



3800 Laverne Avenue North
Lake Elmo, MN 55042

(651) 747-3900
www.lakeelmo.org

NOTICE OF MEETING

The City of Lake Elmo
Planning Commission will conduct a meeting on
Monday March 28, 2022
at 7:00 p.m.

AGENDA

1. Pledge of Allegiance
2. Approve Agenda
3. Approve Minutes
 - a. March 14, 2022
4. Public Hearings
 - a. 9404 Lake Jane Trail N. Variance to the side yard setback. The property owner has requested a 6-foot side yard setback variance. The applicant proposes to expand their living space by converting the current garage into living space and building a new garage addition directly in front of the existing garage. To build the addition along the existing driveway line, a 6-foot variance on the southwest side of the property is necessary. RS Zoning District, Shoreland Overlay Zone and Valley Branch Watershed District. PID: 1002921240014
 - b. 8930 Jane Road N. Variance for a second driveway. The property owner has requested a variance to allow a second driveway on a residential lot. Only one driveway is allowed. RS Zoning District, Shoreland Overlay Zone and Valley Branch Watershed District. PID: 0902921110016
 - c. 114441 20th Street North Conditional Use Permit for a Pool and Fitness Center. The property owner has requested approval of a Conditional Use Permit to construct a pool and fitness center on the property which is located in the Royal Golf Club 1st Addition. The use requires approval of a Conditional Use Permit. GCC Zoning District/PUD, Shoreland Overlay Zone and Valley Branch Watershed District. PID: 2502921120002
 - d. Comprehensive Plan Amendment. The City of Lake Elmo is proposing an amendment to the City's 2040 Comprehensive Plan to expand the MUSA (Metropolitan Urban Service Area). This proposal is to change the existing MUSA boundary to include the existing homes in the Tapestry at Charlottes' Grove subdivision located north of Sunfish Lake Park and off of 45th Street North. The City is proposing this amendment to accommodate a sewer improvement project the City Council approved to provide city sanitary sewer to the 65 existing homes. The amendment also includes changes to the text of the Plan and to maps and tables in the City's Sanitary Sewer Plan to accommodate the expanded sanitary sewer area. This proposal does not include new development.
5. New/Unfinished Business: N/A
6. Communications/Updates
 - a. City Council Update

3-15-2022 – Tabled decision on One Energy Solar Farm CUP to April 5th, 2022

- b. Staff Updates – City Planner starts April 4th, 2022
- c. Upcoming PC Meetings:
 - 1. April 11, 2022
 - 2. April 25, 2022

7. Adjourn

***Note: Every effort will be made to accommodate person or persons that need special considerations to attend this meeting due to a health condition or disability. Please contact the Lake Elmo City Clerk if you are in need of special accommodations.



**City of Lake Elmo Planning Commission
Meeting
Minutes of March 14, 2022**

Commission Chair Risner called to order the meeting of the Lake Elmo Planning Commission at 7:00 p.m.

COMMISSIONERS PRESENT: Graen, Mueller, Rehkamp, Vrieze

COMMISSIONERS ABSENT: Risner, Steil

STAFF PRESENT: Planning Director Just

Pledge of Allegiance at 7:00 PM

Commissioner Vrieze nominated Commissioner Graen for Temporary Chair M/S/P: Vrieze/Graen.
Commissioner Graen voted in as temporary chair. **Vote: 4-0, motion carried unanimously.**

Approve Agenda:

M/S/P: Vrieze/Rehkamp moved to approve the agenda. **Vote: 4-0, motion carried unanimously.**

Approve Minutes:

M/S/P: Vrieze/Mueller moved to approve the Planning Commission minutes of January 24th, 2022. **Vote: 4-0, motion carried unanimously.**

Public Hearings:

The City of Lake Elmo has initiated text amendments to the zoning ordinance, Article XII – Urban Residential Districts. The proposed text amendments will alter Section 105.12.700 – Purpose And District Descriptions and Section 105.12.720 – Lot Dimensions And Building Bulk Requirements. City Staff is proposing to increase the maximum allowed density in the Medium Density Residential District (MDR) from seven dwelling units per acre to eight dwelling units per acre and changing the minimum lot areas for single-family attached units in the MDR and High Density Residential District (HDR) and changing the minimum land area for multifamily dwellings in the MDR District. (Table 10-2: Lot Dimension and Setback Requirements, Residential Districts). The text amendments are proposed in order to align with existing land use guidance in the Comprehensive Plan.

Director Just gave staff presentation and answered questions.

Public hearing opened at 7:15 PM.

No comments.

Public hearing closed at 7:16 PM.

Commissioner Graen moved to recommend approval of the proposed text amendment. Opened the floor for discussion.

Commissioner Mueller questioned the Single Family-Attached lot dimension size being the same for MDR and HDR.

Director Just commented that focus of the High Density Residential District is on multiple family dwellings and the minimum per unit requirement for multiple family dwellings in HDR is much lower than the MDR. The city is trying to promote the target unit type.

M/S/P: Graen/ Mueller moved to recommend approval of the proposed text amendment. **Vote: 4-0, motion carried unanimously.**

New/Unfinished Business:

None.

Communications/Updates

a. City Council Update

3-1-2022 – Approved extension to the deadline for recording a plat for Enterprise Rent-a-Car

1-4-2022 – Approved Variance request for a 195-foot setback from the OHWL of Lake Elmo for PID 13.029.21.33.0042

b. Staff Updates

1. New planner to start April 4.

c. Upcoming PC Meetings:

1. March 28, 2022
2. April 11, 2022

M/S/P: Vrieze/ Mueller motioned to adjourn the meeting. **Vote: 4-0, motion carried unanimously.**

Meeting adjourned at 7:27 PM.

Respectfully submitted,

Diane Wendt
Permit Technician



STAFF REPORT

DATE: 03/28/2022

REGULAR

ITEM#: 4a – PUBLIC HEARING

MOTION

TO: Planning Commission
FROM: Corrin Bemis, Planning Consultant
AGENDA ITEM: **Setback Variance Request at 9404 Lake Jane Trail N**
REVIEWED BY: Molly Just, Planning Director

INTRODUCTION:

Cassandra Banna (Applicant) recently submitted an application for a 6-foot side yard setback variance for the property located at 9404 Lake Jane Trail N – Parcel 10.029.21.24.0014 (Subject Property). The applicant is looking to expand the living space within her single-family home. To do this, the applicant would like to convert the current garage into a family room and build a new, two-car garage directly in front of the existing garage. Because of the angle of the existing dwelling, the proposed garage addition would enter the required 10-foot side yard setback on the southwest side of the property if it is built to follow the existing line of the dwelling. The applicant is now asking the City Council to decrease the required side yard setback to 4 feet on the southwest side of the subject property.

ISSUE BEFORE PLANNING COMMISSION:

The Planning Commission is being asked to hold a public hearing, review, and make a recommendation on the request to decrease the side yard requirement from 10-feet to 4-feet on the southwest side of the property located at 9404 Lake Jane Trail N.

VARIANCE REQUEST DETAILS/ANALYSIS:

<i>Address:</i>	9404 Lake Jane Trail N
<i>PID:</i>	10.029.21.24.0014
<i>Existing Zoning:</i>	Rural Single Family – Shoreland Overlay District
<i>Surrounding Zoning:</i>	North, South, East, & West: Rural Single Family
<i>Deadline for Action:</i>	Application Complete – 2/16/2022 60 Day Deadline – 4/17/2022 Extension Letter Mailed – N/A 120 Day Deadline – N/A
<i>Applicable Regulations:</i>	Article V - Zoning Administration and Enforcement Article XI – Rural Districts Article XIX – Shoreland Overlay District

Reason for Request. The applicant is asking the City to decrease the required 10-foot side yard setback (required by Section 105.12.630 of the Lake Elmo City Code) by 6 feet to facilitate the construction of a garage addition in front of the existing single-family dwelling. Because of the

angle of the existing dwelling, the proposed garage addition would enter the required 10-foot side yard setback if it is built to follow the existing line of the dwelling.

REVIEW AND ANALYSIS/DRAFT FINDINGS:

An applicant must establish and demonstrate compliance with the variance criteria set forth in Lake Elmo City Code Section 105.12.320 before the City may grant an exception or modification to city code requirements. These criteria are listed below, along with comments from Staff about the applicability of these criteria to the applicant's request.

- 1) **Practical Difficulties.** A variance to the provision of this chapter may be granted by the Board of Adjustment upon the application by the owner of the affected property where the strict enforcement of this chapter would cause practical difficulties because of circumstances unique to the individual property under consideration and then only when it is demonstrated that such actions will be in keeping with the spirit and intent of this chapter. Definition of practical difficulties - "Practical difficulties" as used in connection with the granting of a variance, means that the property owner proposes to use the property in a reasonable manner not permitted by an official control.

FINDINGS:

To follow the existing line of the dwelling and the driveway, the proposed garage will need to enter the required 10-foot side yard setback. This is because the existing dwelling is angled farther to the south than the side yard property lines. According to the applicant, the proposed location of the garage is necessary because it allows for direct access from the existing home to the proposed garage while maintaining the existing building lines.

- 2) **Unique Circumstances.** The plight of the landowner is due to circumstances unique to the property not created by the landowner.

FINDINGS:

The existing home was built at different angle than the side yard property lines. For this reason, adding an addition to the front of the house at the same angle as the existing structure causes it to enter the required 10-foot side yard setback. The currently property owners purchased the house is 2019, 43 years after it was constructed.

- 3) **Character of Locality.** The proposed variance will not alter the essential character of the locality in which the property in question is located.

FINDINGS:

The proposed build will not alter the character of the house or neighborhood because the materials used will match the current materials already in the house. The new garage will not change any sightlines, as the roof lines will be no higher than the existing house. The proposed garage will not increase the impervious surface percentage as it is being built in the location of the existing driveway.

- 4) **Adjacent Properties and Traffic.** The proposed variance will not impair an adequate supply of light and air to properties adjacent to the property in question or substantially

increase the congestion of the public streets or substantially diminish or impair property values within the neighborhood.

FINDINGS.

The proposed variance does not impair adjacent properties. There are no properties within 10 feet of the proposed garage extension. The property adjacent to the requested side yard setback variance is an easement with a width too small to build a dwelling. The owners of this property are in support of the variance request. A letter from the property owners is included as Attachment 6.

CITY AGENCY REVIEW:

This request was distributed to several city departments for review on March 10, 2022. The following departments provided comments on the variance request.

- Engineering Department – Consideration must be given to maintaining rear yard access to the property for future septic system replacement and/or connecting the home to sanitary sewer service should municipal service be extended to this area in the future.
- Fire Department – Ensure address numbers shall be plainly visible from the street fronting the property and shall contrasting color from the background.

PUBLIC COMMENT:

A hearing notice was sent to surrounding properties on March 9, 2022. A hearing notice was published in the local newspaper on March 18, 2022. At this time, staff has not received any comments from the public on the requested variance.

FISCAL IMPACT:

None

RECOMMENDED CONDITIONS OF APPROVAL

1. During construction silt fencing and other environmental measures shall be taken to preserve and protect the lake and surrounding vegetation.
2. If approved this variance shall expire if the work does not commence within 12 months of the date of granting the variance.

OPTIONS:

The Planning Commission may:

- Recommend approval of the variance.
- Recommend approval of the variance with conditions.
- Recommend denial of the variance, citing recommended findings of fact for denial.

RECOMMENDATION:

Staff recommends that the Planning Commission recommend approval of the request from Cassandra Banna for a 6-foot side yard setback variance for the property located at 9404 Lake Jane Trail N.

“Move to recommend approval of the request from Cassandra Banna for a 6-foot side yard setback variance for the property located at 9404 Lake Jane Trail N.”

ATTACHMENTS:

- 1) Land Use Application
- 2) Written Statements
- 3) Location Map
- 4) Certificate of Survey
- 5) Proposed Garage Plans
- 6) Supporting Letter from Abutting Property Owner

9404 Lake Jane Trail N



3/23/2022, 2:54:57 PM

1:4,514

Parcels

Easement Lines

COMPUTED UTILITY_DRAINAGE

CONSERVATION

DNR Protected Waters ID

MNWASH038007.sid

Red: Band_1

Green: Band_2

Blue: Band_3

MNWASH011007.sid

Red: Band_1

Green: Band_2

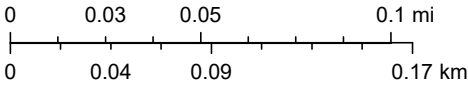
Blue: Band_3

MNWASH032009.sid

Red: Band_1

Green: Band_2

Blue: Band_3



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ck #1945
#1946
paid
1/27/22

Date Received: _____
Received By: _____
Permit #: _____



651-747-3900
3800 Laverne Avenue North
Lake Elmo, MN 55042

LAND USE APPLICATION

- ☐ Comprehensive Plan ☐ Zoning District Amend ☐ Zoning Text Amend ☒ Variance*(see below) ☐ Zoning Appeal
- ☐ Conditional Use Permit (C.U.P.) ☐ Flood Plain C.U.P. ☐ Interim Use Permit (I.U.P.) ☐ Excavating/Grading
- ☐ Lot Line Adjustment ☐ Minor Subdivision ☐ Residential Subdivision Sketch/Concept Plan
- ☐ PUD Concept Plan ☐ PUD Preliminary Plan ☐ PUD Final Plan ☐ Wireless Communications

RECEIVED

JAN 27 2022

Applicant: Cassandra Banna
Address: 9404 Lake Jane Trail North
Phone # 651-468-8269 / 651-494-2207
Email Address: cassieswim@hotmail.com
steph@edgarholdings.com

CITY OF LAKE ELMO

Fee Owner: _____
Address: _____
Phone # _____
Email Address: _____

Property Location (Address): 9404 Lake Jane Trail North
(Complete (long) Legal Description: Lot 18, Berschen's Shores

PID#: 1002921240014

Detailed Reason for Request: We would like to expand our living space by converting our current garage into a family room and build directly in front of the garage (towards the road and following the existing concrete line) a new, two car garage.

*Variance Requests: As outlined in Section 301.060 C. of the Lake Elmo Municipal Code, the applicant must demonstrate practical difficulties before a variance can be granted. The practical difficulties related to this application are as follows:

In order to build our new garage, we would be encroaching the ten foot set back on our adjacent property line (which is an easement). Although we are following an existing concrete line, to off set any additional concrete, we will be removing the concrete behind the detached garage towards the lake.

In signing this application, I hereby acknowledge that I have read and fully understand the applicable provisions of the Zoning ordinance and current administrative procedures. I further acknowledge the fee explanation as outlined in the application procedures and hereby agree to pay all statements received from the City pertaining to additional application expense.

Signature of applicant: Cassandra Banna Date: 1/21/2022

Signature of fee owner: Cassandra Banna Date: 1/21/2022

Written Statements for Land Use Application: Cassandra Banna

A. Current Property Owner: Cassandra Banna

B. Legal Description of the Property: (AS SHOWN ON WARRANTY DEED DOC. NO. 4190792)

That part of Lot eighteen (18), BERSCHENS SHORES, lying southerly of a line drawn from a point on the westerly line of said lot which point is one hundred (100) feet southerly of the northwest corner thereof extended easterly to the easterly line of said lot to a point one hundred seventy one (171) feet northerly of southwest corner thereof, according to the plat thereof on file and of record in the office of the register of deeds in and for said county; together with all that part of vacated township road as the same dedicated on the southeasterly line of the plat of BERSCHENS SHORES, and all that part of government lot four, section ten, township 29 north, range 21 west, village of Lake Elmo, Washington County, Minnesota, described as follows: Beginning at the southerly most corner of lot 18 of BERSCHENS SHORES as the same as on file and of record in the office of the register of deeds in and for said county and said; thence north 53 degrees 13 minutes east along the south easterly line of said lot 18 for 171.0 feet to the easterly most corner of that particular tract as described in book 291 of deeds, page 535, as the same is on file and of record in said office of the register of deeds; thence southeasterly along a southeasterly projection of the northeasterly line of said tract as described in book 291 of deeds, page 535, for 172 feet, more or less, to its intersection with a southerly projection of the westerly right-of-way of Jane Road North as the same is presently located and traveled; thence southerly along said southerly projection of the westerly right-of-way of Jane Road North to the centerline of 45th Street North as the same is presently located and traveled; thence southwesterly along said traveled center line of 45th Street North for 21 0 feet, more or less, to its intersection with southeasterly projection of the southwesterly line of said lot 18; thence northwesterly along said southeasterly projection of the southwesterly line of lot 18 for 130.2 feet to the point of beginning. RESERVING and easement over the southeasterly 33 feet of said property for roadway purposes and RESERVING and easement over the northwesterly 15 feet of the Southeasterly 48 feet of said property for utility purposes, said easements to be defined by lines drawn parallel with the traveled centerline of 45th Street North distances to be measured perpendicular to said centerline, Washington County, Minnesota.

Parcel Size: 55,650 Sq ft or 1.277 acres

Existing Use of Land: Residential

Current Zoning: All current buildings on the property are located in zone X, areas determined to be outside the 0.2% annual chance flood plain.

C. Provisions of the Lake Elmo City Code: 154.402 Lot Dimension and Building Bulk Requirements- Setback Regulations

154.800 Shoreland Management Overlay Dist.- Max Impervious Surface Allowance

D. Description of the Proposal: We would like to expand our living space by converting our current garage into a family room and build directly in front of the garage (towards the road and following the existing concrete line) a new, two car garage.

E. Pre-application discussions: After speaking to the Lake Elmo Planning Office about my proposed garage addition, it was suggested that I should apply for a variance due to the close proximity of the proposed garage to our neighbor's easement. It was explained that current set-backs are ten feet and my current plans show a smaller distance for the build. Staff at the Lake Elmo Planning Office suggested I apply for a variance for these three reasons: 1. Our neighbor's who own the easement adjacent to our land did not oppose the new garage build and expressed a willingness to help us in our building process (please see attached letter of support from Jeff and Laurie Ylinen who are the property owners of the easement and who live across the street) 2. The lot adjacent to us is an easement and not a home 3. We currently have a concrete driveway where the garage will be and our build will follow its existing line 4. We will not increase the impervious surface percentage of our property with the new garage.

F. The proposed location of the garage works best for our property because it maintains the current flow of the house, following the existing driveway. It also gives direct access to the house making it an attached garage. One of the practical difficulties is that to follow the existing line of the home, the proposed garage addition needs to enter the side yard setback.

G. The reason I feel the proposed plans should be granted is because the new garage will not encroach on anyone's property or privacy. Furthermore, the plans follow an existing driveway line. Our impervious surface percentage will not increase with the new build.

H. The proposed build will not alter the character of the house or neighborhood because the materials used will match the current materials already in the house. The new garage will not change any sightlines, as the roof lines will be no higher than the existing house.



LEGEND

FOUND CAST IRON MONUMENT

FOUND MONUMENT (AS NOTED)

SET IRON PIPE MARKED WITH MN LICENSE NO. 25718

CABLE TV PEDESTAL

ELECTRIC METER

ELECTRIC TRANSFORMER

GUY WIRE

POWER POLE

GAS METER

TELEPHONE PEDESTAL

SANITARY CLEANOUT

WATER WELL

MAIL BOX

MANHOLE

BUILDING LINE

BITUMINOUS SURFACE

CONCRETE SURFACE

UT UNDERGROUND TELEPHONE

OU OVERHEAD UTILITY

UG UNDERGROUND GAS

FENCE

TREES

PROPOSED CONTOUR

PROPOSED SPOT ELEVATION

PROPOSED DRAINAGE WITH PERCENT GRADE

SETBACKS

THE FOLLOWING SETBACKS ARE SHOWN IN THE CITY OF LAKE ELMO ZONING CODE FOR THE RS ZONING DISTRICT (SUBJECT TO LAKESHORE REGULATIONS) VERIFY ALL THE FOLLOWING SETBACKS SHOWN WITH THE CITY OF LAKE ELMO ZONING ADMINISTRATOR PRIOR TO DESIGN.

FRONT BUILDING SETBACK FROM ROAD = 30'

SIDE BUILDING SETBACK = 10'

BUILDING SETBACK FROM THE OHWL = 100'

BUILDING SETBACK FROM TOP OF BLUFF (18%) = 30'

MAXIMUM BUILDING HEIGHT = 35'

MAXIMUM IMPERVIOUS = 25%

LEGAL DESCRIPTION:

(AS SHOWN ON WARRANTY DEED DOC. NO. 4190792)
That part of Lot eighteen (18), BERSCHENS SHORES, lying southerly of a line drawn from a point on the Westerly line of said lot which point is one hundred (100) feet Southerly of the Northwest corner thereof extended Easterly to the Easterly line of said lot to a point one hundred seventy-one (171) feet Northerly of Southwest corner thereof, according to the plat thereof on file and of record in the office of the Register of Deeds in and for said County; together with all that part of vacated Township Road as the same dedicated on the Southeastly line of the Plat of BERSCHENS SHORES, and all that part of Government Lot 4, Section 10, Township 29 North, Range 21 West, Village of Lake Elmo, Washington County, Minnesota, described as follows: Beginning at the Southerly most corner of Lot 18 of BERSCHENS SHORES as the same is on file and of record in the Office of the Register of Deeds in and for said County and State; thence North 53 degrees 13 minutes east along the Southeastly line of said Lot 18 for 171.0 feet to the Easterly most corner of that particular tract as described in Book 291 of Deeds, Page 535, as the same is on file and of record in said Office of the Register of Deeds; thence Southeastly along a Southeastly projection of the Northerly line of said tract as described in Book 291 of Deeds, Page 535, for 172 feet, more or less, to its intersection with a Southerly projection of the Westerly right-of-way of Jane Road North to the centerline of 45th Street North as the same is presently located and traveled; thence Southwesterly along said traveled centerline of 45th Street North for 21 0 feet, more or less, to its intersection with Southeastly projection of the Southwesterly line of said Lot 18; thence Northwesterly along said Southeastly projection of the Southwesterly line of Lot 18 for 130.2 feet to the point of beginning. RESERVING and easement over the Southeastly 33 feet of said property for roadway purposes and easement over the Northwesterly 15 feet of the Southeastly 48 feet of said property for utility proposes, said easements to be defined by lines drawn parallel with the traveled centerline of 45th Street North distances to be measures perpendicular to said centerline, Washington County, Minnesota.

EASEMENT NOTES:

EASEMENTS LIMITED THOSE SHOWN ON AVAILABLE PARCEL MAPPING AND IN THE DEED OF RECORD. OTHER EASEMENTS MAY EXIST THAT ARE NOT SHOWN.

SURVEY NOTES:

- BEARINGS ARE BASED ON THE WASHINGTON COUNTY COORDINATE SYSTEM NAD 1983. BEARING ARE DIFFERENT THAN SHOWN ON THE RECORDED PLAT.
- UNDERGROUND UTILITIES SHOWN PER AS-BUILTS PLANS PROVIDED BY THE CITY OF LAKE ELMO LAKE PUBLIC WORKS DEPARTMENT.
- THERE MAY SOME UNDERGROUND UTILITIES, GAS, ELECTRIC, ETC. NOT SHOWN OR LOCATED.

AREA:

TOTAL PARCEL AREA TO OHWL = 55,650 SQ.FT./1.28 ACRES
TOTAL PARCEL AREA TO OHWL LESS R/W = 43,079 SQ.FT./0.99 ACRES

FLOOD INFORMATION:

PORTIONS OF THIS PROPERTY LIES WITHIN ZONE AE, AREAS DETERMINED TO BE WITHIN THE 0.2% ANNUAL CHANCE FLOODPLAIN OTHER AREAS INCLUDING ALL BUILDINGS ARE LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP NUMBER 27163C0245E HAVING AN EFFECTIVE DATE OF FEBRUARY 3RD, 2010. THE BASE FLOOD ELEVATION OF 925.0 IS SHOWN ON THE SURVEY FOR REFERENCE PURPOSES ONLY. NOT FIELD VERIFIED.

SEPTIC/WELL

IT APPEARS THE SEPTIC AREA IS IN FRONT OF THE HOUSE AS EVIDENT BY THE PVC SEWER CLEANOUTS AND MANHOLE. THE WELL IS SHOWN ST THE REAR OF THE HOUSE.

CALL BEFORE YOU DIG!

Gopher State One Call

TWIN CITY AREA: 651-454-0002

TOLL FREE: 1-800-252-1166

BANNA RESIDENCE

CONTACT:

CASSANDRA BANNA
9404 LAKE JANE TRAIL N.
LAKE ELMO, MN 55042

COUNTY/CITY:

WASHINGTON COUNTY

CITY OF LAKE ELMO

REVISIONS:

DATE	REVISION
04-27-21	ISSUED
07-13-21	ADD PROP. IMPRO
01-17-22	ADDL REMOVALS
01-26-22	ADDL INFO ADDED

CERTIFICATION:

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Land Surveyor under the laws of the state of Minnesota.

Daniel L. Thurmes
Daniel L. Thurmes Registration Number: 25718

Date: 4-27-21

PROJECT LOCATION:

9404
LAEK JANE TRAIL N.
PID#1002921240014

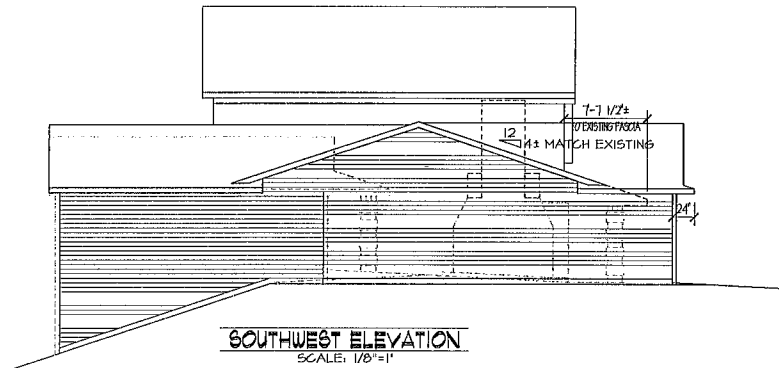
Suite #200
1970 Northwestern Ave.
Stillwater, MN 55082
Phone 651.275.8969
dan@cssurvey.net

CORNERSTONE
LAND SURVEYING, INC.

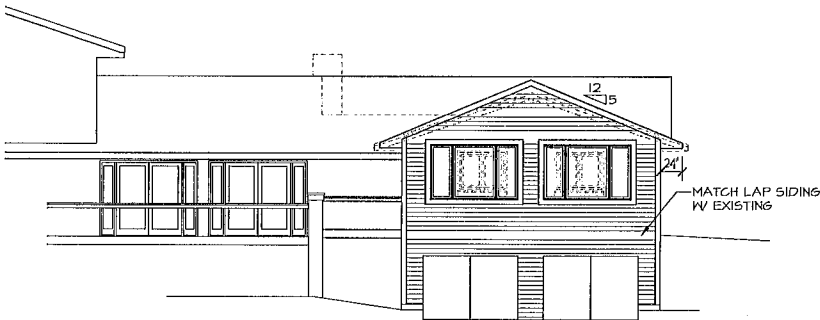
FILE NAME SURV2231A
PROJECT NO. Z209231A

CERTIFICATE OF
SURVEY

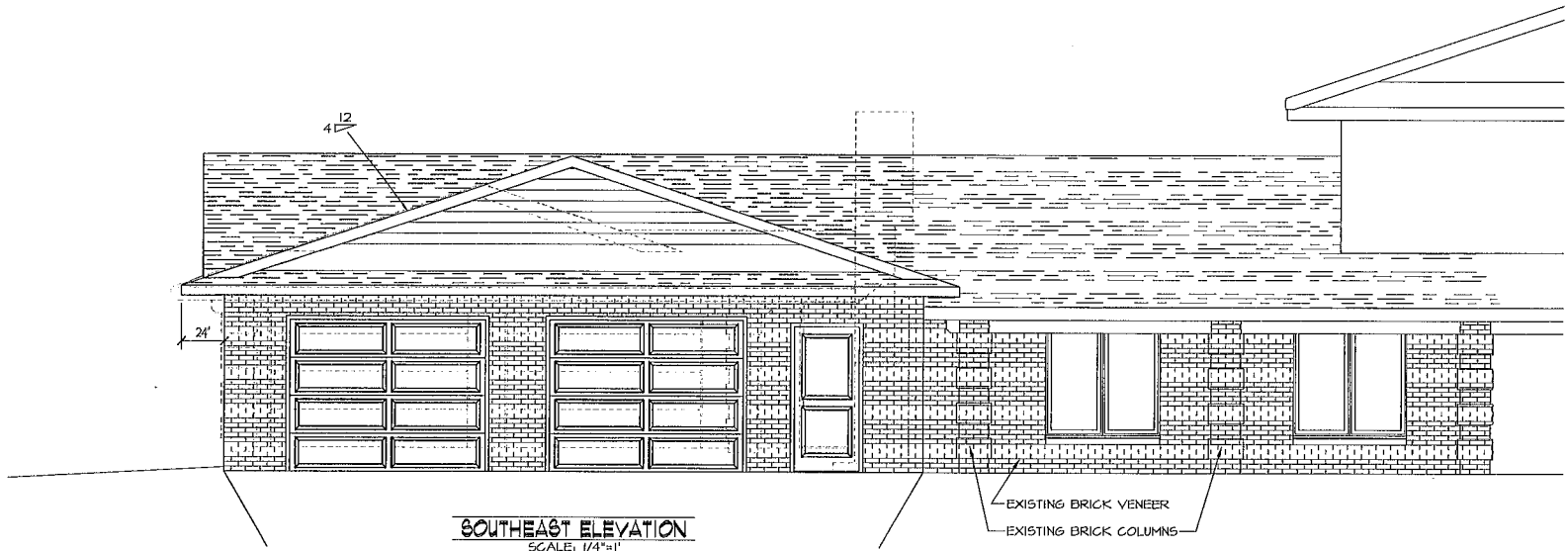
Proposed garage 9404 Lake Jane Tr N



SOUTHWEST ELEVATION
SCALE: 1/8"=1'



LAKE (NW) ELEVATION
SCALE: 1/8"=1'



SOUTHEAST ELEVATION
SCALE: 1/4"=1'

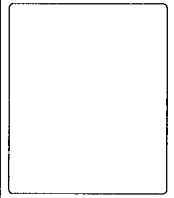
STEVE'S DRAFTING
& HOME DESIGN

3100 Rhode Island Ave. S.
St. Louis Park, MN 55426
TEL (612) 221-5772
FAX (952) 920-3722
email: stevedrafting@gmail.com

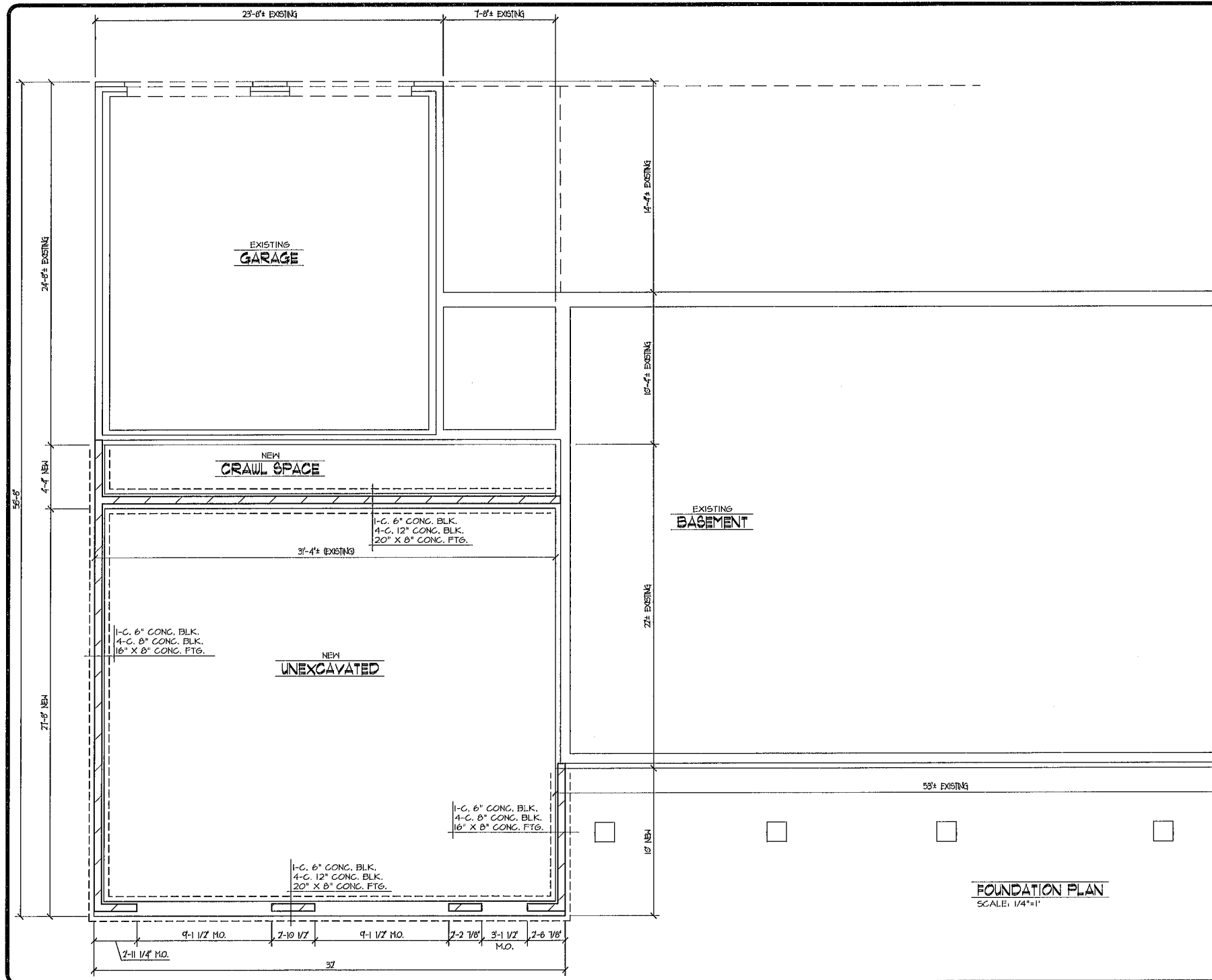
DATE	9/8/20
SCALE	AS NOTED
NOTED	9/8/20

ADDITION FOR:	STEPHAN & CASSIE BANNA
LOT	10
BLOCK	1
DEVELOPMENT	COUNTY WASHINGTON
STREET ADDRESS	9404 LAKE JANE TRAIL NORTH
CITY	LAKE ELMO, MN

STEVE'S DRAFTING & HOME DESIGN ASSUMES NO RESPONSIBILITY FOR STRUCTURAL OR DIMENSIONAL ERRORS OR OMISSIONS. THE CONTRACTOR AND/OR OWNER MUST VERIFY AND CHECK ALL NOTES, DETAILS, ELEVATIONS, SECTIONS AND FLOOR PLANS AND NOTIFY STEVE'S DRAFTING OF ANY ERRORS OR OMISSIONS FOR POSSIBLE CORRECTION PRIOR TO START OF CONSTRUCTION. NO WARRANTIES EXPRESS OR IMPLIED INCLUDING COMPLIANCE OF THIS PLAN WITH APPLICABLE BUILDING CODE REQUIREMENTS ARE MADE EXCEPT THOSE IN WRITING SIGNED BY THE DRAFTER.



SHEET DESCRIPTION	EXTERIOR ELEVATIONS
COPYRIGHT	©2020 STEVE'S DRAFTING & HOME DESIGN
PLAN NUMBER	C202056
SHEET	1 OF 1



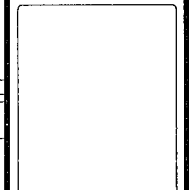
STEVE'S DRAFTING
& HOME DESIGN

3100 Rhode Island Ave. S.
St. Louis Park, MN 55426
TEL (612) 221-5772
FAX (952) 420-3722
email: stevedrafting@gmail.com

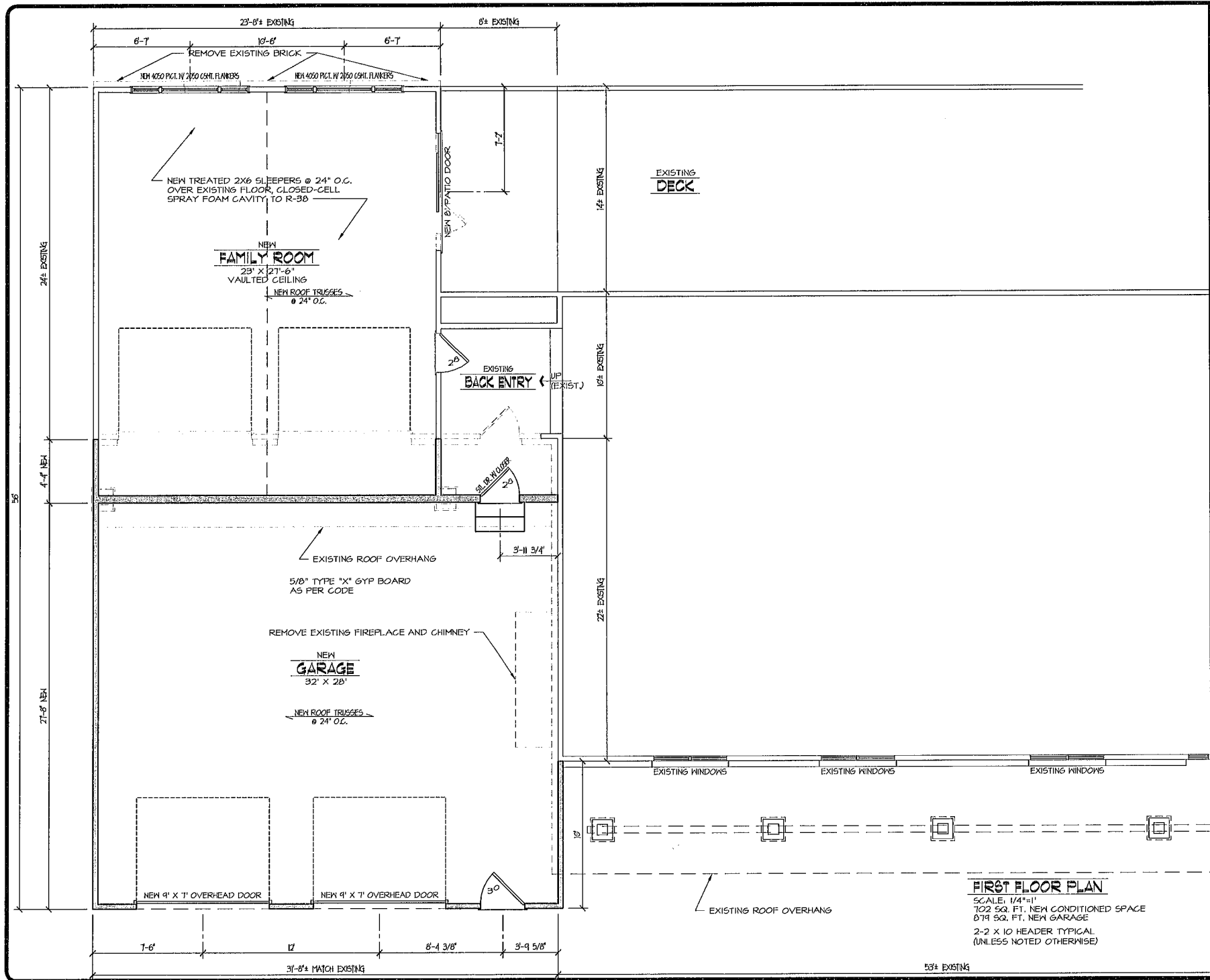
DATE	9/18/20
SCALE	AS NOTED
SQ. FT.	
REVISED	9/18/20

ADDITION FOR	
LOT	STEPHAN & CASSIE BANNA
BLOCK	COUNTY WASHINGTON
DEVELOPMENT	
STREET ADDRESS	
94014 LAKE VANE TRAIL NORTH	
CITY, STATE	
LAKE ELMO, MN	

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	PLAN NUMBER C202056
	SHEET 2 OF 3



STEVE'S DRAFTING
& HOME DESIGN

3100 Rhode Island Ave. S.
St. Louis Park, MN 55426
TEL: (612) 221-5772
FAX: (612) 420-3722
email: stevedrafting@gmail.com

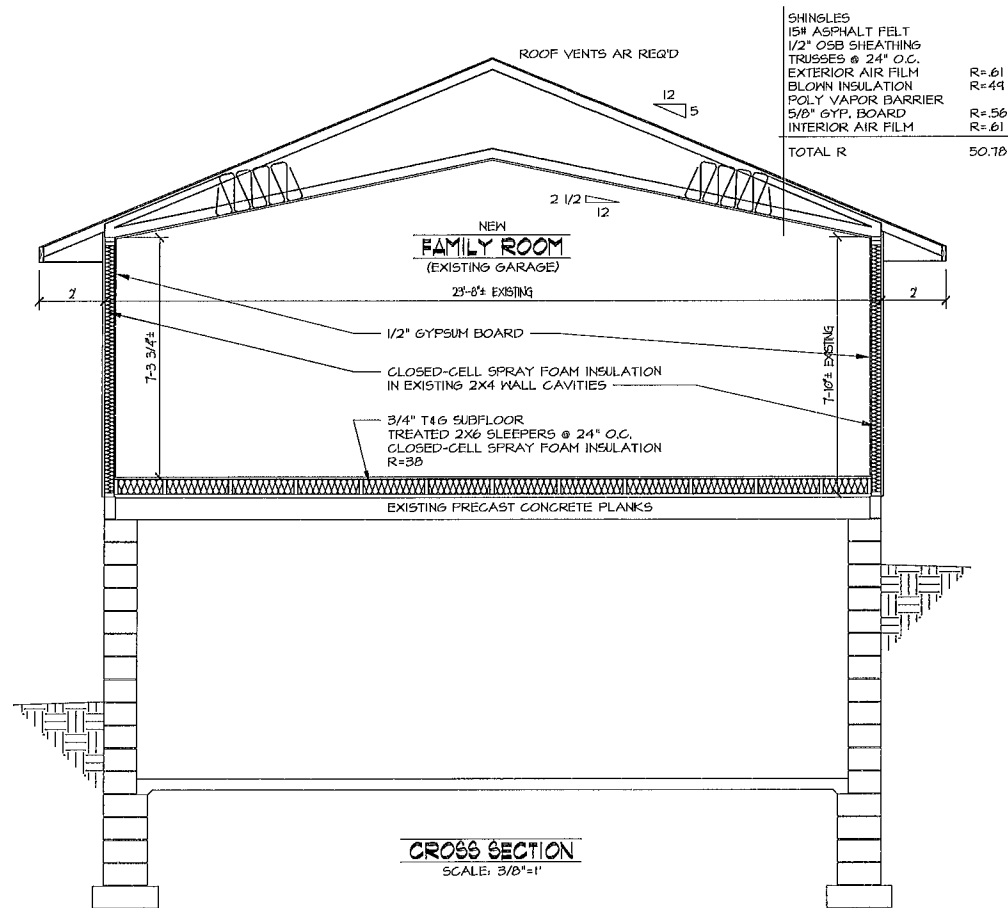
DATE	QUANTITY	REVISION
9/8/20	1	AS NOTED
9/15/20	2	REVISED

ADDITION FOR:	LOT	BLOCK	DEVELOPMENT
STEPHAN & CASSE BANNA	10	10	COUNTY WASHINGTON
STREET ADDRESS	CITY	STATE	ZIP
9404 LAKE JANE TRAIL NORTH	LAKE	ELMO, MN	55049

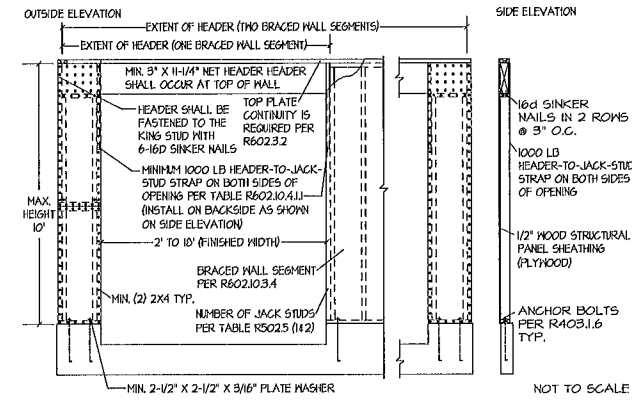
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SHEET DESCRIPTION	COPYRIGHT
FIRST FLOOR PLAN	© 2020
PLAN NUMBER	STEVE'S DRAFTING & HOME DESIGN
C202056	
SHEET	
93	
UT	



SHINGLES	
15# ASPHALT FELT	
1/2" OSB SHEATHING	
TRUSSES @ 24" O.C.	
EXTERIOR AIR FILM	
BLOWN INSULATION	
POLY VAPOR BARRIER	
5/8" GYP. BOARD	
INTERIOR AIR FILM	
TOTAL R	50.70



FASTEN SHEATHING TO HEADER WITH 60 COMMON NAILS IN 3 IN. GRID PATTERN AS SHOWN AND 3 IN. O.C. IN ALL FRAMING (STUDS AND SILLS) TYP.

FOR A PANEL SPLICE (IF NEEDED), PANEL EDGES SHALL BE BLOCKED AND OCCUR WITHIN 24 IN. OF MID HEIGHT. ONE ROW OF TYP. SHEATHING-TO-FRAMING NAILING IS REQUIRED IN EACH PANEL.

MIN. LENGTH BASED ON 4:1 HEIGHT-TO-LENGTH RATIO, FOR EXAMPLE: 24 IN. MIN. FOR 8 FT. HEIGHT.

GARAGE DOOR PORTAL FRAMING

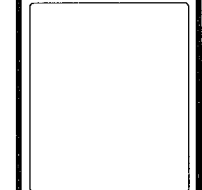
STEVE'S DRAFTING
HOME DESIGN

3100 Rhode Island Ave. S.
St. Louis Park, MN 55426
TEL (612) 221-5772
FAX (952) 420-3722
email: stevedrafting@gmail.com

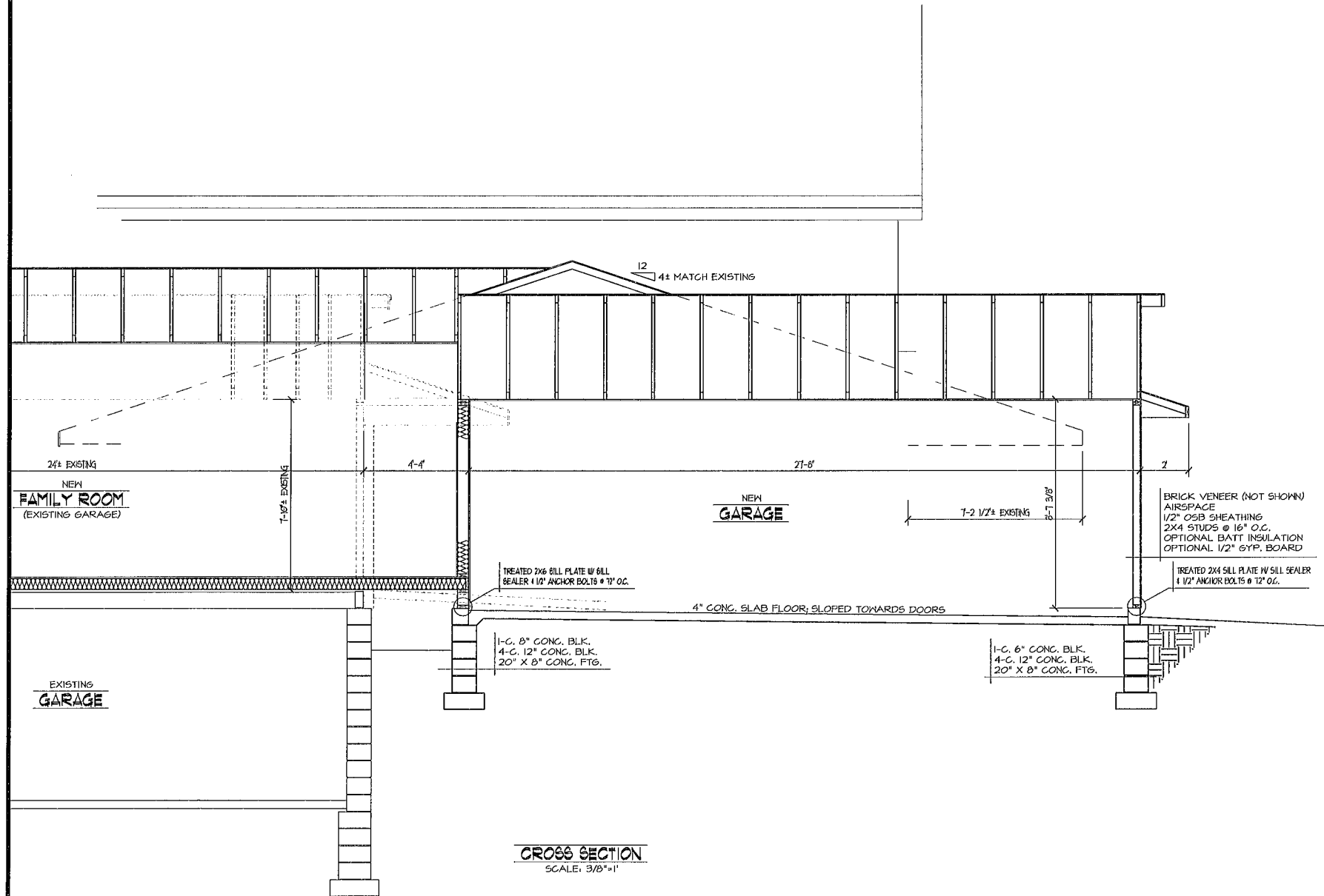
DATE	9/8/20	SCALE	3/8"=1'	REVISION	9/15/20
BY	CS	BY	CS	BY	CS

ADDITION FOR	STEPHAN & CASSE BANA
LOT	10
BLOCK	10
DEVELOPMENT	10
STREET ADDRESS	9404 LAKE JANE TRAIL NORTH
CITY	LAKE ELMO, MN

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SHEET DESCRIPTION	CROSS SECTION
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STEVE'S DRAFTING	HOME DESIGN
PLAN NUMBER	C202056
SHEET	1 OF 1



STEVE'S DRAFTING & HOME DESIGN

3100 Rhode Island Ave. S.
St. Louis Park, MN 55426
TEL (612) 221-5772
FAX (952) 920-3722
email: stevedrafting@gmail.com

DATE	9/8/20	SCALE	3/8"=1'	REVISED	9/15/20
PLAN	2056	SQ. FT.			

ADDITION FOR:			
STEPHAN & CASSE BANA			
LOT	BLOCK	COUNTY	
		WASHINGTON	
DEVELOPMENT			
STREET ADDRESS			
3404 LAKE JANE TRAIL NORTH			
CITY, STATE			
LAKE ELMO, MN			

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SHEET DESCRIPTION	CROSS SECTION
COPYRIGHT	©2020
STEVE'S DRAFTING & HOME DESIGN	
PLAN NUMBER	C202056
SHEET	4 OF 5

1-14-22

To Whom it May Concern:

We live across the street and also own the adjacent property to 9404 Lake Jane Trail on the side that the proposed garage extension at 9404 lake Jane trail N. will sit. This is a letter supporting the proposed garage addition at 9404 Lake Jane Trail N. We have reviewed the proposed survey and garage plans and understand that the proposed structure will be closer to our property line than the normal 10ft setback. We do not feel this garage addition will negatively impact us or our property and feel that it will also not impact the neighborhood negatively as well.

Jeff & Laurie Ylinen
9401 Lake Jane Trail N
Lake Elmo, MN 55042.
jeffylinen@gmail.com
612-867-9375



STAFF REPORT

DATE: 03/28/2022

REGULAR

ITEM#: 4b – PUBLIC HEARING

MOTION

TO: Planning Commission
FROM: Corrin Bemis, Planning Consultant
AGENDA ITEM: **Setback Variance Request at 8930 Jane Road N**
REVIEWED BY: Molly Just, Planning Director

INTRODUCTION:

Bill and Valerie Brass (Applicants) recently submitted a variance application for a second curb cut (driveway) on the property located at 8930 Jane Road N – Parcel 09.029.21.11.0016 (Subject Property). The applicants recently constructed a detached garage on the property and paved a second driveway from the new garage to the south property line. They are now asking for a variance to finish paving the driveway by adding a second curb cut to Jane Road N.

As part of this variance request, the applicant has also applied for a grading permit. To construct the garage addition and new driveway from the addition, the applicant moved 290 cubic yards of onsite material. According to Sections 105.08.060 and 105.12.260 of the Lake Elmo City Code, a grading and excavating permit is required for any excavating, grading, filling, or other changes in the earth's topography resulting in the movement of more than 50 cubic yards of material. The applicant has already moved the 290 cubic yards of material and is applying for the permit retroactively.

The applicant has also signed an encroachment agreement in relation to the garage addition and second driveway. Due to the topography of the subject property, the applicant constructed a retaining wall between the existing, primary dwelling and the garage addition. This retaining wall was constructed in the 10-foot drainage and utility easement abutting the south (front) property line. The applicant signed the encroachment agreement retroactively after completing construction of the retaining wall.

ISSUE BEFORE PLANNING COMMISSION:

The Commission is being asked to hold a public hearing, review, and make a recommendation on the request to pave a second curb cut (driveway) on the property located at 8930 Jane Road N.

VARIANCE REQUEST DETAILS/ANALYSIS:

<i>Address:</i>	8930 Jane Road N
<i>PID:</i>	09.029.21.11.0016
<i>Existing Zoning:</i>	Rural Single Family – Shoreland Overlay District
<i>Surrounding Zoning:</i>	North, South, East, & West: Rural Single Family
<i>Deadline for Action:</i>	Application Complete – 3/14/2022 60 Day Deadline – 5/13/2022

Extension Letter Mailed – N/A
 120 Day Deadline – N/A

Applicable Regulations: Article V - Zoning Administration and Enforcement
 Article XI – Rural Districts
 Article XIX – Shoreland Overlay District
 Chapter 9.16 – Streets and Sidewalks

Reason for Request. The applicant is asking the City to grant a variance for a second curb cut entrance (second driveway) off Jane Road N. Section 9.16.090 of the Lake Elmo City Code limits the number of curb cuts to one per dwelling unit in residential districts. Up to two curb cuts may be allowed when neither access is onto a collector or arterial street, when there is a minimum of 40 feet of spacing between driveway curb radii, and when the total width of both driveways does not exceed 26 feet. Because the proposed driveway is 24 feet across and the existing driveway is 22.6 feet across, the applicant is asking for a variance to finish paving the newly constructed driveway by adding a second curb cut on the subject property – connected to Jane Road N.

REVIEW AND ANALYSIS/DRAFT FINDINGS:

An applicant must establish and demonstrate compliance with the variance criteria set forth in Lake Elmo City Code Section 105.12.320 before the City may grant an exception or modification to city code requirements. These criteria are listed below, along with comments from Staff about the applicability of these criteria to the applicant's request.

- 1) **Practical Difficulties.** A variance to the provision of this chapter may be granted by the Board of Adjustment upon the application by the owner of the affected property where the strict enforcement of this chapter would cause practical difficulties because of circumstances unique to the individual property under consideration and then only when it is demonstrated that such actions will be in keeping with the spirit and intent of this chapter. Definition of practical difficulties - "Practical difficulties" as used in connection with the granting of a variance, means that the property owner proposes to use the property in a reasonable manner not permitted by an official control.

FINDINGS:

The applicant is unable to connect the newly constructed driveway from the garage addition to the existing driveway due to the topography of the parcel. A hill and retaining wall currently separate the two driveways (see attached photos for reference). The applicant chose to construct the garage addition on the east side of the property, downhill from the existing driveway, due to the presence of mature pine trees on the west side of the property. To construct the garage on the west side of the property, where the applicant would have been able to connect the newly constructed driveway to the existing driveway using one curb cut, the applicant would have needed to remove natural stone retaining walls and relocated the current electrical service on the property. Without the addition of the second curb cut at the end of the newly constructed driveway, the property owners would run into issues with rocks and mud, especially during periods of rain and snow melt.

- 2) **Unique Circumstances.** The plight of the landowner is due to circumstances unique to the property not created by the landowner.

FINDINGS:

The subject property is located on a hill, putting the east side of the property downhill from the west side. This topography prevents the applicant from connecting the newly constructed driveway to the existing driveway at a single curb cut entrance point. The garage addition was constructed downhill from the main dwelling, on the east side of the property, due to the location of natural stone retaining walls, mature pine trees, and electrical equipment on the west side of the property.

- 3) **Character of Locality.** The proposed variance will not alter the essential character of the locality in which the property in question is located.

FINDINGS:

The proposed second curb cut connecting to the newly constructed driveway will not alter the character of the surrounding neighborhood. The driveway is already constructed, and the applicant is now requesting a variance to pave a second curb cut at the end of the driveway.

- 4) **Adjacent Properties and Traffic.** The proposed variance will not impair an adequate supply of light and air to properties adjacent to the property in question or substantially increase the congestion of the public streets or substantially diminish or impair property values within the neighborhood.

FINDINGS.

The proposed variance does not impair adjacent properties. The second curb cut will be located approximately 80 feet from east property line. In general, the Engineering Department of Lake Elmo discourages multiple driveway access points in residential neighborhoods. Additional curb cuts result in higher city reconstruction and maintenance costs and create more points for conflict between vehicles.

CITY AGENCY REVIEW:

This request was distributed to several city departments for review on February 3, 2022. The following departments provided comments on the variance request.

- Engineering Department – Engineering has no review comments on this specific variance. In general multiple driveway accesses from residential properties onto public roadways should be minimized. Multiple driveways result in higher city reconstruction and maintenance costs for the roadway and they result in creating more traffic conflict points along the roadways.
- Fire Department – Ensure address numbers shall be plainly visible from the street fronting the property and shall contrasting color from the background.
- Public Works Department – [The department] would not want to see a wall (or any permanent structure) in a utility easement area.
 - After inspecting the constructed retaining wall, the Public Works Director expressed that he does not have an issue with its location on the property, as long as an encroachment agreement was signed.

- Valley Branch Watershed District – The recently constructed 2nd garage on the Brass property involved placing fill in a drainage easement/below a 100-year flood level. The current proposal does not trigger a need for a VBWD permit.

PUBLIC COMMENT:

A hearing notice was sent to surrounding properties on March 16, 2022. A hearing notice was published in the local newspaper on March 18, 2022. At this time, staff has not received any comments from the public on the requested variance.

FISCAL IMPACT:

None

RECOMMENDED CONDITIONS OF APPROVAL

1. During construction silt fencing and other environmental measures shall be taken to preserve and protect the lake and surrounding vegetation.
2. If approved this variance shall expire if the work does not commence within 12 months of the date of granting the variance.

OPTIONS:

The Planning Commission may:

- Recommend approval of the variance.
- Recommend approval of the variance with conditions.
- Recommend denial of the variance, citing recommended findings of fact for denial.

RECOMMENDATION:

Staff recommends that the Planning Commission recommend approval of the request from Bill and Valerie Brass for a variance to pave a second curb cut on the property located at 8930 Jane Road N.

“Move to recommend approval of the request from Bill and Valerie Brass for a variance to pave a second curb cut on the property located at 8930 Jane Road N.

ATTACHMENTS:

- 1) Land Use Application
- 2) Written Statements
- 3) Location Map
- 4) Certificate of Survey
- 5) Site Plans
- 6) Existing Conditions Photos

8930 Jane Road N



3/23/2022, 2:36:18 PM


 Parcels

Easement Lines


 COMPUTED UTILITY_DRAINAGE

DNR Protected Waters ID

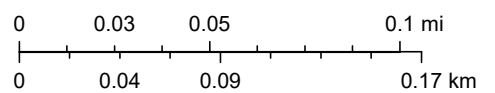
MNWASH020009.sid

 Red: Band_1

 Green: Band_2

 Blue: Band_3

1:4,514



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Date Received: 1-20-2022
Received By: Rebecca
Permit #: _____

THE CITY OF
LAKE ELMO

651-747-3900
3800 Laverne Avenue North
Lake Elmo, MN 55042

LAND USE APPLICATION

- Variance*
- ☐ Comprehensive Plan ☐ Zoning District Amend ☐ Zoning Text Amend ☐ Variance*(see below) ☐ Zoning Appeal
- ☐ Conditional Use Permit (C.U.P.) ☐ Flood Plain C.U.P. ☐ Interim Use Permit (I.U.P.) ☐ Excavating/Grading
- ☐ Lot Line Adjustment ☐ Minor Subdivision ☐ Residential Subdivision Sketch/Concept Plan
- ☐ PUD Concept Plan ☐ PUD Preliminary Plan ☐ PUD Final Plan ☐ Wireless Communications

Applicant: BILL + VALERIE BRASS
Address: 8930 JANE RD N
Phone #: 612-490-2872
Email Address: billbrass2@gmail.com

Fee Owner: SAME
Address: _____
Phone #: _____
Email Address: _____

Property Location (Address): 8930 JANE RD N
(Complete (long) Legal Description: LOT 1 BLOCK 1 Springborn GREEN ACRES

PID#: _____

Detailed Reason for Request: TO PAVE THE LAST PORTION OF THE
DRIVEWAY.

*Variance Requests: As outlined in Section 301.060 C. of the Lake Elmo Municipal Code, the applicant must demonstrate practical difficulties before a variance can be granted. The practical difficulties related to this application are as follows:

Practical Difficulties. *Without this section of driveway there would be an issue with mud, rock etc. in maintaining the property to look well kept. It would also cause rutting during periods of rain and frost. One would think that the requirement would be to pave the driveway in being consistent in lieu of not paving it. It's a small strip and would look out of place if it was not paved, not to mention the maintenance to keep the driveway accessible for its purpose.*

In signing this application, I hereby acknowledge that I have read and fully understand the applicable provisions of the Zoning ordinance and current administrative procedures. I further acknowledge the fee explanation as outlined in the application procedures and hereby agree to pay all statements received from the City pertaining to additional application expense.

Signature of applicant: Bill Brass Valerie Brass Date: 1/20/22

Signature of fee owner: Bill Brass Valerie Brass Date: 1/20/22

Item 2

- A) Property Owners: William and Valerie Brass
- B) Site Data:
 - Legal description of property.* Lot 1 Block one Springborn Green Acres
 - Parcel Identification Number.*
 - Parcel Size.* 50,982 SF or 1.17 Acres
 - Existing use of land.* Residential
 - Current Zoning.* Residential
- C) Provision. *Section 9.16.090*
- D) Description of Proposal. *We are requesting a variance to pave through the right of way for the second driveway. The City right away at that location is 26 foot wide by 9 foot deep. It varies by the allowable width of the driveways in total. We can have two driveways on our property but it can't exceed 26 feet. The existing driveway is 24 feet . Due to the hill we live on there was no way to join or connect with the existing driveway.*
- E) Narrative of pre-application discussions. *Prior to planning and designing the garage we spoke to the building inspector and asked him what requirements were there to add a second garage. We were told that the garage could not be any farther forward then the existing dwellings. We were told that we had to be ten feet away from the existing house. We were told we could not build in the storm right away. We were told it could not be any bigger then 1,250 SF. We were told it had to be a conventional garage not a pole barn because our lot was not large enough for a pole barn. After we had that information we had a survey completed and hired an architect to size the garage to meet those requirements. Nothing was mentioned about a second driveway until we applied for the permit. When we received our building permit we were told by Ben the city engineer at the time? we can have the two driveways but we could not pave over the right away without getting a variance. We discussed the four questions that he had sent us that we would need to answer in order to receive a variance. Since there was no practical way to modify our existing driveway or connect the existing driveway to accommodate the new garage we would have to get a variance.*
- F) Practical Difficulties. *Without this section of driveway there would be an issue with mud, rock etc. in maintaining the property to look well kept. It would also cause rutting during periods of rain and frost. One would think that the requirement would be to pave the driveway in being consistent in lieu of not paving it. It's a small strip and would look out of place if it was not paved, not to mention the maintenance to keep the driveway accessible for its purpose.*
- G) The plight of landowner is due to circumstances unique to the property. *Due to the hill that we live on it was very challenging to fit the garage onto the property and make it look like it belongs and was not just stuck and look like it. We wanted a storage garage large enough to fit boats and trucks which our current garage does not. If we were to put it on the West side of the house we would have had to cut down a large stand of mature pines. We would have also had to*

remove over 350 cubic yards of dirt and bury the garage to accommodate the large slope of the property and would have looked tacky. The current electrical service would have to have been relocated. We currently have tens of thousands of dollars in natural stone retaining walls that would have had to been moved and rebuilt. Drainage would have been very difficult if not impossible to work out. The garage slab would have been much lower than the street causing drainage issues. By putting the garage on the East side we were able to balance the site with earthwork and have natural flow of rain water. Placement of the garage on the East side alleviated maneuvering of campers and boats on the steeper incline that exists on the West side of the property. I am including three pictures that show the slope of the hill, East side mature pines, and the new garage as built.

- H) *Character of the Neighborhood. We hired an architect rather than a lumber yard to produce the drawings because we wanted it to look nice and make an improvement to the property. In addition to the garage we have hired a landscaper to come up with an idea that would marry up with the existing house and natural stone retaining walls and flow the new construction with the existing landscaping.*
- I) *Verification of ownership. See attached property tax statement.*

LEGEND

- DNR PROTECTED WATERS
- DNR PROTECTED WETLAND
- DNR PROTECTED WATERCOURSE
- MUNICIPAL BOUNDARY
- PARK BOUNDARY

NORTH
SCALE: 1 inch = 170 feet

SECTION-TOWNSHIP-RANGE INDEX

0502921	0402921	0302921
0802921	0702921	1002921
1702921	1602921	1502921



PROPERTY IDENTIFICATION NUMBER FORMAT (GEOCODE)

SECTION NUMBER	TOWNSHIP NUMBER	RANGE NUMBER	QUARTER	SPECIFIC PARCEL
##	###	##	##	####

(0001) - LAST FOUR DIGITS OF PROPERTY IDENTIFICATION NUMBER

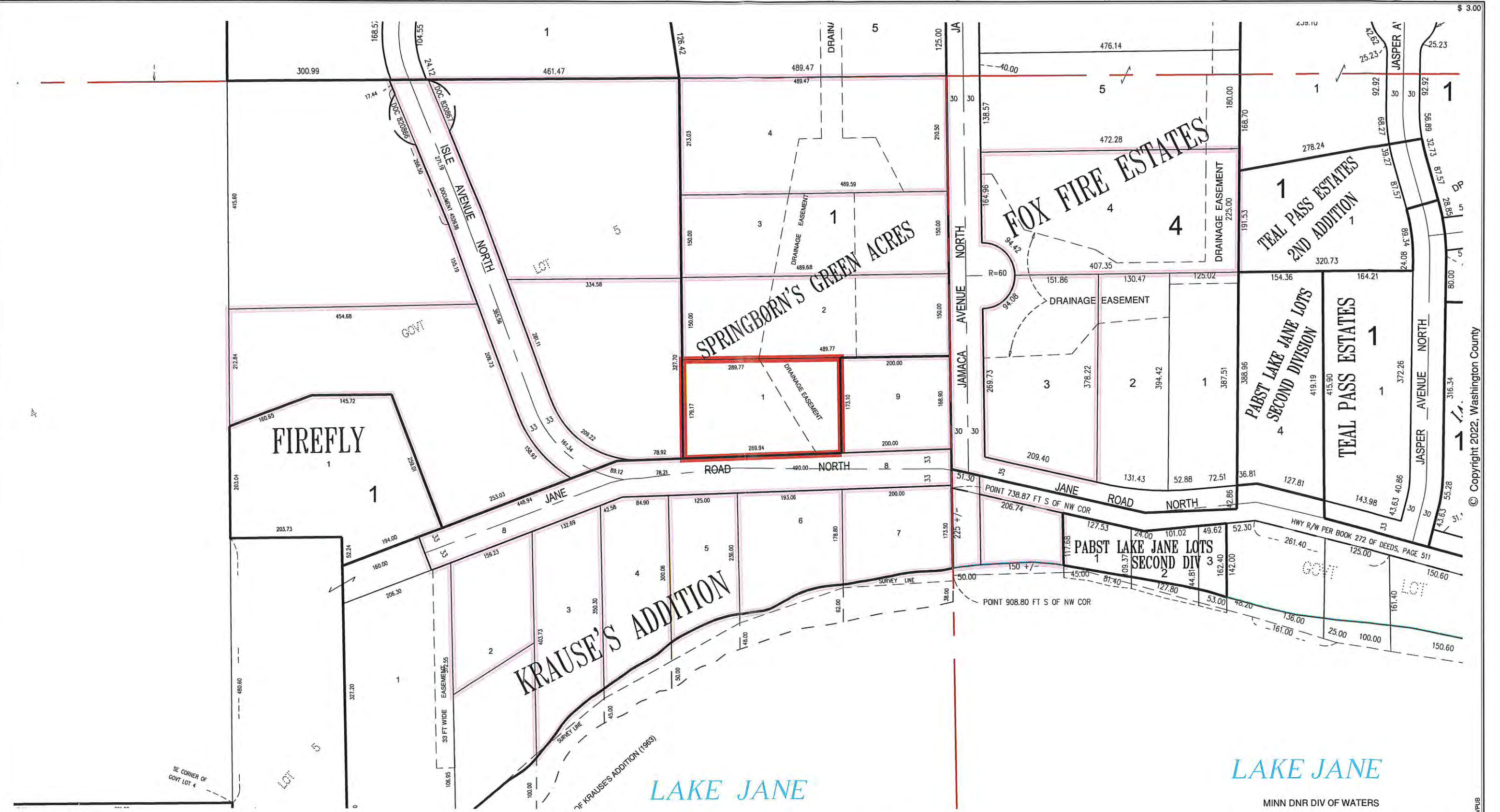
THIS DRAWING IS THE RESULT OF A COMPILATION AND REPRODUCTION OF LAND RECORDS AS THEY APPEAR IN VARIOUS WASHINGTON COUNTY OFFICES. WASHINGTON COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES.

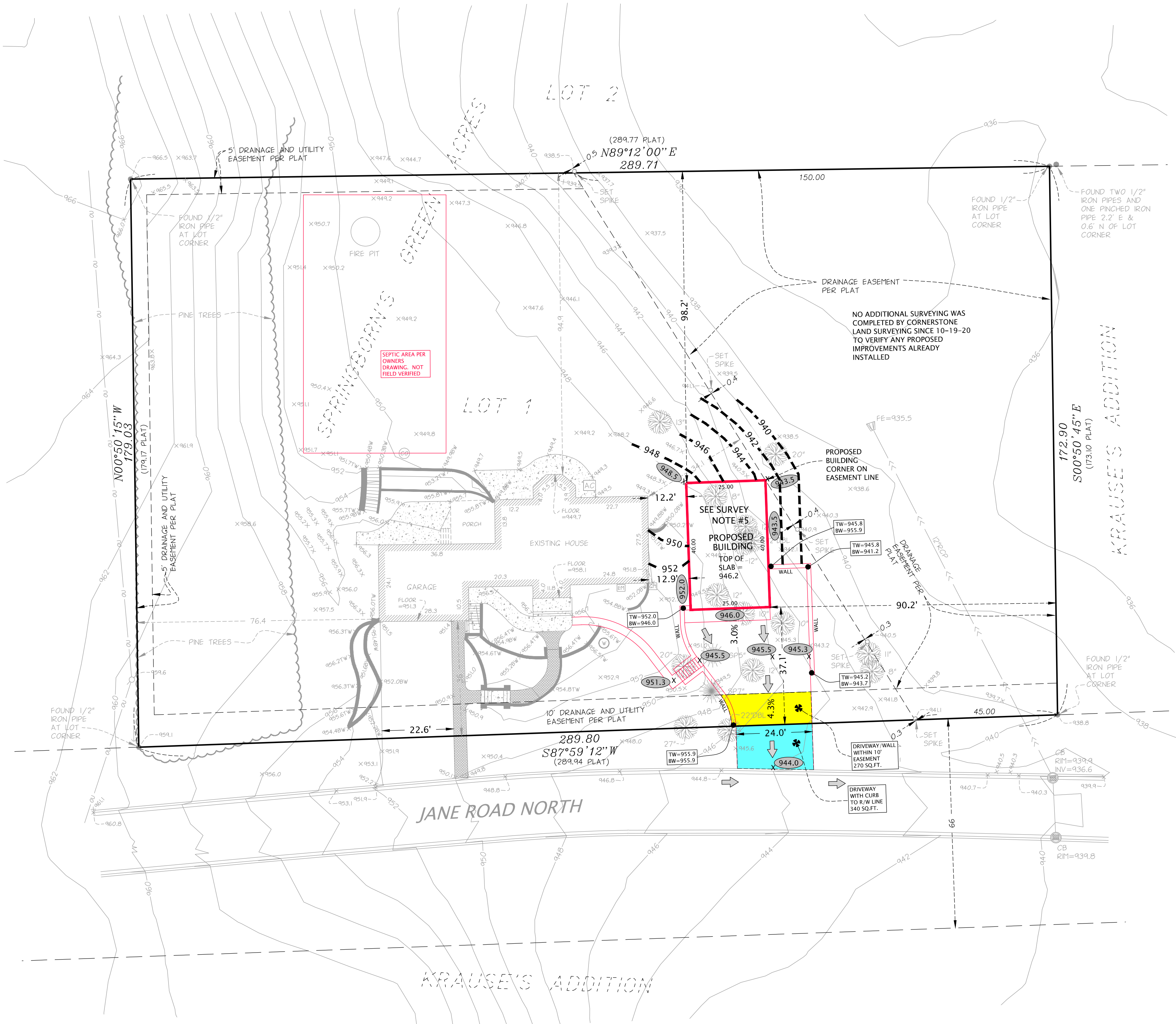
PROPERTY LINES AS SHOWN ARE FOR REFERENCE PURPOSES AND MAY NOT REPRESENT ACTUAL LOCATIONS.

MAP LAST UPDATED: June 11, 2020

NO ADDITIONAL CHANGES HAVE BEEN REPORTED TO DATE

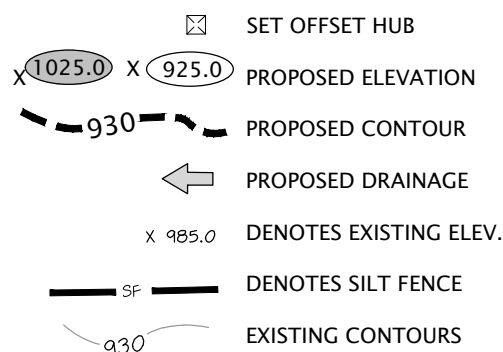
DATE OF CONTOURS: November, 2011 DATE OF PHOTOGRAPHY: None





PROPOSED BUILDING ELEVATIONS:

TOP OF SLAB = 942.6
THE PROPOSED BUILDING AND GRADING ELEVATIONS
WERE SHOWN ON PLANS PROVIDED BY BILL BRASS
DATED 5-6-21. NOT FIELD VERIFIED.



PROPOSED IMPROVEMENT AREAS:

EXISTING TO REMAIN (IN SQUARE FEET)
HOUSE = 2,258
REAR PORCH = 205
DRIVEWAY = 822
CONCRETE/PAVERS = 1,191
FIRE RING = 26
WALLS = 326
TOTAL REMAINING IMPROVEMENTS = 4,828 SQ.FT.

PROPOSED IMPROVEMENTS
ACCESSORY BUILDING = 1,000
CONC. APRON = 108
DRIVEWAY = 1,235
WALLS = 136
STEPS & CONC. = 137
TOTAL ADDITIONAL PROPOSED = 2,616

TOTAL = 7,444 / 14.6% (% OF TOTAL PARCEL AREA)

UNDERGROUND UTILITIES NOTES:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THIS SURVEY HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ADDITIONAL UTILITIES OF WHICH WE ARE UNAWARE MAY EXIST.



LEGAL DESCRIPTION:

(AS SHOWN ON AVAILABLE TAX RECORDS)

Lot 1, Block 1, SPRINGBORN'S GREEN ACRES, according to the recorded plat thereof, Washington County, Minnesota.

EASEMENY NOTES:

EASEMENTS AND OR ENCUMBRANCES SHOWN PER THE RECORD PLAT OF SPRINGBORN'S GREEN ACRES AND AVAILABLE PARCEL MAPPING PER WASHINGTON COUNTY SURVEYORS OFFICE. EASEMENTS MAY EXIST THAT ARE NOT SHOWN.

AREA:

TOTAL AREA AS SHOWN = 50,982 SQ.FT. / 1.17 ACRES

SURVEY NOTES:

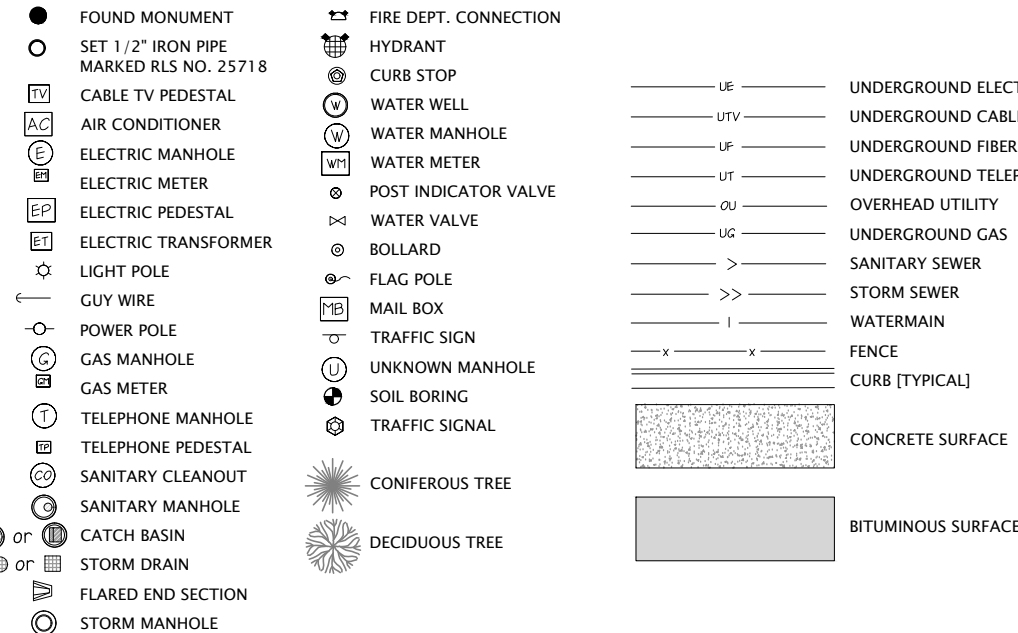
1. BEARINGS ARE BASED ON THE WASHINGTON COUNTY COORDINATE SYSTEM NAD 1983. BEARING ARE DIFFERENT THAN SHOWN ON THE RECORDED PLAT.
2. UNDERGROUND UTILITIES NOT SHOWN
3. 2' CONTOURS SHOWN PER FIELD LOCATED SPOT ELEVATIONS AS AS SHOWN ON THE SURVEY. SUPPLEMENTAL CONTOURS SHOWN OUTSIDE OF THE AREA WHERE SPOT ELEVATIONS ARE SHOWN PER LIDAR DATA OBTAINED FROM THE DNR MNTPO WEBSITE. NOT FIELD VERIFIED. .
4. CORNERSTONE LAND SURVEYING, INC. HAS NOT BEEN TO THE SITE TO VERIFY IF ANY IMPROVEMENTS HAVE BEEN INSTALLED SINCE THE INITIAL SURVEY ON 1-19-20.
5. THE PROPOSED BUILDING HAS BEEN CONSTRUCTED BUT THE LOCATION OF THE BUILDING HAS NOT BEEN VERIFIED BY CORNERSTONE LAND SURVEYING.

EXISTING IMPROVEMENT AREAS:

HOUSE = 2,258 (IN SQUARE FEET)
REAR PORCH = 205
DRIVEWAY = 822
CONCRETE/PAVERS = 1,191 (AS OF 10-19-20)
FIRE RING = 26
WALLS = 326

TOTAL IMPROVEMENTS = 4,828 SQ.FT.
= 9.5% (% OF TOTAL LOT AREA)

LEGEND:



DENOTES PROPOSED IMPROVEMENTS
WITHIN THE PLATED DRAINAGE AND
UTILITY EASEMENT AREA

DENOTES PROPOSED IMPROVEMENTS
WITHIN THE DEDICATED STREET RIGHT
OF WAY.

DENOTES PROPOSED IMPROVEMENTS
WITH THE PLATED LOT (RED)

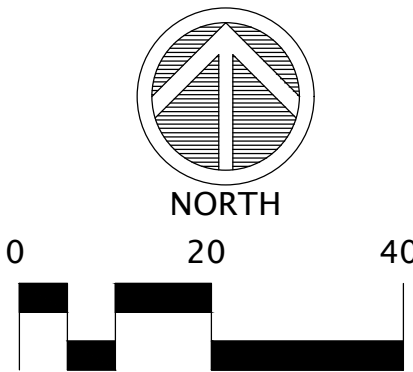
CONTACT:

BILL AND VALERIE BRASS
8930 JANE ROAD N.
LAKE ELMO, MN 66042

COUNTY/CITY:

WASHINGTON
COUNTY

CITY OF
LAKE ELMO



REVISIONS:

DATE	REVISION
10-19-20	ISSUED
1-10-22	SITE GRADING PLAN
1-25-22	REV. EASEMENT/DIM
3-1-22	DRIVEWAY SHADED
3-11-22	ADD LEGEND DETAIL

CERTIFICATION:

I hereby certify that this plan was prepared by
me, or under my direct supervision, and that I am
a duly Licensed Land Surveyor under the laws of
the state of Minnesota.

Daniel L. Thurmes
Daniel L. Thurmes Registration Number: 25718
Date: 10-19-20

PROJECT LOCATION:

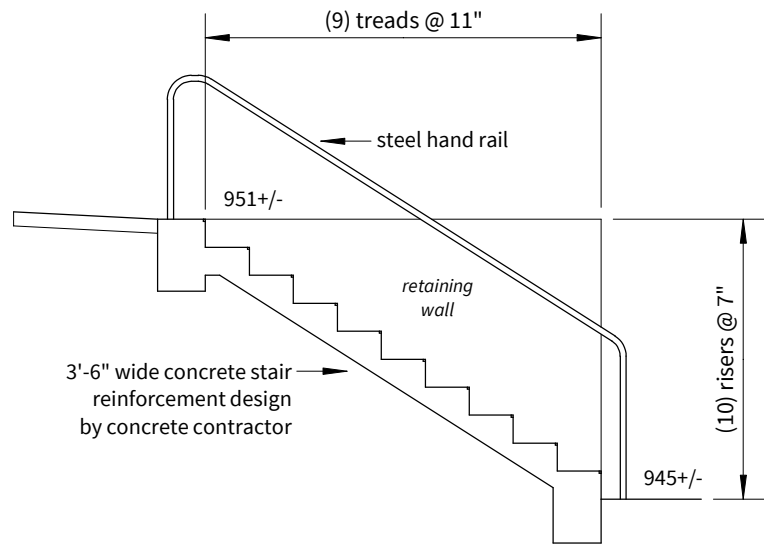
8930
JANE ROAD N.
PID#0902921110016

Suite #200
1970 Northwestern Ave.
Stillwater, MN 55082
Phone 651.275.8969
dan@cssurvey.net

CORNERSTONE
LAND SURVEYING, INC.

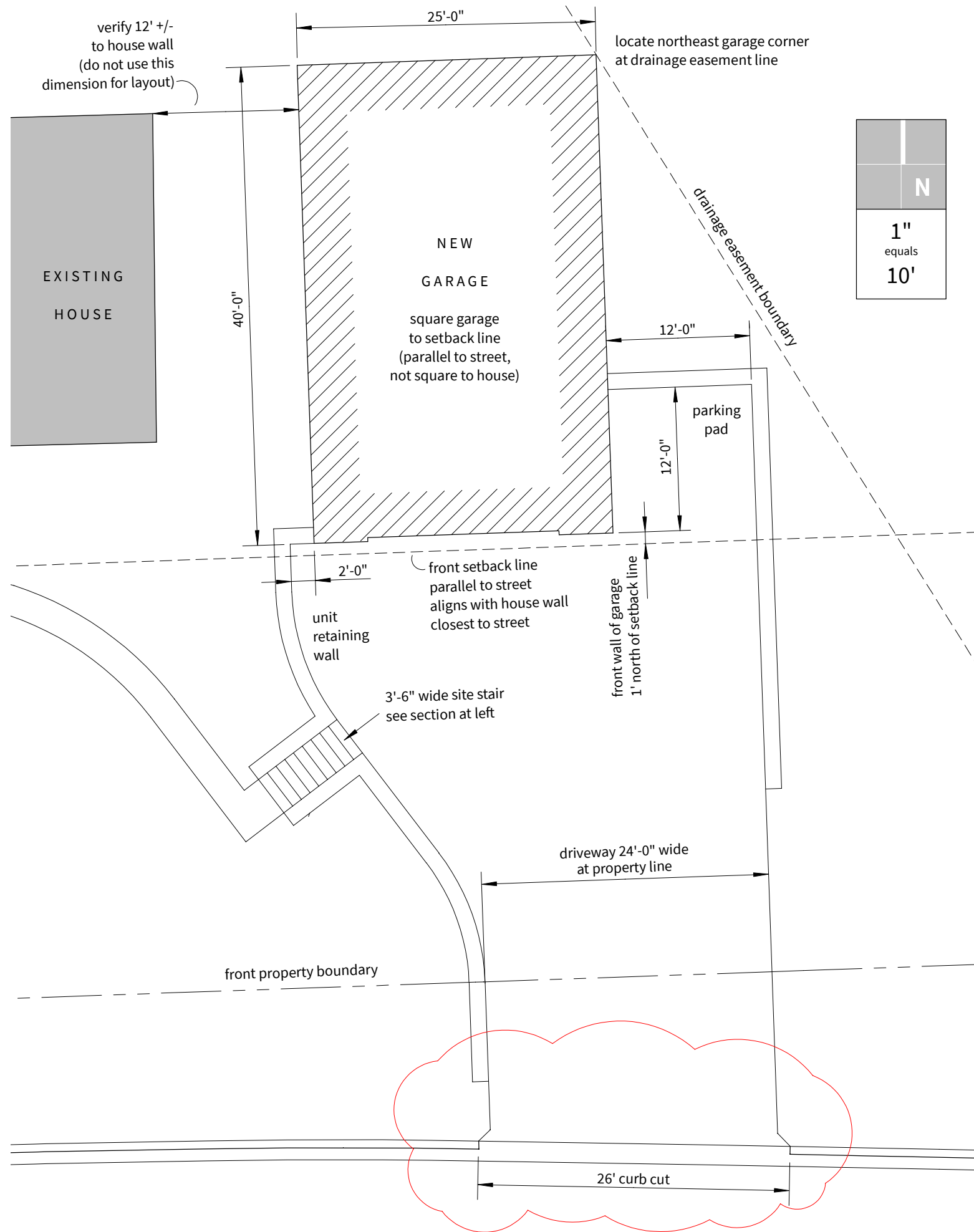
FILE NAME SURVZZ339A
PROJECT NO. Z214339A

SITE/GRADING
PLAN



Site Stair Section

Scale: 1/4" = 1'-0"



New Garage for Bill and Valerie Brass

Site Layout

05/06/21 PERMIT SET REVISED 6/29/21

A3

I hereby certify that this drawing, specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the laws of the State of Minnesota.

Paul Ormseth

Lic. No. 25731 Date 06/29/21

Paul Ormseth Architect

75 5th St. W. STE 402
St. Paul, MN 55102
(651) 298-6789









STAFF REPORT

DATE: 3/28/22

REGULAR

ITEM#: 4c – PUBLIC HEARING
MOTION

TO: Planning Commission
FROM: Molly Just, Planning Director
ITEM: H.C. Golf Land, LLC Conditional Use Permit for a Swimming Pool & Fitness Center

BACKGROUND

H.C. Golf Land, LLC (Applicant) has applied for a Conditional Use Permit (CUP) for construction of a swimming pool and fitness center on the property located at 104441 20th Street N (PID#25.029.21.12.0002). The proposed 1,900 sqf fitness center and 25x50 swimming pool would be for the use of residents in the Royal Golf subdivision and would be managed by the home owners association. The use is allowed by CUP in the zoning district and in the Planned Unit Development (PUD) that also governs the subdivision.

PROPOSAL DETAILS/ANALYSIS

Applicant: H.C. Golf Land, LLC
Property Owners: H.C. Golf Land, LLC
Location: 104441 20th Street North
Request: Application for a Conditional Use Permit (CUP) to allow a pool and fitness center
Site Area: 10.8 acres
Existing Land Use: Clubhouse and maintenance facility for a single family residential subdivision
Existing Zoning: Golf Course Community/PUD
Surrounding: North – single family homes zoned RS
West – golf course and single family homes zoned GCC/PUD
South – golf course and single family homes zoned GCC/PUD
East – golf course and single family homes zoned GCC/PUD
Comprehensive Plan: Golf Course Community (GCC)
History: The property is within the Royal Golf Club subdivision and consists of the clubhouse and maintenance facilities that were originally owned by 3M and used by 3M employees. The subject property is in violation of City Code Title 5 Public Works which requires any residential or non-

residential structures with access to municipal water and sewer to connect within two-years of availability.

Deadline for Action: Application Complete – 3/11/2022
60 Day Deadline – 5/10/2022

Regulations: 105.12.110 – Zoning Use Types and Classifications
Article XII – Urban Residential Districts
Article XIX – Shoreland Overlay District
Royal Golf Club Planned Unit Development
105.12.290 – Conditional Use Permits
105.12.480 – Landscaping Requirements

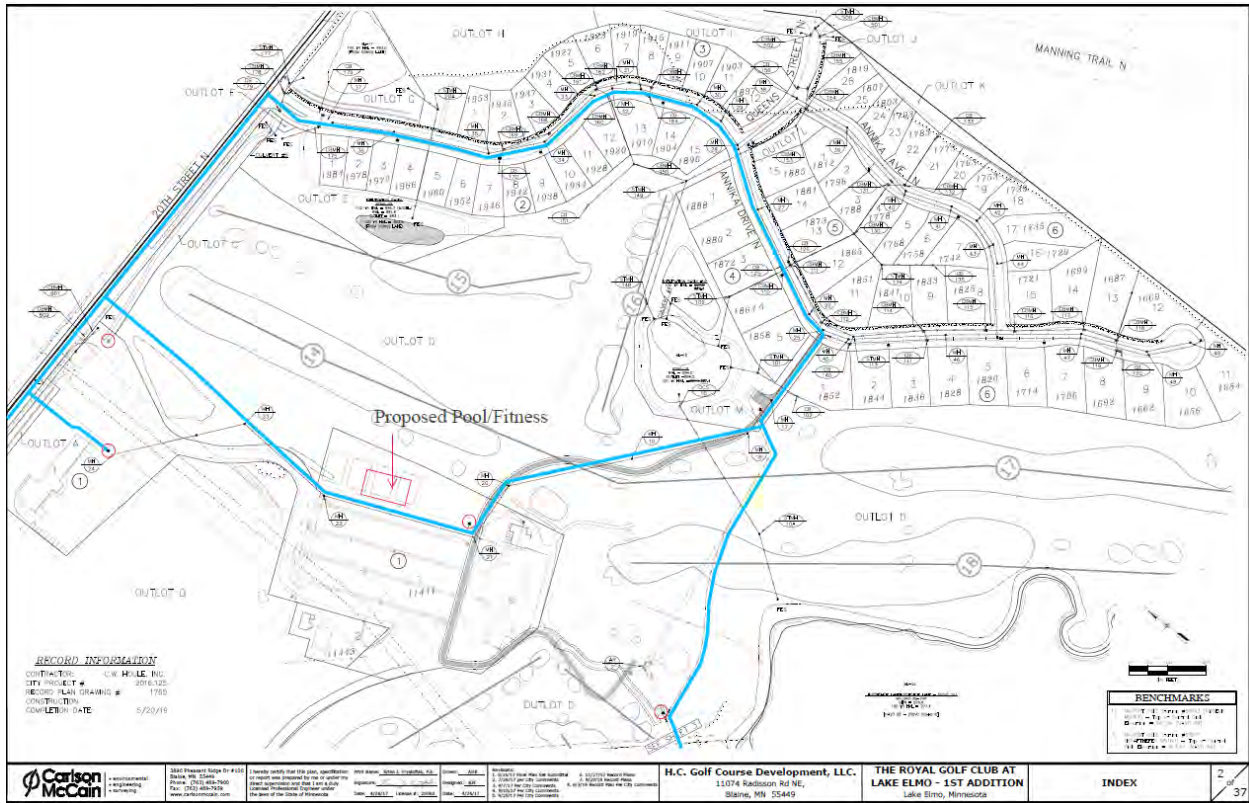
PROJECT ANALYSIS

The proposed facilities would be used by residents within the Royal Golf subdivision and would not be open to the public so should not generate traffic to the property. The proposed facilities will connect to the available public water and sewer facilities. The existing clubhouse and maintenance building have not yet connected to these public utilities although the utilities have been available for over two years. City Code requires that any residential or non-residential structures with access to municipal water and sewer to connect within two-years of availability. Public water and sewer are stubbed to the buildings. While City staff recommend approval of the requested CUP, staff recommends a condition of approval requiring connection of the existing buildings to the available water and sewer before permits are issued for the proposed swimming pool and fitness center.

REVIEW COMMENTS

Engineering Review. The City Engineer reviewed this request and prepared the following response.

1. For city record purposes, the application drawings should be updated to provide an additional project location plan that provides the proposed facility location with respect to existing property lines, parcel data and easements. All property and easement line types should be clearly labeled.
2. Relocating the pool and fitness center to the east side of the parking lot is favorable from an infrastructure perspective. Sewer and water service connections are more readily available in the new location, and fire hydrant placement is in closer proximity to the new location.
3. The facility is located in the MUSA area and must be connected to municipal city water and sewer.
4. The proposed site can be adequately served by the existing municipal water system. The following exhibit shows a well looped watermain network around the facility and provides all existing nearby fire hydrants for review by the Fire Department and Public Works. A Met Council SAC determination should be obtained to determine the WAC units for the facility.



5. The proposed site can be adequately served by the existing sanitary sewer system. However the Royal Golf South Lift Station is currently operating without a backup power supply as the existing generator operation has failed. It is recommended that a reliable backup power supply be restored to use prior to permitting additional unplatted facilities to this lift station. A Met Council SAC determination should be obtained to determine the SAC units for the facility.
6. Stormwater Management. The applicant must identify whether stormwater management will be required for the improvements. VBWD requirements trigger stormwater management for 6,000 SF of impervious surface area. If additional stormwater management is needed, a site grading plan will need to be reviewed and approved by engineering prior to construction.
7. Traffic. The application indicates that there will not be any traffic increases or concerns created by the proposed facility, however there is no documentation to support this conclusion. In addition, engineering has not received complaints or inquiries regarding traffic at the intersection of 20th Street and the Royal Golf driveway. No additional review will be taken regarding the traffic generation/issues unless specifically requested.

Fire Department Review. The Fire Department reviewed this request and provided the attached memo dated March 16, 2022. The comments must be addressed.

Landscaping Review. The City's landscape architect reviewed this request and provided a memorandum dated March 21, 2022. At this time, the tree preservation and landscape plans do not meet the minimum requirements. The memorandum is provided as an attachment to the staff

report. Staff recommends a condition approval requiring the plans to meet the minimum requirements.

RECOMMENDED FINDINGS

Conditional use means a land use or development as defined by ordinance that would not be appropriate generally but may be allowed with appropriate restrictions as provided by official controls only upon a finding that all of the following provisions are met. Staff recommends the following findings:

1. The proposed use will not be detrimental to or endanger the public health, safety, comfort, convenience or general welfare of the neighborhood or the city. ***The proposed use should not be detrimental or in any way endanger the public health, safety, comfort. The Royal Golf South Lift Station is currently operating without a backup power supply as the existing generator operation has failed. It is recommended that a reliable backup power supply be restored to use prior to permitting additional unplatted facilities to this lift station.***
2. The use or development conforms to the City of Lake Elmo Comprehensive Plan. ***The proposed use conforms to the Comprehensive Plan.***
3. The use or development is compatible with the existing neighborhood. ***The proposed use is permitted in the Golf Course Community District subject to a CUP.***
4. The proposed use meets all specific development standards for such use listed in the Zoning Code. ***The proposed use must meet the provisions of 105.08-V Swimming Pools.***
5. If the proposed use is in a flood plain management or shoreland area, the proposed use meets all the specific standards for such use listed in Article XIX (Shoreland Management) and Title 100 (Flood Plain Management). ***The proposed use must meet the Shoreland Regulations.***
6. The proposed use will be designed, constructed, operated and maintained so as to be compatible in appearance with the existing or intended character of the general vicinity and will not change the essential character of that area. ***The proposed use will be compatible in appearance with the existing character of the general vicinity and will not change the essential character of the area.***
7. The proposed use will not be hazardous or create a nuisance as defined under this Chapter to existing or future neighboring structures. ***The proposed swimming pool and fitness center are to be used and managed by residents of the surrounding subdivision and so should not create a nuisance to existing or future neighboring structures.***
8. The proposed use will be served adequately by essential public facilities and services, including streets, police and fire protection, drainage structures, refuse disposal, water and sewer systems and schools or will be served adequately by such facilities and services provided by the persons or agencies responsible for the establishment of the proposed use. ***The property is currently in violation of City Code requirements to connect to available public water and sewer facilities. With conditions of approval, the property will be served by essential public facilities.***

9. The proposed use will not create excessive additional requirements at public cost for public facilities and services and will not be detrimental to the economic welfare of the community. ***The proposed use should not create excessive additional requirements at public cost.***
10. The proposed use will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare because of excessive production of traffic, noise, smoke, fumes, glare or odors. ***The proposed use should not be detrimental to persons, property, or the general public welfare.***
11. Vehicular approaches to the property, where present, will not create traffic congestion or interfere with traffic on surrounding public thoroughfares. ***The proposed use should not generate traffic to the subdivision as it is intended to serve the subdivision and will not be open to the public.***
12. The proposed use will not result in the destruction, loss or damage of a natural or scenic feature of major importance. ***The proposed use should not impact natural or scenic features.***

RECOMMENDED CONDITIONS OF APPROVAL

If the City Council wishes to approve the CUP request, city staff recommends the following conditions of approval:

- 1) Prior to issuance of City permits for the project:
 - a) Stormwater Management: A stormwater management plan meeting all State, Watershed District and City rules is required and a permit must be obtained from the Valley Branch Watershed District. These required details must be included.
 - i. Soil borings will be required for infiltration basins.
 - ii. If adjacent properties are impacted by stormwater discharge, written permission from those property owners is required.
 - iii. The storm water facilities must remain privately owned and maintained.
 - iv. A Stormwater Maintenance and Easement Agreement in the City's standard form is required.
 - b) The applicant must provide to the City Engineer a statement from a qualified engineer certifying the foundation and design of the solar panels, racking and support is within accepted professional standards, given local soil and climate conditions.
 - c) The City's Landscape Architect shall review and response to the updated landscaping plans dated March 8, 2022.
 - d) The applicant must obtain all other necessary City, State, and other governing body permits prior to the commencement of any construction activity on the parcel including but not limited to an approved stormwater management plan, utility plans, grading plan, and building permits.

FISCAL IMPACT

There is no fiscal impact on the City as a result of this use.

RECOMMENDED CONDITIONS OF APPROVAL

1. Prior to issuance of City permits for the proposed swimming pool or fitness center the existing buildings on the property shall be connected to public water and sewer.
2. Prior to issuance of City permits for the proposed swimming pool or fitness center the landscape plan shall be revised and found compliant with Article VIII.
3. Prior to issuance of City permits for the proposed swimming pool or fitness center the applicant must identify whether stormwater management will be required for the improvements. VBWD requirements trigger stormwater management for 6,000 SF of impervious surface area. If additional stormwater management is needed, a site grading plan shall be reviewed and approved by engineering prior to construction.
4. Prior to issuance of City permits for the proposed swimming pool or fitness center the City Engineer and Director of Public Works shall approve the location of any necessary fire hydrant.
5. The proposed fitness center shall have a separate address.

OPTIONS:

The Planning Commission may:

- Recommend approval of the Conditional Use Permit with recommended findings and conditions of approval.
- Recommend approval of the Conditional Use Permit with amended findings and conditions of approval.
- Recommend denial of the Conditional Use Permit, citing findings for denial.

RECOMMENDATION:

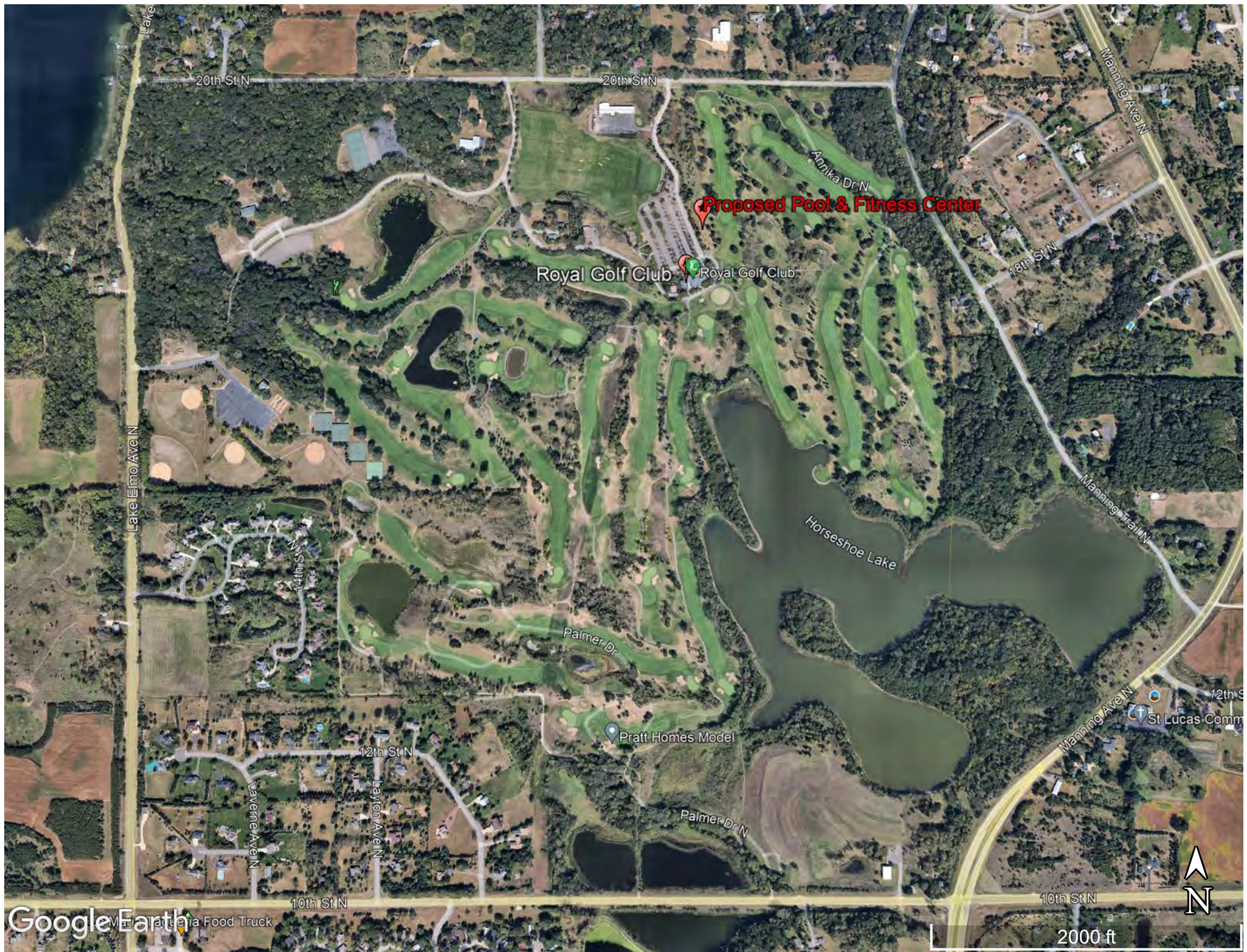
Staff recommends the Planning Commission recommend approval of the CUP to allow a swimming pool and fitness center on the subject property with the listed conditions.

Suggested motion:

“Move to recommend approval of a Conditional Use Permit (CUP) for the construction of a swimming pool and fitness center with the listed conditions based on the findings listed in the staff report.”

ATTACHMENTS:

1. Location Map
2. Landscape Architect Memo
3. Fire Department Memo
4. Land Use Application
5. Applicant’s Narrative
6. Site Plan
7. Photometric Plan



To: Molly Just, City of Lake Elmo Planning Director From: Sarah Harding, Associate Landscape Architect

Project/File: Date: March 21, 2022

Reference: Royal Golf CUP for Pool and Fitness Center

Submittals: Landscape Plans, dated 2/7/2022, received 3/14/2022

Location: Current address - 11441 20th Street North, Lake Elmo

Land Use Category: Golf Course Community (GCC) - PUD

Surrounding Land Use Concerns: Golf Course Community (GCC)

Special landscape provisions in addition to the zoning code: Not applicable

Tree Preservation:

105.12.470 Tree Preservation

A landscape/tree preservation plan has been submitted that does not meet all requirements.

- The Tree Preservation Plan must include a Tree Inventory, which includes:
 - A listing of healthy significant trees inventoried
 - A listing of the healthy significant trees removed
 - A listing of the healthy significant trees to remain
- The landscape and tree preservation plans currently does not list an inventory of trees to remain
- Measures to protect significant trees. Silt fence is shown on the plan but is not a sufficient tree protection measure. Refer to the City tree protection detail and definition of Critical Root Zone for locating tree protection fencing.
- Protective measures shall be identified and required:
 - Installation of snow fencing or polyethylene laminate safety netting placed at the drip line or at the perimeter of the critical root zone, whichever is greater, of significant trees, specimen trees and significant woodlands to be preserved. No grade change, construction activity, or storage of materials shall occur within this fenced in area.
- One existing 12-inch Maple tree and 22-inch Scotch Pine are noted to remain but are shown to be in conflict with proposed construction impacts within their Critical Root Zone (CRZ). The CRZ, as defined by the City Code, is not shown on the plan.

Reference: Royal Golf CUP for Pool and Fitness Center

Landscape Requirements:

105.12.480 Landscape Requirements

The landscape plans do meet the code required number of trees but do not reflect the potential tree preservation/mitigation requirements as noted above. The landscape plan will need to be reevaluated after completion of the existing tree inventory.

	Site Measurement	Required	Proposed
Street frontage	0		
Lake Shore	0		
Stream Frontage	0		
Total Linear Feet	0		
/50 Feet = Required Frontage Trees		0	
Development or Disturbed Area (Acres)	0.4		
/5 = Required Development Trees		3	6
Screening Perimeter between Land Uses (LF)	140		
1 tree per 40 LF		4	5
Required Mitigation Trees	Unable to determine mitigation trees required		
Required Number of Trees		7	11

The landscape plans do meet the minimum compositions of required trees:

- At least 25% of the required number of trees shall be deciduous shade trees
- At least 25% of the required number of trees shall be coniferous trees
- Up to 15% of the required number of trees may be ornamental tree

	Qty	% Composition	
Deciduous Shade Tree	3	27%	>25% required
Coniferous Tree	8	73%	>25% required
Ornamental Trees*	0		
Tree Count	11		

A landscape plan has been submitted that does not include all requirements

- All plant materials shall meet the minimum size standard per Table 6-1. For example, deciduous shade trees shall be 2.5-inch caliper minimum.

Reference: Royal Golf CUP for Pool and Fitness Center

Screening – The landscape plan does not meet all screening requirements.

- Screening is required by City code. Screening shall be used to provide visual and noise separation of intensive uses (proposed fitness center) from less intensive uses (existing residential east of proposed fitness center). Where screening is required in the City Code between uses or districts, it shall consist of either a masonry wall or fence in combination with landscape material that forms a screen at least six (6) feet in height, and not less than ninety percent (90%) opaque on a year-round basis. Landscape material shall include trees, planted at a minimum of one deciduous or coniferous tree per forty (40) linear feet along the property line. Additional landscape material such as shade trees or trellises may be required to partially screen views from above.
- Current plans show the required number of trees but does not meet the 6-ft height, 90% opacity portion of the screening requirement.

Irrigation – The plans do not include detail on whether the irrigation system design will include a new point of connection.

- Only one water supply point of connection shall be permitted per development. If development is planned to be comprised of multiple phases of construction, all phases shall be master planned and sized for one water supply point of connection unless otherwise approved in writing by City of Lake Elmo.

Findings:

- A tree preservation and landscape plan does not meet the requirements noted above.
- Irrigation notes do not clarify an existing or new point of connection is proposed.

Recommendation:

It is recommended that a condition(s) of approval include:

- Submit a revised landscape plan and tree preservation plan.

Respectfully,

STANTEC CONSULTING SERVICES INC.



Harding, Sarah

2022.03.21 19:05:36

-05'00'

Sarah Harding PLA
City of Lake Elmo Municipal Landscape Architect
Mobile: 952-334-4838
sarah.harding@stantec.com

Lake Elmo Fire Department

Memorandum



To: Molly Just, Planning Director

From: Dustin Kalis, Fire Chief

Date: 3/16/22

Re: Conditional Use Permit for a Pool & Fitness Center: 11441 20th Street N

The Lake Elmo Fire Department has completed a Conditional Use Permit for a Pool & Fitness Center at 11441 20th Street N based on submittals dated 3/11/22 with the following comments:

- 1) An approved signage and marking plan shall be determined for all No Parking and Fire Lane access roads.
- 2) Fire hydrant location to be reviewed by Engineering and Public Works.
- 3) Building shall have a separate address from clubhouse and maintenance building. Application shows 11457 20th Street N is to be used and would be acceptable to the Fire Department.
- 4) Building address numbers shall be plainly visible from the street fronting the property and shall contrasting color from the background. Addresses may be required to be posted adjacent to driveways or other access ways.
- 5) A Fire Department lock box is required for emergency access to building at an approved location(s) for the apartment and school buildings and provide keys for emergency access into and throughout the occupancy as required.
- 6) The fire alarm systems shall be installed compliant with provisions of 2016 NFPA Standard 72, National Fire Alarm Code. City permit required prior to initiation of work.
- 7) Install emergency egress illumination in the means of egress including exit discharge compliant with 2020 MSFC.
- 8) Pool gate and access shall be compliant with 2020 MSFC.
- 9) Install compliant exit signage as required by the 2020 MSFC.
- 10) Provide and install dry chemical fire extinguishers certified for service and tagged as required. Service classification rating shall be a minimum 2A classification rating and maximum travel distance of 75 feet to extinguishers. The minimum classification rating may be upgraded for special or extra hazard areas within the occupancy.
- 11) Rooms containing controls for air-conditioning systems, roof access, elevator equipment, sprinkler risers and valves, or other fire detection, suppression or control elements shall be identified for the use of the fire department. Approved signs required to identify fire protection equipment and equipment location, shall be constructed of durable materials, permanently installed and readily visible.

"Proudly Serving Neighbors & Friends"

Codes and Standards Used for this Review

This review is based on the following codes and standards as adopted and in effect in the State of Minnesota at the time of plan submittal.

- 2020 Minnesota State Fire Code
- Lake Elmo Fire Department Fire Code Policy
- NFPA 72, 2016 edition
- NFPA 13, 2016 edition

Date Received: _____
Received By: _____
Permit #: _____



651-747-3900
3880 Laverne Avenue North
Lake Elmo, MN 55042

CONDITIONAL USE PERMIT APPLICATION

Property Owner: H.C. Golf Land, LLC

Address: 11455 20th Street North, Lake Elmo MN 55042

Phone #: 651-414-1948

Email Address: jfeltan@royalclubmn.com

Fee Owner: H.C. Golf Land, LLC

Address: 11455 20th Street North, Lake Elmo MN 55042

Phone #: 651-474-1948

Email Address: jfeltan@royalclubmn.com

Property Address: 11441 20th Street North, Lake Elmo MN 55042

PID#: 25.029.21.12.0002

Engineer Name and Email: Kyle Ogren, Carlson McCain, kogren@carlsonmccain.com

Detailed Reason for Request: To build a pool/fitness center for the residents as part of the development amenities. The pool/fitness center will be located on a revised lot location on the east side of the existing clubhouse parking lot. The new lot will be 11457 20th Street North, Lake Elmo. The lot will be deeded to the Master HOA of Royal Club.

In signing this application, I hereby acknowledge that I have read and fully understand the applicable provisions of the Zoning ordinance and current administrative procedures. I further acknowledge the fee explanation as outlined in the application procedures and hereby agree to pay all statements received from the City pertaining to additional application expense.

Signature of applicant: _____

Date: _____

3/11/22

Signature of property owner: _____

Date: _____

3/11/22

①

Contact information:

Owner of Record

H.C. Golf Land, LLC
11455 20th Street North, Lake Elmo MN 55042

Authorized Agents/Representatives

James Felten
jfelten@royalclubmn.com
651-414-1948

Engineer

Carlson McCain
Brian J. Krystofiak, Senior Engineer
3890 Pheasant Ridge Drive NE, Suite 100 Blaine MN 55449
bkrystofiak@carlsonmccain.com
763-489-7905

Surveyor

Carlson McCain
Thomas R. Balluff, Professional Land Surveyor
3890 Pheasant Ridge Drive NE, Suite 100 Blaine MN 55449
tballuff@carlsonmccain.com
763-489-7916

Listing of the site data: address, current zoning, parcel size in acres and square feet, property identification #s, current legal description

The Property address is 11441 20th Street North, Lake Elmo MN 55042. The current zoning of the Property is GCC – Golf Course Community, is 10.85 acres (472,548sf). The PID # is 25.029.21.12.0002. Legal Description is Block 1 Lot 1 The Royal Golf Club at Lake Elmo.

Narrative regarding the history of the property (current and past uses) and any pre-application discussions with staff

The Property was originally a 475-acre parcel owned by the 3M Company. It had a golf course, tennis courts, softball fields, archery range, etc., for private recreational use by its employees. It was purchased by the present Owners in 2016. The new group built a new Arnold Palmer/Annika Sorenstam designed golf course and received approval of 291 homesites.

(d) Specific written description of the proposed use(s).

- i. Incorporate information describing how the use will work on the proposed site including proposed site changes, existing open spaces, landscaping, traffic circulation, transition areas to adjacent properties, individual uses for existing and proposed structures, and effects on natural areas (wetlands, forests, etc.) both on-site and in general vicinity of the project.

The proposal is to relocate the original Pool/Fitness Center from the West side of the Clubhouse parking lot to the East side. The exterior of the building will mirror the Clubhouse. It will be approximately 1900 square feet. It will consist of two separate bathrooms with showers per State Code that are ADA compliant. It will also have an exercise room containing cardio equipment. The Pool will be approximately 25' by 50'. There will not be a deep end for diving. The East side of the parking lot will allow for more usable room for the footprint, be safer for residents loading and unloading in a high traffic area and therefore reduce congestion. The new location will be safer from golfers, traffic and allow for more screening of trees. It does not impact or infringe upon any naturalized areas. We also have existing utilities (sewer/water) stubbed into those lots versus having to disrupt the existing facilities golf, restaurant and wedding and corporate entities by extending those services across the parking lot.

- ii. Provide specific details about the use including the number of employees, hours of operation, maximum number of animals (if applicable), proposed development schedule etc.**

The pool and fitness center are strictly resident amenities and will be owned and governed by its HOA. Therefore, there will be no additional traffic to the site. It will be the residents' decision to determine hours of operation, staffing, if pets are allowed, etc. Because the pool is an outdoor pool, it naturally will only be open in the summer. The fitness center will be open year-round and since it is private to the Residents, they can determine its hours. The pool and fitness center will be self-governed through the residents HOA. The pool and fitness center will not have a dedicated food service, particularly with its proximity to the Clubhouse.

e) Provide justification that the proposed use meets the following findings:

- i. The proposed use will not be detrimental to or endanger the public health, safety, comfort, convenience or general welfare of the neighborhood or City.**

The proposed use will not be detrimental to the facility or its residents as it will provide a healthy recreational outlet.

- ii. The use or development conforms to the City of Lake Elmo Comprehensive Plan.**

The use falls in line with the City of Lake Elmo's Comprehensive Plan and is compatible with the neighborhood. It is similar and common place to many developments.

- iii. The use or development is compatible with the existing neighborhood.**

The new facilities obvious healthy purpose combined with the golf and walking trails accent the healthy, active lifestyle at The Royal Club.

- iv. The proposed use meets all specific development standards for such use listed in Article 7 of the Zoning Code.**

This proposal as a HOA Pool/Fitness Center meets Article 7 of the Zoning Code.

- v. If the proposed use is in a flood plain management of shoreland area, the proposed use meets all the specific standards for such use.**

The proposed use does not sit in any flood plain or Shoreland district.

- vi. The proposed use will be designed, constructed, operated and maintained so as to be compatible in appearance with the existing or intended character of the general vicinity and will not change the essential character of that area.**

The architecture will conform with and compliment the existing, adjacent Clubhouse.

- vii. The proposed use will not be hazardous or create a nuisance as defined in the zoning code to existing or future neighboring structures.**

The proposed will not be hazardous or detrimental to its surroundings.

- viii. The proposed use will be served adequately by essential public facilities and services, including streets, police and fire protection, drainage structures, refuse disposal, water and sewer systems and schools or will be served adequately by such facilities and services provided by the persons or agencies responsible for the establishment of the proposed use.**

The proposed use will be adequately served by all existing public services as has the existing property for several years.

- ix. The proposed use will not create excessive additional requirements at public cost for public facilities and services and will not be detrimental to the economic welfare of the community.**

The proposed use will not create any excessive, additional costs to the City, its infrastructure or affect the economic welfare of the community.

- x. The proposed use will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property of the general welfare because of excessive production of traffic, noise, smoke, fumes, glare or odors.**

This facility, nor its operation will have an adverse effect on personal property, their value, nor contribute any excessive traffic, noise, air pollutants, glare or odor. On the contrary, this facility will promote good health and community for its Residents.

- xi. Vehicular approaches to the property, where present, will not create traffic congestion or interfere with traffic on surrounding public thoroughfares.**

The proposed use will not present any traffic congestion nor interfere with any traffic issues on the surrounding public streets. The proposed use is for the Residents of the Development in which they all have the option to walk to the facility or utilize their golf carts which doesn't contribute to automobile traffic and thus, is environmentally friendly.

- xii. The proposed use will not result in destruction, loss or damage of a natural or scenic feature of major importance.

This facility will not damage nor impact any natural or scenic features.

3) Verification of ownership (a copy of a current title report, purchase agreement, etc.)

4) Address labels: A certified list of property owners located within three hundred fifty feet (350') of the subject property obtained from and certified by a licensed abstractor or through Washing County.

LAKE ELMO, MINNESOTA



- SHEET INDEX**



- 1) MN/DOT GSID Station #33653 (NYBECD
MN163) – Top of Control Disk
Elevation = 941.54 (NAVD 88).

- 2) MN/DOT GSID Station #33601
(KRAFTHEFER MN163) – Top of Concrete
Disk Elevation = 913.04 (NAVD 88).

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Print Name: Brian J. Krystofiak, P.E.
Signature: Brian J. Krystofiak
Date: 10/29/21 License #: 25063

Drawn: KRO
Designed: BJK
Date: 10/29/2

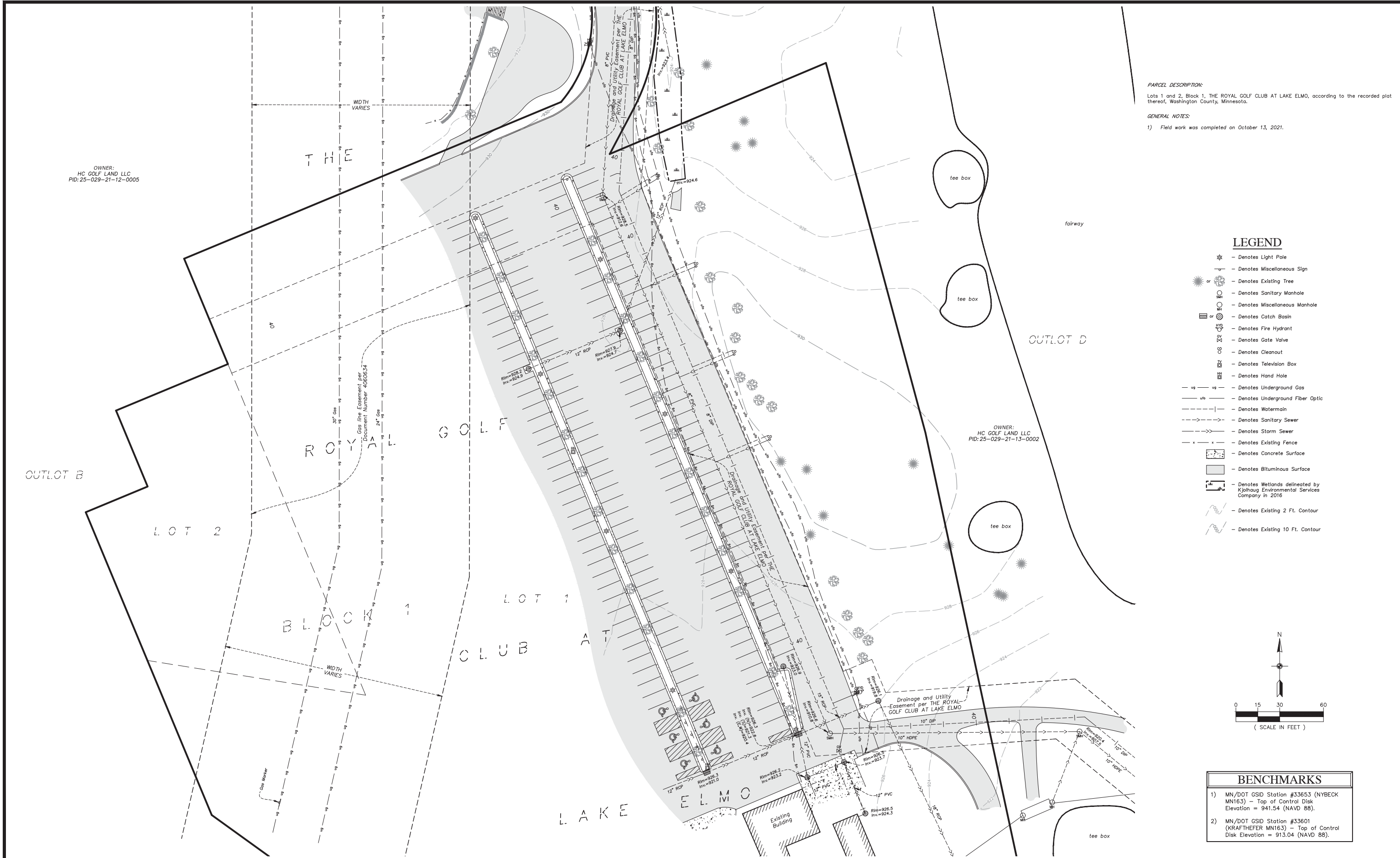
Revisions:

1. 2021-12-06 - Per City Comments.
2. 2021-12-14 - Revise Sheets 1, 3 & 4 Per Owner
3. 2022-01-03 - Revise Layout Per Owner.
4. 2022-02-07 - Per City Comments.

11074 Radisson Road NE
Blaine, MN 55449

**THE ROYAL GOLF CLUB AT LAKE
ELMO - POOL & FITNESS CENTER**

COVER



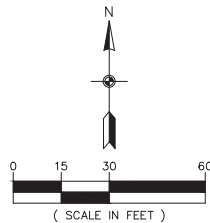
OWNER:
HC GOLF LAND LLC
PID: 25-029-21-12-0005

PARCEL DESCRIPTION:
Lots 1 and 2, Block 1, THE ROYAL GOLF CLUB AT LAKE ELMO, according to the recorded plat thereof, Washington County, Minnesota.

GENERAL NOTES:
1) Field work was completed on October 13, 2021.

LEGEND

- Denotes Light Pole
- Denotes Miscellaneous Sign
- Denotes Existing Tree
- Denotes Sanitary Manhole
- Denotes Miscellaneous Manhole
- Denotes Catch Basin
- Denotes Fire Hydrant
- Denotes Gate Valve
- Denotes Cleanout
- Denotes Television Box
- Denotes Hand Hole
- Denotes Underground Gas
- Denotes Underground Fiber Optic
- Denotes Watermain
- Denotes Sanitary Sewer
- Denotes Storm Sewer
- Denotes Existing Fence
- Denotes Concrete Surface
- Denotes Bituminous Surface
- Denotes Wetlands delineated by Kjelhaug Environmental Services Company in 2016
- Denotes Existing 2 Ft. Contour
- Denotes Existing 10 Ft. Contour



BENCHMARKS

- 1) MN/DOT GSID Station #33653 (NYBECK MN163) - Top of Control Disk
Elevation = 941.54 (NAVD 88).
- 2) MN/DOT GSID Station #33601 (KRAFTHOFER MN163) - Top of Control Disk
Elevation = 913.04 (NAVD 88).



CARLSON MCCAIN
ENGINEERING
SURVEYING
ENVIRONMENTAL

3890 PHEASANT RIDGE DRIVE
SUITE 100
BLAINE, MN 55449
TEL 763.488.7900
FAX 763.488.7909
CARLSONMCCAIN.COM

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota

Print Name: Thomas R. Balluff, L.S.
Signature: *Thomas R. Balluff*
Date: 10/29/21 License #: 40361

DRAWN BY: KCM
ISSUE DATE: 10/29/21
FILE NO: 384

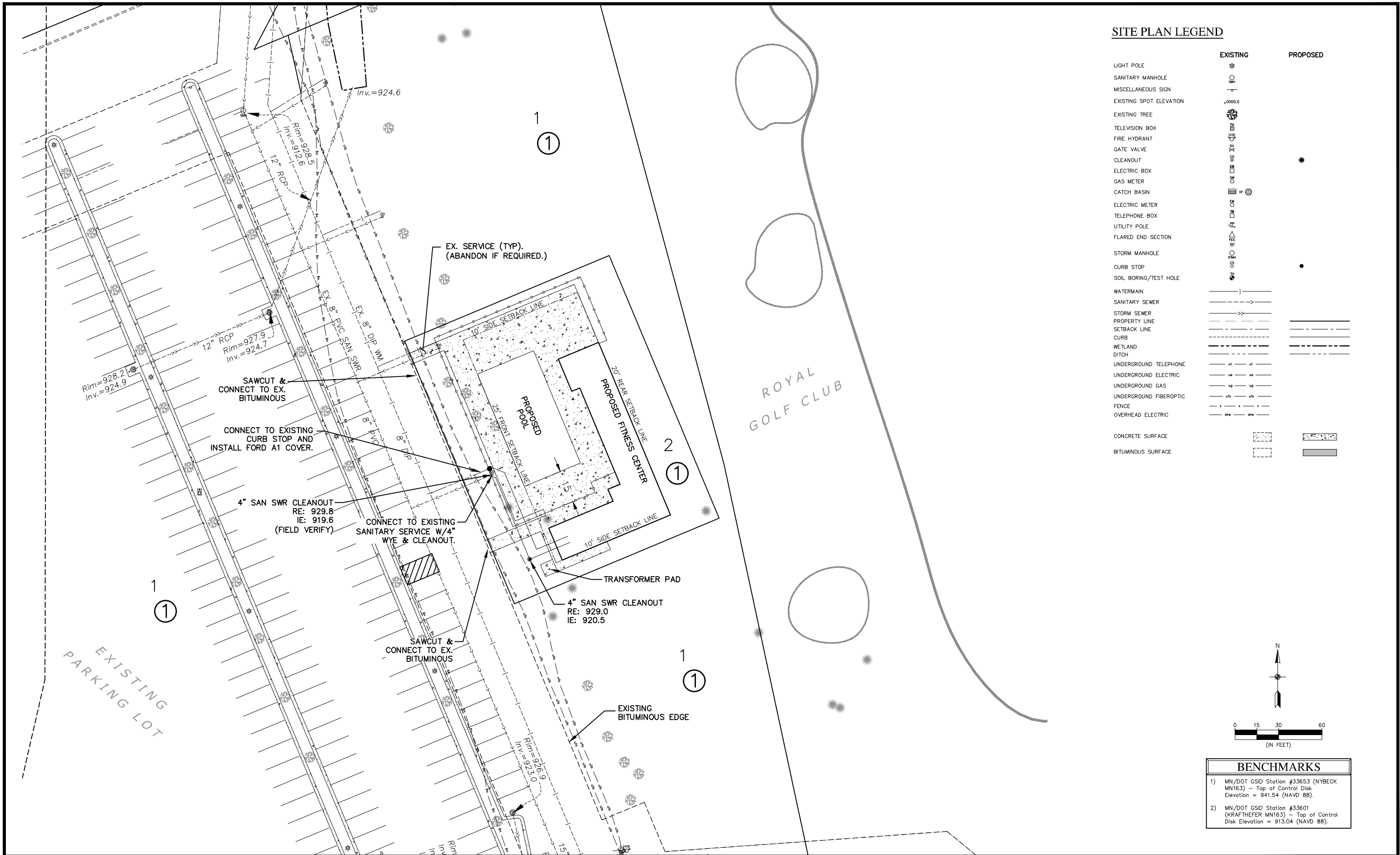
Revisions:

H.C. Golf Course Development, LLC
11074 Radisson Rd NE
Blaine, MN 55449

THE ROYAL GOLF CLUB AT LAKE ELMO
POOL & FITNESS CENTER
Lake Elmo, Minnesota

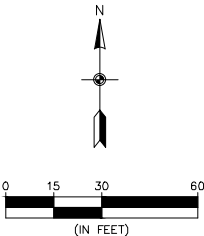
EXISTING CONDITIONS

2 of 5

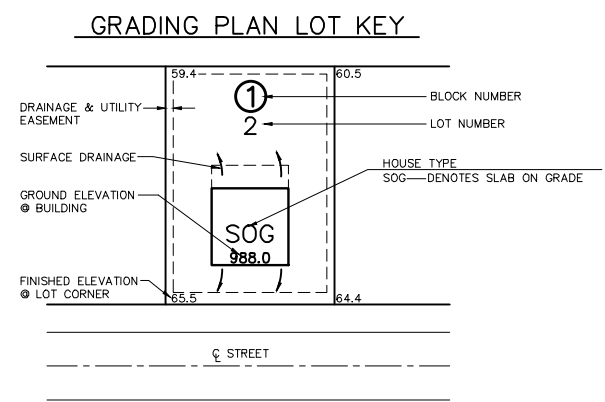
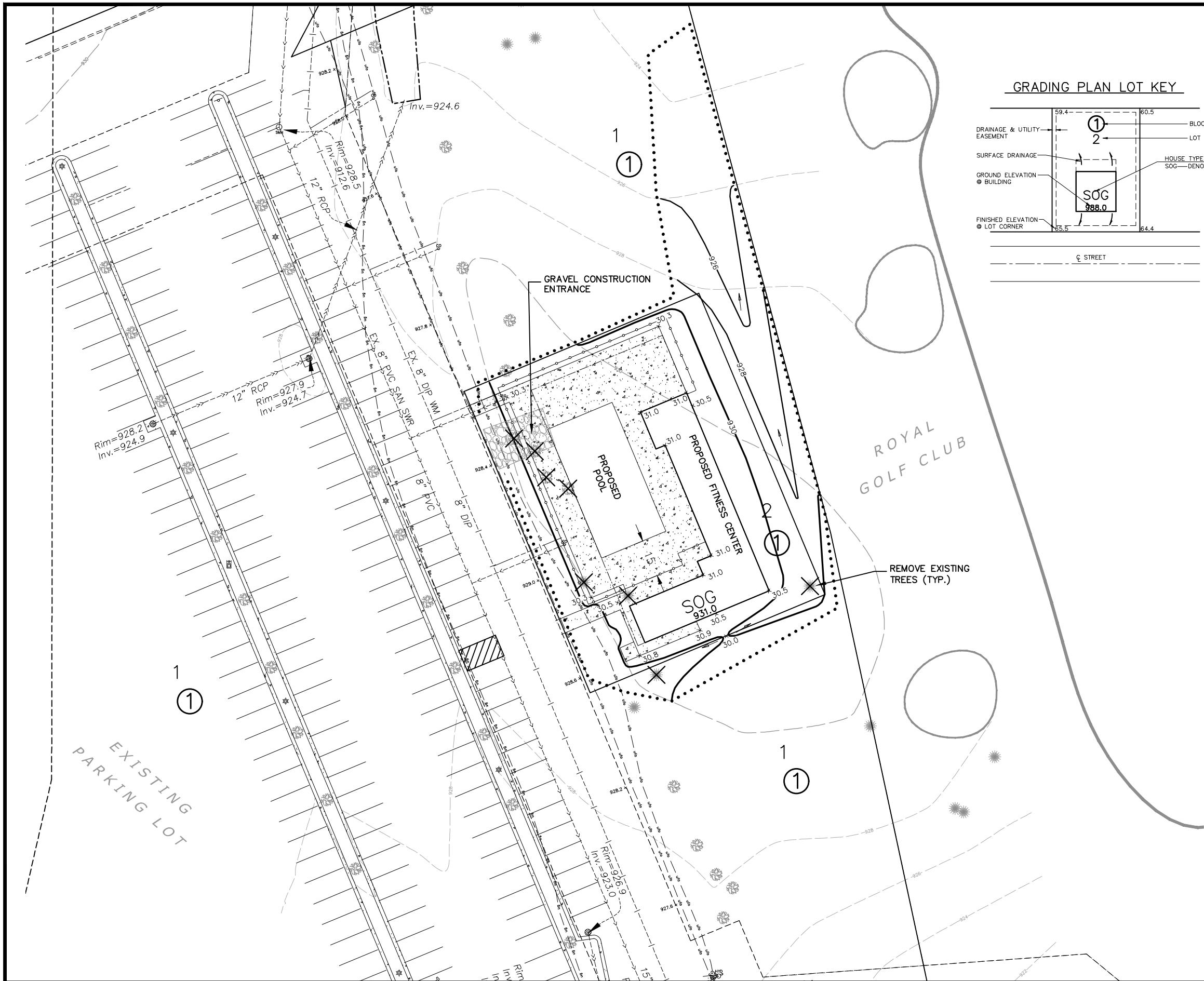


SITE PLAN LEGEND

	EXISTING	PROPOSED
LIGHT POLE		
SANITARY MANHOLE		
MISCELLANEOUS SIGN		
EXISTING SPOT ELEVATION		
EXISTING TREE		
TELEVISION BOX		
FIRE HYDRANT		
GATE VALVE		
CLEANOUT		
ELECTRIC BOX		
GAS METER		
CATCH BASIN		
ELECTRIC METER		
TELEPHONE BOX		
UTILITY POLE		
FLARED END SECTION		
STORM MANHOLE		
CURB STOP		
SOIL BORING/TEST HOLE		
WATERMAIN		
SANITARY SEWER		
STORM SEWER		
PROPERTY LINE		
SETBACK LINE		
CURB		
WETLAND		
DITCH		
UNDERGROUND TELEPHONE		
UNDERGROUND ELECTRIC		
UNDERGROUND GAS		
UNDERGROUND FIBEROPTIC		
FENCE		
OVERHEAD ELECTRIC		
CONCRETE SURFACE		
BITUMINOUS SURFACE		



BENCHMARKS	
1)	MN/DOT GSID Station #33653 (NYBECK MN163) - Top of Control Disk Elevation = 941.54 (NAVD 88).
2)	MN/DOT GSID Station #33601 (KRAFTHEFER MN163) - Top of Control Disk Elevation = 913.04 (NAVD 88).

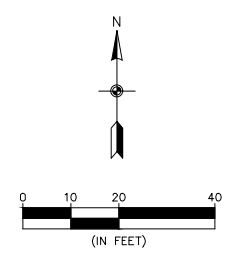


LEGEND

EXISTING	PROPOSED
PROPERTY LINE	---
OUTLOT LINE	---
LOT LINE	---
EASEMENT LINE	---
CURB LINE	---
BITUMINOUS	---
CONCRETE	---
SANITARY SEWER	---
STORM SEWER	---
WATER MAIN	---
OVERHEAD UTILITY	---
STORM CATCH BASIN	---
STORM MANHOLE	---
OUTLET CONTROL STRUCTURE	---
MANHOLE	---
HYDRANT	---
GATE VALVE	---
TELEVISION BOX	---
TELEPHONE BOX	---
UTILITY POLE	---
LIGHT POLE	---
RETAINING WALL	---
FENCE	---
10' CONTOUR	---
2' CONTOUR	---
SPECIFIED CONTOUR	---
FEMA FLOOD PLAIN	---
WETLAND LINE	---
SPOT ELEVATION	---
EMERGENCY OVERFLOW	---
SILT FENCE	---
TREE FENCE	---
TREELINE	---
SOIL BORING	---
CONIFEROUS	---
DECIDUOUS	---
TREE	---
TREE REMOVAL	---

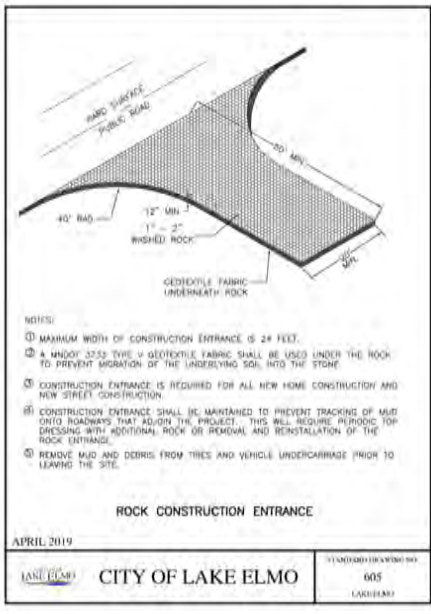
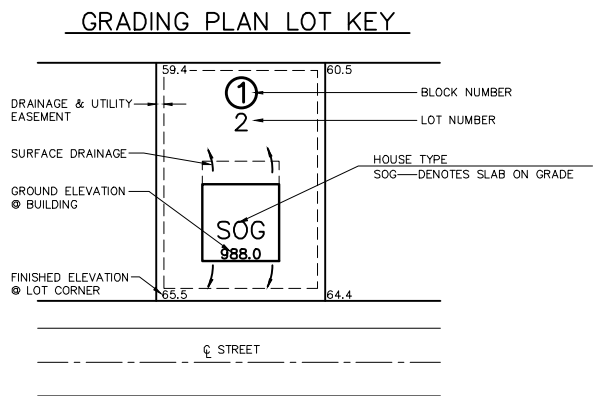
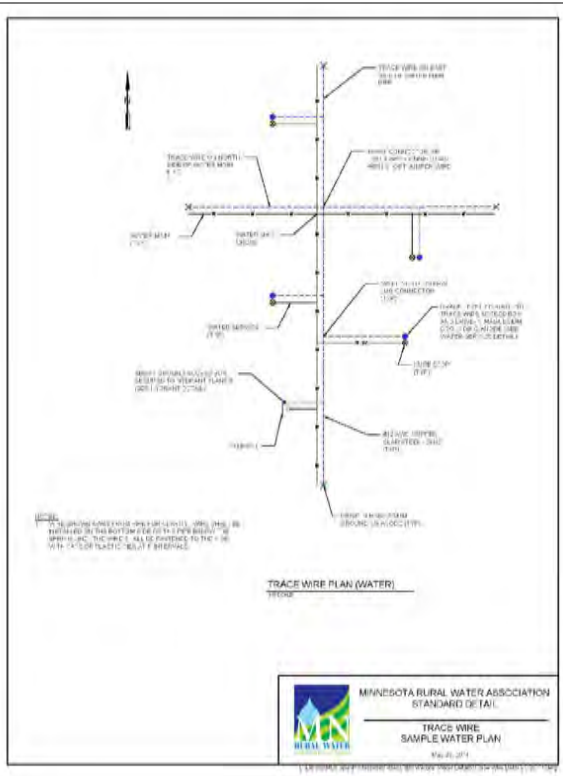
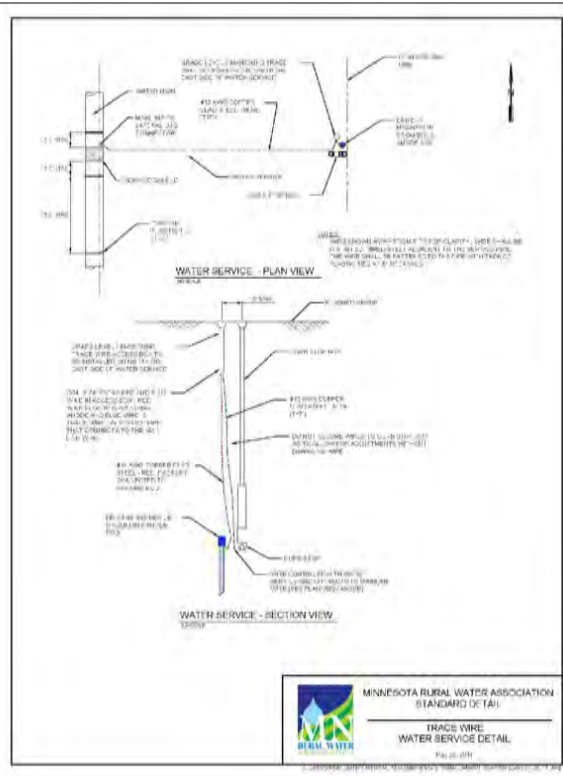
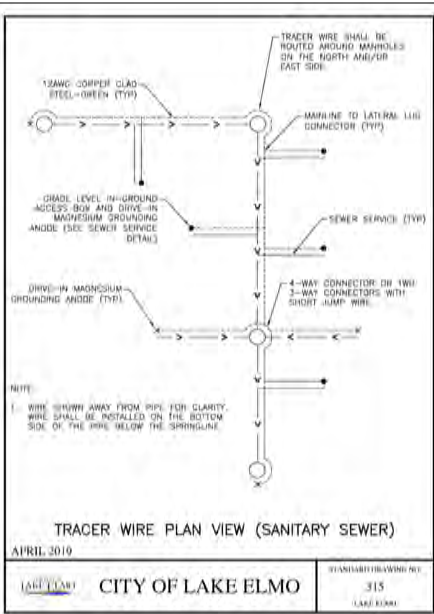
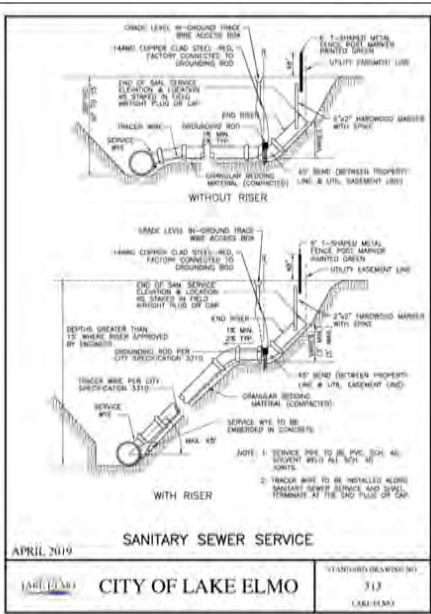
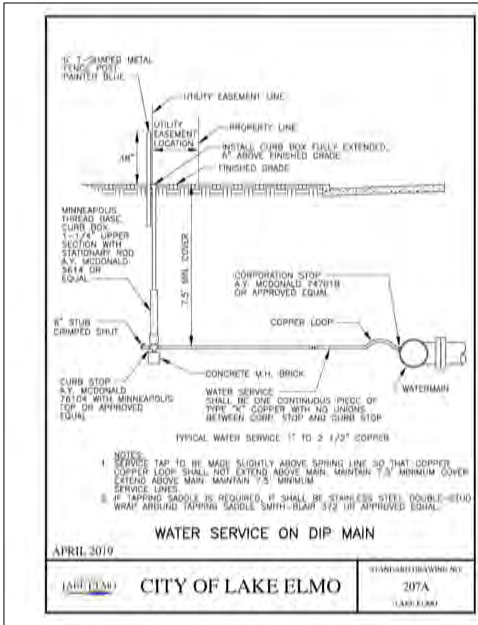
TREE REMOVAL SCHEDULE

TAG #	SIZE (DBH)	SPECIES	CONDITION
1966	20	SCOTCH PINE	GOOD
1967	20	SCOTCH PINE	GOOD
1968	18	SCOTCH PINE	GOOD
4001	10	AMUR MAPLE	GOOD
4002	12	AMUR MAPLE	GOOD
4003	10	AMUR MAPLE	GOOD
4004	8	AMUR MAPLE	GOOD
4005	28	SPRUCE	GOOD
TOTAL DBH REMOVED = 126 INCHES			



BENCHMARKS

1)	MN/DOT GSID Station #33653 (NYBECK MN163) - Top of Control Disk Elevation = 941.54 (NAVD 88).
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TURF ESTABLISHMENT

TURF ESTABLISHMENT SHALL APPLY TO ALL DISTURBED AREAS AND SHALL BE ACCORDING TO MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION (LATEST EDITION) EXCEPT AS MODIFIED BELOW.

TURF ESTABLISHMENT SHALL OCCUR AS SOON AS POSSIBLE BUT IN NO CASE MORE THAN 14 DAYS.

TOPSOIL: MINIMUM OF 6" OF TOPSOIL.

SEED: MNDOT MIXTURE 25-141 AT 60 POUNDS PER ACRE.

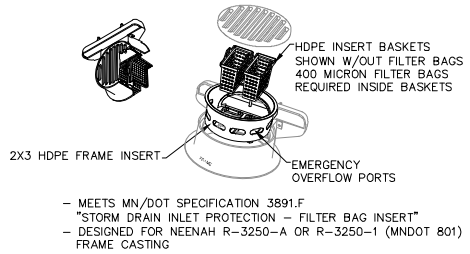
DORMANT SEED: SHALL BE APPLIED AT TWICE THE NORMAL RATE AFTER NOVEMBER 1ST.

MULCH: TYPE 1 AT 2 TONS PER ACRE (DISK ANCHORED).

FERTILIZER: TYPE 1 10-10-10 AT 200 POUNDS PER ACRE.

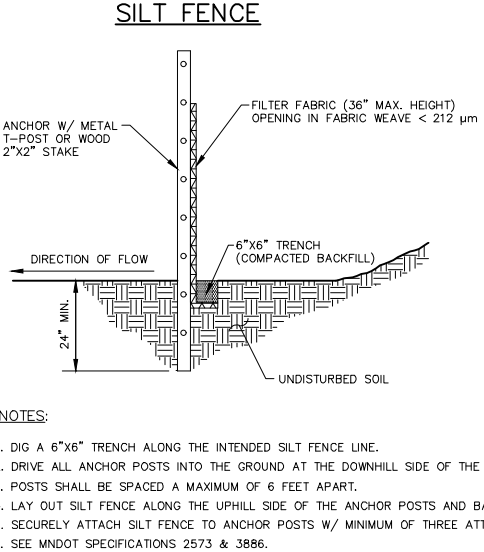
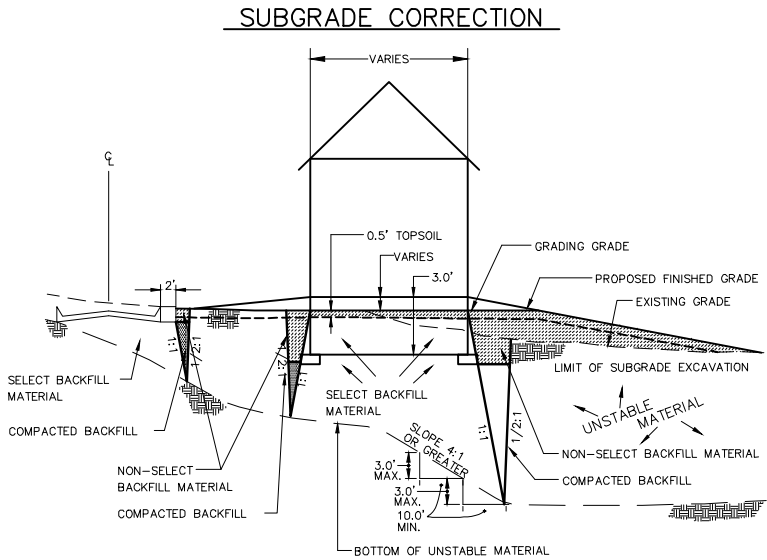
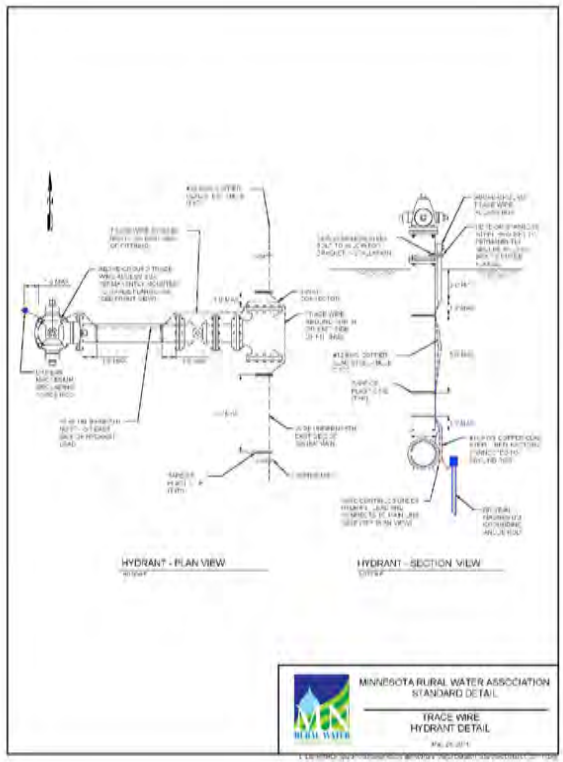
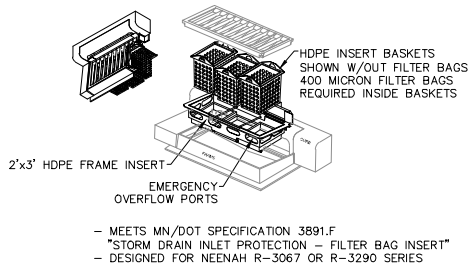
INFRASAFE – 27" DEBRIS COLLECTION DEVICE

AS MANUFACTURED BY ROYAL ENVIRONMENTAL SERVICES



INFRASAFE – 2'x3' DEBRIS COLLECTION DEVICE

AS MANUFACTURED BY ROYAL ENVIRONMENTAL SYSTEMS



CARLSON McCAIN ENGINEERING SURVEYING ENVIRONMENTAL

2880 PHEASANT RIDGE DRIVE SUITE 100 BLAINE, MN 55448 TEL 763.488.7900 FAX 763.488.7900 CARLSONMCCAIN.COM

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Print Name: Brian J. Krystofski, P.E.
Signature: *Brian J. Krystofski*
Date: 10/29/21 License #: 25063

Drawn: KRO
Designed: BJK
Date: 10/29/21

Revisions:
1. 2021-12-06 - Per City Comments.













H.C. GOLF COURSE DEVELOPMENT, LLC

11074 Radisson Road NE
Blaine, MN 55449

THE ROYAL GOLF CLUB AT LAKE ELMO - POOL & FITNESS CENTER

Lake Elmo, MN

DETAILS

PLANT SCHEDULE						
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	FM	3	Acer x freemanii 'Sienna'	Sienna Glen Maple	2' Cal.	B&B
	BH	3	Picea glauca densata	Black Hills Spruce	6' Ht.	B&B
	WP	5	Pinus strobus	White Pine	6' Ht.	B&B
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	DBH	11	Diervilla lonicera	Dwarf Bush Honeysuckle	#5 Cont.	
	MKL	9	Syringa patula 'Miss Kim'	Miss Kim Lilac	#5 Cont.	
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	JSG	13	Juniperus chinensis 'Sea Green'	Sea Green Juniper	#5 Cont.	
	CCY	9	Taxus x media 'Citation'	Citation Columnar Yew	#5 Cont.	
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	KFG	4	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	#3 Cont.	
	LBS	16	Schizachyrium scoparium	Little Bluestem	#3 Cont.	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	ROCK	1,216 sf	Rock Mulch Non-Woven Geotextile Incidental	1.5' Trap Rock Mulch	4' Depth	
	SOD	2,988 sf	Turf Sod Bluegrass	Kentucky Bluegrass	sod	
	TIV	7,746 sf	Type IV - Native Seed Mix Refer to notes for acceptable seeding methods. Seeding Rate 50.0 lb/ac	MnDOT Seed Mix 35-241	seed	

STANDARD PLAN NOTES
LANDSCAPE PLANS

1. Contractor must contact Gopher State One Call 811 (www.gopherstateonecall.org) prior to tree staking and planting operations to verify underground utilities. Where private utilities exist on site the Contractor is required to have those located as well.

2. Plant materials shall meet American Standard for Nursery Stock ANSI Z60.1, latest edition.

3. No plant substitutions shall be made without the prior written authorization from the City.

4. All tree locations to be field staked prior to installation. Contractor to coordinate field review of proposed tree locations with the City and Project Landscape Architect prior to any tree installation.

5. All plants shall be planted immediately upon arrival to project site. No plant material is to be left overnight on the project site without being installed unless written approval by City.


6. All trees, shrubs, perennials, turf lawn and native seeding to have a two-year warranty beginning upon written acceptance by the City. Defective plants as determined by the City shall be replaced within 30 days of notice during the growing season, and replacement materials shall receive the same two year warranty until plants are successfully established.

7. Contractor to protect and maintain all plantings and plant beds, including protection from wildlife, weeding, re-mulching, fertilization, irrigation and all other typical forms of horticultural care until the end of the warranty period as determined and approved by City.

8. All plants installed and maintained on City property shall be in accordance with City of Lake Elmo Bee-Safe Resolution No. 2015-13.

9. An irrigation system or other water supply adequate to support the specified plant materials shall be provided.

APRIL 2017



CITY OF LAKE ELMO

STANDARD DRAWING NO.
LP2.0
LAKE ELMO

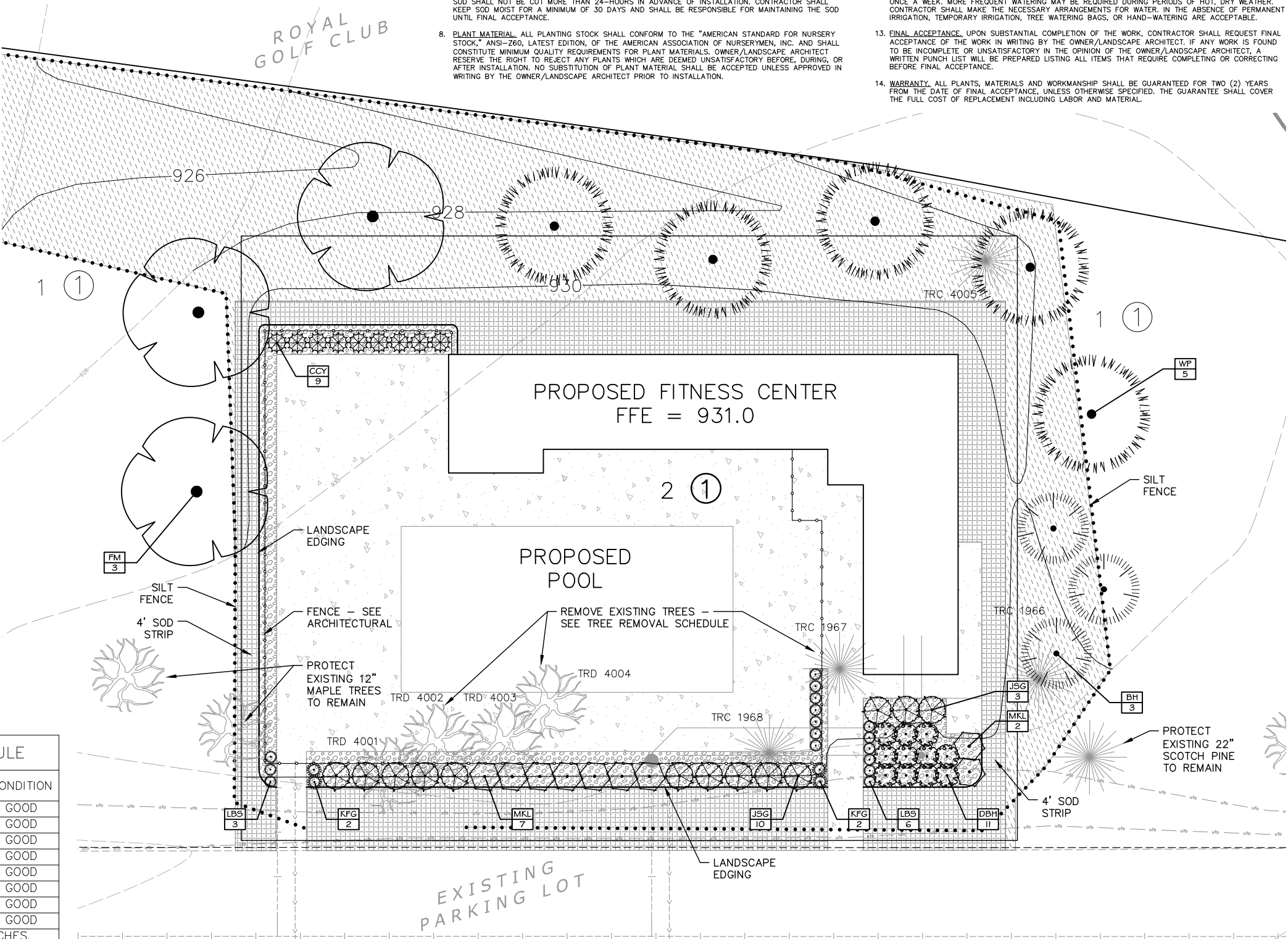
CALL BEFORE YOU DIG



Know what's below.
Call before you dig.

LANDSCAPE PLAN NOTES

- EXISTING CONDITIONS. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO BIDDING AND CONSTRUCTION START. ANY DISCREPANCIES FOUND THAT AFFECT THE WORK SHALL BE REPORTED TO THE OWNER/LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO BIDDING OR APPROVING ANY ADDITIONAL WORK REQUIRED.
- PLAN QUANTITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL MATERIAL QUANTITIES PER PLAN. MATERIAL SCHEDULES ARE PROVIDED SOLELY FOR CONTRACTOR'S CONVENIENCE.
- TREE PROTECTION. ALL TREES NOT SPECIFICALLY NOTED OR MARKED ON SITE FOR REMOVAL SHALL REMAIN PROTECTED AND UNDISTURBED DURING CONSTRUCTION. TREE PROTECTION SHALL EXTEND TO THE DRIP LINE, WITHIN WHICH NO CONSTRUCTION ACTIVITY, MATERIAL STORAGE, OR VEHICLE PARKING SHALL BE PERMITTED. TREE PROTECTION FENCING AND/OR SILT FENCING SHALL BE ERECTED PRIOR TO CONSTRUCTION START.
- SOIL PREPARATION. EXISTING TOPSOIL SHALL BE STRIPPED FROM ALL DISTURBED AREAS AND STOCKPILED IN AN APPROVED LOCATION FOR RE-SPREAD. ALL AREAS WHERE SOIL HAS BEEN COMPACTED BY CONSTRUCTION ACTIVITY AND THAT ARE INDICATED TO BE SODDED, SEEDING OR PLANTING BED SHALL BE DE-COMPACTED TO A MINIMUM DEPTH OF 12 INCHES BY SOIL RIPPING, TILLING OR OTHER APPROVED SOIL LOOSENING METHOD.
- TOPSOIL MATERIAL. ALL EXISTING, AMENDED OR IMPORTED TOPSOIL SHALL MEET THE REQUIREMENTS OF MNDOT TOPSOIL TYPE A. A MINIMUM 6 INCH DEPTH OF TOPSOIL SHALL BE PLACED ON ALL AREAS TO BE SODDED OR SEEDING. A MINIMUM 12 INCH DEPTH OF TOPSOIL SHALL BE PLACED WITHIN ALL PLANTING BED AREAS. ALL TOPSOIL SHALL BE FINE GRADED, RAKED AND DRAGGED TO PROVIDE A SMOOTH, UNIFORM SURFACE. TOPSOIL GRADES SHALL BE WITHIN .1 FEET OF INDICATED FINISHED GRADE AND SHALL BE TRUE TO GRADIENTS SHOWN ON PLANS.
- SEEDING AND TURF ESTABLISHMENT. CONTRACTOR SHALL OBTAIN OWNER/LANDSCAPE ARCHITECT'S APPROVAL OF FINAL GRADES AND TOPSOIL PREP PRIOR TO SEEDING. APPLY 12-12-12 GRANULAR STARTER FERTILIZER AT A RATE OF 250 LBS PER ACRE PRIOR TO SEEDING. SEEDS SHALL BE SOWN IN 2 PERPENDICULAR PASSES, EACH PASS AT ONE-HALF THE INDICATED RATE, VIA BROADCAST SPREADER, DROP SEEDER OR DRILL SEEDER, FOLLOWING SEED APPLICATION, INSTALL TYPE 3N EROSION CONTROL BLANKET ON ALL SLOPES GREATER THAN 4:1. IN ALL OTHER AREAS, APPLY HYDROMULCH COVER (MUST BE A SEPARATE OPERATION FROM SEEDING) AT A TARGETED DRY WEIGHT RATE OF 3500 LBS PER ACRE. SOIL SHALL BE KEPT MOIST DURING ESTABLISHMENT WITH ADDITIONAL RE-SEEDING AS NECESSARY TO ACHIEVE A HEALTHY, UNIFORM STAND OF GRASS, FREE OF WEEDS AND WITH COVERAGE EXCEEDING 75% IN ANY 10'x10' AREA PRIOR TO FINAL ACCEPTANCE.
- SODDING. CONTRACTOR SHALL OBTAIN OWNER/LANDSCAPE ARCHITECT'S APPROVAL OF FINAL GRADES AND TOPSOIL PREP PRIOR TO SODDING. APPLY 12-12-12 GRANULAR STARTER FERTILIZER AT A RATE OF 250 LBS PER ACRE PRIOR TO SODDING AND ROLL TOPSOIL TO CREATE A UNIFORM SURFACE FOR LAYING SOD. SOD SHALL NOT BE CUT MORE THAN 24-HOURS IN ADVANCE OF INSTALLATION. CONTRACTOR SHALL KEEP SOD MOIST FOR A MINIMUM OF 30 DAYS AND SHALL BE RESPONSIBLE FOR MAINTAINING THE SOD UNTIL FINAL ACCEPTANCE.
- PLANT MATERIAL. ALL PLANTING STOCK SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK," ANSI-Z60, LATEST EDITION, OF THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIALS. OWNER/LANDSCAPE ARCHITECT RESERVE THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY BEFORE, DURING, OR AFTER INSTALLATION. NO SUBSTITUTION OF PLANT MATERIAL SHALL BE ACCEPTED UNLESS APPROVED IN WRITING BY THE OWNER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- MULCH MATERIAL. ROCK MULCH AS INDICATED ON PLANS. ALL MULCH SHALL BE CLEAN AND FREE OF NOXIOUS WEEDS, SOIL, OR OTHER DELETERIOUS MATERIAL, AND SHALL BE INSTALLED OVER A NON-WOVEN GEOTEXTILE FABRIC (INCIDENTAL) OR OTHER APPROVED WEED BARRIER TO A MINIMUM SETTLED DEPTH OF 4". DOUBLE SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND INDIVIDUAL TREES TO A 4' MINIMUM DIAMETER. MULCH SHALL BE HELD BACK FROM PLANT STEMS/TRUNKS A MINIMUM OF 3". AND SHALL BE INSTALLED WITHIN 48-HOURS OF PLANT INSTALLATION.
- LANDSCAPE EDGING. INSTALL LANDSCAPE EDGING BETWEEN ALL MULCH AREAS AND TURF. EDGING SHALL BE COMMERCIAL GRADE BLACK POLYETHYLENE OR VINYL EDGING, 0.1 INCH THICK BY 5 INCHES DEEP, V-UPPED BOTTOM, HORIZONTALLY GROOVED, 1-INCH ROUND TOP, EXTRUDED IN STANDARD LENGTHS, WITH 9-INCH STEEL ANGLE STAKES.
- IRRIGATION. COORDINATE WITH OWNER FOR IRRIGATION DESIGN. FURNISH AND INSTALL A COMPLETE UNDERGROUND IRRIGATION SYSTEM FROM APPROVED POINT(S)-OF-CONNECTION WITHIN THE SITE COVERING ALL TURF AND PLANTING AREAS AS SHOWN ON THE LANDSCAPE PLAN. INCLUDES AS-BUILT DRAWINGS, SYSTEM MANUALS, 1-YEAR MAINTENANCE PERIOD INCLUDING 1 FALL WINTERIZATION AND 1 SPRING START-UP. IRRIGATION PLANS TO BE PREPARED BY A QUALIFIED IRRIGATION DESIGNER AND SUBMITTED TO OWNER/LANDSCAPE ARCHITECT FOR APPROVAL.
- WATERING. UPON ESTABLISHMENT OF SEED AND INSTALLATION OF PLANTS, CONTRACTOR SHALL MAINTAIN A WATERING SCHEDULE WHICH WILL THOROUGHLY WATER ALL PLANTS AND TURF AREAS A MINIMUM OF ONCE A WEEK, MORE FREQUENT WATERING MAY BE REQUIRED DURING PERIODS OF HOT, DRY WEATHER. CONTRACTOR SHALL MAKE THE NECESSARY ARRANGEMENTS FOR WATER. IN THE ABSENCE OF PERMANENT IRRIGATION, TEMPORARY IRRIGATION, TREE WATERING BAGS, OR HAND-WATERING ARE ACCEPTABLE.
- FINAL ACCEPTANCE. UPON SUBSTANTIAL COMPLETION OF THE WORK, CONTRACTOR SHALL REQUEST FINAL ACCEPTANCE OF THE WORK IN WRITING BY THE OWNER/LANDSCAPE ARCHITECT. IF ANY WORK IS FOUND TO BE INCOMPLETE OR UNSATISFACTORY IN THE OPINION OF THE OWNER/LANDSCAPE ARCHITECT, A WRITTEN PUNCH LIST WILL BE PREPARED LISTING ALL ITEMS THAT REQUIRE COMPLETING OR CORRECTING BEFORE FINAL ACCEPTANCE.
- WARRANTY. ALL PLANTS, MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR TWO (2) YEARS FROM THE DATE OF FINAL ACCEPTANCE, UNLESS OTHERWISE SPECIFIED. THE GUARANTEE SHALL COVER THE FULL COST OF REPLACEMENT INCLUDING LABOR AND MATERIAL.



TREE REMOVAL SCHEDULE			
TAG #	SIZE (DBH)	SPECIES	CONDITION
1966	20	SCOTCH PINE	GOOD
1967	20	SCOTCH PINE	GOOD
1968	18	SCOTCH PINE	GOOD
4001	10	AMUR MAPLE	GOOD
4002	12	AMUR MAPLE	GOOD
4003	10	AMUR MAPLE	GOOD
4004	8	AMUR MAPLE	GOOD
4005	28	SPRUCE	GOOD
TOTAL DBH REMOVED = 126 INCHES			



CARLSON MCCAIN

ENGINEERING
SURVEYING
ENVIRONMENTAL

3890 PHEASANT RIDGE DRIVE
SUITE 100
BLAINE, MN 55448
TEL 763.488.7900
FAX 763.488.7988
CARLSONMCCAIN.COM

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota

Print Name: Ryan J. Ruttger, RLA
Signature: 
Date: 10/29/21 License #: 56346

Drawn: RJR
Designed: RJR
Date: 10/29/21

Revisions:
1. 2021-12-06 Per City Comments.
2. 2022-01-03 Revise Layout Per Owner.
3. 2022-02-07 Per City Comments.

H.C. GOLF COURSE DEVELOPMENT, LLC

11074 Radisson Road NE
Blaine, MN 55449


THE ROYAL GOLF CLUB AT LAKE
ELMO - POOL & FITNESS CENTER

Lake Elmo, MN

LANDSCAPE PLAN

L1
of
2





Wall Mount

Low profile wall



PW 15W, 30W, and 50W



Stonco Low profile wall mount features a discreet design that will complement any building exterior. Three sizes are available in 15, 30 and 50W output to accommodate multiple mounting heights. Low Profile Wall delivers up to 110 lumens per watt for excellent energy savings over HID.

Product:	
Location:	
Est./Proj.:	
Phone:	
E-mail:	

Ordering guide

Luminaire 	Voltage 	LED Color - Generation 	Voltage 	Finish 
PW Low Profile Wall	15 15W 30 30W 50 50W	M-G1 Neutral White, 4000K DR CR, Generation 1	1 120-277 Vols	BZ Bronze

Specifications

Housing

Die-cast aluminum housing with UV stabilized polycarbonate lens mounted with stainless steel hardware.

IF Rating

LED light engine is weather proof rated IP68.

Electrical

Electrical Driver efficiency >90% at full load)
Available in 120/277V IP68 compliant driver RUSH compliant. Surge protected standard 10kA per ANSI/IEEE CEE #1.2

LED Board and Array

24 LEDs and 80 LEDs. Color temperature 4000K – 5000K. Minimum CRI of 80. Aluminum metal clad board with midpower LED chips.

Optical System

Direct mid-power LED distribution with white reflective glass. Optical system is designed for zero spill-light. Light engine is weather protected with silicone sealed clear glass.

Mounting

Mounts to standard 3 1/2" x 8" square and optional or 4 inch round electrical union boxes.

Energy Saving Benefits

System efficacy up to 110lm/W with significant energy savings over Pulse Start Metal Halide luminaires

Listings

UL listed, tested to the UL 1688 standard, suitable for Wet Locations. Suitable for use in ambient from -50°F to 40°C (-23°F to 104°F). Not all product variations listed on this page are DUL qualified. To ensure that an specific model is qualified, visit www.designlights.org/search


Finish

Each Luminaire receives a fade resistant polyester, electrocoat applied epoxy thermal cured, triple pigmented powdercoat (TPO) finished polymer powdercoat finish. Standard color bronze BZ.

Limited Warranty

Luminaires are all covered by a 5-year limited warranty. See www.stonco.com/warranty for details.

Stonco_LowProfileWall_SpecSheet_05/21 Page 2 of 3






STAFF REPORT

DATE: 03/28/2022

REGULAR

ITEM #: 4d – PUBLIC HEARING

MOTION

TO: Planning Commission
FROM: Molly Just, Planning Director
AGENDA ITEM: Comprehensive Plan Amendments – MUSA Boundary Change, Update to City's Wastewater Facilities and Land Use Plans – Tapestry at Charlotte's Grove Sanitary Sewer Service Area Extension and Re-guidance to Rural Single Family Sewered

BACKGROUND:

The City Council recently approved a public improvement project to extend sanitary sewer to the existing Tapestry at Charlotte's Grove subdivision. This residential subdivision is located north of Sunfish Lake Park off of 45th Street North and is currently served by a private association owned community wastewater treatment system for the 65 residential properties. The proposed public improvement project would provide sewer service by connecting the private community system to the municipal sanitary sewer system. The City is planning this improvement project for the 2022 construction season.

This sewer change requires City Council and Met Council approval of several changes to the 2040 Comprehensive Plan. The changes are required because the Tapestry at Charlotte's Grove subdivision is not now included in the MUSA (Metropolitan Urban Service Area) nor had the City included these 65 properties in the Wastewater calculations in the 2040 Comprehensive Plan. The proposed comprehensive plan amendments require a 4/5th affirmative vote by the City Council and approval by the Metropolitan Council.

(Please see the attached maps and tables for more information about the proposed changes).

ISSUE BEFORE PLANNING COMMISSION:

Should the City amend the MUSA Boundary and other relevant sections of the 2040 Comprehensive Plan to include the Tapestry at Charlotte's Grove subdivision in the sanitary sewer service area?

PROPOSAL DETAILS/ANALYSIS:

Amendment to the MUSA Boundary. The MUSA Boundaries for the sanitary sewer service areas in the City of Lake Elmo are depicted on the maps on Pages 3-11 (Map 3-2), 3-17 (Map 3-3), 3-24 (Map 3-7), 3-21 (Map 3-4) and 9-5 (Map 9-1) of the 2040 Comprehensive Plan. The Tapestry at Charlotte's Grove subdivision is not now included in the MUSA in the City. As noted above, the City needs to change the MUSA boundary on all relevant maps in the Comprehensive Plan to include this subdivision as part of the Comprehensive Plan Amendment in order for the sanitary sewer project to proceed.

Amendment to Wastewater Services and Facilities Plan. As part of their feasibility study, Engineering reviewed the possibility and effects of adding the 65 properties to the sanitary sewer system. They determined the sanitary system can accommodate these additional properties on the system. The City will

need to amend several tables in the existing Comprehensive Plan to show the addition of 65 single-family properties to the sanitary sewer system. They include Table 3-4 (page 3-21), Table 9-2 (page 9-8), Tables 9-3 and 9-4 (on page 9-9) and Table 9-5 (on page 9-10).

Amendment to Land Use Plan. The City will need to re-guide (change the land use designation) of aforementioned single-family properties in the Tapestry at Charlotte's Grove subdivision from RAD (rural area development) to RSFS (rural single family sewered). This is because the RAD land use designation is for areas not in the MUSA while the RSFS designation is planned for areas within the Village Planning Area that were previously unsewered.

Met Council Review. The Met Council has confirmed that the usual jurisdictional review period for this Comprehensive Plan Amendment will likely not be required. Additionally, the request may qualify for administrative review by the Met Council, rather than full Council review, meaning that the approval process for this request may take a shorter time period than a typical Comprehensive Plan Amendment.

FISCAL IMPACT:

The City will be assessing the full cost (100%) of the sanitary sewer extension project to the 65 benefitting properties. The additional 65 properties on the City sanitary sewer system also will generate additional Sewer Access Charge (SAC) fees to the Sanitary Sewer Enterprise Fund.

RECOMMENDATION:

Staff recommends that the Planning Commission recommend approval of amendments to the Land Use Plan and to the Wastewater Services and Facilities Plan of the 2040 Comprehensive Plan by adding the 65 existing single-family home sites in the Tapestry subdivision to the City's sanitary sewer area.

“Motion to recommend approval of all necessary amendments to the 2040 Lake Elmo Comprehensive Plan (including those to the Land Use Plan and to Wastewater Services Plan) to add the existing 65 single-family properties in the Tapestry at Charlotte's Grove subdivision to the City's sanitary sewer area.”

Additionally, Staff recommends that the Planning Commission recommend approval of an amendment to the Land Use Plan of the Comprehensive Plan, re-guiding the aforementioned existing 65 single-family properties from RAD (Rural Area Development) to RSFS (Rural Single Family Sewered).

“Motion to recommend approval of a Comprehensive Plan Amendment re-guiding the City's Land Use Plan for the Tapestry at Charlotte's Grove subdivision from RAD (Rural Area Development) to RSFS (Rural Single Family Sewered).”

ATTACHMENTS:

Location Map

Page 3-11 (Map 3-2)

Page 3-17 (Map 3-3)

Page 3-24 (Map 3-7)

Page 3-21 (Table 3-4)

Page 9-5 (Map 9-1)

Page 9-8 (Table 9-2)

Page 9-9 (Tables 9-3 and 9-4)

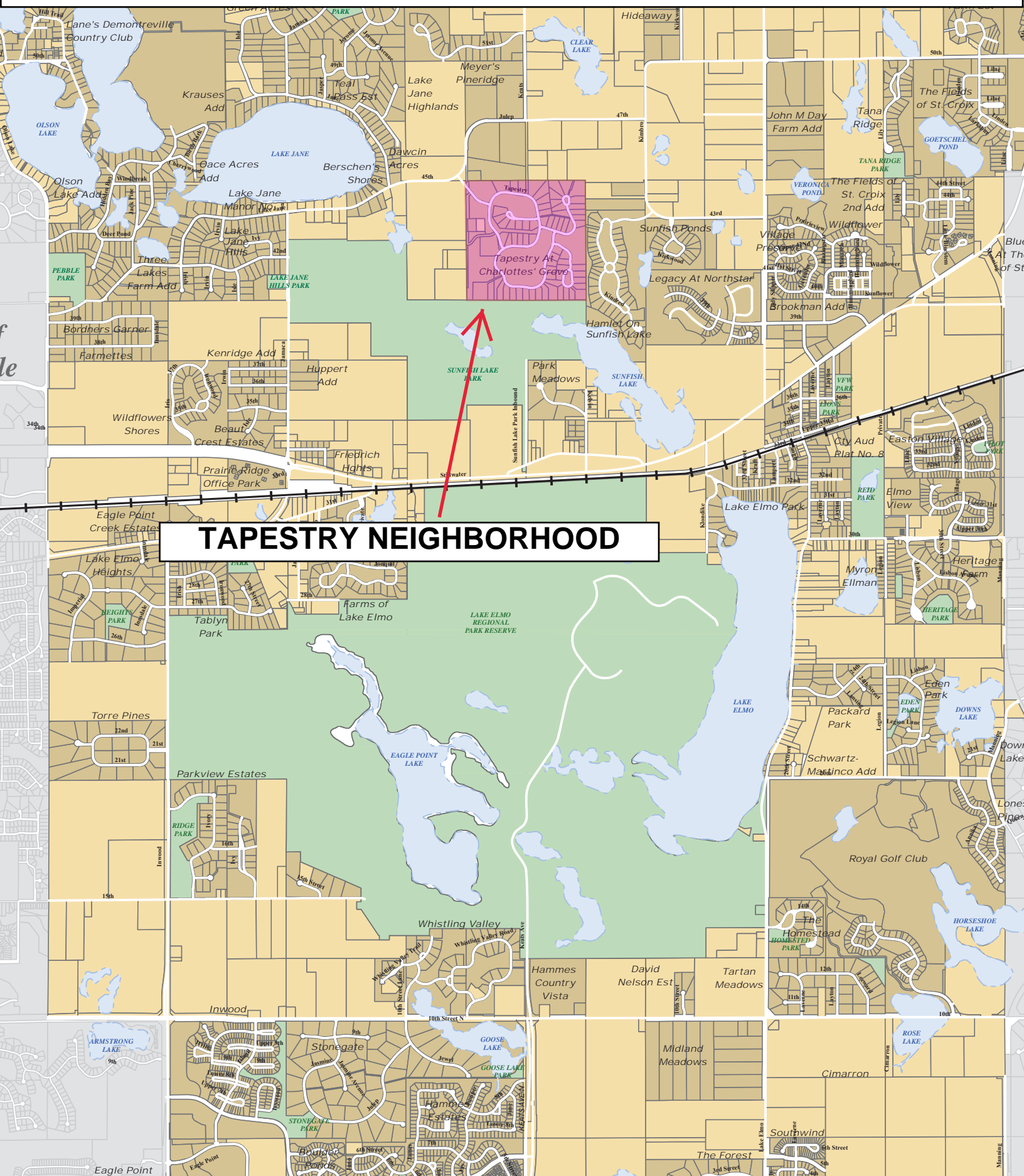
Page 9-10 (Table 9-5)

Existing Land Use Map

Proposed Land Use Map Amendment to RSFS

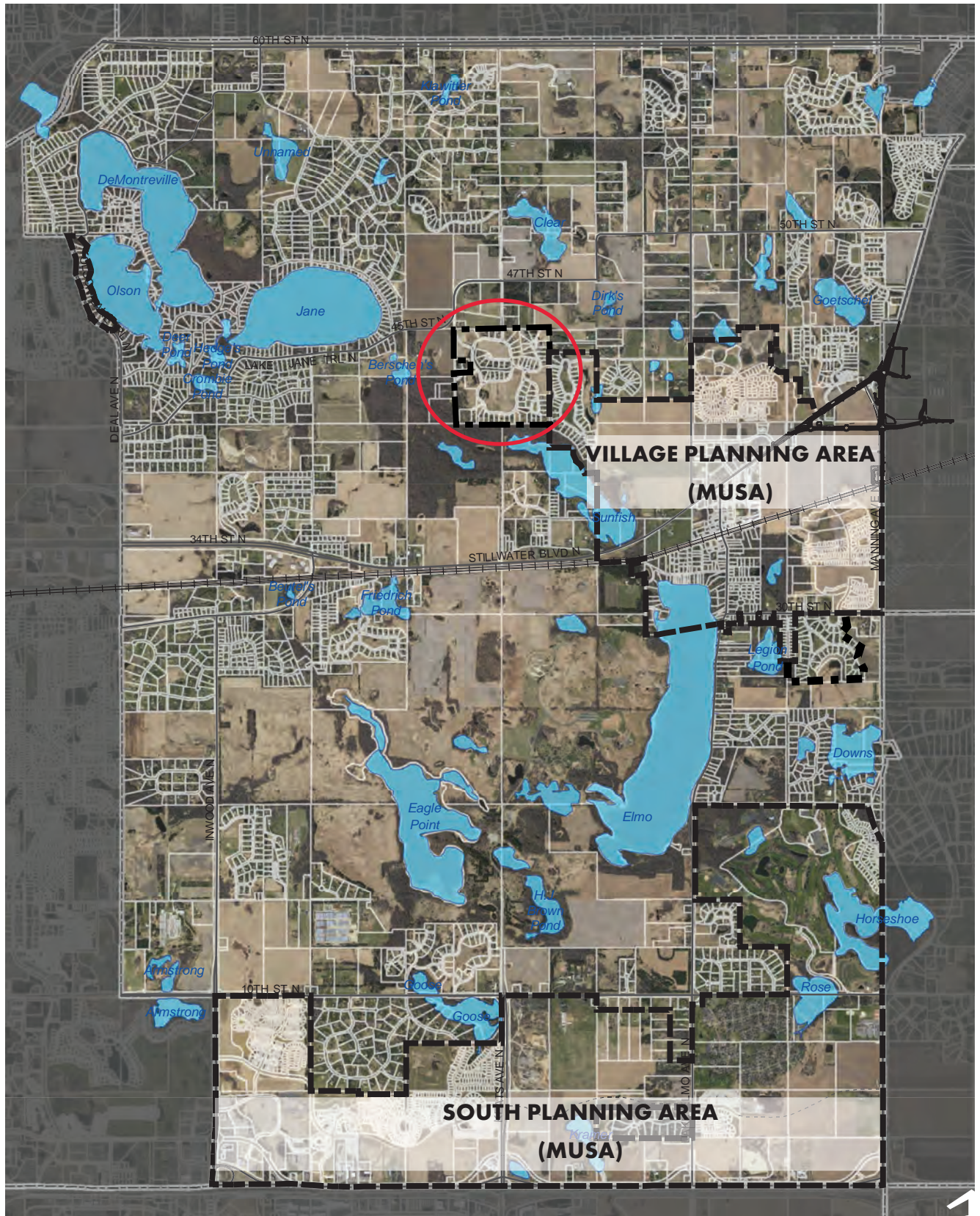
CITY OF LAKE ELMO

TAPESTRY SANITARY SEWER EXTENSION



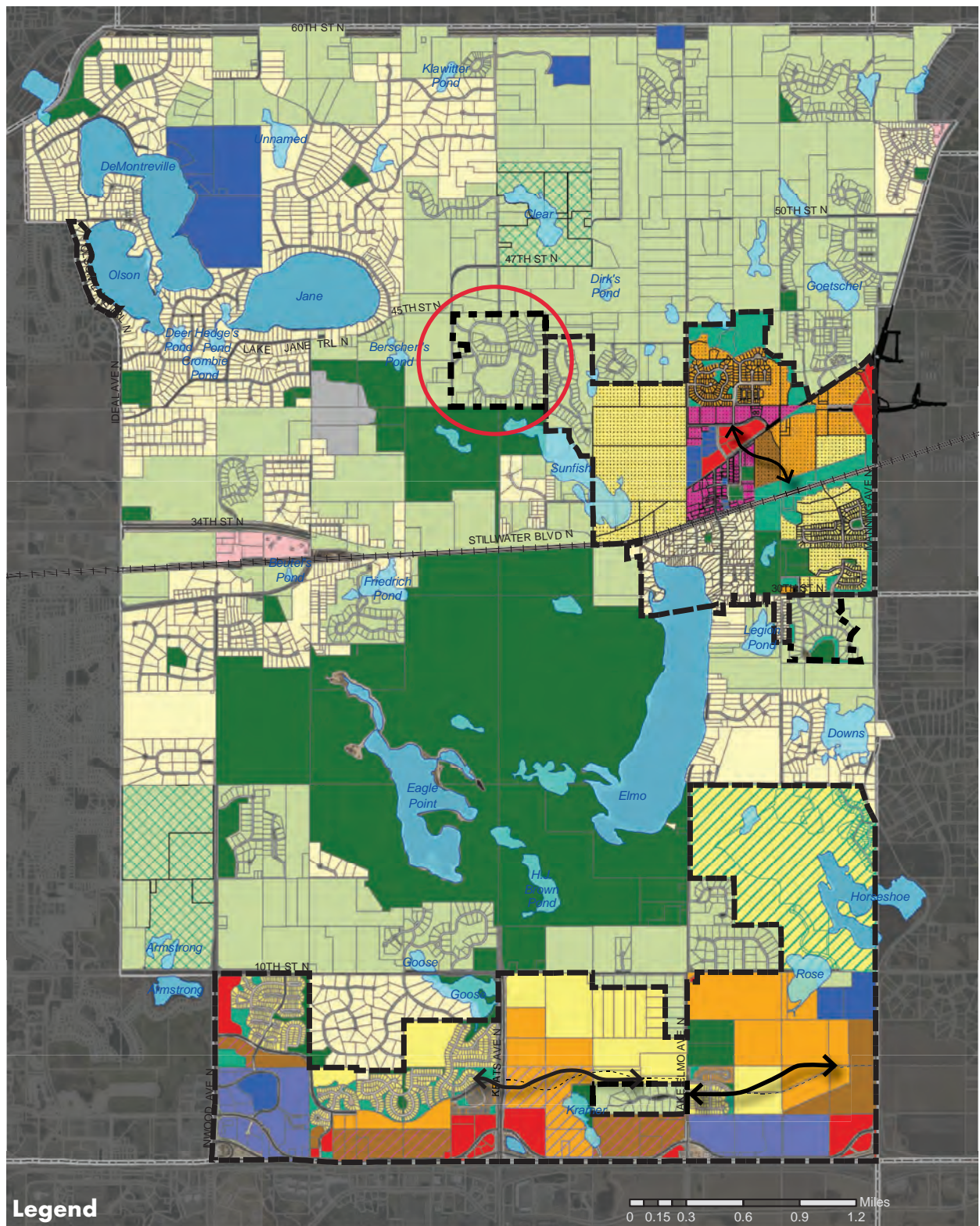
PROJECT LOCATION MAP

Map 3-2. 2018 – 2040 MUSA



3-11

Map 3-3. Future Land Use Map



Legend

2040 Future Land Use		
AP	LDR	V-MDR
RAD	MDR	V-HDR
RSF	HDR	V-MU
RSFS	MU-BP	LB
GC	MU-C	BP
	V-LDR	C
		MUSA 2040 (Revised)
		Closed Landfill
		Institutional
		Park
		PSP
		ROW
		Planned Roadway (Parkway)

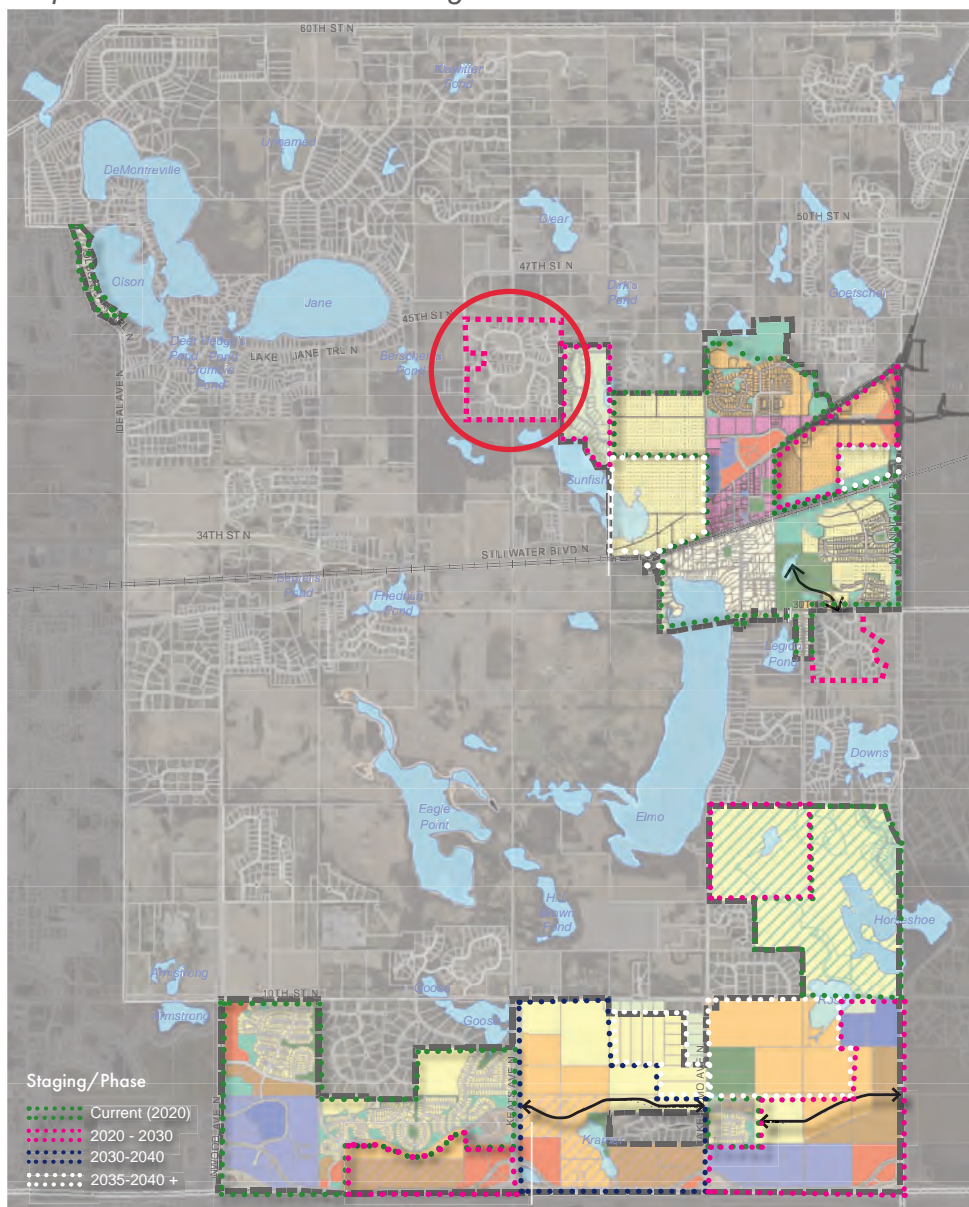
Draft Date: Rev. 6.11.2018
Source: Washington County, MNGEO, City of Lake Elmo, SHC



Phasing & Staged Growth

The majority of the City's growth in households and employment is anticipated to occur within the designated MUSA boundaries; however, there will be some continued development in the rural residential areas of the community consistent with the community's land use designations. Table 3-6 identifies gross acreages per land use designation, while calculations found in Table 3-3 provide net acreage calculations for each residential land use designation within the designated MUSA as noted. The City's objective is to plan for phased, contiguous growth to ensure adequate infrastructure and capacity are available to support development. Map 3-7 identifies four staging areas consistent with existing and planned water, wastewater and transportation infrastructure. The City acknowledges that market conditions, as well as other

Map 3-7. MUSA Growth & Phasing Plan



Revised Population & Household Projections

As noted in Table 3-3 the number of households, and thus the corresponding projected population, is consistent with the revised forecasts for the City as agreed to with the Metropolitan Council in June of 2019. As denoted in subsequent sections of this Chapter and the Sanitary Sewer Chapter, the City's infrastructure may need additional improvements to its infrastructure to serve the entire MUSA area depending on the ultimate commercial and/or business user and density of the residential neighborhoods. Thus capacity of the infrastructure within later staging areas will need to be evaluated, and development approvals contingent on appropriate system upgrades. Regardless, this Plan identifies and guides all land within the MUSA with an urbanized land use designation.

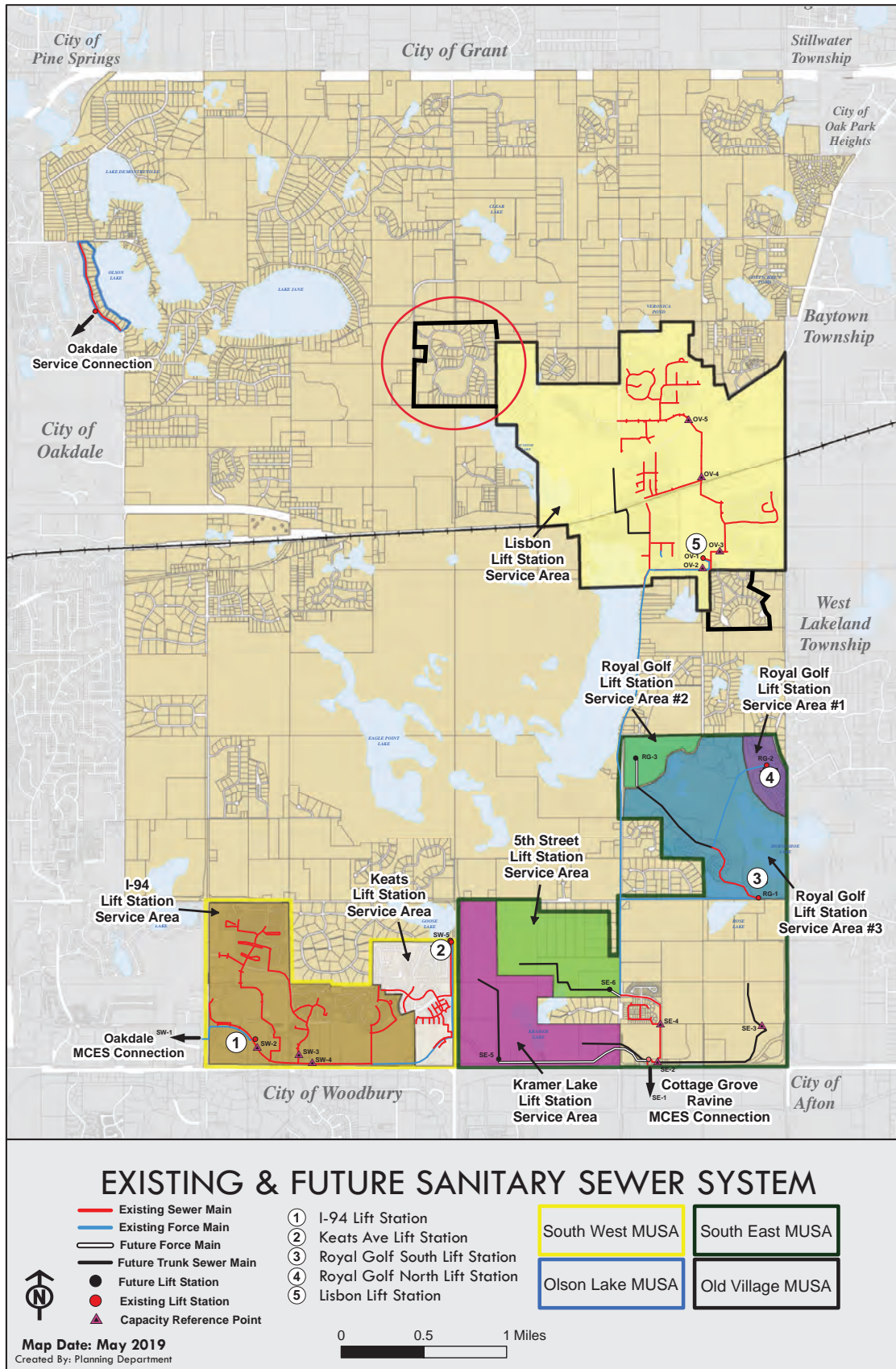
Table 3-4. Revised Population & Household Projections

	2020	2030	2040
Population Unsewered	6,502 6,185	7,319	7,457
Population Sewered	4,518 4,834	10,686	14,847
Total Population	11,020	18,005	22,304
Households Unsewered	2,242 2,133	2,642	2,742
Households Sewered	1,558 1,667	3,858	5,458
Total Households	3,800	6,500	8,200

Source: Metropolitan Council, SHC, City of Lake Elmo

3-21

Map 9-1. Existing and Future Sanitary Sewer System



FORECASTS

Population

The Metropolitan Council projects and publishes population and sewer usage forecasts for each City in the Metropolitan Area. This allocation is used in projecting future wastewater flows and system capacity to plan for additional infrastructure needs. Table 9-2 shows such forecasts for Lake Elmo.

Table 9-2. Population Forecasts for Lake Elmo

Forecast Year	Forecast Component	Population	Households	Employment
2010	MCES Sewered	0	0	623
	Unsewered	8,061	2,776	1,318
2020	MCES Sewered	4,518 4,834	1,558	2,338
	Unsewered	6,502 6,185	2,242	562
2030	MCES Sewered	10,687	3,858	2,788
	Unsewered	7,318	2,642	562
2040	MCES Sewered	14,846	5,458	3,238
	Unsewered	7,458	2,742	562

9-8

Projections, Capacity and Staging for Regional Sewer Service

Wastewater flow projections were generated for each MUSA area and regional interceptor for the 2020, 2030 and 2040 planning periods based on the anticipated land uses. Table 9-3 outlines these projections by sewer REC units, average day wastewater flows, and peak day wastewater flows. Table 9-4 summarizes projected flows for each MCES interceptor.

Table 9-5 then provides the capacity and design flow information for each major trunk sewer and lift station together with the estimated 2040 design flows. The Existing and Future Sanitary Plan Map (Map 9-1) shows sewer service staging in four phases in accordance with the Future Land Use Plan in Chapter 3.

Table 9-3. Projections by Sewer REC Units

Current (2020) Wastewater Flows by Interceptor						
	MCES WONE Interceptor/Oakdale			MCES Cottage Grove Ravine Interceptor		
	REC Units	Average Day Projected Flow (MGD)	Peak Day Projected Flow (GPM)	REC Units	Average Day Projected Flow (MGD)	Peak Day Projected Flow (GPM)
Old Village MUSA				821 935	0.23 0.25	594 639
Southeast Planning MUSA				150	0.04	114
Southwest Planning MUSA	821	0.23	594			
TOTALS	821	0.23	594	971 1,080	0.27 0.29	684 753

2020-2030 Wastewater Flows by Interceptor						
	MCES WONE Interceptor/Oakdale			MCES Cottage Grove Ravine Interceptor		
	REC Units	Average Day Projected Flow (MGD)	Peak Day Projected Flow (GPM)	REC Units	Average Day Projected Flow (MGD)	Peak Day Projected Flow (GPM)
Old Village MUSA				1,879	0.52	1,216
Southeast Planning MUSA				437	0.12	333
Southwest Planning MUSA	1,821	0.50	1,212			
TOTALS	1,821	0.50	1,212	2,316	0.64	1,499

2030-2040 Wastewater Flows by Interceptor						
	MCES WONE Interceptor/Oakdale			MCES Cottage Grove Ravine Interceptor		
	REC Units	Average Day Projected Flow (MGD)	Peak Day Projected Flow (GPM)	REC Units	Average Day Projected Flow (MGD)	Peak Day Projected Flow (GPM)
Old Village MUSA				2,109	0.58	1,365
Southeast Planning MUSA				1,383	0.38	948
Southwest Planning MUSA	2,290	0.63	1,482			
TOTALS	2,290	0.63	1,482	3,492	0.96	2,127

Table 9-4. Projected Flows for Each MCES Interceptor Service Area (MGD)

Average Day Projected Wastewater Flows by Interceptor (MGD)			Peak Day Projected Wastewater Flows by Interceptor (GPM)		
Year	WONE	Cottage Grove	Year	WONE	Cottage Grove
2020	0.23	0.27 0.29	2020	594	684 753
2030	0.50	0.64	2030	1,212	1,499
2040	0.63	0.96	2040	1,492	2,127

TABLE 9-5 Capacity and Design Flows for Local Trunk Sewers and Lift Stations

EASTERN LOCAL SEWER SERVICE DISTRICT: MCES COTTAGE GROVE RAVINE METER STATION

TRUNK SEWER / LIFT STATION SERVICE AREA	DESIGN CAPACITY				ESTIMATED 2040 REC				ESTIMATED EXCESS CAPACITY	
	TRUNK SEWER DIAMETER	REC	FLOW (MGD)	PEAK FLOW (GPM)	REC	FLOW (MGD)	PEAK FACTOR	PEAK FLOW (GPM)	REC	FLOW (MGD)
OV-5	12-inch Gravity Sewer	1,158	0.317		830	0.227	3.8	600	328	0.09
OV-4	15-inch Gravity Sewer	1,795	0.492		1,349	0.370	3.6	924	446	0.12
OV-3	18-inch Gravity Sewer	3,570	0.978		1,819	0.498	3.5	1,211	1,751	0.48
OV-2	15-inch Gravity Sewer	1,105	0.303		290	0.079	4.0	221	815	0.22
OV-1 (Lisbon LS)	16-inch Forcemain	2,580	0.707	1620	2,153	0.590	3.4	1,393	427	0.12
RG-3 (RG LS-1)	4-inch Forcemain	88	0.024	100	88	0.024	4.0	67	0	0.00
RG-2 (RG LS-2)	4-inch Forcemain	73	0.020	100	73	0.020	4.0	56	0	0.00
RG-1 (RG LS-3)	6-inch Forcemain	291	0.080	327	291	0.080	4.0	221	0	0.00
SE-6 (5th Street LS) - Future LS Post 2040	Forcemain Size TBD	855	0.234	620	0	0.000	4.0	0	855	0.23
SE-5 (Kramer Lk LS)	Forcemain Size TBD	1,479	0.405	990	220	0.060	4.0	167	1,259	0.34
SE-4 (MH 3-3)	24-inch Gravity Sewer	5,124	1.404		2,497	0.684		1,600*	2,627	0.72
SE-3	18-inch Gravity Sewer	2,453	0.672		500	0.137	3.9	371	1,953	0.54
SE-2 (MH 0-2)	24-inch Gravity Sewer	8,261	2.264		3,272	0.897	3.2	1,992	4,989	1.37
MCES CONNECTION LOCATION										
SE-1 (MH 0-1)	24-inch Gravity Sewer	9,740			3,492				6,248	1.71

*Peak flow based on combined lift station flow rates pumping into the system

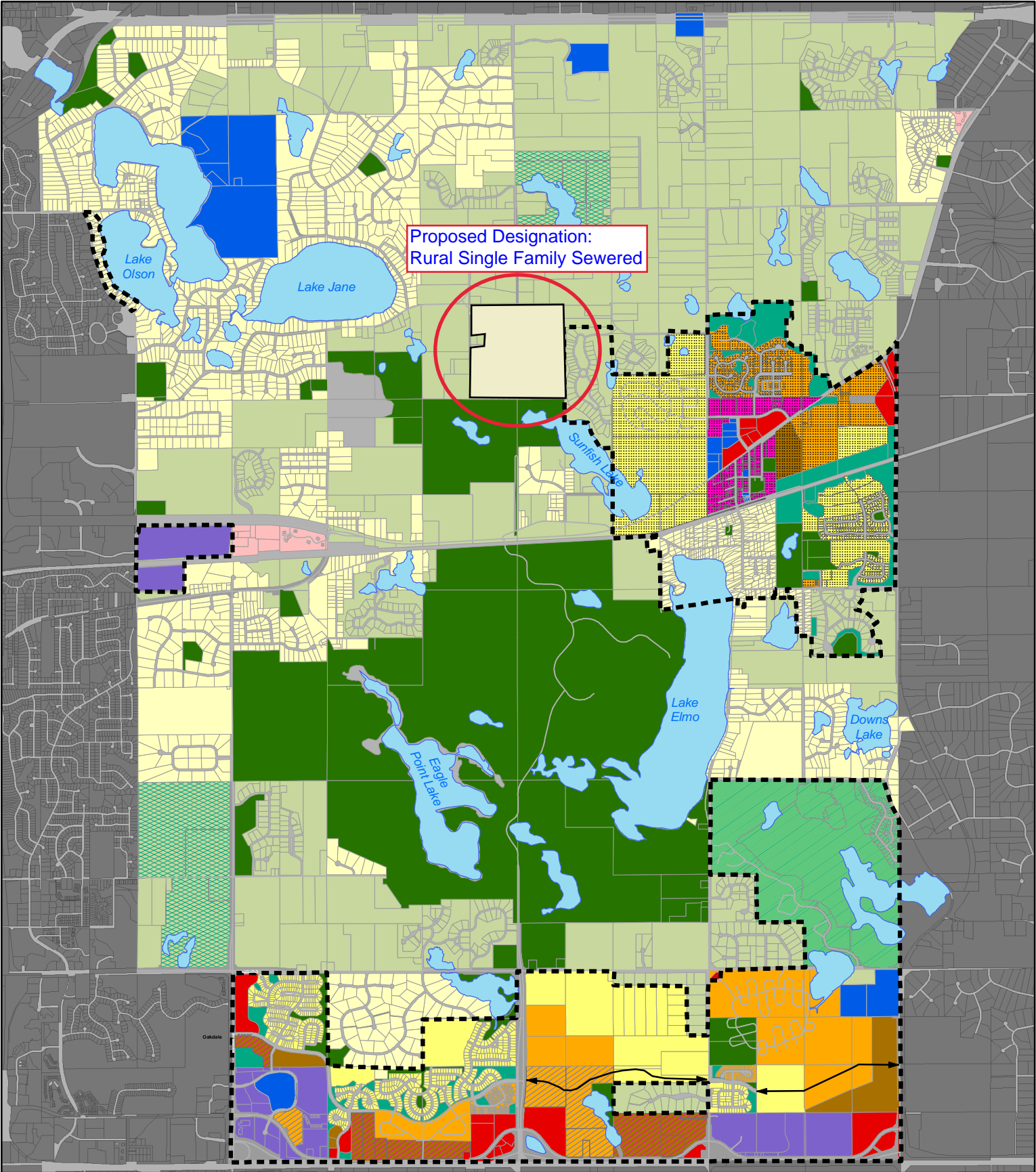
WESTERN LOCAL SEWER SERVICE DISTRICT: MCES WONE INTERCEPTOR (CONNECTION THROUGH CITY OF OAKDALE)

TRUNK SEWER / LIFT STATION SERVICE AREA	EXISTING DESIGN CAPACITY				ESTIMATED 2040 REC				ESTIMATED EXCESS CAPACITY	
	TRUNK SEWER DIAMETER	REC	FLOW (MGD)	PEAK FLOW (GPM)	REC	FLOW (MGD)	PEAK FACTOR	PEAK FLOW (GPM)	REC	FLOW (MGD)
SW-5 (KEATS LS)	8-inch Forcemain	600	0.164	388	600	0.164		338*	0	0.00
SW-4	12-inch Gravity Sewer	1,065	0.292		1220	0.334	3.6	836	-155	-0.04
SW-3	12-inch Gravity Sewer	1,104	0.302		452	0.124	3.9	335	652	0.18
SW-2	15-inch Gravity Sewer	3,526	0.966		2290	0.627	3.4	1,482	1,236	0.34
MCES CONNECTION LOCATION										
SW-1 (I-94 LS)	8-inch Forcemain	1,500	0.411	1,000	2,290	0.627		1,482	-790	-0.22

*Peak flow based on combined lift station flow rates pumping into the system

P 9-10

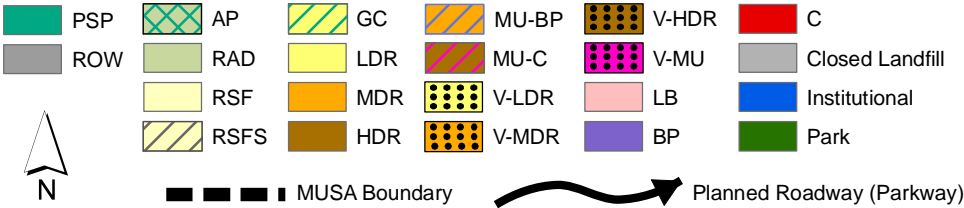
Future Land Use Map



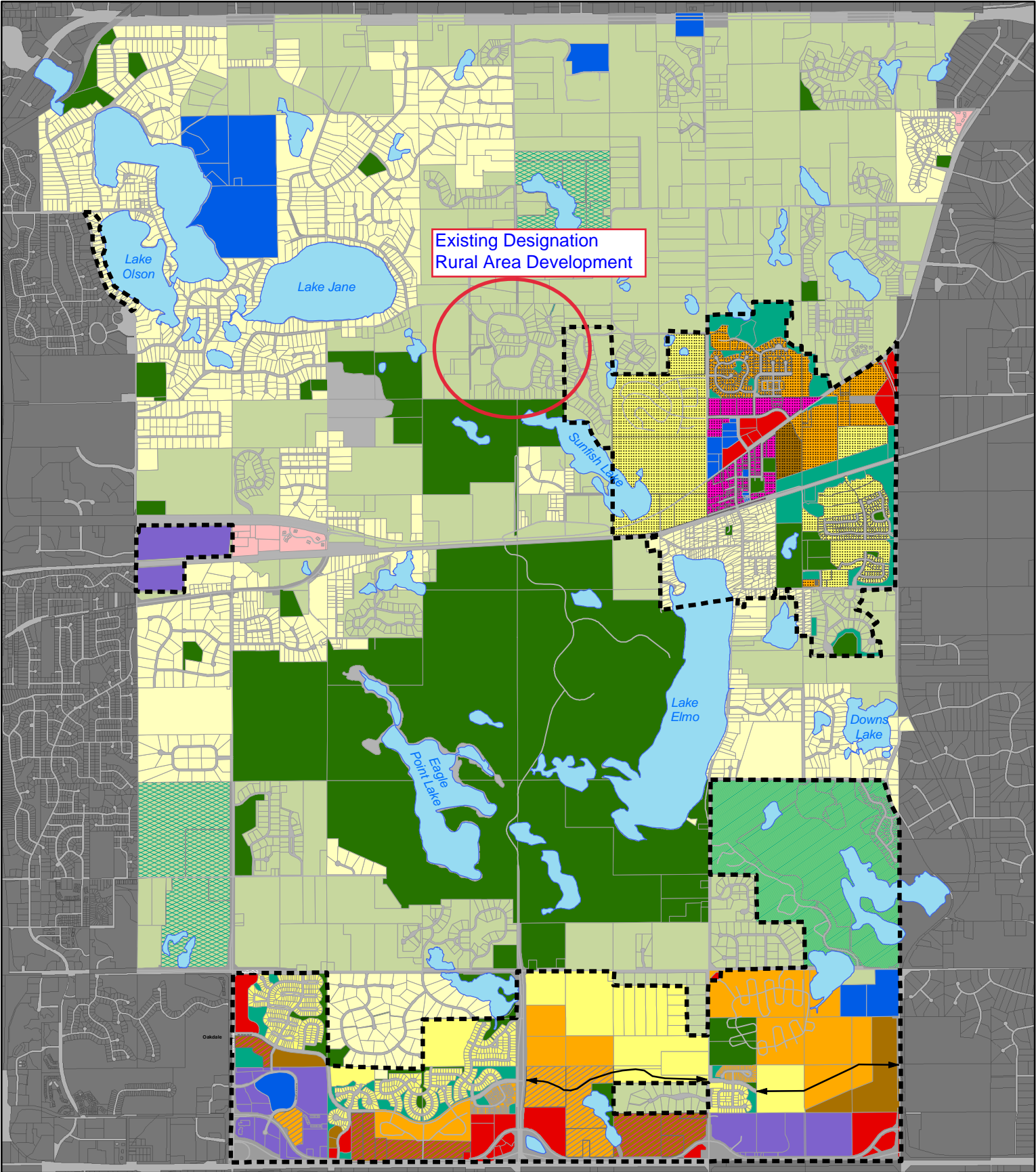
2040 Future
Land Use

0 1800 3600 5400 7200 Ft

Map Date: January 2021



Future Land Use Map



2040 Future Land Use

- | | | | | | |
|-----|------|-----|-------|-------|-----------------|
| PSP | AP | GC | MU-BP | V-HDR | C |
| ROW | RAD | LDR | MU-C | V-MU | Closed Landfill |
| | RSF | MDR | V-LDR | LB | Institutional |
| | RSFS | HDR | V-MDR | BP | Park |
- MUSA Boundary Planned Roadway (Parkway)