



3800 Laverne Avenue North  
Lake Elmo, MN 55042

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www.lakeelmo.org

## NOTICE OF MEETING

The City of Lake Elmo  
Planning Commission will conduct a meeting on  
**Monday April 23, 2018**  
**at 7:00 p.m.**

### AGENDA

1. Pledge of Allegiance
2. Approve Agenda
3. Approve Minutes
  - a. March 12, 2018
  - b. March 26, 2018
4. Public Hearings
  - a. ZONING TEXT AMENDMENT – The Planning Commission is being asked to review proposed amendments to exempt solar energy systems from the size and number requirement of the accessory structure ordinance and amending language regarding additional accessory structures within the rural districts.
5. Business Items
  - a. EASTON VILLAGE 4<sup>TH</sup> ADDITION FINAL PLAT. Chase development is requesting final plat approval for the 4<sup>th</sup> addition of Easton Village. This addition will include 25 single family lots that are located on 7.85 acres.
  - b. COMPREHENSIVE PLAN UPDATE
6. Communications
  - a. City Council Updates – 4/3/18 Meeting
    - a. Subdivision Ordinance Regulations - passed
    - b. Variance Request 8728 Demontreville Trail - passed
  - b. Staff Updates
    - a. Upcoming Meetings:
      - May 7, 2018
      - May 30, 2018 (note change in meeting date)
7. Adjourn

\*\*\*Note: Every effort will be made to accommodate person or persons that need special considerations to attend this meeting due to a health condition or disability. Please contact the Lake Elmo City Clerk if you are in need of special accommodations.



**City of Lake Elmo  
Planning Commission Meeting  
Minutes of March 12, 2018**

Chairman Dodson called to order the meeting of the Lake Elmo Planning Commission at 7:00 p.m.

**COMMISSIONERS PRESENT:** Kreimer, Dodson, Dorschner, Pearce, Weeks, & Hartley

**COMMISSIONERS ABSENT:** Lundquist, Emerson and Johnson

**STAFF PRESENT:** Planning Director Becker and City Planner Prchal

**Approve Agenda:**

M/S/P: Hartley/Kreimer, move to approve the agenda as amended, ***Vote: 6-0, motion carried unanimously***

**Approve Minutes:** February 26, 2018

M/S/P: Hartley/Dorschner, move to approve the February 26, 2018 minutes as amended, ***Vote: 6-0, motion carried unanimously.***

**Public Hearing – Variance – 8990 Lake Jane Trail - Tabled**

Becker stated that the applicant wished to have this item tabled to a future meeting. As this was a published public hearing, the public hearing should be opened and closed at this time.

Public Hearing opened at 7:09 pm

No one spoke and there were no written comments.

Public Hearing closed at 7:10 pm

**Public Hearing – Variance – 8980 Hudson Blvd Sign Variance**

Prchal started his presentation regarding the wall sign for Park Dental at 8980 Hudson Blvd. This is for a third wall sign for the building, where only one is allowed and it is limited by the lineal feet of the building. This sign along with the existing signs would actually meet the allowed sign area, but a variance is required because of the number of signs allowed is exceeded. This variance application will need to meet the four criteria

for variances. Practical difficulties, unique circumstances, character of locality and no impact to adjacent properties and traffic. Staff feels that these four criteria have been met.

Staff is recommending approval of the variance based on the findings noted in 1, 2, 3 & 4 with the conditions that a comprehensive sign plan be submitted and approved for the building and that a sign permit application be submitted, approved and issued prior to installation.

Pearce is wondering what would stop any other business from going through the same process. Prchal stated that there would be nothing to stop them other than it would be based on recommendation from staff and the Planning Commission.

Hartley stated that if they are required to submit a comprehensive sign plan that would address any issues regarding other tenants.

Dorschner is wondering if the other tenant was contacted and if a variance could be granted for them along with this one. Becker stated that the public hearing was not noticed that way and they are not requesting anything at this time.

Dodson is wondering how much over the code they are with the square footage. Prchal stated that they are not over on square footage, it is the number of signs that they will end up with that requires the variance. Dodson asked about the character of locality and if the light pollution has been taken into consideration. Prchal stated that the sign code does not allow them to go above a certain number of foot candles.

Hartley stated that there is already a ground sign for this business. Hartley is wondering if the code allows them to have both the ground sign and wall sign. Prchal stated that they are allowed to have both.

Dr. Mathew Hendrickson, a dentist with Park Dental, stated that the current signage makes it difficult to see them, especially if someone is driving from the East. By the time the driver sees the ground sign, they are already passed the building and need to do a U-turn.

Public Hearing opened at 7:28 pm

No one spoke and there was no written correspondence.

Public Hearing closed at 7:28 pm

M/S/P: Kreimer/Dorschner, move to recommend approval of the variance request at 8980 Hudson Boulevard N. to allow a third wall sign based on the findings and conditions identified in the staff report, **Vote: 6-0, motion carried unanimously.**

M/S/P: Dodson/Dorschner, move to add to the finding regarding locality that the lighting of the additional signs will not impact light pollution in that location, **Vote: 6-0, motion carried unanimously.**

Weeks feels that the City should be helping the business owners to be more visible so that they can stay in the community.

#### **Public Hearing – Final Plat and Planned Unit Development – Wildflower 3<sup>rd</sup> Addition**

Becker started her presentation regarding the Final Plat and PUD Plans for Wildflower 3<sup>rd</sup> addition. There will be 25 single family homes located to the east of the second phase. The parkland dedication was satisfied with 1<sup>st</sup> addition. The landscape plan will need to be revised based on the landscape architects comments. There are 9 recommended conditions of approval for the final plat.

Dorschner would like the required items to say must instead of should to make it more clear.

Weeks is wondering who would make the decision regarding the 2 options of sanitary sewer. Becker stated that it is between the developer and the City Engineer if there is approval on the equipment for the grinder pump. The construction plans regarding this would need to be approved prior to recording of the final plat.

Dorschner is wondering about the theming elements listed in the Preliminary Plat conditions. Becker stated that the theming was encouraged, but not required.

Public Hearing opened at 7:41 pm

Becker stated that there has been a number of requests to see plans and Richard Smith had a question regarding phasing.

Public Hearing closed at 7:42 pm

Dodson is concerned about the grinder pumps. The Farms of Lake Elmo has had issues with the grinder pumps and they can back up. Dodson stated that after speaking to the City Engineer he has less concerns. City Engineer Griffin stated that the lifetime cost of the grinder pump is less than a lift station. However, the grinder pumps have to be replaced about every 7 years and can be costly.

Hartley feels that there should be a central lift station rather than having people maintain individual grinder pumps. Dodson is wondering if the City needs to provide notification of what type of system the home has when the home is purchased. Becker stated that there is not. Weeks stated it is up to the homeowner to understand the

mechanics and what they are purchasing. Kreimer feels that this item should be left as it is written and be left to the developer and the City Engineer.

Dorschner is concerned that a lot of this is in the FEMA flood zone. Is this something that new homeowners are made aware of when they purchase these homes? Becker stated that it has been modified to be taken out of the FEMA district.

M/S/P: Kreimer/Dodson, move to recommend approval of the final plat and PUD development plans for the Wildflower at Lake Elmo 3<sup>rd</sup> Addition with 9 conditions based on the findings listed in the staff report, **Vote: 6-0, motion carried unanimously**

### **Business Item – Comprehensive Plan Draft Review**

Jennifer Haskamp, SHC Consulting, has been working on the Comprehensive Plan for approximately a year. There have been 9 meetings with the advisory panel, which met almost once a month. The advisory group has been working on each of the components of the comprehensive plan. There have been a few stakeholder meetings with areas that are slated to change and areas that are not planned to change. Members of SHC have attended several City events to try to get feedback from the general community.

The draft Land Use chapter contains goal statements, checklist items that are required by the Metropolitan Council, some new land use designations and document highlights. There are “call outs” called Land Use Goals that will be seen within the document. The Checklist items are the high level items that need to be in the document. These include Community designations, existing land use, future land use, density calculations and staged development and growth.

Existing Land Use is important because it helps to establish patterns, gaps and deficiencies. The Existing land use is not zoning. It is an actual documentation of what the land is being used for today. Existing land use does not establish entitlement.

Future Land Use Plan keeps the MUSA the same as 2030 plan with the exception of Royal Golf and Olson Lake. The objective is to achieve a minimum of 3.0 dwelling units per acre in the MUSA area. There is an increased diversity in land uses in all staging/phasing areas to establish a balanced pattern.

Dodson is wondering if the Royal Golf numbers are counted towards the average. Becker stated that it is counted towards the average numbers, but does not decrease the average to less than 3. The big contributing factors to the future land use plan were market considerations and what is supportable. The South Planning Area in the previous Comprehensive Plan had the commercial and business park overstated from a land use acreage perspective, and now is shown as mixed use designation. Since Woodbury has already developed a regional retail center just on the Southside of I-94 therefore, the likelihood Lake Elmo will create a second regional retail or commercial

center just North of I-94 is slim. If Lake Elmo left the commercial and business district in the quantities and acreage as in the existing Comprehensive Plan, it would drive down the values, and quality Lake Elmo is looking for. Dodson stated from a tax base standpoint, there should be more diversity. Ms. Haskamp offered mixed use designations reduce Comprehensive Plan Amendments. Ms. Haskamp also added an important point is the mixed use category is across the full land use designation and is how Lake Elmo is going to achieve bringing required average density up. Another factor is that there is enough land in the designated MUSA to accommodate current projections. No more needs to be added unless we want to. The last factor is that the Met Council has stated that we can't reduce the MUSA.

It is also important to plan for the rural areas as well. This means that in this area, on average, there needs to be one dwelling unit per 10 acres.

Hartley asked about the statement in the future land use section on page 12 that states "discourage future development of rural residential patterns (unsewered lots of 2.5 acres or less) and where opportunities exist, plan for rural development at densities that are not greater than 1 unit per 10 acres". Hartley would like to know if this is a hard and fast rule. Haskamp stated that on page 11, the policies are outlined in the Metropolitan Council's Thrive 2040 Land Use Policy. Dodson asked where the density stands outside the MUSA. Haskamp stated that it is irrelevant right now and is actually tracking forward to discourage development of less than 2.5 acres. Haskamp stated that the way Lake Elmo has developed in the rural areas will make it difficult to sewer those areas. The Met Council has been using the density of 1 unit per 10 acres in the rural areas for the last 20 years.

Dodson asked about trails and bike paths. Haskamp stated that there is a separate chapter that deals with Parks, trails and open space and a separate chapter that deals with transportation. The parks, trails and open space chapter looks at bike paths from a recreation standpoint. The transportation chapter looks at biking trails from a transportation standpoint, and they might cross over.

Kreimer is confused why there are different density ranges between the Village and 94 areas. Ms. Haskamp stated this was a result of mixed comments from the open house and stake holders meetings. Ms. Haskamp stated the Village High Density (8-15 dwelling units per acre) is actually higher density than the Mixed Use designation. Ms. Haskamp further explained the Village density range was an attempt to thoughtfully organize and balance the density requirement and protect the character of the Old Village district.

Weeks stated that it is important to take into consideration the capacity of the water supply and how many units can be supported. It is also important to consider that the sewer pipe wasn't really sized for extreme density in the Old Village and is not willing to change the size of those pipes. Hartley stated that the main pipe that runs along Lake

Elmo Avenue to 94 only has a specific capacity. Weeks stated that the City Engineer might need to be consulted before more units are being planned for this area.

Weeks stated that it is important to keep in mind that the downtown is only 2/10 of a mile. It is very small and there are parking issues and residences mixed in. The City needs to be careful about where to put more density. Weeks stated that the Comprehensive Plan talks about keeping the character of the downtown. There currently are 60 businesses downtown.

Dorschner stated that if there is more density, it needs to be designed well. There is a lot more traffic downtown on Lake Elmo Avenue and County 14 with the additional development.

Dodson asked about the section regarding solar access. Haskamp stated that it is a required component of the checklist. Lake Elmo has a lot of access to sunlight if people wanted to have solar energy sources they would be viable.

Weeks is wondering what the 2015 system statement is. Haskamp stated that there is a system statement that is issued for every city and is the guide on how to comply with the four regional systems.

#### **City Council Updates – March 6, 2018 Meeting**

- i) Lighting Ordinance – passed

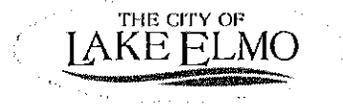
#### **Staff Updates**

1. Upcoming Meetings
  - a. March 26, 2018
  - b. April 9, 2018
2. MAC CEP Report Open House April 4 at 6pm at Oakland Middle School
3. Comprehensive Plan Update – Open House April 11 7-9 pm

Meeting adjourned at 9:47 pm

Respectfully submitted,

Joan Ziertman  
Planning Program Assistant



**City of Lake Elmo  
Planning Commission Meeting  
Minutes of March 26, 2018**

Chairman Dodson called to order the meeting of the Lake Elmo Planning Commission at 7:00 p.m.

**COMMISSIONERS PRESENT:** Emerson, Dodson, Johnson, Dorschner, Weeks, & Hartley

**COMMISSIONERS ABSENT:** Lundquist, Kreimer and Pearce

**STAFF PRESENT:** Planning Director Becker and City Planner Prchal

**Approve Agenda:**

The agenda was accepted as presented.

**Approve Minutes:** March 12, 2018

M/S/P: Dorschner/Dodson, move to table the March 12, 2018 minutes until the changes requested are made, **Vote: 6-0, motion carried unanimously.**

**Public Hearing – Variance – 8728 Demontreville Trail –Setback Variance**

Prchal started his presentation regarding a variance request to the setback for an accessory structure at 8728 Demontreville Trail. The structure needs to be repaired and the applicant would like to expand. This structure is currently non-conforming because it is 7.3 feet from the lot line when 10 is required for this district. This lot is zoned as RR, but is substantially smaller than other RR parcels.

There are four conditions that must be met to approve the variance. 1) Practical difficulties which the staff feels is met. This seems to be a reasonable request as everything besides the side yard setback is met. 2) Unique circumstances which staff feels is met because the garage was built before zoning. 3) Character of locality which staff feels is met because this is a heavily wooded area with the nearest home being 400 feet away. 4) Adjacent properties and Traffic which staff feels is met because a side yard variance will not impact traffic or supply of air and light to adjacent properties.

Dorschner is wondering what the property to the North is zoned. Prchal stated that parcel is also zoned RR and the home on that lot is over 400 feet away. Dodson asked what the impervious coverage is. Prchal stated that there is a change to impervious, but there is no maximum impervious amount for RR zoning district. Emerson asked if the

property to the north can be developed in the future. Prchal stated that the property to the North would need a minimum of 20 acres, but it might be difficult with the wetland. Dorschner asked if there was discussion if something smaller might work. The applicant Brooks Moening, stated that his preference would be to maintain the current width of the garage. The actual concrete slab is in good shape and can be reused. To go narrower, would be a challenge to park 2 cars inside. Moening stated that the roof is sagging and the walls are in rough shape and the structure needs to be replaced.

Public Hearing opened at 7:17 pm

No one spoke and there were no written comments.

Public Hearing closed at 7:18 pm

M/S/P: Hartley/Johnson, move to recommend approval of the request from Brooks Moening for a variance from minimum side yard setback, subject to recommended findings and conditions of approval listed in the staff report, **Vote: 6-0, motion carried unanimously.**

#### **Business Item – Zoning Text Amendment – Subdivision Ordinance**

Becker started her presentation regarding the subdivision ordinance update. This update includes the Planning Commission's recommended updates from the February 26<sup>th</sup> 2018 meeting. The Planning Commission is recommending that for a minor subdivision which results in no more than 4 parcels, there will not be a lengthy platting process, but would require the lots to have a plat submitted with lot and block descriptions. There is clarifying language for a lot line adjustment so there is not confusion between a lot line adjustment and minor subdivision.

Becker stated that language was added to require a developer to provide proof that a replacement reserve amount is created in accordance with MN statute 515(b)(3)-1141 if a CIC community is created. The proposed ordinance codifies additional application requirements that are currently in ordinance. Becker stated that a deadline for recording the plat of 120 days was included to make it consistent with the major subdivision process.

Dodson suggested on page 1 that 153.09 be changed to read "Major Subdivision – Preliminary subdivision approval" and 153.10 be changed to read "Major Subdivision – Final subdivision approval". Dodson asked if all building permits are available after approval of final plat and if D(1) should be changed to preliminary instead of final plat. Becker stated that building permits are only allowed after a number of items outlined in the developer's agreement are met after final approval.

Hartley is wondering in B(4) on page 4 what constitutes commercial or industrial land. It would be hard to do based on zoning when there are mixed use districts. Becker stated that she can check with the City attorney about that as this language was taken from state statute.

Dodson is wondering if the Park Commission needs to review a minor subdivision. Becker stated it is a good idea. Dodson asked what N.G.V.D. stands for. Becker stated it is an industry term that it can be written out in the ordinance instead of abbreviated.

The Planning Commission discussed the 350 feet notification requirement and if that is adequate. Becker stated there have not been complaints.

Dodson is wondering if under supplemental information there should be a requirement to submit a narrative of what has changed from sketch plan to preliminary subdivision review and preliminary to final review. Becker stated there is already language for preliminary to final review and she will add that from sketch plan to preliminary review.

Dodson asked if the variance procedures needs to say something about being consistent with the Comprehensive Plan. Becker stated that she can add that language.

Dodson asked if the PUD section should say something about being consistent with the Comprehensive Plan. Dodson was surprised that the PUD sections was so short. Becker stated that the PUD information is more extensive in the zoning code. Dodson is wondering if that section should be referenced somewhere in this code. Becker stated that it does already refer to the PUD ordinance. Dodson thinks the specific code should be referenced.

There was discussion about the engineering standards and if specifics should be listed in the ordinance. Becker stated the reference is better because if the standards change, the ordinance would need to be changed if directly in the ordinance. There was discussion surrounding what should be included in the ordinance and what should be included in the engineering standards. Weeks stated that the subdivision ordinance is not just for the developer, but is also a checklist for staff and that anything that does not conflict with engineering standards should be outlined in the ordinance.

Johnson is wondering why the City would not accept a bond vs. letter of credit. Weeks thinks it is important that a developer know up front what they need in order to be able to develop property. Emerson thinks it is a lot more difficult to collect on a bond and takes longer to collect on it. Johnson is concerned that a letter of credit ties up a large amount of money and smaller developers might have a difficult time coming up with that amount of money. Dodson is wondering if there could be wording that a bond might be considered with City Council approval. Emerson is wondering what other Cities do. Becker stated she is not sure, but she can pass along the bond option to the City Council.

M/S/P: Dorschner/Hartley, move to recommend approval of the proposed amendments to the City's Subdivision Regulations Ordinance with changes discussed, **Vote: 6-0, motion carried unanimously.**

**City Council Updates – March 20, 2018 Meeting**

- i) Wildflower at Lake Elmo 3<sup>rd</sup> Addition Final Plat & PUD - passed
- ii) Hammes 3<sup>rd</sup> Addition Developer Agreement - passed
- iii) Sign Variance for Park Dental – 8980 Hudson Blvd - passed
- iv) Royal Golf at Lake Elmo 1<sup>st</sup> Addition Development Agreement - passed

**Staff Updates**

- 1. Upcoming Meetings
  - a. April 9, 2018 – cancelled
  - b. April 23, 2018 – Easton 4<sup>th</sup> – possible joint meeting w/CC
- 2. MAC CEP Report Open House April 4 at 6pm at Oakland Middle School
- 3. Comprehensive Plan Update – Open House April 11 7-9 pm

Meeting adjourned at 8:49 pm

Respectfully submitted,

Joan Ziertman  
Planning Program Assistant



**STAFF REPORT**

DATE: 4/23/18  
**REGULAR**  
ITEM #:4A  
**MOTION**

**TO:** Planning Commission  
**FROM:** Emily Becker, City Planner  
**AGENDA ITEM:** Accessory Structure Ordinance Amendment  
**REVIEWED BY:** Ben Prochal, City Planner

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**BACKGROUND:**

Staff had noted with the solar energy ordinance amendment that ground-mount solar energy systems were not exempt from the number and size requirements of accessory structures within the rural districts. In order to follow up on an amendment to the City’s solar ordinance, which was an item on the 2018 Planning Commission Work Plan, Staff would propose that this be clarified in order to complete the solar ordinance. Additionally, Staff wanted to take the opportunity to clarify language regarding additional accessory structures in the A – Agricultural and RR – Rural Residential zoning districts.

**ISSUE BEFORE COMMISSION:**

The Planning Commission is being asked to hold a public hearing and make recommendation to Council on the proposed amendments to the accessory structure ordinance.

**PROPOSAL DETAILS/ANALYSIS:**

**Amendment to Exempt Solar Energy Systems from Size and Number Requirement.** Because of the generally small size of solar energy systems and because the number of accessory structures allowed within the rural districts is quite restrictive (up to two per lot), it is reasonable to exempt them from the size and number requirement. Currently, the standards for solar energy systems state that such systems must adhere to lot coverage requirements (maximum impervious surface), and so the addition of this language will clarify that while the systems must adhere to impervious surface requirements, they are exempt from the number and size requirements of accessory structures.

**Amendment to Exempting Tool Sheds from the Size and Number Requirement of Accessory Structures.** Storage or Tool Sheds as defined by the Section (A 1-story accessory building of less than 200 square feet gross area with a maximum roof height of 12 feet) were previously exempt from the number requirement of the accessory structure ordinance but not the area requirement. Because of the small size of storage or tool shed, it should also be exempt from the size requirement, just as gazebos, playhouses, and animal structures are.

**Amendment to Language Regarding Additional Accessory Structures in the Rural Residential and Agricultural District.** Currently, language regarding accessory structures within rural districts states that additional accessory structures in the A - Agricultural and RR – Rural Residential zoning districts are allowed via conditional use permit. There are no clarifying language or standards, however, which dictate when they should be allowed. Staff believes that a variance would be more appropriate in this case, as the applicant would be required to prove why their property is unique and would require additional accessory structures beyond those drafted the following amendments. In recognition of the need for additional accessory structures on agricultural properties, Staff is proposing the following amendments:

- Added clarifying language to the agricultural building definition, requiring that it meet the definition set forth by State Statute 362B.103, below:
  - “Agricultural building” means a structure that is:
    - on agricultural land as determined by the governing assessor for the municipality or county under section 273.13, subdivision 23;
    - designed, constructed, and used to house farm implements, livestock, or agricultural products under section 273.13, subdivision 23; and
    - used by the owner, lessee, and sublessee of the building and members of their immediate families, their employees, and persons engaged in the pickup or delivery of agricultural products.
- Added a Note C to Table 9-3 which allows one additional accessory structures beyond the two permitted provided the additional accessory structure is an agricultural building as defined in Section 154.213.
- Added a Note D to Table 9-3 which allows additional accessory structures beyond the two permitted provided the additional accessory structure is an agricultural building as defined in Section 154.213.
- Removed language regarding additional accessory buildings allowed in the A and RR zones via conditional use permit.
- Clarified language excepting building height regulations for agricultural buildings, specifying they must meet the definition set forth in Section 154.213.

**FISCAL IMPACT:**

None.

**OPTIONS:**

The Commission may:

- Hold a public hearing and recommend adoption of the ordinance as proposed by Staff.
- Make amendments to the ordinance proposed by Staff and recommend approval of the ordinance.
- Recommend that no changes be made.

**ATTACHMENTS:**

- Ord. 08-

**CITY OF LAKE ELMO  
COUNTY OF WASHINGTON  
STATE OF MINNESOTA**

**ORDINANCE NO. 08-**

**AN ORDINANCE AMENDING THE LAKE ELMO CITY CODE OF ORDINANCES BY EXEMPTING SOLAR ENERGY SYSTEMS FROM THE SIZE AND NUMBER REQUIREMENTS IN RESIDENTIAL DISTRICTS AND ADDING STANDARDS FOR A CONDITIONAL USE PERMIT ALLOWING ADDITIONAL ACCESSORY STRUCTURES WITHIN THE RURAL RESIDENTIAL AND AGRICULTURAL ZONING DISTRICTS**

**SECTION 1. The City Council of the City of Lake Elmo hereby amends Title XV: Land Usage; Chapter 154: Zoning Code; Article VII: General Regulations; Section 154.213: Accessory Buildings and Structures, Generally; Subd. (G) by adding the following:**

*G. Exempt Structures.* The following residential improvements shall be exempt from the maximum allowed structure size and number requirements in residential districts:

1. Unenclosed playhouses
2. Gazebos up to a total of 120 square feet in size and a maximum of twelve (12) feet in overall height
3. Detached decks over thirty (30) inches in height up to a total of 120 square feet in size
4. Outdoor swimming pools
5. Patios
6. Tennis and sport courts
7. Structures, sheds or coops up to a total of two hundred (200) square feet in size used to house permitted animals, such as chickens, horses, or other livestock. These structures must not exceed twelve (12) feet in height and must meet all required setbacks per MPCA guidelines and the City's animal ordinances.
8. Water oriented accessory structures as permitted in accordance with the City's Shoreland Ordinance.

**9. Solar energy systems**

**SECTION 2. The City Council of the City of Lake Elmo hereby amends Title XV: Land Usage; Chapter 154: Zoning Code; Article II; Section 154.406: Accessory Structures, Rural Districts; Subd. (A) and (B) (12) by amending the following:**

**§ 154.406 ACCESSORY STRUCTURES, RURAL DISTRICTS.**

*A. Size and Number.* The maximum number and size of accessory buildings permitted in rural zoning districts are outlined in Table 9-3:

<b>Table 9-3: Accessory Buildings, Rural Zoning Districts Lot Size</b>	<b>Maximum Structure Size<sup>a</sup> (square feet)</b>	<b>No. of Permitted Bldgs</b>
under 1 acre	1,200 <sup>b</sup>	1
1 - 2 acres	1,200	1

2 – 5 acres	1,300	1
5 – 10 acres	2,000	2
10-15 acres	2,500	2
15-20 acres	3,000	2
20-40 acres	4,000	2 <sup>e</sup>
40+ acres	Unregulated <sup>c</sup>	Unregulated <sup>c</sup>

Notes to Table 9-3

a. Maximum structure size accounts for the total maximum area allowed for all permitted accessory structures combined.

b. The 1,200 square foot allowance is for the combined area of the attached and detached accessory structure or residential garage.

c. ~~To be allowed Agricultural farm buildings, as defined in §154.213, are allowed in addition to two permitted accessory structures. additional accessory buildings beyond two total buildings, the buildings must be agricultural buildings as defined in §154.213 or clearly serve an agricultural purpose in the judgment of the City.~~

~~B. Additional Accessory Buildings. Allowances for additional accessory buildings in A and RR zones may be considered via a conditional use permit.~~

**SECTION 3. Effective Date.** This ordinance shall become effective immediately upon adoption and publication in the official newspaper of the City of Lake Elmo.

**SECTION 4. Adoption Date.** This Ordinance 08- was adopted on this \_\_\_\_\_ day of \_\_\_\_ 2018 by a vote of \_\_\_ Ayes and \_\_\_ Nays.

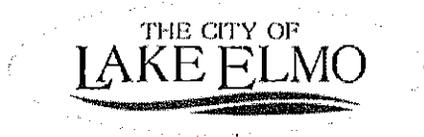
**LAKE ELMO CITY COUNCIL**

\_\_\_\_\_  
Mike Pearson, Mayor

ATTEST:

\_\_\_\_\_  
Julie Johnson, City Clerk

This Ordinance 08- was published on the \_\_\_\_\_ day of \_\_\_\_\_, 2018.



## STAFF REPORT

DATE: 4/23/2018  
BUSINESS ITEM  
ITEM #: 5A  
MOTION

**TO:** Easton Village 4<sup>th</sup> Addition Final Plat  
**FROM:** Emily Becker, Planning Director  
**REVIEWED BY:** Jack Griffin, City Engineer

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### **BACKGROUND:**

The Planning Commission is being asked to consider a Final Plat request from Chase Development for the 4<sup>th</sup> Addition of Easton Village, a planned 217 unit residential development. The 4<sup>th</sup> Addition includes 25 single family lots that are located within a 7.84 acre area to the north of Easton Village 3<sup>rd</sup> Addition. Staff is recommending approval of the request subject to compliance with the conditions listed in this report.

### **ISSUE BEFORE COMMISSION:**

The Commission is being asked to recommend approval or denial of the Final Plat request for the 4<sup>th</sup> Addition of Easton Village based on its consistency with the approved Preliminary Plat (revised on 6/21/2017).

### **PROPOSAL DETAILS/ANALYSIS:**

#### **General Information.**

*Applicant:* Chase Development, 2140 West County Road 42, Burnsville, MN  
*Property Owners:* Easton Village, LLC (Tom Wolter) 2140 West County Road 42, Burnsville, MN  
*Location:* Outlot C, Easton Village 3<sup>rd</sup> Additi

on. PID# 13.029.21.42.0047

*Request:* Application for final plat approval of a 25 unit residential subdivision to be named Easton Village 4<sup>th</sup> Addition.

*Zoning:* LDR – Limited Density Residential

*Surrounding:* North – vacant/agricultural land (RT – Rural Transitional); West – single family home, City park, natural vegetation (PF – Public and Quasi Public Open Space); South – vacant land (LDR – Limited Density Residential); East – Lake Elmo Airport (Baytown Township).

*Comp. Plan:* Village Urban Low Density Residential (1.5 - 2.49 units per acre)

*History:* Property was included in Village Planning Area boundary and municipal sewer service area as defined in the 2013 Village Land Use Plan. Site has historically been used for farming activities, including the growing of agricultural crops. Sketch Plan review by Planning Commission on 1/27/14 with Preliminary Plat approval on July 15, 2014. 1<sup>st</sup> An AUAR for the Village Planning area was approved by the City in May of 2009. 1<sup>st</sup> Addition approval on March 3, 2015, 2<sup>nd</sup> Addition approval on May 2, 2017, and 3<sup>rd</sup> Addition approval on July 18, 2017. Preliminary Plat revised on 6/21/2017.

*Action Deadline:* Application Complete – 3/23/2018  
60 Day Deadline – 5/22/2018  
Extension Letter Mailed – No  
120 Day Deadline –

*Regulations:* Chapter 153 – Subdivision Regulations  
Article 10 – Urban Residential Districts (LDR)  
§150.270 Storm Water, Erosion, and Sediment Control

#### **Consistency with Preliminary Plat.**

- *Revised Preliminary Plat.* Prior to the 1<sup>st</sup> Addition Final Plat approval, the approved Preliminary Plat was revised in December of 2014 to address the following:
  - The need to reconfigure the temporary access into the subdivision.
  - Revisions to the grading plan.
  - Adjustments to the property boundaries adjacent to the gas line that bisects the site.
  - The provision of a slightly larger buffer from the railroad tracks.
  - Revisions to the storm water management plan.
  - With the 2<sup>nd</sup> Addition, the developer again revised the preliminary plat. A condition of 2<sup>nd</sup> Addition approval was that the revised Preliminary Plat and Plans be approved prior to submittal of accepting the 3<sup>rd</sup> Addition.
- *Lot Sizes.* The lot areas and widths are generally consistent with the revised and approved preliminary plat. The smallest lot size is 8,529 square feet, meeting the required minimum lot size of 8,000 square feet, and the lot widths meet the minimum requirement of 60 feet at the setback line.
- *“Eyebrows” Removed.* The original Preliminary Plat was shown with 33<sup>rd</sup> Street North as having ‘eyebrows’ as it moves north-south. The Applicant has removed these, in order to (as communicated to Staff during conversations with the Developer) provide a better design and decrease the amount of maintenance. The updated Preliminary Plat reflects this change, and the Final Plat is consistent with the revised Preliminary Plat. Staff has reviewed this change and has not seen an issue in this.

**Outlots.** There are no outlots proposed within the 4<sup>th</sup> Addition.

**Parkland.** The Applicant platted outlots with 3<sup>rd</sup> Addition to indicate phasing for the rest of the development. Outlots I and J were dedicated to the City with the 3<sup>rd</sup> Addition for stormwater management purposes and parkland. The dedication of these outlots as parkland satisfied the remaining parkland dedication requirements for the entire development.

**Engineering Comments.** The City Engineer has reviewed the Final Plat, and these comments can be reviewed in the attached Easton Village 4<sup>th</sup> Addition Final Plat Engineering comments review memo dated April 16, 2018. It is a recommended condition of approval that

**Temporary Cul-de-Sac and Road Connection.** The Applicant has proposed a temporary cul-de-sac off of Lilac Avenue North, and there is an existing temporary road connection connecting Village Parkway to 34<sup>th</sup> Street North has already been constructed with Easton Village 3<sup>rd</sup> Addition. Temporary Road Easements will need to be provided. The applicant has proposed the temporary turnaround adjacent to Lot 1, Block 3 only be constructed contingent upon the sale of Lot 1, Block 3, but a recommended condition of approval is that this development improvement be constructed with no contingency.

**Outlot Needed.** Because Lots 12 and 13, Block 3 are not buildable with the temporary street connecting to Village Parkway, these lots should be platted as outlots until a second connection to Village Parkway is made in a future addition. This has been added as a recommended condition of approval.

**Landscape Plans.** The landscape plans have been reviewed and approved by the City's Landscape Architect.

**Street Naming.** There are no other streets in the City with the name Lilac Avenue, and so this street name is consistent with the City's Street Naming Policy. There is, however, another 34<sup>th</sup> Street North within the City. While this name is not consistent with the City's Street Naming Policy in that the Policy states that unless a newly proposed street directly extends from an existing street, no street name that already exists in the city or its environs shall be used, regardless if it is on the same grid as another street. However, it should be noted that the street directly to the south of the street that is proposed to be named 34<sup>th</sup> Street North has already been platted and named as 33<sup>rd</sup> Street North and the street to the south of that has already been platted as 32<sup>nd</sup> Street North. There also exist other streets within the City that are also named 33<sup>rd</sup> and 32<sup>nd</sup> Street North outside of this development. Because of this, it may make sense to allow the proposed name for this street.

**Final Plat Approval Process.** The City's subdivision ordinance establishes the procedure for obtaining final subdivision approval, in which case a final plat may only be reviewed after the City takes action on a preliminary plat. As long as the final plat is consistent with the preliminary approval, it must be approved by the City. Please note that the City's approval of the Easton Village Preliminary Plat did include a series of conditions that must be met by the applicant, which are addressed in the "Review and Analysis" section below. There are no public hearing requirements for a final plat.

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In order to provide the Planning Commission with an update concerning the conditions associated with the preliminary plat for Easton Village, Staff has prepared the following:

**Preliminary Plat Conditions – With Staff Update Comments (updated information in bold italics):**

- 1) Within six months of preliminary plat approval, the applicant shall complete the following: a) the applicant shall provide adequate title evidence satisfactory to the City Attorney; and b) the applicant shall pay all fees associated with the preliminary plat. The above conditions shall be met prior to the City accepting an application for final plat and prior to the commencement of any grading activity on the site. *Comments: a) all title work will need to be submitted and reviewed by the City Attorney before City officials sign the final plat; b) the applicant has submitted an escrow payment with Final Plat application that is being used to cover Staff and consultant expenses related to the City's review.*

- 2) The grading plan shall be updated to include the protective tree fencing necessary to preserve all vegetative areas identified for protection around the 5.15 acre residential parcel to the west of the subdivision. *Comments: The grading plan was updated accordingly. All disturbed areas are shown on the plan, and the applicant will need to replace disturbed trees in accordance with the City's tree replacement schedule. There is no tree protection or removal in the 4<sup>th</sup> Addition.*
- 3) The applicant shall work with the City and Washington County to identify and reserve sufficient space for a future trail corridor along the western right-of-way line of Manning Avenue. *Comments: The proposed Manning Avenue right-of-way is consistent with County requirements, as the planned roadway segment includes room for trails on one or both sides of the right-of-way. The County's future plans for Manning Avenue include a trail along the western side of this road. This condition is not applicable to 4<sup>th</sup> Addition.*
- 4) The applicant shall submit a landscape plan prepared by landscape architect for review and approval by the City. The landscape plan submittal will include a tree protection and replacement plan consistent with City ordinances. *Comments: The applicant submitted updated Preliminary Landscape Plans dated 12/17/2014 with the application for 1<sup>st</sup> Addition Final Plat. Revised landscape plans were submitted with the 2017 Preliminary Plat revisions. The 4<sup>th</sup> Addition Landscape Plan has obtained approval from the City's Landscape Architect.*
- 5) The final plat will incorporate all review comments from the City's landscape architect, including the selection and mix of plantings within storm water basins and infiltration areas. *Comments: Please see above condition.*
- 6) The landscape plan shall include additional plantings around the Northern Natural Gas utility site. *Comments: This condition does not apply to 4<sup>th</sup> Addition.*
- 7) The proposed access to Manning Avenue will be permitted as a temporary access until such time that the Village Parkway is connected to 30th Street. The construction plans will be updated to reflect the temporary nature of this street. *Comments: The applicant asked during the 1<sup>st</sup> Addition Final Plat that this provision be updated to state that the temporary access will be allowed for a minimum of five years. Staff was supportive of this revision and has updated the proposed conditions the 1<sup>st</sup> Addition Final Plat approval to reflect the change. This condition is not relevant to the 4<sup>th</sup> Addition Final Plat.*
- 8) The applicant shall be responsible for the construction of all improvements within the Manning Avenue (CSAH 15) right-of-way as required by Washington County and further described in the review letter received from the County dated June 24, 2014. *The final construction plans for the 1<sup>st</sup> Addition were updated to incorporate the required improvements to Manning Avenue. This condition is not relevant to the 4<sup>th</sup> Addition final plat.*
- 9) The developer shall follow all of the rules and regulations spelled out in the Wetland Conservation Act, and shall acquire the needed permits from the appropriate watershed districts for the storm water management system prior to the commencement of any grading or development activity on the site. *Comments: The Applicant has been granted a Valley Branch Watershed District permit.*
- 10) The applicant shall enter into a maintenance agreement with the City that clarifies the individuals or entities responsible for any landscaping installed in areas outside of land dedicated as public

park and open space on the final plat. *Comment: A Landscape License Agreement was executed for the 1<sup>st</sup>, 2<sup>nd</sup> and 3<sup>rd</sup> Additions and will be for the 4<sup>th</sup> Addition.*

- 11) The developer shall provide an updated accounting of the land to be dedicated for park purposes prior to submission of a final plat. If required, the developer shall be required to pay a fee in lieu of park land dedication equivalent to the fair market value for the amount of land that is required to be dedicated for such purposes in the City's Subdivision Ordinance less the amount of land that is accepted for park purposes by the City. Any cash payment in lieu of land dedication shall be paid by the applicant prior to the release of the final plat for recording. *Comments: The park dedication requirements for the entire Easton Village development is 9.84 acres of land, representing 10% of the development area. The dedication of Outlots I and J with the 3<sup>rd</sup> Addition Final Plat satisfied the park dedication requirements for the entire development.*
- 12) Any land under which public trails are located will be accepted as park land provided the developer constructs said trails as part of the public improvements for the subdivision. *Comments: There are no public trails proposed within the 4<sup>th</sup> Addition.*
- 13) All required modifications to the plans as requested by the City Engineer in a review letter dated June 26, 2014 shall be incorporated into the plans prior to consideration of a final plat. *Comments. The preliminary plat and plans have been updated to address the City Engineer's review comments and were approved on June 21, 2017.*
- 14) The City and developer will determine the appropriate distribution of future costs associated with the Village Parkway railroad crossing improvements as part of a developer's agreement for any portion of Easton Village. *Comments: Staff will be drafting a developer's agreement for consideration by the Council that will incorporate a section dealing with this provision.*
- 15) The developer shall address any comments from Metropolitan Airport Commission as part of a final plat submission for any portion of Easton Village. MAC will be asked to comment on the landscape plan, and the plan shall be revised to address any specific comments concerning the appropriate vegetation to be planted within storm water facilities. *Comments: MAC has provided a review of the updated plans and provided comments to the developer in a letter dated December 8, 2015. This letter contains recommended mitigation strategies to reduce the attractiveness of the storm water retention and infiltration areas for waterfowl. Other recommendations from MAC have been incorporated into the applicant's landscape plans. Mac's comments about noise mitigation and notification about the airport are relevant to the 4<sup>th</sup> Addition Final Plat.*
- 16) The landscape plan shall be revised to eliminate all trees planted within the Lake Elmo Airport Regulatory Protection Zone. *Comments. The Preliminary and 1<sup>st</sup> Addition landscape plans have been updated accordingly. MAC's comments are not relevant to the 4<sup>th</sup> Addition Final Plat.*
- 17) The final plat shall include a paved trail connection between Lots 13 and 14 of Block 3. *Comments: This condition is not relevant to the 4<sup>th</sup> Addition Final Plat. This trail was removed with 2<sup>nd</sup> Addition approval.*
- 18) The applicant shall submit written acknowledgement from the property owner of the parcel immediately to the south of Easton Village concerning the storm water being outlet running into

their property. *Comments: Since the approval of the preliminary plat, the applicant has met with the watershed district, county, and Gonyea Homes to discuss the proposed storm water management system along Manning Avenue. This condition is not relevant to the 4<sup>th</sup> Addition Final Plat.*

- 19) The applicant is encouraged to incorporate elements from the Lake Elmo Theming Study into the open space areas within the subdivision. *Comments: This was Staff recommendation at the time of Preliminary Plat to encourage the applicant to utilize a white "horse fence" with landscaping in order to address the comments from MAC to provide a barrier around the storm water ponds. This fence was not erected, but instead additional landscaping was installed to provide screening. The applicant's landscape plan for the 1<sup>st</sup> Addition incorporated elements from the theming study, including the proposed entrance monument sign. This condition is not relevant to the 4<sup>th</sup> Addition Final Plat.*
- 20) The developer shall obtain all required permits from Northern Natural Gas to perform construction work over the gas line that runs from north to south across this site. *Comments. Northern Natural Gas provided review comments to the developer in has submitted final construction plans to the gas company for review, and will need to abide by any conditions imposed by Northern Natural Gas. The applicant has not yet provided copies of these permits for the 4<sup>th</sup> Addition, and so it has been added as a recommended condition of approval that this be done.*
- 21) The developer shall be required to extend sewer to the northernmost boundary of the site. *Comments. The Easton Village Trunk Sewer Line project has been completed and has extended sanitary sewer service to the northern boundary of the plat, connecting to the sewer line recently installed by the City of Lake Elmo under the railroad tracks that continues further north (and connects to the 39<sup>th</sup> Street line also recently installed by the City).*

Based on the above Staff report and analysis, Staff is recommending approval of the final plat with several conditions intended to address the outstanding issues noted above and to further clarify the City's expectations in order for the developer to proceed with the recording of the final plat.

#### **DRAFT FINDINGS**

Staff is recommending that the Planning Commission consider the following findings with regards to the proposed Easton Village 4<sup>th</sup> Addition Final Plat:

- 1) That all the requirements of City Code Section 153.07 related to the Final Plan and Final Plat have been met by the Applicant.
- 2) That the proposed Final Plat for Easton Village 4<sup>th</sup> Addition consists of the creation of 23 single-family detached residential lots.
- 3) That the Easton Village 4<sup>th</sup> Addition Final Plat is generally consistent with the Preliminary Plat and Plans as approved by the City of Lake Elmo on July 15, 2014 and as amended to comply with conditions of preliminary plat approval with the exceptions of issues identified in the April 9, 2018 Staff report to the Planning Commission.
- 4) That the Easton Village 4<sup>th</sup> Addition Final Plat is consistent with the Lake Elmo Comprehensive Plan and the Future Land Use Map for this area.

- 5) That the Easton Village 4<sup>th</sup> Addition Final Plat complies with the City's Urban Low Density Residential zoning district regulations.
- 6) That the Easton Village 4<sup>th</sup> Addition Final Plat complies with all other applicable zoning requirements, including the City's landscaping, storm water, sediment and erosion control and other ordinances with the exception of issues identified in the April 9, 2018 Staff report to the Planning Commission.
- 7) That the Easton Village 4<sup>th</sup> Addition Final Plat complies with the City's subdivision ordinance.
- 8) That the Easton Village 4<sup>th</sup> Addition Final Plat is generally consistent with the City's engineering standards with the exception of necessary plan revisions outlined by the City Engineer in his review comments to the City dated April 16, 2018.

***Recommended Conditions of Approval:***

- 1) Final grading, drainage, and erosion control plans, sanitary and storm water management plans, landscape plans, and street and utility construction plans shall be reviewed and approved by the City Engineer and applicable Staff prior to the recording of the Final Plat. All changes and modifications to the plans requested by the City Engineer in the memorandum addressing Easton Village 4<sup>th</sup> Addition Final Plat and Construction Plan Review dated April 16, 2018 in the memo shall be incorporated into these documents before they are approved.
- 2) Prior to the execution of the Final Plat by City officials, the Developer shall enter into a Developer's Agreement acceptable to the City Attorney and approved by the City Council that delineates who is responsible for the design, construction, and payment of the required improvements for the Easton Village 4<sup>th</sup> Addition Final Plat with financial guarantees therefore.
- 3) All easements as requested by the City Engineer and Public Works Department shall be documented on the Final Plat prior to its execution by City Officials.
- 4) The City shall receive copies of fully executed temporary easements using the City standard easement agreement form for the temporary cul-de-sac and utility extensions, revised temporary street connection to Village Parkway over new outlots, and for a drainage and utility easement for the storm sewer to be constructed on Outlot H from CBMH 107 to existing structure E3.
- 5) A Landscape License Agreement shall be executed for the maintenance of commonly held HOA and City outlots and right-of-ways prior to release of the final plat by City Officials.
- 6) The applicant shall provide a disclosure statement to all first homeowners in the development advising of the airport and associated over-flights.
- 7) All builders shall be encouraged to incorporate interior noise reduction measures into single family residential structures within the subdivision based on the Metropolitan Council's Builder Guide.

- 8) The developer shall provide copies of the Northern Natural Gas permits to the City and shall abide by any conditions of approval as listed in permits issued by Northern Natural Gas to perform construction work over the gas line that runs from north to south across this site.
- 9) The temporary secondary access to Village Parkway shall be maintained until a permanent secondary access street is constructed with future phases of the development. Lots 12 and 13, Block 3 shall be platted as outlots owned by the developer with a temporary road access granted to the City.
- 10) Development improvements including the construction of the proposed temporary cul-de-sac at the north end of Lilac Avenue North shall be constructed.

**RECOMMENDATION:**

Staff recommends that the Planning Commission recommend approval of the 4<sup>th</sup> Addition Final Plat for Easton Village with the 10 conditions of approval as listed in the Staff report. Suggested motion:

*“Move to recommend approval of the Easton Village 4<sup>th</sup> Addition Final Plat with the 10 conditions of approval as drafted by Staff”*

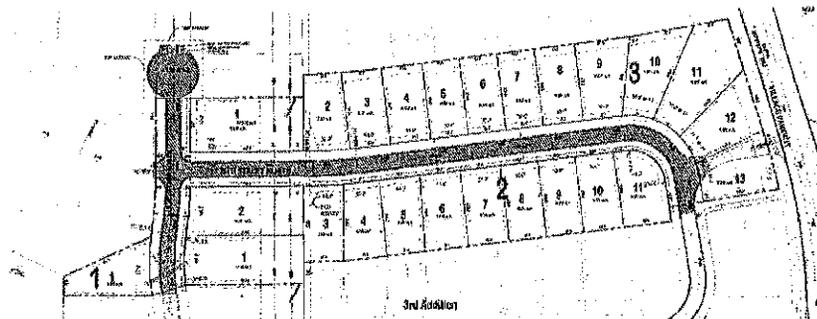
**ATTACHMENTS:**

1. Application Form
2. City Engineer Review Memo
3. Easton Village 4<sup>th</sup> Addition Final Plat and Plans

# *EASTON VILLAGE 4<sup>TH</sup> ADDITION*

## Final Plat Narrative

March 7, 2018



The proposed Easton Village 4<sup>th</sup> Addition, by Chase Development, consists of 7.84 acres and with a total of 25 new single family lots. This project is located entirely within Outlot C created with the Easton Village 3<sup>rd</sup> Addition.

The proposed layout and lot design follow the latest approved preliminary plat. No variances or exceptions are proposed for this project. The setbacks will remain as required, with rear setbacks at 20 feet, front setbacks at 25 feet and side yard setbacks at 7.5 feet. City street right of way and street and sidewalk sections are proposed per City standards.

The proposed storm sewer will be connected to the existing pond storm sewer constructed with Easton Village 1st and 3rd Additions. The water main and sanitary sewer will be extended from the constructed water and sewer of Easton Village 3<sup>rd</sup> Addition. All utilities will be constructed per city standards. The storm water ponding for this addition has been planned for and will be accommodated by the existing constructed pond of Easton Village and Easton Village 3<sup>rd</sup> Additions.

No outlots are proposed with this subdivision. There will be a temporary cul de sac provided at the end of the proposed extension of Lilac Avenue North. An easement description has been provided and the easement is depicted on the proposed plan set. The existing cut through from 33<sup>rd</sup> Street North to the Village Parkway is proposed to remain as part of the is project until a majority of the homes have been built and the construction traffic has been minimized for the existing residents.

EASTON VILLAGE 4th ADDITION  
FINAL PLAT NARATIVE

Page 2 of 2

Following is a list of the proposed lots and size of the lots in square feet:

Block	Lot	Area (Sq. Ft.)
1	1	9,957
2	1	17,149
2	2	16,611
2	3	8,860
2	4	8,980
2	5	800
2	6	9,498
2	7	9,100
2	8	8,450
2	9	8,450
2	10	8,707
2	11	9,901
3	1	18,016
3	2	9,552
3	3	9,131
3	4	9,132
3	5	8,505
3	6	8,529
3	7	8,553
3	8	9,288
3	9	10,674
3	10	11,911
3	11	16,265
3	12	10,892
3	13	10,889

# MEMORANDUM

# FOCUS ENGINEERING, inc.

Cara Geheren, P.E. 651.300.4261  
Jack Griffin, P.E. 651.300.4264  
Ryan Stempski, P.E. 651.300.4267  
Chad Isakson, P.E. 651.300.4283

Date: April 16, 2018

To: Emily Becker, Planning Director  
Cc: Chad Isakson, P.E., Assistant City Engineer  
From: Jack Griffin, P.E., City Engineer

Re: Easton Village 4th Addition – Final Plat  
Engineering Review Comments

An engineering review has been completed for the Easton Village 4th Addition Final Plans consisting of the following documentation received on March 23, 2018, and prepared by Erickson Engineering:

- Easton Village 4<sup>th</sup> Addition Construction Plans dated March 23, 2018.
- Easton Village 4<sup>th</sup> Addition Final Plat, submitted March 23, 2018
- Easton Village 4th Final Plat Narrative dated March 7, 2018.

**STATUS/FINDINGS:** Engineering review comments have been provided in two separate memos; one for Final Plat approval, and one to assist with the completion of the final Construction Plans. Please see the following review comments relating to the Final Plat application.

## FINAL PLAT: EASTON VILLAGE 4TH ADDITION

- There are no Outlots proposed as part of this Plat.
- It is recommended that the temporary secondary access to Village Parkway (constructed as part of Easton Village 3rd Addition) be maintained until a permanent secondary access street is constructed with future phases of the development. This can be accomplished by removing Lots 12 and 13, Block 3 from the plat and maintaining these lots in an Outlot owned by the Developer with a temporary road access easement granted to the City.
- All easements as requested by the City Engineer and Public Works department shall be documented on the Final Plat prior to the release of the Final Plat for recording.
- Final Plat should be contingent upon the City receiving copies of fully executed temporary easements using the City standard easement agreement form for the temporary cul-de-sac (and utility extensions), for a revised temporary street connection to Village Parkway (over new Outlot), and for a drainage and utility easement for the storm sewer to be constructed on Outlot H from CBMH 107 to the existing structure E3.
- Final Plat should be contingent upon the development improvements including the construction of the proposed temporary cul-de-sac at the north end of Lilac Avenue North with no contingency. The developer has proposed this temporary turnaround only contingent upon the sale of Lot 1, Block 3.
- Easton Village 4th Addition includes trunk watermain (12-inch diameter) pipe oversizing along Lilac Avenue North. Payment for pipe oversizing from the City standard 8-inch pipe should be addressed as part of the development agreement.
- Final Construction Plans and Specifications must be revised in accordance with the Construction Plan engineering review memorandum dated April 17, 2018 and approved by the City Engineer. Final Construction Plans and Specifications must be prepared in accordance with the City Engineering Design Standards Manual

dated March 2017 using City details, plan notes and specifications and meeting City Engineering Design Guidelines.

- The Final Plat shall not be recorded until final construction plan approval is granted.
- No construction for Easton Village 4th Addition may begin until the applicant has received City Engineer approval for the Final Construction Plans; the applicant has obtained and submitted to the City all applicable permits, easements and permissions needed for the project; and a preconstruction meeting has been held by the City's engineering department.

# EASTON VILLAGE

LAKE ELMO, MINNESOTA

## 4TH ADDITION - FINAL PLAN

GRADING, EROSION CONTROL, STREET, STORM SEWER, UTILITY, LANDSCAPE AND PLAT

MARCH 5, 2018

**ERICKSON CIVIL**

333 North Main Street, Suite 201  
Stillwater, Minnesota 55082  
Phone (612) 309-3804

www.ericksoncivilsite.com

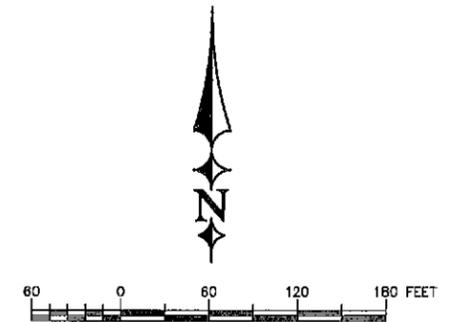
DRAWING PHASE:	
OWNER REVIEW	
✓ AGENCY REVIEW	
BID DOCUMENT	
FOR CONSTRUCTION	
AS-BUILT DOCUMENT	

I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A QUALY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

TODD A. ERICKSON, PE  
40418

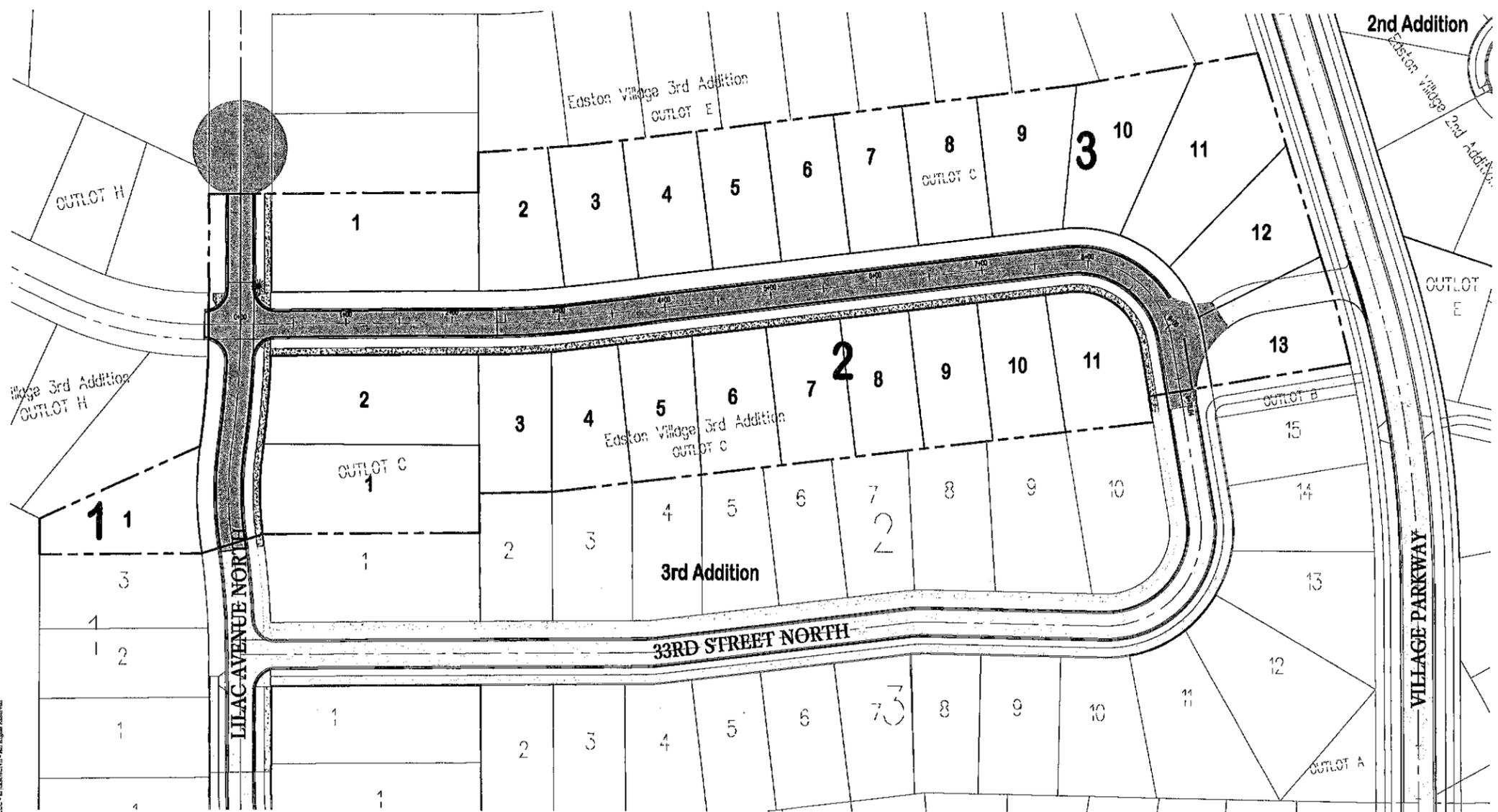
LICENSE NO.  
03/05/2018

DATE:



GRAPHIC SCALE

Site Location Map



**PLAN SHEET INDEX:**

SHEET NO.	SHEET ID	DESCRIPTION
1 OF 20	C1	TITLE SHEET
2 OF 20	C2	EXISTING CONDITIONS
3 OF 20	C3	GRADING STANDARD PLAN NOTES
4 OF 20	C4	EROSION CONTROL PLAN
5 OF 20	C5	GRADING PLAN
6 OF 20	C6	SITE LAYOUT LIGHTING AND SIGNAGE PLAN
7 OF 20	C7	STREET PLAN & PROFILE
8 OF 20	C8	STREET PLAN & PROFILE
9 OF 20	C9	SANITARY SEWER & WATERMAIN PLAN & PROFILE
10 OF 20	C10	SANITARY SEWER & WATERMAIN PLAN & PROFILE
11 OF 20	C11	SANITARY SEWER & WATERMAIN PLAN & PROFILE
12 OF 20	C12	STORM SEWER PLAN & PROFILE
13 OF 20	C13	STORM SEWER PLAN & PROFILE
14 OF 20	C14	DETAILS
15 OF 20	C15	DETAILS
16 OF 20	C16	DETAILS
17 OF 20	C17	DETAILS
18 OF 20	C18	DETAILS
19 OF 20	C19	DETAILS
20 OF 20	C20	DETAILS

1 OF 1	L1	LANDSCAPE PLAN AND TREE SURVEY
2 OF 2	L2	LANDSCAPE DETAILS

1 OF 2		FINAL PLAT DEDICATION
2 OF 2		FINAL PLAT GRAPHICS

CHASE DEVELOPMENT  
2140 COUNTY ROAD 42 WEST  
BURNSVILLE, MN 55337

EASTON VILLAGE  
4TH ADDITION  
FINAL PLAN  
LAKE ELMO, MINNESOTA

NO.	DATE	REVISION DESCRIPTION

JOB NO. 18-111

SHEET TITLE  
TITLE SHEET

SHEET NO.  
**C1**

NOTE: ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS OF THE CITY OF LAKE ELMO

**DRAWING PHASE:**

OWNER REVIEW	
✓ AGENCY REVIEW	
BID DOCUMENT	
FOR CONSTRUCTION	
AS-BUILT DOCUMENT	

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

TODD A. ERICKSON, PE  
 40418

LICENSE NO.  
 03/05/2018

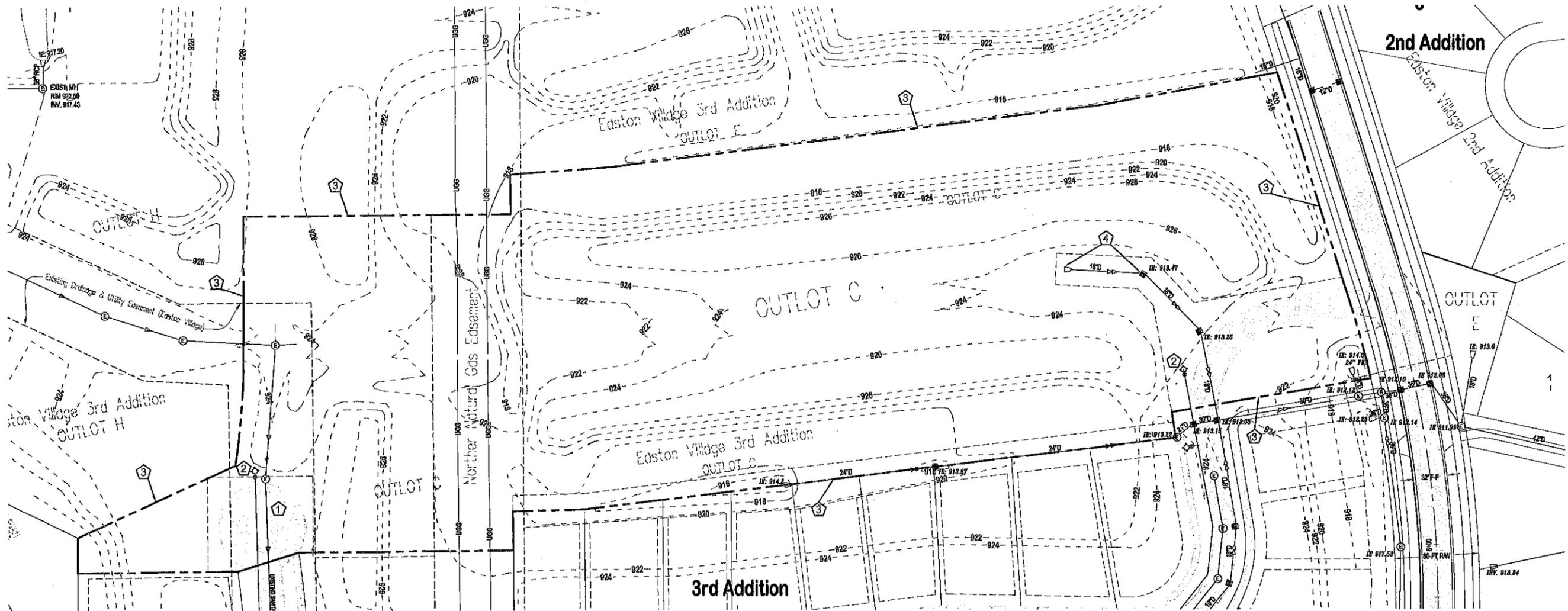
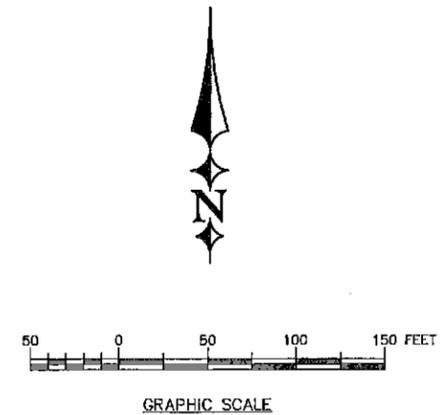
DATE:

**Legend**

- 4TH ADDITION BOUNDARY
- EXISTING 2-FT CONTOUR
- EXISTING STORM SEWER
- EXISTING WATERMAIN
- EXISTING SANITARY SEWER

**Keyed Notes**

- ① EXISTING CUL. DE BAG SHALL BE REMOVE IN ITS ENTIRETY.
- ② REMOVE AND SALVAGE EXISTING HYDRANT
- ③ OUTLOT C - BOUNDARY - EASTON VILLAGE 4TH ADDITION
- ④ REMOVE AND SALVAGE 18" RCP PIPE



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OWNER/DEVELOPER  
**CHASE DEVELOPMENT**  
 2140 COUNTY ROAD 42 WEST  
 BURNSVILLE, MN 55337

PROJECT TITLE  
**EASTON VILLAGE  
 3RD ADDITION  
 FINAL PLAN  
 LAKE ELMO, MINNESOTA**

NO.	REVISION DESCRIPTION	DATE

JOB NO. 18-111

SHEET TITLE  
**EXISTING  
 CONDITIONS**

SHEET NO.  
**C2**  
 SHEET 2 OF 20

1. THE CONTRACTOR SHALL CONDUCT OPERATIONS AND IMPLEMENT MINNESOTA POLLUTION CONTROL AGENCY (MPCA) BEST MANAGEMENT PRACTICES (BMP) TO CONTROL SITE SILTATION AND EROSION INTO DRAINAGE WAYS. THE CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS AND COMPLETION DATES RELATIVE TO ALL PERMITS ISSUED FOR THE WORK TO BE COMPLETED. THE ENGINEER MAY ISSUE A STOP WORK ORDER FOR ALL DEVELOPMENT WORK AND BUILDING CONSTRUCTION FOR NONCOMPLIANCE WITH THESE MEASURES.
2. SEQUENCING. ALL SILT FENCE AND OTHER EROSION CONTROL MEASURES SHALL BE IN PLACE AND APPROVED BY ENGINEER PRIOR TO ANY REMOVALS, EXCAVATION OR CONSTRUCTION AND SHALL BE MAINTAINED UNTIL VISIBLE TURF OR GROUND COVER HAS BEEN ESTABLISHED AND APPROVED BY THE ENGINEER.
3. SILT FENCE. THE CONTRACTOR SHALL INSTALL SILT FENCE AT THE LOCATIONS SHOWN ON THE PLANS AND IN ACCORDANCE WITH THE CITY STANDARD DETAILS. SILT FENCE DAMS AND INTERIM SLUMPS SHALL BE PLACED TO INTERCEPT SILT FROM CONCENTRATED RUNOFF FROM OPEN GRADED AREAS. ADDITIONAL SILT FENCE SHALL BE REQUIRED AS DIRECTED BY THE ENGINEER.
4. STOCKPILES. ALL STOCKPILE AREAS SHALL HAVE SILT FENCE OR SEDIMENT TRAPPING SYSTEMS PLACED AROUND THE ENTIRE PERIMETER.
5. INLET PROTECTION. THE CONTRACTOR SHALL INSTALL INLET PROTECTION ON ALL EXISTING STORM SEWER INLETS IN ACCORDANCE WITH THE CITY STANDARD DETAILS. INLET PROTECTION SHALL ALSO BE PROVIDED ON ALL PROPOSED STORM SEWER INLETS IMMEDIATELY FOLLOWING CONSTRUCTION OF THE INLET. INLET PROTECTION MUST BE INSTALLED IN A MANNER THAT WILL NOT IMPOUND WATER FOR EXTENDED PERIODS OF TIME OR IN A MANNER THAT PRESENTS A HAZARD TO VEHICULAR OR PEDESTRIAN TRAFFIC.
6. TEMPORARY SEDIMENT BASINS. THE CONTRACTOR SHALL INCORPORATE TEMPORARY SEDIMENT BASINS THROUGHOUT THE CONSTRUCTION SITE TO CAPTURE RUNOFF AND SLOW THE FLOW OF WATER AND ALLOW SEDIMENT TO SETTLE OUT. TEMPORARY SEDIMENT BASINS SHALL BE INSTALLED AS DIRECTED BY THE CITY ENGINEER.
7. ROCK CONSTRUCTION ENTRANCE. A ROCK ENTRANCE SHALL BE CONSTRUCTED AND MAINTAINED AS SHOWN ON THE PLAN TO REDUCE TRACKING OF SILT AND DIRT ONTO THE PUBLIC STREETS. A GEOTEXTILE FABRIC SHALL BE PLACED UNDERNEATH THE ROCK. THE ROCK SHALL BE PERIODICALLY REPLENISHED TO MAINTAIN THE INTENDED PERFORMANCE. MUD AND DEBRIS SHALL BE REMOVED OR SCRAPED FROM TIRES AND VEHICLE UNDERCARRIAGE PRIOR TO LEAVING THE SITE.
8. STREET SWEEPING. ALL STREETS USED FOR ACCESS TO THE SITE AND HAUL ROUTES USED FOR CONSTRUCTION EQUIPMENT AND MATERIAL SUPPLIES SHALL BE CLEANED AT THE END OF EACH WORKING DAY. THE CITY OR ENGINEER MAY ORDER ADDITIONAL SWEEPING OF THE STREETS AS DEEMED REQUIRED AT DEVELOPER/CONTRACTOR EXPENSE.

STANDARD PLAN NOTES  
GRADING AND EROSION CONTROL PLANS

MARCH 2017

 CITY OF LAKE ELMO

STANDARD DRAWING NO.  
600A  
LAKE ELMO

9. DEWATERING. EACH EXCAVATION SHALL BE KEPT DRY DURING THE COURSE OF ALL WORK HEREIN, INCLUDING SUBGRADE CORRECTION, PIPE INSTALLATION, STRUCTURE CONSTRUCTION AND BACKFILLING, TO THE EXTENT THAT NO DAMAGE FROM HYDROSTATIC PRESSURE, FLOATION OR OTHER DAMAGE RESULTS. ALL EXCAVATIONS SHALL BE DEWATERED TO A DEPTH OF AT LEAST 3 INCHES BELOW THE BOTTOM OF THE CONCRETE SLAB OR PIPE TO BE INSTALLED THEREIN. THE CONTRACTOR MAY USE ANY METHOD OR COMBINATION OF METHODS FOR DEWATERING HE CHOOSES. HOWEVER, ALL DEWATERING METHODS AND EQUIPMENT WHICH IN THE OPINION OF THE ENGINEER, ARE INEFFECTIVE SHALL BE ABANDONED, IMPROVED, REPLACED OR OTHERWISE ALTERED TO OBTAIN EFFECTIVE DEWATERING. THE CONTRACTOR SHALL PROVIDE ALL POWER, PUMPS, MATERIALS AND APPARATUS NECESSARY, AND SHALL BE RESPONSIBLE FOR DISPOSING OF THE WATER PUMPED FROM THE EXCAVATION IN A MANNER WHICH WILL NOT INTERFERE WITH OTHER WORK WITHIN THE AREA AND NOT TO DAMAGE PUBLIC OR PRIVATE PROPERTY. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE CONDITION OF ANY PIPE, CONDUIT, DITCH, CHANNEL OR NATURAL WATERCOURSE UTILIZED FOR DRAINAGE PURPOSES, AND ALL EROSION, SEDIMENT OR OTHER ADVERSE RESULTS OF THEIR USE SHALL BE REPAIRED.
10. POSITIVE DRAINAGE AND PROTECTION. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE THROUGHOUT THE SITE AT ALL TIMES. LOW POINTS WITHIN AND ALONG ROADWAYS ARE EXPRESSLY PROHIBITED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DITCHES, PIPING OR OTHER MEANS TO FACILITATE PROPER DRAINAGE DURING CONSTRUCTION. TO PROTECT PREVIOUSLY GRADED AREAS FROM EROSION, WOOD FIBER BLANKET SHALL BE PLACED IMMEDIATELY ON STEEP SLOPES (1:1 OR GREATER) AND EMBANKMENTS, PERMANENT AND TEMPORARY PONDS, AND OUTLETS AND OVERFLOWS TO PROTECT THE COMPLETED GRADE AND MINIMIZE SILT IN THE RUNOFF.
11. DRAINAGE DITCHES. THE NORMAL WETTED PERIMETER OF ANY TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE THAT DRAINS WATER FROM ANY PORTION OF THE CONSTRUCTION SITE, OR DIVERTS WATER AROUND THE SITE, MUST BE STABILIZED WITHIN 200 LINEAL FEET FROM THE PROPERTY EDGE, OR FROM THE POINT OF DISCHARGE INTO ANY SURFACE WATER. STABILIZATION OF THE LAST 200 LINEAL FEET MUST BE COMPLETED WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER. STABILIZATION OF THE REMAINING PORTIONS OF ANY TEMPORARY OR PERMANENT DITCHES OR SWALES MUST BE COMPLETE WITHIN 14 DAYS AFTER CONNECTING TO A SURFACE WATER AND CONSTRUCTION IN THAT PORTION OF THE DITCH HAS TEMPORARILY OR PERMANENTLY CEASED. TEMPORARY OR PERMANENT DITCHES OR SWALES THAT ARE BEING USED AS A SEDIMENT CONTAINMENT SYSTEM (WITH PROPERLY DESIGNED ROCK DITCH CHECKS, BIO ROLLS, SILT DIKES, ETC.) DO NOT NEED TO BE STABILIZED. THESE AREAS MUST BE STABILIZED WITHIN 24 HOURS AFTER NO LONGER BEING USED AS A SEDIMENT CONTAINMENT SYSTEM.
12. TURF ESTABLISHMENT. ALL EXPOSED SOIL AREAS MUST BE STABILIZED AS SOON AS POSSIBLE TO LIMIT SOIL EROSION BUT IN NO CASE LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.

STANDARD PLAN NOTES  
GRADING AND EROSION CONTROL PLANS

MARCH 2017

 CITY OF LAKE ELMO

STANDARD DRAWING NO.  
600B  
LAKE ELMO

13. MAINTENANCE AND INSPECTION. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION AND UNTIL SATISFACTORY ESTABLISHMENT OF PERMANENT GROUND COVER IS OBTAINED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, AND STORMWATER OUTFALLS MUST BE INSPECTED WEEKLY, AND WITHIN 24 HOURS OF THE SITE RECEIVING 0.5 INCHES OF RAIN. REPAIRS MUST BE MADE ON THE SAME DAY OR FOLLOWING DAY OF THE INSPECTION. UNSATISFACTORY CONDITIONS NOT REPAIRED OR CLEANED UP WITHIN 48-HOURS OF NOTIFICATION SHALL RESULT IN A STOP WORK ORDER, AND/OR SAID WORK SHALL BE COMPLETED AT CONTRACTOR'S EXPENSE.
14. REMOVAL. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TEMPORARY EROSION CONTROL MEASURES, STRUCTURES AND DEVICES ONLY AFTER RECEIVING ENGINEER APPROVAL. ALL DEBRIS, STAKES, AND SILTS ALONG SILT FENCES SHALL BE REMOVED AND DISPOSED OFF SITE. THE CONTRACTOR SHALL HAND RAKE SILTED AREAS ALONG THE FENCE LOCATIONS TO PROVIDE A SMOOTH FINAL GRADE AND SHALL RESTORE THE GROUND SURFACE WITH SEED OR SOD, AS REQUIRED, TO MATCH THE FINISHED GRADE TO THE ADJACENT AREA.
15. FINAL STORM SEWER SYSTEM. AT THE COMPLETION OF THE WORK AND BEFORE THE FINAL WALK THROUGH, THE CONTRACTOR SHALL REMOVE STORM SEWER INLET PROTECTION MEASURES AND THOROUGHLY FLUSH THE STORM SEWER SYSTEM. SEDIMENT AND DEBRIS SHALL BE COMPLETELY REMOVED AND CLEANED AT THE INLETS, OUTLETS, AND DOWNSTREAM OF EACH OUTLET. RIPRAP AND GEOTEXTILE FABRIC MAY REQUIRE REPLACEMENT AS DIRECTED BY THE ENGINEER TO OBTAIN A LIKE NEW INSTALLATION ACCEPTABLE TO THE CITY.
16. DITCH CHECK (BIOROLL BLANKET SYSTEM). BIOROLL AND BLANKET SYSTEMS SHALL BE INSTALLED AS DITCH CHECKS ONLY IN SPECIFIED LOCATIONS AS APPROVED BY THE CITY ENGINEER. BIOROLLS ARE NOT TO BE UTILIZED IN AREAS WHERE VEHICLE AND CONSTRUCTION TRAFFIC OCCUR.
17. FLOTATION SILT CURTAIN. FLOTATION SILT CURTAIN SHALL BE UTILIZED WHEN CONSTRUCTION ACTIVITIES OCCUR DIRECTLY ADJACENT TO LAKES, STREAMS OR WETLANDS IN ORDER TO CONTAIN SEDIMENTS NEAR THE BANKS OF WORKING AREAS. THE INSTALLATION OF FLOTATION SILT CURTAINS WILL BE REQUIRED AS DIRECTED BY THE CITY ENGINEER.
18. CONCRETE WASHOUT ONSITE. ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER THAT DOES NOT ALLOW WASHOUT LIQUIDS TO ENTER GROUND WATER IS CONSIDERED AN IMPERMEABLE LINER. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA REGULATIONS. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.

STANDARD PLAN NOTES  
GRADING AND EROSION CONTROL PLANS

MARCH 2017

 CITY OF LAKE ELMO

STANDARD DRAWING NO.  
600C  
LAKE ELMO

1. RESTORE ALL DISTURBED AREAS WITH 6 INCHES OF TOPSOIL CONFORMING TO MNDOT 3877.
2. PROTECT ALL STORM SEWER INLETS AS SPECIFIED HEREIN AND MAINTAIN UNTIL STREET CONSTRUCTION IS COMPLETED.
3. MAINTAIN ALL SILT FENCE AND REPAIR OR REPLACE AS NEEDED OR REQUIRED UNTIL TURF HAS BEEN ESTABLISHED.
4. RESTORATION WORK SHALL BEGIN WITHIN 7 DAYS OF FINAL GRADING.
5. BOULEVARD AND DITCH RESTORATION INCLUDES FINE GRADING, WHICH INCLUDES THE REMOVAL OF ROCKS, DEBRIS AND SOIL CHUNKS, WHILE MAINTAINING POSITIVE DRAINAGE.

STANDARD PLAN NOTES  
SITE RESTORATION PLANS

MARCH 2017

 CITY OF LAKE ELMO

STANDARD DRAWING NO.  
600D  
LAKE ELMO

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<input type="checkbox"/>	BID DOCUMENT
<input type="checkbox"/>	FOR CONSTRUCTION
<input type="checkbox"/>	AS BUILT DOCUMENT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

TODD A. ERICKSON, PE  
40418

LICENSE NO.  
03/05/2018  
DATE

OWNER/CLIENTS  
CHASE DEVELOPMENT  
2140 COUNTY ROAD 42 WEST  
BURNSVILLE, MN 55337

PROJECT TITLE  
EASTON VILLAGE  
4TH ADDITION  
FINAL PLAN  
LAKE ELMO, MINNESOTA

NO.	REVISION DESCRIPTION	DATE

ISSUE NO. 18-111

SHEET TITLE  
GRADING  
STANDARD PLAN  
NOTES

SHEET NO.

C3

SHEET 3 OF 20

**GRADING AND EROSION CONTROL NOTES:**

- 1) SPOT ELEVATIONS ARE ALL CUTTER LINE OR FINISHED ELEVATION UNLESS NOTED OTHERWISE.
- 2) ELEVATION CONTOURS SHOWN AS FINISHED GRADE ELEVATIONS.
- 3) REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
- 4) DO NOT SPREAD TOPSOIL WHILE IT IS FROZEN OR MUDDY OR WHEN THE SUBGRADE IS WET OR FROZEN. CORRECT ANY IRREGULARITIES IN THE SURFACE THAT RESULT FROM TOPSOIL SPREADING OR OTHER OPERATIONS TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. BERMING OR DOUBLE LAYERING OR BIO LOG MAY BE REQUIRED TO CONTAIN RUNOFF IF SILT FENCING CANNOT BE INSTALLED PROPERLY DURING FROZEN CONDITIONS.
- 5) CONTRACTOR SHALL SCHEDULE SOILS TESTING FOR EACH STRUCTURAL, FILL AREA, PAD AND STREET AREA.
- 6) PRIOR TO ROUGH GRADING, INSTALL FIBER ROLLS AND SILT FENCE IN LOCATIONS SHOWN OR AS DIRECTED BY THE ENGINEER OR CITY STAFF.
- 7) AS EACH AREA OUTSIDE OF THE STREET IS GRADED, PROVIDE 6" OF NATIVE TOPSOIL, SEED AND MULCH ANCHORED WITH A STRAIGHT DISC WITHIN 48 HOURS OF FINE GRADING.
- 8) SLOPES 3:1 AND GREATER SHALL BE STABILIZED WITH FIBER BLANKET.
- 9) MAINTAIN AND REPAIR FIBER ROLL AND SILT FENCE (INCLUDING REMOVAL OF ACCUMULATED SILT WITHIN 24 HOURS UPON DETECTION OR NOTIFICATION) UNTIL VEGETATION IS 70% ESTABLISHED.
- 10) CONTRACTOR TO INSPECT AND DOCUMENT EROSION CONTROL. A MINIMUM OF ONCE EVERY SEVEN DAYS AND WITHIN 24 HOURS OF ANY RAIN EVENT GREATER THAN 1/2 INCH IN 24 HOURS AND WITHIN SEVEN DAYS AFTER THAT EVENT.
- 11) BIO LOG AND SILT FENCE FOUND DAMAGED MUST BE REPAIRED OR REPLACED WITHIN 24 HOURS UPON DISCOVERY. REMOVAL OF FIBER ROLL AND SILT FENCE REQUIRED AFTER SITE IS STABILIZED (AT DIRECTION OF ENGINEER).
- 12) ALL PUBLIC STREETS SHALL BE KEPT FREE OF SEDIMENT AND DEBRIS. ANY SEDIMENT OR DEBRIS DETECTED MUST BE REMOVED WITHIN 24 HOURS OR AS DIRECTED BY CITY.
- 13) ALL EXPOSED SOIL SHALL BE STABILIZED AS SOON AS POSSIBLE, BUT NO LATER THAN 14 DAYS AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED.
- 14) ALL PROPOSED AND EXISTING CATCH BASINS WITHIN PROJECT AREA SHALL BE PROVIDED INLET PROTECTION. REGULAR CLEANING OF PROTECTION SHALL OCCUR AND SHALL BE INCLUDED IN THE UNIT PRICE OF INLET PROTECTION.
- 15) ANY DEBRIS FOUND OR UNearthED ON THE SITE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR DISPOSAL AND PAID FOR AT THE UNIT PRICE PER CU. YD. OF DEBRIS REMOVAL.
- 16) ON-SITE BURY OF TREES SHALL BE STRICTLY PROHIBITED. TREES MAY BE BURNED WITH PROPER PERMITTING AND APPROVAL FROM CITY.
- 17) ALL PIPE OUTFALLS SHALL BE PROTECTED WITH RIPRAP PER CITY DETAIL.
- 18) ALL CITY STANDARD NOTES AS FOUND ON SHEET C3 SHALL BE FOLLOWED.

**LEGEND**

- 4TH ADDITION BOUNDARY
- - - 920 - - - EXISTING 2-FT CONTOUR INTERVAL
- 920 — PROPOSED 2-FT CONTOUR INTERVAL
- PROPOSED STORM SEWER (SIZE INDICATED ON PLANS)
- SILT FENCE
- - - - - INSTALL DITCH CHECK (MNDOT SPEC. 9" BIO LOG)
- █ ROCK CONSTRUCTION ENTRANCE
- █ EROSION CONTROL BLANKET (CAT. 2, WOOD FIBER) (CAT. 4 IN BOTTOM OF SWALES)

SEEDING: 1) LOTS AND OPEN SPACE, LOW GROW FESCUE @ 220 LBS./ACRE.  
TOPSOIL: 6" MINIMUM DEPTH, MEETING MNDOT SPEC. FOR TOPSOIL BORROW.

NOTE: ALL SEED SHALL BE DRILLED AND NOT SPREAD.

ALL SEEDING SHALL BE COVERED WITH WEED FREE MNDOT TYPE 3 MULCH APPLIED @ 2 TONS PER ACRE.

**SWPPP SEQUENCING**

- 1) OBTAIN MPCA PERMIT MINIMUM 7 DAYS PRIOR TO STARTING TREE CLEARING ACTIVITIES.
- 2) INSTALL ROCK CONSTRUCTION ENTRANCE AS SHOWN IN DETAILS.
- 3) INSTALL SEDIMENT INLET PROTECTION AT EXISTING CATCH BASINS AND MAINTAIN DURING PROJECT.
- 4) INSTALL SILT FENCING AS SHOWN ON PLAN PRIOR TO ANY SITE DISTURBANCE.
- 5) MAINTAIN SWPPP MUXBOX WITH A COPY OF THE PLANS, SWPPP AND EROSION CONTROL LOGS.
- 6) NOTIFY CITY FOR INSPECTION OF PERIMETER EROSION CONTROL, MEASURED PRIOR TO STARTING CONSTRUCTION (3 BUSINESS DAY NOTIFICATION REQUIRED).
- 7) STOCKPILE TOPSOIL AND INSTALL PERIMETER BIO LOG SURROUNDING STOCKPILES REQUIRED.
- 8) SEED TOPSOIL STOCKPILE WITH MINIMUM 200 LBS PER ACRE OATS.
- 9) CONDUCT GRADING OPERATIONS (MINOR, SITE WAS ROUGH GRADED IN PRIOR OPERATION).
- 10) COMPLETE GRADING AND INSTALL TOPSOIL, SEED AND BLANKET.
- 11) INSTALL UNDERGROUND UTILITIES AND CATCH BASIN INLET PROTECTION.
- 12) INSTALL ROCK BASE FOR ROADWAY, CONCRETE CURB AND GUTTER AND SIDEWALK.
- 13) INSTALL BOULEVARD TREES.
- 14) HYDROSEED OR SEED AND BLANKET DISTURBED AREAS ALONG STREET.
- 15) PAVE STREET.
- 16) CLEAN OUT AND MAINTAIN ANY SEDIMENT FROM SILT FENCING, BIO LOGS AND INLET PROTECTION.

ANY DEWATERING FROM THE SITE WILL REQUIRE THE WATER BE FILTERED THROUGH A DANDY BAG OR EQUAL. WATER SHOULD BE DIRECTED TO THE AREA OF 61 BEHIND THE PROPOSED SILT FENCING OR AS APPROVED BY THE ENGINEER.

**CITY STANDARD PLAN NOTES**

1. RESTORE ALL DISTURBED AREAS WITH 6 INCHES OF TOPSOIL CONFORMING TO MNDOT 3877.
2. PROTECT ALL STORM SEWER INLETS AS SPECIFIED HEREIN AND MAINTAIN UNTIL STREET CONSTRUCTION IS COMPLETED.
3. MAINTAIN ALL SILT FENCE AND REPAIR OR REPLACE AS NEEDED OR REQUIRED UNTIL TURF HAS BEEN ESTABLISHED.
4. RESTORATION WORK SHALL BEGIN WITHIN 7 DAYS OF FINAL GRADING.
5. A MINIMUM OF 2 ROWS OF SOG SHALL BE PLACED ADJACENT TO THE BACK OF CURBS ALONG ALL BOULEVARDS. SILT FENCE SHALL BE PLACED DIRECTLY BEHIND THE SOG IN ACCORDANCE WITH THE CITY STANDARD DETAILS.
6. BOULEVARD AND DITCH RESTORATION INCLUDES FINE GRADING, WHICH INCLUDES THE REMOVAL OF ROCKS, DEBRIS AND SOIL CHURNS, WHILE MAINTAINING POSITIVE DRAINAGE.

**KEYED NOTES**

- 1 INSTALL SILT FENCE
- 2 INSTALL ROCK CONSTRUCTION ENTRANCE
- 3 INSTALL MNDOT SPEC. 9" BIO LOG
- 4 INSTALL INLET PROTECTION
- 5 INSTALL EROSION CONTROL BLANKET TYPE CAT. 2 WOOD FIBER



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TODD A. ERICKSON, PE  
40418  
LICENSE NO.  
03/05/2018  
DATE

CHASE DEVELOPMENT  
2,140 COUNTY ROAD 42 WEST  
BURNSVILLE, MN 55337

EASTON VILLAGE  
4TH ADDITION  
FINAL PLAN  
LAKE ELMO, MINNESOTA

NO.	REVISION DESCRIPTION	DATE

NO. 18-111

SHEET TITLE  
**EROSION CONTROL PLAN**

SHEET NO.  
**C4**

SHEET 4 OF 20

**LEGEND**

- 4TH ADDITION BOUNDARY
- EXISTING 2-FT CONTOUR INTERVAL
- HIGH OR LOW POINT OF STREET PROFILE LOCATION AND ELEVATION  
HP = HIGH POINT, LP = LOW POINT, EOP = EMERGENCY OVERFLOW
- PROPOSED 2-FT CONTOUR INTERVAL
- PROPOSED DRAINAGE APPROX
- PROPOSED STREET GRADE PERCENT AND DIRECTION
- PROPOSED STORM SEWER, STRUCTURES AND NUMBER REF.
- ENGINEERED FILL LIMIT
- 100-YEAR HWL

**PAVEMENT HOLD DOWN TABLE**

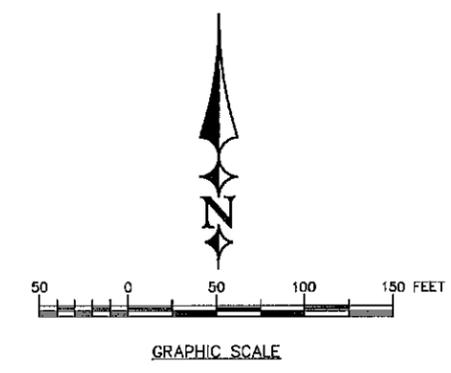
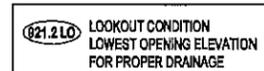
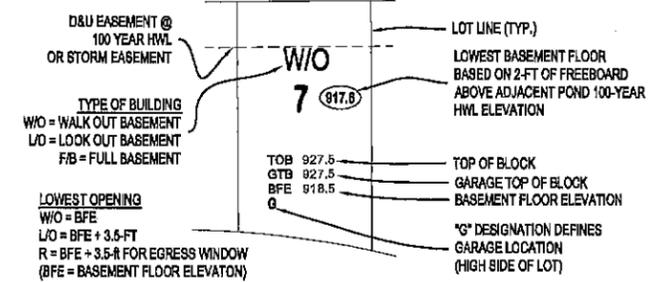
SECTION AREA	HOLD DOWN FOR GRADING
LOCAL STREET	21 INCHES
SIDEWALK	9 INCHES
TRAIL	10.5 INCHES

**GRADING NOTES:**

- 1) SPOT ELEVATIONS ARE ALL GUTTER LINE OR FINISHED ELEVATION UNLESS NOTED OTHERWISE.
- 2) ELEVATIONS/CONTOURS SHOWN AS FINISHED GRADE ELEVATIONS.
- 3) REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
- 4) DO NOT SPREAD TOPSOIL WHILE IT IS FROZEN OR MUDDY OR WHEN THE SUBGRADE IS WET OR FROZEN. CORRECT ANY IRREGULARITIES IN THE SURFACE THAT RESULT FROM TOPSOIL SPREADING OR OTHER OPERATIONS TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. BERMING OR DOUBLE LAYERING OR FIBER ROLL MAY BE REQUIRED TO CONTAIN RUNOFF IF SILT FENCING CANNOT BE INSTALLED PROPERLY DURING FROZEN CONDITIONS.
- 5) CONTRACTOR SHALL SCHEDULE SOILS TESTING FOR EACH STRUCTURAL FILL AREA, PAD AND STREET AREA.
- 6) ALL CITY STANDARD NOTES AS FOUND ON SHEETS C3 SHALL BE FOLLOWED.

**ENGINEERED/STRUCTURAL FILL REQUIREMENTS**

- 1) CONTRACTOR SHALL REMOVE TOPSOIL AND ANY ORGANIC MATERIAL AS DIRECTED BY ENGINEER IN ALL AREAS OF ENGINEERED/STRUCTURAL FILL.
- 2) ANY ENGINEERED/STRUCTURAL FILL MATERIAL SHALL BE COMPACTED IN 6-INCH LIFTS TO A DENSITY OF 98% STANDARD PROCTOR DENSITY.
- 3) GRANULAR BACKFILL SHALL BE COMPLETELY FREE OF ORGANIC MATERIAL & MAY NOT CONTAIN ANY ROCKS LARGER THAN 2" IN DIAMETER.
- 4) GRADES SHALL NOT VARY MORE THAN 0.1' FROM GRADING ELEVATIONS SHOWN ON PLANS.
- 5) TESTING OF PAD AREA SHALL BE COORDINATED BY CONTRACTOR AND TESTING RESULTS SHALL BE DELIVERED TO ENGINEER AND OWNER. COST OF TESTING IS BY OWNER.
- 6) TESTING OF ENGINEERED/STRUCTURAL FILL IN ROAD AREAS SHALL BE COORDINATED BY CONTRACTOR AND TESTING RESULTS SHALL BE DELIVERED TO OWNER, ENGINEER AND CITY.
- 7) ANY FAILED COMPACTION SHALL BE REMOVED AND RECOMPACTED AT NO ADDITIONAL EXPENSE TO THE OWNER, EXCEPT FOR TESTING.



**DRAWING PHASE:**

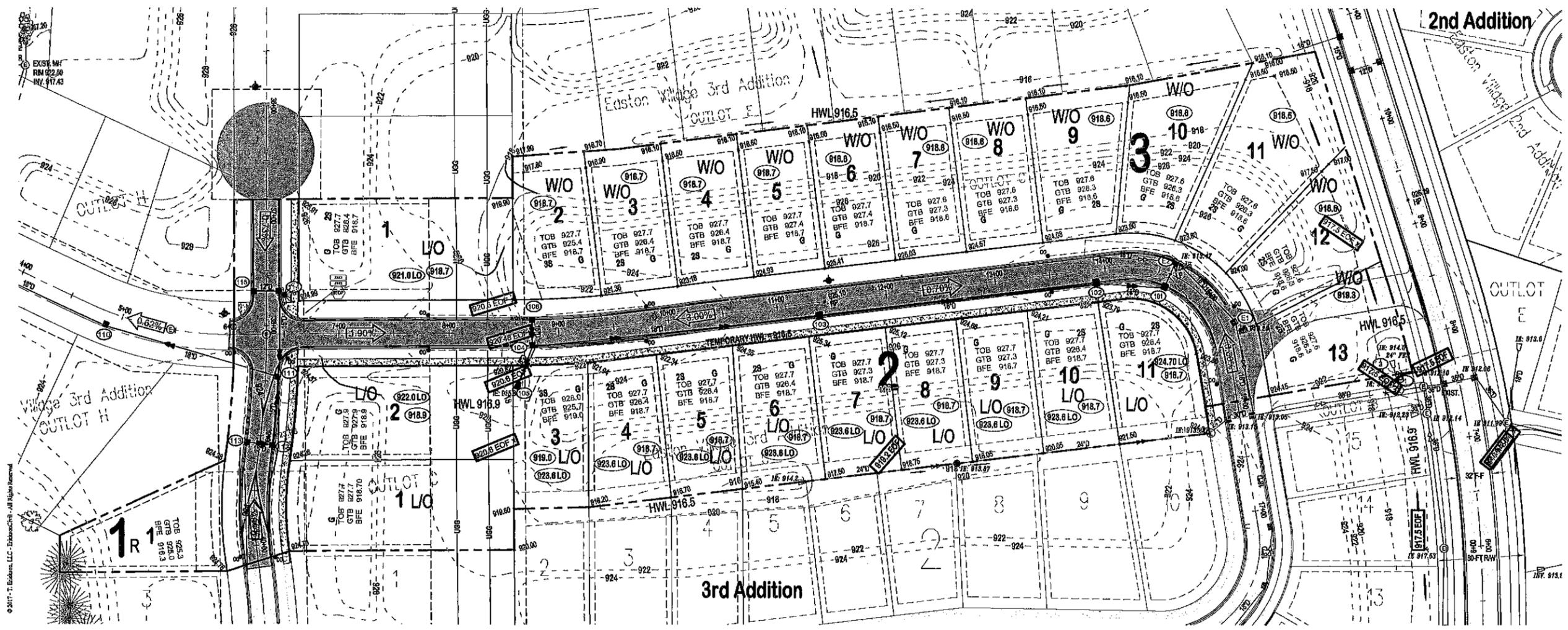
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TODD A. ERICKSON, PE  
40418  
LICENSE NO.  
03/05/2016  
DATE:

**CHASE DEVELOPMENT**  
2140 COUNTY ROAD 42 WEST  
BURNSVILLE, MN 55337

**EASTON VILLAGE 4TH ADDITION FINAL PLAN**  
LAKE ELMO, MINNESOTA



**REVISION DESCRIPTION**

NO.	DATE	REVISION DESCRIPTION

18-111  
**GRADING PLAN**  
C5  
SHEET 5 OF 20

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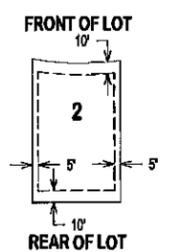
TODD A. ERICKSON, PE  
 40418  
 LICENSE NO.  
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 DATE:

CHASE DEVELOPMENT  
 2140 COUNTY ROAD 42 WEST  
 BURNSVILLE, MN 55337

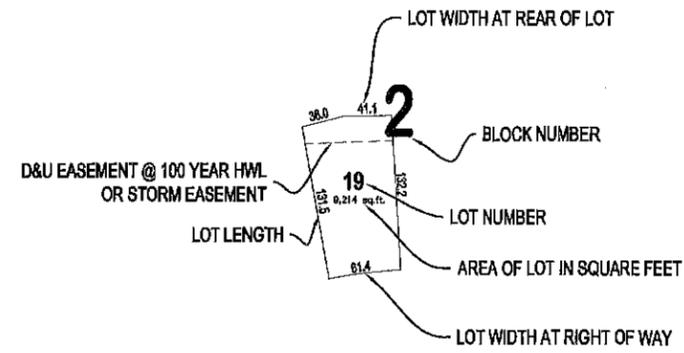
EASTON VILLAGE  
 4TH ADDITION  
 FINAL PLAN  
 LAKE ELMO, MINNESOTA

NO.
DATE
REVISION DESCRIPTION

18-111  
 SITE LAYOUT, LIGHTING AND SIGNING PLAN  
 C6  
 SHEET 8 OF 20



TYPICAL EASEMENT DETAIL



TYPICAL LOT DETAIL

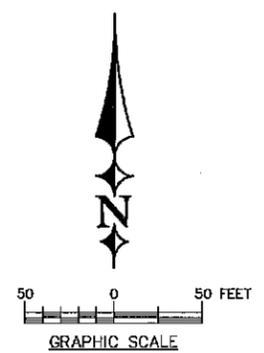
**Development Standards**

FRONT SETBACK	28'
GARAGE SIDE SETBACK	7.5'
SIDE SETBACK (CORNER LOTS)	15'
HOUSE SIDE SETBACK	7.5'
REAR SETBACK	20'
TYPICAL LOT WIDTH	65'
TYPICAL LOT DEPTH	130'
SIDE YARD EASEMENT	5'
FRONT AND REAR EASEMENT	10'

MIN. BASEMENT ELEVATION ABOVE 100 YEAR HWL: 2  
 \* UNLESS SHOWN ON PRELIMINARY LAYOUT  
 NOTE: DRAINAGE AND UTILITY EASEMENTS SHOWN FOR 100-YEAR HWL OF POONDING AREAS

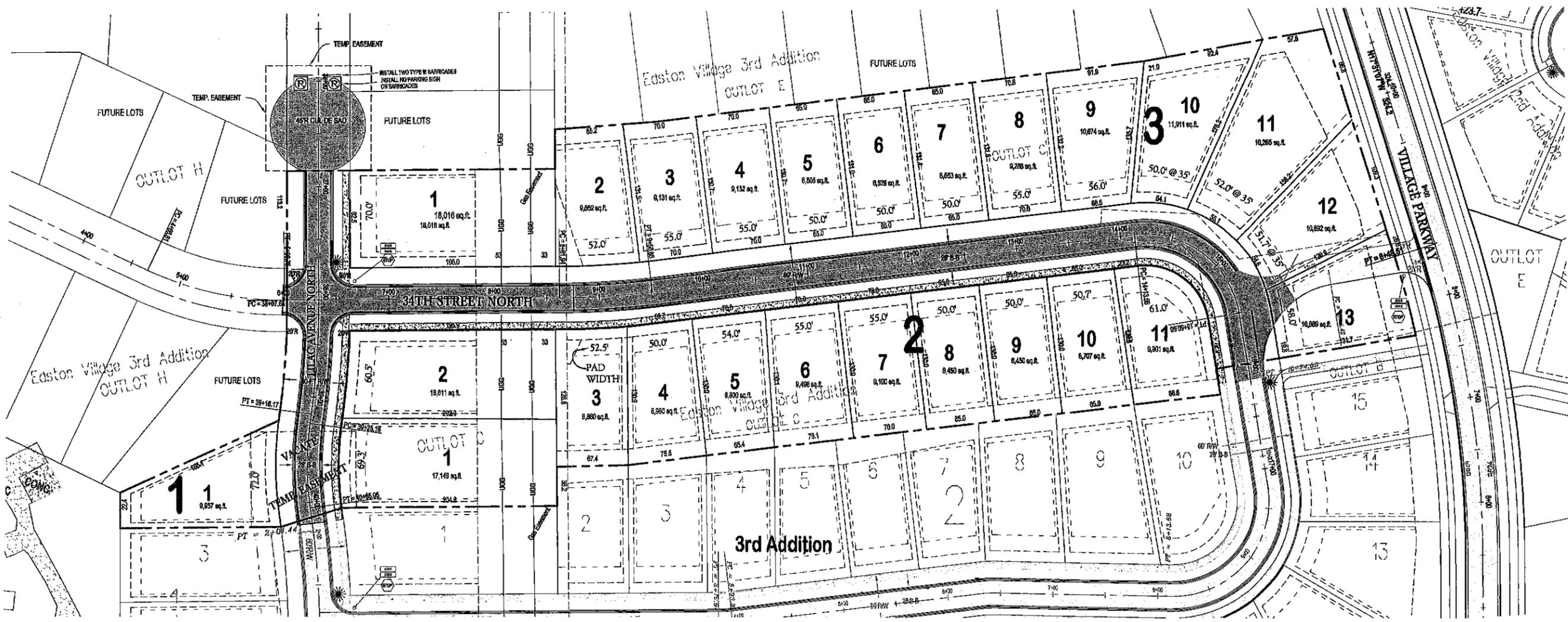
**Legend**

---	4TH ADDITION BOUNDARY
☼	16-FT POLE WITH ORNAMENTAL LIGHT, XCEL ENERGY "ACRON" LAMP.
- - - -	UTILITY EASEMENT
- - - -	HOUSE SETBACK
▭	PROPOSED STREET SIGN
▭	EXISTING BITUMINOUS PAVEMENT
▭	4TH ADDITION PROPOSED BITUMINOUS PAVEMENT
▭	PROPOSED CONCRETE SIDEWALK/CRAMP



**CITY STANDARD PLAN NOTES**

1. STREET LIGHTING SHALL BE INSTALLED PER CITY STANDARDS 5 FEET BACK OF CURB IN LOCATIONS SHOWN ON PLAN.
2. ALL SIGNS MUST MEET MMUTCD.
3. ALL SIGN SHEATHING TO BE TYPE IX DIAMOND GRADE (DGS).
4. SIGN POSTS TO BE SQUARE TUBE SIGN STANDARD WITH OMNI BASE.
5. DEVELOPER TO FURNISH AND INSTALL STREET SIGNS PER CITY STANDARDS.
6. POLY PERFORMED PAVEMENT MATERIAL SHALL BE USED FOR ALL PAVEMENT SYMBOLS.
7. EPOXY RESIN AND DROP-ON GLASS BEADS FOR PAVEMENT MARKINGS SHALL MEET THE REQUIREMENTS OF MNDOT "SPECIFICATIONS FOR CONSTRUCTION, 2014 EDITIONS".



DRAWING PHASE:	
OWNER REVIEW	
✓ AGENCY REVIEW	
DID DOCUMENT	
FOR CONSTRUCTION	
AS-BUILT DOCUMENT	

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

TODD A. ERICKSON, PE  
 40418  
 LICENSE NO.  
 03/05/2018  
 DATE:

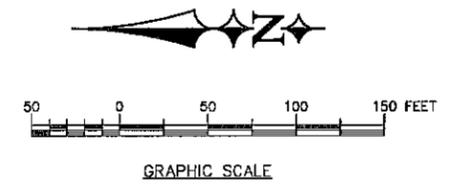
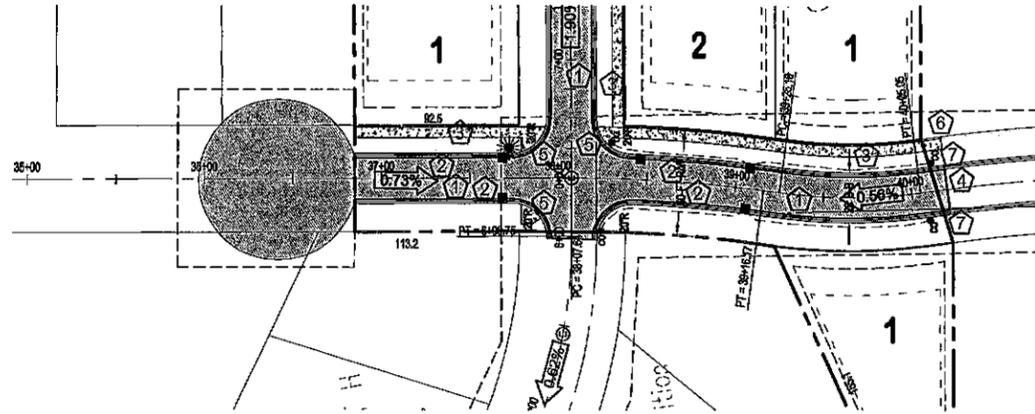
OWNER/PROJECT  
**CHASE DEVELOPMENT**  
 2140 COUNTY ROAD 42 WEST  
 BURNSVILLE, MN 55337

PROJECT TITLE  
**EASTON VILLAGE  
 4TH ADDITION  
 FINAL PLAN  
 LAKE ELMO, MINNESOTA**

NO.	REVISION DESCRIPTION	DATE

JOB NO. 18-111  
 SHEET TITLE  
**STREET PLAN & PROFILE**  
 SHEET NO.  
**C7**  
 SHEET 7 OF 20

**PLAN VIEW - LILAC AVENUE NORTH**



**Legend**

- EXISTING BITUMINOUS PAVEMENT
- PROPOSED BITUMINOUS PAVEMENT
- PROPOSED CONCRETE SIDEWALK/RAMP

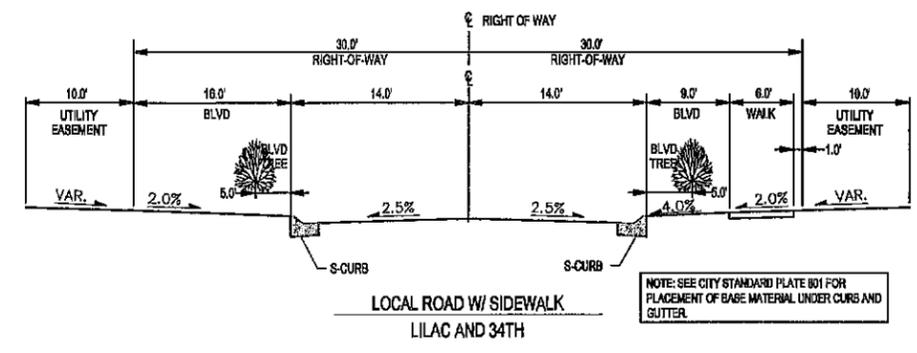
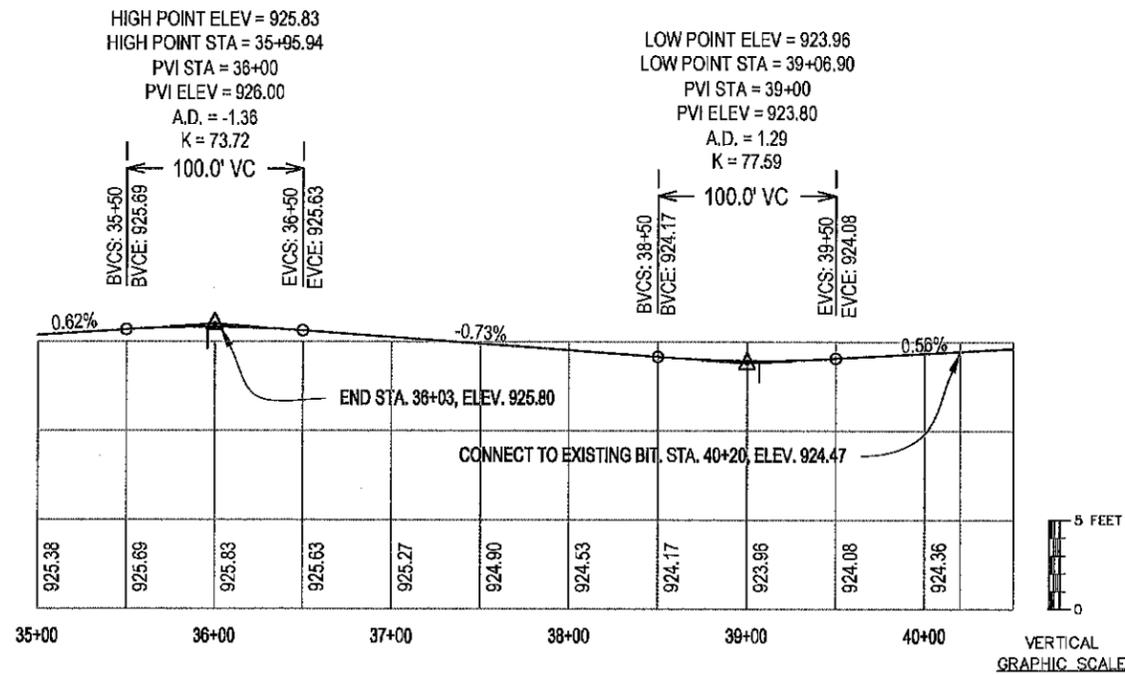
**Keyed Notes**

- ① INSTALL BITUMINOUS PAVEMENT PER CITY STANDARD PLATE NO. 501.
- ② INSTALL SURMOUNTABLE CONCRETE CURB AND GUTTER PER CITY STANDARD PLATE NO. 501.
- ③ INSTALL CONCRETE SIDEWALK PER CITY STANDARD PLATE NO. 510.
- ④ CONNECT TO EXISTING ROADWAY
- ⑤ INSTALL ACCESSIBLE CONCRETE RAMP PER CITY STANDARD PLATE NOS. 607A & 608.
- ⑥ CONNECT TO EXISTING CONCRETE SIDEWALK, INSTALL (3) 12" #4 EPOXY REBAR, 1-FT O.C., 4" DEPTH INTO EXISTING SIDEWALK
- ⑦ CONNECT TO EXISTING CONCRETE CURB, INSTALL (2) 12" #4 EPOXY REBAR, 8" O.C., 4" DEPTH INTO EXISTING CURB.

**Layout Notes**

- 1) ALL RADII TO BACK OF CURB
- 2) ALL DIMENSIONS TO THE FACE OF CURB UNLESS NOTED OTHERWISE.

**PROFILE VIEW - LILAC AVENUE NORTH**



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✓ AGENCY REVIEW
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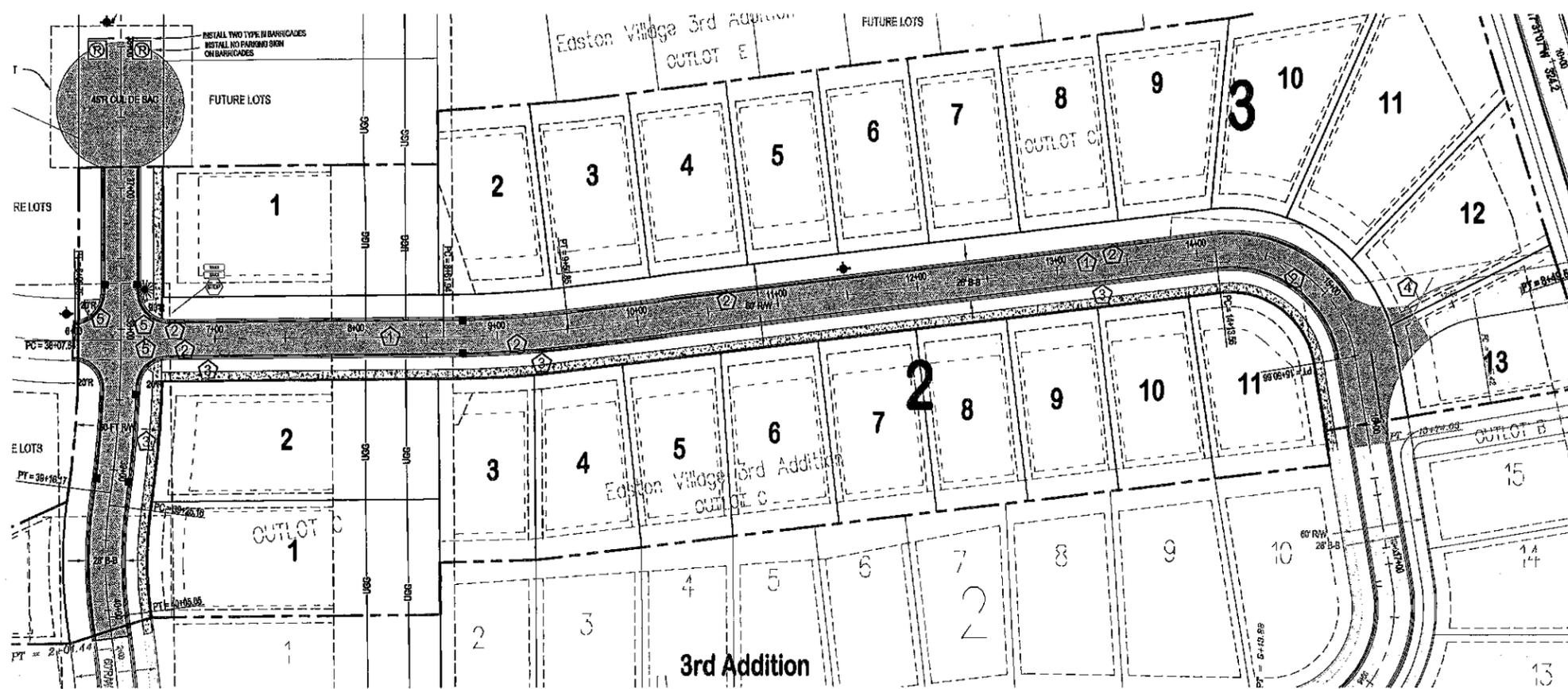
TODD A. ERICKSON, PE  
 40418  
 LICENSE NO.  
 03/05/2018  
 DATE:

CHASE DEVELOPMENT  
 2140 COUNTY ROAD 42 WEST  
 BURNSVILLE, MN 55337

EASTON VILLAGE  
 4TH ADDITION  
 FINAL PLAN  
 LAKE ELMO, MINNESOTA

NO.	DATE	REVISION DESCRIPTION

JOB NO. 18-111  
 SHEET TITLE  
**STREET PLAN & PROFILE**  
 SHEET NO.  
**C8**  
 SHEET 8 OF 20

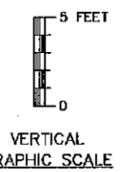


GRAPHIC SCALE

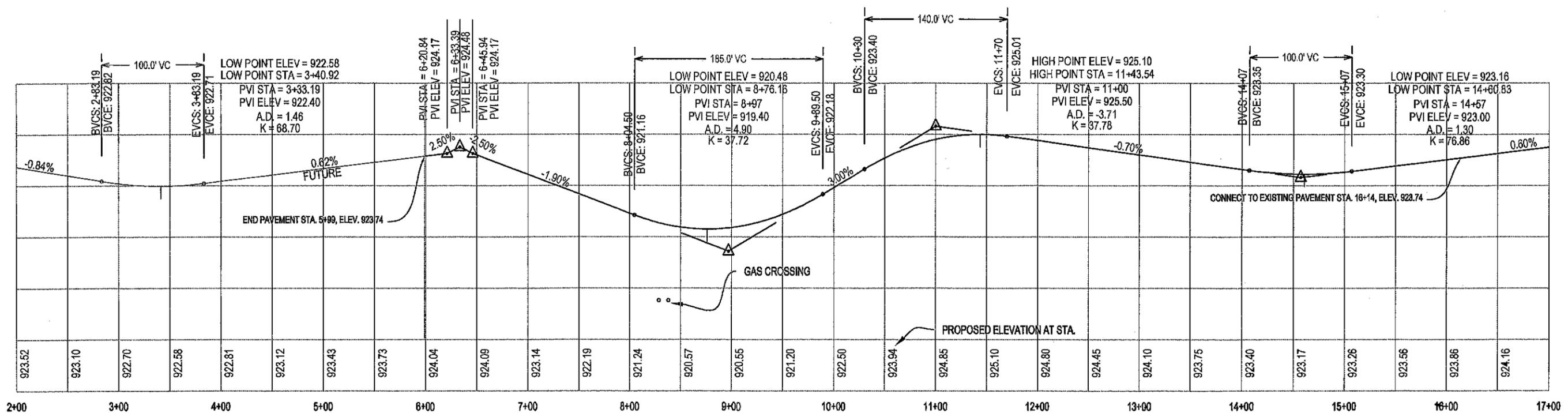
- Legend**
- EXISTING PAVEMENT
  - 4TH ADDITION PROPOSED BITUMINOUS PAVEMENT
  - PROPOSED CONCRETE SIDEWALK/RAMP

- Layout Notes**
- 1) ALL RADII TO BACK OF CURB
  - 2) ALL DIMENSIONS TO THE FACE OF CURB UNLESS NOTED OTHERWISE.

- Keyed Notes**
- 1) INSTALL BITUMINOUS PAVEMENT PER CITY STANDARD PLATE NO. 801.
  - 2) INSTALL SURMOUNTABLE CONCRETE CURB AND GUTTER PER CITY STANDARD PLATE NO. 801.
  - 3) INSTALL 4" CONCRETE SIDEWALK PER CITY STANDARD PLATE NO. 810.
  - 4) TEMPORARY ROAD EASEMENT
  - 5) INSTALL ACCESSIBLE CONCRETE RAMP PER CITY STANDARD PLATE NO. 807A & 808.

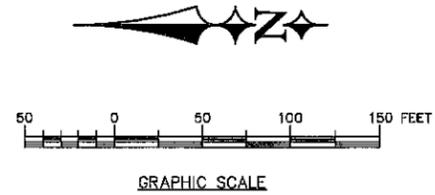
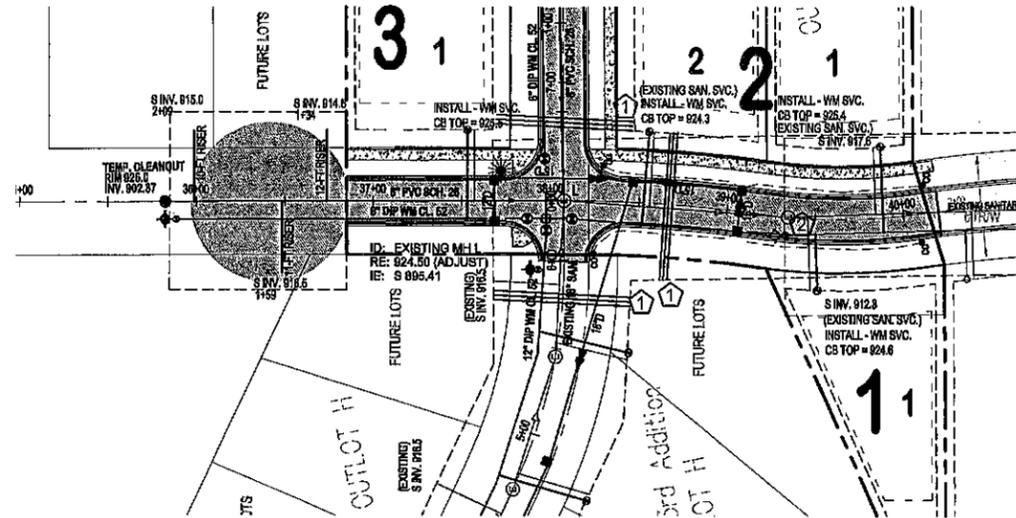


PROFILE VIEW - 34TH STREET NORTH



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**PLAN VIEW - SANITARY SEWER (LILAC AVENUE)**



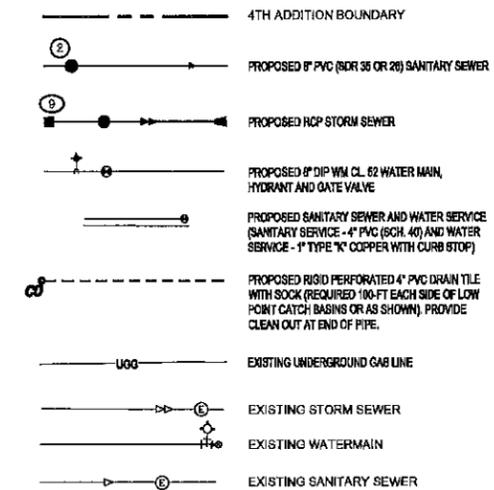
**Keyed Notes**

- ① INSTALL SMALL UTILITY CROSSING (3\"/>

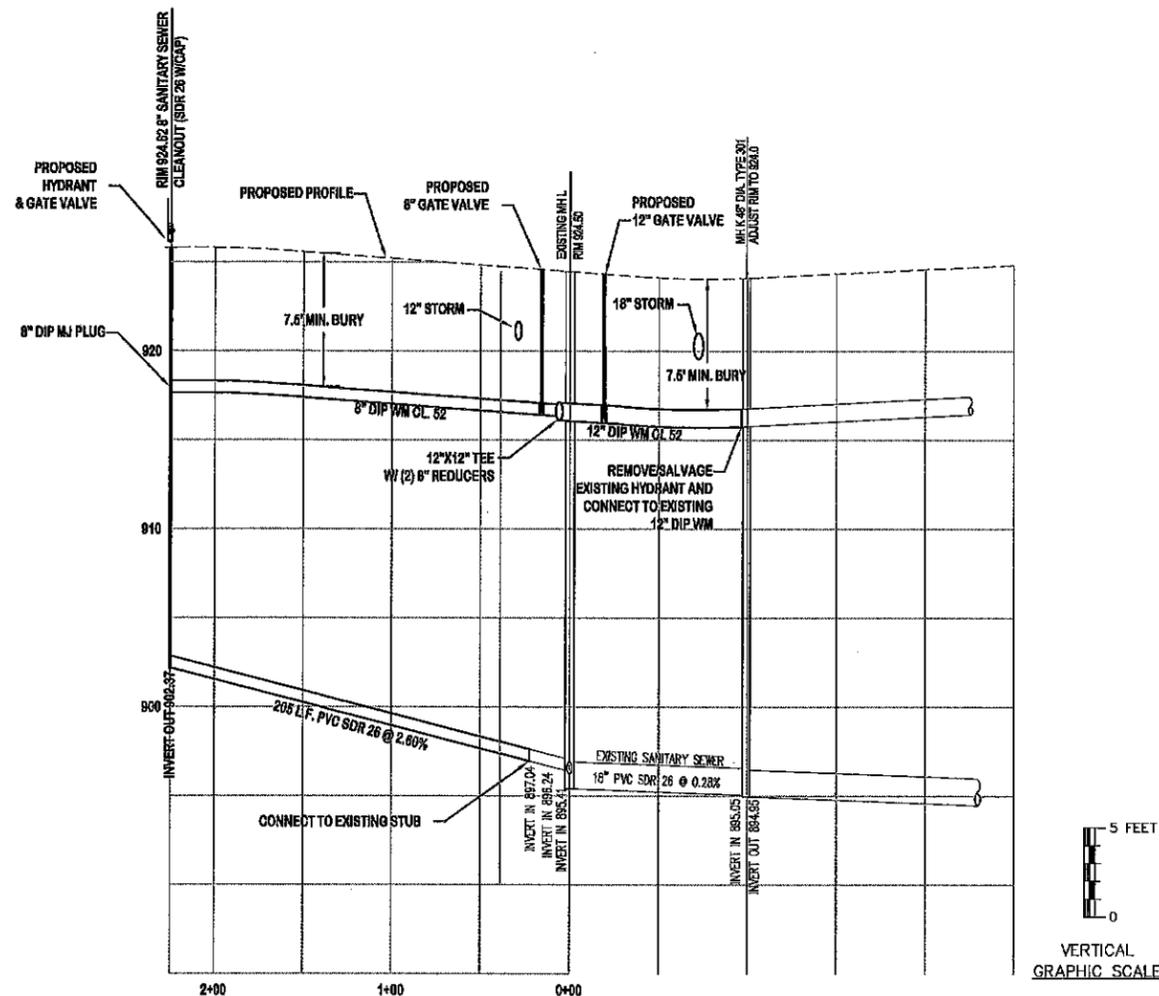
**Notes**

- 1) SEE DETAIL SHEETS FOR SPECIFIC REQUIREMENTS FOR UTILITY INSTALLATION.
- 2) ALL UTILITIES SHALL BE INSTALLED PER CITY OF LAKE ELMO DETAILS AND SPECIFICATIONS.
- 3) TRACER WIRE IS REQUIRED ON ALL SANITARY SEWER MAIN LINE AND SERVICES.

**Legend**



**PROFILE VIEW - SANITARY SEWER (LILAC AVENUE)**



**City Standard Plan Notes**

**Watermain**

1. ALL WATERMAIN AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
2. MANIPULATION OF EXISTING VALVES SHALL BE PERFORMED ONLY BY CITY PERSONNEL.
3. WATERMAIN SHALL BE DUCTILE IRON PIPE, ENCASED IN POLYETHYLENE, CLASS-B2.
4. ALL FITTINGS SHALL COMPLY WITH CEAM SPEC. 2611.2.A1. ALL FITTINGS SHALL BE DUCTILE IRON PIPE WITH POLYETHYLENE ENCASEMENT. ALL CONNECTIONS SHALL BE INSTALLED UTILIZING COR-BLUE NUTS & BOLTS.
5. USE GATE VALVES FOR ALL APPLICATIONS UP THROUGH 12 INCHES.
6. GATE VALVES SHALL BE RESILIENT WEDGE AMERICAN FLOW CONTROL SERIES 2500 OR APPROVED EQUAL. GATE VALVES MUST COMPLY WITH CEAM SPEC. 2611.2.C.2.
7. USE BUTTERFLY VALVES FOR ALL APPLICATIONS GREATER THAN 12 INCHES.
8. BUTTERFLY VALVES SHALL BE MUELLER LINESON 1L OR APPROVED EQUAL. BUTTERFLY VALVES SHALL COMPLY WITH CEAM SPEC. 2611.2.C.3.
9. BOLTS AND NUTS ON ALL VALVES AND HYDRANTS SHALL BE STAINLESS STEEL.
10. ALL HYDRANTS SHALL BE INSTALLED 5.0 FEET BACK OF CURB.
11. HYDRANTS SHALL BE WATERBUS "PADER" MODEL WB-67 OR APPROVED EQUAL, FITTED WITH FH 800 SERIES FLEX STAKE AND PAINTED RED.
12. HYDRANTS SHALL HAVE TWO OUTLET NOZZLES FOR 2-1/2 (I.D.) HOSE CONNECTIONS AND ONE 4\"/>

**Sanitary Sewer**

1. ALL SANITARY SEWER AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
2. ALL SANITARY SEWER PVC PIPE SHALL BE INSTALLED ACCORDING TO CITY STANDARD DRAWING 103 "GRANULAR MATERIAL BEDDING METHOD FOR PVC SANITARY SEWER PIPE".
3. UNLESS NOTED OTHERWISE, ALL SMOOTH WALLED SANITARY SEWER PVC PIPE AND FITTINGS SHALL BE SDR 35 WITH ELASTOMER GASKETED JOINTS.
4. ALL SANITARY SEWER SERVICES SHALL BE 4-INCH PVC, SCH. 40.
5. SMOOTH WALLED PVC PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF ASTM D-3034 FOR THE SIZE, STANDARD DIMENSION RATIO (SDR), AND STRENGTH REQUIREMENTS INDICATED ON THE PLANS, SPECIFICATIONS, AND SPECIAL PROVISIONS.
6. REINFORCED CONCRETE PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF MHDOT SPEC. 3236 (REINFORCED CONCRETE PIPE) FOR THE TYPE, SIZE, AND STRENGTH CLASS SPECIFIED HEREIN.
7. JOINTS OF MANHOLE RISER SECTIONS SHALL BE TONGUE AND GROOVE WITH RUBBER "O" RING JOINTS PROVIDED ON ALL SANITARY SEWER MANHOLES.
8. SANITARY SEWER INLET AND OUTLET PIPES SHALL BE JOINED TO THE MANHOLE WITH A CASKETED, FLEXIBLE, WATER-TIGHT CONNECTION TO ALLOW DIFFERENTIAL SETTLEMENT OF THE PIPE AND MANHOLE TO TAKE PLACE.
9. A 1'-0\"/>

DRAWING PHASE:	
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TODD A. ERICKSON, PE  
 40418  
 LICENSE NO.  
 03/05/2018  
 DATE

CHASE DEVELOPMENT  
 2140 COUNTY ROAD 42 WEST  
 BURNSVILLE, MN 55337

EASTON VILLAGE  
 4TH ADDITION  
 FINAL PLAN  
 LAKE ELMO, MINNESOTA

NO.	REVISION DESCRIPTION	DATE

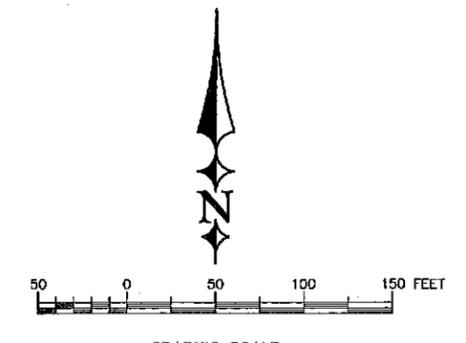
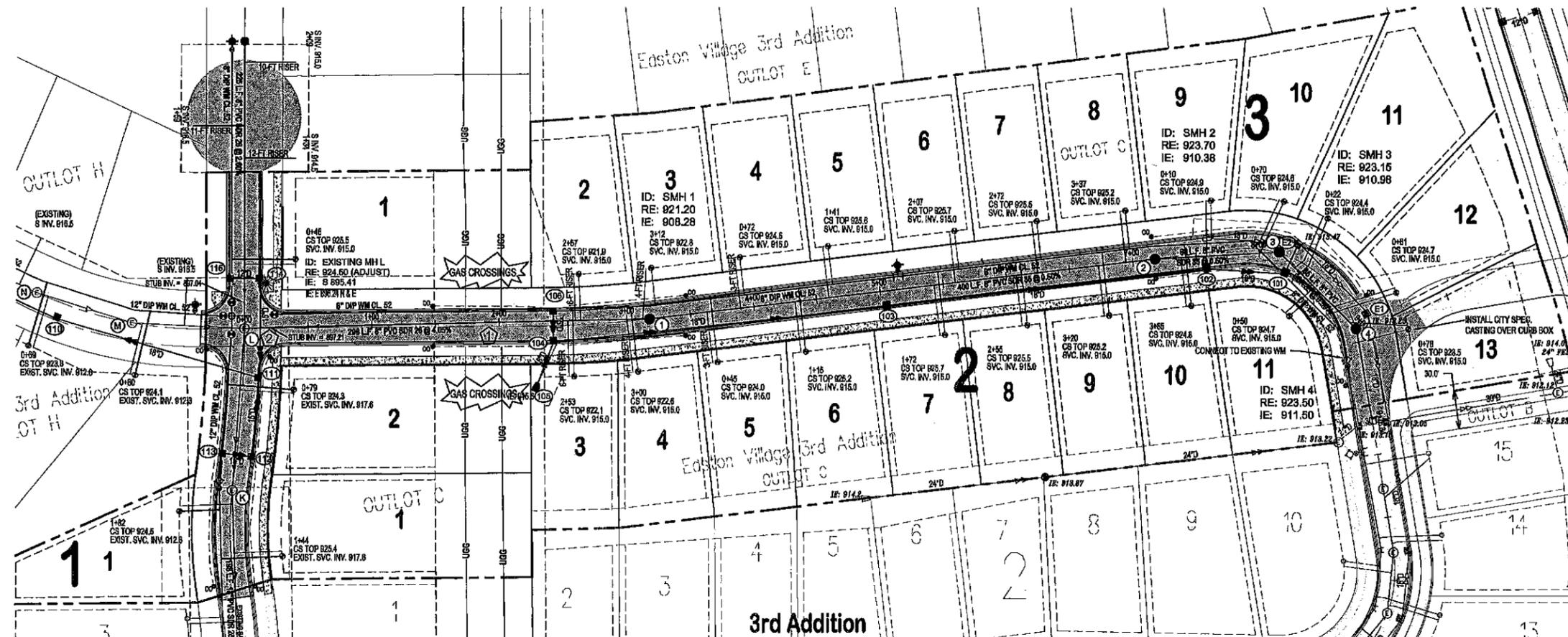
JOB NO. 18-111

SHEET TITLE  
 SANITARY SEWER & WATERMAIN  
 PLAN & PROFILE

SHEET NO.

C9

# PLAN VIEW - SANITARY SEWER (34TH STREET NORTH)



- Legend**
- 4TH ADDITION BOUNDARY
  - ② --- PROPOSED 8" PVC (SDR 35 OR 26) SANITARY SEWER
  - ⑧ --- PROPOSED 18" STORM SEWER
  - ↑ --- PROPOSED 8" DIP WM CL. & 2" WATER MAIN, HYDRANT AND GATE VALVE
  - PROPOSED SANITARY SEWER AND WATER SERVICE (SANITARY SERVICE - 4" PVC (SCH. 40) AND WATER SERVICE - 1" TYPE 'K' COPPER WITH CURB STOP)
  - PROPOSED RIGID PERFORATED 4" PVC DRAIN TILE WITH SOOK (REQUIRED 100-FT EACH SIDE OF LOW POINT CATCH BASIN OR AS SHOWN). PROVIDE CLEAN OUT AT END OF PIPE.
  - EXISTING UNDERGROUND GAS LINE
  - EXISTING STORM SEWER
  - EXISTING WATERMAIN
  - EXISTING SANITARY SEWER
- Notes**
- 1) SEE DETAIL SHEETS FOR SPECIFIC REQUIREMENTS FOR UTILITY INSTALLATION.
  - 2) ALL UTILITIES SHALL BE INSTALLED PER CITY OF LAKE ELMO DETAILS AND SPECIFICATIONS.
  - 3) TRACER WIRE IS REQUIRED ON ALL SANITARY SEWER MAIN LINE AND SERVICES.

**ERICKSON CIVIL**  
 333 North Main Street, Suite 201  
 Stillwater, Minnesota 55082  
 Phone (612) 309-3804  
 www.ericksoncivil.com

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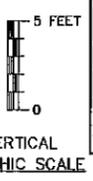
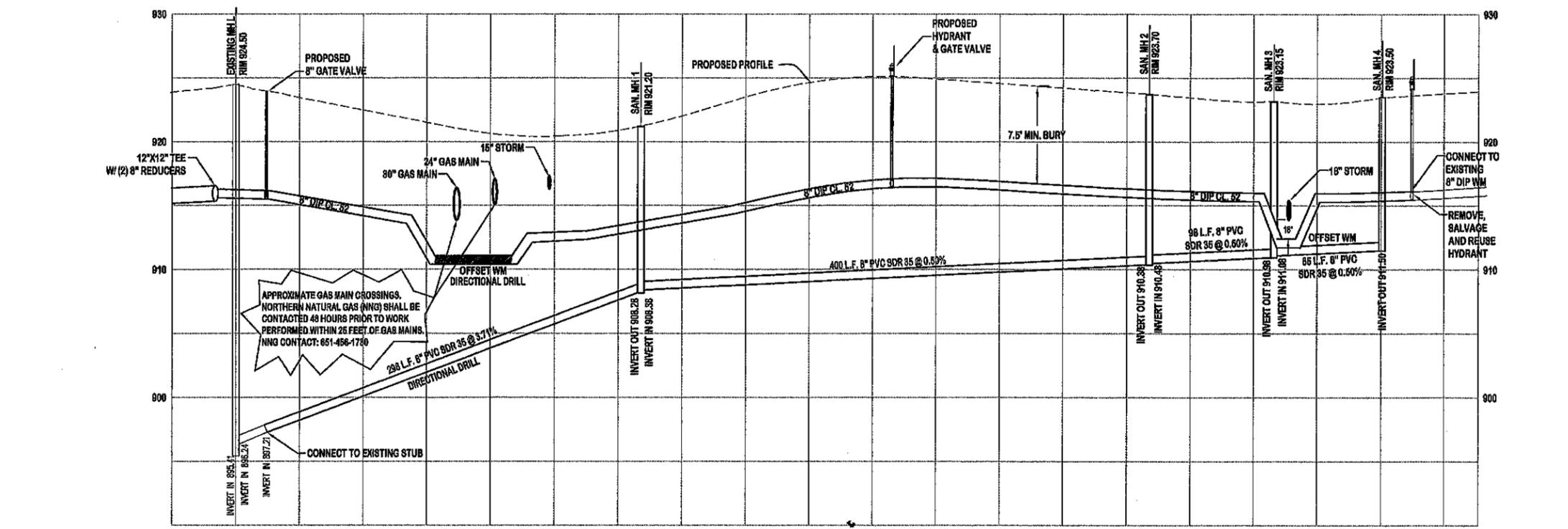
OWNER/DEVELOPER  
**CHASE DEVELOPMENT**  
 2140 COUNTY ROAD 42 WEST  
 BURNSVILLE, MN 55337

PROJECT TITLE  
**EASTON VILLAGE 4TH ADDITION FINAL PLAN LAKE ELMO, MINNESOTA**

NO.	REVISION DESCRIPTION

SHEET NO. 18-111  
 SHEET TITLE  
**SANITARY SEWER & WATERMAIN PLAN & PROFILE**  
 SHEET NO.  
**C10**  
 SHEET 10 OF 20

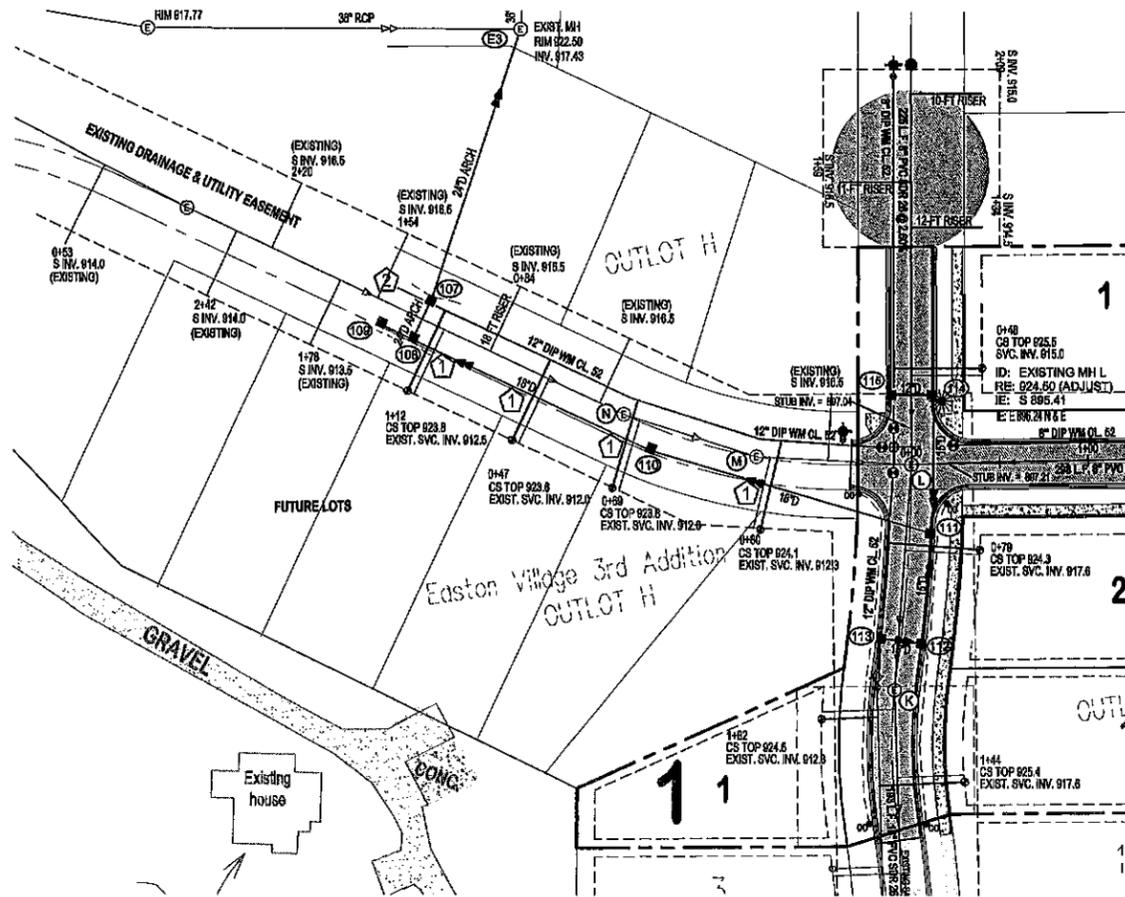
# PROFILE VIEW - SANITARY SEWER (34TH STREET NORTH)



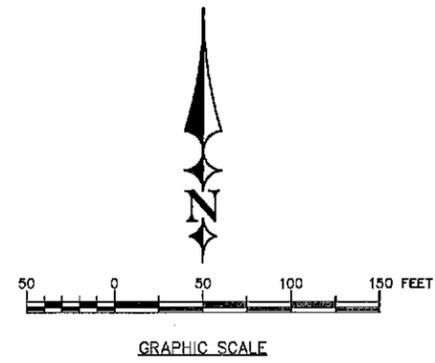
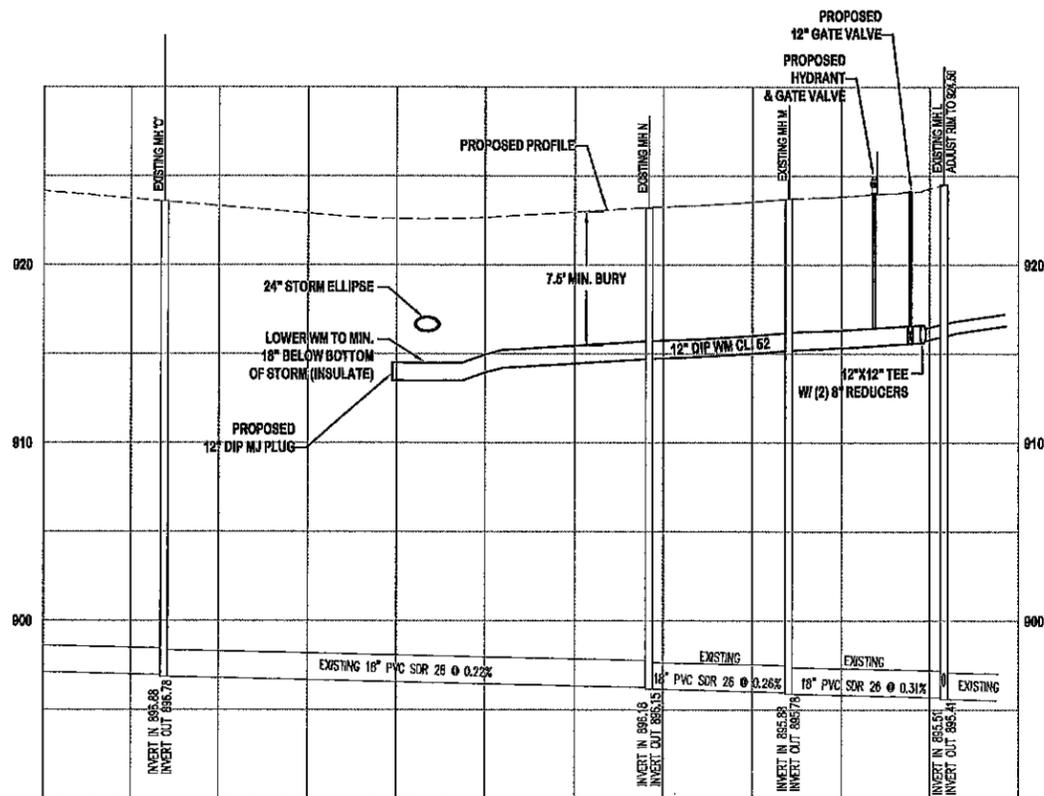
- Keyed Notes**
- ① JACK / BORE AT GAS CROSSING. TELEVISIONING OF SANITARY REQUIRED PRIOR TO BACK FILL OF TRENCH.
  - ② CONNECT TO EXISTING SANITARY STUB. VERIFY ELEVATION PRIOR TO START OF JACK / BORE OPERATION.

- City Standard Plan Notes**
- Watermain**
1. ALL WATERMAIN AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
  2. MANIPULATION OF EXISTING VALVES SHALL BE PERFORMED ONLY BY CITY PERSONNEL.
  3. WATERMAIN SHALL BE DUCTILE IRON PIPE, ENCASED IN POLYETHYLENE, CLASS-B2.
  4. ALL FITTINGS SHALL COMPLY WITH CEAM SPEC. 2817.2.2.1. ALL FITTINGS SHALL BE ELIGIBLE IRON PIPE WITH POLYETHYLENE ENCASEMENT. ALL CONNECTIONS SHALL BE INSTALLED UTILIZING COR-BLUE NUTS & BOLTS.
  5. USE GATE VALVES FOR ALL APPLICATIONS UP THROUGH 12 INCHES.
  6. GATE VALVES SHALL BE FISH EYE INVERT AMERICAN FLOW CONTROL SERIES 2500 OR APPROVED EQUAL. GATE VALVES MUST COMPLY WITH CEAM SPEC. 2811.2.C.2.
  7. USE BUTTERFLY VALVES FOR ALL APPLICATIONS GREATER THAN 12 INCHES.
  8. BUTTERFLY VALVES SHALL BE MUELLER UNIVERSAL OR APPROVED EQUAL. BUTTERFLY VALVES SHALL COMPLY WITH CEAM SPEC. 2811.2.C.3.
  9. BOLTS AND NUTS ON ALL VALVES AND HYDRANTS SHALL BE STAINLESS STEEL.
  10. ALL HYDRANTS SHALL BE INSTALLED 5.0 FEET BACK OF CURB.
  11. HYDRANTS SHALL BE WALKERS "VALVE" MODEL 937-67 OR APPROVED EQUAL, FITTED WITH 80 SERIES FLUX STANG AND PAINTED RED.
  12. HYDRANTS SHALL HAVE TWO OUTLET NOZZLES FOR 2-1/2 (2.5) HOSE CONNECTIONS AND ONE 4" STORRY 40771F (MODEL 40-67) AND PENNACON NUT F/W CAP.
  13. THE CURB STOP SERVICE ASSEMBLY SHALL HAVE A MINIMUM 1-1/2" ADJUSTMENT RANGE AND SHALL EXTEND 6 INCHES ABOVE FINISHED GRADE FULLY EXTENDED.
  14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROMISING WATER TO HOMES AND BUSINESSES WHOSE WATER SUPPLY IS INTERRUPTED DURING THE COURSE OF THE PROJECT.
- Sanitary Sewer**
1. ALL SANITARY SEWER AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
  2. ALL SANITARY SEWER PVC PIPE SHALL BE INSTALLED ACCORDING TO CITY STANDARD DRAWING 803 "CIRCULAR WATERMAIN RECORD METHOD FOR PVC SANITARY SEWER PIPE".
  3. UNLESS NOTED OTHERWISE, ALL SMOOTH WALLED SANITARY SEWER PVC PIPE AND FITTINGS SHALL BE SDR 35 WITH ELASTOMER GASKETED JOINTS.
  4. ALL SANITARY SEWER SERVICES SHALL BE 4-INCH PVC, SDR 40.
  5. SMOOTH WALLED PVC PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF ASTM D-3034 FOR THE SIZE, STANDARD DIMENSION RATIO (SDR), AND STRENGTH REQUIREMENTS INDICATED ON THE PLANS, SPECIFICATIONS, AND SPECIAL PROVISIONS.
  6. REINFORCED CONCRETE PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF MACT SPEC. 3206 OR APPROVED CONCRETE PIPE FOR THE TYPE, SIZE, AND STRENGTH CLASS SPECIFIED - GREEN.
  7. JOINTS OF MANHOLE BASE STRUCTURES SHALL BE TONGUE AND GROOVE WITH RUBBER "O" RING JOINTS PROVIDED ON ALL SANITARY SEWER MANHOLES.
  8. SANITARY SEWER INLET AND OUTLET PIPES SHALL BE JOINED TO THE MANHOLE WITH A GASKETED, FLEXIBLE, WATER-TIGHT CONNECTION TO ALLOW DIFFERENTIAL SETTLEMENT OF THE PIPE AND MANHOLE TO TAKE PLACE.
  9. A 1'-0" TO 1'-6" MANHOLE SECTION SHALL BE INSTALLED UNDER THE CONC. SECTION TO ALLOW FOR HEIGHT ADJUSTMENT IF NECESSARY.
  10. ALL SERVICE LINE STRIPS MUST HAVE A 2"x4" HARDWOOD MARKER WITH METAL SIGN HUNG 7" FROM THE END OF PIPE TO FINISHED GRADE ELEVATION.
  11. BEFORE MAKING A CONNECTION TO AN EXISTING SANITARY SEWER, THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF THE EXISTING SANITARY SEWER BY MANHOLES AND TELEVISIONING. TELEVISIONING SHALL BE PERFORMED PRIOR TO ANY CONNECTIONS TO EXISTING SANITARY SEWER.
  12. ALL SANITARY SEWER AND SERVICES SHALL HAVE TRACER WIRE PER CITY STANDARD SPECIFICATIONS AND DETAILS.

# PLAN VIEW - SANITARY SEWER (34TH STREET NORTH)



# PROFILE VIEW - SANITARY SEWER (34TH STREET NORTH)



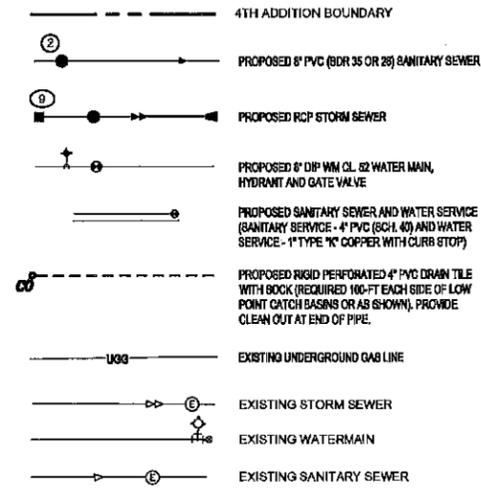
## City Standard Plan Notes

- Watermain**
1. ALL WATERMAIN AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
  2. MANIPULATION OF EXISTING VALVES SHALL BE PERFORMED ONLY BY CITY PERSONNEL.
  3. WATERMAIN SHALL BE DUCTILE IRON PIPE ENCASED IN POLYETHYLENE, CLASS-52.
  4. ALL FITTINGS SHALL COMPLY WITH CEAM SPEC. 2811.2.A1. ALL FITTINGS SHALL BE DUCTILE IRON PIPE WITH FPO/EPDM ENCASEMENT. ALL CONNECTIONS SHALL BE INSTALLED UTILIZING COR-BLUE NUTS & BOLTS.
  5. USE GATE VALVES FOR ALL APPLICATIONS UP THROUGH 12 INCHES.
  6. GATE VALVES SHALL BE RESILIENT WEDGE AMERICAN FLOW CONTROL SERIES 2500 OR APPROVED EQUAL. GATE VALVES MUST COMPLY WITH CEAM SPEC. 2811.2.C.2.
  7. USE BUTTERFLY VALVES FOR ALL APPLICATIONS GREATER THAN 12 INCHES.
  8. BUTTERFLY VALVES SHALL BE MUELLER LINESAL III, OR APPROVED EQUAL. BUTTERFLY VALVES SHALL COMPLY WITH CEAM SPEC. 2811.2.C.3.
  9. BOLTS AND NUTS ON ALL VALVES AND HYDRANTS SHALL BE STAINLESS STEEL.
  10. ALL HYDRANTS SHALL BE INSTALLED 5.0 FEET BACK OF CURB.
  11. HYDRANTS SHALL BE WATERWORKS "FAGER" MODEL W9-07 OR APPROVED EQUAL, FITTED WITH FH 900 SERIES FLX STAKE AND PAINTED RED.
  12. HYDRANTS SHALL HAVE TWO OUTLET NOZZLES FOR 3-1/2" (L.D.) HOSE CONNECTIONS AND ONE 4" STORZ NOZZLE (MODEL W9-07) AND PENTAGON NUT END CAP.
  13. THE CURB STOP SERVICE ASSEMBLY SHALL HAVE A MINIMUM 1'-11" ADJUSTMENT RANGE AND SHALL EXTEND 6 INCHES ABOVE FINISHED GRADE FULLY EXTENDED.
  14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING WATER TO HOMES AND BUSINESSES WHOSE WATER SUPPLY IS INTERRUPTED DURING THE COURSE OF THE PROJECT.

- Sanitary Sewer**
1. ALL SANITARY SEWER AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
  2. ALL SANITARY SEWER PVC PIPE SHALL BE INSTALLED ACCORDING TO CITY STANDARD DRAWING 103 "GRAVULAR MATERIAL BEDDING METHOD (FOR PVC SANITARY SEWER PIPE)".
  3. UNLESS NOTED OTHERWISE, ALL SMOOTH WALLED SANITARY SEWER PVC PIPE AND FITTINGS SHALL BE SDN 35 WITH ELASTOMER GASKETED JOINTS.
  4. ALL SANITARY SEWER SERVICES SHALL BE 4-INCH PVC, SCH. 40.
  5. SMOOTH WALLED PVC PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF ASTM D-3034 FOR THE SIZE, STANDARD DIMENSION RATIO (SDR), AND STRENGTH REQUIREMENTS INDICATED ON THE PLANS, SPECIFICATIONS, AND SPECIAL PROVISIONS.
  6. REINFORCED CONCRETE PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF MUDOT SPEC 3033 (REINFORCED CONCRETE PIPE) FOR THE TYPE, SIZE, AND STRENGTH CLASS SPECIFIED HEREIN.
  7. JOINTS OF MANHOLE RISER SECTIONS SHALL BE TONGUE AND GROOVE WITH RUBBER "D" RING JOINTS PROVIDED ON ALL SANITARY SEWER MANHOLES.
  8. SANITARY SEWER INLET AND OUTLET PIPES SHALL BE JOINED TO THE MANHOLE WITH A GASKETED, FLEXIBLE, WATER-TIGHT CONNECTION TO ALLOW DIFFERENTIAL SETTLEMENT OF THE PIPE AND MANHOLE TO TAKE PLACE.
  9. A 1'-0" TO 1'-4" MANHOLE SECTION SHALL BE INSTALLED UNDER THE CONE SECTION TO ALLOW FOR HEIGHT ADJUSTMENT WHENEVER POSSIBLE.
  10. ALL SERVICE LINE STUDS MUST HAVE A 2"x2" HARDWOOD MARKER WITH METAL SPIKE RUNNING FROM THE END OF PIPE TO FINISHED GRADE ELEVATION.
  11. UPON MAKING A CONNECTION TO AN EXISTING SANITARY SEWER STUB OR MANHOLE, DIRT AND DEBRIS SHALL BE PREVENTED FROM ENTERING THE EXISTING SEWER BY IMMEDIATELY INSTALLING WATER-TIGHT PLUGS AS NEEDED BY THE EXISTING MANHOLE.
  12. ALL MAINLINE SANITARY SEWER AND SERVICES SHALL HAVE TRACER WIRE PER CITY SPECIFICATIONS AND DETAILS.

- Keyed Notes**
1. INSTALL FUTURE WATER SERVICES MIN. 2-FT BELOW STORM SEWER INVERT AT MIN. 7.0-FT OF DEPTH AND INSULATED WITH ONE 2"x4"x8" SHEET OF RIGID FOAM AT EACH CROSSING.
  2. END 12" DIP WM CL. 62 AND PLUG 20-FT BEYOND PROPOSED STORM SEWER.

## Legend



## Notes

1. SEE DETAIL SHEETS FOR SPECIFIC REQUIREMENTS FOR UTILITY INSTALLATION.
2. ALL UTILITIES SHALL BE INSTALLED PER CITY OF LAKE ELMO DETAILS AND SPECIFICATIONS.
3. TRACER WIRE IS REQUIRED ON ALL SANITARY SEWER MAIN LINE AND SERVICES.

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 40418  
 LICENSE NO.  
 03/05/2018  
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CHASE DEVELOPMENT  
 2140 COUNTY ROAD 42 WEST  
 BURNSVILLE, MN 55337

EASTON VILLAGE  
 4TH ADDITION  
 FINAL PLAN  
 LAKE ELMO, MINNESOTA

NO.	REVISION DESCRIPTION	DATE

JOB NO. 18-111

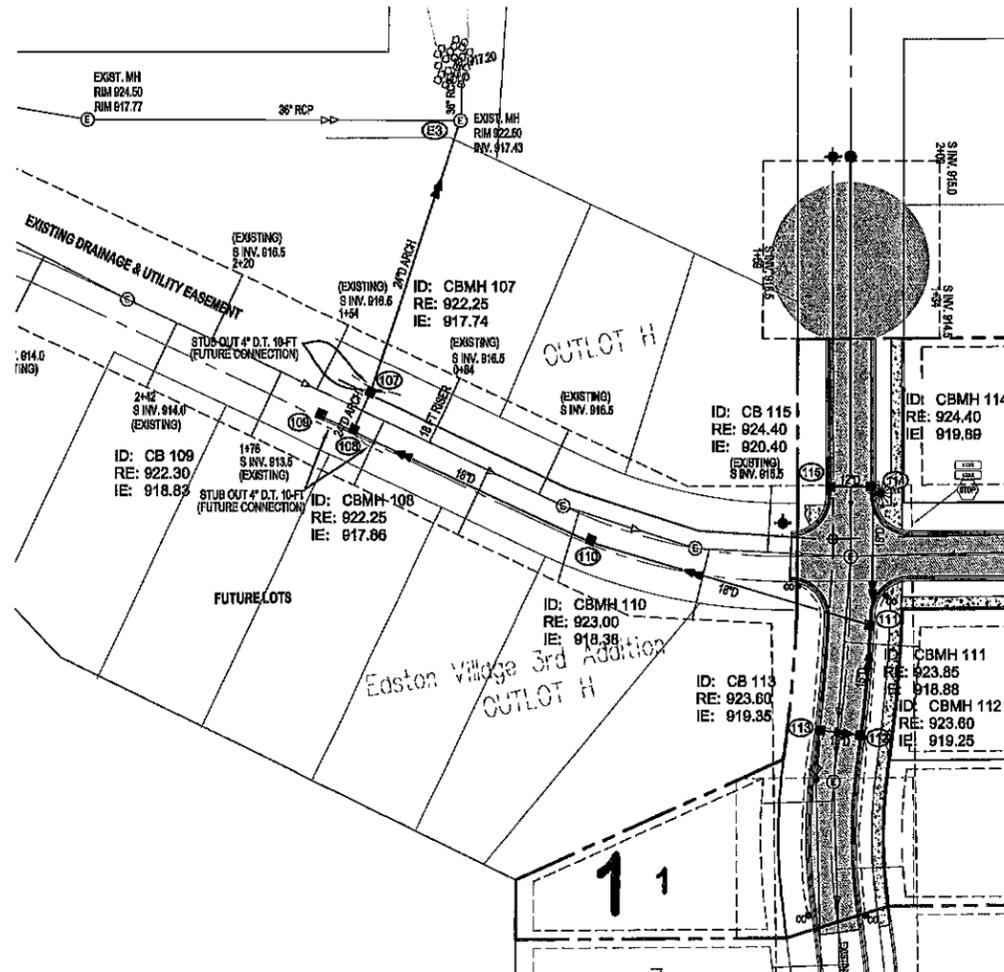
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 SANITARY SEWER & WATERMAIN  
 PLAN & PROFILE

SHEET NO.  
**C11**  
 SHEET 11 OF 20

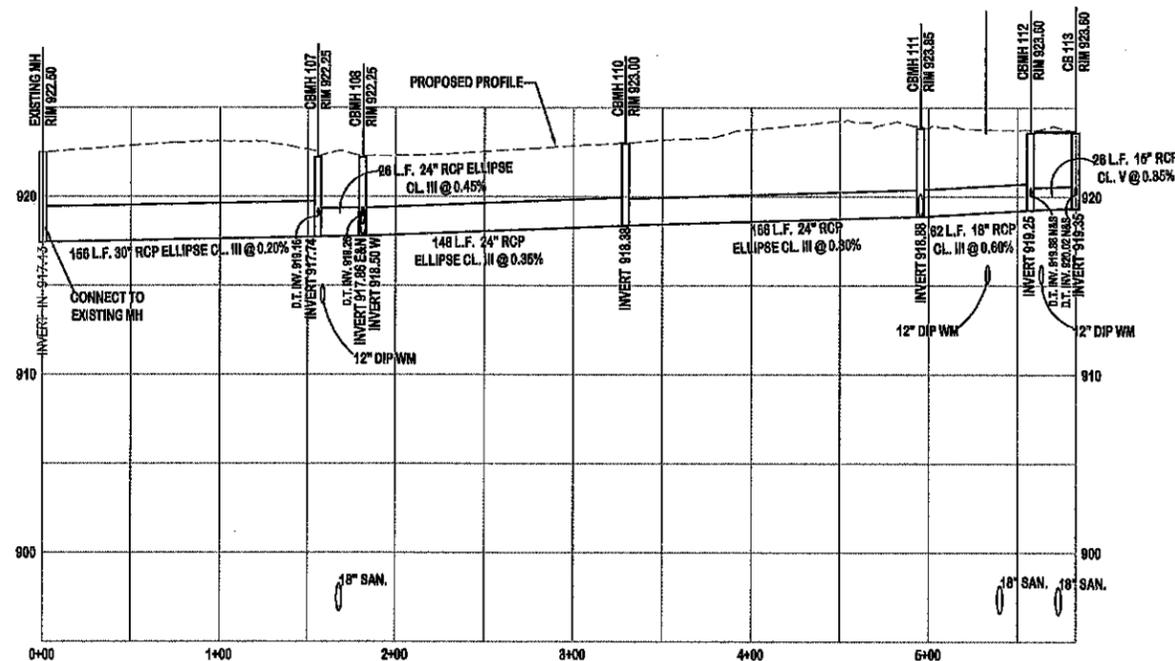
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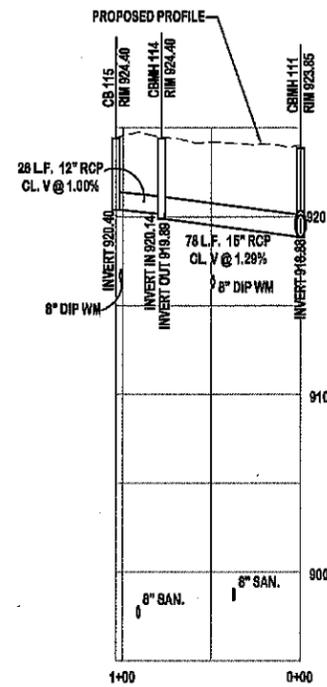
PLAN VIEW - STORM SEWER



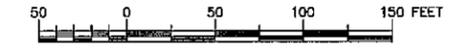
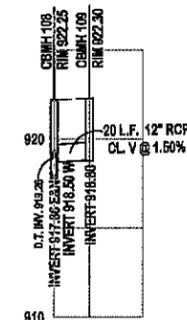
PROFILE VIEW - STORM RUN 107-113



111-115



108-109



GRAPHIC SCALE

Legend

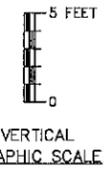
- 4TH ADDITION BOUNDARY
- PROPOSED 8" PVC (SDR 35 OR 26) SANITARY SEWER
- PROPOSED RCP STORM SEWER
- PROPOSED 8" DIP WM CL. 62 WATER MAIN, HYDRANT AND GATE VALVE
- PROPOSED SANITARY SEWER AND WATER SERVICE (SANITARY SERVICE - 4" PVC (SCH. 40) AND WATER SERVICE - 1" TYPE 'K' COPPER WITH CURB STOP)
- PROPOSED RIGID PERFORATED 4" PVC DRAIN TILE WITH SOCK (REQUIRED 100-FT EACH SIDE OF LOW POINT CATCH BASINS OR AS SHOWN). PROVIDE CLEAN OUT AT END OF PIPE.
- EXISTING UNDERGROUND GAS LINE
- EXISTING STORM SEWER
- EXISTING WATERMAIN
- EXISTING SANITARY SEWER

Notes

- 1) SEE DETAIL SHEETS FOR SPECIFIC REQUIREMENTS FOR UTILITY INSTALLATION.
- 2) ALL UTILITIES SHALL BE INSTALLED PER CITY OF LAKE ELMO DETAILS AND SPECIFICATIONS.

City Standard Plan Notes

1. ALL STORM SEWER AND ACCESSORIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE ELMO STANDARD SPECIFICATIONS AND DETAILS.
2. REINFORCED CONCRETE PIPE AND FITTINGS SHALL CONFORM WITH THE REQUIREMENTS OF MDDOT SPEC 3236 (REINFORCED CONCRETE PIPE) FOR THE TYPE, SIZE, AND STRENGTH CLASS SPECIFIED HEREIN.
3. PRECAST CONCRETE MANHOLE AND CATCH BASIN SECTIONS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-477.
4. A 1'-0" TO 1'-4" MANHOLE SECTION SHALL BE INSTALLED UNDER THE CONE SECTION TO ALLOW FOR HEIGHT ADJUSTMENT WHENEVER POSSIBLE.
5. JOINTS OF MANHOLE RISER SECTIONS SHALL BE TONGUE AND GROOVE WITH RUBBER 'O' RING JOINTS PROVIDED ON ALL STORM SEWER MANHOLES.
6. RIP-RAP SHALL BE HAND-PLACED OVER GEOTEXTILE FABRIC AND CONFORM TO MDDOT SPEC. 3601, CLASS II, OR AS SPECIFIED HEREIN.
7. THE GEOTEXTILE FABRIC USED UNDER RIP-RAP SHALL EXTEND 3 FT UNDER THE APRON.
8. FURNISH & INSTALL TRASH GUARDS ON ALL FLARED END SECTIONS.
9. ALL SILT SHALL BE CLEANED OUT FROM THE RIP-RAP AT THE END OF THE PROJECT.
10. STORM SEWER STRUCTURES WITHIN 10 FT OF WATERMAIN ARE TO HAVE WATER TIGHT CONNECTIONS PER MDH REQUIREMENTS.



VERTICAL GRAPHIC SCALE

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 40418  
 LICENSE NO.  
 03/06/2018  
 DATE:

OWNER/DEVELOPER  
**CHASE DEVELOPMENT**  
 2140 COUNTY ROAD 42 WEST  
 BURNSVILLE, MN 55337

**EASTON VILLAGE**  
 4TH ADDITION  
 FINAL PLAN  
 LAKE ELMO, MINNESOTA

NO.	REVISION DESCRIPTION	DATE

SHEET NO. 18-111

SHEET TITLE  
**STORM SEWER PLAN & PROFILE**

SHEET NO.  
**C13**  
 SHEET 13 OF 20

**GRANULAR MATERIAL BEDDING**  
(TO BE USED WHERE, IN THE OPINION OF THE ENGINEER, UNSTABLE MATERIAL PREVENTS USE OF THE "EARTH FOUNDATION" DETAIL.)

**EARTH FOUNDATION**  
(EXCEPT SANITARY SEWER)

**PIPE FOUNDATION DETAILS**

MARCH 2017

CITY OF LAKE ELMO

STANDARD DRAWING NO. 101  
LAKE ELMO

**GRANULAR MATERIAL BEDDING METHOD**  
(FOR PVC SANITARY SEWER PIPE)

MARCH 2017

CITY OF LAKE ELMO

STANDARD DRAWING NO. 103  
LAKE ELMO

**SPECIAL FOUNDATION FOR STABILIZING OF TRENCH**  
(AS DIRECTED BY ENGINEER)

MARCH 2017

CITY OF LAKE ELMO

STANDARD DRAWING NO. 105  
LAKE ELMO

**TYPICAL HYDRANT LAYOUT**  
(VALVE IN BOULEVARD)

NOTES:  
1. USE MEGA LUGS ON ALL JOINTS. PROVIDE CONCRETE BLOCKING BEHIND HYDRANT AND TEE.  
2. USE COR-BLUE T BOLTS ON ALL FITTINGS.  
3. IF WEEP HOLES ARE PLUGGED, PLUMBER NOZZLE CAP MUST BE PAINTED GREEN AND A TAG SHALL BE ATTACHED TO THE HYDRANT STAKING MARK HOLES PLUGGED.  
4. SUPPLY 1 EXTRA FLEX STAKE FOR EVERY 10 HYDRANTS INSTALLED. MINIMUM ONE PER PROJECT.  
5. SUPPLY 1 HYDRANT STORZ BRANCH OR HYDRANT REPAIR KIT PER PROJECT.  
6. SUPPLY 1 6" HYDRANT EXTENSION AS DIRECTED BY THE ENGINEER.  
7. ALL HYDRANTS NOT IN SERVICE SHALL BE COVERED WITH BLACK POLY PLASTIC.  
8. CONCRETE SPLASH PAD SURFACE SHALL HAVE GROOVED FINISH.  
\*EXTRA STAKES AND REPAIR KITS ARE TO BE DELIVERED TO THE PUBLIC WORKS BUILDING.

MARCH 2017

CITY OF LAKE ELMO

STANDARD DRAWING NO. 201  
LAKE ELMO

**GATE VALVE INSTALLATION**

NOTES:  
1. SUPPLY ONE GATE VALVE KEY PER PROJECT, AS DIRECTED BY THE ENGINEER. EXTRA KEYS SHALL BE DELIVERED TO THE PUBLIC WORKS BUILDING.  
2. MAXIMUM DEPTH OF OPERATING NUT ON VALVE TO BE 10 FT.

MARCH 2017

CITY OF LAKE ELMO

STANDARD DRAWING NO. 203  
LAKE ELMO

**CONCRETE REACTION BACKING**  
(FOR BENDS)

MARCH 2017

CITY OF LAKE ELMO

STANDARD DRAWING NO. 206  
LAKE ELMO

**WATER SERVICE ON DIP MAIN**

NOTES:  
1. SERVICE TAP TO BE MADE SLIGHTLY ABOVE SPRING LINE SO THAT COPPER COPPER LOOP SHALL NOT EXTEND ABOVE MAIN. MAINTAIN 7.5" MINIMUM COVER EXTEND ABOVE MAIN. MAINTAIN 7.5" MINIMUM SERVICE LINES.  
2. IF TAPPING SADDLE IS REQUIRED, IT SHALL BE STAINLESS STEEL DOUBLE-STUD WRAP AROUND TAPPING SADDLE SMITH-BLAIR 372 OR APPROVED EQUAL.

MARCH 2017

CITY OF LAKE ELMO

STANDARD DRAWING NO. 207A  
LAKE ELMO

**WATERMAIN OFFSET**

NOTE: FITTINGS SHALL BE RESTRAINED WITH THE USE OF APPROVED MECHANICAL JOINT RESTRAINING GLANDS.

MARCH 2017

CITY OF LAKE ELMO

STANDARD DRAWING NO. 210  
LAKE ELMO

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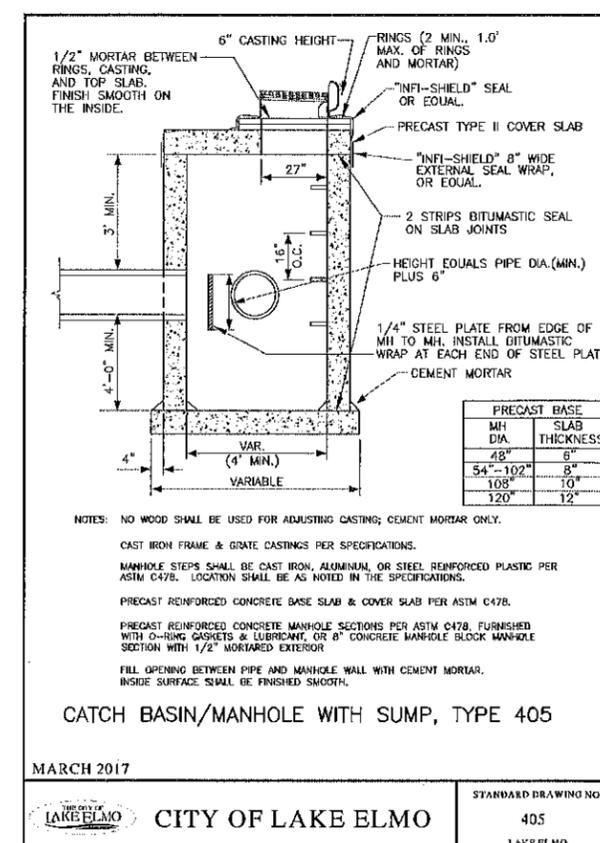
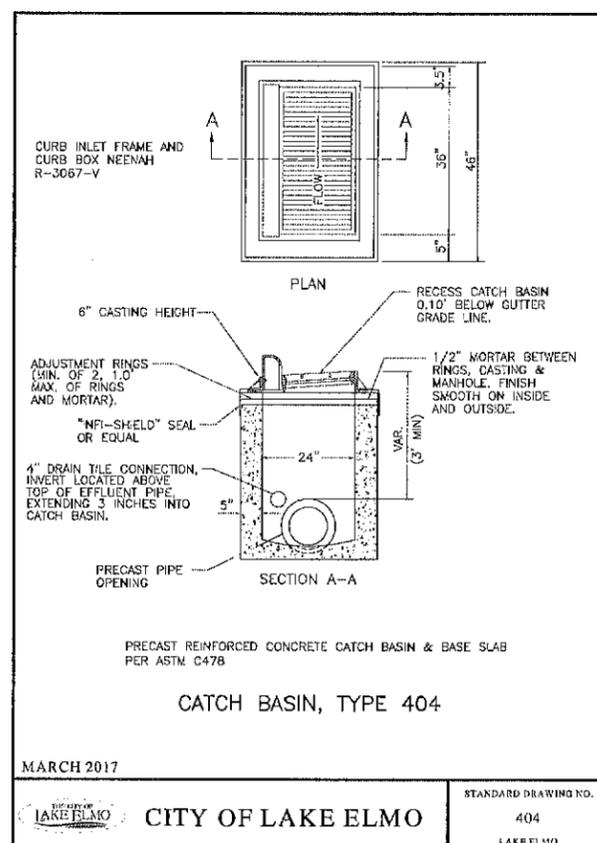
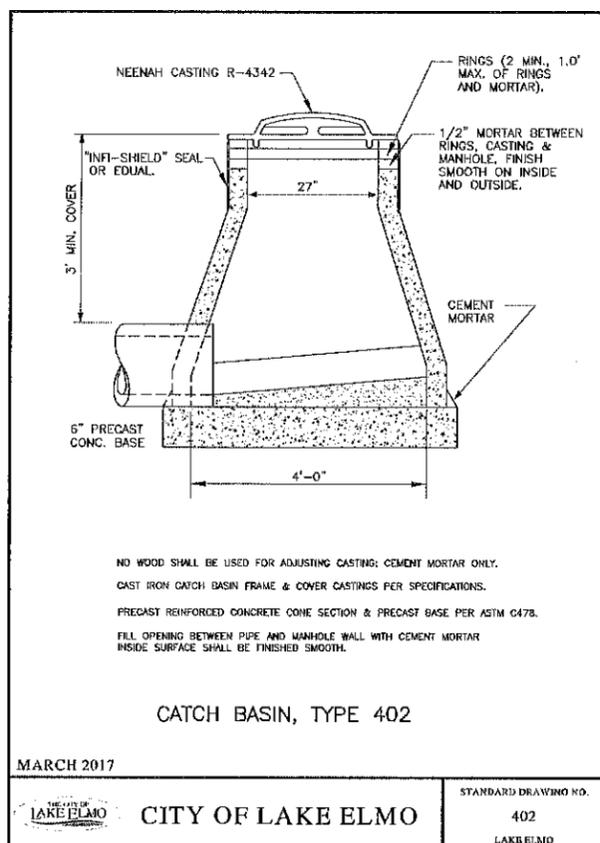
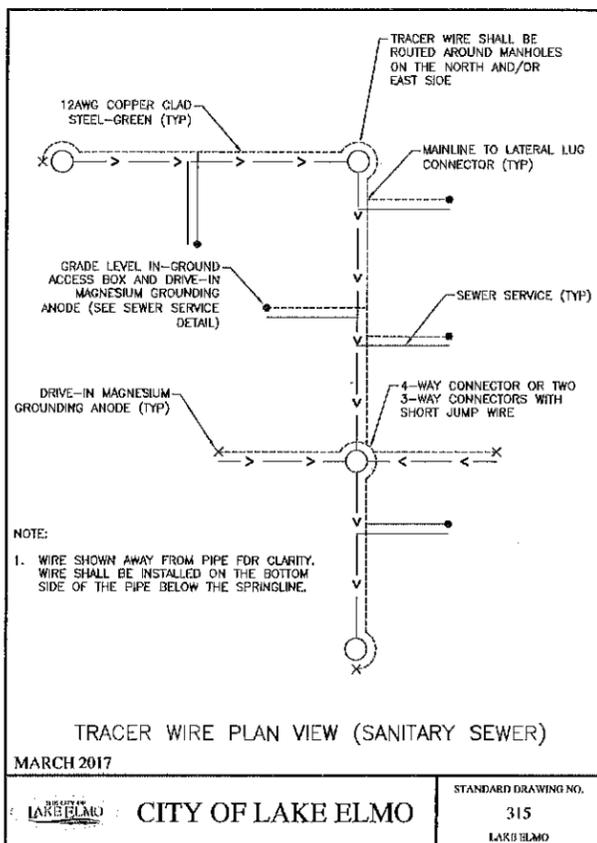
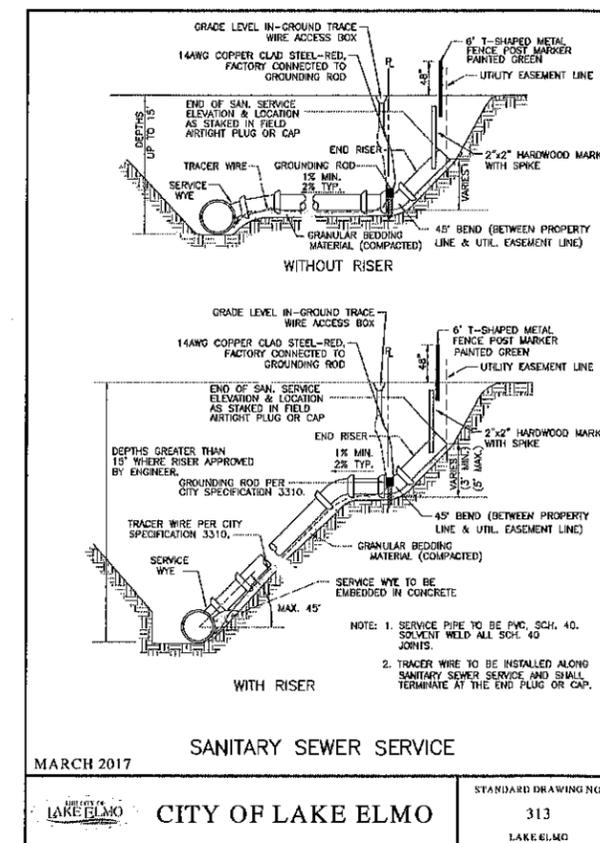
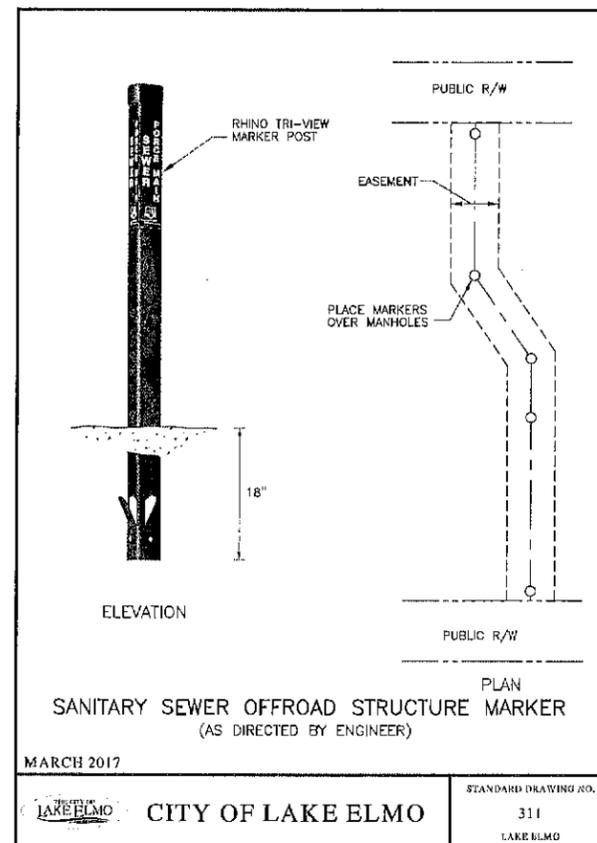
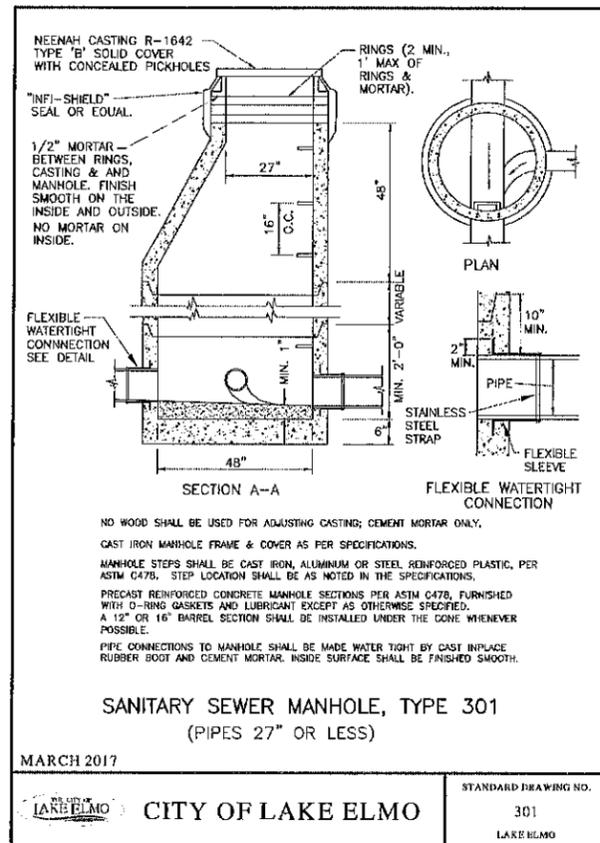
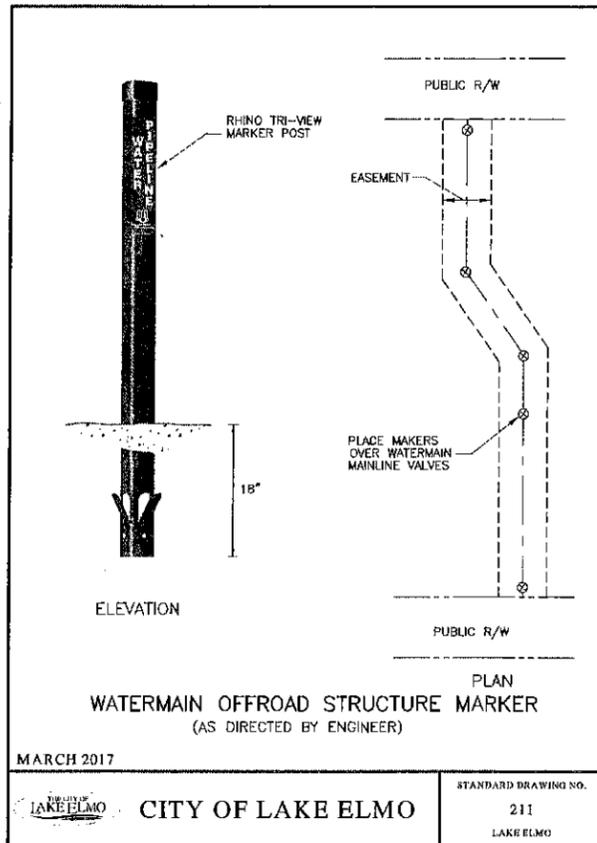
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BURNSVILLE, MN 55337

**EASTON VILLAGE**  
4TH ADDITION  
FINAL PLAN  
LAKE ELMO, MINNESOTA

NO.	REVISION DESCRIPTION	DATE

PROJECT TITLE  
NO. 18-111  
SHEET TITLE  
CITY STANDARD  
DETAIL PLATES  
SHEET NO.

**C14**  
SHEET 14 OF 20



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CITY STANDARD  
DETAIL PLATES  
SHEET NO.

**C15**  
SHEET 16 OF 20

PRECAST BASE	SLAB THICKNESS
MH DIA.	THICKNESS
48"	6"
54"-102"	8"
108"	10"
120"	12"

**CATCH BASIN/MANHOLE, TYPE 406**

MARCH 2017

CITY OF LAKE ELMO

STANDARD DRAWING NO. 406

LAKE ELMO

**STORM SEWER MANHOLE, TYPE 407**  
(PIPES 27" OR LESS)

MARCH 2017

CITY OF LAKE ELMO

STANDARD DRAWING NO. 407

LAKE ELMO

**RIPRAP AT RCP OUTLETS**

MARCH 2017

CITY OF LAKE ELMO

STANDARD DRAWING NO. 411

LAKE ELMO

**TYPICAL POND SECTION**

MARCH 2017

CITY OF LAKE ELMO

STANDARD DRAWING NO. 416

LAKE ELMO

**DRAINTILE CLEANOUT**  
(CASTING USED FOR CURB STOPS IN HARD SURFACES)

MARCH 2017

CITY OF LAKE ELMO

STANDARD DRAWING NO. 419

LAKE ELMO

**DRAIN TILE CONNECTIONS**

MARCH 2017

CITY OF LAKE ELMO

STANDARD DRAWING NO. 420

LAKE ELMO

**CONCRETE CURB & GUTTER**

MARCH 2017

CITY OF LAKE ELMO

STANDARD DRAWING NO. 501

LAKE ELMO

**RESIDENTIAL DRIVEWAY**

MARCH 2017

CITY OF LAKE ELMO

STANDARD DRAWING NO. 504

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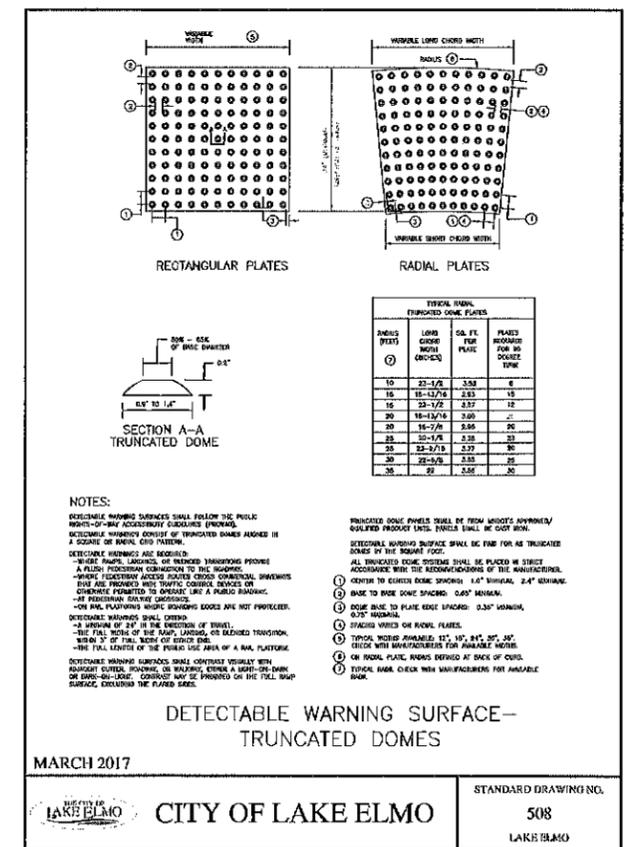
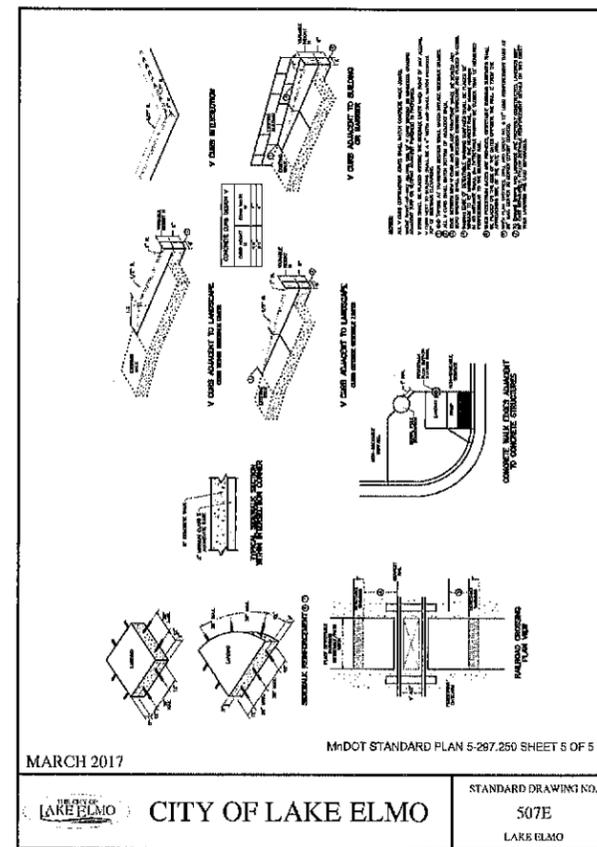
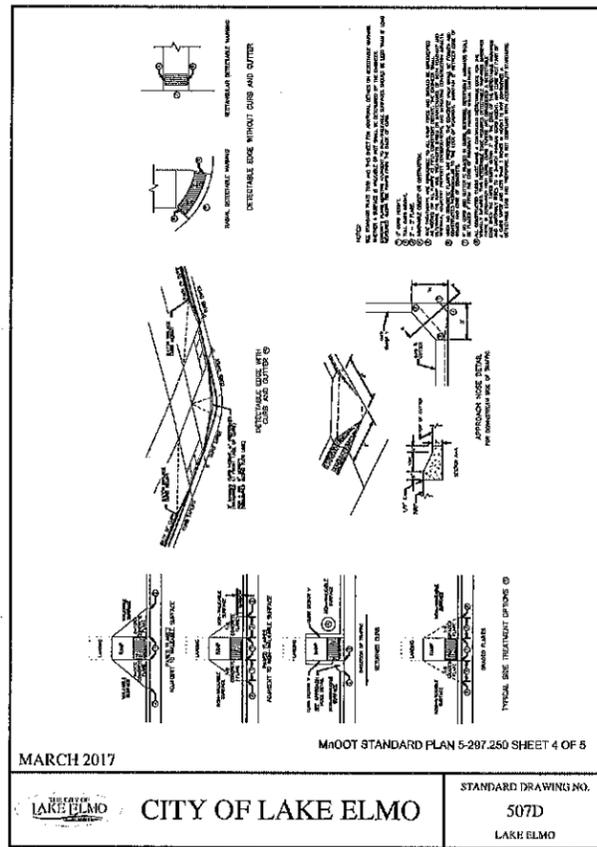
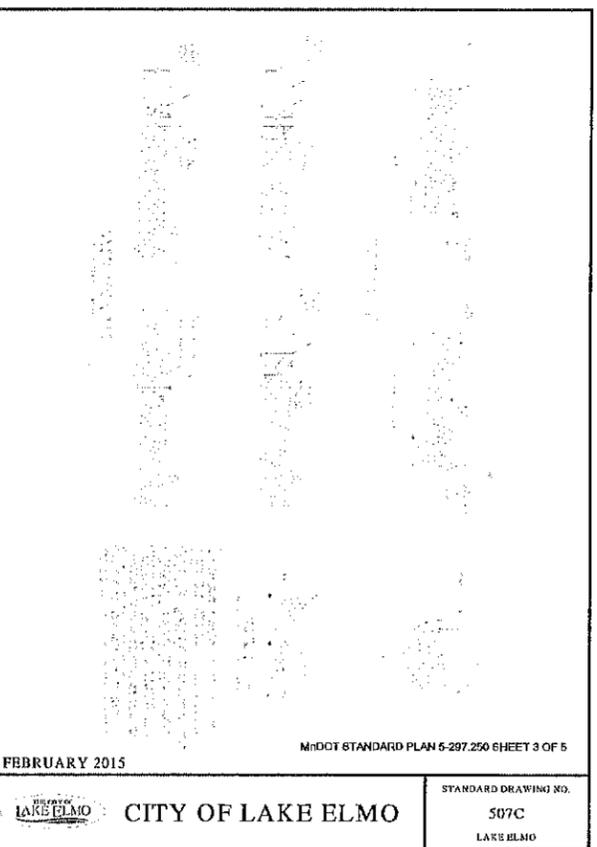
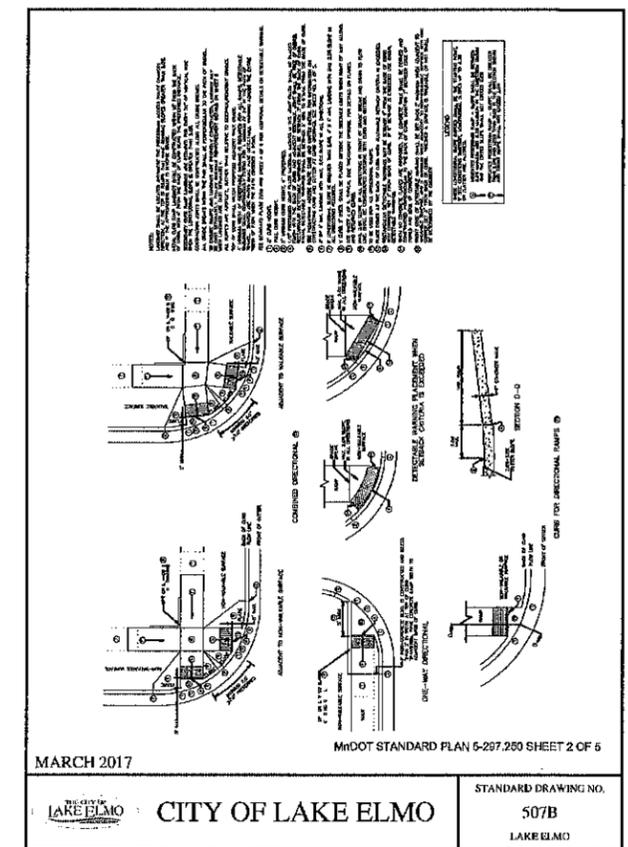
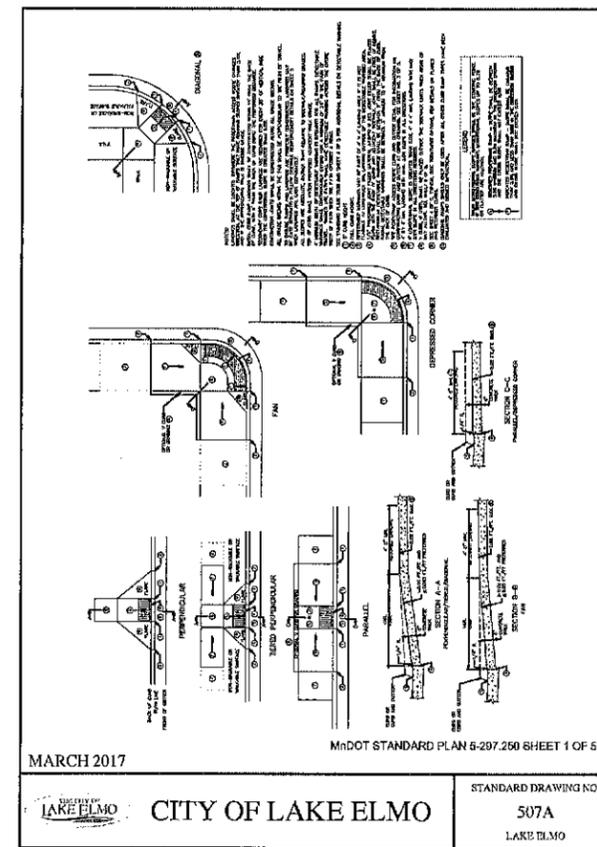
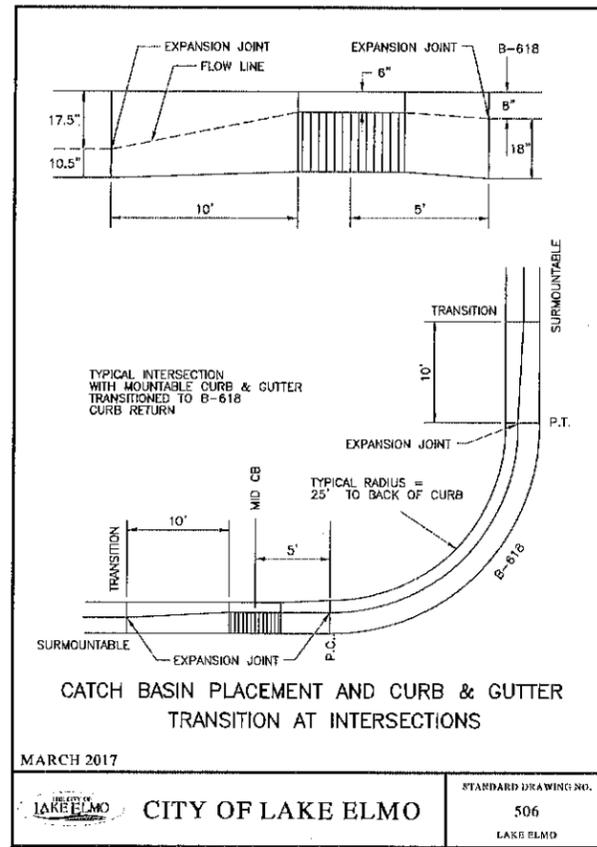
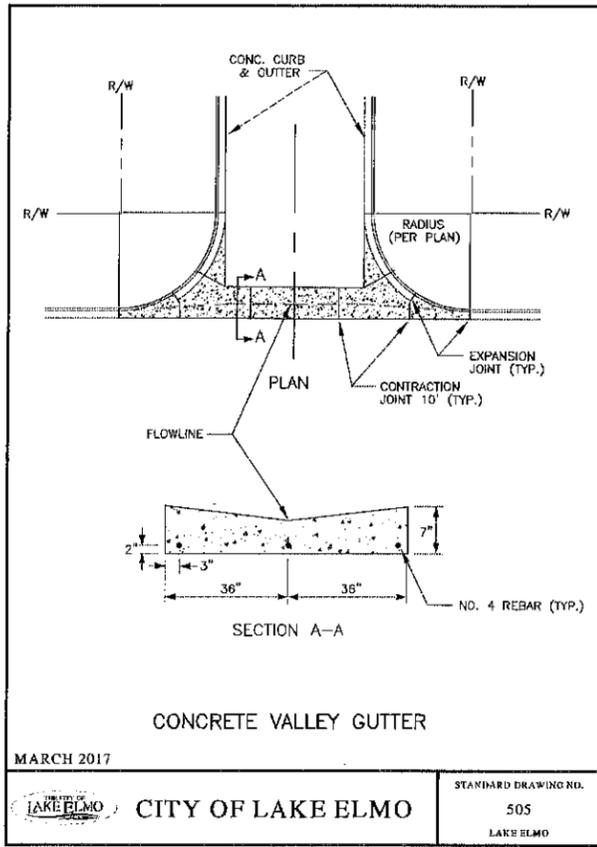
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4TH ADDITION  
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LAKE ELMO, MINNESOTA

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**CITY STANDARD**  
DETAIL PLATES

SHEET NO.  
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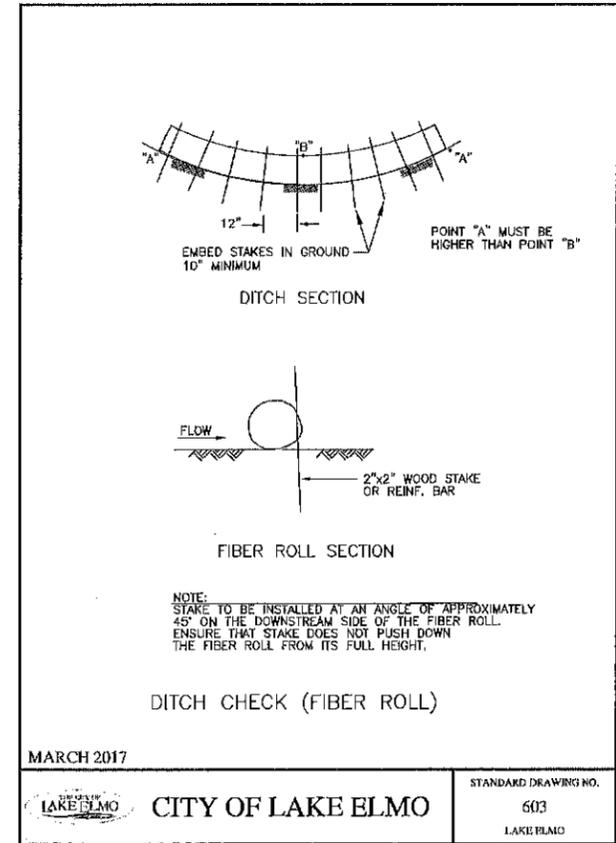
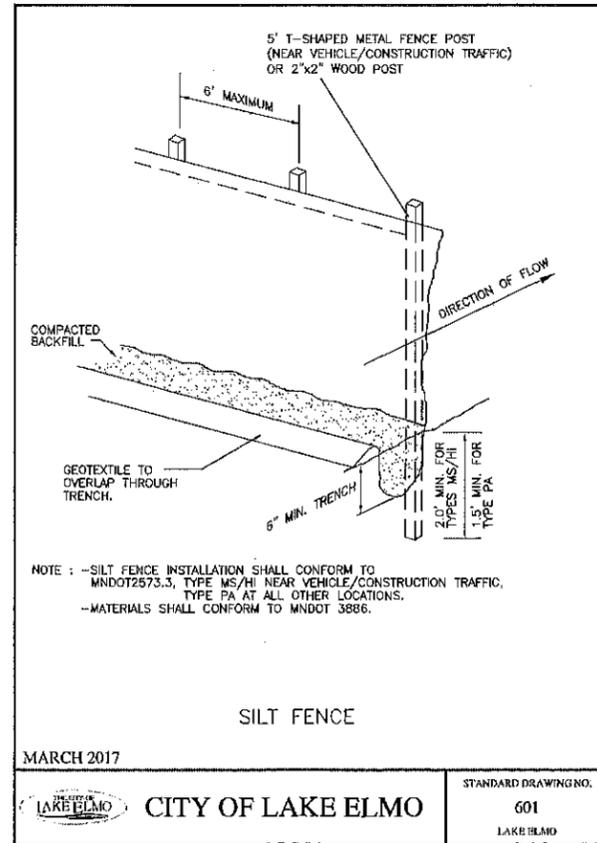
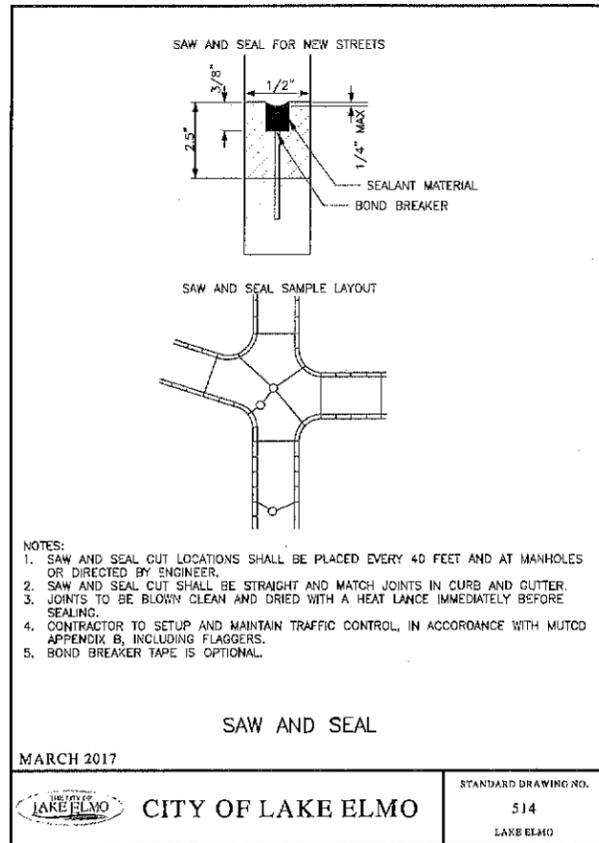
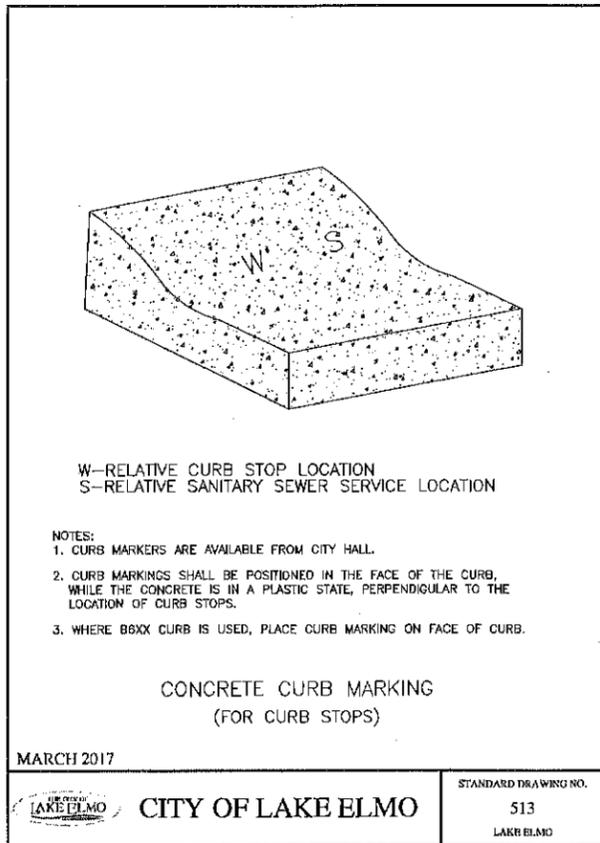
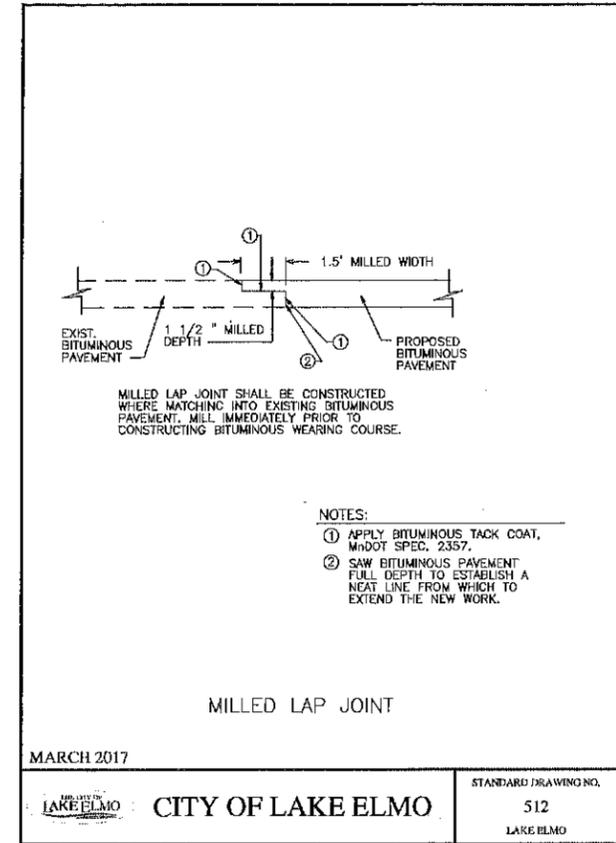
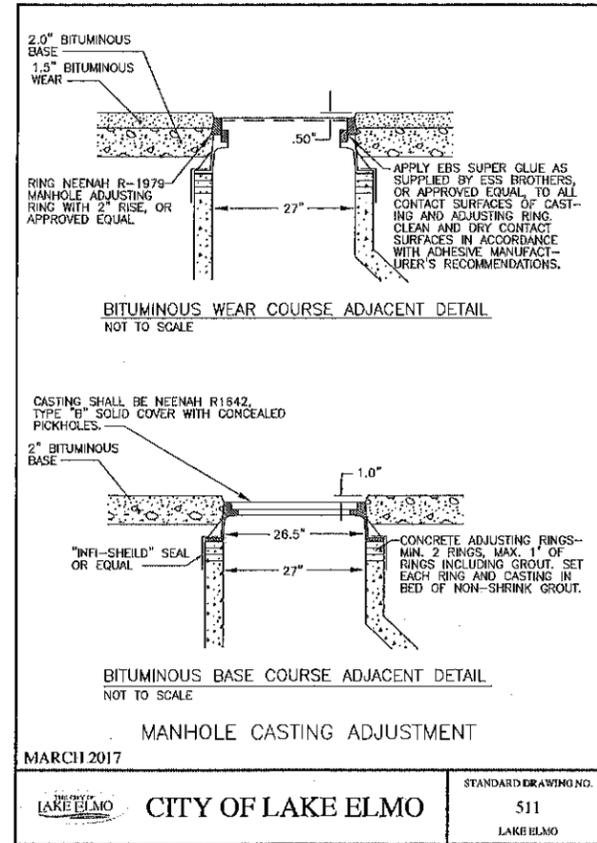
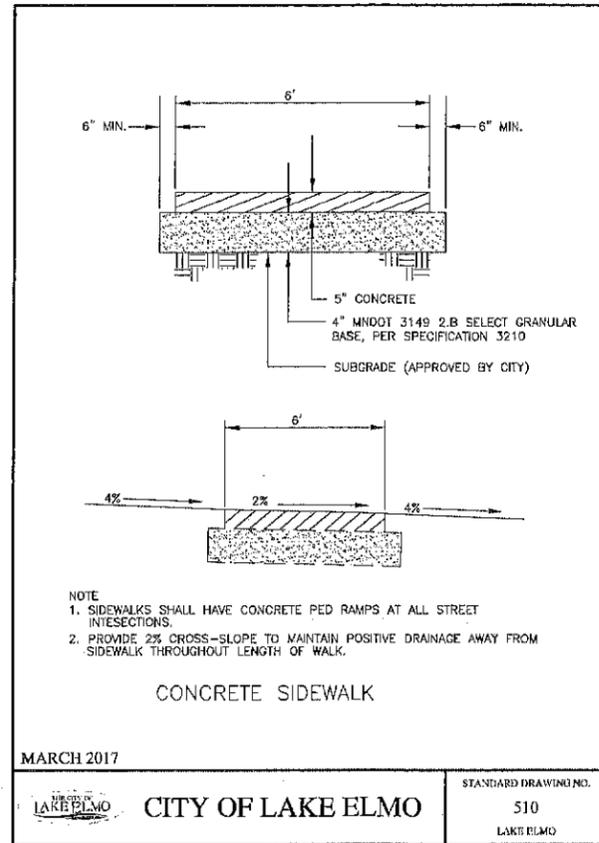
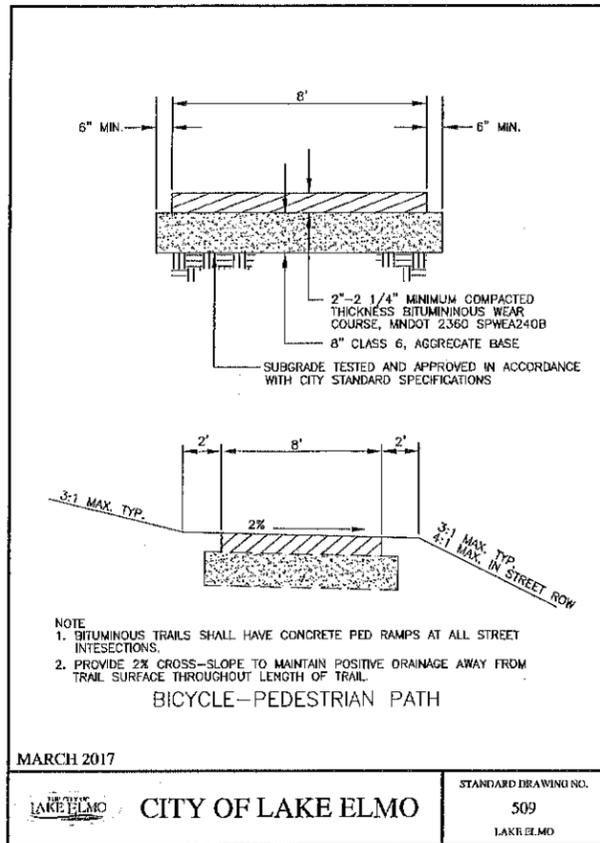
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 LAKE ELMO, MINNESOTA

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SHEET TITLE  
**CITY STANDARD DETAIL PLATES**

SHEET NO.  
**C17**  
 SHEET 17 OF 20



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CITY STANDARD  
DETAIL PLATES

SHEET NO.  
**C18**  
SHEET 18 OF 20

NOTE: MAINTAIN AND CLEAN OUT DEVICES AS NECESSARY TO ACHIEVE PROPER FLOW OF STORM WATER INTO STORM SYSTEM.

POLYESTER SLEEVE  
FILTER ASSEMBLY  
MANHOLE COVER ASSEMBLY

WIMCO RD-23 OR APPROVED EQUAL

DEFLECTOR PLATE  
OVERFLOW ① - CENTER OF FILTER ASSEMBLY  
OVERFLOW ② - TOP OF CURB BOX  
10" FILTER ASSEMBLY  
CURB  
CG-23 HIGH-FLOW  
HIGH-FLOW FABRIC

WIMCO CG-23 HIGH-FLOW OR APPROVED EQUAL

SEDIMENT CONTROL AROUND STORM SEWER INLET

MARCH 2017

CITY OF LAKE ELMO	STANDARD DRAWING NO.
	604
LAKE ELMO	

HARD SURFACE PUBLIC ROAD  
40' RAD.  
12" MIN.  
1" - 2" WASHED ROCK  
50' MIN.  
20' MIN.  
GEOTEXTILE FABRIC UNDERNEATH ROCK

NOTES:

- MAXIMUM WIDTH OF CONSTRUCTION ENTRANCE IS 24 FEET.
- A MNDOT 3733 TYPE V GEOTEXTILE FABRIC SHALL BE USED UNDER THE ROCK TO PREVENT MIGRATION OF THE UNDERLYING SOIL INTO THE STONE.
- CONSTRUCTION ENTRANCE IS REQUIRED FOR ALL NEW HOME CONSTRUCTION AND NEW STREET CONSTRUCTION.
- CONSTRUCTION ENTRANCE SHALL BE MAINTAINED TO PREVENT TRACKING OF MUD ONTO ROADWAYS THAT ADJOIN THE PROJECT. THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL ROCK OR REMOVAL AND REINSTALLATION OF THE ROCK ENTRANCE.
- REMOVE MUD AND DEBRIS FROM TIRES AND VEHICLE UNDERCARRIAGE PRIOR TO LEAVING THE SITE.

ROCK CONSTRUCTION ENTRANCE

MARCH 2017

CITY OF LAKE ELMO	STANDARD DRAWING NO.
	605
LAKE ELMO	

48" CONSTRUCTION FENCE AROUND WATER SHUT-OFF AND SERVICE MARKERS, HELD IN POSITION BY 3 T-SHAPED METAL FENCE POSTS  
UTILITY EASEMENT LINE  
PROPERTY LINE  
CURB STOP  
WATER SERVICE  
WATERMAIN  
SANITARY SEWER SERVICE

TYPICAL SERVICE PROTECTION

MARCH 2017

CITY OF LAKE ELMO	STANDARD DRAWING NO.
	606
LAKE ELMO	

DIMENSION	30" PANEL	36" PANEL	42" PANEL	48" PANEL
A	30"	36"	42"	48"
B	29.5"	35.5"	41.5"	47.5"
C	20"	26"	N/A	38"
D	2.095"	2.095"	2.095"	2.095"
E	4.06"	4.07"	4.06"	4.06"
F	2.095"	2.095"	2.095"	2.095"
G	1"	1"	1"	1"
H	6.38"	6.38"	6.38"	6.38"
I	1"	1"	1"	1"
J	6"	6"	6"	6"
K	8.25"	8.25"	8.25"	8.25"
L	8.75"	8.75"	8.75"	8.75"
M	1.0"	1"	1"	1"

NOTE:

- 9" HIGH STREET SIGN PLATES EXTRUDED
- LONGER NAME SIGN ON BOTTOM
- HIGHER VOLUME STREET SIGN TO BE PLACED ON BOTTOM
- STREET SIGNS TO BE PLACED TO EITHER THE SOUTHEAST OR NORTHWEST CORNER OF CORNER OF THE INTERSECTION
- B12 ROUND CAP AND B12 CROSS PIECE
- REFLECTIVITY IS TO BE TYPE IX DIAMOND GRADE (DG3)
- SUFFIXES SHALL BE LOWERCASE FOR ALL NUMBERED STREET NAMES (30th St N)

POSTS:

- STOP SIGNS TO BE PLACED ON STREET SIGN POSTS PER MUTCD WHEN APPLICABLE
- 2" X 2" X 12' 14 GAUGE PRE PUNCHED POST
- BR952 - BR4 BRACKET, NEW STYLE

STREET SIGNS

MARCH 2017

CITY OF LAKE ELMO	STANDARD DRAWING NO.
	706
LAKE ELMO	

30" X 30" WHITE ON RED 100 ALUMINUM TYPE IIIA SHEETING D03  
24" X 30" 100 ALUMINUM SHEETING D03  
18" X 18" 100 ALUMINUM TYPE IIIA SHEETING D03  
2" X 2" X 10'-14ga. TELESPAR PRE-PUNCH  
1" X 2 1/2" X 18" 12ga. TELESPAR LONG OMNI ANCHOR SLEEVE  
2" X 2 1/2" X 4" 12ga. TELESPAR 4" LONG SIGN ANCHOR  
2" X 2 1/2" X 4" 12ga. TELESPAR 4" LONG SIGN ANCHOR  
2" X 2 1/2" X 4" 12ga. TELESPAR 4" LONG SIGN ANCHOR  
OMNI ANCHOR TOP VIEW  
8" CORNER BOLT WITH NYLON LOCKING NUT  
SIGN POST  
GROUND LINE  
2" X 2 1/2" X 4" 12ga. ANCHOR UNIT  
2" X 2 1/2" X 18" 12ga. OMNI DIRECTIONAL SLEEVE WITH 4 BLANKS

SQUARE TUBE SIGN STANDARD WITH OMNI BASE

MARCH 2017

CITY OF LAKE ELMO	STANDARD DRAWING NO.
	707
LAKE ELMO	

2" PYRAMID CAP  
2" #34 RIVET AND 1 1/2" PLASTIC SPACER (SIGN TO SIGN)  
1" DRIVE RIVET WITH (1) NYLON WISHERS (SIGN TO POST)  
PRE-PUNCH SQUARE TUBE POST ASSEMBLY 2" X 2" X 10'-14ga.  
8" X 10" CORNER BOLT (SIGN POST TO ANCHOR POST)  
GROUND LINE  
2-1/2" X 2-1/2" X 18"-12ga. DOWN SLEEVE FOR SIGN STABILIZATION  
PRE-PUNCHED SQUARE TUBE ANCHOR ASSEMBLY 2-1/4" X 2-1/4" X 4'-12ga.

PRE-PUNCH SQUARE TUBE STREET NAME SIGN POST DETAIL

MARCH 2017

CITY OF LAKE ELMO	STANDARD DRAWING NO.
	708
LAKE ELMO	

FINISHED SURFACE  
4" DIP DRAIN TILE SERVICE  
10' MINIMUM  
7.5'  
COPPER WATER SERVICE, NO JOINTS ALLOWED BETWEEN THE CORPORATION STOP AND THE CURB STOP VALVE  
PVC SCH. 40 SEWER SERVICE, 6" SUBOUT REQUIRED ON ALL PVC SERVICE AND AS DIRECTED BY THE CITY ENGINEER  
ASTM D2321 100% VIRGIN GRANULAR BEDDING MNDOT SPEC. 3149.2F  
3" MIN. 4" TO 48"

SANITARY, WATER & DRAIN TILE SERVICE INSTALLATION

FEBRUARY 2015

CITY OF LAKE ELMO	STANDARD DRAWING NO.
	712
LAKE ELMO	

VARIES  
VARIES  
VARIES  
2.5%  
4.0%  
SURMOUNTABLE CONCRETE CURB & GUTTER  
COARSE FILTER AGGREGATE (MNDOT SPEC. 3149.2H)  
4" SCH. 40 PVC PERFORATED EDGE DRAIN WITH TYPICAL 4-ROW PATTERN HOLES MNDOT SPEC 3245, TYPE I GEOTEXTILE SOCK (MNDOT SPEC. 3733) PLACED AROUND EDGE DRAIN PIPE.  
MINIMUM PAVEMENT SECTION:  
1.5" MNDOT 2360 TYPE SP BIT WEARING COURSE  
MAX AGGREGATE SIZE A, TRAFFIC LEVEL 2, ASPHALT GRADE B  
TACK COAT  
2" MNDOT 2380 TYPE SP BIT NON-WEARING COURSE  
MAX AGGREGATE SIZE B, TRAFFIC LEVEL 2, ASPHALT GRADE B  
6" AGGREGATE BASE, CL. 6, 100% CRUSHED STONE AGGREGATE (SPEC 3136)  
12" SELECT GRANULAR BORROW (SPEC 3149.2B)  
SUBGRADE TESTED AND APPROVED IN ACCORDANCE WITH CITY STANDARD SPECIFICATIONS

TYPICAL LOCAL RESIDENTIAL STREET SECTION (MINIMUM 7-TON DESIGN)

MARCH 2017

CITY OF LAKE ELMO	STANDARD DRAWING NO.
	801
LAKE ELMO	

DRAWING PHASE:	
✓	OWNER REVIEW
✓	AGENCY REVIEW
	BID DOCUMENT
	FOR CONSTRUCTION
	AS-BUILT DOCUMENT

HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

TODD A. ERICKSON, PE  
40418  
LICENSE NO.  
03/05/2018  
DATE:

OWNER/DEVELOPER  
**CHASE DEVELOPMENT**  
2140 COUNTY ROAD 42 WEST  
BURNSVILLE, MN 55337

PROJECT TITLE  
**EASTON VILLAGE  
4TH ADDITION  
FINAL PLAN  
LAKE ELMO, MINNESOTA**

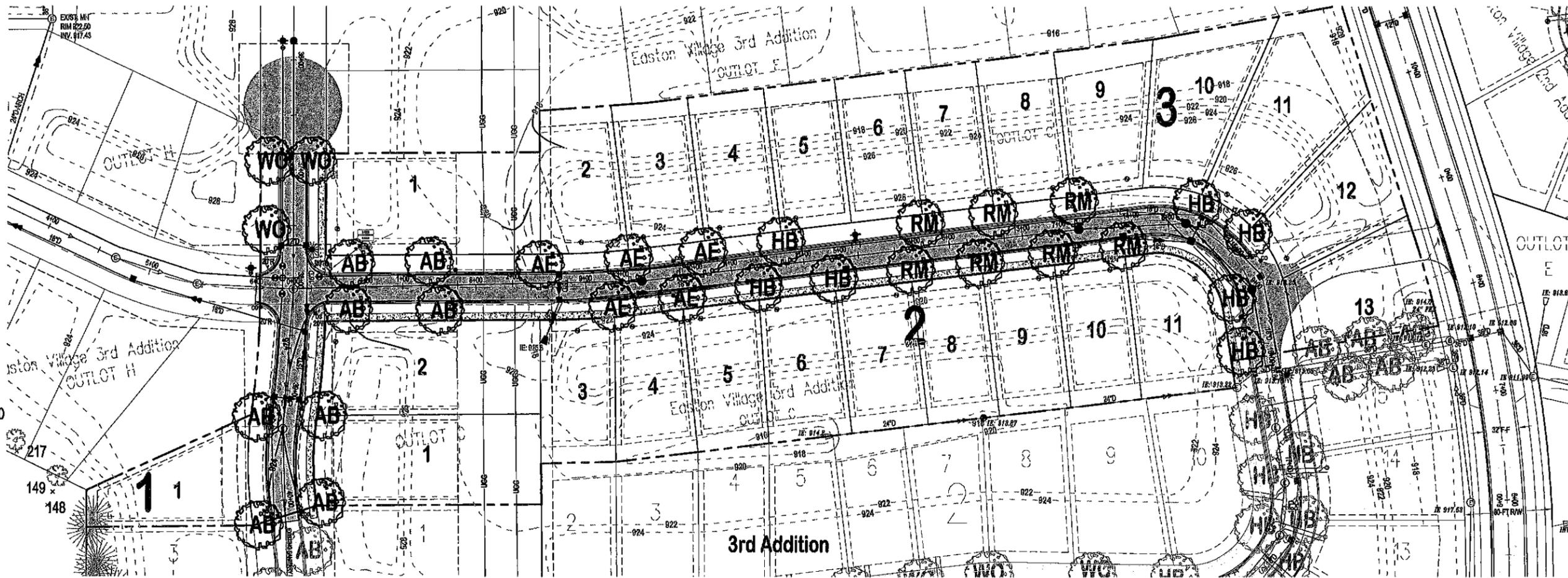
NO.	REVISION DESCRIPTION	DATE

FIGS: 18-111

SHEET TITLE  
CITY STANDARD  
DETAIL PLATES

SHEET NO.  
**C19**  
SHEET 19 OF 20





**EXISTING SAVED TREES / NO REMOVAL**

TREE ID	SIZE / TYPE	COMMON INCHES	HARDWOOD INCHES	CONIFEROUS INCHES
148	12 SPRUCE			12
149	10 SPRUCE			10
150	14 HACK BERRY	14		
217	18 BOX ELDER	18		

**PLANTING SCHEDULE**

OVERSTORY TREES	Latin Name	Quantity	Size	Type
WO	White Oak <i>Quercus alba</i>	3	2-1/2" Dia.	B+B
AB	Autumn Blaze Maple <i>Acer x freemanii 'Jeffered'</i>	8	2-1/2" Dia.	B+B
AE	Accolade Elm <i>Ulmus 'Morton'</i>	5	2-1/2" Dia.	B+B
HB	Hackberry <i>Celtis occidentalis</i>	7	2-1/2" Dia.	B+B
RM	Red Maple <i>Acer rubrum</i>	7	2-1/2" Dia.	B+B

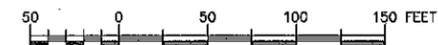
**STANDARD PLAN NOTES  
LANDSCAPE PLANS**

- Contractor must contact Gopher State One Call 811 ([www.gopherstateonecall.org](http://www.gopherstateonecall.org)) prior to tree staking and planting operations to verify underground utilities. Where private utilities exist on-site the Contractor is required to have those located as well.
- Plant materials shall meet American Standard for Nursery Stock: ANSI Z60.1, latest edition.
- No plant substitutions shall be made without the prior written authorization from the City.
- All tree locations to be field staked prior to installation. Contractor to coordinate field review of proposed tree locations with the City and Project Landscape Architect prior to any tree installation.
- All plants shall be planted immediately upon arrival to project site. No plant material is to be left overnight on the project site without being installed unless written approval by City.
- All trees, shrubs, perennials, turf lawn and native seeding to have a two-year warranty beginning upon written acceptance by the City. Defective plants as determined by the City shall be replaced within 30 days of notice during the growing season, and replacement materials shall receive the same two year warranty until plants are successfully established.
- Contractor to protect and maintain all plantings and plant beds, including protection from wildlife, weeding, re-mulching, fertilization, irrigation and all other typical forms of horticultural care until the end of the warranty period as determined and approved by City.
- All plants installed and maintained on City property shall be in accordance with City of Lake Elmo Bee-Safe Resolution No. 2015-13.
- An irrigation system or other water supply adequate to support the specified plant materials shall be provided.

APRIL 2017

CITY OF LAKE ELMO

STANDARD DRAWING NO.  
LP.0  
LAKE ELMO



**Legend**

- 4TH ADDITION BOUNDARY
- 15-FT POLE WITH ORNAMENTAL LIGHT, XCEL ENERGY 'ACROB' LAMP.
- UTILITY EASEMENT
- PROPOSED DECIDUOUS TREE
- 3RD ADDITION DECIDUOUS TREE

**NOTE:**

- Tree Planting Contractor to Field Stake all Trees located on City Outlots and All Right of Way Areas for Approval by City Landscape Architect Prior to Planting. Notify City Landscape Architect via writing once tree locations are staked and allow for up to two weeks for Landscape Architect to schedule and complete on-site review with Tree Planting Contractor.

**ERICKSON CIVIL**

339 North Main Street, Suite 201  
Silverdale, Minnesota 55082  
Phone (612) 309-3904

[www.ericksoncivilsite.com](http://www.ericksoncivilsite.com)

**DRAWING PHASE:**

- OWNER REVIEW
- AGENCY REVIEW
- BID DOCUMENT
- FOR CONSTRUCTION
- AS-BUILT DOCUMENT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

DAVID CHMIELEWSKI  
40639  
LICENSE NO.  
03/05/2018  
DATE:

**CHASE DEVELOPMENT**  
2140 COUNTY ROAD 42 WEST  
BURNSVILLE, MN 55337

**EASTON VILLAGE  
4TH ADDITION  
FINAL PLAN  
LAKE ELMO, MINNESOTA**

NO.	REVISION DESCRIPTION	DATE

SHEET NO. 18-111

**LANDSCAPE  
PLAN  
& TREE SURVEY**

**L1**  
SHEET 1 OF 2

DRAWING PHASE:	
	OWNER REVIEW
✓	AGENCY REVIEW
	BID DOCUMENT
	FOR CONSTRUCTION
	AS-BUILT DOCUMENT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

DAVID CHMIELEWSKI  
 40639  
 LICENSE NO.  
 03/05/2018  
 DATE

OWNER/DEVELOPER  
**CHASE DEVELOPMENT**  
 2140 COUNTY ROAD 42 WEST  
 BURNSVILLE, MN 55337

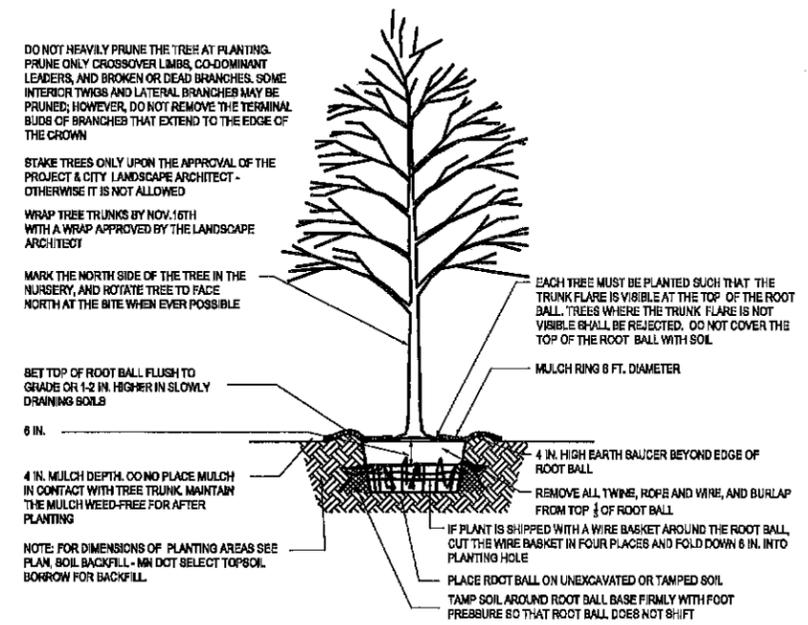
PROJECT TITLE  
**EASTON VILLAGE  
 4TH ADDITION  
 FINAL PLAN**  
 LAKE ELMO, MINNESOTA

NO.	REVISION DESCRIPTION	DATE

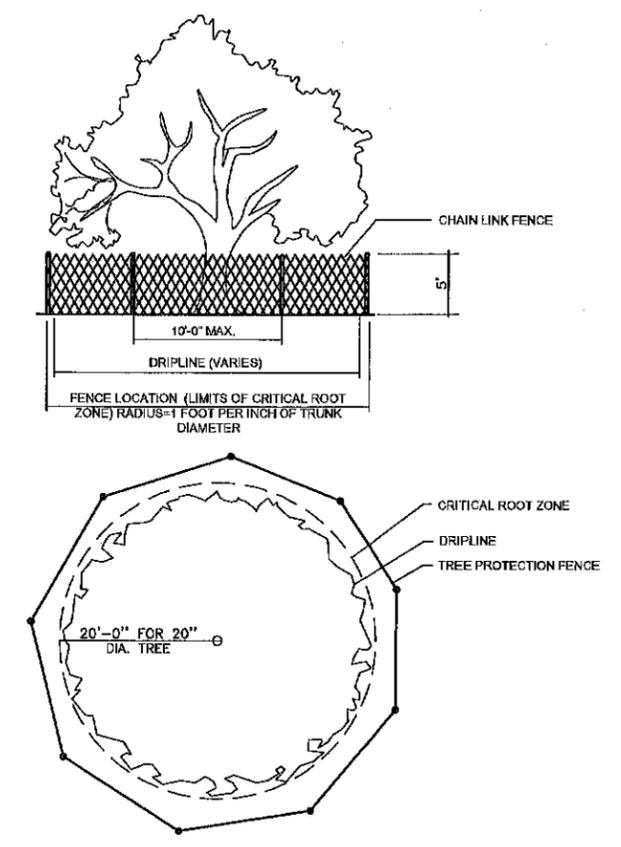
JOB NO. 18-111

SHEET TITLE  
**LANDSCAPE DETAILS**

SHEET NO.  
**L2**  
 SHEET 2 OF 2



**DECIDUOUS TREE PLANTING DETAIL - SECTION**  
 NOT TO SCALE



**TREE PROTECTION - SECTION & PLAN**  
 NOT TO SCALE

# EASTON VILLAGE 4TH ADDITION

**ERICKSON  
CIVIL**

333 North Main Street, Suite 201  
Stillwater, Minnesota 55082  
Phone (612) 309-3804

www.ericksoncivilsite.com

KNOW ALL PERSONS BY THESE PRESENTS: That Chase Development, Inc., a Minnesota Corporation, owner of the following described property:

Outlot C, EASTON VILLAGE 3RD ADDITION, WASHINGTON COUNTY, MINNESOTA, according to the recorded plat thereof.

Has caused the same to be surveyed and platted as EASTON VILLAGE 4TH ADDITION, and does hereby dedicate to the public for public use the public ways as shown on the plat, and the easements created by this plat for drainage and utility purposes only.

In witness whereof said Chase Development, Inc., a Minnesota Corporation, has caused these presents to be signed by Andrew Chase, President, this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

Signed: Chase Development, Inc.

By: \_\_\_\_\_

Andrew Chase, President

STATE OF \_\_\_\_\_

COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me on this \_\_\_\_\_ day of \_\_\_\_\_, 2018 by Andrew Chase, President of Chase Development, Inc., a Minnesota Corporation, on behalf of the company.

(Print Name) \_\_\_\_\_

Notary Public, \_\_\_\_\_

My commission expires \_\_\_\_\_

I, Paul A. Johnson, do hereby certify that this plat was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor in the State of Minnesota, that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been correctly set; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat. Signed and dated this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

Paul A. Johnson, Licensed Land Surveyor  
Minnesota License Number 10836

STATE OF MINNESOTA  
COUNTY OF WASHINGTON

This instrument was acknowledged before me on this \_\_\_\_\_ day of \_\_\_\_\_, 2018 by Paul A. Johnson, Licensed Land Surveyor.

Todd A. Erickson, Notary Public, Minnesota  
My commission expires January 31, 2019

This plat was approved by the City Council of Lake Elmo, Minnesota, this \_\_\_\_\_ day of \_\_\_\_\_, 2018, and hereby certifies compliance with all requirements as set forth in Minnesota Statutes, Section 605.03, Subd. 2.

Signed \_\_\_\_\_ Mayor      Signed \_\_\_\_\_ Clerk

Approved by the Planning Commission of the City of Lake Elmo, Minnesota, this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

Signed: \_\_\_\_\_ Chair, Planning Commission      Signed \_\_\_\_\_ Secretary, Planning Commission

County Surveyor

Pursuant to Chapter 820, Laws of Minnesota, 1971, and in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

By: \_\_\_\_\_ Washington County Surveyor

County Auditor/Treasurer

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, and Section 272.12, taxes payable in the year 2018, on real estate hereinbefore described, have been paid; and there are no delinquent taxes, and transfer has been entered, on this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

By: \_\_\_\_\_ Washington County Auditor/Treasurer      By: \_\_\_\_\_ Deputy

County Recorder

Document Number \_\_\_\_\_

I hereby certify that this instrument was recorded in the Office of the County Recorder for record on this \_\_\_\_\_ day of \_\_\_\_\_, 2018 at \_\_\_\_\_ o'clock \_\_\_\_\_ M. and was duly recorded in Washington County Records.

By: \_\_\_\_\_ Washington County Recorder      By: \_\_\_\_\_ Deputy

# EASTON VILLAGE 4TH ADDITION

**ERICKSON CIVIL**

333 North Main Street, Suite 201  
Stillwater, Minnesota 55082  
Phone (612) 309-3804

www.ericksoncivilsite.com

**LEGEND**

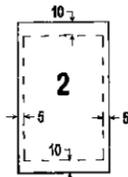
- DENOTES SET 1/2 INCH BY 1 1/2 INCH IRON PIPE MONUMENT INSCRIBED "JOHNSON LS #10536", UNLESS SHOWN OTHERWISE
- DENOTES FOUND 1/2 INCH IRON PIPE INSCRIBED "JOHNSON LS#10536" OR AS SIZE AND MARKINGS AS INDICATED

**NOTES**

1) ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE WASHINGTON COUNTY COORDINATE SYSTEM (MAD 83).

**EASEMENT DETAIL**

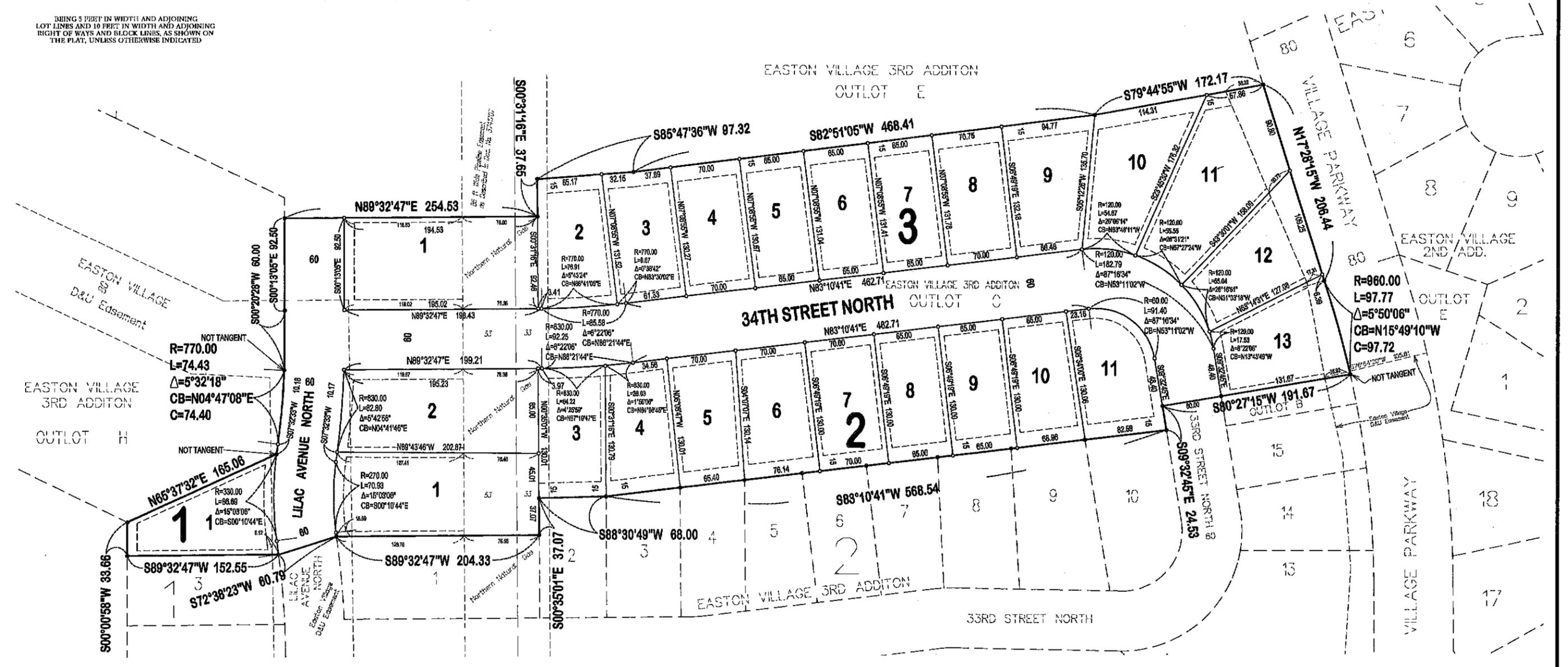
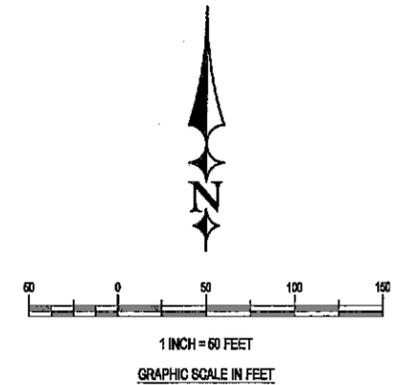
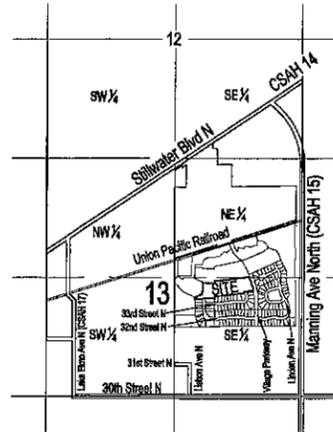
DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:  
(NOT TO SCALE)



BEING 5 FEET IN WIDTH AND ADJOINING LOT LINES AND 10 FEET IN WIDTH AND ADJOINING RIGHT OF WAYS AND BLOCK LINES, AS SHOWN ON THE PLAT, UNLESS OTHERWISE INDICATED

**Site Location Map**

Section 13, T29N - R21W  
Washington County, Minnesota  
(NOT TO SCALE)



# Chapter 1: Community & Planning Context

Today and Tomorrow





## INTRODUCTION

The City of Lake Elmo is located half-way between the downtown urban core of Saint Paul and the pristine St Croix River Valley, offering an idyllic mix of rural amenities, natural scenery, outdoor recreation, and suburban convenience. The City's location and accessibility has made it one of the most desirable, and fastest growing communities in the Twin Cities metropolitan area over the past decade. With growth comes change, and the City must be prepared to capitalize on its regional position while maintaining its vision for the future and protecting its small-town charm that has defined the community for many decades.

The City is at an important time in its history as new neighborhoods are springing up throughout the high growth areas, the Old Village is adding new households and businesses and existing neighborhoods begin to age and require renewed focus and attention. The Chapters that follow describe, highlight and address some of these influences in the community and provide guidance and direction to the City as it continues to grow and evolve over this planning period.

3

However, before we can begin to develop a plan for the community's future it is important to first establish the City's context within the region and understand the framework from which the subsequent sections of this plan are derived. The following sections provide a snapshot of the community's context which summarizes a more detailed set of data which can be found in Appendix X: Background Report. This chapter is intended to provide context regarding the following:

- Summary of current demographic and socio-economic trends
- Current market snapshot (local and regional)
- Planning Context

Metropolitan Council (regional)

Local (objectives established and local process)

### 2040 Community & Planning Context Highlights – What's to Come

- » Lake Elmo is expected to grow over this planning period with the majority of growth planned in areas designated by the Metropolitan Council as Emerging Suburban Edge.
- » The areas designated as Rural Residential by the Metropolitan Council are planned for modest growth similar to existing neighborhood and development patterns.

## COMMUNITY DEMOGRAPHICS & SOCIO-ECONOMIC

The City of Lake Elmo covers approximately 24 square miles of land and borders other suburban and rural communities, including Oakdale to the west, Grant to the north, Oak Park Heights, Baytown and West Lakeland Townships to the east, and Woodbury to the south. In 2016, the population of Lake Elmo was estimated at 8,748 people with 3,001 households (Minnesota State Demographic Center). Other key 2015 demographic statistics compiled from the American Community Survey and US Census include:

4

- The median household income of Lake Elmo residents was \$96,944 which far exceed the median household income of the seven county metropolitan area. 7.2% of Lake Elmo residents live in poverty.
- The largest Lake Elmo racial/ethnic groups are White (93.0%) followed by Hispanic (3.8%) and Asian (1.8%).
- The median age for Lake Elmo residents is 42.9 years young. The gender split is 50:50.

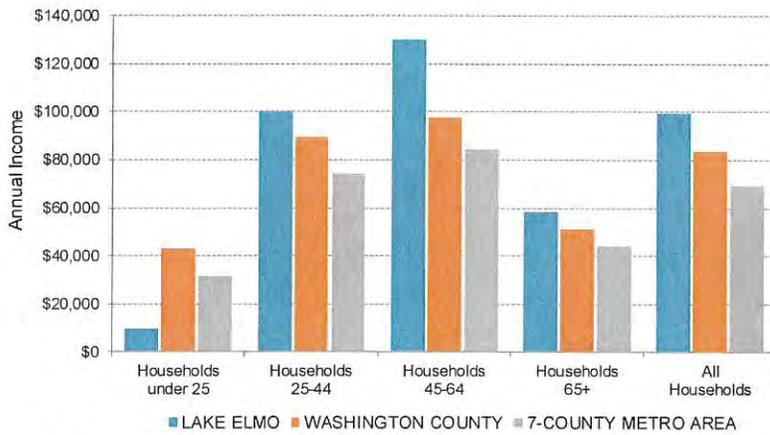


Table 1-1. Age of Population 2015 - Lake Elmo & Region



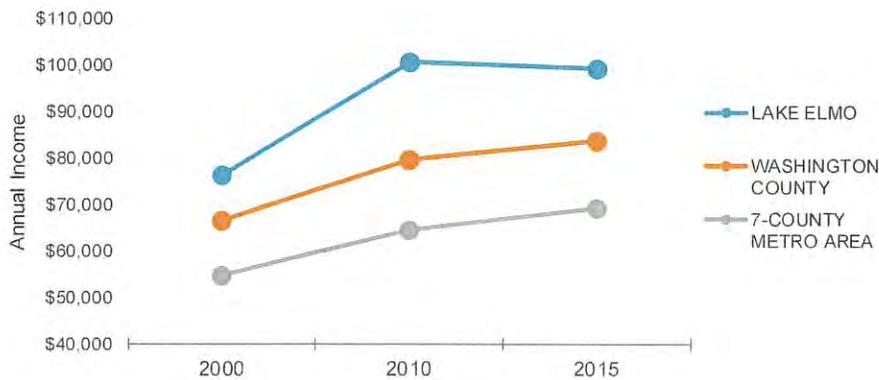
Source: US Census

Table 1-2. Median Household Income by Age of Householder 2015



Source: US Census

Table 1-3. Median Household Income 2000 - 2015



Source: US Census

## Market Snapshot

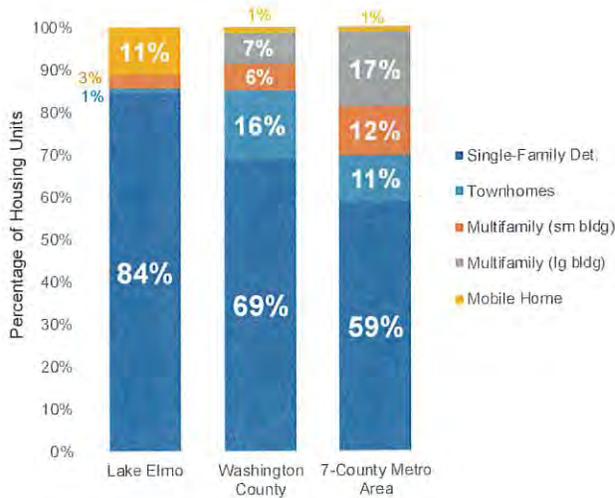
To plan for the City's future, it is important to understand the current market dynamics in the community, and to compare those to the larger region to understand how Lake Elmo compares. As indicated in the subsequent sections, because the City has only recently introduced municipal services into the community it has a relatively homogeneous housing market compared to both Washington County and the greater 7-County Metro Area.

### Households and Housing Types

The households in 2015 were overwhelmingly dominated by detached single-family housing types (84%), a rate that far exceeds the metropolitan average of 59%. The next largest percentage of housing stock in the city is mobile homes (11%) which is also unique compared to both Washington County and the greater region. Providing a range of housing types within a community allows for more opportunity to accommodate various ages of residents, life-cycle housing options, and options for residents of mixed income levels to locate. The lack of diversity in housing types, and how this might be addressed, is discussed further in the Land Use, Balanced Development & Growth, and Housing Chapters of this Comprehensive Plan.

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Table 1-4 Housing Structure Type - 2015

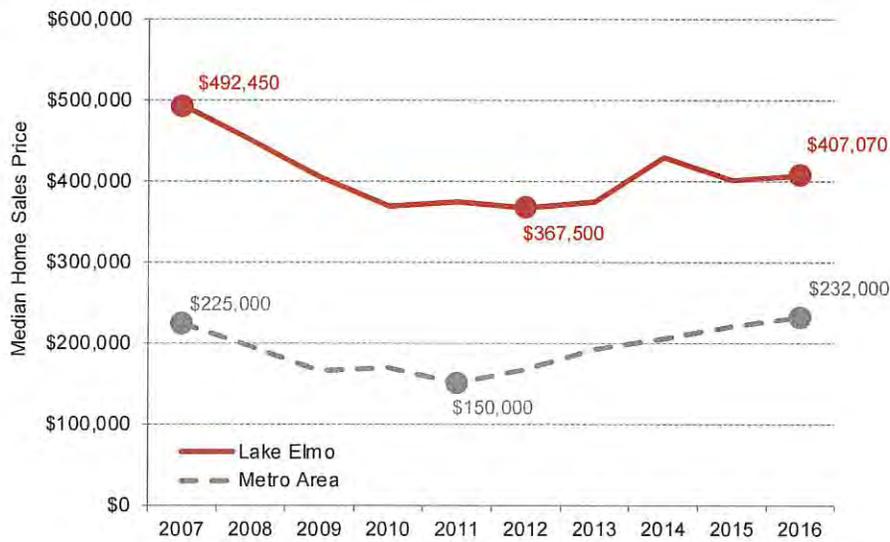


Sm Bldg = 2-19 units Lg Bldg = 20+ units  
Source: US Census

Housing Market Trends

According to data from the Minneapolis Association of Realtors, the median home sales price for Lake Elmo in 2016 was \$407,070. This was over 75% more than the metropolitan area median home sales price \$232,000. This indicates that the existing housing stock in Lake Elmo is expensive compared to the rest of the region. The number of sales in Lake Elmo appears to be picking up significantly after several years of slow sales. This suggests that new developments may be driving the increase in the number of sales. Additionally, new product types are slowly entering the Lake Elmo market in neighborhoods such as Savona that have a small pocket of townhomes that were developed in the past three years. As new housing types enter the market greater pricing diversity is likely to occur, which may begin to bring the City's median home pricing closer to that of similarly situated communities in Washington County.

Table 1-5 Median Home Sales Price 2007 - 2015



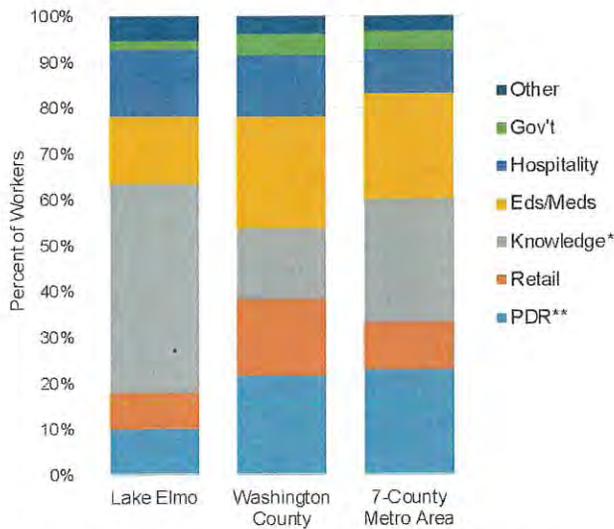
Source: Minneapolis Area Association of Realtors

## Commercial

Although Lake Elmo is still largely defined by its residential character, its employment base has been steadily growing and diversifying in recent years. Employment in a community can influence not only its tax base and land use but also impact the types of housing demanded and support of certain types of retail.

Between 2000 and 2015, Lake Elmo’s employment base increased by more than 850 jobs or 53%. Industries that have led this growth have been in the high-paying “knowledge” sectors of Information, Finance, and Professional and Management Services. Hospitality has also contributed to this growth as well. The City’s interest in continuing to provide land and opportunities for business and retail in the community is further discussed and planned for within the Land Use and Balanced Development & Growth Chapters of this Plan.

**Table 1-6 Employment Profile by Industry 2015**



\* Knowledge = Consists of “knowledge-based” industry sectors, such as Information, Finance, and Professional Services/Management  
 \*\* PDR = Production, Distribution, and Repair industry sectors (i.e., Manufacturing, Construction, Transportation, Utilities, etc.)  
 Sources: Minnesota Department of Employment and Economic Development, OCEW dataset, Perkins+Will

## **PLANNING CONTEXT**

The planning context of this 2040 Comprehensive Plan Update (Plan) is also an important consideration to understand how and why the subsequent chapters of this planning document were created. While the City's location in the region and current market dynamics provide context to where and why certain characteristics are emphasized within this Plan; the Planning Context establishes the requirements of this planning effort that must be addressed and also describes who was involved at the local level in the creation of this Plan. The following sections will define the planning context of the following:

1. Regional context and requirements (Metropolitan Council)
2. Local context and objectives guiding Plan development

### **Regional context and requirements – Metropolitan Council**

Communities often wonder when, and why, they should prepare an update to their Comprehensive Plan. The Metropolitan Land Planning Act requires all cities and counties in the Twin Cities Metropolitan Area (seven county) to adopt a Comprehensive Plan, and to update and amend those plans on a decennial basis for consistency with the regional systems. The Plan update may address a broad spectrum of issues important to the community, but at a minimum the Plan must be updated for conformance with the Metropolitan Council's regional system plans that include transportation (highways and transit), water resources (wastewater services), airports, parks and open space.

To clearly define how a City must establish conformance with the Metropolitan Council's requirements the Metropolitan Council issues a System Statement to each community in advance of the decennial Plan update period. Within the System Statement, the Metropolitan Council outlines and details the key areas of the City of Lake Elmo's Plan update that must be addressed for compliance with regional systems. The following information provides a summary of the System Statement requirements that were considered and planned for within subsequent sections of this Plan update.

## Community Designations

The Metropolitan Council groups cities and communities with similar characteristics into Community Designations for the application of regional policies. Lake Elmo is designated as both an Emerging Suburban Edge and Rural Residential community. These designations reflect the historic development patterns within the community, acknowledge the community's location and role in the regional metropolitan area, and identify a necessary balance for intended land use and infrastructure planning. It is the duty of both the Metropolitan Council and the City of Lake Elmo to guide forecasted grow in a sustainable and fiscally responsible way that supports the objectives and requirements of these designations. The geographic location of each of these planning areas as provided in the 2015 Lake Elmo System Statement can be found on Map 1-1.

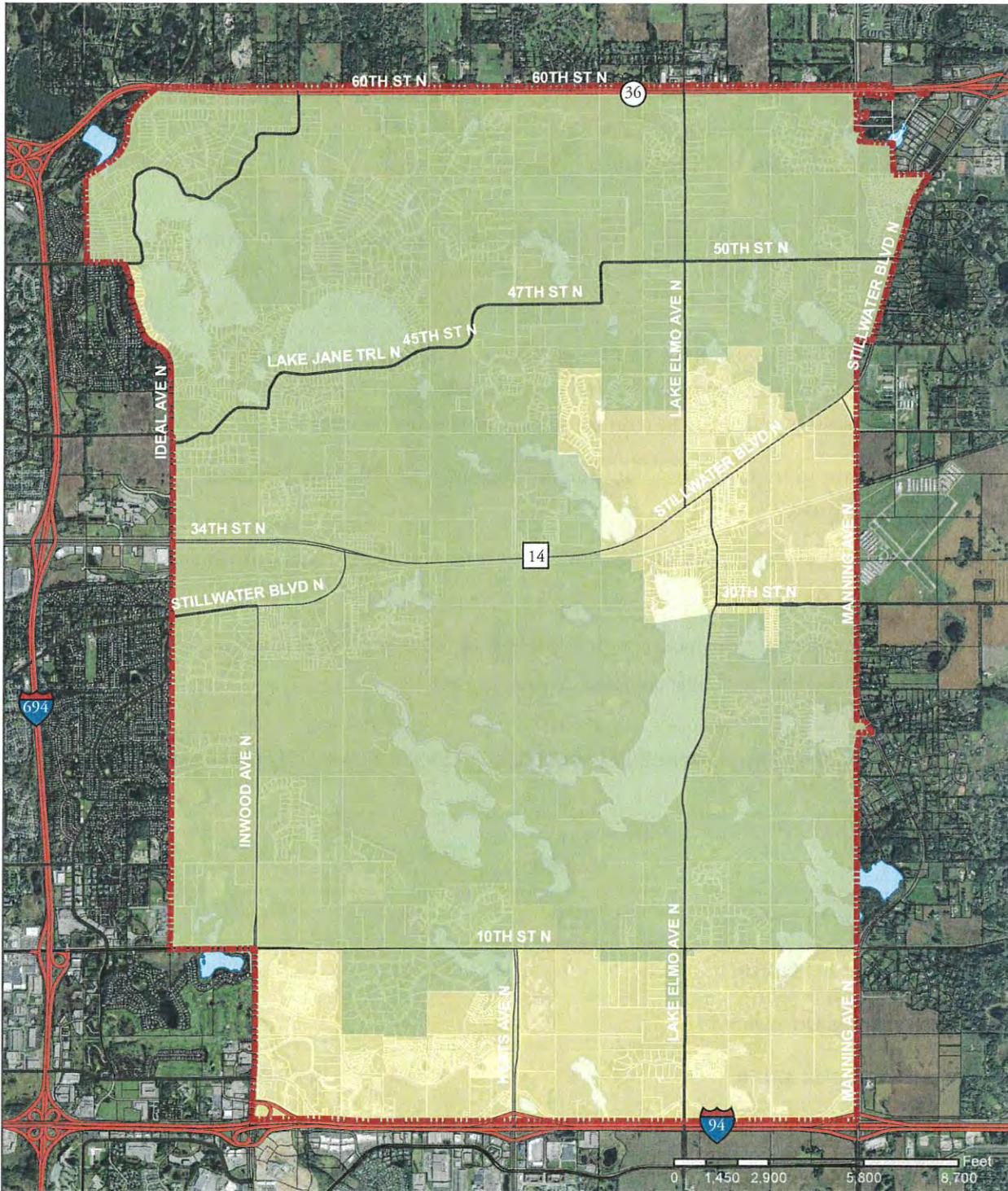
10

The Emerging Suburban Edge designation includes cities, townships and portions of both that are in the early stages of transitioning into urbanized levels of development. Emerging Suburban Edge communities are expected to plan for forecasted population and household growth at average densities of **at least 3-5 units per acre** for new development and redevelopment. In addition, Emerging Suburban Edge communities are expected to target opportunities for more intensive development near regional transit investments at densities and in a manner articulated in the *2040 Transportation Policy Plan*.

Rural Residential designated areas have residential patterns characterized by large lots and do not have plans to provide urban infrastructure, such as centralized wastewater treatment within this planning period. Many of these communities have topographical development limitations and a development pattern with lot sizes that generally range from 1-2.5 units per acre. Rural Residential communities are expected to discourage future development of rural residential patterns with lots less than 2.5 acres and, where opportunities exist, plan for rural development at densities that are not greater than 1 unit per 10 acres.

Lake Elmo has an obligation to fulfill its Community Role based on these designations. These roles and responsibilities are discussed further in the Land Use, Balanced Development & Growth, Housing and Implementation chapters of this Plan update.

Map 1-1. Thrive MSP 2040 Community Designations



**ThriveMSP 2040 Community Designation**  
 Emerging Suburban Edge  
 Rural Residential

Source: Metropolitan Council, MnGEO  
 Prepared by: SHC  
 Date: 4/24/2017



Forecasted Growth

The 2015 Lake Elmo System Statement identified forecasted population, household and employment growth expectations that Lake Elmo is required to plan for through the year 2040. The City's role is to prepare a Comprehensive Plan update that:

- Plans for development that supports forecasted growth at appropriate densities as articulated in the land use policies consistent with the City's community designations.
- Plan and develop interconnected and well-connected local streets, adequate stormwater infrastructure, adequate water supply, and properly managed subsurface sewage treatment systems to support local growth forecasts.
- Develop plans to improve conditions for and encourage walking and bicycling where appropriate.
- Maintain, replace, or expand local facilities and infrastructure to meet growth and development needs.
- Adopt and implement the local comprehensive plan following Council review.

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*Summarized from Thrive MSP 2040 Land Use Policy, Metropolitan Council*

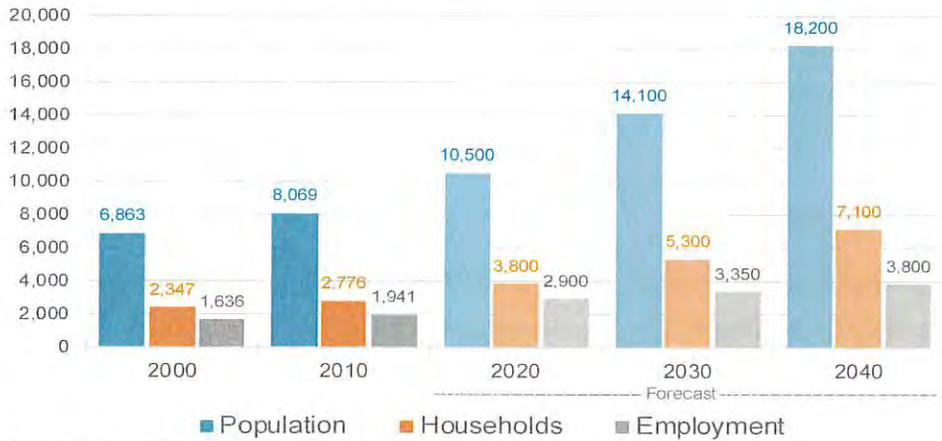
*Table 1-7. 2015 Lake Elmo System Statement (Change this to Sewered Unsewered Table)*

	<b>2010 (actual)</b>	<b>2020 (est.)</b>	<b>2030</b>	<b>2040</b>
<b>Population Unsewered</b>	8,061	6,788	7,140	7,992
<b>Population MUSA</b>	0	3,712	6,960	10,208
<b>Households Unsewered</b>	2,776	2,441	2,760	3,379
<b>Households MUSA</b>	0	1,359	2,540	3,721
<b>Employment Unsewered</b>	1,318	562	562	562
<b>Employment MUSA</b>	623	2,338	2,788	3,238

*2015 Lake Elmo System Statement, Metropolitan Council*



Table 1-8. Metropolitan Council Projections



Source: Metropolitan Council

According

According to this forecast, Lake Elmo will more than double its population and add more than 2.5 times the number of households counted in the last census (2010). Employment will add another 1000 jobs, increasing about 125% from now into 2040.

## Local Planning Context and Objectives Guiding Plan Development

The City has prepared this Comprehensive Plan update because it is a requirement of the Metropolitan Council; however, the City decided early in the process that it also posed an opportunity to evaluate the City's long-term planning policies and to see that the 2040 Plan would reflect its goals and aspirations for the future of the community as it continues to evolve and grow.

### 2040 Plan Update Objectives

The chapters that follow were developed based on the following guiding objectives:

1. Update the Comprehensive Plan for compliance to meet the Metropolitan Council's minimum requirements, while tailoring the Plan to meet the City's long-term vision and aspirations
2. Simplify and synthesize the City's existing adopted Plan to make it easier to read, understand and implement for policy makers, staff, residents, stakeholders and developers.
3. Engage the public early, and often, and let them guide the development of this Plan update.

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### Engagement process

To achieve the above stated objectives it was essential to have a working group to help guide the development of this Plan. The City appointed an Advisory Panel at the start of this process that included representatives from each of the City's commissions and members of the public. The objective was to involve a diverse representation of the community by appointing stakeholders, new and long-standing residents, and young people. The City was interested in creating a working group that would be committed to the process and would bring diverse perspectives to the planning process.

The Advisory Panel played an integral role to this process and provided meaningful feedback and guidance to Plan development, and also assisted with the efforts to reach out to the larger public. Efforts to solicit feedback from the public include several methods from attending events (going to where people were already going) to stakeholder meetings and online surveys.

At the end of this process all the work of the Advisory Panel, and feedback from the public was synthesized and compiled to provide direction to the Plan chapters that are contained within this Plan update.



## Plan Development & Changes from 2030 Plan

The Chapters that follow are the culmination of the efforts of the Advisory Panel, Stakeholder and resident feedback, staff, commissions and the City Council. This Plan is intended to serve as a guide for the community's land use, growth, housing, and infrastructure planning through this planning period. The City acknowledges that the community relies on this Plan to help residents, businesses, stakeholders and developers understand the expectations of development and growth over this planning period. While this Plan makes every effort to lay out a path forward for the next 20-years, it is also intended to be a living document that should be reviewed, updated, and changed when necessary.

This 2040 Plan is a re-write of the previously adopted Plan, but it was informed by previous planning efforts particularly related to the growth areas, infrastructure plans including water and wastewater infrastructure and the transportation system. The chapters that follow consider existing trends in the housing and commercial/retail/business market and project future uses based on expected demand. The City understands that the market place is cyclical, so the projections within the following chapters may occur at a faster or slower pace than anticipated. This is not unusual, and is the reason why it is important to address and update this Plan on a regular basis to ensure it is responsive to current market trends, while maintaining the City's long-term vision and aspirations - regardless of the time line.

## Chapter 2: Vision, Goals and Strategies

Lake Elmo Today & Tomorrow





## **INTRODUCTION**

### **Comprehensive Plan Purpose**

Perhaps the most important objective in preparing a Comprehensive Plan Update (“Plan”) is to establish the long-term vision, goals and strategies for the City of Lake Elmo that will serve as a guide for future changes and investments in the community over the next 10-20 years. This Comprehensive Plan provides a road-map for the community through this planning period, and addresses Land Use; Balanced Development and Growth; Housing; Parks, Trails, Natural Resources and Open Spaces; Transportation; and Infrastructure.

### **Lake Elmo’s Plan - 2040**

The Vision, Goals and Strategies that follow provide the road-map for the subsequent chapters and components of this Plan. The Vision, Goals and Strategies for each component of this Plan can be found in the pages that follow - they are meant to be aspirational, clear, and concise about the intentions of the community during this planning period. The subsequent chapters are structured to provide detail, analysis and implementation methods to support the established goals and strategies. It is the City’s objective that this Plan is usable, action-oriented, and effective to bring the Vision for Lake Elmo’s future to fruition.

## **VISION, GOALS & STRATEGIES**

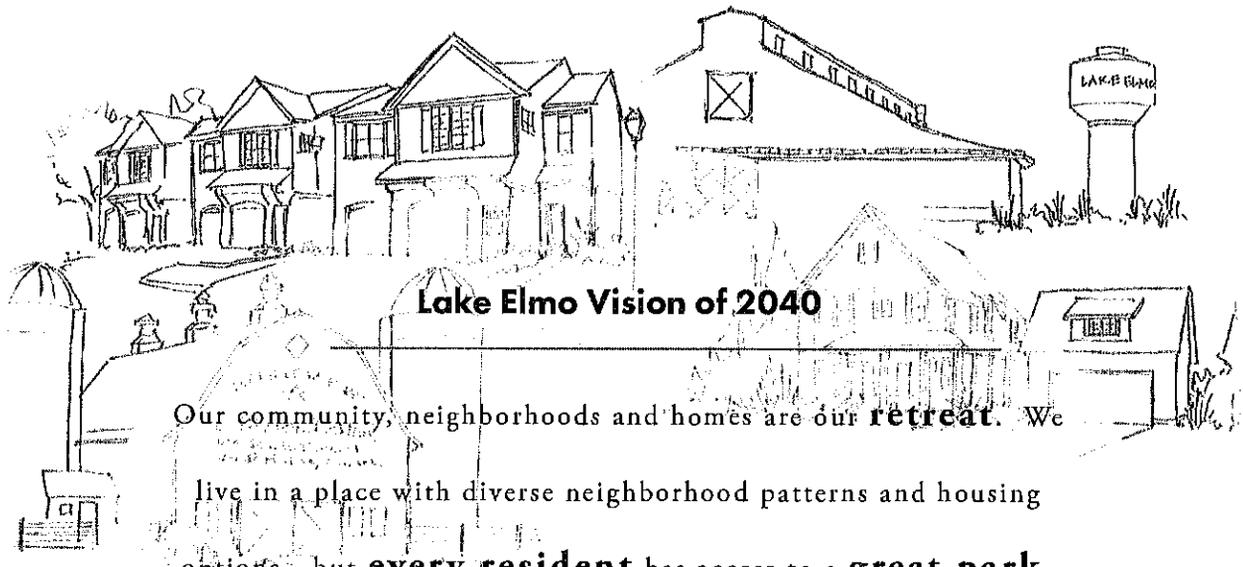
### **Lake Elmo Vision 2040**

The desire to establish a unified vision for the city was identified as an essential component of this comprehensive planning update process. Understanding this as a key objective, the process included multiple discussions tailored to obtain feedback about Lake Elmo's future aspirations. The process included soliciting feedback from Advisory Panel members, stakeholders, staff and the public at-large to help refine and create a vision that would guide the community through 2040. The City of Lake Elmo is changing, and its evolution is straddled between the community's desire to hold onto the rural quality of life that is so coveted, while acknowledging that development patterns are changing and urbanization of some areas is happening and has accelerated in recent years. That juxtaposition has created tensions in the community, but if harnessed appropriately, that tension provides exceptional opportunity. Lake Elmo's opportunity to draw the road map of its future is now – and central to that process is establishing a unified vision that can provide needed direction and clarity as the community evolves.

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The vision that is provided on the following page is a compilation of themes, ideas and messaging that have been shared by residents, business owners and stakeholders throughout this process. What is evident is that residents, business owners, stakeholders and policy makers all agree that Lake Elmo is a great place to live, the neighborhoods are awesome, and people are passionate about their community today and are dedicated to helping shape what it will be like in the future. While not everyone agrees on what the best solution is for every area of the community, regardless, there is passion. The vision describes that consensus of passion for neighborhoods and incorporates the guiding themes that presented themselves as the City worked through this planning process.





## Lake Elmo Vision of 2040

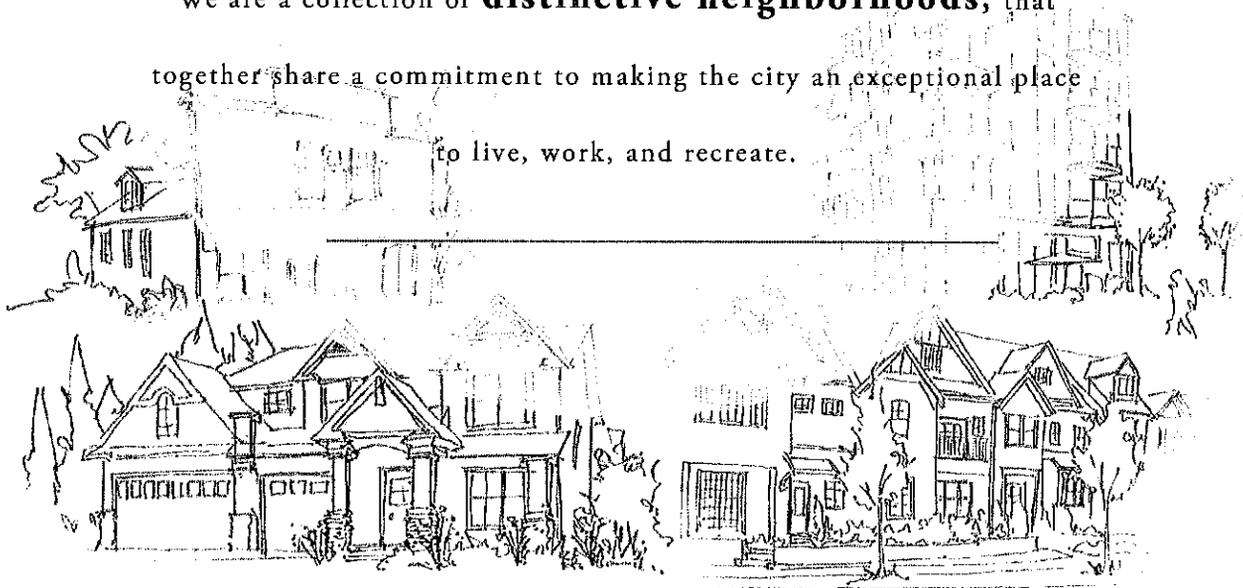
Our community, neighborhoods and homes are our **retreat**. We

live in a place with diverse neighborhood patterns and housing options - but **every resident** has access to a **great park,**

**open space or trail**. Our community **embraces local**

**businesses** and services, and they are a part of our neighborhoods.

We are a collection of **distinctive neighborhoods**, that together share a commitment to making the city an exceptional place to live, work, and recreate.



## Goals & Strategies

The last comprehensive plan marked a shift in the city's future and changed development patterns in the community as areas became available for municipal services. The shift was slow due the economic recession that hit the country in the late 2000s and early 2010s, but as the market recovered, pressures to develop in areas guided for municipal services accelerated. This pressure can be challenging without a clear set of goals and strategies to help guide the future of the community. So while the City is required to update its Comprehensive Plan, it also presents an opportunity for the community and policy makers to establish a comprehensive set of goals and strategies that will help shape neighborhoods, provide a framework for relationships and help build a sense of community and character.

6 Early in the comprehensive planning process, the city convened an Advisory Panel that worked to help define and establish a set of draft goals and strategies that would provide the foundation from which the chapters contained within this plan would be developed. The first step in establishing a set of draft goals was a Strengths, Weaknesses, Opportunities and Threats ("SWOT") exercise that required the Advisory Panel to identify what specific characteristics and qualities of the community that they hoped would either be addressed, maintained or enhanced. The Advisory Panel was then asked to prioritize their SWOT exercise to determine which characteristics and qualities would rise to the top and become a set of goals.

The results of the SWOT and prioritization were then turned into goals statements using specific action-oriented works with a defined meaning. The draft goals statements became the foundation for discussions of the Advisory Panel moving forward addressing topics such as Intergovernmental and Community Relationships, Community Identity and Brand, Land Use and Development, Housing, and Infrastructure.

The goal statements and themes have been used in some form throughout the comprehensive planning process, with the Advisory Panel, stakeholders, and the public at-large and have guided and focused discussions with stakeholder groups, staff, and at public events. After collecting feedback through a series of public engagement efforts, and working with the Advisory Panel and city staff, a set of supporting strategies were developed based on the input received.

The following goals and strategies are a culmination and synthesis of information collected through the various efforts to engage the public, the Advisory Panel and staff. This chapter serves as the heart of the comprehensive plan and establishes the priorities



and initiatives the city has identified as essential during this planning period. It is essential that the terms used throughout the goal and strategy statements within this chapter are upheld and are used in the City’s decision-making process moving forward. For purposed of this document, the following definition of a goal and a strategy are provided:

**Goal** A general statement of community aspirations and desired objectives indicating broad social, economic, or physical conditions to which the community officially agrees to try to achieve in various ways, one of which is the implementation of the Comprehensive Plan.

**Strategy** An officially adopted course of action or position to implement the community goals.

In addition to properly defining a “Goal” and a “Strategy”, the definition of the action word contained within the statements must also hold a common definition that assigns various roles, commitments and responsibilities to the city. A glossary of these terms is found in Appendix X of this comprehensive plan. The ‘action’ words used in the following goal and strategy statements are assigned the following commitment level

No commitment of financial investment, staff resources & policy directives	May include financial investment, staff resources & policy directives	Commitment to financial investment (if needed), staff resources & policy directives
Continue	Create	Prevent
Endorse	Encourage	Protect
Reserve	Enhance	Provide
Recognize	Explore	Strengthen
Promote	Maintain	Support
Work	Identify	Sustain

The following goals and strategies are categorized by topic area, and generally correspond to the individual chapters that are contained within this comprehensive plan. Each chapter should support, build upon, and incorporate these goals and strategies into the plan component and develop implementation steps that will help achieve the goals and strategies as identified. The intent of these statements is to provide a road-map for development in the city; to be aspirational; and to create a framework for policy makers, staff, developers, landowners, and residents.

## Character & Governance

**CG - Goal #1. Promote** Lake Elmo as an exceptional place to live because of its proximity to the Metropolitan Area and access to healthcare, culture, and jobs.

### **Strategies**

- a. Create regular educational opportunities to share the successes of the community with residents, business owners, and other interested stakeholders.
- b. Explore the potential to develop regular discussion sessions with the community and business owners to continue discussions about the future of Lake Elmo's household and economic growth.
- c. Identify opportunities to bring new businesses and services to the community that support existing and future residents and neighborhoods.

**CG Goal #2. Create** gateways into the community that protect the character of the community.

### **Strategies**

- a. Identify key gateways to the community, neighborhoods and other important geographic areas of the community.
- b. Create and establish gateway identities tailored to key geographic areas of the community that provide common messaging about Lake Elmo, while encouraging some unique identify based on the surrounding neighborhood.

**CG Goal #3. Maintain and Enhance** connections of all residents to the natural resources and open space amenities throughout the community.

### **Strategies**

- a. Create an interconnected network of open spaces and trails that provide connections between urbanizing and rural areas of the community.
- h. Continue to support open space developments in the rural residential areas that protect important natural resources and provide connections to public parks, open spaces and trails.
- c. Encourage development in the urbanizing areas to create their development plans using a natural resources plan that considers an interconnected network of public parks, natural resources, open spaces and trails.

**Goal #4. Provide** a framework for developers and land owners that clearly communicates the desires and expectations of the City for specifically guided areas of the community.

**Strategies**

- a. Provide a cheat sheet that summarizes key goals, strategies and characteristics of each land use designations that clearly describes the desired development in each area.
- b. Strengthen existing ordinances, zoning districts and other regulatory tools to clearly, and directly, support the comprehensive plan and land use designations.
- c. Recognize the importance of clear, consistent guidance and communication from staff, advisory boards, and policy-makers through the development review process.

**CG Goal #5. Support** city staff and work to stabilize the environment so that there is consistency in city hall.

**Strategies**

- a. Strengthen communication between staff, advisory boards, policy-makers, residents and stakeholders to help create an environment of healthy discussion and decision-making.
- b. Create opportunities for open dialogue between staff, policy-makers and stakeholders regularly and encourage discussion even at times when no critical action is needed.

**CG Goal #6. Work** to improve relationships with intergovernmental agencies, including the Metropolitan Council, while protecting the City's vision for the future.

**Strategies**

- a. Recognize the city's participation and role within the metropolitan region, while balancing those needs with the vision and goals of the city.
- b. Strengthen relationships with adjacent jurisdictions, agencies and the metropolitan council to encourage healthy discussion and debate on key issues that extend beyond the city's borders.

## Land Use (LU)

**LU Goal #1. Work** with residents, developers, land owners and other stakeholders through the development process and **require** development that is consistent with the future Land Use Plan.

### **Strategies**

- a. **Create** clearly defined land use designations that are responsive to a dynamic market place and create a balanced land use pattern.
- b. **Explore** opportunities to educate developers, landowners, residents and other stakeholders about the land use plan, and the objectives of each land use designations.
- c. **Promote** the land use plan as a thoughtful plan that guides development types, densities and uses that should be respected in the planning and master planning process of new rural and urbanizing neighborhoods.

**LU Goal #2. Enhance** Lake Elmo's expansive network of trails, open spaces, and natural resources as amenities in developing areas of the community.

### **Strategies**

- a. Enhance and support the development of an open space network that provides an west-east connection south of 10th Street from Inwood Avenue to Manning Avenue.
- b. Support open space and trail connections between neighborhoods and regional and city parks.
- c. Create clear methods to communicate and promote the usage of public parks and open space as truly public.
- d. Work with developers early in the plat and concept plan process to create trails and open spaces that are located in visible, accessible locations within neighborhoods that complete the west-east network.

**LU Goal #3. Continue** to educate residents, developers, and stakeholders about the guided land uses and where sewerred and non-sewerred development is guided.

### **Strategies**

- a. Create educational materials that may include a brochure, website, or other publication to communicate the intended and planned development patterns in the urbanizing areas.
- b. Explore locations to communicate and publicize objectives and goals for the urbanizing areas of the community, as well as the rural residential areas of the community.

- c. Encourage the development of a communication plan that would provide opportunities for staff, policy makers, and residents to periodically share information and continue the discussion about growth and development in the community.

**LU Goal #4. Create** strong and vibrant Districts in the Village Planning Area that becomes a destination for all residents of the community.

**Strategies**

- a. Support the Land Use Plan and require development that is consistent to provide a mix of uses to support a sustainable plan for each of the created Districts.
- b. Explore the development of zoning overlay districts, or other tools, to reinforce the development patterns and individual character of each of the Districts.
- c. Create educational, promotional and event opportunities in the Districts to define it as an important gathering place in the community.

**LU Goal #5. Identify** and **Explore** opportunities to improve the streetscape in the Old Village District, Elmo Station District and Civic Center District to create a more walkable environment.

**Strategies**

- a. Explore the refinement of design guidelines for the Districts that enhance a more pedestrian scale throughout the area.
- b. Create dimensional requirements within any zoning overlay district that will reinforce the human scale, and alternate mode choice (pedestrian and bike) within the district area.
- c. Identify individual blocks or streets that could be improved for pedestrian scale, and inventory the existing condition to determine what improvements could be most beneficial.

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**LU Goal #6. Maintain** and **Strengthen** the small-town charm of the Old Village District.

**Strategies**

- a. Support the development of an Old Village District zoning overlay district to reinforce the existing development pattern.
- b. Protect the existing buildings and reinforce the appropriate scale of development consistent with the existing historic structures on the main street.
- c. Create a zoning overlay district for the adjacent Elmo Station District that reinforces and supports the viability of main street in the Old Village District.

## Balanced Development, & Growth (BDG)

**BDG Goal #1. Encourage** developers, land owners, and stakeholder to integrate the value of natural resource systems into new developments in all land use categories.

### **Strategies**

- a. Explore ordinance amendments and changes that would require a natural resources inventory as part of a concept plan and preliminary plat process.
- b. Identify important natural features that should be prioritized for protection.
- c. Protect natural areas through encouraging the use of the open space development ordinance.
- d. Explore opportunities to apply tools and techniques contained within the open space development ordinance in the urbanizing areas of the community.

**BDG Goal #2. Protect** existing neighborhoods, open spaces and natural resources from adverse impacts that may result from intensified development in adjacent sewered areas.

### **Strategies**

- a. Sustain important natural features that are already protected, and those that should be protected.
- b. Create an ordinance or policy that requires new development to consider natural resources protection within a plat or concept plan.
- c. Continue to guide land uses in existing neighborhoods consistent with their current use.

**BDG Goal #3. Recognize** that sewered development is planned for specifically guided areas and that those areas are appropriate for increased density and commercial uses.

### **Strategies**

- a. Create land use designations that clearly define acceptable densities, uses and objectives of the guiding.
- b. Provide education and communication about anticipated development patterns in the urbanizing areas to residents, landowners, and developers that clearly establish expectations for these areas.
- c. Endorse the land use plan and apply it consistently.

**BDG Goal #4. Support** and **Create** a land use and phasing plan that promotes contiguous development, that has flexibility to respond to the market, and results in a balanced land use pattern.

### **Strategies**

- a. Prevent premature development of areas within the urbanizing areas to ensure adequate capacity within the infrastructure is available.

- b. Support development in the appropriate phase of development to maintain consistency with household and employment projections as identified within this plan.
- c. Work with landowners and developers to guide development to appropriately guided and staged land within the urbanizing areas.
- d. Protect the land use plan and guided areas to create a mix of uses throughout the developing areas to create a more sustainable land use pattern.

**BDG Goal #5. Explore** opportunities to integrate design and site planning characteristics of the Old Village District into new developments in the city.

**Strategies**

- a. Encourage the incorporation of walkable, pedestrian scale buildings into commercial and mixed use areas in the urbanizing area south of 10<sup>th</sup> Street, the redevelopment areas of the Old Village District and the Elmo Station District.
- b. Support the refinement of design guidelines that provide clear and descriptive design elements to incorporate into urbanizing and redevelopment areas of the community.

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**BDG Goal #6. Support** existing small businesses in the Old Village District and Elmo Station District.

**Strategies**

- a. Explore ways to improve existing ordinances for a more business friendly approach.
- b. Work with existing business owners to understand their current needs, and how the city could support their business moving forward to keep them in the community.
- c. Support the development or refinement of zoning overlay districts that will directly support and enhance existing businesses.

**BDG Goal #7. Create** opportunities for new businesses to locate in the Old Village District.

**Strategies**

- a. Prevent the conversion of residential and mixed-uses in the Village Planning area to ensure an increase in households and population to support new and existing businesses.
- b. Promote the Old Village District as a vibrant place for business and reinforce through continued streetscape and exterior improvements in the area.

## Housing

**HSG Goal #1. Create** land use designations that support various housing types throughout the community.

### **Strategies**

- a. Support development consistent with the land use designations and guided densities to ensure a balanced land use pattern throughout the community.
- b. Encourage development in the urbanizing areas to consider a range of housing types within individual developments to create more sustainable neighborhoods.

**HSG Goal #2. Explore** ways to integrate lifecycle housing choices throughout the community.

### **Strategies**

- a. Strengthen existing zoning districts to allow for and encourage developments within the urbanizing area to include a range housing styles, types and price points within a single master plan.
- b. Provide opportunities within the urbanizing areas to accommodate and develop housing that may be more affordable and desirable to younger households, the senior population and those that are looking for low-maintenance housing.
- c. Endorse residential developments that integrate pedestrian, bikeway and transit connections to services, commerce and recreational opportunities.

**HSG Goal #3. Endorse** and **sustain** existing neighborhood patterns throughout the rural residential areas of the community.

### **Strategies**

- a. Continue to enforce and enhance existing zoning district regulations in the rural residential areas of the community.
- b. Work with neighborhood associations and other neighborhood liaisons to understand challenges within existing neighborhoods and to develop plans for long-term maintenance and sustainability of the homes, open spaces and other neighborhood amenities.
- c. Protect and recognize the importance of natural resources in rural residential neighborhoods and identify key connections and corridors that could connect to new neighborhoods in the rural residential areas of the community to provide a larger open space network.

**HSG Goal #4. Protect and preserve** the existing housing stock of established neighborhoods.

***Strategies***

- a. Identify programs or assistance that may be available to assist existing home owners with maintenance of their individual homes or neighborhood amenities.
- b. Continue to enforce existing zoning district regulations and evaluate what changes or improvements could assist with long-term protection and maintenance of existing neighborhood quality.

## Parks, Trails & Open Space

**PTOS Goal #1. Enhance** existing natural resources, open space and trails to make a more complete system.

### **Strategies**

- a. Recognize and identify the value of existing publicly owned natural resources and open space.
- b. Identify opportunities to create improved connections between publicly owned open space, natural resources and trails.
- c. Create a plan to better communicate what parks, open space and trails are publicly owned and available to all residents of the community.
- d. Work to identify critical gaps in the system and develop a plan to fill the gap either through the development process, discussion or other means.

**PTOS Goal #2. Strengthen** the existing trail network in the City and **provide** increased public connections and accessibility including pedestrian and bikeway connections.

### **Strategies**

- a. Create a trail network that is regular and consistent so users know that they can access the system and complete their routes.
- b. Strengthen ordinances to clearly communicate and enforce the desire to complete the trail and bikeway system as provided within this comprehensive plan.
- c. Recognize the importance of the Park Commission and their role in the development review process to ensure proper consideration is made for important public trail and bikeway connections.
- d. Work with all staff departments including planning, engineering, and public works to identify opportunities for key connections during the concept plan and development review process.

**PTOS Goal #3. Endorse** and **Maintain** the protected public open space and natural areas throughout the City.

### **Strategies**

- a. Support the protection of key natural resources and open space as provided for within this plan.
- b. Encourage the development of a natural resources plan that identifies existing public, private and quasi-public lands and consider appropriate ordinances and tools to ensure long-term protection of such plans.

**PTOS Goal #4. Protect** and **strengthen** existing park facilities and program uses according to demands of residents that use the facilities, and plan for appropriate programming and facilities in new neighborhoods.

**Strategies**

- a. Encourage regular resident and neighborhood feedback regarding park programming and condition to understand projected and current park needs.
- b. Continue to support programming and park maintenance that supports this comprehensive plan.
- c. Recognize that the city has an extensive existing park system and that new parkland should be thoughtfully planned with a long-term perspective on park maintenance to ensure a high-quality system for future residents.
- d. Provide clear signage and communication of publicly designated parks and their availability to all residents.

**PTOS Goal #5. Explore** opportunities to improve the quality of degraded, but important, natural resources in the city (i.e. impaired lakes, streams and wetlands).

**Strategies**

- a. Work with other local, regional and state agencies to identify financial resources and opportunities to improve degraded natural resources within the community.
- b. Explore ways to improve ordinances to protect existing natural resources through appropriate setbacks, coverage requirements and other development standards.

**PTOS Goal #6. Identify** natural areas in the community that may warrant further investigation of potential protection as areas of the community develop.

**Strategies**

- a. Explore ways to incorporate analysis of natural resources as part of the concept planning phase of development into supporting zoning district ordinances and other regulatory tools.
- b. Recognize that development in the urbanizing areas will occur at higher densities but that an integrated network of open space should be created as shown within this comprehensive plan.

## Transportation & Infrastructure

**TRIN Goal #1. Provide** improved infrastructure, including sewer, water, and facilities, to serve new residents in the developing areas of the community.

### **Strategies**

- a. Create a staging plan that correlates to contiguous infrastructure improvements to ensure a more cost-effective delivery of services.
- b. Support development consistent with the future land use plan and transportation plan so that infrastructure is appropriately sized and planned for based on anticipated development patterns.

**TRIN Goal #2. Maintain** the level of city services to existing neighborhoods and plan through appropriate capital expenditures for necessary improvements.

### **Strategies**

- a. Work with neighborhood associations and liaisons to plan for any needed improvements and incorporate such improvements, where applicable, within the city's capital improvement plan.
- b. Sustain development patterns consistent with the future land use plan to ensure appropriate designed and planned infrastructure.

**TRIN Goal #3. Create** improved pedestrian connections and access in the Village Planning Area to make the area more walkable and safer.

### **Strategies**

- a. Support the transportation plan and engineering design standards for roadways, sidewalk and other right-of-way plans to capitalize on opportunities to improve connections.
- b. Explore options with Washington County to improve pedestrian connections between the Old Village District and the Civic Center District as identified within this comprehensive plan.

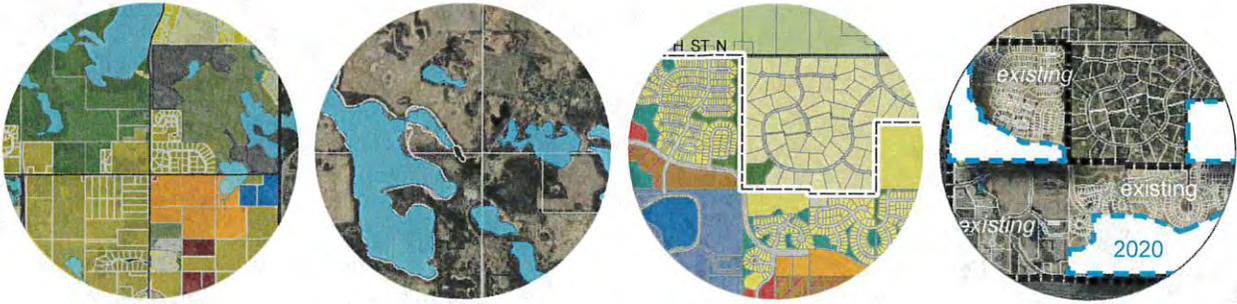
**TRIN Goal #4. Explore** opportunities to improve bikeways, pedestrian ways, and transit connections throughout the community with particular attention to urbanizing areas.

### **Strategies**

- a. Endorse the regional bicycle transportation network plan as identified by the Metropolitan Council, and identify potential connections to complete the network during development review consistent with this comprehensive plan.
- b. Support the integration of trails and bikeways as part of any major arterial or collector roadway improvement plans.

# Chapter 3: Land Use

## Existing & Future





## INTRODUCTION

The City of Lake Elmo is a growing, dynamic, and diverse community that has experienced significant change over the past planning period. The City's proximity to jobs, access and regional amenities means that the City will likely continue to experience external pressures to grow. Consequently, it is essential for the City to develop a thoughtful, well-planned approach to its future land uses and growth strategy. The following chapter will focus first on existing land uses that will provide a baseline from which the Future Land Use Plan ("FLU") was derived. The FLU guides anticipated densities of new neighborhoods, locations of future mixed-use and employment centers, and guides land for commercial and retail services through 2040. The community understands that while there is significant growth pressure and demand today for certain types of development, that demand is likely to eb and flow and change over the next several decades as market trends fluctuate. More detail regarding current market trends and development can be found in Chapter 4. Balanced Development & Growth within this Plan; however, the pace of growth is addressed through the Staging Plan that is included in subsequent sections of this chapter. The Staging Plan provides sequential geographic areas available for development and growth during prescribed time periods that methodically allows for contiguous development and cost-effective expansion of municipal services to undeveloped areas of the community.

3

The Future Land Use, Staging and Special Area plans contained within this chapter, if consistently followed and implemented, directly support the goals and objectives contained within Chapter 1: Vision, Goals & Strategies. The intent of this chapter is to demonstrate where land use changes are anticipated, where existing land use patterns are guided to stay the same, and how these land uses patterns will continue to support the identity and character of the community through this planning period.

### 2040 Land Use Highlights – What's to Come

- » The Existing Land Use Patterns in the Rural Residential areas should be protected through this planning period; some new rural residential neighborhoods, including open space developments, are anticipated to develop consistent with the City's rural tradition.
- » New Future Land Use designations will allow for a better response to market conditions and will allow a greater options in land use choices.
- » Integration of more diverse neighborhood patterns and densities will allow for a stronger commitment to the staging plan.
- » Refinement of staging and infrastructure phasing to promote contiguous, well-planned development.

## Existing Land Use

The existing land use patterns reflect the City's past commitment to the rural landscape and investment in development of primarily single-family detached housing. Rural residential neighborhoods with conventional rural subdivisions and open space development subdivisions are sprinkled throughout much of the community's landscape. The many lakes of the City are dotted with smaller residential lots that once were dominated by vacation homes that have now transitioned to full-time residences. The Lake Elmo Regional Park Reserve is centered in the City providing a hub of natural and recreational resources for both City and metro-area residents. The "Old Village" is the historical hub of activity in the City, and a mix of uses is present today including some residential, commercial and office users. Business uses, employment pockets and retail/service users are primarily located in or near the "Old Village", along the I-94 corridor, or at major intersections and thoroughfares.

In Lake Elmo's 2030 Comprehensive Plan, the City's existing land uses did not include any areas that were connected to municipal services or located within the Metropolitan Urban Service Area ("MUSA"). Now, in this 2040 Plan, the existing land use patterns include neighborhoods that have been developed or are under construction that were guided in the MUSA in the previous plan. The availability of municipal services has allowed for the addition of new land use patterns that can be found in developing neighborhoods such as Inwood, Savona, and Easton Village. Additionally, the Old Village area has been incrementally served and connected to municipal services over the past decade, which has allowed for existing small-lot residential neighborhoods to be served, as well as new neighborhoods under development. While the developing neighborhoods in the MUSA continue to be dominated by single-family detached uses, some diversification has started to emerge as a few small pockets of medium-density residential uses are under construction and development.

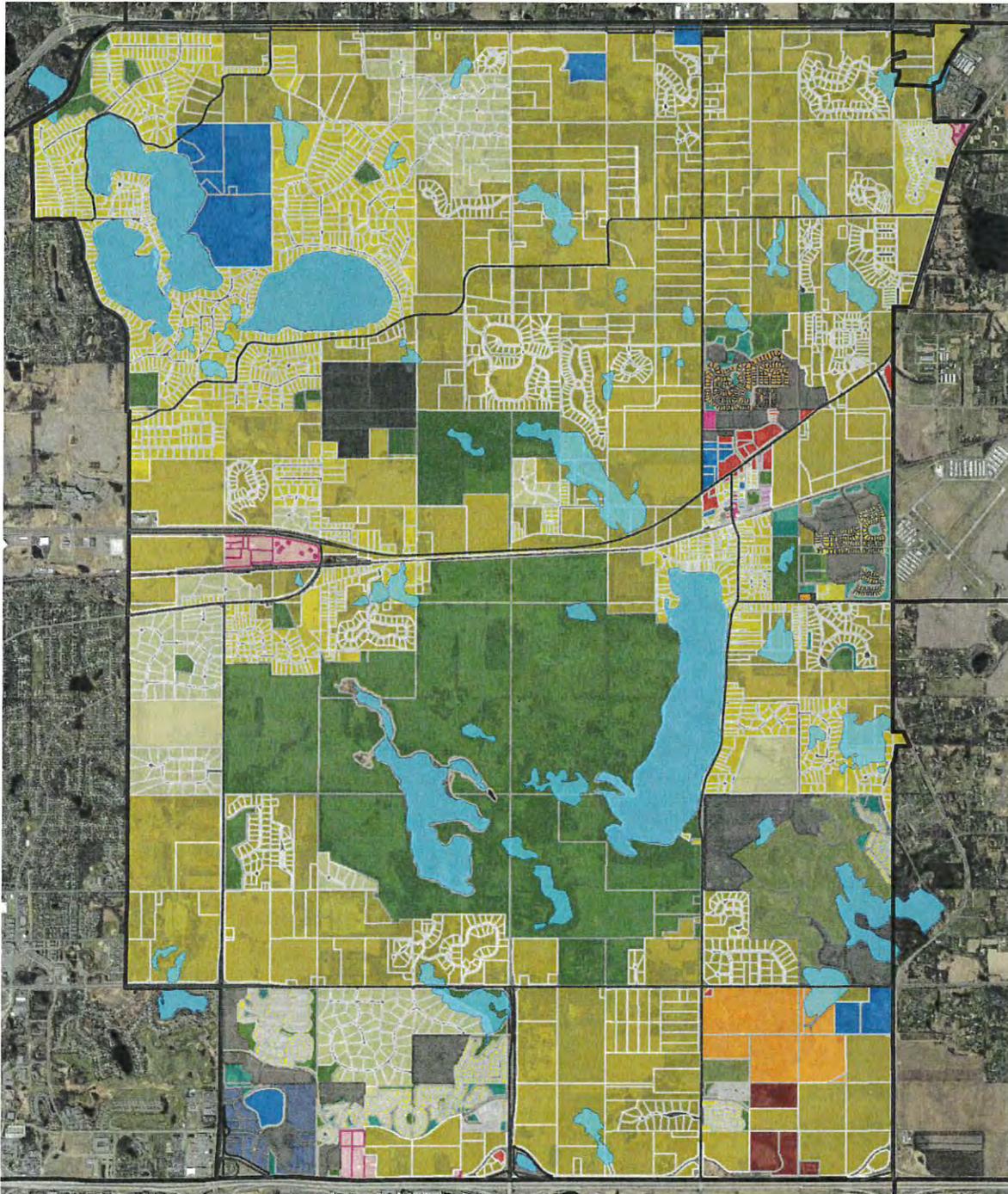
Table 3-1. Existing Land Use

Existing Land Uses	Residential Density (dwelling units/acre)	Acres	% Total Acres
Agricultural Preserve (AP)	0.025	414.70	2.67%
Rural Area Development (RAD)	0.1	6,040.82	38.96%
Rural Estate (RE)	0.1 - 0.4	815.26	5.26%
Rural Single Family (RSF)	0.66 - 2.0	1,754.14	11.31%
Low Density Residential (LDR)	2 - 4	182.06	1.17%
Medium Density Residential (MDR)	4 - 8	231.41	1.49%
Village - Low Density Residential (V-LDR)	1 - 4	36.08	0.23%
Village - Medium Density Residential (V-MDR)	4 - 6	48.18	0.31%
Mixed Use (MU)	5 - 12	4.93	0.03%
Undeveloped (U)	Various	392.15	2.53%
Limited Business (LB)	NA	71.79	0.46%
Business Park (BP)	NA	88.01	0.57%
General Business (GB)	NA	70.09	0.45%
Commercial (C)	NA	50.27	0.32%
Institutional (INST)	NA	305.40	1.97%
Closed Landfill (CL)	NA	67.53	0.44%
Public/Semi-Public (PSP)	NA	123.55	0.80%
Golf Course (GC)	NA	267.36	1.72%
Parks & Open Space (POS)	NA	2,593.74	16.72%
Right of Way (ROW)	NA	594.18	3.83%
Open Water	NA	1,355.29	8.74%
<b>TOTAL</b>		<b>15,506.96</b>	<b>100.00%</b>

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Map 3-1: Existing Land Use Map 2018



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Existing Land Use

<b>Lake Elmo Parcels</b>	LDR	LB	Golf Course
<b>ELU</b>	V-MDR	BP	PSP
RAD	MDR	GB	Park/OS
RE	HDR	C	Closed Landfill
RSF	MXD	Industrial	ROW
V-LDR	Undeveloped	Institutional	



## Existing Land Use Definitions

### Agricultural Preserve (AP)

This land use designation identifies land that is enrolled in the Agricultural Preserves program. Land in this designation is required to be guided for no more than 1 dwelling unit per 40 acres, and is protected from further subdivision during the contract period.

### Rural Area Development (RAD)

This land use designation represents the large areas of rural residential development and agricultural uses within the City. Common uses found in these areas include working farms, alternative agricultural uses as defined by City Code, and rural single family detached residences. Development in these areas requires 10+ acres, or a conditional use permit to authorize a cluster development meeting the City's Preserved Open Space regulations.

### Rural Estate (RE)

This land use designation defines areas developed specifically for large lot single-family detached housing typically on two or more acres of land, but developed at densities less than one unit per ten acres.

### Rural Single Family (RSF)

This land use designation identifies land that was platted for conventional subdivision prior to 2005, and includes large lots that are primarily serviced by private on-site well and septic system.

### Low Density Residential (LDR)

This land use designation identifies land that has been developed with primarily single-family detached housing with urban services between 2010 and 2018 at densities between 2.5 and 4 dwelling units per acre. This existing land use is only located within the South MUSA.

### Medium Density Residential (MDR)

This land use designation identifies land that has been developed primarily with a mix of attached and detached single-family housing with urban services between 2010 and 2018 at densities between 4.5 and 7 dwelling units per acre, and the manufactured home park that was developed in the 1960s. This existing land use is only located within the South MUSA.

**Village - Low Density Residential (V-LDR)**

This land use designation identifies land that has been developed with primarily single-family detached housing with urban services between 2010 and 2018 at densities between 1.5 and 2.5 dwelling units per acre. This existing land use is only located within the Village Planning MUSA.

**Village - Medium Density Residential (V-MDR)**

This land use designation identifies land that has been developed with primarily single-family detached housing with urban services between 2010 and 2018 at densities between 2.5 and 5 dwelling units per acre. This existing land use is only located within the Village Planning MUSA.

**Mixed Use (MU)**

This land use designation identifies land developed with a mix of commercial and residential uses and is limited to land within the Village Planning Area.

**Undeveloped (U)**

This land use designation identifies land within the South MUSA and Village MUSA that have been approved for future sewer development through a Preliminary Plat or PUD process, but Final Plat has not been completed.

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**Limited Business (LB)**

This land use designation identifies areas that are developed with commercial users that were not served by urban services. Users in this designation are generally less intense than would be permitted in the planned MUSA designations.

**Business Park (BP)**

This land use designation identifies areas used for professional businesses including medical and research facilities, offices and corporate headquarters. Users specifically excluded for existing park areas include warehousing, manufacturing, distribution, assembly and truck terminals. Retail sales of goods and services are allowed by conditional use permit.

**General Business (GB)**

This land use designation identifies areas used for general business activities that currently include warehousing, light industrial and manufacturing uses.

#### Commercial (C)

This land use designation identifies areas that are used for retail and service businesses. This land use can be found within the Village MUSA and South MUSA.

#### Institutional (INST)

This land use designation identifies lands that are developed with public or semi-public uses including users such as, but not limited to, religious institutions, schools, libraries and other civic buildings.

#### Public/Semi-Public (PSP)

This land use designation identifies lands that support adjacent development with stormwater ponds and other utilities and may include ancillary uses such as trails and small open spaces.

#### Golf Course (GC)

This land use designation identifies land that is used for a private golf course and ancillary uses that may include, but not be limited to, driving range, clubhouse and other amenity centers.

#### Park & Open Space (POS)

This land use designation identifies land that is used for park, recreation, trails, other natural resources preservation. Land within this designation is publicly owned by either the City, county, or other public agency.

#### Closed Landfill Restricted (CL)

This land use designation identifies former landfills that are qualified to be under the Closed Landfill Program of the Minnesota Pollution Control Agency (MPCA). The purpose of this category is to limit uses of land within the closed landfill, both actively filled and related lands, to minimal uses in order to protect the land from human activity where response action systems are in place and, at the same time, are protective of human health and safety.

#### Right of Way (ROW)

This land use designation includes all publicly dedicated areas that are used for roadways, shoulders, ditches, and other improvements. It should be noted that not all roads in the City are platted, and many are dedicated by easement and therefore this land area is accounted for through associated land use designation. As a result there is more land dedicated to use roads that identified within the acreages identified on the existing land use table.

## FUTURE LAND USE

The Future Land Use Plan (“FLU”) was developed by building on stated goals and strategies as identified through the planning process and documented in Chapter 1: Vision, Goals & Strategies. The resulting FLU carefully balances the recommendations and considerations of residents, stakeholders, staff, and policy-makers while responding to and incorporating the regulatory requirements of the Metropolitan Council.

*LU Goal #1. Work with residents, developers, land owners and other stakeholders through the development process and require development that is consistent with the future Land Use Plan.*

*- Chapter 1: Vision, Goals & Strategies*

The FLU is in part shaped by the policy designations the City is required to meet as part of the Metropolitan Council’s Thrive MSP 2040 Land Use Policy as provided within the 2015 Lake Elmo System Statement. Lake Elmo falls into two categories of Community Designation, as described in Chapter 2: Community Context. Each of these designations carries responsibility for the related Community Role in the regional growth of the metropolitan area in relation to future land use. These roles are outlined in the Metropolitan Council’s Thrive 2040 Land Use Policy and include the following land use practices for Lake Elmo:

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### Emerging Suburban Edge

- Plan and stage development for forecasted growth through 2040 and beyond at overall average net densities of at least 3-5 dwelling units per acre in the community. Target higher-intensity developments in areas with better access to regional sewer and transportation infrastructure, connections to local commercial activity centers, transit facilities, and recreational amenities. Future land use must therefore plan to accommodate a minimum residential density of 3 du/acre within this designation.
- Identify and protect an adequate supply of land to support growth for future development beyond 2040, with regard to agricultural viability and natural and historic resources preservation.
- Incorporate best management practices for stormwater management and natural resources conservation and restoration in planning processes.
- Plan for local infrastructure needs including those needed to support future growth.

## Rural Residential

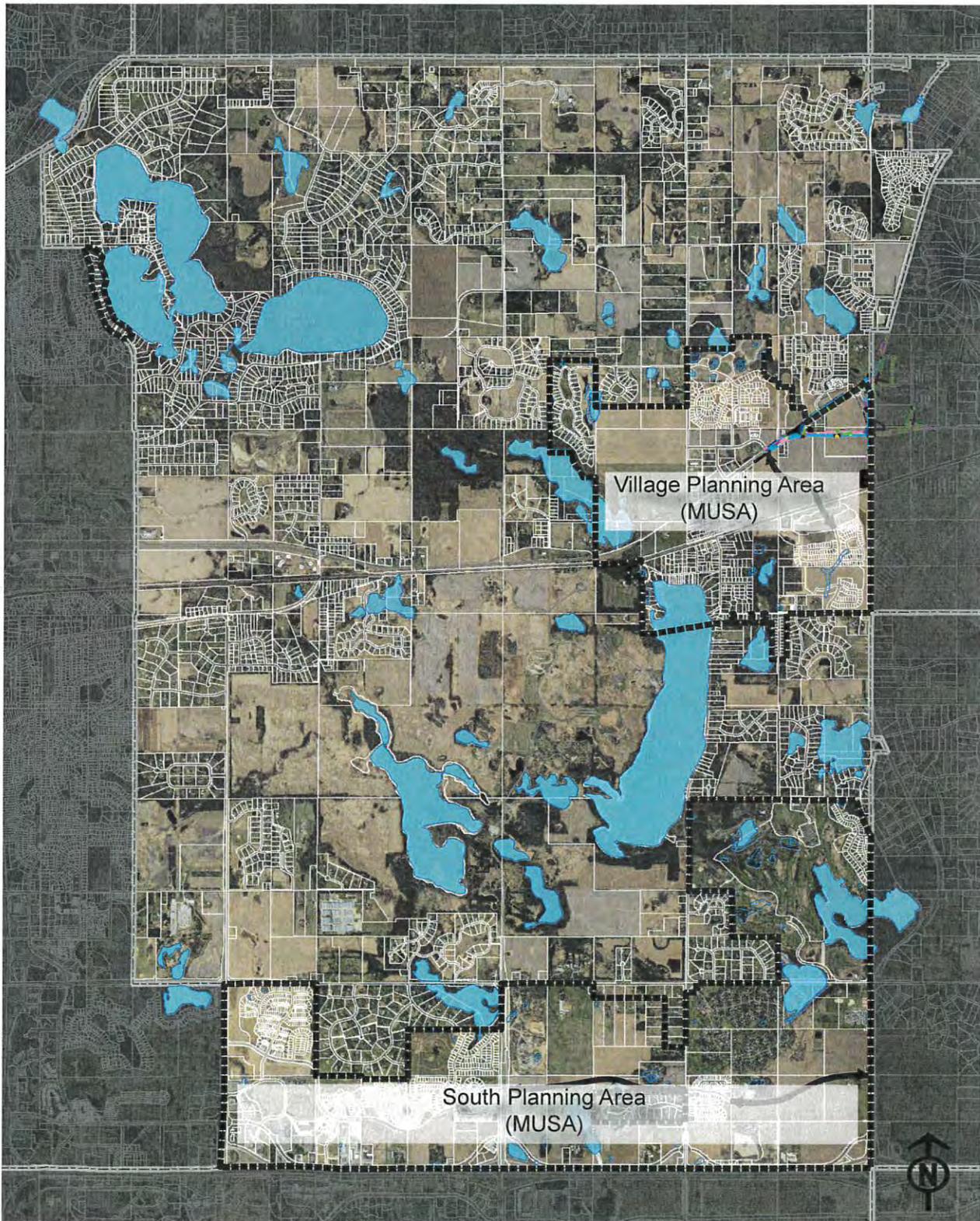
- Discourage future development of rural residential patterns (unsewered lots of 2.5 acres or less) and where opportunities exist, plan for rural development at densities that are not greater than 1 unit per 10 acres. Future land use must therefore plan to limit development to a maximum residential density of 0.1 du/acre within this designation.
- Implement conservation subdivision ordinances, cluster development ordinances, and environmental protection provisions in local land use ordinances, consistent with the Council's flexible residential development guidelines.
- Promote best management practices for stormwater management, habitat restoration, and natural resource conservation in development plans and projects.

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The two distinctive Community Designations require the City to adopt and implement a FLU that provides a minimum residential density within the areas defined as Emerging Suburban Edge (where MUSA is designated), while implementing a maximum residential density for the areas identified as Rural Residential (areas not included within the MUSA in this planning period).

The FLU must also identify appropriate land use designations and guide corresponding acreages that support the forecasted employment growth as identified within the System Statement. Additionally, the FLU must guide adequate land area, at appropriate densities, that may accommodate the City's allocated number of affordable housing units for the period between 2021 and 2030. The employment and affordable housing requirements will be provided for within the MUSA, and are not expected to be met within the Rural Residential Areas. The Emerging Suburban Areas are generally consistent with the MUSA areas identified in the 2030 Comprehensive Plan with two exceptions; 1) the existing single-family homes on the south side of Olson Lake are now served by MUSA; and 2) the newly designated Golf Course Community located on the east side of the community was incorporated into the MUSA through a Comprehensive Plan Amendment in October 2017. With the exception of these two areas, the MUSA and corresponding Emerging Suburban Area designations are unchanged from the previous planning period, and all projected urbanized growth can be accommodated within the boundaries as shown on Map 3-2. 2018-2040 MUSA.

Map 3-2. 2018 – 2040 MUSA



## Future Land Use Definitions

### Agricultural Preserve (AP)

This land use designation identifies land that is enrolled in the Agricultural Preserves program. Land in this designation is required to be guided for no more than 1 dwelling unit per 40 acres, and is protected from further subdivision during the contract period.

### Rural Area Development (RAD)

A large percentage of land in Lake Elmo falls within the Rural Area Development designation, including single-family detached homes, working farms and agricultural uses where land is undeveloped, cultivated in crops, or used for livestock. This designation includes open space developments that are developed, or may be developed, with clustered housing and may be served by a community septic system. Open space developments generally average less than 1 residential unit per 10 acres and include a dedicated open space protected through a conservation easement. This designation is inclusive of large-lot rural single family detached residential uses, and future conventional subdivision is planned for densities that do not exceed 1 residential dwelling unit per 10 acres. This land use designation is limited to areas not within the MUSA planning areas.

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### Rural Single Family (RSF)

This land use designation combines the previous Residential Estate and Rural Single-Family categories into one designation to simplify intended land use guidance. Development with this designation includes single-family detached housing served by private on-site well and septic systems. Some areas with this designation are allowed to have two-family dwellings based on zoning.

### Rural Single Family (RSFS)

This land use designation identifies existing previously unsewered rural single family land uses located within the Village Planning Area. These properties have either recently been served with municipal sewer and water, or are planned to be served as part of the planned MUSA extensions within the Village Planning Area.

### Golf Course Community (GC)

In recognition that a Golf Course on the land known as Tartan Park is a local and regional amenity the City wishes to maintain, this specialized land use category has been crafted to maximize the likelihood that a golf course can be maintained on the property should a development proposal for the land come forward.



#### Low Density Residential (LDR)

Approximately 20% of the planned land uses in the South Planning Area are guided or developed with low density residential land uses. This category includes development of single-family detached housing and two-family attached dwellings with a density of 2.5 to 4 units per acre (2.5 – 4 du/acre) and are planned to be serviced by public sewer and water. This land use is limited to the part of the City within the South Planning Area.

#### Medium Density Residential (MDR)

Approximately 12% of the planned land uses in the South Planning Area are guided for medium density residential uses. This category allows for a variety of housing types including single-family detached, duplexes, townhomes, and small two- and three-story apartment buildings and/or senior living centers. The Medium Density Residential development is intended for a density of 4.5 to 8 units per acre (4.5 – 8 du/acre). This land use is limited to the part of the City within the South Planning Area.

#### High Density Residential (HDR)

Approximately 4% of the planned land uses in the South Planning Area are guided for high density residential uses. This land use designation guides land for higher density residential development including townhomes, small apartment buildings, and multi-family dwellings. Residential density ranges between 8.0 and 15 units per acre (8.0 – 15 du/acre) and provides opportunities for affordable housing to be incorporated into future developments. This land use is limited to the part of the City within the South Planning Area.

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#### Mixed Use Commercial (MU-C)

Approximately 8% of the planned land uses in the South Planning Area are guided as mixed-use commercial. This designation is a new land use designation and identifies where a mix of commercial and residential uses may be integrated to benefit from proximity and adjacencies to each other. Commercial uses in this category include service and retail uses such as, but not limited to, restaurants, shops, convenience stores, salons, studios and dry cleaners. Land with this designation is assumed to develop with a minimum of 50% residential use with a density ranging from 10 to 15 dwelling units per acre (10 – 15 du/acre).

#### Mixed Use - Business Park (MU-BP)

Approximately 8% of the planned land uses in the South Planning Area are guided as mixed-use business park. This land use designation is new and identifies where a mix of general business, business park, and residential uses may benefit or be compatible due to proximity of uses. Business uses in this category include office and service uses such as, but not limited to, offices and agencies, warehouse/showroom, light manufacturing, and live/work development. Land with this designation is assumed to develop with a minimum of 50% residential use with a density ranging from 6 to 10 dwelling units per acre (6 – 10 du/acre).

#### Village – Low Density Residential (V-LDR)

This land use designation is planned for areas within the Village Planning Area and identifies land intended for single-family detached housing development serviced by municipal sewer and water. Density ranges between 1.5 and 3 dwelling units per acres (1.5 – 3 du/acre). This land use already exists, or is developing, in much of the outside edges of the Village Planning Area, transitioning from the village center districts to the rural land use pattern not designated within the MUSA areas.

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#### Village – Medium Density Residential (V-MDR)

This land use designation identifies proposed land use within the Village Planning Area guided for single-family detached, duplexes, and townhomes/villa housing types. Residential density ranges between 3 and 5 dwelling units per acre (3 – 5 du/acre). This land use allows for a greater variety in housing stock and brings more people closer to living within easy access of Village destinations and amenities.

#### Village – High Density Residential (V-HDR)

This land use designation is a new planned land use within the Village Planning Area and is guided for apartment buildings and multi-family dwellings with a density between 8 and 12 units per acre (8 – 12 du/acre). This land use is intended to provide for an increase in types of housing stock, provide opportunities for more affordable and lifecycle housing, and bring a higher concentration of people living closer to Village destinations and amenities.

#### Village – Mixed Use (V-MU)

This land use designation is used in the center of the Village Planning Area to identify an area where a mix of vertically integrated commercial/business and residential uses provide development types that benefit from proximity to each other. More residents in closer proximity to businesses bring greater traffic to the businesses while these same businesses offer convenient and necessary services and amenities to nearby residents. Together, the dynamics of a mixed-use district can establish unique vitality, synergy of activity, and a true community destination. Land with this designation is assumed to redevelop or develop with a minimum of 50% residential use with a density ranging from 5 to 10 dwelling units per acre (5 – 10 du/acre).

#### Limited Business (LB)

This land use designation identifies areas that are developed with commercial users that were not served by urban services. Users in this designation are generally less intense than would be permitted in the planned MUSA designations.

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#### Commercial (C)

The commercial land use includes areas that are used for retail business and are primarily located within MUSA boundaries of the City. Small pockets of commercial land can also be found where retail goods and services are located at transportation intersections. This category excludes any residential use.

#### Business Park (BP)

This land use provides for a wide variety of professional businesses such as medical and research facilities, offices and corporate headquarters. Uses specifically excluded from existing business park areas include warehousing, manufacturing, distribution, assembly and truck terminals. Retail sales of goods and services are allowable uses by conditional use permit provided such uses are goods and services for the employees of the permitted business use. This category excludes any residential use.

#### Urban Reserve (UR)

The Urban Reserve land use category identifies land that is currently undeveloped or in a low-intensity residential or agricultural use but is located within the current MUSA boundary. The land is identified to develop in a similar pattern to other surrounding uses that are serviced with municipal sewer and water; however, it is not intended to do so until after the 2040 planning period. Land within the Urban Reserve is therefore not included in the sewered developable land acreages for 2040 population and household calculations. It is assumed to have a residential density no less than 1 unit per 10 acres (< 0.1 du/acre).

#### Institutional (INST)

The Institutional land use category identifies land that is used for schools, religious institutions, City hall, municipal buildings, libraries, and other institutional uses. This land use is found throughout the City.

#### Public/Semi-Public (PSP)

The Public/Semi-Public land use category identifies land that is generally owned by the City or other agency, whose primary purpose is to support adjacent developments with stormwater management and other utilities. This land use may also include some secondary uses such as public trails or small open spaces.

#### Closed Landfill Restricted (CL)

This land use designation identifies former landfills that are qualified to be under the Closed Landfill Program of the Minnesota Pollution Control Agency (MPCA). The purpose of this category is to limit uses of land within the closed landfill, both actively filled and related lands, to minimal uses in order to protect the land from human activity where response action systems are in place and, at the same time, are protective of human health and safety.

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#### Park & Open Space (Park)

This land use identifies land used for public recreation and protected open space managed for park uses. Most land within this designation is owned by Washington County or the City of Lake Elmo, but also includes land owned by other public and semi-public agencies.



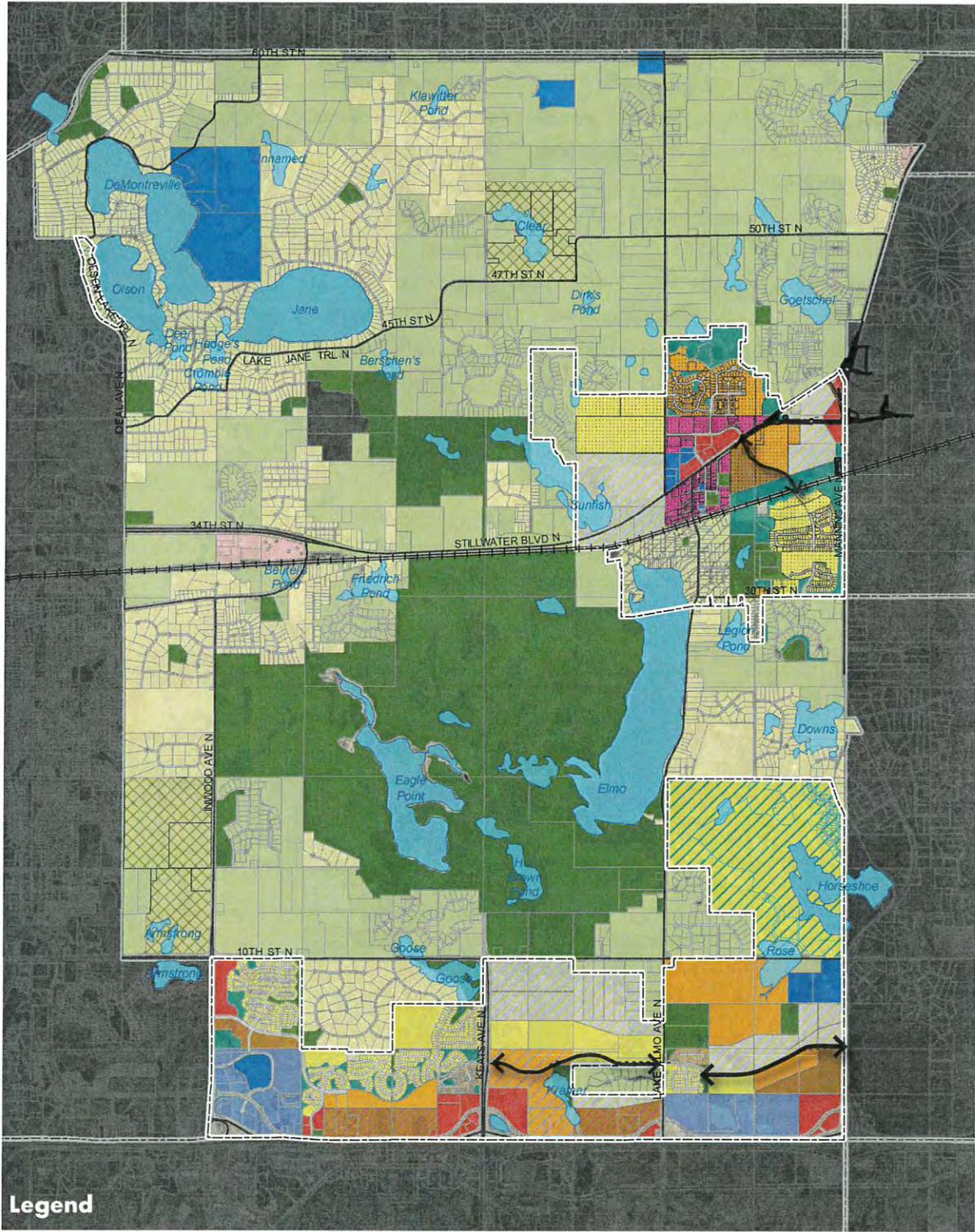
The following table identifies the total land area within the community and comprehensively includes all existing land uses, not guided for change, and planned land uses. The planned land use designations are generally consistent with the 2030 Land Use Plan, with some exceptions as noted:

- The nomenclature regarding sewer residential uses has been changed from “Urban Low Density” to “Low Density Residential,” “Urban Medium Density” to “Medium Density Residential” and so forth. This change did not in all cases alter the definition or density ranges but was renamed to better describe the planned land uses.
- The density ranges for Medium Density Residential and High Density Residential were shifted to align with the required affordable housing density requirements as noted within the Metropolitan Council’s Housing Policy Plan.
- Two mixed use residential land uses were added to areas within the MUSA to allow for a better integration of uses and more flexibility to respond to market demands. These use designations require a minimum residential component as described within the Future Land Use definitions.

*Table 3-2. Future Land Use Plan and Total Acreage*

Future Land Use	Residential Density (dwelling units/acre)	Total Acres	% of Total Acres
Agricultural Preserve (AP)	0.025	414.73	2.67%
Rural Area Development (RAD)	0.1	4,790.54	30.89%
Rural Single Family (RSF)	0.1-2.0	2,549.55	16.44%
Golf Course Community (GC)	1.5-2.49	442.96	2.86%
Low Density Residential (LDR)	2.5 - 4	340.56	2.20%
Medium Density Residential (MDR)	4.5 - 8	241.34	1.56%
High Density Residential (HDR)	8 - 15	55.19	0.36%
Mixed Use – Commercial (MU-C)	10 - 15	117.56	0.74%
Mixed Use - Business Park (MU-BP)	6 - 10	92.20	0.59%
Village – Low Density Residential (V-LDR)	1.5 - 3	202.78	1.31%
Village – Medium Density Residential (V-MDR)	3 - 5	114.39	0.74%
Village – High Density Residential (V-HDR)	8 - 12	31.07	0.20%
Village – Mixed Use (V-MU)	5 - 10	76.74	0.49%
Urban Reserve (UR)	0.1	511.39	3.30%
Commercial (C)	NA	156.36	1.01%
Business Park (BP)	NA	206.93	1.33%
Limited Business (LB)	NA	45.76	0.30%
Institutional (INST)	NA	301.41	1.94%
Closed Landfill	NA	67.34	0.43%
Public/Semi-Public (PSP)	NA	202.57	1.31%
Park/Open Space (Park)	NA	2658.85	17.15%
Open Water	NA	1355.29	8.74%
Right of Way (ROW) <i>Includes RR ROW</i>	NA	531.46	3.83%
<b>Total</b>		<b>15,506.97</b>	<b>100.00%</b>

Map 3-3. Future Land Use Map



**Legend**

- |      |       |               |         |                           |
|------|-------|---------------|---------|---------------------------|
| AP   | LDR   | V-LDR         | BP      | Closed Landfill           |
| RAD  | MDR   | V-MDR         | C       | ROW                       |
| RSF  | HDR   | V-HDR         | Reserve | Planned Roadway (Parkway) |
| RSFS | MU-BP | V-MU          | Park    |                           |
| GC   | MU-C  | Institutional | PSP     |                           |

Draft Date: 4.5.2018  
 Source: Washington County,  
 MNGEO, SHC



## Planned Growth Areas

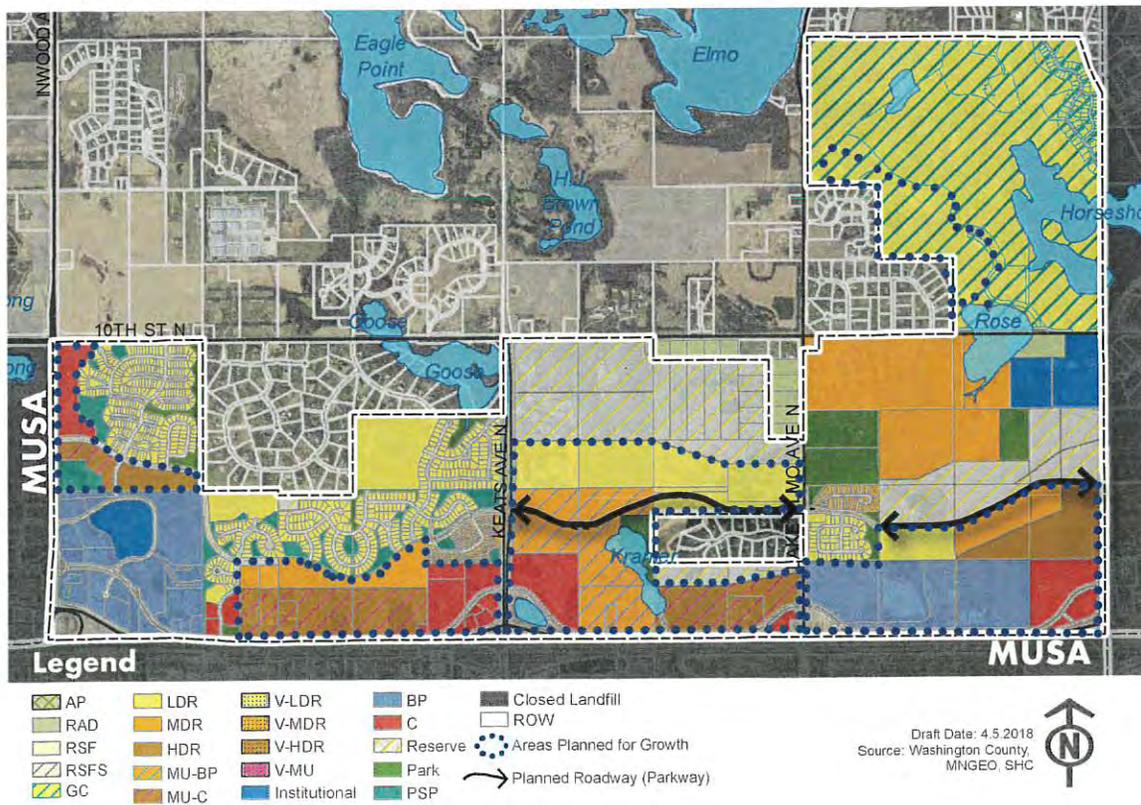
Growth within Lake Elmo is expected to primarily occur in areas designated within the MUSA, consistent with the Metropolitan Council's 2015 System Statement Projections. The City geographically describes their primary growth areas the South Planning Area and the Village Planning Area. Within both of these MUSA boundaries, there is adequate land to serve the projected population, households and employment through 2040. As shown on Map 3-4 and Map 3-5, the areas planned for growth and change in this planning period are identified. Corresponding Table 3-3. Net Developable Acreage of Residential Land Uses provides the calculated density, and expected households, based on the FLU in each of these areas. In addition to the anticipated growth in the areas served within the MUSA, the City also anticipates some growth within the Rural Residential areas consistent with previous land use plan designations and as projected within the 2015 System Statement. Further description regarding the development of the FLU and the growth strategy are provided within Chapter 4: Balanced Development & Growth.

*LU Goal #3.* Continue to educate residents, developers, and stakeholders about the guided land uses and where sewered and non-sewered development is guided.

- Chapter 1: Vision, Goals & Strategies

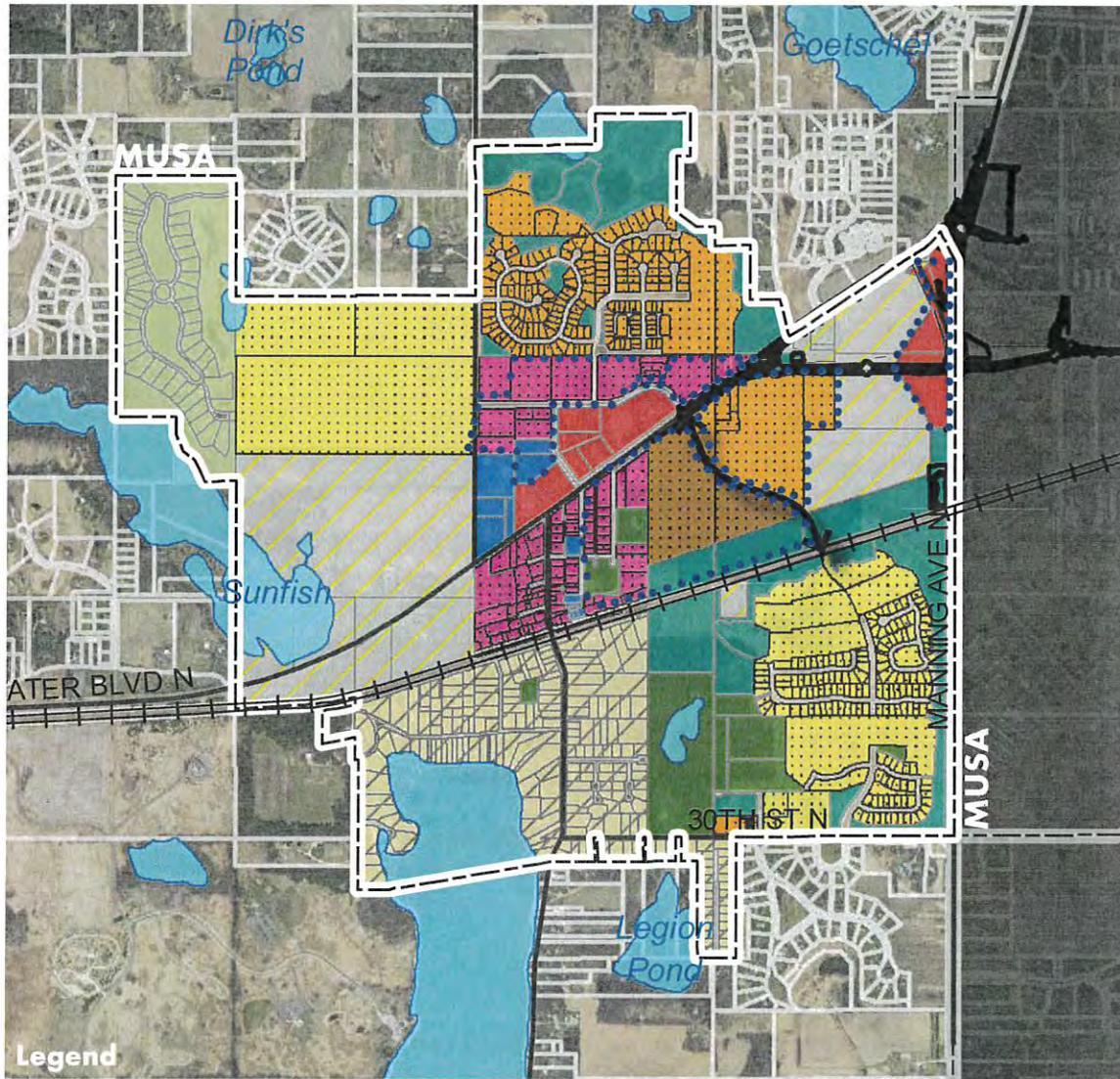
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Map 3-4. Future Land Use – South Planning Area Planned Growth



Draft Date: 4.5.2018  
Source: Washington County, MNGEO, SHC

Map 3-5. Future Land Use –Village Planning Area Planned Growth



AP	LDR	V-LDR	BP	Closed Landfill
RAD	MDR	V-MDR	C	ROW
RSF	HDR	V-HDR	Reserve	Areas Planned for Growth
RSFS	MU-BP	V-MU	Park	Planned Roadway (Parkway)
GC	MU-C	Institutional	PSP	

Draft Date: 4.5.2018  
 Source: Washington County,  
 MNGEO, SHC



Table 3-3. Net Developable Acreage of Residential Land Uses

Future Land Use	Residential Density (dwelling units/acre)	Total Acres	Households
Low Density Residential (LDR)	2.5 - 4	98.2	245
Medium Density Residential (MDR)	4.5 - 8	58.62	263
High Density Residential (HDR)	8 - 15	55.19	441
Mixed Use – Commercial (MU-C)*	10 - 15	58.78	587
Mixed Use - Business Park (MU-B)*	6 - 10	46.05	276
Village – Low Density Residential (V-LDR)	1.5 - 3	8.41	13
Village – Medium Density Residential (V-MDR)	3 - 5	33.09	99
Village – High Density Residential (V-HDR)	8 - 12	29.57	236
Village – Mixed Use (V-MU)*	5 - 10	9.84	49
<b>Total 2020-2040 Residential</b>		<b>392.79</b>	<b>2,212</b>
<b>Net Density 2020-2040</b>			<b>5.6 du/acre</b>
<b>Residential Plats 2010 - 2020</b>		<b>1,107.1</b>	<b>2,444</b>
<b>Total Sewered Households 2010-2040</b>		<b>1,499.9</b>	<b>4,656</b>
<b>Total Net Density 2010-2040</b>			<b>3.09 du/acre</b>

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\*Only residential acreage included/calculated in table. Land Use designation assumption that a minimum of 50% of total acreage is developed with residential use.

Total number of households does not exclude potential park areas as contemplated in Chapter 6; Parks Trails and Open Spaces. Actual acres and resulting households to be adjusted and calculated at time of development (Preliminary and Final Plat).

### Density in Sewered Areas by 2040

Consistent with the Metropolitan Council’s policies, the density calculation performed based on Table 3-3. Net Developable Acreage of Planned Residential Land Uses will result in an average net density of approximately 3.0 dwelling units per acre. As required, the household calculation in Table 3-3 was performed based on the minimum units allowable per the density range.

As shown on Map 3-4 and Map 3-5, there are three land use designations at sufficient densities to meet the City’s allocation of affordable housing per the Metropolitan Council System Statement. Approximately 144 acres are collectively guided for these three designations between 2021 and 2030, which meets the required allocation in this planning period. (Further detail regarding affordable housing can be found in Chapter 5: Housing).



## Employment Locations

Existing and planned employment locations are generally located within the Village Planning Area and South Planning Area. Land uses served by MUSA, or planned for extension of services, will continue to be the primary locations for employment through the forecasted planning period. There are some existing limited business land uses located outside of MUSA designations that are anticipated to remain in operations through this planning period, but are not accounted for in Table 3-4 because they are existing, and no intensification of the land use is projected in these areas.

To determine the intensity of the commercial and business park uses in the guided FLU, the maximum impervious surface coverage was estimated based on information contained in the City's Zoning Ordinance. The coverage calculation was converted to square feet and the Metropolitan Council Environmental Services Sewer Area Charge (SAC) 2017 Manual was used to determine allocated SAC units based on the designation and potential users.

These land uses are identified on Map 3-3: Future Land Use Plan, Map 3-4: Future Land Use Plan – South Planning Area and Map 3-5: Future Land Use Plan – Village Planning Area.

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*Table 3-4. Employment Locations and Intensity (Planned for Development)*

Growth Area	Land Use	Planned Acres	Intensity (FAR)	Estimated Acres (Square Feet)	SAC
<b>South Planning Area</b>	Commercial	110	35%	38.5 (1,677,060)	559
	Business Park <sup>b</sup>	100	35%	35 (1,524,600)	320
	Mixed Use - Commercial <sup>a</sup>	58.84	35%	20.59 (897,075)	299
	Mixed Use - Business Park <sup>ab</sup>	46.1	35%	16.14 (702,841)	148
<b>Village Planning Area</b>	Commercial	14.9	35%	5.21 (227,165)	76
	Mixed Use - Village <sup>a</sup>	9.54	50%	4.77 (207,781)	69
<b>Total SAC/Emp.</b>					<b>1,471</b>

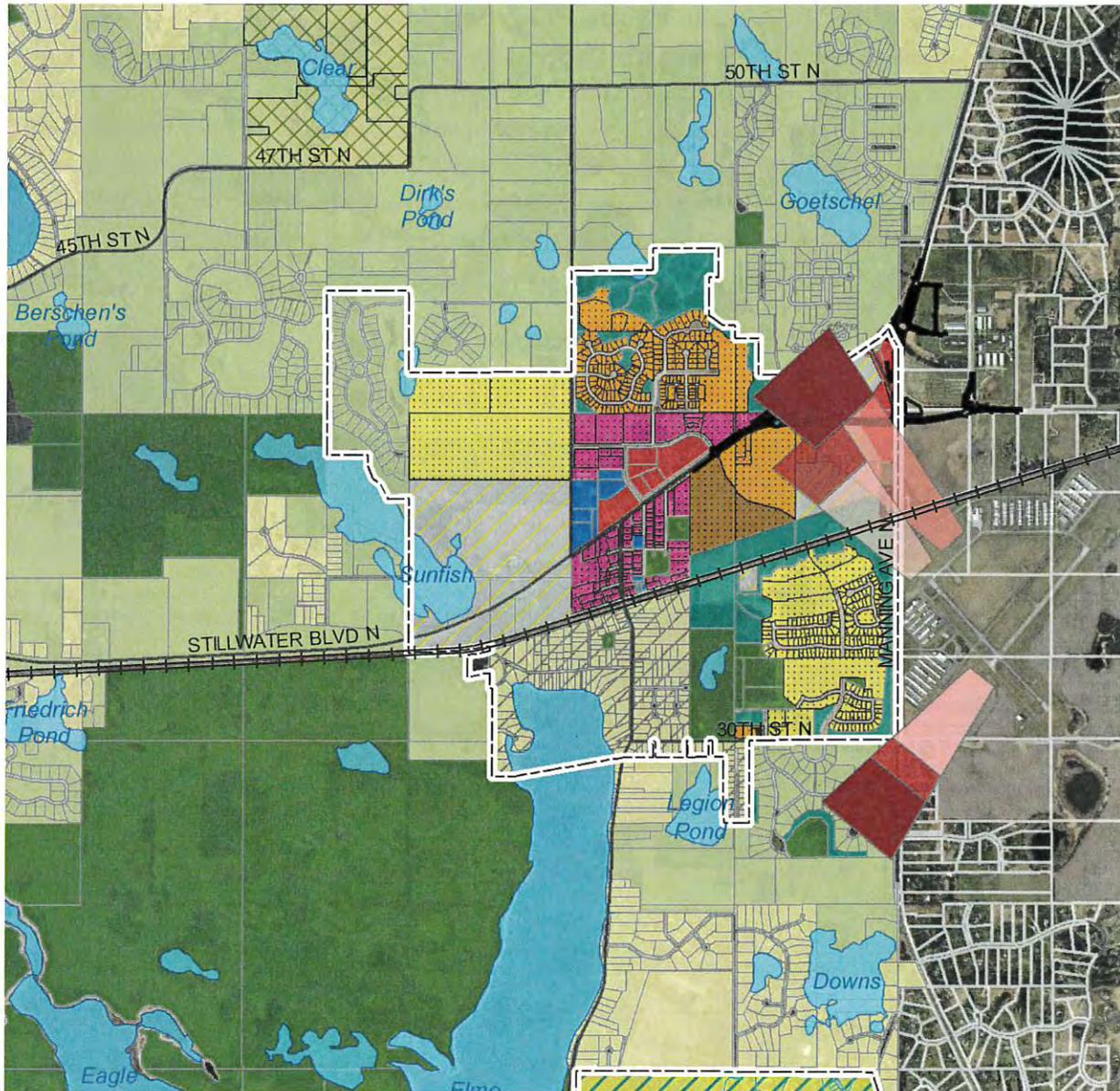
<sup>a</sup>Only commercial/business component is included in acreage. Approximately 50% of total land use designation used for calculation per land use definition.

<sup>b</sup>Business Park Designations calculation assumes office/manufacturing/warehousing mix of general business users.

## Airport Impact

The Lake Elmo Regional Airport is located adjacent to the City's eastern boundary in West Lakeland Township. The airport is east of Manning Avenue and between the railroad and 30th Street N. Parts of the airport safety zone and noise impact areas impact a portion of the Village Planning Area in Lake Elmo. A new low density single-family detached residential neighborhood is partially developed with subsequent phases anticipated within this planning period. No development is allowed within the Runway Protection Zone (RPZ). All land designated within the RPZ are designated as Public/Semi-Public uses and are included within the City's Greenway Overlay which restrict any future development of land within this designation. The FLU is consistent with allowed land uses within the safety zones for the Lake Elmo Regional Airport and reflects this restriction. The City will continue to work with the Metropolitan Airports Commission and MnDOT Aeronautics Division to update airport zoning regulations that address noise and safety concerns within these zones as required.

Map 3-6. Airport Safety and Runway Protection



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Runway protection zones denoted in Red/Pink as noted in recent RPZ shapefiles. Verification of location of runway improvements and revised RPZ to be completed after EA process.

## Phasing and Staged Growth

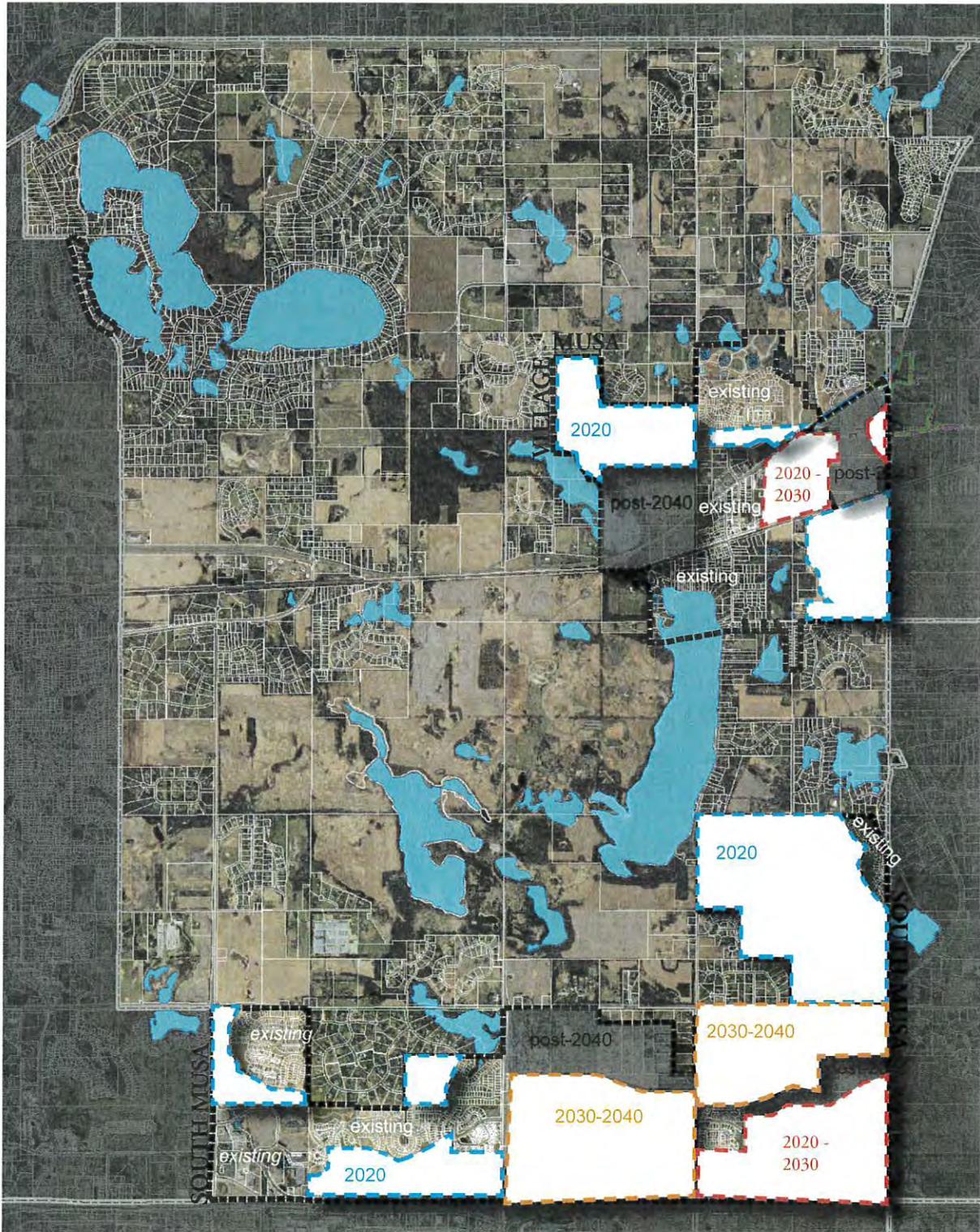
The majority of the City's growth in households and employment is anticipated to occur within the designated MUSA boundaries; however, there will be some continued development in the rural residential areas of the community through 2040 as shown in the following table. Since the 2030 Planning period, the City's projected population and households through 2040 was decreased by approximately 25%. As a result, the all of the land area within City's MUSA area to accommodate projected growth in the 2015 System Statement is not needed. While the City cannot change the designated MUSA, it has created a new Urban Reserve land use designation that is not planned for urban services during this planning period.

*Table 3-5. Future Land Use Forecast Acreage per Decade*

*(TO BE COMPLETED AFTER ENGINEER INPUT ON STAGING MAP)*

Future Land Use	Residential Density (dwelling units/ acre)	2020 Acres (%)	2030 Acres (%)	2040 Acres (%)
Agricultural Preserve (AP)	0.025	414.73 (2.67%)	414.73 (2.67%)	414.73 (2.67%)
Rural Area Development (RAD)	0.1	4,790.54 (30.89%)	4,790.54 (30.89%)	4,790.54 (30.89%)
Rural Single Family (RSF)	0.5 - 2	2,549.55 (16.44%)	2,549.55 (16.44%)	2,549.55 (16.44%)
Low Density Residential (LDR)	2.5 - 4			
Medium Density Residential (MDR)	4.5 - 8			
High Density Residential (HDR)	8 - 15			
Mixed Use - Commercial (MU-C)	12 - 15			
Mixed Use - Business Park (MU-BP)	6 - 10			
Village – Low Density Residential (V-LDR)	1.5 - 3			
Village – Medium Density Residential (V-MDR)	3 - 5			
Village – High Density Residential (V-HDR)	8 - 12			
Village – Mixed Use (V-MU)	5 - 10			
Urban Reserve (UR)	0.1	511.39 (3.30%)	511.39 (3.30%)	511.39 (3.30%)
Commercial (C)	NA			
Business Park (BP)	NA			
Institutional (INST)	NA	301.27 (1.94%)	301.27 (1.94%)	301.27 (1.94%)
Public/Semi-Public (PSP)	NA			
Park & Open Space (POS)	NA			

Map 3-7. MUSA Growth & Phasing Plan



Draft Date: 4.5.2018  
 Source: Washington County,  
 MNGEO, SHC



## ADDITIONAL OBJECTIVES OF FUTURE LAND USES

The City's FLU acknowledges and plans for continued household and employment growth through 2040, but also includes preservation and continued support of its rural residential landscape and robust parks and open space system. The City of Lake Elmo has always been identified as an exceptional place to live because of its robust parks system, protected high-quality natural resources, and proximity to major employment, healthcare and retail centers. Even though the community is growing, and in some cases transitioning from a primarily rural residential community, there is a desire and an opportunity to weave the most important elements and characteristics into changing areas of the community to ensure that the identity and character of the community continues for generations to come.

Equally important to the planned land uses, densities and projections is the commitment to maintain open spaces, natural resources and parks and to promote opportunities to provide healthy, vibrant, resilient neighborhoods.

The following sections should be used as an extension to the Future Land Use Plan and should be incorporated or acknowledged in growth areas and in areas planned for protection of existing uses. There is always an opportunity to do better, and the following themes help support the future direction of the City's land uses and decision-making.

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### Promoting Health with Land Use

As part of the 2040 Comprehensive Plan Update process, the City obtained a grant from Washington County Health Services through the State Health and Improvement Program (SHIP) to incorporate living healthy principles into this comprehensive plan. There are many ways that the principles of healthy neighborhoods, communities and environments can be incorporated into existing and future land uses. The following summary identifies some of the ways in which health was considered, and incorporated, into the Future Land Use Plan.



### Mixed-Use Land Use Designations to Promote Health

The introduction of land uses that will promote a more compact, walkable, development pattern was purposefully integrated throughout the growth areas as identified in previous sections of this chapter. In addition to creating new land use designations, the City discussed opportunities to better connect existing neighborhoods through bikeways, trails and other pedestrian routes to support active residents. This discussion included how public and private trail connections may be used to achieve these objectives, and the City acknowledges the need to better communicate and sign public trails and routes so users are comfortable and informed using the system.

In addition to neighborhood pattern, the new mixed-use designations will permit the incorporation of uses such as restaurants, markets, farmers markets, and other events that can be designed to support an active lifestyle for the City's residents, employees and employers. With the growing popularity of farm-to-table dining and experiences that focus on healthy living, Lake Elmo is well-positioned to capitalize on trends that connect its rich rural and agricultural resources with health-conscious consumers seeking fresh high-quality foods and products. As the community grows and new households are added, it will be important for the City to ensure grocery and fresh foods are sold and provided at locations nearby higher concentrations of residents.

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### Ensuring "Uses" that Support Health are Permitted and Accessible

Closely related to the introduction of more compact development patterns, is the need to provide accessible options to purchase healthy and fresh foods and products. This can be accomplished through ensuring that uses that support that objective are permitted within the City's land use designations and the zoning code. Connection and ease of access are essential components to this objective, so pedestrian, bikeways and other routes to locations with fresh products is important to consider as the City develops and evolves.

### Providing an Accessible Greenway Network

The City is committed to preservation of its existing natural resource and open space network. In addition to the existing network, the City plans to expand the network as growth areas are developed. Part of this planning process included discussion and recommendations regarding better park, trail and open space connections for residents in existing neighborhoods and in new growing neighborhoods. Natural resource protection, identification, preservation and development creates opportunities to create a network of greenways and trails for residents to utilize for recreation, connection with nature, and connection between various neighborhoods and destinations in and around Lake Elmo. Trail development is an important way to promote health and activity in the community. The City's Future Land Use Plan should be implemented to be consistent with Chapter 6: Parks, Trails & Open Space that identifies key trail, natural resource and open space considerations as development occurs within the City's growth areas.

*LU Goal #2. Enhance Lake Elmo's expansive network of trails, open spaces, and natural resources as amenities in developing areas of the community.*

*- Chapter 1: Vision, Goals & Strategies*

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### Parks, Open Space and Natural Resources Integration

Nearly 18% of the City's land acreage is publicly protected as Park or Open Space, and an additional 11% of private lands area protected with a conservation easement. Natural resources, parks, and open spaces protection and enhancement is one of the City's character defining elements that makes the community a special place to live, work and recreate. The City's expansive natural resources, including woodland, meadow, lakes and wetlands, and rural scenic amenities are sprinkled throughout the heart of the community and is a valued asset for all residents. The presence of high quality natural resources is important to the lasting effort of balanced development, enduring biodiversity, and opportunity for recreation and connection for area residents. The effort to preserve and enhance these features as an asset for the community and region is a primary objective and specifically stated in several Goals and Strategies within Chapter 1: Vision, Goals & Strategies.

Decision-making related to incorporation of greenways, natural resources, parks and trails associated within this Future Land Use Plan should be consistent with the information found in Chapter 6: Parks, Trails & Open Space.

#### Access & Transportation

A key component of implementing the Future Land Use Plan is to plan for appropriate access and consider diverse modes of transportation. It is likely that as the growth areas change and develop a more diverse demographic will move to the community and their transportation demands may include alternate modes such as bikeways, pedestrian ways and the desire for transit.

Incorporated on Map 3-3: Future Land Use Plan are the conceptual main thoroughfares through the growth areas that are planned for within the Chapter 7: Transportation. Identification of the east-west roadway connection in the South MUSA planning boundary on the Future Land Use Plan is deliberate and was used to guide compatible and appropriate land uses. It is the intent of the Future Land Use Plan that development along the east-west corridor would support and plan for adequate right-of-way at time of development that would include a multi-use trail that would promote mode choice and accessibility to adjacent neighborhoods. Likewise, a new roadway connection in the Village MUSA planning boundary is identified and the land use plan was developed to encourage higher-densities near the roadway to improve access. More detail regarding new roadways, and the existing transportation, transit, and bikeways system can be found in Chapter 7: Transportation.

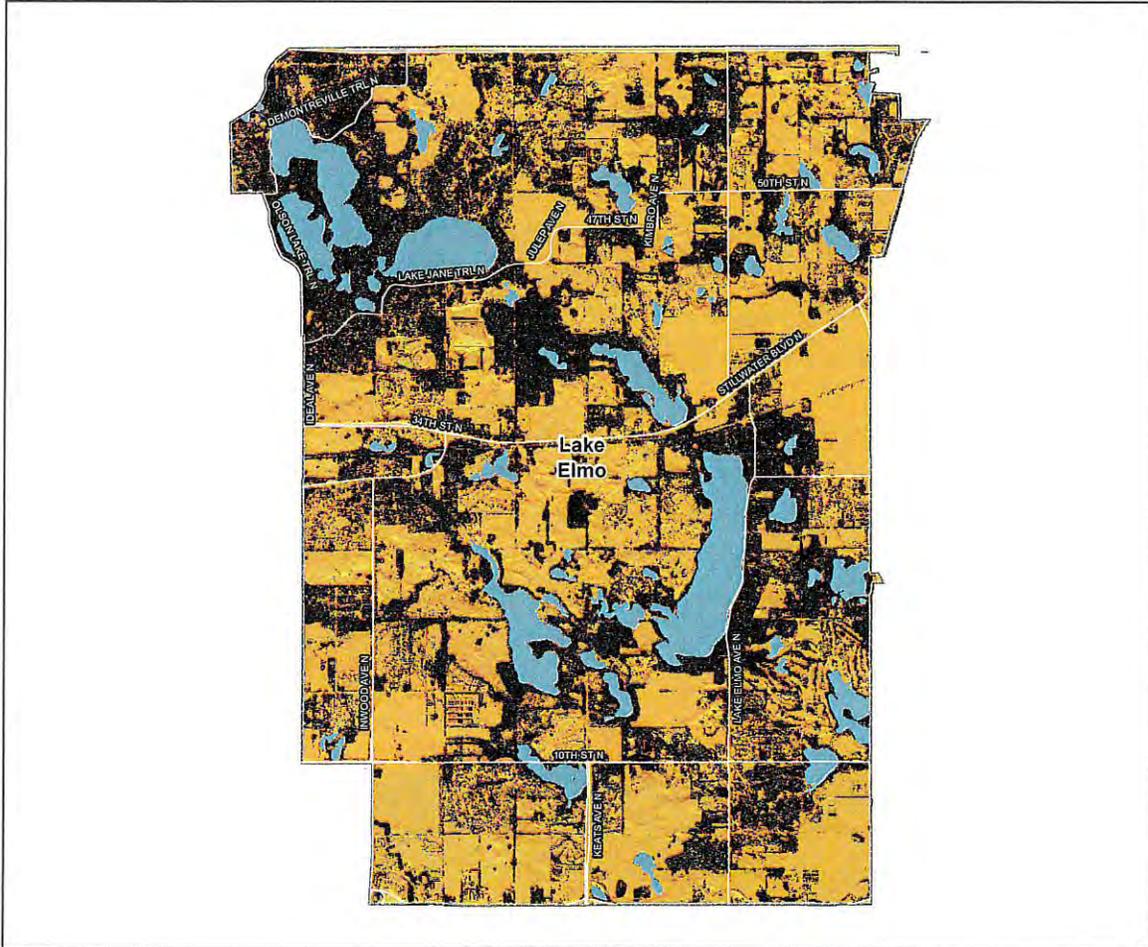
### Supporting Resiliency

The purpose of creating a Future Land Use Plan that provides a diverse land use pattern is to allow for the City to adapt and change as needed through this planning period. Better integration of land uses allows for the community to be thoughtful about innovation as the environment changes and new technologies are developed, and creates opportunities to adapt and be responsive. The idea of resiliency is woven throughout this plan, and it is the intent of the City that it be used as part of the decision-making process and allows for improvements in neighborhood and development design as the community evolves and changes through 2040.

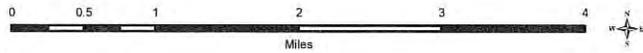
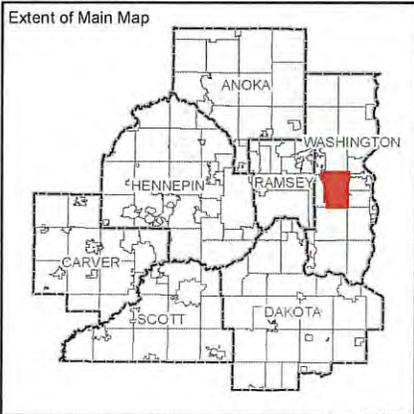
### Solar Access

The City has incorporated standards into their zoning ordinances regarding siting of structures and buildings to support access to solar resources. Given the City's dominant residential landscape pattern, options for private property owners including individual homeowners and homeowners associations to capitalize on solar energy are supported by the City's adopted ordinances and official controls.

Map 3-8: Gross Solar Potential



12/20/2018



**Gross Solar Potential  
(Watt-hours per Year)**

-  High : 1276008
-  Low : 900001
-  Solar Potential under 900,000 watt-hours per year
-  County Boundaries
-  City and Township Boundaries
-  Wetlands and Open Water Features

Source: University of Minnesota U-Spatial Statewide Solar Raster.

## SPECIAL RESOURCE PROTECTION

A consideration when developing the Future Land Use Plan was to inventory special or unique resources in the community, and to allow these resources (where applicable) to help guide where and when development would occur.

### Historical Resources

There are no State or Locally registered historical districts or structures in the Lake Elmo. However, the City strongly supports the preservation of the "Old Village" Main Street, where the village first developed. During the 2030 Planning period, the City's developed a set of design guidelines will help protect existing buildings and ensure new construction integrates well with the existing character and building form of the district.

During this Plan development process the City studied the Old Village area, and concluded that it would benefit from further refinement based on areas contained within the previous Old Village boundary. The result, is that this Plan creates three distinct Districts that describe the use, activities and desired plans based on location within the City's core village area. A full description of the Districts, and how they will shape the core of the village are provided in Chapter 4: Balanced Development & Growth.

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*LU Goal #4.* Create strong and vibrant Districts in the Village Planning Area that becomes a destination for all residents of the community.

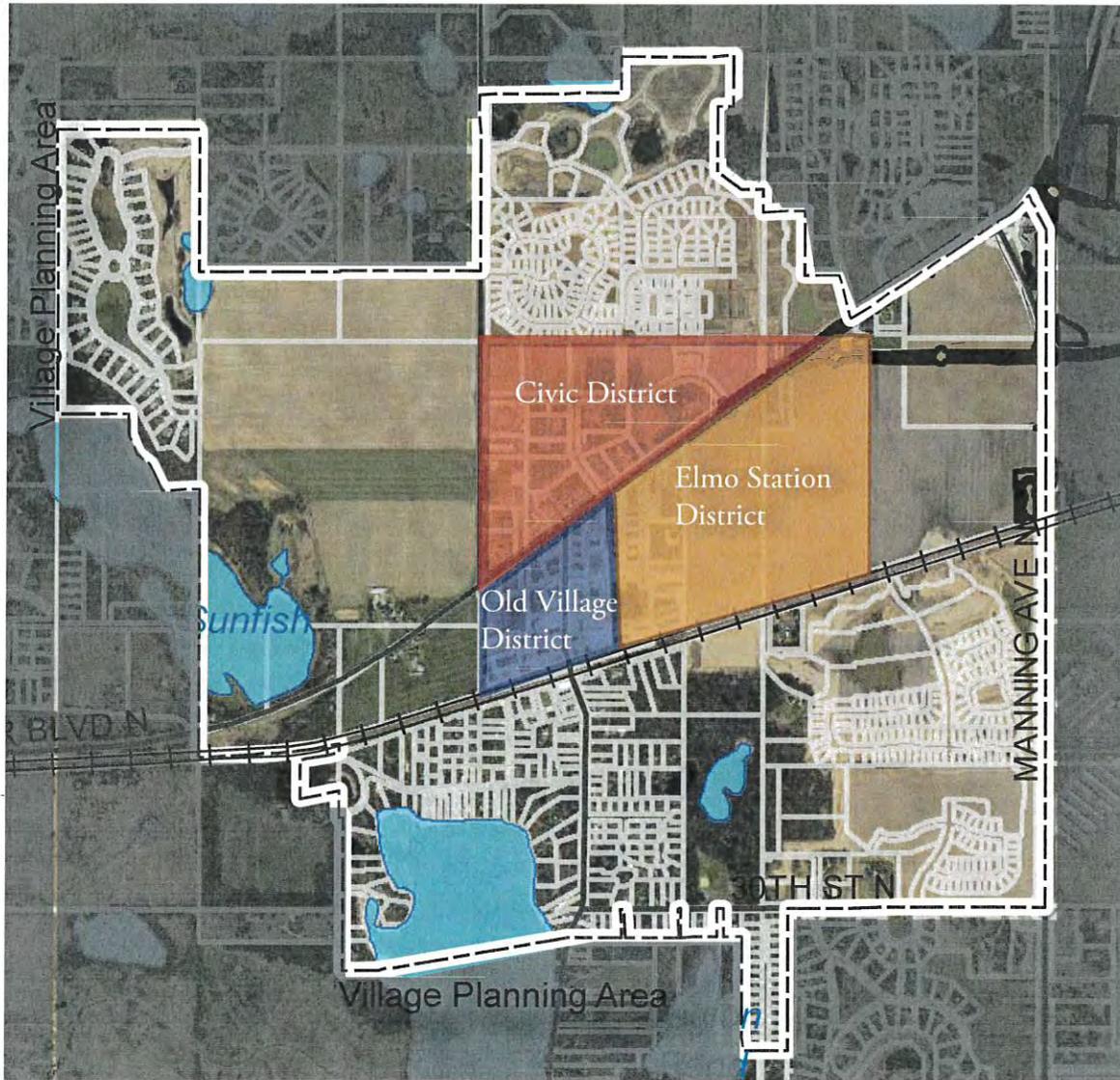
*LU Goal #5.* Identify and Explore opportunities to improve the streetscape in the Old Village District, Elmo Station District and Civic Center District to create a more walkable environment.

*LU Goal #6.* Maintain and Strengthen the small-town charm of the Old Village District.

- Chapter 1: Vision, Goals & Strategies



MAP 3-9: District Boundaries in Village Planning Area



Draft Date: 4.5.2018  
Source: Washington County,  
MNGEO, SHC



## Aggregate Resources

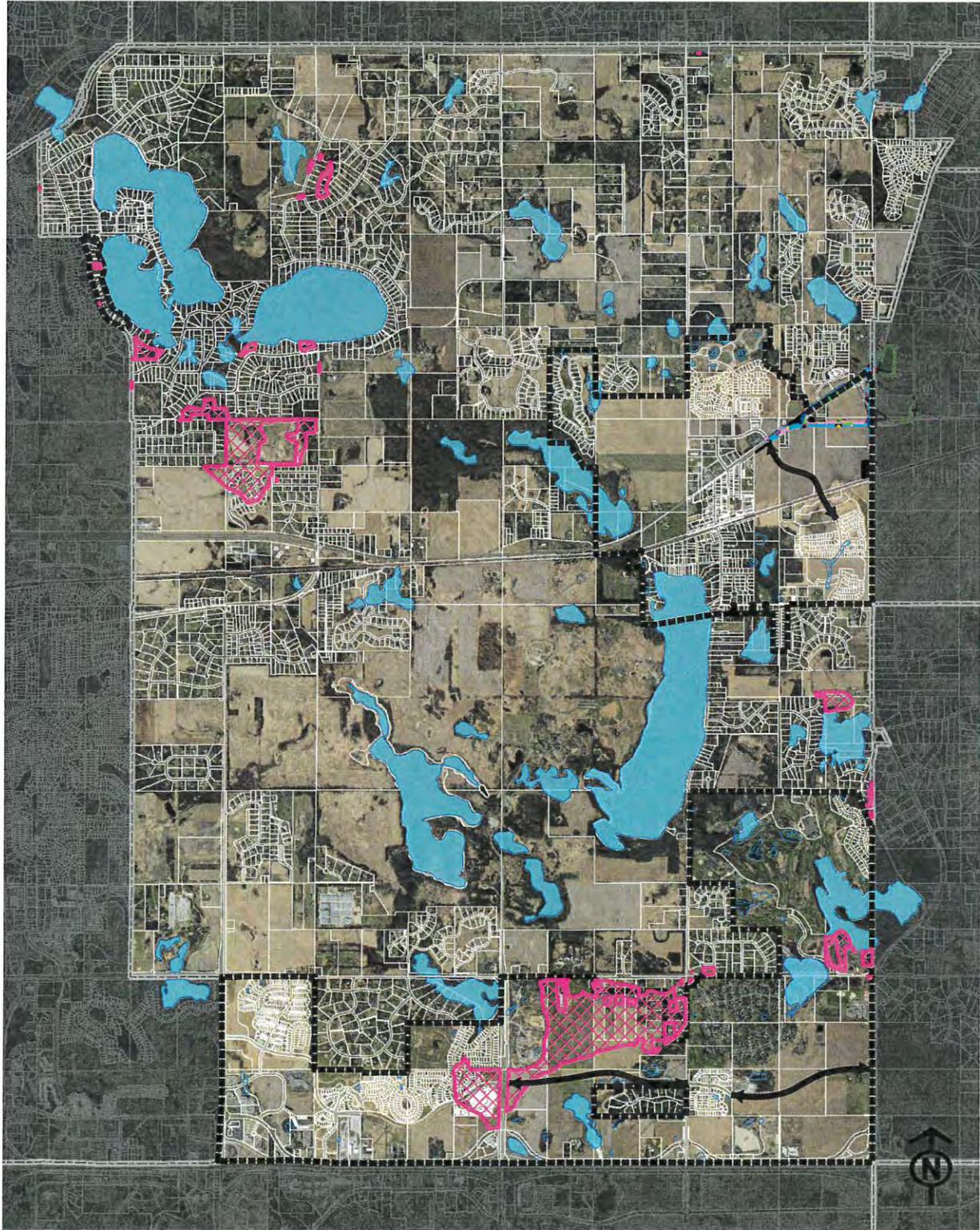
Per the Metropolitan Council's 1997 Aggregate Resources information, there are approximately 324 acres of land identified in the City has having aggregate resource value. Today, there are two active aggregate sites, one located in the northwestern quadrant of the community, which is identified on the 1997 Aggregate Resource Inventory. The second active site is located in the South MUSA boundary, near the Keats intersection with 10<sup>th</sup> Street North. Adjacent to this site, and designated within the City's Urban Reserve land use, is additional land identified within the 1997 Aggregate Resource map. The existing active sites have been in operation for several decades, and it is the City's understanding that these sites are nearing their useful life and may be exhausted in this planning period. Beyond the active sites, the 1997 Aggregate Resource map identified areas within exiting neighborhoods that are not likely to experience any demand or opportunity for extraction. As aggregate resources are depleted, the land will transition into suburban-style development, consistent with the surrounding district. As mentioned, some of the land identified with potential for aggregate resource extraction that has not been mined, is designated within the City's Urban Reserve that guides development post-2040. Future plans will work to address these reserve areas further.

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## Agricultural Preserve

The City's agrarian and agricultural past continues to be valued by the City, and landowners and homeowners that express interest in preserving agricultural land through the Agricultural Preserve program will be supported by the City. Currently, there are approximately 414-acres of land protected by an Agricultural Preserve covenant per the Metropolitan Council's records, and those properties have been identified and guided appropriately on the Existing and Future Land Use Plan contained within this chapter.

Map 3-10. Aggregate Resource Locations



-  Aggregate Resources 1997
-  Revised 2040 MUSA

Draft Date: 4.5.2018  
Source: Washington County,  
MNGEO, SHC

# Chapter 4: Balanced Development & Growth

Rural & MUSA





## **INTRODUCTION**

As described and introduced in the Land Use chapter, the City has experienced significant change and growth over the past decade which is expected to continue through much of the next planning period. The City is a naturally desirable location due to its proximity to the Twin Cities, accessibility and high-quality neighborhoods, schools and natural areas. All of these characteristics positively contribute to the City's desirability making it a place where new residents want to locate, long-term residents want to stay and businesses want to be.

The following chapter is provided to describe what types of development patterns exist today, where those patterns are changing and evolving, and where they are likely to stay the same. The importance of acknowledging and understanding the City's existing and potential growth opportunities is in its ability to describe, regulate and guide the types of development to appropriate locations of the community. By being deliberate about its plans, the City can continue to define its character and identity through its existing developments and neighborhoods while permitting new development to occur in ways that support the City's identity and vision for the future.

### 2040 Balanced Development & Growth Highlights – What’s to Come

- » Creating balance within a community that is experiencing change is important for protecting its character and achieving its vision for the future.
- » The City aims to use a balanced approach to protecting and continuing existing rural development patterns while allowing for new urbanizing development patterns and uses in appropriately guided areas of the community.
- » Establish patterns of development that integrate with the existing character and landscape of the community and transition comfortably between uses.



## Specific Area Plans & Land Use Patterns

Despite recent growth and development pressure, a large percentage of the City's landscape is planned to continue to be dominated by rural residential development patterns interwoven with an extensive network of parks, open spaces and natural resources. Since more than 50% of the community is anticipated to remain in rural residential and protected park lands, this dominant land use pattern will continue to be a defining characteristic of the community through 2040. Much of the remaining XX% of the community is anticipated to be developed over the next 20 years with a more intense development pattern that will offer greater diversity in choice to current and future residents, stakeholders and business owners.

One of the most important considerations the City will make moving forward is how to create balance within a community that is experiencing change. The desire to maintain the historical rural roots of the community while allowing areas of new development types; to create new opportunities that will respect past patterns and identities; and to remain individual when the community is a part of the larger regional context – Lake Elmo's leaders are embarking on a careful balancing act over the next 20 years.

The commitment and desire to create balance in the City moving forward is described in the following sections. This chapter addresses a balanced approach to protecting and continuing existing rural development patterns while allowing for new urbanizing development patterns and uses in appropriately guided areas of the community. This chapter emphasizes the importance of respecting the qualities that have made Lake Elmo's neighborhoods exceptional places to live, work and recreate and incorporating those characteristics into areas that are projected to evolve and change over the next 20 years.

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## THE RURAL PATTERNS

The City developed its rural residential neighborhoods over a series of decades which resulted in a diverse rural landscape pattern that cannot be found in other communities in the Twin Cities. Because the City's rural areas grew organically over an extended period of time the neighborhoods in the rural areas responded to various conditions of the landscape, market place and regulations. A strong correlation can be seen between the development pattern and the time period in which the neighborhood was developed since different regulations and lot standards were in effect at various times in Lake Elmo's history. Most recently, the City's rural areas have focused on the Open Space Development neighborhood pattern, but historically a more conventional rural residential subdivision pattern such as those found around the Tri-Lakes neighborhoods, and adjacent to the Old Village were developed when minimum lot sizes were much smaller than the minimum lot sizes required today. Since there remain some larger contiguous acreages in the community, the City has projected that growth is likely to occur in these areas, which is consistent with the Metropolitan Council's projections found within the 2015 System Statement as summarized in Table 4-1.

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*Table 4-1 Unsewered Rural Residential Forecasts*

Forecast Year	Forecast Component	Population	Households
2010	Unsewered	8,061	2,776
2020	Unsewered	6,788	2,441
2030	Unsewered	7,140	2,760
2040	Unsewered	7,992	3,379

*Source: 2015 Lake Elmo System Statement, Metropolitan Council*

The following sections describe the most common types of neighborhoods and development patterns in the City's rural areas and it is anticipated that many of the following patterns, particularly Open Space Development neighborhoods, will continue to define the community through this planning period.



## Conventional Rural Residential Neighborhoods

A conventional subdivision is one that generally includes a fairly regular lot size, with similar setback standards, and where all the land contained within the subdivision is privatized excluding roadways. In the City's rural areas, this neighborhood pattern can be found with various lot size patterns, and many of the neighborhoods are organized around natural features such as the City's many lakes. For example, the neighborhoods of the Tri-Lakes were developed to capitalize on access to Lakes Jane, Olson and DeMontreville in the northwest corner of the community. Each neighborhood in the rural residential area has a strong sense of individuality since they were generally developed with an organizing feature. Oftentimes it is difficult for large-lot areas to have a strong sense of neighborhood and character, but Lake Elmo has successfully created a sense of place within these neighborhoods by carefully developing areas with intrinsic values.

Looking forward through this planning period, conventional subdivisions such as those found in the existing rural residential areas of the community are not likely to be developed with similar lot configurations and patterns given current regulations. Today, rural residential land uses are expected to maintain an overall density not exceeding one (1) dwelling unit per ten (10) acres which makes a 'conventional' subdivision much more difficult, particularly if a sense of neighborhood is desired. Subdivisions that are developed with standard lot sizes between 5 and 10 acres may still occur, but the scale and number of lots is likely to be much smaller than some of the more conventionally-subdivided neighborhoods that make up much of the City's existing land use.

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## Open Space Development Neighborhoods

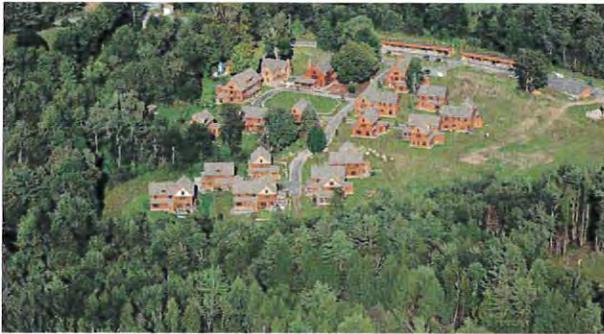
The City of Lake Elmo is known for pioneering innovative rural development patterns in the region which contributes positively to the character of the community. These rural developments, commonly referred to as Open Space Developments, embrace the lifestyle of the rural landscape capitalizing on the natural features residents desire. Several Open Space Developments have endured for decades to provide residents with opportunities to live near nature and preserve land for conservation, wildlife, and recreation.

In many ways much of the City's existing rural residential neighborhood pattern is innovative, and unique from many similarly situated communities in the metropolitan area. There are over a dozen Open Space Development neighborhoods that include clustered residential uses with perpetually protected conservation areas. Neighborhoods such as the Fields of St. Croix, and the more recently developed Discover Crossing, are open space development neighborhoods that are a part of the City's continuing rural residential land use patterns. The principle characteristics of these neighborhoods is that homes in these neighborhoods are sited closer together (clustered) which allows for surrounding land to be preserved for open space, natural resources protection, recreational and trail opportunities, and natural surface water drainage.

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The City will continue to promote the open space development neighborhood pattern of the next planning period and will guide potential developers to preserve areas with natural resource value. Developing with open space neighborhood patterns affords the City the opportunity to identify and protect important natural resources and provide multi-purpose connected greenways. While this development pattern provides great opportunity, there is also challenge regarding the maintenance and management of the community systems, and the conservation easement. Most recently, some of the more established open space developments have begun to require maintenance of the community septic systems. As the City learns the best way to resolve and understand these issues it provides a valuable learning opportunity to the community to identify how to mitigate potential issues in future developments. Additionally, many conservation easements in the City are currently held by the Minnesota Land Trust, and it is likely that this organization may not be as willing to hold small conservation easements in the future. Moving forward, the City will need to identify alternative organizations that qualify as an 84C to hold future easements to ensure this development pattern is viable to continue the existing character of the City's rural neighborhoods.



## General Considerations for Growth in Rural Areas through this Planning Period

### Market Considerations

The single-family detached housing market has recovered to a great extent, and the high-end market is not as affected by recessionary trends.

It is likely that new developments in the rural areas will trend towards the upper end of the market and will continue to be dominated by single-family detached uses. Given this trend, the absorption of lots in these areas tends to have a longer

duration than in neighborhoods with more moderate housing and lot prices. Regardless, the City does anticipate continued demand for new housing in the rural residential areas. Likewise, the City will likely continue to see reinvestment in the existing housing stock particularly in existing neighborhoods around the lakes if the economy and market place stays strong over the next planning period.

**BDG Goal #4.** Create a land use and phasing plan that promotes contiguous development, that has flexibility to respond to the market, and results in a balanced land use pattern.

- Chapter 1: Vision, Strategies & Goals

### Greenways, Utilities & Pattern

Through this planning process the City has identified one of their goals as the desire to improve trail connections throughout the community. An effective way to accomplish this is through establishing a City-wide green network of open space, parks, trails, and parkways. To achieve this objective, a network through the City's rural residential areas is critical because these areas also include some the community's most valuable park and open space resources including Sunfish Lake Park and the Lake Elmo Regional Park Reserve. An open space or green network within the City may include land that responds to topography and natural drainage, which typically coincide with undevelopable land on which developments can be planned to balance protection of these features while locating homes and buildings away from the network. Establishing development around natural drainage also requires less engineering and manipulation for constructed storm sewer. A green network also contributes to greater movement and health of wildlife and biodiversity in the community. As part of this comprehensive plan, a general green network has been illustrated in Map\_\_\_. The suggested network follows natural land features, existing open space and public ownership, and considers large

tracts of single ownership. It does not however indicate any level of entitlement, taking, or intent for public ownership. Ongoing evaluation of appropriate connections and opportunities for enhancing the network should be considered with each development proposal in rural and growth areas.

One of the most significant challenges to rural development is providing drinking water with private wells and sanitary with private septic systems. Residential developments in the City utilize both individual systems for water and sanitary or community systems for clustered design.

Fortunately, septic system technology is consistently advancing, providing greater opportunities for systems that are more efficient, effective, and take up less land. Some newer systems release treated water directly to on-site soil infiltration, offering opportunity for localized groundwater recharge. The City should encourage use of proven new technologies in rural developments, both existing and new, that may prevent needs for future unplanned City sewer connections and enhance sustainable methods for groundwater infiltration. In addition to advantages to localized groundwater recharge, some of the newer systems also require significantly less land for drainfield area and as a result may provide more opportunity for diversification of housing types within rural area development.

**BDG Goal #1.** Encourage developers, land owners, and stakeholders to integrate the value of natural resource systems into new developments in all land use categories.

- Chapter 1: Vision, Strategies & Goals



## THE [SUB]URBANIZING PATTERNS

The areas of the community that have experienced the most change in the last decade, are those that were designated to be included within the Metropolitan Urban Service Area (MUSA). As shown in Chapter 3: Land Use, approximately 11% of the City's land area is designated to be included and served by urban services (municipal sewer and water). While approximately 15% of the City's total land area is designated within the 2040 MUSA, there are two distinct areas that will be developed with more intensity and each has a different set of objectives for growth over the next planning period.

The City's previous Plan identified these land areas as "urban" and while they are designated to receive urban services, the development patterns within the planned MUSA are guided towards more suburban densities and are not projected to take on characteristics of more urban development patterns found in places like downtown Saint Paul, Stillwater, or other more compactly developed areas.

**BDG Goal #3.** Recognize that sewer development is planned for specifically guided areas and that those areas are appropriate for increased density and commercial uses.

- Chapter 1: Vision, Strategies & Goals

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The following sections provide a description of the City's planned and desired growth patterns and uses over the next planning period for these areas. As with the rural residential areas, the City is committed to incorporating parks, trails, open spaces and natural resources throughout the



community – including the areas planned for municipal services. Regardless of the presence of municipal services, the one common thread throughout the community is the desire to create a network of open spaces and trails that become the defining characteristic of Lake Elmo through this planning period.

## Village Planning Area

The Village Planning Area is set apart from the surrounding rural landscape, and encompasses the City's historic main street, established neighborhoods around Lake Elmo, developing neighborhoods and remaining farmsteads. The boundary of the Village Planning Area coincides with the 2040 MUSA boundary, and the land within it is planned to be connected to municipal services including sewer and water. Approximately 15% of the land area

within the Village Planning Area was developed between the late 1800s and early 1960's and was developed at a time when sanitary sewer and water regulations were much different than current standards. Since standards have evolved, and environmental concerns are more prevalent today particularly as they relate to Impaired Waters (See Chapter X: Water Resources), these historic neighborhoods and developments will now be served with regional and municipal systems. While the transition is costly, and impacts existing residents and users, the long-term benefits will be invaluable to assist with improving lake quality of Lake Elmo, and health, safety and welfare of residents that will now have safe sanitary sewer and water supply to their homes.

In addition to improving existing neighborhoods and user quality, the introduction of urban services to the Village Planning Area allows for greater diversity of land uses within the Village Planning Area that can accommodate higher residential densities and more commercial and clustered development. Some in the community see this as an opportunity, while others view this change with skepticism. Regardless of the position, through this planning process, nearly everyone who provided comment was committed to maintaining the Village as the heart of the community and want to see it succeed as a character defining gathering place for the community.

**BDG Goal #2.** Protect existing neighborhoods, open spaces and natural resources from adverse impacts that may result from intensified development in adjacent sewered areas.

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Given the desire to maintain the Village as an important way to organize and center the community, the City has further refined the plan for development and growth within the Village Planning Area within this chapter. While there are diverse land uses available to preserve, develop and redevelop the land in the Village Planning Area, a central theme of the community is the desire to maintain a greenway around the urbanizing area. The greenway will link open spaces between developments within the urbanizing areas and will offer broader connections to the greenways throughout the community. The greenway is envisioned to function as a preserved corridor to benefit the natural resources valued in the community, and to denote and transition between the development patterns within the rural residential neighborhoods and the more compact village pattern as you move towards the heart of Main Street.

The Village Planning Area is well-positioned for the types of land uses proposed. The area is centered around the historical Old Village which carries the nostalgic history and character of the City. Future land use and related policies will support the preservation of this character and promotion of development here to maintain the character already established. To best plan for the various types of land uses and development design for the heart of the Village Planning Area, three districts centered at the core of the planning area are created within this Plan: the Old Village District, Elmo Station District, and Civic District. While these areas do not encompass all land within the Village Planning Area, the land outside of these core districts is planned for a more traditional suburban residential development pattern that will be connected to the core districts by parkways, roads and trail connections.

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## Old Village District

The location of the Old Village District has the opportunity to capitalize on its proximity to the Lake Elmo Regional Park Reserve that bring people from throughout the region, and its relative accessibility from Stillwater Boulevard which is busy thoroughfare through Washington County. With the right destinations and supporting contextual land uses, the Old Village

District has potential for growing its economic presence and bolstering its place as a heart for the community. Vitality of the Old Village Main Street is dependent upon enough households supporting the businesses desired along the street. This is where the future land use plan works to identify areas where increased residential density in adjacent districts can bring more residents closer to the conveniences and desired destinations of the Old Village. Interestingly, this concept is not entirely new, as historic plat maps of Lake Elmo from the 1940s and 1950s identify a “Village” area that is nearly consistent in boundary and area to that defined as the Old Village District within this Plan.

Naturally then the future plan for the Old Village District is to enhance and preserve the historic character of the Main Street, and respect its historical roots as the heart of the community. There is opportunity to fill in existing gaps with similarly sized and scaled buildings that are supportive and consistent with the architectural charm of existing buildings along the street frontage between Stillwater Boulevard and the railroad tracks. Recent improvements along this portion of Main Street (Lake Elmo Avenue) has significantly improved the pedestrian experience, and with continued efforts to make the area more walkable and friendly infill and reinvestment are likely to continue.

In addition to the Main Street, the surrounding historic neighborhoods and mix of uses in the immediate area reinforce its charm. The intent of creating this District is to promote and capitalize on opportunities that enhance and improve the pattern in this District, and to evolve and develop with structures and uses that reinforce the small village charm. As identified in subsequent implementation sections of this Plan, one of the ways in which this pattern will be reinforced is through the development of an overlay district within the City’s zoning that will further prescribe the desired development and redevelopment patterns in the Old Village District through this planning period.

**BDG Goal #7, Create opportunities for new businesses to locate in the Old Village District.**

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## Elmo Station District

In an effort to more clearly define the City's objectives for the core of the Village Planning Area, the Elmo Station District is created to identify an area adjacent to the Old Village District that could be developed and redeveloped more intensely to support and enhance the uses along Main Street. The primary land use change identified for the future land use in this district is the addition of a higher density residential area that allows for construction of multi-story / multi-family residential buildings. This will bring an important concentration of people closer to the Main Street of the Old Village and will support the traffic needed for the success of the businesses located there. During this planning process a significant amount of time was dedicated to discussions about the relationship between households, retail demands, and the ability for communities and neighborhoods to support conveniences and services within a small village setting. Ultimately, it is determined that promoting and encouraging a more compact and supporting residential neighborhood pattern near the Old Village District could provide valuable resources, support and pedestrian activity to create a more vibrant (and viable) Main Street.

**BDG Goal #6.** Support existing small businesses in the Old Village District and Elmo Station District.

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The character of the Elmo Station District is planned to be supporting and compatible with the historical architectural qualities of the nearby Old Village District. However, there should be a distinction between these two Districts that what's new is new and is compatible but not the same. The residential neighborhood pattern in this district should extend the style and character of the Old Village District, with narrow sewer streets, on-street parking, and small or no setbacks. Focus should be placed on pedestrian connections as well, strengthening the access between this area and Main Street with trails for walking and biking. Since much of this area will be newly developed, design standards and guidelines as well appropriate overlay districts should be created to implement the objectives of the Elmo Station District.

## Civic District

The Civic District on the north side of Stillwater Boulevard is organized around the existing Civic campus for the City. This area is recognized as a more suburban style of development with setbacks, parking lots, and sewer streets for stormwater. Residential patterns surrounding the civic uses will be planned for a mixed-use development pattern that may include residential, office, medical, and service uses. Generally development in this area will follow a slightly more suburban form and will have a distinctly different character than what will be found in residential and commercial uses in the Old Village District and Elmo Station District.

The Civic District will continue to be an important area of the community since the City Offices and City Council chambers are located within the District. In addition to the City Offices, uses in the Civic District include religious institutions, the Lake Elmo Elementary School, bank, offices and other commercial uses. Though some long-term users exist in the area, there are also vacant parcels that have the opportunity to further complete the development pattern. Although the area is developed with greater setbacks, more parking areas, and other more traditional suburban elements as the area develops, new neighborhoods surrounding the Civic District are under development with new residences. New residents have expressed interest in making sure that pedestrian and bike connections are considered to the Elementary School, the Farmer's Market and other attractions within the Civic District. Further interest in safe routes and connections to the Old Village District from the Civic District and adjacent neighborhoods is also important and will be planned for as development in this core area occurs.

## South Planning Area

The Village Planning Area will have a distinct land use and growth pattern that is structured around the core districts that have historical roots in the community. The South Planning Area is decisively different from the Village Planning Area, because there was no existing framework to guide development. The South Planning Area was first planned for urban services in 2030 Comprehensive Plan, and though development was delayed in the first half of the 2010s due to the housing bust and recession, the pace of development has accelerated in recent years. The first segment of the housing market to see signs of recovery was the single-family detached residential market, and that has been the dominant land use development pattern developed over the past five years. Approximately XX% of the land area within the South Planning Area has been entitled, is under development or has new homes since the last planning period and the demand for growth and development in this area is expected to continue into this decade.

**BDG Goal #5.** Explore opportunities to integrate design and site planning characteristics of the Old Village District into new developments in the city.

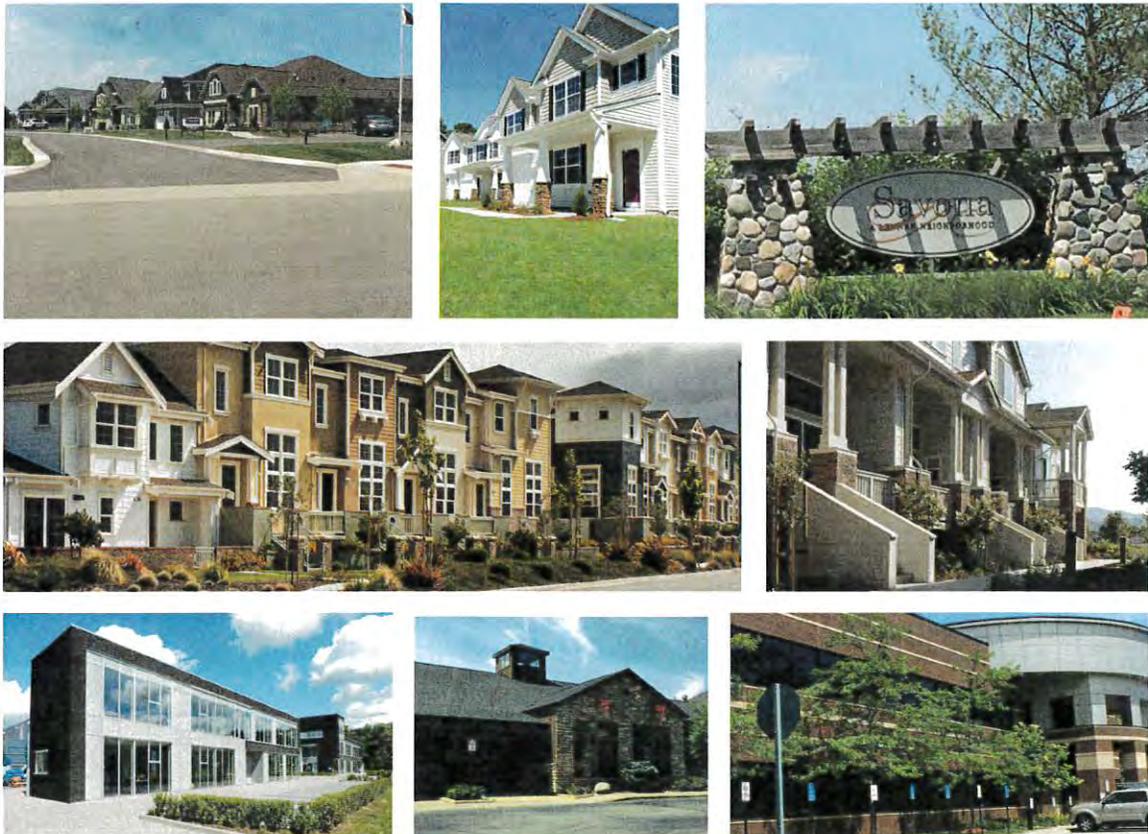
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Given the development trends and demands experienced over the past decade, it is an important time for the City to reflect on what has been approved and to consider how the 2030 Plan for the South Planning Area could be improved moving into this planning period. The land use plan for the 2040 South Planning Area refines the past plans through a more deliberate balance of diverse land uses that will encourage a mix of housing types, development patterns, and business uses. The pure commercial and business land use designations are now consolidated to key intersections at I-94 and Inwood, I-94 and Keats, I-94 and Lake Elmo Avenue, and I-94 and Manning Avenue. By focusing commercial and business uses at key nodes, the City will encourage higher quality commercial, business and service users rather than creating a potential oversupply that may drive prices and quality of development down. The key nodes benefit from high visibility from I-94, and regional accessibility from the Interstate and a well-connected frontage road that runs east-west through this area. Between the key nodes along the I-94 frontage road, the City has guided land to be more flexible to allow for an integrated development pattern that will include residential, business

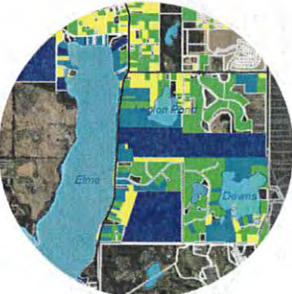
and commercial uses. The planned mixed-use approach is deliberate and is meant to encourage master planning of these areas to incorporate horizontal and vertical mixed-use, and the integration higher density housing options in proximity to regional infrastructure and services.

As detailed within the Housing Chapter and the Background Report, in Lake Elmo there are gaps in certain age cohorts that can be attributed in part to the lack of diversity in housing choice. The mix of uses and housing will support the growing needs of those aging in the community, offering new opportunities to stay in the City. Those residents seeking to leave their large home or property, but stay in the community, will demand housing types that are more likely to be found near regional transport, shopping, and services. Likewise, young people starting out their careers are distinctly missing from the community because there are few, if any, options for them to live affordably in the community. By providing a diverse land use pattern in the South Planning Area, the opportunities and options to live in Lake Elmo will expand exponentially creating a more diverse and vibrant community in the years to come.



# Chapter 5: Housing

## Supply, Demand & Allocations





## INTRODUCTION

The City's housing stock is evolving and is slowly becoming more diverse as new neighborhoods throughout the community are beginning to be developed. Prior to the 2030 Plan, the City was dominated by single-family detached housing in a predominantly rural residential setting. The historical development pattern is fairly homogeneous, with some pockets of slightly smaller and older homes near the Old Village District, and around the Tri-Lakes area that remain a vibrant, vital part of the City's housing stock. The City's 2030 Comprehensive Plan was the first to introduce suburban densities into the community, and with that guiding came the opportunity to incorporate more diversity into the housing stock and create a more balanced housing supply that would provide options to a broader demographic. Shortly after the 2030 Plan was put into effect, the housing bust and great recession hit, leaving the residential housing market largely paralyzed, and places like Lake Elmo saw little to no new residential development even though land had been guided to allow new neighborhoods and housing. While the first half the decade very little happened due to the housing bust, by 2015 renewed interest in housing began to emerge. The first signs of recovery in Lake Elmo were consistent with regional and nation trends, which first saw recovery in the single-family detached housing market which is demonstrated in neighborhoods such as Wildflower in the Village Planning Area, and Savona in the South Planning Area.

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As the single-family residential housing market heated up and prices began to escalate, interest in attached housing and multi-family products has slowly emerged as a more cost-effective alternative. The delay in demand for attached and multi-family products is particularly noticeable in communities like Lake Elmo; however, current regional trends suggest that the housing market is likely to remain strong, and that Lake Elmo will continue to see increasing demand for new, and more diverse housing stock over this planning period.

Understanding that there will be demand for a more diverse housing stock, the Future Land Use Plan included in Chapter 3 guides residential land use with a range of densities to allow for development of spectrum of households from rural residential neighborhoods to small apartment complexes. The purpose of this chapter is to evaluate Lake Elmo's existing housing stock and to plan for future housing needs based on not only the Future Land Use Plan, but the household and population projections as stated within the City's 2015 System Statement prepared by the Metropolitan Council. Addressing and planning for the City's housing stock is a critical part of this Comprehensive Plan, because residential uses account for the largest existing and future

### 2040 Housing Highlights

- » Greater housing diversity (townhomes and apartments added to mix of housing types, beyond single-family homes)
- » Intensification of housing in the South Planning Area and Village Area
- » Protect the rural residential areas
- » Residential development to occur after 2040 (Urban Reserve)

land use category in Lake Elmo. Moreover, a diverse housing stock with access to open space and essential goods and services is paramount to creating a healthy, sustainable, and resilient community. It protects the community's tax base against market fluctuations; it helps the community's economic competitiveness by assisting Lake Elmo businesses with employee attraction and retention; it provides options for existing residents to remain in the community should their life circumstances (e.g., aging-in-place); and it offers future residents access to the same amenities and levels of service that current residents have come to expect and appreciate.

The first part of this chapter presents important housing principles that underscore the dynamics behind the role and importance of housing as a key element in this Plan. The second part of the Chapter focuses on the existing housing stock and summarizes important information regarding the overall number of housing units, the type of units, their affordability, and the profile of who lives in those units.

The existing housing stock provides a critical baseline of information from which the City can plan and determine what types of housing products may be demanded over the next 10-20 years, which then informed where to appropriately guide land areas suitable to attract that type of development. Finally, the third part of this chapter addresses the projected need for housing during this planning period based on the existing housing and neighborhood conditions and the 2015 System Statement requirements. This section evaluates issues surrounding affordability and the Metropolitan Council's requirements for quantifying need based on income and provides corresponding description of where and how the City might encourage a broader range of affordability in its new neighborhoods. The final section links projected housing need to practical implementation tools to help the City achieve its identified housing goals.



## HOUSING PRINCIPLES

The following sections provide context and information about the role housing plays in the community, and how the principles can be supported through thoughtful planning of the City's future housing stock. Throughout this process, residents, stakeholders and the Advisory Panel discussed the visible changes in the housing stock taking place in the community, particularly within the growth areas. Though new development and growth is planned to continue over the next planning period, the existing housing stock and neighborhoods was also an important part of the discussion. What is clear, is that the City is likely to continue to be dominated by residential uses and land use patterns in both the existing areas of the community and in the areas guided for growth and change. Since housing plays such a critical role in the character of the community, it is important for the City to have a universal understanding of the principles that make good houses, neighborhoods and community. The following are some core principles from which this Housing chapter is developed.

### Housing Diversity

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As described in the Balanced Development and Growth Chapter, and within the introduction of this Chapter, the City has been slowly increasing and improving diversity of its housing stock in new neighborhoods but there are still critical gaps in the City's housing supply. To more effectively describe why diversity is important, understanding what it means to have a diverse housing stock is a critical first step to demonstrating why a diverse housing stock can have long-term positive effects on the City and its residents. A community that has a diverse supply of housing is one that includes different tenures (rental and ownership), types (single family, townhome, and



apartment), price points, sizes and styles. This residential mix can accommodate the needs of a wide variety of households at different life stages, incomes and family types. Furthermore, it provides more options as resident housing needs vary over time due to changes in age, income, housing preference, family structure, or physical abilities. In turn, this enables people to move into a community and remain in it as they experience these life changes while staying close to their established social support networks. For example, a long-term Lake Elmo resident who no longer wishes to care for a large yard will likely choose to move to another housing type within their community with less maintenance needs, if that option is available, before looking at other communities. A diverse supply also provides options for young adults, who grew up in a community, to move out of their parent's home into an apartment or townhome nearby.

In addition to providing improved housing options for residents, a diverse supply of single-family homes, townhomes, and apartments provides local governments with a broad tax base that can withstand changes in economic and housing trends without dramatic impacts on government budgets and services.

Age and housing types aside, a diverse supply of housing price points specifically helps to address the needs of current and projected local workers. Oftentimes employees want to live close to where they work. Employers need a diverse housing supply to help attract and hire the best qualified talent at all wage levels with a variety of home preferences. A full range of home options is needed to match the needs of a diverse workforce.



## Housing Stability

For many people, a stable home is a critical component to their quality of life. Quality of life can mean something different to many people, but with respect to housing it is often associated with a feeling that their home feels safe in terms of its surrounding neighborhood and the physical structure, and that they expect to be able to reside there for the near future. This degree of certainty in a home is often the foundation needed to pursue life goals and to fulfill their potential. A central aspect to a stable home is

affordability, and the industry has generally quantified this as defined as paying no more than 30% of gross income toward home expenses. If forced to pay more, a household may forgo health care, food, education, transportation and other expenses in order to pay their mortgage or rent and utilities. In that situation, an essential car repair may mean making the difficult choice between reliable transportation and risking mortgage defaults or evictions. Frequent moves, in an attempt to afford a suitable home, place a lot of stress on households. For families with children, this often results in a change in schools, daily work commutes, and access to supportive friends and family. For seniors, it may impact access to healthcare, transportation, and long established social networks. A community with quality affordable housing helps to ensure the stability of both neighborhoods and communities that greatly benefit its residents and businesses.

## Workforce Housing

8 The Washington County Community Development Agency (CDA) conducted research that revealed a mismatch between the wages of many who work in Washington County (County) and the cost of housing in the County, this mismatch is particularly pronounced in the City of Lake Elmo. The County has the third highest median household income in the Metro Area and one of the highest costs of living in the state. However, the average weekly wage for the workers employed in the County is 37 percent lower than the Metro Area average. There are two contributing factors: 1) many jobs in the County are low skill and do not pay enough to afford the housing that currently exists in the County; and 2) there is a lack of modestly priced options in the County affordable at that wage level. To be a vibrant and growing community, it is important to have a good mix of jobs across a wide wage range as well as enough housing that is accessible to all income levels so that those that work in the County can also call it home.

For the business sector to grow and expand, a reliable labor force is needed to fuel it. Available and financially accessible housing helps to attract a talented workforce to fill these job opportunities so they can live near their place of work. Workers often look for jobs that are located near attractive housing options. This also helps to retain current workers who wish to be at a company for the long term thereby avoiding unnecessary and costly employee turn-overs.

## EXISTING HOUSING SUPPLY

The previous sections are intended to provide context from which to consider the City's existing housing stock, and to eventually consider how the City map plan for future needs in the housing stock. This section provides information about the current housing stock in Lake Elmo that is most relevant to consider when planning for the future of the City's housing. This information is a synthesis of more detailed housing and socio-economic data that is included in Appendix, which was used to inform the remaining content of this chapter.

### Key Housing Characteristics

#### Total Housing Units & Recent Construction Trends

According to data from the Metropolitan Council and the City of Lake Elmo, there are 3,606 housing units in Lake Elmo as of 2017. As seen in Figure 4-1. Housing Construction Permits 2001-2017, a 10-year period of very limited new construction proceeds Lake

Elmo's current strong housing market and rapid growth adding approximately 300 new housing units per year. It is important to keep in mind, though, that the housing sector, like all real estate sectors, is cyclical. Therefore, not every year during the planning period will likely see similar quantities of new housing development. As a result, it will be important to track housing development on an on-going basis to understand how broader market trends are influencing the growth and change of Lake Elmo.

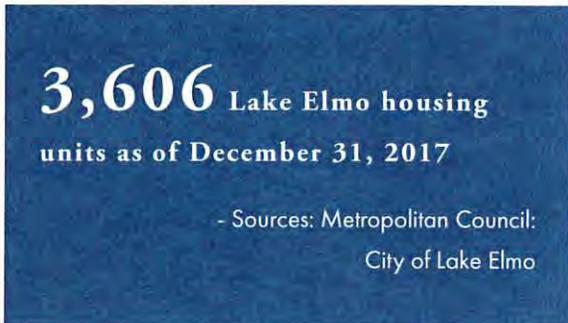
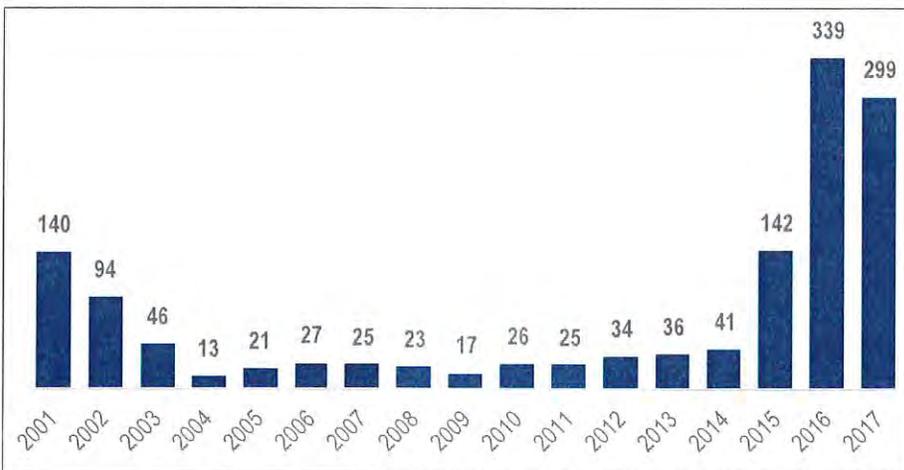


Figure 5-1. Housing Construction Permits 2001-2017 (units)



Sources: Metropolitan Council; City of Lake Elmo

## Year Built

Although recent construction in Lake Elmo is adding a lot of new housing units, over 40 percent of the City's housing stock (1,500 units) is more than 40 years old. Therefore, it will be important to track the condition of these older homes because they are at-risk of deferred maintenance, which can rapidly result in critical structural problems. At the same time, well-maintained older housing can be an important source of entry-housing.

**40%** Lake Elmo housing stock more than 40 years old

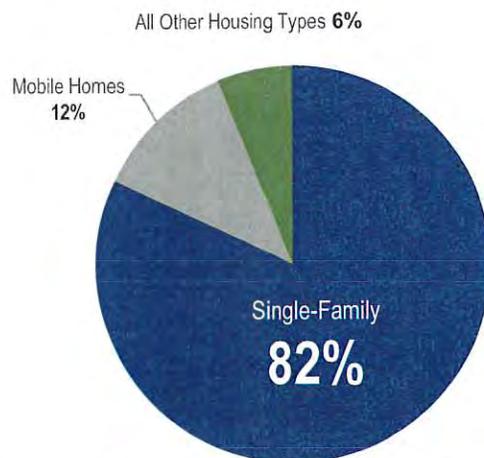
- Sources: US Census; Metropolitan Council; City of Lake Elmo

## Housing Type

Lake Elmo's existing housing stock is dominated by detached, single-family homes as seen in Figure 5-2. Housing Stock by Structure Type. According to data from the Metropolitan Council, 82 percent of the City's housing stock (2,955 units) consists of single-family homes. Moreover, the remaining housing stock mostly consists of manufactured housing or mobile homes, which account for 12 percent of the housing stock of 428 units. This means only six percent of the housing stock (223 units) is something other than a single-family home or mobile home. More housing choices will help older adults to remain in the community as they age-in-place and younger adults to move into the community.

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Figure 5-2. Housing Stock by Structure Type (2017)



Sources: Metropolitan Council; City of Lake Elmo

**Housing Goal #4. Protect and preserve the existing housing stock of established neighborhoods.**

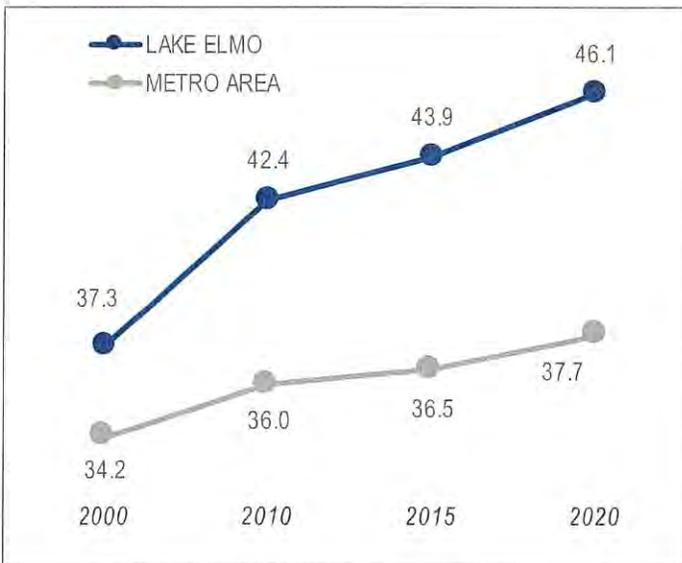
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Although single family homes can be a very flexible type of housing, it does mean that the community has a lack of housing choices. This can have an impact on both existing residents who may desire a different housing type and those who may want to move into the community. This is especially true for older residents who no longer want or are able to maintain a single-family home. Currently, the only option for Lake Elmo residents in need of housing with support services is Arbor Glen Senior Living, which opened in 2017. However, for older adults who do not need support services, but would prefer low maintenance housing, the options are limited to small pockets of new developments such as the villa-style products in Inwood.

### Key Demographics

The issue of being able to adequately house an aging population will only become more important in the coming years. According to data from the US Census, Lake Elmo is already a community with a high proportion of older adults. Illustrated in Figure 5-3. Median Age of the Population, the median age of Lake Elmo residents in 2015 was 44 years, which was almost 8 years older than the Metro Area median age. The Minnesota State Demographer anticipates Lake Elmo’s median age will increase, and by 2020, they expect the City’s median age to be just over 46. Therefore, the housing needs of an older population will become increasingly important in the years to come.

Figure 5-3. Median Age of the Population (2015)



Sources: US Census; Minnesota State Demographer; Perkins+Will

At the same time, Lake Elmo has surprisingly few residents age 25 to 34. Currently, a little over five percent of the City's population is in this age group. Metro-wide the percentage is three times this amount at just over 15 percent. The lack of young adults is likely the result of few entry-level housing options.

**5%** of Lake Elmo residents are 25-34 years old

**15%** of Metro Area residents are 25-34 years old

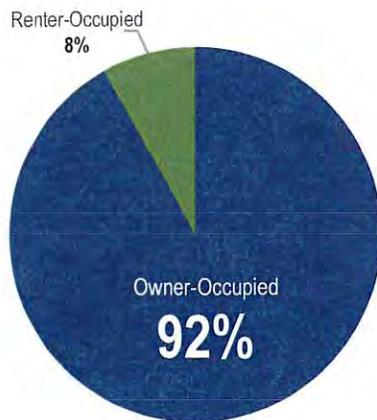
- Source: US Census

### Homeownership Level

The predominance of single-family homes helps explain why almost all of the housing stock is owner-occupied (92% or 3,402 units) versus renter-occupied (8% or 204 units) as seen in Figure 5-4. Lake Elmo Homeownership. Although homeownership is an important path to building wealth and promoting greater civic involvement, depending on where households are in their lifecycle, homeownership also can be a financial burden. For example, many older adults have health concerns that make maintenance and upkeep of their housing a physical and financial challenge. Younger persons who grow up in a community and want to form their own household often don't have the savings to enter homeownership. Without rental options, these population groups are forced to leave the community to find housing that will accommodate their circumstances. The only existing rental options are single-family homes or the recently completed Arbor Glen Senior Living residence.

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Figure 5-4. Lake Elmo Homeownership (2017)



Sources: Metropolitan Council; City of Lake Elmo

## Home Values & Household Income

Lake Elmo has high housing values compared to the larger Metro Area. According to the Minneapolis Area Association of Realtors, the 2017 median sales price of homes in Lake Elmo was \$432,500, which was \$185,000 more than the Metro Area median sales price of \$247,900 illustrated in Figure 5-5. Median Home Sales Price. High home prices are attributed to larger homes sizes, newer housing stock, and larger lot sizes as well as the community's advantageous location within the region given its proximity to numerous open space amenities, retail shopping and services, and major employment centers. Despite the high average home prices, there are areas within the City with less costly housing. In particular, older and smaller homes are concentrated near the Old Village, Tablyn Park, and in the Cimmaron Mobile Home Park.

Figure 5-5. Median Home Sales Price (2017)



Source: Minneapolis Area Association of Realtors

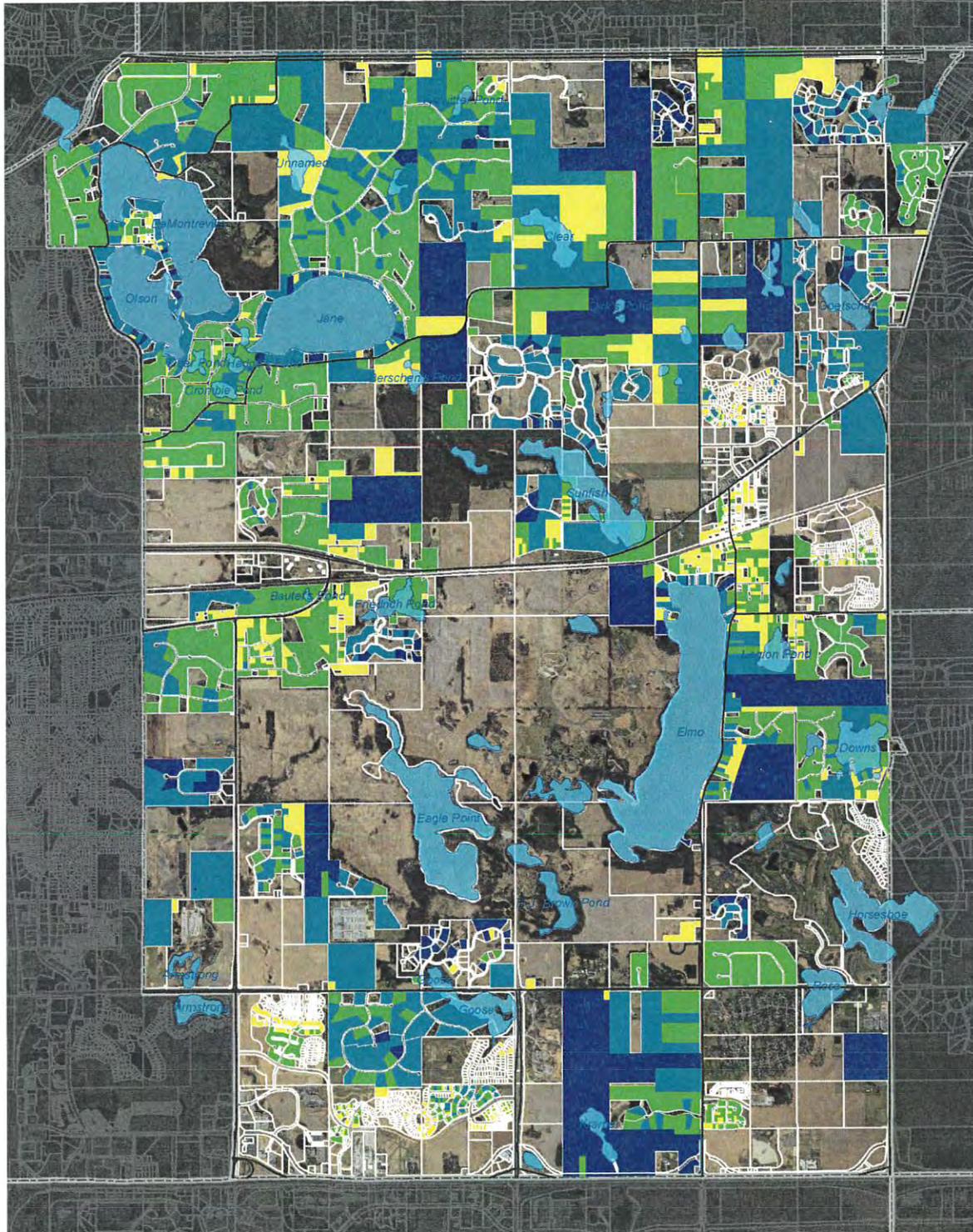
Figure 5-6. Median Household Income (2015)



Source: US Census

The cost of housing also has a strong influence on who lives in Lake Elmo. The result is a community that is much older and wealthier than the Metro Area. According to the US Census, the 2015 median household income for Lake Elmo was just under \$100,000, which was 35 percent higher than the metro area median household income of \$69,000 as seen in Figure 5-6. Median Household Income. High household incomes have more to do with few younger households than a concentration of wealth. If the community had more younger households, the median would likely be lower.

MAP 5-1. Assessor Estimated Home Values (2018)



**Homesteaded EMV**  
 < \$238,500  
 \$238,501 - \$450,000  
 \$450,001 - \$750,000  
 \$750,001+

Draft Date: 4.5.2018  
 Source: Washington County,  
 MNGEO, SHC



## **HOUSING DEMAND & AFFORDABILITY**

The existing conditions of the City's housing stock provide valuable insight and information to assist in planning for what types of housing and price-points may be demanded in the future as the City continues to grow. As described in the previous sections of this chapter, the existing housing stock is relatively homogeneous and expensive. By planning for improved housing diversity, the City will experience a more stable, well-rounded housing supply to meet the demands of a diverse demographic. To assist in that planning effort, this section of the housing plan analyzes the affordability of Lake Elmo's existing housing stock and compares it to the City's ability to meet the current and forecasted housing needs. One of the most important factors in analyzing the housing stock is its affordability and marketability. As demonstrated in previous sections of this Chapter, the majority of Lake Elmo's housing stock is not considered affordable. Some of the conditions that limit affordability are the newer age of the housing stock, the larger size of the homes and lots, and also Lake Elmo's geographic location in the region. These same factors also contribute to the City's marketability and housing value. With newer and larger homes, the average market value of the homes is more than that of other communities that may have more typical suburban size lots, more modest homes, and an older housing stock.

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### **Definition of Affordability**

There are several different definitions of affordable housing. The definition of affordable housing most frequently cited and measured in this chapter is that housing is affordable when households do not pay more than 30 percent of their income on housing costs. (Defined by the U.S. Department of Housing and Urban Development or "HUD"). When households have incomes at or below 80 percent of the area median income (AMI) costs associated with market rate housing (whether ownership or rental) becomes a challenge. This household group tends to pay more than 30 percent of their income on housing and has less disposable income to pay for other goods and services such as clothing, food, child care, transportation, and medical expenses. In addition, those residents with lower incomes have significantly fewer housing choices to meet their family needs.

As required by 2015 System Statements issued by the Metropolitan Council, cities within the 7-County Metropolitan Area are required to plan for an allocated number affordable housing units based on three levels of affordability. As prescribed by HUD for the Twin Cities region, the three levels are: Extremely Low Income (30% of Area Median Income "AMI" or less); Very Low Income (31-50% of AMI); and Low Income (51-80% of AMI).

Ownership Housing Affordability

Table 5-1 identifies the housing costs/prices that meet each of the affordability levels for home ownership in Lake Elmo. The Metropolitan Council determines affordable home prices based on monthly housing costs, assuming a 30-year fixed-rate mortgage at prevailing interest rates, insurance, and utilities.

*Table 5-1. 2017 Affordable Purchase Price for Owner-Occupied Housing*

Household Income Level	Affordable Home Price
80% AMI (\$68,000)	\$236,000
60% AMI (\$54,240)	\$185,000
50% AMI (\$45,200)	\$151,500
30% AMI (\$27,100)	\$85,000

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Source: Metropolitan Council

Table 5-2 identifies the monthly rental housing costs that meet each of the affordability levels for rental housing in Lake Elmo. Based on HUD defined parameters, the Metropolitan Council determines affordable rents based on the number of bedrooms assuming that smaller units can and should accommodate smaller households.

*Table 5-2. 2017 Affordable Rental Rates*

# of Bedrooms	30% of AMI	50% of AMI	60% of AMI	80% of AMI
Studio/Efficiency	\$474	\$791	\$949	\$1,265
1 Bedroom	\$508	\$848	\$1,017	\$1,356
2 Bedroom	\$610	\$1,017	\$1,220	\$1,627
3 Bedroom	\$705	\$1,175	\$1,410	\$1,880
4 Bedroom	\$786	\$1,311	\$1,573	\$2,097

Source: Metropolitan Council



## Existing Affordable Units

Table 5-3 compiles an inventory of the estimated market value of ownership housing and of rental rates to determine what percentage of the City's housing stock would be considered Affordable based on the levels established by HUD for the region. As shown, 24 percent of the City's housing stock (865 units) is at or below 80 percent of AMI, with 13 percent of the housing stock (473 units) at or below 50 percent of AMI. A significant proportion of the City's affordable housing stock is located in the Cimmaron Mobile Home Park, and in the historic neighborhoods surrounding the Old Village District.

As suggested by the City's median home sales price, Lake Elmo's overall housing stock is not affordable, especially when compared to the Metro Area's percentage of housing units that are considered affordable. Regionally, 68 percent of the housing stock is affordable at or below 80 percent of AMI and 28 percent is affordable at or below 50 percent of AMI.

*Table 5-3. Lake Elmo Affordable Housing Stock*

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	<b>Lake Elmo Units</b>	<b>Pct. of All Housing Units</b>	<b>Metro Area Pct. of All Housing Units</b>
Units affordable to households with income at or below 30% of AMI	373	10.3%	6.5%
Units affordable to households with income 31% to 50% of AMI	100	2.8%	21.8%
Units affordable to households with income 51% to 80% of AMI	392	10.9%	39.9%
<b>Total Units at or below 80% AMI</b>	<b>865</b>	<b>24.0%</b>	<b>68.3%</b>

*Source: Metropolitan Council staff estimates for 2015 based on 2105 and 2016 MetroGIS Parcel Datasets (ownership units), 2009-2013 Comprehensive Housing Affordability Strategy data from HUD (rental units and household income), and the Council's 2015 Manufactured Housing Parks Survey (manufactured homes).*

## Publicly Subsidized Units

As of 2017, Lake Elmo does not have any publicly subsidized housing units.

## Cost Burdened Households

Directly correlated to affordability is the metric of cost burden, which is the proportion of household income spent toward housing and utilities. When lower income households spend more than 30 percent of their income toward housing and utilities this burden is considered excessive because it begins to limit the money available for other essentials such as food, clothing, transportation, and healthcare. Table X-4 shows the number and percentage of low-income Lake Elmo households that are cost burdened and compares this against the Metro Area rate of cost burdened low-income households.

According to data from the Metropolitan Council, 418 Lake Elmo households have incomes at or below AMI and also spend more than 30 percent of their income on housing costs. This is just under 12 percent of the City's households. This percentage is less than half the Metro Area rate of 23 percent. The low incidence of cost burdened households is correlated with high proportion of households in their peak earning years (i.e., age 45-64) with higher than average incomes and the existing housing supply. As Lake Elmo's population ages into retirement, and younger households are needed to support local business expansion, housing that is cost burden to lower income households will increase.

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*Table 5-4. Cost Burdened Households by Income Level*

	Lake Elmo Units	Percentage of All Households	Metro Area Percentage of All Households
Income at or below 30% of AMI	200	5.5%	10.0%
Income 31% to 50% of AMI	151	4.2%	7.4%
Income 51% to 80% of AMI	67	1.9%	5.8%
<b>Total households at or below 80% AMI</b>	<b>418</b>	<b>11.6%</b>	<b>23.2%</b>

*Note: Housing cost burden refers to households whose housing costs are at least 30% of their income. Source: U.S. Department of Housing and Urban Development, 2009-2013 Comprehensive Housing Affordability Strategy (CHAS) data, with counts adjusted to better match Metropolitan Council 2015 household estimates.*



## Affordable Housing Allocation for Lake Elmo

Included within the 2015 System Statement provided by the Metropolitan Council is an allocation of affordable housing need for the City of Lake Elmo. The System Statement requires the City to plan for an additional 508 Affordable Units over the next 20 years (Table 5-5). Because of the limited supply of existing affordable housing, the Metropolitan Council is establishing an allocation of new affordable units to meet both regional goals for housing affordability and to ensure greater housing choice within Lake Elmo as it grows and its housing needs become more diverse. As such, land use designations contained within Chapter 3. Land Use assign appropriate densities to developing or redevelopment areas to meet the Metropolitan Council's affordable allocation.

*Table 5-5. Affordable Housing Need Allocation through 2030*

% of Area Median Income (AMI)	Units
At or below 30% AMI	27
31 to 50% AMI	179
51 to 80% AMI	302
<b>Total Units</b>	<b>508</b>

Source: Metropolitan Council 2015 Systems Statement - Lake Elmo



## FUTURE HOUSING OPPORTUNITIES

### Projected Housing Need

The Metropolitan Council's 2015 System Statement forecasts that Lake Elmo will add approximately 3,500 new households through 2040. This amount of household growth will generate need for a more diverse housing stock. As a community that is both aging and growing, it will be important that a much wider selection of housing be made available in order to retain existing residents and attract new ones. Therefore, more housing options besides detached single-family units on large lots and mobile homes will need to be accommodated.

**3,500**

**Number of forecasted new households  
in Lake Elmo through 2040**

- Source: Metropolitan Council

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This housing plan does not prescribe specific housing products or styles, but it does identify where within the land use plan different housing types, primarily through guided densities, can be accommodated. For example, the 2015 System Statement allocates 508 new affordable housing units in Lake Elmo through 2030. It does not stipulate that these be rental or owner; it does not stipulate that these units be attached or detached; nor does it stipulate that they be publicly subsidized or dependent on market dynamics. However, housing affordability is strongly correlated with the price of land. Therefore, areas that allow higher densities are more likely to accommodate a range of housing types and price points.

**508**

**Number of allocated affordable  
housing units through 2030**

- Source: Metropolitan Council

## Future Residential Uses in Planned Growth Areas

### Higher Density Residential Areas

The Land Use Plan outlined in Chapter 3 identifies two planned growth areas both within the Municipal Urban Services Area (MUSA): 1) the South Planning Area; and 2) the Village Planning Area. Both planned growth areas call for new residential land uses at a sufficient density to accommodate a variety of housing types at densities that could support the number of allocated affordable units at the three income levels. Table 5-6 below describes the future land use categories, the allowable density ranges, and the minimum number of supportable future units. According to the guided densities, these three high density areas could accommodate, at minimum, a total of approximately 1,264 dwelling units, which exceeds the required allocated affordable units.

*Table 5-6. Planned Residential Uses Supportive of Affordable Housing*

Future Land Use	Residential Density (dwelling units/acre)	Total Acres	Supportable Households/ Dwellings
High Density Residential (HDR)	8-15	55.19	441
Village – High Density Residential (V-HDR)	8-12	29.57	236
Mixed Use Commercial (MU-C)	10-15	58.78	587
<b>Total 2020-2040 Higher Density Residential</b>		<b>143.54</b>	<b>1,264</b>
<b>Net Density 2020-2040 (All Planned Residential Areas)</b>			<b>5.6 dwelling units/acre</b>

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Source: SHC, City of Lake Elmo

Moreover, the two residential land use categories would be proximate to mixed-use and commercial districts in which essential goods and services, transit, and employment opportunities would be planned to be available.

*Housing Goal #1. Create land use designations that support various housing types throughout the community.*

- Chapter 1: Vision, Goals & Strategies

## Other Sewered Residential Areas

In addition to new residential development envisioned in higher density areas, the housing plan also calls for significant residential development in the planned growth areas at lower densities. According to the land use plan, these growth areas could accommodate approximately 948 housing units. These residential categories range from low density areas to mixed use districts that could support relatively high density development, such as housing above ground floor commercial space, or horizontally integrated uses that are connected with walking trails between job centers and apartments.

## Rural Residential Areas

Lake Elmo has a rich history of supporting innovative conservation developments and other unsewered residential neighborhoods. These residential areas preserve critical open space and contribute to Lake Elmo's high quality of life. Although this Plan does not plan for significant residential growth in the rural portions of Lake Elmo, some growth in this area of the community is anticipated to occur over this planning period. Like housing in the sewerred areas of the community, the City's Rural Residential housing stock is an important part of the housing supply that must be planned for and considered as the community grows. An important consideration of any future residential developments in these areas should respect past efforts to protect and preserve important open spaces, critical habitats, and water resources.

*Housing Goal #3. Endorse and sustain existing neighborhood patterns throughout the rural residential areas of the community.*

- Chapter 1: Vision, Goals & Strategies

## Maintaining Existing Housing & Neighborhoods

While the City is projected to more than double its households in this planning period, there remains a significant portion of the housing supply that is aging and may begin to experience deferred maintenance, and structural obsolescence if not maintained. As such, it is critical that the City plan for and consider how existing neighborhoods and structures, particularly as they age, will be maintained. Many of these neighborhoods are constructed with high-end, large homes and lots but there are also areas of the City with smaller houses and lots that are an important piece of the City's history, as well as a contributor to the small proportion of naturally occurring affordable houses in the community. These neighborhoods, at all price-points, are an important part of the City's character, and it is important for the community to continue to prioritize these areas for preservation and maintenance as an important part of the City's housing stock.

## HOUSING RESOURCES, STRATEGIES & TOOLS

Table 5-7 outlines a variety of resources and tools to implement Lake Elmo's identified housing needs and stated housing goals. There is a wealth of resources available to assist communities in meeting their goals. The table below should be considered a starting point. As the City's housing needs evolve or become more defined, it should expand with options.

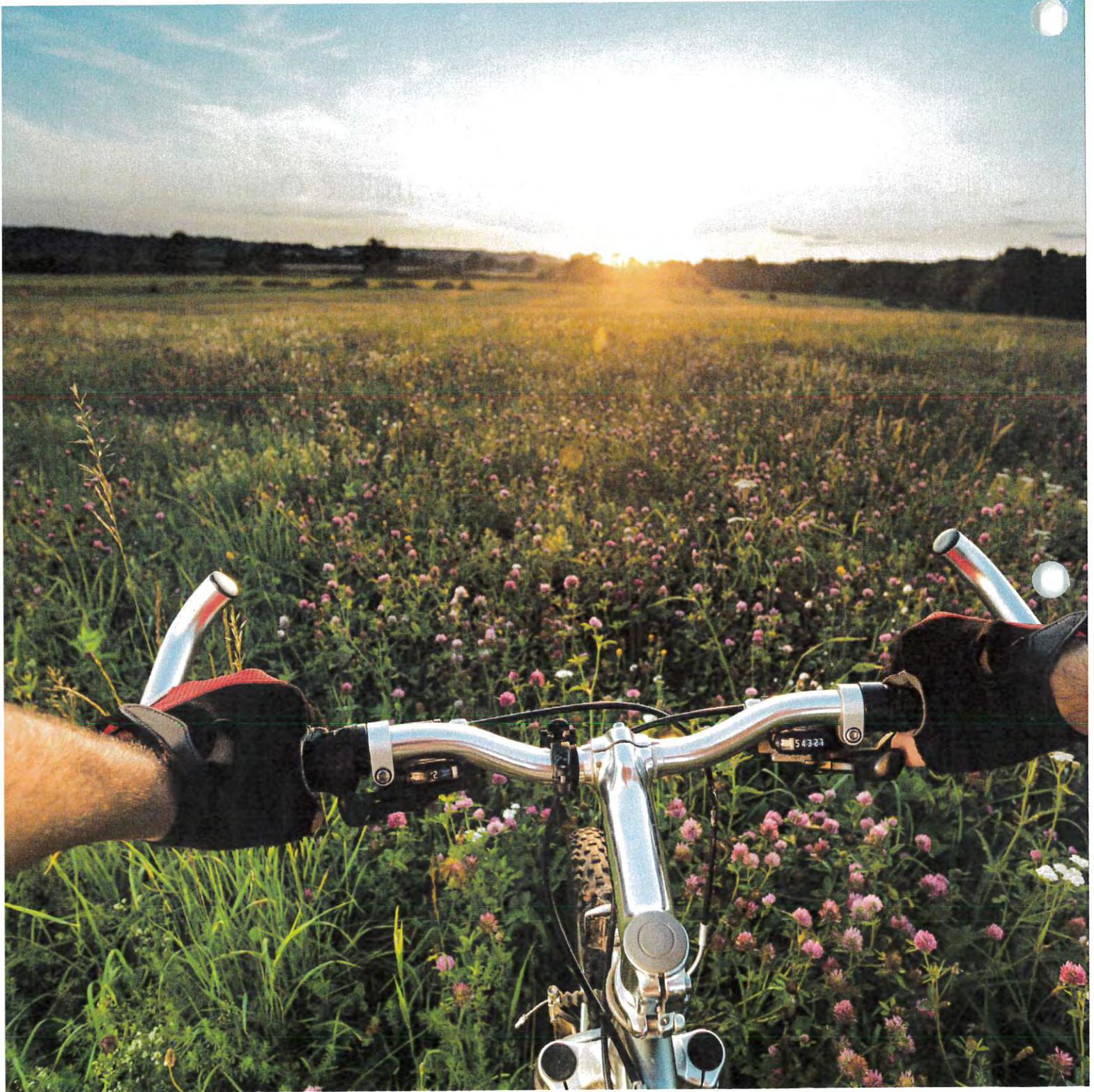
Table 5-7. Housing Resources and Tools

Housing Goal	Tool/Resource/Strategy	Description
<b>Protect and Preserve Housing Stock of Existing Neighborhoods</b>	CDBG	Work with Washington County CDA to use CDBG funds to help low- and moderate-income homeowners with rehabilitation assistance.
	Referrals	Review and update reference procedures and training for applicable staff, including a plan to maintain our ability to refer our residents to any applicable housing programs outside the scope of our local services.
	Foreclosure prevention	In established neighborhoods, a rash of foreclosures, especially in close proximity to one another, can have a deleterious effect on the surrounding neighborhood. Be aware of foreclosures and be able to direct homeowners at-risk of foreclosure to resources that can help prevent foreclosures (can <a href="http://www.foreclosure-response.org/policy_guide/index.html">http://www.foreclosure-response.org/policy_guide/index.html</a> ).
<b>Explore ways to integrate lifecycle housing choices throughout the community</b>	Washington County Community Development Agency (CDA)	Given the limited staff capacity of Lake Elmo, regularly coordinate with the Washington County CDA to best align their resources with the city's housing needs and goals. The CDA has capacity, funding resources, and expertise to assist smaller communities with their housing needs.
	Livable Communities Demonstration Account (LCDA)	Consider supporting/sponsoring an application to LCDA programs for multi-family rental proposals in areas guided for high density residential and targeted to households of all income levels.
	Tax Abatement	Consider tax abatement for large rental project proposals.
	Zoning and Subdivision ordinances	Review zoning and subdivision ordinances to identify any regulations that inhibit the housing priorities in this document.
	Expedited application process	Streamline the pre-application process in order to minimize unnecessary delay for projects that address our stated housing needs, prior to a formal application submittal.
	Site Assembly	Consider strategies for assembling sites in high-density or mixed-use districts that would increase appeal to developers.
	Housing Bonds	Work with Washington County CDA to raise housing bonds for the development of low-income housing at various targeted income levels.
	Tax Increment Financing (TIF)	To help meet the need for low-income housing, consider establishing a TIF district in an area guided for high density development.
	Brownfield Clean-Up	In potential redevelopment areas in the Old Village or along the I-94 corridor, explore EPA and MN DEED grant programs that provide funding and assistance with planning, assessment, and site clean-up.

# DRAFT Chapter 6: Parks, Trails & Open Space

Play, Recreation & Preservation





## INTRODUCTION

The City of Lake Elmo has a well-established reputation for exceptional parks, recreation, and open space with natural amenities that are protected as part of the City's rural landscape. Residents often point to these amenities as key characteristics of the City, making it a desirable place to live, recreate and work. Throughout this planning process, residents, stakeholders, Advisory Panel members and policy makers have consistently identified the parks, trails and open space system of the City as the single most defining characteristic of Lake Elmo. Whether you are cross-country skiing in Sunfish Lake Park, fishing in Lake Elmo or playing a game of baseball at Lion's Park, there is something for everyone. As a historically rural residential community, the quantity of protected parklands, open space and natural resources for the greater public is a unique quality of the community that is not commonly found in a place so close to a major metropolitan area. This system of open space and parks is a paramount reason why people stay in the community and why it will continue to draw new residents and families if the system continues to be maintained as a principle characteristic of Lake Elmo for generations to come. Prioritizing this system as a significant part of the community's identity—coupled with the growing interest and popularity of outdoor recreation and healthy lifestyles—means that the City has the opportunity to shape and create a distinct lifestyle for those who choose to live and work in Lake Elmo.

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Oftentimes such an expansive network of parks, open space, and natural areas can be overwhelming for a community of Lake Elmo's size to manage and maintain at a high-quality due to time and expenses often necessary to support such a system. Lake Elmo is fortunate to have an attractive regional park that is managed and maintained by Washington County, which makes up more than 84% of the protected park lands in the City and serves as the core of the City's outdoor recreation and park offerings. The County manages 2000+ acres of natural woodland, meadow, wetlands, lakes, and passive recreational uses in Lake Elmo Regional Park Reserve, comprising approximately 80% of the land for natural resource protection. The remaining land in active use provides a wide range of programming through all four seasons, including multiple trail uses, camping, boating, and picnicking. Lake Elmo Regional Park Reserve attracts visitors from all over the Metro Area, and obviously provides a unique benefit to Lake Elmo's residents due to its accessibility and its contribution to the greater Parks, Trails and Open Space ("PTOS") network of the community.

In addition to the Regional Park, the City locally maintains a large system of parks and trails of varying sizes and uses. As the community grows, park, trail and open space development and management will continue to be a top priority for existing and incoming residents to ensure the system remains a defining characteristic of the community for future generations.

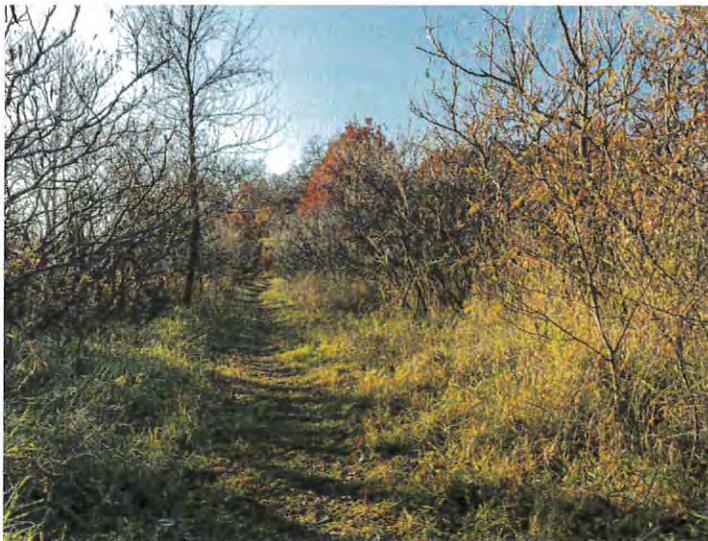
## 2040 Parks, Trails & Open Space (PTOS) – What’s to Come

- » Lake Elmo enjoys an established legacy and reputation for valuing parks and open space as an important part of the community.
- » Regional parks and trails will continue to be a significant asset for the community.
- » Strategies are outlined for City-wide PTOS planning, the addition of new parks and facilities, connected trail system, and natural resource preservation.
- » A proposed Open Space/Greenway Network will provide a connected framework for future recreation and protected natural areas.

## Changes to the Parks & Trails Chapters from the 2030 Plan

A principle objective of this planning process focused on refining and synthesizing information contained within the 2030 Comprehensive Plan and preparing an updated 2040 Plan that is more concise, clear and directive about the City's goals and objectives for its future. This is particularly relevant to the City's PTOS system, because it is such a significant part of the City's past identity and is planned to continue as a defining quality into the future. The 2030 Plan included a Parks Chapter, titled the "Comprehensive Park and Recreation Plan" (Parks System Plan) that was independent from the Trails Chapter, titled the "Comprehensive Trails Guide Plan (Trail System Plan). Both Chapters were extremely detailed about each system and provided specific programming, maintenance, and management inventories and recommendations that are more detailed than is necessary in a Comprehensive Plan. Furthermore, the Chapters did not work together. Rather, they were structured to detail the individual system rather than describe a cohesive comprehensive plan for the PTOS system of the community. As such, this Chapter is now intended to function at a higher level of detail that will focus and more clearly demonstrate the interconnected quality of the PTOS system. The details of each system are then provided for within separate supporting System Plans for each of the components. For example, the 2030 Parks System Plan will evolve into a an updated Parks System Plan that will implement this chapter of the 2040 Comprehensive Plan, much like the Zoning Ordinance is part of the implementation of the Future Land Use Plan.

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## IMPACT OF A CHANGING COMMUNITY

As described throughout this Plan, the City is planning for growth in key areas of the community through this planning period. This growth and change is planned primarily in areas that will be served with urban services, which is described and planned for through the Future Land Use Plan contained in Chapter 3. The land use changes anticipated reflect how the community is forecasted to grow and where within the City boundaries growth is expected to locate. Proposed land use informs demand for future recreation and natural resource needs. The parks, trails and open space within the City should therefore both influence and respond to the changing land use patterns. (See Map 3.3 Future Land Use Plan)

The forecasted population in the community is expected to rise to approximately 18,200 people by 2040, and that growth is anticipated to include families, young professionals, and seniors each with differing demands and needs from the PTOS system. This chapter provides a guide for the future improvements and expansion of the PTOS system based on the planned changes as described in Chapters 3 and 4 of this Comprehensive Plan. This PTOS chapter is intended to provide an overview of the City's PTOS system and guide future consideration of the system as growth and development occurs.

6.

This chapter, perhaps more than any other, should be a living document, because the types of improvements and additions to the PTOS system will be dependent and correlated to the development that actually occurs. For example, a new senior apartment complex could be constructed in one of the mixed-use areas along I-94, which would create different demands on the PTOS system compared to the same property if it were developed with a market-rate apartment complex that provides living opportunities for all ages. Given that much of the PTOS system needs should be tailored to the specific development, this PTOS chapter focuses on higher-level objectives and planning and expects the detailed programming and management to be addressed within the System Plans for each of the components (more specifically Parks and Open Space System Plan and Trails System Plan).

The location of future PTOS amenities and facilities are generally tailored to three areas of the community: 1) the Village Planning Area (MUSA); 2) the South Planning Area (MUSA) and 3) the Rural Residential – which comprises the remaining area of the City not designated within the two MUSA areas.

Changing land use and development also impacts the areas of natural open space and potentially threatens the quality of the land, habitat, and biodiversity of the community if proper planning is not implemented. Identifying areas that benefit most from protection and preservation should also influence decisions about land use as these areas contribute to a high-quality well-connected PTOS system.



## Recreation & Age Association

A critical component to consider when planning for the future of the PTOS system is the City's socio-economic and demographic trends that will impact the types of improvements and acquisitions to the system that will best serve the community for generations to come. A high-quality PTOS system provides for recreation and enjoyment of the outdoors with facilities and activities that appeal to all age groups. It is important to offer a diverse mix and to understand that some park activities are generally associated with specific age groups. Active recreation facilities, such as soccer fields and playgrounds, are typically used by younger people and children while passive recreation facilities, such as picnicking, walking, or fishing, are generally associated with adults and older people.

The Housing Chapter and Background Report contained in the Appendix, describe the City's current demographic and socio-economic trends. Generally, the community has more families and children than Washington County and the Metro Area which is primarily due to the relatively homogeneous housing stock historically dominated by single-family residential uses. As the City grows and evolves, it will be essential to understand who is moving into the community and what the target market of new developments is so that the PTOS system can expand and grow to meet needs of future residents.

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## EXISTING PARKS, TRAILS & OPEN SPACE

The City's existing PTOS system serves a wide range of uses, programs, and purposes. From organized sports to casual play, and from passive natural preservation to structured recreational activity, the system is a positive resource for residents to participate individually or gather for community outdoor experiences.

All of the parks, trails, and open space in the City's system share a common goal of high-quality recreation and stewardship. Individually, each park has its own role related to its location, character, size, and setting and likewise each trail, whether private or public, plays a role related to its purpose and setting. Open space, whether part of a public park or protected as part of a conservation easement, also contribute to the system through protected natural resources and viewsheds. Together, the PTOS system should be well-rounded and diverse with the experiences it provides its citizens and users. The current inventory of the PTOS provides a good base for which the City can build on with guidance provided in Chapter 1. Vision, Goals and Strategies of this Plan.

Map 6-1 illustrates the existing parks and open space in Lake Elmo. An inventory of facilities in the Parks system can also be found in the Appendix.

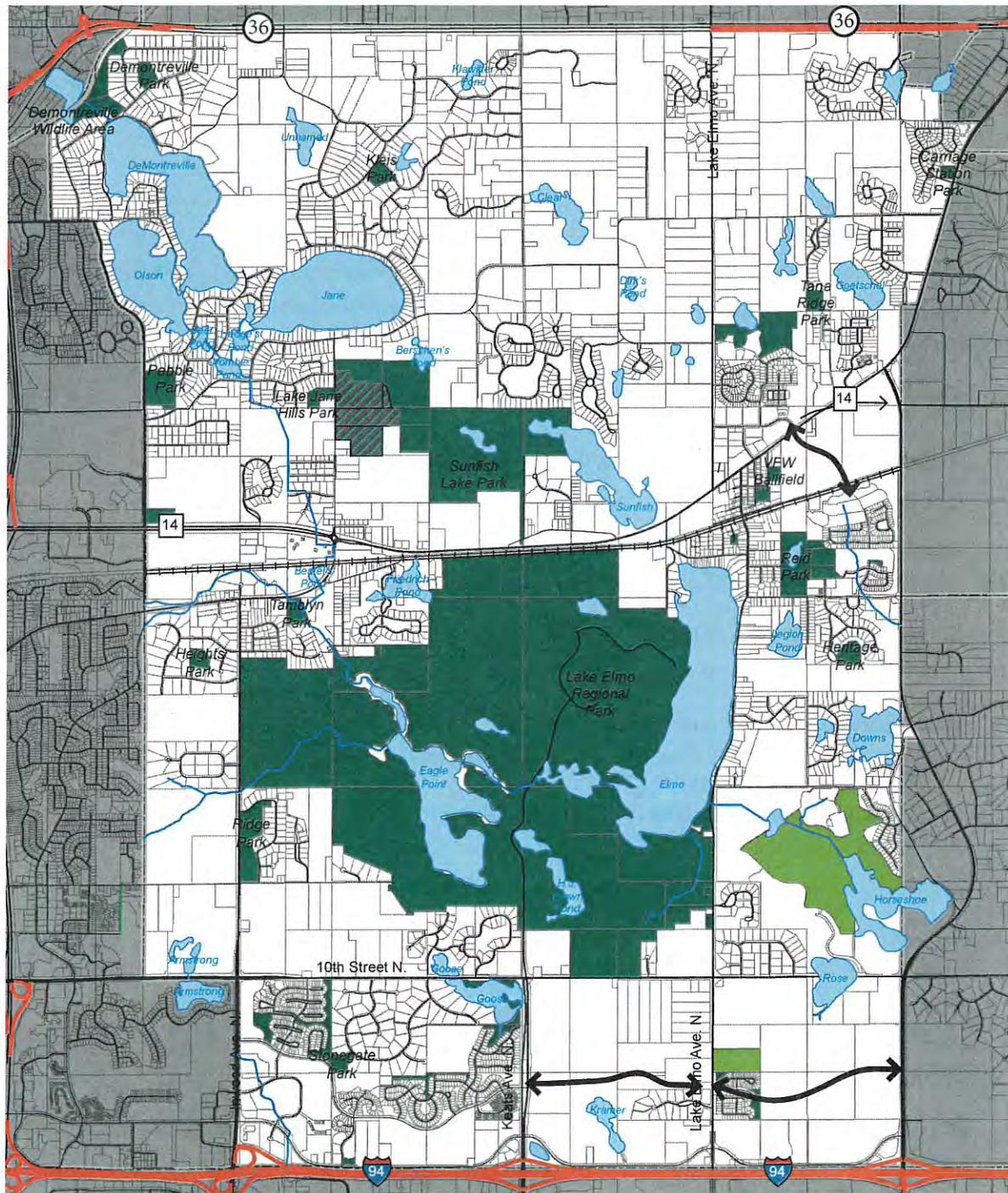
The Parks, Trails & Open Space System in Lake Elmo comprises a variety of land with different typologies, uses, jurisdictions, and management. From state-managed recreational resources, to popular regional parks, to locally-managed City parks, the collection of these lands as a whole contributes to the overall effect and quality of outdoor natural and recreational resources available to residents. The typologies of the various lands that contribute to the PTOS system in Lake Elmo are described in more detail to follow.



*PTOS Goal #1.* Enhance existing natural resources, open space and trails to make a more complete system.

- Chapter 1: Vision, Goals & Strategies

MAP 6-1 EXISTING LAKE ELMO PARKS



- Legend**
- Golf Course
  - Park/OS
  - Closed Landfill
  - Future City Road (Parkway)

Future City Road (Parkway)

Source: MNGEO, Washington County, City of Lake Elmo  
Draft 4.6.2018



## Park & Open Space Typologies

A classification system identifying the types of parks that make up the PTOS system is a valuable planning tool. Such a system provides the common language needed to describe and differentiate park lands and the variety of purposes each serves. Standards were originally established in the 2020 Comprehensive Plan and refined based on the classification system established by the National Recreation and Park Association (NRPA). In the 2030 Comprehensive Plan, standards were further refined and developed within the parks system as a starting point for identifying originally general park development of varying types. Now, in the 2040 Plan, the standards are again updated to address a more comprehensive system regardless of ownership, since ownership does not necessarily correlate to the benefits of the component to the system.

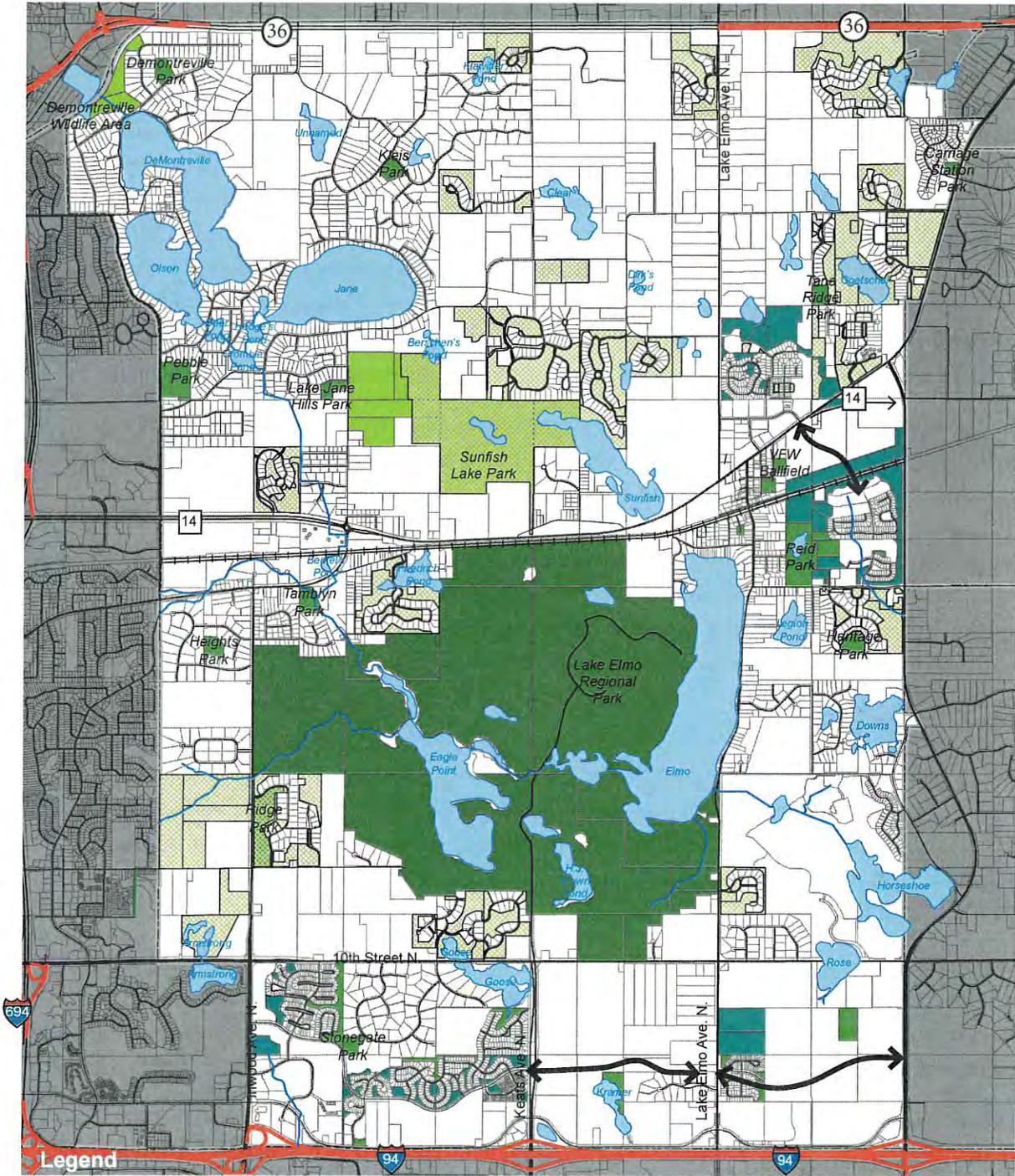
The Lake Elmo Parks System comprises these park typologies:

- **Regional Park** – park of regional significance offering outdoor recreation to the metropolitan area
- **Community Park & Facilities (including Special Use & Sports Complex)** – parks offering more significant or unique uses that benefit all City residents
- **Neighborhood & Pocket Parks** – smaller parks offering more common and highly-used facilities to immediate area residents
- **Natural Resource Protection Areas** – natural landscape recognized or designated to have unique ecological features and areas for stormwater management
- **Greenway Corridors (Trails & Natural Corridors)** – network of parks, trails, and open space that connect recreational and protected natural areas in a contiguous system
- **Conservation Areas (Private Easements)** – privately protected natural areas that may include public and private trails, may include protected viewsheds, offer natural resource protection including wildlife corridors and are generally a part of a home-owner's association

***PTOS Goal #3.** Endorse and Maintain the protected public open space and natural areas throughout the City.*

- Chapter 1: Vision, Goals & Strategies

MAP 6-2 EXISTING PARKS AND OPEN SPACE TYPOLOGIES



**Legend**

- Neighborhood
- Community
- Regional
- NRPA
- Conservation Easements

Future City Road (Parkway)

Source: MNGEO, Washington County, City of Lake Elmo

Draft 3.26.2018



## REGIONAL PARKS & TRAILS

### Context of Lake Elmo Regional Park Reserve

The City of Lake Elmo benefits from the location of the Lake Elmo Regional Park Reserve in the center of the community on the western shore of Lake Elmo. The Park Reserve is recognized as one of the 62 regional parks, preserves, and special recreation areas that make up the regional park system in the Twin Cities area. It is managed by Washington County as part of the park system and has a current total of 2,183 acres (3.5 square miles) within its borders. The majority of the land (nearly 80%) is currently set aside for preservation and protection with the intention of eventually returning to its pre-settlement conditions. The park offers gently rolling hills with a variety of landscape types and water features. In addition to active recreation and programming, it is popular place to passively view wildlife and participate in bird watching.

12 In a 2008 survey conducted by Washington County, Lake Elmo Regional Park Reserve was identified as the most visited park in the County. While the regional park is not managed by the City of Lake Elmo, its location makes it essential to collaborate with Washington County and the Metropolitan Council to protect the park's setting, access, and context uses from negatively impacting the quality and use of the park. Lake Elmo Regional Park Reserve is a valuable resource to the community and offers amenities other parks in the area do not. With collaborative planning, the City benefits from the ability to offer other diverse and more locally-centered activities and facilities to residents at local parks.

### Recreation, Programs & Amenities

Lake Elmo Regional Park Reserve offers a range of recreation and activities throughout the four seasons. Many of the summer activities center around water use. A public boat launch and canoe access provide access boating use of the lakes. A fishing pier provides good access to fishing even without a boat. Swimming can be found both lakeside at the beach and also at the sand bottom chlorinated swim pond.

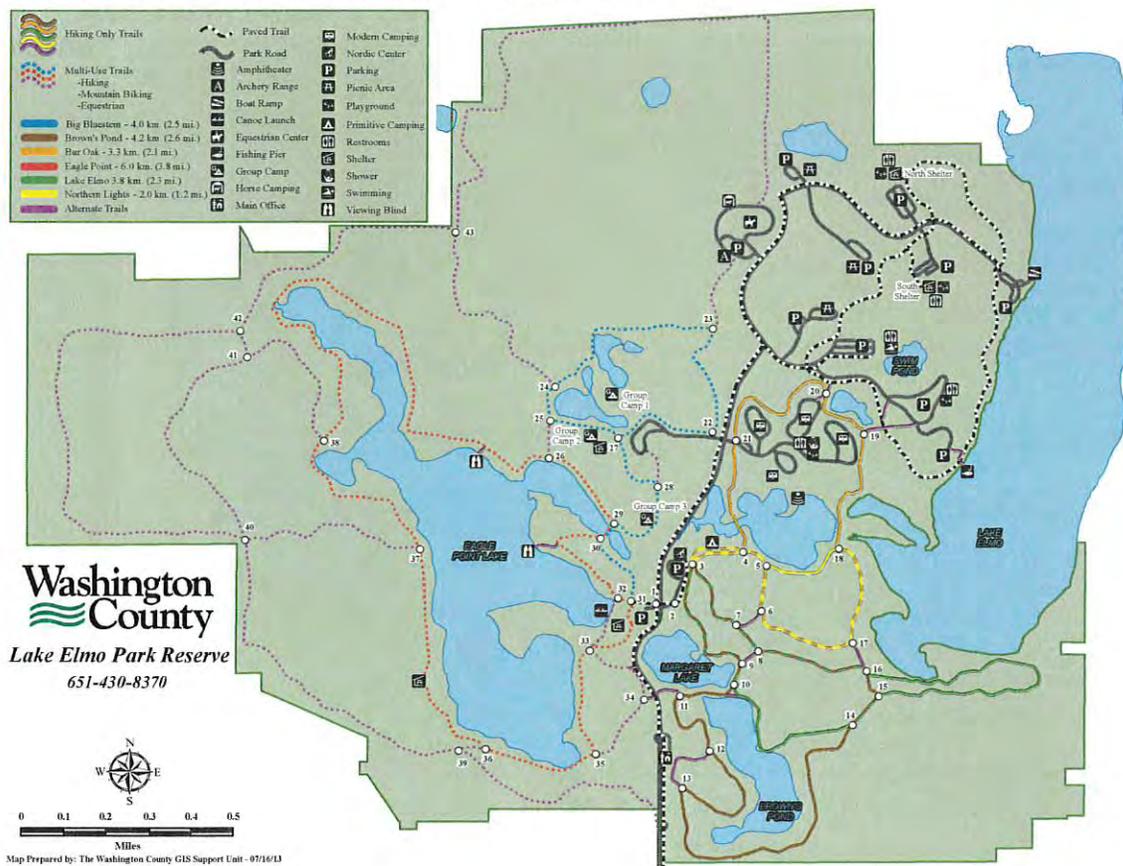
A diverse offering of trail types also allow visitors to experience the landscape by hiking, walking, biking, skiing, and horseback riding. Other recreation can be organized around the play structures, pavilions, and archery range. On the education side, nature programs take visitors further into the park to explore and learn from the natural environment.

The park reserve also hosts several facilities for gathering and events. The Nordic Center is an ideal location for social events, business meetings, and weddings and has all the necessary amenities for a successful event. The Nordic center is open April through October.

Camping is also a popular activity and opportunity for gathering family and friends in the summer months. There is both a modern campground with electricity and water facilities, as well as a rustic campground to experience. The natural setting and beautiful landscape surrounding the campgrounds contribute to a positive connection with nature for visitors to enjoy and easily access the nearby activities in the park.

Lake Elmo Regional Park Reserve serves the City with a large county park attracting visitors from throughout the metro area. It also serves as a central hub for outdoor recreation and open space for the local parks and trails system. Maintaining existing and adding new connections to the regional park with local trails was a commonly-voiced priority during the planning process for this Plan. Local park planning should also reflect the features and activities the regional park programming already provides so that local parks provide a diversity in offerings. Where there are opportunities to collaborate on programming, management efforts, or joint funding, the City should pursue an approach that embraces the regional park as an integrated piece of the community parks and trails system.

MAP 6-3 LAKE ELMO REGIONAL PARK RESERVE MAP



Source: Washington County

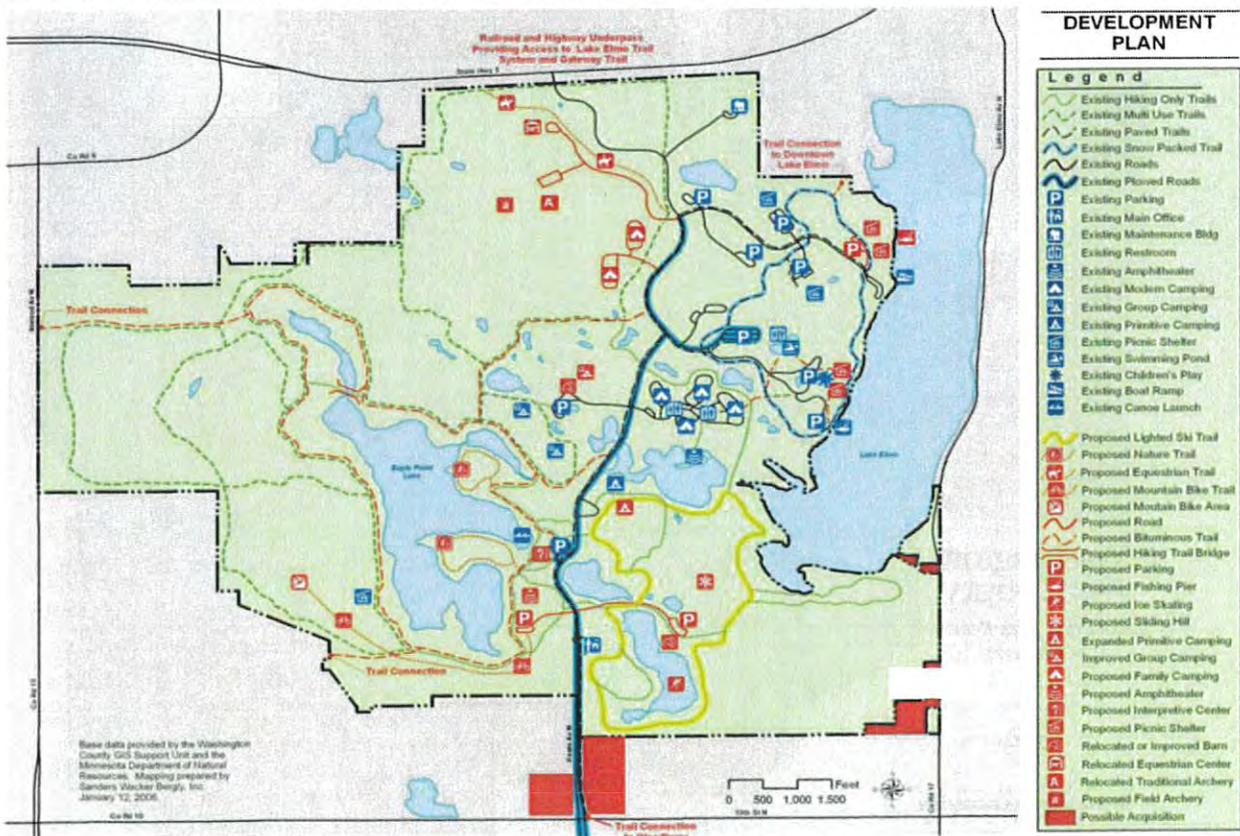
## 2040 Regional Parks Policy Plan & Lake Elmo Regional Park Reserve

Current access to the regional park by car is only from the south on Keats Avenue. One entrance allows for the park to control access and reduces the need for road development through pristine park land. However, access on foot or by bicycle is largely desired by the community, especially from the north or west sides of the park. The 2040 Regional Parks Policy Plan states an objective to increase multi-modal access to its regional parks system with improved connections to the parks and within park property. Improved multi-modal access will also strengthen equitable usage of regional parks and trails—another objective in the Metropolitan Council’s policy.

The last detailed Washington County Development Plan was completed for the Lake Elmo Regional Park Reserve in 2008 and identified a total of 38 acres of land for future acquisition for the park. In 2015, the acquired 18 of the 38 additional acres and amended the boundary of the park in accordance with the 2030 Regional Parks Policy Plan. The new land is located near

MAP 6-4 LAKE ELMO REGIONAL PARK RESERVE DEVELOPMENT PLAN, 2030

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the main park entrance on the south side of the reserve and brought park ownership adjacent to 10th Street along Keats Avenue. Future acquisition is not urgent and capital improvements to the park are primarily identified within existing recreational use areas, including trail development and expansions of camping and picnicking facilities. Map 6-4 shows the Development Plan for the regional park.

The Development Plan indicates a proposal for an underpass on the north side of the park under Highway 5 and the adjacent rail line to connect with City trails and the Gateway State Trail. Other proposed trail connections include one to the northeast around the north side of Lake Elmo toward the Village, and to the west at Inwood Avenue. These proposals support the Metropolitan Council's 2040 Regional Park Policy Plan by increasing multi-modal access to the regional parks. These connections would also promote a connected City-wide trail system for local users.

## Regional Park Trails

### Central Greenway Regional Trail Search Corridor

The Lake Elmo segment of the future Central Greenway Regional trail is planned to extend from I-94 on the south to Highway 36 on the north. The proposed trail fills a gap in the regional trail network and is identified within the regional trail search corridor. When completed, the trail corridor will provide users with an off-road, independent trail alignment connecting to Lake Elmo Regional Park Reserve and other local and regional destinations that will be identified as part of the trail planning process. Map 6-11 illustrates the search corridor for the Central Greenway Regional Trail.

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The regional trail search corridor travels through May Township, Grant, Stillwater Township, Stillwater, Lake Elmo, Woodbury, and Cottage Grove and will eventually connect Big Marine Park Reserve, Browns Creek State Trail, Lake Elmo Regional Park Reserve, Afton Bluffs Regional Trail Search Corridor, Prairie View Regional Trail Search Corridor, and Mississippi River Regional Trail Search Corridor. Washington County is leading the planning process to determine the alignment of the regional trail, and the alignment will be established through the work of the County and a Technical Advisory Committee. The future of this trail will provide better connections to the Lake Elmo Regional Park Reserve and will also offer additional mode choice to users.

Another long-distance trail serving regional users is the Gateway State Trail which extends from St. Paul to Stillwater, cutting through the northwest portion of Lake Elmo. More information about this trail can be found in the Federal and State Lands section to follow.

## LOCAL PARKS & TRAILS

The City of Lake Elmo currently has 22 City Parks each meeting a variety of needs and demands. Some of the designated park areas have not been developed since they are associated with new neighborhoods that are still being developed. However, the land has been dedicated and is considered part of the system. The largest of the City parks is Sunfish Lake Park that provides residents with passive and active recreational opportunities, and serves as a favorite place for residents to hike, bike and cross-country ski. Other parks such as Lion's Park provide ballfields and other active recreational facilities to the community. The overall system serves organized sports, casual play, hiking, cross-country skiing, horseback riding, picnicking, relaxation, nature appreciation, and a variety of other outdoor activities. While all parks share the common purpose of providing quality recreation facilities and open space, each park is unique in terms of its history, setting, character and use.

### Local Park Planning Standards

Current planning practices in Lake Elmo use a set of standards for park planning that focus on the purpose of the park, service area and location, size, level of service, key facilities, and a facilities menu that offers a range of recreation facility options. Natural Resource Areas and Regional Park types have additional policies to address considerations unique to these park types.

- **Purpose** - Each park type within the system has a unique purpose. The purpose defines the needs that the park type meets and its defining characteristics.
- **Service Area and Location** - "Service area" is a measurement of the area within Lake Elmo that is expected to receive the primary benefits of a park.
- **Size** - A minimum area, in acres, is a standard to allow adequate room for the facilities and open space that make up a park. Size standards are based upon an evaluation of Lake Elmo's existing parks and on NRPA guidance.
- **Level-of-Service** - "Levels-of-service" standards are ratios that describe adequate park facilities for a community. For park types, the ratio is expressed as the number of park acres per 1,000 persons. Park planning practices regarding level-of-service have shifted recently. Since the 1930s, the NRPA had published national level-of-service standards, most recently in 1983. In 1996, the NRPA changed this practice and published guidance for local communities to develop level-of-service standards that reflect local interests, needs, and realities.

The existing park system was developed based on these standards and future expansion and additions are anticipated to consider the same principles when determining location and programming of new facilities. Detail regarding each of the parks can be found in the Parks System Plan, which will be regularly updated to consider new park dedications associated with development within this planning period.

### Community Parks & Facilities *(including Special Use & Sports Complex)*

**Sunfish Lake Park** is considered by many to be the crown jewel of the Lake Elmo park system – an important symbol of the quiet rural character of Lake Elmo. The park holds a special place in the history of the community as the site of the first European settlement in the area and location of the first assembly meeting that established the township that became the City of Lake Elmo today.

The park is a 284-acre natural area that is recognized by the Department of Natural Resources as a Regionally Significant Ecological Area.” Depending on the season, woodland, wetland, and prairie plant communities can be enjoyed by skiing or walking the network of approximately nine miles of mowed trails. Recent improvements to the park include a 17-acre prairie restoration project on the south side of the park, and the newly constructed Sally Manzara Interpretive Nature Center. The mix of native wildflower and grass species used on the project was based on the plant community that is believed to have been present in this area prior to European settlement. The park is home to a wealth of wildlife and provides one of the best opportunities for bird watching in the seven-county metro area. Birds identified in recent years include 13 species that have been identified by the Minnesota DNR as being in “Greatest Conservation Need”, meaning populations in Minnesota are rare, declining or vulnerable.

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**Demontreville Wildlife Area** is home to 24 acres of park land, lakes, ponds and walking trails. Demontreville Wildlife Park is one of the most heavily used parks, for its abundant natural space and access to the Gateway Trail. The park also has a portable restroom on site.

**VFW Park** is located in the Old Village, at 3675 Layton Avenue. The park has a lighted baseball field and, along with Lions Park, is the home to the annual Huff ‘n Puff softball competition.



*Photos of Sunfish Lake Park Source: 2030 Comprehensive Plan*

## Neighborhood & Pocket Parks

Lake Elmo has 19 parks managed as neighborhood parks within the City park system. These parks provide for organized sports, casual play, relaxation, physical activity, nature appreciation, and gathering places for Lake Elmo's residents. It is the mission of the City to provide high-quality recreation facilities and open space at all of these parks, and each is unique in its setting and character.

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- **Carriage Station Park** is located at the intersection of Stillwater Boulevard and Marquess Trail North. The three-acre park features playground equipment, a basketball court, picnic tables, a shelter and access to walking paths.
- **Demontreville Park** is located at 5700 Highlands Trail. The 6-acre park has many amenities including ample parking, ball fields, a basketball court, picnic tables, play equipment, a soccer field, and a portable restroom. Demontreville Park is a popular park for organized sports and is host to teams during the annual Huff-n-Puff Softball Tournament.
- **Easton Park** is a 1.36 acre park located off of Linden Ave North and Linden Lane North and provides playground equipment and swings.
- **Goose Lake Park** is a 5.28 acre park located on 8th Street North that includes a boardwalk, canoe rack, bike rack, fishing pier, grill, picnic table, and shelter with parking.
- **Heights Park** is located at 26th Street and Imperial Avenue. This five-acre park is truly a neighborhood park nestled in the center of the Lake Elmo Heights Neighborhood.
- **Heritage Park** is located at the 2700 block of Lisbon Avenue. It is currently an undeveloped natural area.
- **Homestead Park** is located at the southeast corner of Lake Elmo Avenue and 14th Street North. The park is undeveloped at this time.
- **Kleis Park** is located at 5285 Jamaca Boulevard North. It is one of several Tri-Lakes area parks and is rich with recreational opportunities. On the sprawling eight-acre park you will find baseball, football, and soccer fields, playground equipment. With the addition of a grill, natural park land, and walking trails, this park serves as a prime location for neighborhood get-togethers and the annual Tri-Lakes Ski Show.
- **Lake Jane Hills Park** is located at the intersection of Jamaca Avenue and 42nd Street. It is currently undeveloped.
- **Lions Park**, located at 3525 Laverne Avenue, is just over three-acres in the heart of the Old Village and is home to events such as the annual Lake Elmo Days celebration, and the Lake Elmo Rotary's Fourth of July Ice Cream Social. Lions Park is the only community park that has a concession stand, and permanent restroom. Dual lighted skating rinks and a warming house, make this park a favorite for winter enthusiasts, and the baseball diamond and bleacher seating make it a prime location to catch a ball game in the summer. The park also



boasts a pickle-ball court, playground equipment, basketball court, sand volleyball court, picnic tables, and a shelter.

- **Pebble Park** is located at 8160 Lake Jane Trail. This 17-acre park has ballfields, a sledding hill, biking and walking trails, lighted tennis courts, and a volleyball court. It also has running water and picnic tables that makes it a great place for gatherings in the summer. Pebble Park is home to the Tri-Lakes Association annual Easter Egg Hunt.
- **Reid Park** is located at 11430 30th Street near the Heritage Farms neighborhood. It is a great destination for the outdoor enthusiast, with a variety of trails for skiing, walking, and biking. Covering over 30 acres, Reid Park is the largest of the community parks, and also offers amenities including picnic tables, ball fields, and playground equipment.
- **Ridge Park** is located along Inwood Avenue and primarily services the Parkview Estates and Cardinal Ridge neighborhoods. Its 24-acres comprises natural areas, picnicking, trails, playground, a softball field, and a basketball court.
- **Stonegate Park** is located at 750 Jasmine Avenue, primarily serves residents in the Stonegate Neighborhood. The five-acre park has playground equipment, ball fields, and access to walking paths.

- **Tablyn Park** is located at 8735 Stillwater Boulevard and is equipped with the best sledding hill in the area. It is the City's prime location for winter recreation. The eight-acre park also offers a variety of amenities for summer time fun as well, including a play structure, tennis court, ball fields and a basketball court.
- **Tana Ridge Park** is located at 4525 Lily Avenue, between the Tana Ridge neighborhood and The Fields of St. Croix. This five-acre park boasts plentiful open space, ideal for both organized sporting events and friendly neighborhood games.
- **Inwood Park** is an undeveloped park located at 5th Street North. It is currently undeveloped and will serve residents of the Inwood neighborhood.
- **Savona Park** is located on James Avenue North and primarily serves the residents of the Savona neighborhood. Its approximately 2 acres is comprised of natural areas, playground equipment, future basketball court, and a trail connecting to 5th Street North.
- **Wildflower Park** is located on Wildflower Drive N and is comprised of 0.75 acres. The park is currently undeveloped and will primarily serve residents of the Village Park Preserve and Wildflower at Lake Elmo residents. There is also approximately 40 acres of a nature conservancy with public trails to the north of these developments.

## Trail Classifications

In 2005 the City prepared a detailed Trail System Plan that included a classification system for existing and future trails throughout the City. The Trail Classifications identified location and type of trail and were intended to communicate purpose to the user. This 2040 Plan provides further refinement of the trail classification system to provide a more comprehensive inventory of the system to assist with planning of the system moving forward.

The Lake Elmo Trail System Plan comprises the following trail classifications:

- **On-road** – this trail is often referred to as a “route” rather than a trail and may include shoulder striping to designate the travel area available for pedestrians or bikers. It is generally found on major thoroughfares such as County Roads; no special improvements have been made beyond an improved shoulder.
- **Off-road, grade separated dedicated trail** – this trail is ideally a 10-foot-wide paved trail for multi-purpose uses to eliminate conflicts with vehicles by being located in a separate corridor adjacent to the roadways. It should be continuous and accommodate marked crossings at intersections.
- **Natural trail** – this trail is typically unpaved and may be surfaced with aggregate, compacted earth, or mowed grass. It is intended for walking use and exposure to the natural surroundings.
- **Neighborhood trail** – this trail can be paved and unpaved and is separate from roadways. It connects residents within a neighborhood to each other and neighborhood destinations (such as a playground) and ideally links to other community or regional trails.

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*On-Road Trail*



*Road-Separated Trail*

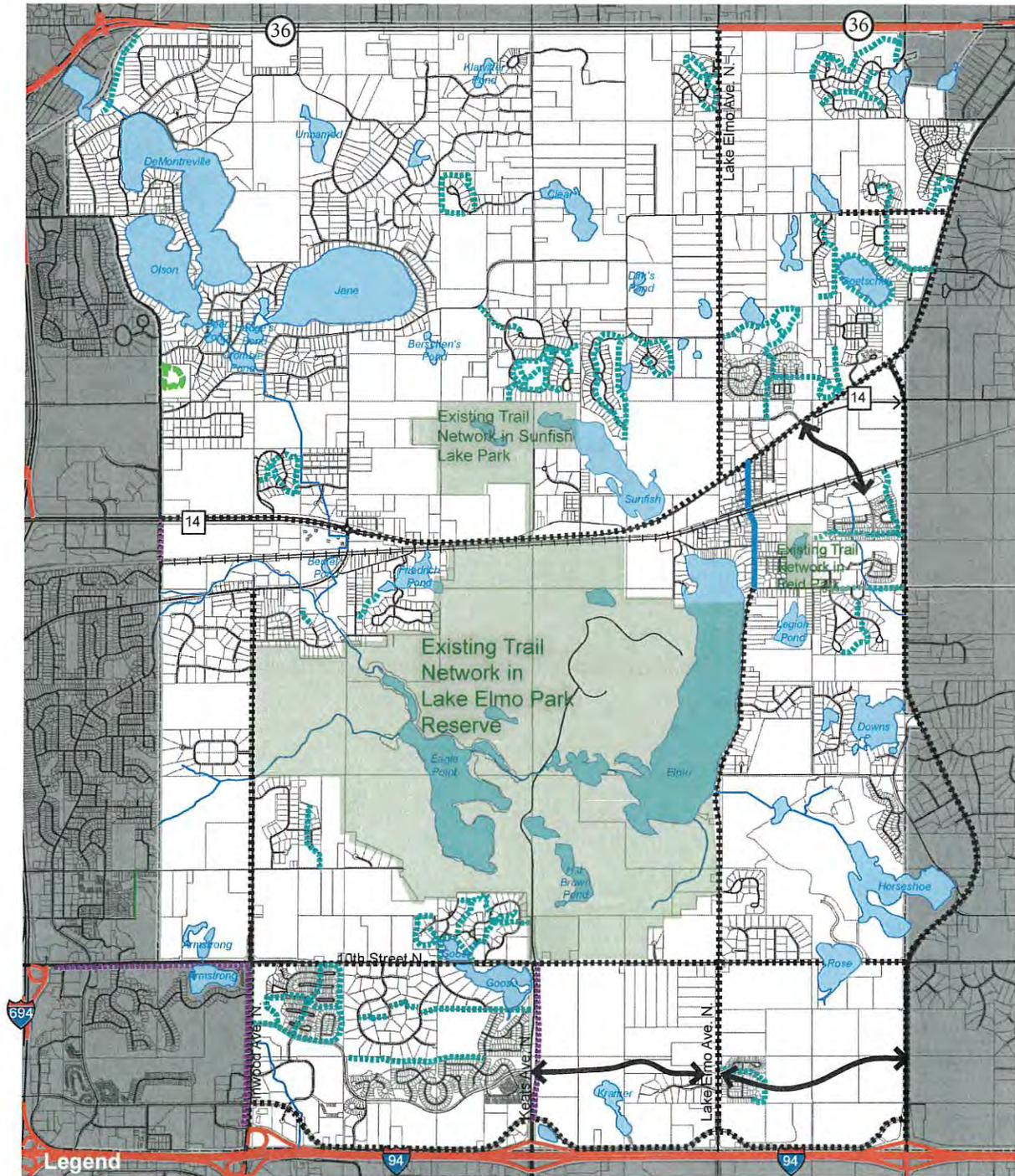


*Nature Trail*



*Neighborhood Trail*

MAP 6-5 EXISTING TRAILS BY CLASS



- Legend**
- Trails**
- Classification**
- ⋯ Neighborhood Trail
  - On Road Striped Shoulder
  - Park Trail
  - Road Separated Trail
  - Sidewalk

Future City Road (Parkway)

Source MNGEO, Washington County, City of Lake Elmo  
Draft 4.6.2018



## Local & City Trails

The City's current trail system is dominated by primarily on-road designated shouldered areas rather than grade separated or shoulder separated off-road trails. A fairly extensive network of private and public neighborhood trails are also present throughout the community. As the City's growth areas develop, renewed interest in making a more complete off-road system has been identified and recent developments have required at least for the dedication of easement area in which a trail could be located.

### On-Street Shoulder Trail/Bike Route

The following roads have been identified as having on-street bike routes:

- Hudson Road (I-94 frontage road)
- 10<sup>th</sup> Street N
- Inwood Avenue N (South of CSAH 14)
- Lake Elmo Avenue N (recently installed sidewalk through Old Village District)
- Manning Avenue
- CSAH 14

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### Neighborhood Trails

The following neighborhoods have an internal trail system, some privately managed and some that are available for public use:

- Fields of St. Croix
- Stonegate
- Inwood
- Hamlet on Sunfish Lake
- Easton Village
- Heritage Park
- St. Croix's Sanctuary
- Discover Crossing
- Tapestry
- Wildflower
- Whistling Valley
- Hunters Crossing
- Savona

*PTOS Goal #2.* Strengthen the existing trail network in the City and provide increased public connections and accessibility including pedestrian and bikeway connections.

- Chapter 1: Vision, Goals & Strategies



## Federal & State Parks and Trails

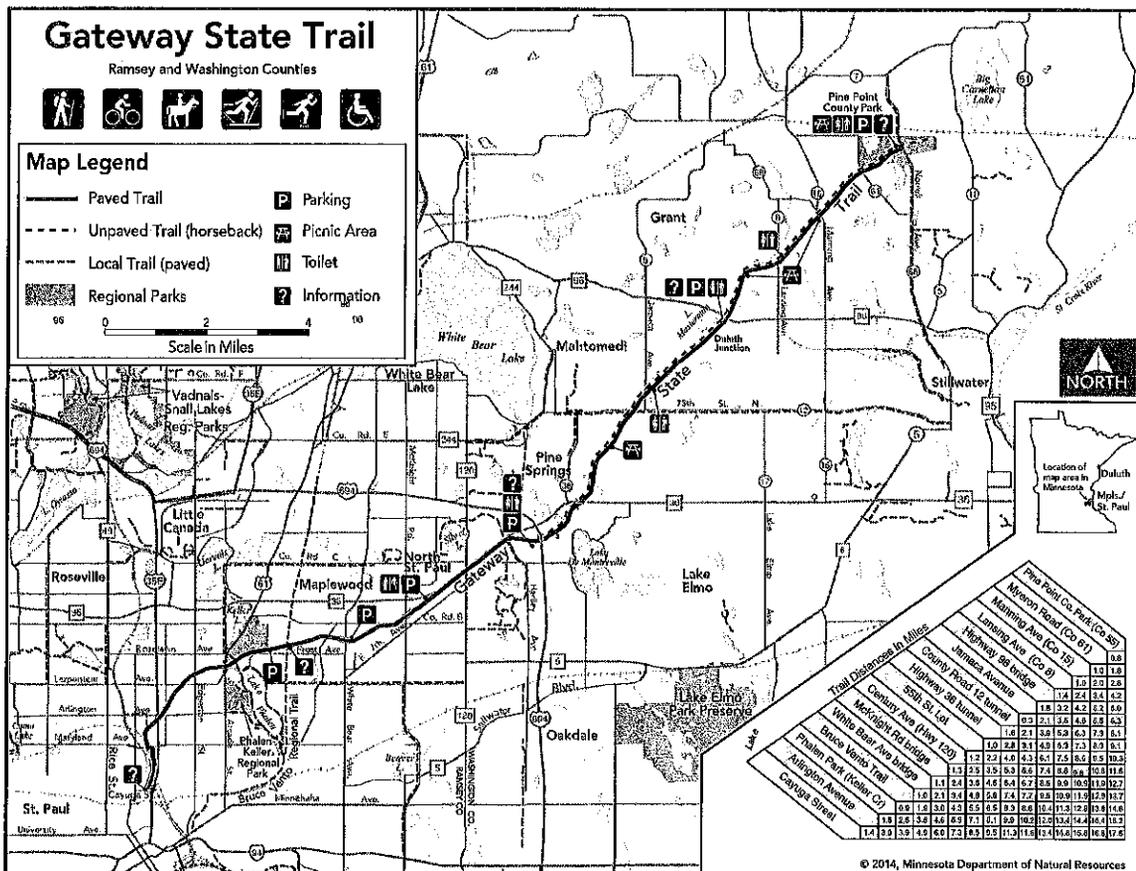
There are no federal or state parks located in the City of Lake Elmo.

### Gateway State Trail

Utilizing a converted rail line, the Gateway State Trail comprises 18 miles of paved trail for non-motorized use. It extends from the west in the City of St. Paul and travels northeast to Stillwater. It passes through the northwest portion of Lake Elmo as it stretches through Washington County, ending its journey at Pine Point Regional Park, just four miles northwest of the City of Stillwater. It is generally level and wheelchair accessible.

The Minnesota Department of Natural Resources is responsible for the management of the Gateway State Trail, and land management of its immediate corridor. The City of Lake Elmo may benefit from coordination of trail links to the state trail in order to bolster trail use and visits in and out of the community.

MAP 6-6 GATEWAY STATE TRAIL MAP



Source: Minnesota Department of Natural Resources

## NATURAL RESOURCES

The landscape of Lake Elmo comprises a wealth of natural resources, including many lakes and intermittent wetlands. The location of these features, and efforts to preserve and protect them, should contribute to decisions about the development of new parks, trails, and other recreational facilities.

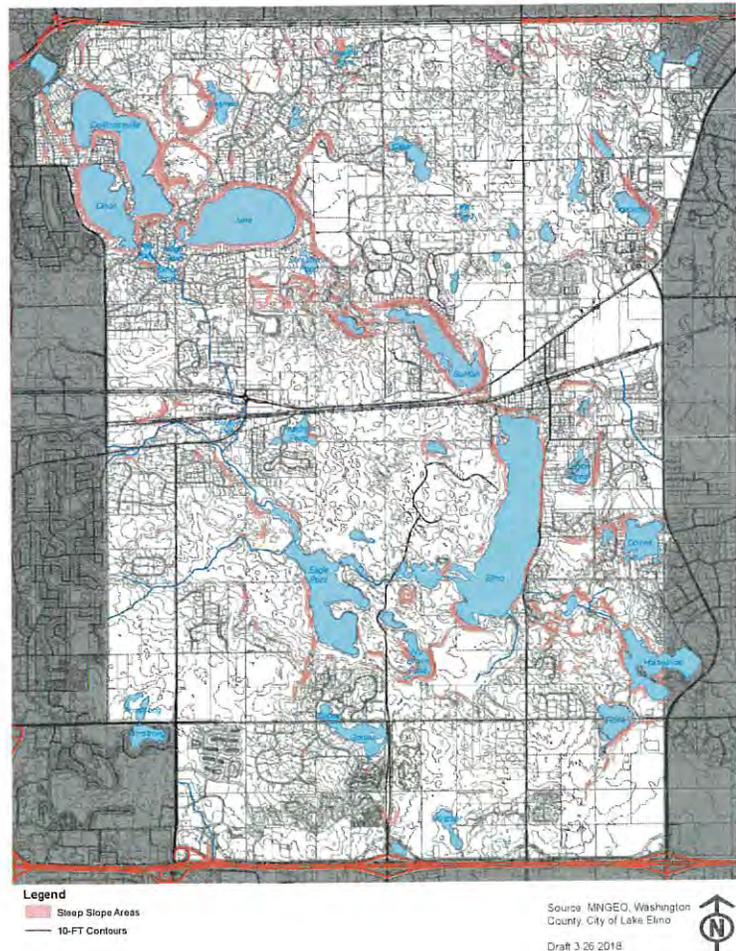
In past planning efforts, the Parks Commission utilized natural resource mapping resources to identify features to include in future park sites. For example, bodies of water and wetlands were characterized with high importance and informed recommendations on future park locations. Locations included forested shoreland on Lake Elmo, shoreland on Goose Lake, shoreland on Clear Lake, shoreland on Kramer Lake, and steep shoreland north of 50th Street. A forested area off of the northern portion of Lake Elmo Avenue was also highlighted.

Other land features and prioritized for different purposes. For instance, relatively flat parcels of land were identified as possible locations for athletic fields. Maps 6-7 through 6-9 identify Lake Elmo's natural resources including wetlands, topography, and significant natural features according to the Minnesota Department of Natural Resources. This mapping will inform decisions when refining locations of future park, trail, and open space uses.

### Wetlands

Wetlands provide a rich habitat for wildlife, including birds, mammals, fish, and amphibians, and contribute as well to maintaining the quality of the City's water. Wetlands within parks can be a focal point for nature observation and wildlife watching. Map 6-7 includes wetlands indexed by the National Wetlands Inventory which categorizes wetlands based on quality and significance for habitat, as well as outlines the 100 year floodplain.

MAP 6-7 WETLANDS AND FLOODPLAIN



MAP 6-8 TOPOGRAPHY

Topography

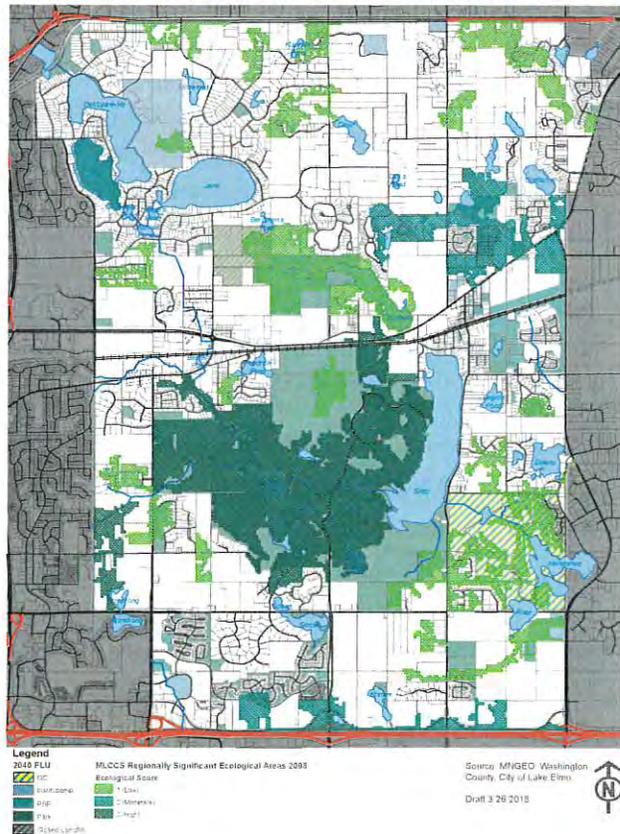
Contour lines describe slopes and flat lands, indicating views and drainage ways. Naturally flat areas are conducive to formal or informal play fields and gardens. High points within parks are opportunities for benches or picnic tables overlooking views below. Slopes may provide opportunities for sledding or natural amphitheaters. Undulating terrain or drainage ways create interest for trails. Playgrounds nestled into a lower area create a sense of safety and separation from nearby streets or homes. Map 6-8 includes contour lines at ten-foot intervals to illustrate topography.



Biologically Significant Ecological Areas

Land cover refers to vegetation, water, rock, and human-made surfaces on the land. Examples of common land cover in Lake Elmo are agricultural crops, short grass (lawns), forests, woods, and water. Some land cover is identified to special and unique values that make it regionally significant to the quality of natural resources and ecological healthy of the landscape. These lands are important for inclusion in a high-quality PTOS system. Map 6-9 describes significant ecological areas in Lake Elmo.

MAP 6-9 SIGNIFICANT ECOLOGICAL AREAS



## **FUTURE PARKS, TRAILS & OPEN SPACE PLAN**

The following plan was prepared as an update to the Parks and Trail Chapters contained in the 2030 Comprehensive Plan. While some things have changed in the past decade, many of the previous planning period's efforts to identify where growth would occur have remained consistent. The 2008 Parks System Plan and the 2005 Trail System Plan were completed thorough plans prepared according to industry standards. Therefore, the following Plan for the future systems is intended to provide an update on progress towards developing a complete integrated system and to highlight areas that should be studied for additional refinement when preparing an update the Master Plans of each System.

### **Parks**

26 The 2008 Parks System Plan recommended adding to the Lake Elmo parks system thirteen (13) neighborhood parks, one community park, up to two community sports complexes, two special use parks, and a greenway corridor. Since the adoption of the 2008 Park System Plan, several developments in the areas planned for growth are in some state of development and several have included the development of neighborhood and pocket parks. New neighborhoods such as Inwood, Savona, and Wildflower have all been required to incorporate a neighborhood or pocket park as part of its development fulfilling the requirements of the Parks System Plan. The recommendations contained within the Parks System Plan were created from a synthesis of the park system principles, demographic analysis, existing and planned land use patterns, existing and proposed trails, park service areas, level-of-service (LOS) guidelines, and natural resources data. The analysis performed in the previous plan assumed the ultimate growth and development of the City similar to what is currently planned for, and therefore this Plan does not attempt to comprehensively re-do the study. Instead it is intended to update the previous plan and provide direction from which the Parks System Plan can be refined to implement this 2040 Comprehensive Plan.

### **Neighborhood & Pocket Parks**

Neighborhood park search areas were identified after a review of service areas and the LOS guideline of 11 parkland acres per 1,000 population. Mapping of the quarter-mile and the half-mile service areas of existing and already-planned neighborhood parks highlights the parts of the City that are not currently served by neighborhood parks. The LOS guideline applied to the 2030 population forecasts resulted in an addition of approximately 128 acres of neighborhood parkland needed that would be primarily concentrated in the area south of 10th Street. Since the adoption of the 2008 Park System Plan, approximately XX additional acres have been dedicated to the park system through new development plats in this area.

The second area that was planned for development in the 2008 Parks System Plan was the Village Planning Area, and a Master Plan for the Village was in development by the City of Lake Elmo concurrently with the Parks System Plan in 2008. The recommendations within the draft Master Plan include two neighborhood parks identified in the plan as West and North parks. Since the adoption of the 2008 Parks System Plan, new developments are underway in the area and all new developments have a neighborhood park or pocket park planned as part of the neighborhood.

Given that the projected population through 2040 has shifted slightly along with current development patterns, Map 6-10 has been updated to reflect the projections contained within this Plan as well as accounting for development that has occurred. As noted within the Implementation Chapter, the City should update the 2008 Parks System Plan for consistency with this Plan as a future step in its PTOS system planning efforts.

#### Community Park Search Areas

The 2008 Parks System Plan identified the need to create one additional Community Park that should be located at the heart of the City and serve as a community gathering place and landmark. This Plan supports this objective and also identifies the same search area as previously identified. The objective for this park would be to serve as an important gathering place for the entire community and could feature gentle walking paths, grassy open space, flower beds and decorative plantings, mature trees, ponds and streams, park benches, a playground, picnic areas, and perhaps a band shell for summer concerts. The planned park should consider approximately 20 acres in the Village Area (not including bodies of water), and should be located close to senior housing or higher density residential areas and should provide ample opportunity and access to both passive and active recreational space. When developed, the park should also serve as a place for City celebrations, ice cream socials, a farmer's market, and other activities that will bring the people of Lake Elmo together. The community park search area is located north of the railroad tracks and south of Highway 5, as shown on Map 6-10.

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#### Special Use Parks

The 2008 Park System Plan identified the need for two Special Use parks—one to provide access to Lake Elmo and the other to be located near a future City Hall as a civic square. While this Plan acknowledges that the City Hall site is under study, it is unknown if it will relocate or stay in generally the same area where it is currently located. Given the ambiguity, only a search area related to the lake access is provided. It should be noted, however, that if redevelopment or development of a new City Hall occurs, a civic square or plaza should be considered as part of the development.

## Community Sports Complex Search Areas

This Plan reinforces and supports the recommendation of the 2008 Parks System Plan which identified potential demand for the construction of one or perhaps two community sports complexes. The first priority sports complex search area is within the Village Area, southwest of the community park search area. A second sports complex location may be identified in the future if it is determined that there is a need.

The recommendation for two sports complexes was generated using a level of service (LOS) guideline for athletic fields and baseball diamonds. These guidelines remain fairly consistent and accurate with projections as contained in this 2040 Plan, except that the need for a second sports complex is more likely to be delayed past this planning period. Today, the Lake Elmo park system has two lighted baseball/softball diamonds that serve programmed athletics programs.

For the Village Area Sports Complex, this Plan reinforces the recommendation contained in the 2008 Parks System Plan which recommended that the park include the development of three soccer/football fields and three baseball/softball fields on approximately 20 acres. These fields would bring athletic competition to the center of the community and reinforce the Village Area as the center of the community. The lighted diamonds at Lions Park and VFW Park would continue to be used to meet Lake Elmo's needs for highly programmed playfields. Therefore, the combination of the Village Area Sports Complex, Lions Park, and VFW Park would offer five baseball/softball diamonds and three soccer fields. Using the LOS guidelines, these fields would serve 15,000 people, a population that Lake Elmo is predicted to reach approaching the year 2030.

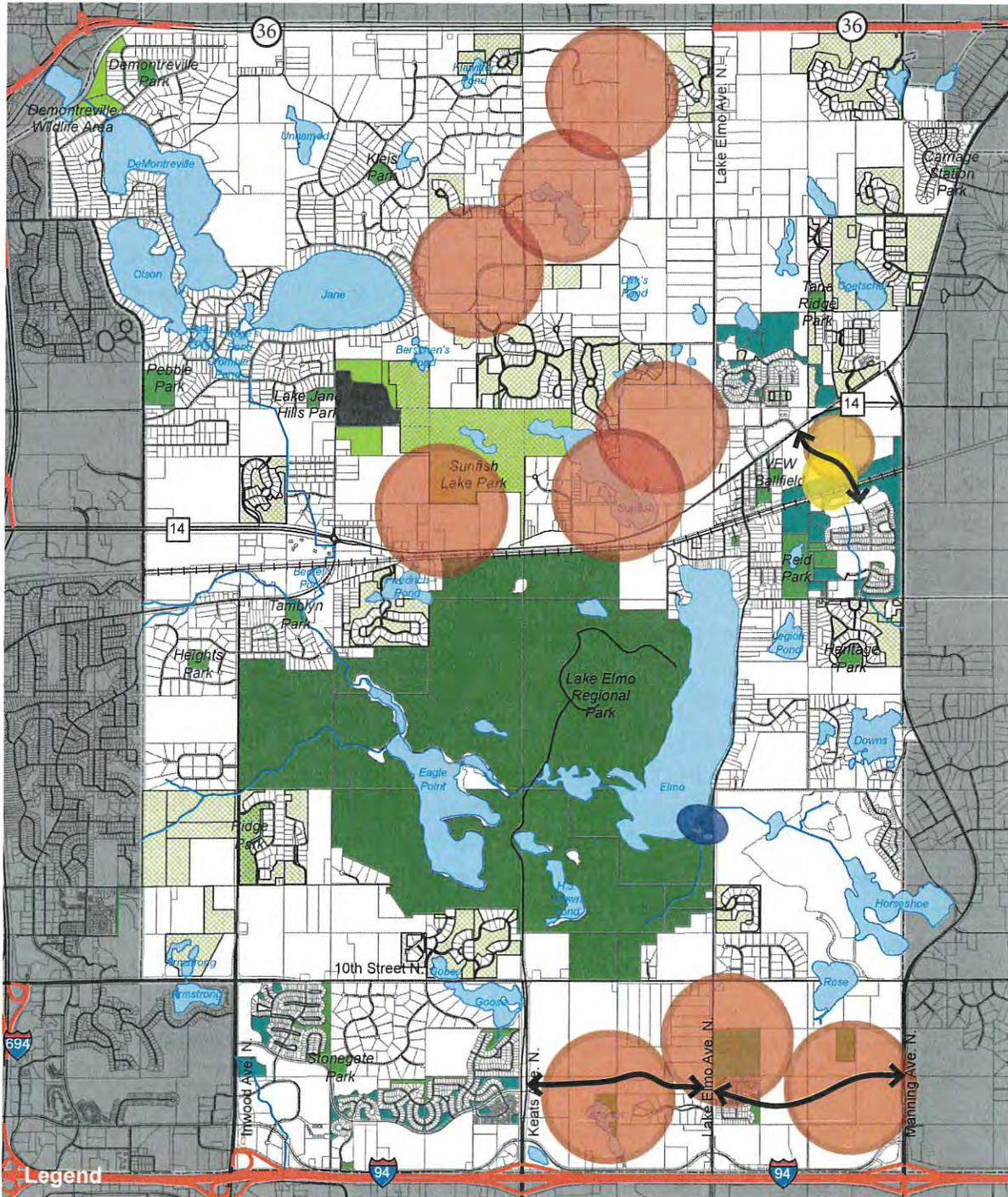
28

*PTOS Goal #4.* Protect and strengthen existing park facilities and program uses according to demands of residents that use the facilities, and plan for appropriate programming and facilities in new neighborhoods.

- Chapter 1: Vision, Goals & Strategies



MAP 6-10 SEARCH AREAS FOR NEW PARKS AND FACILITIES



**Legend**

- |                        |                |
|------------------------|----------------|
| Neighborhood           | Neighborhood   |
| Community              | Sports Complex |
| Regional               | Community      |
| NRPA                   | Special Use    |
| Conservation Easements |                |
| Closed Landfill NRPA   |                |

**Search Areas (2040)**

Future City Road (Parkway)

Source: MNGEO, Washington County, City of Lake Elmo  
Draft 3.26.2018



## Trail Plan

Throughout this planning process, residents, stakeholders, and Advisory Panel members expressed desire to focus on trail system improvements throughout the community. Repeatedly, it was communicated that there are wonderful walking trails internal to neighborhoods, but the City trail system feels disconnected and, in many places, unsafe.

This PTOS chapter does not attempt to specifically identify the side of the road a trail or sidewalk should be located or define the required types of improvements, but it does further expand the recommendations from those contained within the 2005 Trail System Plan to reflect changes in the City's land uses and development patterns since the Trail System Plan was adopted. Similar to the 2008 Parks System Plan, the City should update its 2005 Trail System Plan as a part of the implementation of this Plan for consistency and to provide an additional level of refinement to the City's objective of creating a connected trail system within the community.

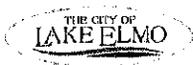
For purposes of the Future Trail Plan shown in Map 6-11, the following recommendations regarding the trails are provided:

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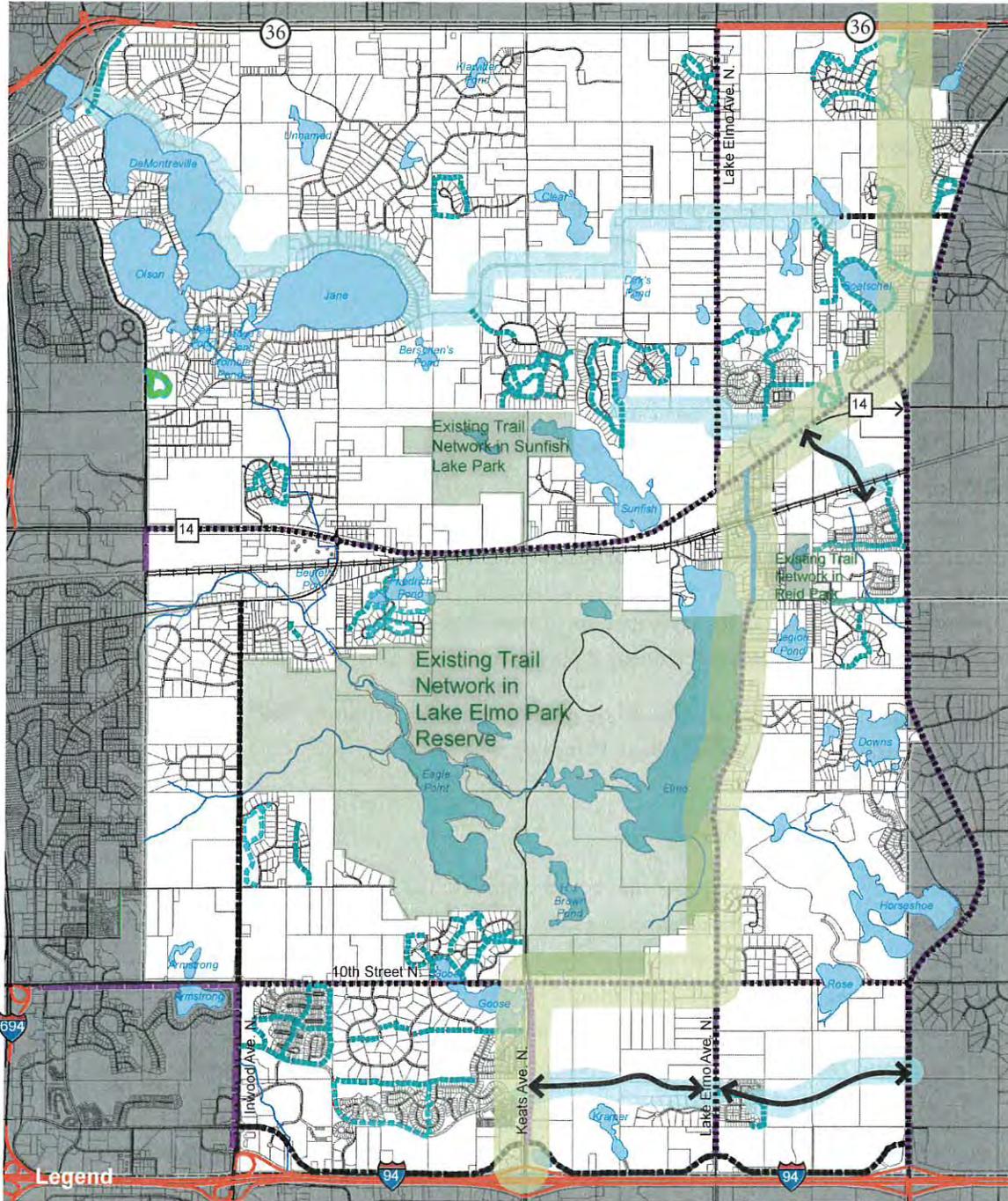
### Trails & Route Recommendations

To create a connected network of Parks, Trails, and Open Space, the City will focus on creating safe trails and/or routes on key north-south and east-west road corridors. Many, though not all, of these corridors are Washington County roadways, and the City will need to work collaboratively with the County to bring these plans to fruition. Through this planning process, many residents indicated that they do not feel safe walking or biking between neighborhoods, but for example, would like the opportunity to bike to the Lake Elmo Regional Park Reserve. While the City understands some of the improvements identified are likely out of its control, the intent is to demonstrate to future developers and agency partners that the City supports the creation of road-separated trails that connect through the City and to the greater region. A couple of the most important connections affecting the County Road system identified in this planning process include:

- Trail or route on CSAH 14 with access for pedestrians and bikers into the Lake Elmo Regional Park Reserve Trail System
- Trail or route along CSAH 10 (10th Street North)
- Trail or route full length of Manning Avenue North
- Trail or route the full length of CSAH 17 (Lake Elmo Avenue North)



MAP 6-11 Future Trail Plan



**Legend**

**Trails**

**Classification**

- Neighborhood Trail
- On Road Striped Shoulder
- Park Trail
- Road Separated Trail
- Sidewalk
- Trail Regional Search Corridor
- Trail Search Corridor (City)
- Future City Road (Parkway)

Source: MNGEO, Washington County, City of Lake Elmo  
 Draft 4.6.2018



On local streets, residents identified the following trail and intersection improvements that would benefit the system:

- East-west connection through the northern quarter of the community to provide access to the Gateway State Trail; this could be provided on local roadways with proper signage, and other cost-effective improvements
- Better pedestrian access between developing neighborhoods on the north side of CSAH 14 and the Old Village, including a safer access and intersection crossing

### Neighborhood Trails

Generally, feedback solicited through this process encouraged the City to plan for neighborhood trails in developing areas that are open to public use. While it is understood that many of the existing neighborhood trails are private, moving forward there is a desire to create neighborhood trails that provide connections between neighborhoods and to the greater region. At a minimum, trails located along public local roadways should be public and they should be planned to connect with adjacent neighborhoods. Specific recommendations include:

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- An off-road trail should be developed in conjunction with the new east-west parkway through the South Planning Area
- An off-road trail or sidewalk should be developed in conjunctions with the new Village Parkway through the Village Planning area.

### Trail/Route Improvements (Local & Regional)

In addition to key segments and areas that could complete the system and provide improved connectivity, the other most desired improvement was better wayfinding and communication to users about the system. As a part of the City's future efforts to improve the trail system, a wayfinding and communication package should be developed to encourage use of the system. If proper and uniform wayfinding system is implemented, pedestrians, bicyclists, and motorists will all understand the system more completely providing a safer and more connected system.

Further description and planning for these systems are also contained in the Transportation Chapter of this Plan which identifies the Regional Bicycle Transportation Network (RBTN) as a system providing mode options to residents and the greater region. In many cases, the RBTN will also help to complete the system, and provide access to the local and regional park system within the community, providing a variety of mode choice and options to the City's residents and workers.

## Greenway Corridors

This Chapter supports the development of greenway corridors and greenway loops that fully incorporate the trails proposed by the 2006 Trail System Plan. During the development of this Plan, discussion at Advisory Panel meetings and feedback solicited from residents and stakeholders focused on the desire to enhance connectivity within the park and trail system. Developing a greenway corridor that incorporates the trail system would provide a connected PTOS system that would unify rural residential and urbanizing areas with a common desire to maintain and promote green infrastructure throughout the City. The greenway corridors will have an added benefit of serving and enhancing existing local neighborhoods, while providing connections between new neighborhoods and rural landscapes. Greenway corridors would also help the City provide additional park land to serve local parks at a ratio of 11 acres per 1,000 people. South of 10th Street, the level of service guideline for a neighborhood parkway would contribute to the park land area that will be more densely-populated during the planning period.

The greenway corridors would also make good use of existing and proposed trails to create a unique route through the City and connect other green spaces. Where the trails have not yet been developed and where there is space for additional parkland acquisition, the greenway corridor could expand in width to allow for more significant landscaping, trees, and resting places. A recommended minimum width for a greenway corridor is 25 feet, although it would be optimal to construct at 50 to 100 feet wide so that it could include more natural settings and/or park amenities within the corridor. Conservation subdivisions with open space abutting the greenway corridors would provide users access to views of natural and rural landscapes.

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## Open Space/Green Network Plan

The parks, trails, open space, and natural areas within a community contribute significantly to the quality of life found within and the value and character of the landscape. The health of these features is greatly improved when the separate sites and destinations are brought together in a system-wide green network. Not only do connected green spaces allow for trail loops of various types and distances for community activity and outdoor recreation, they also allow for greater species movement and biodiversity for a healthier natural landscape.

An Open Space/Green Network refers to any land used for formal and informal recreation and play, preservation of natural areas, provision of green space (e.g. landscape buffers), as well as storm water management areas. This Plan proposes identifying an Open Space/Green Network for the City of Lake Elmo for the purpose of understanding the relationship of existing open space in the community and identifying where future added open space may contribute best to a connected system. Connection is key for benefiting sustainable ecological health for natural

areas especially where urban development is growing. The proposed Network therefore aims to provide an integrated approach to parks and natural resource planning and management of community open space to improve best utilize connected green space.

Both public and private land is beneficial to an Open Space/Green Network. Utilization of conservations easements are one way of protecting natural areas adjacent to developing neighborhoods and are typically held in private ownership. These lands may not be available for public trail use or access, but the protected open space and natural resource features within the easements contribute considerably to connected natural areas adjacent by improving high-quality habitat and the ecological health of the community as a whole.

It is not important for the City of Lake Elmo to maintain control over all the land within an Open Space/Green Network in order for the network to be a success. Land within the Network may be city-owned, state-owned, county-managed, or privately held by a local resident. The identifying key attribute of land contributing to the Network is land with long-term protected status for the purpose of natural resource management, preservation, or conservation. Map 6-12 illustrates the various types of land uses, protected areas, and easements that currently comprise area that can be the City's Open Space/Green Network. Portions of the network can be described as having active recreation uses, such as parks and trails, while other portions will remain under preservation, such as conservation easements or protected wetlands.

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As a culminating effort for implementation, future park, trails, and open space planning should focus on a connected network of places and corridors. Policies supporting development of an Open Space/Green Network should take a multi-jurisdictional or joint approach for management of the Network. This Plan identifies existing and proposed land contributing to a contiguous Open Space/Green Network with connection opportunities in Map 6-12 where new connections may include new parks, parkways, trails, greenway corridors or protected natural areas (easements).

*PTOS Goal #5.* Explore opportunities to improve the quality of degraded, but important, natural resources in the city (i.e. impaired lakes, streams and wetlands).

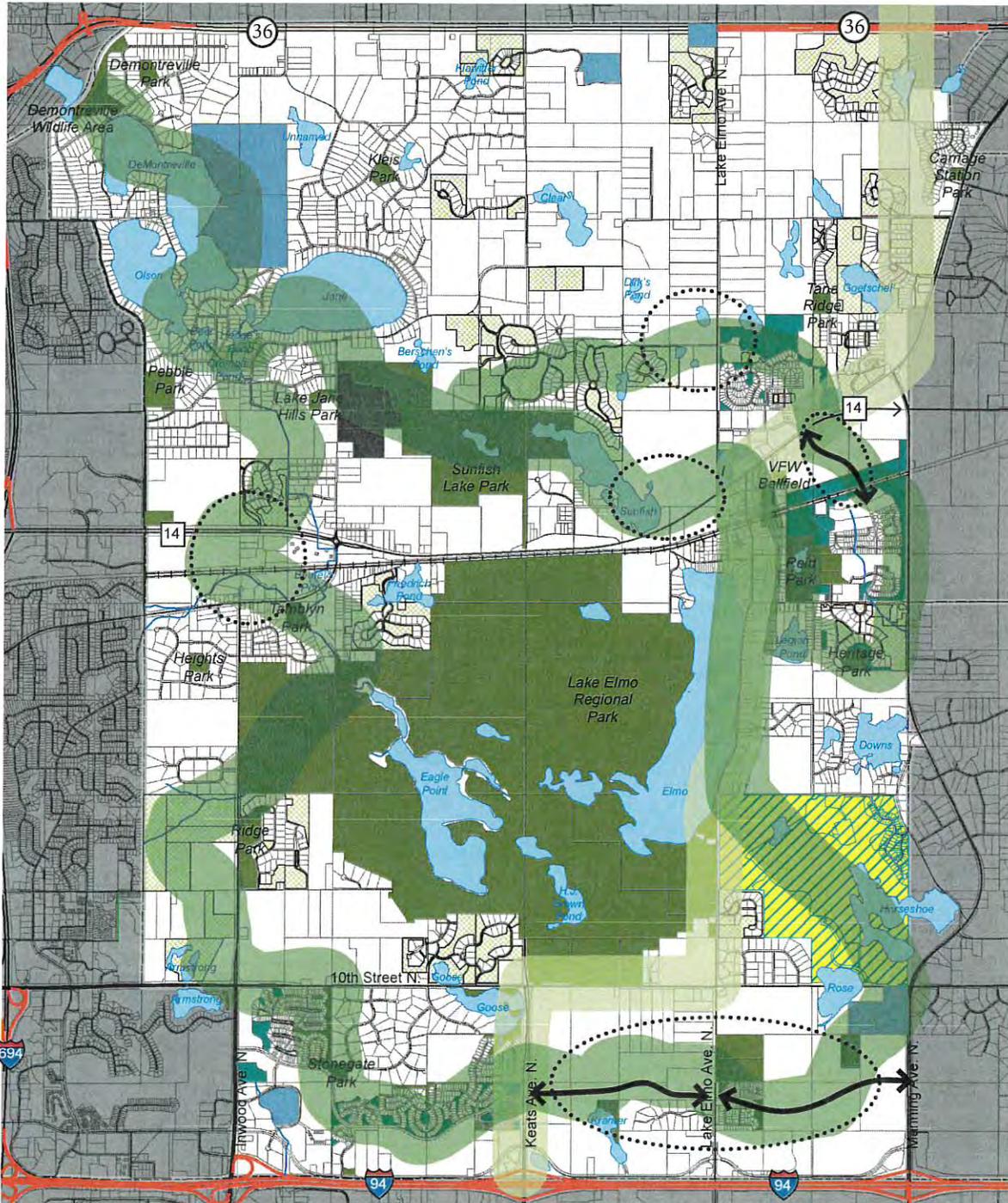
- Chapter 1: Vision, Goals & Strategies

*PTOS Goal #6.* Identify natural areas in the community that may warrant further investigation of potential protection as areas of the community develop.

- Chapter 1: Vision, Goals & Strategies



MAP 6-12 PROPOSED OPEN SPACE/GREEN NETWORK



**Legend**

- |                                |                 |                               |
|--------------------------------|-----------------|-------------------------------|
| Trail Regional Search Corridor | 2040FLU GC      | Greenways                     |
| Conservation Easements         | Closed Landfill | Potential Areas of Connection |
| Institutional                  | PSP             | Future City Road (Parkway)    |
| PSP                            |                 |                               |

Source: MNGEO, Washington County, City of Lake Elmo  
Draft 4.6.2018

