



**STAFF REPORT** DATE:  
11/13/2023  
Item# 4a- Public Hearing  
**MOTION**

**TO:** Planning Commission  
**FROM:** Sophia Jensen, City Planner  
**AGENDA ITEM:** **Old City Facilities Comprehensive Plan Amendment and Zoning Map Amendment**

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**BACKGROUND:**

Lake Elmo City Staff and Firefighters made the transition into the New City Center facility in July of this year. City Hall Staff and the Fire Department are now fully functioning out of this facility leaving the old fire hall (3510 Laverne Ave N) and parks building (11200 Upper 33<sup>rd</sup> St N) vacant. The City is looking to list the parcels that comprise these sites for sale in the upcoming year.

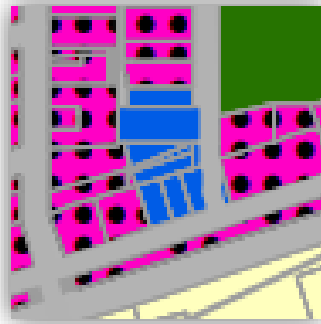
In the City's Zoning Map parcels are currently zoned Public Facilities (PF) which significantly restricts the uses. Uses allowed in the PF zoning district include cemeteries, religious institutions, municipal buildings, libraries/museums, schools, and historic sites. The City is looking to amend the zoning map (rezone) the sites to Village Mixed Use (V-MX) so the parcels are consistent with the surrounding zoning and expand on the possible uses for future buyers.

In order to rezone the parcels the City must first process a Comprehensive Plan Amendment to reguide the parcels to a consistent land use guidance in the Future Land Use map. The parcels are currently guided Institutional (I). The City is looking to amend the land use guidance to Village Mixed Use (V-MU). Based on our 2040 Comprehensive Plan if the site is reguided and rezoned to Village Mixed Use the following conclusions can be made: 1) the total net acres of this district will go from 18 acres to roughly 19.2 acres. 2) If the site were to be used solely for commercial uses the City can expect to see a minimum of 8 employees added. 3) If the site is used solely for housing, based on the minimum density of 5 units per acre, the City can expect to see at least 6 dwelling units added. At this time the City is only looking to rezone in anticipation of listing the parcels for sale. Proposed uses, platting and easement dedication of the parcels will occur as part of future development.

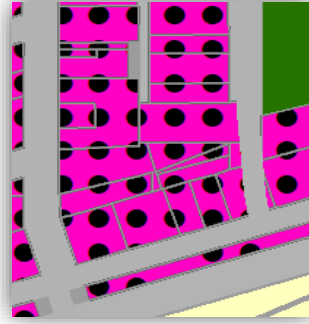
The PID/address and acreage for the 9 affected parcels are as follows:

13.029.21.23.0028	0.1 acre
13.029.21.32.0031 – 3510 Laverne Ave	0.4 acre
13.029.21.32.0028	0.1 acre
13.029.21.32.0029	0.1 acre
13.029.21.32.0030	0.1 acre
13.029.21.32.0092	>0.1 acre
13.029.21.32.0043	0.1 acre
13.029.21.32.0044 - 11200 Upper 33 <sup>rd</sup> St	0.1 acre
13.029.21.32.0045	0.2 acre
Total Acres:	~1.2

### 2040 Comprehensive Plan - Future Land Use Map



Existing FLU Map (I)

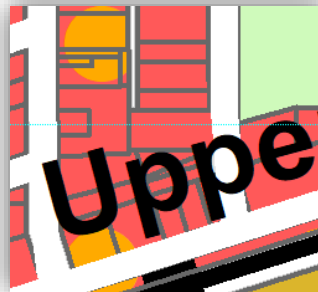


Proposed FLU Map (V-MU)

### City Zoning Map



Existing Zoning (PF)



Proposed Zoning (V-MX)

### **ISSUE BEFORE THE PLANNING COMMISSION:**

The Planning Commission is being asked to hold a public hearing and made a recommendation on the comprehensive plan amendment and zoning map amendment.

### **PROPOSAL REVIEW AND ANALYSIS:**

The decision to change or amend the Comprehensive Plan is a policy matter for Council. Any change to the Comprehensive Plan should be based on the findings and criteria to show that the change would be consistent with the goals, policies, and intent of the City. If the City Council approves the Comprehensive Plan amendment the City will still need to submit the amendment request to Metropolitan Council and receive formal notice of approval prior to any official map changes.

The City's zoning map should be consistent and follow the City's Future Land Use map in the Comprehensive Plan. In order to be consistent with the proposed change from Institutional (I) to Village Mixed Use (V-MU) in the Comprehensive Plan the City will need to process a zoning map amendment (rezoning) of the property from Public Facilities (PF) to Village Mixed Use (V-MX). The zoning map amendment will be contingent upon City Council and Metropolitan Council's approval of the Comprehensive Plan Amendment.

### **RECOMMENDED FINDINGS:**

Below are the recommended findings for the comprehensive plan amendment and zoning map amendment:

1. The Comprehensive plan amendment is to change the future land use guidance of the nine parcels that comprise the old fire hall and parks building from Institutional (I) to Village Mixed Use (V-MU).
2. The Zoning Map amendment is to change the zoning of the nine parcels that comprise the old fire hall and parks building from Public Facilities (PF) to Village Mixed Use (V-MX).
3. The proposed amendments are consistent with the overall goals and objectives of the Lake Elmo 2040 Comprehensive Plan.
4. The proposed amendments are consistent with the overall goals and objectives of the Lake Elmo Zoning Code.
5. The proposed amendments are consistent and compatible with surrounding land uses.

### **RECOMMENDED CONDITION OF APPROVAL**

Staff recommends the following condition of approval:

1. The zoning map amendment and comprehensive plan amendment shall not be effective until such time as the Metropolitan Council sends formal notice of approval to the City for the Comprehensive Plan Amendment.

### **PUBLIC HEARING NOTICE**

A public hearing was sent to surrounding property owners on November 1<sup>st</sup> 2023 and published in the local paper on November 3<sup>rd</sup> 2023.

The Sector Representative from the Metropolitan Council has waived the affected jurisdiction notification requirement for the comprehensive plan amendment due to the location and size of the proposed amendment on October 16<sup>th</sup> 2023.

### **FISCAL IMPACT**

None.

### **RECOMMENDATION**

Staff recommends the following motions:

***“Move to recommend approval of the Comprehensive Plan Amendment of the nine parcels that comprise the old fire hall and parks building from Institutional to Village Mixed Use based on the findings listed in the staff report.”***

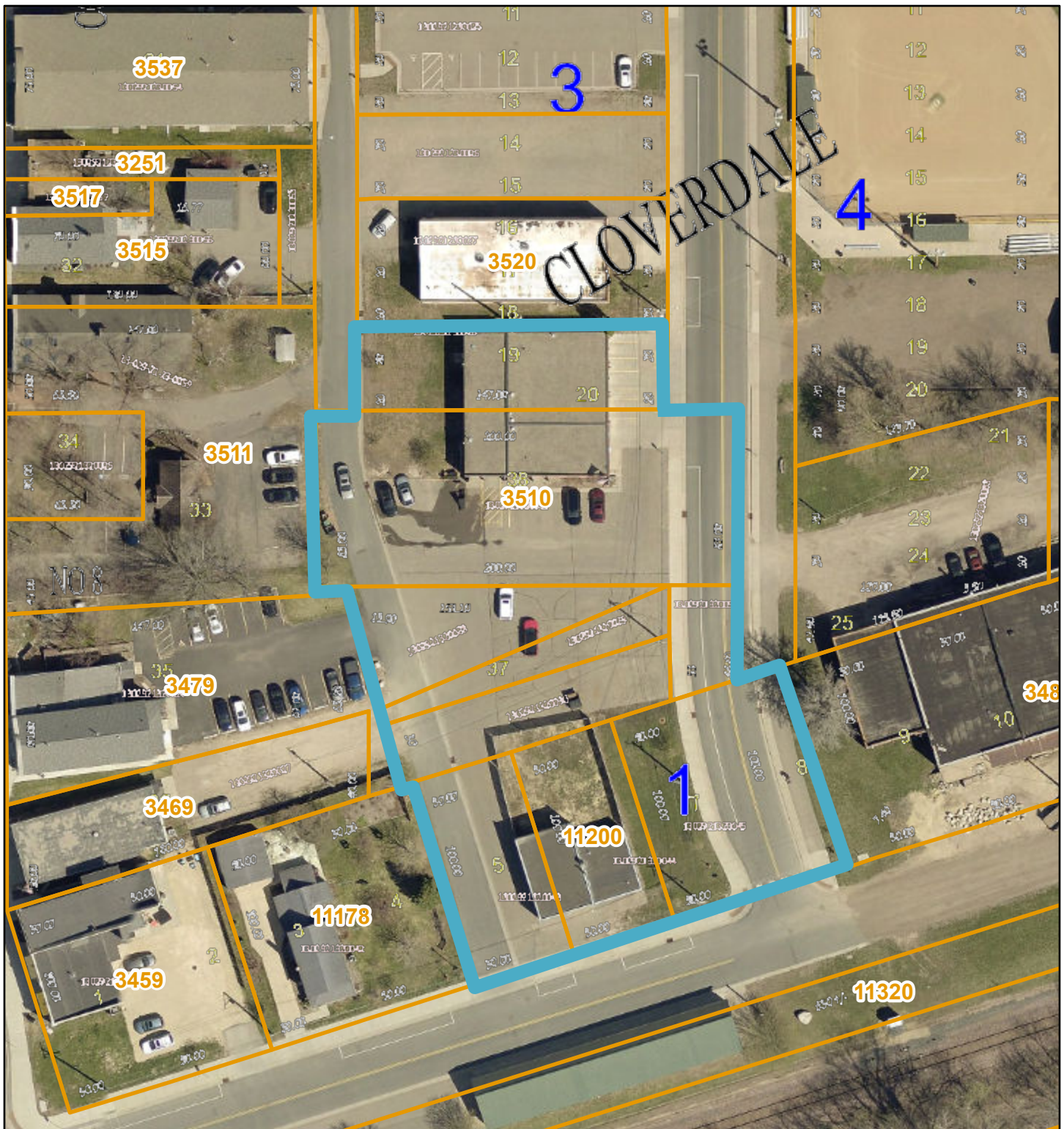
*AND*

***“Move to recommend approval of the zoning map amendment of the nine parcels that comprise the old fire hall and parks building from Public Facilities to Village Mixed Use based on the findings and subject to the conditions listed in the staff report.”***

### **ATTACHMENTS:**

- Aerial Image Site Location
- 2040 Comprehensive Plan - Future Land Use Map
- City Zoning Map

# ArcGIS Web AppBuilder




10/11/2023, 10:41:33 AM


1:1,128

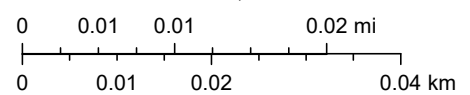
 Parcels

Parcel Annotation

 Red: Band\_1

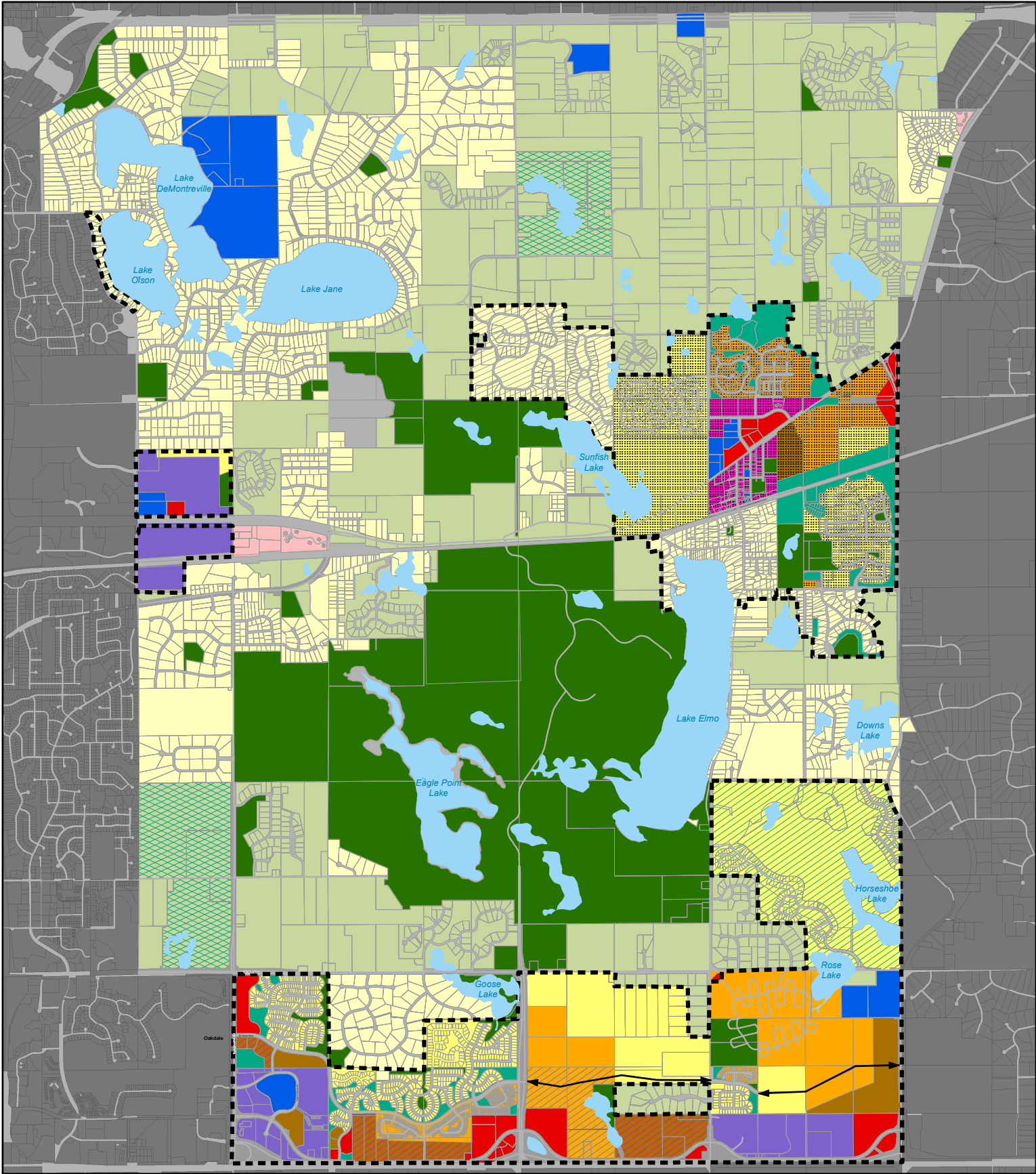
 Green: Band\_2

 Blue: Band\_3

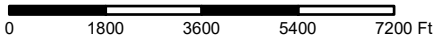




Future Land Use Map



2040 Future Land Use



Map Date: January 2023

PSP

ROW

AP

RAD

RSF

RSFS

GC

LDR

MDR

HDR

MU-BP

MU-C

V-LDR

V-MDR

V-HDR

LB

BP

C

Closed Landfill

Institutional

Park

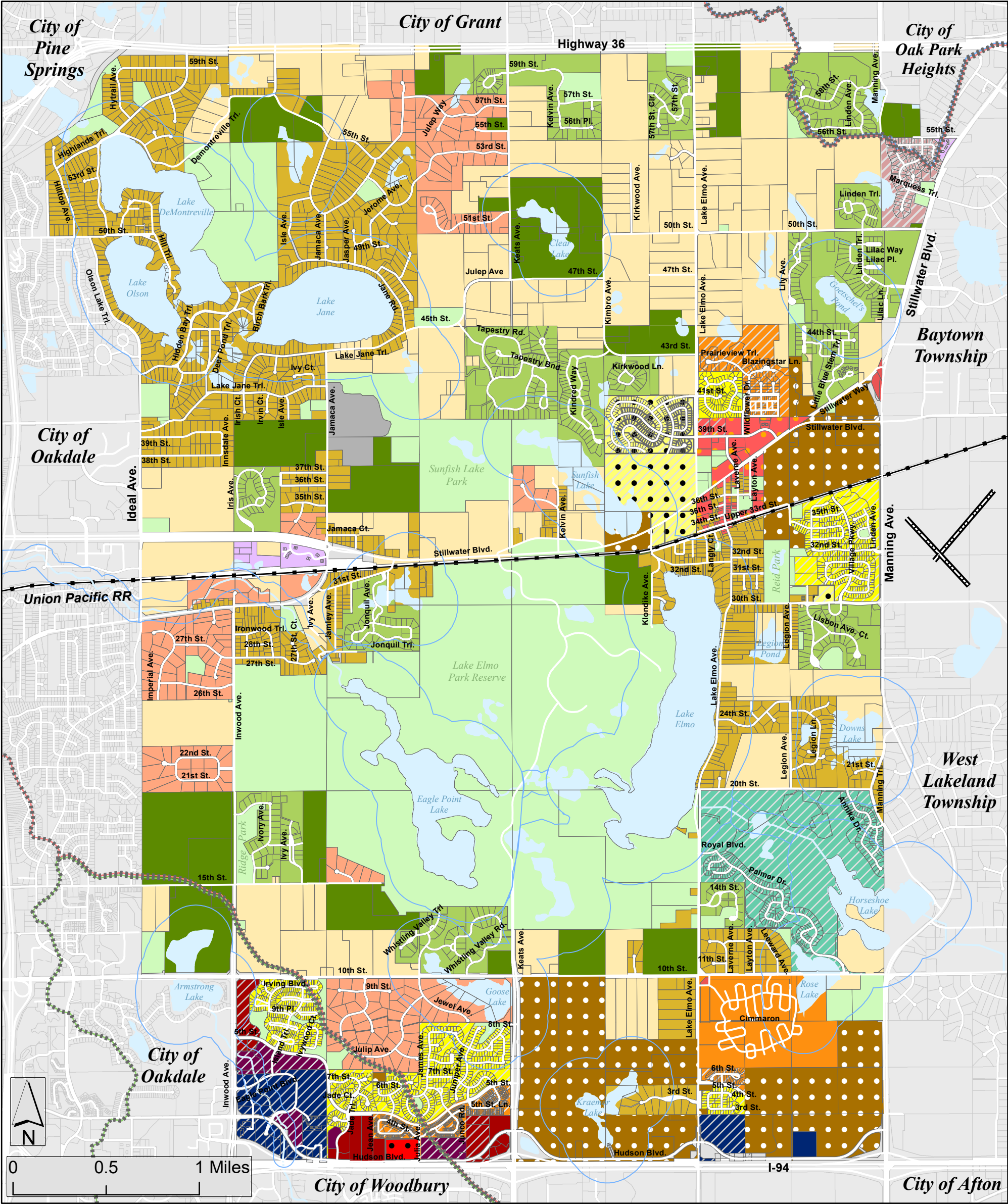
MUSA Boundary

Planned Roadway (Parkway)



# Lake Elmo Zoning Map

Data Source: Washington County  
Map Created By: Planning Dept.  
Map Updated: May 2023



## Zoning Districts

- |                                   |  |   |
|-----------------------------------|--|---|
| LDR - Low Density Residential     | LC - Limited Commercial                    | A - Agricultural                                    |
| MDR - Medium Density Residential  | C - Commercial                             | PF - Public Facilities                              |
| HDR - High Density Residential    | CC - Convenience Commercial                | Water Body  |
| R2 - One & Two-Family Residential | BP - Business Park                         | Closed Landfill                                     |
| RS - Rural Single Family          | MU-BP - Mixed-Use Business Park            | Browns Creek  |
| RE - Residential Estate           | MU-C - Mixed-Use Commercial                | South Washington                                    |
| RR - Rural Residential            | V-MX - Village Mixed Use                   | Valley Branch                                       |
| RT - Rural Transitional           | V-LDR - Village Low Density Residential    | Shoreland Overlay District                          |
| OP - Open Space                   | V-MDR - Village Medium Density Residential | Hatching Represents Planned Unit Developments (PUD) |
| GCC - Golf Course Community       | V-HDR - Village High Density Residential   |   |