3014 Jamley Ave - Public Works	22.83	02/01/2005	Check Sequence: 46 101-430-3100-43810	ACH Enabled: No
	Check Total:	22.83			
	Total for Check Run:	79,161.54			
	Total Number of Checks:	46			

Lake Elmo City Council 02-01-2005	Agenda Section: CONSENT	<u>No .</u> 4B
<u>Agenda Item: Municipal Fees for Calendar Year 2005</u>		
<p><u>Background Information for February 01, 2005:</u></p> <p>Attached, please find ordinance no. 97-145 adoption of the 2005 fee schedule. The Fee schedule represents a charge for services and are based on the City's time & expenditures for providing the service. The Fee schedule for the most part has not been adjusted in 2-3 years and a comparison study concluded that the proposed fees are in line with other Cities of similar size in the metropolitan area. There has been one additional fee charge that was inadvertently omitted with the previously proposed fee schedule. A "False Alarms" category has been placed on the schedule with no rate change.</p> <p>Please note there has been one change since the last Council Committee review involving the Liquor license fee. I have been informed that an adjustment to Liquor License fees requires a Public Hearing and therefore the proposed fee remains unchanged until a hearing can be scheduled.</p>		
<u>Action Items:</u> 1) Adopt Ordinance No. 97-145 setting the Municipal Fees for Calendar Year 2005	<u>Person responsible:</u> Tom Bouthilet	
<u>Attachments:</u> <ol style="list-style-type: none"> 1. Ordinance No. 97-145 2. Ordinance Summary 		

**CITY OF LAKE ELMO
WASHINGTON COUNTY, MINNESOTA
ORDINANCE SUMMARY
ORDINANCE NO. 97-145**

On the 1st day of February, 2005, the Lake Elmo City Council adopted Ordinance No. 97-145 relating to establishing municipal fees for calendar year 2005 and authorized the publication of the following Ordinance Summary by four (4) affirmative votes, as required by Minnesota Statutes §412.91, Subd. 4.

Ordinance No. 97-145 is attached to the Lake Elmo Municipal Code as Appendix A and contains a listing of all fees charged by the City for various zoning, platting, building, licensing and utility uses and permits.

A copy of the Ordinance is available for inspection by any person during regular business hours at the office of the City Administrator at 3800 Laverne Avenue North, Lake Elmo, MN 55042

Martin Rafferty
Its: City Administrator

**CITY OF LAKE ELMO
WASHINGTON COUNTY, MINNESOTA**

ORDINANCE NO. 97-145

AN ORDINANCE SETTING MUNICIPAL FEES FOR CALENDAR YEAR 2005

The Lake Elmo City Council hereby adopts the following fee schedule for calendar year 2005 and directs that it be added to the Lake Elmo Municipal Code as Appendix A.

Appendix A – 2005 Fee Schedule

ADOPTION DATE: Passed by the Lake Elmo City Council on the 1st day of February, 2005.

CITY OF LAKE ELMO

By: _____
Dean Johnston
Its: Mayor

ATTEST:

Martin Rafferty
Its: City Administrator

EFFECTIVE DATE: This Ordinance shall be effective the ____ day of _____, 2005.

PUBLICATION DATE: Published on the _____ day of _____, 2005.

2005 Proposed Fee Schedule

Development, Service, Building, Etc.	Fee	Escrow or Additional Charge
Amateur Radio Antenna	\$825.00	
Appeal (to Board of Adjustment and Appeals)	\$50.00	
Assessment Search	\$20.00	
Building Demolition		
First 1000 Square Feet	\$100.00	.50 surcharge
Each Additional 1000 sq feet or portion thereof	\$10.00	.50 surcharge
Burning Permits		
Residential	\$35.00	
Commercial	\$70.00	
Comprehensive Plan Amendment	\$1,200.00	
Conditional Use Permit (CUP)		
<new or amended>	\$950.00	
CONTRACTOR LICENSE FEES		
Blacktopping	\$50.00	
Excavator License	\$50.00	
Heating and A/C	\$50.00	
Sign Installer	\$50.00	
Solid Waste Hauler	\$100.00	
Tree Contract	\$50.00	
COPY SERVICES		
Copies	\$1.00	
City Map - colored	\$3.00	
Code Book	\$150.00	
Sections 1, 2, 4, 6-12, 14	\$10.00	
Section 3	\$50.00	
Section 5 and 13	\$25.00	
Comprehensive Plan	\$100.00	
OP Ordinance	\$10.00	
Parks Plan	\$75.00	
Culverts in Developments with Rural Section	\$100.00	
Dog License	\$10.00	
Unlicensed dog (first impound)	\$50.00	
Licensed dog (first impound)	\$25.00	
Cat Impound (first impound)	\$25.00	
Subsequent dog/cat impound	\$25.00	
Duplicate License or Tag	\$1.00	
Driveway		
Residential	\$50.00	.50 surcharge
Commercial	\$150.00	.50 surcharge
Excavating and Grading	\$100.00	Erosion Control Bond, Escrow, or Letter of Credit: 1500.00 per acre.
False Alarm		
1 to 3 False alarms	No Charge	
In excess of 3 up to and including 6 false alarms alarms within a twelve (12) month period		
Residential	\$100.00	
Commercial	\$300.00	
In excess of six false alarms within a twelve (12) month period		
Residential	\$175.00	
Commercial	\$500.00	
Flood Plain Management Permit	\$750.00	1500.00 escrow
Fuel Tank Removal (Underground)	\$50.00	.50 surcharge
Heating		
New Residential	\$125.00	.50 surcharge
Addition to Residential	\$50.00	.50 surcharge
Commercial (New or Addition)	Minimum 150.00 or one percent of total cost of heating project	.50 surcharge
Lawn Sprinklers	\$110.00	.50 surcharge

Development, Service, Building, Etc.	Fee	Escrow or Additional Charge
Liquor		
Club On-Sale Intoxicating	\$100.00 per year	
Off-Sale Intoxicating	\$200.00 per year	
Off-Sale Non-Intoxicating	\$150.00 per year	
On-Sale Intoxicating	\$1500.00 per year	
On-Sale Investigation	\$350.00	
On-Sale Non-Intoxicating	\$100.00 per year	
On-Sale Sunday Intoxicating	\$200.00 per year	
Temporary Non-Intoxicating	\$25.00 per event	
Wine	\$300.00 per year	
Lot Line Adjustment	\$250.00	
Manufactured Home Parks		
New	\$1,000.00	2500.00 Escrow
Move home out of City	\$50.00	.50 surcharge
Move into City	\$100.00	.50 surcharge
Minor Subdivision	\$925.00	
Moving House or Primary Structure into City	\$500.00	Plus bond with amount to be determined by City w/recommendation from Building Official
New Construction Plan Review	Per 1997 UBC (65% of building permit fee)	Per Statute
Park Dedication (up to 3 lots)	\$3000.00 for each newly created lot	
Parking Lots		
New Commercial	\$150.00	.50 surcharge
Existing Commercial	\$75.00	.50 surcharge
Platting		
Concept (PUD or OP)	\$1,150.00	
Preliminary Plat (and Development Stage)	\$1,700.00	
Final Plat (and Final Plan)	\$1,150.00	Plus 2% Administrative Fee Development Agreement
Plumbing		
New Residential	\$125.00	.50 surcharge
Addition to Residential	\$50.00	.50 surcharge
Commercial (New or Addition)	Minimum \$150.00 or 1% of total job cost	.50 surcharge
Private Roads (permitted only in AG zone)	\$100.00	.50 surcharge
Restrictive Soils and Wetland Restoration Protection and Preservation Permit	\$750.00	1500.00 escrow
Right-of-Way Permits		
Annual Registration (1415.05 Subd.1)	\$50.00	
Excavation (1415.11 Subd. 1)	\$200.00	
Each Additional Excavation	\$30.00	
Trench Fee (boring or open cut)	.50 per foot	
Overhead Installation Fee	.50 per foot	
New Subdivisions (Alternate to per foot fee)	50.00 per lot per utility	
Street Obstruction Fee (1415.11 (Sub 2))	\$50.00	
Permit Extension	\$50.00	
Delay Penalty	10.00 per day	
Sewage Disposal		
On-Site Septic Systems		
New	\$100.00	.50 surcharge
Alterations or Repairs	\$100.00	.50 surcharge
Sewer Availability Charge (SAC) (Metro System)	\$1,875.00	1450.00 Met. Council; 425.00 to City
Sewer	\$2.50 per 1,000 gallons	
Wetland Treatment		
Hookup to Existing System	\$75.00	.50 surcharge
Alteration/Repair	\$50.00	.50 surcharge
201 Off-Site Maintenance Fee	50.00 per unit per quarter	
Signs (not requiring CUP)	\$100.00	
Site Plan Review (Chapter 520)	\$925.00	

Development, Service, Building, Etc.	Fee	Escrow or Additional Charge
Street Cleaning Erosion Control		
Escrow		1,000.00 Escrow
Re-inspection	\$30.00 per hour	Portal to Portal from City Hall. Minimum: 1 hour
Processing Fee		10% of Contractor's Invoice to City
Surface Water		
Residential	\$25.00	
Non-Residential (commercial, ag., etc.)	Per Code	
Telecommunications Tower	\$825.00	2,000.00 Escrow
Tennis Courts	Per 1997 UBC	Plus surcharge
Vacations (Streets or Easements)		
Easements	\$100.00	\$500.00 Escrow
Streets	\$500.00	\$500.00 Escrow
Variance	\$700.00	
Video Reproduction	\$25.00	
Water		
Residential - Quarterly Rate	\$22.00 Base plus 1.75 per 1,000 gallons	
Commercial	\$22.00 Base plus 2.60 per 1000 gallons	
All Connection Permits	\$125.00	
Meters, MIU & Meter Installation Sets	\$275.00	
Fire Sprinkler System (inspection Fee)	\$50.00	
Delinquent Accounts	6% per quarter	Plus 25.00 or 8%, whichever is greater, if certified to County for collection with taxes
Disconnect Service	\$75.00	
Reconnect Service	\$75.00	
Water Storage Violation	\$10.00 per day	
Bulk Water from Hydrant	\$50.00 for first 5,000 gallons	
	\$2.60 per 1,000 gallons over 5,000 gallons	
Swimming Pool Fill	\$40.00 + \$50.00 for first 5,000 gallons	
	\$2.60 per 1,000 gallons over 5,000 gallons	
Water Availability Charge (WAC)		
Existing Structures within Old Village	\$800.00	
New Development	\$3,000.00	
Zoning Amendment (Text or Map)	\$1,150.00	

Lake Elmo City Council February 1, 2005	Agenda Section: MAINTENANCE/PARK/FIRE/BUILDING:	<u>No 7A.</u>
<u>Agenda Item:</u> Ordinance No. 97-146, An Ordinance Amending Section 1355.07 Public Park Hours of the Lake Elmo Municipal Code		
<p><u>Background Information for February 1, 2005:</u></p> <p>In an effort to secure Lake Elmo Parks facilities, the Washington County Sheriff's Commander, for the Lake Elmo area, asked that the City affirm park hours in Ordinance form.</p> <p>At the November 9th Finance, Legal, Legislative, and Personnel Council Committee meeting, Public Works Supervisor Bouthilet requested Committee to officially establish closing times of the City's parks. He reported that closing times are posted at several parks, but are not enforceable without an ordinance. He suggested a closing time in the early evening for all parks to counter after dark loitering and resulting park vandalism. It was noted that night cross country skiing in Sunfish Park was a popular activity and could be allowed to continue by issuance of a permit to the skiers or for other purposes.</p> <p>The Committee directed a park closing time ordinance be created. Attorney Filla has reviewed and approved the language in the draft ordinance.</p>		
<u>Action Items:</u> M/S/ to adopt Ordinance No. 97-146, An Ordinance Amending Section 1355.07 Public Park Hours of the Lake Elmo Municipal Code	<u>Person responsible:</u> Public Works Supervisor Bouthilet	

CITY OF LAKE ELMO
WASHINGTON COUNTY, MINNESOTA

ORDINANCE NO: 97- 146
AN ORDINANCE AMENDING SECTION 1355.07 PUBLIC PARKS
OF THE LAKE ELMO MUNICIPAL CODE

Section 1. Amendment: Section 1355.07 of the Lake Elmo Municipal Code is hereby amended to read as follows; to wit:

1355.07 Hours

Except as hereinafter provided all public parks shall be closed from one-half hour after sunset until sunrise the following day.

A. Park facilities with operational lighting, for ice rinks, tennis courts and ball fields. may remain open until 10:00 p.m. as posted in each Park

B. A special permit may be issued by the City Administrator or the administrator designee for park usage outside of permitted hours of operation.

Section 2. Effective Date: This ordinance shall become effective upon the passage and publication according to law.

ADOPTED by the Lake Elmo City Council on the 1st day of February, 2005.

Mayor, Dean Johnston

ATTEST:

Martin J. Rafferty, City Administrator

Lake Elmo City Council February 1, 2005	Agenda Section: CITY ENGINEER'S REPORT:	<u>No 8A.</u>
<u>Agenda Item:</u> Proposed Public Works Garage		
<u>Background Information for January 18, 2005:</u> Terri Olsen, TKDA architect, will present a proposal with alternatives and cost estimates for the Public Works Garage on the Sunfish Lake Park Site. The Administrator recommends proceeding with the project, as presented.		
<u>Action Items:</u>	<u>Person responsible:</u>	

TKDA

ENGINEERS-ARCHITECTS-PLANNERS

1500 Piper Landing Plaza
444 Cedar Street
Salt Lake, UT 84101-2140

(801) 252-4400
(801) 252-0083 fax
www.tkda.com

LAKE ELMO PUBLIC WORKS ON SUNFISH LAKE PARK SITE Revised Conceptual Cost Estimate Basic Building & Site (Option #7) With Add Alternates and Deduct Alternates: 1/28/05

BASE BUILDING / SITE - PRE-ENGINEERED METAL STRUCTURE, WALL, & ROOF SYSTEM (MINIMAL SITE GRADING)

1	12 Stall Vehicle Maintenance (Pre-engineered metal bldg, 4' tall conc. block base, 6" concrete slab)	11,849 square feet	x	\$95 /SF	\$1,125,655
2	Office/Break/Support (attachment to bays - 3'-4' concrete block base, metal panel walls and roof)	1,171 square feet	x	\$130 /SF	\$152,273
3	Lockers/Shower/Toilets	520 square feet	x	\$150 /SF	\$78,000
4	Kalwall at ends of vehicle bays + thermally broken double glazed windows in office	216 square feet	x	\$50 /SF	\$10,800
5	Internal/external wash bay (vestibule layout, overhead door each side)	1,052 square feet	x	\$115 /SF	\$121,031
6	Mezzanine (10' deep; stairs, no retaining wall)	480 square feet	x	\$45 /SF	\$21,600
7	Well (toilets & wash bay; no fire sprinkler system)	allowance			\$20,000
8	Septic (toilets, wash bay / vehicle bay tank)	allowance			\$11,000
9	Fencing/Security (6' tall chain link, no vinyl inserts)	570 lineal feet	x	\$10 /LF	\$5,700
10	Salt/Sand Building (40'x42' preengineered wood building, plywood interior & 2' high concrete base)	1,680 square feet	x	\$45 /SF	\$75,600
11	Class 5(8" deep to support truck; assume relatively flat grade & good, stable soil; grading hills not included)	26,150 square feet	x	\$1.44 /SF	\$37,591
12	Asphalt Paving (front drive, parking, salt/sand, dirt storage, rear apron beyond stoop)	19,450 square feet	x	\$4.31 /SF	\$83,878
13	Concrete Paving (4' stoop/apron @ OH doors, 5' sidewalk from guest parking to office, pad at fueling)	630 square feet	x	\$20.00 /SF	\$12,600
14	Equipment (tube reels, mobile hoist, 20' of 2 ton capacity chain hoist w/ monorail hung from structure)	allowance			\$55,000
15	New air compressor	allowance			\$4,000
16	Upgrade (4' high splitface textured block around vehicle bays, wash bay, and office area)	2,800 square feet	x	\$3 /SF	\$9,660
17	Architectural upgrade (single cupola)	310 square feet	x	\$6 /SF	\$1,860
18	Fueling-relocate existing/pour footings/run grounding	allowance			\$10,000
19	Low Voltage Wiring (only cost to wire within building; not site cost to building)	allowance			\$6,000
		Subtotal			\$1,842,248
		10% estimate contingency			\$184,225
		USE*			\$2,027,000
		SUBTOTAL	14,592 square feet	(WITH 5%)	\$2,129,000

*Note: This is an opinion of probable cost, using cost per square foot methods, and not an exact number. Construction prices may fluctuate.
Above total cost incorporates estimated design fees. Estimate does NOT include paving of park access road.
TKDA recommends the Owner have an additional 5% contingency for construction field change orders.

ADD ALTERNATES

1	+1st stall vehicle maintenance with upgrade of 4' splitface block, no Kalwall + 15% contingency	2,250 square feet	x	\$113 /SF	\$254,739
2	+2nd stall vehicle maintenance with upgrade of 4' splitface block, no Kalwall + 15% contingency	2,250 square feet	x	\$113 /SF	\$254,739
3	+cold storage on south face (extend roof; post supports, 3" class 5)+(40' class 5)+ 15% contingency	2,000 square feet	x	\$64 /SF	\$128,000
4	+cold storage on north face (extend roof; post supports, 3" class 5)+(20' class 5) + 15% contingency	2,038 square feet	x	\$57 /SF	\$116,141
5	+chain hoist support connecting to monorail (2 ton capacity (4,000lbs)) + 15% contingency	190 lineal feet	x	\$150.00 /LF	\$28,500
6	+clerestory at ridge (metal panel walls & roof with glass windows) + 15% contingency	4,930 square feet	x	\$28.00 /SF	\$138,036
7	+Additional 19' deep mezzanine with Add Alternate #1 + 15% contingency	656 square feet	x	\$52 /SF	\$33,922
8	+Additional 19' deep mezzanine with Add Alternate #2 + 15% contingency	266 square feet	x	\$52 /SF	\$13,766
9	+sign shop	400 square feet	x	\$150 /SF	\$59,800
10	+water/meter shop	250 square feet	x	\$150 /SF	\$37,375
11	+Site Storage Bins (gravel, dirt, wood chips)	4 bins	x	\$17,250 EA	\$69,000
12	+Curved (Gambrel) metal roof upgrade	16,500 square feet	x	\$17 /SF	\$284,625
13	+Office/Breakroom Furniture (tables, desks, chairs, appliances; does NOT include computers/printers/fax)	allowance			\$14,000

DEDUCT ALTERNATES

1	-Fueling-relocate existing/pour footings/run grounding by Lake Elmo	allowance			\$10,000
2	-Fencing/Security-chain link, by Lake Elmo	570 lineal feet	x	\$10	\$5,700
3	-Class 5 (8" deep to support trucks, by Lake Elmo)	26,150 square feet	x	\$1.44	\$37,591
4	-New air compressor (purchased/installed by Lake Elmo)	allowance			\$4,000
5	-Equipment (tube reels, mobile hoist, 20' 2000lb monorail purchase/install by Lake Elmo; electrical by GC; structure preengineer)	allowance			\$50,000
6	-Low Voltage Wiring (by City's vendor)	allowance			\$6,000
7	-Well (toilets & wash bay; no fire sprinkler system; use water from watertower instead)	estimate			\$20,000
	Total Available Deduct Alternates				\$133,291

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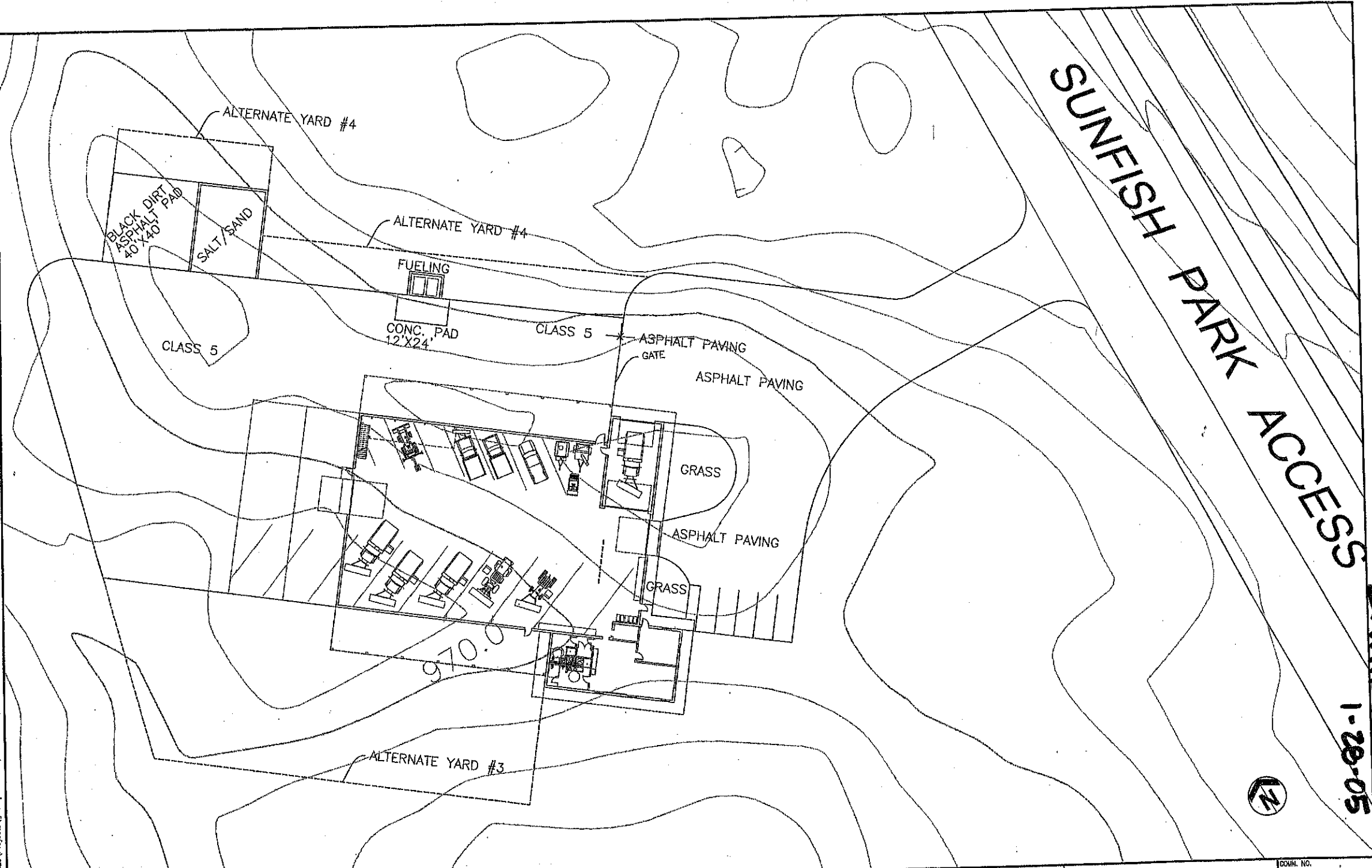


EXHIBIT 'A'
1-28-05

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				DRAWN 1/21/05				
				CHECKED				
NO.	DATE	BY	DESCRIPTION OF REVISIONS					



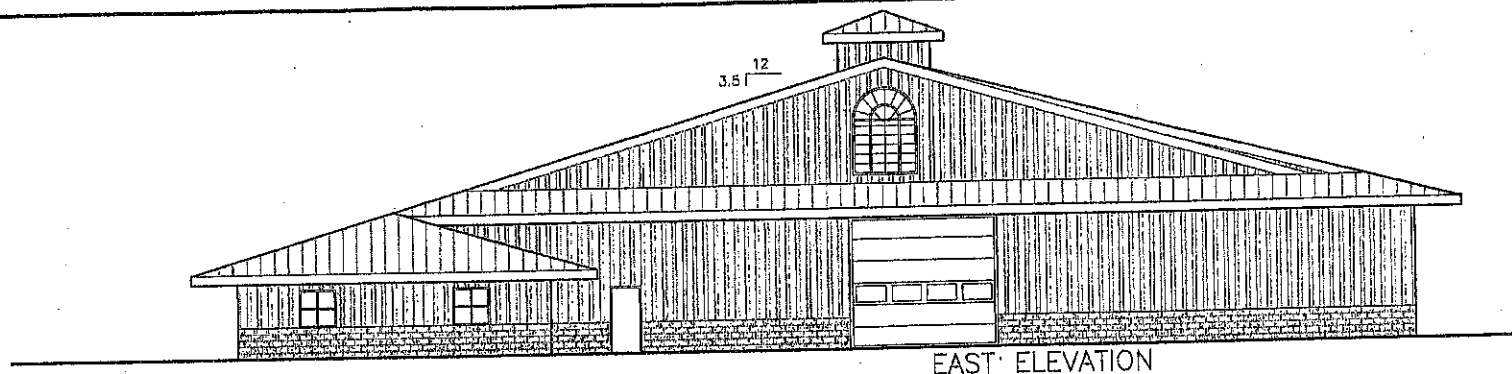
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					CHECKED
NO.	DATE	BY	DESCRIPTION OF REVISIONS		

TKDA
ENGINEERS • ARCHITECTS • PLANNERS

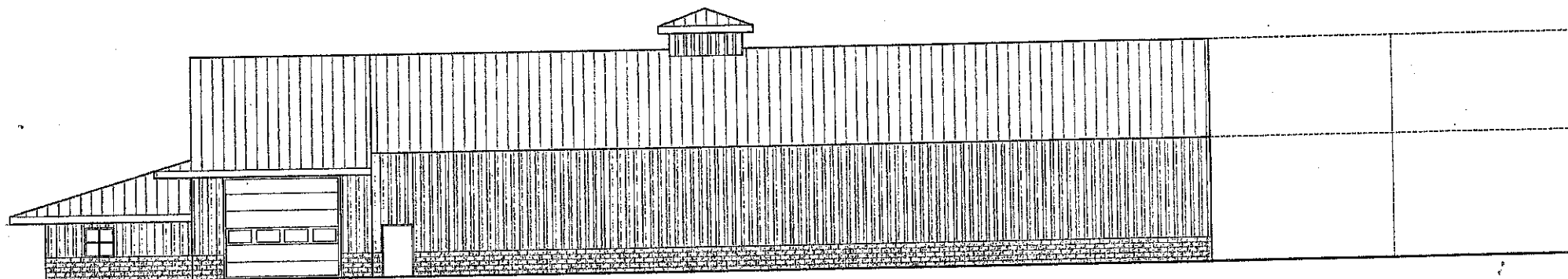
OPTION 7
CONCEPTUAL FLOOR PLAN
1/8"=1'-0"

COMM. NO.	0013267.000
DRAWING NO.	

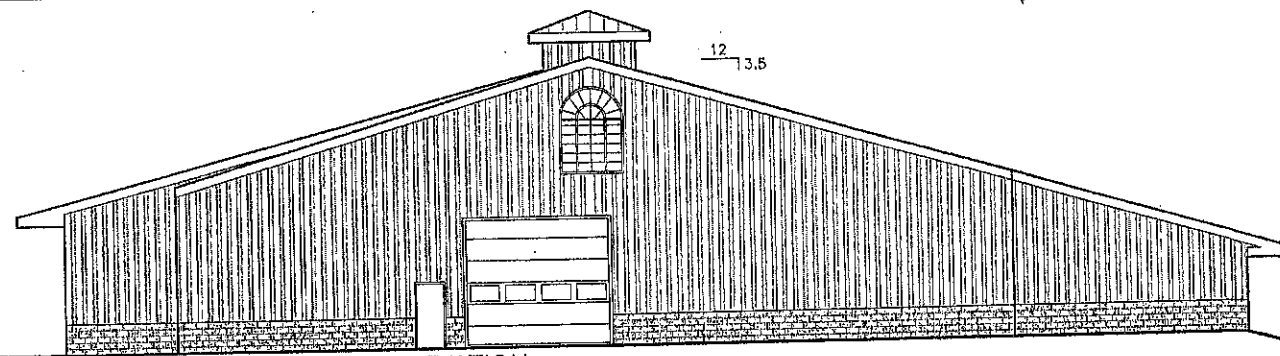
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INCH ON THIS DRAWING ADJUST SCALES ACCORDINGLY.



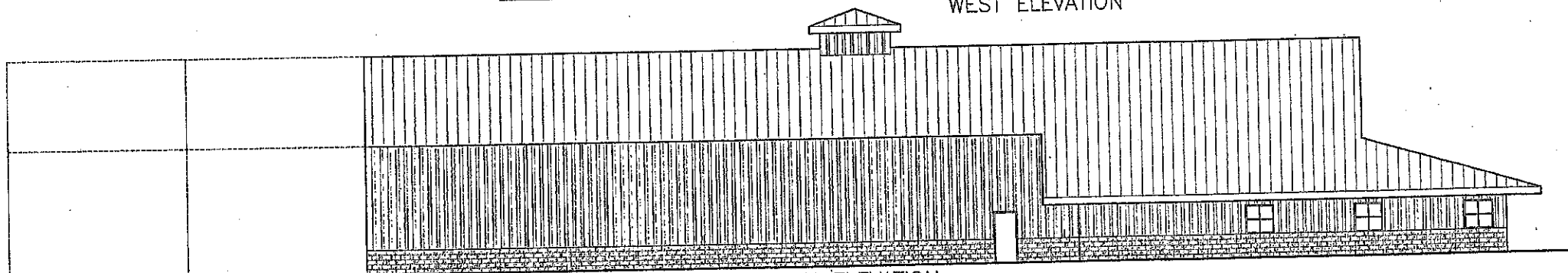
EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

NO.	DATE	BY	DESCRIPTION OF REVISIONS

DESIGNED	
DRAWN	1/21/05
CHECKED	

LAKE ELMO PUBLIC WORKS
SUNFISH LAKE PARK

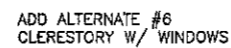
TKDA
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OPTION 7
BASE BUILDING
1/8"=1'-0"

COMM. NO.
0013287.000
DRAWING NO.

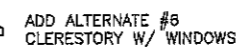
EXHIBIT C
1-28-05

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EAST ELEVATION

ADD ALTERNATE #6
CLERESTORY W/ WINDOWS



WEST ELEVATION

ADD ALTERNATE #8
CLERESTORY W/ WINDOWS



				DESIGNED	LAKE ELMO PUBLIC WORKS SUNFISH LAKE PARK	TKDA ENGINEERS • ARCHITECTS • PLANNERS	OPTION 7 W/ ADD ALTERNATE #6 3/32"=1'-0"	COMM. NO. 0013267.000 DRAWING NO.
				DRAWN 1/21/05				
				CHECKED				
NO.	DATE	BY	DESCRIPTION OF REVISIONS					

MEMORANDUM

To: Martin Rafferty Copies To: From: Thomas Prew, P. E. Date: January 28, 2005	Reference: Estimated Costs Revised Water Tower Location City of Lake Elmo, Minnesota Comm. No. 13186.002 Routing:
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As requested I have looked at the costs to locate the water tower on the proposed public works building at Sunfish Lake Park, instead of the current Lake Jane site.

Our analysis shows that a 16-inch watermain will be needed from the 16-inch watermain in Tapestry to the new water tower site. 12-inch main would run from the water tower south to Stillwater Boulevard.

The proposed 16-inch watermain on Lake Jane Trail/45th Street could be reduced to a 12-inch.

The water tower would be about 20-30 shorter due to elevation differences.

Revised estimated project costs are as follows:

Phase I

1. Watermain Extension (To Tapestry)	\$ 458,600.00
2. Watermain Oversizing at Tapestry	<u>\$ 75,000.00</u>
Phase I Total	\$ 533,600.00

Phase II

3. Watermain Extension (To Public Works)	\$ 361,500.00
4. 500,000 Gallon Elevated Storage Tank	\$1,160,000.00
5. Modifications to Well #2	\$ 40,000.00
6. Pressure Reducing Valves (2)	\$ 90,000.00
7. Well No. 1 Modifications	\$ 226,000.00

8. Well No. 1 Watermain Replacement	\$ 164,400.00
9. Watermain Tapestry to Water Tower	<u>\$ 163,200.00</u>
Phase II Total	\$2,205,100.00

Phase III

9. Watermain Extension (To 31st Street)	\$ 778,600.00
9A. Watermain Extension (TH 5 to Tower Site)	<u>\$ 98,800.00</u>
Phase III Total	\$ 877,400.00

Phase IV

10. Remove Existing Elevated Storage Tank	\$ 41,000.00
11. Pumphouse No. 1 Replacement	<u>\$ 390,000.00</u>
Phase IV Total	\$ 431,000.00

TOTAL IMPROVEMENT COSTS	4,047,100.00	(\$3,849,300.00)
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This change in the water tower location would increase the cost of the overall water project by \$197,800.00. Benefits to having the water tower at the public works site include reduced sitting issues, possible cold storage use inside of the water tower, and elimination of a new well for the new building.

Lake Elmo
City Council
February 1,
2005

Agenda Section: Planning, Land Use & Zoning

No. 9A

Agenda Item: Preliminary Plat/Final Plat/Site Plan/PUD Amendment – United Properties

Background Information for February 1, 2004:

At its meeting January 24, 2005 the Planning Commission unanimously adopted a recommendation to approve the Preliminary and Final Plats for Eagle Point Business Park 4th Addition; and, to approve a Section 520 Site Plan for City County Credit Union to construct a banking facility at the northeast corner of Hudson Blvd. and Inwood Avenue. By a vote of 5-2-1 (Roth and Deziel opposed, Helwig abstain) the Commission recommends that the applicant's proposed PUD Plan Amendment to allow asphalt shingles on the "visible" roof be denied. This means that the building must be roofed in accordance with Business Park Architectural Standards, which specify "...standing seam metal, fire-treated cedar shakes, ceramic tile, clay tile, concrete, or slate."

Should the Council not concur with the Planning Commission recommendation regarding the roofing materials, the second Resolution should be instead for approval of the PUD Plan Amendment.

Action items:

1. Motion to adopt Resolution #2205 – Approving the Preliminary and Final Plats of the Eagle Point Business Park 4th Addition.
2. Motion to Deny Amendment to the Eagle Point Business Park PUD Plan to Allow asphalt shingles on the building in Lot 1, Block 1, Eagle Point Business Park 4th Addition.
3. Motion to adopt Resolution #2005 – Approving the Section 520 Site Plan for City County Credit Union on Lot 1, Block 1, Eagle Point Business Park per plans staff dated January 14, 2005.

Person responsible:

City Planner

Attachments:

1. Resolution #2005 - Plat Approvals
2. Resolution #2005 - PUD Plan Amendment Denial
3. Resolution #2005 - Site Plan Approval
4. Draft Planning Commission Minutes of January 24, 2005
5. Planning Staff Report
6. Applicant's Documentation

Time Allocated:

**CITY OF LAKE ELMO
WASHINGTON COUNTY, MINNESOTA**

RESOLUTION NO. 2005- 012

**A RESOLUTION APPROVING THE PRELIMINARY PLAT and FINAL PLAT of
EAGLE POINT 4TH ADDITION**

WHEREAS, Dale Glowa of United Properties has made application for a Preliminary Plat to create one commercial building lot and one outlot on property generally located on the northeast corner of Hudson Boulevard and Inwood Avenue. The parcel is legally described as follows:

Outlot A, EAGLE POINT 2ND ADDITION

WHEREAS, at its January 27, 2005 meeting, the Planning Commission reviewed and recommended approval of this application to replat Outlot A into one commercial building lot and one outlot.

WHEREAS, the Preliminary Plat and Final Plat of EAGLE POINT 4TH ADDITION was presented to the City Council at its February 1, 2005 City Council Meeting where the following Finding was made:

The proposed Preliminary Plat generally complies with the subdivision design standards of Section 400 of the *Lake Elmo Municipal Code* and it is generally compliant with the Eagle Point Business Park PUD Plan.

NOW, THEREFORE, BE IT RESOLVED, that the City Council for the City of Lake Elmo does hereby approve and accept the Preliminary Plat of EAGLE POINT 4TH ADDITION, per plans that staff dated January 14, 2005, as the same on file with the City Administrator, subject to the following Conditions:

1. Evidence of the easement from the owners of Outlot A for use of all of designated driveway by the owner of Lot 1 should be provided.
2. Compliance with the comments and recommendations of the City Engineer
3. Compliance with the recommendations of the South Washington Watershed District (if any) that are concurred in by the City Engineer.

ADOPTED, by the Lake Elmo City Council on the 1st day of February 2005.

Dean Johnston, Mayor

ATTEST:

Martin Rafferty, City Administrator

**CITY OF LAKE ELMO
WASHINGTON COUNTY, MINNESOTA**

RESOLUTION NO. 2005-013

**A RESOLUTION DENYING THE PUD PLAN AMENDMENT FOR
EAGLE POINT BUSINESS PARK**

WHEREAS, United properties has applied for an amendment to the PUD Final Plan of EAGLE POINT BUSINESS PARK to allow the use of asphalt shingles on Lot 1, Block 1, EAGLE POINT BUSINESS PARK 4TH ADDITION as a substitute for roofing materials specified by the Business Park Zoning District Architectural Standards.

WHEREAS, at its January 27, 2005 meeting, the Planning Commission reviewed and recommended denial of this application.

NOW, THEREFORE, BE IT RESOLVED, that the City Council for the City of Lake Elmo does hereby deny the PUD Amendment Application based upon the recommendation of the Planning Commission.

ADOPTED, by the Lake Elmo City Council on the 1st day of February 2005.

Dean Johnston, Mayor

ATTEST:

Martin Rafferty, City Administrator

**CITY OF LAKE ELMO
WASHINGTON COUNTY, MINNESOTA**

RESOLUTION NO. 2005- 014

**A RESOLUTION APPROVING THE SECTION 520 SITE PLAN FOR
CITY AND COUNTY CREDIT UNION**

WHEREAS, Dale Glowa of United properties has submitted a Section 520 Site Plan for construction of a credit union and drive-thru teller lanes on Lot 1, Block 1, EAGLE POINT BUSINESS PARK 4TH ADDITION.

WHEREAS, at its January 27, 2005 meeting, the Planning Commission reviewed and recommended approval of this site plan per plans that staff dated January 14, 2005, as the same on file with the City Administrator, subject to the following Conditions:

1. The exterior lighting fixtures must be full cut-off (flat panel lenses with no lens extensions below the fixture) in all cases (including any teller canopy lighting).
2. Evidence of the easement from the owners of Outlot A for use of all of the designated driveway by the owner of Lot 1 should be provided.
3. Compliance with the comments and recommendations of the City Engineer
4. Compliance with the recommendations of the South Washington Watershed District (if any) that are concurred with by the City Engineer.

NOW, THEREFORE, BE IT RESOLVED, that the City Council for the City of Lake Elmo does hereby approve the Section 520 Site Plan based upon the recommendation of the Planning Commission.

ADOPTED, by the Lake Elmo City Council on the 1st day of February 2005.

Dean Johnston, Mayor

ATTEST:

Martin Rafferty, City Administrator

**Public Hearing ~ EAGLE POINT BUSINESS PARK 4TH ADDITION,
Preliminary Plat, PUD Amendment, and Credit Union Site Plan**

The Planner introduced an application to subdivide an existing outlot in Eagle Point 2nd Addition into one lot and one outlot. He reported that the Site Plan proposes a building of potentially 10,000 square feet on the newly created lot. A credit union is planned with capacity for 8 drive-thru lanes. The plat, site plan, and the PUD Plan amendment were reviewed by staff and affected outside agencies.

The Planner said the staff report highlights some areas for consideration:

1. Applicant proposes Timberline-style shingle and requests an amendment to the Eagle Point PUD plan to allow substitution of roofing to accommodate this specification.
2. The applicant should specify fixtures with full cut-off with no exposed bulbs or lenses for both parking area lighting and drive up teller stalls.
3. Access onto Hudson Boulevard has been extensively reviewed because of future traffic issues that are forecasted. A traffic study was provided by the developer. The City Engineer asked for a painted left turn lane on Hudson.
4. Evidence of an easement for full use of the driveway should be provided to the City.

The Planner suggested the following Findings:

1. The Preliminary and Final Plats generally comply with code standards of Section 400, and the approved PUD Plan of Eagle Point Business Park .
2. The 520 Site Plan generally complies with the zoning ordinance standards, other applicable standards of the city code, and the approved PUD Plan of Eagle Point Business Park .

The Planner reported that Staff recommends approval of the Preliminary Plat, PUD Plan Amendment, and Site Plan subject to conditions and observations in the staff report and concurrence by the City Engineer.

Dale Glowa, United Properties

Mr. Glowa said that City and County Credit Union is one of the largest in the Twin Cities. He introduced Pat Pierce, President of City and County along with Steve Dowdy of Pope Associates.

Commissioner Ptacek asked the applicant if they can comply with the lighting ordinance.

Excerpt Draft Lake Elmo Planning Commission Meeting Minutes of Jan. 24, 2005
EAGLE POINT 4TH ADDITION, Preliminary Plat, PUD Plan Amendment, & Site Plan

Mr. Glowa said they can. He said the lighting is consistent with other properties in the business park, with the same lighting fixtures and for the teller lanes they will use canned recessed lighting. He said an easement agreement for shared access for the driveway will be drafted.

Commissioner Roth questioned the trash facility location adjacent to the frontage road.

Mr. Glowa said the location is for ease of use without interfering with ingress and egress. He said an earth berm and a brick enclosure will essentially make it disappear from view on Hudson Blvd.

THE CHAIR OPENED THE PUBLIC HEARING AT 7:20 P.M.

Nobody offered testimony.

THE CHAIR CLOSED THE PUBLIC HEARING AT 7:21 P.M.

M/S/P, Ptacek/Armstrong, To recommend the Preliminary Plat and Final Plan of EAGLE POINT 4TH ADDITION, conditional upon payment of Park Dedication Fees as specified by the existing Eagle Point Development Agreement; and approval of the Section 520 Site Plan for City County Credit Union on the condition that asphalt shingles will not be used.

Deziel questioned the appearance and standard of standing seam metal roofing. He suggested that quality asphalt shingles are American and rural looking. He said the applicant made a statement of a problem with metal roofing on the other buildings causing glare.

The Planner noted that the metal roofing on the other buildings in Eagle Point Business Park appears to be copper colored. Dark green standing seam metal might not glare.

Chairman Helwig agreed with Commissioner Deziel, and suggested the Commission take another look at the code regarding roofing materials.

VOTE: 5:2:1 Schneider, Sedro, Armstrong, Ptacek, Sessing (Yea)/ Deziel, Roth (Nay)/ Helwig (Abstain).

LAKE ELMO PLANNING COMMISSION STAFF REPORT

Date: January 14, 2005 for the Meeting of January 24, 2005

Applicant: United Properties

Location: Northeast Corner of Inwood Avenue and Hudson Blvd.

Requested Action: Preliminary Plat, Site Plan and PUD Plan Amendment

Land Use Plan Guiding: Business Park (BP)

Existing Zoning: Business Park (BP), Subject to an Approved PUD Plan

Site History and Existing Conditions:

The Final Plat of Eagle Point Business Park 2nd Addition, creating Outlot A was approved by the City Council on September 4, 2001. The site of this application is the southwesterly 2.06 acres of Outlot A. The City had previously approved a PUD Plan encompassing the entire 120 acres of the Eagle Point Business Park, including this site. Exhibits to the PUD Plan documentation provide for allowable uses, lot specifications, master signage and related development standards. Where the PUD does not address a particular development standard, the Business Park and other related City Code standards are applicable. A proposed departure from those standards not already addressed by the PUD Plan should be processed as a PUD Plan Amendment.

The site is vacant today, except for one of the Eagle Point Business Park monument signs – located at the extreme southwest corner of the site. City water and sewer services are both available to the site.

Discussion and Analysis:

The applicant proposes to replat Outlot A to create the 2.09 acre site at the Southwest corner. The original design of Eagle Point Business Park was as several large outlots and the public street right-of-way. The intent (owner and City) was to replat the outlots into lots/blocks as the land area requirements for individual development projects became known. Several outlots have seen replats to this end since 1999.

The applicant also proposes construction of a 10,000 square foot office building on the newly created lot, requiring review by the City of a Section 520 Site Plan. The structure and site are designed for a 10,000 square gross structure, but the applicant proposes to construct only 6,000 square feet initially. We note that the minimum building area specified by the Eagle Point Business Park PUD Plan is 10,000 square feet. The building will be occupied by a credit union, so the site plan includes space for 8 drive through teller lanes, of which we understand 6 will be installed initially.

Staff has reviewed the proposed Plat and Site Plan for compliance with the design standards of the Business Park District and/or the Eagle Point Business Park PUD Plan, where the PUD Plan standards differ from the Zoning standards. – and they do so in some cases. Staff has found the

Plat and Site Plan documents to generally comply with all Business Park and PUD standards for Eagle Point, except as follows:

1. The applicant proposes Timberline shingles (asphalt) on the pitched roof. The Business Park architectural standards specify that all "visible" roofing materials be limited to shakes, slate, concrete or standing seam metal. An amendment to the Eagle Point PUD Plan (applicable to this site only) will be required to waive the Business Park roofing standard.
2. The applicant has provided a luminaries plan and a series of manufacturer light fixture specifications. The luminaries plan appears to retain exterior light within the site boundaries within the prescribed foot candle maximums from the light source. We note, however, that no lighting appears proposed under the drive in teller canopies (at least, the luminaries plan does not note foot candle values of consequence. Unlit teller canopies would be unusual. We suspect an oversight.
3. The light fixture specifications provided with the application are extensive, but the applicant has not noted which specification light fixture will be used. The fixtures must be full cut-off (flat panel lenses with no lense extensions below the fixture) in all cases (including any teller canopy lighting).
4. While not an ordinance exception, the issue of the access to Hudson Blvd. by the private drive serving this and future uses to the north has been addressed previously by the City Engineer. The applicant was required to complete a traffic analysis that demonstrates how the access will interface with Hudson Blvd. traffic - particularly eastbound left turns into the site. The City Engineer has reviewed that work and has found that , with the left turn lane modifications proposed, the access to Hudson Blvd. will function satisfactorily.
5. We note that the access drive serving the site is private, and straddles the property line to the east with proposed Outlot A. Evidence of the easement for use of all of that drive by the owner of Lot 1 should be provided.

The concurrent Preliminary and Final Plats appear to comply with Chapter 400 platting requirements, and the standards of the approved Eagle Point PUD Plan.

Findings and Recommendations:

1. The proposed Section 520 Site Plan generally complies with Zoning Ordinance standards and such standards found elsewhere in the City Code that apply, subject to conditions noted above - including City Council approval of a PUD Plan amendment to permit asphalt shingles on the structure to be located on Lot 1, Block 1, Eagle Point Business Park 4th Addition.
2. The Eagle Point Business Park 4th Addition preliminary and Final Plats comply with the standards of Section 400, and the Zoning Ordinance – as modified by the PUD Plan for Eagle Point Business Park.

Staff recommends approval of all for applications subject to the conditions listed.

Planning Commission Actions Requested:

Motion to recommend approval of Preliminary and Final Plats of Eagle Point Business Park 4th Addition conditioned on the payment of Park Dedication Fees as specified by the existing Eagle Point Business Park Development Agreement.

Motion to recommend approval of the PUD Amendment for the Eagle Point Business Park PUD Plan to permit asphalt shingles for the structure located on Lot 1, Block 1, Eagle Point Business Park 4th Addition.

Motion to recommend approval of the Section 520 Site Plan on Lot 1, Block 1, Eagle Point Business Park per plans staff dated January 14, 2005, subject to the following conditions:

1. The exterior fixtures must be full cut-off (flat panel lenses with no lense extensions below the fixture) in all cases (including any teller canopy lighting).
2. Evidence of the easement from the owners of Outlot A for use of all of designated drive by the owner of Lot 1 should be provided.
3. Compliance with the comments and recommendations of the City Engineer
4. Asphalt shingles are permitted only upon approval of a PUD amendment to substitute for the Business Park District roofing standards for visible roofs.
5. Compliance with the recommendations of the South Washington Watershed District (if any) that are concurred in by the City Engineer.



Charles E. Dillerud, City Planner

Attachments:

1. Location Map
2. City Engineer's Memo
3. County Transportation Dept. Memo
4. Applicant's Documentation

MEMORANDUM

To:	<u>Chuck Dillerud</u>	Reference:	<u>Preliminary Plat Review</u>
Copies To:	<u></u>		<u>Eagle Point Business Park 4th</u>
	<u></u>		<u>City of Lake Elmo, Minnesota</u>
From:	<u>Thomas Prew, P. E.</u>	Comm. No.	<u>13267.000</u>
Date:	<u>January 11, 2005</u>	Routing:	<u></u>

I have reviewed the preliminary plat information dated January 6, 2005, and have the following comments:

Sanitary Sewer

The site is served with sanitary sewer. The service should enter the sewer system at the nearby manhole. An inside drop is permitted.

Water

8-inch watermain should be extended from the watermain along Hudson Boulevard to the north property line of this lot. It will be used for fire protection for future buildings to the north.

Surface Water

Ponding for this building will be built when the office buildings along the creek are constructed. Until then site run-off will be directed to our ditch along 4th Street.

Street Access

The traffic study conducted for this building shows that there will be some delay in the future leaving the site and getting onto Hudson Boulevard. Since this traffic is backing up on the site, it will not have an effect on traffic in the street.

Hudson Boulevard will need to be re-striped in order to accommodate a new left turn lane. The City could include that work as part of its annual striping program.



Department of Transportation
and Physical Development

Donald C. Wisniewski, P.E.
Director

Donald J. Thelsen, P.E.
County Engineer/Deputy Director

RECEIVED
JAN 12 2005

January 10, 2005

Kimberly Schaffel
Senior Program Support Assistant
City of Lake Elmo Planning Department
3800 Laverne Ave. N.
Lake Elmo, MN 55042

**CITY & COUNTY CREDIT UNION, PRELIMINARY/FINAL PLAT, EAGLE POINT BUSINESS
PARK 4TH ADDITION, SECTION 33, TOWNSHIP 29 NORTH, RANGE 21 WEST**

Dear Ms. Schaffel:

We have reviewed the Eagle Point Business Park 4th Addition plat and the City & County Credit Union site plans, as well as the traffic analysis. They are acceptable to the County's Transportation Division.

The landscape plan sheet indicates no work within County right of way. Minor grading and landscaping work are allowed in the right of way with a County permit. If field conditions require work outside of the construction limits shown on the plans, and encroaching on County right of way, the developer or contractor must obtain a permit from us.

Please call me at 651-430-4312 if you have any questions or comments.

Sincerely,

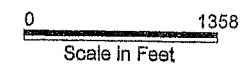
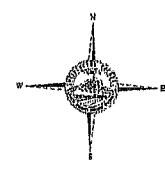
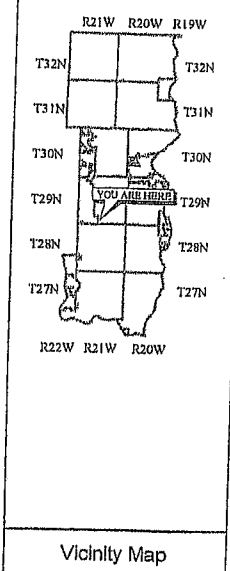
A handwritten signature in cursive script, appearing to read "Joe Lux".

Joseph Lux
Senior Transportation Planner

C: Tom Prew, TKDA, Lake Elmo City Engineer
Mike Welling, Washington County Surveyor
Marv McNeff, MN/DOT Transportation Planning

N:\WORD\Plat Review- Lake Elmo\City-County CU, 13.doc

OUTLOT A - EAGLE POINT BUSINESS PARK 2ND



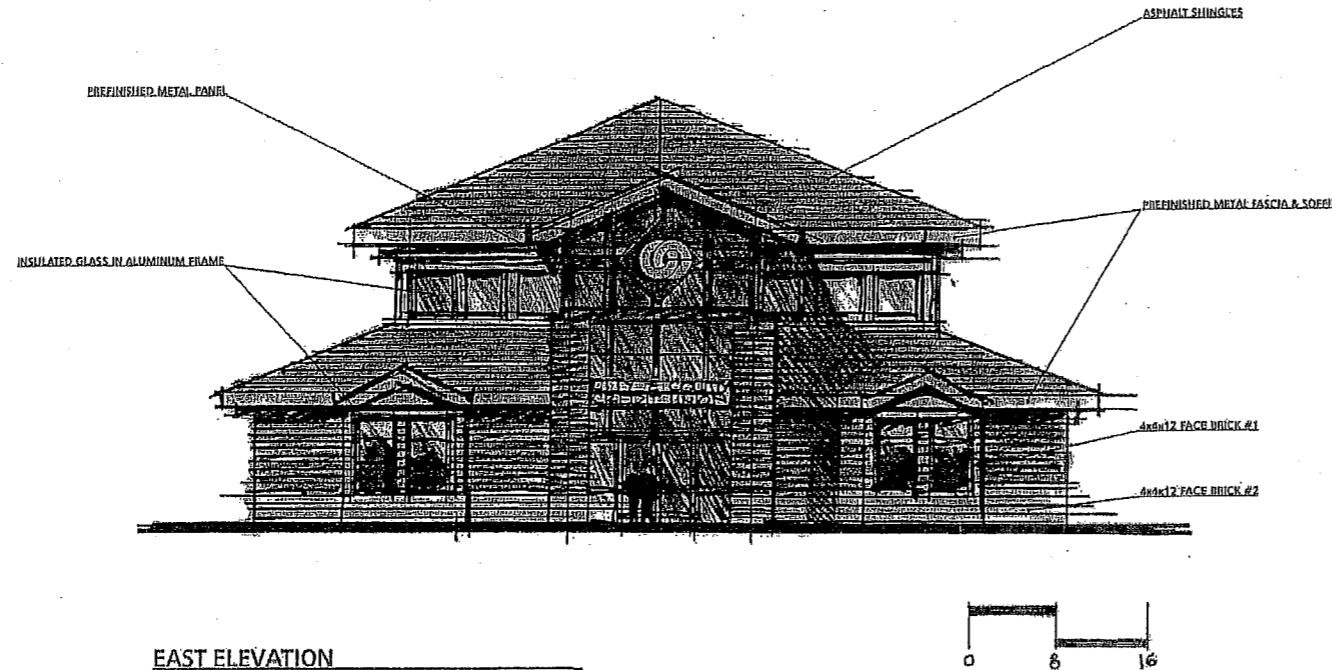
Location Map

33.029.21.42.0006

This drawing is the result of a compilation and reproduction of land records as they appear in various Washington County offices. The drawing should be used for reference purposes only. Washington County is not responsible for any inaccuracies.

Source: Washington County Surveyor's Office.
Phone (651) 430-6076

Parcel data based on AS400 information



CITY & COUNTY CREDIT UNION EAGLE POINT BUSINESS PARK SITE PLAN SUBMITTAL

PROJECT DIRECTORY

DEVELOPER
United Properties
2600 American Blvd. West
Bloomington, Minnesota 55421
(612) 831-1000
(612) 832-2004 FAX

GENERAL CONTRACTOR
United Properties
2600 American Blvd. West
Bloomington, Minnesota 55421
(612) 831-1000
(612) 832-2004 FAX

STRUCTURAL ENGINEER
Clark Engineering Corporation
621 Elm Drive North
Minneapolis, Minnesota 55422
(612) 545-0100
(612) 541-0050 FAX

CIVIL
Metro Land Surveying & Engineering
12150 Fletcher Lane N., Unit B
Rogers, Minnesota 55974
(763) 488-5100
(763) 488-5178 FAX

OWNER
CITY & COUNTY CREDIT UNION
144 11th Street East
St. Paul, Minnesota 55101
(651) 220-2736
(651) 220-5155 FAX

ARCHITECT
Poep Associates Inc.
1855 Energy Park Drive
Saint Paul, Minnesota 55106
(651) 642-0300
(651) 642-1101 FAX

LANDSCAPE ARCHITECT
Tappi Cooley Associates
1270 Northland Drive, Suite 150
Mendota Heights, Minnesota 55120
(612) 821-9040
(612) 820-2707 FAX

LAND SURVEYING
Grade Land Surveying, LLC
9001 East Bloomington Freeway (90W)
Suite 110
Bloomington, Minnesota 55425
(612) 881-2455
(612) 880-5634 FAX

SHEET INDEX

GENERAL		SHEET INDEX / PLATES SUBMITTAL
AD	TITLE SHEET - MAP, DIRECTORY, SHEET INDEX	•
	FINAL PLAN-EAGLE POINT BUSINESS PARK, 4TH ADDITION	•
	FINAL PLAN-EAGLE POINT BUSINESS PARK, 4TH ADDITION	•
CIVIL		
C1	GRADING AND EROSION CONTROL PLAN	•
C2	PRELIMINARY UTILITY PLAN	•
C3	CONSTRUCTION DETAILS	•
LANDSCAPE		
L1	LANDSCAPE PLAN	•
ARCHITECTURAL		
A1	SITE PLAN	•
A2	FLOOR PLAN	•
A3	EXTERIOR ELEVATIONS	•
A4	ROOF PLAN	•
A5	BUILDING SECTIONS	•
ELECTRICAL		
	SITE LIGHTING PHOTOGRAPHICS STUDY	•

LOCATION MAP



POPE
ASSOCIATES

ARCHITECT:
INTERIOR DESIGNER:

1255 ENERGY PARK DRIVE
ST. PAUL, MINNESOTA 55108-3111
PH: (651) 642-2700
FAX: (651) 642-1110

EAGLE POINT
BUSINESS PARK

LAKE ELMO,
MINNESOTA

UNITED PROPERTIES

CITY & COUNTY
CREDIT UNION

*file copy
KAS*

RECEIVED
JAN 07 2005

*1/14/05
ed*

TITLE SHEET

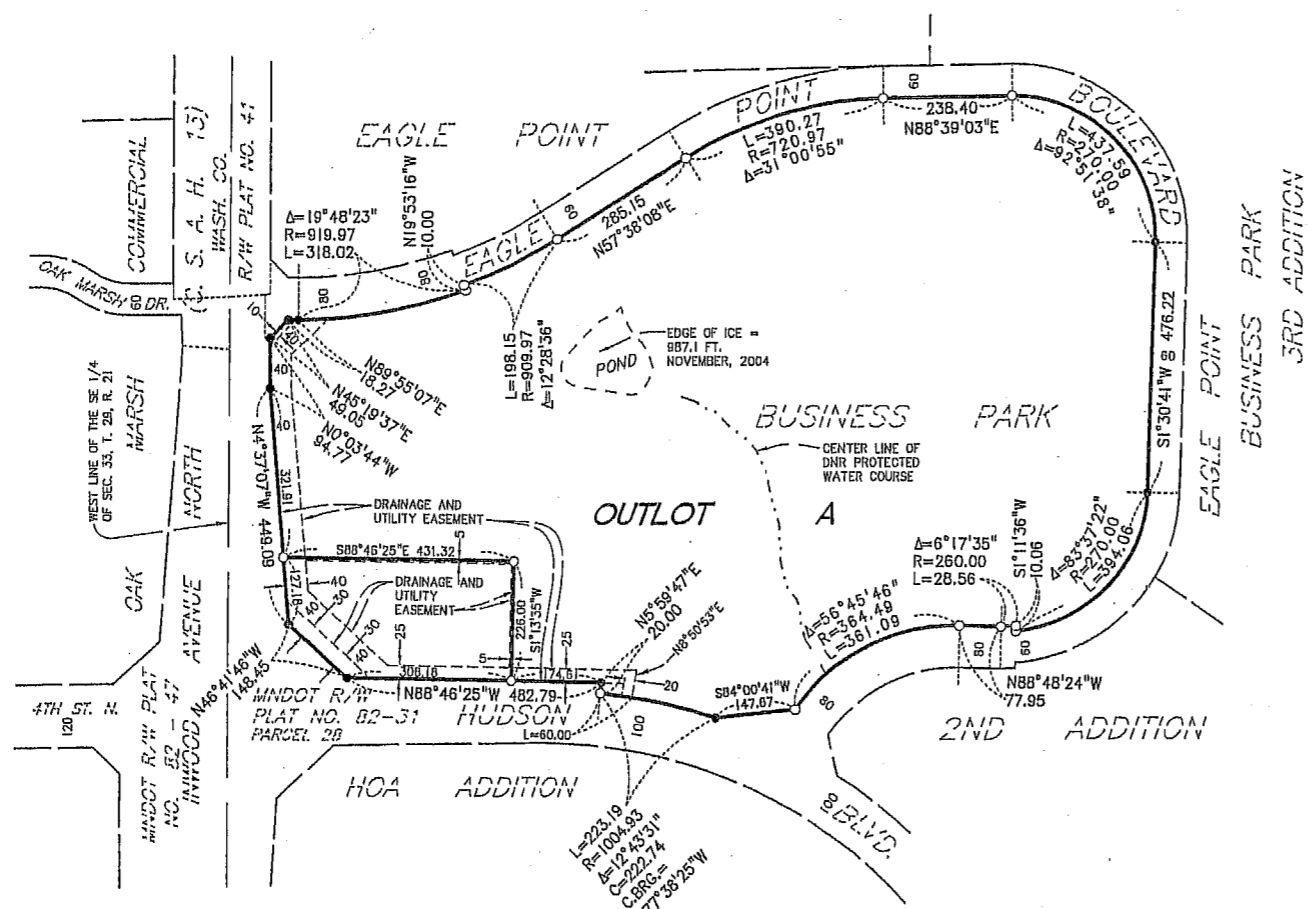
CITY SITE PLAN REVIEW 1/7/05

76372-0410
JCU
XXX
12/22/04

SHEET

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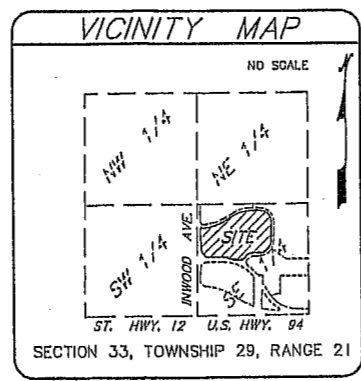
EAGLE POINT BUSINESS PARK 4TH ADDITION



○ Denotes set, 1/2 inch by 16 inch iron pipe with plastic cap inscribed RLS 16456
● Denotes found, 1/2 inch by 16 inch iron pipe with plastic cap inscribed RLS 15480.
BENCH MARK:
Railroad spike in south face of 3rd set of double power poles east of Inwood Avenue North. Elevation = 1012.68 feet (N.G.V.D. 1929)

200 0 200 400
SCALE IN FEET
1 inch = 200 feet

Orientation of this bearing system is based on the Washington County Coordinate system. (NAD83)



KNOW ALL BY THESE PRESENTS: That UNITED LAND LLC, a Minnesota limited liability company, owner and proprietor of the following described property, situated in the County of Washington, State of Minnesota to wit:

Outlot A, EAGLE POINT BUSINESS PARK 2ND ADDITION, according to the plat thereof filed of record in the office of the Registrar of Titles in and for Washington County, Minnesota.

As evidenced by Certificate of Title No. _____

Has caused the same to be surveyed and platted as EAGLE POINT BUSINESS PARK 4TH ADDITION, and does hereby donate and dedicate to the public the easements created by this plat for drainage and utility purposes only.

In witness whereof said UNITED LAND LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officers this _____ day of _____, 2005.

UNITED LAND LLC

BY: _____ Its _____ and _____ Its _____

STATE OF _____
COUNTY OF _____

The foregoing instrument was acknowledged before me this _____ day of _____, 2005 by _____ Its _____ and _____ Its _____ of said UNITED LAND LLC, a Minnesota limited liability company, on behalf of said company.

Notary Public, _____ County, _____
My Commission Expires _____

I, John K. Barnes, hereby certify that I have surveyed and platted the property described on this plat as EAGLE POINT BUSINESS PARK 4TH ADDITION; that this plat is a correct representation of the survey; that all distances are correctly shown on the plat in feet and hundredths of a foot; that all monuments have been correctly placed in the ground as shown; that the outside boundary lines are correctly designated on the plat; and that there are no wet lands as defined in MS 505.02, Subd. 1 or public highways to be designated other than as shown.

John K. Barnes, Land Surveyor
Minnesota License No. 16456

STATE OF MINNESOTA
COUNTY OF _____

The foregoing Surveyor's Certificate by John K. Barnes, Minnesota Registration No. 16456, was acknowledged before me this _____ day of _____, 2005.

Notary Public, _____ County, Minnesota
My Commission Expires _____

This plat of EAGLE POINT BUSINESS PARK 4TH ADDITION was approved by the City Council of the City of Lake Elmo, Minnesota, this _____ day of _____, 2005, and hereby certifies compliance with all requirements as set forth in Minnesota Statutes, Section 505.03, Subd. 2.

SIGNED: _____
Mayor

SIGNED: _____
City Administrator

Pursuant to Chapter 820, Laws of Minnesota, 1971, this plat has been approved this _____ day of _____, 2005.

BY: _____
Washington County Surveyor

BY: _____
Assistant County Surveyor

There are no delinquent taxes, the current taxes due and payable for the year 2005 have been paid, and transfer has been entered this _____ day of _____, 2005.

BY: _____
Washington County Auditor/Treasurer

BY: _____
Deputy

Document Number _____

I hereby certify that this instrument was filed in the Office of the Registrar of Titles for record on this _____ day of _____, 2005 at _____ o'clock _____ M., and was duly recorded in Washington County Records.

BY: _____
Washington County Registrar of Titles

BY: _____
Deputy

Sunde Land Surveying, LLC.

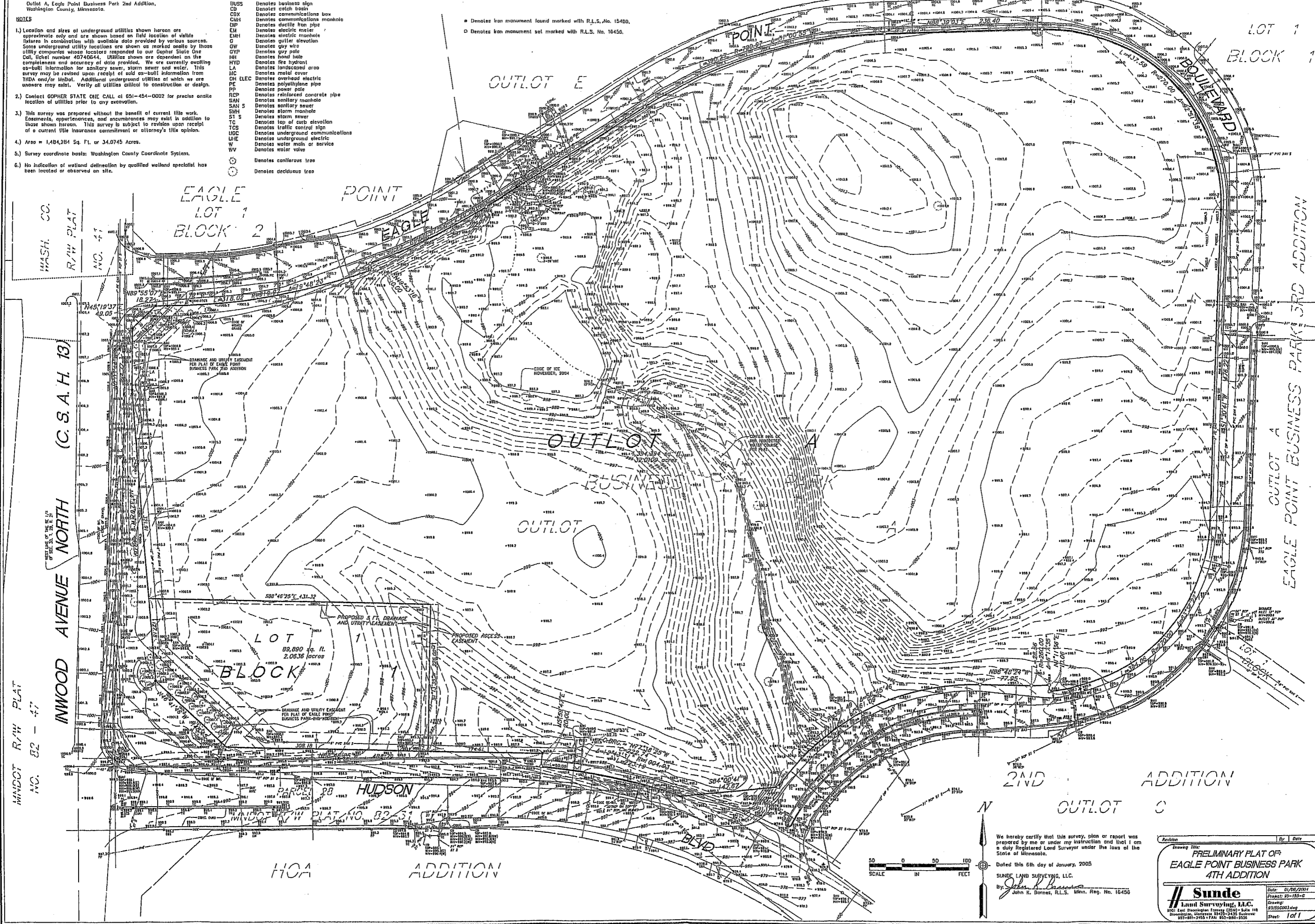
Outlot A, Eagle Point Business Park 2nd Addition,
Washington County, Minnesota.

NOTES

- 1.) Location and sizes of underground utilities shown hereon are approximate only and are shown based on field location of visible features in combination with available data provided by various sources. Some underground utility locations are shown as marked on file by those utility companies whose locations responded to our Gopher State One Call, ticket number 40740644. Utilities shown are dependent on the completeness and accuracy of data provided. We are currently awaiting as-built information for sanitary sewer, storm sewer and water. This survey may be revised upon receipt of said as-built information from THDA and/or MnDOT. Additional underground utilities of which we are unaware may exist. Verify all utilities critical to construction or design.
- 2.) Contact Gopher State One Call at 651-454-0002 for precise on-site location of utilities prior to any excavation.
- 3.) This survey was prepared without the benefit of current title work. Easements, appurtenances, and encumbrances may exist in addition to those shown hereon. This survey is subject to revision upon receipt of a current title insurance commitment or attorney's title opinion.
- 4.) Area = 1,484,284 Sq. Ft. or 34.0745 Acres.
- 5.) Survey coordinate basis: Washington County Coordinate System.
- 6.) No indication of wetland delineation by qualified wetland specialist has been located or observed on site.

- BUSS
CDX
CMH
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EMH
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MC
DN ELEC
PC
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RCP
SAN
SAN S
SMH
ST S
TC
TCS
UGC
UHE
W
WV
- Denotes business sign
Denotes catch basin
Denotes communications box
Denotes communications manhole
Denotes ductile iron pipe
Denotes electric meter
Denotes electric manhole
Denotes gutter elevation
Denotes guy wire
Denotes guy pole
Denotes hand hole
Denotes fire hydrant
Denotes landscaped area
Denotes metal cover
Denotes overhead electric
Denotes polyethylene pipe
Denotes power pole
Denotes reinforced concrete pipe
Denotes sanitary manhole
Denotes sanitary sewer
Denotes storm manhole
Denotes storm sewer
Denotes top of curb elevation
Denotes traffic control sign
Denotes underground communications
Denotes underground electric
Denotes water main or service
Denotes water valve
Denotes culverous tree
Denotes deciduous tree

- Denotes iron monument found marked with R.L.S. No. 15480.
○ Denotes iron monument set marked with R.L.S. No. 16456.



1/14/05
JAS

50 0 50 100
SCALE IN FEET

I hereby certify that this survey, plan or report was prepared by me or under my instruction and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.
Dated this 6th day of January, 2005
SUNDE LAND SURVEYING, LLC.
By: John K. Barnes, R.L.S. Minn. Reg. No. 16456

Revision		By		Date	
Drawing Title: PRELIMINARY PLAT OF EAGLE POINT BUSINESS PARK 4TH ADDITION					
Dated this 6th day of January, 2005					
SUNDE LAND SURVEYING, LLC.					
By: John K. Barnes, R.L.S. Minn. Reg. No. 16456					
Sunde Land Surveying, LLC.					
8001 East Hennepin Avenue (25th) Suite 118 Bloomington, Minnesota 55425-2433 612-881-2155 • FAX: 612-881-2525					
Date:	01/06/2005	Project:	95-153-G	Drawing:	95153G001.dwg
Sheet:	1 of 1				

1. All sanitary sewer, storm sewer and watermain utilities shall be furnished and installed per the requirements of the specifications of the City of Lake Elmo and the 1998 utilities specification of the City Engineers Association of Minnesota (CEAM). Standard utility, All HDPE connections to concrete manholes shall be connected with an internal rubber gasket or by using ADS injection system. All sanitary sewer main line shall be SDR 35. All sanitary sewer services shall be SDR 20.
2. A review of this construction methods related to exterior pavement areas is provided in the soils report.
3. All utility pipe bedding shall be compacted sand or the granular material the requirements of the City of Lake Elmo. All compaction shall be performed per the requirements of the CEAM Specification.
4. All connections to existing utilities shall be performed per the requirements of the City of Lake Elmo. The City of Lake Elmo Department of Engineering and Public Operations Department and the construction engineer must be notified at least 48 hours prior to any work within the public right of way, or work impacting public utilities.
5. All sanitary sewer and water services shall terminate at 6 feet from the building line unless otherwise noted.
6. The contractor shall notify DOPHER STATE ONE CALL at 651-454-0002 at least 48 hours, prior to performing any excavation or underground work.

7. The contractor shall field adjust watermain to avoid conflicts with sanitary sewer, storm sewer, and services as required. Insulation of water and sanitary sewer lines shall be provided where 0.0 feet minimum depth can not be attained.
8. All street repairs and patching shall be performed per the requirements of the City of Lake Elmo. All street repairs shall be controlled by the City of Lake Elmo and shall be established per the requirements of the Minnesota Manual of Uniform Traffic Control Devices (MMUTCD) of the City of Lake Elmo. This shall include all signs, barricades, cones, and flaggers as needed. All street signs shall be open to the public at all times. No road closures shall be permitted without the expressed authority of the City of Lake Elmo.
9. All new watermain must have a minimum of 0.0 feet of cover. Watermain must be grade depressed pursuant to City of Lake Elmo's Standard Specifications for Utility and Street Construction.
10. Adjust all existing structures, both public and private to the proposed grades where they do not comply with all requirements of the utility owner. Structures being replaced in paved areas must meet owners requirements for traffic loading.
11. Proposed Pipe Materials:
- NOISE**
- | | | |
|----------------|---------------------------------|--------------------------|
| Watermain | 6"ID PVC class 33 | No less than 0.0' deep. |
| Watermain | 6"ID PVC class 52 | No less than 0.0' deep. |
| Sanitary Sewer | PVC SDR 35 | No more than 20' deep. |
| Sanitary Sewer | PVC SDR 26 | 20" - 25" deep. |
| Storm Sewer | RCP CLASS 4 | 12" to 10" diameter. |
| Storm Sewer | RCP CLASS 4 | 24" to 33" diameter. |
| Storm Sewer | 24" and larger diameter. | 36" and larger diameter. |
| Storm Sewer | Back of curb, truck stack area. | POLYETHYLENE |

ONE FOOT CONTOUR INTERVAL

— — — — — 978.10 — — — — — DENOTES CONTOUR

① DENOTES EXISTING ELEVATION

② DENOTES FOUND MONUMENT

⊕ DENOTES MANHOLE

⊙ DENOTES CATCHBASIN

⊙+ DENOTES LIGHT POLE

⊙+ DENOTES STREET SIGN

⊙+ DENOTES SIGN

⊙+ DENOTES HYDRANT

TEL ⊙ DENOTES TELEPHONE PEDESTAL

EL ⊙ DENOTES ELECTRIC PEDESTAL

TV ⊙ DENOTES CABLE TV PEDESTAL

MAIL ⊙ DENOTES MAILBOX

⊙ DENOTES WOODEN POST

— — — — — ⊙ — — — — — DENOTES WATERMAIN

— — — — — ⊙ — — — — — DENOTES SANITARY SEWER

— — — — — ⊙ — — — — — DENOTES STORM SEWER

— — — — — ⊙ — — — — — DENOTES VIO TELEPHONE LINE

— — — — — ⊙ — — — — — DENOTES OVERHEAD POWER LINE

TEL ⊙ DENOTES ELECTRIC HAND HOLE

TEL ⊙ DENOTES GAS MANHOLE

⊙ DENOTES SANITARY MANHOLE

⊙ DENOTES WATER VALVE

— — — — — ⊙ — — — — — DENOTES PROPOSED STORM SEWER

MAIL ⊙ DENOTES PROPOSED CATCHBASIN

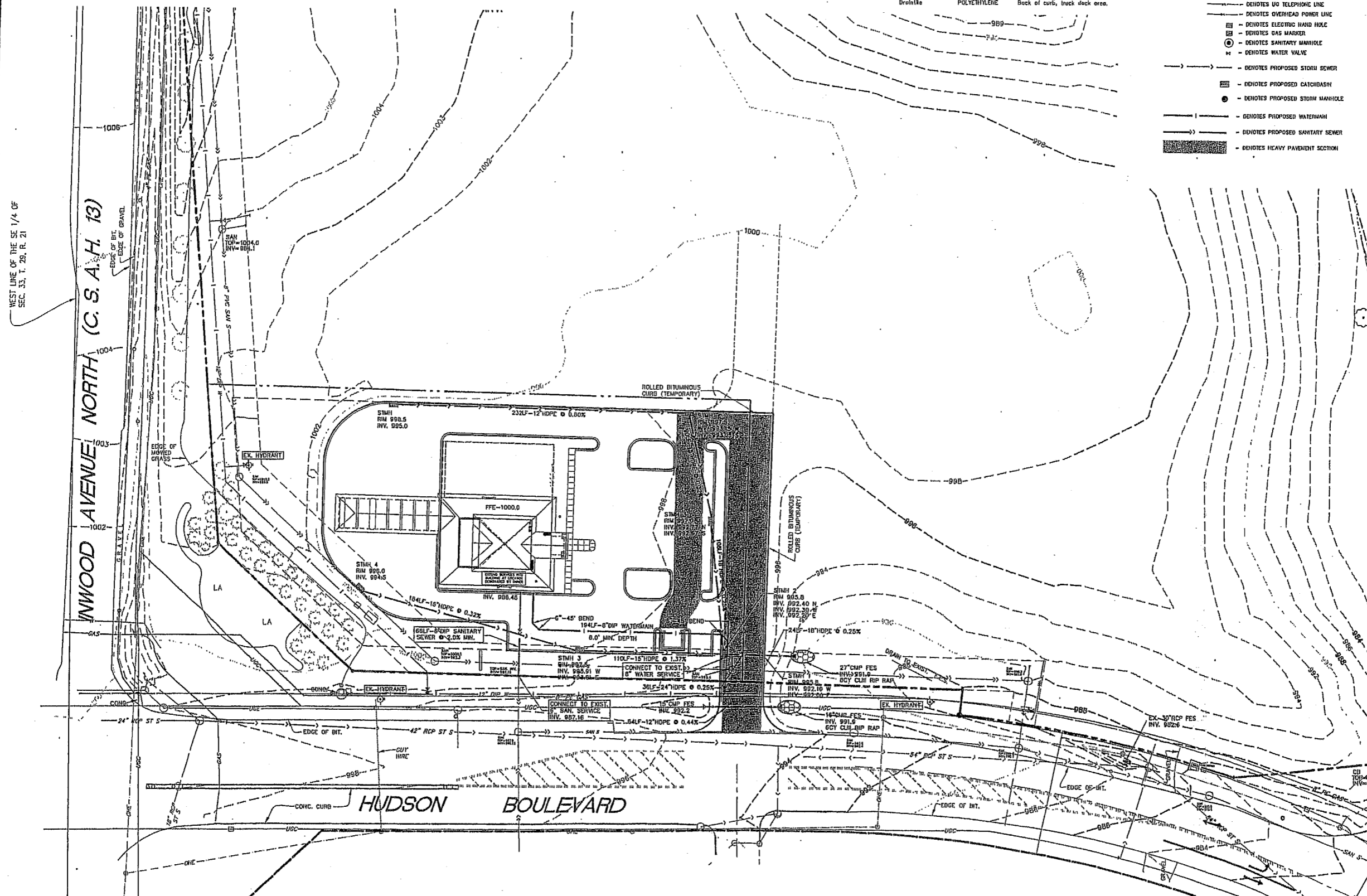
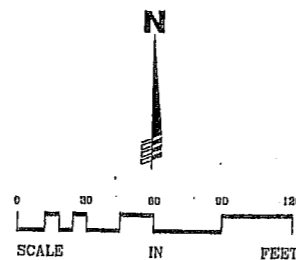
⊙ DENOTES PROPOSED STORM MANHOLE

— — — — — ⊙ — — — — — DENOTES PROPOSED WATERMAIN

— — — — — ⊙ — — — — — DENOTES PROPOSED SANITARY SEWER

— — — — — ⊙ — — — — — DENOTES PROPOSED PAVEMENT SECTION

- 1.) Location and size of all underground utilities shown herein are approximate only and are shown based on field location of visible features in combination with data provided by various sources.
- 2.) Contact DOWNEY STATE ONE CALL at 456-0002 for precise and site location of utilities prior to any excavation.



1255 ENERGY PARK DRIVE
ST. PAUL, MN 55106-0118
TEL (651) 642-1200
FAX (651) 642-1101

EAGLE POINT
BUSINESS PARK

LAKE ELMO,
MINNESOTA



PRELIMINARY UTILITY PLAN

Issues and challenges:

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

JOHN C. JOHNSON
DATE 1/8/05 LICENSE NO. 11546

Commission No. 1164,002

1991

Checked by _____

Date 1/6/05

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1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 2680, 26

1/14/05
 1048

CONSTRUCTION DETAILS

Issues and Revisions:

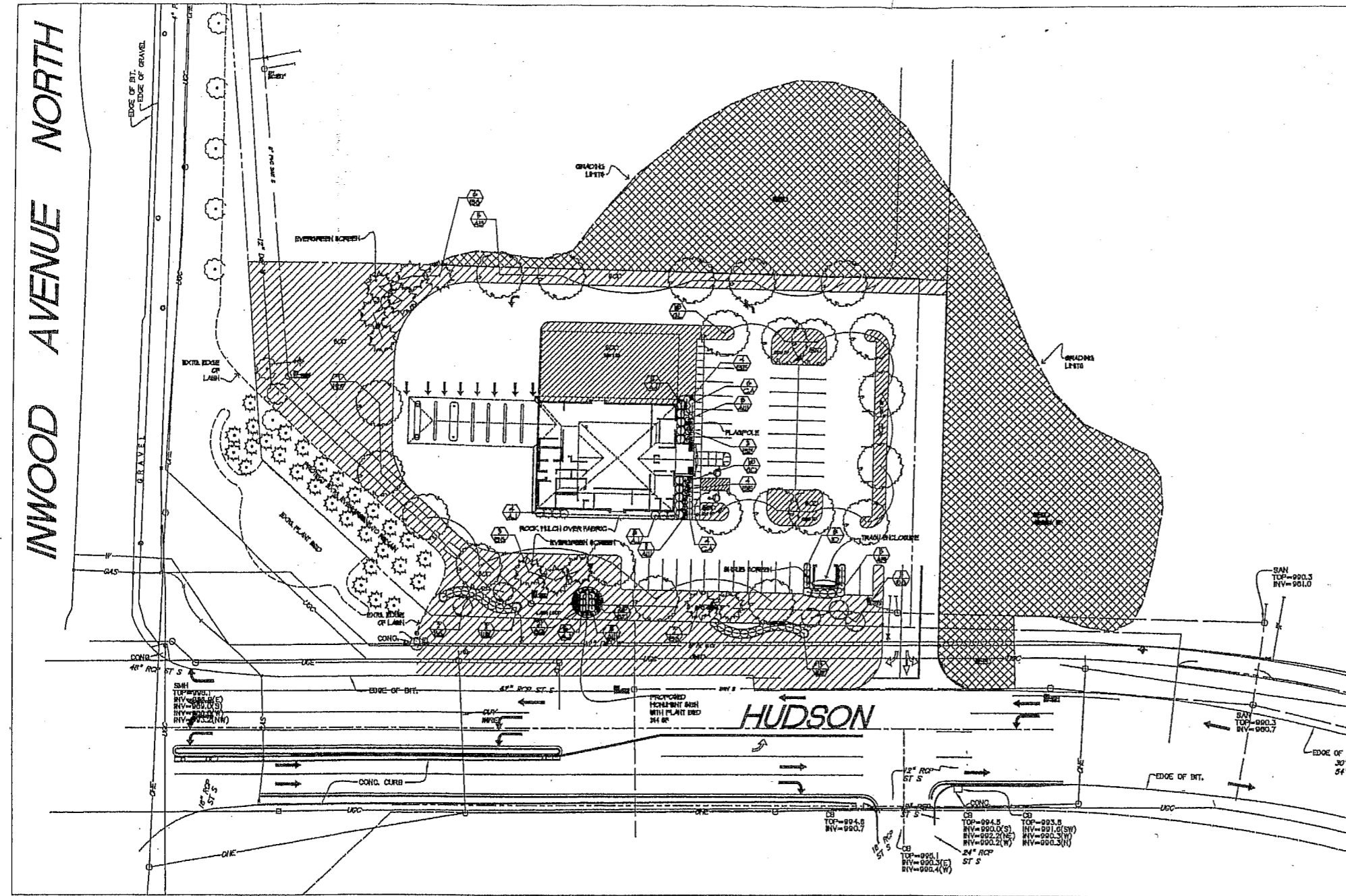
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

John C. Johnson
 DATE 1/6/05 LICENSE NO. 11848

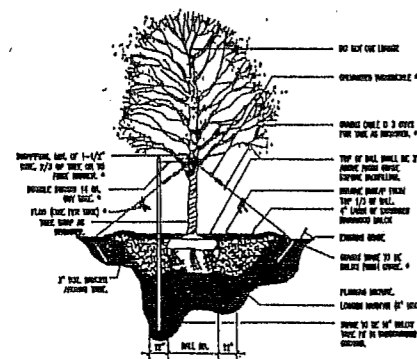
Construction No. 1104002
 Drawn by
 Checked by
 Date 1/6/05

<p>STANDARD MANHOLE</p> <p>PIPE SIZE: 12, 18, 24, 30, 36, 42, 48, 54, 60, 66, 72, 78, 84, 90, 96, 102, 108, 120, 132</p> <p>THREAD DIAMETER: 5/8" ROLLED THREADS (SEE NOTE 4), 3/4" CUT OR ROLLED, 1" CUT OR ROLLED</p> <p>CONCRETE PIPE JOINT TIES</p>	<p>SHALLOW CATCH BASIN</p> <p>PEDESTRIAN CURB RAMPS FOR SIDEWALKS</p>	<p>STANDARD INLET CASTING</p> <p>MATCH EXISTING BITUMINOUS SURFACING</p>	<p>GRATE CASTING</p> <p>CASTINGS SHALL BE NEENAH R-4370 TYPE C OR EQUAL</p>	<p>SURMOUNTABLE CONCRETE CURB AND GUTTER</p> <p>CONCRETE CURB AND GUTTER B612</p>
<p>CONCRETE PIPE JOINT TIES</p> <p>CONCRETE PIPE JOINT TIES</p>	<p>PEDESTRIAN CURB RAMPS FOR SIDEWALKS</p> <p>PEDESTRIAN CURB RAMPS FOR SIDEWALKS</p>	<p>MATCH EXISTING BITUMINOUS SURFACING</p> <p>MATCH EXISTING BITUMINOUS SURFACING</p>	<p>GRATE CASTING</p> <p>CASTINGS SHALL BE NEENAH R-4370 TYPE C OR EQUAL</p>	<p>CONCRETE CURB AND GUTTER B612</p> <p>CONCRETE CURB AND GUTTER B612</p>

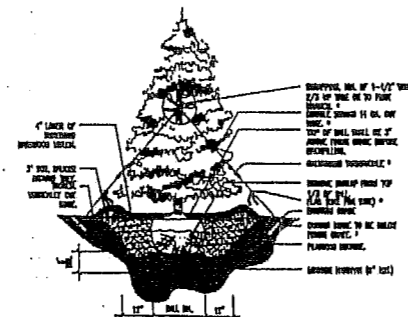
INWOOD AVENUE NORTH



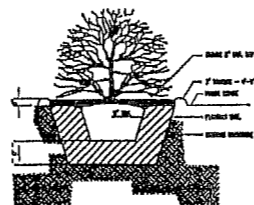
SITE LANDSCAPE PLAN
Scale: 1" = 30'



1 DECID. TREE PLANTING DETAIL
L1 No scale



2 CONIF. TREE PLANTING DETAIL
L1 No scale



3 SHRUB PLANTING DETAIL
L1 No scale

SEEDING SCHEDULE

- 1. SEEDING SCHEDULE
- 2. SEEDING SCHEDULE
- 3. SEEDING SCHEDULE

PLANT SCHEDULE

NOTES ALL NEED TO COMPLY WITH MINN. STAT. 111.01, 111.02, 111.03, 111.04, 111.05, 111.06, 111.07, 111.08, 111.09, 111.10, 111.11, 111.12, 111.13, 111.14, 111.15, 111.16, 111.17, 111.18, 111.19, 111.20, 111.21, 111.22, 111.23, 111.24, 111.25, 111.26, 111.27, 111.28, 111.29, 111.30, 111.31, 111.32, 111.33, 111.34, 111.35, 111.36, 111.37, 111.38, 111.39, 111.40, 111.41, 111.42, 111.43, 111.44, 111.45, 111.46, 111.47, 111.48, 111.49, 111.50, 111.51, 111.52, 111.53, 111.54, 111.55, 111.56, 111.57, 111.58, 111.59, 111.60, 111.61, 111.62, 111.63, 111.64, 111.65, 111.66, 111.67, 111.68, 111.69, 111.70, 111.71, 111.72, 111.73, 111.74, 111.75, 111.76, 111.77, 111.78, 111.79, 111.80, 111.81, 111.82, 111.83, 111.84, 111.85, 111.86, 111.87, 111.88, 111.89, 111.90, 111.91, 111.92, 111.93, 111.94, 111.95, 111.96, 111.97, 111.98, 111.99, 112.00

PLANT SCHEDULE

KEY	COMMON NAME	BOTANICAL NAME	QTY.	SIZE	CONTAINER
DECIDUOUS TREES					
AM	AUTUMN BLACK MAPLE	Acer x freemanii 'Jefferson'	5	2-1/2"	DB
AM	NORTHWOOD MAPLE	Acer rubrum 'Northern'	7	2-1/2"	DB
OL	GREENWAVE LINDEN	Tilia cordata 'Greenwave'	10	2-1/2"	DB
CONIFEROUS TREES					
DB	BLACK HILLS SPRUCE	Picea glauca densata	11	6"	DB
ORNAMENTAL TREES					
DB	SPRING SNOW CRABAPPLE	Malus x hybrid 'Spring Snow'	5	1-1/2"	DB
SHRUBS					
AM	TEICHT ANSORVITAE	Thuja occidentalis 'Teich'	5	4"	DB
AM	MAINT DOGWOOD	Cornus sericea 'Hem'	5	50"	90 CONT.
AM	ANTHONY WATERBURY SPINER	Opuntia x humilis 'Ant'	21	10"	90 CONT.
CA	CHARLES ALBAREL SPINER	Rosa rugosa 'Charles Albarel'	10	10"	90 CONT.
ME	DIANE BARRETT MONETIA	Monarda mollis 'Diane Barrett'	24	24"	90 CONT.
AM	ARCADIA JUNITER	Juglans edulis 'Arcadia'	23	24"	90 CONT.
PERENNIALS					
DB	STELLA DE GNO DAYLILY	Hemerocallis x Stella de Gno'	40	8"	90 CONT.
DB	BLACK-EYED SUSAN	Rudbeckia hirtelliflora	1	8"	90 CONT.

PLANTING NOTES

1. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MINNEAPOLIS AND THE STATE OF MINNESOTA.
2. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL ADJACENT PROPERTY OWNERS OF THE PLANTING OPERATIONS AND THE NECESSARY PREPARATION OF THE PLANTING AREA.
3. PLANT TREES AND SHRUBS AFTER FINAL GRADES ARE ESTABLISHED AND PRIOR TO PLANTING OF LANDSCAPE MATERIALS. PLANTING SHALL BE COMPLETED BY THE END OF THE PLANTING SEASON.
4. DO NOT TAKE SUBSTITUTIONS. IF SPECIFIED LANDSCAPE MATERIALS ARE NOT AVAILABLE, NOTIFY LANDSCAPE ARCHITECT, ALONG WITH A PROPOSAL FOR USE OF EQUIVALENT MATERIAL.
5. PROVIDE NEED AND HATCH IN ALL DISTURBED AREAS, USING EQUIVALENT MATERIAL. SEE NOTE IN REVISIONS LISTING.
6. PROVIDE 12" DEPTH ROCK MULCH OVER FASIS IN AREAS AND PLANT BEDS. ROCK MULCH TO BE DETERMINED.
7. HATCH TREES AND TREES BACKERS WITH BRANDED HATCHED MULCH (HATCHED MULCH). HATCH MATERIAL TO BE 12" HATCH MULCH. HATCH MULCH TO BE 12" HATCH MULCH. HATCH MULCH TO BE 12" HATCH MULCH.
8. CONTRACTOR HAS OPTION OF GUARANTEEING PLANTS THROUGH INSTALLATION AND 1 YEAR MAINTENANCE PERIOD IN LBS OF STAKES AND STAKES.
9. PROVIDE SOIL AMENDMENTS AT ALL TREE PIT AND BRUSH BED LOCATIONS. COMBINATION OF 1/2 PEAT OR HAY, 1/2 SAND, AND 1/2 TOPSOIL. DISPOSE OF GROUND. REVEAL PLANTING EXCAVATIONS. DO NOT MIX WITH PLANTING SOIL OR USE AS BACKFILL.
10. PROVIDE 12" DEPTH PLANTING SOIL AT ALL ANNUAL PERENNIAL BED EXCAVATIONS. COMBINATION OF 1/2 PEAT OR HAY, 1/2 SAND, AND 1/2 TOPSOIL. DISPOSE OF GROUND. REVEAL PLANTING EXCAVATIONS. DO NOT MIX WITH PLANTING SOIL OR USE AS BACKFILL.
11. LANDSCAPE CONTRACTOR SHALL KEEP PLANTING SITE CLEAN AND WORK AREA IN AN ORDERLY CONDITION DURING PLANTING OPERATIONS.
12. IF THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS ORDERED AND THE NUMBER SHOWN ON THE PLAN, THE NUMBER SHOWN ON THE PLAN SHALL GOVERN.
13. POLY-ETHYLENE SHALL BE BLACK VINYL, 60% CLOTH, BLACK POLYESTER OR DUTCH CORONA BARRIER OR EQUIVALENT.
14. SOIL SHALL BE 10% SAND AND 90% FINE GRAIN. LAY PARALLEL TO SLOPE CONTIGUOUS AND HAVE STAGGERED JOINTS THINLY PLACED. IMMEDIATELY PRIOR TO PLACING SOIL, CONTRACTOR SHALL APPLY 10-10-10 FERTILIZER AT RATE OF 10 LBS PER 1000 SQ. FT. ADJUST USE OF FERTILIZER IN PROPORTION TO TEST LOCAL CODES.

POPE ASSOCIATES

ARCHITECTS
INTERIOR DESIGNERS

1255 ENERGY PARK DRIVE
ST. PAUL, MN 55108-5110
PH: (651) 642-9200
FAX: (651) 642-1101

EAGLE POINT
BUSINESS PARK

LAKE ELMO,
MINNESOTA

UNITED PROPERTIES

CITY & COUNTY
CREDIT UNION

YAGGY COLBY
ASSOCIATES

LANDSCAPE ARCHITECTS
1270 NORTHLAND DR., SUITE 130
MINNETONKA, MN 55345
PH: (952) 831-3333
FAX: (952) 831-3333
EMAIL: INFO@YAGGY.COM

PRELIMINARY
LANDSCAPE
PLAN

Issue of Revision:
City Submission 1-7-00

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE
TODD R. WICHMAN
NAME
19974
NUMBER DATE

Checked by:
Date:

L1



SITE PLAN

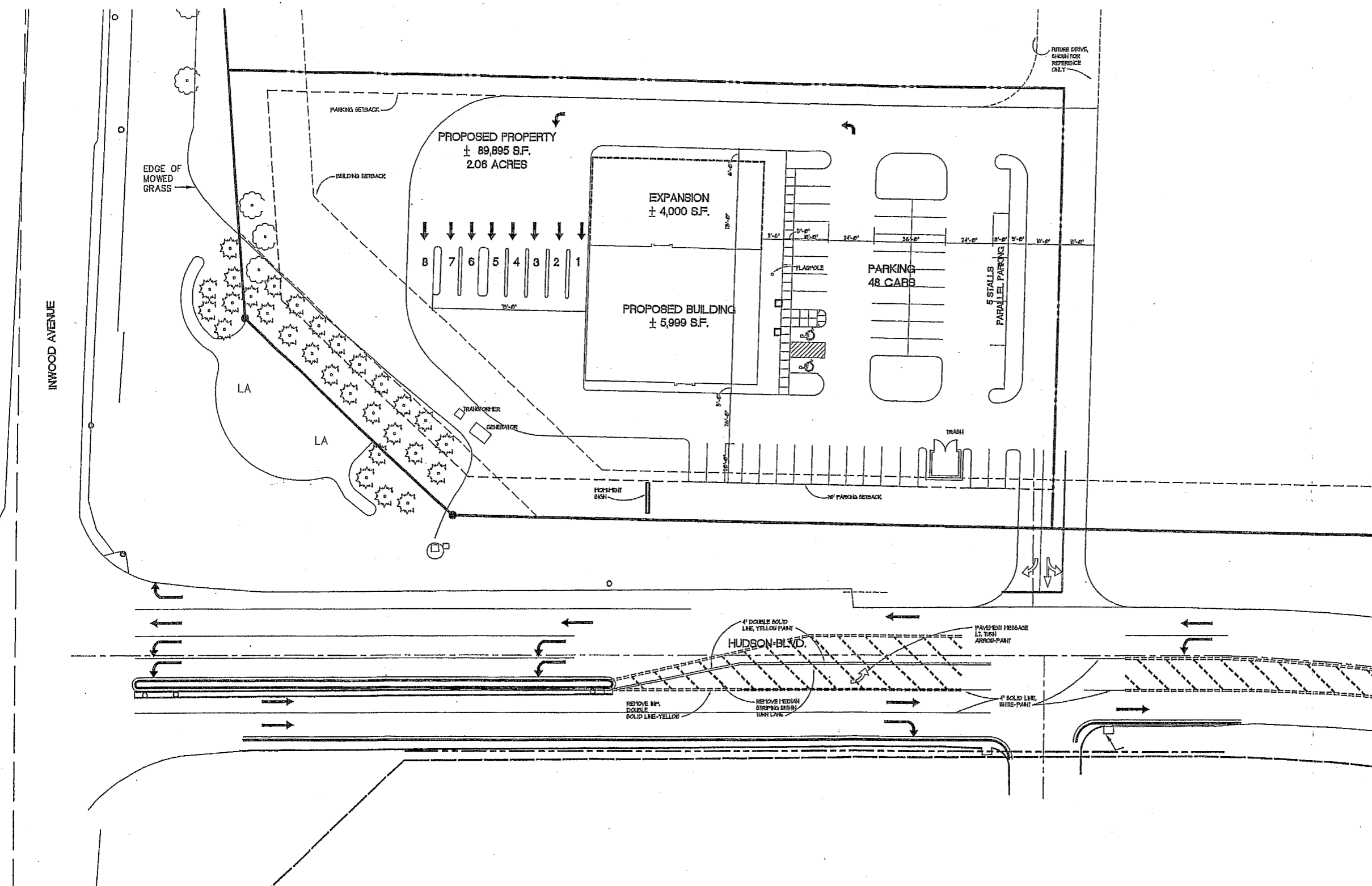
Drawn and Rechecked:
CITY SITE PLAN REVIEW 1/7/05

Consulting No. 76372-0410
Drawn by JDS
Checked by XXX
Date 12/22/04

SHEET

A1.1

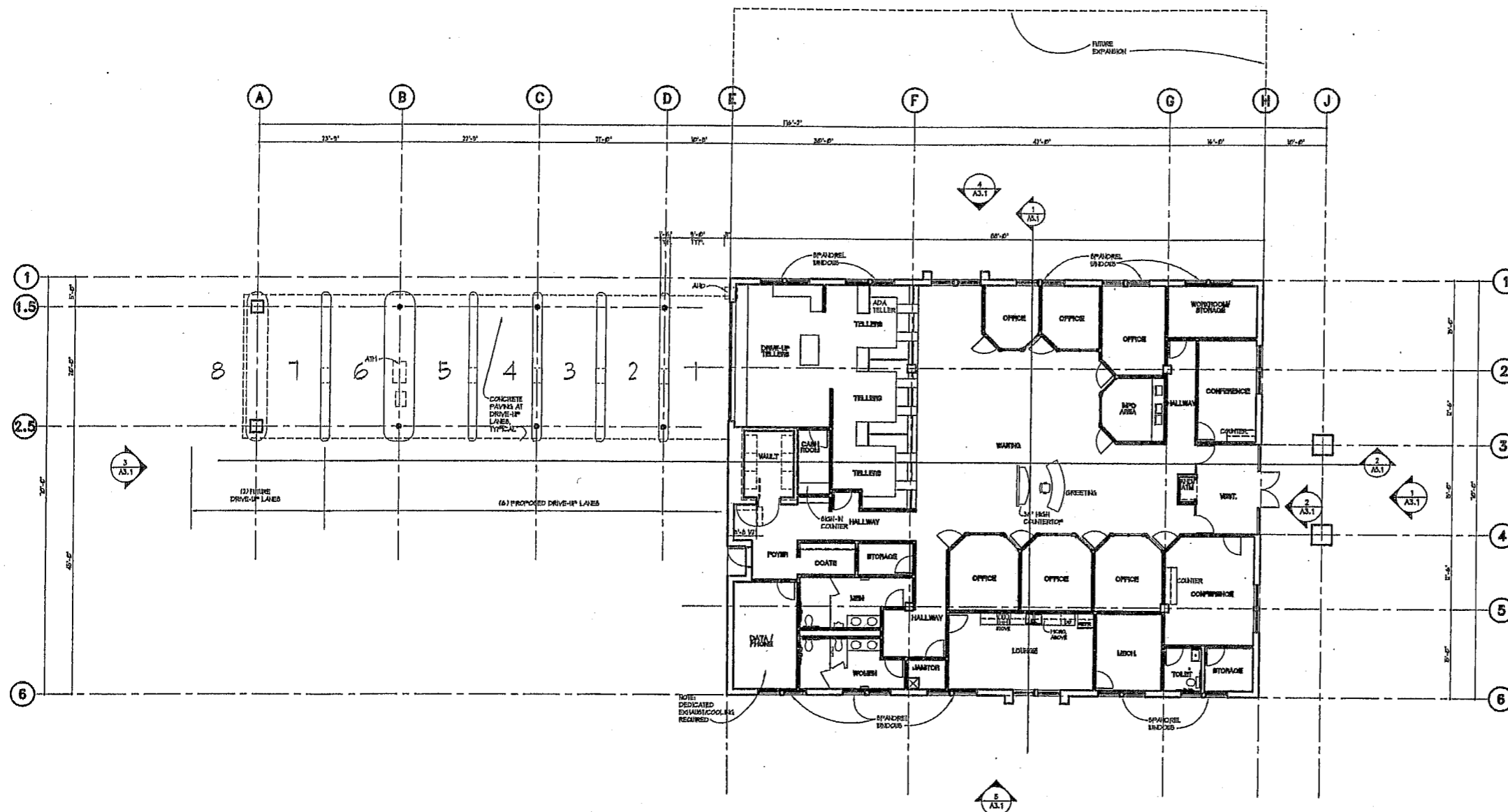
1/14/05
KAB



1 SITE PLAN
A1.1
1" = 20'-0"

2.06 ACRES





FLOOR PLAN
1/8" = 1'-0"

6,100 SQ. FT.



FLOOR PLAN

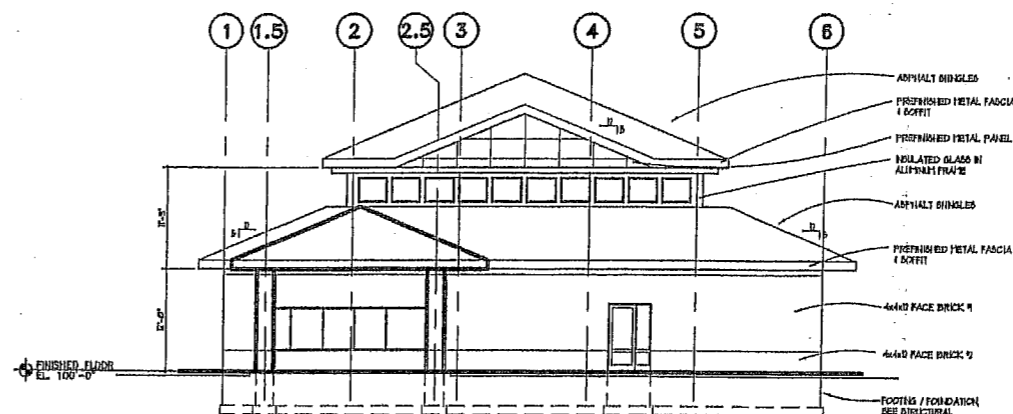
Drawn by	XXX
Checked by	XXX
Date	12/22/04

Location No.	78072-0410
Drawn by	JDJ
Checked by	XXX
Date	12/22/04

SHEDD

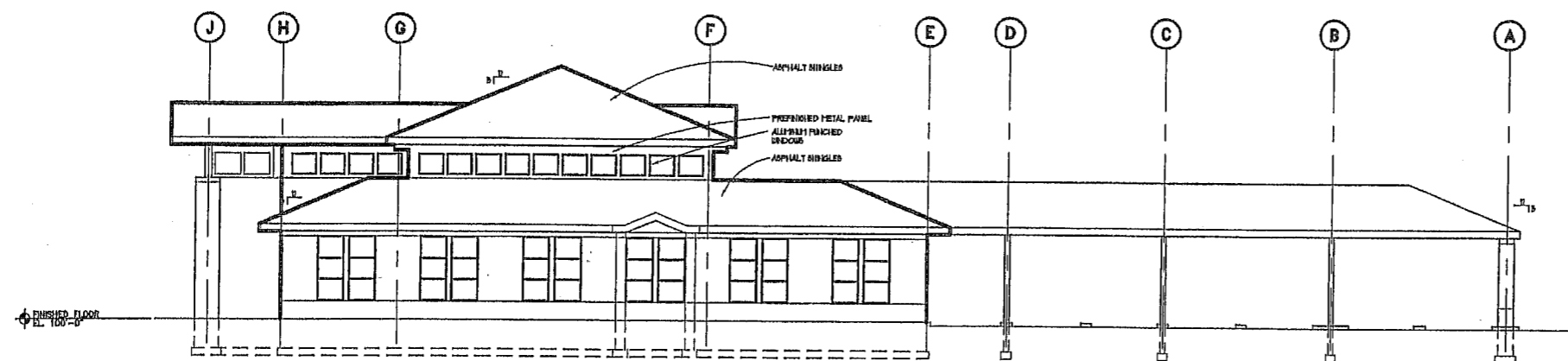
A2.1

1/14/05
1048

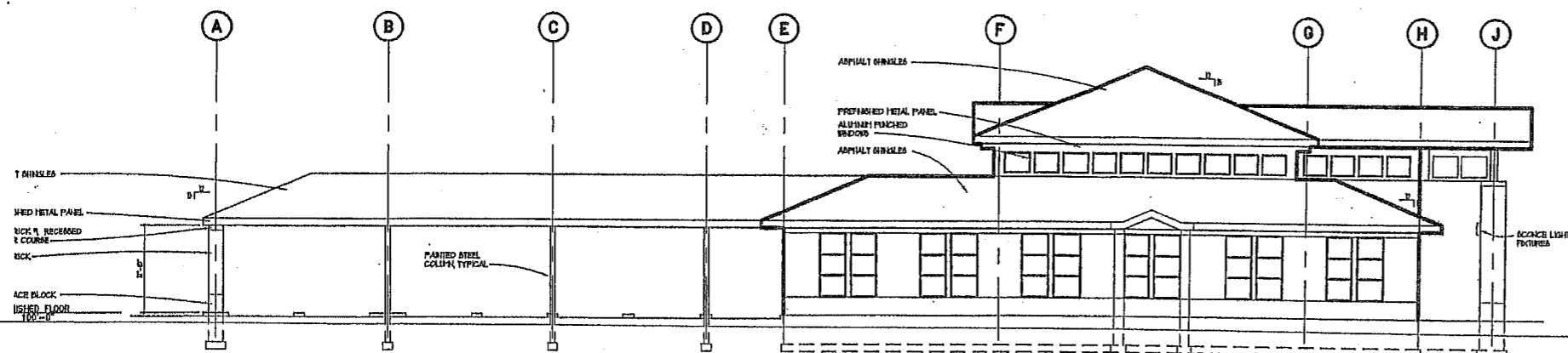


1 EAST ELEVATION
AA1 1/8"-1'-0"

2 PARTIAL EAST ELEV. AT ENTRY 8 WEST ELEVATION
 ADJ 1/8"-1-0" ADJ 1/8"-1-0"



4 NORTH ELEVATION
A&J 1/8"-1-0"



04-10-2017  SOUTH ELEVATION
1/8"-7-0"

POPE
ASSOCIATES

ARCHITECTS
INTERIOR DESIGNERS

1255 ENERGY PARK DRIVE
ST. PAUL, MN 55108-5110
PH. (651) 642-0200
FAX (651) 642-1101

EAGLE POINT
BUSINESS PARK

LAKE ELMO,
MINNESOTA

UNITED PROPERTIES

CITY & COUNTY
CREDIT UNION

EXTERIOR ELEVATIONS

Issues and Decisions:

CITY SITE PLAN REVIEW 1/7/05

Commission No.	75372-04110
Brought by	JDJ
Classified by	XXX
Date	12/22/04

REPORT

A3.1

1/14/05
JAB

POPE
ASSOCIATES

ARCHITECTS
INTERIOR DESIGNERS

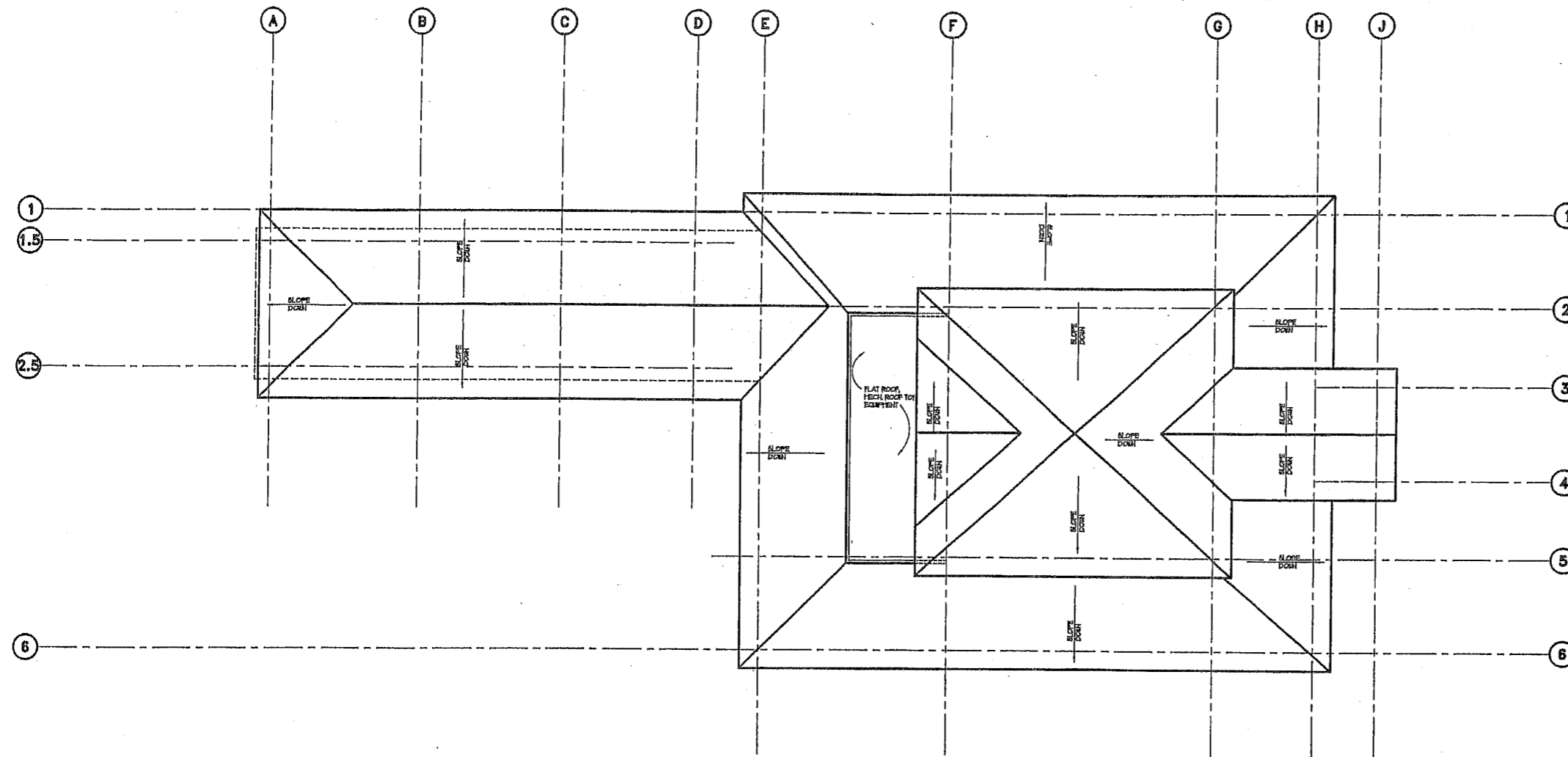
1255 ENERGY PARK DRIVE
ST. PAUL, MINN 55108-5118
PH: (651) 642-0200
FAX: (651) 642-1101

EAGLE POINT
BUSINESS PARK

LAKE ELMO,
MINNESOTA



1/14/05
RAB



1 ROOF PLAN
A4.1 1/8"=1'-0"

6,100 SQ. FT.



ROOF PLAN

Issues and Revisions:
CITY SITE PLAN REVIEW 1/7/05

Drawn by: JCU
Checked by: XXX
Date: 12/22/04

REVISION

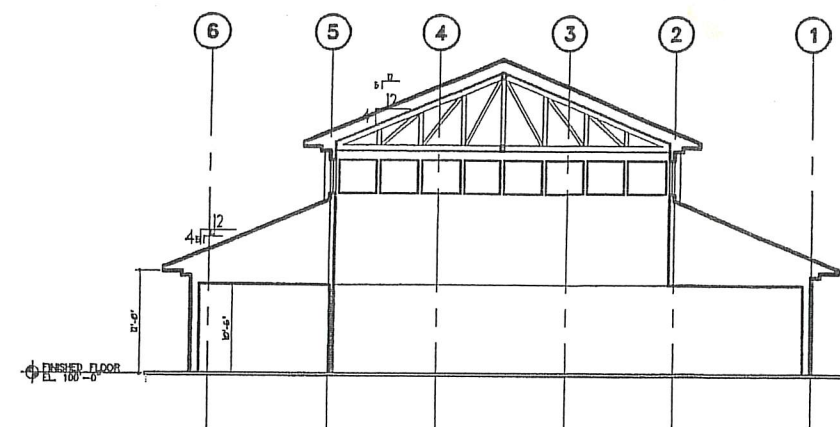
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EAGLE POINT
BUSINESS PARK

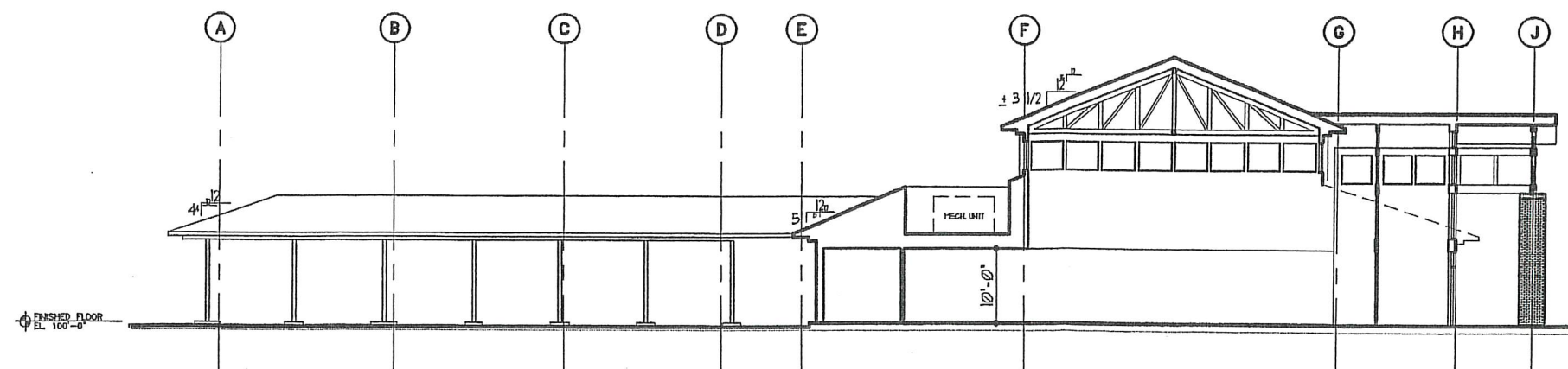
LAKE ELMO,
MINNESOTA



1/14/05
KAS



BUILDING SECTION A
1/8"=1'-0"



BUILDING SECTION B
1/8"=1'-0"

**BUILDING
SECTIONS**

Issues and Revisions:
CITY SITE PLAN REVIEW 1/7/05

Revision No. 75572-04110
Drawn by JDU
Checked by XXX
Date 12/22/04

SHEET

A5.1

Lake Elmo City Council Feb. 1, 2005	AGENDA SECTION: Planning, Land Use & Zoning	NO. 9.B
<u>Agenda Item:</u> Open House for draft Trails System Plan		
<p><u>Background Information for February 1, 2005:</u></p> <p>The Parks Commission has been working with the consultants (SEH) on the development of the Trails System Master Plan. The commission has chosen to host an Open House on February 16, 2005 from 5 to 8 pm in Council Chambers for presentation of the draft Trails Plan to the public for suggestions and feedback. The plan will also be presented on our web site.</p> <p>The original contract is for \$16,000.00. Due to a delay for lack of a quorum on August 16, 2004, SEH is billing us an additional \$240.00 for consultant time for that meeting.</p> <p>Attached is a Letter of Agreement we received from SEH for additional services (outside the scope of services in our contractual agreement) to support the Open House. The cost for the consultant's support and materials requested for display purposes is an additional \$1,208.00.</p>		
<p><u>Action Requested:</u></p> <p>Motion _____ Seconded _____ to direct staff to sign the Letter of Agreement and to approve the additional expenditure of \$1,448.00 to cover the additional cost associated with our contractual agreement for a Trails System Plan (\$240) and the cost for support and materials for the Trails Plan Open House (\$1,208).</p>	<p><u>Person responsible:</u></p> <p>CED</p>	
<p><u>Attachments:</u></p> <p>Letter of Agreement from SEH dated Jan. 28, 2005</p>	<p><u>Time Allocated:</u></p>	



January 28, 2005

RE: Comprehensive Trail Plan
City of Lake Elmo
Additional Services
SEH No. A-LAKMO0401

Mr. Charles E. Dillerud
City Planner
City of Lake Elmo
3800 Laverne Avenue North
Lake Elmo, MN 55042

Dear Chuck,

It is our understanding that the Open House for the Lake Elmo Trails System Master Plan has been set for Wednesday, February 16. SEH is happy to provide graphic services and expertise during this meeting. The Open House is an additional service that would be provided on an hourly basis as indicated below:

1. Glen Van Wormer	\$162/hr. @ 4 hrs.	\$648
2. (5) 24" x 36" Laminated Bds.	\$90 each	\$450
3. (1) 24" x 36" Trail, Laminated Bd.	\$110	<u>\$110</u>
	<u>Total</u>	<u>\$1208</u>

Due to the lack of a quorum, the Parks Commission meeting of August 16 was cancelled; however, the meeting was not cancelled in advance and resulted in additional services of \$240 (2 hours @ \$120/hr) being accrued to cover mileage and meeting time. A second meeting was scheduled and held August 30, and the cost for that meeting was covered in our original contract.

To provide the Open House services, and to cover the additional services that accrued from the first meeting, the total cost for additional services would equal **\$1,448**.

Please sign this letter in acceptance of the additional services and we will proceed with preparation of the materials for the Open House. Electronic files will be sent to Kimberly Schaffel for your use in promotion of the Lake Elmo Trails System Master Plan. Thank you, and if you have any questions, I can be reached at 612.758.6743.

Sincerely,

A handwritten signature in dark ink, appearing to read "Chris A. Behringer".
Chris A. Behringer, ASLA
Project Manager

Charles E. Dillerud
City Planner

Lake Elmo City Council February 1, 2005	Agenda Section: CITY ADMINISTRATOR'S REPORT	<u>No. 11. A</u>
<u>Agenda Item:</u> Ordinance 97-147 Planning Commission Appointments		
<p><u>Background:</u></p> <p>At the last City Council meeting a motion acted upon required staff to review the code related to Planning Commission appointments, terms and limits. It was referred to the Finance and Legislative Council Committee. The committee reviewed the code information and the following changes were recommended.</p> <ul style="list-style-type: none"> (a) Both appointment processes (planning/parks) be modified to mirror each other related to appointment process, terms and removal. (b) Maximum terms be designed as three year-three term consecutive. (c) Removal language should remain. (d) Terms should follow the appointed person...an appointed person should not fill an existing term. (e) A new provision- providing the City Council the authority to adjust terms in portion, if in a given year, more than 50% of the membership terms will expire in the same year. (f) Appointment to a full voting member position will always begin with alternate positions filled first unless alternate positions are vacant. <p>It was recommended to bring the modified Ordinance back to the February Council Committee however, Ordinance 97-147 is prepared and if Council agrees with the proposed changes, it could be acted upon. Should Council decide more discussion is necessary it should move back to the Council Committee for the February meeting along with proposed Ordinance 97-148 relating to Parks Commission.</p>		
<u>Action Items:</u> Resolution adopting Ordinance 97-147	<u>Person responsible:</u> Martin Rafferty, Administrator	
<u>Attachments:</u> Ordinance 97-147		

CITY OF LAKE ELMO
WASHINGTON COUNTY, MINNESOTA

ORDINANCE NO: 97-147
AN ORDINANCE AMENDING SECTION 210.03
OF THE LAKE ELMO MUNICIPAL CODE
RELATING TO COMPOSITION OF THE PLANNING COMMISSION

Section 1. Amendment: Section 210.03 of the Lake Elmo Municipal Code is hereby amended to read as follows; to wit:

210.03 Composition

The Planning Commission shall consist of nine (9) voting members and two (2) alternate members. The voting members shall be appointed by the City Council for a three (3) year term. Voting members may not serve more than three (3) consecutive terms. Alternate members shall be appointed to serve until there is a vacancy on the Planning Commission. The City Council shall appoint a first alternate and a second alternate who shall become voting members in the order of their appointment. In its discretion, the City Council may adjust the lengths of terms of office for Planning Commission members so that no more than one-half of the terms expire in any given year.

Section 2. Effective Date: This ordinance shall become effective upon the passage and publication according to law.

ADOPTED by the Lake Elmo City Council on the 1st day of February, 2005.

Dean Johnston, Mayor

ATTEST:

Martin J. Rafferty, City Administrator

Lake Elmo City Council February 1, 2005	Agenda Section: CITY ADMINISTRATOR'S REPORT	<u>No. 11. B</u>
<u>Agenda Item:</u> Ordinance 97-148 Parks Commission Appointments		
<p><u>Background:</u></p> <p>At the last City Council meeting, a motion acted upon requiring staff to review the code related to Planning Commission appointments, terms and limits. It was referred to the Finance and Legislative Council Committee.</p> <p>At the Committee meeting, the City Administrator recommended that the appointment process for Parks or any Commission should be consistent. The committee agreed with this proposed practice change. Therefore, the final changes adopted in the Planning Commission Ordinance should also be incorporated into the Parks Commission Code, pertaining to the appointment process. Ordinance 97-148 (Parks Commission) was prepared in combination with 97-147 (Planning Commission). Both deal with changes to the appointment process.</p> <p>The Council Committee reviewed the code information and the following changes were recommended.</p> <ul style="list-style-type: none"> (a) Both appointment processes (planning/parks) be modified to mirror each other related to appointment process, terms and removal. (b) Maximum terms be designed as three year-three term consecutive. (c) Removal language should remain. (d) Terms should follow the appointed person...an appointed person should not fill an existing term. (e) A new provision- providing the City Council the authority to adjust terms in portion, if in a given year, more than 50% of the membership terms will expire in the same year. (f) Appointment to a full voting member position will always begin with alternate positions filled first unless alternate positions are vacant. <p>The Council Committee recommended the Administrator bring a modified Ordinance back to the February Council Committee. Ordinance 97-148 (Parks) has been prepared consistent with 97-147 (Planning) creating a consistent appointment process for both Commissions.</p>		
<u>Action Items:</u> Resolution adopting Ordinance 97-148 if Ordinance 97-147 is adopted	<u>Person responsible:</u> Martin Rafferty, Administrator	
<u>Attachments:</u> Ordinance 97-148		

CITY OF LAKE ELMO
WASHINGTON COUNTY, MINNESOTA

ORDINANCE NO: 97-148
AN ORDINANCE AMENDING SECTION 225.03
OF THE LAKE ELMO MUNICIPAL CODE
RELATING TO COMPOSITION OF THE PARKS COMMISSION

Section 1. Amendment: Section 225.03 of the Lake Elmo Municipal Code is hereby amended to read as follows; to wit:

225.03 Composition

The Parks Commission shall consist of nine (9) voting members and two (2) alternate members. The voting members shall be appointed by the City Council for a three (3) year term. Voting members may not serve more than three (3) consecutive terms. Alternate members shall be appointed to serve until there is a vacancy on the Parks Commission. The City Council shall appoint a first alternate and a second alternate who shall become voting members in the order of their appointment. In its discretion, the City Council may adjust the lengths of terms of office for Parks Commission members so that no more than one-half of the terms expire in any given year.

Section 2. Effective Date: This ordinance shall become effective upon the passage and publication according to law.

ADOPTED by the Lake Elmo City Council on the 1st day of February, 2005.

Dean Johnston, Mayor

ATTEST:

Martin J. Rafferty, City Administrator

Lake Elmo City Council February 1, 2005	Agenda Section: CITY ADMINISTRATOR'S REPORT:	<u>No 11C.</u>
<u>Agenda Item:</u> Community Improvement Commission Appointment		
<p><u>Background Information for February 1, 2005:</u> The Community Improvement Commission consists of seven members. Currently, there are two vacancies. These vacancies have been advertised in the newspaper, newsletter, website and cable TV.</p> <p>The city has received an application from Brenda A. Anderson.</p>		
<p><u>Action Items:</u> M/S/ to appoint Brenda Anderson as a member of the Community Improvement Commission.</p>	<p><u>Person responsible:</u></p>	



City of Lake Elmo
3800 Laverne Avenue North
Lake Elmo, Minnesota 55042
(651) 777-5510 / Fax 777-9615

RECEIVED
JAN 07 2005

APPLICATION FOR COMMUNITY IMPROVEMENT COMMISSION APPOINTMENT

Date: 1/17/05

Name Brenda A Anderson

Address 8483 27th St N Lake Elmo, MN

Phone: W) H) 651-407-0430 C) 651-343-9569

1. What do you consider to be the major societal and law enforcement issues requiring improvement in the City of Lake Elmo?

2. What do you see as the role and function of the Community Improvement Commission?

3. What experience and qualifications do you have that you feel will contribute to the Community Improvement Commission's work, and will enable you to provide a service in this regard?

4. How much time do you have, or are you willing to devote to Community Improvement Commission activities?

5. What property or development interest, either direct or indirect, do you have within Lake Elmo?

Please, complete and return to City Hall.

The attachment to the Lake Elmo Community Improvement Commission Appointment Application:

1. Major issues requiring improvement in Lake Elmo:
 - a. Traffic issues
 - b. Families
 - c. Cimmaron
 - d. Immediate community needs that arise
2. The Community Improvement Commission should be like its name implies, a commission to seek out ways in which the city of Lake Elmo (which is the community) can be improved. There are always ways we can improve and this is an important step in making Lake Elmo the best it can be for all who reside here.
3. I have several qualifications that would allow me to contribute to this commission. First of all, I am very organized, efficient and follow through on things that I begin. I like to brainstorm and involve others in the decision making process. I am not afraid to ask the community for their support and ideas. I feel that I work well with others and would take a lead role in a project if I feel qualified in that area. This would be an exciting opportunity for me.
4. At this point, I am not sure how much time this commission will entail. I am a very productive person and know my limits. I usually do not try to take on more than what I can handle. I have hours each week that I can contribute to this commission. I will do whatever I can, with the time I have, to help improve this community.
5. I am married with three children who live in a single family residence in Lake Elmo.

Brenda Anderson
Phone: 651-407-0430