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NOTICE OF MEETING

The City of Lake Elmo
Planning Commission will conduct a meeting on
Monday, August 25, 2014 at 7:00 p.m.

AGENDA

1. Pledge of Allegiance
2. Approve Agenda
3. Approve Minutes
 - a. July 28, 2014
4. Public Hearing
 - a. SAVONA SECOND ADDITION – FINAL PLAT AND CONDITIONAL USE PERMIT. The Planning Commission will consider a Final Plat for Savona 2nd Addition, which includes a Conditional Use Permit to allow the construction of single-family attached residential structures (townhouses) with frontage on a private street. The townhouses will be located immediately south of 5th Street and West of Keats Avenue.
 - b. INWOOD PUD CONCEPT PLAN. The Planning Commission will be reviewing an application for a Planned Unit Development (PUD) Concept Plan for a proposed mixed-use development on 157 acres of land located at the southeast corner of Inwood Avenue and 10th Street in Lake Elmo. The Concept plan includes 281 single-family residential lots, 144 townhouses, 150 multi-family units, 120 senior townhouse units, and approximately 68,814 square feet of commercial/office uses.
 - c.
5. Business Items
 - a. None
6. Updates
 - a. City Council Updates – August 5, 2014 meeting:
 - i. RAD Alt Comprehensive Plan Amendment passed.
 - b. Staff Updates

i. Upcoming Meetings:

- September 8, 2014
- September 22, 2014

c. Commission Concerns

7. Adjourn



**City of Lake Elmo
Planning Commission Meeting
Minutes of July 28, 2014**

Chairman Williams called to order the meeting of the Lake Elmo Planning Commission at 7:00 p.m.

COMMISSIONERS PRESENT: Williams, Dodson, Kreimer, Larson, Dorschner, Lundgren, and Haggard (7:10 p.m.).

COMMISSIONERS ABSENT: None

STAFF PRESENT: Community Development Director Klatt, City Planner Johnson and City Engineer Griffin.

Approve Agenda:

The agenda was accepted as presented.

Approve Minutes: July 14, 2014

M/S/P: Dodson/Kreimer move to approve the minutes with a minor corrections to the second to last paragraph on page three to add additional language concerning RAD-ALT areas in the City, **Vote: 4-0, motion carried.** *Commissioners Larson and Dorschner did not vote.*

Public Hearing: Boulder Ponds Preliminary Plat and Preliminary PUD Plans

Johnson presented an overview of a proposed preliminary plat and preliminary PUD plan for a multi-use subdivision that would create 98 single family residential lots, one larger 64-unit multi-family lot, and three larger commercial outlots. The proposed development is located within the I-94 Corridor planning area and within a Stage 1 phasing area as identified in the Comprehensive Plan.

Because the application has been submitted as a Planned Unit Development (PUD), the applicant is seeking flexibility from various requirement of the underlying zoning. The applicant is also seeking flexibility to move forward with alternative site plans for certain portions of the development that would allow the construction of additional villa homes in the place of standard single family homes.

Johnson reviewed the staff recommendation with the Planning Commission to recommend approval of the preliminary plat and preliminary PUD plans with 10 conditions of approval. He noted that Staff is recommending revisions to three of the

conditions based on feedback from the applicant. Johnson further reviewed draft findings of approval with the Commission.

Dodson asked what would happen if the HOA went away, and if the City would be on the hook for any landscaping on community outlots. Klatt noted that if the island or median areas are in the right-of-way, the City could potentially be responsible to maintain those areas should the HOA disband.

Dodson asked about the alternate site plans in terms of timing of platting. Johnson explained that the alternate plans would require a preliminary PUD plan amendment. This could be done concurrent with final plat. In general, lots are not platted until final plat.

Haggard questioned how the overall density requirements were determined for the site, and whether these would need to be updated for future phases of the project. Johnson noted that the overall densities were calculated based on the numbers depicted on the submitted plans, and that there may be some minor variations under the terms of the PUD. Staff reviewed the proposed density ranges and found that the alternate plans fall within the range allowed under the Comprehensive Plan.

Dorschner asked about the proposed setbacks, and how the five feet was determined. Johnson commented that the PUD ordinance does allow flexibility in this regard, but that a minimum setback is needed to allow for utility easement areas. In addition, drainage would not be directed between these areas of reduced setbacks. He further commented that the reduced setbacks are consistent with the “coving” concept being planned by the developer.

Williams asked about subdivision ordinance and flag lots. Klatt noted that flag lots are only specifically referenced in the rural zoning districts. However, the minimum street frontage or minimum lot width does relate to the proposed flag lots.

Williams asked about connectivity to the 5th Street trail from Outlot B. He noted that this area would be a good connection.

Williams also asked about the density calculation of Outlot K with the proposed multi-family building. Johnson noted that when taking the calculation of the entire area guided for medium density, the density calculation is more in line with the allowed range. Williams questioned whether or not trails are allowed under the power line easement. Johnson noted that trails would be permitted, but other park improvements would be problematic.

Williams questioned the benefits that the City would be receiving by allowing the PUD. Johnson responded that the City would be getting a unique development in the form of lot layouts, all lots backing up onto open space, and coving technique.

Williams asked from staff's perspective if the northern buffer trail can be moved to the south. Kreimer asked if what the width of the trail corridor is around the Rossow property. Johnson noted that the trail corridor is 30 feet.

Kreimer asked about rear access from 5th Street for Cranky Ape and Lampert Lumber sites. Johnson noted that it would be difficult to gain access to these properties directly to 5th St. due to the required access spacing guidelines.

Haggard questioned the planting of trees within the power line easement along the northern edge of the property. Johnson noted that the height of trees would need to be regulated in this area, and this area will be subject to further review by the City's landscape consultant.

Williams asked staff to explain the various PUD objectives. Klatt reviewed that section of the City Code for the Planning Commission.

Dorschner questioned the location of the gas line easement through the property, and the potential impacts to individual homes. Griffin commented that the easement holder will ultimately decide what is and is not allow, and that typically driveways are permitted.

Deb Ridgeway spoke on behalf of the development team and provided additional information about the proposed product type. Lundgren asked the applicant to further explain the Villa product. Ridgeway noted that Villas are typically one story with main living space on the main level.

Haggard asked who the builder for the project will be. Ridgeway noted that they have not signed a purchase agreement with the builder yet.

Dodson asked how and when the developer will be making a decision on the alternative plans. Ms. Ridgeway replied that the initial phase is smaller area and will allow them to get started and make additional decisions concerning the Villa alternatives at a later date to see how the market responds.

Haggard asked if the trail could be moved further to the south. Ridgeway suggested that Steve Sletner, project engineer, address questions related to the northern trail.

Steve Sletner with SEH presented an overview of the project and some of the design issues that he was asked to address. He reviewed the plans for the trail and noted that it would be possible to bring the trail further to the south at the extreme northeastern portion of the site. He commented that all of the proposed uses would be allowed by the Xcel Energy.

Sletner stated that Northern Natural Gas Company does not have a specific easement across the property, but instead has a general prescriptive right to cross the property. This is being further defined through the platting process working with the gas company. He also noted that the actual placement of houses on each lot will need to be further considered once a specific design has been selected.

Sletner discussed some of the benefits of coving, and noted that it allows the creation of more open space opportunities along each of the streets and within the development. He further stated that the interior islands would be further reviewed to address the City's comments. He suggested that there are different ways to plow the cul-de-sac to help alleviate the concerns of the public works department.

Dodson stated that he would like to see the trail moved further south and away from any adjacent properties. Sletner replied that it would be very difficult to move the trail to the south of the northernmost infiltration basin, but that there may be other opportunities to move the trail outside of this area.

Dodson expressed concern that the City may be in a position to compromise the City Engineer's standards based on the revised conditions as proposed by Staff. Sletner commented that the project cannot move forward without the approval of the City Engineer and that they will be working to resolve all outstanding items.

Kreimer commented that there are a few locations where trail connections do not show up in certain plans. He stated that he would like to see these connections shown on the plans.

Lundgren asked about the spacing between homes in certain portions of the subdivision. Sletner replied that certain homes would be located with 10 feet of separation, but because of the layout of the lots the minimums only occur at a point and then these setbacks taper away to provide more open space for each home.

Rick Harrison presented an overview of the coving development concept and some of the limitations associated with traditional development that are designed to comply only with minimum standards. He noted that the minimum setback of five feet allows for the flaring of adjacent homes to provide more open space between the houses. Harrison reviewed the various aspects of the project that he indicated complied with the objectives of the City's PUD ordinance.

Harrison reviewed the proposed layout for the villa homes, and stated that there would be minimal grading required in order to move forward with the alternative plans.

Dorschner asked why the teardrop design was chosen instead of a more standard circle. Harrison noted that the proposed design helps keep the flow of the traffic moving around the cul-de-sac, but that this could be amended.

Williams asked for clarification concerning the differences between the proposed subdivision and a more typical residential development. Harrison responded that the coving design allow for much greater separate between homes and will create views from each lot that do not directly face an adjoining structure

Charlie Devine, Edina Realty, stated that the proposed plan was prepared to address the need for higher densities in certain portions of the site, and that typically these densities would be achieved through townhouses. He noted that townhouses are no longer selling very well in the market place, and that the villas appear to be a more viable project while still achieving the City's minimum density requirement. Devine noted that the demand for the Villa homes appears to be very strong. He also stated that the developer is still looking at options for senior housing, which may extend further south into the commercial area.

There was a general discussion concerning the proposed cost of the homes and the market for regional builders.

Public Hearing opened at 9:33 p.m.

Curt Monteith, 331 Julep Avenue North, stated that he lives adjacent to the proposed development. He asked what other facilities would be incorporated into Stonegate Park. Johnson replied that there is some land that will be dedicated for public use outside of the power line easement and that this will provide some opportunities for additional improvements in these areas. He asked that the developer consider adding additional plantings for screening between the proposed development and the private lots in Stonegate.

Williams noted receipt of two letters: Lampert Lumber and John Jaros (429 Julep Ave. N.)

Public Hearing closed at 9:44 pm.

Williams asked how the comments from Lamperts could be addressed. Griffin replied that additional contours would need to be shown for this property in order to him to make a determination concerning how 5th Street will match into this site. Griffin reiterated that the access spacing would make it difficult to access this site from 5th Street.

Dodson recommended adding a condition to require that the north eastern trail move as further south to the greatest extent possible and to add screening along the north side of the trail.

Kreimer asked if the City needed access to infiltration areas. Griffin responded that the City does require access to these areas, and that the proposed trails would provide this access in certain locations.

Williams commented that the proposed development is not much more special than other developments, and expressed concern that the City is not receiving much in exchange for the proposed variations.

Johnson discussed the planned growth for this area under the Comprehensive Plan and the change of moving 5th Street south associated with the Boulder Ponds project. Moving the collector road south reduces the amount of land guided medium density housing.

Lundgren expressed concern that the project does not adequately address the park needs for this subdivision. Lundgren also noted confusion over the alternate site plans and process. There was a general discussion about the purpose of the alternate site plans.

There was a general discussion about flag lots. Klatt explained why cities typically try and limit the use of flag lots and maintain a minimum amount of street frontage.

Larson commented that the proposed development is located on a fairly difficult site to develop and includes a wide mix of different uses. He encouraged the developer to incorporate more gathering spaces into the development.

Dorschner questioned whether or not the shifting and angle of each house would be set as part of the project plan, or if each builder would be responsible for determining the layout for each lot. Sletner replied that the developer produces a booklet that depicts the configuration of each lot with the required setbacks and other detailed information. They could provide the City with this booklet. He also noted that the City does review grading and drainage at each building permit.

Dodson stated that the standards as identified in the development manual would need to be incorporated as a condition of approval. The Commission discussed the process under which the development would need to be reviewed at the building permit level for the project to be constructed as proposed. Klatt discussed PUD requirements and how a lot book identifying proper setback could be incorporated.

There was a general discussion about the alternate site plans. Staff reiterated that the applicant would need an amendment to their PUD to pursue one of the alternate site plans. In response to the discussion of the alternate site plans, the applicant requested to remove considerations of the alternate site plans.

There was a general discussion about which objectives the proposed PUD are meeting to fulfill the ordinance requirement. Staff provided their perspective in that they felt that the development did provide unique design techniques that go beyond what is typically done in normal subdivisions. There was some consensus that the development was providing a mix of uses (residential, commercial, public facilities).

Dodson requested additional condition: The Final PUD plan will include a development lot book for use in granting building permits for the development. Kreimer provided the proposed language for the condition.

Larson requested that the approval include additional considerations for public gathering places, including the planting areas within the cul-de-sac. Ridgeway stated that the developer will review the plans for opportunities to include a gazebo and other gathering spaces into the development plans. Larson noted that this request did not need to be a condition of approval.

M/S/P: Larson/Dodson, move to recommend approval with 12 conditions of approval (10 plus the development lot book and moving the greenbelt trail south in the northeast corner) as recommended by Staff with the findings as drafted by Staff.

Dorschner noted that he is conflicted on this project but will support the motion.

Haggard asked if the list of strong concerns would be expressed to the Council if the Planning Commission recommended approval of the request.

M/S/P: Dorschner/Kreimer, move to amend last finding to state that Plat and PUD Plan achieves objective B from the PUD ordinance.

M/S/P: Larson/Dodson, move to amend Dorschner's motion to add objective A as a finding, **Vote: 1-6, motion fails** with Williams, Haggard, Kreimer, Dorschner, Dodson and Lundgren voting no.

Vote on Dorschner's motion: 6-1, motion passes with Lundgren voting no.

Vote on Larson's original motion to recommend approval of the Boulder Ponds Preliminary Plat and Preliminary PUD Plan with 12 conditions of approval: 5-2, motion carries with Lundgren and Haggard voting no.

Updates and Concerns

Council Updates

1. Easton Village Preliminary Plat passed with 21 conditions of approval.
2. Village Preserve Preliminary Plat passed with 13 conditions of approval.

3. Holliday Property Comprehensive Plan passed with 2 conditions of approval.
4. Kwik Trip Preliminary Plat, Final Plat and Conditional Use Permit passed with 8 conditions of approval.
5. Zoning Map Amendment passed.

Staff Updates

1. Upcoming Meetings
 - a. August 11, 2014
 - b. August 25, 2014

Commission Concerns - None

Meeting adjourned at 11:22pm

Respectfully submitted,

Nick Johnson
City Planner



PLANNING COMMISSION
DATE: 8/25/14
AGENDA ITEM: 4A – PUBLIC HEARING
CASE # 2014-41

ITEM: Savona 2nd Addition Residential Subdivision – Final Plat

SUBMITTED BY: Kyle Klatt, Planning Director

REVIEWED BY: Nick Johnson, City Planner
Jack Griffin, City Engineer

SUMMARY AND ACTION REQUESTED:

The Planning Commission is being asked to consider a Final Plat request from Lennar Corporation for the second phase of a planned 310 unit residential development to be located on 112.6 acres west of Keats Avenue and within Stage 1 of the City's I-94 Corridor Planning Area. The final plat will include 47 single-family lots and 22 single-family attached units, all of which will be accessed via an initial extension of the 5th Street Parkway off of Keats Avenue. The application also includes a request for a Conditional Use Permit to allow single-family attached units that are accessed via a private road. Staff is recommending approval of the request subject to compliance with a series of conditions as listed in this report.

GENERAL INFORMATION

Applicant: U.S. Home Corporation, D/B/A Lennar, 16305 36th Avenue North, Suite 600, Plymouth, MN

Property Owners: U.S. Home Corporation, D/B/A Lennar, 16305 36th Avenue North, Suite 600, Plymouth, MN

Location: Part of Section 34 in Lake Elmo, north of I-94, west of Keats Avenue, and south of Goose Lake. PID Numbers 34.029.21.42.0002; 34.029.21.41.0004

Request: Application for final plat approval of a 69 unit residential subdivision to be named Savona 2nd Addition. Application for a Conditional Use Permit to allow single-family attached units that do not have frontage along a public street.

Existing Land Use and Zoning: Agricultural land, land that has been mass graded for residential development. Current Zoning: LDR and MDR

Surrounding Land Use and Zoning: North – active mining and gravel operation; west, south and east – agricultural land

Comprehensive Plan: Urban Low Density Residential (2.5 – 3.99 units per acre) and Urban Medium Density Residential (4 – 7 units per acre)

History: Sketch Plan review by Planning Commission on 12/10/12. EAW approved by the City Council on 7/2/13. Preliminary Plat approved on 8/6/13. Final Plat for first addition approved on 2/18/14.

Deadline for Action: Application Complete – 7/14/14
 60 Day Deadline – 9/14/14
 Extension Letter Mailed – No
 120 Day Deadline – 11/14/14

Applicable Regulations: Chapter 153 – Subdivision Regulations
 Article 10 – Urban Residential Districts (LDR)
 §150.270 Storm Water, Erosion, and Sediment Control

REQUEST DETAILS

The City of Lake Elmo has received a request from Lennar Corporation for final plat approval of the second phase of the Savona residential development (Savona 2nd Addition). The final plat includes 47 single family residential lots, 22 single family attached units (townhouses), and the infrastructure necessary to support the future homes on these lots. The City Council approved the Savona Preliminary Plat on August 6, 2013, which covered 113 acres of land within the I-94 Corridor planning area. There are 310 single family and multi-family residential units planned within the entire subdivision, and the final plat covers only a portion of the overall total of units that will eventually be platted. Lennar has finalized its purchase of the land included in the final plat area, and is acting as the sole applicant for this request.

The final plat area represents an extension of the Savona development to the west of the first addition, and will also include the first townhouses to be platted and built as part of the overall development area. The grading plans for the first addition included the lots that are being platted within the second addition; therefore, the attached grading plans propose relatively minor changes to the site conditions at present. Because of revisions to the storm water plan that have been required by the watershed district, there have been some changes to the ponding and infiltration system proposed with the preliminary plat. These changes have required an expansion of the storm water pond located in the extreme southeastern portion of the site along Keats Avenue, and will require the applicant to direct storm water across the neighboring property to the south. The implications of these changes are noted in the review comments below. The applicant has submitted detailed construction plans for related to sanitary sewer, water main, storm sewer, grading, drainage, erosion control, landscaping, and other details that have been reviewed by the City Engineer.

The submitted plans do not include further extension of 5th Street adjacent through the Savona 2nd Addition area, as the applicant and landowner to the south have been working through the best methodology to construct the road. Staff is recommending that such plans for the segment of 5th Street adjacent to 2nd Addition be included as part of the 2nd Addition improvements (Condition #14). In addition, the final plat should be revised to plat the portion of the 5th Street right-of-way necessary to complete the recommended improvements. In order to provide the City with the confidence to move forward with the application, the landowner to the south and the City have drafted a Permanent Public Street Easement Agreement (Attachment #10) for the entire section of 5th Street. This would provide the City the legal access to the entire 5th Street segment to the Boulder Ponds planned development. Staff would recommend that this agreement be executed and recorded as part of the recording of the 2nd Addition Final Plat.

The City's subdivision ordinance establishes the procedure for obtaining final subdivision approval, in which case a final plat may only be reviewed after the City takes action on a preliminary plat. As long as the final plat is consistent with the preliminary approval, it must be approved by the City. Please note that the City's approval of the Savona Preliminary Plat did include a series of conditions

that must be met by the applicant, which are addressed in the “Review and Analysis” section below. There are no public hearing requirements for a final plat.

The City’s zoning map for all of the area included in the preliminary plat for Savona has been updated to be consistent with the City’s Comprehensive Plan. The portions of the plat that are planned for single family detached housing are zoned LDR – Low Density Residential, while the proposed townhouses are located within a MDR – Medium Density Residential Zoning District. As noted in the City’s preliminary plat review, the single family and townhouse lots fall within the density ranges allowed in the Comprehensive Plan. Please note that as part of the MDR zoning district requirements, townhouses that do not have frontage on a public street may only be allowed with a Conditional Use Permit (CUP). The townhouses shown in the attached plat will have access to a private road which then connects to a proposed public road that will loop through the portion of the site south of 5th Street. The applicant has therefore requested a Conditional Use Permit along with the final plat in order to permit the proposed townhouse layout. Staff has scheduled a public hearing concerning the CUP portion of the applicant’s request.

In order to provide further clarity concerning the future phases of the townhouse area, the applicant has prepared updated plans for the overall townhouse area, which includes updated grading plans for the eastern portion of this area (including the storm water pond along Keats Avenue). While the majority of these plans fall outside of the 2nd Addition area, they do help illustrate that the revisions necessary to accommodate additional storm water improvements in this area can be made while not substantially altering the preliminary plat for the townhouses. Staff has a few general comments about the future townhouse phases that are noted in the following section of this report. Staff has also determined that the CUP request can be made for the entire townhouse area, and that the included map labeled “Final Site Plan – Townhome Area” can be used as the basis for this request.

Staff has reviewed the final plat and found that it is consistent with the preliminary plat that was approved by the City. The CUP related to the townhouses on private roads is also consistent with the preliminary plat as approved by the City. The developer has previously updated the preliminary plan submissions to comply with the conditions of approval, and the final plat application incorporates these updates as well. Please note that the final plat now includes proposed street names as recommended by the Planning Department.

The City Engineer has reviewed the final plat, and his comments are attached to this report (Attachment #2). Although there are some additional revisions to the final construction plans that will need to be addressed by the applicant, the majority of these revisions can be made before the City releases the final plat for recording. The Engineer does identify issues that could impact the final plat; and Staff is recommending a condition of approval (Condition #1) to address required revisions (with the improvements for 5th Street being the most significant).

REVIEW AND ANALYSIS

The preliminary plat for Savona was approved with several conditions, which are indicated below along with Staff’s comments on the status of each. There are additional comments concerning the CUP request following the preliminary plat analysis in addition to any general items and issues that have not otherwise been addressed. Staff is recommending approval of the final plat and Conditional Use Permit, but with additional conditions intended to address the outstanding issues that will require additional review and/or documentation.

Please also note that the applicant provided a response to the preliminary plat conditions with the first addition final plat; this response has not been duplicated for this report.

Preliminary Plat Conditions – With Staff Update Comments (updated information in bold italics):

- 1) Within six months of preliminary plat approval, the applicant shall complete the following: a) the applicant shall provide adequate title evidence satisfactory to the City Attorney; b) the applicant shall pay all fees associated with the preliminary plat; c) the applicant shall submit a revised preliminary plat and plans meeting all conditions of approval. All of the above conditions shall be met prior to the City accepting an application for final plat and prior to the commencement of any grading activity on the site. *Comments: a) all title work will need to be submitted and reviewed by the City Attorney before an City officials sign the final plat; b) the applicant has submitted an escrow payment related to the preliminary plat application that is being used to cover Staff and consultant expenses related to the City's review; c) a revised preliminary plat and plans has been approved by the City and was found to address all previous comments. The applicant has commenced mass grading of the site with work authorized as part of the first addition grading plans.*
- 2) The applicant shall dedicate a minimum of 30 feet of land around the "Exception" parcel in the northwest portion of the Savona subdivision to allow for the construction of an eight-foot bituminous trail to the western edge of the subdivision and to allow for sufficient room for drainage and utilities adjacent to "Street A". *Comments: The preliminary plat and plans have been revised to address this condition. Although the applicant is proposing to use a portion of the street right-of-way for the trail, there is a 30-foot area around all portions of the exception parcel for the trail. This proposed configuration is a reasonable compromise to still provide access to the exception parcel. The 2nd Addition does not include any of the area around the exception parcel.*
- 3) The applicant shall provide for a minimum green belt/buffer of 100 feet around all of the adjacent Stonegate subdivision, and must revise the preliminary plat in the vicinity of Lots 1 and 2 of Block 10 to properly account for this buffer. *Comments: The plat has been adjusted in this area, but there are still two lots (Lots 1 and 2, Block 1 of the final plat) that are within 65 feet of the boundary with Stonegate. The preliminary plat notes that the developer will be acquiring a trail/greenway easement from the adjacent property owner to account for the reduced open space setback, but no such easement has been provided with the final plat. Staff has previously found this alternative to be an acceptable approach since it cannot be accomplished without the implicit approval of the effected property owner in Stonegate. If no agreement can be reached between the applicant and neighboring property owner, the final plat for this area will need to account for the buffer. Staff is recommending that as a condition of approval, the developer must either secure an easement as planned or revise the final plat to account for a 100 foot buffer.*
- 4) The eight-foot bituminous trail located within Outlot A shall be moved off of the property line of the adjacent Stonegate subdivision and shall be designed to continue into the property to the north and to provide a connection to "Street A". *Comments: The preliminary plans have been updated to address this requirement. The construction plans for 2nd Addition do not show that the trail is part of the planned improvements at this time. Staff is recommending that the public improvements for 2nd Addition include the segment of the trail in this portion of the plat that is located adjacent to or behind Lots 1 and 2 of Block 1 at a minimum, and that they include all of the trail adjacent to the lots in Block 1 if feasible (due to ownership, grading, and other issues).*

- 5) The trail within the green belt/buffer area is encouraged to be located within the southern one-third or eastern one-third of the buffer and as close as possible to the lots within the Savona subdivision. *Comments: The preliminary plans have been updated to address this requirement. The applicant has noted that the "design and plans have been revised to shift the trail to the southern portion of the buffer outlot, except as otherwise required due to grading, drainage, and topography challenges. The trail meanders to provide for a pleasant user experience, avoids the existing wetland, and minimizes impacts on property owners on either side". A very small portion of the trail in the 2nd Addition is located along the property boundary.*
- 6) The sidewalk along "Street A" must continue along this street until its termination point at the northern boundary of the subdivision. *Comments: The preliminary plans have been updated accordingly, but the final construction plans do not show this sidewalk connection. Staff has added a condition of approval to address this deficiency.*
- 7) The applicant shall work with the City and Washington County to identify and reserve sufficient space for a future trail corridor along the western right-of-way line of Keats Avenue. *Comments: A trail alignment is planned for construction as part of the first addition. No trail is planned south of 5th Street.*
- 8) The landscape plan shall be updated to include tree protection fencing in all areas where grading will be near trees intended for preservation. *Comments: Tree preservation should be added around existing trees in the western portion of the 2nd Addition.*
- 9) The landscape plan shall be reviewed and approved by an independent forester or landscape architect in advance of the approval of a final plat and final construction plans. *Comments: Staff has previously reviewed the tree preservation and protection plan and found the plan to be in compliance with the City Code. The proposed boulevard plantings conform to the City's planting requirements for streets. Staff is recommending that the City's landscape architecture consultant review the landscape plan.*
- 10) Sidewalks shall be required on both sides of the public street providing access to the multi-family housing portion of the subdivision. *Comments: The preliminary plans have been updated and the final construction plans for the townhouses within 2nd Addition include a sidewalk on both sides of the street.*
- 11) The applicant shall be responsible for the construction of all improvements within the Keats Avenue (CSAH 19) right-of-way as required by Washington County and further described in the review letter received from the County dated July 3, 2013. The required improvements shall include, but not be limited to: construction of a new median crossing, closure and restoration of the existing median crossing in this area, continuation of the planned ten-foot bituminous trail through the median, turn lanes, and other improvements as required by the County. *Comments: This required was addressed with the first addition.*
- 12) The applicant shall observe all other County requirements as specified in the Washington County review letter dated July 3, 2013. *Comments: The final construction plans have been revised in response to these comments.*

- 13) The developer shall follow all of the rules and regulations spelled out in the Wetland Conservation Act, and shall acquire the needed permits from the appropriate watershed districts prior to the commencement of any grading or development activity on the site. *Comments: The applicant has received a permit from the Valley Branch Watershed District (attached) for the grading work proposed in the final plans. This permit includes conditions that must be met prior to the commencement of any grading work on the site. Any revisions to the preliminary plans required by the watershed district are included in the attached plans.*
- 14) The applicant shall submit revised preliminary plans that incorporate the changes made to the western portion of the preliminary plat, and specifically, the rearrangement of lots around the "Exception" parcel. *Comments: The revised lot configuration has been included in the updated preliminary plans, this condition is not applicable to the 2nd Addition.*
- 15) The applicant shall enter into a maintenance agreement with the City that clarifies the individuals or entities responsible for any landscaping installed in areas outside of land dedicated as public park and open space on the final plat. *Comments: The applicant has indicated that there will be a homeowner's association created for this development; the declarations and HOA documents have been created and recorded with the first addition final plat. A maintenance agreement and evidence that the HOA has been established should be retained as a condition of approval for the final plat.*
- 16) The developer shall be required to pay a fee in lieu of park land dedication equivalent to the fair market value for the amount of land that is required to be dedicated for such purposes in the City's Subdivision Ordinance less the amount of land that is accepted for park purposes by the City. Any cash payment in lieu of land dedication shall be paid by the applicant prior to the release of the final plat for recording. *Comments: The developer paid a cash payment in lieu of land dedication in the amount of \$209,429 as part of the developer's agreement for the first addition. This amount covers all of the area included in the preliminary plat.*
- 17) Any land under which public trails are located will be accepted as park land provided the developer constructs said trails as part of the public improvements for the subdivision. *Comments: The dedication of land associated with was reviewed in accordance with the preceding condition.*
- 18) The applicant shall provide for an active recreation area (either public or private) within the multi-family portion of the subdivision. This area shall be sufficient for a small play structure or other similar improvement subject to review and approval by the Planning Director. *Comments: The revised preliminary plans include a small play area within the multi-family area. The details concerning this play area will need to be submitted and reviewed with a future final plat for the townhouse area since the proposed play area is outside of the 2nd Addition final plat. This area is depicted in the overall site plan for the townhouses submitted with the current request.*
- 19) No more than half of the residential units depicted on the preliminary plat (155) may be approved as part of a final plat until a second access is provided to the subdivision, either via a connection to Hudson Boulevard to the south, Inwood Avenue (CSAH 13) to the west, or back to Keats Avenue (CSAH 19) through the property to the north of Savona. *Comments: The proposed final plat includes 69 units, which means the applicant may plat an additional 42 units before this condition needs to be met.*

- 20) A future realignment of 5th Street along the western border of the plat may be considered by the City Council as part of the final plat submission for this are provided the realignment does not result in any significant modifications to the preliminary plat. ***Comments: the City has recently approved a lot line adjustment that will allow for this realignment. The road right-of-way for 5th Street within Savona now aligns with the right-of-way within the adjacent Boulder Ponds development.***
- 21) The applicant must enter into a separate grading agreement with the City prior to the commencement of any grading activity in advance of final plat and plan approval. The City Engineer shall review any grading plan that is submitted in advance of a final plat, and said plan shall document extent of any proposed grading on the site. ***Comments: The applicant did enter into this agreement and has been grading the site in accordance with the approved plans throughout the summer.***
- 22) The preliminary grading, drainage and erosion control plan must be revised to address the comments from the City Engineer in his review letter dated July 9, 2013 regarding the size of specific ponds in relation to the drainage areas that are served by these ponds. ***Comments: The revised grading, erosion control, and storm water management plans address these comments. The plan has been subject to further revisions based on comments from the Valley Branch Watershed District.***
- 23) The preliminary plans must be revised to incorporate all proposed improvements within the 5th Street right-of-way. All improvements as requested by the City shall be included in these plans and the design shall be consistent with City specifications and with the concept plan prepared for the City by Damon Farber and Associates. ***Comments: The first addition plans were updated in accordance with this condition. Staff is recommending that the 2nd Addition be updated to include plans for 5th Street and that the required right-of-way be included in the plat.***
- 24) All required modifications to the plans as requested by the City Engineer in a review letter dated July 9, 2013 shall be incorporated into the plans prior to consideration of a final plat. Specific requirements include, but are not limited to, the following:
- a. The applicant must provide the city a letter of approval to perform the proposed work in the BP Pipeline easement. Work includes installation of storm sewer pipe, grading activities, and relocation of the High Pressure Gas line, if necessary.
 - b. The applicant must provide the city a letter of approval to perform the proposed work in the Electrical Transmission easement areas. Work includes installation of storm sewer pipe, grading activities, and storm water ponding.

Comments: Neither of these conditions are pertinent to the 2nd Addition.

- 25) The City will not accept an application for final plat approval until the 429 public improvement project for Section 34 has been ordered by the City Council. If the City Council does not order this project, the applicant must revise the preliminary plans to provide adequate utilities to serve the subdivision. Any such plan revisions will be subject to review and approval by the City Council. ***Comments: The Section 34 public improvement project has been ordered by the City and the project is complete.***

- 26) The applicant shall secure any necessary permits for the multi-family area, including but not limited to a conditional use permit to allow for single family detached residences that do not have frontage on a public street, at the time a final plat is submitted for this area. *Comments: The current request includes a request for a Conditional Use Permit for the townhouses.*
- 27) The applicant is encouraged to preserve or re-use as many trees as possible that are currently located on the former golf facility property and to incorporate these trees as part of the landscape plan for the Savona subdivision. *Comments: The applicant has stated their intent to preserve these trees if possible, however, based on observed site conditions, it does not appear that many of these trees will be salvageable due to the sandy soil conditions.*
- 28) The applicant shall work with the Planning Director to name all streets in the subdivision prior to submission of a final plat. *Comments: The applicant has agreed to the street names as proposed by Staff. The proposed names have been designed to comply with the County's uniform addressing system.*

Staff is recommending that the conditions noted above that pertain to the final plat and that have not yet been addressed by the applicant should be adopted with the final plat. The City Engineer's review letter does identify several issues that need to be addressed by the developer in order for the City to deem the final plans complete; however, nearly all of these concerns are related to the construction plans and should not have any bearing on the final plat. Staff is recommending that City Officials not sign the final plat mylars until the City's construction plan review is finalized and all necessary easements are documented on the final plat.

Other general comments from Staff concerning the proposed final plat include the following:

- **Townhouse Area.** The final plat includes a small portion of the planned townhouses within Savona. The townhouses have been designed to comply with the Cities minimum requirements for lot area and common open space within such developments. The preliminary plat was approved with the private street concept, and the proposed layout will provide adequate access to each home while minimizing the amount of public infrastructure needed to serve each home.
- **5th Street.** The construction plans for the 2nd Addition must be updated to include the portion of 5th Street that runs parallel to the subdivision terminating west of Junco Avenue. The Final plat shall also be revised to include the appropriate portion of the 5th Street right-of-way. These requirements are found in Condition # 14.
- **Storm Water Plan.** The proposed storm water management plan includes a proposed pipe that will extend and discharge on to the adjacent property to the south. The attached site development plans include a proposed drainage and utility easement that would allow the construction of these improvements. Staff is recommending that the developer obtain written permission from this property owner as a condition of approval (Condition #13), or that this easement be depicted on the final plat (which would also require approval from this owner).

Based on the above Staff report and analysis, Staff is recommending approval of the final plat with several conditions intended to address the outstanding issues noted above and to further clarify the City's expectations in order for the developer to proceed with the recording of the final plat.

The recommended conditions are as follows:

Recommended Conditions of Approval:

- 1) Final grading, drainage, and erosion control plans, utility plans, sanitary and storm water management plans, and street and utility construction plans shall be reviewed and approved by the City Engineer prior to the recording of the Final Plat. All changes and modifications to the plans requested by the City Engineer in review memo dated 8/21/14 shall be incorporated into these documents before they are approved.
- 2) The developer shall provide evidence in a form satisfactory to the City Attorney that warrants it has fee interest in area included in the Savona Final Plat.
- 3) Prior to the execution of the Final Plat by City officials, the Developer shall enter into a Developer's Agreement acceptable to the City Attorney and approved by the City Council that delineates who is responsible for the design, construction, and payment of the required improvements with financial guarantees therefore.
- 4) All easements as requested by the City Engineer and Public Works Department shall be documented on the Final Plat prior to the execution of the final plat by City Officials.
- 5) A Common Interest Agreement concerning management of the common areas of Savona and establishing a homeowner's association shall be submitted in final form to the Community Development Director before a building permit may be issued for any structure within this subdivision. The applicant shall also enter into a maintenance agreement with the City that clarifies the individuals or entities responsible for any landscaping installed in areas outside of land dedicated as public park and open space on the final plat
- 6) Any final plat for future townhouses will take into account land previously credited as parkland, and will not reduce the size of any area that was depicted for park land on the preliminary plat.
- 7) The proposed trail/greenway easement adjacent to Lots 1 and 2 of Block 1 shall be secured by developer, or the plat must be adjusted to accommodate the required 100 foot buffer area and green belt adjacent to the boundary of the Stonegate subdivision, prior to the recording of the final plat.
- 8) The public improvements for Savona 2nd Addition shall include the trail segment that is located adjacent to or behind Lots 1 and 2 of Block 1 at a minimum, and shall include all of the trail west of the lots in Block 1 the construction of this trail segment is deemed feasible by the City Engineer (due to ownership, grading, drainage, and other issues).
- 9) A sidewalk consistent with City specifications shall extend north along James Avenue to the northern limits of the plat, and will connect to the planned sidewalk within the Hammes Estates subdivision.
- 10) The landscape plan shall be updated to include tree protective fencing around all trees to be saved along the western boundary of the plat.

- 11) The landscape plan shall be reviewed and approved by an independent forester or landscape architect prior to the City's final approval of the construction plans.
- 12) The applicant shall provide evidence that all conditions attached the Valley Branch Watershed District permit for the final plat and associated grading work have been met prior to the commencement of any grading activity.
- 13) The developer shall provide written authorization from the property owner to the south of Savona 2nd Addition to allow the proposed drainage improvements and discharge of storm water on to their property. In conjunction with this permission, the proposed drainage and utility easement across this site shall be recorded with the Washington County Recorder's office. As an alternative, the final plat maybe updated to include a drainage and utility easement across this property.
- 14) The construction plans must be updated to include all portions of 5th Street adjacent to the subdivision that will, at a minimum, extend the current limits of 5th Street west beyond Junco Road North. The developer shall update the final plat include the portion of the 5th Street right-of-way necessary to meet the associated construction limits for Savona 2nd Addition west of Junco Road North.
- 15) The final construction plans shall be revised to include the additional storm sewer elements and street construction as specified in a review letter from the City Engineer dated February 7, 2014. These revisions shall be reviewed in conjunction with the other changes requested by the City Engineer.

DRAFT FINDINGS

Staff is recommending that the Planning Commission consider the following findings with regards to the proposed Savona 2nd Addition Final Plat:

- That the Final Plat is consistent with the Preliminary Plat and Plans as approved by the City of Lake Elmo on August 8, 2013 and revised on November 25, 2013.
- That the Final Plat is consistent with the Lake Elmo Comprehensive Plan and the Future Land Use Map for this area.
- That the Final Plat complies with the City's Urban Low Density Residential and Medium Density Residential zoning districts.
- That the Final Plat complies with all other applicable zoning requirements, including the City's landscaping, storm water, sediment and erosion control and other ordinances.
- That the Final Plat complies with the City's subdivision ordinance.
- That the Final Plat is consistent with the City's engineering standards with the plan revisions as requested by the City Engineer.

Staff is recommending that the Planning Commission consider the following findings with regards to the proposed Conditional Use Permit to allow townhouses that do not front along a public street within the Savona development:

- That the proposed use will not be detrimental to or endanger the public health, safety, comfort, convenience or general welfare of the neighborhood or the city.
- That the use conforms to the City of Lake Elmo Comprehensive Plan.
- That the use is compatible with the existing neighborhood.
- That the proposed use meets all specific development standards for such use as listed in the Zoning Ordinance.
- That the proposed use will be designed, constructed, operated and maintained so as to be compatible in appearance with the existing or intended character of the general vicinity and will not change the essential character of that area.
- That the proposed use will not be hazardous or create a nuisance as defined under this Chapter to existing or future neighboring uses.
- That the proposed use will be served adequately by essential public facilities and services, including streets, police and fire protection, drainage structures, refuse disposal, water and sewer systems and schools or will be served adequately by such facilities and services provided by the persons or agencies responsible for the establishment of the proposed use.
- That the proposed use will not create excessive additional requirements at public cost for public facilities and services and will not be detrimental to the economic welfare of the community.
- That the proposed use will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare because of excessive production of traffic, noise, smoke, fumes, glare or odors.
- That vehicular approaches to the property, where present, will not create traffic congestion or interfere with traffic on surrounding public thoroughfares.
- That the proposed use will not result in the destruction, loss or damage of a natural or scenic feature of major importance.

RECCOMENDATION:

Staff recommends that the Planning Commission recommend approval of the Final Plat for Savona 2nd Addition with the 14 conditions of approval as listed in the Staff report. Suggested motion:

“Move to recommend approval of the Savona Final Plat with the 14 conditions of approval as drafted by Staff”

Staff further recommends that the Planning Commission recommend approval of the Conditional Use Permit for the Savona Development to allow townhouses that do not have frontage on a public street. Suggested motion:

“Move to recommend approval of the a Conditional Use Permit for the Savona Subdivision to allow townhouses that do not have frontage on a public street”

ATTACHMENTS:

1. Application Forms
2. City Engineer Review Letter
3. Savona 2nd Addition Final Plat
4. Construction Plans: Grading, Drainage, and Erosion Control
5. Construction Plans: Sanitary Sewer, Water Main, Storm Sewer and Streets
6. Savona 2nd Addition Landscape Plans
7. Final Site Plan – Townhome Area
8. Townhouse Area Grading, Drainage, and Erosion Control Plan
9. Proposed Drainage and Utility Easemnet
10. Proposed Permanent Public Street Easement Agreement

ORDER OF BUSINESS:

- Introduction Planning Staff
- Report by Staff Planning Staff
- Questions from the Commission Chair & Commission Members
- Open the Public Hearing Chair
- Close the Public Hearing Chair
- Discussion by the Commission Chair & Commission Members
- Action by the Commission Chair & Commission Members

Date Received: _____
Received By: _____
LU File #: _____



651-747-3900
3800 Laverne Avenue North
Lake Elmo, MN 55042

FINAL PLAT APPLICATION

Applicant: US Home Corporation, DBA Lennar
Address: 16305 36th Ave N, Suite 600 Plymouth, MN
Phone #: 952-249-3000
Email Address: joe.jablonski@lennar.com

Fee Owner: SAME AS Applicant
Address: _____
Phone #: _____
Email Address: _____

Property Location (Address and Complete (long) Legal Description): OUTLOTS A & F OF
SAVONA

General information of proposed subdivision: PHASE 2 OF SAVONA in
general conformance to approved preliminary
plat.

In signing this application, I hereby acknowledge that I have read and fully understand the applicable provisions of the Zoning Ordinance and current administrative procedures. I further acknowledge the fee explanation as outlined in the application procedures and hereby agree to pay all statements received from the City pertaining to additional application expense.

Signature of applicant:  Date: 7/1/2014

Fee Owner Signature: _____ Date: _____



Lake Elmo City Hall
651-747-3900
3800 Laverne Avenue North
Lake Elmo, MN 55042

AFFIRMATION OF SUFFICIENT INTEREST

I hereby affirm that **I am the fee title owner** of the below described property or that I have written authorization from the owner to pursue the described action.

Name of applicant US Home Corporation, D/B/A Lennar
(Please Print)

Street address/legal description of subject property Outlots A & F of
Savona

[Signature]
Signature

7/1/2014
Date

If you are not the fee owner, attach another copy of this form which has been completed by the fee owner or a copy of your authorization to pursue this action.

If a corporation is fee title holder, attach a copy of the resolution of the Board of Directors authorizing this action.

If a joint venture or partnership is the fee owner, attach a copy of agreement authorizing this action on behalf of the joint venture or partnership.



Lake Elmo City Hall
651-747-3900
3800 Laverne Avenue North
Lake Elmo, MN 55042


ACKNOWLEDGEMENT OF RESPONSIBILITY

This is to certify that I am making application for the described action by the City and that I am responsible for complying with all City requirements with regard to this request. This application should be processed in my name and I am the party whom the City should contact regarding any matter pertaining to this application.

I have read and understand the instructions supplied for processing this application. The documents and/or information I have submitted are true and correct to the best of my knowledge. I will keep myself informed of the deadlines for submission of material and of the progress of this application.

I understand that this application may be reviewed by City staff and consultants. I further understand that additional information, including, but not limited to, traffic analysis and expert testimony may be required for review of this application. I agree to pay to the City upon demand, expenses, determined by the City, that the City incurs in reviewing this application and shall provide an escrow deposit to the City in an amount to be determined by the City. Said expenses shall include, but are not limited to, staff time, engineering, legal expenses and other consultant expenses.

I agree to allow access by City personnel to the property for purposes of review of my application.

Signature of applicant  Date 3/1/2014

Name of applicant JOE JABLONSKI Phone 952-249-3000
(Please Print)

Name and address of Contact (if other than applicant) Alternate: PAUL TARONE
952-249-3066

MEMORANDUM

FOCUS ENGINEERING, inc.

Cara Geheren, P.E. 651.300.4261
Jack Griffin, P.E. 651.300.4264
Ryan Stempski, P.E. 651.300.4267
Chad Isakson, P.E. 651.300.4285

Date: August 21, 2014

To: Kyle Klatt, Planning Director
Cc: Nick Johnson, City Planner
From: Jack Griffin, P.E., City Engineer

Re: Savona 2nd Addition
Final Plat – Engineering Review

Engineering has reviewed the application materials for the Savona 2nd Addition by Lennar Corporation. The submittal consisted of the following documentation prepared by Westwood Professional Services, Inc.:

- Final Plat, Savona 2nd Addition, not dated and not signed.
- Drainage and Utility Easement, dated 08.06.2014.
- Permanent Public Street Easement Agreement for future 5th Street, unsigned and undated.
- Final Site Plan – Townhome Area, dated 07.30.2014.
- Grading, Drainage and Erosion Control Plan, dated 08.08.2014.
- Grading, Drainage and Erosion Control Plan for Savona Multi-family area, dated 08.08.2014.
- Construction Plans for Phase 2 Sanitary Sewer, Watermain, Storm Sewer, and Streets, dated 08.08.2014.
- Stormwater Management Report, dated 01.21.2014. REVISED 08.07.2014.
- Storm Sewer System Design Chart and Calculations, dated 06.10.2014.
- Final Landscape Plans 2nd Addition, dated 07.11.2014.

The following engineering review comments are provided as follows:

FINAL PLAT:

- Approval of the Final Plat must be contingent upon receipt of a fully executed Drainage and Utility Easement Agreement, in the City's Standard Form of Easement Agreement, for the Storm Sewer Outfall pipe south of 5th Street near Junco Road (OSC-302 to FES 300). This easement agreement should be recorded at Washington County together with the Savona 2nd Addition Final Plat. An easement sketch and description was submitted as part of the Savona 2nd Addition Final Plat documents.
- Approval of the Final Plat must be contingent upon receipt of a fully executed Permanent Public Street, Drainage and Utility Easement Agreement, in the City's Standard Form of Easement Agreement, for the remaining 5th Street North right-of-way for the Savona Preliminary Plat. This easement agreement should be recorded at Washington County together with the Savona 2nd Addition Final Plat. A draft easement agreement, and attached easement sketch and description was submitted as part of the Savona 2nd Addition Final Plat documents.
- 5th Street North must be extended to Junco Road as part of the Savona 2nd Addition. Approval of the Final Plat must be contingent upon the Final Plat documents being revised to include the 5th Street right-of-way necessary to include the extension of 5th Street to the west side of Junco Road North.
- The Final Plat and Construction Plans should both be updated to include the Outlot ownership information. Based upon the Preliminary Plat documents, Outlots A and D will be dedicated to the City. Outlots B, C, E, and F will be owned by the HOA. Outlot G and J are not defined but should be City owned.

- With Outlots B and E owned by the HOA, the Final Plat must be revised to provide a minimum 30 foot wide drainage and utility easement centered over the pipe for the storm sewer runs within Outlots B and E.
- The Preliminary Plat documents also indicate all Outlots within the Townhome area as HOA owned. Townhome area utility easements must be defined and placed on the Plat and dedicated to the City for ongoing operation and maintenance. NOTE: The private roadway Outlots will not be sufficient easement. Easements must extend a minimum of 15 feet from each "outside utility line".
- Additional permanent utility easement is needed for the STMH-262, CB-261 and CB-263 storm sewer structures.

GRADING, DRAINAGE AND EROSION CONTROL PLANS:

- The Grading, Drainage and Erosion Control Plan for Savona Multi-family area, dated 08.08.2014 must be incorporated into the Final Construction Plan set.
- The existing trunk watermain along Keats Avenue is not shown on this plan. Please update the Grading, Drainage and Erosion Control Plan for Savona Multi-family area to include all existing utility information to ensure the proposed storm sewer pipe maintains 10 feet separation from the existing trunk watermain.
- Sheet 6 of the Grading, Drainage and Erosion Control Plans must be updated with the expanded pond area for Outlot J.
- Temporary drainage and erosion control measures must be provided at the north end of James Avenue, a low point of the road in the temporary dead end condition.

CONSTRUCTION PLANS – SANITARY SEWER, WATER MAIN, STORM SEWER, AND STREETS

- 5th Street North must be extended to Junco Road as part of the Savona 2nd Addition. Plans must be updated to incorporate this as part of the Savona 2nd Addition Plat and Construction Plans prior to the start of construction.
- The Savona 2nd Addition sanitary sewer plan proposes to route an additional 29 homes to the Keats Avenue Lift Station by connecting the Junco Avenue sewer to the existing sewer MH-27. This routing has been allowed by City staff on a temporary basis, until the westerly Savona property is platted. At that time the sewer flow for these 29 homes must be reversed to discharge to the Hudson Boulevard gravity system as originally planned. The Construction Plans must carefully and fully detail this temporary connection and show how the flow will be redirected in the future.
- Water and sewer services must be placed on the plans showing 10 feet of separation as required by Ten States Standards.
- Water and sewer services stubs must be placed perpendicular to the mains/street. Review and revise services as necessary.
- The water and sewer service stubs for Lot 1, Block 4 should be relocated to serve this lot from Junco Road.
- The water and sewer service stubs to the unnamed lot along the future 6th Street (Sheet 5) must be removed. Services for this lot should be installed from the 6th Street mains as part of a future phase.
- Catch basin leads must be revised to cross perpendicular to the roadway (i.e. CB-188).
- The proposed storm sewer catch basins at Junco Avenue and 5th Street appear to catch runoff at a low point and have no storm sewer outlet. This must be revised.
- A cross walk and stop bar must be placed at the intersection of 5th Street North and 5th Street Lane.
- The Townhome area streets are proposed at 24 feet B-B. At this width these streets must be signed "No Parking" along one side of the street. Please add "No Parking" signs accordingly.

Station #1
3510 Laverne Ave. No.
Lake Elmo, MN 55042
651-770-5006



Station #2
4259 Jamaca Ave. No.
Lake Elmo, MN. 55042
651-779-8882

LAKE ELMO FIRE DEPARTMENT

August 19, 2014

SAVONA 2nd ADDITION FINAL PLAT

I would like more detail regarding the following:

- Proper road width to allow access of fire apparatus. Would like more detail on the "PRIVATE DRIVES".
- Proper placement and adequate number of fire hydrants.
- Fire Sprinklers as required per code.

Greg Malmquist, Fire Chief

"Proudly Serving Neighbors & Friends"

SAVONA 2ND ADDITION

KNOW ALL PERSONS BY THESE PRESENTS: That U.S. Home Corporation, a Delaware corporation, fee owner of the following described property situated in the County of Washington, State of Minnesota, to wit:

Outlot A and Outlot F, SAVONA, according to the recorded plat thereof, Washington County, Minnesota

Has caused the same to be surveyed and platted as **SAVONA 2ND ADDITION** and does hereby donate and dedicate to the public for public use forever the public ways, as shown on this plat and also dedicate the easements as created by this plat for drainage and utility purposes only.

In witness whereof said U.S. Home Corporation, a Delaware corporation, has caused these presents to be signed by its proper officers this _____ day of _____, 20____.

U.S. HOME CORPORATION

By _____
Jonathan Aune, Division Vice President

STATE OF MINNESOTA COUNTY OF _____

The foregoing instrument was acknowledged before me on this _____ day of _____, 20____, by Jonathan Aune, Division Vice President of U.S. Home Corporation, a Delaware corporation, on behalf of the corporation.

(Signature) _____
(Name Printed)

Notary Public, _____ County, Minnesota
My Commission Expires _____

I hereby certify that I have surveyed and platted or directly supervised the survey and platting of the property described on this plat as **SAVONA 2ND ADDITION**; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on the plat; that all monuments depicted on the plat have been or will be correctly set within one year as indicated on the plat; that all water boundaries and wet lands as defined in MS Section 505.01, Subd. 3 existing as of the date of this certification are shown and labeled on the plat, and that all public ways are shown and labeled on the plat.

Dated this _____ day of _____, 20____.

Craig W. Morse, Licensed Land Surveyor
Minnesota License No. 23021

STATE OF MINNESOTA COUNTY OF HENNEPIN

The foregoing Surveyor's Certificate was acknowledged before me on this _____ day of _____, 20____, by Craig W. Morse, Licensed Land Surveyor, Minnesota License No. 23021.

(Signature) _____
(Name Printed)

Notary Public, _____ County, Minnesota
My Commission Expires _____

CITY PLANNING COMMISSION

Approved by the Planning Commission of the City of Lake Elmo, Minnesota, on this _____ day of _____, 20____.

By _____ By _____
Chair Secretary

CITY OF LAKE ELMO, MINNESOTA

This plat was approved by the City Council of the City of Lake Elmo, Minnesota this _____ day of _____, 20____, and hereby certifies compliance with all requirements as set forth in Minnesota Statutes, Section 505.03, Subdivision 2.

By _____ By _____
Mayor Clerk

COUNTY SURVEYOR

Pursuant to Chapter 820, Laws of Minnesota, 1971, and in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this _____ day of _____, 20____.

By _____ By _____
Washington County Surveyor

COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20____ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this _____ day of _____, 20____.

By _____ By _____
Washington County Auditor/Treasurer Deputy

COUNTY RECORDER

Document Number _____

I hereby certify that this instrument was recorded in the Office of the County Recorder for record on this _____ day of _____, 20____, at _____ o'clock _____ M., and was duly recorded in Washington County Records.

By _____ By _____
Washington County Recorder Deputy

SAVONA 2ND ADDITION

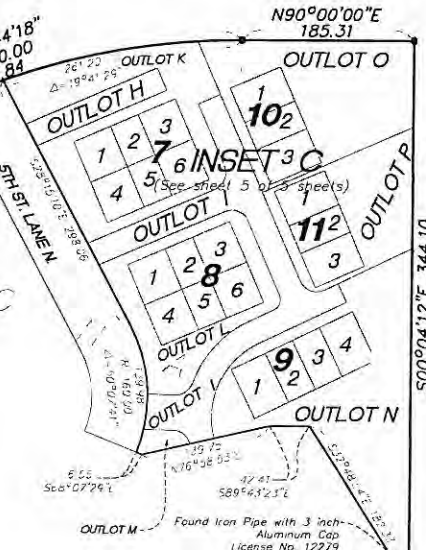
NE 1/4 1/4 OF SEC. 34, TWP. 29, RANGE 21



589°56'48"W
1480.66
Found Washington County
Cast Iron Monument
East Quarter Corner of
Sec. 34, Twp. 29, Rge. 21

5TH STREET NORTH
JAY AVENUE N.

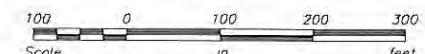
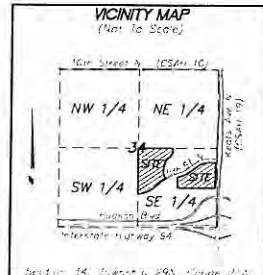
INSET B
(See sheet 4 of 5 sheets)



WASHINGTON COUNTY HIGHWAY RIGHT OF WAY PLAT NO. 48-183
COUNTY STATE AID HIGHWAY NO. 193 KEATS AVENUE NORTH

The north line of Outlot A, SAVONA, is assumed to bear N 89°56'46" E

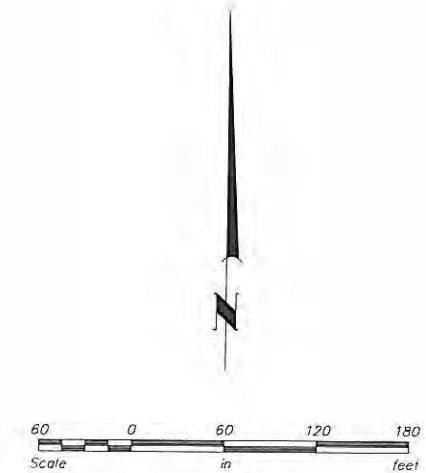
- Denotes 1/2 inch by 14 inch iron rebar set and marked by License No. 23021
- Denotes 1/2 inch by 14 inch iron rebar found and marked by License No. 23021, unless otherwise shown
- ⊙ Denotes Cast Iron Monument found marked by Washington County



Westwood
Professional Services, Inc.

SAVONA 2ND ADDITION

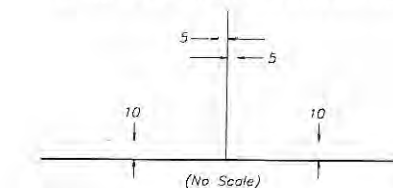
INSET A
(from sheet 2 of 5 sheet(s))



The north line of Outlot A, SAVONA, is assumed to bear N 89°56'46" E

- Denotes 1/2 inch by 14 inch iron rebar set and marked by License No. 23021
- Denotes 1/2 inch by 14 inch iron rebar found and marked by License No. 23021, unless otherwise shown

Drainage and Utility Easements are shown thus:



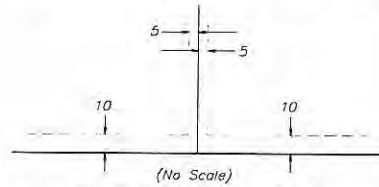
Being 5 feet in width, unless otherwise indicated,
and adjoining lot lines, and 10 feet in width and
adjoining right-of-way lines as shown on the plat

SAVONA 2ND ADDITION

INSET B

(From sheet 2 of 5 sheets)

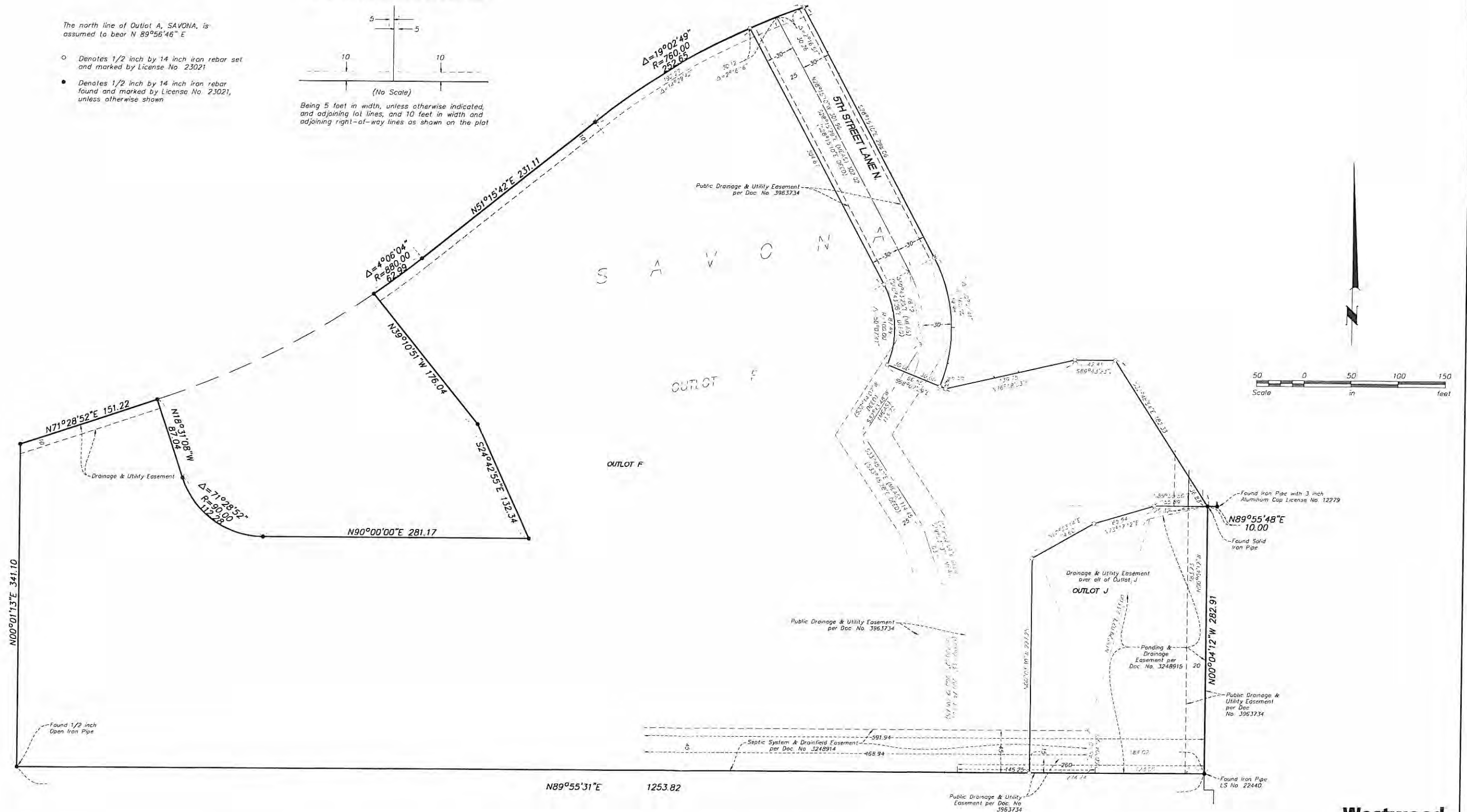
Drainage and Utility Easements are shown thus:



Being 5 feet in width, unless otherwise indicated, and adjoining lot lines, and 10 feet in width and adjoining right-of-way lines as shown on the plot

The north line of Outlot A, SAVONA, is assumed to bear N 89°56'46" E

- Denotes 1/2 inch by 14 inch iron rebar set and marked by License No. 23021
- Denotes 1/2 inch by 14 inch iron rebar found and marked by License No. 23021, unless otherwise shown

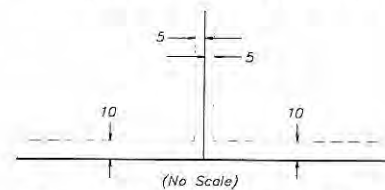


SAVONA 2ND ADDITION

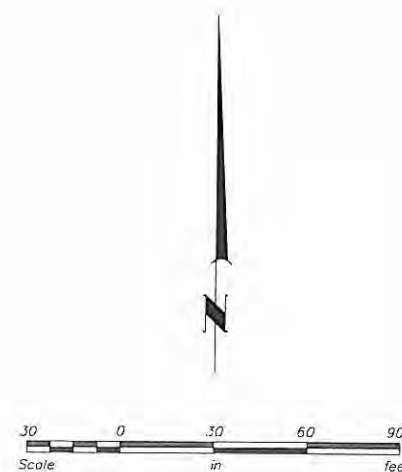
The north line of Outlot A, SAVONA, is assumed to bear N 89°56'46" E

- Denotes 1/2 inch by 14 inch iron rebar set and marked by License No. 23021
- Denotes 1/2 inch by 14 inch iron rebar found and marked by License No. 23021, unless otherwise shown

Drainage and Utility Easements are shown thus:



Being 5 feet in width, unless otherwise indicated, and adjoining lot lines, and 10 feet in width and adjoining right-of-way lines as shown on the plat



INSET C

(from sheet 2 of 5 sheets)

Construction Plans

for

Grading, Drainage & Erosion Control Plans

for

Savona

Lake Elmo, Minnesota

Prepared for:

Lennar Corporation
16305 36th Avenue North Suite 600
Plymouth, Minnesota 55446
Contact: Steve Ach
Phone: 952-249-3033

Prepared by:



Westwood www.westwoodps.com
Project number: 0000565.00
Contact: Ryan M. Bluhm

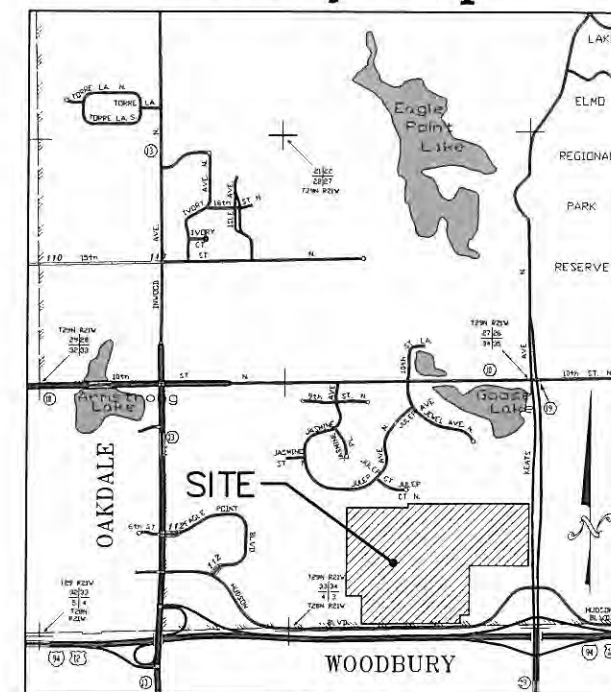
Westwood Professional Services, Inc.
7699 Anagram Drive
Eden Prairie, MN 55344

PHONE 952-937-5150
FAX 952-937-5822
TOLL FREE 1-888-937-5150

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Sheet List Table	
Sheet Number	Sheet Title
1	Cover
2	Overall Grading Plan
3	Grading, Drainage & Erosion Control Plan
4	Grading, Drainage & Erosion Control Plan
5	Grading, Drainage & Erosion Control Plan
6	Grading, Drainage & Erosion Control Plan
7	Details
8	Details
9	Street Profiles
10	Street Profiles
11	Trail Cross Sections
12	Pre-Development Drainage Area Plan
13	Post-Development Drainage Area Plan

Vicinity Map



(Not to Scale)

NO.	DATE	REVISION	SHEETS
1	09/17/13	WATERSHED COMMENTS	ALL
2	10/16/13	WATERSHED COMMENTS	ALL
3	11/14/13	WATERSHED COMMENTS	ALL
4	11/25/13	CITY & WATERSHED COMMENTS	ALL
5	12/13/13	REVISED STORM SEWER	ALL
6	01/16/14	CITY COMMENTS	ALL
7	02/28/14	CITY COMMENTS	ALL
8	03/13/14	CITY COMMENTS	ALL
9	03/31/14	WATERSHED & CITY COMMENTS	ALL
10	04/22/14	XCEL COMMENTS	ALL
11	05/15/14	CITY COMMENTS	ALL
12	05/23/14	WATERSHED COMMENTS	ALL
13	08/08/14	REVISED PLAT/2ND ADDITION STORM SEWER	ALL

WARNING: XCEL TRANSMISSION LINES ARE PRESENT WITHIN THE PROJECT AREA.

EXCAVATION CLOSE TO STRUCTURE LOCATION.

A MINIMUM DISTANCE OF TEN (10) FEET OF SUPPORTED EARTH MUST BE MAINTAINED FROM ANY PART OF THE LINE STRUCTURE. SUPPORT OF THE GROUND BEYOND THE (10) FEET MAY BE PROVIDED BY A SLOPE NO GRATER THAN THREE FEET HORIZONTAL TO ONE FOOT VERTICAL. SUPPORT MAY ALSO BE PROVIDED BY THE USE OF CRIBBING, SHEET PILING, RETAINING WALL OR TUNNELING. THE SPECIFIC PLAN FOR PROVIDING THE REQUIRED SUPPORT AND THE EXCAVATION PLAN FOR THE PROPOSED PROJECT MUST BE SUBMITTED TO XCEL ENERGY FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION START.

CLEARANCE TO EQUIPMENT AND WORKERS

A WORKING CLEARANCE OF TWENTY (20) FEET BETWEEN THE ELECTRICAL CONDUCTORS AND ANY CRANES OR DIGGING EQUIPMENT USED AT CONDUCTOR ELEVATION IN OR NEAR THE EASEMENT AND A CLEARANCE OF TEN FOOT EIGHT INCHES (10'-8") TO THE PHYSICAL PROXIMITY OF WORKERS MUST BE MAINTAINED AT ALL TIMES. IN ADDITION, ANY CONSTRUCTION NEAR THE TRANSMISSION LINE(S) SHALL COMPLY WITH ALL OSHA SAFETY CLEARANCES. IF THE CLEARANCE CANNOT BE MAINTAINED, THE CONTRACTOR OR DEVELOPER MUST ARRANGE FOR A LINE OUTAGE BY CALLING THE PUBLIC UTILITY SYSTEM CONTROL DEPARTMENT (STEVE ROLLIN 612/330-2875). ADEQUATE ADVISED NOTICE MUST BE PROVIDED IN ORDER TO SCHEDULE A LINE OUTAGE, IF AN OUTAGE IS AVAILABLE.

Construction Plans

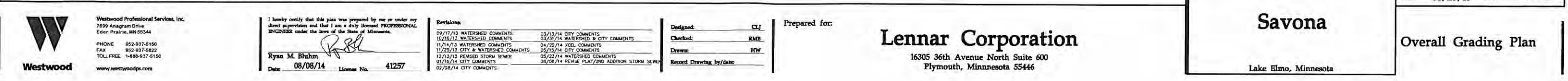
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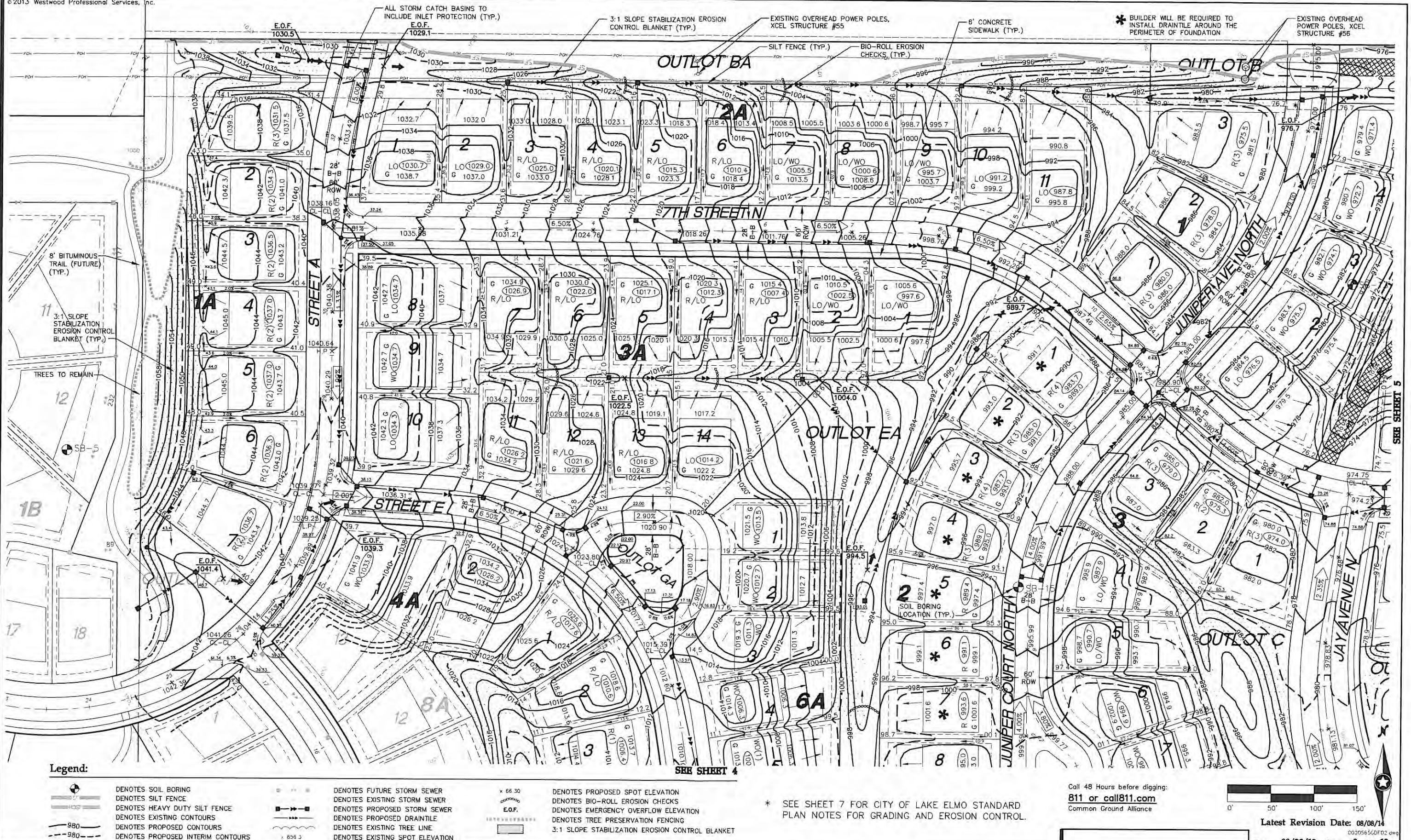
Grading, Drainage & Erosion Control Plans

for

Savona
Lake Elmo, Minnesota

Date: 08/23/13 Sheet: 1 of 13





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I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.

Ryan M. Blum
Date: 08/08/14 License No. 41257

Revisions:

09/17/13 WATERSHED COMMENTS	03/13/14 CITY COMMENTS
10/16/13 WATERSHED COMMENTS	03/21/14 WATERSHED & CITY COMMENTS
11/14/13 WATERSHED COMMENTS	04/22/14 XCEL COMMENTS
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01/16/14 CITY COMMENTS	08/06/14 REVISE PLAT/2ND ADDITION STORM SEWER
02/28/14 CITY COMMENTS	

Designed: CLJ
Checked: RMW
Drawn: HW
Record Drawing by/date:

Prepared for:

Lennar Corporation

16305 36th Avenue North Suite 600
Plymouth, Minnesota 55446

Savona

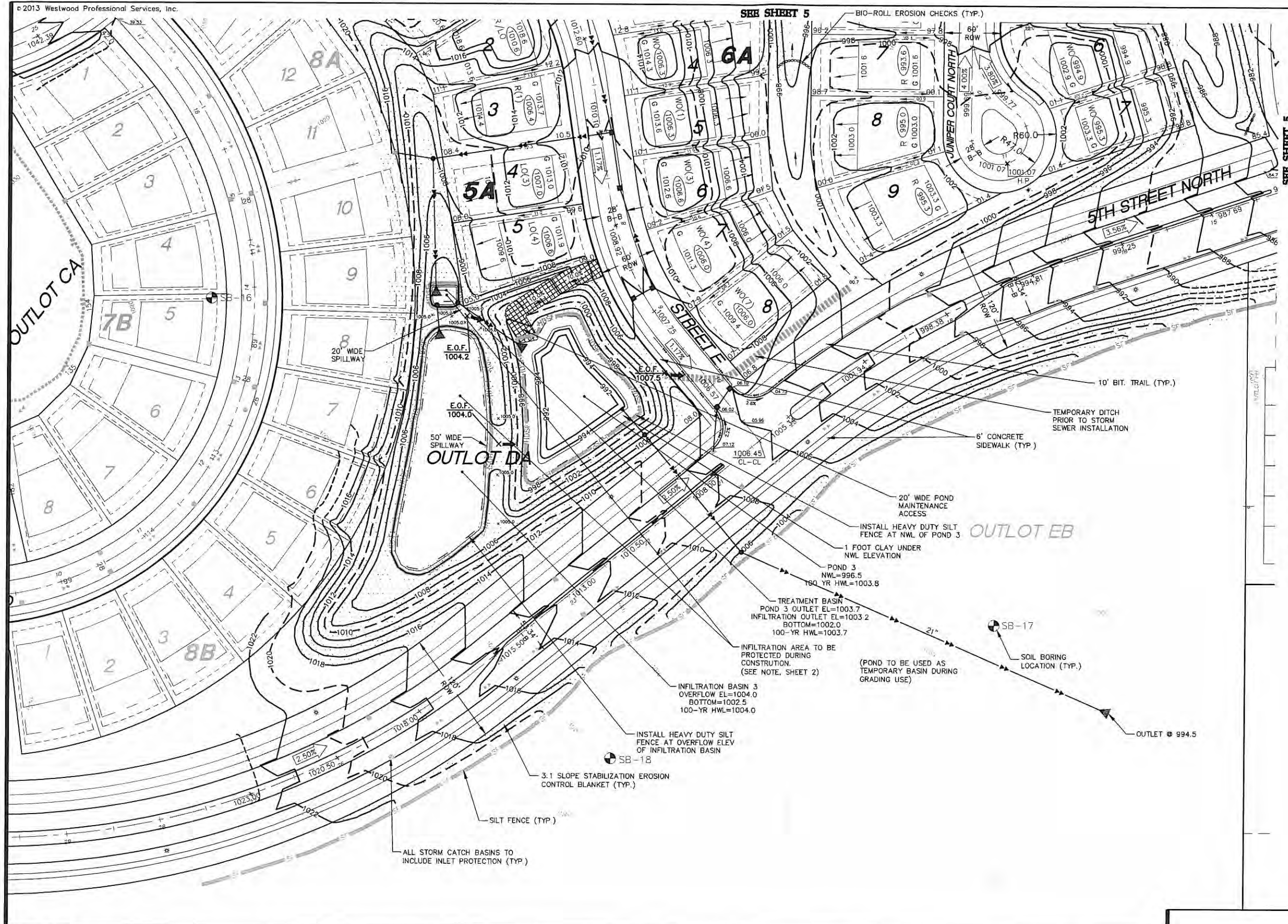
Lake Elmo, Minnesota

Grading, Drainage & Erosion Control Plan

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Common Ground Alliance

Latest Revision Date: 08/08/14

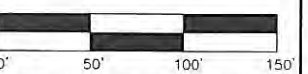
Date: 08/23/13 Sheet 3 OF 13



LEGEND:

- DENOTES SOIL BORING
- DENOTES SILT FENCE
- DENOTES HEAVY DUTY SILT FENCE
- DENOTES EXISTING CONTOURS
- DENOTES PROPOSED CONTOURS
- DENOTES PROPOSED INTERIM CONTOURS
- DENOTES FUTURE STORM SEWER
- DENOTES EXISTING STORM SEWER
- DENOTES PROPOSED STORM SEWER
- DENOTES PROPOSED DRAIN TILE
- DENOTES EXISTING TREE LINE
- x 856.3 DENOTES EXISTING SPOT ELEVATION
- x 66.30 DENOTES PROPOSED SPOT ELEVATION
- E.O.F. DENOTES BIO-ROLL EROSION CHECKS
- DENOTES EMERGENCY OVERFLOW ELEVATION
- DENOTES TREE PRESERVATION FENCING
- 3:1 SLOPE STABILIZATION EROSION CONTROL BLANKET

* SEE SHEET 7 FOR CITY OF LAKE ELMO STANDARD PLAN NOTES FOR GRADING AND EROSION CONTROL.



Latest Revision Date: 08/08/14
Date: 08/23/13 Sheet: 4 OF 13



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Designed:	CLJ
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Prepared for:

Lennar Corporation
16305 36th Avenue North Suite 600
Plymouth, Minnesota 55446

Savona
Lake Elmo, Minnesota

Grading, Drainage & Erosion Control Plan

20' WIDE POND
MAINTENANCE ACCESS

INFILTRATION AREA TO BE
PROTECTED DURING
CONSTRUCTION. (SEE NOTE,
SHEET 2)

TREATMENT BASIN
POND 6 OUTLET EL=957.7
INFILTRATION OUTLET EL=957.2
BOTTOM=956.0
100-YR HWL=957.7

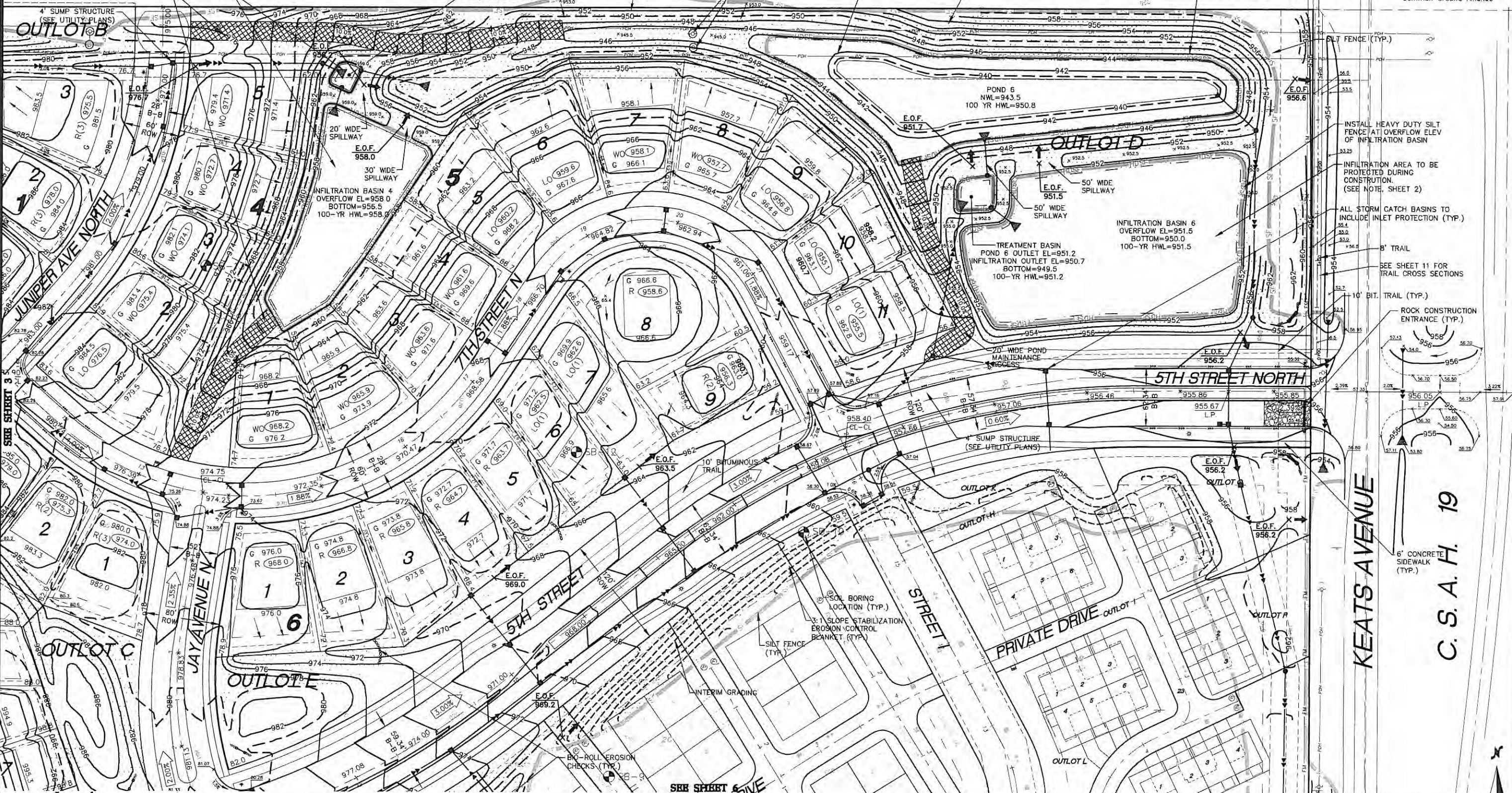
EXISTING OVERHEAD
POWER POLES, XCEL
STRUCTURE #57

1 FOOT CLAY UNDER
NWL ELEVATION

3:1 SLOPE STABILIZATION EROSION
CONTROL BLANKET (TYP.)

INSTALL HEAVY DUTY SILT
FENCE AT NWL OF POND 6

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Legend:

- | | | | |
|--|-----------------------------------|--|---------------------------------|
| | DENOTES SOIL BORING | | DENOTES FUTURE STORM SEWER |
| | DENOTES SILT FENCE | | DENOTES PROPOSED STORM SEWER |
| | DENOTES HEAVY DUTY SILT FENCE | | DENOTES PROPOSED DRAIN |
| | DENOTES EXISTING CONTOURS | | DENOTES EXISTING TREE LINE |
| | DENOTES PROPOSED CONTOURS | | DENOTES EXISTING SPOT ELEVATION |
| | DENOTES PROPOSED INTERIM CONTOURS | | |

SEE SHEET 6

* SEE SHEET 7 FOR CITY OF LAKE ELMO STANDARD
PLAN NOTES FOR GRADING AND EROSION CONTROL.



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Date: 08/23/13 Sheet: 5 OF 13



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www.westwoodps.com

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Ryan M. Blum
Date: 08/08/14 License No. 41257

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11/14/13 WATERSHED COMMENTS
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04/22/14 XCEL COMMENTS
05/15/14 CITY COMMENTS
05/20/14 WATERSHED COMMENTS
08/08/14 REVISE PLAT/2ND ADDITION STORM SEWER

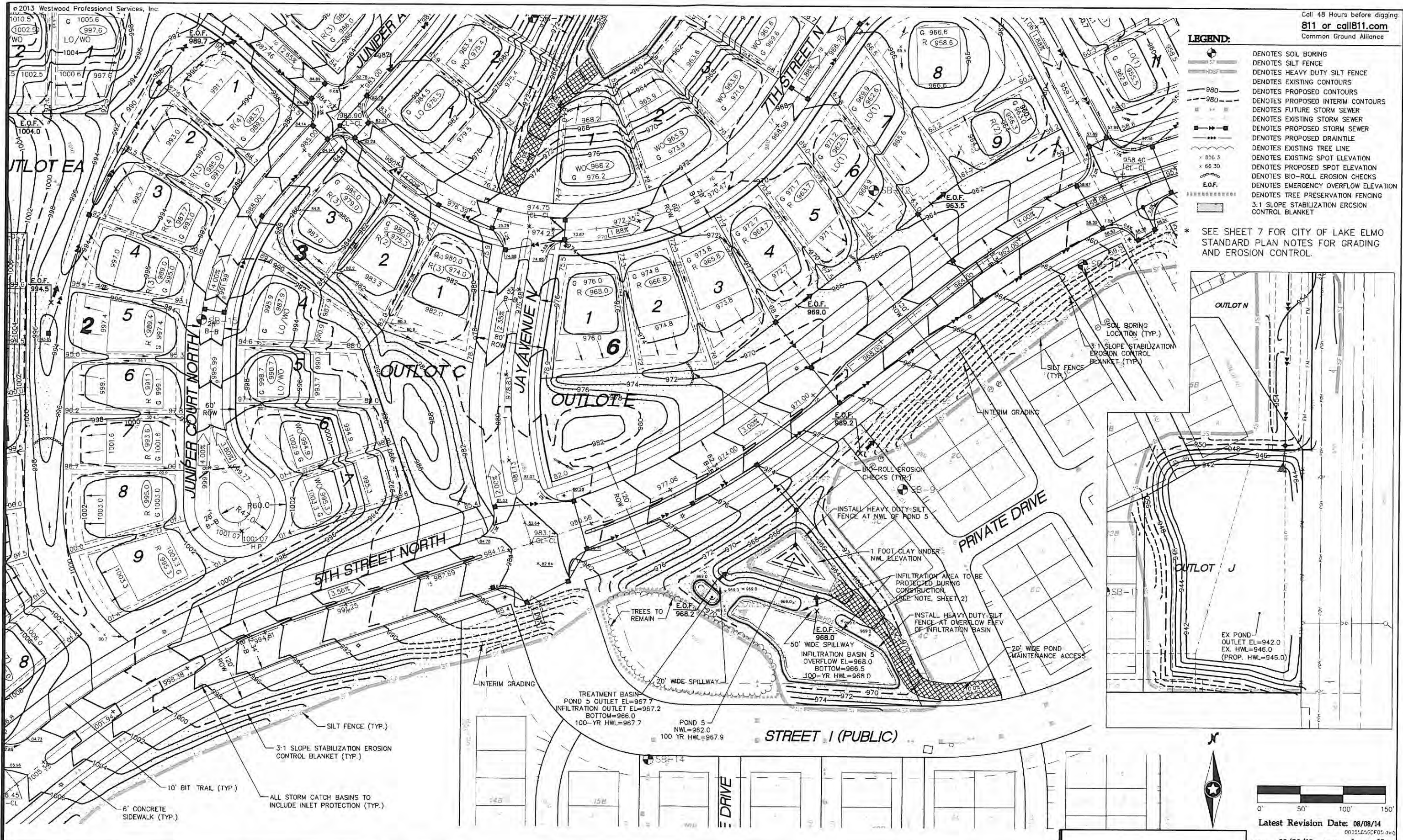
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Checked: RMB
Drawn: HW
Record Drawing by/date:

Prepared for:

Lennar Corporation
16305 36th Avenue North Suite 600
Plymouth, Minnesota 55446

Savona
Lake Elmo, Minnesota

Grading, Drainage &
Erosion Control Plan



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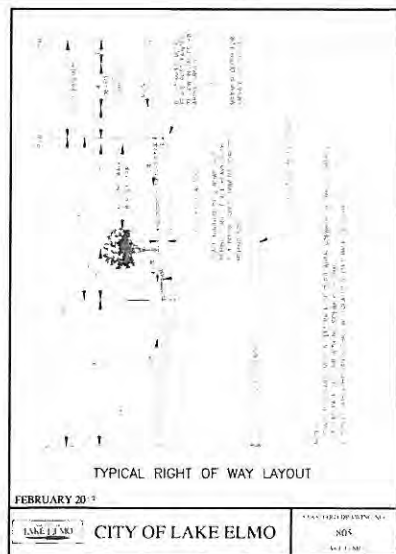
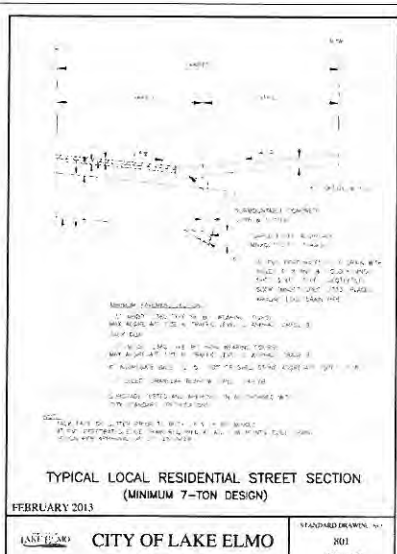
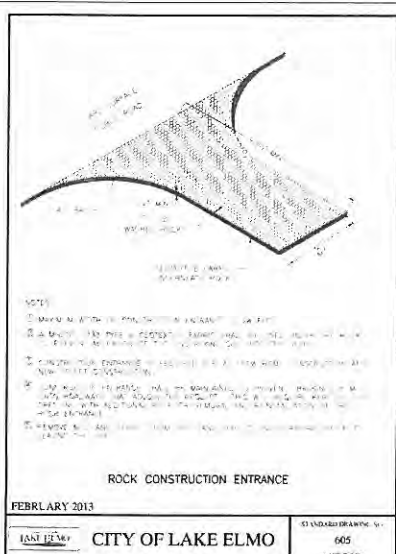
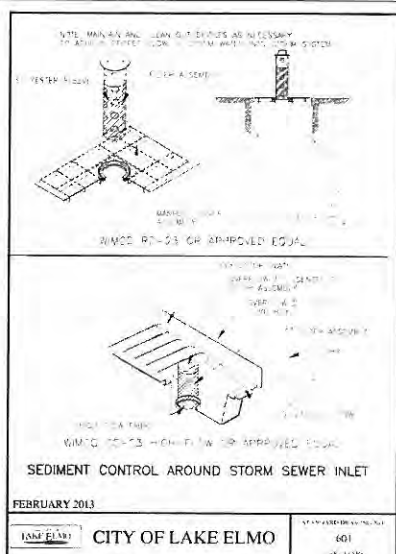
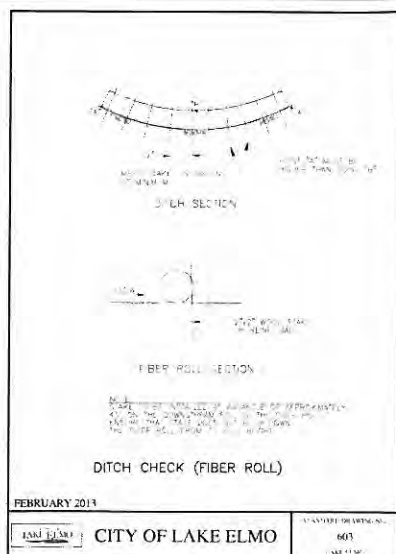
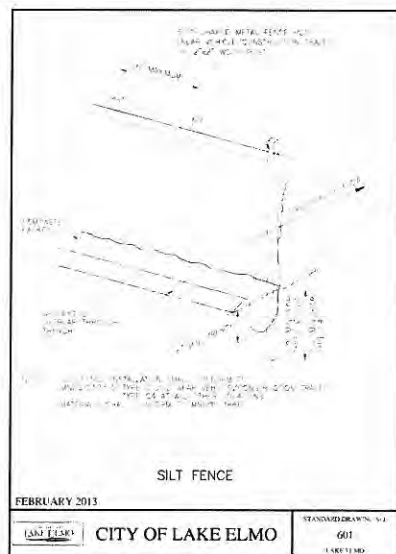
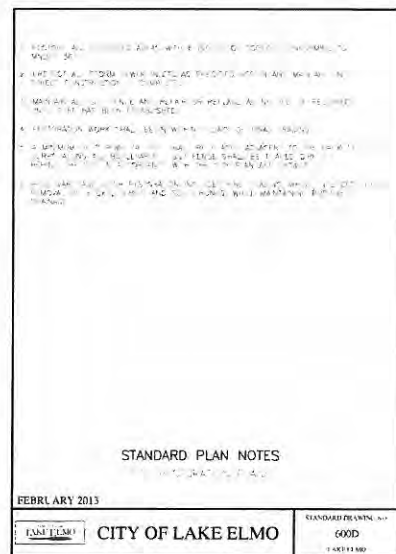
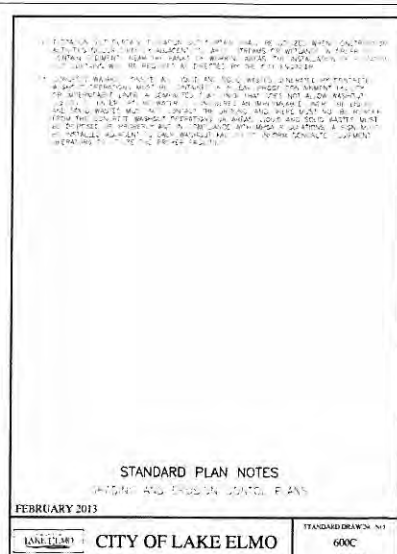
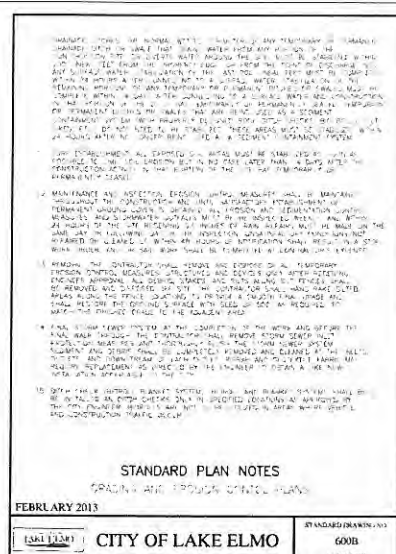
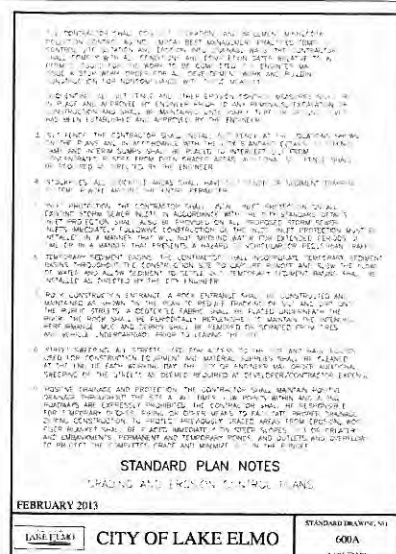
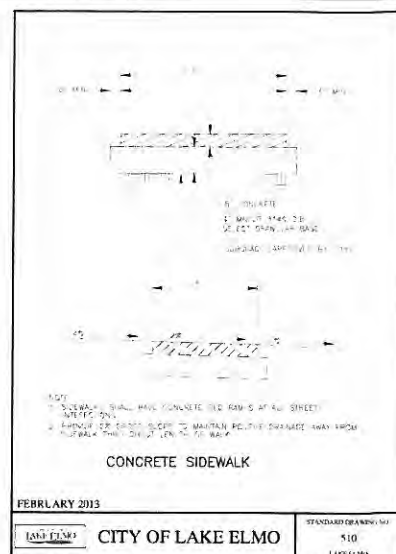
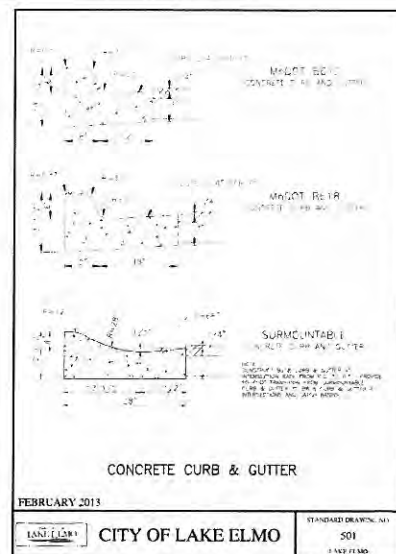
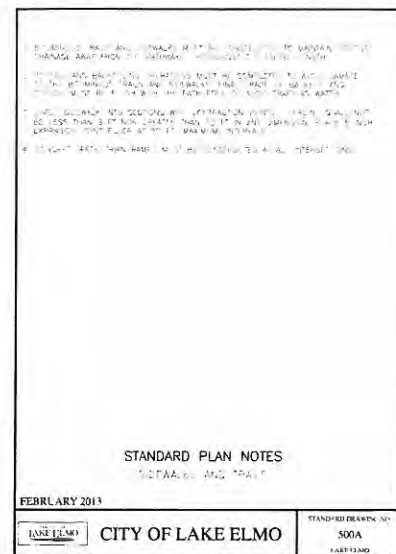
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Savona
Lake Elmo, Minnesota

Grading, Drainage & Erosion Control Plan

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Ryan M. Blum
Date: 08/08/14 License No. 41257

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02/26/14 CITY COMMENTS	

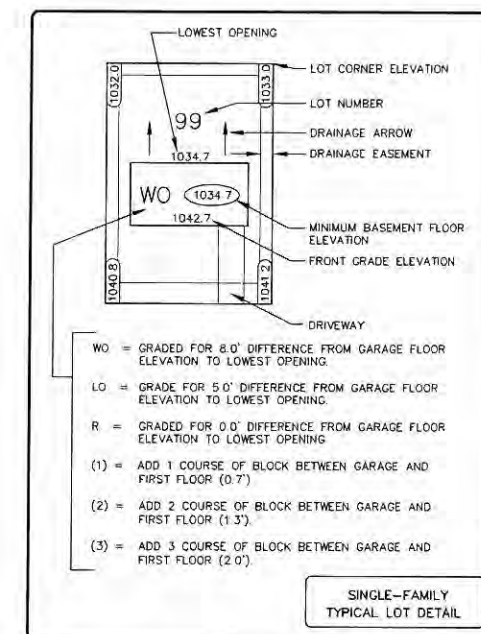
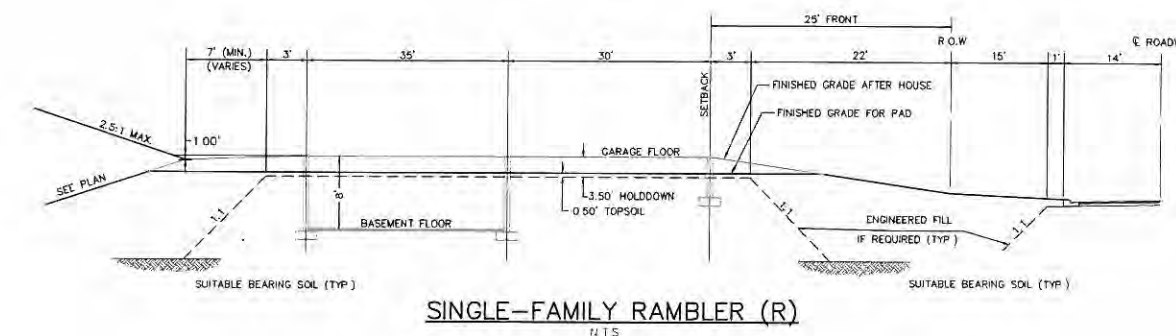
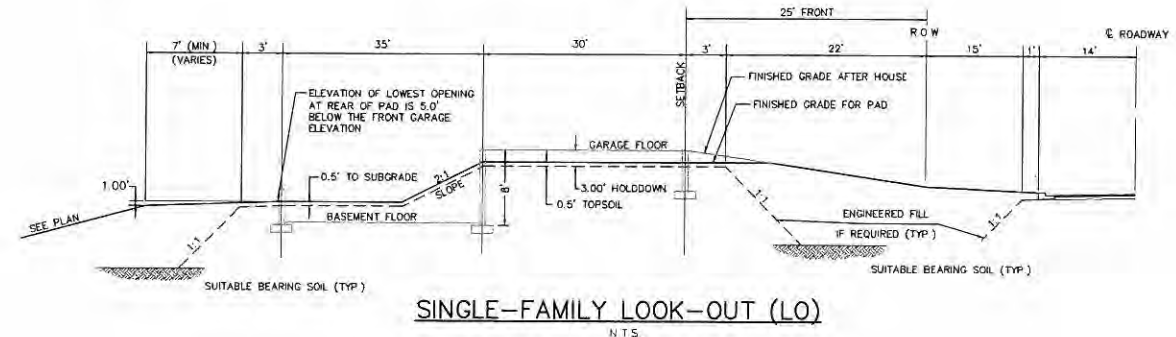
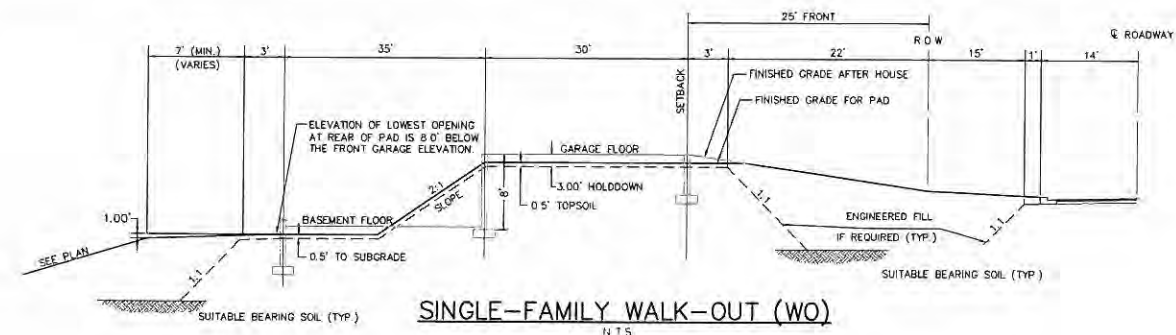
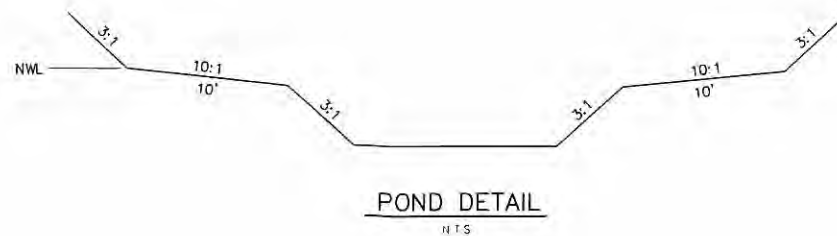
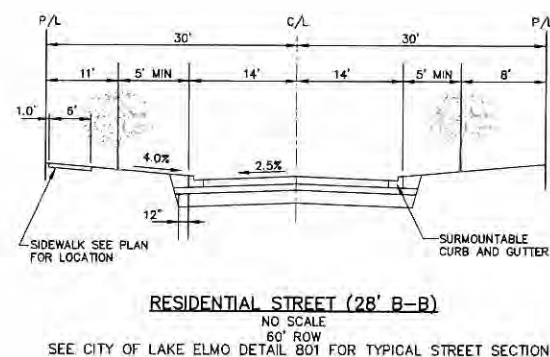
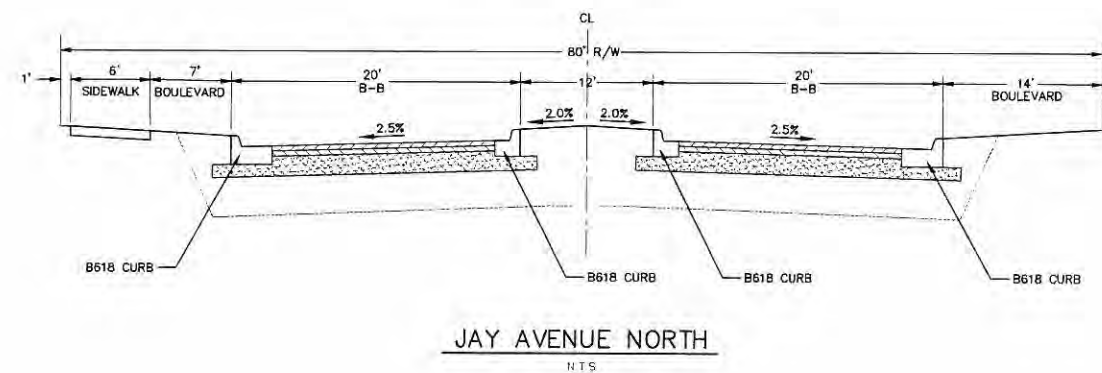
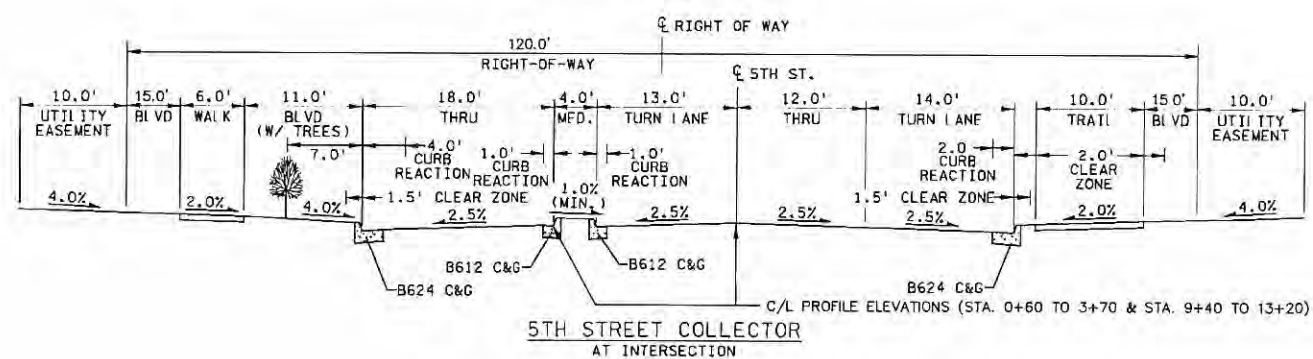
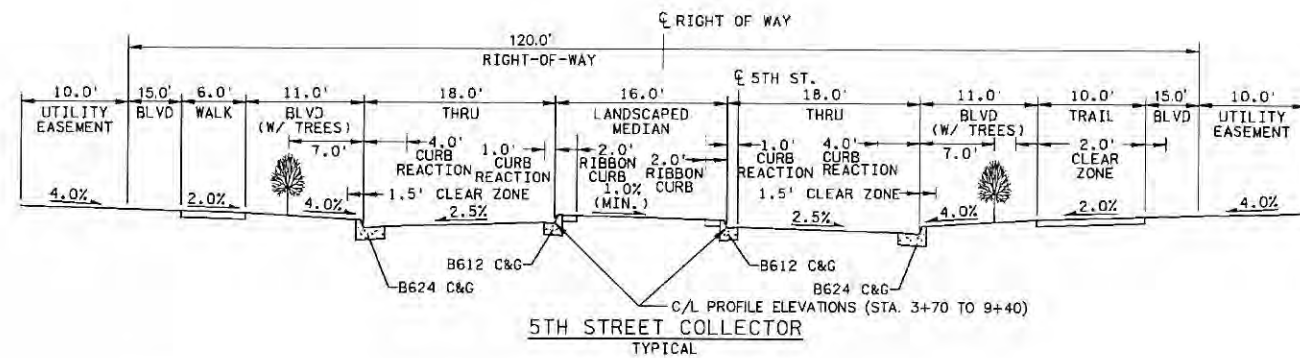
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Drawn: HW
Record Drawing by/date:

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Lennar Corporation
16305 36th Avenue North Suite 600
Plymouth, Minnesota 55446

Savona
Lake Elmo, Minnesota

Details



- WO = GRADED FOR 8.0' DIFFERENCE FROM GARAGE FLOOR ELEVATION TO LOWEST OPENING.
- LO = GRADE FOR 5.0' DIFFERENCE FROM GARAGE FLOOR ELEVATION TO LOWEST OPENING.
- R = GRADED FOR 0.0' DIFFERENCE FROM GARAGE FLOOR ELEVATION TO LOWEST OPENING.
- (1) = ADD 1 COURSE OF BLOCK BETWEEN GARAGE AND FIRST FLOOR (0.7').
- (2) = ADD 2 COURSE OF BLOCK BETWEEN GARAGE AND FIRST FLOOR (1.3').
- (3) = ADD 3 COURSE OF BLOCK BETWEEN GARAGE AND FIRST FLOOR (2.0').

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Date: 08/23/13 Sheet: 8 OF 13



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Ryan M. Bluhm
 Date: 08/08/14 License No. 41257

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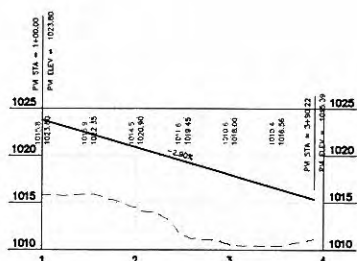
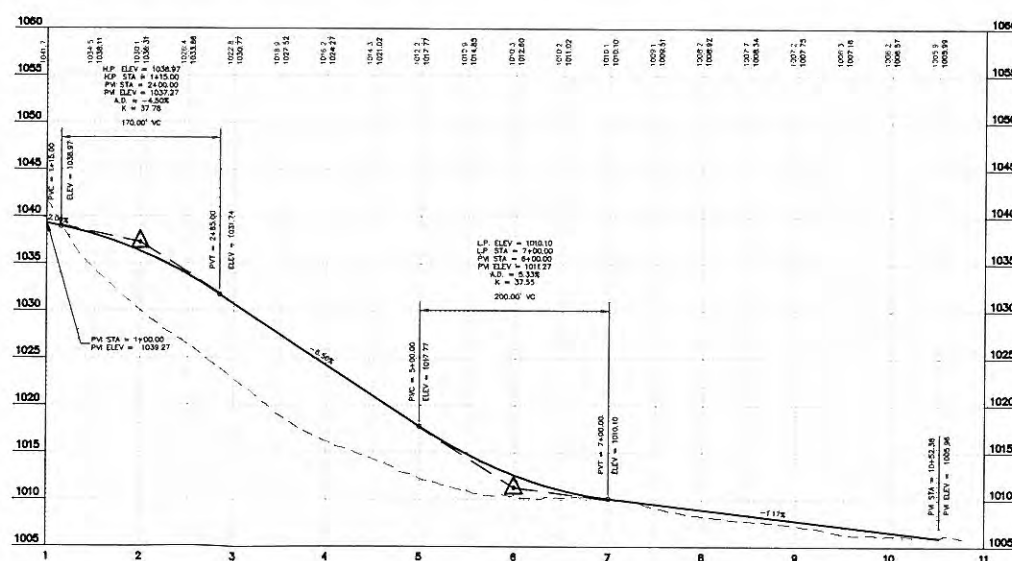
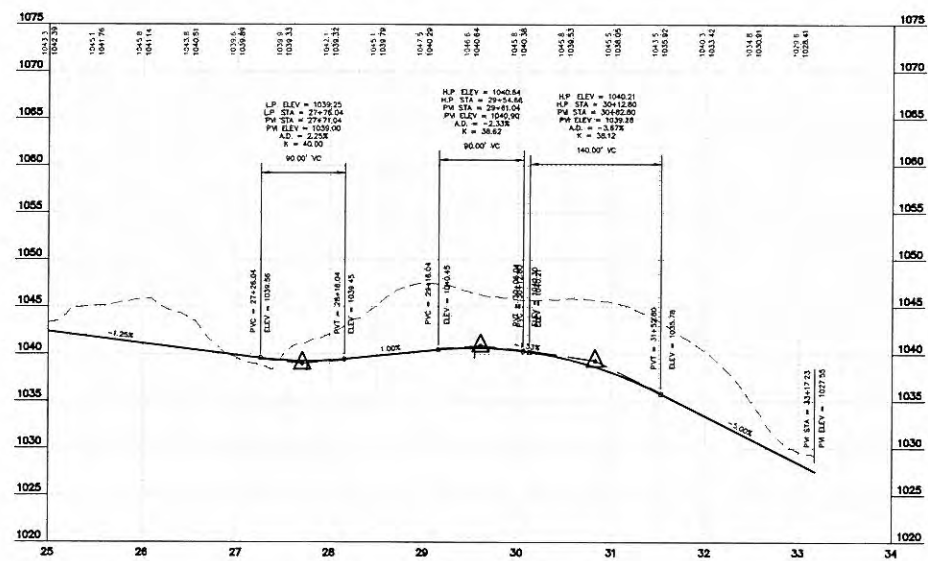
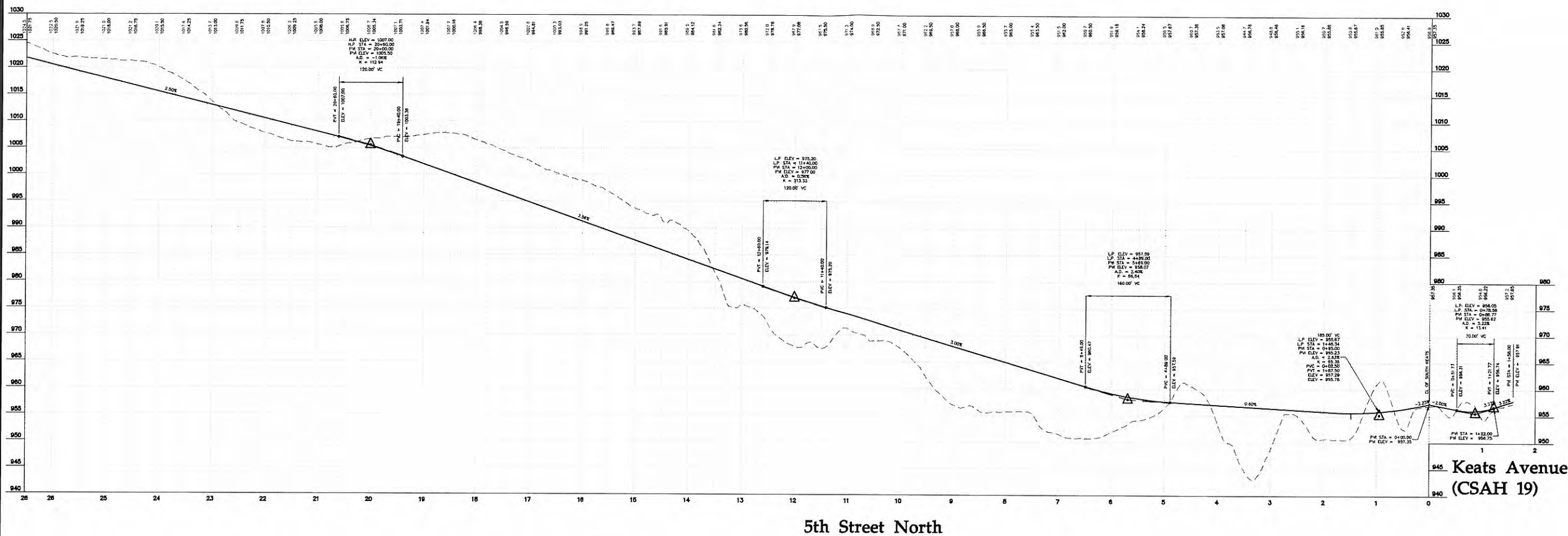
Designed: CLJ
 Checked: RMB
 Drawn: HW
 Record Drawing by/date:

Prepared for:

Lennar Corporation
 16305 36th Avenue North Suite 600
 Plymouth, Minnesota 55446

Savona
 Lake Elmo, Minnesota

Details



Latest Revision Date: 08/08/14

00025650.TF03.dwg

Date: 08/23/13 Sheet: 9 OF 13



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Prepared for:

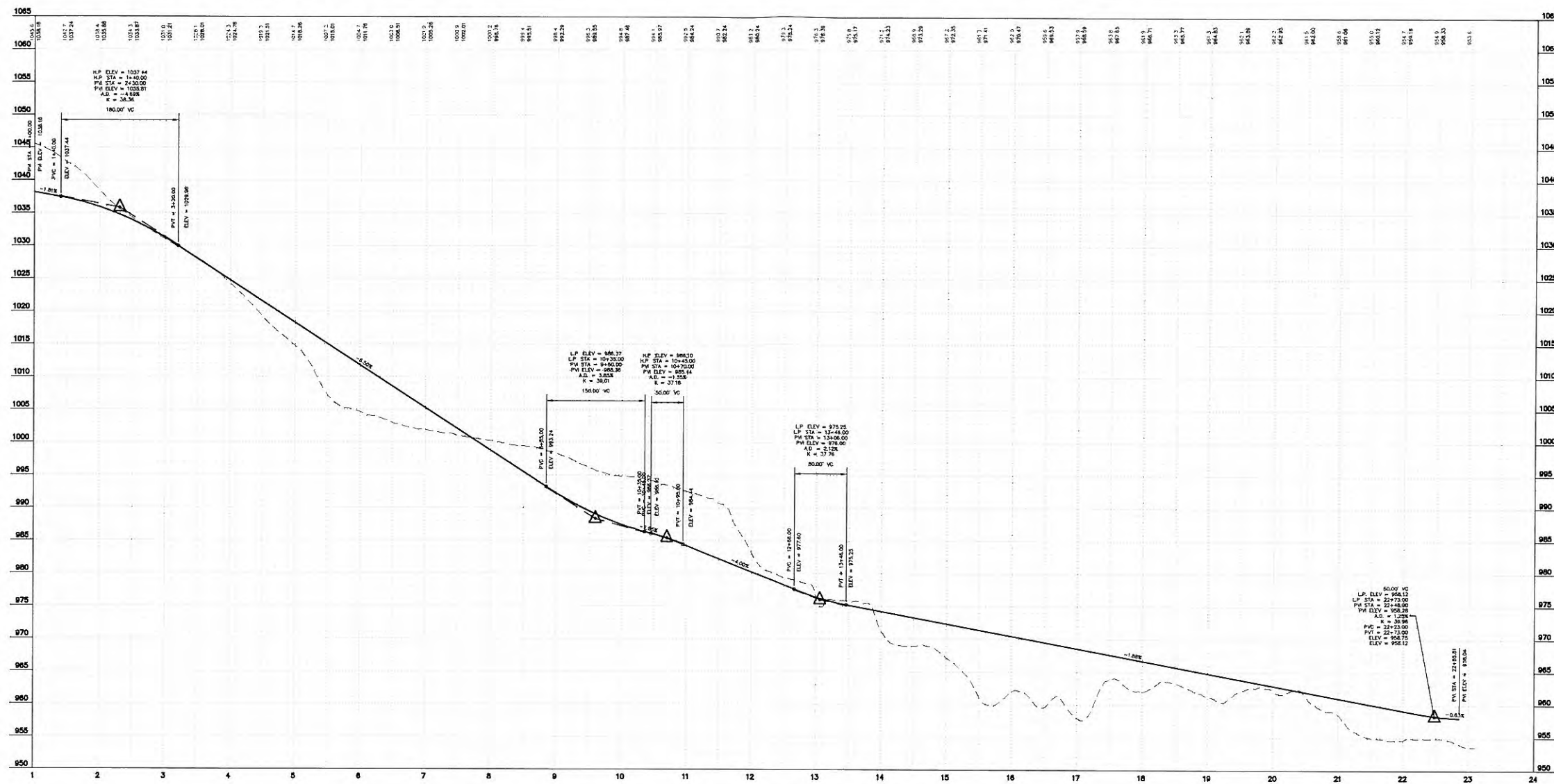
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16305 36th Avenue North Suite 600
Plymouth, Minnesota 55446

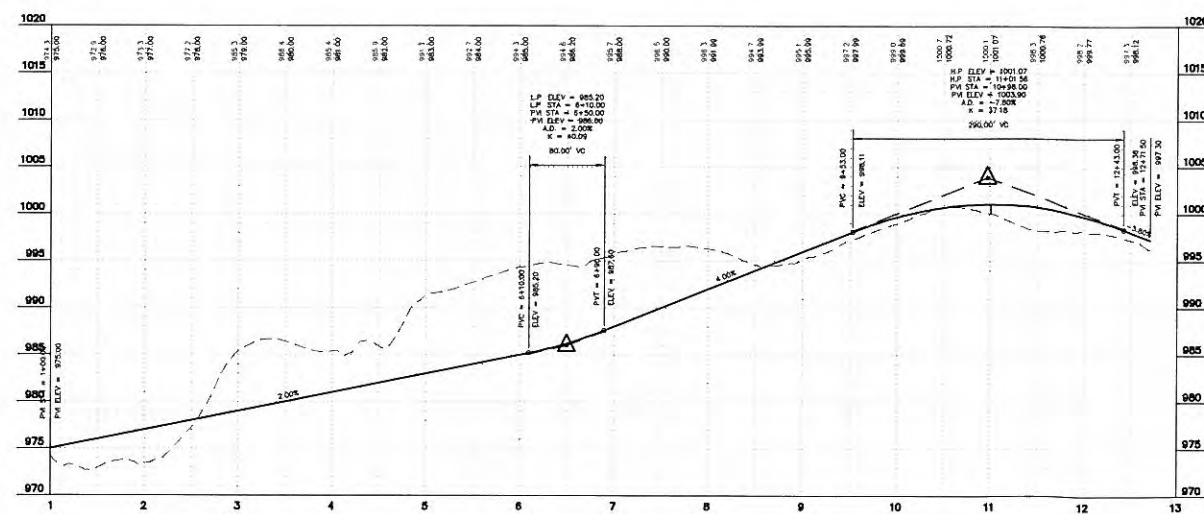
Savona

Lake Elmo, Minnesota

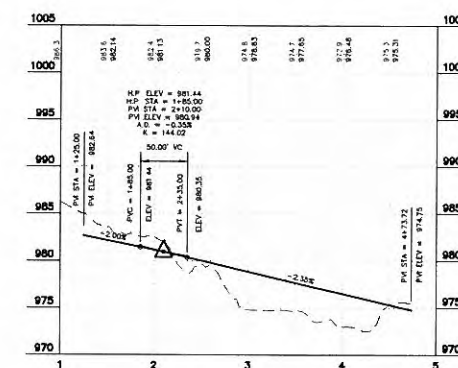
Street Profiles



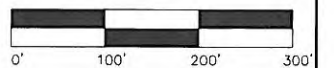
7th Street North



Juniper Avenue North & Juniper Court North



Jay Avenue North



Latest Revision Date: 08/08/14

Date: 08/23/13 Sheet: 10 OF 13



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7099 Anagram Drive
Eden Prairie, MN 55344
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FAX 952-937-5822
TOLL FREE 1-888-937-5150
www.westwoodps.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.

Ryan M. Bluhm
Date: 08/08/14 License No. 41257

Revisions:

09/17/13 WATERSHED COMMENTS	03/13/14 CITY COMMENTS
10/16/13 WATERSHED COMMENTS	03/31/14 WATERSHED & CITY COMMENTS
11/14/13 WATERSHED COMMENTS	04/22/14 JCL COMMENTS
12/25/13 CITY & WATERSHED COMMENTS	05/15/14 CITY COMMENTS
12/23/13 REVISD STORM SEWER	05/23/14 WATERSHED COMMENTS
01/15/14 CITY COMMENTS	06/06/14 REVISE PLAT/2ND ADDITION STORM SEWER
02/28/14 CITY COMMENTS	

Designed: CLJ
Checked: RMB
Drawn: HW
Record Drawing by/date:

Prepared by:

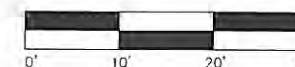
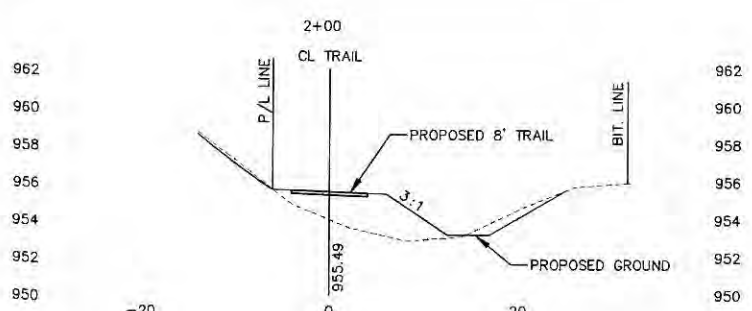
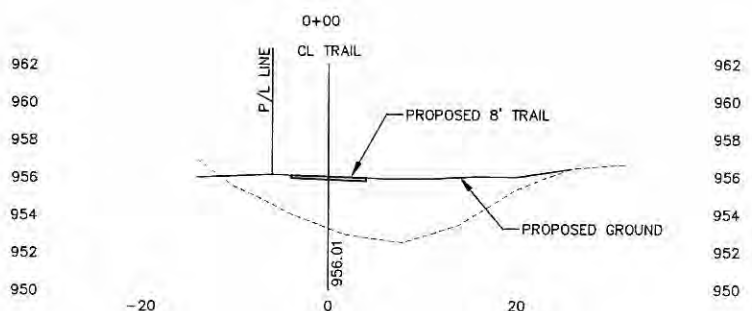
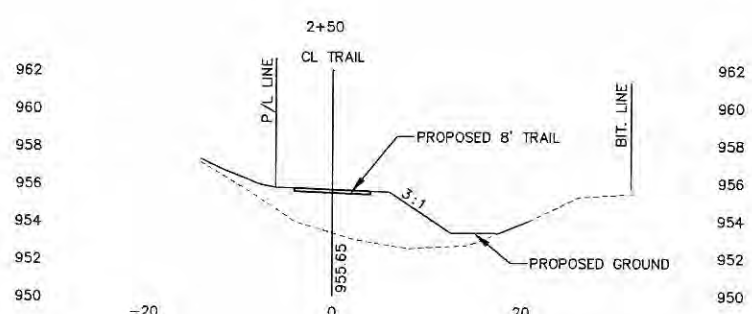
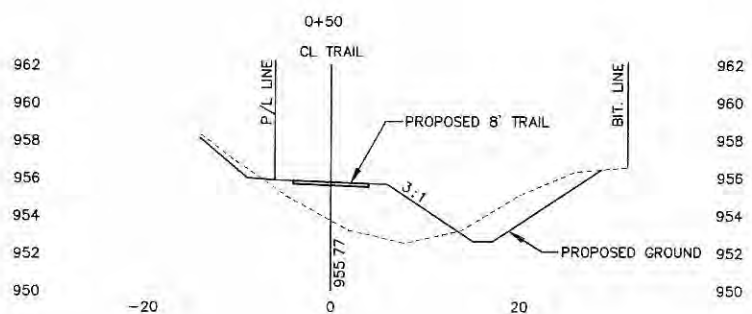
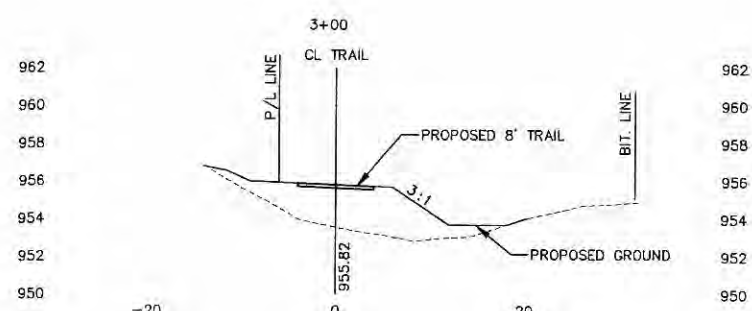
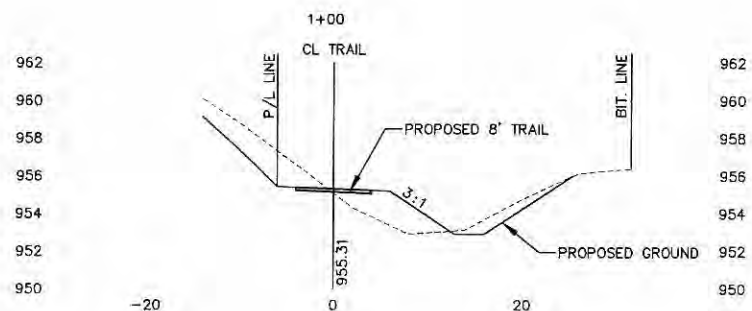
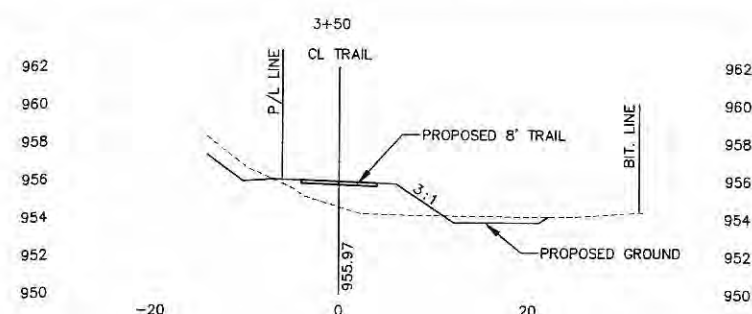
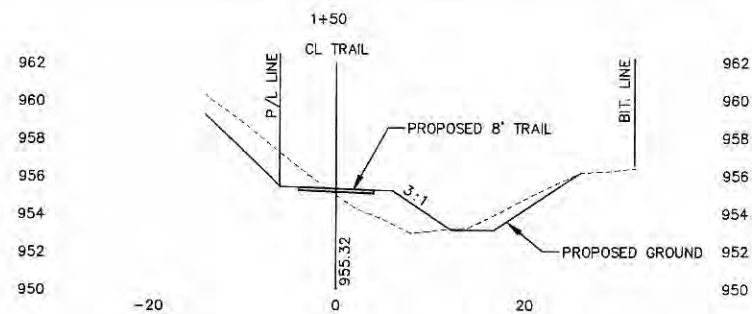
Lennar Corporation

16305 36th Avenue North Suite 600
Plymouth, Minnesota 55446

Savona

Lake Elmo, Minnesota

Street Profiles



Latest Revision Date: 08/08/14

Date: 08/23/13 Sheet 11 OF 13



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RMB
Ryan M. Bluhm
Date: 08/08/14 License No. 41257

Revisions:
08/17/13 WATERSHED COMMENTS 03/13/14 CITY COMMENTS
10/16/13 WATERSHED COMMENTS 03/31/14 WATERSHED & CITY COMMENTS
11/14/13 WATERSHED COMMENTS 04/22/14 XCEL COMMENTS
12/25/13 CITY & WATERSHED COMMENTS 05/15/14 CITY COMMENTS
12/13/13 REVISED STORM SEWER 06/23/14 WATERSHED COMMENTS
07/15/14 CITY COMMENTS 08/08/14 REVISE PLAT/2ND ADDITION STORM SEWER
02/26/14 CITY COMMENTS

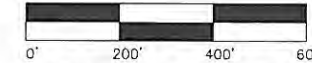
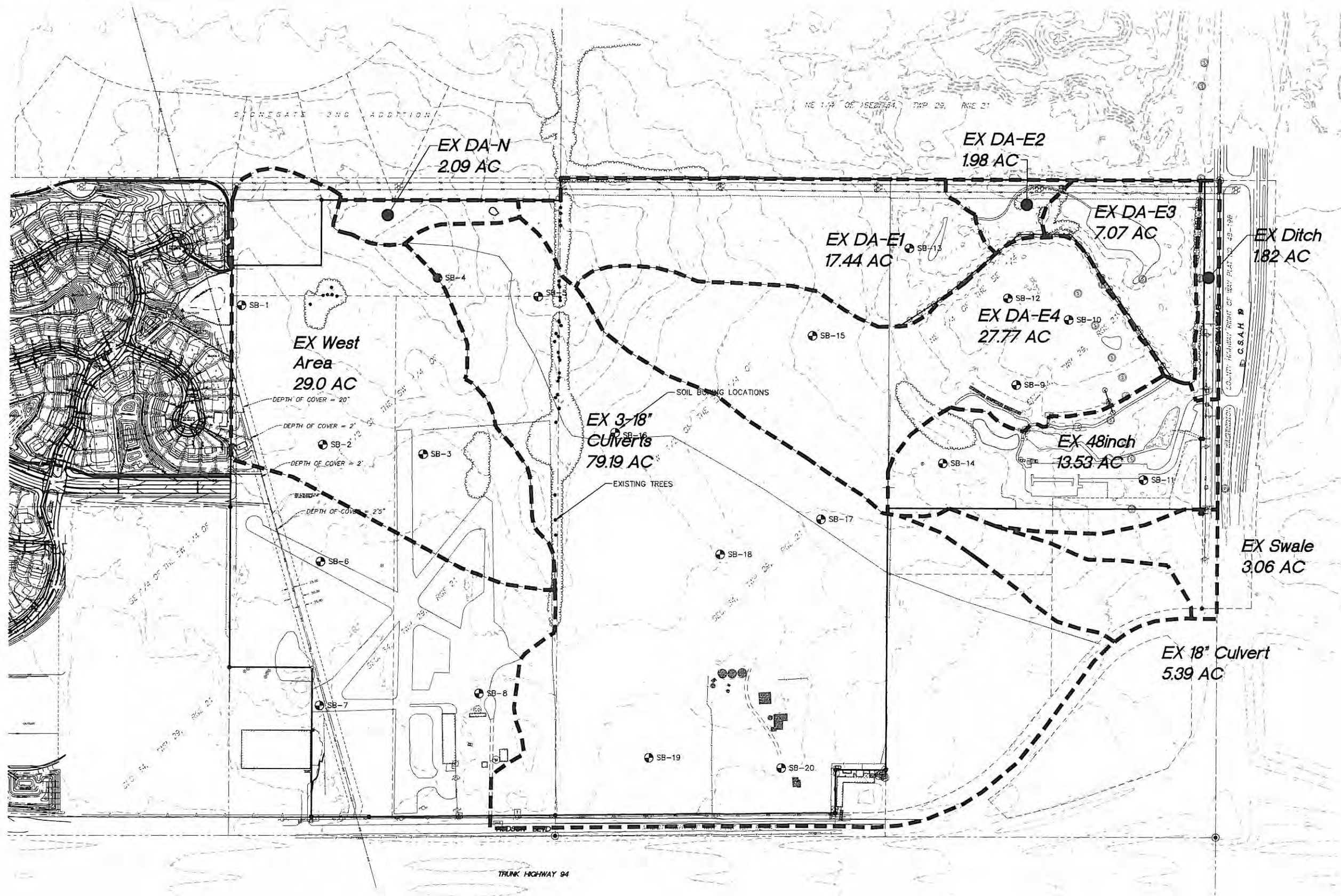
Designed: CLJ
Checked: RMB
Drawn: HW
Record Drawing by/date:

Prepared for:

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Savona
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Trail Cross Sections



Latest Revision Date: 08/08/14

Date: 08/23/13 Sheet: 12 OF 13

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R. Bluhm
Ryan M. Bluhm
Date: 08/08/14 License No. 41257

Revisions:

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10/16/13 WATERSHED COMMENTS	03/21/14 WATERSHED & CITY COMMENTS
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01/15/14 CITY COMMENTS	06/06/14 REVISE PLAT/2ND ADDITION STORM SEWER
02/26/14 CITY COMMENTS	

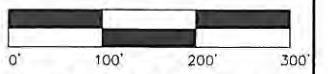
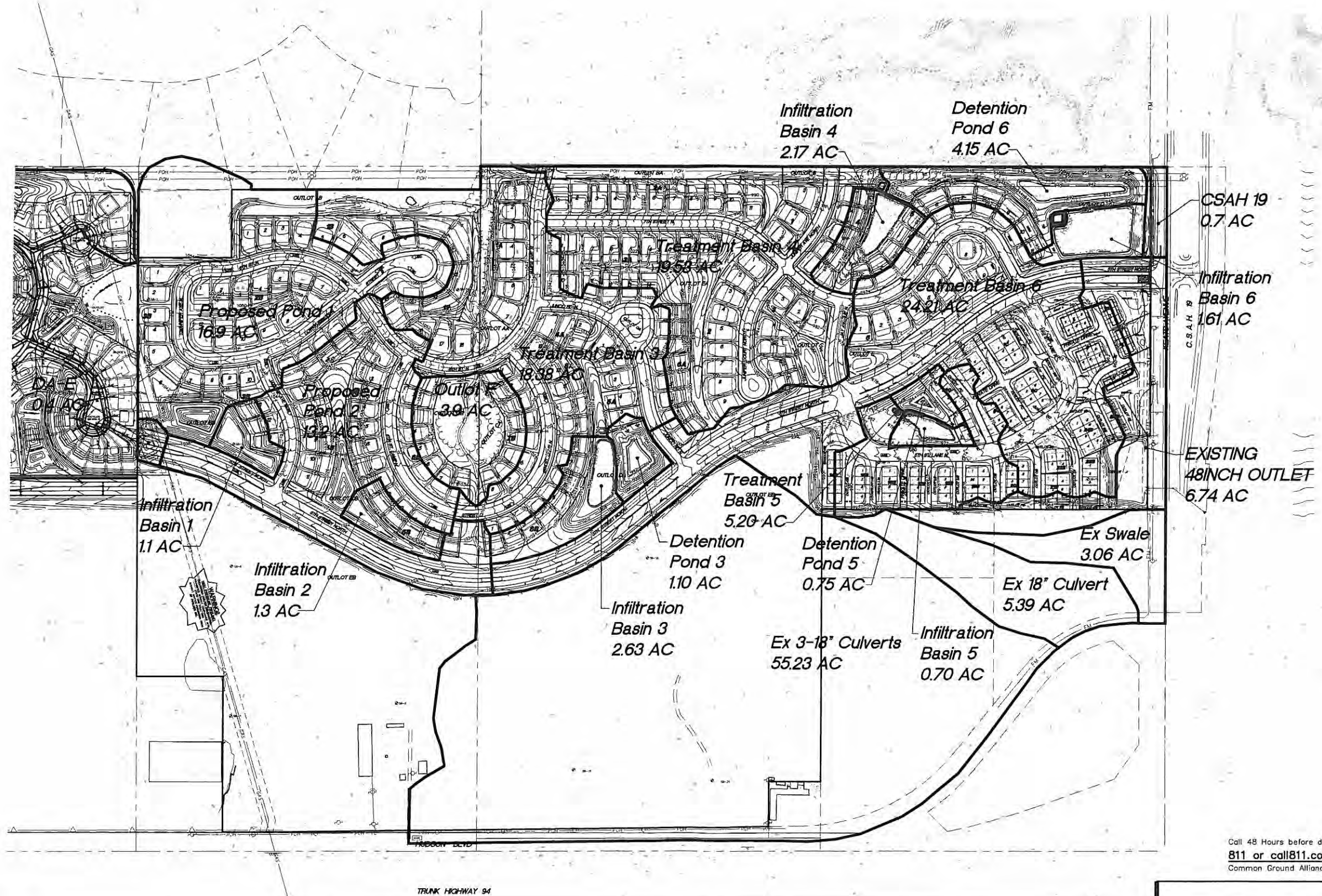
Designed: CLJ
Checked: RMB
Drawn: HW
Record Drawing by/date:

Prepared for:

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Plymouth, Minnesota 55446

Savona
Lake Elmo, Minnesota

Pre-Development
Drainage Area Plan



Call 48 Hours before digging:
811 or call811.com
 Common Ground Alliance

Latest Revision Date: 08/08/14
 00005650AF02.GWG
 Date: 08/23/13 Sheet: 13 OF 13

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Ryan M. Bluhm
 Date: 08/08/14 License No. 41257

Revisions:	
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10/16/13 WATERSHED COMMENTS	03/28/14 WATERSHED & CITY COMMENTS
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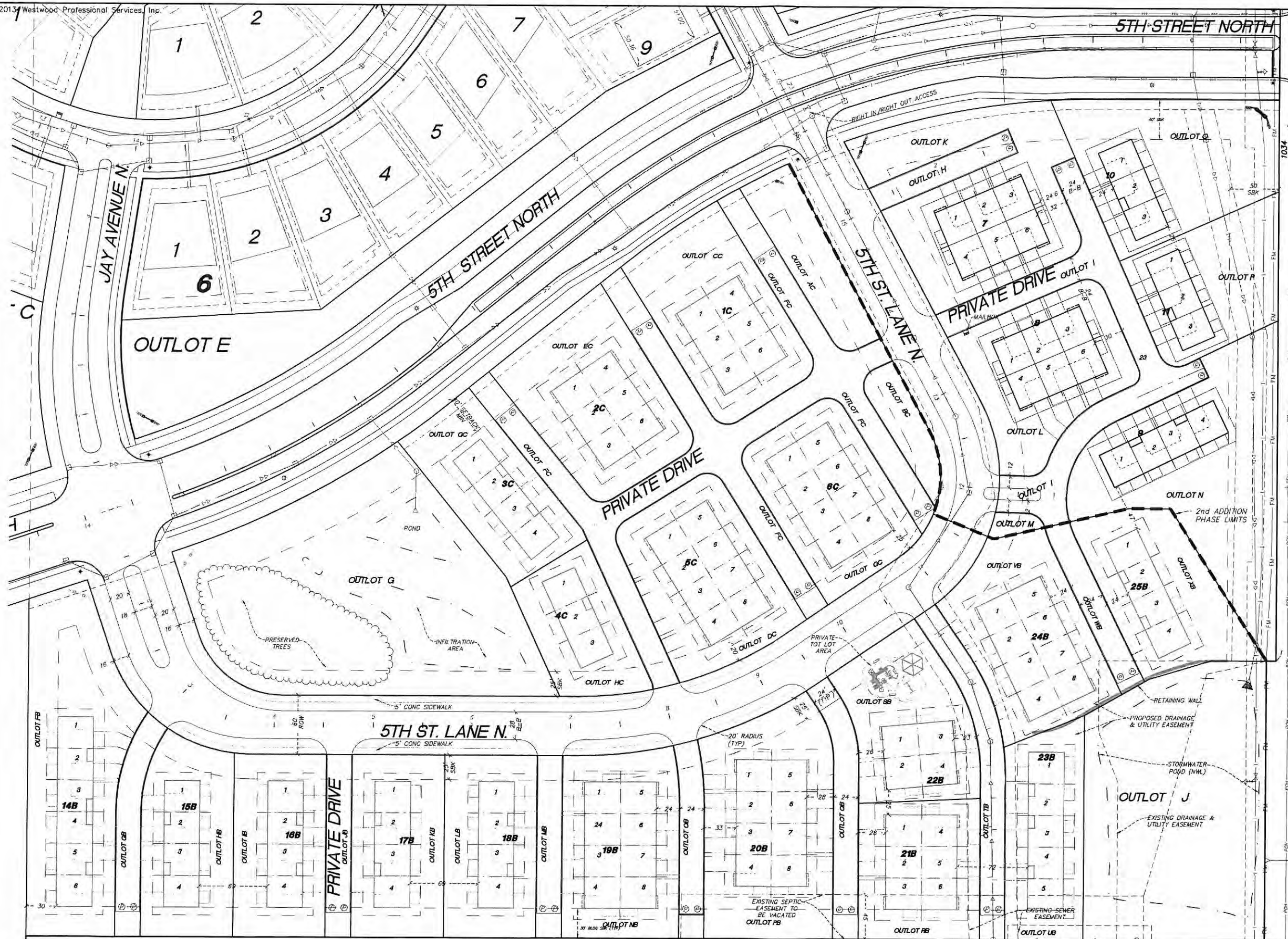
Designed: **CLJ**
 Checked: **RMB**
 Drawn: **HW**
 Record Drawing by/date:

Prepared for:

Lennar Corporation
 16305 36th Avenue North Suite 600
 Plymouth, Minnesota 55446

Savona
 Lake Elmo, Minnesota

**Post-Development
 Drainage Area Plan**

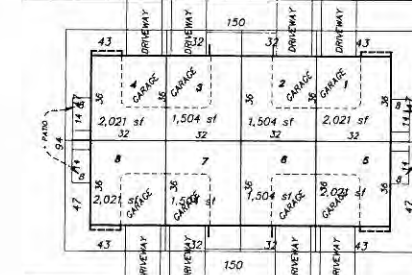
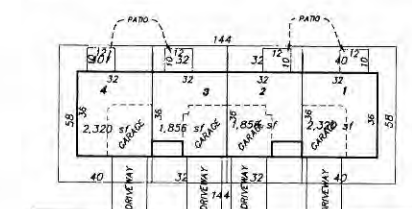
**Proposed Multi-Family Development Standards**

Site Area per Unit:	
Required Site Area per unit	4,000 sf
Provided Gross Site Area per unit	7,426 sf

Impervious Coverage:	
Maximum Impervious Coverage	50%
Proposed Impervious Coverage (Overall Block 7A, 14A & 15A)	43%

Open Space Requirements:	
Required Open Space Per unit	500 sf
Provided Open Space Per unit (Outlot G & Common Lots 23, 36 & 63 /122 un)	1,845 sf

Processed Setbacks (minimums):	
Internal ROW:	25'
Keats Ave:	50' to structures
5th Street Collector:	40' to structures
Adjacent Property:	30'
Separation - Building to Building:	25' typ
Private Drive Street Width:	24' typ (bb)
Private Driveway Length:	22' min, 24' typical
Min bldg setback to private street (side):	20' min
Off-street Guest Parking provided:	0.25 per unit x 122 un = 30 stalls

Typical Multi-Family Lot Details

NOT FOR CONSTRUCTION

Savona 2nd Addition

Lake Elmo, Minnesota

Date: 7/30/14 Sheet: 1 OF 1

Final Site Plan -
Townhome Area

Westwood

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Eden Prairie, MN 55344
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www.westwoodps.com

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Ryan M. Bluhm
Date: 7/30/14 License No. 41257

Revisions:
6-0-14 REV PLAT

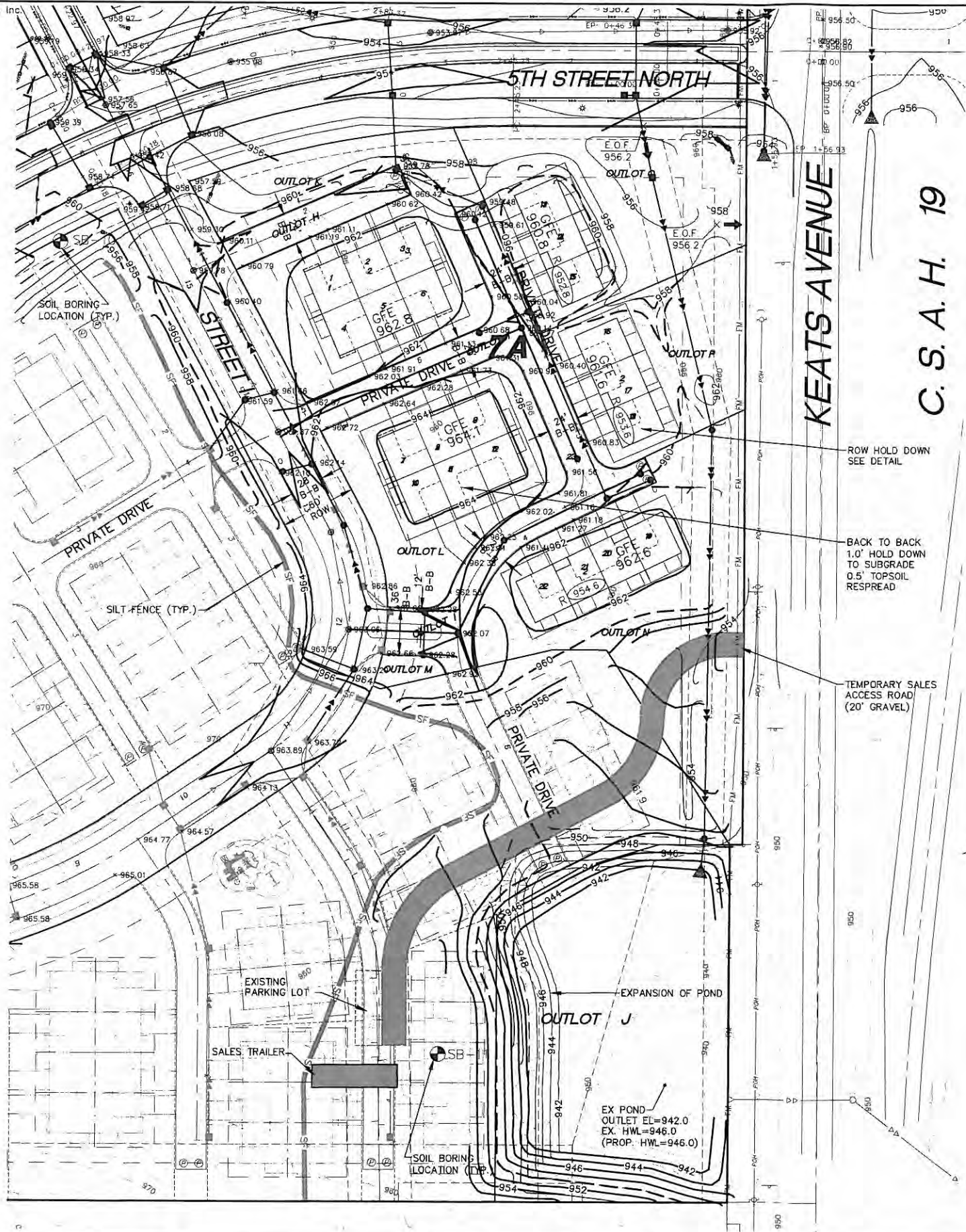
Designed: CLM
Checked: RMB
Drawn: CLM
Record Drawing by/date:

Prepared for:

Lennar Corporation

16305 36th Avenue North Suite 600
Plymouth, Minnesota, 55446

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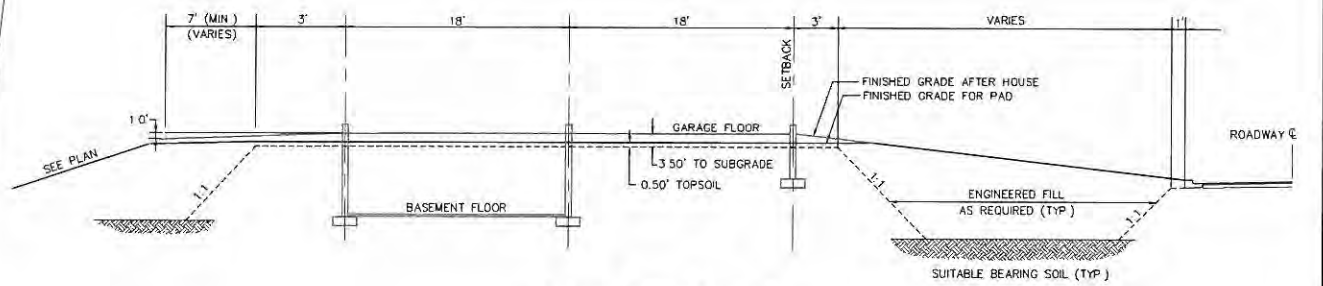
GENERAL NOTES:

- ALL CONTOURS AND SPOT ELEVATIONS ARE SHOWN TO FINISHED SURFACE/GUTTER GRADES UNLESS OTHERWISE NOTED.
- REFER TO THE SITE PLAN/RECORD PLAT FOR MOST CURRENT HORIZONTAL SITE DIMENSIONS AND LAYOUT.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING UTILITIES AND TOPOGRAPHICAL FEATURES WITH THE OWNERS AND FIELD-VERIFY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM PLAN.

* SEE SAVONA FINAL GRADING PLAN SHEET 7 FOR CITY OF LAKE ELMO STANDARD PLAN NOTES FOR GRADING AND EROSION CONTROL.

LEGEND:

- SB DENOTES SOIL BORING
- SF DENOTES SILT FENCE
- HDSF DENOTES HEAVY DUTY SILT FENCE
- 980 DENOTES EXISTING CONTOURS
- 980 DENOTES PROPOSED CONTOURS
- 980 DENOTES PROPOSED INTERIM CONTOURS
- SS DENOTES FUTURE STORM SEWER
- SS DENOTES EXISTING STORM SEWER
- SS DENOTES PROPOSED STORM SEWER
- SS DENOTES PROPOSED DRAIN TILE
- SS DENOTES EXISTING TREE LINE
- x 856.3 DENOTES EXISTING SPOT ELEVATION
- x 66.30 DENOTES PROPOSED SPOT ELEVATION
- E.O.F. DENOTES BIO-ROLL EROSION CHECKS
- SS DENOTES EMERGENCY OVERFLOW ELEVATION
- SS DENOTES TREE PRESERVATION FENCING
- SS DENOTES 3:1 SLOPE STABILIZATION EROSION CONTROL BLANKET



ROW RAMBLER (R)
N.T.S.



Latest Revision Date: 08/08/14
0000565 GDF01 MF.dwg
Date: 05/15/14 Sheet: 1 OF 1



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www.westwoodps.com

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Ryan M. Bluhm
Date: 08/08/14 License No. 41257

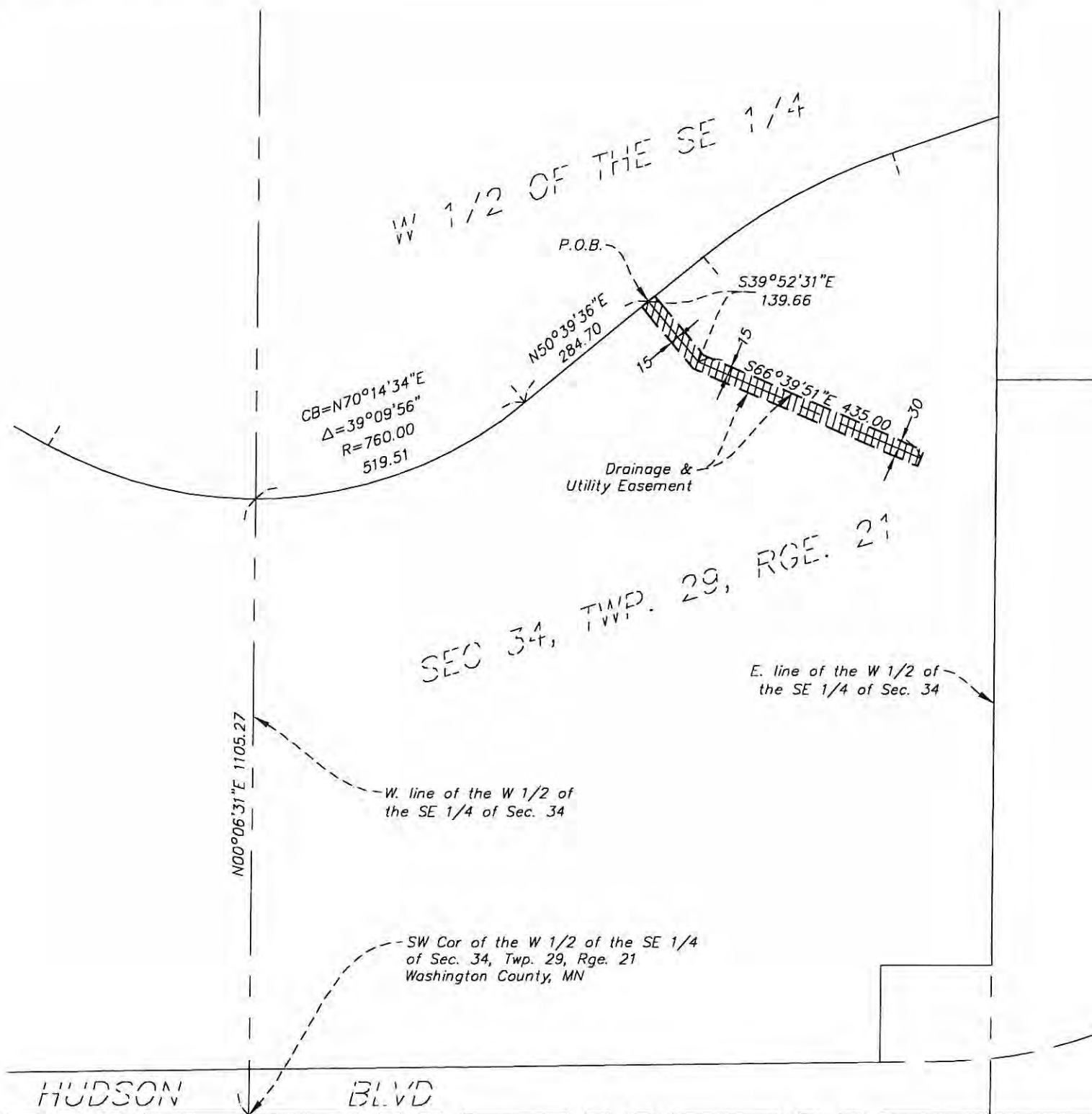
Revisions:
08/08/14 CITY COMMENTS
Design: CLJ
Checked: RMB
Drawn: HW
Record Drawing by/date:

Prepared for:

Lennar Corporation
16305 36th Avenue North Suite 600
Plymouth, Minnesota 55446

Savona
Multifamily
Lake Elmo, Minnesota

Grading, Drainage &
Erosion Control Plan



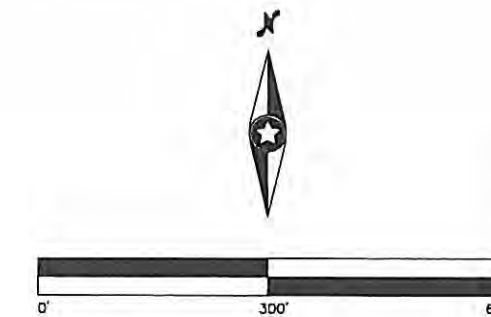
Drainage & Utility Easement:

A 30.00 Drainage & Utility Easement lying over, under and across that part of the West Half of the Southeast Quarter of Section 34, Township 29, Range 21, Washington County, Minnesota, the centerline of which is described as follows:

Commencing at the southwest corner of said West Half of the Southeast Quarter of Section 34; thence North 00 degrees 06 minutes 31 seconds East, assumed bearing along the west line of said West Half of the Southeast Quarter, a distance of 1105.27 feet; thence northeasterly along a non-tangential curve concave to the northwest having a central angle of 39 degrees 09 minutes 56 seconds, a radius of 760.00 feet for an arc distance of 519.51 feet, the chord of said curve bears North 70 degrees 14 minutes 34 seconds East; thence North 50 degrees 39 minutes 36 seconds East, tangent to said curve a distance of 284.70 feet to the point of beginning of the centerline to be described; thence South 39 degrees 52 minutes 31 seconds East, a distance of 139.66 feet; thence South 66 degrees 39 minutes 51 seconds East, a distance of 435.00 feet and said centerline there terminating.

The sidelines of said easement are to be prolonged shortened to terminate at a line bearing North 50 degrees 39 minutes 36 seconds East from said point of beginning.

Area: 17,240 sf or 0.40 acres



Date: 8/06/2014 Sheet: 1 OF 1
0000565ESF02.dwg



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Check: CWM
Drawn: SRS
Record Drawing by/date:

Prepared for:

Lennar
Plymouth, Minnesota

Savona
Phase II
Lake Elmo, Minnesota

Drainage & Utility
Easement

Construction Plans

for

Sanitary Sewer, Water Main, Storm Sewer and Streets

for

Savona 2nd Addition

Lake Elmo, Minnesota

Prepared for:

Lennar Corporation

16305 36th Avenue North Suite 600

Plymouth, Minnesota 55446

Contact: Joe Jablonski

Phone: 952-249-3014

Prepared by:



Westwood Professional Services, Inc.
7699 Anagram Drive
Eden Prairie, MN 55344

PHONE 952-937-5150
FAX 952-937-5822
TOLL FREE 1-888-937-5150

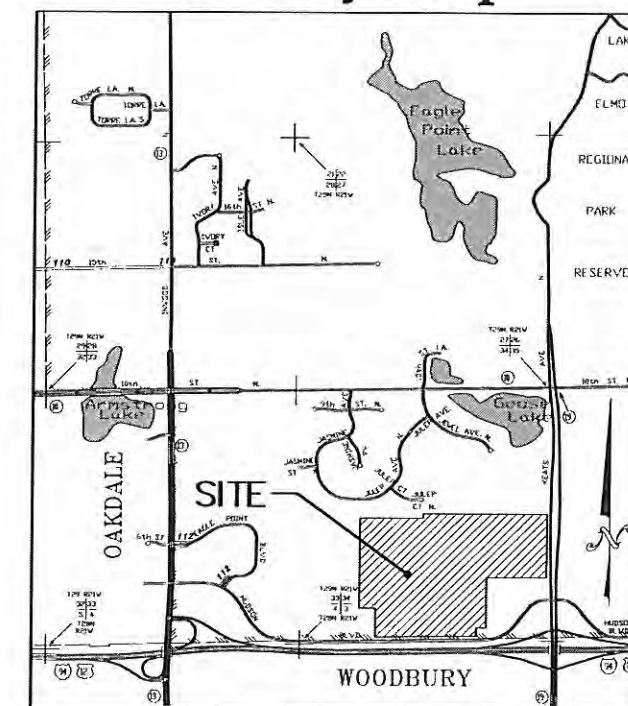
www.westwoodps.com

Project number: 0000565.02

Contact: Ryan M. Bluhm

Sheet List Table	
Sheet Number	Sheet Title
1	Cover
2	Overall Plan
3	Sanitary Sewer and Water Main Construction Plan
4	Sanitary Sewer and Water Main Construction Plan
5	Sanitary Sewer and Water Main Construction Plan
6	Sanitary Sewer and Water Main Construction Plan
7	Sanitary Sewer and Water Main Construction Plan
8	Storm Sewer and Street Construction Plan
9	Storm Sewer and Street Construction Plan
10	Storm Sewer and Street Construction Plan
11	Storm Sewer and Street Construction Plan
12	Storm Sewer and Street Construction Plan
13	Storm Sewer and Street Construction Plan
14	Storm Sewer and Street Construction Plan
15	Details
16	Details
17	Details

Vicinity Map



(Not to Scale)

NO.	DATE	REVISION	SHEETS
1	06/30/14	CITY COMMENTS	ALL
2	07/30/14	CITY COMMENTS	ALL
3	08/08/14	CITY COMMENTS	ALL

Construction Plans

for

Sanitary Sewer, Water Main, Storm Sewer
and Streets

for

Savona 2nd Addition
Lake Elmo, Minnesota

Date: 06/25/14 Sheet: 1 of 17



A WORKING CLEARANCE OF TWENTY (20) FEET BETWEEN THE ELECTRICAL CONDUCTORS AND ANY CRANES OR DIGGING EQUIPMENT USED AT CONDUCTOR ELEVATION IN OR NEAR THE EASEMENT AND A CLEARANCE OF TEN FOOT EIGHT INCHES (10'-8") TO THE PHYSICAL PROXIMITY OF WORKERS MUST BE MAINTAINED AT ALL TIMES. IN ADDITION, ANY CONSTRUCTION NEAR THE TRANSMISSION LINE(S) SHALL COMPLY WITH ALL OSHA SAFETY CLEARANCES. IF THIS CLEARANCE CANNOT BE MAINTAINED, THE CONTRACTOR OR DEVELOPER MUST ADVISE THE FIELD OUTAGE, BY CALLING XCEL ENERGY'S SYSTEM CONTROL DEPARTMENT (STEVE ELLIOTT 812/330-1875). AN ADEQUATE ADVANCED NOTICE MUST BE PROVIDED IN ORDER TO SCHEDULE A LINE OUTAGE, IF AN OUTAGE IS AVAILABLE.

STORM SEWER CASTING SCHEDULE			
STRUCTURE			CASTING TYPE
NUMBER	TYPE	DIA.	
76	CBMH	48"	R-3067-V
77	CBMH	48"	R-3067-V
77A	CBMH	48"	R-3067-V
77B	CB	2'x3'	R-3067-V
78	STMH	48"	R-1642 B
79	CB	2'x3'	R-3067-V
81A	CBMH	48"	R-3067-V
82	CBMH	60"	R-3067-V
83	CBMH	48"	R-3067-V
87A	CB	2'x3'	R-3067-V
87	CBMH	60"	R-3067-V
88	CBMH	48"	R-3067-V
89	STMH	48"	R-1642 B
90A	CBMH	48"	R-3067-V
90	CB	2'x3'	R-3067-V
91	CBMH	60"	R-3067-V
137	CBMH	48"	R-3067-V
138	CB	2'x3'	R-3067-V
181	CBMH	48"	R-4342
182	CB	27"	R-4342
183	CBMH	48"	R-3067-V
184	CB	2'x3'	R-3067-V
185	CBMH	48"	R-4342
186	CBMH	48"	R-3067-V
187	CBMH	48"	R-3067-V
188	CB	2'x3'	R-3067-V
189	CBMH	48"	R-4342
190	CB	27"	R-4342
230	FES	33"	
231	STMH	72"	R-1642 B
16 SUMP 233	CBMH	60"	R-3508-A2
234	CBMH	48"	R-3067-V
235	CBMH	48"	R-3067-V
236	CB	2'x3'	R-3067-V
237	CBMH	48"	R-3067-V
238	CBMH	48"	R-3067-V
239	CBMH	48"	R-3067-V
240	CBMH	48"	R-3067-V
241	CBMH	48"	R-3067-V
241A	CBMH	60"	R-3067-V
242	CB	2'x3'	R-3067-V
259	CBMH	48"	R-3067-V
260	CBMH	48"	R-4342
261	CB	27"	R-4342
262	STMH	48"	R-1642 B
263	CB	27"	R-4342
268	CBMH	48"	R-3067-V
269	CBMH	48"	R-3067-V
270	CB	2'x3'	R-3067-V
271	CBMH	48"	R-3067-V
272	CBMH	48"	R-3067-V
272A	CBMH	48"	R-3067-V
272B	CBMH	48"	R-3067-V
273	STMH	48"	R-1642 B
274	CB	2'x3'	R-3067-V
275	CB	2'x3'	R-3067-V
276	CBMH	48"	R-3067-V
277	CBMH	48"	R-3067-V
278	CB	27"	R-4342
285	FES	12"	
286	OCS	48"	SEE DETAIL
290	FES	36"	
291	OCS	72"	SEE DETAIL
300	FES	21"	
301	STMH	48"	R-4342
302	OCS	48"	SEE DETAIL
303	FES	21"	R-3067-V

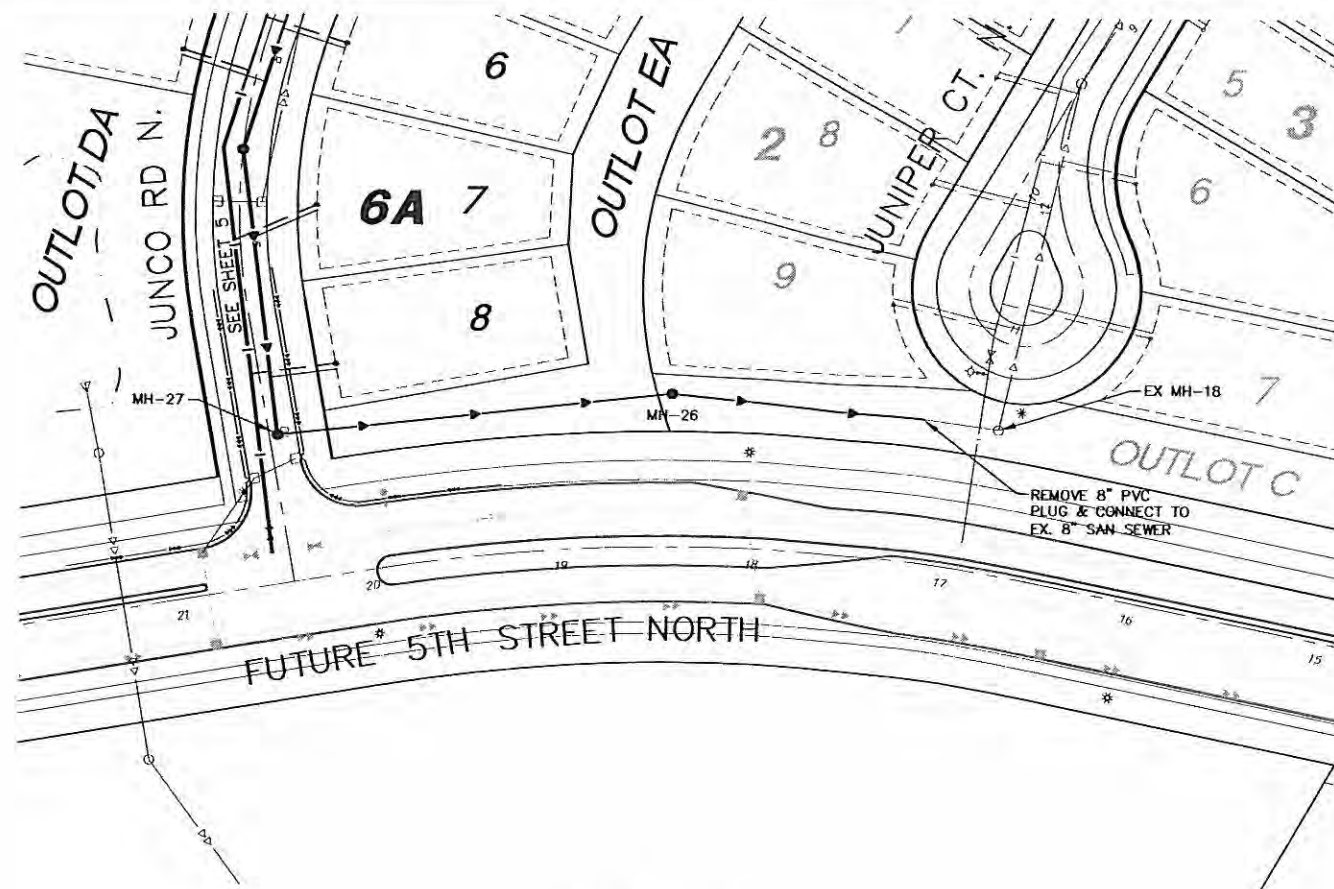


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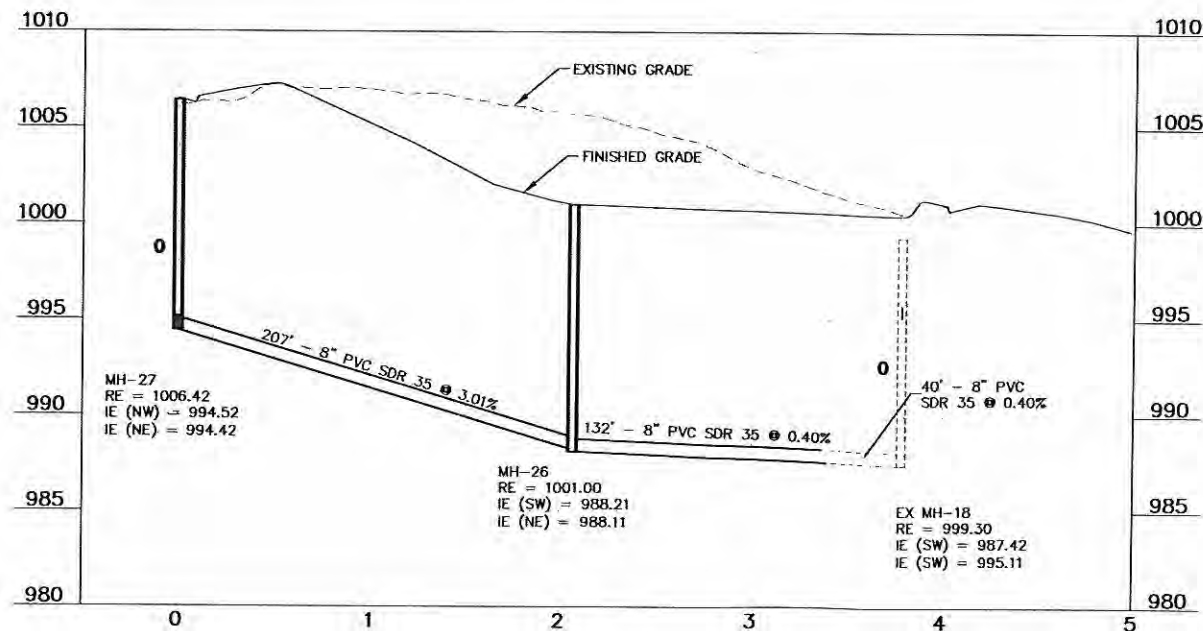
Date: 06/25/14 Sheet: 2 OF 17

Lake Elmo, Minnesota

Overall Plan



Backyard



GENERAL NOTES:

(XXX.X)

DENOTES SANITARY SEWER SERVICE
INVERT @ END OF STUB.

WYE=X+XX

DENOTES SANITARY SEWER SERVICE WYE
LOCATED ON MAINLINE FROM
DOWN STREAM M.H.

SANITARY SEWER NOTES:

- ALL SANITARY SEWER AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
- ALL SANITARY SEWER PVC PIPE SHALL BE INSTALLED ACCORDING TO CITY STANDARD DRAWING 103 GRANULAR MATERIAL BEDDING METHOD (FOR PVC SANITARY SEWER PIPE).
- UNLESS NOTED OTHERWISE, ALL SMOOTH WALLED SANITARY SEWER PVC PIPE AND FITTINGS SHALL BE SDR 35 WITH ELASTOMERIC GASKETED JOINTS.
- ALL SANITARY SEWER SERVICES SHALL BE 4-INCH PVC, SCH. 40 OR SDR 26 PIPE.
- SMOOTH WALLED PVC PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF ASTM D-3034 FOR THE SIZE, STANDARD DIMENSION RATIO (SDR), AND STRENGTH REQUIREMENTS INDICATED ON THE PLANS, SPECIFICATIONS, AND SPECIAL PROVISIONS.
- REINFORCED CONCRETE PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF MnDOT SPEC 3236 (REINFORCED CONCRETE PIPE) FOR THE TYPE, SIZE, AND STRENGTH CLASS SPECIFIED HEREIN.
- JOINTS OF MANHOLE RISER SECTIONS SHALL BE TONGUE AND GROOVE WITH RUBBER "O" RING JOINTS PROVIDED ON ALL SANITARY SEWER MANHOLES.
- SANITARY SEWER INLET AND OUTLET PIPES SHALL BE JOINED TO THE MANHOLE WITH A GASKETED, FLEXIBLE, WATERTIGHT CONNECTION TO ALLOW DIFFERENTIAL SETTLEMENT OF THE POPE AND MANHOLE TO TAKE PLACE.
- A 1'-0" TO 1'-4" MANHOLE SECTION SHALL BE INSTALLED UNDER THE CONE SECTION TO ALLOW FOR HEIGHT ADJUSTMENT WHENEVER POSSIBLE.
- ALL SERVICE LINE STUBS MUST HAVE A 2" X 2" HARDWOOD MARKER WITH METAL SPIKE RUNNING FROM THE END OF THE PIPE TO FINISHED GRADE ELEVATION.
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Latest Revision Date: 08/08/14

0000565 02U1F01.dwg

Date: 06/25/14 Sheet: 3 OF 17

Savona 2nd
Addition

Lake Elmo, Minnesota

Sanitary Sewer
and Water Main
Construction Plan

Backyard



Westwood Professional Services, Inc.
7599 Anagram Drive
Eden Prairie, MN 55344
PHONE 952-937-5150
FAX 952-937-5422
TOLL FREE 1-888-937-5150
www.westwoodps.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.
Ryan M. Bluhm
Date: 08/08/14 License No. 41257

Revisions:

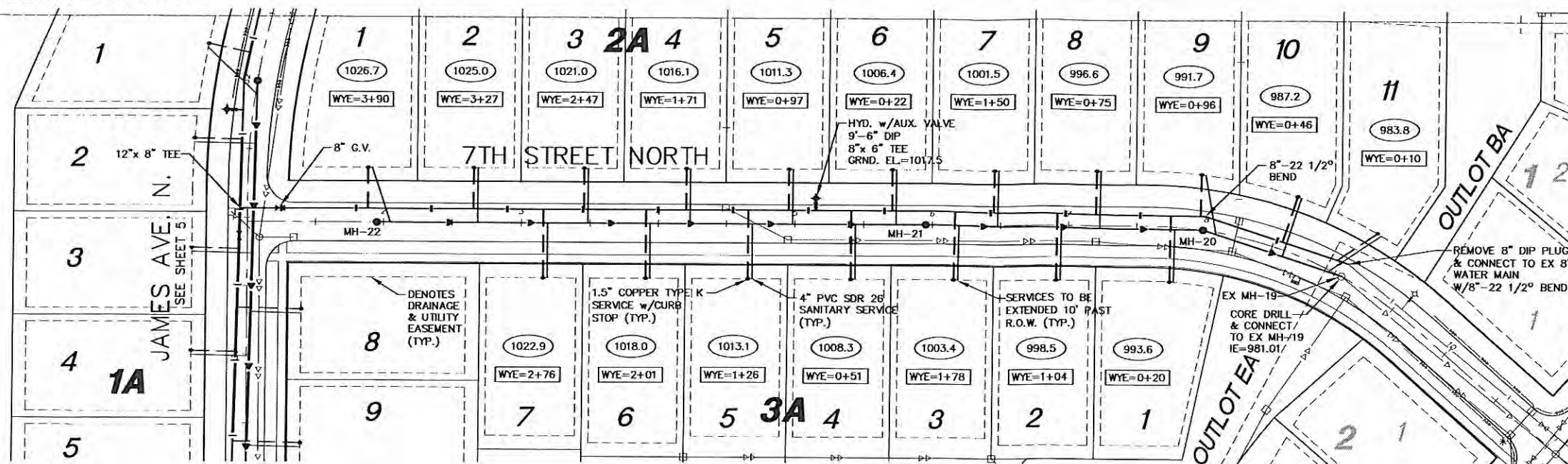
06/20/14 CITY COMMENTS
07/20/14 CITY COMMENTS
08/08/14 CITY COMMENTS

Designed: CJJ
Checked: EMB
Drawn: RW
Record Drawing by/date:

Prepared for:

Lennar Corporation

16305 36th Avenue North Suite 600
Plymouth, Minnesota 55446

**GENERAL NOTES:**

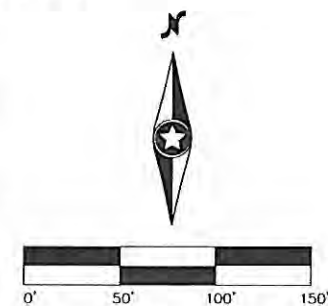
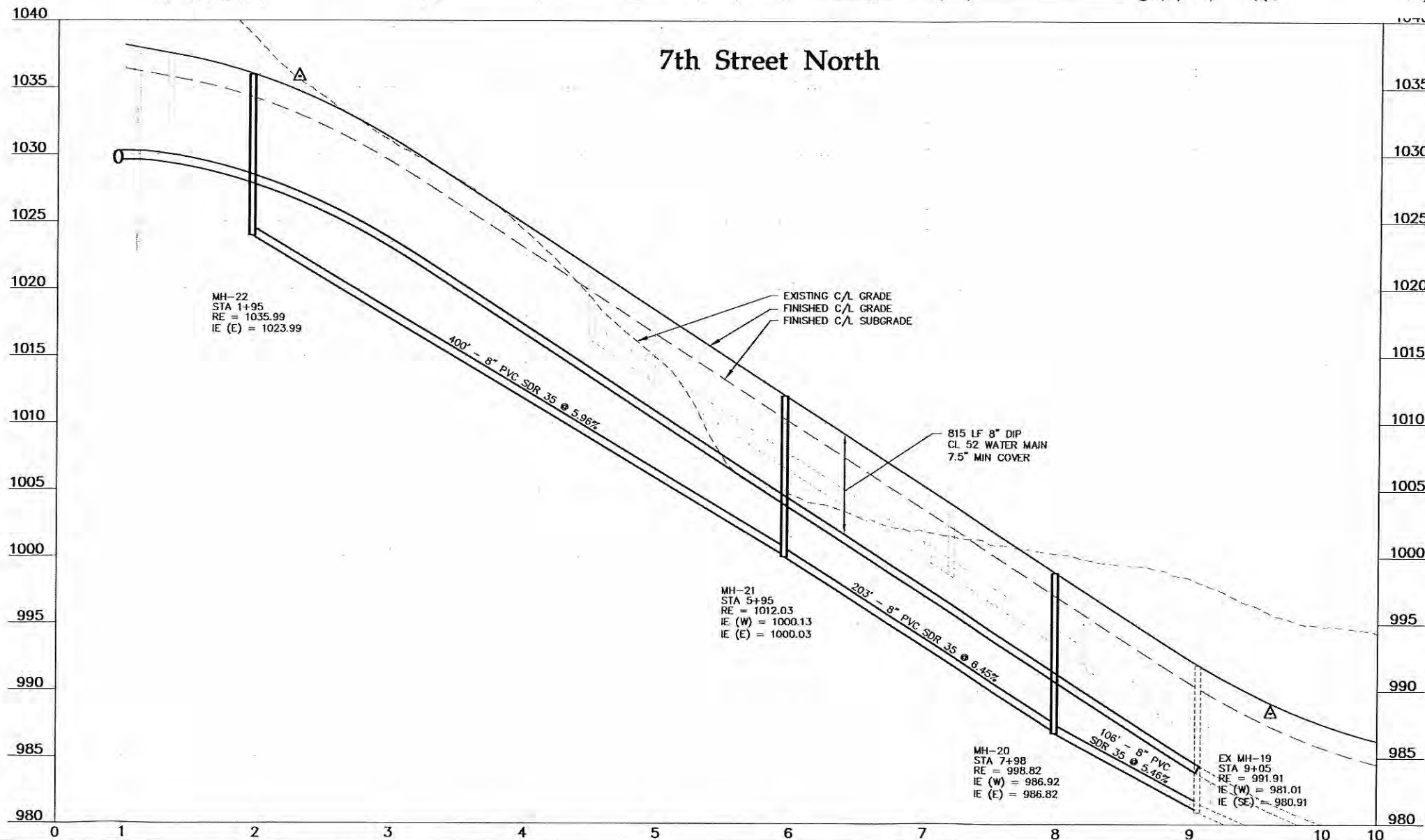
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0000565-02UT02.dwg

Date: 06/25/14 Sheet: 4 OF 17

Savona 2nd Addition

Lake Elmo, Minnesota

Sanitary Sewer and Water Main Construction Plan

7th Street North



Westwood

Westwood Professional Services, Inc.
7699 Anagnan Drive
Eden Prairie, MN 55344
PHONE 952-937-5150
FAX 952-937-5922
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Ryan M. Blum
Date: 08/08/14 License No. 41257

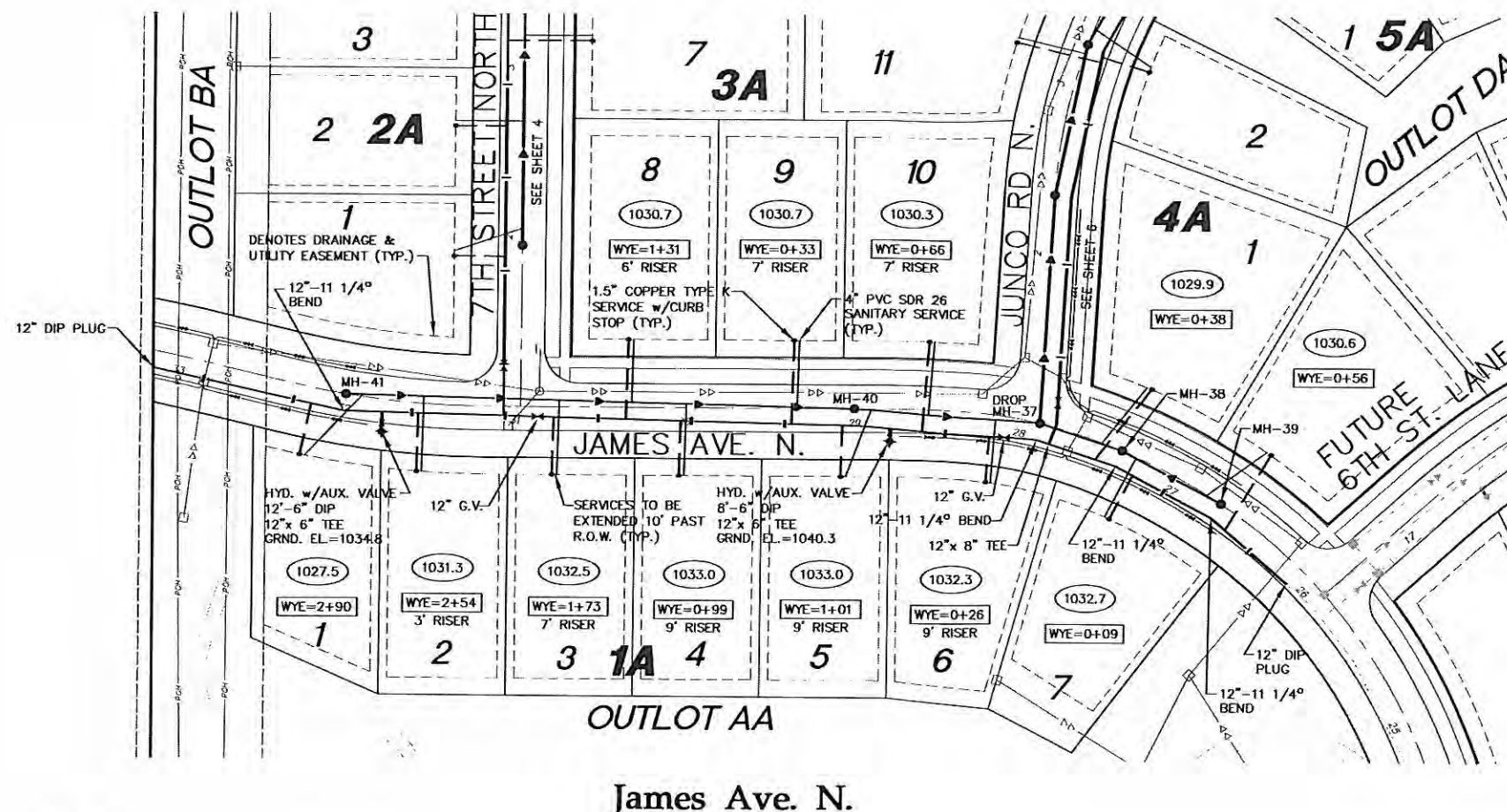
Revisions:
06/20/14 CITY COMMENTS
07/30/14 CITY COMMENTS
08/08/14 CITY COMMENTS

Designed: CJJ
Checked: KMS
Drawn: HW
Record Drawing by/date:

Prepared for:

Lennar Corporation

16305 36th Avenue North Suite 600
Plymouth, Minnesota 55446

**GENERAL NOTES:**

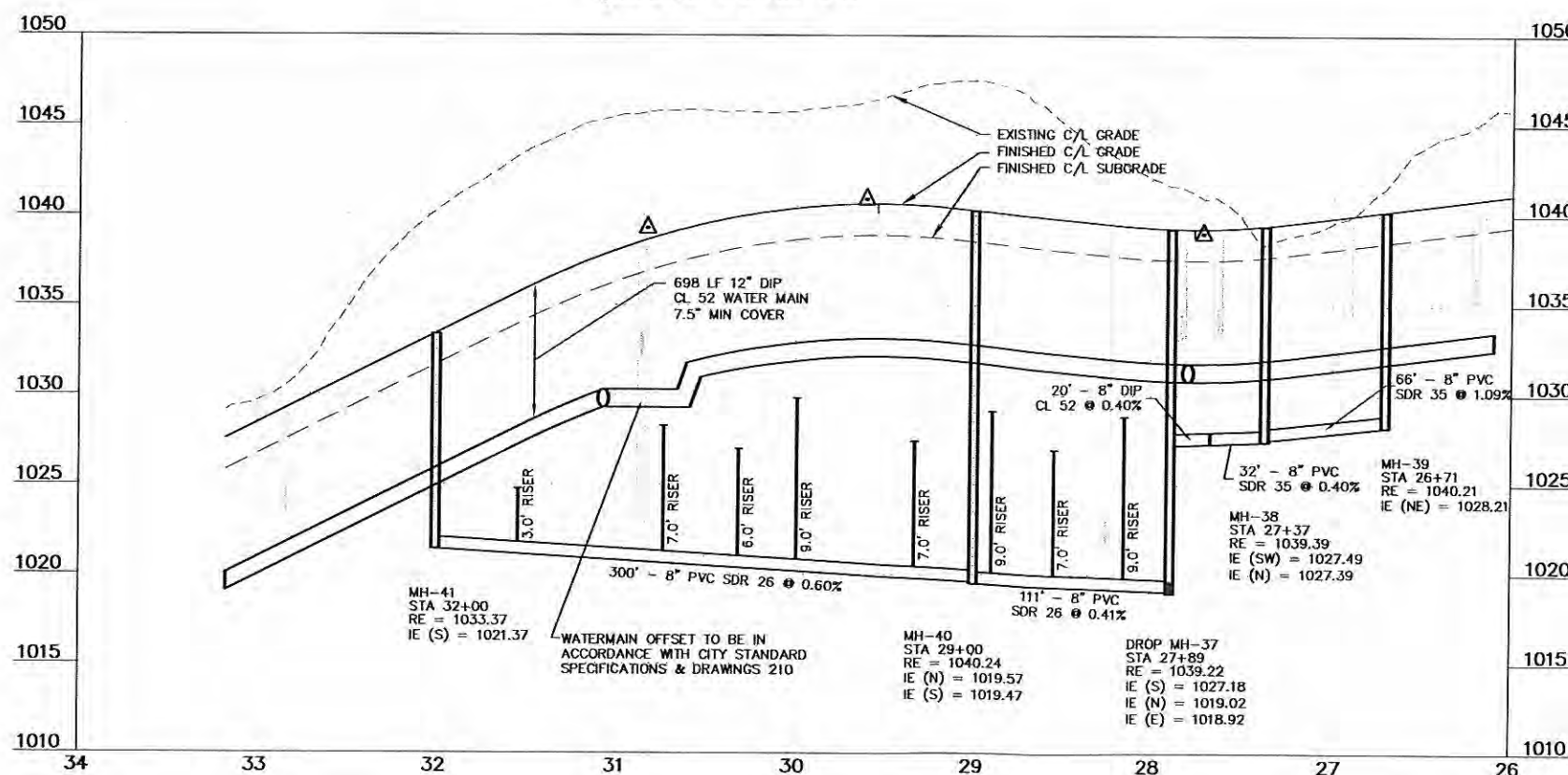
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Latest Revision Date: 08/08/14

0000565.02U1F03.dwg

Date: 06/25/14 Sheet: 5 OF 17

Savona 2nd Addition

Lake Elmo, Minnesota

Sanitary Sewer and Water Main Construction Plan

James Ave. N.



Westwood

Westwood Professional Services, Inc.
7699 Anagram Drive
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PHONE 952-937-5150
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Ryan M. Blum
Date: 08/08/14 License No. 41257

Revisions:

06/20/14 CITY COMMENTS
07/20/14 CITY COMMENTS
08/08/14 CITY COMMENTS

Designed: CJ
Checked: EMB
Drawn: HW
Record Drawing by/date:

Prepared for:

Lennar Corporation

16305 36th Avenue North Suite 600
Plymouth, Minnesota 55446

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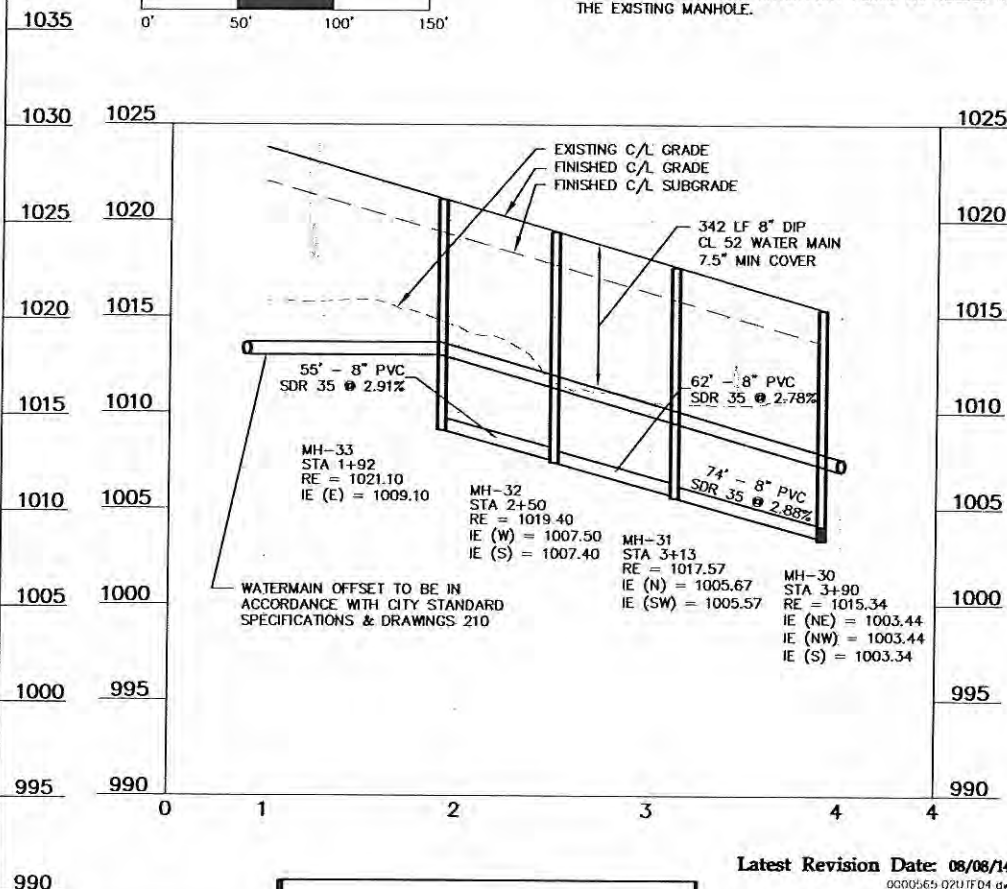
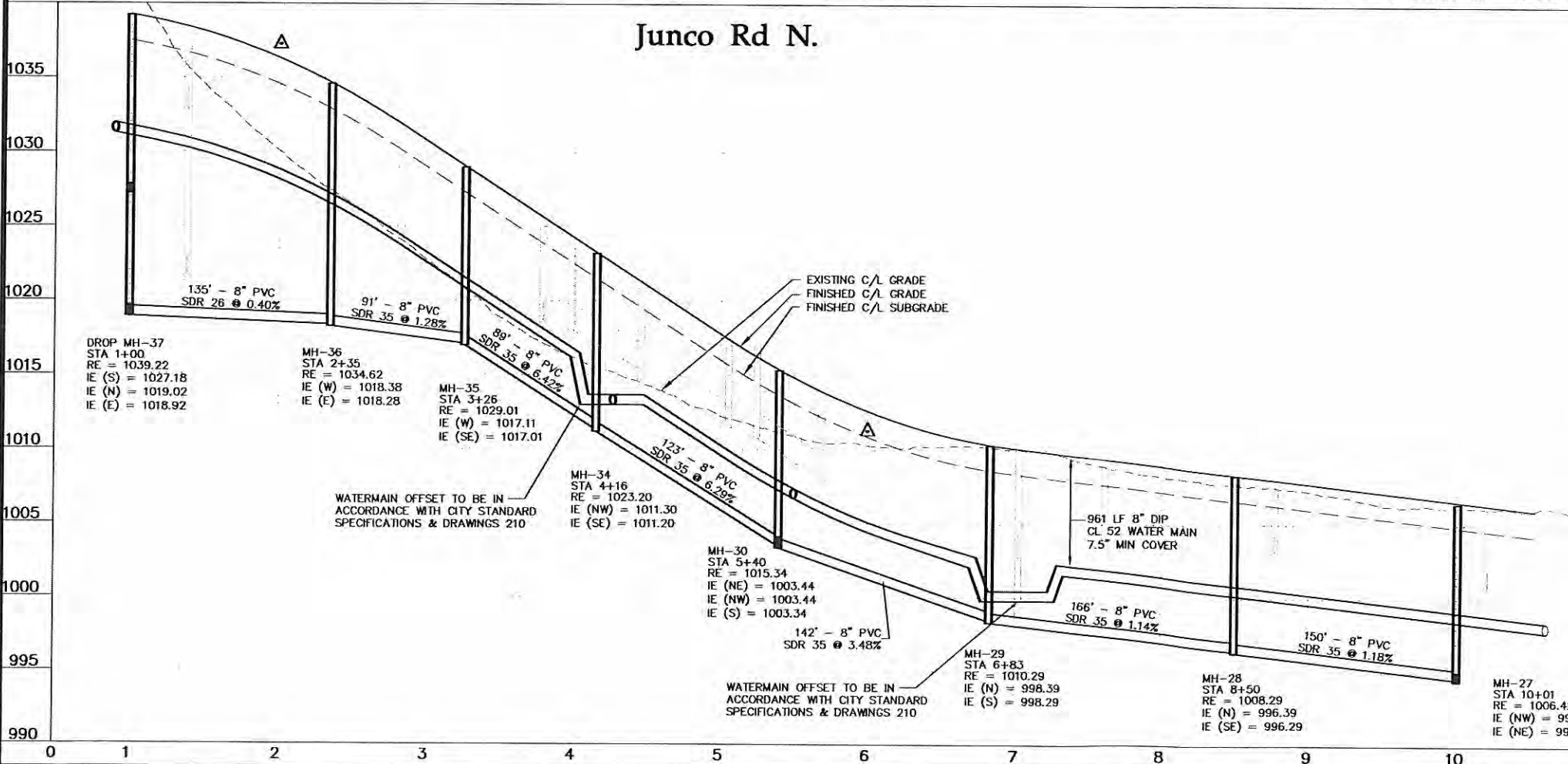
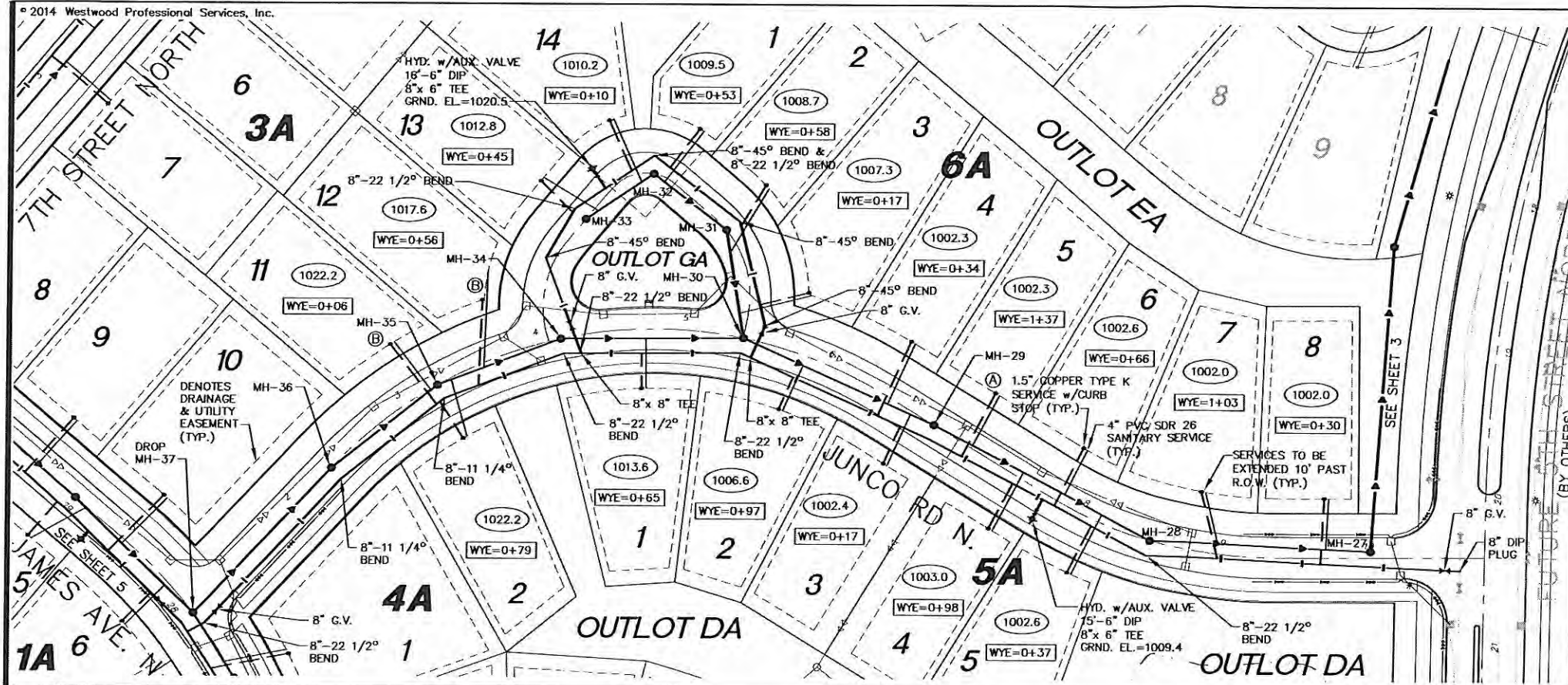
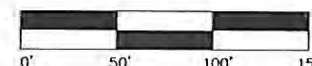
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(A) INSTALL WATER SERVICE OVER SAN SEWER. MAINTAIN 18" SEPARATION (INSULATE).

(B) INSTALL WATER SERVICE OVER STORM SEWER (INSULATE)



Latest Revision Date: 06/08/14

Date: 06/25/14 Sheet: 6 OF 17

Savona 2nd Addition

Lake Elmo, Minnesota

Sanitary Sewer and Water Main Construction Plan

Junco Rd N.

Lennar Corporation

16305 36th Avenue North Suite 600
Plymouth, Minnesota 55446

Designed: CJ
Checked: KMB
Drawn: HW
Record Drawing by/date:

Prepared for:

Revisions:

06/25/14 CITY COMMENTS
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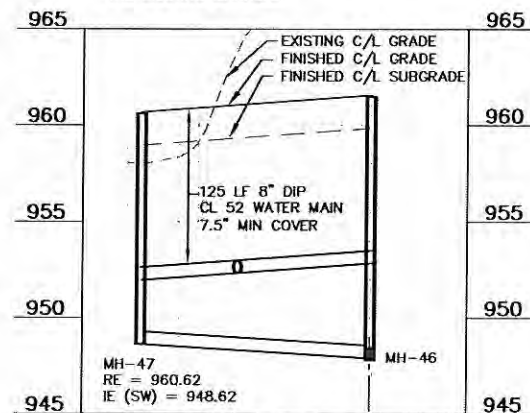
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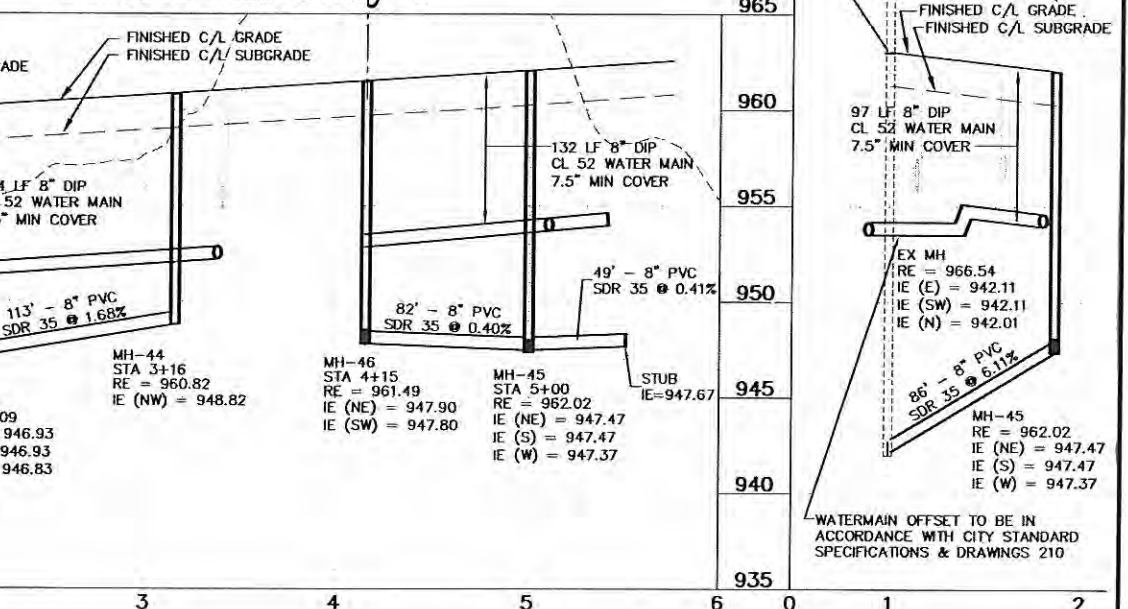
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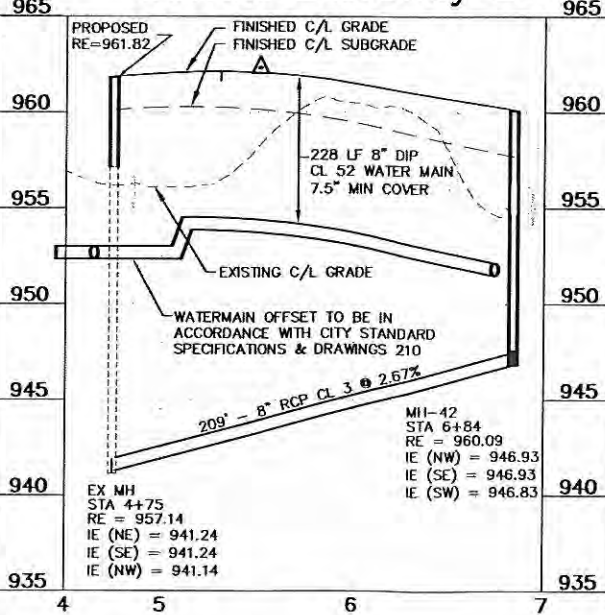
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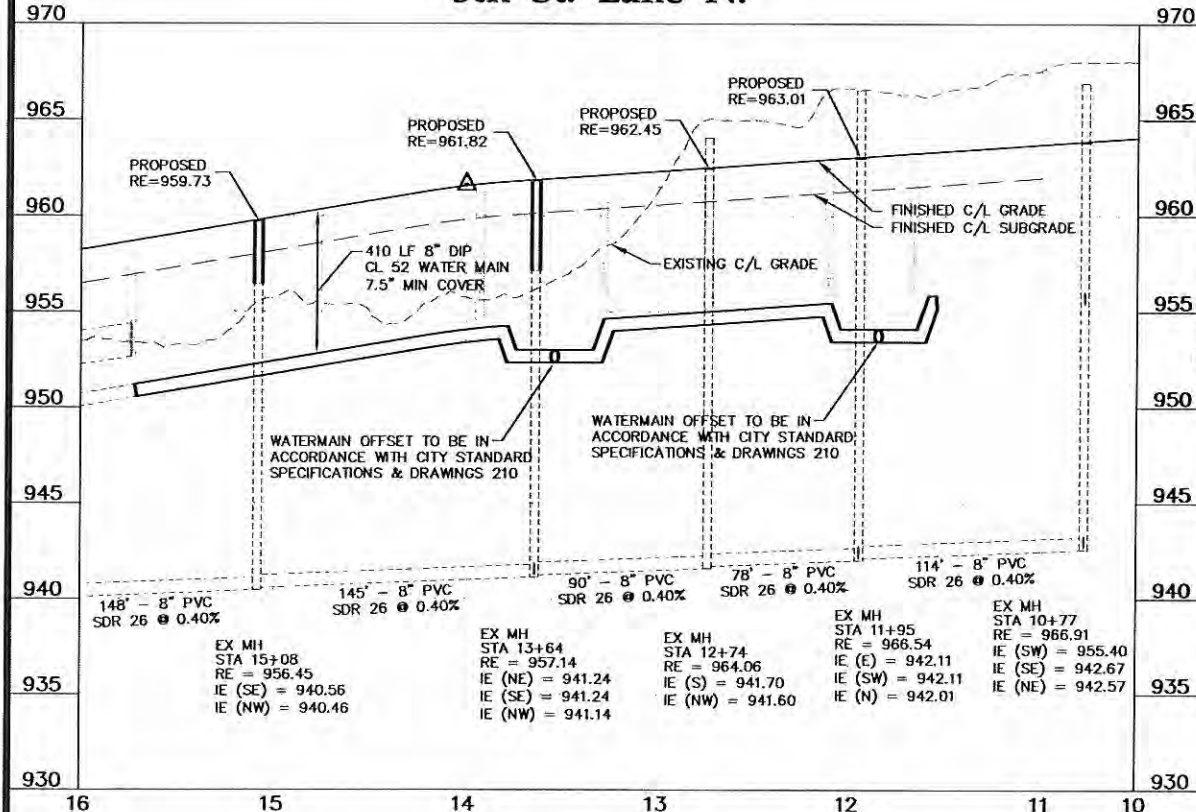
Private Driveway 3



Private Driveway 2



5th St. Lane N.



Latest Revision Date: 08/08/14

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Date: 06/25/14 Sheet: 7 OF 17

Sanitary Sewer
and Water Main
Construction Plan

5th St. Lane N. & Private Driveway

Savona 2nd
Addition

Lake Elmo, Minnesota

Lennar Corporation

16305 36th Avenue North Suite 600
Plymouth, Minnesota 55446

Prepared by:

Designed: CJ

Checked: KLB

Drawn: RW

Record Drawing by/date:

Revisions:

06/20/14 CITY COMMENTS
07/30/14 CITY COMMENTS
08/08/14 CITY COMMENTS

I hereby certify that this plan was prepared by me or under my
direct supervision and that I am a duly licensed PROFESSIONAL
ENGINEER under the laws of the State of Minnesota.

Ryan M. Muhlman
Date: 08/08/14 License No. 41257

Westwood Professional Services, Inc.
7699 Anagram Drive
Eden Prairie, MN 55344
PHONE 952-937-5150
FAX 952-937-5822
TOLL FREE 1-888-937-5150
www.westwoodps.com



OUTLOT BA

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Common Ground Alliance

- RADIUS TO BE B618 C. & G.
WITH 10' TRANSITION FROM
SURMOUNTABLE CURB
- * DENOTES GUTTERLINE ELEVATION
AT INTERSECTIONS

ALL CATCH BASIN CASTINGS IN CURB SHALL BE
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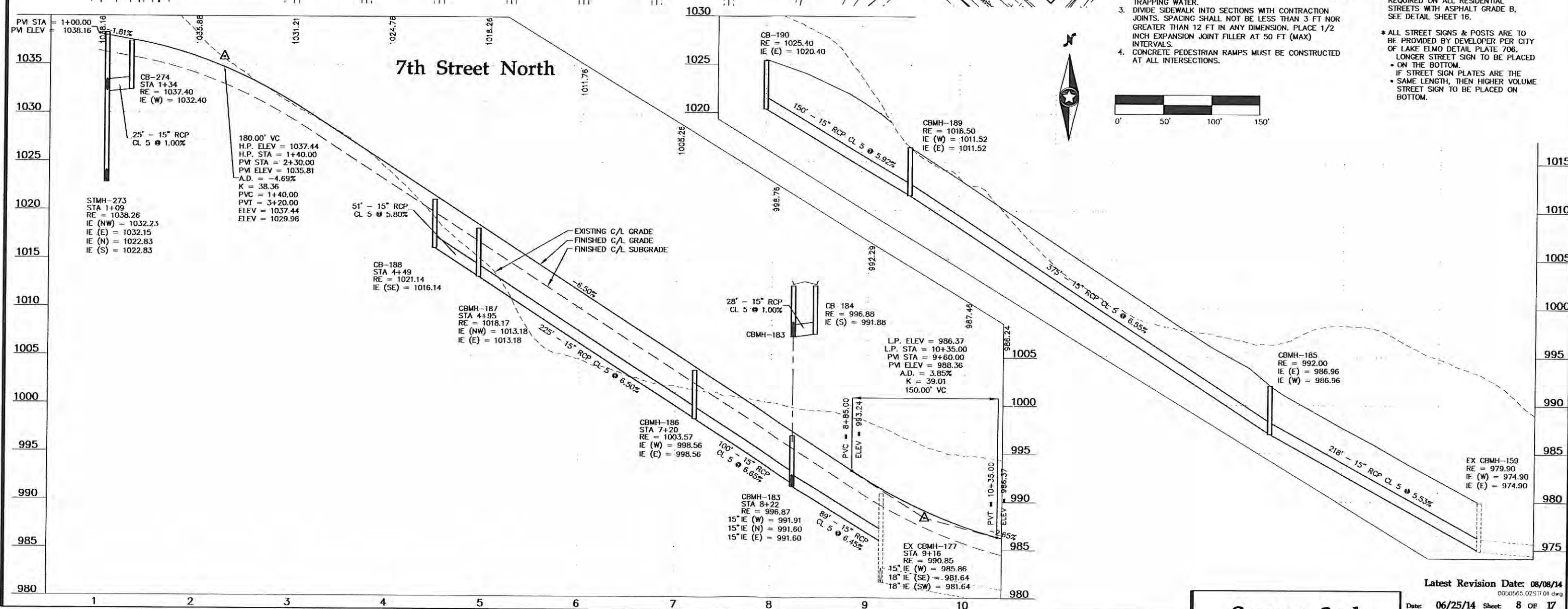
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Date: 06/25/14 Sheet: 8 OF 17

Savona 2nd Addition

Lake Elmo, Minnesota

Storm Sewer and Street Construction Plan

7th Street North



Westwood

Westwood Professional Services, Inc.
7699 Anagram Drive
Eden Prairie, MN 55344

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Ryan M. Eubank
Date 08/08/14 File No. 41257

Revisión

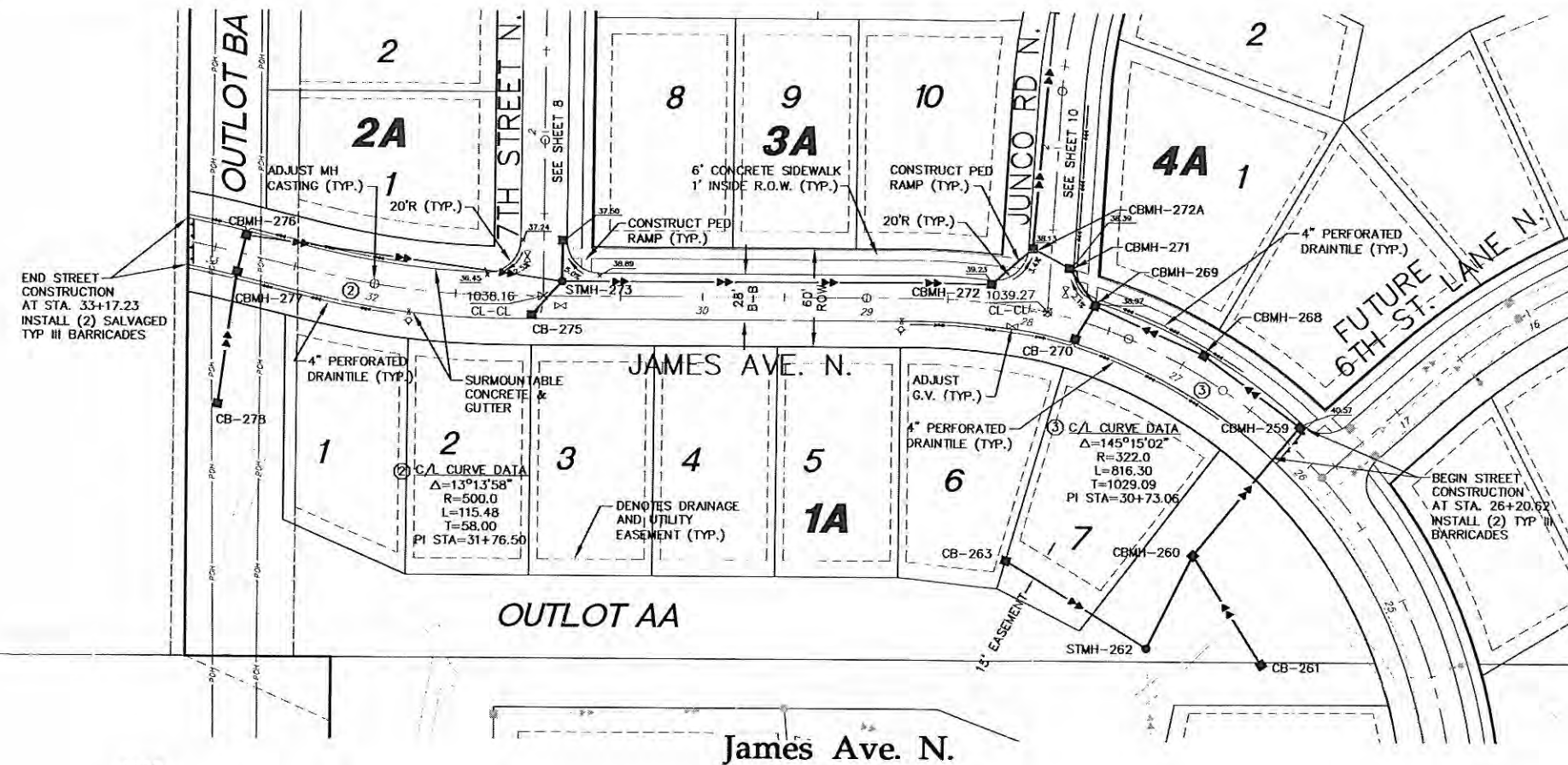
06/30/14 CITY COMMENTS
07/30/14 CITY COMMENTS
08/08/14 CITY COMMENTS

Designed: _____ CLJ
Checked: _____ RMB
Drawn: _____ HW
Record Drawing By/Date: _____

Prepared for:

Lennar Corporation

16305 36th Avenue North Suite 600
Plymouth, Minnesota 55446

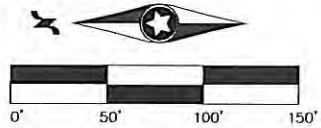


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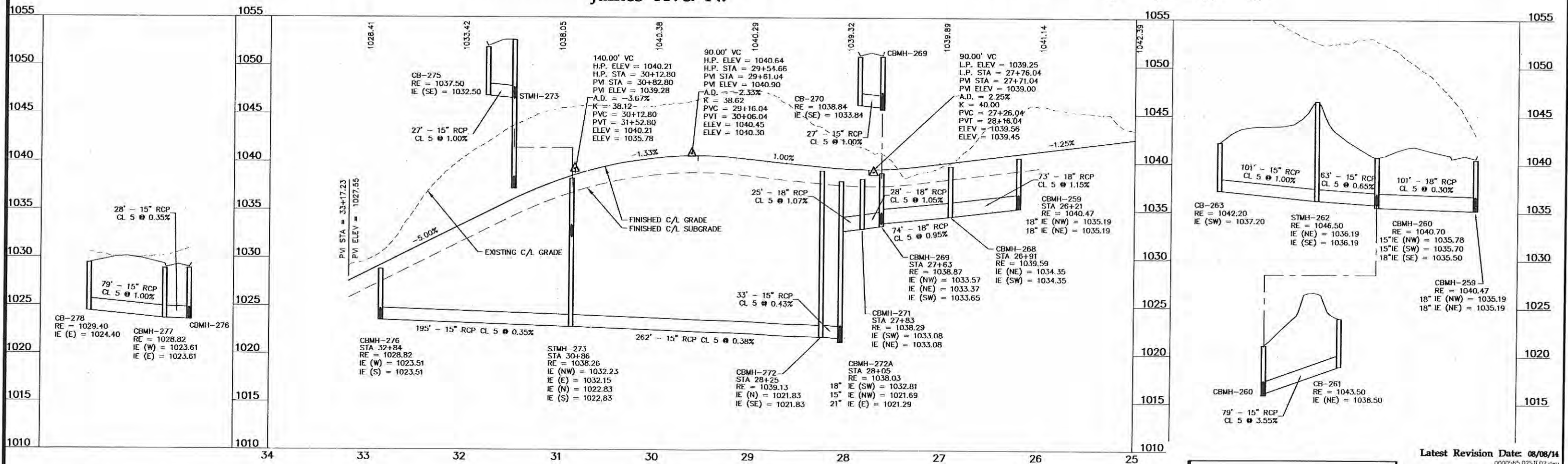
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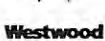
Latest Revision Date: 08/08/14

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Date: 06/25/14 Sheet: 9 OF 17

Storm Sewer and Street Construction Plan

James Ave. N.



Westwood Professional Services, Inc.
7699 Arapahoe Drive
Eden Prairie, MN 55344

PHONE 952-937-5150
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TOLL FREE 1-888-937-5150

www.weswoodps.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.

Ryan M. Bluhm 

Date **08/08/14** License No. **41257**

Revisions

06/30/14	CITY COMMENTS
07/30/14	CITY COMMENTS
08/08/14	CITY COMMENTS

Designed: CC BY-NC-SA

Drawn: **FW**

Record Drawing by/Date: _____

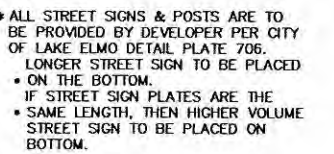
Prepared for:

Lennar Corporation

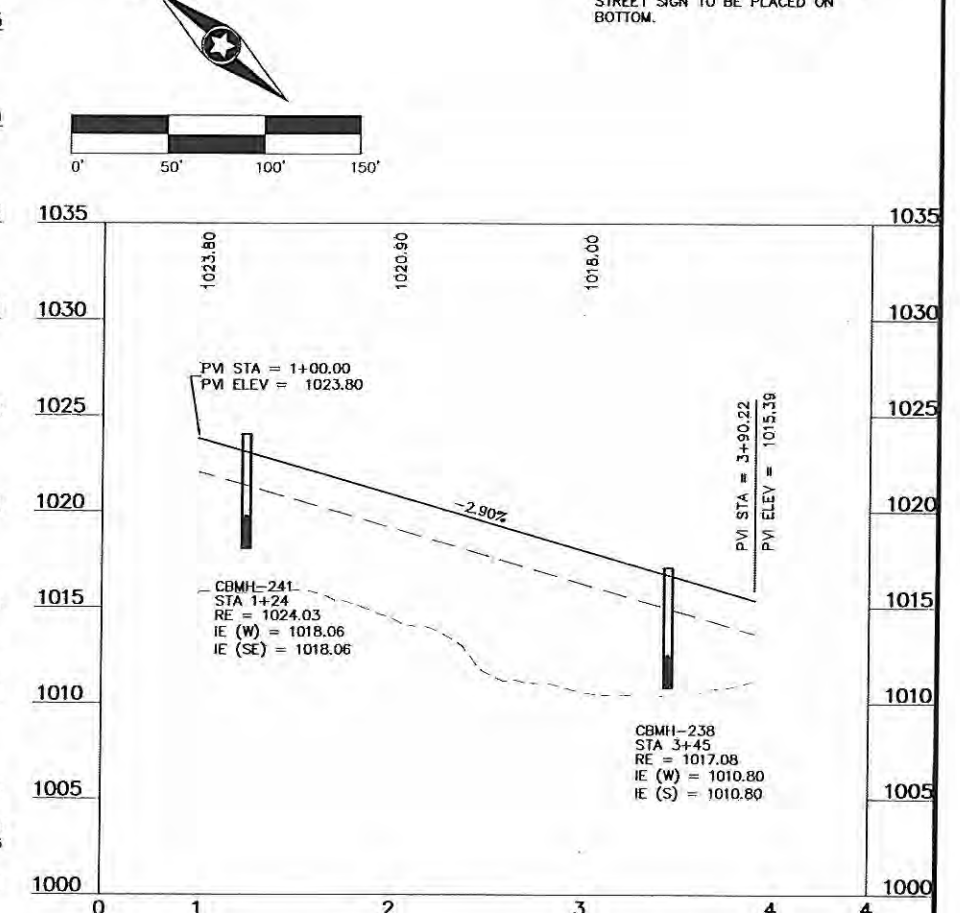
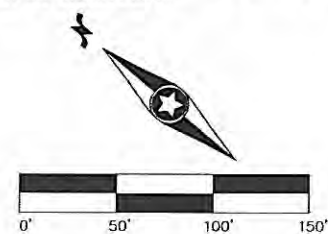
16305 36th Avenue North Suite 600
Plymouth, Minnesota 55446

Savona 2nd Addition

Lake Elmo, Minnesota



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000567.07STFD3 dwg


Date: 06/25/14 Sheet: 10 OF 17

Lake Elmo, Minnesota

Junco Rd N.



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Ryan M. Emlen

Date: 08/08/14 License No. 41257

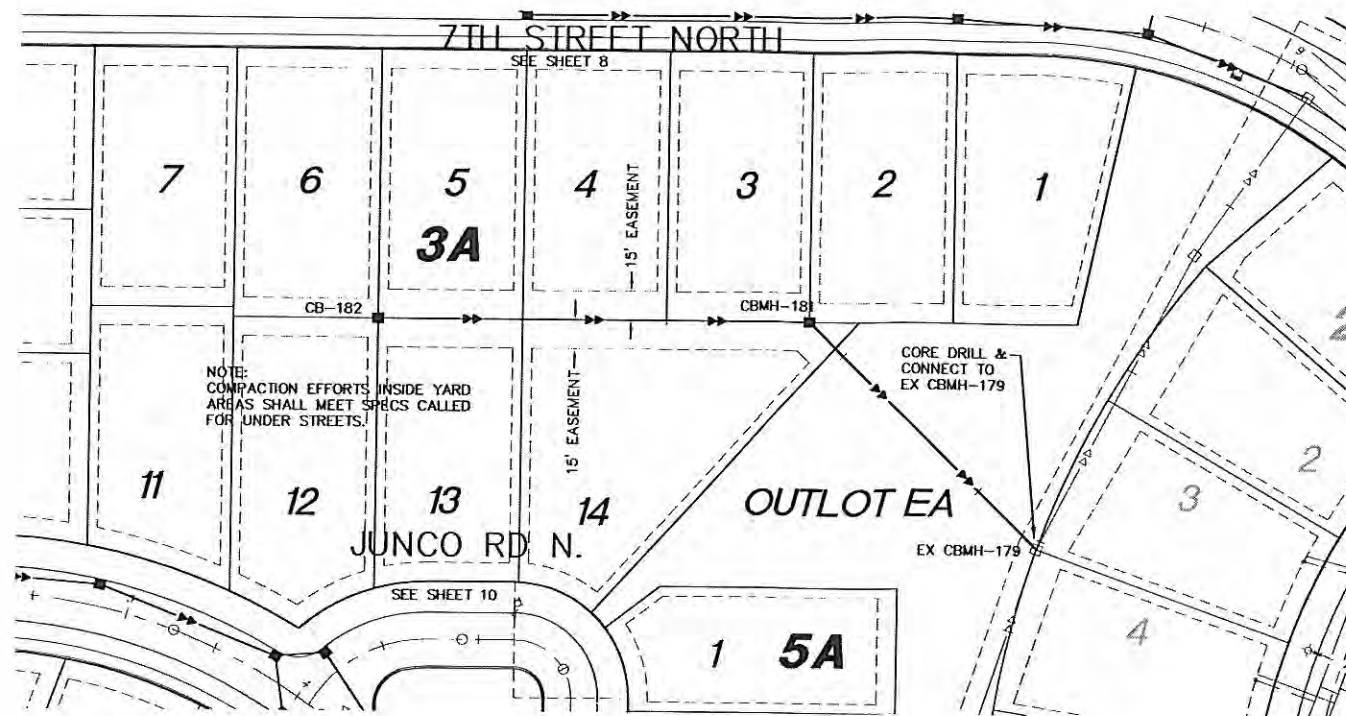
Revisions

06/30/14	CITY COMMENTS
07/30/14	CITY COMMENTS
08/08/14	CITY COMMENTS

Design: _____ CJ
Checked: _____ KM
Drawn: _____ HW
Record Drawing by/date: _____

Prepared for:

Lennar Corporation
16305 36th Avenue North Suite 600
Plymouth, Minnesota 55446



GENERAL NOTES:

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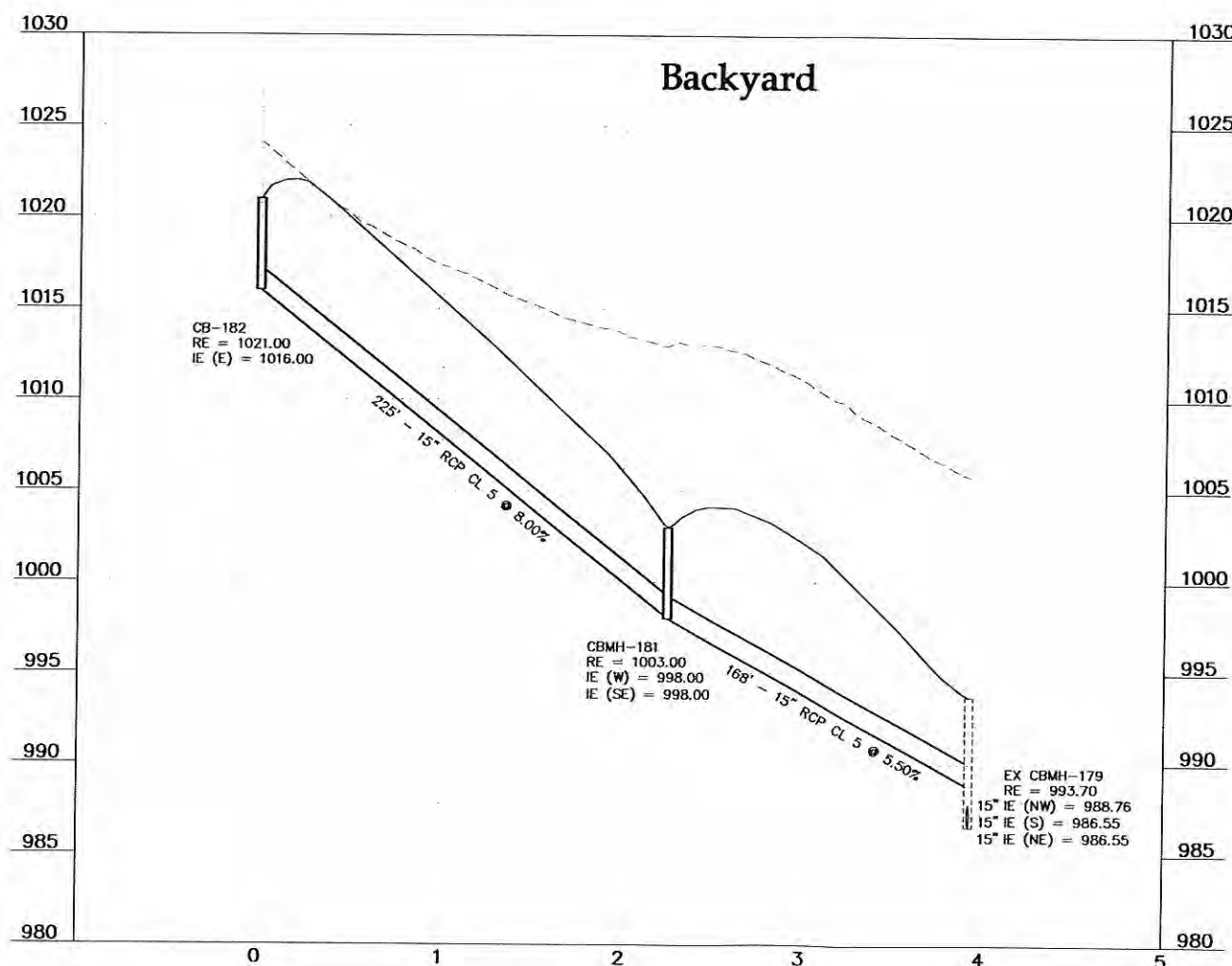


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Latest Revision Date: 08/08/14

Date: 06/25/14 Sheet: 11 OF 17

**Savona 2nd
Addition**

Lake Elmo, Minnesota

**Storm Sewer and Street
Construction Plan**

Backyard



Westwood Professional Services, Inc.
7699 Anagram Drive
Eden Prairie, MN 55344
PHONE 952-937-9150
FAX 952-937-6822
TOLL FREE 1-888-937-5150
www.westwoodps.com

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Ryan M. Mohr
Date: 08/08/14 License No. 41257

Revisions:

06/30/14 CITY COMMENTS
07/30/14 CITY COMMENTS
08/08/14 CITY COMMENTS

Designed: CJJ
Checked: KMB
Drawn: HW
Record Drawing by/date:

Prepared for:

Lennar Corporation
16305 36th Avenue North Suite 600
Plymouth, Minnesota 55446

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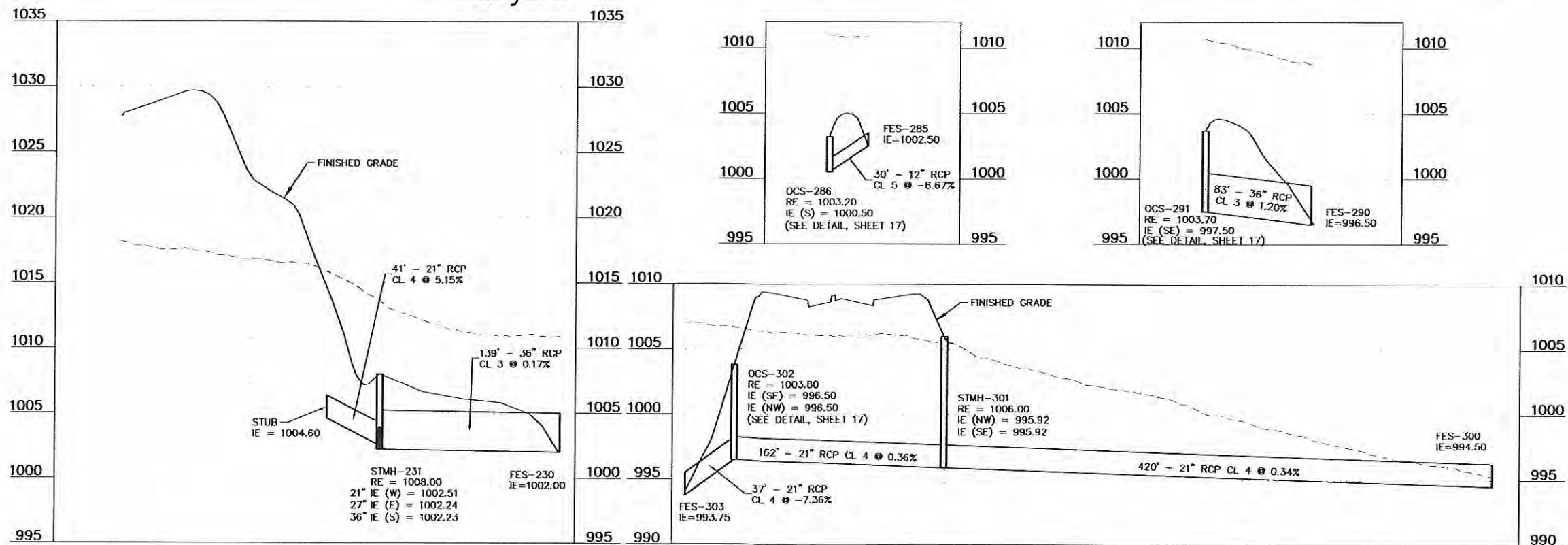
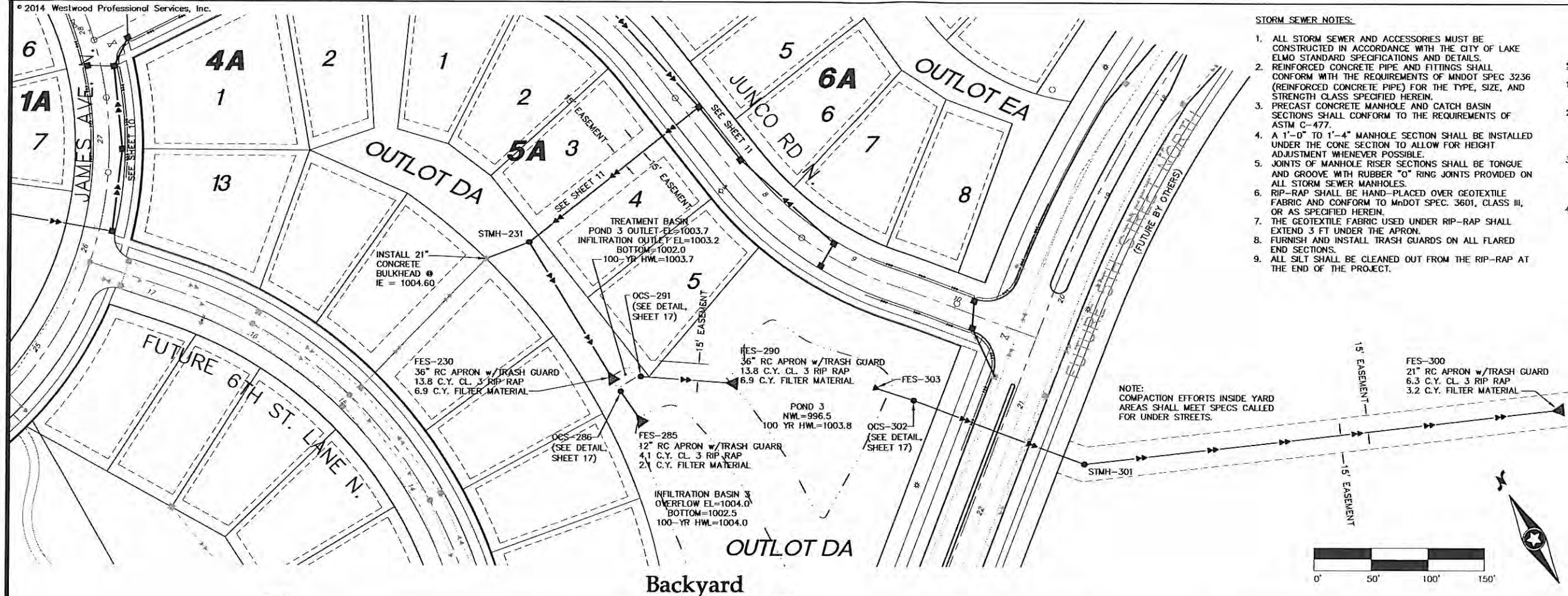
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Call 48 Hours before digging:

811 or call811.com

Common Ground Alliance



Latest Revision Date: 08/08/14

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Date: 06/25/14 Sheet: 12 OF 17

Savona 2nd Addition

Lake Elmo, Minnesota

Storm Sewer and Street Construction Plan

Future 6th St Lane N & Backyard



Westwood Professional Services, Inc.
7599 Anagram Drive
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FAX 952-937-5822
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Ryan M. Blum
Date: 08/08/14 License No. 41257

Revisions:
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08/08/14 CITY COMMENTS

Designed: CJ
Checked: EMB
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Record Drawing by/date:

Prepared for:

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16305 36th Avenue North Suite 600
Plymouth, Minnesota 55446

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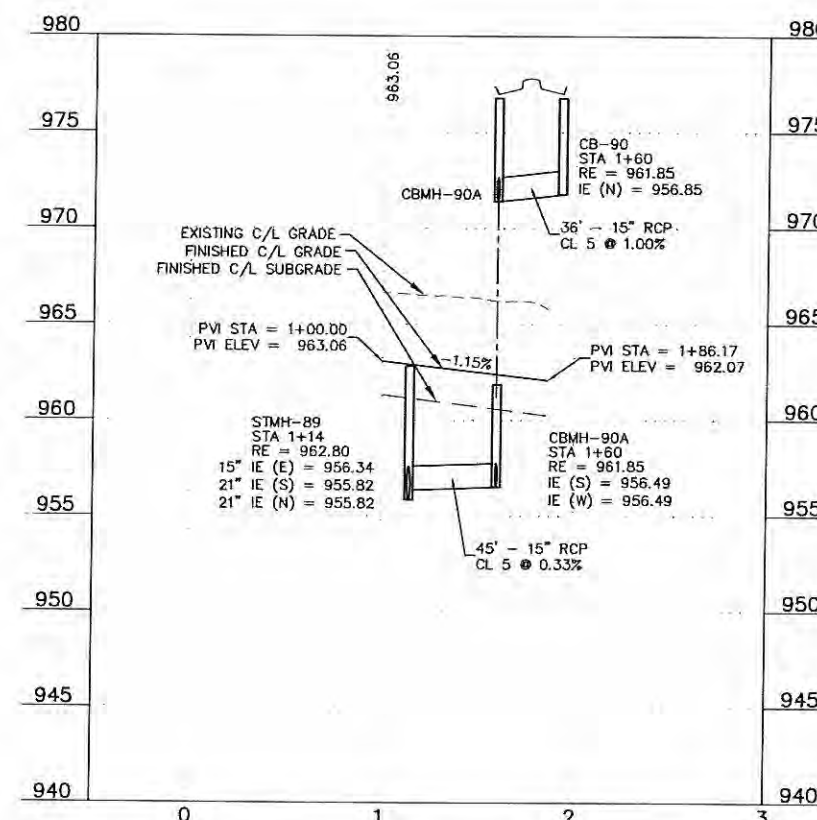
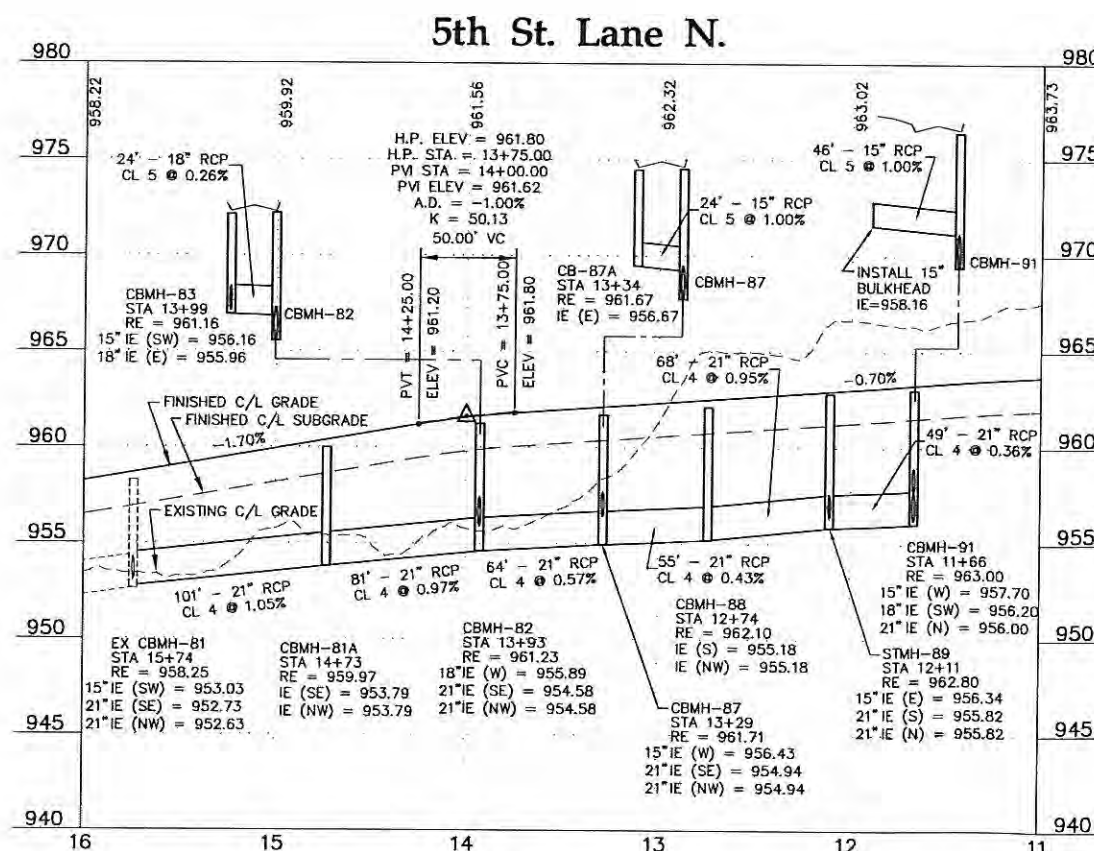
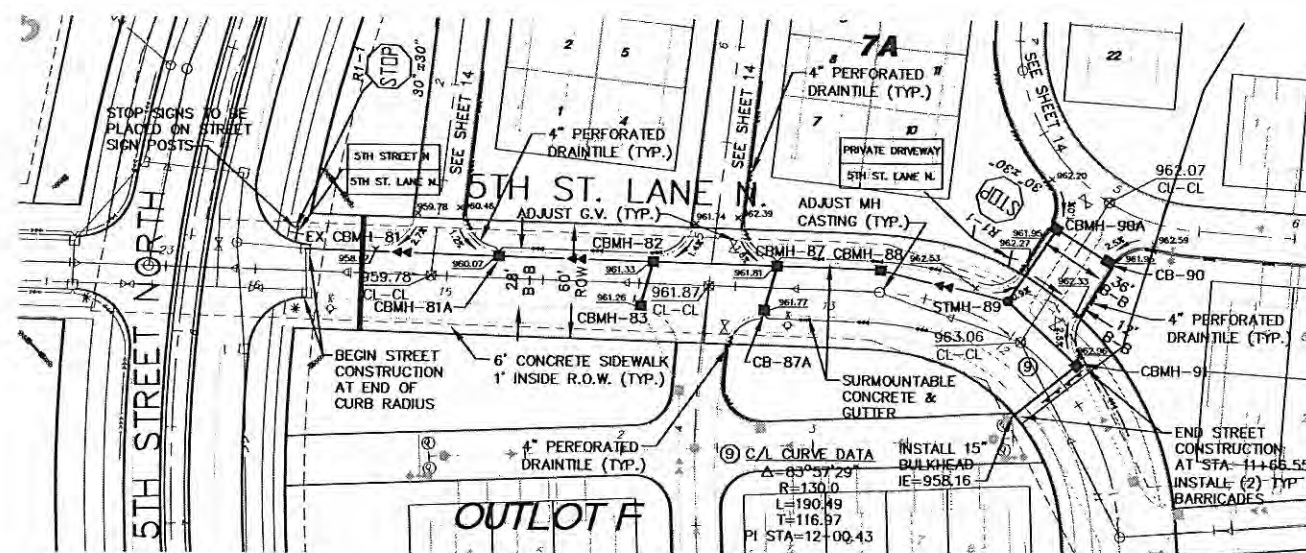
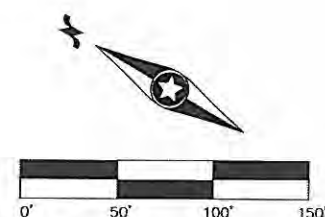
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Latest Revision Date: 08/08/14

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Date: 06/25/14 Sheet: 13 OF 17

Savona 2nd Addition

Lake Elmo, Minnesota

Storm Sewer and Street Construction Plan

5th St. Lane N.



Westwood Professional Services, Inc.
7699 Anagram Drive
Eden Prairie, MN 55344
PHONE: 952-937-5150
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TOLL FREE: 1-888-937-5150
www.westwoodps.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.

Ryan M. Kuhn
Ryan M. Kuhn
Date: 06/08/14 License No. 41257

Revisions:

06/26/14 CITY COMMENTS
07/30/14 CITY COMMENTS
08/08/14 CITY COMMENTS

Designed: CJ
Checked: KMB
Drawn: HW
Record Drawing by/date:

Prepared for:

Lennar Corporation

16305 36th Avenue North Suite 600
Plymouth, Minnesota 55446

STORM SEWER NOTES:

1. ALL STORM SEWER AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
2. REINFORCED CONCRETE PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF MNDOT SPEC 3236 (REINFORCED CONCRETE PIPE) FOR THE TYPE, SIZE, AND STRENGTH CLASS SPECIFIED HEREIN.
3. PRECAST CONCRETE MANHOLE AND CATCH BASIN SECTIONS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-477.
4. A 1'-0" TO 1'-4" MANHOLE SECTION SHALL BE INSTALLED UNDER THE CONE SECTION TO ALLOW FOR HEIGHT ADJUSTMENT WHENEVER POSSIBLE.
5. JOINTS OF MANHOLE RISER SECTIONS SHALL BE TONGUE AND GROOVE WITH RUBBER "O" RING JOINTS PROVIDED ON ALL STORM SEWER MANHOLES.
6. RIP-RAP SHALL BE HAND-PLACED OVER GEOTEXTILE FABRIC AND CONFORM TO MNDOT SPEC. 3601, CLASS III, OR AS SPECIFIED HEREIN.
7. THE GEOTEXTILE FABRIC USED UNDER RIP-RAP SHALL EXTEND 3 FT UNDER THE APRON.
8. FURNISH AND INSTALL TRASH GUARDS ON ALL FLARED END SECTIONS.
9. ALL SILT SHALL BE CLEANED OUT FROM THE RIP-RAP AT THE END OF THE PROJECT.

SIDEWALK AND TRAIL NOTES:

1. BITUMINOUS TRAILS AND SIDEWALKS MUST BE CONSTRUCTED TO MAINTAIN POSITIVE DRAINAGE AWAY FROM THE PATHWAYS THROUGHOUT THE ENTIRE LENGTH.
2. TOPSOIL AND BACKFILLING OPERATIONS MUST BE COMPLETED TO AVOID DAMAGE TO THE BITUMINOUS TRAILS AND SIDEWALKS. FINAL GRADE OF BACKFILL AND TOPSOIL MUST BE FLUSH WITH THE PATH EDGE TO AVOID TRAPPING WATER.
3. DIVIDE SIDEWALK INTO SECTIONS WITH CONTRACTION JOINTS. SPACING SHALL NOT BE LESS THAN 3 FT NOR GREATER THAN 12 FT IN ANY DIMENSION. PLACE 1/2 INCH EXPANSION JOINT FILLER AT 50 FT (MAX) INTERVALS.
4. CONCRETE PEDESTRIAN RAMPS MUST BE CONSTRUCTED AT ALL INTERSECTIONS.

Call 48 Hours before digging:

811 or call811.com
Common Ground Alliance

GENERAL NOTES:

- * RADIUS TO BE B618 C. & G. WITH 10' TRANSITION FROM SURMOUNTABLE CURB DENOTES GUTTERLINE ELEVATION AT INTERSECTIONS

CASTING NOTE:

ALL CATCH BASIN CASTINGS IN CURB SHALL BE SUMPED 0.10 FEET AND MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN PROFILES REFLECT THE SUMPED ELEVATIONS.

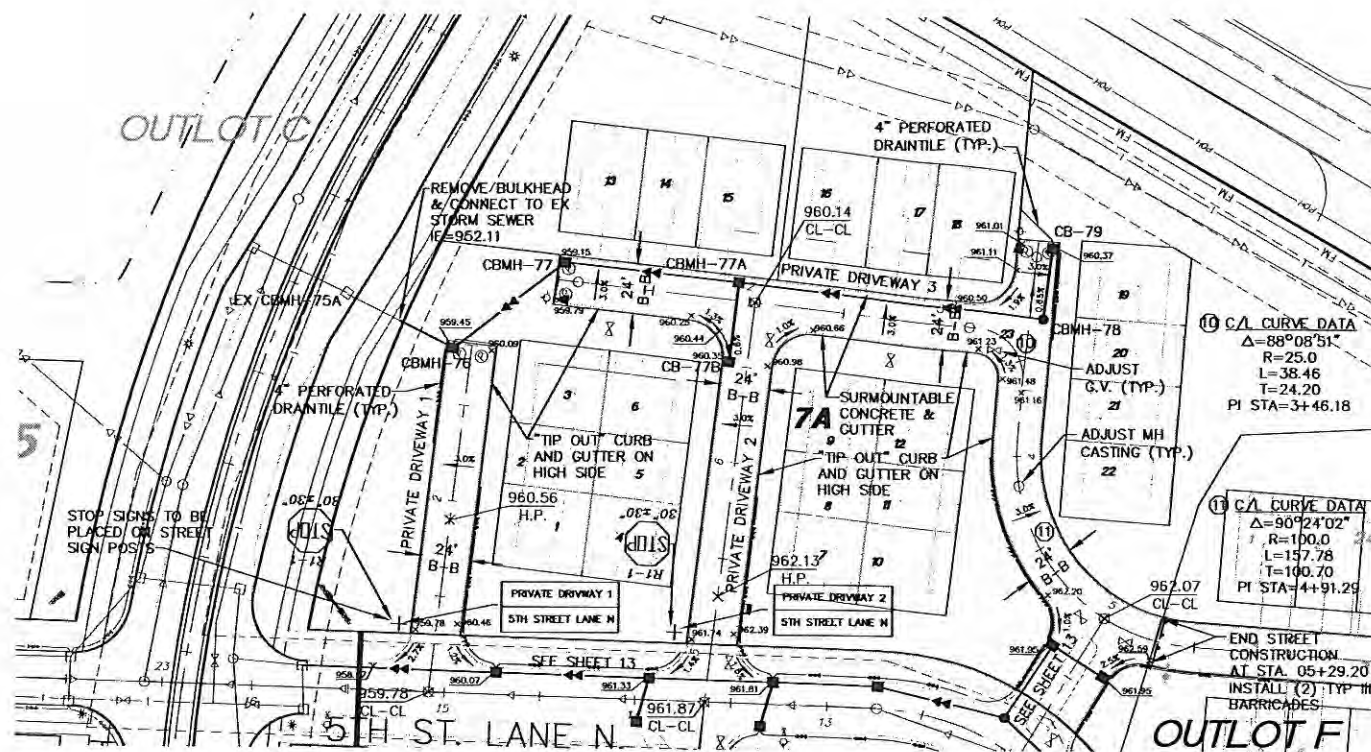
- * CONDUIT CROSSINGS TO BE PERPENDICULAR TO STREET & PLACED BELOW THE STREET SUBGRADE.

- * DRAIN TILE INVERT TO BE LOCATED ABOVE TOP OF EFFLUENT STORM PIPE & EXTENDING 3 INCHES INTO CATCH BASIN STRUCTURE.

- * ALL STORM SEWER INSTALLED SHALL HAVE POSITIVE GRADE.

- * SAW AND SEAL OF BITUMINOUS PAVEMENT (40 FOOT INTERVALS) REQUIRED ON ALL RESIDENTIAL STREETS WITH ASPHALT GRADE B, SEE DETAIL SHEET 16.

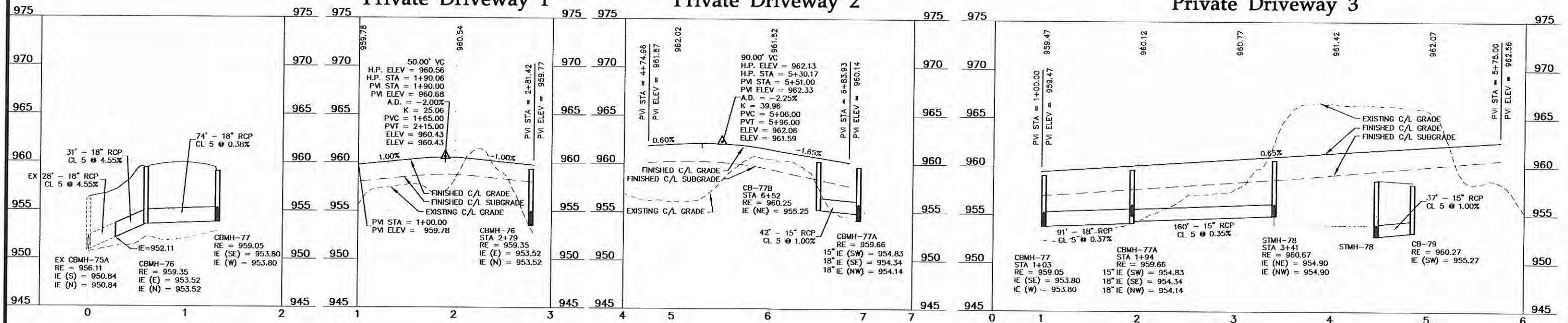
- * ALL STREET SIGNS & POSTS ARE TO BE PROVIDED BY DEVELOPER PER CITY OF LAKE ELMO DETAIL PLATE 706. LONGER STREET SIGN TO BE PLACED ON THE BOTTOM. IF STREET SIGN PLATES ARE THE SAME LENGTH, THEN HIGHER VOLUME STREET SIGN TO BE PLACED ON BOTTOM.



Private Driveway 1

Private Driveway 2

Private Driveway 3



Latest Revision Date: 08/08/14

0000565.0251F07.dwg

Date: 06/25/14 Sheet: 14 OF 17

Savona 2nd Addition

Lake Elmo, Minnesota

Storm Sewer and Street Construction Plan

Private Driveway

Lennar Corporation

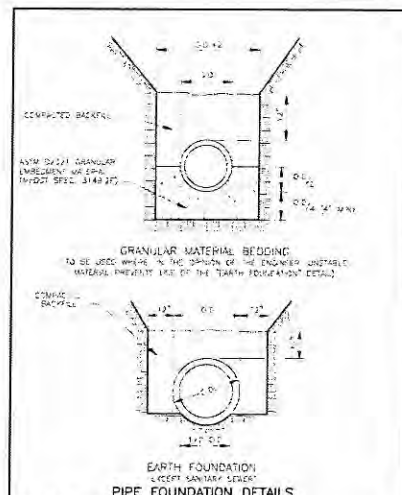
16305 36th Avenue North Suite 600
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Revisions:

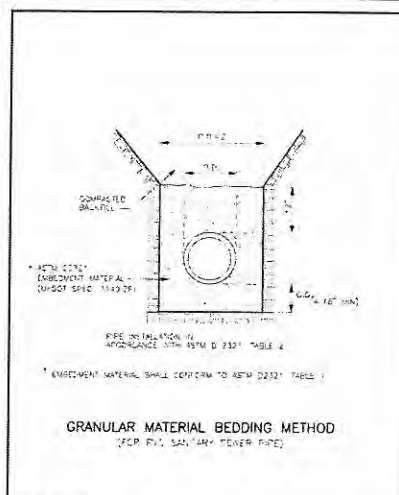
06/30/14 CITY COMMENTS
07/30/14 CITY COMMENTS
08/08/14 CITY COMMENTS

Designed: **CJ**
Checked: **RMD**
Drawn: **HW**
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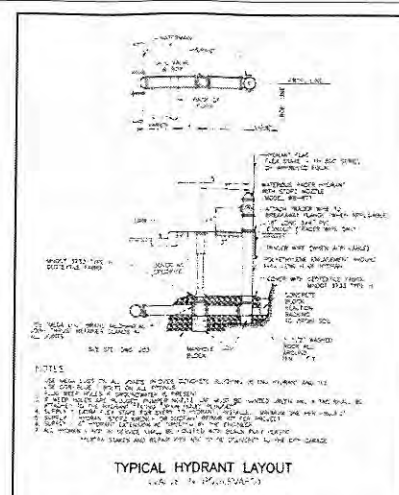
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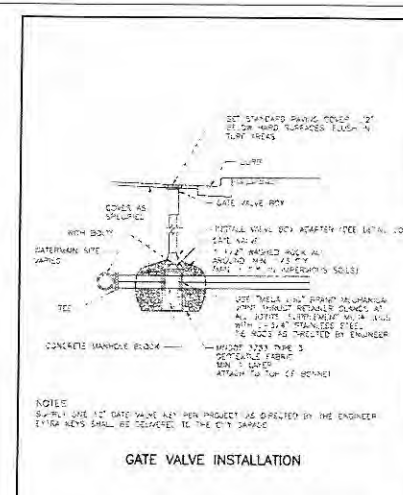
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CITY OF LAKE ELMO
101
LAKE ELMO



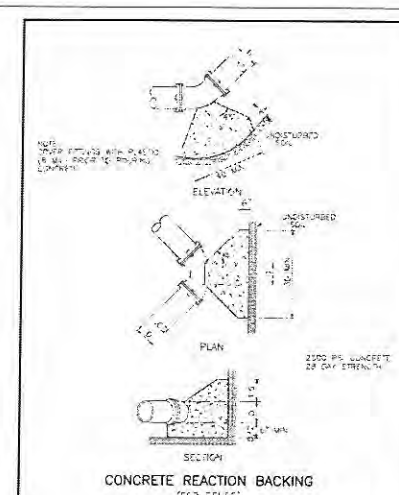
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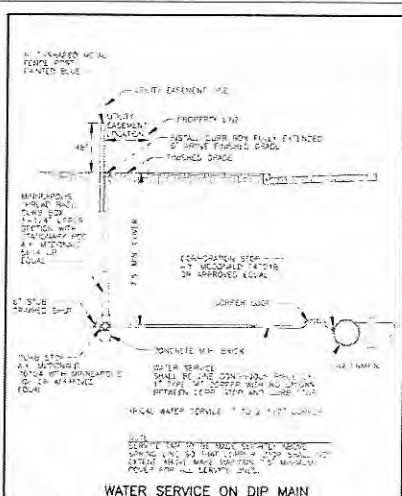
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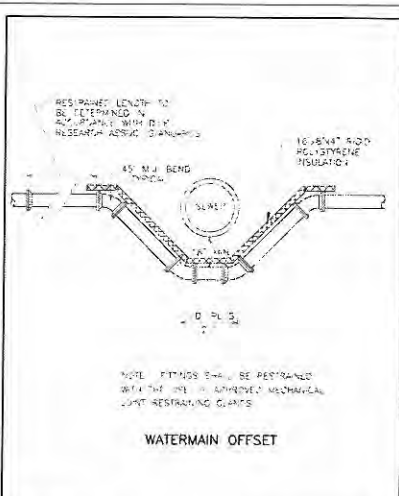
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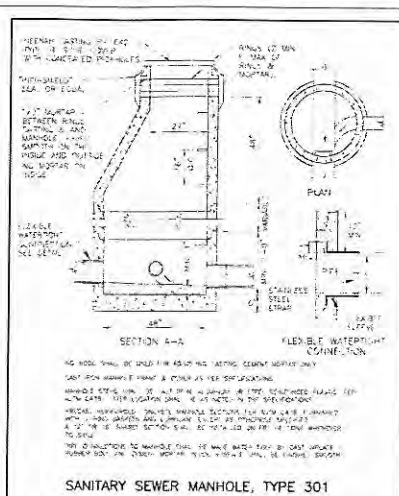
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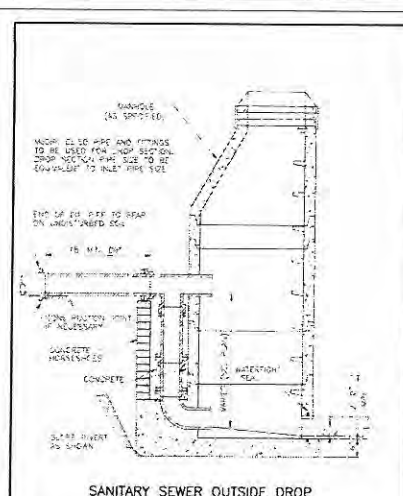
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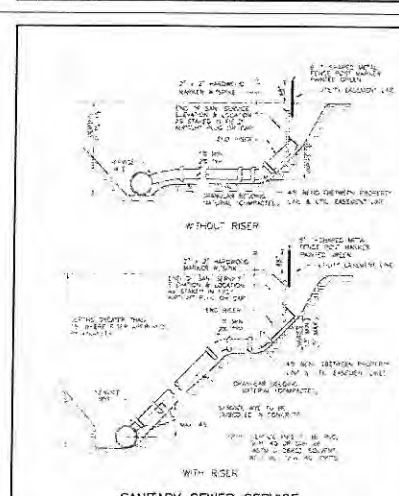
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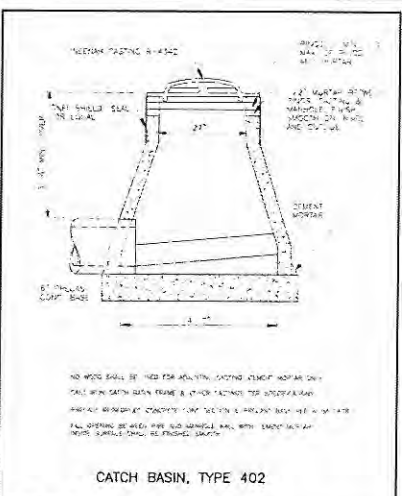
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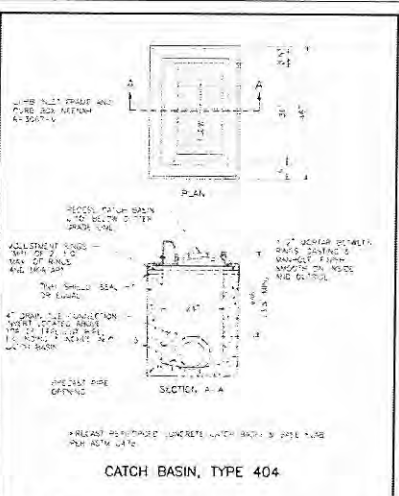
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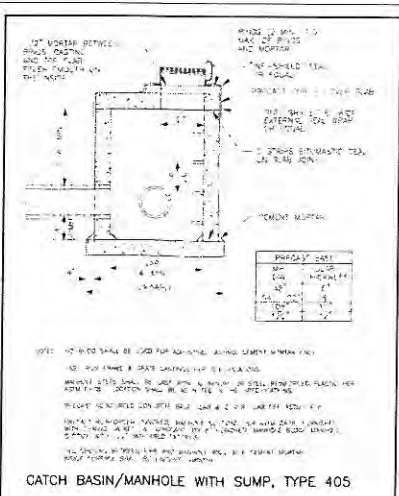
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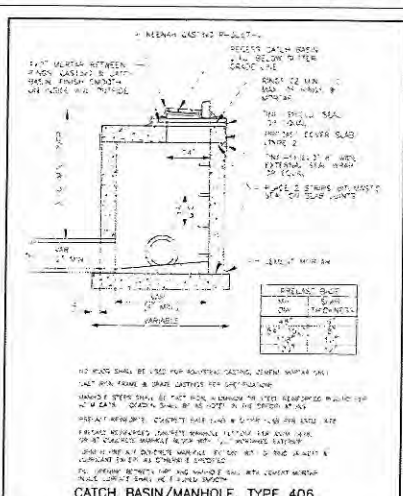
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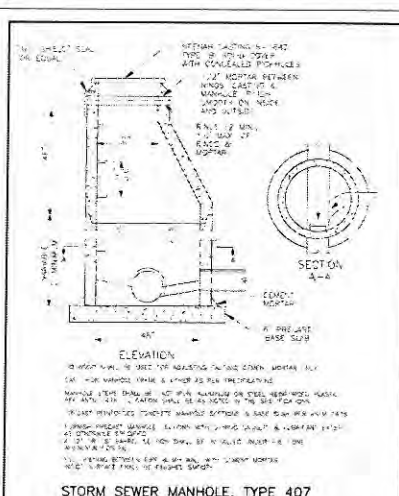
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CITY OF LAKE ELMO
404
LAKE ELMO



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405
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I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.
Ryan M. Blum
Date: 08/08/14 License No. 41257

Revisions:
01/16/14 CITY COMMENTS
01/21/14 REV. SET
02/28/14 CITY COMMENTS
03/13/14 CITY COMMENTS
06/20/14 CITY COMMENTS
07/20/14 CITY COMMENTS
08/08/14 CITY COMMENTS
05/20/14 CITY COMMENTS
06/25/14 REVISED OUTLETS
07/25/14 WATER SERVICE REVISION
08/04/14 MATH & REVISION SERVICE

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Checked: **KMB**
Drawn: **RW**
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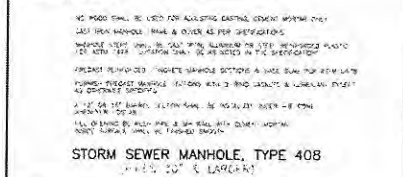
Prepared for:

Lennar Corporation
16305 36th Avenue North Suite 600
Plymouth, Minnesota 55446

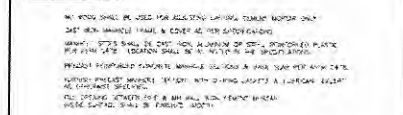
Savona 2nd Addition
Lake Elmo, Minnesota

Latest Revision Date: 08/08/14
0000565.0201F01.dwg
Date: 06/25/14 Sheet: 15 OF 17

Details

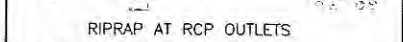


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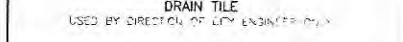


STORM SEWER MANHOLE, TYPE 409

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	7.500 (2.500)
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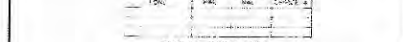
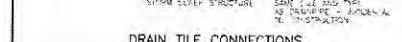
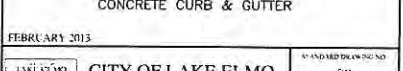
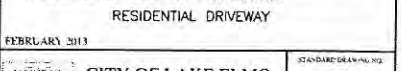


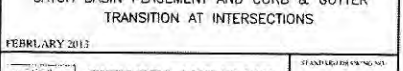
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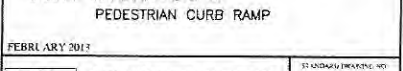


L. A. D. 13.407









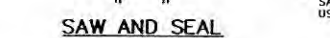
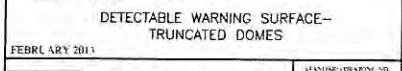
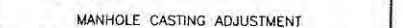


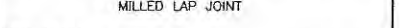
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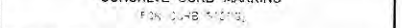
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LAST NAME



CITY OF LAKE ELMO



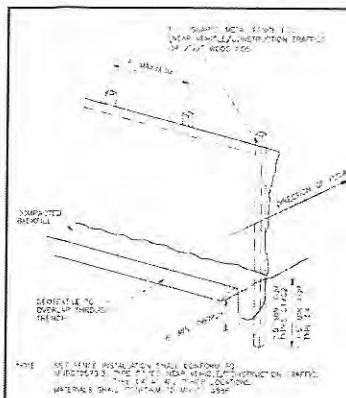
CITY OF LAKE ELMO 313

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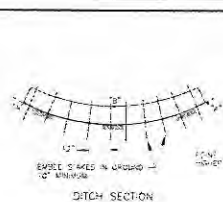
Lake Elmo, Minnesota



SILT FENCE

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CITY OF LAKE ELMO

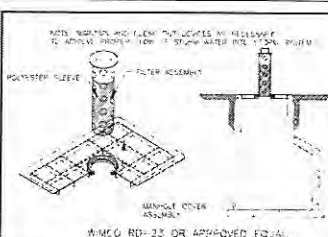
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LAKELAND

FIBER ROLL SECTION

DITCH CHECK (FIBER ROLL)

FEBRUARY 2013

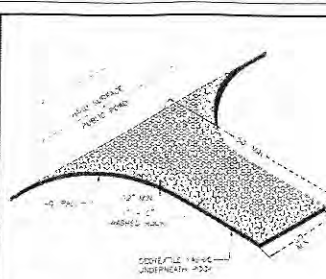
CITY OF LAKE ELMO

STANDARD DRAWING NO. 601
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SEDIMENT CONTROL AROUND STORM SEWER INLET

FEBRUARY 2013

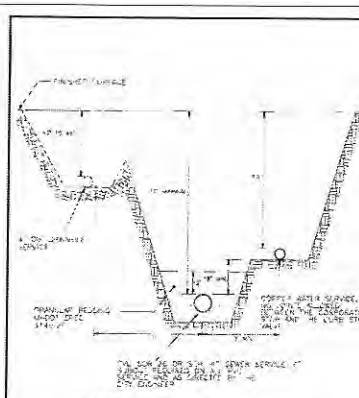
CITY OF LAKE ELMO

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ROCK CONSTRUCTION ENTRANCE

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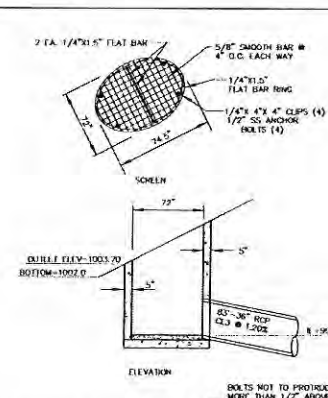
CITY OF LAKE ELMO

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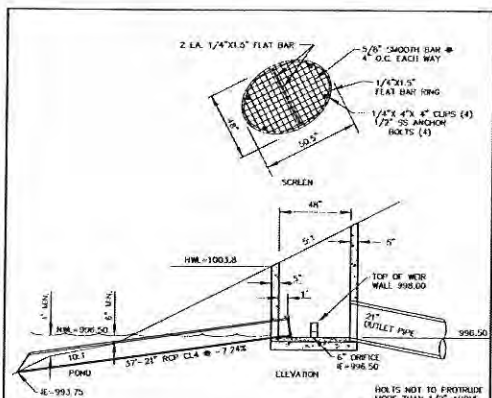
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FEBRUARY 2013

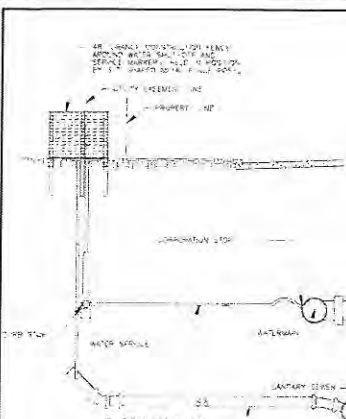
CITY OF LAKE ELMO

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LAKELAND

POND OUTLET STRUCTURE - 291



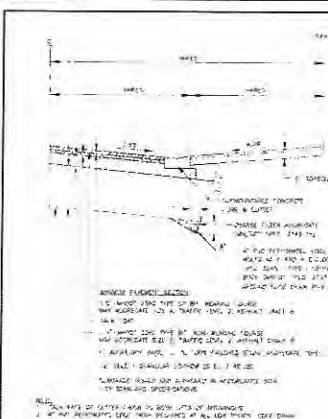
POND OUTLET STRUCTURE - 302



TYPICAL SERVICE PROTECTION

FEBRUARY 2013

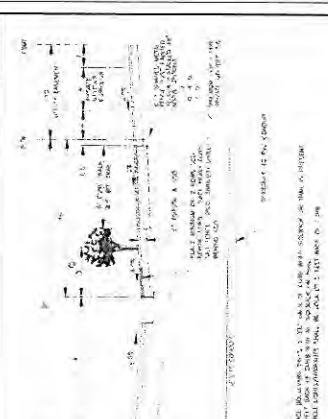
CITY OF LAKE ELMO

STANDARD DRAWING NO. 713
LAKELAND

TYPICAL LOCAL RESIDENTIAL STREET SECTION (MINIMUM 7-TON DESIGN)

FEBRUARY 2013

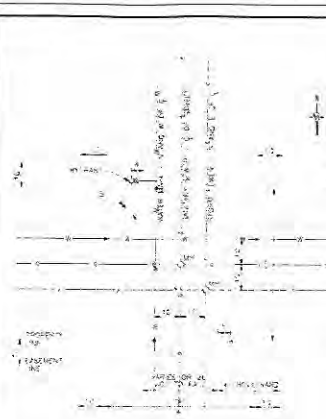
CITY OF LAKE ELMO

STANDARD DRAWING NO. 801
LAKELAND

TYPICAL RIGHT OF WAY LAYOUT

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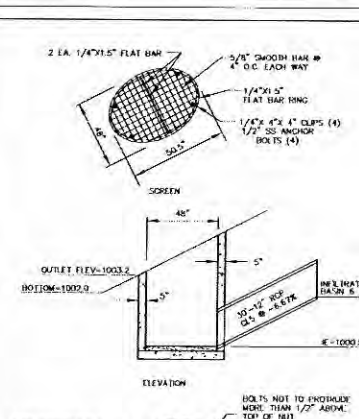
CITY OF LAKE ELMO

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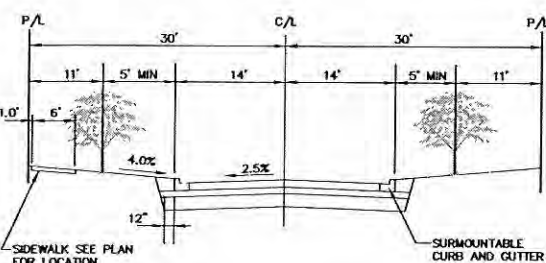
URBAN STREET UTILITY LOCATION

FEBRUARY 2013

CITY OF LAKE ELMO

STANDARD DRAWING NO. 806
LAKELAND

POND OUTLET STRUCTURE - 286

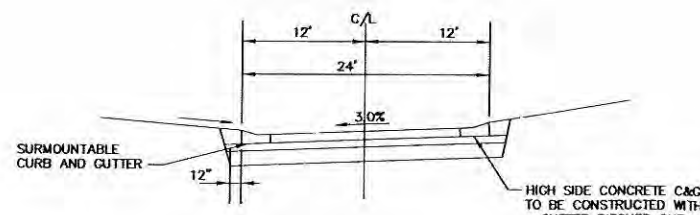


RESIDENTIAL STREET (28' B-B)

NO SCALE

60' ROW

SEE CITY OF LAKE ELMO DETAIL 801 FOR TYPICAL STREET SECTION



PRIVATE STREET (24' B-B)

NO SCALE

60' ROW

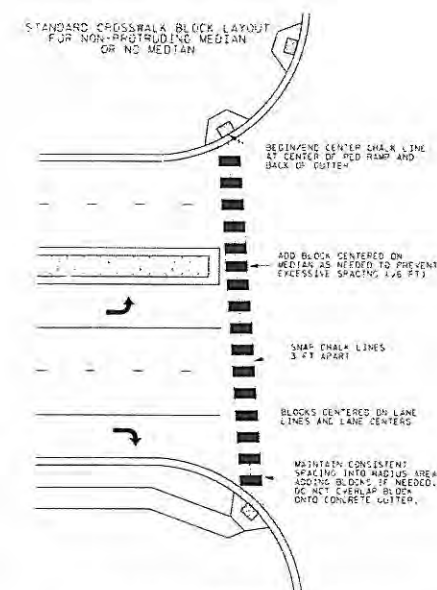
SEE CITY OF LAKE ELMO DETAIL 801 FOR TYPICAL STREET SECTION

MARKINGS FOR PEDESTRIAN CROSSWALKS

(L) WIDTH OF INSIDE LANE	(W) WIDTH OF PAINTED AREA	(S) WIDTH OF SPACE
9'	2.0'	2.5'
10'	2.5'	2.5'
11'	2.5'	3.0'
12'	3.0'	3.0'
13'	3.0'	3.5'

CROSSWALK NOTES:

1. PAINTED AREAS TO BE CENTERED ON CENTERLINE AND LANE LINES.
2. A MINIMUM OF 1.5 FT. CLEAR DISTANCE SHALL BE LEFT ADJACENT TO THE CURB. IF LAST PAINTED AREA FALLS INTO THIS DISTANCE IT MUST BE OMITTED.
3. ON TWO LANE TWO WAY STREETS, USE SPACING SHOWN FOR AN 11 FT. INSIDE LANE.
4. FOR DIVIDED ROADWAYS, ADJUSTMENTS IN SPACING OF THE BLOCKS SHOULD BE MADE IN THE MEDIAN SO THAT THE BLOCKS ARE MAINTAINED IN THEIR PROPER LOCATION ACROSS THE TRAVELED PORTION OF THE ROADWAY.
5. AT SKEWED CROSSWALKS, THE BLOCKS ARE TO REMAIN PARALLEL TO THE LANE LINES AS SHOWN.



PAVEMENT MARKINGS FOR PEDESTRIAN CROSSINGS

Latest Revision Date: 08/08/14

Date: 06/25/14 Sheet: 17 OF 17

Savona 2nd Addition

Lake Elmo, Minnesota

Details



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I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.
R.M. Blum
Ryan M. Blum
Date: 08/08/14 License No. 41257

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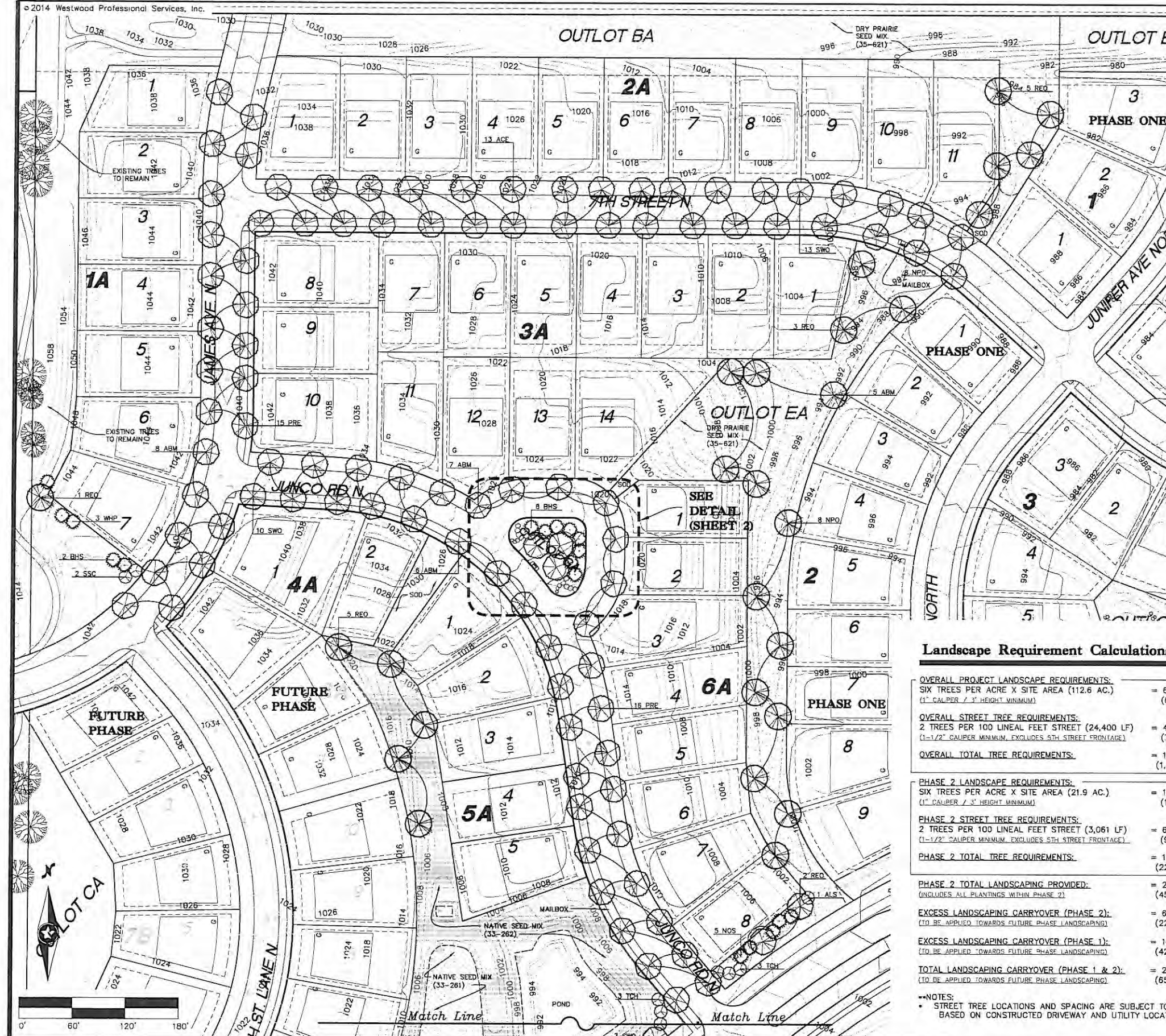
OUTLOT BA

OUTLOT B

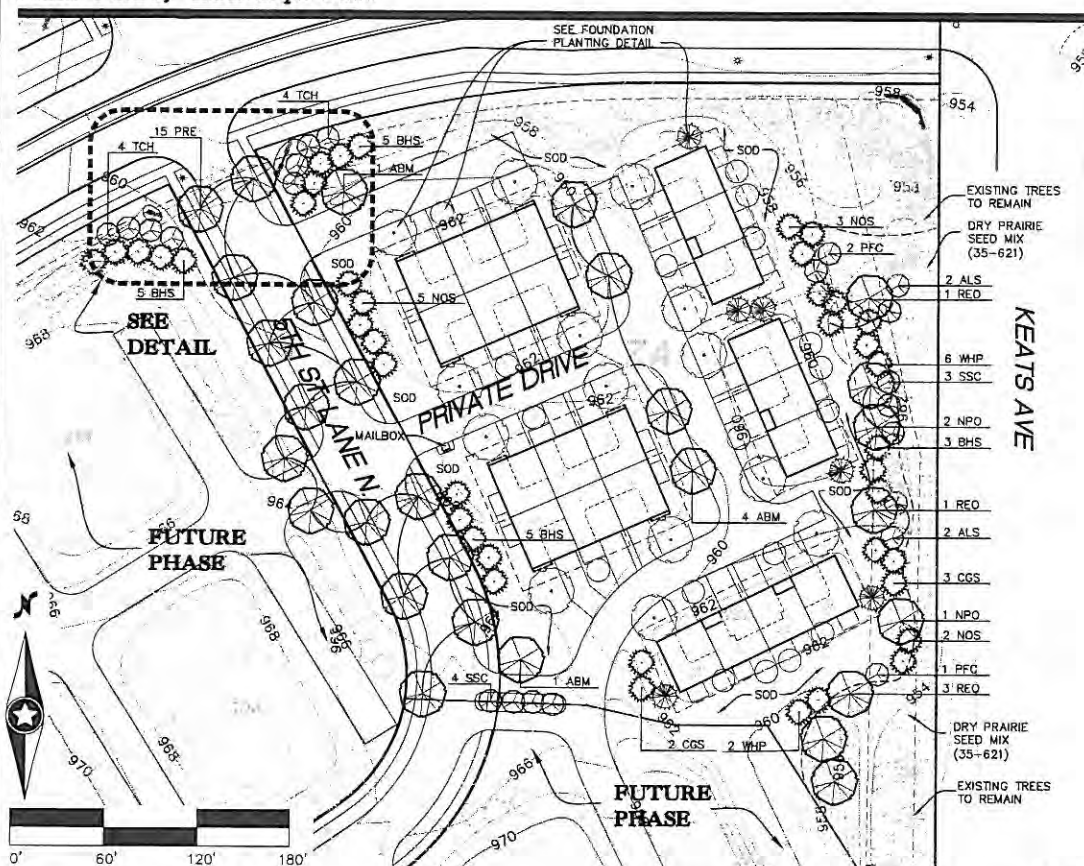
Phase 2 Final Plant Schedule

CODE	QTY.	COMMON/BOTANICAL NAME	SIZE	SPACING O.C.
ABM	29	Autumn Blaze Maple / Acer x freemanii 'Jeffersred'	1.5" BB/Cont.	AS SHOWN
NPO	16	Northern Pin Oak / Quercus ellipsoidalis	1.5" BB/Cont.	AS SHOWN
REO	19	Red Oak / Quercus rubra	1.5" BB/Cont.	AS SHOWN
SWO	26	Swamp White Oak / Quercus bicolor	1.5" BB/Cont.	AS SHOWN
PRE	31	Princeton Elm / Ulmus americana 'Princeton'	1.5" BB/Cont.	AS SHOWN
ACE	13	Accolade Elm / Ulmus japonica x wislizeni 'Morton'	1.5" BB/Cont.	AS SHOWN
TCH	6	Thornless Cockspur Hawthorn / Crataegus crusgalli 'Inermis'	1.5" BB	AS SHOWN
ALS	1	Allegheny Serviceberry / Amelanchier lasius	6" HT, BB CLUMP	AS SHOWN
SSC	2	Spring Snow Crab / Malus 'Spring Snow'	1.5" BB	AS SHOWN
BHS	10	Black Hills Spruce / Picea glauca densata	6" HT, BB	AS SHOWN
NOS	5	Norway Spruce / Picea abies	6" HT, BB	AS SHOWN
WHP	3	White Pine / Pinus strobus	6" HT, BB	AS SHOWN

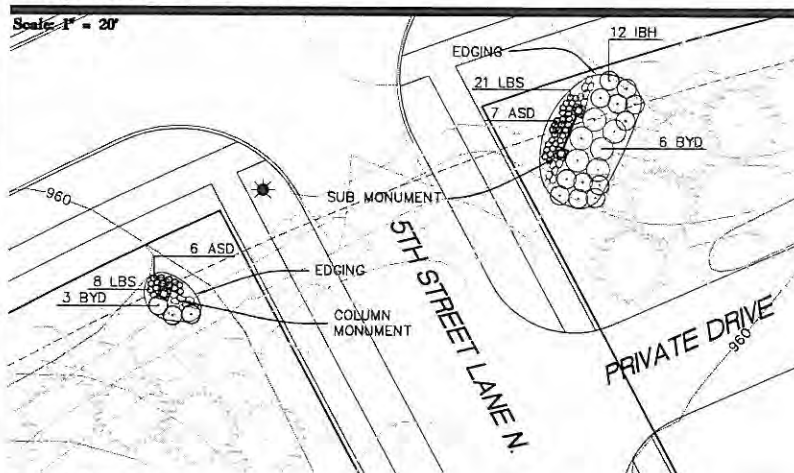
NOTE: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.



Multi Family Landscape Plan

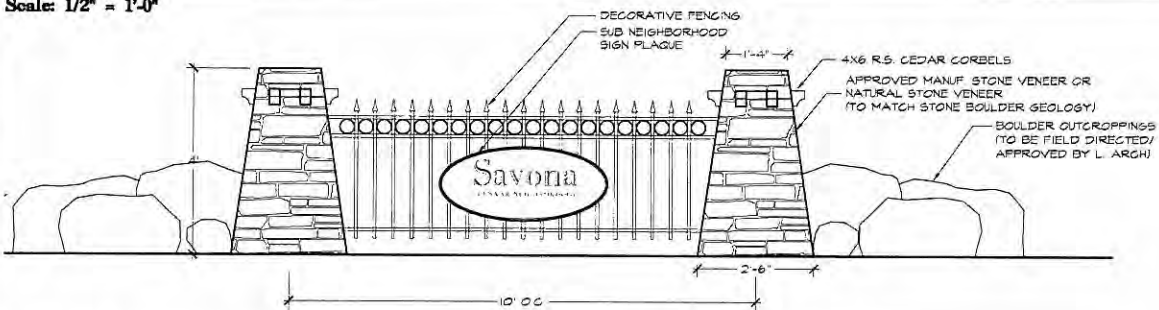


Entry Monument Detail



Sub Monument

Scale: 1/2" = 1'-0"



Multi Family & Entry Monument Plant Schedule

CODE	QTY.	COMMON/BOTANICAL NAME	SIZE	SPACING O.C.
ABM	6	Autumn Blaze Maple / <i>Acer x freemanii</i> 'Jefferson'	1.5" BB/Cont.	AS SHOWN
NPO	3	Northern Pin Oak / <i>Quercus ellipsoidalis</i>	1.5" BB/Cont.	AS SHOWN
REO	5	Red Oak / <i>Quercus rubra</i>	1.5" BB/Cont.	AS SHOWN
PRE	15	Princeton Elm / <i>Ulmus americana</i> 'Princeton'	1.5" BB/Cont.	AS SHOWN
TCH	8	Thornless Cocksbur Hawthorn / <i>Crataegus crusgalli</i> 'Inermis'	1.5" BB	AS SHOWN
ALS	4	Allegheny Serviceberry / <i>Amelanchier laevis</i>	6' HT., BB CLUMP	AS SHOWN
PFC	3	Prairie Fire Crab / <i>Malus 'Prairie Fire'</i>	1.5" BB	AS SHOWN
SSC	7	Spring Snow Crab / <i>Malus 'Spring Snow'</i>	1.5" BB	AS SHOWN
BHS	18	Black Hills Spruce / <i>Picea glauca densata</i>	6' HT., BB	AS SHOWN
NOS	10	Norway Spruce / <i>Picea abies</i>	6' HT., BB	AS SHOWN
WHP	8	White Pine / <i>Pinus strobus</i>	6' HT., BB	AS SHOWN
CGS	3	Colorado Green Spruce / <i>Picea pungens</i>	6' HT., BB	AS SHOWN

BYD	9	Bud's Yellow Dogwood / <i>Cornus sericea</i> 'Bud's Yellow'	#5 Cont.	5'-0" O.C.
IBH	12	Incrediball Hydrangea / <i>Hydrangea aborescens</i> 'Abetwo'	#5 Cont.	4'-0" O.C.
LBS	29	Blue Heaven Bluestem Grass / <i>Schizachyrium scoparium</i> 'Minniblu A'	#1 Cont.	18" O.C.
ASD	13	Apricot Sparkles Daylily / <i>Hemerocallis</i> 'Apricot Sparkles'	#1 Cont.	18" O.C.

NOTE: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.

Island Detail Plant Schedule

CODE	QTY.	COMMON/BOTANICAL NAME	SIZE	SPACING O.C.
BLC	15	Black Chokeberry / <i>Aronia melanocarpa</i>	#5 Cont.	4'-0" O.C.
IBH	10	Incrediball Hydrangea / <i>Hydrangea aborescens</i> 'Abetwo'	#5 Cont.	4'-0" O.C.
MIS	12	Miscanthus Flame Grass / <i>Miscanthus sinensis</i> 'Purpureascens'	#1 Cont.	48" O.C.
FRG	31	Feather Reed Grass / <i>Calamagrostis x acutiflora</i> 'Karl Foerster'	#1 Cont.	24" O.C.
LBS	68	Blue Heaven Bluestem Grass / <i>Schizachyrium scoparium</i> 'Minniblu A'	#1 Cont.	18" O.C.
SPD	54	Sporobolus Prairie Dropseed Grass / <i>Sporobolus heterolepis</i>	#1 Cont.	18" O.C.

NOTE: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.

Mailbox Detail Plant Schedule (typ. each location)

CODE	QTY.	COMMON/BOTANICAL NAME	SIZE	SPACING O.C.
LBS	12	Blue Heaven Bluestem Grass / <i>Schizachyrium scoparium</i> 'Minniblu A'	#1 Cont.	18" O.C.
ASD	4	Apricot Sparkles Daylily / <i>Hemerocallis</i> 'Apricot Sparkles'	#1 Cont.	18" O.C.

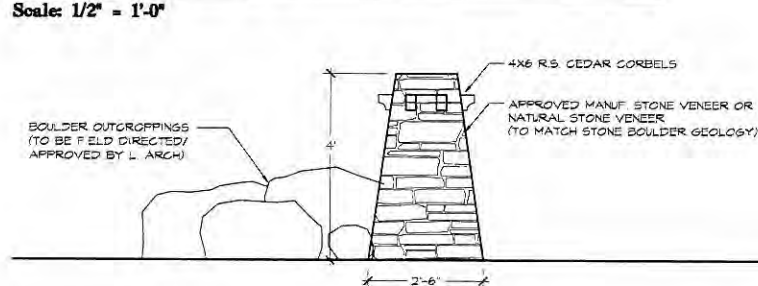
NOTE: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.

Mailbox Unit (Post Mount)



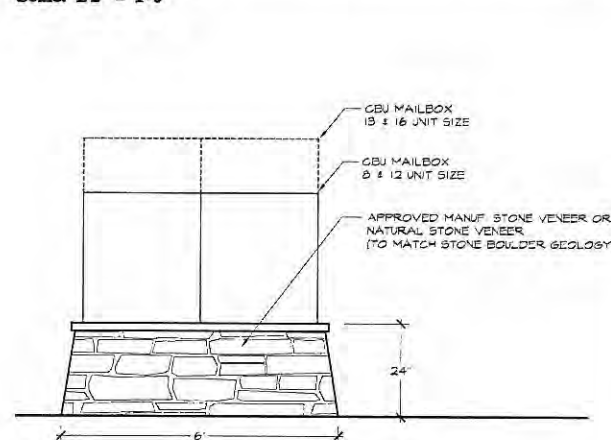
Column Monument

Scale: 1/2" = 1'-0"



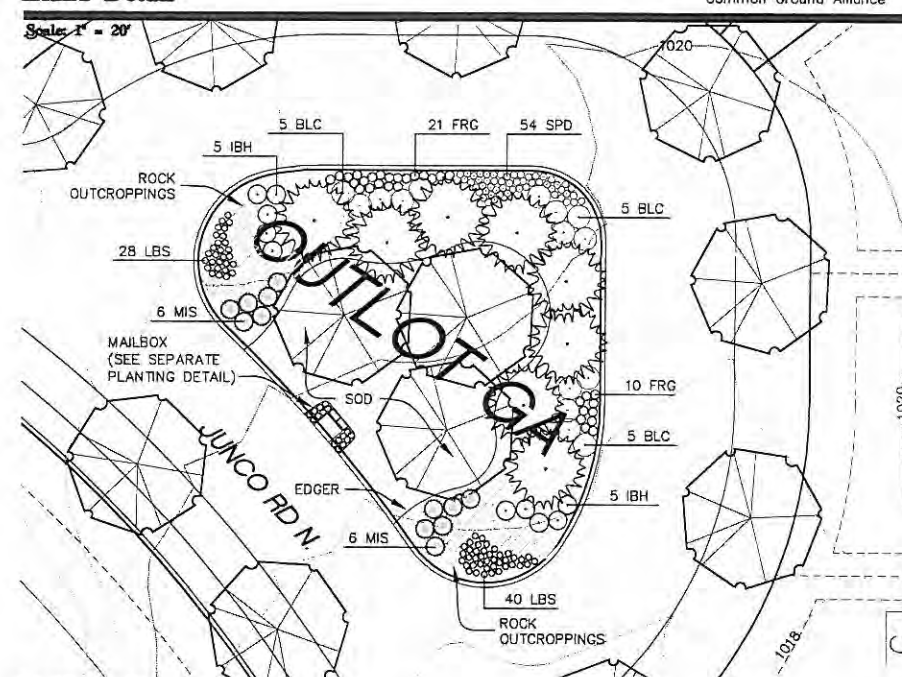
Alternate Mailbox Monument

Scale: 1/2" = 1'-0"



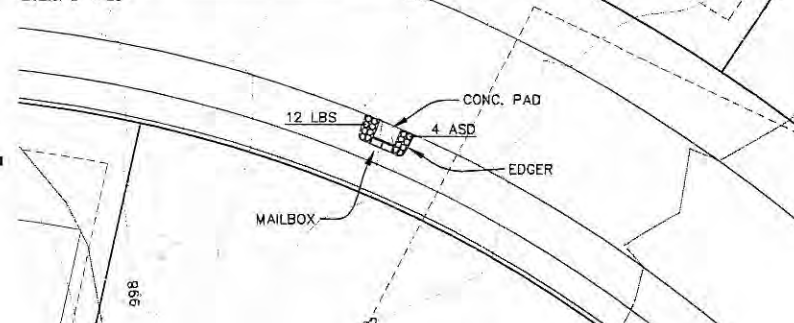
Island Detail

Scale: 1" = 20'



Mailbox Detail (typ.)

Scale: 1" = 20'



<p>STANDARD PLAN NOTES</p> <p>FEBRUARY 2016</p> <p>CITY OF LAKE ELMO</p>	<p>STANDARD PLAN NOTES</p> <p>FEBRUARY 2016</p> <p>CITY OF LAKE ELMO</p>
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TOLL FREE: 1-888-937-5150
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I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed LANDSCAPE ARCHITECT under the laws of the State of Minnesota.

Cori Meyer

Date: 07/11/14 License No. 26971

Revisions:

Designed: CLM
Checked: CLM
Drawn: SYK
Record Drawing by/date:

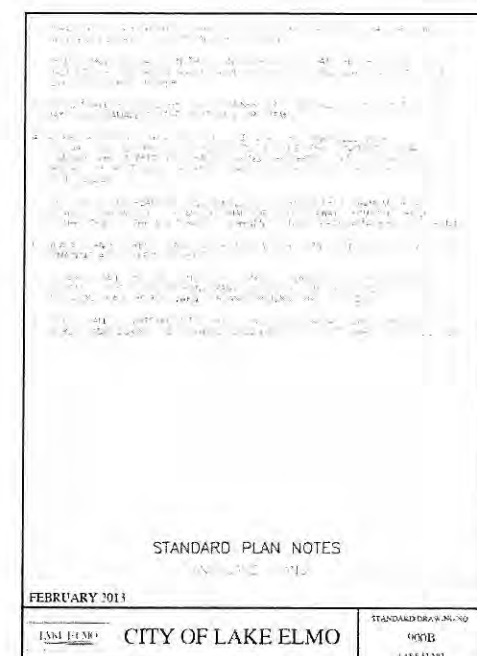
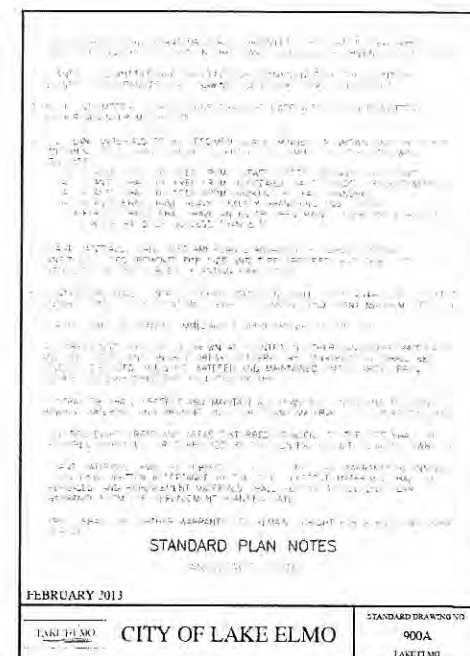
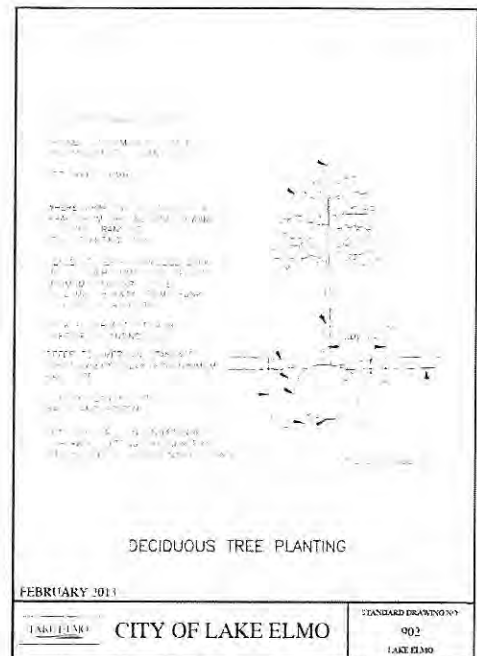
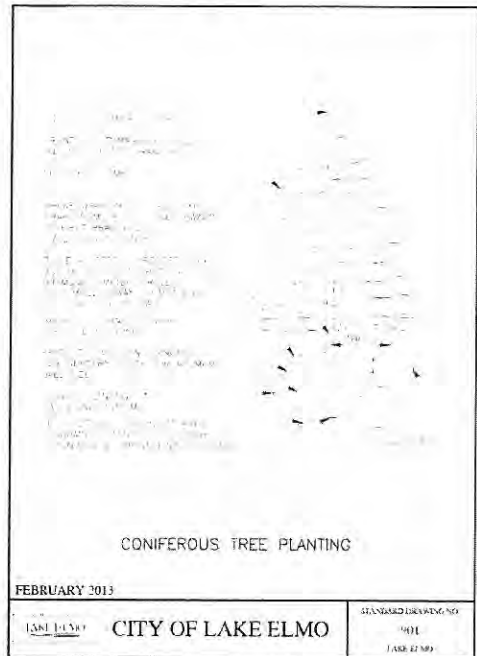
Prepared for:

Lennar Corporation
16305 36th Avenue North Suite 600
Plymouth, Minnesota 55446

Savona 2nd Addition
Lake Elmo, Minnesota

Date: 07/11/14 Sheet: 2 OF 3
Final Landscape Details

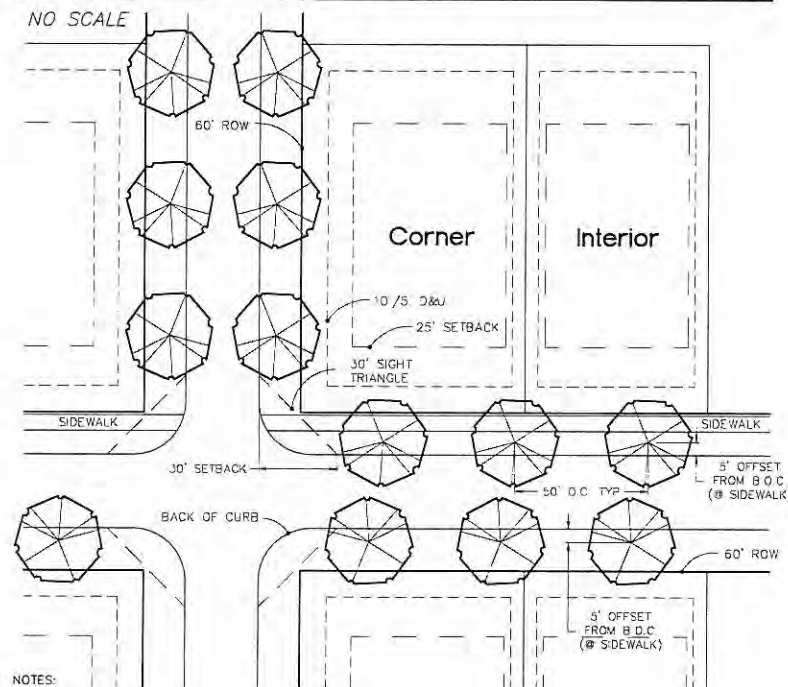
0000585 02PLF02.dwg



Supplemental Planting Notes

1. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
2. NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
3. PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
4. THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
5. BACKFILL SOIL TO ADHERE TO MN/DOT STANDARD SPECIFICATION 3877 (SELECT TOPSOIL BORROW) AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREES, SHRUBS, AND PERENNIALS.
6. MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 2" DEPTH SHREDDED HARDWOOD MULCH. MULCH TO BE FREE OF DELETERIOUS MATERIAL.
7. EDGING TO BE SPADED EDGE, UNLESS OTHERWISE INDICATED. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREES AND SHRUBS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE.
8. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. NATIVE SEEDING PER MNDOT SPECIFICATIONS IN OUTLOT DA TO BE SEEDING WITH SEED MIX 35-262 UNLESS NOTED OTHERWISE. PORTIONS OF OUTLOTS B, BA, & EA TO BE SEEDING WITH SEED MIX 35-621 PER MNDOT SPECIFICATIONS.
9. PROVIDE IRRIGATION TO ALL STREET TREE AND BUFFER LANDSCAPING ON SITE. REAR YARD AND OPEN SPACE PLANTINGS WILL NOT BE IRRIGATED. IRRIGATION SYSTEM TO BE DESIGN/BUILT BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS TO CITY OF LAKE ELMO FOR APPROVAL PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE-YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR.
10. REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
11. ALL DISTURBED AREAS TO BE SEEDING, UNLESS OTHERWISE NOTED. SOD TO BE STANDARD MINNESOTA GROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED AND PER MN STATE SEED MIX SPECIFICATIONS (SEE SEED MIX TABLES).

Typical Street Tree Planting Detail



1. TIMING OF PLANT INSTALLATION WILL BE DEPENDENT UPON SEASON AND PLANT AVAILABILITY.
2. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
3. NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
4. TREES INSTALLED ON FRONTS OF INDIVIDUAL LOTS SHALL BE PLANTED IN A LOCATION THAT DOES NOT INTERFERE WITH CURBSTOPS, INDIVIDUAL SEWER & WATER CONNECTIONS, OR DRIVEWAY LOCATIONS.

Wet Stormwater Native Grass Mix - Outlot DA

Common Name	Scientific Name	Rate (kg/ha)	Rate (lb/ac)	% of Mix	Seeds/sq ft
big bluestem	<i>Andropogon gerardii</i>	2.24	2.00	5.77%	7.35
fringed brome	<i>Bromus ciliatus</i>	2.24	2.00	5.77%	8.10
bluepoint	<i>Calamagrostis canadensis</i>	0.07	0.06	0.18%	0.40
slender wheatgrass	<i>Elymus trachycalyx</i>	1.12	1.00	2.85%	2.50
Virginia wild rye	<i>Elymus virginicus</i>	1.68	1.50	4.28%	2.31
swathgrass	<i>Panicum virgatum</i>	0.43	0.38	1.07%	1.93
low bluestem	<i>Poa palustris</i>	1.12	1.00	2.85%	50.70
Indian grass	<i>Sorghastrum nutans</i>	0.12	0.12	0.30%	2.55
prairie cordgrass	<i>Spartina pectinata</i>	0.43	0.38	1.07%	2.91
Total Grasses		9.53	8.50	24.29%	86.72
awl-fruited sedge	<i>Carex spicata</i>	0.29	0.25	0.71%	3.10
dark green bulrush	<i>Scirpus atrovirens</i>	0.21	0.19	0.54%	31.70
wedgegrass	<i>Scirpus cyperinus</i>	0.07	0.06	0.18%	39.00
Total Sedges and Rushes		0.56	0.50	1.43%	73.80
Canada anemone	<i>Anemone canadensis</i>	0.08	0.07	0.19%	2.20
marsh milkweed	<i>Asclepias incarnata</i>	0.12	0.11	0.32%	0.20
leafy begonia	<i>Sedum spectabile</i>	0.12	0.11	0.32%	3.20
flag-topped aster	<i>Dawsonia umbellata</i>	0.07	0.06	0.17%	1.50
spotted Joe pye weed	<i>Eupatorium maculatum</i>	0.07	0.06	0.18%	2.19
autumn snowweed	<i>Helianthus autumnalis</i>	0.15	0.13	0.35%	5.37
obscure plant	<i>Physostegia virginiana</i>	0.08	0.07	0.21%	0.30
late-blooming	<i>Rudbeckia hirta</i>	0.08	0.07	0.21%	0.37
New England aster	<i>Symphoricarpos novae-angliae</i>	0.08	0.07	0.19%	1.56
blue vervain	<i>Verbena hastata</i>	0.08	0.06	0.15%	1.85
golden alexanders	<i>Zizia aurea</i>	0.22	0.20	0.56%	2.79
Total Forbs		1.12	1.00	2.85%	15.13
Oats or winter wheat (see note at beginning of list for recommended dates)		28.02	25.00	71.43%	11.14
Total Cover Crop		28.02	25.00	71.43%	11.14
Totals		39.23	35.00	100.00%	109.95

Dry Stormwater Native Grass Mix - Outlot DA

Common Name	Scientific Name	Rate (kg/ha)	Rate (lb/ac)	% of Mix	Seeds/sq ft
big bluestem	<i>Andropogon gerardii</i>	1.68	1.50	3.40%	5.50
American slough grass	<i>Beckmannia syzigachne</i>	1.68	1.50	3.42%	27.60
fringed brome	<i>Bromus ciliatus</i>	1.68	1.50	3.40%	6.05
nodding wild rye	<i>Elymus canadensis</i>	4.48	4.00	9.09%	1.64
slender wheatgrass	<i>Elymus trachycalyx</i>	4.48	4.00	9.09%	10.15
Virginia wild rye	<i>Elymus virginicus</i>	2.80	2.50	5.87%	3.85
swathgrass	<i>Panicum virgatum</i>	0.45	0.40	0.91%	2.05
low bluestem	<i>Poa palustris</i>	1.79	1.60	3.64%	76.50
Indian grass	<i>Sorghastrum nutans</i>	1.68	1.50	3.40%	6.80
Total Grasses		20.74	18.50	42.93%	145.94
marsh milkweed	<i>Asclepias incarnata</i>	0.07	0.06	0.15%	0.10
purple prairie clover	<i>Dalea purpurea</i>	0.10	0.09	0.21%	0.50
Carolina tick trefoil	<i>Desmodium illinoense</i>	0.10	0.09	0.21%	0.18
ox-eye	<i>Helianthus scaberrimus</i>	0.10	0.09	0.20%	0.20
black-eyed susan	<i>Rudbeckia hirta</i>	0.08	0.07	0.17%	2.49
blue vervain	<i>Verbena hastata</i>	0.11	0.10	0.23%	3.50
Total Forbs		0.56	0.50	1.15%	5.93
Oats or winter wheat (see note at beginning of list for recommended dates)		28.02	25.00	56.82%	11.14
Total Cover Crop		28.02	25.00	56.82%	11.14
Totals		49.32	44.00	100.00%	164.05

Purpose: Temporary floodable wetlands in agricultural settings.

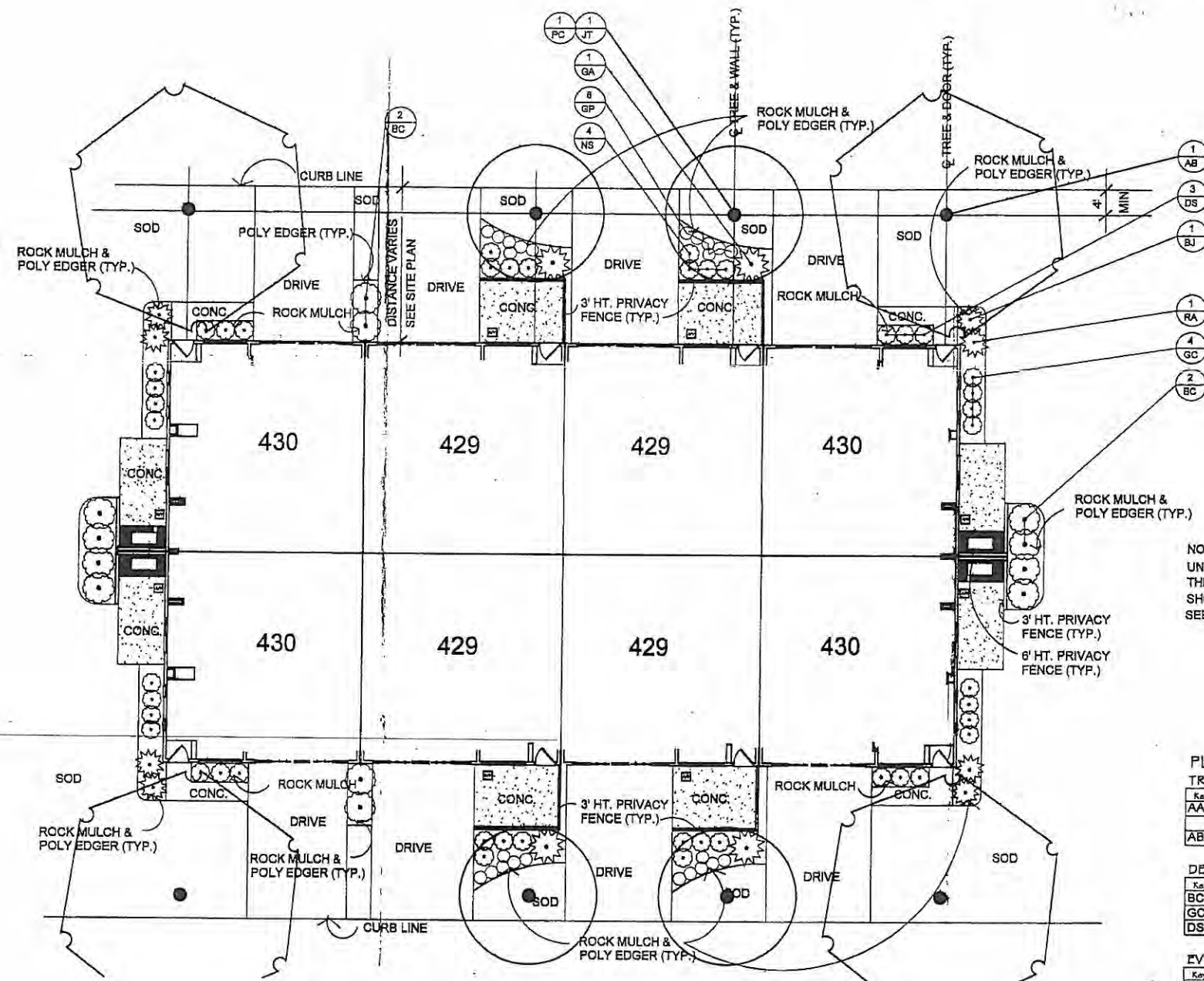
Planting Area: Tallgrass Aspen Parklands, Prairie Parkland, and Eastern Prairie Forest Provinces. MNDOT Districts 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

Dry Prairie Seed Mix - Outlots B, BA, EA

Common Name	Scientific Name	Rate (kg/ha)	Rate (lb/ac)	% of Mix	Seeds/sq ft
side-oats grama	<i>Bouteloua curtipendula</i>	1.27	1.13	10.23%	2.45
blue grama	<i>Bouteloua gracilis</i>	0.76	0.68	6.19%	13.00
karri blue grama	<i>Bouteloua karrii</i>	0.35	0.31	2.73%	2.50
nodding wild rye	<i>Elymus canadensis</i>	1.88	1.50	13.61%	2.86
slender wheatgrass	<i>Elymus trachycalyx</i>	1.32	1.18	10.76%	3.00
junegrass	<i>Koeleria macrantha</i>	0.46	0.41	3.71%	30.00
little bluestem	<i>Schizachyrium scoparium</i>	1.88	1.51	13.60%	8.30
sand dune seed	<i>Sporobolus vaginatus</i>	0.25	0.22	1.93%	16.90
prairie dropseed	<i>Sporobolus vaginatus</i>	0.29	0.26	2.32%	1.90
Total Grasses		8.07	7.28	45.28%	73.04
butterfly milkweed	<i>Asclepias tuberosa</i>	0.07	0.06	0.52%	0.09
whorled milkweed	<i>Asclepias verticillata</i>	0.01	0.01	0.11%	2.05
bird's foot trefoil	<i>Coronilla varia</i>	0.08	0.05	0.50%	0.20
white prairie clover	<i>Dalea candida</i>	0.10	0.09	0.79%	0.60
purple prairie clover	<i>Dalea purpurea</i>	0.17	0.15	1.32%	2.80
ox-eye	<i>Helianthus scaberrimus</i>	0.07	0.06	0.51%	2.13
round-headed bush clover	<i>Lespedeza capitata</i>	0.03	0.03	0.31%	0.10
rough blazing star	<i>Liatris aspera</i>	0.02	0.02	0.17%	0.11
drifted blazing star	<i>Liatris pinnata</i>	0.02	0.02	0.23%	2.06
wild bergamot	<i>Monarda fistulosa</i>	0.03	0.03	0.20%	0.85
houseplant	<i>Morinda citrifolia</i>	0.02	0.02	0.22%	0.40
stiff goldenrod	<i>Oligoneuron nutans</i>	0.07	0.06	0.59%	0.98
large-flowered beard tongue	<i>Penstemon grandiflorus</i>	0.04	0.04	0.35%	0.20
black-eyed susan	<i>Rudbeckia hirta</i>	0.10	0.09	0.86%	3.20
gray goldenrod	<i>Solidago nemoralis</i>	0.01	0.01	0.14%	1.65
skyblue aster	<i>Symphoricarpos serotinus</i>	0.01	0.01	0.05%	0.26
slimy aster	<i>Symphoricarpos serotinus</i>	0.02	0.02	0.19%	0.20
bracted spiderwort	<i>Tradescantia bracteata</i>	0.01	0.01	0.12%	0.05
heart-leaved alexanders	<i>Zizia aurea</i>	0.02	0.02	0.21%	0.10
Total Forbs		0.90	0.80	7.49%	10.37
Oats or winter wheat (see note at beginning of list for recommended dates)		3.35	3.00	27.23%	1.33
Total Cover Crop		3.35	3.00	27.23%	1.33
Totals		12.33	11.00	100.00%	86.75

Purpose: Regional dry prairie reconstruction for wetland mitigation, ecological restoration, or conservation program planning.

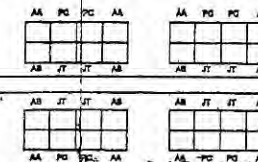
Planting Area: Eastern Broadleaf Forest Province, excluding hardwood Hills subprovince. MNDOT Districts 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.



GENERAL NOTES:

- Landscape Contractor shall visit the site prior to submitting bid to become familiar with site conditions.
- It is the responsibility of the contractor to identify all underground cables, conduits, wires, etc., on the property.
- No planting will be installed until all grading and construction has been completed in immediate area.
- If there is a discrepancy between the number of plants shown on this plan and the number of plants shown in the plant list, the number of plants shown on the plan will take precedence.
- All plants shall be of specimen quality. Plants shall have normal, well-developed branch systems, a vigorous fibrous root system; they shall be sound, healthy, vigorous plants free from defects, disfiguring lesions, sunscald injuries, obstructions of the bark, plant diseases, insect eggs, borers, and all forms of infestations. All plants shall be nursery grown.
- Repair all damage to property from planting operations at no cost to owner.
- The Landscape contractor shall replace at no charge, any tree, evergreen, or groundcover which fails to live through the first calendar year from the time of final acceptance by the owner. All plants shall be alive and in normal satisfactory growing condition at the end of the guarantee period.
- Three inch deep shredded hardwood bark mulch will be installed under all trees and shrubs that are isolated from ground cover areas and general foundation plantings.
- A three inch layer of 1.5" dia. river rock mulch over landscape weed barrier shall be installed in all shrub foundation areas.
- Tree staking in all areas shall be optional. The landscape contractor shall be responsible for maintaining trees in a straight upright condition for a period of twelve months following installation.
- All perennial/annual plantings shall be mulched with a 2" layer of shredded bark with no landscape weed barrier.
- All poly edger shall be cobra vinyl edging or equal.
- All perennial/annual planting areas shall receive a minimum of an 8" depth of planting soil (1-1-1) mixture.
- Wrapping material shall be first quality, heavy, waterproof shape paper manufactured for this purpose. Trees shall be wrapped prior to 12/1 and removed after 5/1.
- All plant locations, species, quantities and sizes subject to site conditions, soils and availability.
- Landscape Contractor to become familiar with and comply with all policies and procedures of Owner's SWPPP (Storm Water Pollution Prevention Plan).
- All shrubs to be installed a minimum distance of 24" from the foundation of any building.

NOTE: THE PLANT LISTS BELOW INDICATE 2 OPTIONS FOR TREES FOR EACH STYLE OF UNIT. TREES SHOULD BE PRICED AND INSTALLED SO THAT DECIDUOUS TREES ARE ALL THE SAME VARIETY OF SHADE OR ORNAMENTAL ON THE SAME SIDE OF THE BUILDING AND SHOULD BE THE SAME AS THE TREES OPPOSITE OF THEM ACROSS THE STREET. SEE DIAGRAM FOR EXAMPLE OF LAYOUT.



PLANT LIST - #430 (END) UNIT

TREES:

Key	Qty.	Common Name	Scientific Name	Size	Cont.
AA	1	Ash, Autumn Purple	<i>Fraxinus americana 'Autumn Purple'</i>	2.5" cal.	BB
AB	1	Maple, Autumn Blaze	<i>Acer x freemanii 'Jeffersred'</i>	2.5" cal.	BB

DECIDUOUS SHRUBS:

Key	Qty.	Common Name	Scientific Name	Size	Cont.
BC	3	Chokeberry, Glossy Black	<i>Aronia melanocarpa elata</i>	#10	Pot
GC	3	Currant, Greenmound	<i>Ribes alpinum 'Green Mound'</i>	#5	Pot
DS	3	Spiraea, Neon Flash	<i>Spiraea japonica 'Neon Flash'</i>	#5	Pot

EVERGREEN SHRUBS:

Key	Qty.	Common Name	Scientific Name	Size	Cont.
RA	1	Arborvitae, Rushmore	<i>Thuja occidentalis 'Rushmore'</i>	4' ht.	BB
BJ	1	Juniper, Blue Star	<i>Juniperus squamata 'Blue Star'</i>	#5	Pot

PLANT LIST - #429 (INTERIOR) UNIT

ORNAMENTAL TREES:

Key	Qty.	Common Name	Scientific Name	Size	Cont.
JT	1	Lilac, Japanese Tree	<i>Syringa reticulata</i>	2.5" cal.	BB
PC	1	Crabapple, Prairifire	<i>Malus 'Prairifire'</i>	2.5" cal.	BB

DECIDUOUS SHRUBS:

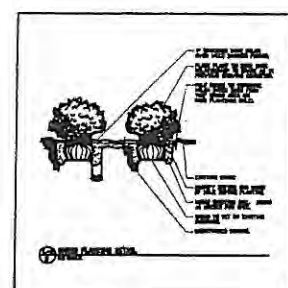
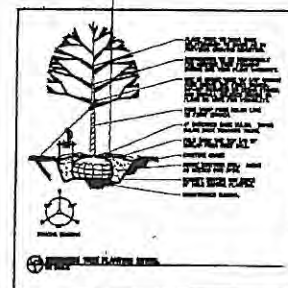
Key	Qty.	Common Name	Scientific Name	Size	Cont.
NS	4	Spiraea, Neon Flash	<i>Spiraea japonica 'Neon Flash'</i>	#5	Pot
BC	1	Chokeberry, Glossy Black	<i>Aronia melanocarpa elata</i>	#10	Pot

EVERGREEN SHRUBS:

Key	Qty.	Common Name	Scientific Name	Size	Cont.
GA	1	Arborvitae, Techny Globe	<i>Thuja occidentalis 'Techny Globe'</i>	#7	Pot

PERENNIAL FLOWERS:

Key	Qty.	Common Name	Scientific Name	Size	Cont.
GP	6	Geranium, Philippe Vapelle	<i>Geranium 'Philippe Vapelle'</i>	#1	Pot



ARTEKA
Companies

Landscape Development
Landscape Maintenance
Design - Build

8810 13th Avenue East Shakopee, MN 55379
Phone 952-934-2600 Fax 952-934-8227

Registration

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Landscape Architect under the Laws of the State of Minnesota.

Date: 6/8/06
Drawn By: VJR

Revisions

- 6/12/06
- 6/20/06
- 9/1/06
-
-
-

Project Name

Project Location

Sheet Title

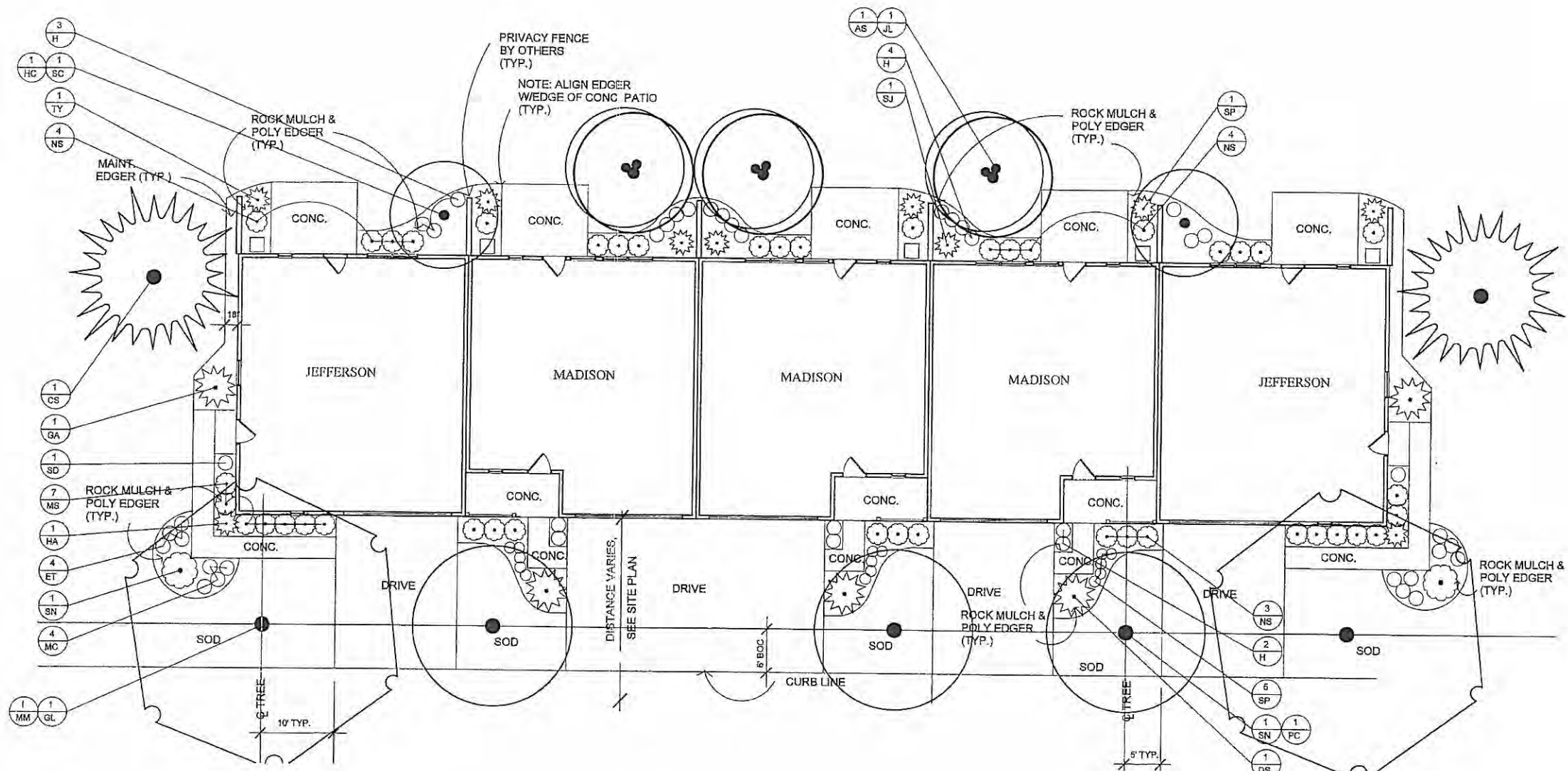
COLONIAL FOUNDATION
PLANTING PLAN



Scale
1" = 10'

Sheet No.

L1



PLANT LIST - JEFFERSON END UNIT ONLY

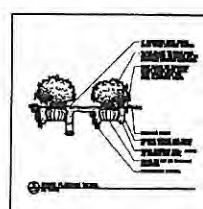
OVERSTORY TREES:					
Key	Qty.	Common Name	Scientific Name	Size	Cont.
GL	1	Udden, Glenleven	<i>Tilia x flavescens 'Glenleven'</i>	2.5" cal.	BB
OR					
MM	1	Maple, Marmio	<i>Acer x freemanii 'Marmio'</i>	2.5" cal.	BB
ORNAMENTAL TREES:					
Key	Qty.	Common Name	Scientific Name	Size	Cont.
HC	1	Crabapple, Harvest Gold	<i>Malus 'Harvest Gold'</i>	1.5" cal.	BB
OR					
SC	1	Crabapple, Spring Snow	<i>Malus 'Spring Snow'</i>	1.5" cal.	BB
CONIFER TREES:					
Key	Qty.	Common Name	Scientific Name	Size	Cont.
CS	1	Spruce, Colorado	<i>Picea pungens</i>	6' ht.	BB
DECIDUOUS SHRUBS:					
Key	Qty.	Common Name	Scientific Name	Size	Cont.
SN	1	Ninebark, Summer Wine	<i>Physocarpus opulifolius 'Summer Wine'</i>	#5	pot
NS	4	Spiraea, Neon Flash	<i>Spiraea japonica 'Neon Flash'</i>	#5	pot
MS	7	Spiraea, Magic Carpet	<i>Spiraea japonica 'Magic Carpet'</i>	#5	pot
EVERGREEN SHRUBS:					
Key	Qty.	Common Name	Scientific Name	Size	Cont.
HA	1	Arbutus, Holmstrup	<i>Thuja occidentalis 'Holmstrup'</i>	4'	BB
GA	1	Arbutus, Techny Globe	<i>Thuja occidentalis 'Techny Globe'</i>	#7	pot
TY	1	Yew, Taunton Spreading	<i>Taxus media 'Taunton'</i>	#5	pot
PERENNIAL FLOWERS:					
Key	Qty.	Common Name	Scientific Name	Size	Cont.
SD	1	Daylily, Stella De Oro	<i>Hemerocallis stella d'oro</i>	#1	pot
H	3	Hosta, Frances Williams	<i>Hosta 'Frances Williams'</i>	#1	pot
MC	4	Columbine, McKana hybrids	<i>Aquilegia 'McKana'</i>	#1	pot
ET	4	Coneflower, Big Sky Twilight	<i>Echinacea x Big Sky Twilight</i>	#1	pot

PLANT LIST - MADISON INTERIOR UNIT ONLY

ORNAMENTAL TREES:					
Key	Qty.	Common Name	Scientific Name	Size	Cont.
JL	1	Uddo, Jap Tree	<i>Syringa reticulata</i>	1.5" cal.	BB
OR					
AS	1	Serviceberry, Autumn Brilliance	<i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	6' ht.	BB
DECIDUOUS SHRUBS:					
Key	Qty.	Common Name	Scientific Name	Size	Cont.
NS	4	Spiraea, Neon Flash	<i>Spiraea japonica 'Neon Flash'</i>	#5	pot
EVERGREEN SHRUBS:					
Key	Qty.	Common Name	Scientific Name	Size	Cont.
SJ	1	Juniper, Sea Green	<i>Juniperus chinensis 'Sea Green'</i>	#5	pot
DS	1	Spruce, Dwarf Globe Blue Spruce	<i>Picea pungens 'Glaucia Globosa'</i>	#5	pot
PERENNIAL FLOWERS:					
Key	Qty.	Common Name	Scientific Name	Size	Cont.
H	4	Hosta, Frances Williams	<i>Hosta 'Frances Williams'</i>	#1	pot
SP	5	Sedum, Purple Emperor	<i>Sedum 'Purple Emperor'</i>	#1	pot

GENERAL NOTES:

- Landscape Contractor shall visit the site prior to submitting bid to become familiar with site conditions.
- It is the responsibility of the contractor to identify all underground cables, conduits, wires, etc., on the property.
- No planting will be installed until all grading and construction has been completed in immediate area.
- If there is a discrepancy between the number of plants shown on the plan and the number of plants shown in the plant list, the number of plants shown on the plan will take precedence.
- All plants shall be of specimen quality. Plants shall have normal, well-developed branch systems, a vigorous fibrous root system; they shall be sound, healthy, vigorous plants free from defects, disfiguring knots, sunscald injuries, abrasions of the bark, plant diseases, insect eggs, borers, and all forms of infestations. All plants shall be nursery grown.
- Repair all damage to property from planting operations at no cost to owner.
- The Landscape contractor shall replace at no charge, any tree, evergreen, or groundcover which fails to live through the first calendar year from the time of final acceptance by the owner. All plants shall be alive and in normal satisfactory growing condition at the end of the guarantee period.
- Three inch deep shredded hardwood bark mulch will be installed under all trees and shrubs that are isolated from ground cover areas and general foundation plantings.
- A three inch layer of 1.5" dia. buff rock mulch over landscape weed barrier shall be installed in all shrub foundation areas.
- Tree cabling in all areas shall be optional. The landscape contractor shall be responsible for maintaining trees in a straight upright condition for a period of twelve months following installation.
- All poly edging shall be cobra vinyl edging or equal.
- All perennial/annual planting areas shall receive a minimum of an 8" depth of planting soil (1-1-1) mixture.
- Wrapping material shall be first quality, heavy, waterproof crepe paper manufactured for this purpose. Trees shall be wrapped prior to 12/1 and removed after 5/1.
- All plant locations, species, quantities and sizes subject to site conditions, soils and availability.
- Landscape Contractor to become familiar with and comply with all policies and procedures of Owner's SWPPP (Storm Water Pollution Prevention Plan).
- All shrubs to be installed a minimum distance of 24" from the foundation of any building.



ARTEKA
Companies

Landscape Development
Landscape Maintenance
Design - Build

3910 13th Avenue East Shakopee, MN 55379
Phone 952-934-2000 Fax 952-934-8227

Registration

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Landscape Architect under the Laws of the State of Minnesota.

Date: _____ Reg. No. _____

Date: 4/13/07

Drawn By: VJR

Revisions

-
-
-
-
-
-

Project Name

Project Location

Sheet Title

COLONIAL ROW HOME
PLANTING PLAN

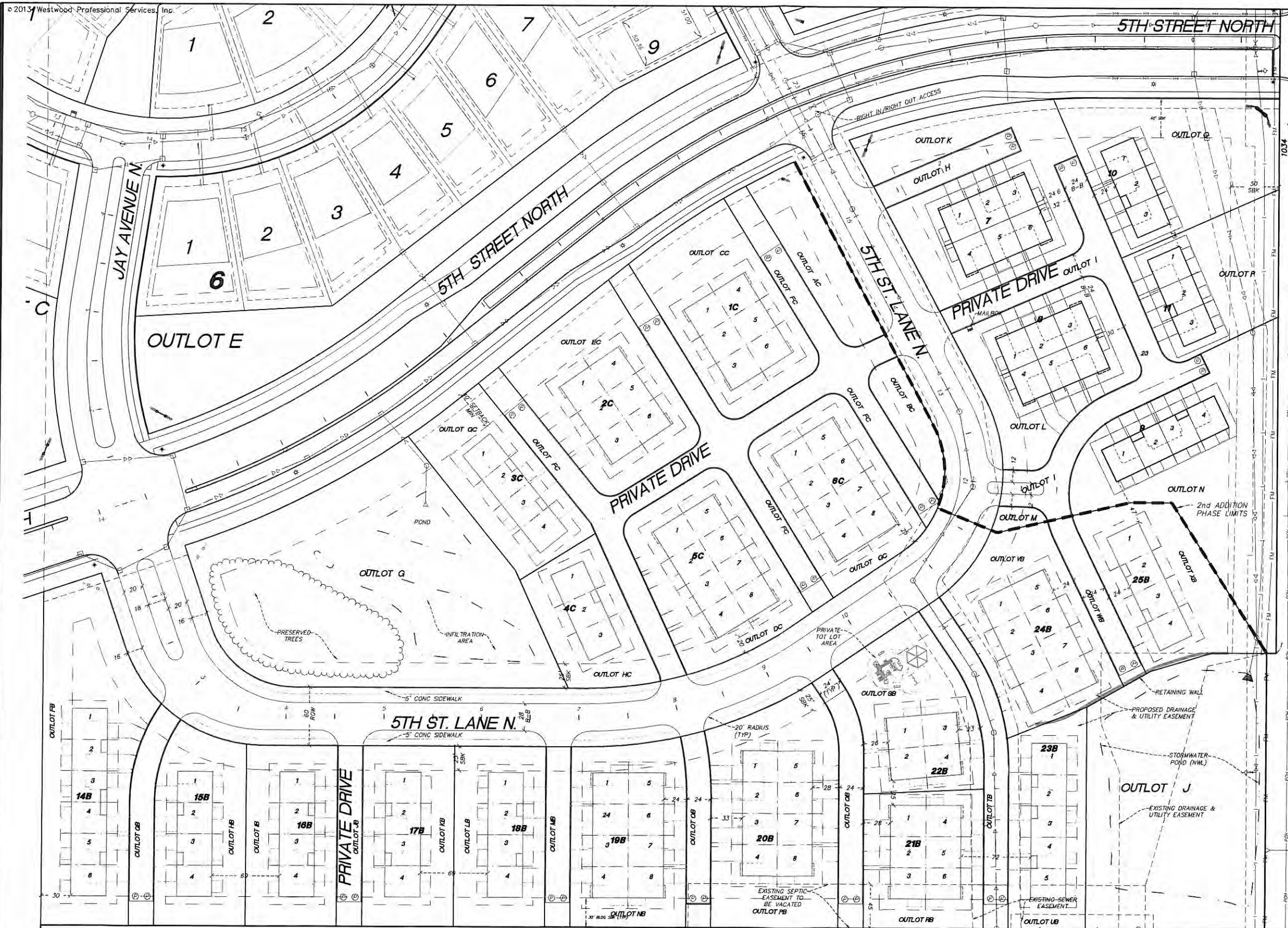


North Arrow

Scale: 1/8" = 1'-0"

Sheet No.

L1



Proposed Multi-Family Development Standards

<u>Site Area per Unit:</u>	
Required Site Area per unit	4,000 sf
Provided Gross Site Area per unit	7,425 sf

Impervious Coverage:

Maximum Impervious Coverage	50%
Proposed Impervious Coverage	43%
(Overall Block 7A, 14A & 15A)	

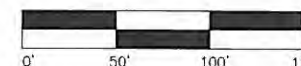
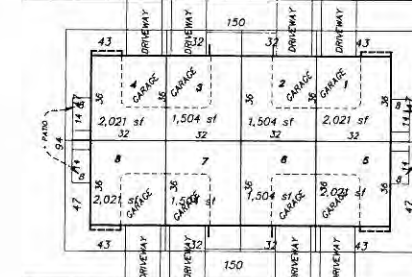
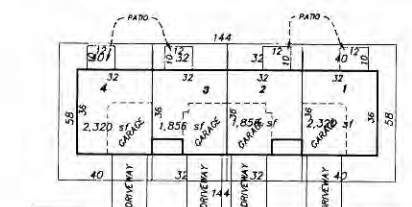
Open Space Requirements:

Required Open Space Per unit:	500 sf
Provided Open Space Per unit:	1,845 sf
(Outlot G & Common Lots 23, 36 & 63 /122 un)	

Proposed Setbacks (minimums):

Internal ROW:	25'
Keats Ave:	50' to structures
5th Street Collector:	40' to structures
Adjacent Property:	30'
Separation - Building to Building:	25' typ
Private Drive Street Width:	24' typ (bb)
Private Driveway Length:	22' min, 24' typical
Min. bldg setback to private street (side):	20' min
(P) Off-street Guest Parking provided:	0.25 per unit x 122 un = 30 stalls

Typical Multi-Family Lot Details



0000565 02SPFD1a dw

Date: 7/30/14 Sheet: 1 OF 1

NOT FOR CONSTRUCTION

Savona 2nd Addition

**Final Site Plan -
Townhome Area**



Westwood

Westwood Professional Services, Inc.
7699 Anagapam Drive
Eden Prairie, MN 55344

PHONE 952-937-5150
FAX 952-937-5822
TOLL FREE 1-888-937-5150

www.westwoodps.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.

Ryan M. Bluhm

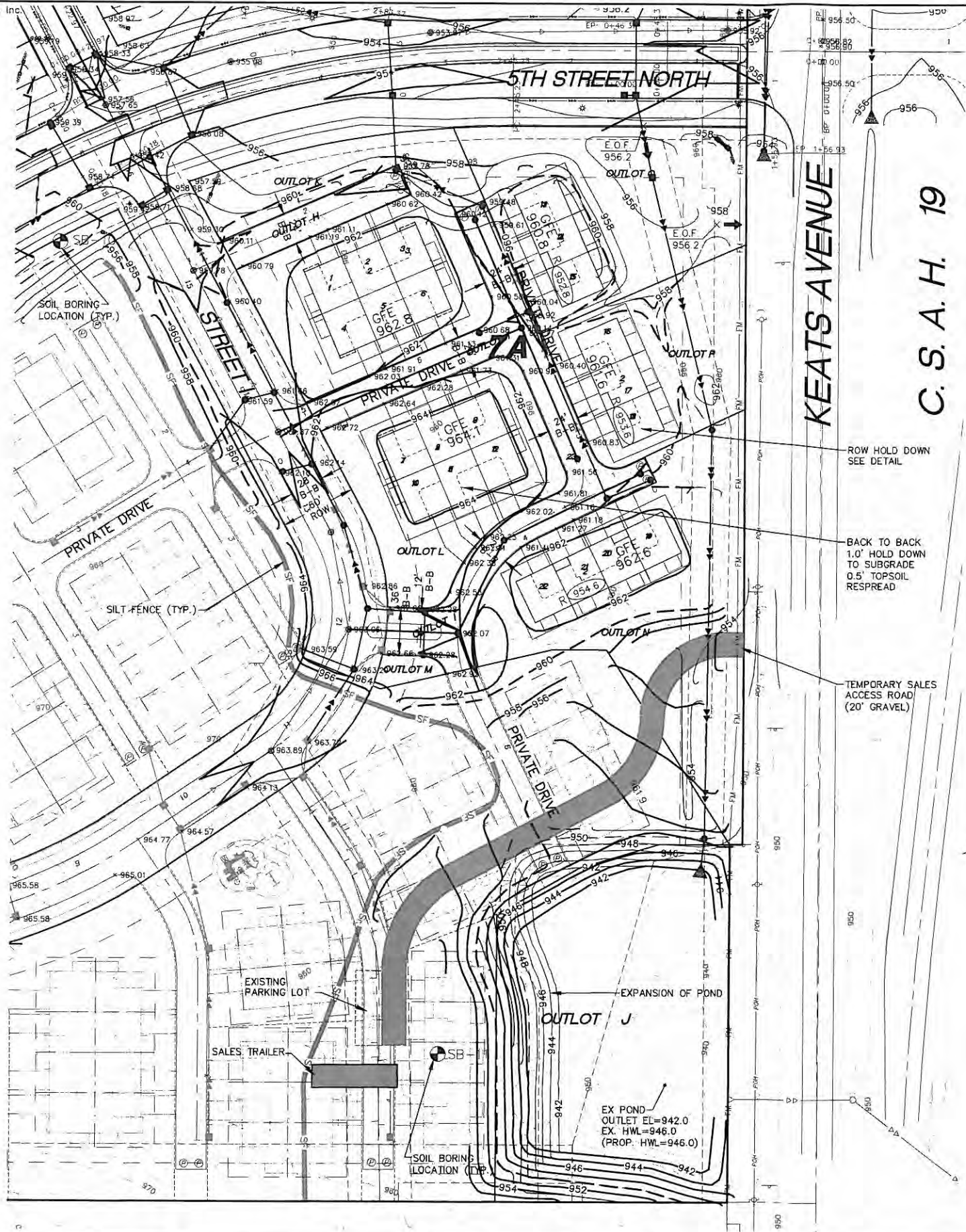
Date 7/30/14 License No. 41257

Revisions
8-8-14 REV PLAT

Designed:	CLM
Checked:	RMB
Drawn:	CLM
Record Drawing by/date:	

Prepared for:

Lennar Corporation
16305 36th Avenue North Suite 600
Plymouth, Minnesota, 55446



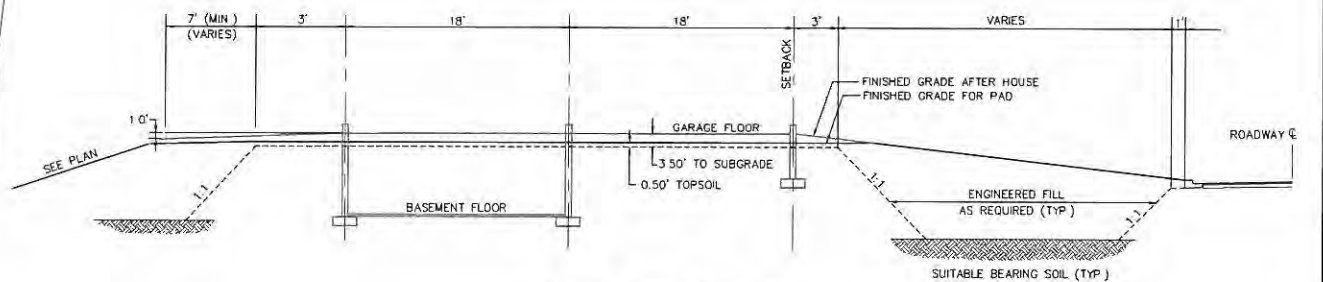
GENERAL NOTES:

- ALL CONTOURS AND SPOT ELEVATIONS ARE SHOWN TO FINISHED SURFACE/GUTTER GRADES UNLESS OTHERWISE NOTED.
- REFER TO THE SITE PLAN/RECORD PLAT FOR MOST CURRENT HORIZONTAL SITE DIMENSIONS AND LAYOUT.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING UTILITIES AND TOPOGRAPHICAL FEATURES WITH THE OWNERS AND FIELD-VERIFY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM PLAN.

* SEE SAVONA FINAL GRADING PLAN SHEET 7 FOR CITY OF LAKE ELMO STANDARD PLAN NOTES FOR GRADING AND EROSION CONTROL.

LEGEND:

- SB DENOTES SOIL BORING
- SF DENOTES SILT FENCE
- HDSF DENOTES HEAVY DUTY SILT FENCE
- 980 DENOTES EXISTING CONTOURS
- 980 DENOTES PROPOSED CONTOURS
- 980 DENOTES PROPOSED INTERIM CONTOURS
- SS DENOTES FUTURE STORM SEWER
- SS DENOTES EXISTING STORM SEWER
- SS DENOTES PROPOSED STORM SEWER
- SS DENOTES PROPOSED DRAINILE
- SS DENOTES EXISTING TREE LINE
- x 856.3 DENOTES EXISTING SPOT ELEVATION
- x 66.30 DENOTES PROPOSED SPOT ELEVATION
- E.O.F. DENOTES BIO-ROLL EROSION CHECKS
- SS DENOTES EMERGENCY OVERFLOW ELEVATION
- SS DENOTES TREE PRESERVATION FENCING
- SS DENOTES 3:1 SLOPE STABILIZATION EROSION CONTROL BLANKET



ROW RAMBLER (R)
N.T.S.



Latest Revision Date: 08/08/14
0000565 GDF01 MF.dwg
Date: 05/15/14 Sheet: 1 OF 1



Westwood Professional Services, Inc.
7659 Annapolis Drive
Eden Prairie, MN 55344
PHONE: 952-937-5150
FAX: 952-937-5822
TOLL FREE: 1-888-937-5150
www.westwoodps.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.
Ryan M. Bluhm
Date: 08/08/14 License No. 41257

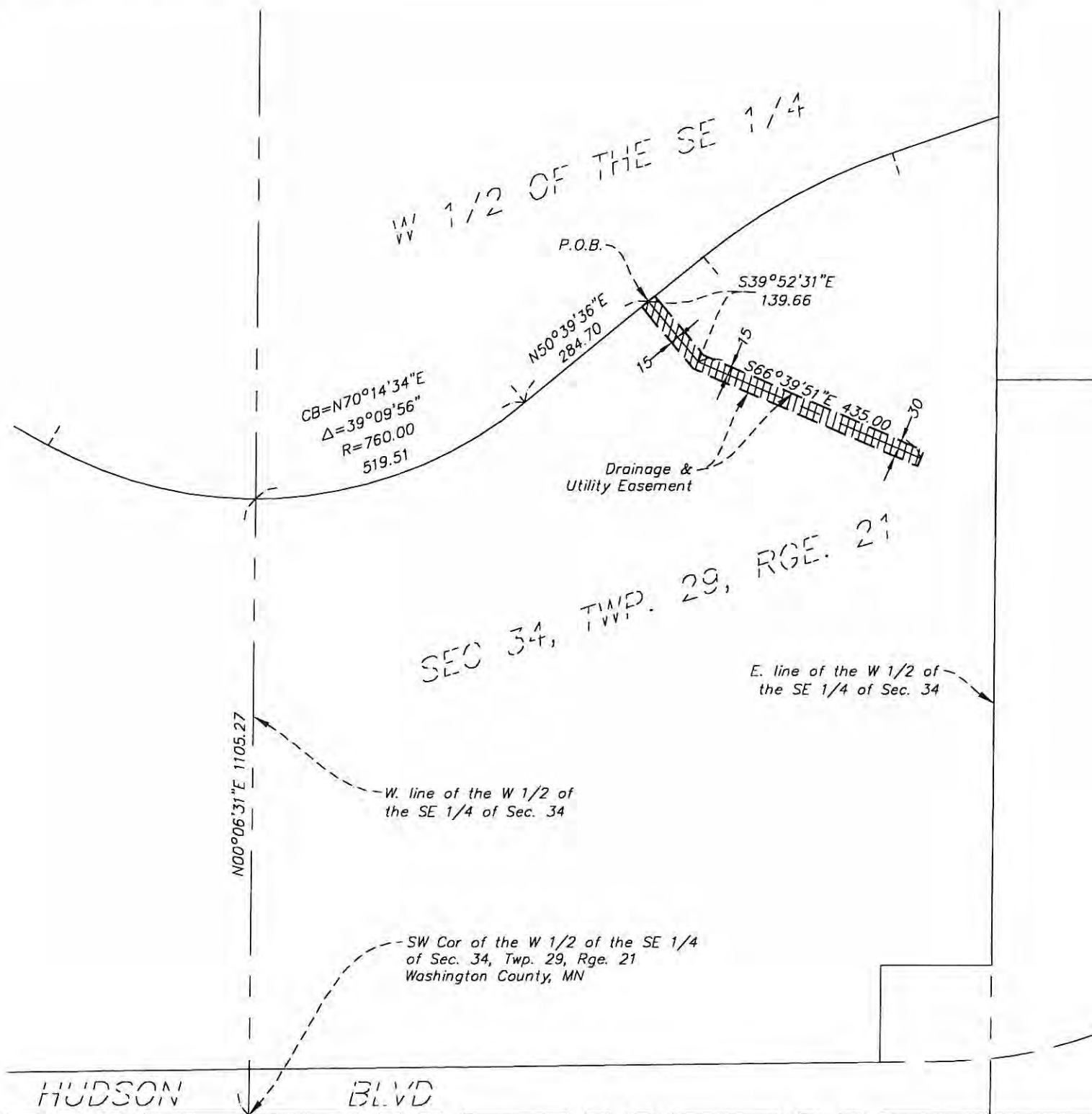
Revisions:
08/08/14 CITY COMMENTS
Designed: CLJ
Checked: RMB
Drawn: HFW
Record Drawing by/date:

Prepared for:

Lennar Corporation
16305 36th Avenue North Suite 600
Plymouth, Minnesota 55446

Savona
Multifamily
Lake Elmo, Minnesota

Grading, Drainage &
Erosion Control Plan



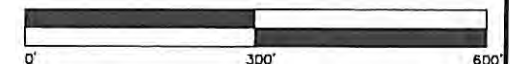
Drainage & Utility Easement:

A 30.00 Drainage & Utility Easement lying over, under and across that part of the West Half of the Southeast Quarter of Section 34, Township 29, Range 21, Washington County, Minnesota, the centerline of which is described as follows:

Commencing at the southwest corner of said West Half of the Southeast Quarter of Section 34; thence North 00 degrees 06 minutes 31 seconds East, assumed bearing along the west line of said West Half of the Southeast Quarter, a distance of 1105.27 feet; thence northeasterly along a non-tangential curve concave to the northwest having a central angle of 39 degrees 09 minutes 56 seconds, a radius of 760.00 feet for an arc distance of 519.51 feet, the chord of said curve bears North 70 degrees 14 minutes 34 seconds East; thence North 50 degrees 39 minutes 36 seconds East, tangent to said curve a distance of 284.70 feet to the point of beginning of the centerline to be described; thence South 39 degrees 52 minutes 31 seconds East, a distance of 139.66 feet; thence South 66 degrees 39 minutes 51 seconds East, a distance of 435.00 feet and said centerline there terminating.

The sidelines of said easement are to be prolonged shortened to terminate at a line bearing North 50 degrees 39 minutes 36 seconds East from said point of beginning.

Area: 17,240 sf or 0.40 acres



Date: 8/06/2014 Sheet: 1 OF 1
0000565ESF02.dwg



Westwood Professional Services, Inc.
7699 Anagram Drive
Eden Prairie, MN 55344
PHONE 952-937-5150
FAX 952-937-5822
TOLL FREE 1-888-937-5150
www.westwoodps.com

Check: CWM
Drawn: SRS
Record Drawing by/date:

Prepared for:

Lennar
Plymouth, Minnesota

Savona
Phase II
Lake Elmo, Minnesota

Drainage & Utility
Easement

PERMANENT PUBLIC STREET EASEMENT AGREEMENT

THIS PERMANENT PUBLIC STREET EASEMENT AGREEMENT shall be effective as of the date that the last party executes this Agreement, is made by and between **DPS-Lake Elmo, LLC**, a Minnesota limited liability company, hereinafter referred to as the "Owner," and the **City of Lake Elmo**, a Minnesota municipal corporation, hereinafter referred to as the "City."

The Owner owns the real property situated within Washington County, Minnesota as described on the attached **Exhibit A** (hereinafter "Owner's Property").

The Owner in consideration of one dollar (\$1.00) and other good and valuable consideration does hereby grant and convey to the City, its successors and assigns, the following:

1. **A permanent easement for public street, road, highway purposes; utility and drainage purposes; including all rights of a "drainage easement" and an "utility easement" as defined by Minn. Stat. § 505.01, Subd. 3(b) and 3(j); and, all such purposes ancillary, incident or related thereto** (hereinafter "Permanent Easement") under, over, across, through and upon that real property identified and legally described on **Exhibit B**, (hereinafter the "Permanent Easement Area") attached hereto and incorporated herein by reference.

The Permanent Easement rights granted herein are forever and shall include, but not be limited to, the construction, maintenance, inspection, repair and replacement of any public street, road, highway, sanitary sewer, storm sewer, storm sewer ponds, rain gardens, water mains, any utilities, underground pipes, conduits, other utilities and mains, and all facilities and improvements ancillary, incident or related thereto, under, over, across, through and upon the Permanent Easement Area.

EXEMPT FROM STATE DEED TAX

The rights of the City also include the right of the City, its contractors, agents and servants:

- a.) to enter upon the Permanent Easement Area at all reasonable times for the purposes of construction, reconstruction, inspection, repair, replacement, grading, sloping, and restoration relating to the purposes of this Permanent Easement; and

- b.) to maintain the Permanent Easement Area, any City improvements and any underground pipes, conduits, or mains, together with the right to excavate and refill ditches or trenches for the location of such ponds, rain gardens, pipes, conduits or mains; and
- c.) to remove from the Permanent Easement Area trees, brush, herbage, aggregate, undergrowth and other obstructions interfering with the location, construction and maintenance of the pipes, conduits, or mains and to deposit earthen material in and upon the Permanent Easement Area; and
- d.) to remove or otherwise dispose of all earth or other material excavated from the Permanent Easement Area as the City may deem appropriate.
- e.) to prohibit obstructions or interference with its use of the Easement Area.

The City shall not be responsible for any costs, expenses, damages, demands, obligations, penalties, attorneys' fees and losses resulting from any claims, actions, suits, or proceedings based upon a release or threat of release of any hazardous substances, petroleum, pollutants, and contaminants which may have existed on, or which relate to the Permanent Easement Area or the Owner's Property prior to the date hereof.

Nothing contained herein shall be deemed a waiver by the City of any governmental immunity defenses, statutory or otherwise. Further, any and all claims brought by the Owner, its successors or assigns, shall be subject to any governmental immunity defenses of the City and the maximum liability limits provided by Minnesota Statute, Chapter 466.

The Owner, for itself and its successors and assigns, does hereby warrant to and covenant with the City, its successors and assigns, that it is well seized in fee of the Owner's Property described on Exhibit A, and the Permanent Easement Area described on Exhibit B, and has good right to grant and convey the Permanent Easement herein to the City. In addition, the Owner, for itself and its successors and assigns, does hereby warrant to and covenant with the City, its successors and assigns, the right of after acquired title to the Permanent Easement granted and conveyed in this Agreement provided that the Owner receives title to all or part of the Permanent Easement Area after the recording of this Agreement.

This Permanent Public Street Easement Agreement may be simultaneously executed in several counterparts, each of which shall be an original and all of which shall constitute but one and the same instrument.

IN TESTIMONY WHEREOF, the Owner and the City have caused this Permanent Public Street Easement Agreement to be executed as follows:

Owner:

DPS-Lake Elmo, LLC, a Minnesota limited liability company

Signature: _____

Print Name: _____

STATE OF MINNESOTA)
) ss.
COUNTY OF HENNEPIN)

The foregoing instrument was acknowledged before me this ____ day of _____, 2014, by Alan J. Dale, the Chief Manager of DPS – Lake Elmo, LLC, a Minnesota limited liability company, on behalf of the limited liability company.

Notary Public

CITY OF LAKE ELMO

By: _____
Mike Pearson, Mayor

ATTEST:

Adam Bell, City Clerk

STATE OF MINNESOTA)
)
COUNTY OF WASHINGTON) ss.

On this _____ day of _____, 2013, before me a Notary Public within and for said County, personally appeared Mike Pearson and Adam Bell, to me personally known, who being each by me duly sworn, each did say that they are respectively the Mayor and City Clerk of the **City of Lake Elmo**, a Minnesota municipal corporation, the municipality named in the foregoing instrument, and that the seal affixed to said instrument was signed and sealed on behalf of said municipality by authority of its City Council and said Mayor and City Clerk acknowledged said instrument to be the free act and deed of said municipality.

Notary Public

This instrument was drafted by:
David K. Snyder, Esq.
Johnson & Turner, P.A.
56 East Broadway Avenue, Suite 206
Forest Lake, MN 55025
651-464-7292

EXHIBIT A
LEGAL DESCRIPTION OF OWNER'S PROPERTY

That part of the East Half of the Southwest Quarter and that part of the West Half of the Southeast Quarter, both in Section 24, Township 29, Range 21, Washington County, Minnesota, described as follows:

Commencing at the West Quarter corner of said Section 34; thence South 00 degrees 00 minutes 40 seconds East, along the west line of said Section 34, a distance of 472.55 feet; thence North 89 degrees, 57 minutes 32 seconds East, a distance of 1315.91 feet to the west line of said East Half of the Southwest Quarter; thence south 00 degrees 02 minutes 55 seconds West, along said west line a distance of 714.99 feet to the point of beginning; thence south 89 degrees 55 minutes 22 seconds West, a distance of 212.38 feet; thence southeasterly along a tangential curve concave to the southwest having a central angle of 29 degrees 05 minutes 37 seconds, a radius of 1100.00 feet for an arc distance of 558.56 feet; thence South 60 degrees 59 minutes 01 seconds East, tangent to said curve, a distance of 224.27 feet; thence southeasterly along a tangential curve concave to the north, having a central angle of 68 degrees 21 minutes 23 seconds, a radius of 760.00 feet for an arc distance of 906.71 feet; thence North 50 degrees 39 minutes 36 seconds East, a distance of 410.97 feet; thence northeasterly along a tangential curve concave to the southeast, having a central angle of 20 degrees 49 minutes 17 seconds, a radius of 1060.00 feet for an arc distance of 385.20 feet; thence North 71 degrees 28 minutes 52 seconds East, tangent to said curve, a distance of 202.22 feet to the east line of said West Half of the Southeast Quarter; thence South 00 degrees 01 minutes 13 seconds West, along said east line a distance of 1517.53 feet to a line parallel with a distant 217.80 feet north of the north right of way line of Highway No. 12; thence South 89 degrees 54 minutes 16 seconds West, along said parallel line, a distance of 200.00 feet to a line parallel with and distant 200.00 feet west of said east line of the West Half of the Southeast Quarter; thence South 00 degrees 01 minutes 13 seconds West, along said parallel line, a distance of 173.18 feet to the north line of Minnesota Department of Transportation Right of Way Plat No. 82-43; thence South 89 degrees 18 minutes 12 seconds West, along said north line a distance of 1875.94 feet; thence continuing along said north line south 89 degrees 53 minutes 55 seconds west, a distance of 230.61 feet to the east line of the West 333.00 feet of said East Half of the Southwest Quarter; thence North 00 degrees 02 minutes 55 seconds east along said east line a distance of 599.99 feet to the north line of the South 675.00 feet of said East Half of the Southwest Quarter; thence south 89 degrees 53 minutes 57 seconds West, along said north line a distance of 333.00 feet to said west line of the East Half of the Southwest Quarter; thence north 00 degrees 02 minute 55 seconds East, along said west line a distance of 958.38 feet to the point of beginning.

EXHIBIT B
LEGAL DESCRIPTION AND DEPICTION OF
THE PERMANENT EASEMENT AREA

(See Attached)



29. Range 21, Washington County, Minnesota, described as follows:

7.19 oc
Arro

Date 1/29/14 Page 1 of 1



Roadway Easement

Lake Elmo, Minnesota



PLANNING COMMISSION
DATE: 8/25/14
AGENDA ITEM: 4B – PUBLIC HEARING
CASE # 2014-42

ITEM: Inwood Planned Unit Development (PUD) – General Concept Plan

SUBMITTED BY: Kyle Klatt, Community Development Director
Nick Johnson, City Planner

REVIEWED BY: Jack Griffin, City Engineer
Greg Malmquist, Fire Chief
Ann Pung-Terwedo, Washington County
Matt Moore, South Washington Watershed District
Molly Shodeen, MN DNR

SUMMARY AND ACTION REQUESTED:

The Planning Commission is being asked to hold a public hearing for a request from Hans Hagen Homes and Inwood 10, LLC for a Planned Unit Development (PUD) Concept Plan for a new mixed-use development on 157 acres of land located at the southeast corner of Inwood Avenue and 10th Street in Lake Elmo. The concept plan includes 281 single-family residential lots, 144 townhouses, 150 multi-family units, 120 senior townhouse units, and approximately 68,814 square feet of commercial/office uses. Staff is recommending approval of the PUD Concept Plan with 18 conditions of approval as listed in the Staff report.

GENERAL INFORMATION

Applicant: Hans Hagen Homes (John Rask), 941 NE Hillwind Rd. Suite 300, Fridley, MN 55432 and Inwood 10 (Tom Scheutte), LLC, 95 S Owasso Blvd. W., St. Paul, MN 55117-7830

Property Owners: Inwood 10, LLC (Tom Scheutte), 95 S Owasso Blvd. W., St. Paul, MN 55117-7830

Location: Part of Section 33 in Lake Elmo, immediately south of 10th Street (CSAH 10), immediately north of Eagle Point Business Park, immediately east of Inwood Avenue (CSAH 13) and immediately west of Stonegate residential subdivision. PIDs: 33.029.21.12.0001, 33.029.21.12.0003, 33.029.21.11.0002 and 33.029.21.11.0001.

Request: Application for Concept Plan approval of a Planned Unit Development (PUD) containing 281 single family lots, 144 townhome units, 150 multi-family units, 120 senior living townhome units and multiple sites intended for commercial uses to be named Inwood of Lake Elmo.

Existing Land Use and Zoning: Vacant land used for agricultural purposes. Current Zoning: RT – Rural Transitional Zoning District; Proposed Zoning: LDR –

Low Density Residential, HDR – High Density Residential and C – Commercial (all with PUD overlay)

Surrounding Land Use and Zoning: North: Vacant agricultural land and two residential homes – RR and PF zoning; West: Oak Marsh Golf Course, urban single family subdivision, commercial – City of Oakdale jurisdiction; South: Offices in Eagle Point Business Park (including Bremer Bank facility) – BP zoning; East: Stonegate residential estates subdivision – RE zoning.

Comprehensive Plan: Urban Low Density Residential (2.5 – 4 units per acre), Urban High Density Residential/Mixed Use (7.5 – 15 units per acre) and Commercial.

History: The site has historically been used for agricultural purposes. The applicants have submitted a mandatory Environmental Assessment Worksheet (EAW) for publication to the Environmental Quality Board (EQB) on September 2nd, commencing the 30-day comment period.

Deadline for Action: Application Complete – 8/12/14
60 Day Deadline – 10/10/14
Extension Letter Mailed – No
120 Day Deadline – 12/9/14

Applicable Regulations: Chapter 153 – Subdivision Regulations
Article 10 – Urban Residential Districts (§154.450)
Article 12 – Commercial Districts (§154.550)
Article 16 – Planned Unit Development (§154.800)
Article 17 – Shoreland Management Overlay District

REQUEST DETAILS

The City of Lake Elmo has received an application from Hans Hagen Homes and Inwood 10, LLC for a Planned Unit Development (PUD) Concept Plan for a mixed-use project that will be located on 157 acres of land located on south of 10th Street and east of Inwood Avenue in Lake Elmo. The proposed project will include 281 single-family residential lots, 144 townhouses, 150 multi-family units, 120 senior townhouse units, and approximately 68,814 square feet of commercial/office uses, in addition to storm water facilities, trails, and park areas as depicted on the attached site development plan. While the planned uses for the site generally match those shown on the City's future land use map for the property, the applicant is proposing a slightly different configuration of the various land uses. Most notably, the developer is asking that the commercial area be moved further south along Inwood Avenue to the intersection of 5th Street and that a small area of multi-family development be allowed at the intersection of Inwood Avenue and 10th Street.

The overall project can be divided up into three distinct areas on the plans, which includes a multi-family area south of 5th Street, a single-family "lifestyle housing" neighborhood north of 5th Street, and commercial areas with frontage along Inwood Avenue. Within the residential areas, the developer plans a mix of different housing options, including single-family detached housing, townhouses, senior townhomes, senior multi-family, and standard multi-family housing. The planned single-family areas differ from typical residential neighborhoods in that the lots are smaller than otherwise allowed in the LDR zoning district, with reduced setbacks from the LDR standards as

well. The homes to be built in these areas are intended to appeal to a different market than a typical neighborhood by incorporating common open areas, association-maintained lawns and driveways, and other services, and with amenities that are more typical in a townhouse type of development.

As indicated in the application narrative, the developer does not have detailed plans for any of the multi-family portions of the site, and the plans as submitted depict a general development concept for these areas. These structures planned for much of these areas are intended to serve seniors, including a proposed 120-unit senior building that would be located in the southern portion of the site. All of the planned commercial areas are located along Inwood Avenue, and would be separated from the residential development by the internal road system or storm water ponds. At this time, the plans do not call for any vertical mixing of uses; however, the proposed multi-family buildings would be located adjacent to commercial activities, allowing for easy access to goods and services.

As opposed to following the City's normal subdivision procedures, the applicants have determined that a planned development approach offers the best method to achieve their development vision for their property. The purpose of the City's PUD ordinance is to provide flexibility in development and zoning standards for large parcels under unified control with the goal of achieving higher quality development. More specifically, the General Concept Plan phase of the PUD procedure allows the applicant to submit a general plan to the City demonstrating his or her basic intent of the development, including general density ranges, location of residential and nonresidential land uses, and location of streets, paths and open space. The purpose of approving the Concept Plan is to provide the applicant with conceptual approval related to the requested flexibilities or variations from the City Zoning and Subdivision Ordinances, or other City standards, before incurring substantial costs related to submitting a full Preliminary Plat application. In terms of procedure, the planned development path is similar to the normal subdivision process in that Preliminary and Final PUD Plan approvals must follow parallel track to Preliminary and Final Plat. However, one critical difference between the planned development process and standard subdivision process is that the PUD Concept Plan phase requires a public hearing and the approval of the City Council.

The applicant is proposing to develop the site as a large Planned Unit Development, and is requesting flexibility from the underlying zoning in a number of areas including the following:

- The lot sizes and setbacks for the "lifestyle housing" that is planned for most of the single-family detached houses.
- The construction of multi-family buildings on a portion of the site that is presently guided for commercial development. It should be noted that the zoning ordinance does allow multi-family buildings in commercial zoning districts as a conditional use.
- Moving certain land uses and densities across the entire site. The overall densities that are planned, and the overall size of the commercial, multi-family, and single family areas follow closely to the amount indicated in the Comprehensive Plan; however, the applicant is proposing to move the specific locations of these uses in accordance with the submitted plans. For instance, the City's future land use plan depicts approximately 13 acres of commercial land uses at the intersection of Inwood and 10th Street. The developer is proposing to keep the overall size of the commercial area the same but extending it further south along Inwood Avenue as opposed to locating single family residential directly adjacent to the County arterial roadway.
- Allocating the allowed densities across the entire site instead of reviewing densities on a project-by-project basis. This allows the developer to plan for storm water management, parks, and roadways in the appropriate locations, even though a smaller project within the

planning area may exceed underlying zoning. The density projections for the site are reviewed in greater detail in the latter sections of this report.

The flexibility that being requested by the developer is allowed under the City's PUD Ordinance, and the developer has provided a response to the PUD objectives as listed in the Zoning Ordinance as part of the project narrative. The appendix of the submitted Concept Planning & Design Booklet (Attachment #5) also addresses how the proposed planned development is meeting the objectives of the City's PUD Ordinance.

Because the project is located at the intersection of two major roadways in Lake Elmo and includes the proposed construction of another, access issues will play a major role in how the site is able to develop. Internal to the site, the developer intends to connect to the planned extension of the 5th Street minor collector road that will extend through the Boulder Ponds development in the southeastern portion of the site. This road will then turn quickly to the west and eventually intersect Inwood Avenue about 500 feet north of the Eagle Point Business Park. While most of the internal traffic will be accessed via 5th Street, there are multiple planned connections along both Inwood Avenue and 10th Street, which includes a new north/south connection road that will provide a connection between Eagle Point Boulevard and 10th Street. While all of the roads have been designed to comply with City and County requirements, they will be subject to further review and analysis as more detailed plans are prepared for the site.

One of the other major features of the project includes the preservation of the wooded area along the eastern project boundary. This area is guided for a green belt/buffer area between the Stonegate neighborhood and denser urban development on the applicant's site. The developer is also proposing a series of trails within the project, including a trail in the eastern green belt/buffer running north and south along a linear park, an east-west trail running across the entire segment of the development connecting the residential area to the commercial areas, as well as the City's planned regional trail section along 5th Street. In addition to the multiple trail systems, smaller park areas are shown in the southeastern part of the site near the existing Stonegate Park, which are proposed as a logical extension of the existing park area. The other open space areas within the development are predominately being used for storm water management purposes, with larger ponds being located south and east of the commercial area near the intersection of 5th Street and Inwood Avenue.

Regarding next steps, the applicant is proposing to bring forward a Preliminary Plan and Preliminary Plat application upon approval of the Concept Plan. Per the PUD Ordinance, the final approval of the proposed planned unit development will result in a zoning change to a specific PUD zoning district, with specific requirements and standards that are specific to the development. If the application moves forward, the change in the base zoning (LDR, HDR, C) of the property would occur at the time of Preliminary Plan approval, and the final PUD zoning with approved flexibility that is specific to the development would be established at Final Plan approval.

PLANNING AND ZONING ISSUES

The Inwood site is guided for Urban Low Density Residential, Urban High Density Residential and Commercial land uses in the City's Comprehensive Plan. As noted above, the developer is planning to keep the same general mix of uses on the property, but will be moving the specific location of certain elements to better suit the unique circumstances of this property. The most important consideration in this regard is the location of the commercial area, which is shown in the extreme northwest portion of the site in the City's Comprehensive Plan. While the location of this commercial area at the intersection of two major roadways makes sense from a planning perspective,

in reality access to this area is limited due to spacing requirements along and adjacent to a County road. The developer's plans create a new commercial intersection at Inwood and 5th Street, which allows these areas to be accessed via a back road system while avoiding any driveways with direct access to either Inwood or 10th Street. The subsequent arrangement of uses makes logical sense given the access restrictions in place. In addition, it may be problematic to locate single family residential land uses directly adjacent to Inwood Ave. (CSAH 13) as guided by the Comprehensive Plan. Inwood Ave is a County arterial roadway that is anticipated to serve a substantial volume of traffic in the future. From a land use compatibility and noise mitigation standpoint, it makes sense to narrow and extend the commercial uses along Inwood Avenue.

The other major break from the underlying Comprehensive Plan is the siting of two multi-family structures at the intersection of 10th Street and Inwood Avenue. Essentially, the developer is proposing to swap a portion of the high density/mixed use area north of Eagle Point Business Park with commercial development at this intersection. The overall balance of uses is therefore not being changed from the Comprehensive Plan, and the proposed reconfiguration appears to work well given the other site constraints, including storm water retention and infiltration requirements, that need to be addressed on the site. In addition, it should be noted that multi-family housing is allowed in the Commercial zoning district as a conditional use. The applicant is proposing to site the multi-family use in this location through the planned development process as opposed to the Conditional Use Permit process. Staff has reviewed the requested variations from the Comprehensive Plan and found that the master-planning of the 157-acre parcel as proposed in the Inwood PUD represents thoughtful planning and siting of the various uses proposed. After evaluating the master-planned development, Staff finds that the development is meeting the overall intent of the land use guidance of the Comprehensive Plan when considering the overall land use goals for the parcel.

Regarding the density calculations of the Inwood planned development, the developer has provided density calculations at the request of Staff for the entire site using the City's recently adopted net density definition. These calculations are summarized as follows:

Use	Area (in acres)	Units	Net Density (units per acre)
Single Family Detached	87.17	281	3.22
Multi-family (south of 5 th Street)	23.2	264	11.38
Multi-family (corner of 10 th and Inwood)	5.16	150	29.1

The overall net density for all of the residential areas is 6 units per acre, while on a gross basis this number is 4.9 units per acre. However, all of these numbers are misleading because most of the ponding for the development is located on the outlots adjacent to the commercial parcels, which would add additional open space to the residential calculations. The developer has noted that by utilizing the density ranges permitted under the Comprehensive Plan, the maximum number of residential units that could be built on the site would be 812 units, compared to the planned number of 695 included in the Inwood development. On an overall site development basis, the proposed Inwood PUD would be consistent with the overall range of planned growth according to the Comprehensive Plan.

In addition to the requested variation related to the Comprehensive Plan, the other flexibilities requested by the applicant include reduced setback requirements for the single family "lifestyle" housing product offered in the residential neighborhood of the development. The standards for the

LDR zoning district and the requested flexibilities for the Inwood PUD single family lots are as follows:

<u>Setback</u>	<u>LDR Zoning District</u>	<u>Inwood PUD</u>
Front Yard	25 Feet	18 Feet to Principal Structure / 20 Feet to Garage
Interior Side Yard	10 Feet Principal Structure Side / 5 Feet Garage Side	4 Feet
Rear Yard	20 Feet	20 Feet

In addition to setback requirements, the applicants will be requesting flexibility from minimum lot size requirements and lot width requirements, particularly for the Village/Carriage residential product. The Inwood Concept Plan noted that 20% of these homes are slightly under 40 feet in width, while 60% are 50 feet in width and the final 20% are 58 feet in width. The LDR zoning district requires a minimum lot width of 60 feet. By pursuing the PUD process, the applicants are requesting reduced lot sizes, which is allowed under the ordinance. They have noted that the unique housing type, which is completely maintenance free (HOA maintained), requires different design considerations and setbacks. The lot width of the designer product (46 lots in the southeastern portion of the development) are 65 to 85 feet in width, meeting the minimum standards of the LDR district. As an area tabulation of individual lots is not required at Concept Plan level review for a planned development, the applicant has not submitted an area calculation. However, given the size of some of the proposed lots, it is anticipated that many of the lots will be under the LDR zoning district standard of 8,000 square feet. As part of any preliminary PUD plan submittal, staff would require the applicant to submit a complete area tabulation of all the lots proposed in the planned development. Once again, the applicants have noted that in order to achieve a completely HOA maintained neighborhood with a single level product type, flexibility from standard lot width, size and setback requirements are necessary. Based on the residential product presented in the planned development, Staff would offer that the residential product proposed offers a residential product or type that is not currently represented in the Lake Elmo housing market.

With regards to the proposed uses in the Inwood PUD, it should be noted that the master-planned development proposes to integrate low density residential, high density residential and commercial uses all within one development effort. Master-planning the entire development as part of a broad, single effort allows for much greater integration of street and pedestrian networks, providing greater connectivity within the development. In addition, planning the entire site allows for improved planning and utilization of storm water facilities for the area. In reviewing the proposed commercial uses included in the Concept Plan, it should be noted that all are allowed in the Commercial zoning district. However, it is anticipated that these uses may change according to market conditions and demand. It would be Staff's expectation that the uses proposed in the Commercial areas of the development would be allowed under the Commercial zoning district.

Finally, as the Inwood development is utilizing the PUD process, it is the burden of the applicant to explain how the proposed development meets one or more of the City's identified objectives (§154.801) related to planned developments. In order to address this question, the applicant has provided a thorough explanation of which objectives are met within the back section of the Project Narrative (Attachment #3 – Also found in PUD Design Planning & Concepts Booklet). In the judgment of Staff, the proposed development meets the criteria for the following identified

objectives: A) Innovation in land techniques, B) Promotion of integrated land uses, D) Accommodation of housing of all types with convenient access to employment and/or commercial facilities and H) Creation of more efficient provision of public utilities and services, lessened demand on transportation, etc. Arguments could be made for additional objectives being achieved. Staff was most confident in the aforementioned objectives being met.

Per the City's Subdivision Ordinance, the applicant is required to provide parkland dedication in an amount equal to 10% of land developed residentially, fees equal to the market value of 10% of the land, or some combination thereof. The acceptable parkland solution is at the discretion of the City. Based on the submitted area calculations on the Inwood PUD Concept Plan, there is 78.1 acres of single family residential area and 29.5 acres of multi-family residential area, totaling 107.6 acres. Therefore, the required land dedication for the residential areas would be 10.7 acres. The applicants have noted that 12.2 acres of public parkland is provided, going above the required dedication amount. However, the outlots containing area labeled park also contain storm water facilities and one smaller wetland. In advance of preliminary plat and preliminary PUD plan, it is recommended that the applicant work with Staff to clarify the correct amount of parkland provided given the City's criteria for eligible parkland. In addition to the land dedication requirements for the residential areas of the Inwood planned development, the applicant would be required to submit a fee of \$4,500 per acre of land developed for commercial purposes. Based on the area calculations, there is currently 27.7 acres of land being developed commercially, which would result in a parkland fee of \$124,650. In developing more detailed plans for the Inwood development in the future, staff will work with the applicant to determine the correct parkland dedication amounts.

In terms of the parkland provided in the Inwood planned development, the majority of the park areas are found in the southeast corner of the site adjacent to existing Stonegate Park and on the east side of the development with the linear greenbelt park. It should be noted that there is park proposed on both sides of the 5th Street minor collector road. The smaller park area on the southern side of the collector is intended to serve the townhome area immediately to the west. The park area north of the collector, along with the linear greenbelt park, could easily serve the single family residential portion of the development. While at this time it appears that the total required parkland dedication amount has been met by the applicant, Staff would recommend enlarging the park area north of 5th Street adjacent to existing Stonegate Park to an overall size of 5-10 acres. Increased park area in this location would give the City the ability to design more usable recreation space where organized recreation activities, such as baseball or soccer, could be held. Given the number of residential units proposed in the development, Staff believes that a larger park area is appropriate in this case. In addition, it is likely that the park should be served by an access off of 5th Street with a small parking area to serve the overall park. If the applicants have indeed met their land dedication requirements, Staff would recommend that the applicants be given credit or compensated for any parkland provided above the dedication amount. Credit and compensation could be achieved by reducing the parkland dedication fees due related to commercial development on the site by the equal market value of the land the City receives above the dedication amount. In order to get further direction regarding the appropriate park area for the development, Staff is recommending that the applicant present their plans to the Park Commission at their next regularly scheduled meeting, which is on September 15th, 2014.

It should also be noted that two portions of the site are subject to shoreland rules. The northwest corner of the site is located within the shoreland district of Armstrong Lake, which is located in the jurisdictions of both Oakdale and Lake Elmo. In addition, an unnamed stream or tributary exists in the southwest corner of the site running towards Eagle Point Business Park. To review the proposed

development in and around these areas, Staff completed a review of the Concept Plan against the City's Shoreland Management Overlay District (Article 17 of Zoning Code). Regarding the northwest portion of the site, the proposed structures are not in close proximity to the Ordinary High Water Level (OHWL) of Armstrong Lake. In terms of impervious surface, sewered lots without riparian dedication are subject to a maximum amount of impervious surface of 30% of lot area. This standard would apply to the commercial and multi-family residential uses proposed in the northwest and western portion of the site, as the shoreland district boundary is depicted on the Concept Plan with a bold dashed black line. In addition, Staff does have some concern about the amount of impervious coverage in Lots 7-14, Block 11. These lots may need to be revised to comply with the City's shoreland standards. In addition to Armstrong Lake, the unnamed tributary flowing through the southeastern portion of the site, which travels to Wilmes Lake in Woodbury, is considered a protected water under DNR classification. The applicants have provided a significant buffer around the unnamed tributary. The City's shoreland provisions require a structure setback of 75 feet from tributaries for sewered lots with no riparian buffering requirement. However, the MN DNR and South Washington Watershed District may provide additional review on this area. There may be a concern about the proximity of the commercial use labeled "pharmacy". Regarding all the shoreland issues, Staff would recommend that the applicant work with the City to ensure compliance with the City's shoreland provisions and the standards of the SWWD and MN DNR as a condition of approval (Condition #18).

REVIEW AND ANALYSIS

City Staff has reviewed the proposed Inwood PUD Concept Plan, which has gone through multiple iterations in advance of the formal application being made to the City. In general, the proposed plan will meet all applicable City requirements for PUD Concept Plan approval, and any deficiencies or additional work that is needed is noted for the purpose of inclusion in the review record. In addition there are several things happening in and around the Inwood planned development that will have an impact on the project, including the construction of 5th Street with appropriate access spacing and alignment, as well as the potential siting of a future water tower on the site. Given that some of these efforts are still underway, Staff recognizes that some modifications will be necessary from PUD Concept Plan phase to PUD Preliminary Plan phase.

The City has received a detailed list of comments from the City Engineer and Fire Chief, in addition to comments by the Washington County Public Works, all of which are attached for consideration by the Commission.

In addition to the general comments that have been provided in the preceding sections of this report, Staff would like the Planning Commission to consider the issues and comments related to the following discussion areas as well:

- ***Comprehensive Plan.*** In the judgment of Staff, the proposed planned development is consistent with the land use categories guided for this site as planned in the Lake Elmo Comprehensive Plan. The proposed amount of residential growth is consistent with the range of residential development as guided by the Comprehensive Plan. In addition, the land uses as proposed are generally consistent with the Urban Low Density Residential - LDR and Urban High Density Residential - HDR zoning districts. Finally, the total area intended for commercial uses on the site matches the amount planned under the Comprehensive Plan, with the locational changes noted as an acceptable variation through the PUD process. Other aspects of the Comprehensive Plan relate to the Inwood PUD Concept Plan as follows:

- **Transportation.** The City's transportation plan calls for the construction of a minor collector road (5th Street) that will connect the eastern and western portions of the I-94 Corridor. Staff views this road as a critical piece of the transportation infrastructure that is needed to serve the densities that have been planned for this area. The applicant has incorporated the right-of-way at the width necessary to construct the minor collector as part of its PUD Concept Plan. As proposed, the provided segment of 5th Street will connect from Inwood Avenue (CSAH 13) to the Boulder Ponds development southeast of the site, eventually leading through the Savona subdivision to Keats Avenue (CSAH 19). Completion of this segment of the minor collector road will provide the infrastructure needed to properly distribute automobile traffic throughout Stage 1 of the I-94 Corridor Planning Area.
- Parks.** The City's Park Plan identifies the subject property as a needed location for a neighborhood park. Given the amount of residential growth proposed for the site, it makes sense to provide enough parkland to adequately serve this portion of the I-94 Corridor Planning Area. In addition to a neighborhood park as guided by the Comprehensive Plan, it should also be noted that the eastern portion of the site is guided for a 100-foot linear park known as the greenbelt buffer. The greenbelt trail provided on the eastern portion of the development is consistent with the guidance of the Comprehensive Plan.
- **Water.** Water will eventually be provided to this area via a future extension of the municipal system along Inwood Avenue. The Inwood planned development will be able to be served under the City's current agreement with the City of Oakdale until the Inwood watermain extension is completed in 2015. It also must be noted that the subject property is identified as a future location for one of the two water towers needed to serve the I-94 Corridor Planning Area. As a condition of approval (Condition #5), Staff recommends that the applicant provide a location that meets the approval of the City Engineer within the development to site the necessary water tower. As an alternative, the applicant can provide the City with an alternative site, as long as the location works from a hydrological standpoint and meets the approval of the City Engineer.
- **Sanitary Sewer.** The Inwood planned development will be able to connect into the existing sanitary sewer system within the Eagle Point Business Park. While this area is presently served via an interconnected system with the City of Oakdale, all of Section 34 will eventually be connected to the regional interceptor located immediately south of the business park. As noted in the City Engineer's memo, the proposed sanitary sewer connection will need to be evaluated for capacity and overall system design.
- **Phasing.** The Inwood planned development is located within the Stage 1 phasing area of the I-94 Corridor Planning Area. Therefore, the proposed development is consistent with the City's anticipated phasing of growth.
- **Zoning.** The proposed base zoning for the Inwood site will be split between the Urban Low Density Residential – LDR, the Urban High Density Residential – HDR, and Commercial – C zoning districts. However, approval of PUD Final Plan will result in a zoning change to a specific PUD Zoning District, recording all of the permitted variations, such as minimum lot size and setbacks, from the Zoning requirements of the base zoning district.

- **Subdivision Requirements.** The City's Subdivision Ordinance includes a fairly lengthy list of standards that must be met by all new subdivisions, and include requirements for blocks, lots, easements, erosion and sediment control, drainage systems, monuments, sanitary sewer and water facilities, streets, and other aspects of the plans. The City will work with the applicant to ensure that all standards specified in the Subdivision Ordinance are met, or that the appropriate variation is requested through the PUD Preliminary Plan.
- **Concept Phasing.** The developer has indicated that the first phases of the project will be the single-family areas, with the multi-family and commercial areas proceeding based on market conditions. The narrative notes that Hans Hagen Homes will be the exclusive builder of the single family area, while Inwood 10, LLC will develop the commercial and multi-family areas as the market permits. In addition, Staff is requesting that the developer will be asked to provide a more specific phasing plan with the preliminary plat and preliminary PUD submissions (Condition #4).
- **Infrastructure.** The developer will be required to construct all streets, sewer, water, storm water ponds, and other infrastructure necessary to serve the development. Storm water facilities should be platted as outlots and deeded to the city for maintenance purposes. Adequate access to public storm water facilities must be provided.
- **Tree Preservation and Protection.** Based upon the limited tree cover of the site, it is possible that the applicant may not be required to complete a Tree Preservation Plan. If the applicant can demonstrate that significant trees on the site will not be negatively impacted by development activity, they would be allowed to submit a Woodland Evaluation Report in lieu of a Tree Preservation Plan. In addition to the trees along the eastern boundary, there are only two relatively small stands of trees on the site, located in the southwest and southeast corners of the site respectively. The Inwood PUD Concept Plan does not show development activity over these areas. However, potential impacts to existing trees will be better understood at the preliminary plat level with the submission of a grading plan for the development. Overall, the details at the preliminary plat stage will require a greater level of detail concerning trees on the site.
- **Green Belt/Buffer.** The Comprehensive Plan identifies the area on the east side of the Inwood planned development adjacent to the Stonegate residential subdivision as a green belt/buffer space with a minimum width of 100 feet. As proposed in the Inwood PUD Concept Plan, the applicant is utilizing this space for the continuation of trail corridor from the Boulder Ponds planned development in the south. As proposed, the design of the greenbelt trail is consistent with City planning efforts to date. In addition, it should be noted that the applicants are proposing to maintain a significant amount of existing trees along the eastern boundary of the site, adding to the value and aesthetic of the proposed linear park area. The existing trees include a significant amount of evergreen species, which should provide ample year round screening to many portions of the development. It should be noted that the distance maintained between private lots and the Stonegate neighborhood exceeds 100 feet in many areas, where separation distances of 140 to over 200 feet are common. However, it should be noted that Lots 27 and 28, Block 7 do encroach on the minimum 100-foot buffer area. As a condition of approval (Condition #12), Staff would recommend that the two lots noted be revised to maintain the 100-foot buffer requirement. With the exception of the two lots noted, Staff believes that that green belt/buffer requirements of the Comprehensive Plan have been met, and often exceeded, by the applicant.

- ***Streets and Transportation.*** The Inwood PUD Concept Plan includes a substantial portion of the 5th Street minor collector road, as well as an extensive internal street network proposed to serve the mixed-use development. From a conceptual level review of the street system, it appears that the proposed internal public streets meet the City's baseline subdivision requirements and City engineering standards. The right-of-way of local streets are 60 feet in width and local roads are 28 feet in width from curb to curb. In addition to the local road provided, the Inwood planned development includes a series of private streets and driveways to serve multi-family and commercial properties. The private streets and driveways as proposed are primarily accessed off 5th Street and Street D. Significant information regarding the proposed transportation network can be found in the City Engineer's memo (Attachment #6). In addition to the Engineer's review comments, staff offers the following additional comments related to streets:
 - ***5th Street.*** The City Engineer presents a significant amount of design requirements related to the 5th Street minor collector road in his review memorandum. In addition to his comments, Staff would highlight the following:
 - ***Alignment.*** The proposed alignment should meet Washington County's specifications for the touchdown on Inwood Ave. (CSAH 13). However, the alignment at the Boulder Ponds development includes slight additional impact to the Bremer Bank property, necessitating an additional 2,967 square feet of right-of-way from the Bremer site. In order to proceed with the alignment as shown, the applicant will need written permission from Bremer Bank (Condition #1).
 - ***5th Street and Inwood Avenue Signalization.*** Washington County will require signalization for the 5th Street and Inwood Ave. intersection at some point in the future. Given the anticipated traffic volumes generated by the Inwood planned development, Staff would recommend that the City require the applicant to participate financially in the City's share of the traffic signal costs. As a condition of approval (Condition #14), Staff is recommending that the applicant work with the City to determine a fair and reasonable cost share for the City's portion of the costs to signalize the 5th Street and Inwood intersection.
 - ***Residential Streets.*** For the single family neighborhood, the applicant is proposing unique street designs. The streets of the single family areas include Low Impact Development (LID) techniques of utilizing center islands and medians to incorporate infiltration and storm water management facilities allowing for enhanced and innovative storm water management within close proximity to streets and residential lots. The center medians will also allow for additional landscaping and pedestrian spaces, as demonstrated in the Concept Planning and Design Booklet (Attachment #5). It should also be noted that the islands would include a one way street design, requiring vehicle traffic to move in circular direction around the island. Due to the unique design of these streets, the City will require additional geometric details and exhibits demonstrating successful turning movements throughout the neighborhood streets. As a condition of approval (Condition #7), Staff is recommending that these details be submitted as part of the Preliminary PUD Plan. Additional details needed for review must address the review comments from the City Engineer documented in the review memorandum dated 8/13/14 (Attachment #6). Finally, it should be noted that Street C and Cul-De-Sac L exceed the maximum length of cul-de-sac for

sewered developments (600 feet) per the City's Subdivision Ordinance. The Engineer has recommended that this road section be revised to connect interior to the development. This could most likely be accomplished by connecting Street C to Neighborhood Street E.

- ***Sidewalks and Trails.*** The proposed Inwood planned development offers a substantial amount and variety of pedestrian and bicycle facilities in the form of sidewalks and trails, offering alternative modes of transport throughout the development. Staff has the following comments pertaining to sidewalks and trails:
 - ***Sidewalks.*** All of the major streets serving the single family residential area have sidewalks on at least one side of the streets, and in some case both sides. In addition, the applicant is planning unique street design with center medians. The Concept Planning and Design Booklet note that these median areas include additional pedestrian facilities to access residential homes. However, this level of detail is not currently provided for all the individual islands and medians at the Concept Plan stage. Staff would recommend that this detail be provided to better understand how these residential areas are being served. In addition, one recommendation (Condition #16) that Staff would make is to include sidewalks on both sides of Street B, as this street is serving as a neighborhood collector for the single family residential neighborhood. Finally, the mutli-family and commercial areas often have direct sidewalk access to the streets. Staff would recommend that the applicant provide pedestrian access to the best extent possible to both mutli-family and commercial uses, as one of the benefits of a master-planned development is to ensure broad connectivity in between the various land uses included in the plan.
 - ***Trails.*** The applicants are proposing an effective system of trails to serve the planned development. In addition to the greenbelt linear park trail on the east side of the development, the applicant is planning a central east-west trail contained mostly in open space areas across the entire development. This should allow the development to achieve residential neighborhoods with easy access to employment and commercial services, resulting in an integrated development with a mix of uses. In order to augment the proposed trails provided in the Concept Plat, staff recommends that additional trail segments be provided within the Inwood Avenue and 10th Street right-of-ways (Condition #17). Staff recommends that the Inwood Avenue trail segment on the east side of the road extend from 5th Street to 10th Street (CSAH 10). In addition, the 10th Street (CSAH 10) trail segment should connect from Inwood Avenue (CSAH 13) to the Greenbelt Buffer Trail at the northeast corner of the development. These trail segments would ensure proper connection of the proposed trails and offer increased connectivity and access.
- ***City Engineer Review.*** The City Engineer has provided the Planning Department with a detailed comment letter (Attachment #6) dated August 13, 2014 as a summary of his review of the Inwood PUD Concept Plan. Staff has incorporated the more significant issues identified by the Engineer as part of the recommended conditions of approval, and has also included a general condition (Condition #10) that all issues identified by the City Engineer must be addressed by the applicant prior to approval of a the PUD Preliminary Plan and Preliminary Plat.
- ***Washington County Public Works Review.*** Ann Pung-Terwedo of Washington County Public Works has submitted a review memorandum that focuses on the proposed street

connections of the Inwood PUD to the surrounding arterial street network. Given that both Inwood avenue (CSAH 13) and 10th Street (CSAH 10) are County arterial roadways that will directly serve the development, there are many considerations related to access management and intersection design that the applicants must consider in planning out the internal street system. The review memorandum from Washington County is found in Attachment #8. Staff is recommending that the applicants work with Washington County to address all review comments in the memo as a condition of approval (Condition #15). Finally, it should be noted that the Inwood planned development site is within proximity to one of the planned stations for the planned Gateway Corridor transit facility. In the judgment of Staff, the development as proposed would be compatible with elements or characteristics of transit-oriented development (TOD), offering further support for the Inwood Concept Plan.

- **Fire Chief Review.** The Lake Elmo Fire Chief, Greg Malmquist, submitted a review letter for the proposed planned development. In the letter, he highlights the importance of an effective street naming system that follows the County system and has been utilized by the City. In addition, there are comments submitted on the proper location of fire hydrants and proper street design to allow for effective turning movements for fire apparatus and other emergency vehicles. Finally, he notes that many of the structures included in the plan may be subject to fire sprinkling requirements per State Building and Fire Codes.
- **Watershed Districts.** The project area lies within the South Washington Watershed District. The applicants have started working with Matt Moore, the SWWD engineer, on preparing a stormwater management plan that will meet the treatment, rate and volume requirements for the proposed development. As a condition of approval (Condition #8), all specific development projects will need to comply with applicable watershed district requirements. As proposed, the project will impact man-made constructed wetlands on the site that were created related to agricultural activity. The applicant is currently working through the mitigation requirements for these impacts with the watershed district (which is the responsible government unit for wetland issues).
- **Environmental Review.** Based upon the proposed scope of the Concept Plan, the project will meet the threshold for a mandatory Environmental Assessment Worksheet (EAW), as the proposed development will exceed the threshold of 300 residential units. The developer has prepared a draft EAW that will be distributed for public comment starting on September 2, 2014. No subdivision of land can occur until this review is complete; however, the developer may proceed with simultaneous reviews at its own risk.
- **Design Review.** Based on the proposed uses within the PUD Concept Plan, multiple structures within the Inwood Development will be subject to design and architectural review, including all multi-family residential (apartments, condos, senior living) and commercial buildings. Design and architectural review will be performed at Preliminary and Final PUD Plan stage for all applicable structures.
- **Theming.** Staff has distributed the Branding and Theming Study completed by Damon Farber and Associates to the applicants previously. In completing a preliminary landscape plan for the site, staff would recommend that the applicants consider the inclusion of various theming elements and amenities identified in the plan for various locations within the development. For example, the 5th Street and Inwood Avenue Intersection presents a gateway opportunity for the City. Utilizing some of the elements described in the theming study would help the development and City achieve unique design that is consistent with the theme that the City is attempting to augment and achieve as private development moves forward.

Based on the above Staff Report and analysis, Staff is recommending approval of the Inwood PUD Concept Plan with multiple conditions intended to address future considerations related to the submission of a PUD Preliminary Plan and Preliminary Plat application. The recommended conditions are as follows:

Recommended Conditions of Approval:

- 1) The applicant must obtain permission and consent from the adjoining property owner, Bremer Bank, related to the right-of-way and alignment of the 5th Street minor collector road in the southeast corner of the site. The final alignment must be determined prior to the submittal of PUD Preliminary Plan and Preliminary Plat applications.
- 2) Request for flexibility related to lot size, width, setbacks and all other requirements per the City's Zoning Ordinance or Design Standards must be clarified and documented as part of the PUD Preliminary Plan and Preliminary Plat submission.
- 3) The application for Preliminary Plat and Preliminary PUD Plan approval will include an overall PUD planning document that addresses the flexibility requests noted in the preceding condition and that also specifies the specific design considerations to be used throughout the project area.
- 4) The Preliminary PUD plans will include a phasing plan for all portions of the development.
- 5) The Preliminary Development Plans shall include a water tower within the project development area in a location that is deemed acceptable by the City Engineer. As an alternative, the developer may identify an alternate location off-site for the water tower in a location deemed acceptable by the City Engineer provided the ownership of the site is transferred to the City and all required utility connections are constructed in conjunction with the platting of the Inwood PUD.
- 6) The Preliminary PUD plans shall be updated to include additional park land in the southeastern portion of the site. A larger park area of 5 to 10 acres adjacent to the existing Stonegate Park and with access to 5th Street is the preferred location. The location and size of this park will be subject to review by the Lake Elmo Park Commission.
- 7) All street and median geometrics must accommodate emergency vehicle access and maintenance. Applicants must demonstrate acceptable turning radii for all uniquely shaped landscape medians and cul-de-sacs.
- 8) The developer shall follow all of the rules and regulations spelled out in the Wetland Conservation Act, and shall acquire the needed permits from the appropriate watershed district prior to the commencement of any grading or development activity on the site.
- 9) Any land under which public trails are located will be accepted as park land provided the developer constructs said trails as part of the public improvements for the subdivision, and the land is located outside of any restrictive easements.
- 10) The applicant shall observe all comments and recommendations from the City Engineer documented on the Engineer's report dated August 13, 2014.
- 11) The Preliminary Plat and Preliminary PUD Plans will address review comments and issues that are identified within the Environmental Assessment Worksheet for the Inwood planned development site.
- 12) Lots 27 and 28, Block 7 must be revised to maintain the minimum 100-foot greenbelt buffer requirement along the eastern portion of the planned development.

- 13) The applicant shall enter into a maintenance agreement with the City clarifying responsibility for all median landscaping and stormwater facilities internal to the single family residential streets.
- 14) The applicants must work with the City to determine fair and equitable cost share for City costs related to the future signalization of the intersection at 5th Street and Inwood Avenue (CSAH 13).
- 15) The applicant must work with Washington County to address all review comments documented in the attached report dated 8/20/14 pertaining to access and intersection design for Inwood Avenue (CSAH 13) and 10th Street (CSAH 10).
- 16) The applicant must provide sidewalks on both sides of Street B to better serve the single family residential area.
- 17) Additional trail segments along the east side of Inwood Avenue from 5th Street to 10th Street and along 10th Street from Inwood Avenue to the Greenbelt Buffer Trail must be incorporated into the plans.
- 18) The applicant must work with the City to ensure compliance with the City's shoreland provisions and the standards of the SWWD and MN DNR related to shoreland areas of designated public waters.

DRAFT FINDINGS

Staff is recommending that the Planning Commission consider the following findings with regards to the proposed Inwood PUD Concept Plan:

- 1) That the Inwood PUD Concept Plan is consistent with the intent of the Lake Elmo Comprehensive Plan and the Future Land Use Map for this area.
- 2) That the Inwood PUD Concept Plan complies with the general intent of the City's Urban Low Density Residential, Urban High Density Residential and Commercial zoning districts.
- 3) That the Inwood PUD Concept Plan complies with the City's Subdivision Ordinance.
- 4) That the Inwood PUD complies with the City's PUD Ordinance, and specifically the identified objectives for the consideration of a Planned Development.
- 5) That the Inwood PUD Concept Plan is consistent with the City's engineering standards with exceptions as noted by the City Engineer in his review comments to the City dated August 13, 2014.
- 6) That the master-planning technique utilized in the Inwood PUD Concept Plan provides thoughtful integration of multiple land uses, a variety of housing types and an effective and connected transportation system, allowing for different modes of travel throughout the site.

RECOMMENDATION:

Staff recommends that the Planning Commission recommend approval of the Inwood PUD Concept Plan with the 18 conditions of approval as listed in the Staff Report. Suggested motion:

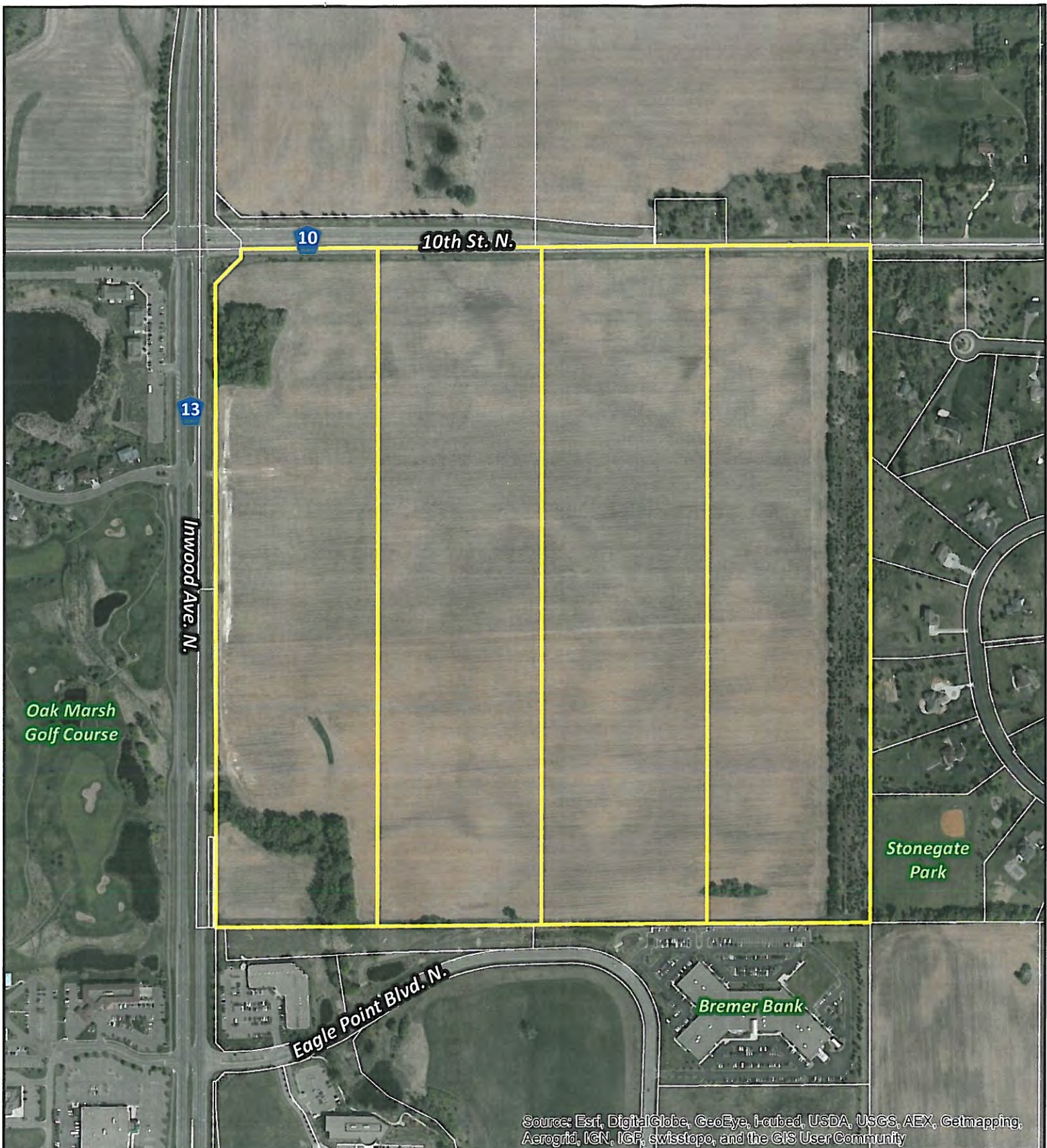
“Move to recommend approval of the Inwood PUD Concept Plan with the findings of fact and conditions of approval as drafted in the Staff Report.”

ATTACHMENTS:

1. Location Map
2. Application Form
3. Project Narrative
4. Inwood PUD Concept Plan w/Details
5. Inwood PUD Concept Planning & Design Booklet
6. City Engineer's Review Memorandum, dated 8/13/14
7. Fire Chief's Review Memorandum, dated 8/19/14
8. Washington County Review Memorandum, dated 8/20/14

ORDER OF BUSINESS:

- Introduction Planning Staff
- Report by Staff Planning Staff
- Questions from the Commission Chair & Commission Members
- Open the Public Hearing Chair
- Close the Public Hearing Chair
- Discussion by the Commission Chair & Commission Members
- Action by the Commission Chair & Commission Members



Location Map: Inwood 10 PUD



Data Source: Washington County, MN
8-15-2014

 Inwood 10 PUD

0 250 500 1,000 Feet
1"=500'



Date Received: _____
Received By: _____
Permit #: _____



651-747-3900
3800 Laverne Avenue North
Lake Elmo, MN 55042

LAND USE APPLICATION

- ☐ Comprehensive Plan ☐ Zoning District Amend ☐ Zoning Text Amend ☐ Variance*(see below) ☐ Zoning Appeal
- ☐ Conditional Use Permit (C.U.P.) ☐ Flood Plain C.U.P. ☐ Interim Use Permit (I.U.P.) ☐ Excavating/Grading
- ☐ Lot Line Adjustment ☐ Minor Subdivision ☐ Residential Subdivision Sketch/Concept Plan
- ☒ PUD Concept Plan ☐ PUD Preliminary Plan ☐ PUD Final Plan

Applicant: Hans Hagen Homes & Inwood 10 LLC
Address: 941 NE Hillwood Rd, Suite 300 Fridley, MN 55432
Phone #: 763-586-7202
Email Address: grask@hanshagenhomes.com

Fee Owner: Inwood 10 LLC
Address: 95 S. Duwase Blvd W St. Paul, MN 55117
Phone #: 651-486-3452
Email Address: Schuettle@azureproperties.com

Property Location (Address and Complete (long) Legal Description: NE 1/4, Section 33 T29 R21.

Detailed Reason for Request: See attached

*Variance Requests: As outlined in Section 301.060 C. of the Lake Elmo Municipal Code, the applicant must demonstrate practical difficulties before a variance can be granted. The practical difficulties related to this application are as follows:

In signing this application, I hereby acknowledge that I have read and fully understand the applicable provisions of the Zoning ordinance and current administrative procedures. I further acknowledge the fee explanation as outlined in the application procedures and hereby agree to pay all statements received from the City pertaining to additional application expense.

Signature of applicant: [Signature] Date: 7/18/14

Signature of fee owner: _____ Date: _____



August 11, 2014

Honorable Mayor and City Council
City of Lake Elmo
3800 Laverne Avenue North
Lake Elmo, MN 55042

RE: Inwood Creek Mixed Use Neighborhood

Dear Honorable Mayor and City Council,

Inwood 10 LLC and Hans Hagen Homes are proposing a mixed use development on approximately 157 acres located at the southeast corner of Inwood Avenue and 10th Street. The project will be known as Inwood Creek and will consist of a mix of single family homes, townhomes, multi-family, and commercial.

Inwood Creek blends different housing styles and commercial uses in a coordinated approach. The neighborhood design provides the convenience of retail goods, services, and jobs in a walkable community. The sustainable community design includes efficient utilization of public infrastructure, Low Impact Development (LID) techniques, including the reuse of storm water, and open spaces consisting of linear parks and trail system.

Land Use Guide Plan

The City's Land Use Guide Plan identifies a mix of Commercial, Urban Low Density, and Urban High Density land uses on the subject property. The City of Lake Elmo's I-94 Corridor Development Staging Plan map (July 2012) places the subject property in the first phase of development.

Inwood Creek will include approximately: 1) 281 single family lots (Lifestyle Homes), 2) 144 townhomes, 3) 150 multi-family units, and 4) 120 senior townhome units. The commercial uses will consist of approximately 63,814 square feet of commercial/office uses.

Commercial Neighborhood

The commercial portion of the neighborhood is a key component in creating the neighborhood identity, as well as providing residents with convenient access to goods and services. Residents of the Inwood Creek neighborhood will be able to walk to shopping, restaurants, and other retail establishments.

Conceptual buildings and site designs are included on the concept plan to provide an illustration of how the commercial district could be developed. Final building plans for the commercial property will be customized to meet the needs of each occupant. A final PUD plan will be submitted to the City prior to construction of any of the commercial uses.

Multi-Family Neighborhood

The multi-family areas of the neighborhood will consist of a mix of townhomes, apartments, and senior housing. These housing options are located in areas designated for higher density in the City's Land Use Plan. The Inwood Creek neighborhood is ideally located for multi-family housing because of its proximity to nearby jobs, transportation, and convenient neighborhood shopping.

There are no specific plans for the multi-family portion of the neighborhood at this time. Conceptual buildings and site designs are illustrated on the concept plan to give an idea of how the multi-family neighborhoods could be developed. A final PUD plan would be submitted to the City prior to construction of any of the multi-family land.

Single Family Neighborhood

The single family neighborhood includes "Lifestyle Homes" that meet the increasing demand for one-level living with association maintenance. The Lifestyle Homes provide the benefits of a single family home, with all the conveniences of a townhome. The association maintenance of lawn areas and snow removal provides the homeowner with the freedom to travel, own a winter or summer home, or more time for recreation. Inwood Creek homeowners may select "ale-carte" services through the homeowner association, such as gutter cleaning, spring and fall clean-up, and other services to assist in the upkeep and maintenance of the outdoor spaces.

Hans Hagen Homes will be the exclusive builder of the single family neighborhood, and will assist each buyer in selecting and designing a home that fits their particular need. Individual homeowners have the ability to choose from a wide variety of plans, exterior materials, including extensive use of brick and stone, architectural features, and landscape designs. This process creates variety and interest in the architecture of the neighborhood.

The Lifestyle Homes feature private outdoor patio spaces, a private yard for gardening, plentiful landscaping, and a homeowners association to take care of the exterior spaces. While the yard areas are maintained by the association, these homes sit on individual lots. This type of home with association maintenance requires flexibility from standard single family zoning requirements. The setbacks for these homes are: 1) 20-foot front yard, 2) 4-foot side yard, and 3) 20-foot rear yard. A minimum separation of 22 feet will be provided between the garage door and any sidewalk to accommodate the parking of vehicles without interfering with the use of the sidewalk. The association is responsible to maintain the yards, and has easements over the adjacent lots for access and maintenance of homes.

PUD Zoning

The Inwood Creek neighborhood will be processed as a PUD. The PUD provides flexibility necessary for the construction of the Lifestyle Homes. The PUD will also permit the mixing of the commercial and multi-family uses. Currently, the northwest corner of the property is guided for Commercial. Because of access limitations onto Inwood Avenue (CSAH 13) and 10th Street, the commercial is being moved to the south adjacent to 5th Street.

PUD Zoning Objectives

Section 154.801 of the Zoning Ordinance states that the City should consider whether one or more of the objectives listed below is being achieved when approving a Planned Unit Development (*the applicant's response is provided after each objective in italics.*).

- A. Innovation in land development techniques that may be more suitable for a given parcel than conventional approaches.

The City's Land Use Guide Plan calls for a mix of uses on the Inwood Creek property. Inwood Creek arranges commercial, multi-family and single family uses in a manner that provides for appropriate vehicle access, pedestrian connections, and transitions between uses. Berms, water features, public parks, opens spaces, and landscaping will establish transitions between different land uses. The PUD also incorporates Low Impact Development (LID) street designs that provide for enhanced storm water management.

- B. Promotion of integrated land uses, allowing for a mixture of residential, commercial, and public facilities.

Lifestyle Homes on single family lots are located north of proposed 5th Street on the eastern side of the neighborhood. A public park lies between the Lifestyle Homes and existing single family homes in Stonegate. The west side of the property adjacent to Inwood Avenue is designed for multifamily and commercial uses. Significant water features, berms, and landscaping lie between the Lifestyle Homes and the multifamily and commercial uses. Townhomes and a senior residential facility are planned between 5th Street and the Eagle Point Office Park with the property adjacent to Inwood planned for commercial uses. The requested PUD provides for the integration of these compatible land uses.

- C. Provision of more adequate, usable, and suitably located open space, recreational amenities and other public facilities than would otherwise be provided under conventional land development techniques.

The Inwood Creek neighborhood incorporates a variety of open space and recreational amenities. The linear park on the east side of Inwood Creek provides open space between the Stonegate single family neighborhood and Inwood Creek, as well as a trail connection to existing Stonegate public park. The linear park and trail system extends through the neighborhood to the commercial district of Inwood Creek. Trails and sidewalks are also provided along 5th Street with connections to the linear park.

- D. Accommodation of housing of all types with convenient access to employment opportunities and/or commercial facilities; and especially to create additional opportunities for senior and affordable housing.

The Inwood Creek neighborhood provides convenient access to existing employment opportunities located in the adjacent Eagle Point Office Park, as well as nearby locations in Oakdale, Woodbury, and Lake Elmo. As discussed earlier, the neighborhood will provide townhouses, multifamily, senior, and single family homes.

- E. Preservation and enhancement of important environmental features through careful and sensitive placement of buildings and facilities.

The property consists almost entirely of tilled agricultural fields and contains no significant environmental features. The trees along the east property line will be saved and incorporated into a buffer/park area.

- F. Preservation of historic buildings, structures or landscape features.

There are no historic buildings or significant landscape features found on the property.

- G. Coordination of architectural styles and building forms to achieve greater compatibility within the development and surrounding land uses.

As discussed above, the purpose of the PUD is to provide for the appropriate mixing and intergration of land uses. The architecture of the Lifestyle Homes will be controlled through standards imposed by Hans Hagen Homes. The opportunity for the buyer to choose from a verity of architectural styles, features, colors, and materials will create visual interest and establish the unique neighborhood character of Inwood Creek.

Final building plans for the commercial or multi-family properties will be completed as occupants of Inwood Creek are designated. Future buildings on these parcels would conform to applicable City standards.

- H. Creation of more efficient provision of public utilities and services, lessened demand on transportation, and the promotion of energy resource conservation.

Master planning this neighborhood provides for the efficient layout and design of public utilities and services. The neighborhood will provide important connections to Eagle Point Boulevard, Inwood Avenue, and 10th Street. It will also provide the connection of 5th Street through the project site.

- I. Allowing the development to operate in concert with a redevelopment plan in certain areas of the City and to ensure the redevelopment goals and objectives will be achieved.

The project does not include any redevelopment.

- J. Higher standards of site and building design than would otherwise be provided under conventional land development technique.

As discussed above, the neighborhood provides for the efficient layout and extension of public infrastructure and the integration of land uses. Low Impact Development (LID) street designs also provide an attractive streetscape while minimizing storm water runoff. PUD flexibility is needed to establish housing choices that are not currently available in Lake Elmo.

Conclusions

The Inwood Creek neighborhood meets the criteria necessary for the City to approve a PUD for the project. The project is consistent with the City's Land Use Guide Plan and the objectives of the PUD zoning ordinance.

If you have any questions on our project, please feel free to contact me at (763) 586-7202, or at jrisk@hanhagenhomes.com.

Sincerely,



John Rask
Vice President of Land Development

~for~ HANS HAGEN HOMES, INC.

INWOOD 10 LLC PROPERTY

HANS HAGEN HOMES DESIGN NOTES

NAME _____

I hereby certify that this copy, part of record was prepared by me and my direct supervisor and that I am a duly Registered Unit Servicer under the laws of the State of Minnesota.

Donald W. Bremner
 DONALD W. BREMNER
 Date: 8/15/84 Location: 25.1

 **E. G. RUD & SONS, INC.**
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701
www.egrud.com

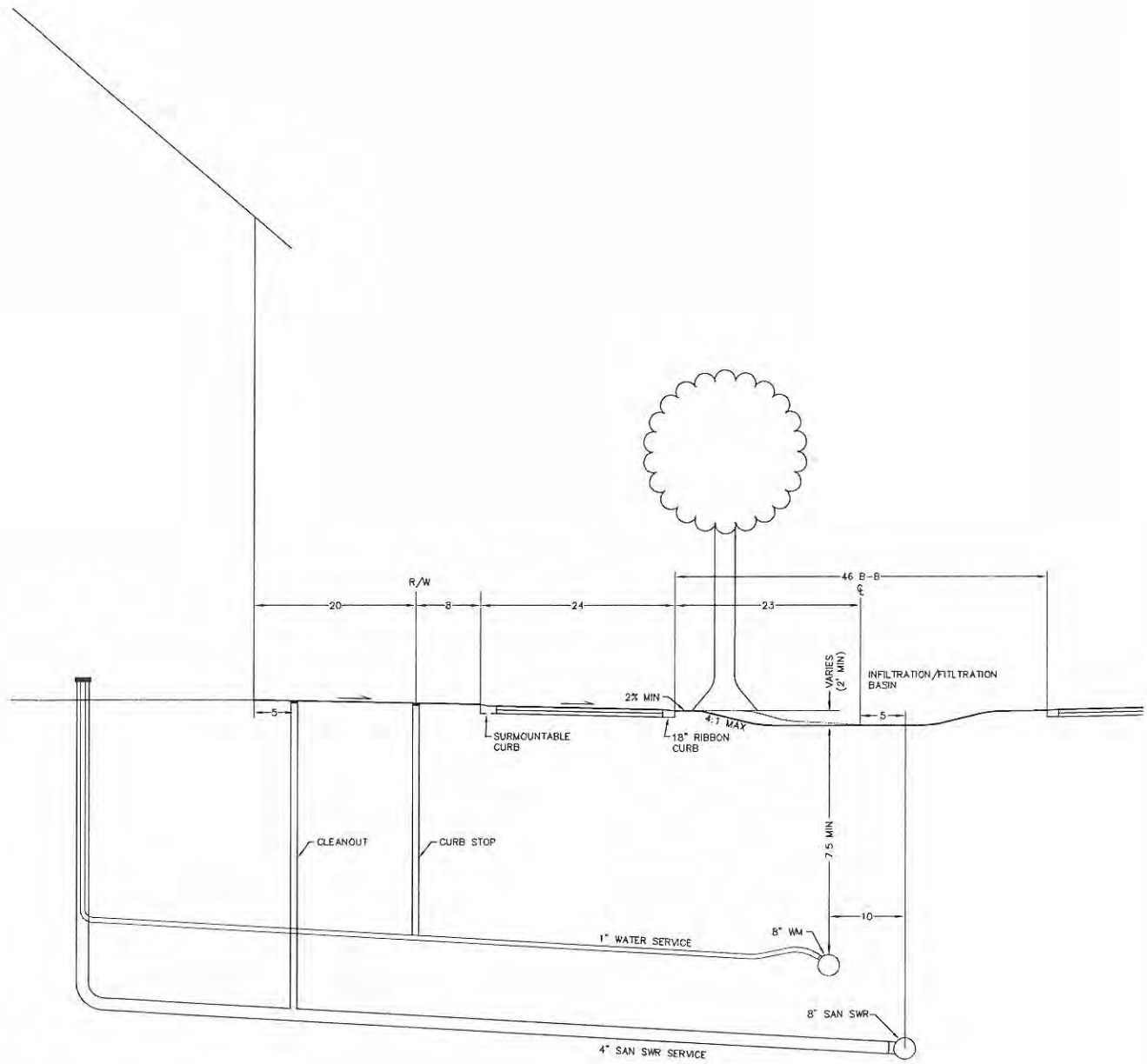
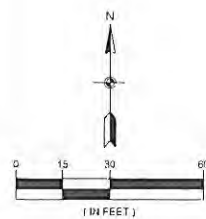
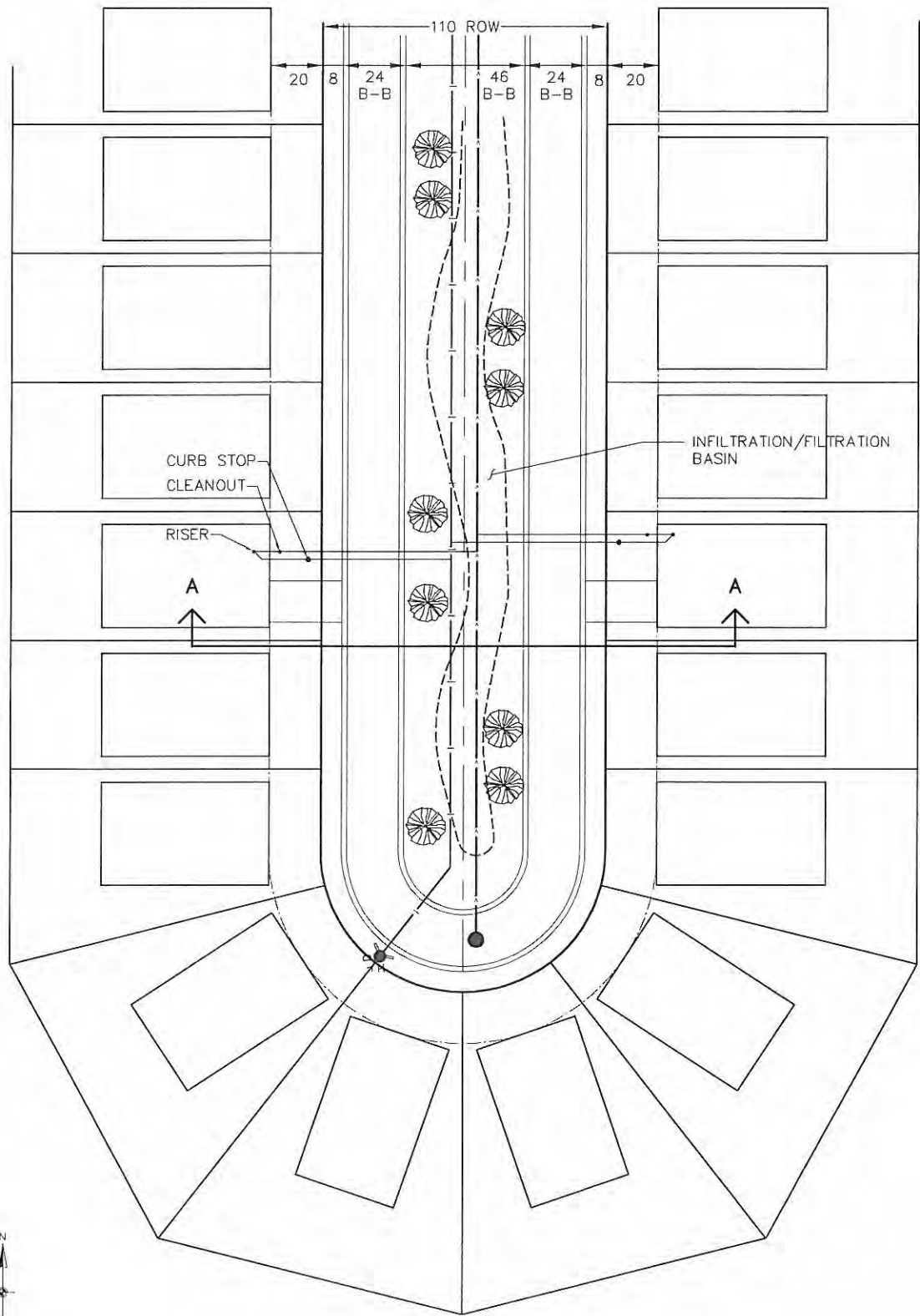
PROPERTY DESCRIPTION:

The West 1/2 of the Southwest Quarter of Section 33, Township 24 North, Range 21 West, 1/4 of the North 1/2 of any lot 41, 42 or 43, of the State Highway Right-of-way Post No. 42, State Project 8252 Ede-Road 902, Washington County, Minnesota.
(Map 2)
All;
The Northwest Quarter of Section 33, Township 24 North, Range 21 West and adjacent Parcel No. 4 of Washington County Highway Right-of-way Post No. 41 and
Parcel No. 1 of Washington County Highway Right-of-way Post No. 42, Washington County, Minnesota.
(Map 2)

DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
8/2/74	END	JOE NO. 1327270	8/2/74		
8/2/74	END	SCANNED			
8/2/74	END	20 COLLAGE ARCH DESIGN	END		
8/2/74	END	REVISE COLLAGE ARCH DESIGN	END		
8/2/74	END	GREEN SAC RE-DESIGN	END		
8/2/74	END	NEW LAYOUT STUBLE C	END		
8/2/74	END	NEW SCORPER LAYOUT	END		
8/2/74	END	SIL STL POINTS	END		
8/2/74	END	BEVEL NOTES	END		
8/2/74	END	LAYOUT	END		
NO	DATE	DESCRIPTION	NO	DATE	DESCRIPTION

NOTES

[illegible]



CROSS SECTION A-A
NO SCALE



ENVIRONMENTAL • ENGINEERING • SURVEYING
248 Apollo Dr, Suite 100, Lino Lakes, MN 55014
Phone: 763-489-7900 Fax: 763-489-7959

CROSS SECTION

LAKE ELMO PROPERTY
Lake Elmo, Minnesota

HANS HAGEN HOMES
941 NE Hillwind Rd., Suite 300
Fridley, MN 55432

REVISIONS

1.	
2.	
3.	
4.	
5.	
6.	
DRAWN BY:	JTR
DESIGNED BY:	JTR
ISSUE DATE:	06/23/14

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: Brian J. Krystoflik, P.E.
Signature: _____
Date: _____ License #: _____

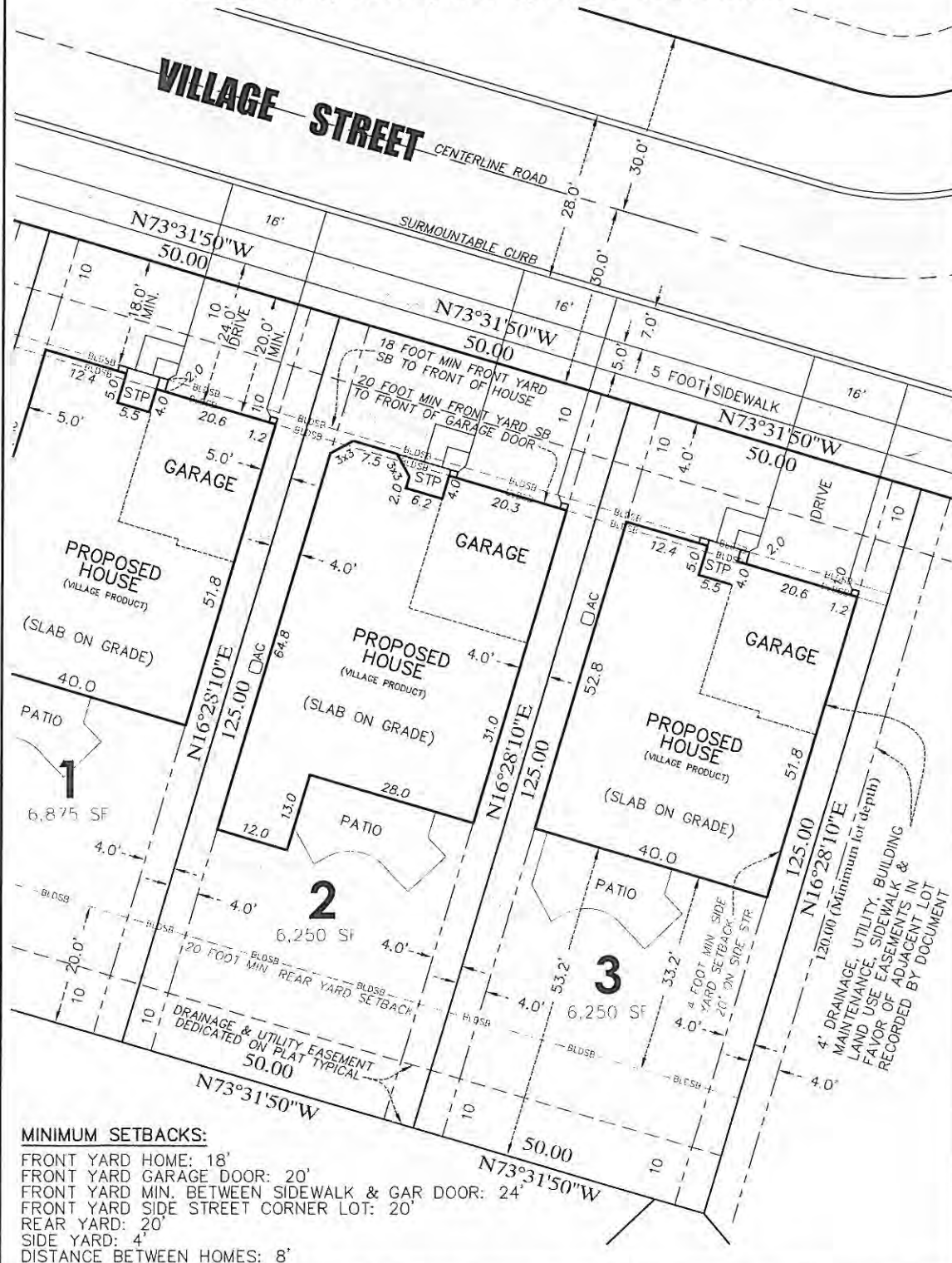
DETAIL SHEET

VILLAGE PRODUCT TYPICAL

LOT STANDARDS:

MINIMUM LOT DEPTH = 120'
STANDARD LOT WIDTH = 50'
STANDARD LOT WIDTH CORNER LOT=65'
MINIMUM LOT SIZE 6,000 SF.

A Single Family development by HANS HAGEN HOMES



MINIMUM SETBACKS:

FRONT YARD HOME: 18'
FRONT YARD GARAGE DOOR: 20'
FRONT YARD MIN. BETWEEN SIDEWALK & GAR DOOR: 24'
FRONT YARD SIDE STREET CORNER LOT: 20'
REAR YARD: 20'
SIDE YARD: 4'
DISTANCE BETWEEN HOMES: 8'

Scale 1" = 20'

● Denotes Iron Monument

Bearing Datum: Assumed

Job No. 13400

Drwg By DWO

I hereby certify that this plan, survey or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

By: James W. Greenlee

Dated this 29th day of July 2013. Minnesota License No. 25341

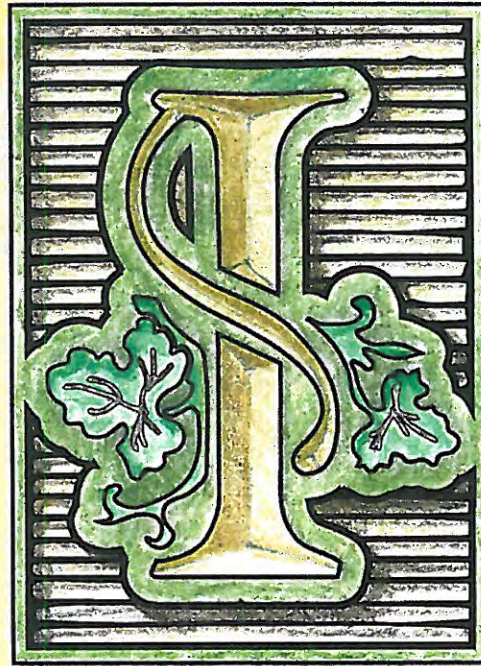


E. G. RUD & SONS, INC.

PROFESSIONAL LAND SURVEYORS
6776 LAKE DRIVE NE, SUITE 110
LINO LAKES, MINNESOTA 55014
TEL. (651) 361-8200
FAX (651) 361-8701
www.egrud.com



INWOOD PLACE: MULTIFAMILY
INWOOD SHOPS: RETAIL & SERVICES
INWOOD MARKET: RETAIL & SERVICES
INWOOD COVE: SENIOR HOUSING
INWOOD SOUTH: TOWNHOMES



CONCEPT PLANNING & DESIGN



INWOOD VILLAGE:
 SINGLE FAMILY DETACHED HOMES
 WOOD BUFFER, TRAIL SYSTEM & GREEN SPACES

InWood
 10
 LLC

August 21st, 2014

• CONTACT: JOHN RASK •
 • Hans Hagen Homes •
 • ph. 763.586.7202 •

Hans
Hagen
Homes

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August 20, 2014

Honorable Mayor and City Council
City of Lake Elmo
3800 Laverne Avenue North
Lake Elmo, MN 55042

RE: InWood Neighborhood

Dear Honorable Mayor and City Council,

Hans Hagen Homes and InWood 10 LLC are partnering to build a mixed use neighborhood consisting of single family homes, townhomes, multi-family, and commercial. The neighborhood design provides a variety of homes with the convenience of retail goods and services in a walkable community.

The City's Land Use Guide Plan identifies a mix of Commercial, Urban Low Density, and Urban High Density for the property. These land uses will complement the adjacent Eagle Point Office Park, Oak Marsh Golf Course, and nearby commercial. Access to InWood Avenue and 10th Street provides direct connections to both I-94 and I-694.

InWood Village - Single Family

InWood Village includes "Lifestyle Homes" that meet the increasing demand for one-level living with association maintenance. Lifestyle Homes provide the benefits of a single family home, with all the conveniences of a townhome. The association maintenance of lawn areas and snow removal provides the homeowner with the freedom to travel, own a winter or summer home, or more time for recreation. InWood homeowners may select "a-la-carte" services through the homeowner association, such as gutter cleaning, spring and fall clean-up, and other services to assist in the upkeep and maintenance of the outdoor spaces.

Hans Hagen Homes will assist each buyer in selecting and designing a home that fits their particular need. Individual homeowners have the ability to choose from a wide variety of plans, exterior materials, including extensive use of brick and stone, architectural features, and landscape designs. This process creates variety and interest in the architecture of the neighborhood.

InWood Village will feature private outdoor patio spaces, a private yard for gardening, plentiful landscaping, and a homeowners association to take care of the exterior spaces. Lush landscaping in the front yards and center medians provide a park like atmosphere on every street.

InWood Place, InWood Cove, and InWood South – Multi-Family

The multi-family areas of the neighborhood will consist of a mix of townhomes, apartments, and senior housing. InWood Place is a multi-family neighborhood located in the northwest corner of the property near the intersection of InWood Avenue and 10th Street. InWood Cove is planned for a senior housing campus south of 5th Street and adjacent to InWood Market. InWood South will be a rental townhome community located south of 5th Street and north of the Eagle Point Office Park. The multi-family portions of the InWood neighborhood are ideally located adjacent to nearby jobs, transportation, and convenient neighborhood shopping.

InWood Market and Shops

InWood Market and Shops are a key component in creating the neighborhood identity, as well as providing residents with convenient access to goods and services. Residents of InWood will be able to walk to shopping, restaurants, and other retail establishments. These retail goods and services will also serve surrounding neighborhoods in Lake Elmo.

InWood Trails and Open Space

The InWood neighborhood incorporates a variety of open space and recreational amenities. The linear park on the east side of the neighborhood provides open space, as well as a buffer between InWood and the Stonegate neighborhood. This linear park will include a trail corridor that connects InWood to the existing Stonegate public park. A linear park and trail system also extends through the neighborhood connecting to the commercial district.

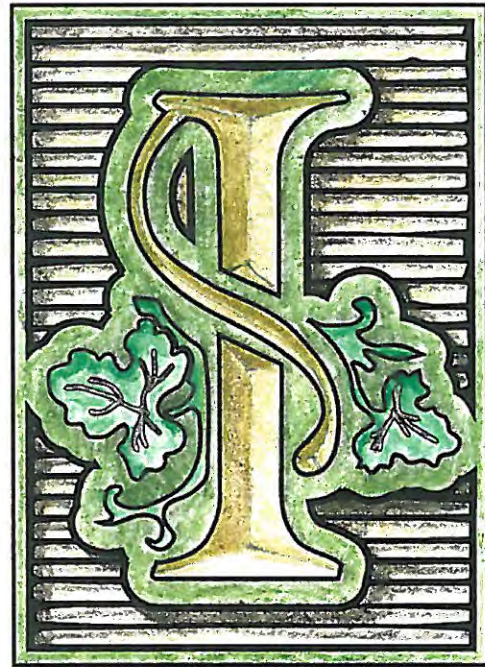
Summary

For over 50 years Hans Hagen Homes has been building award winning communities and homes. Our experience, integrity, and quality are the reason thousands of customers have selected Hans Hagen Homes.

We look forward to working with the City of Lake Elmo in the creation of this exciting new neighborhood.

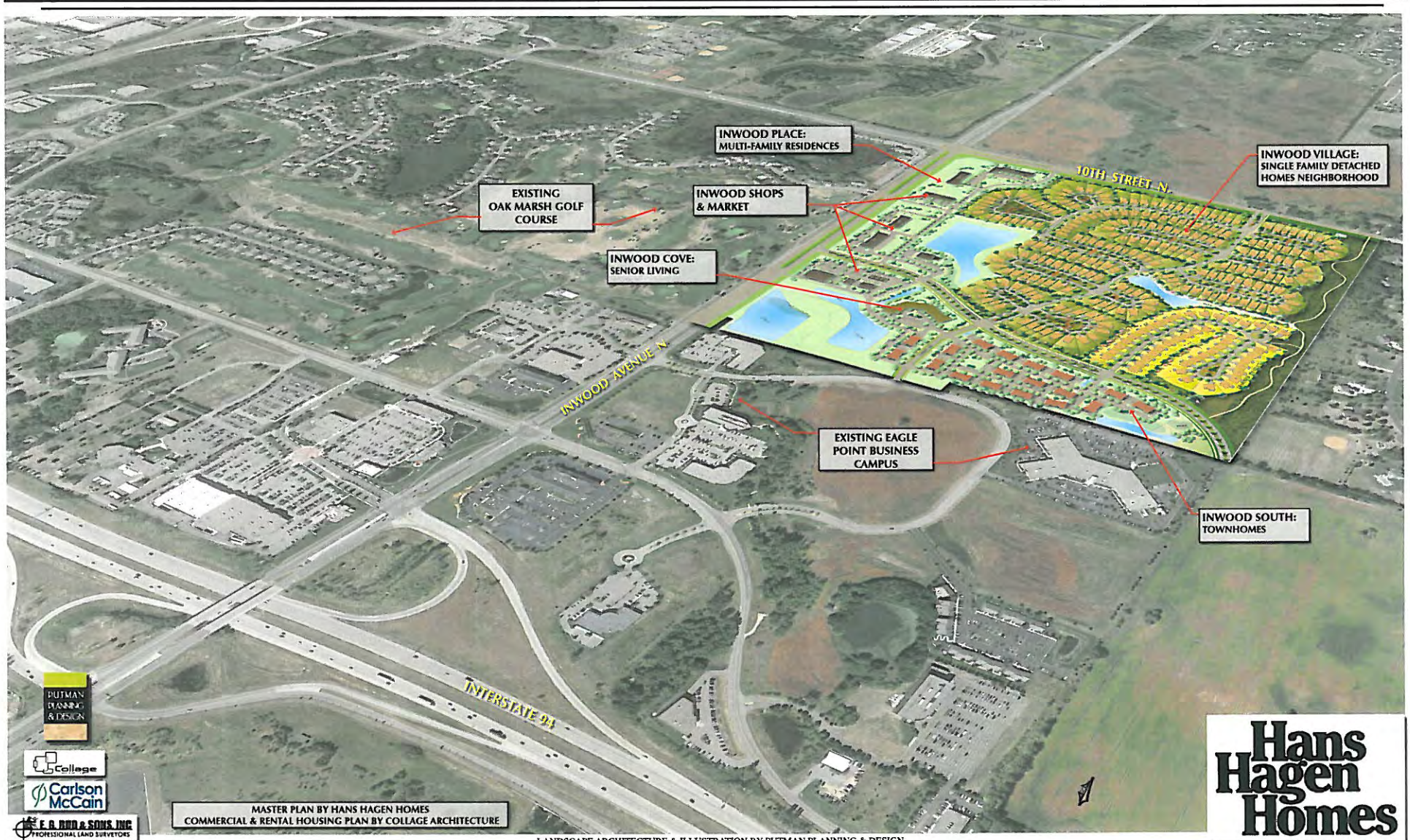
Sincerely,

Hans J. Hagen, Jr.



InWood

INWOOD AERIAL PERSPECTIVE LOOKING NORTH WEST



LANDSCAPE ARCHITECTURE & ILLUSTRATION BY PUTMAN PLANNING & DESIGN

INWOOD AERIAL PERSPECTIVE LOOKING SOUTH



INWOOD LAKE ELMO, MINNESOTA



INWOOD STREETSCAPE EXAMPLE

- Home - dominant streetscapes • traffic calmed... • with homes of high quality design, detail and materials



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Hagen
Homes**

PUTMAN
PLANNING
& DESIGN

Carlson
McCain

F. B. RUD & SONS, INC.
PROFESSIONAL LAND SURVEYORS

INWOOD STREETSCAPE EXAMPLE

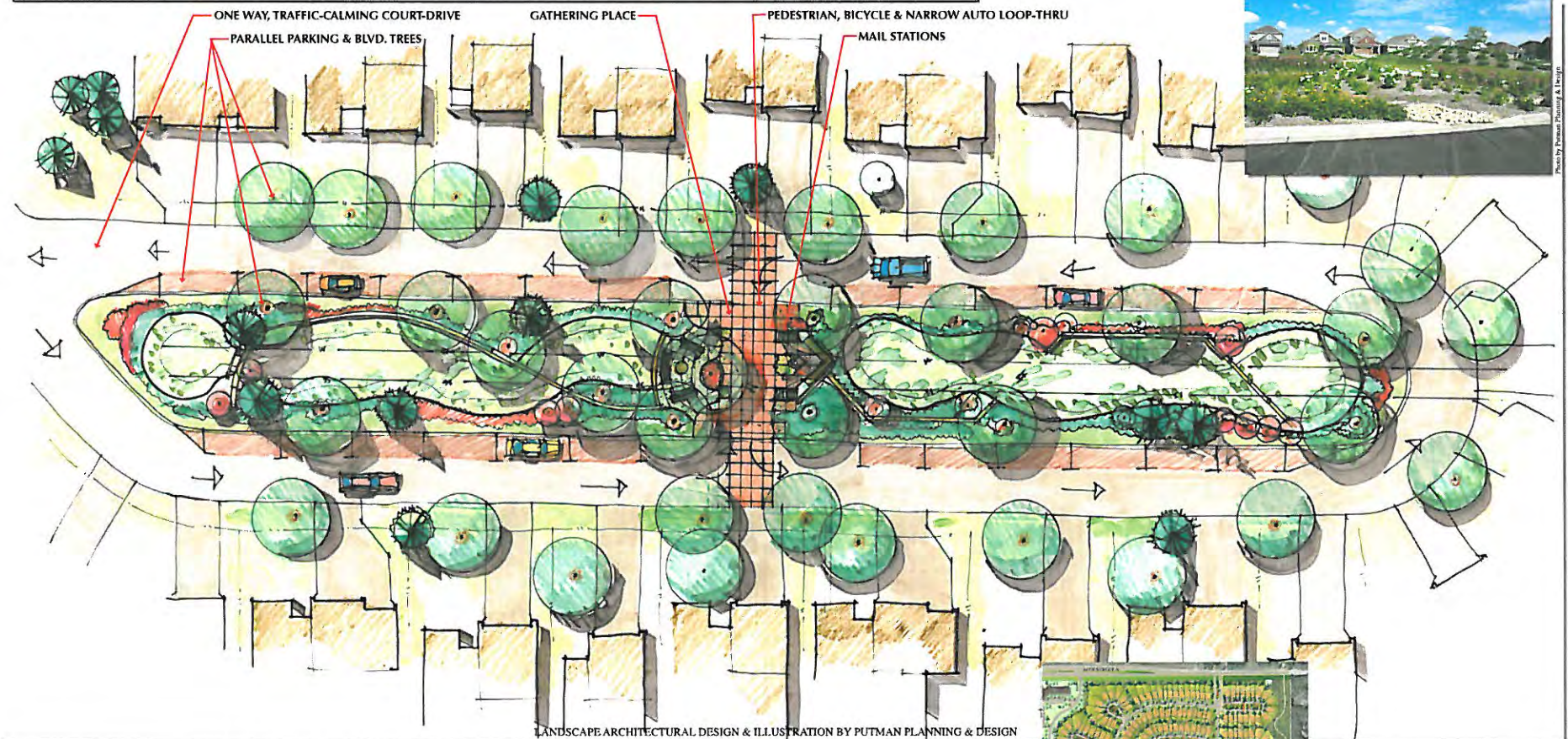
- with extensive greenspace & boulevard planting • augmented by home-owner landscaping



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ISLAND GREEN SPACE: EXAMPLE I (NHD.E) CONCEPT DESIGN

Car traffic speeds are "calmed" by use of one way travel, signage, parallel parking, paving texture changes, and classic boulevard tree planting



CENTRAL ISLAND GREEN SPACE: Concept above shows traffic calming one way traffic + parallel parking & central greenspace that integrates rain gardens, mail stations, neighborhood sitting area & gathering place, overstory canopy trees, ornamental trees, flowers and ground covers.

The landscape concepts illustrate the general planting and screening plans for the neighborhood. Hans Hagen Homes will provide a base landscape package with each home, install boulevard trees, infiltration islands, and establish berming and screening. Homeowners will be responsible for the final design and planting plans of individual lots.

Homeowners will have the option of working with a professional landscape designer to install the landscape options identified in this booklet. A homeowners association will be responsible for the maintenance of the landscape plantings. The Association will have easements over each lot and common areas for the purpose of maintaining the yards and landscape planting.



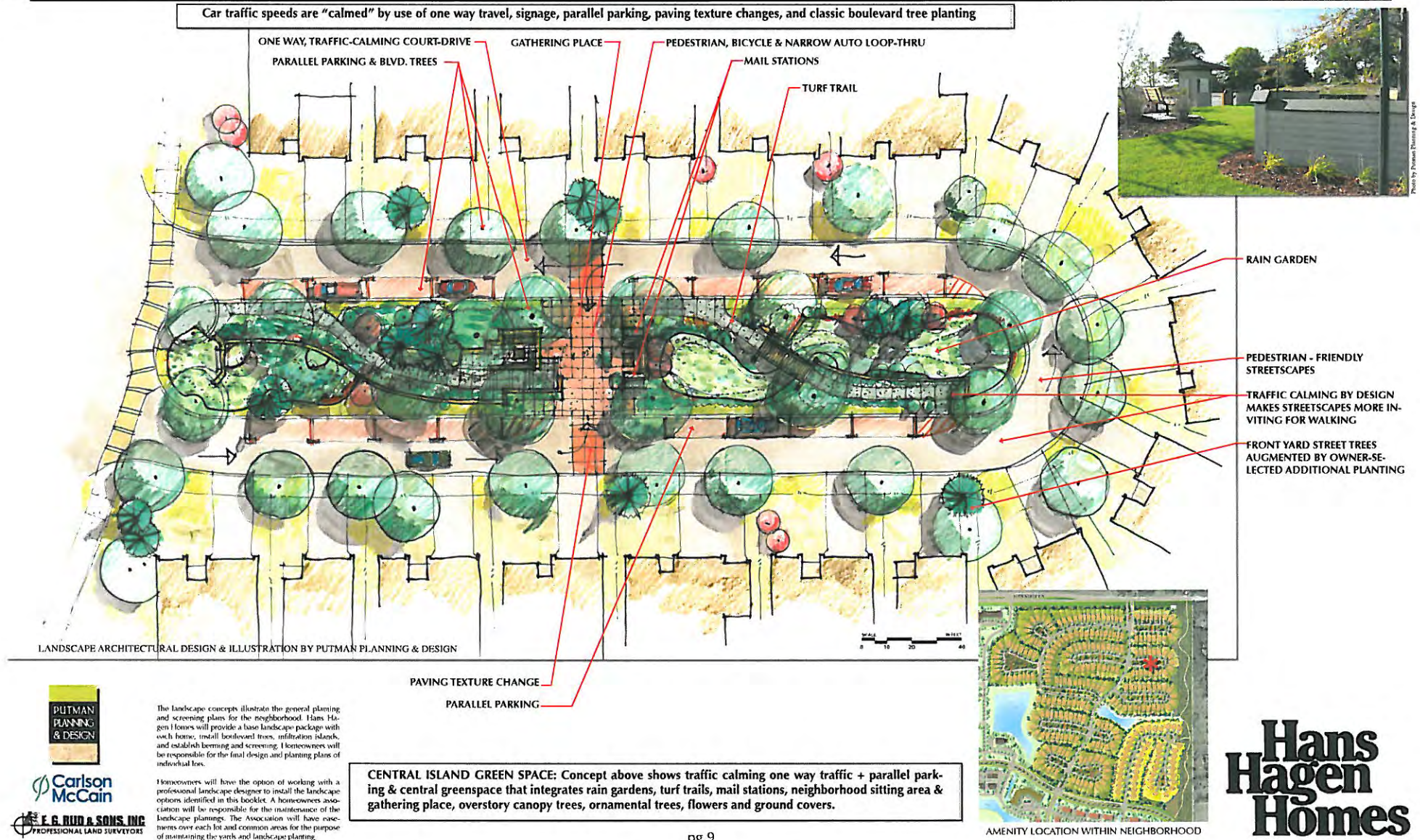
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ISLAND GREEN SPACE: EXAMPLE II (NHD.F) CONCEPT DESIGN



ISLAND GREEN SPACE: EXAMPLE III (NHD.A) CONCEPT DESIGN

Car traffic speeds are "calmed" by use of one way travel, signage, parallel parking to the island side of the street, paving texture changes, and classic boulevard tree planting



The landscape concepts illustrate the general planting and screening plans for the neighborhood. Hans Hagen Homes will provide a base landscape package with each home, install boulevard trees, infiltration islands, and establish berming and screening. Homeowners will be responsible for the final design and planting plans of individual lots.

Homeowners will have the option of working with a professional landscape designer to install the landscape options identified in this lookbook. A homeowners association will be responsible for the maintenance of the landscape plantings. The Association will have oversight over each lot and common areas for the purpose of maintaining the yards and landscape planting.



COORDINATED REAR YARD PRIVACY SCREENING & "MENU" OF PATIO + PLANTING CONCEPT DESIGNS



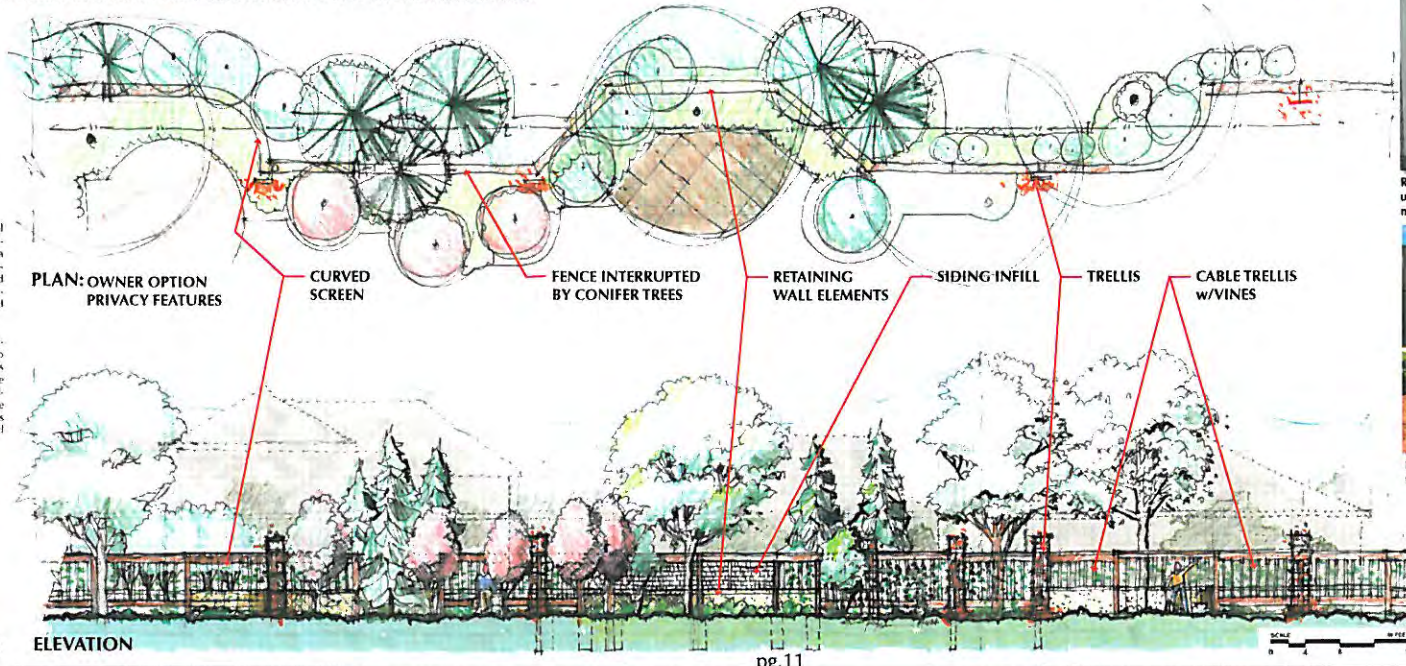
Rear privacy accomplished with evergreen & deciduous tree and shrub plantings. Photo is from an existing Hans Hagen Homes neighborhood.



PATIO SHAPE SELECTION CHOICES

PRIVACY SCREEN VIA DEVELOPER PLANTING AND BUYER SELECTED SCREENING

LANDSCAPE ARCHITECTURAL DESIGN & ILLUSTRATION BY PUTMAN PLANNING & DESIGN



PLAN: OWNER OPTION
PRIVACY FEATURES

CURVED
SCREEN

FENCE INTERRUPTED
BY CONIFER TREES

RETAINING
WALL ELEMENTS

SIDING-INFILL

TRELLIS

CABLE TRELLIS
w/VINES

ELEVATION

pg.11



Rear yard patio with extensive deciduous & coniferous planting used for screening. Photo from an existing Hans Hagen Homes neighborhood



Rear yard privacy accomplished by fencing and planting. Photo from an existing Hans Hagen Homes neighborhood

The landscape concepts illustrate the general planting and screening plans for the neighborhood. Hans Hagen Homes will provide a base landscape package with each home, install boulevard trees, infiltration islands, and establish berming and screening. Homeowners will be responsible for the final design and planting plans of individual lots.

Homeowners will have the option of working with a professional landscape designer to install the landscape options identified in this booklet. A homeowners association will be responsible for the maintenance of the landscape plantings. The Association will have easements over each lot and common areas for the purpose of maintaining the yards and landscape planting.



**Hans
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EXAMPLE HOMES & MASTER PLAN AMENITIES



Photo by Hans Hagen Homes or by John Rask



Photo by Hans Hagen Homes or by John Rask



Photo by Hans Hagen Homes or by John Rask



Photo by Hans Hagen Homes or by John Rask



Photo by Hans Hagen Homes or by John Rask



Photo by Parnian Manning & Design



Photo by Hans Hagen Homes or by John Rask

**Hans
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EXAMPLE HOMES & MASTER PLAN AMENITIES



**Hans
Hagen
Homes**

EXAMPLE HOMES & MASTER PLAN AMENITIES



Photo by Hans Hagen Homes or by John Rask



Photo by Hans Hagen Homes or by John Rask



Photo by Putman Planning & Design



Photo by Hans Hagen Homes or by John Rask



Photo by Hans Hagen Homes or by John Rask

EXAMPLE HOMES & MASTER PLAN AMENITIES



Photo by Putman Planning & Design



Photo by Putman Planning & Design



Photo by Putman Planning & Design



Photo by Putman Planning & Design



Photo by Putman Planning & Design



Photo by Putman Planning & Design

**Hans
Hagen
Homes**

EXAMPLE HOMES & MASTER PLAN AMENITIES



Photo by Putman Planning & Design



Photo by Putman Planning & Design



Photo by Putman Planning & Design



Photo by Putman Planning & Design



Photo by Putman Planning & Design



Photo by Putman Planning & Design

**Hans
Hagen
Homes**

EXAMPLE HOMES & MASTER PLAN AMENITIES



Photo by Putman Planning & Design



Photo by Putman Planning & Design



Photo by Putman Planning & Design



Photo by Hans Hagen Homes or John Rask



Photo by Hans Hagen Homes or John Rask

**Hans
Hagen
Homes**

APPENDIX



August 11, 2014

Honorable Mayor and City Council
City of Lake Elmo
3800 Laverne Avenue North
Lake Elmo, MN 55042

RE: InWood Neighborhood

Dear Honorable Mayor and City Council,

Inwood 10 LLC and Hans Hagen Homes are proposing a mixed use development on approximately 157 acres located at the southeast corner of Inwood Avenue and 10th Street. The project will be known as InWood and will consist of a mix of single family homes, townhomes, multi-family, and commercial.

InWood blends different housing styles and commercial uses in a coordinated approach. The neighborhood design provides the convenience of retail goods, services, and jobs in a walkable community. The sustainable community design includes efficient utilization of public infrastructure, low impact development techniques, including the reuse of storm water, and open spaces consisting of linear parks and trail system.

Land Use Guide Plan

The City's Land Use Guide Plan identifies a mix of Commercial, Urban Low Density, and Urban High Density land uses on the subject property. The City of Lake Elmo's I-94 Corridor Development Staging Plan map (July 2012) places the subject property in the first phase of development.

InWood will include approximately: 1) 281 single family lots (Lifestyle Homes), 2) 144 townhomes, 3) 150 multi-family units, and 4) 120 senior townhome units. The commercial uses will consist of approximately 63,814 square feet of commercial/office uses.

InWood Market and InWood Shops

The commercial portion of the neighborhood is a key component in creating the neighborhood identity, as well as providing residents with convenient access to goods and services. Residents of the InWood neighborhood will be able to walk to shopping, restaurants, and other retail establishments.

Conceptual buildings and site designs are included on the concept plan to provide an illustration of how the commercial district could be developed. Final building plans for the commercial property will be customized to meet the needs of each occupant. A final PUD plan will be submitted to the City prior to construction of any of the commercial uses.

InWood - Multi-Family

The multi-family areas of the neighborhood will consist of a mix of townhomes, apartments, and senior housing. These housing options are located in areas designated for higher density in the City's Land Use Plan. The InWood neighborhood is ideally located for multi-family housing because of its proximity to nearby jobs, transportation, and convenient neighborhood shopping.

There are no specific plans for the multi-family portion of the neighborhood at this time. Conceptual buildings and site designs are illustrated on the concept plan to give an idea of how the multi-family neighborhoods could be developed. A final PUD plan would be submitted to the City prior to construction of any of the multi-family land.

InWood Village - Single Family

The single family neighborhood includes "Lifestyle Homes" that meet the increasing demand for one-level living with association maintenance. The Lifestyle Homes provide the benefits of a single family home, with all the conveniences of a townhome. The association maintenance of lawn areas and snow removal provides the homeowner with the freedom to travel, own a winter or summer home, or more time for recreation. InWood homeowners may select "a la carte" services through the homeowner association, such as gutter cleaning, spring and fall clean-up, and other services to assist in the upkeep and maintenance of the outdoor spaces.

Hans Hagen Homes will be the exclusive builder of the single family neighborhood, and will assist each buyer in selecting and designing a home that fits their particular need. Individual homeowners have the ability to choose from a wide variety of plans, exterior materials, including extensive use of brick and stone, architectural features, and landscape designs. This process creates variety and interest in the architecture of the neighborhood.

The Lifestyle Homes feature private outdoor patio spaces, a private yard for gardening, plentiful landscaping, and a homeowners association to take care of the exterior spaces. While the yard areas are maintained by the association, these homes sit on individual lots. This type of home with association maintenance requires flexibility from standard single family zoning requirements. The setbacks for these homes are: 1) 20-foot front yard, 2) 4-foot side yard, and 3) 20-foot rear yard. A minimum separation of 22 feet will be provided between the garage door and any sidewalk to accommodate the parking of vehicles without interfering with the use of the sidewalk. The association is responsible to maintain the yards, and has easements over the adjacent lots for access and maintenance of homes.

PUD Zoning

The InWood neighborhood will be processed as a PUD. The PUD provides flexibility necessary for the construction of the Lifestyle Homes. The PUD will also permit the mixing of the commercial and multi-family uses. Currently, the northwest corner of the property is zoned for Commercial. Because of access limitations onto Inwood Avenue (CSAH 13) and 10th Street, the commercial is being moved to the south adjacent to 5th Street.

PUD Zoning Objectives

Section 154.801 of the Zoning Ordinance states that the City should consider whether one or more of the objectives listed below is being achieved when approving a Planned Unit Development (*the applicant's response is provided after each objective in italics.*).

- A. Innovation in land development techniques that may be more suitable for a given parcel than conventional approaches.

The City's Land Use Guide Plan calls for a mix of uses on the InWood property. InWood arranges commercial, multi-family and single family uses in a manner that provides for appropriate vehicle access, pedestrian connections, and transitions between uses. Berms, water features, public parks, opens spaces, and landscaping will establish transitions between different land uses. The PUD also incorporates low impact development street designs that provide for enhanced storm water management.

- B. Promotion of integrated land uses, allowing for a mixture of residential, commercial, and public facilities.

Lifestyle Homes on single family lots are located north of proposed 5th Street on the eastern side of the neighborhood. A public park lies between the Lifestyle Homes and existing single family homes in Stonegate. The west side of the property adjacent to Inwood Avenue is designed for multifamily and commercial uses. Significant water features, berms, and landscaping lie between the Lifestyle Homes and the multifamily and commercial uses. Townhomes and a senior residential facility are planned between 5th Street and the Eagle Point Office Park with the property adjacent to InWood planned for commercial uses. The requested PUD provides for the integration of these compatible land uses.

- C. Provision of more adequate, usable, and suitably located open space, recreational amenities and other public facilities than would otherwise be provided under conventional land development techniques.

The InWood neighborhood incorporates a variety of open space and recreational amenities. The linear park on the east side of InWood provides open space between the Stonegate single family neighborhood and InWood, as well as a trail connection to existing Stonegate public park. The linear park and trail system extends through the neighborhood to the commercial district of InWood. Trails and sidewalks are also provided along 5th Street with connections to the linear park.

- D. Accommodation of housing of all types with convenient access to employment opportunities and/or commercial facilities; and especially to create additional opportunities for senior and affordable housing.

The InWood neighborhood provides convenient access to existing employment opportunities located in the adjacent Eagle Point Office Park, as well as nearby locations in Oakdale, Woodbury, and Lake Elmo. As discussed earlier, the neighborhood will provide townhouses, multifamily, senior, and single family homes.

- E. Preservation and enhancement of important environmental features through careful and sensitive placement of buildings and facilities.

The property consists almost entirely of tilled agricultural fields and contains no significant environmental features. The trees along the east property line will be saved and incorporated into a buffer/park area.

- F. Preservation of historic buildings, structures or landscape features.

There are no historic buildings or significant landscape features found on the property.

- G. Coordination of architectural styles and building forms to achieve greater compatibility within the development and surrounding land uses.

As discussed above, the purpose of the PUD is to provide for the appropriate mixing and integration of land uses. The architecture of the Lifestyle Homes will be controlled through standards imposed by Hans Hagen Homes. The opportunity for the buyer to choose from a variety of architectural styles, features, colors, and materials will create visual interest and establish the unique neighborhood character of InWood.

Final building plans for the commercial or multi-family properties will be completed as occupants of InWood are designated. Future buildings on these parcels would conform to applicable City standards.

- H. Creation of more efficient provision of public utilities and services, lessened demand on transportation, and the promotion of energy resource conservation.

Master planning this neighborhood provides for the efficient layout and design of public utilities and services. The neighborhood will provide important connections to Eagle Point Boulevard, Inwood Avenue, and 10th Street. It will also provide the connection of 5th Street through the project site.

- I. Allowing the development to operate in concert with a redevelopment plan in certain areas of the City and to ensure the redevelopment goals and objectives will be achieved.

The project does not include any redevelopment

- J. Higher standards of site and building design than would otherwise be provided under conventional land development technique.

As discussed above, the neighborhood provides for the efficient layout and extension of public infrastructure and the integration of land uses. Low impact development street designs also provide an attractive streetscape while minimizing storm water runoff. PUD flexibility is needed to establish housing choices that are not currently available in Lake Elmo.

Conclusions

The InWood neighborhood meets the criteria necessary for the City to approve a PUD for the project. The project is consistent with the City's Land Use Guide Plan and the objectives of the PUD zoning ordinance.

If you have any questions on our project, please feel free to contact me at (763) 586-7202, or at jrask@hanhagenhomes.com.

Sincerely,



John Rask
Vice President of Land Development



InWood

InWood
10
LLC

**Hans
Hagen
Homes**

• DEVELOPMENT • DETACHED HOMES MASTER PLANNING
• CONTACT: JOHN RASK • ph. 763.586.7202



• COMMERCIAL, SENIOR & TOWNHOME
SITE PLANNING



• SURVEYING, GRADING DESIGN



• CIVIL ENGINEERING



• LANDSCAPE ARCHITECTURE
• AMENITY DESIGN & PLANTING
• IDENTITY & GRAPHIC DESIGN
• PHOTO GRAPHICS
• REPRESENTATION ILLUSTRATION
• ph. 877.381.8291

MEMORANDUM

FOCUS ENGINEERING, inc.

Cara Geheren, P.E.	651.300.4261
Jack Griffin, P.E.	651.300.4264
Ryan Stempski, P.E.	651.300.4267
Chad Isakson, P.E.	651.300.4283

Date: August 13, 2014

To: Kyle Klatt, Planning Director
Cc: Nick Johnson, City Planner
From: Jack Griffin, P.E., City Engineer

Re: Inwood – PUD Concept Plan Review

An engineering review has been completed for the Hans Hagen Homes Inwood PUD Concept Plan. A PUD Concept Plan was received on August 12, 2014. The submittal consisted of the following documentation prepared by E.G. Rud & Sons, Inc.:

- Inwood PUD Concept Plan dated August 11, 2014.
- Graphic Illustration, not dated.

We have the following review comments:

MUNICIPAL WATER SUPPLY

- Municipal water service is readily available for the Inwood development proposal. The applicant is responsible to extend the municipal water to the development site at developer's cost and to extend future connection stubs to all adjacent properties as directed by the City.
- The Comprehensive Water System Plan, dated April 2009 requires the placement of Water Tower No. 4 within the area planned as Inwood PUD. The specific site for Water Tower No. 4 must be addressed as part of this development proposal, either reserving the appropriate property dedicated for the Water Tower or the City must verify that an alternative site has been acquired prior to excluding the Water Tower from this development plan.
- Multiple watermain connection points and stubs must be incorporated as part of the development. At least two connections will be required along the south edge of the development; either two connections to the Eagle Point Business Park water system or one connection to Eagle Point Business Park and one connection to Boulder Ponds at 5th Street.
- A trunk watermain stub shall be installed to the northeast corner of the development for potential future extension along 10th Street.
- The City will be constructing trunk watermain along Inwood Avenue in 2015, from 10th Street to Eagle Point Blvd. This main could be incorporated interior to this development if the development application has progressed sufficiently to accommodate the Inwood Trunk Watermain project schedule. The design of the Inwood Trunk Watermain Improvements is already complete. Project bidding for the final alignment will occur no later than January 2015.
- Watermain stubs to adjacent property and pipe oversizing will continue to be reviewed by City staff as the development progresses forward and oversizing routes may need to be changed as part of the final construction plans, in particular to oversize pipe to and from the Water Tower site. Watermain oversizing is paid by the City as a reimbursement addressed within the development agreement.

MUNICIPAL SANITARY SEWER

- Municipal sanitary sewer service is readily available for the Inwood development proposal. The applicant is responsible to extend the municipal sanitary sewer to the development site at developers cost.
- The applicant must provide a total estimated number of residential equivalent units to be located within the plat so that staff may review the downstream sewer capacity limits. The Inwood development may need to connect at multiple sewer service locations to divide the flow to separate downstream sewer mains. The City is in the process of evaluating the downstream sewer capacity limitations.
- Sanitary sewer pipe stubs to adjacent property and pipe oversizing will continue to be reviewed by City staff as the development progresses forward. Revisions may need to be incorporated as part of the final construction plans. Sewer main oversizing is paid by the City as a reimbursement addressed within the development agreement.
- No lift station has been planned for this area. It appears that the area can be served without a lift station.

STORMWATER MANAGEMENT

- The site plan is dependent upon and subject to a storm water management plan meeting State, SWWD and City rules and regulations. Storm water facilities proposed as part of the site plan to meet SWWD permitting requirements must be constructed in accordance with the City Engineering Design Standards Manual available on the City website.
- The general drainage system should mimic the natural topography of the site in order to ensure a drainage system that provides positive storm water drainage across the development. Overland emergency overflows or outlets will need to be incorporated as part of the site plan.
- The ultimate discharge rate and location will be an important consideration to avoid negative impacts to downstream properties. The storm water management plan will need to address changes to the downstream drainage system to the extent alterations are proposed. To the extent adjacent properties are impacted, written permission from those properties must be submitted as part of the development applications.
- Per City requirements, all storm water facilities, including infiltration basins, must be placed in Outlots deeded to the City for maintenance purposes. The Stormwater Facility Outlots must fully incorporate the 100-year HWL and maintenance access roads. It is unclear from the concept plan submitted if all the proposed ponding and infiltration is on Outlots that will be dedicated to the City.
- The storm sewer system shall be designed to maintain the City standard **minimum** pipe cover of 3.5 feet. Drain tile is required as part of the City standard street section at all localized low points in the street. Drain tile considerations may impact the storm sewer design and depth requirements at low points.
- Per City requirements all storm sewer pipe easements must be a minimum 30-feet in width.

TRANSPORTATION IMPROVEMENTS

- Access along Inwood Avenue and 10th Street must be reviewed and approved by Washington County. This approval should be pursued prior to preliminary plat submittal to avoid significant rework. It appears that the proposed access is consistent with Washington County guidelines with the exception of the additional access proposed south of 5th Street. This access should be eliminated.
- Improvements required by Washington County at the intersections along Inwood Avenue and 10th Street should be the responsibility of the applicant and should be incorporated as part of the preliminary plat submittal documents.

5TH STREET NORTH: 5th Street North seeks to become the backbone of future development along the I94 corridor, essentially becoming the primary access in and out of the future neighborhoods. The street is required for the sole purpose to support the growth and development within the corridor. The quality of the street and its connections are critically important. The purpose of the proposed street standards are to 1)

improve the function and appearance of the street, 2) encourage pedestrian and bicycle use, and 3) reduce the potential for speeding.

- The plan indicates a minimum 100 foot R/W as required.
- The proposed 2-lane collector parkway street (5th Street) design and geometrics must meet all Municipal State Aid design standards for urban streets (8820.9936) for ADT > 10,000; 40 mph design speed; and must be consistent with the detailed parkway cross section installed throughout the remaining corridor segments and as outlined in the 5th Street Collector Design Guidelines as prepared by City staff.
- The proposed alignment appears to be consistent with this design intent. However, the proposed plan indicates additional impacts to the adjacent Bremer Financial Services property as noted on the Concept Plan. The proposed alignment requires permission and R/W acquisition from Bremer Financial Services.
- Access spacing to 5th Street is allowed at 1/8 mile intervals for non-continuous local streets, at ¼ mile intervals for continuous local streets and collector streets, and at ½ mile intervals for streets with higher classification.
 - The intersection with Street B/D (a minor collector) is currently shown at 575 feet from the westerly commercial driveway access. This intersection should be moved approximately 85 feet to the east.
 - Street D accesses 5th Street as a RI/RO only with a commercial property access located just 300 feet to the east. Street D should be realigned to meet the full access guidelines of 660 feet to avoid cut through traffic through the commercial property.
 - The private RI/RO driveway along the south of 5th Street should be moved further east to maintain a minimum 330 feet from Inwood Avenue.
- Right and left turn lanes must be incorporated along 5th Street North per the City design standards to maintain mobility along the Parkway since there is only one travel lane in each direction.
- Additional streetscape amenities are required along 5th Street consistent with the remaining corridor segments and the preliminary design that was provided to the City by Damon Farber. 5th Street Amenities include a north side off-road bituminous trail, minimum 10 foot width with 5 foot clear zone; a south side concrete sidewalk, minimum 6 foot width with 2 foot clear zone; landscaping elements including a center landscape median; and theming elements including street and ornamental lighting, banner poles at primary gateway intersections, and white post & rail fencing.

RESIDENTIAL STREETS

- Turn lanes must be added on all interior development streets at the intersections with 10th Street, Inwood Avenue, and 5th Street.
- Street C is a proposed cul-de-sac extending over 1100 feet in length with an additional street cul-de-sac extension of another 560 feet. This exceeds the maximum allowable cul-de-sac length. This street must be revised to connect interior to the development.
- 9th Street and Neighborhood Street E should align to create a full intersection rather than offset intersections along a minor collector road. As proposed, the intersections do not meet the minimum 330 foot access spacing for a minor neighborhood collector road.
- Staff has preliminarily reviewed the unique street layout for the “Neighborhood” street segments proposed in this concept plan and believes the general concept is a workable design. However, there are several design details that must be addressed as the development progresses through the process. Some revisions should be expected.
- All R/W widths, pavement widths and turning radii need to be further detailed to allow staff to review the proposed street geometrics. The turning radii shown in Neighborhood C and A do not appear to meet acceptable standards.
- The R/W Boulevard along the “Neighborhood” street segments appears insufficient including a proposed reduced house setback. It is unclear where the private utilities will be installed.
- Ten (10) foot utility easements are required on either side of all right-of-ways.

- Six (6) foot sidewalks must be provided along all continuous residential streets and along other streets as may be required for connectivity. Sidewalk and Trail locations should be jointly addressed with the applicant since the proposed sidewalk layouts vary from the City standard requirements.
- All streets must be designed to meet the City's Engineering Design Standards including R/W width, street width and cul-de-sac radii. Surmountable concrete curb and gutter shall be installed in single family residential areas and B618 curb in commercial and multi-family areas. All street intersections must be at 90 degrees and maintain 100 feet of tangent with maximum slopes of 2% for first 100 feet. Residential maximum longitudinal grade is 8% with no sidewalks, 6% where there are sidewalks.
- For any street and R/W design variance from the City Standard residential street section, additional detail must be submitted for staff review and consideration. This review should be completed prior to preliminary plat submission to avoid significant rework.

COMMERCIAL AND MULTI-FAMILY AREA STREETS/DRIVEWAYS

- Turn lanes must be added on all interior development streets at the intersections with 10th Street, Inwood Avenue, and 5th Street.
- The commercial and multi-family area access roads and driveways require more detail to facilitate staff review including all R/W widths, pavement widths and turning radii. Additional clarification is requested to delineate public street R/W from proposed commercial or multi-family private driveway access. If private streets are proposed, staff should review to determine where private streets will and will not be allowed.

Station #1
3510 Laverne Ave. No.
Lake Elmo, MN 55042
651-770-5006



Station #2
4259 Jamaca Ave. No.
Lake Elmo, MN. 55042
651-779-8882

LAKE ELMO FIRE DEPARTMENT

August 19, 2014

INWOOD PUD CONCEPT PLAN

I have no immediate concerns with this proposed project. However moving forward, we will need to address the following:

- Proper naming of streets and address numbering to follow City standards.
- Proper road width to allow access of fire apparatus. This shall include addressing the multiple "islands" shown on concept drawings.
- Proper placement and adequate number of fire hydrants in both the residential and commercial areas.
- Fire Sprinklers as required per code.
- Any additional Fire Safety items as we move through the process.

Greg Malmquist, Fire Chief

"Proudly Serving Neighbors & Friends"