

3800 Laverne Avenue North
Lake Elmo, MN 55042

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www.lakeelmo.org

NOTICE OF MEETING

The City of Lake Elmo
Planning Commission will conduct a meeting on
Monday, December 14, 2015 at 7:00 p.m.

AGENDA

1. Pledge of Allegiance
2. Approve Agenda
3. Approve Minutes
 - a. November 9, 2015
4. Public Hearings
 - a. **CONDITIONAL USE PERMIT AND ZONING MAP AMENDMENT.** The Planning Commission will hold a public hearing to consider an application for a Conditional Use Permit request from Arbor Glen Senior Living, LLC to construct a new senior/assisted living/memory care facility on property located at the northeast intersection of Lake Elmo Avenue and 39th Street North (Lot 1, Block 2 of Brookman Third Addition). The proposed two-story building will include 84 units with memory care on the main level and assisted and independent living on the first and second levels. The application also includes a request for a zoning map amendment to change the zoning of the site from GB – General Business to VMX – Village Mixed Use (sewered development). The PID of the subject property is 13.029.21.22.0012.
5. Business Items
 - a.
6. Updates
 - a. City Council Updates – December 1, 2015 Meeting
 - i. Reider Preliminary Plat Extension – Tabled to the Dec 15th meeting .
 - ii. Inwood Development Contract Addendum – Approved.
 - b. Staff Updates
 - i. Upcoming Meetings:
 - January 11, 2016
 - January 25, 2016
 - c. Commission Concerns
7. Adjourn



**City of Lake Elmo
Planning Commission Meeting
Minutes of November 9, 2015**

Chairman Dodson called to order the meeting of the Lake Elmo Planning Commission at 7:00 p.m.

COMMISSIONERS PRESENT: Dodson, Dorschner, Haggard, Larson, Griffin Kreimer and Williams. Fields joined at 9:15

COMMISSIONERS ABSENT: Fields until 9:15

STAFF PRESENT: City Planner Stephen Wensman

Approve Agenda:

The agenda was accepted as presented.

Approve Minutes: None

Presentation – Public Safety and Response Time

Chief Malmquist presented data regarding public safety and response time. They identify those things that they can control and make the response time quicker. Chief Malmquist went over the County street naming system. It is a grid pattern. This has been complicated with the winding roads in the new developments. The other problem we have in Lake Elmo is the one access point in Developments.

Chief Malmquist also talked about the street widths. He stated that he had sat down with Engineer Griffin and came up with some standards and would like the City Council and Planning Commission to support those standards. Malmquist talked about connectivity. There is a reason that the City put in stubs. These neighborhoods need to be connected for response time. If they are on a call, they may get another one and have to go around to the next one. One argument against connectivity was that it creates a safety issue for children. Malmquist stated that for how dense Cimarron is, there has never been a call for a child being struck by a car.

Chief Malmquist would appreciate the Planning Commission supporting his recommendations for safety issues moving forward.

Business Item – General Discussion of Open Space Preservation Ordinance

City Planner Wensman introduced the topic of the Open Space Preservation Ordinance. There is currently a project in the works, and the City Council thought this would be a good time to discuss if some changes would be appropriate. The topics that have been suggested for discussion are to review the purpose and possible flexibility. Should the density go from 18 to 20 homes per 40 acres? How should the density be calculated and how should the buffer setbacks be dealt with? Should there be a buffer between two OP developments. What should septic system options be? Should community systems be allowed going forward? Should there be a minimum lot size for individual septic? Should we allow the community septic? How should lot design be determined? Should the septic be the most important?

Dorschner stated that we need to decide if we want to stay rural. If that is the case, we need to consider the environment and the impacts of septic if we are not going to have sewer. He would like to hear from U of M or Washington County on what is acceptable.

The Commission likes the OP, but some would like more choice such as RE. Dodson mentioned that with RE, residents would use their property more for things such as gardens etc. In some OP developments, the open space is not accessible or even usable.

Larson would like to talk about the land trust documents as well and what kind of uses would be allowed.

Williams thinks the first sentence of the purpose statement is fine, but would like the second and third sentence to read "This type of development is intended to provide additional flexibility of housing styles in the City. It provides an alternative to large lot, single family housing and will reduce the cost of constructing and maintaining costly infrastructure."

Dodson asked what single family attached would mean. Wensman stated it is 2 or more single family homes that share a common wall.

Haggard would like to add "natural Habitats" and have the first line read "The purpose of open space preservation (OP) is to maintain the rural character of Lake Elmo by preserving agricultural land, woodlands, corridors, natural habitats and other significant natural features, while allowing residential development consistent with the goals and objectives of the City's Comprehensive Plan."

Planning Commission would like an update from the PCA and Washington County regarding septic design and why there are failing systems.

Dodson would like on page 3 Item (2) 4 to change "deed Covenants" to "CIC Declarations".

There was a general discussion regarding septic systems. What type should be allowed and who should oversee. There are several items that need to be discussed, but the Commission would like a presentation from the County and PCA before a decision would be made on which way to go.

Wensman asked if the Commission felt it was appropriate for septic systems to be located in the preserved open space. Some members thought it was fine, but others wanted to think about it.

Williams is not in favor of increasing the density. The density already reflects a bonus that was intended to stimulate development. The smaller lots already provides a bonus by having fewer roads and infrastructure when the homes are clustered. Dorschner and Dodson do not believe that we should increase the numbers in the rural areas for OP to relieve the numbers in the sewered areas. This is where the higher numbers belong. We need to think about the environment and how we are managing these septic systems. The Planning Commission as a whole is not in favor of increasing density. They also are not in favor of changing the density calculation. They would like to leave it at buildable acres. Wensman stated that buildable land is usually how all developments are measured.

Williams suggested that the Commission consider changing the 50% open space to be based on gross acres vs. buildable acres.

Dodson feels that minimum lot size is linked to the type of septic that it has. Others are interested in what Washington County has to say regarding septic. Williams might like to see larger lots to preserve the rural character in the OP. Kreimer is concerned that the 1 acre for individual well and septic might not be big enough. He feels that there should be a requirement at preliminary plat to prove that the lot perks when they come before them for primary and secondary and where the house is going to be.

The majority of the Commission still would like to see a 1 acre minimum even with a shared sewer system.

Williams mentioned that there is such a variance in buffer zones because in the past, there was not enough oversight. He would like the existing rules to be enforced.

The Commission was interested in exploring using discretion with the buffers. They would like to explore a possible list of things that could be used for when to employ the buffer, instead of just requiring one.

Dodson feels that anything less than 40 acres is too small for an OP development, especially if there is a CIC. Other Commissioners felt that anything smaller than 40 acres might require private septic. The Commission wanted the Planning staff to explore if it

is even viable to do less than 40 acres for OP. Some thought anything less than 40 acres should possibly be RE.

The Planning Commission discussed the lot design objectives and their relevance. There was no real consensus on this.

Dodson asked that the boulevard landscaping be checked for consistency with our landscaping code. If it is a higher standard we would keep it in, if not we should probably defer to the landscape code.

Williams asked about the impervious and thought 20% of gross seemed high and possibly should be buildable.

Williams thinks the review process should follow that of any other development within the City. This section needs to match what we are already doing, or possibly it should be one section for all types of development. Also the wording in 150.179 should probably be changed from "development stage plan" to "Preliminary Plat". 150.183 (2) (e) should also include trails. 150.184 should be reviewed for public hearing and stage requirements. Williams would like to add something to the effect that an application is not complete until all of the City Engineers comments are met. Commissioners would like these met before the preliminary plat moves forward.

Dodson would like "Homeowners Association" changed to "Common Interest Community" wherever it appears in ordinance.

Council Updates – October 20, 2015 Meeting

1. Hammes Plat Extension – Passed

Staff Updates

1. Upcoming Meetings
 - a. November 23, 2015
 - b. December 14, 2015

Commission Concerns

Haggard asked if the staff has a chart regarding all of the developments that have passed and all of the conditions of approval. Have they all been met? How is this tracked? Wensman stated that it is an issue that they are going to be working on.

Dodson stated that Fields, Rolf and him went to a seminar. He went to energy planning which was very interesting and they talked about how this should be part of the planning.

Williams stated that his packet did not arrive until Monday at 5:00. He would like to see packets arrive on Thursdays before the meeting.

Meeting adjourned at 10:15 pm

Respectfully submitted,

Joan Ziertman
Planning Program Assistant

DRAFT



PLANNING COMMISSION
DATE: 12/14/15
AGENDA ITEM: 4a– PUBLIC HEARING
CASE # 2015-19

ITEM: Public Hearing for Arbor Glen Senior Living Facility – Rezoning and Conditional Use Permit

SUBMITTED BY: Stephen Wensman, City Planner

REVIEWED BY: Ben Gozola
Jack Griffin

SUMMARY AND ACTION REQUESTED:

The Planning Commission is being asked to consider a Rezoning request and a Conditional Use Permit from Arbor Glen Senior Living LLC for an 84-unit Congregate Housing (Senior Living) to be located on 3.77 acres of land at the northeast corner of Lake Elmo Ave N (CR 17) and 39th St North. The Comprehensive Plan guides the site as Village Center- Mixed Use VMX Zoning District. The site has urban services available. Staff is recommending that the public hearing be opened for public and planning commission comments, then extended to the January 25th meeting date to provide adequate time to process a comprehensive plan text amendment concurrent with this land use request.

GENERAL INFORMATION

Applicant: Arbor Glen Senior Living, LLC, 215 N. 2nd Street, Suite 204

Property Owner: Frisbie Properties, 215 LLC, 215 N. 2nd Street, Suite 204

Location: Northeast corner of Lake Elmo Ave N (CR 17) and 39th St North,
Lot 1, Block 1, Brookman 3rd Addition, Washington County, MN
PID: 13-029-21-22-0012

Request: Application for Rezoning from GB-General Business to VMX-Village Center Mixed Use and a Conditional Use Permit for Congregate Housing (84-unit, plus 1 guest suite, senior living facility).

Lot Size: 3.73 Acres

Existing Land Use Commercial – Vacant.

Current Zoning: GB – General Business.

Proposed Zoning: VMX – Village Center Mixed Use.

Surrounding Land Use: North – Village Preserve Subdivision;
East – Vacant Commercial;
West – CR 17/undeveloped Village Urban Low Density; and
South – 39th St North and vacant Commercial.

Surrounding Zoning: North - LDR – Low Density Residential;

East – GB- General Business;
 West - RT – Rural Development Transitional; and
 South – GB-General Business

Deadline for Action:

Application Complete – November 17, 2015
 60 Day Deadline – January 16, 2016
 Extension Letter Mailed – No
 120 Day Deadline – March 17, 2016

Applicable Code:

Article VII – Specific Development Standards
 Article XI – Village Mixed Use District
 Article VI – Environmental Performance Standards
 City of Lake Elmo Design Guidelines and Standards Manual

SUMMARY AND ACTION REQUESTED:

Arbor Glen Senior Living LLC is requesting a rezoning of Lot 1, Block 1, Brookman 3rd Addition from GB-General Business to VMX – Village Center Mixed Use and a conditional use permit to allow Congregate Housing. The applicant is proposing an 84 unit (plus one guest suite) senior living facility. The proposed facility will have 24 memory care, 29 assisted living, and 31 independent living units, plus 1 guest suite. The site is located in the GB-General Business zoning district, but is guided in the Comprehensive Plan as Village Mixed Use. In addition, the senior living facility is classified as Congregate Housing which is a conditional use in the VMX – Village Mixed Use zoning district.

After public notification, staff received feedback from the Metropolitan Council that the assisted living units are to be counted towards housing units. With that interpretation, the proposed density exceeds what is allowed in the VMX district/Comprehensive Plan. The applicant is proposing and will soon make application for a comprehensive plan text amendment to allow additional density for senior congregate housing in the VMX district.

Staff is recommending that the Planning Commission open the public hearing to collect and provide feedback to the developer regarding the proposal and the suggested comprehensive plan text amendment then continued to the January 25th Planning Commission meeting in order to give staff and the developer time to address comments and for the applicant time submit the comprehensive plan text amendment application.

REVIEW:

Rezoning/Comprehensive Plan Designation:

The proposed senior living facility is located in the GB-General Business zoning district and is guided in the Comprehensive Plan as VMX – Village Center Mixed Use. The applicant has made application to rezone the property to VMX – Village Center Mixed Use.

Density:

The proposal is for the senior living facility to be rezoned to VMX – Village Mixed Use zoning district. The underlying density in the VMX district refers directly to the comprehensive plan. The VMX district code specifically states: “no development may exceed the residential density range as specified in the Comprehensive Plan for the Village Mixed Use land category.” That density is 5-10

units per acre. Of the 84 units, 24 are memory care units which do not qualify as “housing units” according to the Metropolitan Council’s definition. The proposed assisted living facility will have a density of:

60 units/3.73 acres - 16 units per acre

The proposed senior living facility exceeds the underlying density allowed by the comprehensive plan and cannot be approved under the proposed zoning and comprehensive plan guidance.

Proposed Comprehensive Plan Text Amendment

The applicant is proposing to process a comprehensive plan text amendment that would allow greater density for senior congregate housing. Ben Gozola, Consultant Planner, preliminarily reviewed the idea and determined that such an amendment might be possible. The rationale for the change would be:

Senior congregate housing is recognized as being different from standard multi-family residential development given that residents in such facilities no longer have to be at work, pick up children, or do their shopping at specific times of the day; many residents no longer drive. Such facilities provide on-site services to meet resident’s needs which further reduced the overall impacts typically associated with high-density residential development.

Any amendment of the comprehensive plan to allow increased density for senior congregate housing would need to be contingent on the Metropolitan Council’s approval. This application will be processed prior to the January 25, 2016 meeting date.

Site Character

The site is vacant and relatively flat. A hedgerow of Amur Maples and Spruce line the northern property line.

Architecture

The proposed building is an architecturally pleasing mix of lap siding, shingles, brick and stone. The façade is varied with a balconies, windows, dormers and other architectural elements breaking up the massing and creating visual interest. The architecture appears compliant with the City’s Design Guidelines and Standards Manual.

Congregate Housing Standards

The proposed facility is compatible with the scale and character of the neighborhood, there is adequate greenspace provided on site (50 sq. ft./resident = 4200 sq. ft), and there is adequate transition between the use and adjacent properties. The proposal complies with the congregate housing standards.

Access and Parking

The proposed access is off of 39th Street N. There are 49 surface and 46 underground parking stalls proposed. There are 4 handicapped accessible on the surface lot and 2 underground. According to the applicant, the memory care and assisted living residents will not have cars. There will be van or

bus service to take assisted living residents out for groceries and activities. The parking will be for the approximately 50 staff members, independent living residents and guests. The proposed parking exceeds the parking requirements of the city code.

CR 17 Right-of-way

Washington County has plans to widen CR 17. The site plans show the 25' future highway right-of-way easement, but none has been dedicated for this purpose with this proposal.

Trails and Pedestrian Access

An 8' trail is proposed within the future 25' highway right-of-way easement connecting 39th Street N to the Village Preserve development to the north. There is an existing trail along 39th Street N. Alongside the parking entrance, the site plan shows a walkway connecting the public sidewalk to the parking lot. Walkways also connect the entrance and axillary doors to handicap parking stalls on the west side of the surface parking lot and to landscaped gathering/resident use areas in the rear of the building.

Dimensional Standards

Setbacks in the VMX- Village Mixed Use district are:

10' for the front	10' for the side
10' for the corner side yard	10' for the rear

The proposed building complies with all setbacks, however when CR 17 is widened, the effective setback from the future right-of-way will be 5'.

The Village Mixed Use district allows for 35' and 3 stories. The proposed building is a two-story structure with a height of 39' to the roof peak. Building height is normally measured as the average between the peak and eave elevation which is 31.5'. The building complies with the height requirements.

Lighting

The lighting plan indicate several parking lot lights and building wall lights. The lighting plan comply with the requirements of the code.

Landscaping/Screening

The landscape ordinance requirements are as follows:

1 tree per 50 lineal feet of street frontage, plus
5 trees for every 1 acre of development.

The required trees must be 25% deciduous, and 25% coniferous.

Landscape requirements for the site are as follows:

$$840 \text{ lin ft of frontage} / 50 = 16.8, \text{ or } 17 \text{ trees} + 3.77 \text{ acres} \times 5 = 19 \text{ trees} = 36 \text{ trees}$$

The landscape plan proposes 71 trees: 16 deciduous trees, 21 coniferous trees, and 34 ornamental trees. The proposed trees and shrubs meet the requirements for size and variety including requirements for interior parking lot landscaping.

The landscape ordinance requires screening between differing land uses. The majority of the existing trees on site are located along the north perimeter which will provide a natural screen between the differing uses. In addition, the landscape plan shows additional landscaping within that zone.

The landscape ordinance also requires screening of parking from the public right-of-way with 50% opacity with a 3.5'-4' height. The landscape plan shows extensive screening between the parking lot and rights-of-way with a mix of deciduous and coniferous shrubs, grasses and perennials.

In general, the proposed landscape will be aesthetically pleasing with rich in diversity of plant materials which exceeds the minimum landscape requirements. Staff has identified a few plant selections that it will recommend changing and will recommend eliminating the weed control fabric under the mulch in planting beds.

Tree Preservation

No tree preservation plan was submitted with the application as required. There are 10 Spruce that qualify as "significant trees" and 22 clump Amur Maple on the site survey. Tree preservation ordinance allows for 30% removal of significant trees, or 3 trees. The demolition plan indicates that 6 - 14" Spruce and 6 clump Amur Maples will be removed. According to the tree preservation code, a mitigation plan is required. The required tree mitigation is calculated as follows:

$$3 \text{ trees} \times 14'' = 42 \text{ caliper inches}$$

$$42'' \times \frac{1}{2} \text{ (for conifer replacement)} = 21 \text{ caliper inches}$$

Because conifers are sold by height, the determination for replacement credit is as follow:

$$\text{Or (Height of Replacement Conifer)} / 2 = \text{diameter inches of credit}$$

$$\# \text{ Replacement Trees} = 21 / (6 / 2) = 7 - 6' \text{ B\&B Conifers}$$

The landscape plan proposes 71 trees. 36 are required to meet landscaping requirements. The remaining 35 would satisfy tree replacement.

The applicant has proposed tree protection fencing to protect the existing trees on site from construction disturbance.

Signs

The site plans indicate a wall sign and 2 monument signs. The proposed signs will need to comply with the sign ordinance and will require an approved sign permit.

RECOMENDATION:

Staff is recommending that the Planning Commission open the public hearing to collect and provide feedback to the developer regarding the physical proposal and potential remedies to the density issue. Staff is also requesting that the public hearing be continued to the January 25th Planning Commission meeting in order to give staff and the developer time to address comments, submit alternate zoning applications as needed, and to draft proposed ordinance amendments if needed.

ATTACHMENTS:

1. Official Zoning Map – Existing
2. Official Zoning Map – Proposed
3. Comprehensive Plan – Planned Land Use Map

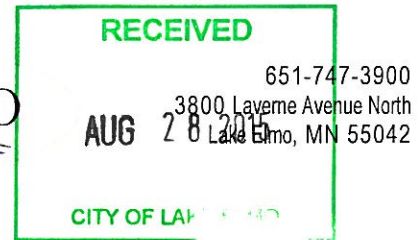
ORDER OF BUSINESS:

- IntroductionPlanning Staff
 - Report by StaffPlanning Staff
 - Questions from the Commission Chair & Commission Members
 - Open the Public HearingChair
 - Continue the Public Hearing to the January 25, 2015 meeting dateChair
 - Discussion by the Commission Chair & Commission Members
-

ATTACHMENTS:

1. Application Forms
2. Site and Building Plans, November 17, 2015 submittal date
3. City Engineer Review Memo dated December 7, 2015
4. Ben Gozola review email, December 4, 2015

LU# _____
Date Received: 8/28/15
Received By: [Signature]
Permit #: 2015-29



LAND USE APPLICATION

- ☐ Comprehensive Plan ☒ Zoning District Amend ☐ Zoning Text Amend ☐ Variance*(see below) ☐ Zoning Appeal
- ☒ Conditional Use Permit (C.U.P.) ☐ Flood Plain C.U.P. ☐ Interim Use Permit (I.U.P.) ☐ Excavating/Grading
- ☐ Lot Line Adjustment ☐ Minor Subdivision ☐ Residential Subdivision Sketch/Concept Plan
- ☐ PUD Concept Plan ☐ PUD Preliminary Plan ☐ PUD Final Plan

Applicant: ARBOR GLEN SENIOR LIVING, LLC
Address: 215 N. 2ND STREET, SUITE 204.
Phone #: 612-770-5784.
Email Address: FRISBIE.M@AYRESASSOCIATES.COM.

Fee Owner: FRISBIE PROPERTIES.
Address: 215 N. 2ND STREET, SUITE 204.
Phone #: 612-770-5784
Email Address: FRISBIE.M@AYRESASSOCIATES.COM.

Property Location (Address and Complete (long) Legal Description): (SEE ATTACHED SURVEY)
CORNER OF 15TH AVE AND COUNTY RD. 17.

Detailed Reason for Request: • RETIRE TO COMPLAN. (VILLAGE MIX USE)
• SENIOR LIVING PROJECT
• CONDITIONAL PERMIT FOR CONGREGATE HOUSING.

*Variance Requests: As outlined in Section 301.060 C. of the Lake Elmo Municipal Code, the applicant must demonstrate practical difficulties before a variance can be granted. The practical difficulties related to this application are as follows:

-N/A

In signing this application, I hereby acknowledge that I have read and fully understand the applicable provisions of the Zoning ordinance and current administrative procedures. I further acknowledge the fee explanation as outlined in the application procedures and hereby agree to pay all statements received from the City pertaining to additional application expense.

Signature of applicant: [Signature] Date: 8/27/15

Signature of fee owner: [Signature] Date: 8/27/15.



Arbor Glen Senior Living Project Summary

To: City of Lake Elmo, MN

27 August 2015

From: Mathew Frisbie – Ayres Associates Inc

The following describes the overall project summary.

Arbor Glen of Lake Elmo, Senior Living Project with Ebenezer Management

Lake Elmo, MN

The Location and Demand

This proposed senior living project is a parcel at Lake Elmo Road and 39th Street North in Lake Elmo. Lake Elmo is a suburban community of 8,773 people (2013 estimate) in Washington County. While lower-density, Lake Elmo is surrounded by larger neighbors. To the northeast is Stillwater (population 18,970) and Oak Park Heights (4,866). On the southwest is Woodbury (65,746) and on the west is Oakdale (28,142).

Lake Elmo is an appealing residential location as it combines a picturesque rural character with excellent access to shopping and services in the surrounding area. A new senior housing development in Lake Elmo attract existing local senior residents along with drawing many residents currently living outside the community. Based on the characteristics of Lake Elmo, community orientation, proximity to other senior housing properties in the surrounding area, geographic barriers, and our knowledge of senior housing draw areas, we estimate that a senior housing development on the Site in Lake Elmo would attract approximately 65% of its residents from a draw area (Primary Market Area, or "PMA") that includes Lake Elmo, West Lakeland Township, and Baytown Township. The remaining portion of the senior housing demand (35%) would come from outside the PMA, particularly parents of adult children living in the PMA.

The preliminary senior housing study was completed by Viewpoint Consulting Group, Inc. Based on pent-up demand and the growth in senior households, the Market Study identified an unmet demand for independent senior living units, assisted living units and memory care units. These numbers conservatively reflect a capture rate of 30% of the market area excess demand. The senior population is projected to continue to see an increase for the next five years. This provides for a very healthy and growing senior population.

The Project

The site development for this project managed by Ebenezer is a total 84 units. This would consist of 24 memory care units on the first level and a blend of 60 independent and assisted living units on the first and second level. The rent structure is comparable to neighboring facilities and other new campuses that are currently being constructed across the region.

The building will incorporate typical senior building amenities such as dining rooms, family dining room, multi-purpose rooms, beauty shop, activity rooms, theater room, medical clinic space, therapy, library, fitness room, spa room, pantry, management office and commercial kitchen. It will also have underground parking.

The exterior of the two-story building will incorporate brick, stone and Hardi-type siding (cementitious siding) with a sloping asphalt shingle roof. The building will be set back off of the two adjacent streets with extensive patios, landscaping, gardens, walks and courtyards.

The Management Team – Ebenezer Senior Services:

Founded in 1917 by Minneapolis Lutherans to provide community-centered care for homeless older adults and others in need, Ebenezer Senior Services programs and services today include:

- Independent Living (including condominiums, cooperatives and senior apartments)
- Assisted Living
- Memory Care
- Transitional and Long-term Care
- Adult and Intergenerational Day Programs
- Community-based Services
- Management and Consulting Services
- The Ebenezer Foundation

Part of Fairview Health Services since 1995, their combined resources and expertise offer access to a full range of choices for vibrant senior living. In partnership with the University of Minnesota, they are also part of an academic health system improving the patient's clinical experience, conducting nation-leading research and achieving academic prominence.

Ebenezer will assist in analyzing the market, establishing a strategic marketing plan, producing sales collateral, coordinating a public relations plan, and training sales staff. Through Ebenezer's system for managing leads, maximizing sales, and monitoring programs to reach occupancy projections, Arbor Glen hopes to exceed projected occupancy.

Ebenezer will provide effective on-site management as well as consulting services in all areas of management. Ebenezer has proven that quality patient care and a positive bottom line can go hand-in-hand. Ebenezer will also continue to assist Arbor Glen in evaluating the facilities' strengths and weaknesses. In doing so, they will assess current programs, any service gaps, as well as opportunities and threats in the external market environment. From this, recommendations for new service options tailored to the needs of seniors will be developed and include an individualized implementation plan.

The anticipated number of employees for the Arbor Glen Senior Living project will be approximately 50 employees. This will include an executive director, a clinical services director, mix of RN's and/or LPN's, nursing assistants, and staff for activities, marketing, dietary, housekeeping, maintenance and other administration.

Please contact me if you have any questions or comments.

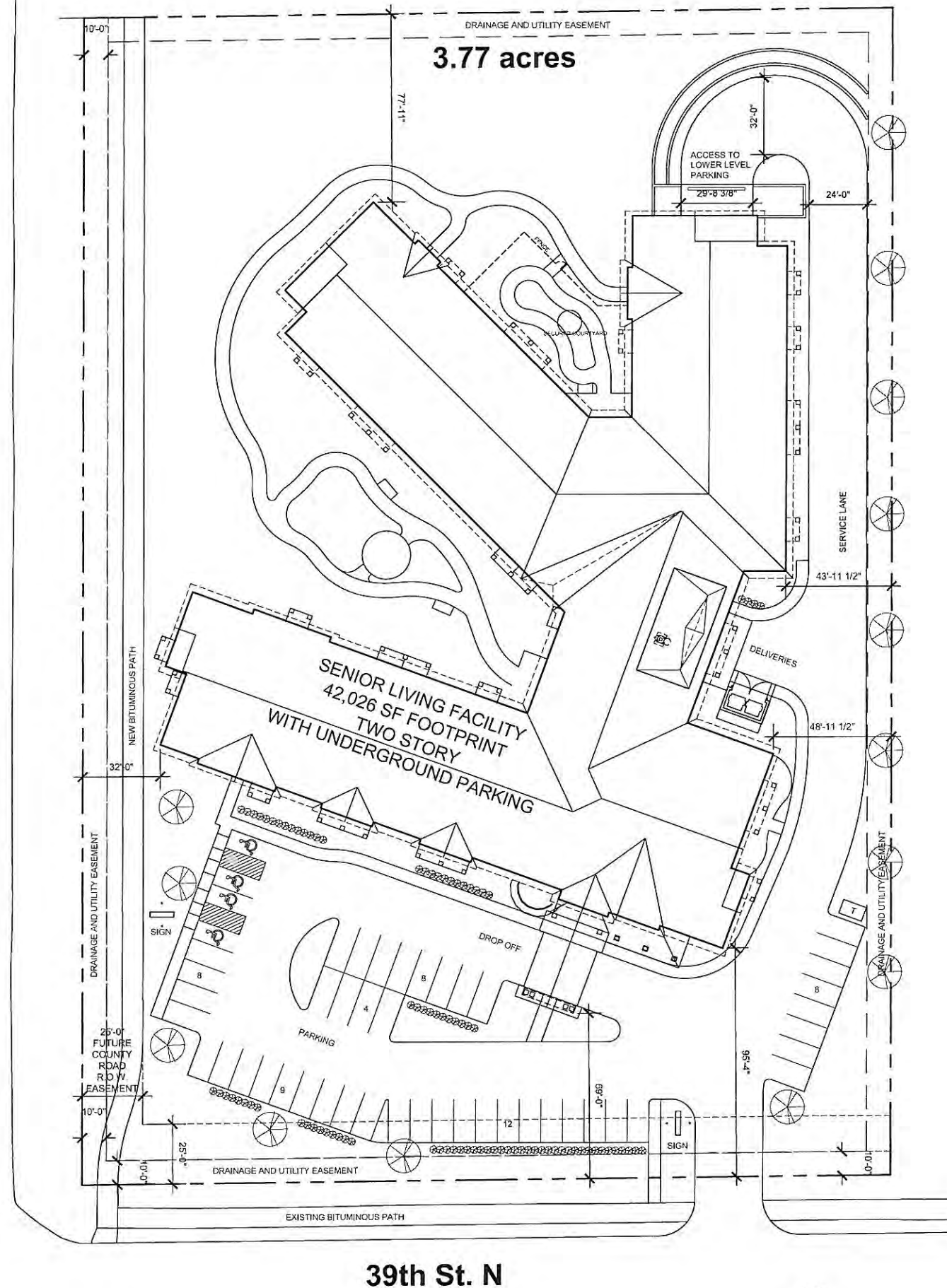
Sincerely,



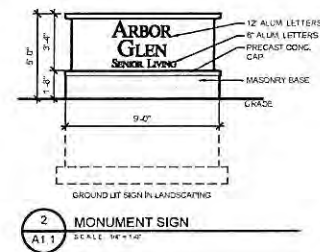
Mathew J. Frisbie, AIA
Vice President – Ayres Associates Inc



(CR 17) Lake Elmo Ave. N



1 ARCHITECTURAL SITE PLAN
A1.1 SCALE 1"=20'



2 MONUMENT SIGN
A1.1 SCALE 1/4"=1'-0"

NEW FACILITY FOR ARBOR GLEN SENIOR LIVING

LAKE ELMO, MINNESOTA

DRAWING INDEX

- ARCHITECTURAL**
A1.1 TITLE SHEET & ARCHITECTURAL SITE PLAN
- CIVIL**
C1.1 SITE DETAILS
C1.2 SITE DETAILS
C1.3 SITE DETAILS
C1.4 SITE DETAILS
C1.5 SITE DETAILS
C1.6 SITE DETAILS
C2.1 EXISTING CONDITIONS, DEMOLITION, AND TREE PRESERVATION PLAN
C2.2 EROSION CONTROL PLAN
C2.3 SITE LAYOUT AND MATERIALS PLAN
C2.4 SITE GRADING PLAN
C2.5 SITE UTILITIES PLAN
*CERTIFICATE OF SURVEY
SITE PHOTOMETRIC

- ARCHITECTURAL**
A2.0 PARKING LEVEL FLOOR PLAN
A2.1 OVERALL MAIN LEVEL FLOOR PLAN
A2.2 OVERALL SECOND LEVEL FLOOR PLAN
A3.1 EXTERIOR ELEVATIONS
A3.2 EXTERIOR ELEVATIONS
A3.3 EXTERIOR ELEVATIONS
A3.4 RENDERED EXTERIOR ELEVATIONS

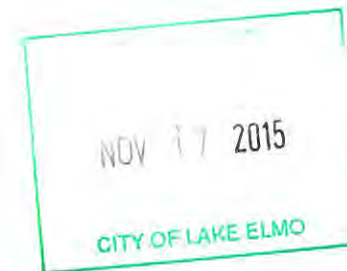
- LANDSCAPE**
L1.0 LANDSCAPE RENDERING
L1.1 LANDSCAPE PLAN
L1.2 LANDSCAPE PLAN ENLARGEMENTS
L1.3 LANDSCAPE PLAN ENLARGEMENTS
L1.4 LANDSCAPE MATERIALS PLAN AND DETAILS

PROJECT LOCATION MAP

PROJECT SITE



LAKE ELMO, MINNESOTA



MARK	DATE	DESCRIPTION

ARBOR GLEN SENIOR LIVING

LAKE ELMO, MN

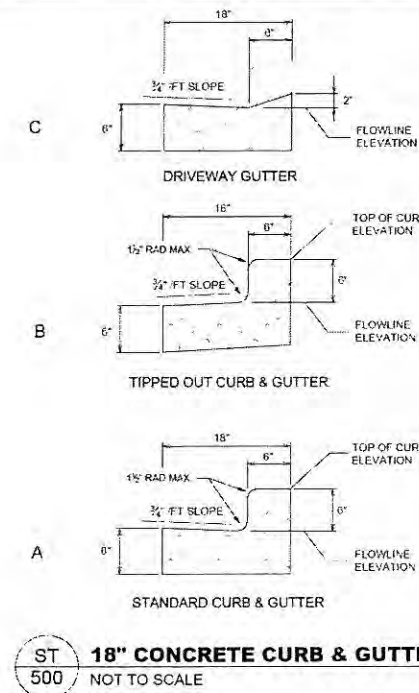
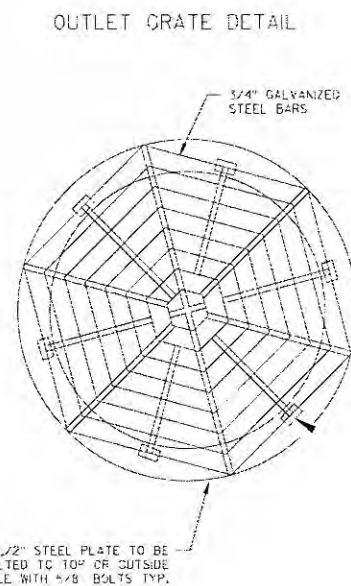
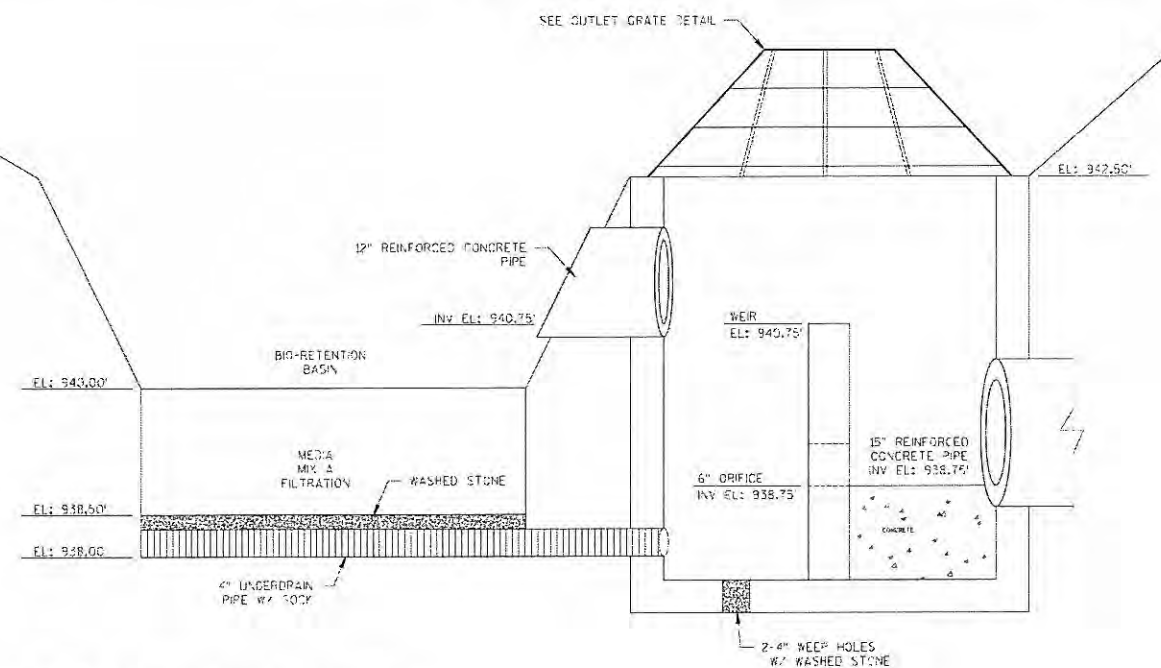
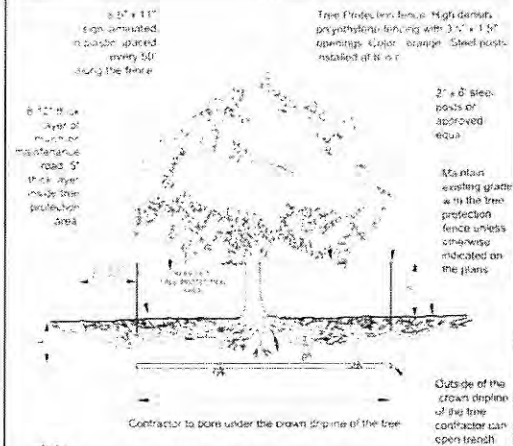
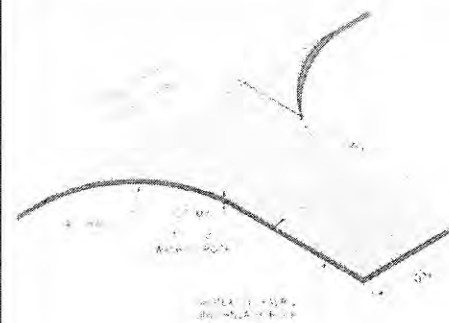
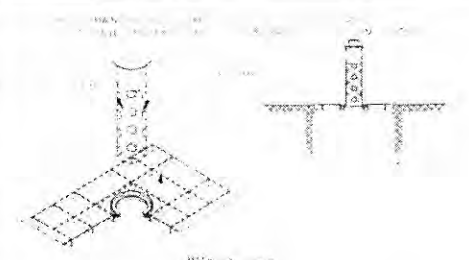
AVRES ASSOCIATES
315 N. Second Street Suite 204
Lake Elmo, MN 55049
(763) 437-4208
(763) 437-4209
Fax: (763) 437-4209

PARKING LEVEL
FLOOR PLAN

PROJECT NO. 08-1721.00

A1.1

11.10.2015

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ARBOR GLEN SENIOR LIVING

AYRES
ASSOCIATES

Eau Claire Office
533 University Parkway
Eau Claire, Wisconsin 54601
(715) 834-3181

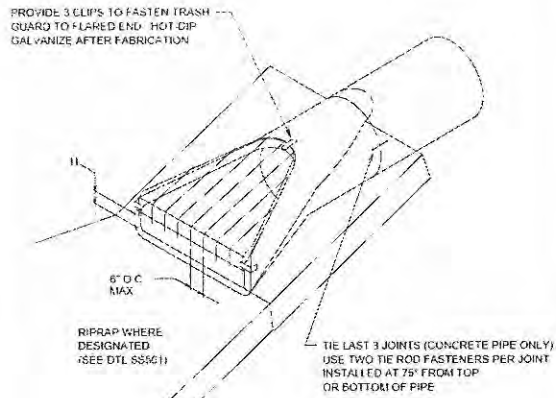
River Falls Office
315 N. Jackson Street Suite 304
River Falls, Wisconsin 54222
(715) 426-4908
Fax: (715) 426-5866

CONSTRUCTION OF A US

PROJECT NO: C8-1721 00

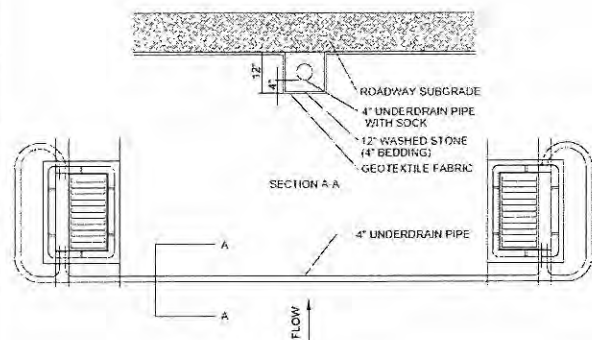
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11.10.2015

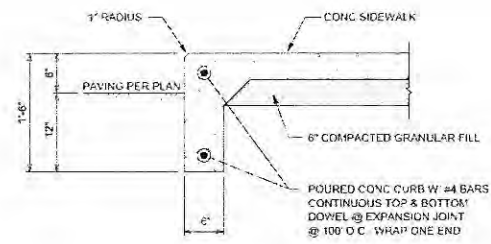


SIZE OF PIPE	DIA OF BARS	H	BOLTS
12" TO 18"	3/4"	4"	5/8"
21" TO 42"	1"	6"	3/4"
42" TO 72"	1 1/2"	12"	1"

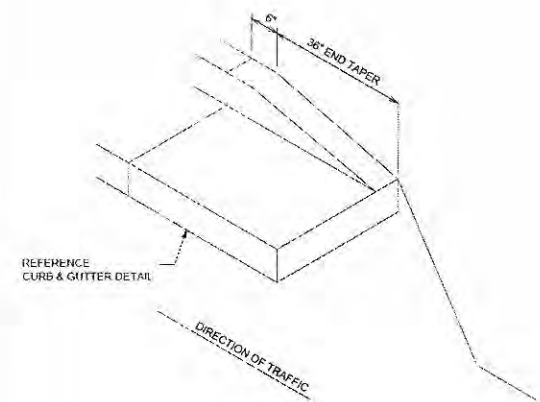
SS 515 APRON ENDWALL W/TRASH GUARD
NOT TO SCALE



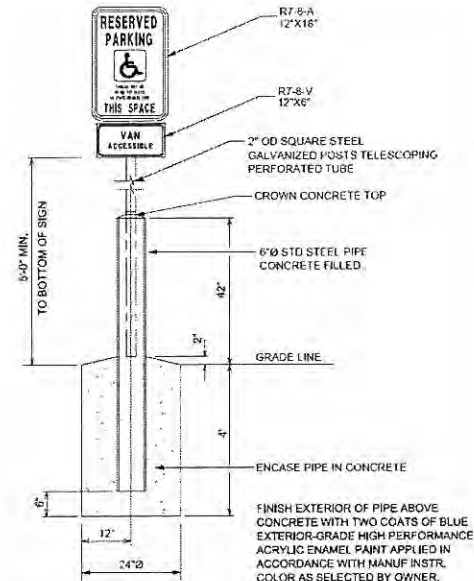
SS 510 ROADWAY UNDERDRAIN
NOT TO SCALE



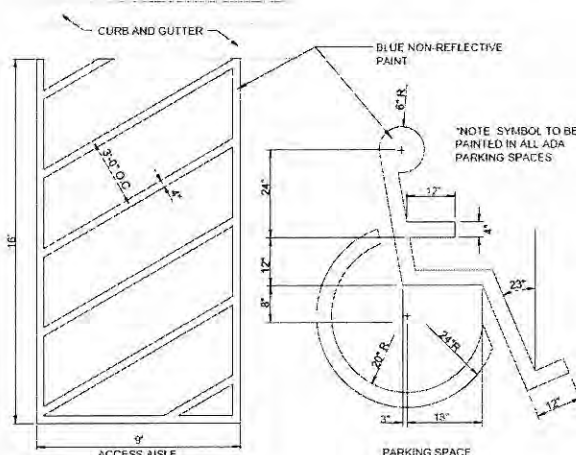
ST 903 INTEGRAL CURB / SIDEWALK
NOT TO SCALE



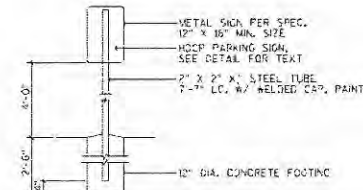
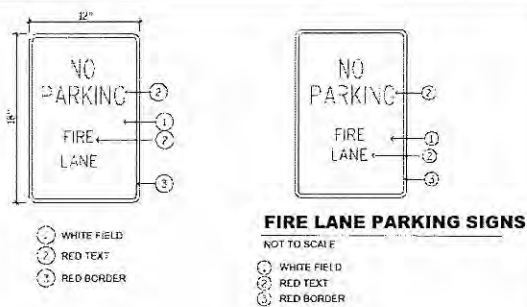
ST 101 CURB & GUTTER TERMINATOR
NOT TO SCALE



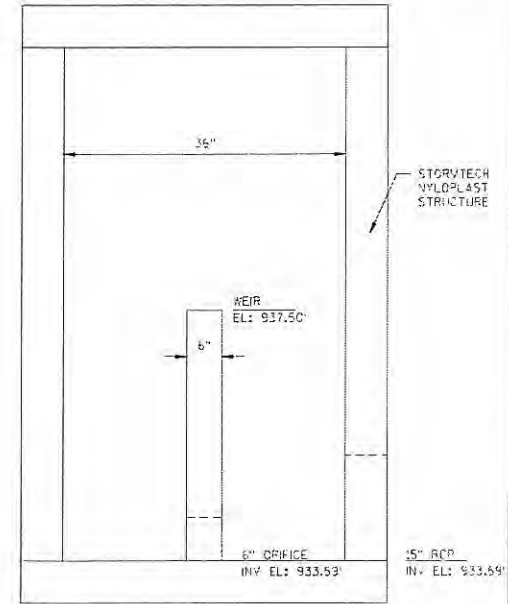
SP 402 HDCP PIPE GUARD POST
NOT TO SCALE



SP 403 ADA STALL PAVEMENT MARKING
NOT TO SCALE



FIRE LANE PARKING SIGN POST
NOT TO SCALE



42.1 STORMTECH OUTLET RATE CONTROL DEVICE
NOT TO SCALE

MARK	DATE	DESCRIPTION

ARBOR GLEN SENIOR LIVING
LAKE ELMO, MN

AYRES ASSOCIATES
3433 Champlin Ave. NW
Minneapolis, MN 55412
(612) 344-3434

CONSTRUCTION DE: 0413

PROJECT NO: 04-1721.00

C 1.4

11/10/2015



STORMWATER CHAMBER SPECIFICATIONS

- ### IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF MC-3500 CHAMBER SYSTEM

1. **STRENGTH** is the **MAXIMUM COMPRESSION** or **TENSION** STRESS that the material can safely withstand before it begins to fail.
 2. **STRENGTH** is the **MAXIMUM LOAD** that a material can safely withstand before it begins to fail.
 3. **STRENGTH** is the **MAXIMUM LOAD** that a material can safely withstand before it begins to fail.
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NOTES FOR CONSTRUCTION EQUIPMENT

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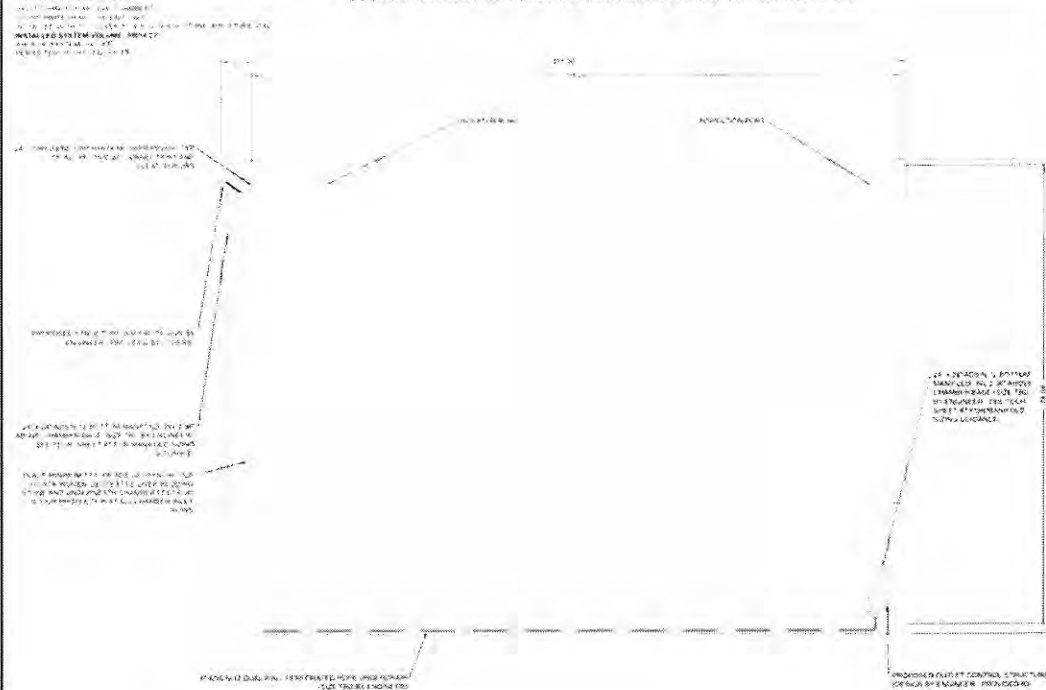
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- [illegible]

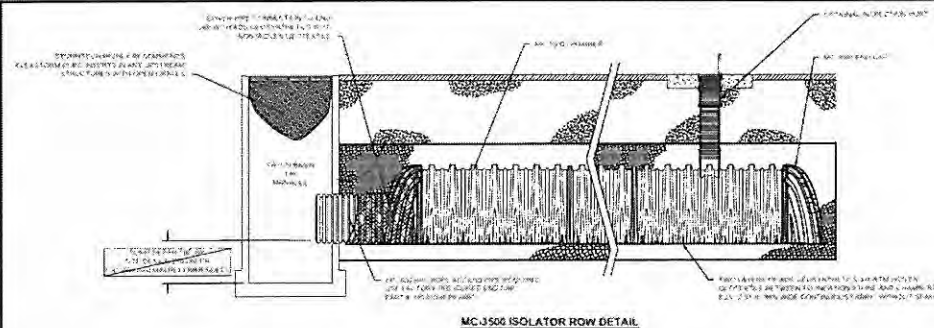
CONCEPTUAL LAYOUT

COMPUTER GENERATED CONCEPTUAL LAYOUT - NOT FOR CONSTRUCTION


StormTech

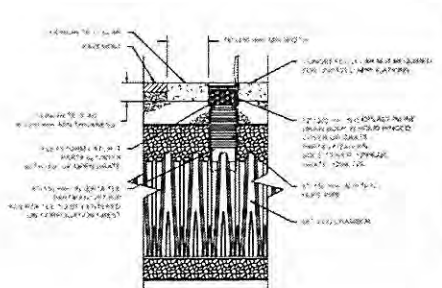
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20



INSPECTION & MAINTENANCE

- [illegible]



MC-3500 8" INSPECTION PORT DETAIL

StormTech

ST.
1000 N. 1st St., Suite 100
Tulsa, OK 74103
918/481-1111

4 6

ARBOR GLEN SENIOR LIVING
LAKE ELMO, MN

AVRES
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San Jose, CA
1515 N. Second Street Suite 204
River Falls, WI 53001
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Fax: (715) 426-5686

San Jose, CA
1515 N. Second Street Suite 204
River Falls, WI 53001
(715) 428-4908
Fax: (715) 426-5686

SITE DETAILS

PROJECT NO. 08-1721-00

C 1.5

11.10.2015

UNDERDRAIN DETAIL

SECTION A

SECTION B

INSERT TEE DETAIL

SECTION A

SECTION B

TABLE

TABLE

MC-3500 TECHNICAL SPECIFICATION

SECTION A

SECTION B

TABLE

TABLE

5 OF 6

stormtech

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MC-SERIES END CAP INSERTION DETAIL

SECTION A

SECTION B

6 OF 6

stormtech

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ARBOR GLEN SENIOR LIVING

LAKE ELMO, MN

AYRES ASSOCIATES

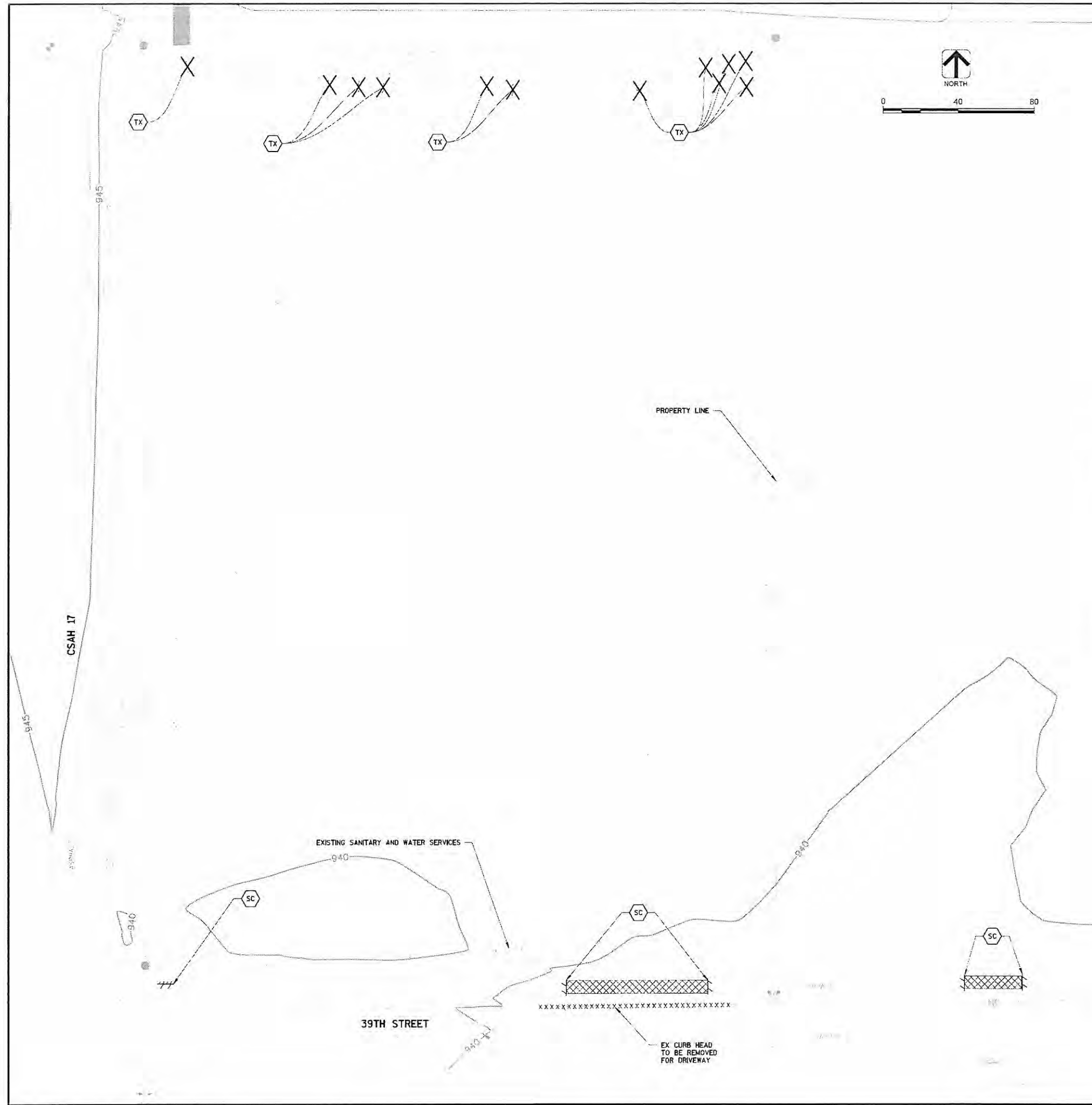
10000 Lake Elmo Parkway
Lake Elmo, MN 55049
Tel: 763.434.1881 Fax: 763.434.1882

CITY DETAILS

PROJECT NO: 05-1721-00

C 1.6

11/16/2015



GENERAL DEMOLITION NOTES

- A. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE "CITY OF LAKE ELMO STANDARD SITE WORK SPECIFICATIONS".
- B. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND RETENTION AND INFILTRATION NETWORK AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED: SEE SITE WORK SPECIFICATIONS.
- C. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- D. THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- E. ENGINEER'S NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- F. ALL PAVEMENT REMOVALS WITHIN PUBLIC RIGHT OF WAY SHALL BE REPLACED IN-KIND AND REMOVALS SHALL BE ACCOMPANIED BY A FULL DEPTH SAW CUT AND MILLED BITUMINOUS STEP JOINT PER CITY OF LAKE ELMO STANDARD DETAILS.
- A. ALL EXISTING TREES TO BE PROTECTED PER TREE PROTECTION DETAIL.

LEGEND

- EVERGREEN TREE (SPRUCE)
- DECIDUOUS TREE (ARMOR MAPLE)

DEMOLITION NOTES

- TX EXISTING TREE TO BE REMOVED
- SC LIMITS OF SAWCUT AND PAVEMENT REMOVAL

8' 6" x 11" sign laminated in plastic spaced every 50' along the fence

Tree Protection Fence: High density polyethylene fencing with 3' 5" x 1' 4" openings. Color - orange. Steel posts installed at 8' o.c.

8-12" thick layer of mulch on maintenance road 5' thick layer inside tree protection area

2" x 6" steel posts or approved equal

Maintain existing grade with the tree protection fence unless otherwise indicated on the plans

Contractor to bury under the crown/dripline of the tree

Outside of the crown/dripline of the tree, contractor can open trench

Notes:
1. See site location for additional tree protection requirements
2. If there is no existing mulch, see specifications for watering requirements
3. No pruning shall be performed except by approved arborist
4. No equipment shall operate inside the protective fencing including during fence installation and removal
5. See site preparation plan for any modification with the Tree Protection area
6. See tree preservation plan for fence alignment. As a minimum fence shall extend to the crown drip line

TREE PROTECTION - MAINTENANCE ROAD & BORING UNDER CROWN/DRIPLINE

FEBRUARY 2015

CITY OF LAKE ELMO

PROJECT NO. 06-1721-00

C2.1

11.10.2015

ARBOR GLEN SENIOR LIVING
LAKE ELMO, MN

AYRES ASSOCIATES
3115 Oakdale Avenue
Lake Elmo, MN 55022
(763) 435-1111
Fax: (763) 435-4444

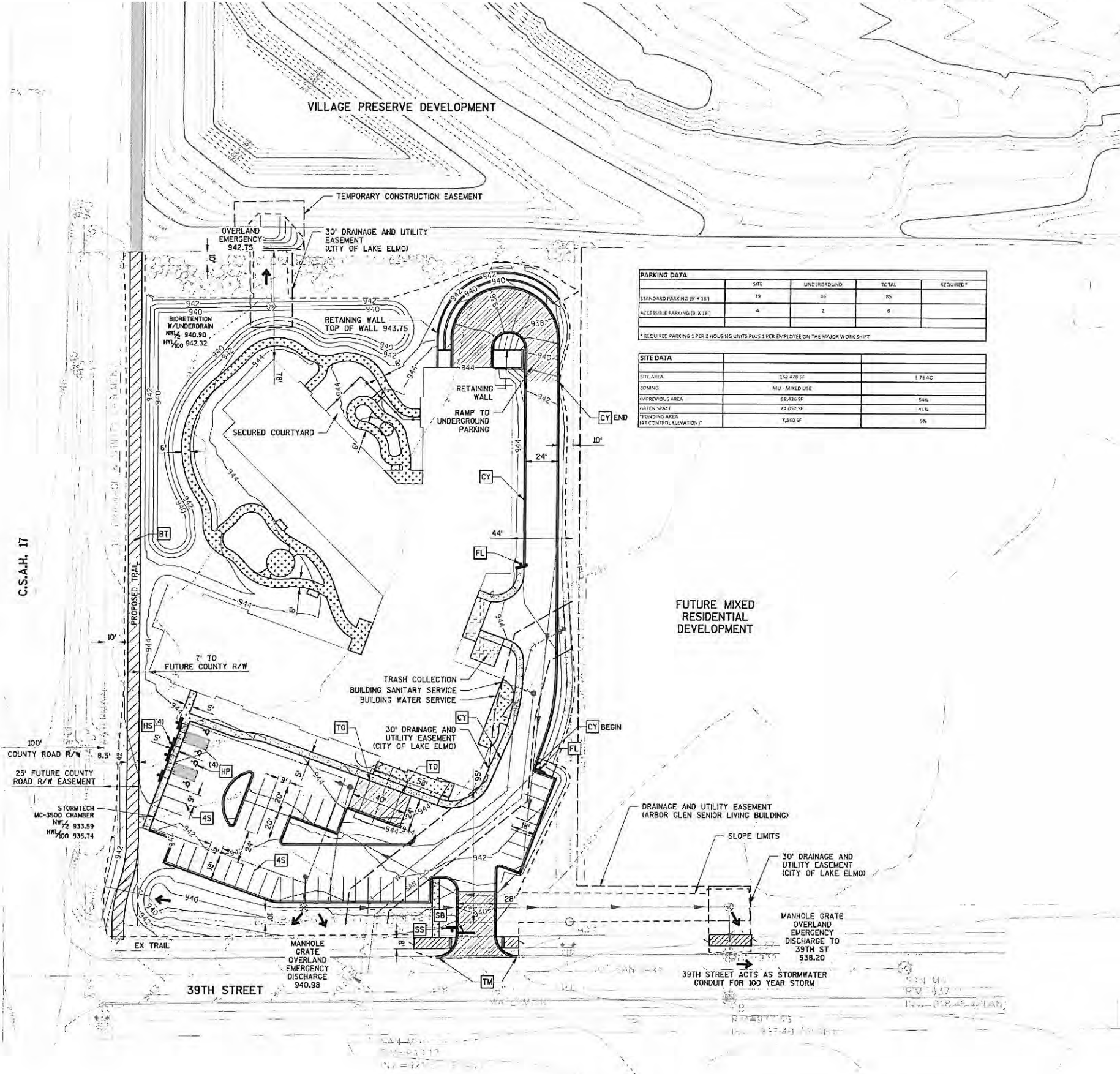
EXISTING CONDITIONS, DEMOLITION AND TREE PRESERVATION PLAN

PROJECT NO. 06-1721-00

C2.1

11.10.2015

C.S.A.H. 17



PARKING DATA				
	SITE	UNDERGROUND	TOTAL	REQUIRED*
STANDARD PARKING (8' X 18')	39	36	85	
ACCESSIBLE PARKING (8' X 18')	4	2	6	
* REQUIRED PARKING 1 PER 2 HOUSING UNITS PLUS 1 PER EMPLOYEE ON THE MAJOR WORK SHIFT				

SITE DATA		
SITE AREA	162,478 SF	3.73 AC
ZONING	MU - MIXED USE	
IMPERVIOUS AREA	88,426 SF	64%
GREEN SPACE	74,052 SF	41%
TRONDING AREA (AT CONTROL ELEVATION)†	7,500 SF	5%

- PROPOSED
- 4" BITUMINOUS PAVEMENT
10" AGGREGATE BASE COURSE
 - BIKE PATH (CITY OF LAKE ELMO STANDARD 509)
 - 6" CONCRETE PAVEMENT
6" AGGREGATE BASE COURSE
 - 8" CONCRETE PAVEMENT
6" AGGREGATE BASE COURSE
 - 6" INTEGRAL CURB & 4" SIDEWALK
6" GRANULAR BASE
 - 4" SIDEWALK
6" GRANULAR BASE

- GENERAL SITE NOTES
- A. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB OR EDGE OF WALK EXCEPT AS NOTED.
 - B. ALL ACCESSIBLE PARKING STALLS SHALL HAVE SIGNAGE INSTALLED PER DETAIL.
 - C. ALL PAVEMENT MARKINGS SHALL BE 4 INCH WIDE WHITE PAINT EXCEPT AS NOTED.
 - D. SEE LANDSCAPE PLANS FOR LANDSCAPE/GREEN AREAS AND TREATMENTS.

SITE NOTES

SITE DETAILS

- 4S 4-INCH PAVEMENT MARKING STRIPES (WHITE)
- SS STOP SIGN
- FL NO PARKING / FIRE LANE SIGN
- CY CURB PAVEMENT MARKING (YELLOW)
- TM TAPER CURB TO MATCH EXISTING CURB
- TO TAPER CURB FROM 6" TO 0" OVER 2'
- BT 8.5' WIDTH BICYCLE TRAIL PER CITY OF LAKE ELMO STD DETAIL #509
- SB 24" WHITE PAINTED STOP BAR (PER CITY OF LAKE ELMO)
- HP HANDICAP PAVEMENT MARKING SYMBOL
- HS HANDICAP PARKING SIGN

ARBOR GLEN SENIOR LIVING
LAKE ELMO, MN

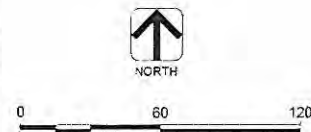
AYRES ASSOCIATES
215 N. Second Street, Suite 204
St. Cloud, MN 56301
(763) 425-4000
(763) 425-4001
Fax: (763) 425-4002

SITE LAYOUT AND MATERIALS PLAN

PROJECT NO. 05-1721-09

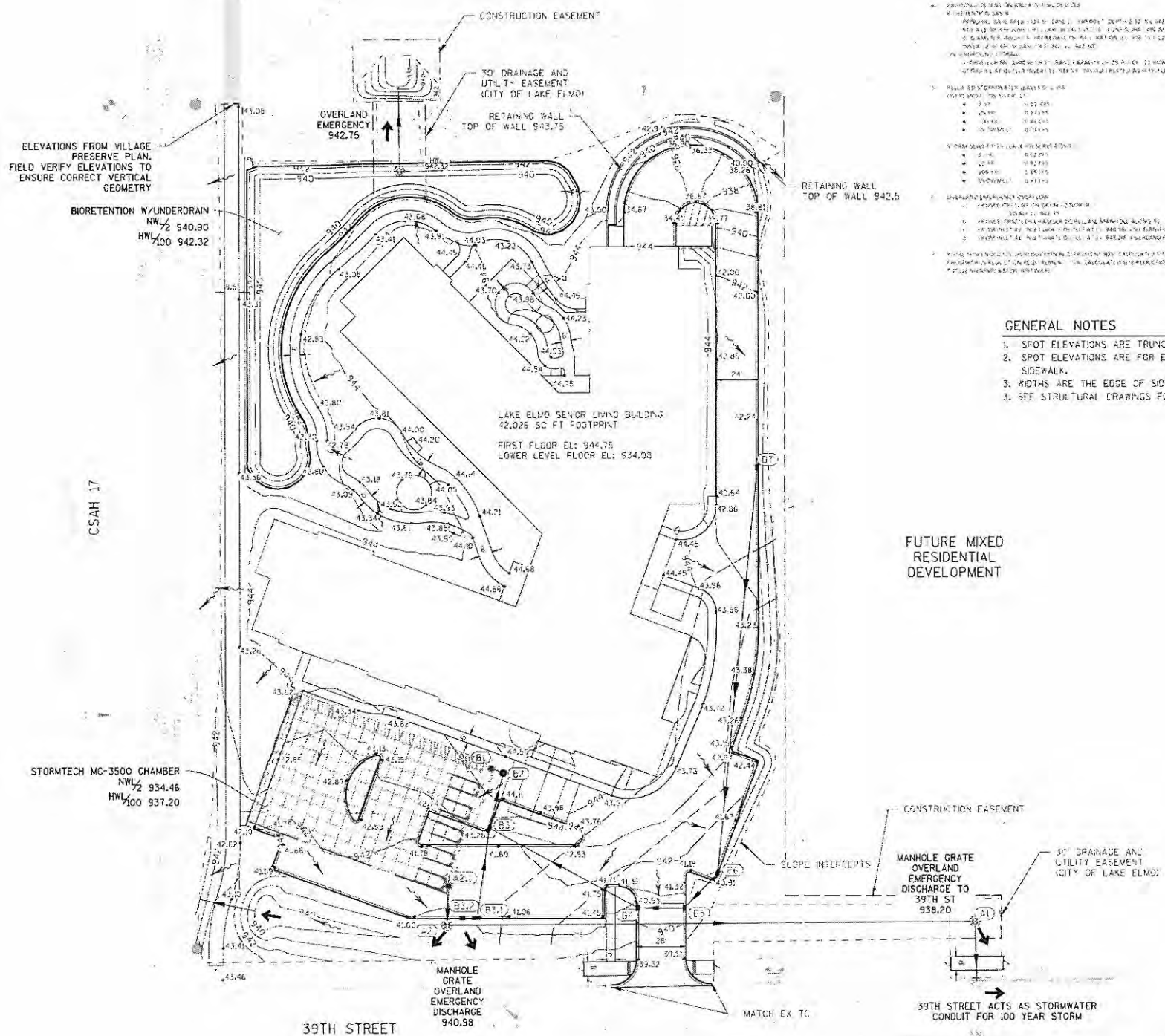
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11.19.2015



EXISTING VILLAGE PRESERVE TRAIL

VILLAGE PRESERVE DEVELOPMENT



FUTURE MIXED RESIDENTIAL DEVELOPMENT

STORMWATER RUNOFF SUMMARY

Area	Runoff Coefficient	Area (sq ft)	Runoff (cfs)
Roofs	0.90	1,200,000	1,080
Paved Areas	0.80	800,000	720
Grass	0.20	2,000,000	180
Other	0.10	1,000,000	90
Total			2,070

PEAK FLOW SUMMARY

Flow Type	Flow (cfs)
Peak Flow	2,070
Base Flow	100
Total	2,170

STORMWATER VOLUME SUMMARY

Volume Type	Volume (cu ft)
Peak Volume	1,200,000
Base Volume	100,000
Total	1,300,000

GENERAL NOTES

1. SPOT ELEVATIONS ARE TRUNCATED BY 000.
2. SPOT ELEVATIONS ARE FOR EDGE OF PAVEMENT OR SIDEWALK.
3. WIDTHS ARE THE EDGE OF SIDEWALK OR FACE OF CURB.
4. SEE STRUCTURAL DRAWINGS FOR BUILDING STOP DETAILS.

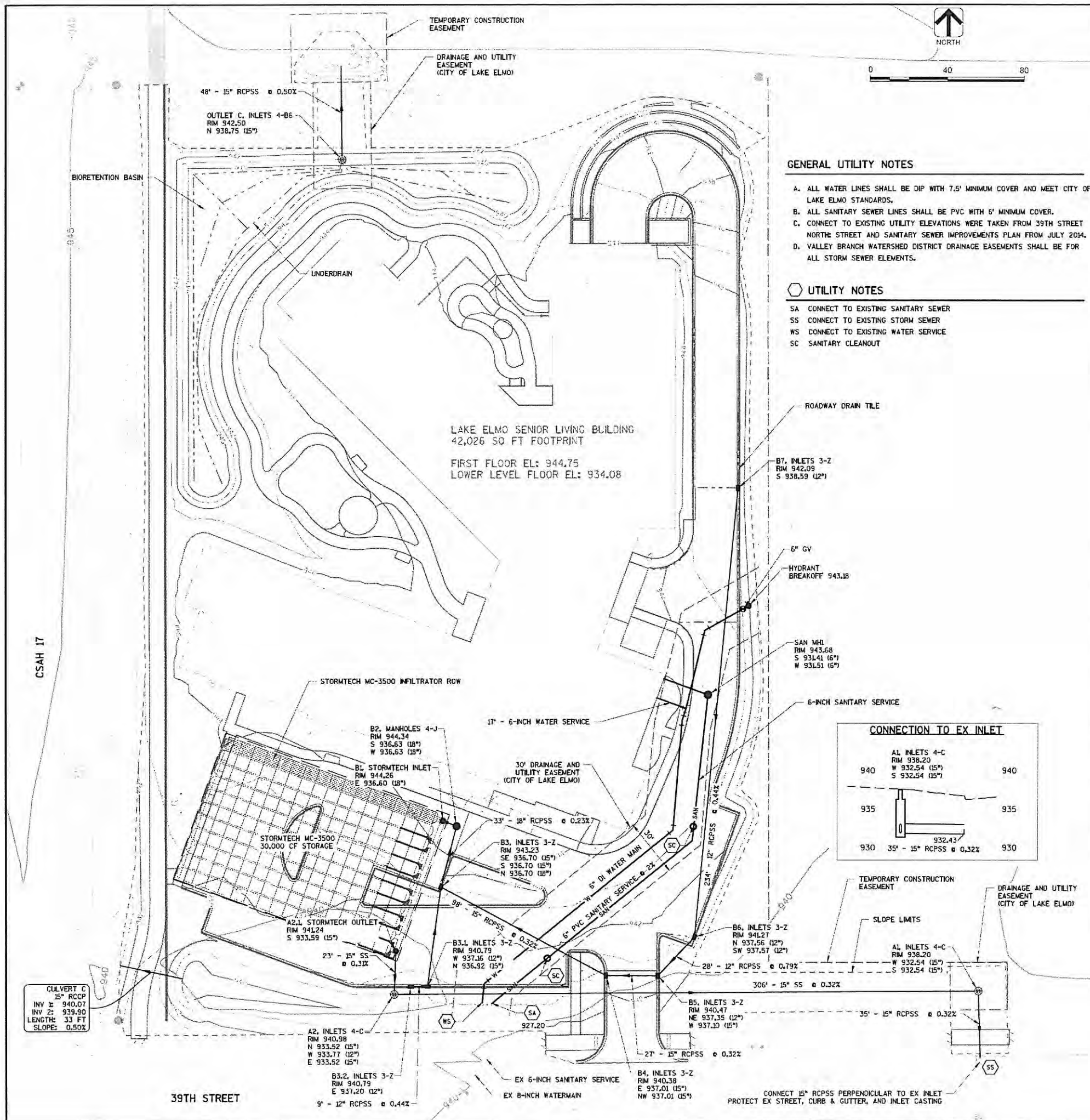
GENERAL GRADING AND EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD. THESE MEASURES SHALL BE DESIGNED TO PREVENT EROSION AND SEDIMENTATION FROM THE CONSTRUCTION SITE. THE CONTRACTOR SHALL MAINTAIN THESE MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.
2. STORMWATER SHALL BE COLLECTED AND DISCHARGED TO THE LAKE ELMO SENIOR LIVING BUILDING. THE CONTRACTOR SHALL MAINTAIN THESE MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.
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ARBOR GLEN SENIOR LIVING
LAKE ELMO, MN

AVRES ASSOCIATES
10000 Highway 100, Suite 200
Edina, MN 55425
(763) 944-1111

PROJECT NO. 08-1721-00
C2.4
11/10/2015



GENERAL WATER MAIN NOTES

1. WATERMAIN AND ACCESSORIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
2. MANHOLE AND INLET ELEVATIONS SHALL BE DETERMINED BY THE PERSON.
3. WATERMAIN SHALL BE 12" RCPSS WITH 12" DIA. MANHOLE.
4. ALL JOINTS SHALL BE MADE WITH 12" DIA. MANHOLE. ALL JOINTS SHALL BE MADE WITH 12" DIA. MANHOLE. ALL JOINTS SHALL BE MADE WITH 12" DIA. MANHOLE.
5. USE LATE VALVES FOR ALL APPLICATIONS OF THROUGH THE JOINTS.
6. GATE VALVES SHALL BE RESILIENT MEDIUM AMERICAN FLOW CONTROL SERIES USED OR APPROVED EQUAL. GATE VALVES SHALL COMPLY WITH ASTM SPEC 2611.2.2.
7. USE BUTTERFLY VALVES FOR ALL APPLICATIONS GREATER THAN 12 INCHES.
8. BUTTERFLY VALVES SHALL BE BUTTERFLY VALVE 30" OR APPROVED EQUAL. BUTTERFLY VALVES SHALL COMPLY WITH ASTM SPEC 2611.2.2.
9. BOLTS AND NUTS ON ALL VALVES AND HYDRANTS SHALL BE STAINLESS STEEL.
10. ALL HYDRANTS SHALL BE INSTALLED 5' FEET BACK OF CURB.
11. HYDRANTS SHALL BE WATERLOO "FACER" MODEL KB-CP OR APPROVED EQUAL. FITTED WITH 4" HOSE NOZZLE. 1" STAKE AND PAINTED RED.
12. HYDRANTS SHALL HAVE TWO GUNN "NOZZLE" FOR 2" 1/2" (10") HOSE CONNECTIONS AND ONE 4" HOSE NOZZLE (MODEL KB-47) AND PENTAGON NUT END CAP.
13. THE CURB STOP SERVICE ASSEMBLY SHALL HAVE A MINIMUM 1'-0" ADJUSTMENT RANGE AND SHALL EXTEND 6" ABOVE FINISHED GRADE FOLD EXTENDED.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING WATER TO HOMES AND BUSINESSES WHOSE WATER SUPPLY IS INTERRUPTED DURING THE COURSE OF THE PROJECT.

GENERAL SANITARY SEWER NOTES

1. ALL SANITARY SEWER AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
2. ALL SANITARY SEWER PVC PIPE SHALL BE INSTALLED ACCORDING TO CITY STANDARD DRAWING 103 "GRANULAR MATERIAL BEDDING METHOD FOR SANITARY SEWER PIPE".
3. UNLESS NOTED OTHERWISE, ALL SMOOTH WALLED SANITARY SEWER PVC PIPE AND FITTINGS SHALL BE SDR 35 WITH ELASTOMERIC GASKETED JOINTS.
4. ALL SANITARY SEWER SERVICES SHALL BE 4" PVC SDR 35, 40.
5. SMOOTH WALLED PVC PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF ASTM D-3034 FOR THE SIZE, STANDARD DIMENSION RATIO (SDR), AND STRENGTH REQUIREMENTS INDICATED IN THE PLANS, SPECIFICATIONS AND SPECIAL PROVISIONS.
6. REINFORCED CONCRETE PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF MHDOT SPEC 3036 (REINFORCED CONCRETE PIPE) FOR THE TYPE, SIZE, AND STRENGTH CLASS SPECIFIED HEREIN.
7. JOINTS OF MANHOLE Riser SECTIONS SHALL BE TONGUE AND GROOVE WITH RUBBER "O" RING JOINTS PROVIDED ON ALL SANITARY SEWER MANHOLES.
8. SANITARY SEWER INLET AND OUTLET PIPES SHALL BE JOINED TO THE MANHOLE WITH A GASKETED, FLEXIBLE, WATER-TIGHT CONNECTION TO ALLOW DIFFERENTIAL SETTLEMENT OF THE PIPE AND MANHOLE TO TAKE PLACE.
9. A 1'-0" TO 1'-4" MANHOLE SECTION SHALL BE INSTALLED UNDER THE CONE SECTION TO ALLOW FOR HEIGHT ADJUSTMENT WHENEVER POSSIBLE.
10. ALL SERVICE LINE STUBS MUST HAVE A 27/2" HARDWOOD MARKER WITH METAL SPIKE RUNNING FROM THE END OF PIPE TO FINISHED GRADE ELEVATION.
11. UPON MAKING A CONNECTION TO AN EXISTING SANITARY SEWER STUB OR MANHOLE, DIRT AND DEBRIS SHALL BE PREVENTED FROM ENTERING THE EXISTING SEWER BY IMMEDIATELY INSTALLING WATER-TIGHT PLUGS AS NEEDED IN THE EXISTING MANHOLE.

GENERAL STORM SEWER NOTES

1. ALL STORM SEWER AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
2. REINFORCED CONCRETE PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF MHDOT SPEC 3036 (REINFORCED CONCRETE PIPE) FOR THE TYPE, SIZE, AND STRENGTH CLASS SPECIFIED HEREIN.
3. PRECAST CONCRETE MANHOLE AND CATCH BASIN SECTIONS SHALL CONFORM TO THE REQUIREMENTS OF ASTM D-417.
4. A 1'-0" TO 1'-4" MANHOLE SECTION SHALL BE INSTALLED UNDER THE CONE SECTION TO ALLOW FOR HEIGHT ADJUSTMENT WHENEVER POSSIBLE.
5. JOINTS OF MANHOLE Riser SECTIONS SHALL BE TONGUE AND GROOVE WITH RUBBER "O" RING JOINTS PROVIDED ON ALL STORM SEWER MANHOLES.
6. R.P.P. SHALL BE HAND PLACED OVER GEOTEXTILE FABRIC AND CONFORM TO MHDOT SPEC 3007 (R.P.P.) OR AS SPECIFIED HEREIN.
7. THE GEOTEXTILE FABRIC USED UNDER R.P.P. SHALL EXTEND 3' FT UNDER THE APRON.
8. FURNISH 16" METAL BRUSH BANDS ON ALL FLARED END SECTIONS.
9. ALL SET SHALL BE CLEANED OUT FROM THE R.P.P. AT THE END OF THE PROJECT.

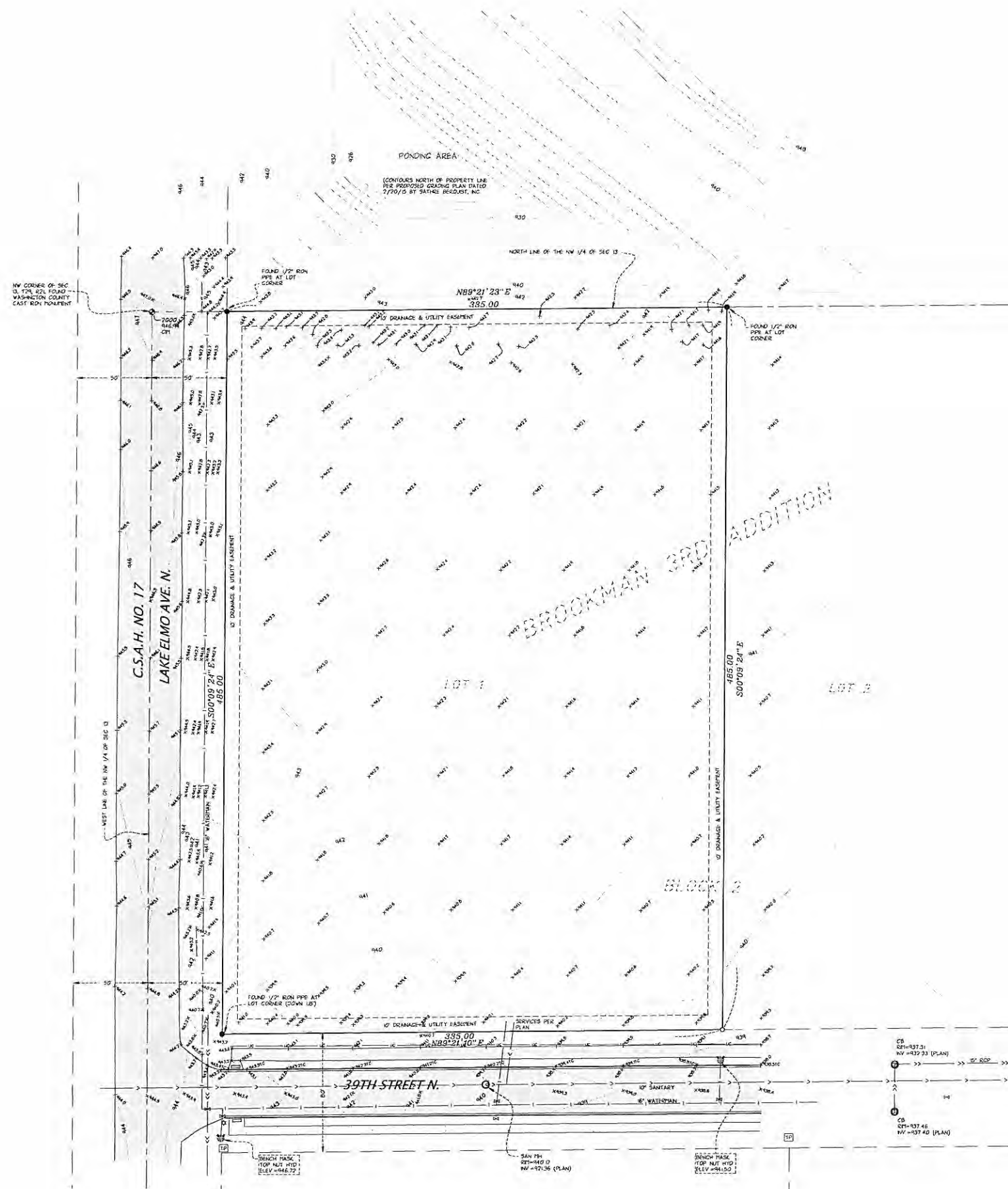
ARBOR GLEN SENIOR LIVING
 LAKE ELMO, MN

AVRES ASSOCIATES
 1515 1st Avenue, Suite 204
 St. Paul, MN 55102
 (612) 224-1111
 (612) 224-1111

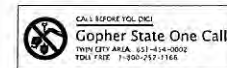
PROJECT NO. 06-1721.00

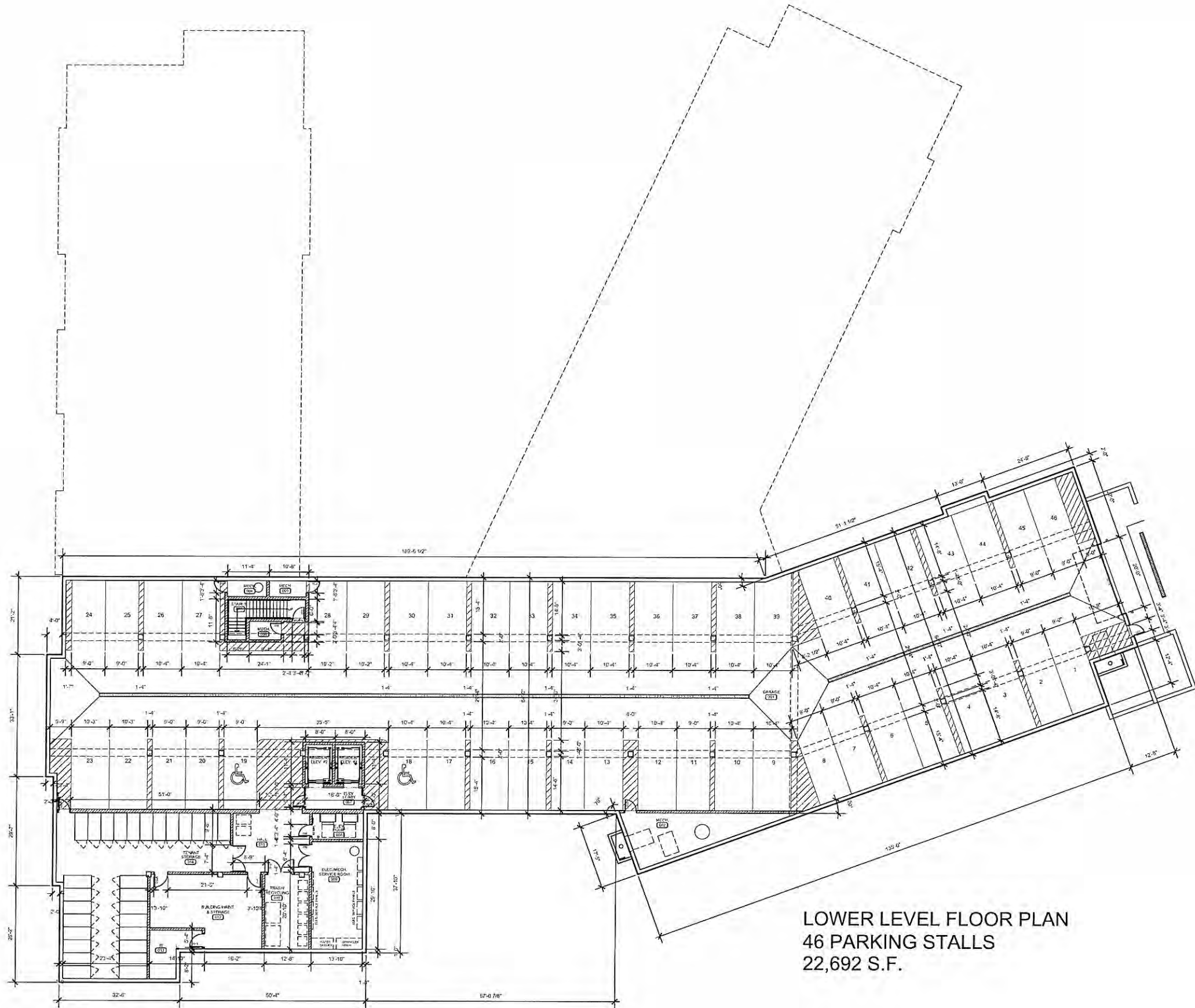
C2.5

11/10/2015



CERTIFICATE OF
SURVEY





MARK	DATE	DESCRIPTION

ARBOR GLEN SENIOR LIVING

LAKE ELMO, MN

AYRES
ASSOCIATES
ARCHITECTS
5500 University Parkway
Suite 200
Minneapolis, MN 55412
(763) 434-3961
Fax: (763) 434-3966

PARKING LEVEL
FLOOR PLAN

PROJECT NO. 08-1721.00

A2.0

11.10.2015



1 OVERALL MAIN LEVEL FLOOR PLAN
A2.1 SCALE 3/32"=1'-0"

BUILDING SUMMARY	
MEMORY CARE	= 24
FIRST FLOOR = 24	
ASSISTED LIVING	= 28
SECOND FLOOR = 28	
INDEPENDENT LIVING	= 31
FIRST FLOOR = 14	
SECOND FLOOR = 17	
GUEST SUITES	= 1
SECOND FLOOR = 1	
PROPOSED TOTAL	= 84 + 1 GUEST SUITE

MARK	DATE	DESCRIPTION

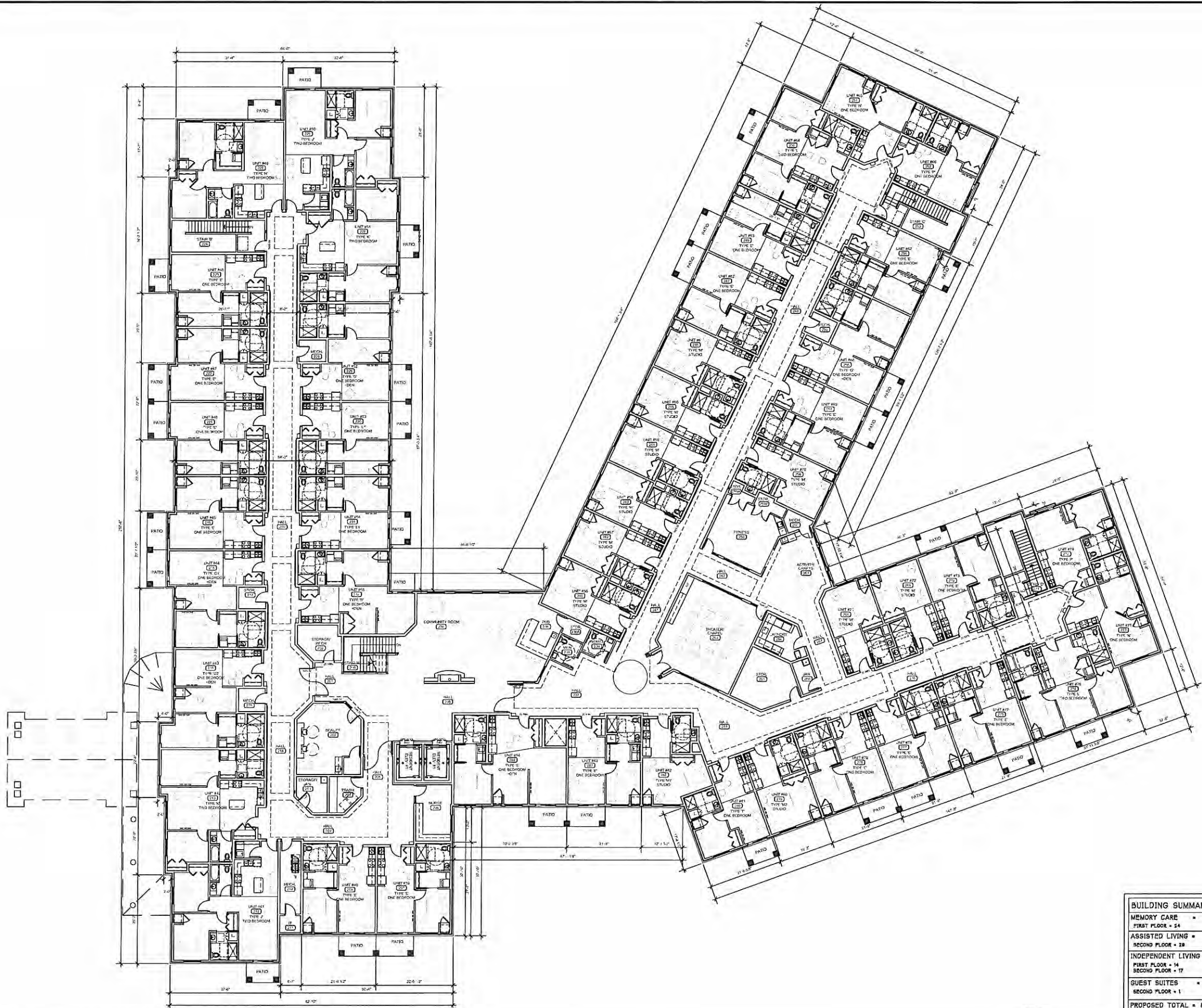
ARBOR GLEN SENIOR LIVING
LAKE ELMO, MN

AVRES ASSOCIATES
3400 Cedarwood Drive, Suite 204
Minneapolis, MN 55412
TEL: 612.354.3811
FAX: 612.452.2899

MAIN LEVEL
FLOOR PLAN

PROJECT NO. 06-1721.00

A2.1
11.10.2015



1 OVERALL SECOND LEVEL FLOOR PLAN
A2.2 SCALE 3/32"=1'-0"

BUILDING SUMMARY	
MEMORY CARE	= 24
FIRST FLOOR = 14	
ASSISTED LIVING	= 28
SECOND FLOOR = 28	
INDEPENDENT LIVING	= 31
FIRST FLOOR = 14	
SECOND FLOOR = 17	
GUEST SUITES	= 1
SECOND FLOOR = 1	
PROPOSED TOTAL	= 84 + 1 GUEST SUITE



MARK	DATE	DESCRIPTION

ARBOR GLEN SENIOR LIVING
LAKE ELMO, MN

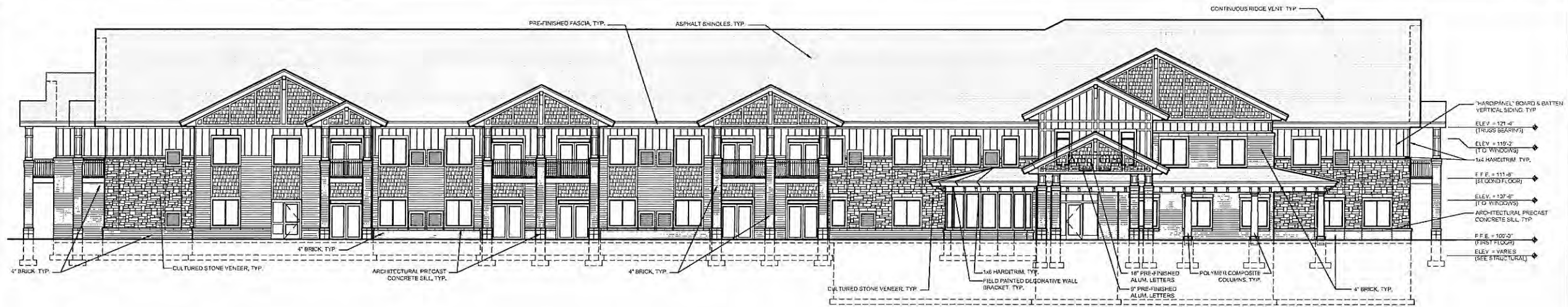
AYRES ASSOCIATES
ARCHITECTS
215 N. Second Street, Suite 204
St. Cloud, MN 56301
(763) 452-4000
(763) 452-4001
Fax: (763) 452-4006

SECOND LEVEL FLOOR PLAN

PROJECT NO. 06-1721.00

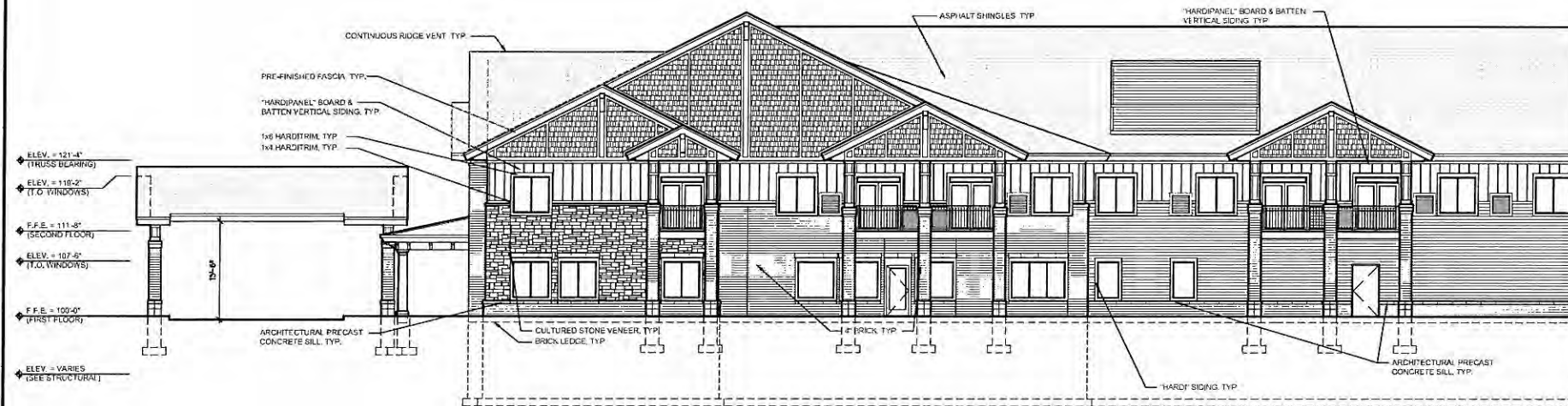
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11.10.2015

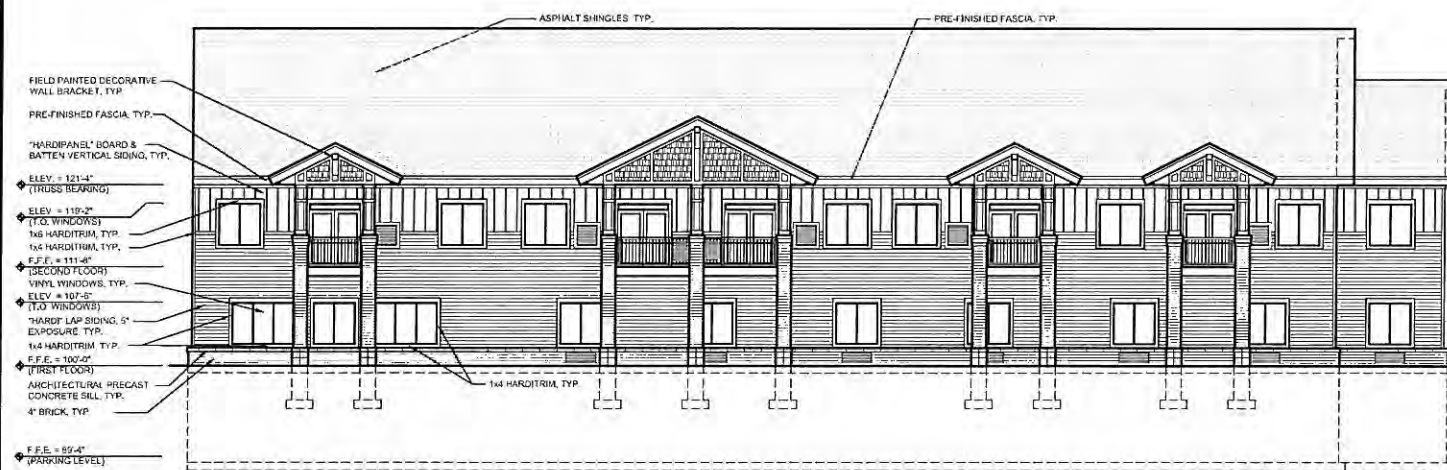


1 EXTERIOR ELEVATION
A3.1 SCALE 1/8" = 1'-0"

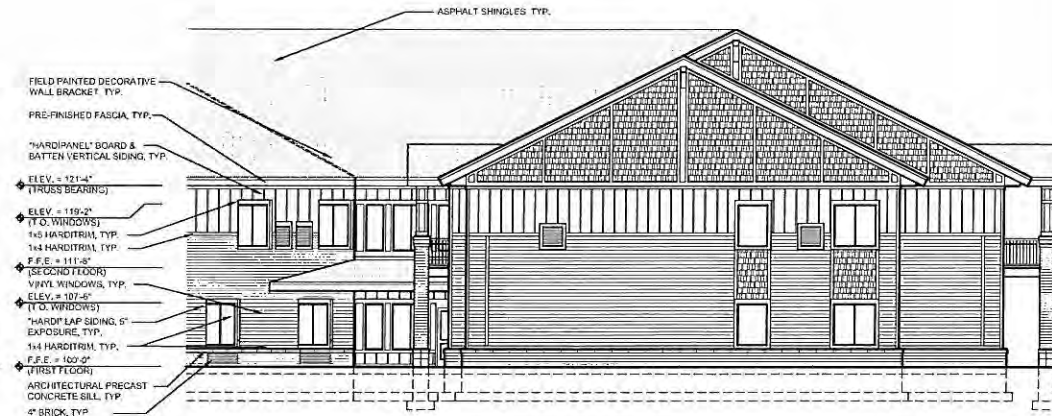
NOTE:
24 SQ. FT. OF WALL SIGNAGE



2 EXTERIOR ELEVATION
A3.1 SCALE 1/8" = 1'-0"



3 EXTERIOR ELEVATION
A3.1 SCALE 1/8" = 1'-0"



4 EXTERIOR ELEVATION
A3.1 SCALE 1/8" = 1'-0"

ARBOR GLEN SENIOR LIVING
LAKE ELMO, MN

AYRES ASSOCIATES
215 N. Second Street, Suite 204
St. Cloud, MN 56301
Phone: (800) 441-4411
Fax: (800) 441-4412

EXTERIOR ELEVATIONS

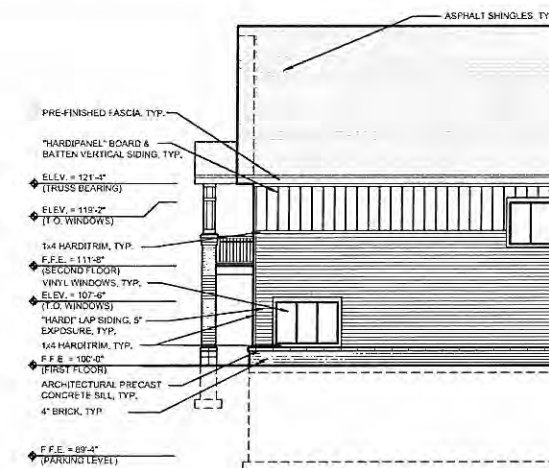
PROJECT NO. 08-1721.00

A3.1

11.10.2015



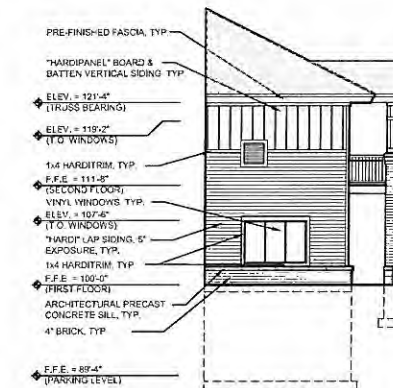
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A3.2 SCALE 1/8" = 1'-0"



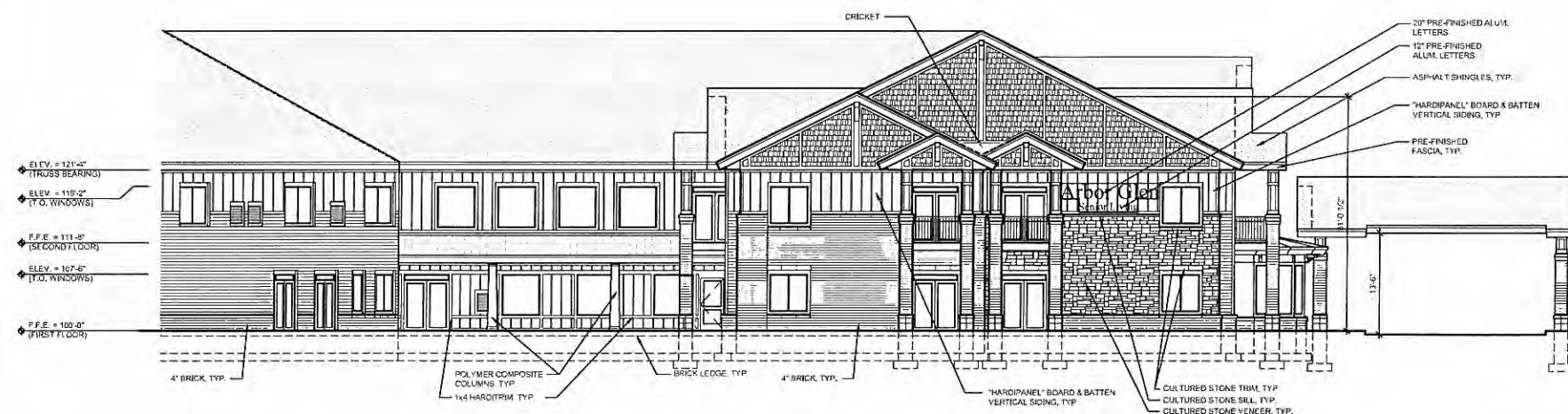
2 EXTERIOR ELEVATION
A3.2 SCALE 1/8" = 1'-0"



3 EXTERIOR ELEVATION
A3.2 SCALE 1/8" = 1'-0"



4 EXTERIOR ELEVATION
A3.2 SCALE 1/8" = 1'-0"



5 EXTERIOR ELEVATION
A3.2 SCALE 1/8" = 1'-0"

NOTE:
41 SQ. FT. OF WALL SIGNAGE

MARK	DATE	DESCRIPTION

ARBOR GLEN SENIOR LIVING
LAKE ELMO, MN

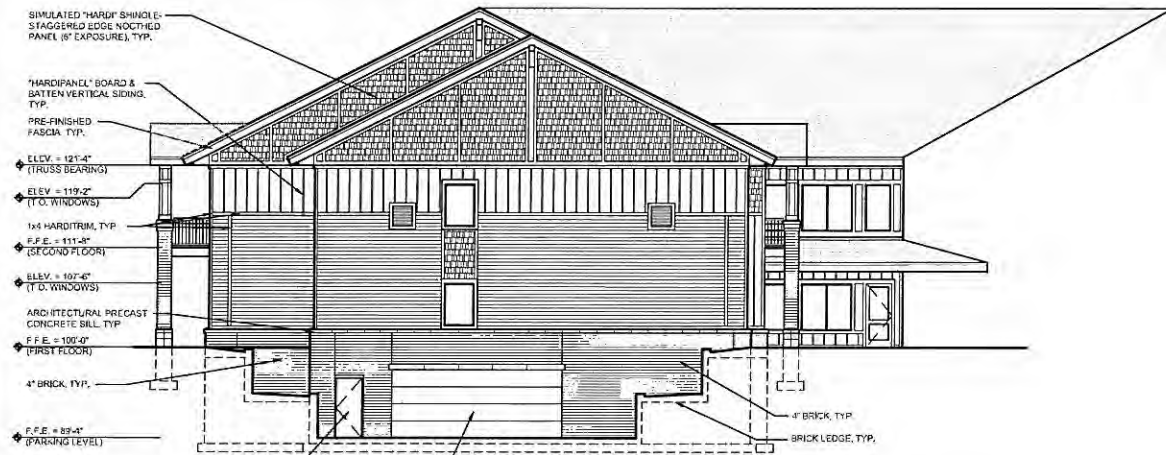
AYRES ASSOCIATES
ARCHITECTS
215 N. Second Street, Suite 200
St. Cloud, MN 56301
(763) 452-4400
Fax: (763) 452-0606

EXTERIOR ELEVATIONS

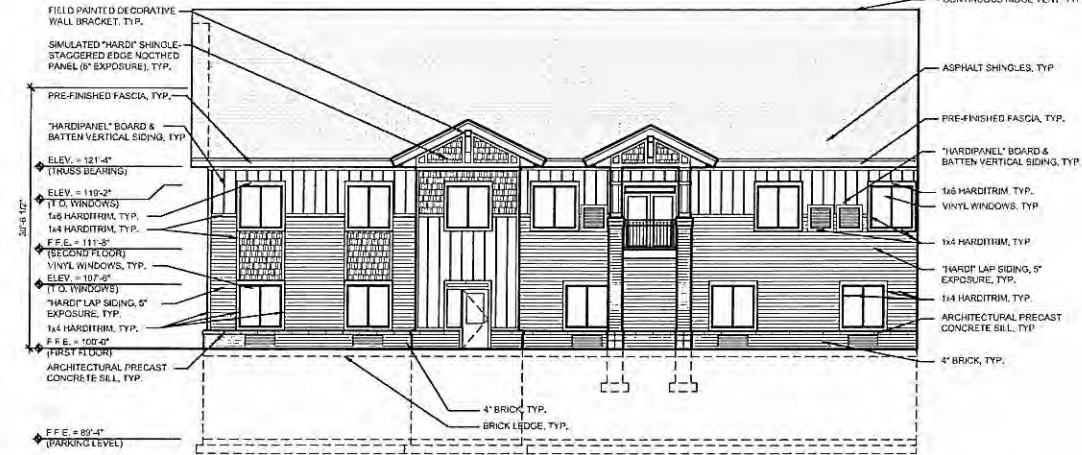
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A3.2

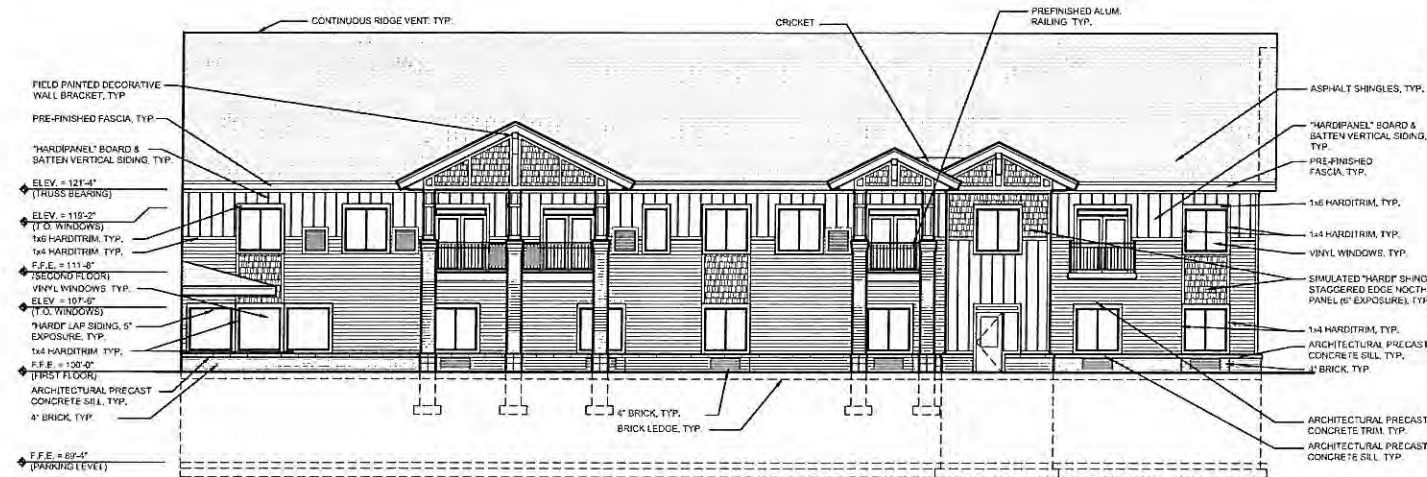
11.10.2015



1
A3.3
EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



2
A3.3
EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



3
A3.3
EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

MARK	DATE	DESCRIPTION

ARBOR GLEN SENIOR LIVING
LAKE ELMO, MN

AYRES ASSOCIATES
ARCHITECTS
5401 Oakdale Drive, Suite 204
Minneapolis, MN 55412
(612) 834-3181
Fax: (612) 834-2606

EXTERIOR ELEVATIONS

PROJECT NO. 06-1721.00

A3.3

11.10.2015

MARK	DATE	DESCRIPTION

ARBOR GLEN SENIOR LIVING
LAKE ELMO, MN

AVRES ASSOCIATES
ARCHITECTS
355 E. Second Street Suite 204
Lake Elmo, MN 55422
(763) 472-4628
Fax: (763) 472-5666

RENDERED
EXTERIOR ELEVATIONS

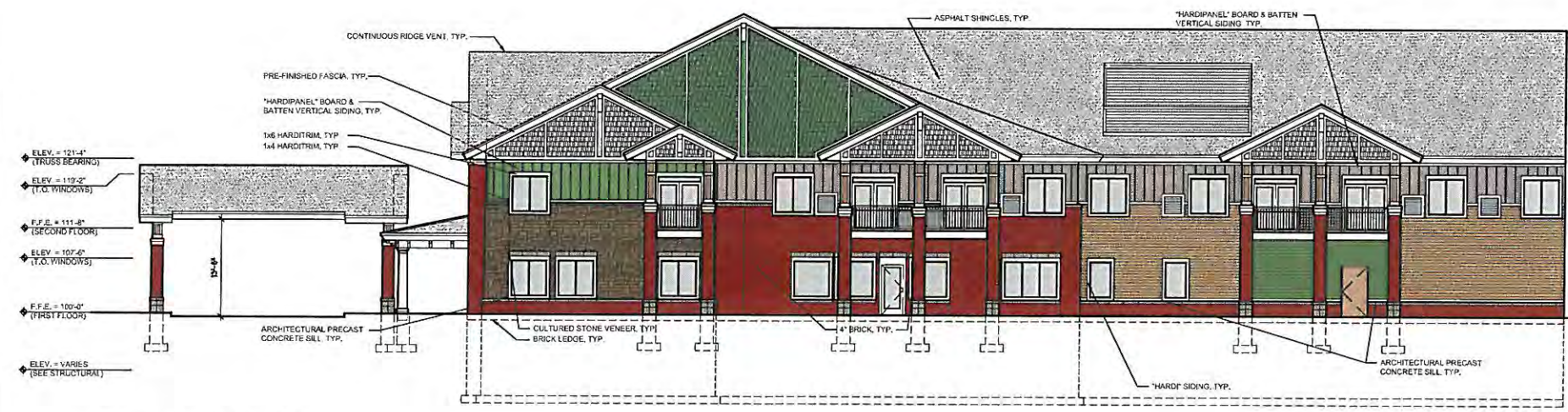
PROJECT NO. 08-1721.00

A3.4

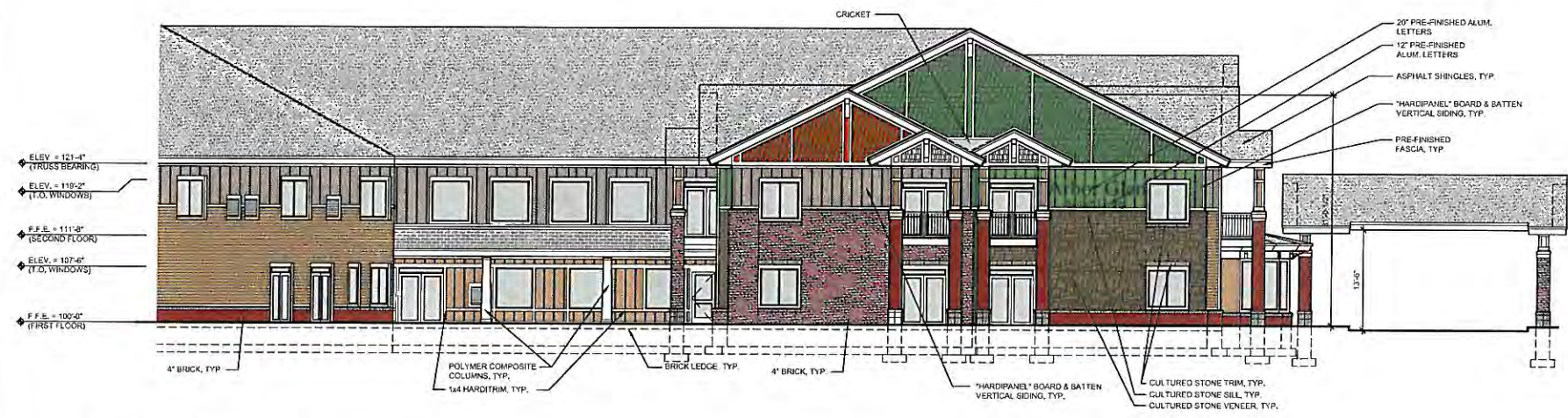
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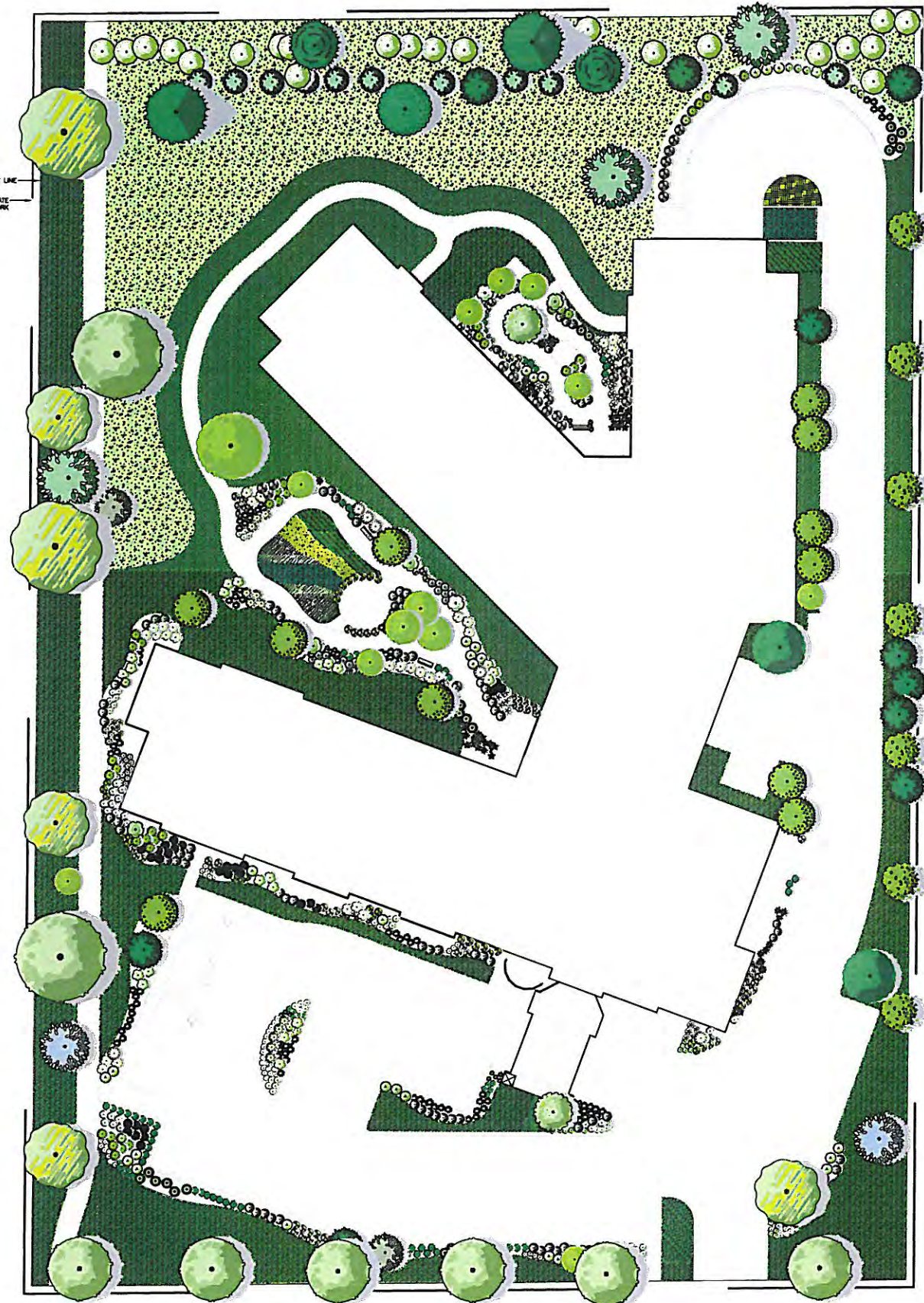
1 EXTERIOR ELEVATION
A3.4 SCALE: 1/8" = 1'-0"



2 EXTERIOR ELEVATION
A3.4 SCALE: 1/8" = 1'-0"



3 EXTERIOR ELEVATION
A3.4 SCALE: 1/8" = 1'-0"



LEGEND	
	PROPERTY LINE
	APPROXIMATE LIMITS OF WORK

- GENERAL NOTES:
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 2. AN IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED BY THE CONTRACTOR TO SUFFICIENTLY IRRIGATE THE PLANTED BEDS WITH DRIP IRRIGATION AND THE SOG AREAS WITH SPRAY OR ROTOR HEADS.
 3. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON ALL DRAWINGS. IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE LABEL, THE PLAN SHALL GOVERN.
 4. ALL PLANTS SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING UNLESS OTHERWISE SPECIFIED OR DETAIL.
 5. ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND.
 6. WITH CONTAINER GROWN STOCK, THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN AT LEAST TWO VERTICAL LOCATIONS.
 7. THE DAY PRIOR TO PLANTING, NOTIFY LANDSCAPE ARCHITECT ONE WEEK PRIOR TO DATE OF SITE VISIT.
 8. ALL PLANTS SHALL BE INSTALLED PER DETAILS AND THE CONTRACT SPECIFICATIONS.
 9. ALL PLANTS AND STAKES SHALL BE SET PLUMB UNLESS OTHERWISE SPECIFIED.
 10. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR MORE OFTEN IF NECESSARY DURING THE FIRST MAINTENANCE PERIOD.
 11. THE LANDSCAPE CONTRACTOR SHALL REFER TO SPECIFICATIONS FOR SEASONAL REQUIREMENTS AND OTHER RESTRICTIONS RELATED TO THE TIME OF PLANTING.
 12. PLANT MATERIAL SHALL NOT BE PRUNED UNLESS OTHERWISE INDICATED IN PLANTING SCHEDULE.
 13. ALL PLANTING AREAS TO BE COVERED 3" DEEP WITH SPECIFIED MULCH. PLACE OVER WEED CONTROL FABRIC UNLESS OTHERWISE NOTED.
 14. ANY PLANT SPECIES SUBSTITUTIONS MUST BE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT AND THE JURISDICTION HAVING AUTHORITY PRIOR TO INSTALLATION.

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1
L1.1
LANDSCAPE RENDERING
SCALE: 1" = 10'



PRELIMINARY
DRAWINGS
NOT FOR
CONSTRUCTION

DATE	DESCRIPTION

ARBOR GLEN SENIOR LIVING
LAKE ELMO, MN

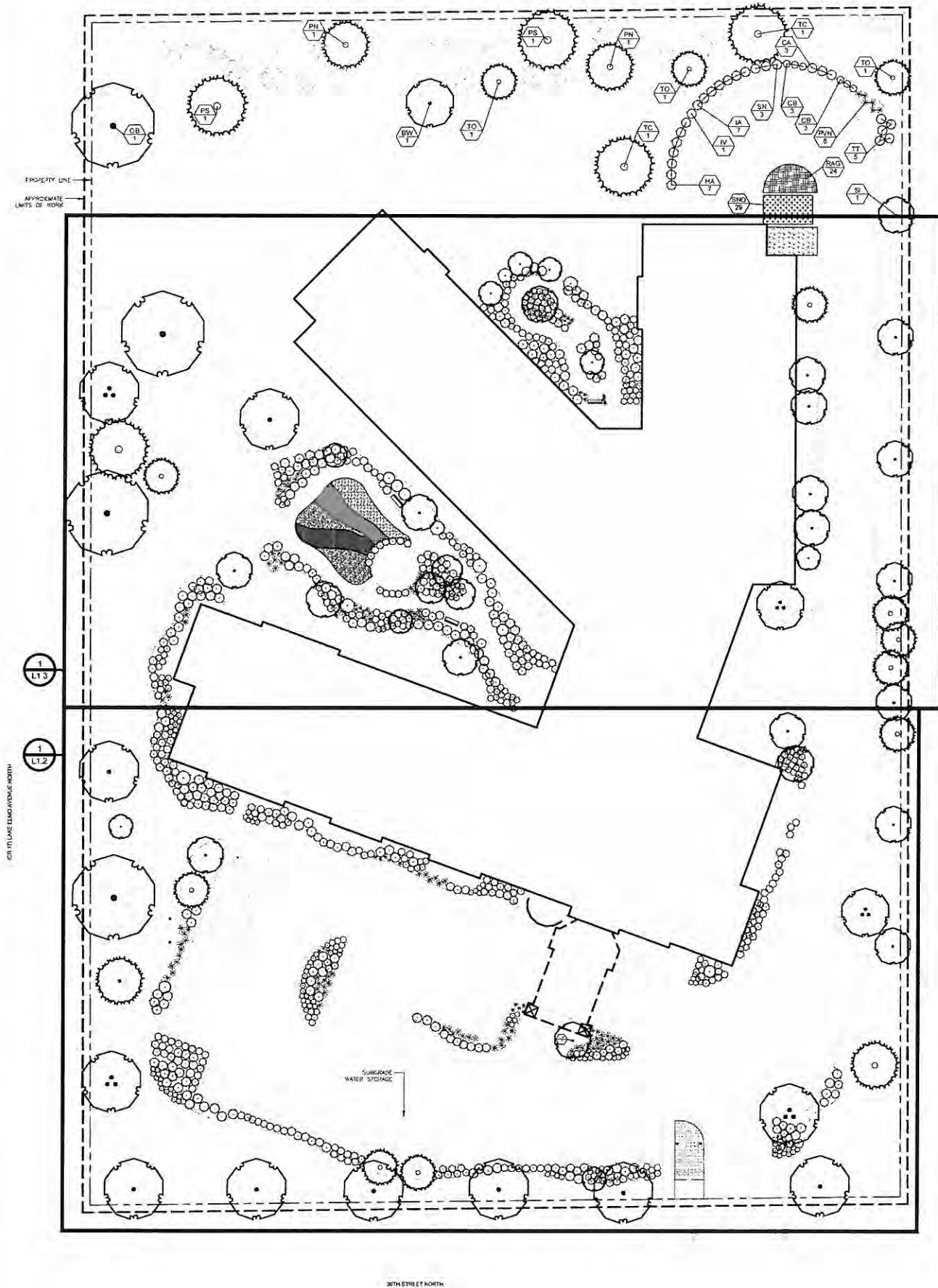
AVRES ASSOCIATES
2715 N. Second Street, Suite 204
Minneapolis, MN 55412
(763) 424-0000
Fax: (763) 755-0000

LANDSCAPE
RENDERING

PROJECT NO. 08-1721-09

L1.0

11/13/2015



LEGEND

--- PROPERTY LINE
--- APPROXIMATE LIMITS OF WORK

GENERAL NOTES:

1. THIS PLAN DESCRIBES THE LANDSCAPE PORTION OF THE PROJECT ONLY. SEE OTHER SHEETS FOR SITE IMPROVEMENT INFORMATION.
2. AN IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED BY THE CONTRACTOR TO SUFFICIENTLY IRRIGATE THE PLANTED AREAS WITH DEEP FURROW AND THE 600 ARLAS WITH SPRAY OR ROTOR HEADS.
3. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON ALL DRAWINGS. IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE LABEL, THE PLAN SHALL GOVERN.
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14. ANY PLANT SPECIES SUBSTITUTIONS MUST BE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT AND THE JURISDICTION HAVING AUTHORITY PRIOR TO INSTALLATION.

	Quantity	Botanical	Common	Cont.	Size	Plant %
DECIDUOUS TREES						
AM	1	Acer saccharum	Green Mountain TM	Green Mountain Sugar Maple	B & B	2.5' Cal. 0.07
BN	3	Betula nigra		River Birch Multi-Trunk	B & B	2.5' Cal. 0.20
BW	1	Betula populifolia	'Whitespire Sr.'	Gray Birch	B & B	2.5' Cal. 0.07
GB	2	Ginkgo biloba	(Male species only)	Medicinal Tree	B & B	2.5' Cal. 0.13
GT	6	Gleditsia triacanthos	(Male species only)	Honey Locust	B & B	2.5' Cal. 0.40
QA	1	Quercus acuminata		Chinkapii Oak	B & B	2.5' Cal. 0.07
QB	2	Quercus bicolor		Swamp White Oak	B & B	2.5' Cal. 0.13
EVERGREEN TREES						
JE	2	Juniperus virginiana		Eastern Red Cedar	B & B	6-8 H 0.13
PC	1	Picea pungens		Colorado Spruce	B & B	6-8 H 0.07
PF	1	Picea pungens	'Fat Albert'	Colorado Spruce	B & B	6-8 H 0.07
PN	2	Pinus nigra		Austrian Black Pine	B & B	6-8 H 0.13
PS	2	Pinus strobus		White Pine	B & B	6-8 H 0.13
TO	10	Thuja occidentalis		American Arborvitae	B & B	6-8 H 0.67
TC	3	Tsuga canadensis		Canadian Hemlock	B & B	6-8 H 0.20
ORNAMENTAL TREES						
CE	2	Cercis canadensis		Eastern Redbud Multi-Trunk	B & B	2" Cal. 0.13
CV	2	Chionanthus virginicus		White Fringetree	B & B	2" Cal. 0.13
HM	3	Hepacodium miconoides		Seven Sons Flower	B & B	2" Cal. 0.20
MR	9	Magnolia stellata	'Royal Star'	Royal Star Magnolia	B & B	2" Cal. 0.60
MP	11	Malus x Prairifire		Prairifire Crab Apple	B & B	2" Cal. 0.74
SI	7	Syringa reticulata	'Ivory Silk'	Ivory Silk Japanese Tree Lilac	B & B	2" Cal. 0.47
DECIDUOUS SHRUBS						
ARA	33	Aronia arbutifolia	'Brilliantissima'	Brilliant Red Chokeberry	5 gal	2.21
ARM	43	Aronia melanocarpa	'Monon TM'	Inquis Beauty Black Chokeberry	5 gal	2.89
BG	56	Buxus x Green Velvet		Bonwood	5 gal	3.76
CB	9	Cornus alba	'Bud's Yellow'	Bud's Yellow Dogwood	5 gal	0.60
CA	24	Cornus stolonifera	'Arctic Fire'	Arctic Fire Dogwood	5 gal	1.61
HS	4	Hamelalis vernalis		Spring Blooming Witchhazel	5 gal	0.27
HV	2	Hamelalis virginiana		Common Witch Hazel	5 gal	0.13
HA	38	Hydrangea arborescens	'Annabelle'	Annabelle Smooth Hydrangea	5 gal	2.55
HE	43	Hydrangea macrophylla	'Endless Summer TM'	Balmier Hydrangea	5 gal	2.89
HL	32	Hydrangea paniculata	'Limelight TM'	Limelight Hydrangea	5 gal	2.15
HQ	22	Hydrangea quercifolia		Oakleaf Hydrangea	5 gal	1.48
IA	42	Ilex verticillata	'Athenaflow'	Athenaflow Winterberry	5 gal	2.82
IV	5	Ilex verticillata	'Jim Dandy'	Jim Dandy Winterberry	5 gal	0.34
PON	11	Physocarpus opulifolius	'Nanus'	Dwarf Ninebark	5 gal	0.74
RG	8	Rhus aromatica	'Gro-Low'	Gro-Low Fragrant Sumac	5 gal	0.54
RB	28	Rhus typhina	'Ballerger TM'	Tiger Eyes Sumac	5 gal	1.68
SN	24	Spirea niponica	'Snowmound'	Snowmound Spirea	5 gal	1.61
VCC	3	Viburnum coccineum	'Compactum'	Korean Spice Viburnum	5 gal	0.20
VC	13	Viburnum opulus	'Compactum'	Compact European Cranberrybush	5 gal	0.87
EVERGREEN SHRUBS						
CG	6	Chamaecyparis pisifera	'Golden Mop'	Golden Mop Threadleaf False Cypress	5 gal	0.40
JD	12	Juniperus chinensis	'Dauco x Frosted'	Dauco x Frosted Juniper	5 gal	0.81
MD	3	Microbiota decussata		Siberian Carpet Cypress	5 gal	0.20
TT	25	Taxus x media	'Taunton'	Taunton Yew	5 gal	1.68
GRASSES						
PVN	90	Panicum virgatum	'North Wind'	Northwind Switch Grass	1 gal	0.64
PVS	14	Panicum virgatum	'Shenandoah'	Burgundy Switch Grass	1 gal	0.54
SL	5	Schizachyrium scoparium		Little Bluestem Grass	1 gal	0.34
SH	34	Sporobolus heterolepis		Prairie Dropseed	1 gal	2.28
PERENNIALS						
ACH	28	Achillea x Moonshine		Moonshine Yarrow	1 gal	1.68
AAB	18	Astilbe x arendsii	'Bridal Veil'	Bridal Veil Astilbe	1 gal	1.21
AAF	19	Astilbe x arendsii	'Fanal'	Fanal Astilbe	1 gal	1.07
DC	25	Dicentra x Candy Hearts		Bleeding Heart	1 gal	1.68
EA	24	Echinacea purpurea	'Alba'	White Coneflower	1 gal	1.61
HG	36	Hemerocallis x Gching Bonanas		Daylily	1 gal	2.55
HO	34	Hosta x Big Daddy		Platinum Lily	1 gal	2.28
HBC	66	Hosta x Brit Cup		Platinum Lily	1 gal	3.76
HE	35	Hosta x Earth Angel		Platinum Lily	1 gal	2.42
HF	41	Hosta x Fire and Ice		Platinum Lily	1 gal	2.75
MJ	16	Monarda didyma	'Jacob Cline'	Jacob Cline Bee Balm	1 gal	1.07
PA	3	Perovskia atriplicifolia		Russian Sage	1 gal	0.20
SNE	16	Salvia nemorosa	'East Friesland'	East Friesland Perennial Sage	1 gal	1.21
SA	32	Salvia x Autumn Fire		Autumn Fire Salvia	1 gal	2.15
SNA	21	Symphoricarum novae-angliae		New England Aster	1 gal	1.41
					Spacing	
SHRUB AREAS						
RAG	24	Rhus aromatica	'Gro-Low'	Gro-Low Fragrant Sumac	1 gal	36" 1.61
PERENNIAL AREAS						
CZ	61	Coeopsis verticillata	'Zagreb'	Zagreb Thread Leaf Coreopsis	1 gal	24" 4.68
EDP	61	Echinacea purpurea		Purple Coneflower	1 gal	30" 5.44
SNF	58	Salvia nemorosa	'East Friesland'	East Friesland Perennial Sage	1 gal	30" 3.89
SNO	56	Symphoricarum novae-angliae		New England Aster	1 gal	36" 3.76
GROUND COVERS						
CP	104	Carex pennsylvanica		Pennsylvania Sedge	1 gal	20" 5.98

MARK	DATE	DESCRIPTION

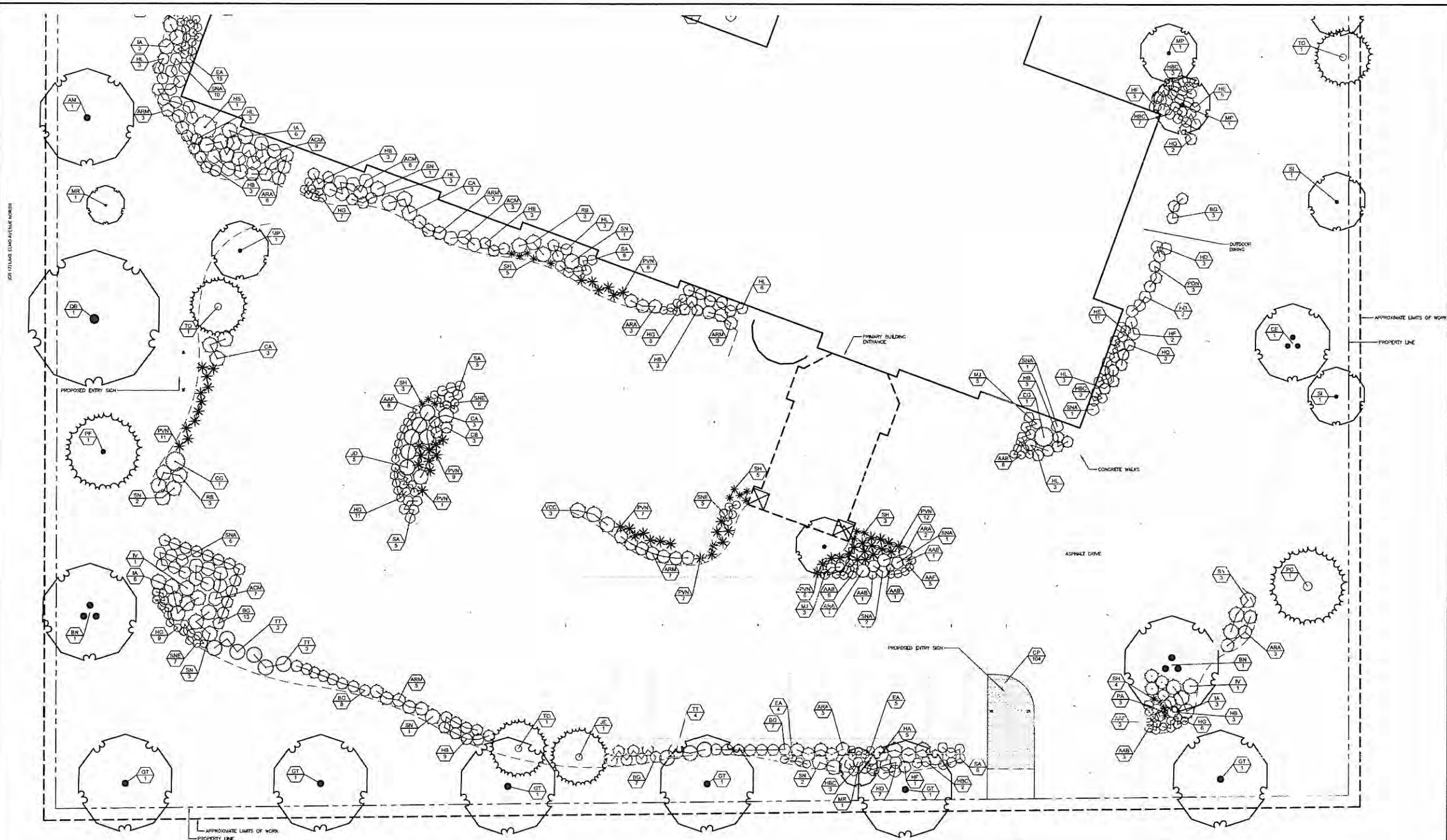
ARBOR GLEN SENIOR LIVING
LAKE ELMO, MN

AYRES ASSOCIATES
Landscape Architecture
10000 Lake Elmo Road, Suite 204
Lake Elmo, MN 55049
Phone: (763) 465-5866
Fax: (763) 465-5866

LANDSCAPE PLAN

PROJECT NO. 08-1771.00
L1.1
11.13.2015

PRELIMINARY
DRAWINGS
NOT FOR
CONSTRUCTION



1 LANDSCAPE PLAN ENLARGEMENT
L1.2 SCALE: 1"=10'

LEGEND	
---	PROPERTY LINE
---	APPROXIMATE LIMITS OF WORK
---	STEEL EDGING

GENERAL NOTES:

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- ALL PLANTS AND STAKES SHALL BE SET PLUMB UNLESS OTHERWISE SPECIFIED.
- ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR MORE OFTEN IF NECESSARY DURING THE FIRST MAINTENANCE PERIOD.
- THE LANDSCAPE CONTRACTOR SHALL REFER TO SPECIFICATIONS FOR SEASONAL REQUIREMENTS AND OTHER RESTRICTIONS RELATED TO THE TIME OF PLANTING.
- PLANT MATERIAL SHALL NOT BE PRUNED UNLESS OTHERWISE INDICATED IN PLANTING SCHEDULE.
- ALL PLANTING AREAS TO BE COVERED 3" DEEP WITH MULCH. PLACE OVER WOOD CONTROL FABRIC UNLESS OTHERWISE NOTED.
- ANY PLANT SPECIES SUBSTITUTIONS MUST BE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT AND THE JURISDICTION HAVING AUTHORITY PRIOR TO INSTALLATION.

PRELIMINARY
DRAWINGS
NOT FOR
CONSTRUCTION

MARK	DATE	DESCRIPTION

ARBOR GLEN SENIOR LIVING
LAKE ELMO, MN

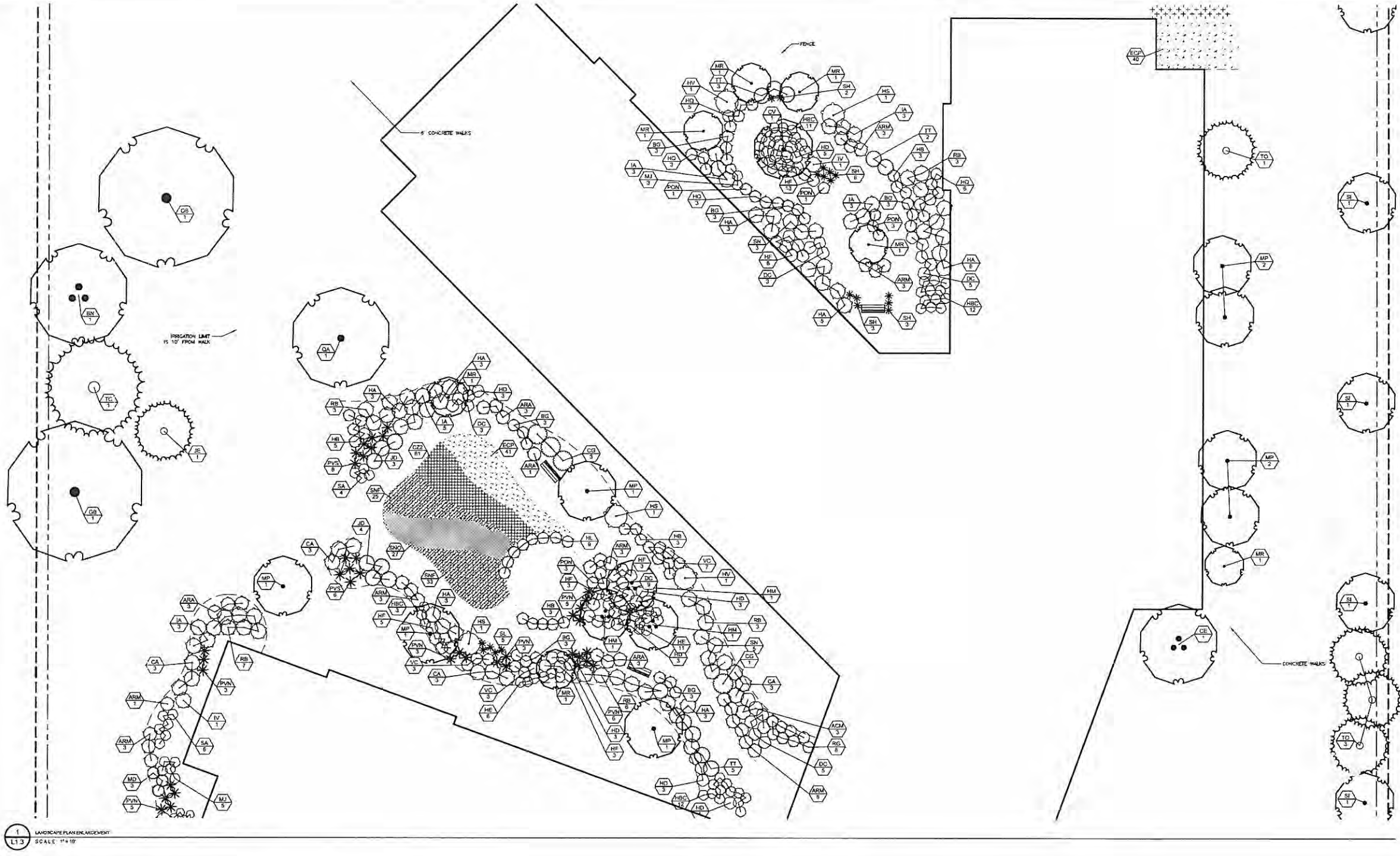
AVRES ASSOCIATES
Landscape Architecture
2115 Lake Street, Suite 204
Lake Elmo, MN 55049
(763) 434-4008
Fax: (763) 434-4008

LANDSCAPE PLAN
ENLARGEMENT

PROJECT NO. 08-1721.00

L1.2

11.13.2015



LEGEND	
---	PROPERTY LINE
---	APPROXIMATE LIMITS OF WORK
---	STEEL EDGING

- GENERAL NOTES:**
1. THIS PLAN DESCRIBES THE LANDSCAPE PORTION OF THE PROJECT ONLY. SEE OTHER SHEETS FOR SITE IMPROVEMENT INFORMATION.
 2. AN IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED BY THE CONTRACTOR TO SUFFICIENTLY IRRIGATE THE PLANTED BEDS WITH DRIP IRRIGATION AND THE SOO AREAS WITH SPRAY OR ROTOR HEADS.
 3. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON ALL DRAWINGS. IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE LABEL, THE PLAN SHALL GOVERN.
 4. ALL PLANTS SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANTS ORIGINAL GRADE BEFORE ORDERING UNLESS OTHERWISE SPECIFIED OR DETAILED.
 5. ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND.
 6. WITH CONTAINER GROWN STOCK, THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN AT LEAST TWO VERTICAL LOCATIONS.
 7. THE DAY PRIOR TO PLANTING, NOTIFY LANDSCAPE ARCHITECT ONE WEEK PRIOR TO DATE OF SITE VISIT.
 8. ALL PLANTS SHALL BE INSTALLED PER DETAILS AND THE CONTRACT SPECIFICATIONS.
 9. ALL PLANTS AND STAKES SHALL BE SET PLUMB UNLESS OTHERWISE SPECIFIED.
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PRELIMINARY
DRAWINGS
NOT FOR
CONSTRUCTION

MARK	DATE	DESCRIPTION

ARBOR GLEN SENIOR LIVING
LAKE ELMO, MN

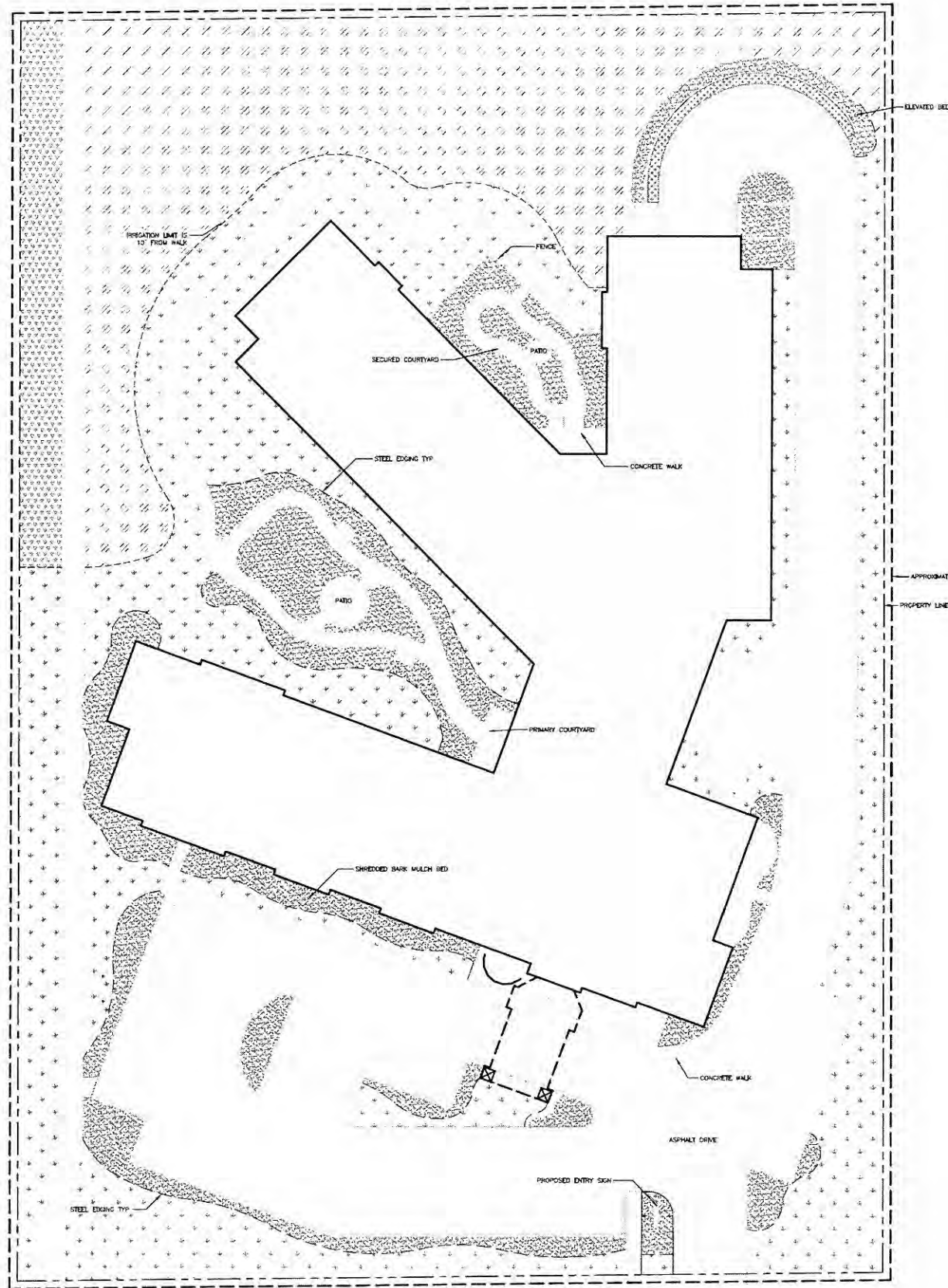
AVRES ASSOCIATES
Landscape Architecture
3535 University Avenue, Suite 204
St. Paul, MN 55112
(763) 944-1000
Fax: (763) 944-1001

LANDSCAPE PLAN
ENLARGEMENT

PROJECT NO. 08-1721-00

L1.3

11.13.2015



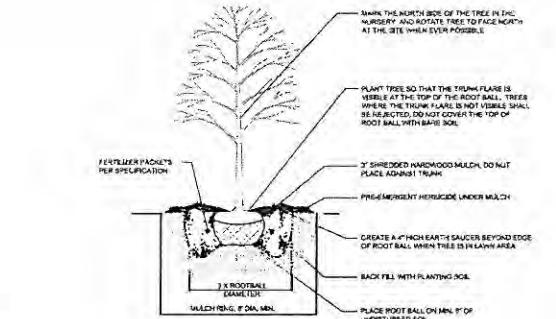
LEGEND

- PROPERTY LINE
- APPROXIMATE LIMITS OF WORK
- STEEL EDGING
- IRRIGATED SOD
- NON IRRIGATED SOD
- LAWN SEED MIX
- IRRIGATED BARK MULCH PLANTING BED
- 1-3" ROCK MULCH

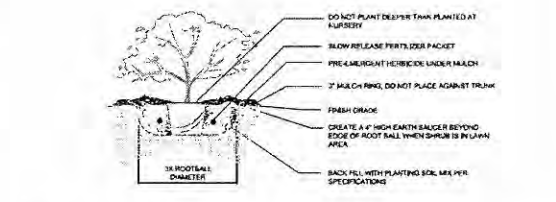
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SOD AND LAWN SCHEDULE

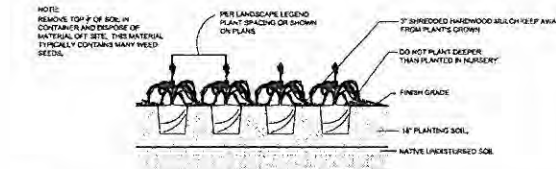
GRASS MIX			
Pectica brevifolia / Hired Fescue	4,970 sf	20%	--
Pectica rubra / Red Fescue	4,970 sf	20%	--
Colium perenne / Perennial Ryegrass	8,213 sf	25%	--
Poa pratensis / Kentucky Bluegrass	8,698 sf	35%	--
* * * SOD		24,835 sf	
Poa pratensis / Kentucky Bluegrass			



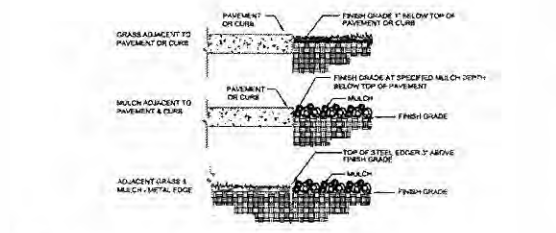
- 2 TREE PLANTING DETAIL**
L1.4 NTS
1. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, COORDINATE LIMBS, AND BRANCHES OR BRANCHES. SOME HEAVY TRIMMING AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
 2. STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
 3. WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
 4. REMOVE ALL TWIG, ROPE, WIRE AND BURLAP FROM TOP AND SIDES OF ROOT BALL.



- 3 SHRUB PLANTING DETAIL**
L1.4 NTS



- 4 PERENNIAL PLANTING DETAIL**
L1.4 NTS



- 5 BED EDGING DETAIL**
L1.4 NTS

MARK	DATE	DESCRIPTION

ARBOR GLEN SENIOR LIVING
LAKE ELMO, MN

AYRES ASSOCIATES
Landscape Architecture
3800 Oakdale Avenue, Suite 204
St. Louis, Missouri 63110
Phone: (314) 435-1100
Fax: (314) 435-1101

LANDSCAPE MATERIALS PLAN AND DETAILS

PROJECT NO: 08-1721-00
L1.4
11.13.2015

1 LANDSCAPE MATERIALS PLAN
L1.4 SCALE: 1"=20'



PRELIMINARY
DRAWINGS
NOT FOR
CONSTRUCTION

MEMORANDUM

FOCUS ENGINEERING, inc.

Cara Geheren, P.E.	651.300.4261
Jack Griffin, P.E.	651.300.4264
Ryan Stempski, P.E.	651.300.4267
Chad Isakson, P.E.	651.300.4285

Date: December 7, 2015

To: Stephen Wensman, City
Cc: Planner Ben Gozola, Senior Planner, Sambatek
From: Jack Griffin, P.E., City Engineer

Re: Arbor Glen Senior Living
Final Plat Review

Engineering has reviewed the revised Site Plans for the Arbor Glen Senior Living Building. The submittal consisted of the following documentation prepared by Ayres Associates:

- Civil Plans, including Certificate of Survey; Site Plan; Grading, Drainage and Erosion Control Plans; Utility Plan; and Construction Details, dated November 10, 2015.
- Stormwater Management Plan dated November 17, 2015.
- Architectural Plans, Site Photometric and Landscape Plans were received but are not a part of this review.

STATUS/FINDINGS: The engineering review comments have been separated for Final Plat approval and Final Construction Plan approval. Please see the following review comments relating to the Final Plat application and approval.

1. The Stormwater Management Plan must be approved by the VBWD to receive VBWD permitting requirements. The VBWD preliminary review indicates that the plan is compliant with VBWD rules. Any plan changes required by other permitting agencies must be resubmitted for City review and approval.
2. The Stormwater Management Plan was received, dated November 17, 2015 and includes the following:
 - The plan proposes an on-site filtration basin together with a StormTech underground infiltration chambers. Due to on-site soils being marginally suitable for infiltration, drain tile underdrains have been included in the plans.
 - The project proposes to divert the runoff from the north filtration basin to the Village Preserve stormwater pond and ultimately to the Goetschel Pond subwatershed. Engineering views this as a favorable stormwater diversion proposal.
 - The VBWD is considering to approve a variance request as the underground parking garage first floor elevation will be 2-feet above the 100-year on-site flood level. The VBWD has required additional engineering submittals to demonstrate alternative protection against flooding.
3. Easements and Agreements: Drainage and utility easements and easement agreements in the City's standard form must be provided as outlined below and as shown on the November 17, 2015 Civil Site Plans. The following easement agreements must be recorded at Washington County prior to the start of construction.
 - Easement for connection to the existing 39th Street storm sewer.
 - Easement for the storm sewer outfall pipe to the City storm water pond at Village Preserve.
 - Easement for 6-inch Watermain extension interior to the site. This watermain and hydrant will be publically owned and maintained.

- The plans must be updated to provide 3 additional fire hydrants, and associated watermain, as requested by the Lake Elmo Fire Chief. The Site, Grading and Utility Plans must be updated to include additional watermain easements accordingly and the necessary easement agreements must be provided for recording at Washington County.
- A storm water easement and maintenance agreement must be provided to the City in the City's standard form and recorded with Washington County indicating that the applicant will own and operate the private on-site storm water system including the infiltration basin and parking lot underground storm chamber system.

Stephen Wensman

From: Benjamin Gozola, AICP <BGozola@sambatek.com>
Sent: Friday, December 04, 2015 4:48 PM
To: Stephen Wensman
Cc: Clark Schroeder
Subject: Suggested Comp Plan Amendment

Alright – I think we have a winner.

I've confirmed your finding that "Congregate Housing" is a conditionally permitted use in the VMX zoning district (154.501), and I'm happy if you're happy that the proposed use fits the definition of congregate housing (I've never seen a ton of specifics on what they want to do). Because our only zoning hang-up is the density restriction in Section 154.502(a), we just need to amend the comp plan to eliminate that restriction.

- Applicant can proceed with their rezoning application and conditional use permit applications, but should also be made to apply for a comprehensive plan amendment as well. All three applications will be reviewed concurrently. Making them apply for the comp plan amendment will be an implicit acknowledgement by the applicant that they fully understand their applications are non-compliant with existing regulations and that all requests are at their own risk.
- Their Comp Plan amendment request can simply be the application, fee, and a letter stating they would like the comprehensive plan amended to allow senior/congregate housing at higher density than standard residential development. We as staff can take it from there.
- **The Comp Plan amendment should include the following changes to Section III (Land Use), page 22:**

The land use categories as applied in the Village Planning Area include:

- V-LDR – Village Urban Low Density Residential at 1.5 to 2.5 units per acre
- V-MDR – Village Urban Medium Density Residential at 3.0 to 4.0 units per acre *
- VMX – Village Mixed Use with residential densities of 6.0 to 10.0 units per acre *

* Congregate Housing in the V-MDR or VMX land use categories may exceed the listed density maximums up to **X.X units per acre** provided the facility can satisfy all applicable conditional use permit review criteria.

- **The Comp Plan amendment should also include the following changes to Section IV (Housing), page 6:**
 3. **Expand housing opportunities for seniors in Lake Elmo, placing an emphasis on affordability and life-cycle housing.** As the data from the 2010 Census indicates, the Lake Elmo population is aging. 11.0% of the population in Lake Elmo is over the age of 65. In order to provide opportunities for these residents to remain in Lake Elmo, the City must strive to attract and develop a greater variety of housing that suits the needs of seniors, including those who require medical assistance or are disabled, requiring barrier-free housing. In addition, affordability is increasingly becoming an important factor for many seniors in making housing choices. To give these residents the option to remain in Lake Elmo, developing housing options that are both senior friendly and affordable will be critical over the next 25 years and beyond.
Senior/congregate housing is recognized as being different from standard multi-family residential development given that residents in such facilities no longer have to be at work, pick up their children, or do their shopping at specific times of the day; some residents don't even drive anymore. Furthermore, many senior communities provide on-site services to meet their residents' needs which further reduces the overall impacts typically associated with high-density residential

buildings. Because of these differences and the recognized need for these facilities within the City, senior/congregate housing may be allowed at densities of up to X.X units per acre.

- Approval of the rezoning and CUP will need to be contingent upon Met Council approval of the comp plan amendment and final publication.

We should play with this language some more, but I think those two changes get you where you need to be.

We can chat more next week – hope you have a great weekend!

Benjamin Gozola, AICP

Senior Planner

P 763.746.1650 M 952.217.0252 E BGozola@sambatek.com



Minnetonka, MN | Mandan, ND



Engineering | Surveying | Planning | Environmental

[MFRA is now Sambatek!](#)