



STAFF REPORT
Date: March 24, 2025
REGULAR
Item 4a PUBLIC HEARING
MOTION

TO: Planning Commission

FROM: Ashley Monterusso, City Planner

REVIEWED BY: Sophia Jensen, Senior City Planner & Jason Stopa, CD Director

AGENDA ITEM: Milestones Daycare at Eagle Point Conditional Use Permit

CORE STRATEGIES:

- | | |
|---|---|
| <input type="checkbox"/> Vibrant, inclusive, connected community | <input type="checkbox"/> Efficient, reliable, innovative services |
| <input type="checkbox"/> Responsive, transparent, adaptive governance | <input type="checkbox"/> Balanced Finances now and future |
| <input checked="" type="checkbox"/> Managed Growth | <input type="checkbox"/> Resilient Infrastructure |

BACKGROUND:

MEP Lino Lakes LLC (the “Applicant”) has submitted a Conditional Use Permit (CUP) application for a daycare center at 8565 Eagle Point Circle in the Eagle Point Development PID 33.029.21.43.0008 (the “Property”). The property was originally used as a Rasmussen College technical school site until 2024/2025. The applicant is proposing to leave the site in generally the same condition with minor exterior modifications in the parking lot to add two playgrounds. Interior modifications to the existing 20,452 square foot building will be needed to accommodate the daycare use and current fire/building codes. The Daycare will hold approximately 220 children with upwards of 30 employees. The building footprint will not change. The daycare center use is permitted by conditional use permit in this district.

REQUEST DETAILS/ANALYSIS:

Applicant: MEP Lino Lakes LLC, Jeremy Spaude

Property Owner: Davis Estates LTD

Location: 8565 Eagle Point Cir
Lake Elmo MN, 55042

Request: Conditional Use Permit for daycare center

Site Area: 4.1 acres

Existing Land Use: Vacant (Previously a Rasmussen College)

Existing Zoning: BP- PUD

Surrounding Land Use: North – Undeveloped Parcel Eagle Point Business Park (BP-PUD)

Comprehensive Plan:	South – MN DOT Road Right of Way (No Zoning) East - Undeveloped Tributary MN DOT (BP-PUD) West – Developed Parcel Eagle Point Business Park (BP-PUD) BP – Business Park
Deadline for Action:	Application Complete – 2/27/2025 60 Day Deadline – 4/28/2025
Regulations:	Article XV Commercial Districts LEC 105.12.410 Off Street Parking Article VIII Environmental Performance Standards ARTICLE XIX Shoreland Management Overlay District Eagle Point Business Planned Unit Development Standards

ISSUE BEFORE PLANNING COMMISSION:

The Planning Commission is being asked to hold a public hearing, review, and make a recommendation on the requests to approve a conditional use permit for a daycare center facility.

PROJECT ANALYSIS

The proposed project involves a change in use for the current site from a trade school (medical/nursing) to a daycare center. This use is designated as a conditional use under the Eagle Point Business Park's PUD. The proposed site design will involve removing some parking area (impervious surface) and replacing the area with pervious surface for two playgrounds. The changes on site are not expected to affect the surrounding environment or nearby buildings.

The daycare facility will operate from 7am until 6pm, consistent with the hours of operation at the first Milestones daycare center in the Old Village area of Lake Elmo. The site will accommodate 30-33 staff members and roughly 220 children. The peak times for drop-off and pick-ups are between 7-9am and 4-6pm. The daycare's operational schedule is not expected to create significant disruptions to the site or its surroundings. The required parking per code states one space should be available per staff member and one space per seven students based on occupancy. The applicant meets this requirement by proposing over 30 additional parking stalls. Given that the applicant has provided over 30 parking spaces above the required minimum, staff does not anticipate traffic congestion during pick-up and drop-off times, as there are ample parking spaces available.

CITY AGENCY REVIEW:

This request was distributed to several departments and agencies for review on February 27, 2025. The following departments provided comments on the applications:

- South Washington Watershed District Email (3/7/2025) – No comment provided.
- Fire Department Memo (3/4/2025)- Provided their standard comments regarding drive lanes, parking, fire suppression, lock boxes, and fire alarms.
- City Engineer Email (3/7/2025) – No comment provided.
- Landscape Architect (3/7/2025)– Provided a memo requesting plan revisions on the landscape plan . They also provided comments on the tree preservation requirements. A condition of approval has been added regarding this memo.
- City of Oakdale (3/7/2025) – No comment provided.
- MN DNR- No comment provided.
- WA County – No comment provided.

RECOMMENDED CONDITIONAL USE PERMIT FINDINGS

Conditional use means a land use or development as defined by ordinance that would not be appropriate generally but may be allowed with appropriate restrictions as provided by official controls only upon a finding that all of the following provisions are met. Staff recommends the following findings:

1. The proposed use will not be detrimental to or endanger the public health, safety, comfort, convenience or general welfare of the neighborhood or the city. ***The proposed use is not anticipated to be detrimental or in any way endanger the public health, safety, comfort, convenience, or general welfare of the neighborhood.***
2. The use or development conforms to the City of Lake Elmo Comprehensive Plan. ***The site is zoned BP – Business Park which is consistent with the 2040 Comprehensive Plan.***
3. The use or development is compatible with the existing neighborhood. ***The proposed use is permitted in the Business Park zoning district as a Conditional Use. The surrounding parcels are also zoned Business Park PUD with the exception of the land directly south which is ROW (Interstate 94) owned by MNDOT. The proposal is compatible with the existing land uses and development.***
4. The proposed use meets all specific development standards for such use listed in the Zoning Code. ***The proposed use meets the development standards for daycare center as per LEC 105.12.110.***
5. If the proposed use is in a flood plain management or shoreland area, the proposed use meets all the specific standards for such use listed in Article XIX (Shoreland Management) and Title 100 (Flood Plain Management). ***The proposed use is in the shoreland area and meets the shoreland management standards. The building is existing and is not proposing changing the footprint. The applicant is proposing removing impervious surface on site. The proposed use is not in a flood plain management area.***
6. The proposed use will be designed, constructed, operated, and maintained so as to be compatible in appearance with the existing or intended character of the general vicinity and will not change the essential character of that area. ***There are minimal changes proposed to the existing façade and site layout. The proposed use is compatible in appearance with the existing character of the general vicinity and will not change the essential character of the area.***
7. The proposed use will not be hazardous or create a nuisance as defined under this Chapter to existing or future neighboring structures. ***The proposed use of a daycare center is not anticipated to create a nuisance or be hazardous.***
8. The proposed use will be served adequately by essential public facilities and services, including streets, police and fire protection, drainage structures, refuse disposal, water and sewer systems and schools or will be served adequately by such facilities and services provided by the persons or agencies responsible for the establishment of the proposed use. ***The existing property is already served by essential public facilities and services. The proposed use will be served adequately by essential public facilities and services.***
9. The proposed use will not create excessive additional requirements at public cost for public

facilities and services and will not be detrimental to the economic welfare of the community.

The proposed use is not anticipated to create excessive additional requirements at public cost for public facilities and services and will not be detrimental to the economic welfare of the community.

10. The proposed use will not involve uses, activities, processes, materials, equipment, and conditions of operation that will be detrimental to any persons, property, or the general welfare because of excessive production of traffic, noise, smoke, fumes, glare, or odors. ***The proposed use is not anticipated to produce noise, smoke, fumes, glare, odor or excessive traffic that would be considered detrimental to the economic welfare of the community.***

11. Vehicular approaches to the property, where present, will not create traffic congestion or interfere with traffic on surrounding public thoroughfares. ***There are no proposed changes to the vehicular approaches, traffic congestion is not anticipated to increase with this proposed use.***

12. The proposed use will not result in the destruction, loss, or damage of a natural or scenic feature of major importance. ***The proposed use is not anticipated to negatively impact natural or scenic features.***

FISCAL IMPACT:

None

RECOMMENDED CONDITIONS OF APPROVAL

1. The applicant must obtain all other necessary City, State, and other governing body permits and approvals before the commencement of any construction activity on the site. These may include, but not limited to, City of Lake Elmo, Minnesota Pollution Control Agency stormwater permit, SWWD Watershed District permit, DNR, approval of revised plans from the City Engineer, and a building permit.
2. The applicant must address the comments in the Landscape Architect memo dated March 6, 2025 prior to the issuance of a building permit.
3. If substantial construction has not taken place within 12 months of the City's approval, the conditional use permit and variance shall become void.
4. Any expansion or modification of the parking lot or playgrounds shall require a conditional use permit amendment, this does not apply to typical maintenance.

PUBLIC COMMENT:

A public hearing notice was sent to surrounding property owners on March 10th, 2025 and published in the Stillwater Gazette on March 14th, 2025. Staff has not received any public comments at this time.

OPTIONS:

The Planning Commission may:

- Recommend approval of the Conditional Use Permit
- Recommend approval of the requests with conditions.
- Recommend denial of the request, citing findings of fact for denial.

RECOMMENDATION:

Staff recommends that the Planning Commission recommend approval of the request from MEP Lino Lakes LLC to construct a daycare center in the Eagle Point Business Park.

“Move to recommend approval of the request from MEP Lino Lakes LLC, approving a conditional use permit for a daycare facility at 8565 Eagle Point Circle.”

ATTACHMENTS:

- 1) Land Use Application Materials
- 2) Fire Department Memos dated March 4, 2025
- 3) Landscaping Review Memo dated March 7, 2025
- 4) Public Comment

Date Received: _____
Received By: _____
Permit #: _____



651-747-3900
3880 Laverne Avenue North
Lake Elmo, MN 55042

CONDITIONAL USE PERMIT APPLICATION

Property Owner: Davis Estates LTD
Address: 6901 Jersey Ridge Rd Davenport IA 52807
Phone #: (515) 288-2500 (Legal)
Email Address: ahubler@ksu.net

Fee Owner: Same as Above
Address: _____
Phone #: _____
Email Address: _____

Property Address: 8565 EAGLE POINT CIR, CITY OF LAKE ELMO
PID#: 3302921430008

Engineer Name and Email: N/A

Detailed Reason for Request: Convert Karmussen College building into a daycare center

In signing this application, I hereby acknowledge that I have read and fully understand the applicable provisions of the Zoning ordinance and current administrative procedures. I further acknowledge the fee explanation as outlined in the application procedures and hereby agree to pay all statements received from the City pertaining to additional application expense.

Signature of applicant: [Signature] Date: 2/12/2025

Signature of property owner: Angela C Hubler Date: 2/12/2025
President, Davis Estates Ltd



Lake Elmo City Hall
651-747-3900
3800 Laverne Avenue North
Lake Elmo, MN 55042

AFFIRMATION OF SUFFICIENT INTEREST

I hereby affirm that **I am the fee title owner** of the below described property or that I have written authorization from the owner to pursue the described action.

Name of applicant MEP Lino Lakes LLC -- Applicant
(Please Print)

Street address/legal description of subject property 8565 Eagle Pt Circle Lake Elmo



Signature

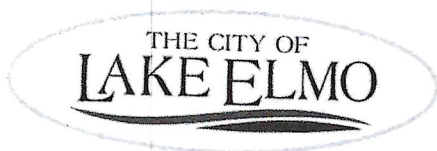
2/20/2025

Date

If you are not the fee owner, attach another copy of this form which has been completed by the fee owner or a copy of your authorization to pursue this action.

If a corporation is fee title holder, attach a copy of the resolution of the Board of Directors authorizing this action.

If a joint venture or partnership is the fee owner, attach a copy of agreement authorizing this action on behalf of the joint venture or partnership.



Lake Elmo City Hall
651-747-3900
3800 Laverne Avenue North
Lake Elmo, MN 55042

ACKNOWLEDGEMENT OF RESPONSIBILITY

This is to certify that I am making application for the described action by the City and that I am responsible for complying with all City requirements with regard to this request. This application should be processed in my name and I am the party whom the City should contact regarding any matter pertaining to this application.

I have read and understand the instructions supplied for processing this application. The documents and/or information I have submitted are true and correct to the best of my knowledge. I will keep myself informed of the deadlines for submission of material and of the progress of this application.

I understand that this application may be reviewed by City staff and consultants. I further understand that additional information, including, but not limited to, traffic analysis and expert testimony may be required for review of this application. I agree to pay to the City upon demand, expenses, determined by the City, that the City incurs in reviewing this application and shall provide an escrow deposit to the City in an amount to be determined by the City. Said expenses shall include, but are not limited to, staff time, engineering, legal expenses and other consultant expenses.

I agree to allow access by City personnel to the property for purposes of review of my application.

Signature of applicant

Date

2/20/15

Name of applicant

Jeremy Spawke
(Please Print)

Phone

612-501-1493

Name and address of Contact (if other than applicant)



Lake Elmo City Hall
651-747-3900
3800 Laverne Avenue North
Lake Elmo, MN 55042

AFFIRMATION OF SUFFICIENT INTEREST

I hereby affirm that **I am the fee title owner** of the below described property or that I have written authorization from the owner to pursue the described action.

Name of applicant Angela E. Hubler, President, Davis
(Please Print) Estates Ltd.

Street address/legal description of subject property 8565 Eagle Pt Circle
City of Lake Elmo

Angela E. Hubler
Signature

2/12/2025
Date

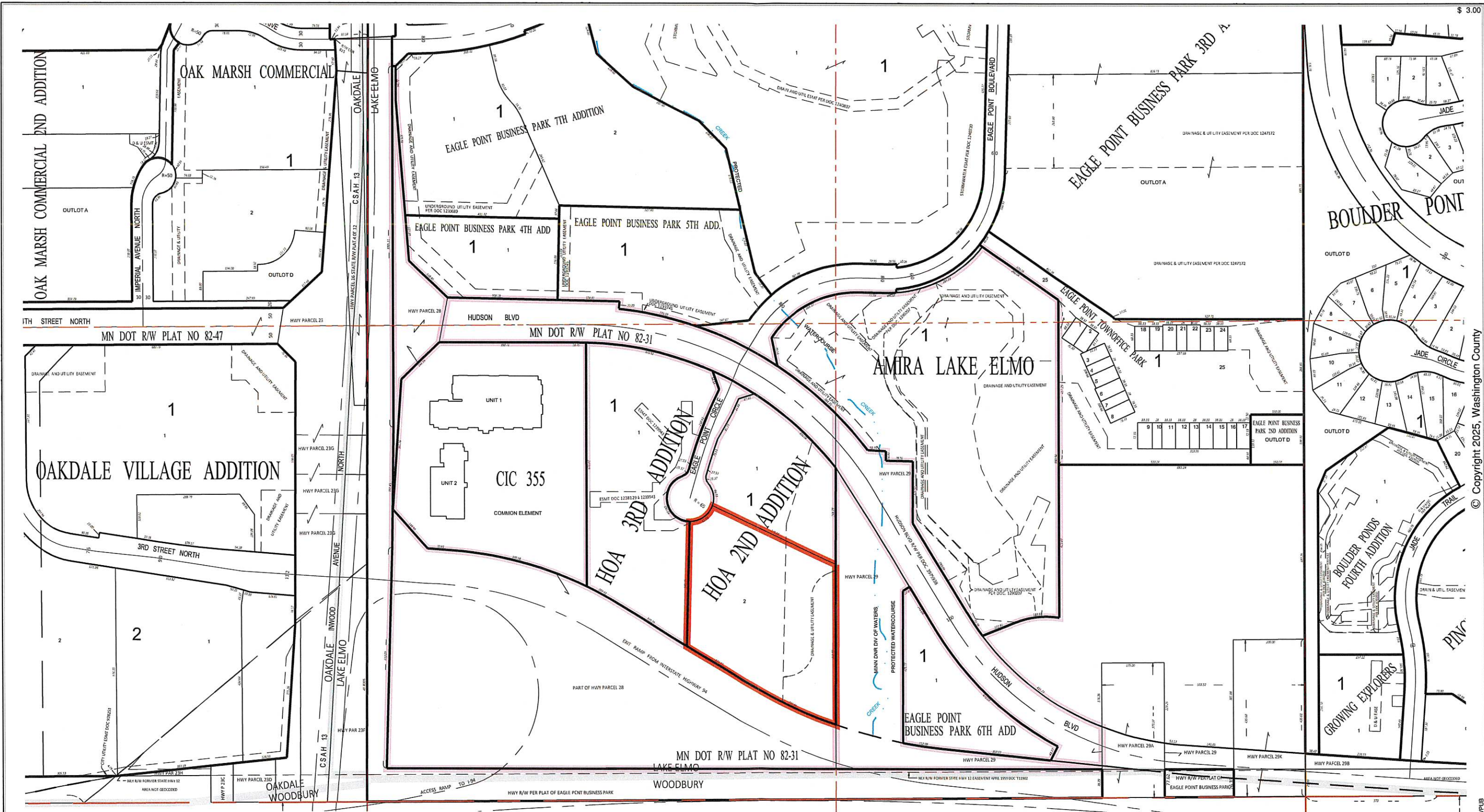
If you are not the fee owner, attach another copy of this form which has been completed by the fee owner or a copy of your authorization to pursue this action.

If a corporation is fee title holder, attach a copy of the resolution of the Board of Directors authorizing this action.

If a joint venture or partnership is the fee owner, attach a copy of agreement authorizing this action on behalf of the joint venture or partnership.

Parcel Search: February 19, 2025 at 9:28 a.m. by SURVPUB
350 feet surrounding 3302921430008. 10 parcels, 8 labels.

3302921430007
3302921430008
3302921430011
3302921430012
3302921430013
3302921430014
3302921440037
3302921440038
3302921440039
3302921440042



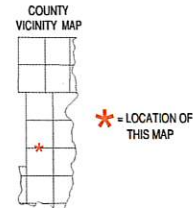
Washington County
PUBLIC WORKS DEPARTMENT
SURVEY DIVISION
11660 Myron Road North
Stillwater, Minnesota 55082
(651) 430-4300
PublicWorks@washingtoncountymn.gov
www.washingtoncountymn.gov/548/Survey

- LEGEND**
- DNR PROTECTED WATERS
 - DNR PROTECTED WETLAND
 - DNR PROTECTED WATERCOURSE
 - MUNICIPAL BOUNDARY
 - PARK BOUNDARY

N
SCALE: 1 inch = 260 feet

SECTION-TOWNSHIP-RANGE INDEX

2902921	2802921	2702921
3202921	3302921	3402921
0502821	0402821	0302821



SECTION VICINITY MAP

22	21	12	11
23	24	13	14
32	31	42	41
33	34	43	44

PROPERTY IDENTIFICATION NUMBER FORMAT (GEOCODE)

SECTION NUMBER	TOWNSHIP NUMBER	RANGE NUMBER	QUARTER NUMBER	SPECIFIC PARCEL
##	##	##	##	###

(0001) = LAST FOUR DIGITS OF PROPERTY IDENTIFICATION NUMBER


THIS DRAWING IS THE RESULT OF A COMPILATION AND REPRODUCTION OF LAND RECORDS AS THEY APPEAR IN VARIOUS WASHINGTON COUNTY OFFICES. WASHINGTON COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES.
PROPERTY LINES AS SHOWN ARE FOR REFERENCE PURPOSES AND MAY NOT REPRESENT ACTUAL LOCATIONS.
MAP LAST UPDATED: January 23, 2025
NO ADDITIONAL CHANGES HAVE BEEN REPORTED TO DATE
DATE OF CONTOURS: November, 2011 DATE OF PHOTOGRAPHY: None

Signature Page to Real Estate Purchase and Sale Agreement

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to have been executed and delivered as of the date indicated by each signature below.


Purchaser:

MEP LINO LAKES LLC, a Minnesota limited liability company

By: 
Name: Jeremy Spaude
Title: Managing Director
Date: February 19, 2025

Purchaser:

DAVIS ESTATES LTD., an Iowa corporation

By: 
Name: Angela E. Hubler
Title: President
Date: 2/20, 2025

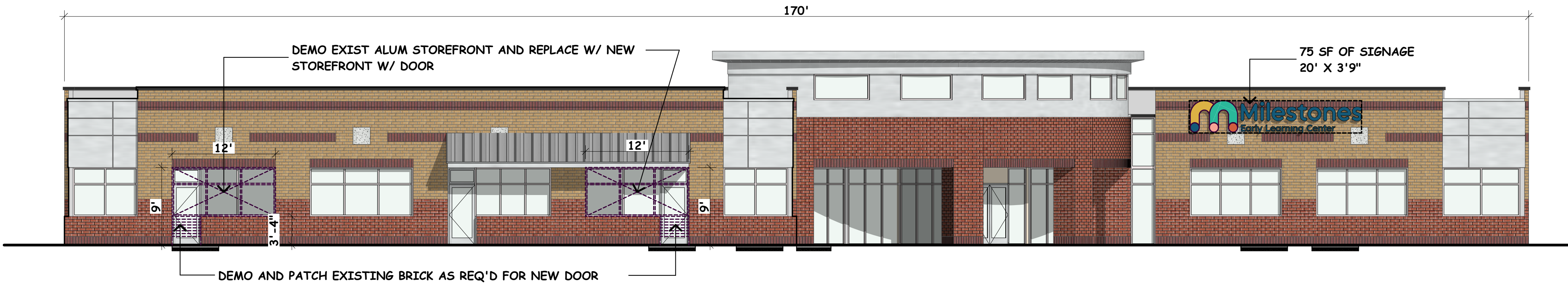
SCALE INDICATED BASED UPON PRINTED 24" X 36" (ARCHITECTURAL D) SHEET



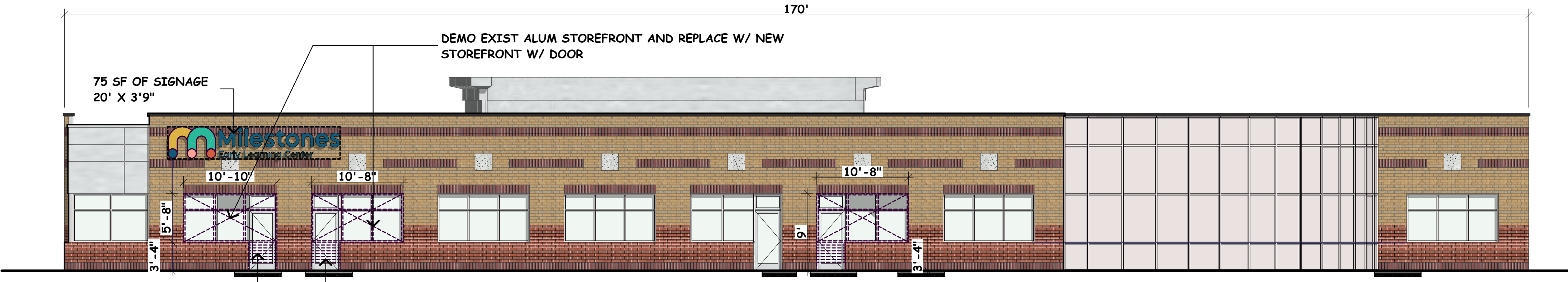
4 Existing East Exterior Elevation
SCALE: 1/8" = 1'-0"



3 Existing West Exterior Elevation
SCALE: 1/8" = 1'-0"



2 Existing North Exterior Elevation
SCALE: 1/8" = 1'-0"



1 Existing South Exterior Elevation
SCALE: 1/8" = 1'-0"



SHEET INDEX		Date Issued
Cover Sheet		
A0.0	Cover Sheet	02-27-25
A0.1	Exist Site Survey	02-27-25
A0.2	Existing Site Plan	02-27-25
A0.3	Proposed Site Plan	02-27-25
A0.4	Lanscape & Turf Plan	02-27-25
Architectural General		
A0.5	Code Information	02-27-25
A0.6	Room Finish Schedule	Not Issued
A0.7	Door Schedule & Types	Not Issued
A0.8	Outline Specifications	Not Issued
Architectural Plans		
A1.0	First Story Demolition Plan	02-27-25
A1.1	First Story New Floor Plan	02-27-25
A1.2	Frist Story Demo & New	Not Issued
A1.3	Enlarged Floor Plan - North Wing	Not Issued
A1.4	Enlarged Plans - Reception Area	Not Issued
A1.5	Enlarged Floor Plan - Sport Court Area	Not Issued
A1.6	Enlarged Floor Plan - West Wing (South)	Not Issued
A1.7	Enlarged Floor Plan - West Wing (North)	Not Issued
Architectural Reflected Ceiling Plans		
A7.0	Existing Ceiling Plan	Not Issued
A7.1	Reflected Ceiling Plan - First Story - New	Not Issued
Interior Details		
A8.1	Interior Elevations	Not Issued
A8.2	Interior Elevations	Not Issued
A8.3	Interior Elevations	Not Issued
A8.4	Interior Elevations	Not Issued
A8.5	First Story FFE & Floor Finish Plan	Not Issued
Mechanical, Electrical, & Plumbing (MEP)		
E1.0	First Story Elec Power & Low Voltage Plan	Not Issued
MEP	Existing HVAC Plan	Not Issued

GENERAL NOTES

1. This is an invited, general contractor, open-book, lump sum contract/ bidded project.

2. This is a Design/Build Mechanical Electrical & Plumbing (ME) project. The applicable subcontractor will include the design, materials, and labor for their work per the outline specifications and plans herein. The GC's bid must include will be clear narrative for the Design/Build MEP scopes of work.

DEFERRED MEP SUBMITTALS LIST:

a. Plumbing Fixture List/ Cut Sheets

b. Plumbing Isometric Plan(s)

c. Electrical Light Fixture Cut Sheets

d. HVAC Plans, Specifications, Equipment Cut Sheets

e. Fire Supression/ Spinkler System Shop Drawings

PROJECT TEAM

ARCHITECT

Michael J. Thomas Architect, LLC

4918 S. Tri Oak Circle NE

East Bethel, MN 55092

651-245-2346

mjtallc2520@gmail.com

www.michaeljthomasarchitect.com

OWNER

Milestones Early Learning Cenger

Jennifer Schultz: 612-501-8255

Jeremy Spaude: 612-501-1493

GENERAL CONTRACTOR

GDS Design Build

Gail Schuette 612-616-2616



4918 S. Tri Oak Circle NE
East Bethel, MN 55092
Phone: 651-245-2346
Email: mjtallc2520@gmail.com
Web:michaeljthomasarchitect.com



Project No:
25004

Date Last Revised:
02-11-25, 02-18-25, 02-19-25,
02-20-25, 02-24-25, 02-26-25,
02-27-25

Drawn By:
MJT

Minnesota License No.:
23592

Date Signed:
02-27-25

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature

Michael J. Thomas

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Milestones Early Learning Center
Adaptive Reuse - Rehabilitation
of the Existing Rasmussen University Building

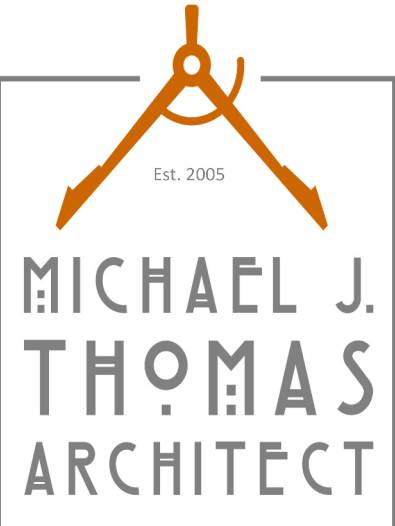
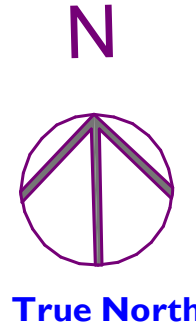
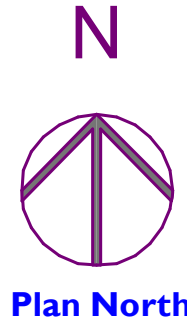
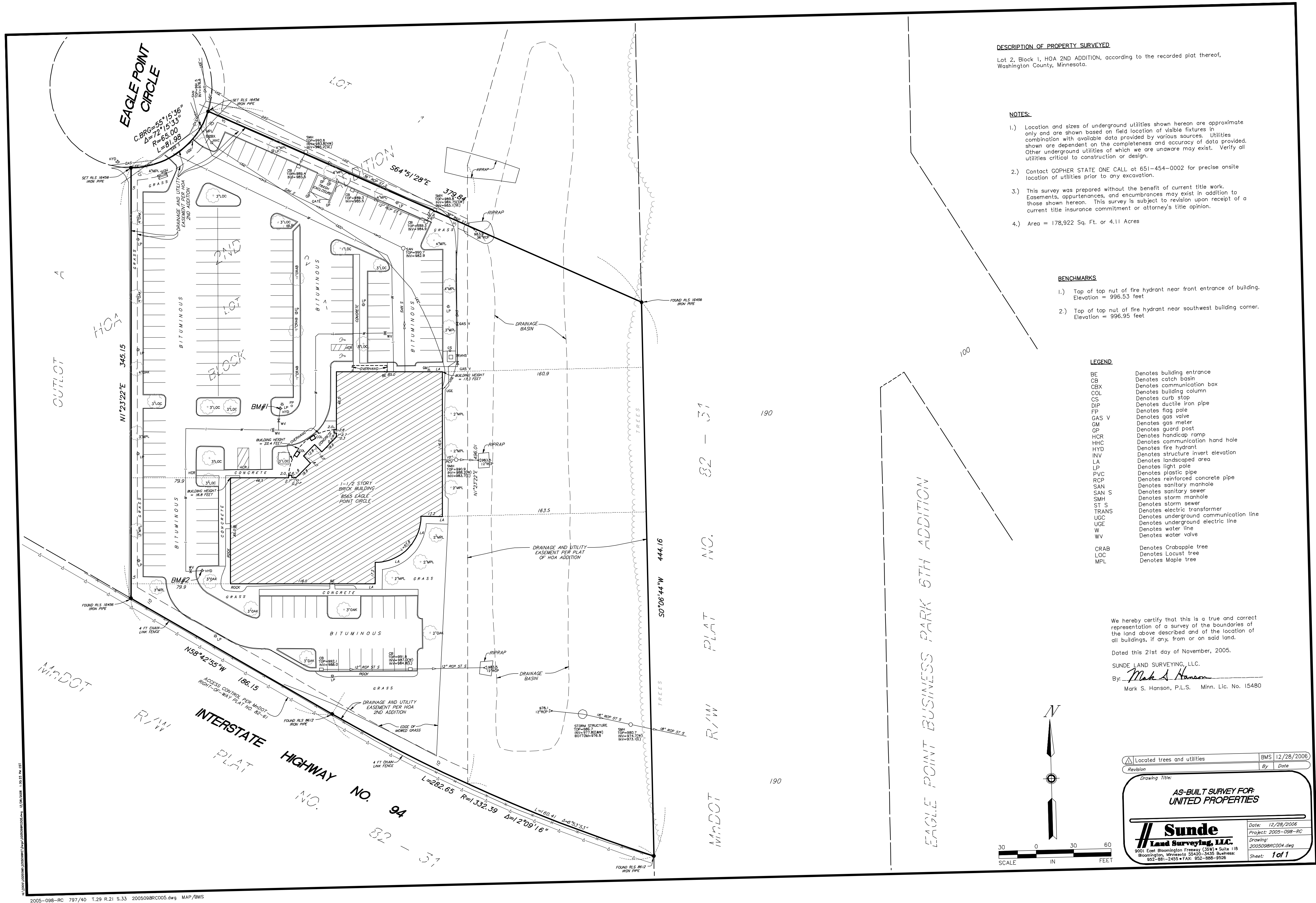
8565 Eagle Point Circle
Lake Elmo, MN 55042

A0.0

SCALE INDICATED BASED UPON PRINTED 24" X 36" (ARCHITECTURAL D) SHEET

1 Exist Site Survey

SCALE: 1" = 40'



4918 S. Tri Oak Circle NE
East Bethel, MN 55092
Phone: 651-245-2346
Email: mjtallc2520@gmail.com
Web: michaeljthomasarchitect.com



Project No:
25004

Date Last Revised:
02-11-25, 02-18-25, 02-19-25,
02-20-25, 02-24-25, 02-26-25,
02-27-25

File Name:
25004 Milestones Woodbury_Lake
Elmo 02-27-25.pln

Drawn By:
MJT

Minnesota License No.:
23592

Date Signed:
02-27-25

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature

Michael J. Thomas

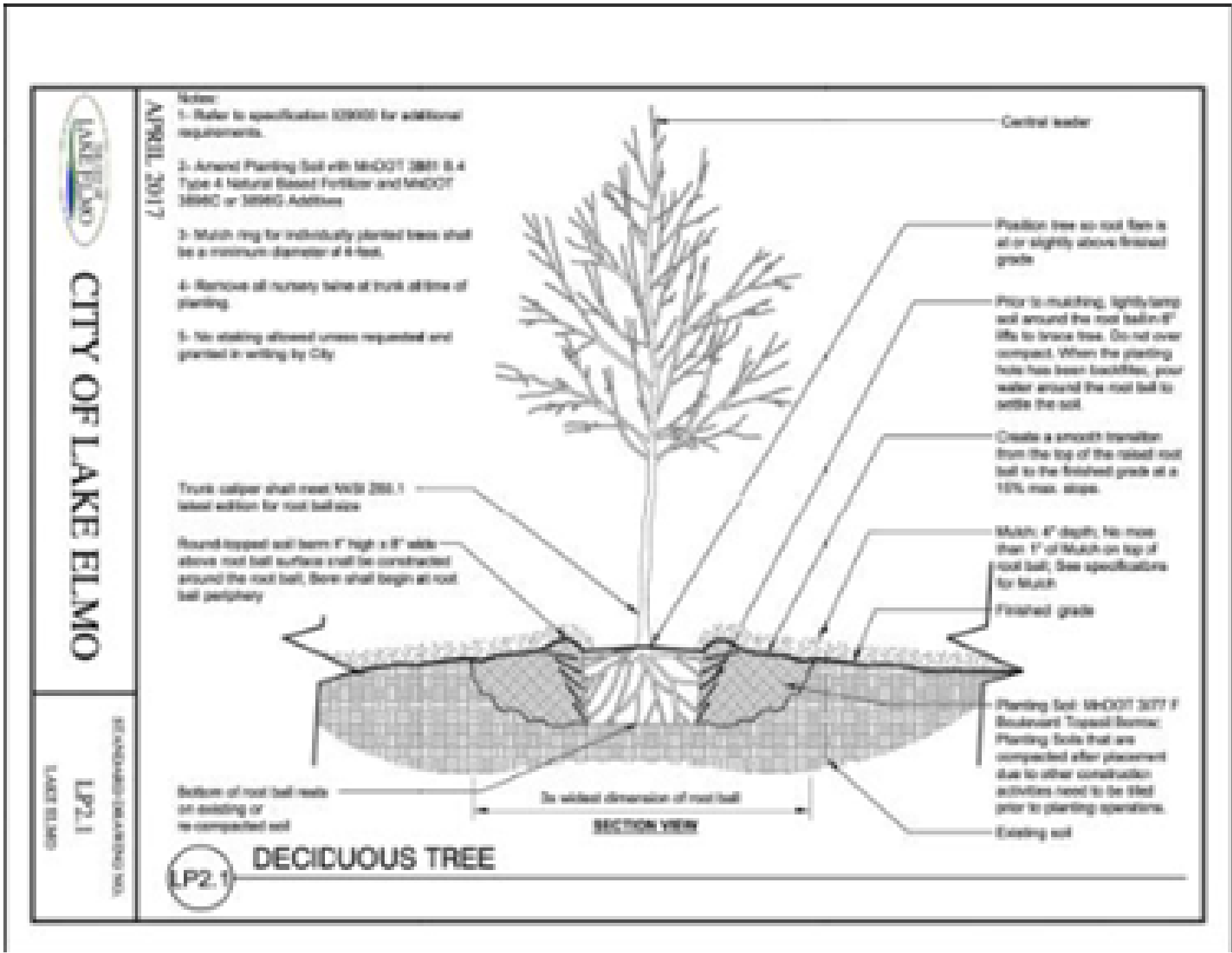
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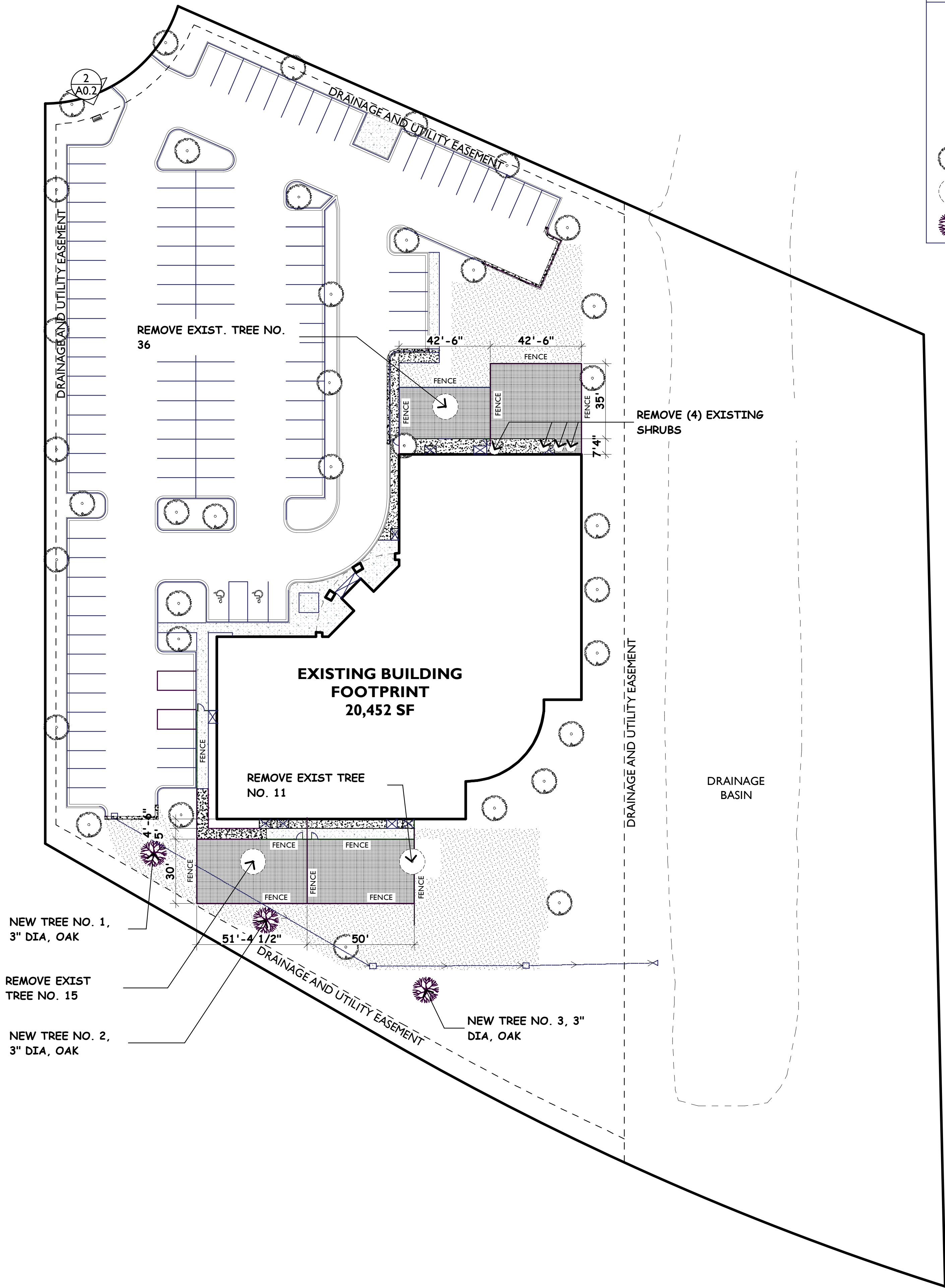


Milestones Early Learning Center
Adaptive Reuse - Rehabilitation
of the Existing Rasmussen University Building
8565 Eagle Point Circle
Lake Elmo, MN 55042

A0.I



1 Landscape and Turf Plan
SCALE: 1" = 30'



KEY TO SITE SYMBOLS AND HATCHING	
	= Concrete curb & gutter demolished
	= Existing concrete walk to remain
	= New concrete walk (or curb & gutter)
	= New pervious synthetic turf
	= New, natural pervious turf (grass)
	= Existing tree to remain
	= Existing tree/ shrub demolished
	= New tree

MICHAEL J. THOMAS ARCHITECT

4918 S. Tri Oak Circle NE
East Bethel, MN 55092
Phone: 651-245-2346
Email: mjtalc2520@gmail.com
Web:michaelthomasarchitect.com

Celebrating
20
Years
2005-2025

Project No:
25004

Date Last Revised:
02-11-25, 02-18-25, 02-19-25,
02-20-25, 02-24-25, 02-26-25,
02-27-25

File Name:
25004 Milestones Woodbury_Lake
Elmo 02-27-25.pln

Drawn By:
MJT

Minnesota License No.:
23592

Date Signed:
02-27-25

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature

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The architectural works depicted herein are the sole property of Michael J. Thomas Architect, LLC and may not be constructed or used without its expressed written permission. No permission to modify or reproduce any of these architectural works, including without limitation the construction of any building, is expressed or should be implied from delivery of preliminary drawings, or unsealed construction drawings. Permission to construct the building(s) depicted in sealed construction drawings is expressly conditioned on the full and timely payment of all fees otherwise due to Michael J. Thomas Architect, LLC and, in absence of any written agreement to the contrary, is limited to a one-time use on the site indicated on these plans.

Milestones
Early Learning Center

Milestones Early Learning Center
Adaptive Reuse - Rehabilitation
of the Existing Rasmussen University Building

8565 Eagle Point Circle
Lake Elmo, MN 55042

SCALE INDICATED BASED UPON PRINTED 24" X 36" (ARCHITECTURAL D) SHEET

2020 MINNESOTA STATE BUILDING CODE

Project Description

This is an existing E Occupancy previously used as a higher education facility (Rasmussen Universitÿ). The new use will be I-4 child day care center for Milestones Early Learning Center.

Chapter 3 Use and Occupancy Classification

Table 302.2 Care Facilities

Child Care Center <24 hours per day
More than 5 children </= 2.5 years of age and not classified as E.
Occupancy Classification I-4

Section 308, Item 308.5.1.3 Child day care.

This building does not meet item "c.". Not all rooms providing day care have an exit door directly to the exterior. Therefore, it shall not be classified as Group E.

Chapter 5 General Building Heights and Areas

Table 504.3 Allowable Building Height In Feet Above Grade Plane

Occupancy Class I-4 Group. Type VB, Sprinklered = 40 feet
Actual = 22 feet 6 inches

Table 504.4 Allowable Number of Stories Above Grade Plane

Occupancy Class I-4 Group. Type VB, Spinklered = 2 Stories
Actual = 1 Story

Table 506.2 Allowable Area Factor In Square Feet

Occupancy Class I-4 Group. Type VB, Sprinklered, Single Story = 36,000 SF
Actual = 20,452

Chapter 6 Types of Construction

Table 601.

0 Hour Fire-resistance Rating required for all elements.
Type VB

Table 602.

All exterior walls are equal or greater than 30' from property lines. Therefore not fire-resistive rating required.

Chapter 9 Fire Protection Systems

Section 903.2.6 Group I

An automatic sprinkler system shall be provided throughout.
This I-4 building does not meet Exception 2.

Chapter 10 Means of Egress

Table 1004.5 Maximum Floor Area Allowances per Occupant.

Day care = 35 net Occupant Load Factor

Infants = 32

Toddlers = 67

Early Preschool = 21

Preschool = 152

By Room Area Per Code Plan = 272

Exercise rooms (Indoor Play Area) = 50 gross Occupant Load Factor
1,847 sf/ 50 = 36.9, or round down to 36 Occupants

Total Per Code = 308 Occupants

Section 1004.5 Exception: Where approved by the building official, the actual number of occupants for whom each occupied space, floor of building is designed, although less than those determined by calculation shall be permitted to be used in the determination of the design occupant load.

Actual Occupant Load based upon state day care license and intended building use.

Infants = 24

Toddlers = 56

Early Preschool = 20

Preschool = 150

Infant & Children Occupants = 250. Actual Based Upon Licensing

Note: Sport Court Area occupancy not included in licensed occupant load.
Children will either be in classroom, outside, or Indoor Play Area.

Staff Occupancy

Infant = 1:4 Ratio = 24/4 = 6 staff

Toddler = 1:7 Ratio = 56/7 = 8 staff

Preschool = 1:10 Ratio = 150/10 = 15 staff

Support Staff

Administrative = 3 staff

Food Service/ Custodian = 1 Staff

Total Staff = 33

Total Actual Occupant Load 250 + 33 = 283 Occupants

Section 1006.2.2.4 Group E and I-4 means of egress

Rooms or spaces where care is provided for more than 10 children that are 2 1/2 years of ages or less, shall have access to not less than two exits or exit access doors. All care rooms have two exits. Either to corridor or directly to exterior.

Table 1020.1 Corridor Fire-Resistance Rating

I-4 Occupancy, with sprinkler system = 0.

Section 1005.3.2 Minimum Width Other Egress Components

310 occupants x 0.2 = 62" Required.

Main Entry pair of 3' doors = 6'

West Building Exit door = 3'

South Buiding Exit door = 3'

Total = 12' or 144"

Table 1017.2 Exit Travel Distance

I-4 With Sprinkler System = 200'

See Code Plan for actual distances

Section 1020.4 Dead Ends

Shall not exceed 20'

Chapter 29 Plumbing Systems

Table 2902.1 Minimum Plumbing Fixtures

Institutional.

308 Occupants by Table 1004.5

283 Occupants by Licensing and Actual Use.

Subtract 24 Infants, because infants do not use plumbing fixtures.

Therefore the load used for plumbing fixture count will be

283-24 = 259

Do to use and licensing requirements, all child toilet and lavatories are shown to be unisex. A separate Men's and separate Women's toilet room will be provided for adult staff and visitors.

Water Closets

Required = 259/ 15 = 17.27, round up to 18

Provided = 18

Child Unisex = 15

Men's = 1

Women's = 1

Unisex = 1

Lavatories

Required = 259/ 15 = 17.27, round up to 18

Priveded = 24

(not including Warming Kitchen or classroom counter sinks)

Unisex Hand Washing Lavatories = 21

Men's Lavatory = 1

Women's Lavatory = 1

Unisex = 1

Bathtub/ Shower = 0 Required. Propose to provide 0.

Drinking Fountains = 259/ 100 = 2.59 or round up to 3 Required.
Provided = 3

Service Sink = 1 Required. 1 Provided.

Urinals = 1 provided at existing Mens

2020 Minnesota Provisions to the Minnesota State Building Code

1303.1500 Recycling Space, Table 1-A.

Children's homes and homes for the aged = .0025 factor.

20,452 SF x .0025 = 51.13 SF required.129 SF provided.

2020 MINNESOTA ENERGY CODE

Table C301.1 Climate Zone.

Washington, Minnesota = 6A (Moist).

Section C402 Building Envelope Requirements Prescriptive.

Prescriptive Method for compliance proposed.

Table 402.1.3 Opaque Thermal Envelope Insulation Component Minimum

Requirements, R-Value Method

Roof, Insulation Entirely Above Deck = R-30 CI

Walls Above Grade, Wood Framed (walls) = R-20 + R-3.8 CI

Below Grade Walls = R-7.5 CI

Unheated Slab-on-grade Floors = R-10 for 24" below.

Table C402.4 Building Envelope Fenestration Maximum U-Factor and

SHGC Requirements

Fixed Fenestration = 0.36 U-factor or less

Operable Fenestration = 0.43 U-factor or less

Entrance Doors = 0.77 U-factor or less

SHGC (PF < 0.2) = SEW 0.40/ N 0.53

Section C402.5.1 Air Barrier Compliance Options

Continuous Air Barrier with air permeability no greater than 0.004 cfm/ft² under pressure differential of 0.3 inches w.g..

Building Mechanical and Electrical Systems will be Design/ Build by applicable subcontractor. It shall be said subcontractor's responsibility to design their system to meet all applicable energy code (and other codes) requirements.

2020 MINNESOTA ACCESSIBILITY CODE

Chapter 11 of the 2018 IBC w/MN Amendments

Section 1104.4 Accessible Route.

Multilevel Buildings and Facilities.

This is a single story building.

Section 1105 Accessible Entrances.

The main entrance is the accessible route. However, all classroom exterior play area doors are designed to be accessible as well.

Section 1106 Parking and Passenger Loading Facilities

See Conceptual Architectural Site Plan

Table 1106.1

101 to 150 parking spaces requires 5 to be accessible.

Actual existing = (5) accessible parking spaces + (104)

standard parking spaces = (109) total provided.

1109.2.2 Water closet compartment.

At least 5% of water closet compartments in each toilet room shall be accessible. If two or more water closets are provided, at least 5% shall be ambulatory accessible. Therefore, all locations where toilet rooms have toilet compartments, all will have one child accessible and one child ambulatory accessible compartments.

Section 1109.5 Drinking Fountains

Not fewer than two drinking fountains shall be provided.

Existing = One drinking fountain complies with the requirements for people who use a wheel chair and one drinking fountain complies with requirements for standing persons.

Section 1109.12.3 Point of sale and service counters.

The main entry/ lobby service counter is accessible.

Section 1109.13 Controls, operating mechanisms and hardware.

All door hardware is lever handle or stationary puch/ pulls.

Section 1111 Signage

To be by Owner, but will comply.

Chapter 4

Section 406 Curb Ramps. The main entry and access from accessible parking access isle includes curb ramp to comply.

Chapter 5

Section 502 Parking Spaces. (4) accessible parking spaces 9' wide x 19' deep with an 8' minimum wide access isle provided.

Chapter 6

Section 602.4 Spout outlet heights for drinking fountains.

(1) at 36" max. for wheel chair use and (1) between 38"-43" for standing persons provided.

Section 603.1

Clearances, door swings, mirrors, operable parts at all adult accessible toilet rooms and child accessible toilet rooms comply.

Section 604 Water Closets and Toilet Compartments

Clearances an grab bars shown to comply with Adult and Child accessible requirements.

Section 606 Lavatories and Sinks

All adult and child accessible toilet rooms include lavatories at 34" height, 27" clearance, & 30" widths.

Section 804.3 Kitchens and Kitchenettes. Work surface.

At the infant feeding kitchen and at the employee break room, there is no cooktop or conventional range, therefore these spaces are not designed to comply with clearance or work surface heights.

Section 804.4 Sinks.

All counter sinks comply with Section 606.

34" Height. Removable sink base or open space to comply with Section 306.

APPLICABLE CODES:

2020 Minnesota Building Code

2024 Minnesota Energy Code

2020 Minnesota Accessibility Code

2020 Minnesota Mechanical and Fuel Gas Code

2020 Minnesota Plumbing Code

2020 Minnesota Fire Code

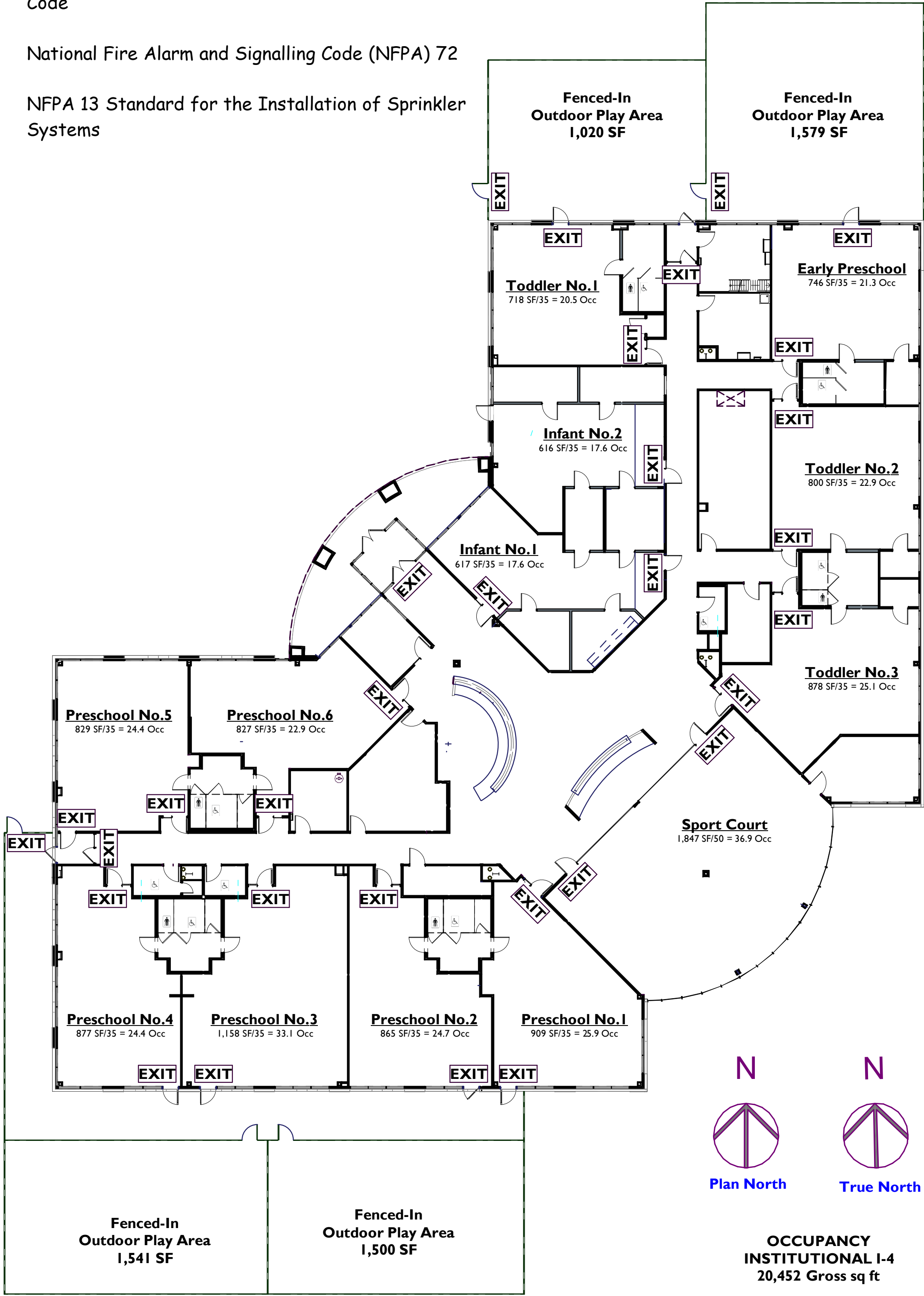
Minnesota Electrical Coded

Note: Due to the adaptive reuse of this building where the E occupancy is changed to an I-4 occupancy and the amount of space reconfiguration, the MN Conservation Code is not used.

2020 Minnesota Provisions to the State Building Code

National Fire Alarm and Signalling Code (NFPA) 72

NFPA 13 Standard for the Installation of Sprinkler Systems



1

Code Plan - First Story

SCALE: 1/16" = 1'-0"

0 8' 16' 32'



4918 S. Tri Oak Circle NE
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Email: mjtalc2520@gmail.com
Web:michaeljthomasarchitect.com



Project No:

25004

Date Last Revised:

02-11-25, 02-18-25, 02-19-25,
02-20-25, 02-24-25, 02-26-25,
02-27-25

File Name:

25004 Milestones Woodbury_Lake
Elmo 02-27-25.pln

Drawn By:

MJT

Minnesota License No.:

23592

Date Signed:

02-27-25

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Signature

Michael J. Thomas

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Milestones Early Learning Center
Adaptive Reuse - Rehabilitation
of the Existing Rasmussen University Building

8565 Eagle Point Circle
Lake Elmo, MN 55042

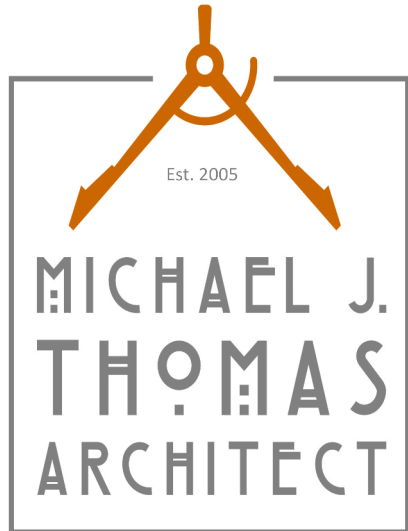
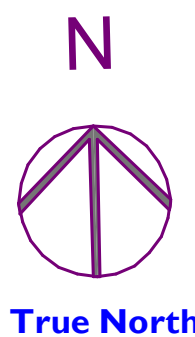
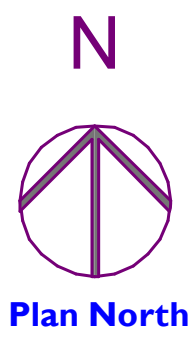
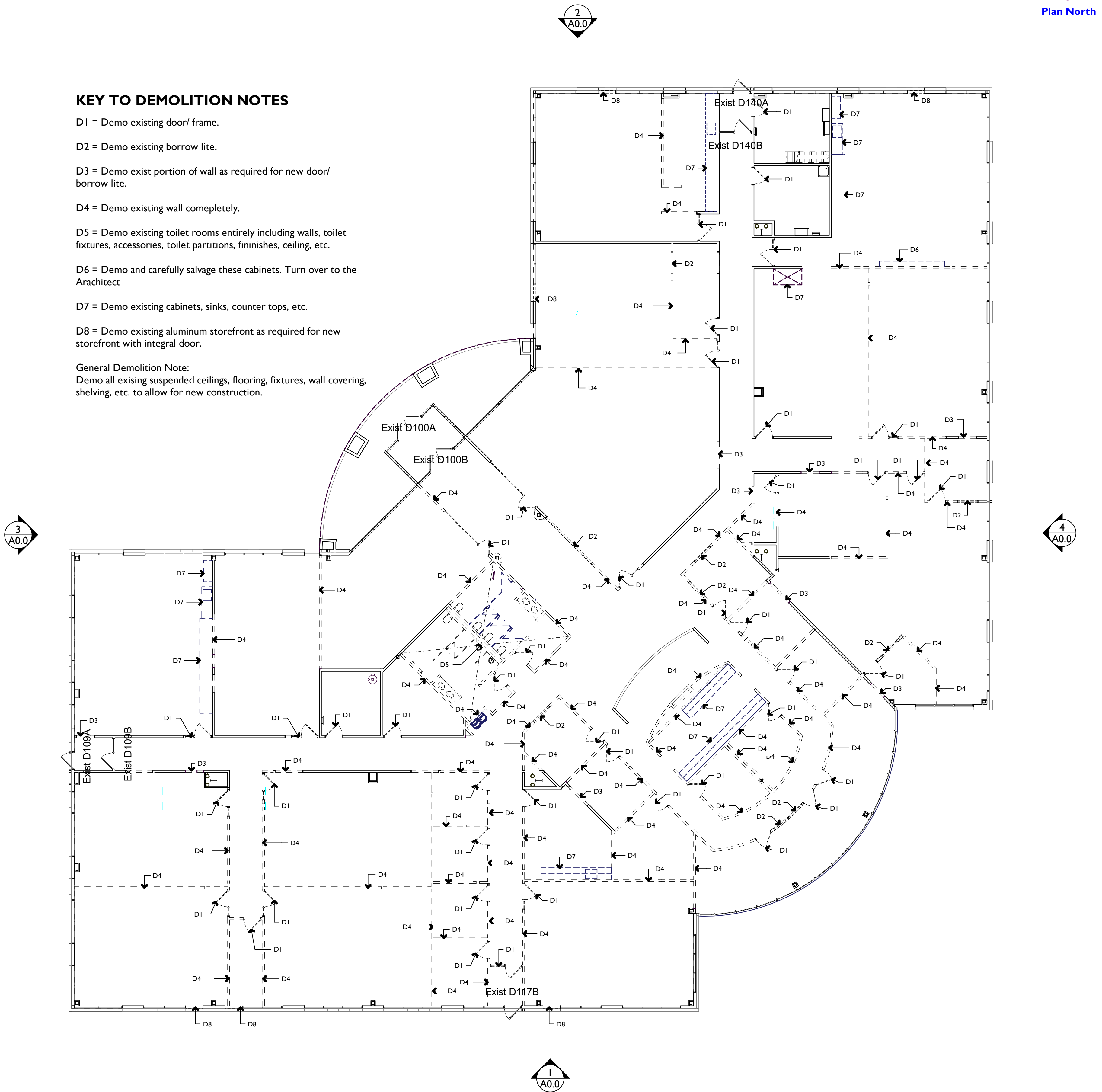
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SCALE INDICATED BASED UPON PRINTED 24" X 36" (ARCHITECTURAL D) SHEET

1

First Story Demolition Plan

SCALE: 3/32" = 1'-0"



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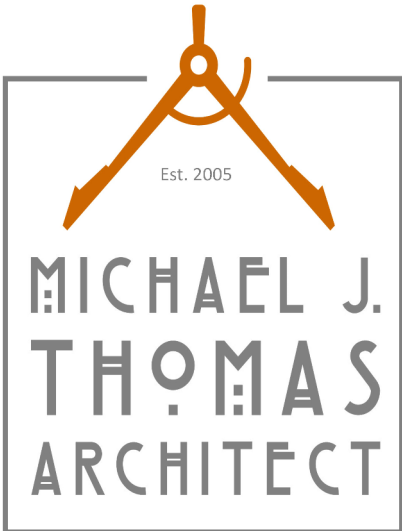
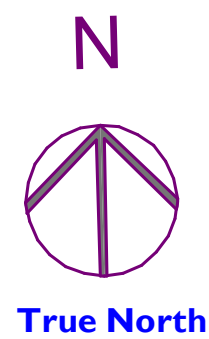
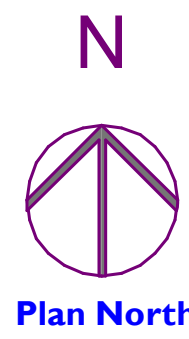
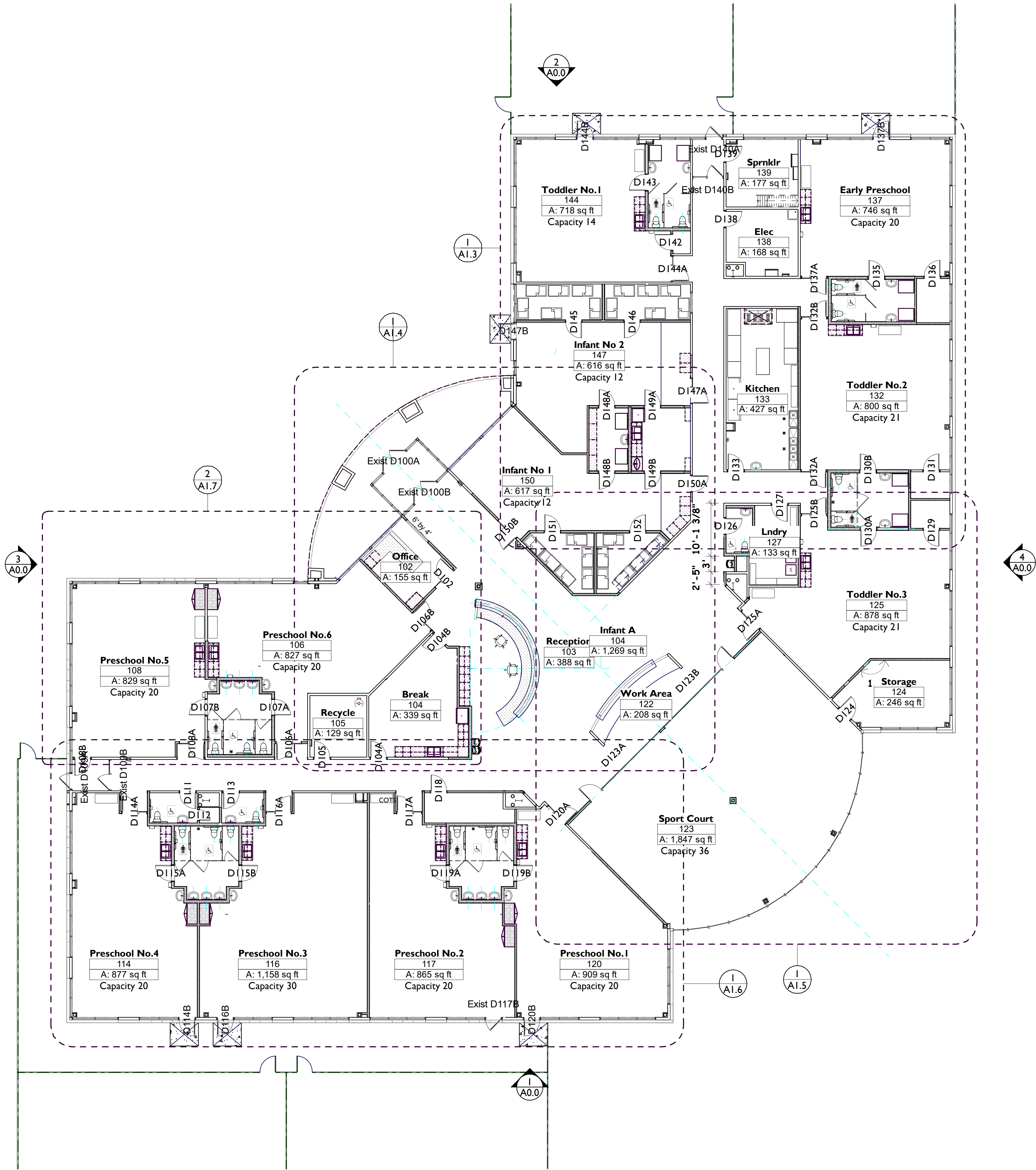
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Lake Elmo, MN 55042

AI.0

SCALE INDICATED BASED UPON PRINTED 24" X 36" (ARCHITECTURAL D) SHEET



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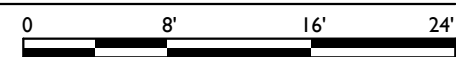
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Milestones Early Learning Center
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of the Existing Rasmussen University Building

8565 Eagle Point Circle
Lake Elmo, MN 55042

1 First Story New Floor Plan
SCALE: 3/32" = 1'-0"



AI.1

LAKE ELMO FIRE DEPARTMENT – OFFICE OF THE FIRE MARSHAL

Fire Prevention, Code Enforcement, and Public Education



March 4, 2025

Ashley Monterusso, Planner
City of Lake Elmo

Re: Milestones Eagle Point, 8565 Eagle Point Cir N

Prepared by: Anthony Svoboda, Fire Marshal

Approved by: Dustin Kalis, Fire Chief

Applicable Codes:

- 2020 Minnesota State Fire Code
- 2020 Minnesota State Building Code
- Lake Elmo Fire Department Fire Code Policies
- NFPA 13, 2016 edition
- NFPA 13D, 2016 edition

Fire Department Comments:

- 1) All roads and drive lanes shall meet the Lake Elmo Fire Department requirements for widths and turning radiuses.
- 2) An approved signage and marking plan shall be determined for all No Parking and Fire Lane access roads. On-street parking shall be provided in approved locations following review by Engineering and Public Works. Parking shall be prohibited on both sides of private drive lanes.
- 3) Building address numbers shall be plainly visible from the street fronting the property and shall be contrasting color from the background. Size and placement of address numbers shall be approved by the fire and planning departments.
- 4) A fire sprinkler system shall be maintained in commercial buildings in accordance with the Minnesota State Fire Code and Chapter 1306 of the Minnesota State Building Code. A permit is required prior to work.
 - a. *Fire Department sprinkler connection locations shall be approved prior to installation.*
 - b. *FCD location is currently proposed in a fenced in area.* Confirm access ability to fenced in area or move FDC.
- 5) A fire alarm system shall be installed in Group I-4 buildings in accordance with the Minnesota State Fire Code (907.2.6.4) and Lake Elmo Ordinances. A permit is required prior to work.
 - a. Smoke detection is required in corridors as per code.
- 6) An emergency responder radio coverage amplifier shall be installed throughout the building if the fire department determines that signal strength is not reliable.

LAKE ELMO FIRE DEPARTMENT – OFFICE OF THE FIRE MARSHAL

Fire Prevention, Code Enforcement, and Public Education

- 7) An exterior door numbering system shall be utilized to determine exterior doors on all sides of the building. *Door numbering convention shall be approved by the fire department prior to installation.*
- 8) A KNOX rapid access lockbox shall be installed *in an approved location*, on all commercial buildings.
 - a. Multiple KNOX rapid access lockboxes may be required as determined by the fire department.
 - b. The building currently has an outdated DAMA box that will need to be replaced.
- 9) KNOX locking Fire Department Connection Caps shall be installed on all fire department connections.
- 10) All gates, whether manual or electric, shall be accompanied by either a KNOX lock or KNOX gate control switch for rapid access.
 - a. For playground gates, a key in the KNOX box will be acceptable.
- 11) All parking areas shall be capable of supporting the imposed load of fire apparatus weighing up to 75,000 pounds.
- 12) Locations of all EV charging stations or Electric Vehicle Supply Equipment shall be reviewed and installed in approved locations. All electric vehicle supply equipment installed in the apartment building underground parking area may require additional fire suppression considerations and restrictions on installation locations. An electric vehicle supply equipment plan is required. This plan shall be reviewed by the fire department, building contractor, building owner and building insurance provider.

Questions, clarifications, or the request to provide code documents can be made using the contact information listed below.

Respectfully,

Anthony Svoboda



Anthony Svoboda | Assistant Chief
Lake Elmo Fire Department
3880 Laverne Ave N. | Lake Elmo, MN | 55042
612-528-1514 *mobile* | 651-747-3907 *office*

Memorandum

March 6, 2025

TO: ASHLEY MONTERUSSO
FROM: SARAH EVENSON, PLA
RE: MILESTONES AT EAGLE POINT CUP LANDSCAPE AND TREE PRESERVATION PLAN REVIEW

SUBMITTALS

1. Concept Plan Submittal, dated 2/27/2025, received 2/27/2025

REVIEW HISTORY

1. 3/06/2025 CUP Landscape and Tree Preservation Plan Review

LOCATION: 8565 Eagle Point Circle, south of Hudson Blvd, east of Inwood Ave, and north of I-94. Parcel ID: 3302921430008

CURRENT LAND USE CATEGORY: Business Park PUD

ADJACENT AND SURROUNDING LAND USE: Business Park PUD, with MU-BP guided as future land use to the north across Hudson Blvd.

SPECIAL LANDSCAPE PROVISIONS: none

TREE PRESERVATION PLAN: [105.12.470](#)

- A tree preservation plan has been submitted that indicates fewer than 30% of the caliper inches of significant trees on site are proposed to be removed. No tree replacements will be necessary.
- Prior to approval, applicant must clearly show tree preservation fencing extents on the plans (that correspond to the trees' critical root zones (CRZs) per code, to ensure that existing trees to be preserved are not impacted during demolition or construction. Of particular concern are trees #8, #9, #10, #12, #16, #19, #30, #31, #32, and #37. Some of these trees have CRZs that may extend beneath surrounding pavement that is set to be removed. The applicant's intent to preserve these trees is laudable, and they are valuable to keep if possible. Despite potential CRZ impacts, it is worth trying to preserve these trees; however, curb and pavement removal around these trees must be done very carefully and avoid unnecessary excavation.
- Applicant should provide removals and grading plans with notes that clearly articulate the approach to pavement removals, grading, and landscape restoration around these trees.
- Trees numbers 9, 10, and 16 are oaks, which it is important not to wound or otherwise damage between the dates of March 15 and October 31 in order to prevent the spread of oak wilt. Measures must be taken to ensure that any oak trees pruned or trimmed have any cut areas sealed with an appropriate nontoxic tree wound sealant.

LANDSCAPE PLAN: 105.12.480

- Prior to approval, please make the following adjustments to the plans in order to meet code:
 - Clearly title each sheet. Currently, titles only appear to be shown on the sheet index.
 - Provide removals and grading plans (include tree preservation fencing on each)
 - Revise hatching symbols for improved readability. Currently the concrete walk to remain, new concrete walk, and pervious turf symbols are difficult to decipher.
 - Indicate the species of proposed trees (not merely the genus).
 - Replace the city standard tree planting detail with one that is not blurry.
 - Provide a note indicating provisions for irrigation/watering of the trees through the 2-year warranty period
 - Ensure that the requirements of 105.12.480 (b) (7) are met (trees shall be planted ten feet away from utilities including water and sewer stubs)
 - Given that only three trees are required, requirements for tree composition (evergreen/deciduous trees) may be waived.

RECOMMENDATION:

The landscape and tree preservation plans must be revised and resubmitted to address the items in this memo.

A handwritten signature in black ink that reads 'Sarah Evenson'.

Sarah Evenson, PLA (MN)

City of Lake Elmo Municipal Landscape Architect
P: (262) 391-7653 E: sarah@hkgi.com