

**CITY OF LINO LAKES
PLANNING & ZONING BOARD MEETING**

Wednesday, January 11, 2017
6:30 p.m.
Council Chambers

Please be courteous and turn off all electronic devices during the meeting.

AGENDA

1. CALL TO ORDER AND ROLL CALL
2. APPROVAL OF AGENDA
3. APPROVAL OF MINUTES: December 14, 2016
4. OPEN MIKE
5. ACTION ITEMS
 - A. **PUBLIC HEARING:** Erickson Estates Comprehensive Plan Amendment,
Rezoning and Preliminary Plat
6. DISCUSSION ITEMS
 - A. 2017 Planning & Zoning Board Meetings
 - B. 2016 Year in Review
 - C. Project Updates
7. ADJOURN

City of Lino Lakes Planning & Zoning Board MEETING GUIDELINES

Open Mike – The purpose of a Board Meeting is to accomplish the business of the city. When presenting at a meeting please remember to be respectful, and follow these guidelines:

- Please address the meeting chair.
- State your name and address for the record.
- Please observe a 4-minute limit.
- The topic must relate to city business.
- Open Mike is for items not on the agenda.
- A spokesperson must represent a group of five or more – groups will have 8 minutes.
- The Presiding Officer may limit duplicative presentations.
- Remember, the meeting is to discuss city business only.

Public Hearing - Held as a separate item of business on the agenda. The public hearing segment is your opportunity to tell the Board how you feel about issues scheduled to be heard. Typically, a hearing follows these steps:

- The Presiding Officer (Chair or Vice-Chair) will announce the proposal to be reviewed and ask for the staff report. The presiding Officer shall maintain strict order and etiquette at all meetings.
- Staff will present their report on the proposal.
- Board members will then ask City Staff questions about the proposal.
- The Presiding Officer will then open up the public hearing for anyone present who wishes to comment on the proposal. This is the time for the public to make comments or ask questions about the proposal.
Comments should be limited to four (4) minutes unless further time is granted by the Presiding Officer. All comments should be directed to the Board as a body and not to any individual Board Member or City Staff Member unless permission is granted by the Presiding Officer. No person shall be permitted to enter into any discussion, either directly or through a member of the Board without the permission of the Presiding Officer.
- After everyone in the audience wishing to speak has given his/her comments, the Presiding Officer shall close the public hearing.
- The Board will then discuss the proposal. No further public comments are allowed.
- The Board will then make a recommendation(s) and/or a decision.

When you are called upon for your comments, please step to the microphone at the podium and state your name and address for the record.

Occasionally, the Board may continue a hearing to another meeting before taking action.

Meeting Etiquette

The Planning & Zoning Board must preserve order and decorum while the meeting is in session. A resident shall not, by conversation or otherwise, delay or interrupt the proceedings or the business of the Board, nor disturb any resident or Board Member while speaking or refuse to obey the orders of the Board.

**CITY OF LINO LAKES
PLANNING & ZONING BOARD MINUTES**

DATE	: December 14, 2016
TIME STARTED	: 6:35 P.M.
TIME ENDED	: 7:01 P.M.
MEMBERS PRESENT	: Lou Masonick, Perry Laden, Paul Tralle (Chair), Neil Evenson, Michael Root
MEMBERS ABSENT	: Dale Stoesz
STAFF PRESENT	: Katie Larsen, Michael Grochala

I. CALL TO ORDER AND ROLL CALL:

Chair Tralle called the Lino Lakes Planning and Zoning Board meeting to order at 6:35 p.m. on December 14, 2016.

II. APPROVAL OF AGENDA

The Agenda was approved as presented.

III. APPROVAL OF MINUTES:

November 09, 2016

Mr. Masonick made a MOTION to approve the November 09, 2016 Meeting Minutes. Motion was supported by Mr. Laden. Motion carried 4 - 0. (Tralle abstained)

IV. OPEN MIKE

Chair Tralle declared Open Mike at 6:36 p.m.

There was no one present for Open Mike.

Mr. Laden made a MOTION to close Open Mike at 6:37 p.m. Motion was supported by Mr. Masonick. Motion carried 4 - 0. (Tralle abstained)

DRAFT MINUTES

V. ACTION ITEMS

A. PUBLIC HEARING to consider Century Farm North 7th Addition Preliminary Plat and PUD Final Plan/Final Plat

Century Farm North is a residential Planned Unit Development (PUD) in northwest Lino Lakes and was approved in 2003. It includes a mix of housing styles including typical single family lots, single family airpark lots with hangars, single family detached townhomes (individual house lots located within a commonly owned yard lot) and attached townhomes.

The proposed Century Farm North 7th Addition is the final plat of the development. The project consists of 12 townhomes (2 buildings with 6 units each) and is consistent with the approved original 2003 PUD. The 1.2 acre parcel is legally described as Outlot C, Century Farm North 6th Addition and is located at the intersection of Morgan Lane and Robinson Drive.

Mr. Tralle recommended alternative exterior color pallets that will be complementary to the existing townhomes.

The owner Gary Uhde, 3157 Berwick Knoll Brooklyn Park, MN 55443 addressed the board. Mr. Uhde explained the process of the Century Farms North additions. He stated this will be the last addition, and the development will be complete. He expressed his gratitude toward the City.

Greg Johnson with Lino Lakes Townhomes, LLC, 6750 Stillwater BLVD N, Suite #200, Stillwater, MN 55082 addressed the Board. Mr. Johnson expressed his willingness to consider alternative exterior color pallets.

Chair Tralle declared the Public Hearing open at 7:52 p.m.

There was no one present to speak.

Mr. Landen made a MOTION to close the Public Hearing at 7:53 p.m. Motion was supported by Mr. Masonick. Motion carried 4-0. (Tralle abstained)

Mr. Root made a MOTION to recommend approval of Century Farm North 7th Addition Preliminary Plat and PUD Final Plan/Final Plat with the condition that alternative exterior color pallets be provided to City staff for review and approval.

Motion was supported by Mr. Laden.

Motion carried 4 - 0. (Tralle abstained)

VI. DISCUSSION ITEMS

A. Katie Larsen and Michael Grochala provided updates on various city projects.

VII. ADJOURNMENT

Mr. Root made a MOTION to adjourn the meeting at 7:01 p.m. Motion was supported by Mr. Evenson. Motion carried 4 - 0. (Tralle abstained)

Respectfully submitted,

Alex McKenzie
Community Development Intern

DRAFT

**PLANNING & ZONING BOARD
AGENDA ITEM 5A**

STAFF ORIGINATOR: Katie Larsen, City Planner

P & Z MEETING DATE: January 11, 2017

REQUEST: **PUBLIC HEARING**
Erickson Estates
1. Comprehensive Plan Amendment
2. Rezoning
3. Preliminary Plat

CASE NUMBER: CP2016-002
RZ2016-003
PP2016-007

APPLICANT: Joan and Dave Erickson
63 White Pine Road
Lino Lakes, MN 55014

REVIEW DEADLINE:

Complete Application Date:	December 09, 2016
60-Day Review Deadline:	February 07, 2017
120-Day Review Deadline:	April 08, 2017
Environmental Board Meeting:	January 25, 2017
Park Board Meeting:	NA
Planning & Zoning Board Meeting:	January 11, 2017
City Council Work Session:	February 06, 2017
City Council Meeting:	February 13, 2017

BACKGROUND

The applicant has submitted a land use application for Comprehensive Plan Amendment, Rezoning and Preliminary Plat. The proposed development is a 2 lot single family residential subdivision located at the northwest quadrant of White Pine Road and Baldwin Lake Road. The development contains one 4.38 gross acre parcel and is called Erickson Estates.

The Land Use Applications are:

- Comprehensive Plan Amendment
 - Amend the Future Land Use Map from Urban Reserve to Low Density Residential
 - Amend the Utility Staging Map from Stage 3 (Post 2030) to Stage 1A (2008-2015)
- Rezoning
 - R, Rural to R-1X, Single Family Executive
- Preliminary Plat

The following staff report is based on the following information:

- Preliminary Plat and Civil Plan Set prepared by Loucks, Inc. dated December 8, 2016
- Subsurface Geotechnical Assessment prepared by MTM Environmental, Inc. dated August 26, 2016
- Wetland Delineation Report prepared by Kjolhaug Environmental Services Company, Inc. dated September 30, 2016
- Comprehensive Amendment Form Submitted by Loucks with 2030 Future Land Use Map and 2030 Future Build Out Map

ANALYSIS

Existing Site Conditions

The 4 acre site is contains one single family home, wetlands, pond, mowed grassland and tree coverage. The house is connected to public water and sanitary sewer. The preliminary plat indicates Isanti sandy loams, peat and Zimmerman soils. Per the Subsurface Geotechnical Assessment, groundwater was not encountered in the boreholes. Minor construction limitations include the presence of topsoil that will need to be cut and filled. The Rice Creek Chain of Lakes Regional Park Reserve abuts the property to the north.

Comprehensive Plan

Erickson Estates is consistent with the goals and policies of the comprehensive plan in regards to resource management, land use, housing, transportation and utilities.

Resource Management System Plan

The Resource Management System Plan provides the conservation design framework for the Comprehensive Plan and promotes sustainable decisions regarding growth and development. It provides a unified system approach to natural resource management and natural resource based amenities.

Goals of the Resource Management System Plan include:

- **Parks, Trails, Open Space and Recreation**
 - Goal #3: Develop, maintain, and connect the current and proposed trails in the City of Lino Lakes and Rice Creek Regional Park in a manner that preserves and sustains the natural environment.

- **Natural Resources and Amenities**
 - Goal #1: Identify, protect and preserve the desirable natural areas and ecological and aquatic resources of the community.

- **Land Use Policies**
 - Goal #1: Ensure that well-planned, quality residential, commercial, industrial and institutional development to accommodate the city's projected growth needs occurs in a manner that also conserves and enhances the city's natural resources and amenities.

The Resource Management System Plan identifies the following in the area:

- Proposed trail
- Greenway system connectivity

A future trail north-south through the Regional Park is indicated on the future park plan and Resource Management Plan. Erickson Estates does not negatively impact these plans.

The greenway corridor extends into the north portion of the parcel incorporating the wetland and floodplain areas. This corridor will be preserved with a conservation easement.

Land Use Plan

Goal 2: Ensure that zoning and subdivision ordinances and official maps are consistent with the intent and specific direction provided within the Comprehensive Plan.

Policies:

1. Ensure developers meet the standards specified within the land-use plan and official controls, including zoning and subdivision ordinances and official maps.
2. Ensure compatibility of adjacent land uses.

Erickson Estates is proposing a comprehensive plan amendment to re-guide the property from urban reserve to low density residential and to change the Utility Staging Map from Stage 3 (Post 2030) to Stage 1A (2008-2015). This will be consistent and compatible with the properties immediately to the east of the subject site because they are guided low density residential and within Stage 1A. The existing house at 63 White Pine Road is

currently connected to municipal water and sanitary sewer which is more consistent with low density development and proposed 1A utility staging area.

The property will also be rezoned from R, Rural to R-1X, Single Family Executive. This will be compatible with to the parcels to the east and southeast that are currently zoned R-1X.

Density and Land Area Calculations

The following chart implements Met Council’s formula for calculating net density.

Gross Area (acres)	4.38
Wetlands & Water Bodies	0.46
Public Parks & Open Space	0.00
Arterial ROW	0.00
Other (Wetland Buffer Conservation Easement)	TBD
Net Area (acres)	TBD
# of Units	2
Gross Density (units/acre)	0.46
Net Density (units/acre)	TBD

Erickson Estates meets the land use goals of low density residential development by creating a 2 lot subdivision with one lot containing the existing home and the second lot intended for the construction of another single family residential home connected to municipal utilities. Although low density residential development allows for 1.6 to 3.9 units per net acre, the proposed 0.46 units per gross acre is more consistent with low density residential development connected to municipal services than urban reserve at 1 unit per 10 acres on private well and septic.

Comments:

1. The area of the wetland buffer conservation easement shall be provided.

Housing Plan

Goal 1: Ensure housing development is compatible with existing and adjacent land uses and provides accessibility to key community features and natural resources.

Erickson Estates meets the goals of the housing plan. The development is compatible with the existing and adjacent residential homes and Anoka County Regional Park.

Transportation Plan

Goal 1: Plan for and achieve required street improvements and connectivity throughout the City of Lino Lakes.

A 60 foot wide Road Easement Per Book 269, Page 189 dedicated to Anoka County in 1952 exists along the south and west portion of the property. This easement also extends the length of Baldwin Lake Road to the south and to Baldwin Lake to the north.

This easement will remain in place and the City will require public right-of-way be dedicated on the plat to ensure access to the parcel to the west.

Existing Transportation System

White Pine Road and Baldwin Lake Road are classified as minor collector roads and can adequately handle capacity for one more single family home.

Sanitary Sewer Plan

Goals of the sanitary sewer plan are to ensure well-planned, quality residential development that conserves and enhances the city's natural resources and to provide an affordable and safe sanitary sewer system.

The subject site is located in Sanitary Sewer District 1 (Sub-district 1A) and is served by MCES Lift Station L69. An 8" PVC sanitary sewer main extends along White Pine Road.

The sanitary system has capacity to handle 1 single family home.

A Comprehensive Plan Amendment is required to change the Utility Staging Map from Stage 3 (Post 2030) to Stage 1A (2008-2015).

Water Supply Plan

A goal of the water supply plan is to provide residents affordable potable water that is safe and of high quality for daily consumption and fire demand.

The subject site is served by a 6" DIP watermain along White Pine Road and Baldwin Lake Road.

The water supply system has capacity to handle 1 single family home.

Planning Districts

The site is located in Planning District 1 and is guided for low density residential development. There are no specific planning recommendations for this site. The site is located within both the Baldwin Lake and Middle Rice Creek resource management units (RMU).

Comprehensive Plan Amendment

A Comprehensive Plan Amendment is required to amend the Future Land Use Map from Urban Reserve to Low Density Residential and to amend the Utility Staging Map from Stage 3 (Post 2030) to Stage 1A (2008-2015). Notices were mailed to the City of Circle Pines, Anoka County Parks Department, Centennial School District and Rice Creek Watershed District on December 20, 2016.

The detailed Findings of Fact are listed at the end of this staff report.

Zoning

Current Zoning	R, Rural
Current Land Use	Rural Residential
Future Land Use per CP	Urban Reserve (CPA to change to Low Density Residential (1.6 to 3.9 units per acre))
Utility Staging Area	3 = Post 2030 (CPA to change to 1A=2008-2015)

Surrounding Zoning and Land Use

Direction	Zoning	Current Land Use	Future Land Use
North	PSP, Public & Semi-Public	Regional Park	Parks/Open Space
South	R, Rural	Vacant Rural Residential	Urban Reserve
East	R-1X	Single Family Residential	Low Density Residential
West	R, Rural	Rural Residential	Urban Reserve

Zoning Requirements

	Required per R-1X	Lot 1	Lot 2
Min. Lot Size (upland)	12,825 s.f.	133,087 s.f. (3.06 acres)	54,127 s.f. (1.24 acres)
Min. Lot Width	90 feet (interior lot) 115 feet (corner lot)	180 feet (corner lot)	100 feet (interior lot)
Min. Lot Depth	135 feet	500+ feet	500+ feet
Building Setback (feet)¹			
-From Streets²	Local = 30 feet	55 feet (east) 10 feet ³ (south)	NA
	Collector = 40 feet	NA	60 feet
-Rear			
--Principal	30 feet	470+ feet	400+ feet
-- Accessory	5 feet	100 feet	TBD
-Side			
--Principal	10 feet	70 feet	12 & 16 feet
--Accessory	5 feet	90 feet	TBD
Buffer Adjacent to Collector	15 foot	NA	NA
Impervious Surface			
--Outside Shoreland District	40%	Reviewed at building permit	Reviewed at building permit
--Within Shoreland District	30%	Reviewed at building permit	Reviewed at building permit

¹ Setbacks are measured from Highway Easement.

² White Pine Road to Baldwin Lake Road is a collector road. The Highway Easement along Lot 1 shall be considered a local road for setback purposes.

³ The existing house was built in 1972 and is considered a legal non-conforming structure.

Comments:

1. Lot areas shall be revised to not include the area of the Highway Easement/platted right-of-way lines.

2. The preliminary plat shall show lot widths and building setbacks measured to the Highway Easement/platted right-of-way lot line.
3. The lot lines shall extend straight north-south to the Highway Easement/platted right-of-way.

Building Requirements

At the time of building permit, each individual single family dwelling unit will be reviewed for compliance regarding floor area, garage and design and construction standards.

Comment:

1. It should be noted on the preliminary plat that the angle of the proposed house on Lot 2 limits any future driveway access to the rear yard.

Subdivision Ordinance

Conformity with the Comprehensive Plan and Zoning Code

The preliminary plat is consistent with the amended comprehensive plan for low density residential development and zoning code requirements for R-1X, Single Family Executive as discussed above.

Per Section 1001.076(2), any subdivision that results in the creation of one or more sewered residential lots shall be platted in full compliance with preliminary plat and final plat requirements and therefore it is not a minor subdivision.

Blocks and Lots

The preliminary plat contains Lot 1 and Lot 2, Block 1 and no outlots.

Per Chapter 1001: Subdivision Ordinance:

Section 1007.007 Definitions:

LOT FRONTAGE. The narrowest lot boundary abutting a public street that meets minimum lot width requirements. If none of the boundaries abutting a public street meet minimum lot width requirements, then the lot frontage is the widest boundary abutting a street.

LOT LINE, FRONT. The lot line separating a lot from the street right-of-way along the lot frontage.

LOT WIDTH. The horizontal distance between the side lot line of a lot measured at the front building setback line and parallel to the front lot line. If the front lot line is

curved, such as on a cul-de-sac, the lot width is measured along a line parallel to a tangent to the front lot line.

RIGHT-OF-WAY. A strip of land occupied or intended to be occupied by a street, railroad, road, electric transmission line, oil or gas pipeline, water main, sanitary or storm sewer main, or for another special use. The usage of the term ***RIGHT-OF-WAY*** for land platting purposes shall mean that every ***RIGHT-OF-WAY*** hereafter established and shown on a final plat is to be separate and distinct from the lots or parcels adjoining the ***RIGHT-OF-WAY*** and not included within the dimensions or areas of the lots or parcels. ***RIGHT-OF-WAY*** intended for streets, water mains, sanitary sewers, storm drains or any other use involving maintenance by a public agency shall be dedicated to public use by the recording of the plat on which the ***RIGHT-OF-WAY*** is established.

Section 1001.098 Lots:

(4) *Width*. Every lot must have the minimum width measured at the minimum front yard setback and at the setback from the OHWL of an abutting lake or stream and extending to the location of the principal building.

(5) *Lot frontage*. All lots shall have frontage on an improved public street that provides the required lot width at the minimum front yard setback, except multi-family or planned unit developments that provide access via private roads or drives. Flag lots are prohibited.

A 60 foot wide Highway Easement (shown on the preliminary plat as Road Easement Per Book 269, Page 189) was conveyed to Anoka County for roadway purposes in 1952. This easement exists along the south and west boundary of the subject property and also continues south along Baldwin Lake Road. It should be noted there is a 10 foot gap between the road easement and property line along the south boundary.

Per definition, the lot width is measured at the front building setback line and parallel to the front lot line. The front lot line separates the lot from the street right-of-way. In this case, the street right-of-way is the 60 foot Highway Easement; therefore the lot width is measured from the Highway Easement.

Lot 1 is a corner lot and requires a minimum 115 feet of lot width along the south Highway Easement. The proposed lot width is 185 feet. Lot 2 is an interior lot and requires a minimum 90 feet of lot width along the south Highway Easement. The proposed lot width is 100 feet. Both lots meet lot width requirements.

Section 1001.098(5) requires all lots to have frontage on an improved public street that provides the required lot width at the minimum front yard setback. The existing R, Rural zoned parcel is a substandard lot because it is less than 10 acres and it technically does not have frontage on an improved street. The required lot width for an R, Rural parcel is 330 feet and that lot width and frontage is only met along the west lot line not the south lot line. The west lot line; however, does not have frontage on an improved street.

The proposed subdivision and re-zoning creates 2 parcels that both meet lot size and lot width requirements along the south lot line. Although Lot 1 will not have frontage on an improved public street, it will continue to be accessed via a private driveway along the public Highway Easement as it always has since the 1970's. Lot 2 will have frontage on the improved White Pine Road.

Staff discussed with Anoka County Parks Department the Highway Easement and the County expressed an interest to have the right-of-way platted. The City will require the right-of-way be platted for public use for drainage, utilities and trail corridor purposes.

Comments:

1. Right-of-way shall be platted along the south boundary over the 60 foot Highway Easement and the gap between the easement and property boundary.
2. Right-of-way shall be platted along the west property line over the 30 foot Highway Easement.
3. Lot 1 and Lot 2 lot lines shall be extended straight north-south to the Highway Easement/platted right-of-way.

Streets and Alleys

A 60 foot wide Highway Easement (shown on the preliminary plat as Road Easement Per Book 269, Page 189) was conveyed to Anoka County for roadway purposes in 1952. This easement exists along the south and west boundary of the subject property and also continues south along Baldwin Lake Road. It should be noted there is a 10 foot gap between the road easement and property line along the south boundary.

White Pine Road and Baldwin Lake Road are classified as minor collector roads and can adequately handle capacity for one more single family home.

No street improvements are required.

Easements

Standard drainage and utility easements at least 10 feet wide shall be provided along all lot lines. The wetland is being protected by an easement that includes a 10 foot buffer extending outward from the delineated wetland boundary. A conservation easement as required by RCWD is being dedicated over the wetland management corridor along the north wetland complex.

Comments:

1. The preliminary plat shall be revised to show the drainage and utility easements on the interior of the lot lines.

Storm Water Management and Erosion and Sediment Control

Per the submitted Grading, Drainage & Utility Plan Sheet 2, drainage appears to occur on site. No stormwater management facilities are proposed. The City Engineer will review and comment on plan.

Utilities

Sanitary Sewer

An 8” PVC sanitary sewer main along White Pine Road serves both Lots 1 and 2. A sanitary service is already stubbed in for Lot 2 and 55 White Pine Road. Future development to the west of Lot 1 may require a small lift station due to the depth of the existing sanitary sewer main.

Watermain

A 6” DIP watermain along White Pine Road and Baldwin Lake Road serves both Lots 1 and 2. A water service is already stubbed in for Lot 2 and 55 White Pine Road.

Public Land Dedication

The Park, Natural Open Space, Greenways and Trail System Plan does not indicate a future neighborhood park within the area. The City is requiring cash in lieu of land dedication for the new lot. Fees will be based on the 2016 fee schedule.

Erickson Estates	
1 lot x \$2,500 =	\$2,500

Tree Preservation

The goal of tree preservation is to minimize unnecessary loss of habitat, biodiversity and forest resource and to replace removed trees in areas where tree cover is most critical. The Grading, Drainage & Utility Plan, Sheet 2 identifies the basic use area (BUA), tree protection area and tree removal. The BUA is not located within any environmentally sensitive areas (ESA). Currently, there are 16 trees proposed for removal. Since these trees are located within the BUA and are outside of the ESA, no tree mitigation is required.

Landscaping

No boulevard trees or open space landscaping are required

Environmental Assessment Worksheet (EAW)

An Environmental Assessment Worksheet is not mandated. The 2 unattached residential units are under the 250 unattached unit thresholds.

Wetlands

A Wetland Delineation Report was prepared by Kjolhaug Environmental Services Company, Inc. on September 20, 2016. A WCA Notice of Decision for Application Number 16-121R was issued by RCWD on October 4, 2016.

According to the report, two (2) wetlands were identified on the subject site. Per the preliminary plat, the total combined wetland area is 0.21 acres.

The site is located within in the RCWD Wetland Management Corridor (WMC). A conservation easement covering an average 50 foot wide wetland buffer is required along the north wetland.

Comments:

1. The required WMC 50 foot buffer area and the proposed WMC buffer area shall be provided.

Floodplain

The DFIRM indicates a Zone AE floodplain along the northern portion of the subject site with a base flood elevation of 887. There are no floodplain impacts proposed.

Shoreland Management Overlay

The site is located in a Shoreland Management Overlay district. Baldwin Lake is a classified as a Recreational Lake and has an 883.1 OWHL elevation. A setback of 150 feet from the OHWL is required for all primary and accessory structures. Impervious surface coverage of 30% applies to all lots within the overlay district.

The 150 foot setback from the OHWL does not encroach onto Lot 1 or Lot 2 of the proposed development so is not an issue. Impervious surface coverage will be reviewed with the building permit but given the large size parcels, impervious coverage should not be an issue.

Final Plat

A land use application for final plat and Development Agreement shall be required.

FINDINGS OF FACT

Comprehensive Plan Amendment

Per page 3-26 of the 2030 Comprehensive Plan, the following criteria will be used to determine if the city should allow a specific development to occur early in a ten-year staging area.

- a. The proposed development must be located within both the current and the next ten year staging area, or five-year phase, or located adjacent to the current staging area.

The 4.4 acre subject site is adjacent to the Stage 1A (2008-2015) Utility Staging Area. The existing home located at 63 White Pine Road is currently connected to municipal sanitary sewer. The newly created parcel will be served by municipal water and sanitary sewer.

- b. The proposed development must be master planned. Small, piecemeal developments do not justify redefining the ten-year staging area, or five-year phase.

A master build out plan (ghost plat) indicates the parcel could be further subdivided into 3 more parcels in the future. If subdivided, these parcels would require municipal water and sanitary sewer. A small sanitary lift station may be required for future development as well due to the depth of the main.

- c. The proposed, master planned project must provide discernable public values.

Per the Comprehensive Plan, Goal #1, Policy #5 of the Land Use Plan defines the following discernable public values:

- i. *Preserving open space, providing park dedication and trails, and/or providing stormwater management areas, in excess of minimum standards to implement the Resource Management System Plan, as amended, and Rice Creek Watershed District's Lino Lakes Resource Management Plan, as amended*
- ii. *Restoring/enhancing ecological systems*
- iii. *Providing infrastructure that benefits community beyond the project site that would otherwise not be financially feasible.*

Erickson Estates will preserve open space and enhance the ecological system by dedicating a conservation easement over the wetland management/ greenway corridor. Park dedication fees will be collected. Right-of-way will be platted and drainage and utility easements will be dedicated to preserve a corridor to extend public utilities in upon future development.

- d. Adequate infrastructure must be available to support development. Appropriate

analysis will determine if adequate infrastructure is available and what utility extensions and transportation improvements are required to support new development.

The City Engineer reviewed the existing infrastructure and determined it is adequate for the addition of one single family home. White Pine Road and Baldwin Lake Road are classified as minor collector roads and can adequately handle capacity for one more single family home.

- e. There must be a commitment that the development will pay its proportionate share of infrastructure improvement costs associated with development.

The developer will be responsible for any trunk fees associated with the project. No new utility or street improvements are required.

Rezoning

Per Section 1007.015(5), the Planning and Zoning Board shall consider possible adverse effects of the proposed amendment. Its judgement shall be based upon, but not limited to, the following factors:

(a) The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Plan.

Erickson Estates is consistent with the official City Comprehensive Plan with the proposed amendments as detailed in this staff report.

(b) The proposed use is or will be compatible with present and future land uses of the area.

Erickson Estates is compatible with present and future land uses of the area. Land uses surrounding the subject site are guided for low density residential development, urban reserve and parks.

(c) The proposed use conforms with all performance standards contained herein.

Erickson Estates conforms will all performance standards as detailed in this staff report.

(d) The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.

Erickson Estates can be accommodated with existing public services. The proposed one single family home will not overburden the City's service capacity for either water or sanitary sewer.

(e) Traffic generation by the proposed use is within capabilities of streets serving the property.

Traffic generated by Erickson Estates and the proposed single family home is within capabilities of the streets serving the property. White Pine Road and Baldwin Lake Road are minor collector roads.

Preliminary Plat

Per Section 1001.013, Premature Subdivision:

(1) *General.* Any concept plan, preliminary plat or final plat deemed premature pursuant to the following criteria shall be denied by the City Council.

(2) *Conditions for establishing a premature subdivision.* A subdivision may be deemed premature should any of the following conditions not be met.

(a) *Consistency with the Comprehensive Plan.* Including any of the following:

1. Land use plan;
2. Transportation plan;
3. Utility (sewer and water) plans;
4. Local water management plan;
5. Capital improvement plan; and
6. Growth management policies, including MUSA allocation criteria.

Erickson Estates is consistent with the goals and policies of the comprehensive plan in regards to resource management, land use, housing, transportation and utilities as detailed in this staff report. The development is also consistent with the local water management plan, capital improvement plans and growth management policies.

(b) *Consistency with infill policies.* A proposed urban subdivision shall meet the city's infill policies:

1. The urban subdivision must be located within the Metropolitan Urban Service Area (MUSA) or the staged growth area as established by the city's Comprehensive Plan;
2. The cost of utilities and street extensions must be covered by one or more of the following:
 - a. An immediate assessment to the proposed subdivision;
 - b. One hundred percent of the street and utility costs are privately financed by the developer;
 - c. The cost of regional and/or oversized trunk utility lines can be financed with available city trunk funds; and
 - d. The cost and timing of the expenditure of city funds are consistent with the city's capital improvement plan.

3. The cost, operation and maintenance of the utility system are consistent with the normal costs as projected by the water and sewer rate study; and
4. The developer payments will offset additional costs of utility installation or future operation and maintenance.

Erickson Estates is consistent with infill policies. With an approved Comprehensive Plan Amendment, the development will be within the current Utility Staging Area IA=2008-2015. No new utility or street extensions are required. The cost, operation and maintenance of the utility system is consistent with the normal costs projected by the water and sanitary system plans. No future utility costs are proposed.

(c) *Roads or highways to serve the subdivision.* A proposed subdivision shall meet the following requirements for level of service (LOS), as defined by the Highway Capacity Manual:

1. If the existing level of service (LOS) outside of the proposed subdivision is A or B, traffic generated by a proposed subdivision will not degrade the level of service more than one grade;
2. If the existing LOS outside of the proposed subdivision is C, traffic generated by a proposed subdivision will not degrade the level of service below C;
3. If the existing LOS outside of the proposed subdivision is D, traffic generated by a proposed subdivision will not degrade the level of service below D;
4. The existing LOS must be D or better for all streets and intersections providing access to the subdivision. If the existing level of service is E or F, the subdivision developer must provide, as part of the proposed project, improvements needed to ensure a level of service D or better;
5. Existing roads and intersections providing access to the subdivision must have the structural capacity to accommodate projected traffic from the proposed subdivision or the developer will pay to correct any structural deficiencies;
6. The traffic generated from a proposed subdivision shall not require city street improvements that are inconsistent with the Lino Lakes capital improvement plan. However, the city may, at its discretion, consider developer-financed improvements to correct any street deficiencies;
7. The LOS requirements in divisions (2)(c)1. to 4. above do not apply to the I-35W/Lake Drive or I-35E/Main St. interchanges. At city discretion, interchange impacts must be evaluated in conjunction with Anoka County and the Minnesota Department of Transportation, and a plan must be prepared to determine improvements needed to resolve deficiencies. This plan must determine traffic generated by the subdivision project, how this traffic contributes to the total traffic, and the time frame of the improvements. The plan also must examine financing options, including project contribution and cost sharing among other jurisdictions and other properties that contribute to traffic at the interchange; and
8. The city does not relinquish any rights of local determination.

Erickson Estates meets the requirements for level of service (LOS). White Pine Road and Baldwin Lake Road are classified as minor collector roads. The existing roads and intersections providing access to the development have structural capacity to

accommodate the projected traffic from one new single family home. No street improvements are proposed that are inconsistent with the City's capital improvement plan. The city does not relinquish any rights of local determination.

- (d) *Water supply.* A proposed subdivision shall be deemed to have an adequate water supply when:
1. The city water system has adequate wells, storage or pipe capacity to serve the subdivision;
 2. The water utility extension is consistent with the Lino Lakes water plan and offers the opportunity for water main looping to serve the urban subdivision;
 3. The extension of water mains will provide adequate water pressure for personal use and fire protection; and
 4. The rural subdivision can demonstrate that each of the proposed lots can be provided with a potable water supply.

Erickson Estates will have an adequate water supply. A 6" DIP watermain along White Pine Road and Baldwin Lake Road serves both Lots 1 and 2. A water service is already stubbed in for Lot 2. The City's water system has capacity to accommodate one new single family home.

- (e) *Waste disposal systems.* A proposed subdivision shall be served with adequate waste disposal systems when:
1. The urban sewer subdivision is located inside the city's MUSA or is consistent with the MUSA allocation criteria;
 2. The city has sufficient MUSA and pipe capacity to serve the subdivision if developed to its maximum density;
 3. The subdivision will result in a sewer extension consistent with Lino Lakes sewer plan and capital improvement plan;
 4. A rural subdivision can demonstrate that each lot can be served by an adequate sanitary sewer disposal system; and
 5. A rural subdivision with a proposed communal sanitary sewer or water system has an effective long range management and maintenance program with proper financing.

Erickson Estates will be served with an adequate waste disposal system. With an approved Comprehensive Plan Amendment, the development will be within the current Utility Staging Area 1A=2008-2015. The sanitary sewer system has capacity to accommodate one new single family home.

RECOMMENDATION

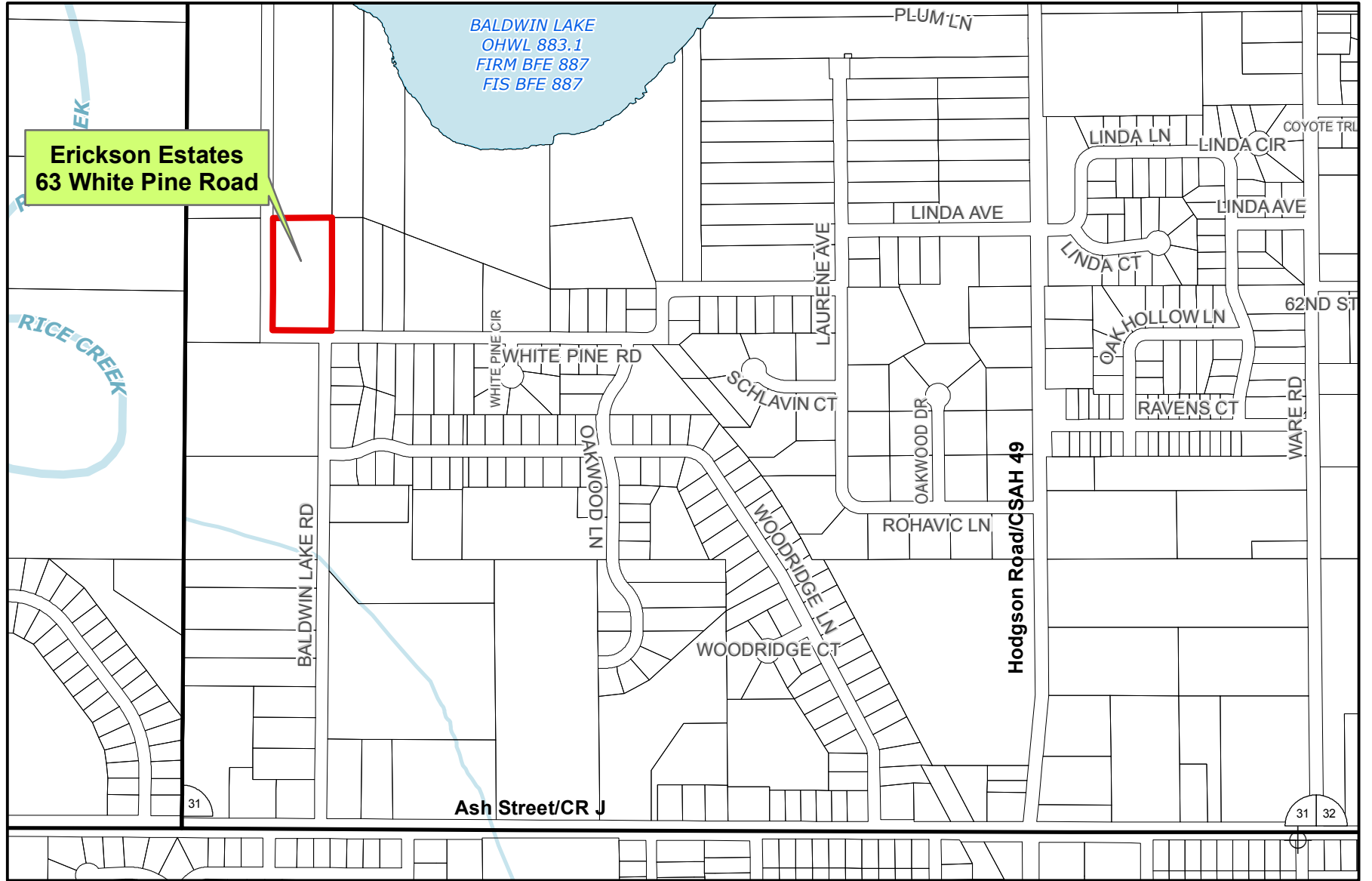
Staff recommends approval Comprehensive Plan Amendment, Rezoning and Preliminary Plat for Erickson Estates subject to the following conditions:

1. Comments from WSB Plan Review Letter dated January 5, 2017 shall be addressed.

2. Comments from the Environmental Coordinator letter dated January 5, 2017 shall be addressed.
3. Separate plan sheets with information as required by the Preliminary Plat Checklist shall be submitted for each of the following:
 - a. Certificate of Survey
 - b. Resource Inventory
 - c. Preliminary Plat
 - d. Preliminary Grading, Drainage and Erosion Control Plan
 - e. Preliminary Utility Plan
 - f. Tree Preservation & Mitigation Plan
4. Sheet 1, Preliminary Plat:
 - a. Right-of-way shall be platted along the south boundary over the 60 foot Highway Easement and the gap between the easement and property boundary.
 - b. Right-of-way shall be platted along the west property line over the 30 foot Highway Easement.
 - c. Lot 1 and Lot 2 lot lines shall be extended straight north-south to the Highway Easement/platted right-of-way.
 - d. Lot areas shall be revised to not include the area of the Highway Easement/platted right-of-way.
 - e. The preliminary plat shall show lot widths and building setbacks measured to the Highway Easement/platted right-of-way lot line.
 - f. It should be noted on the preliminary plat that the angle of the proposed house on Lot 2 limits any future driveway access to the rear yard.
 - g. The drainage and utility easements shall be shown on the interior of the lot lines.
 - h. The required WMC 50 foot buffer area and the proposed WMC buffer area shall be provided.
5. Sheet 2, Grading, Drainage & Utility Plan:
 - a. The plan sheet shall be titled Grading, Drainage and Erosion Control Plan.
 - b. Drainage arrows shall be provided.
 - c. The total square footage of disturbance and proposed impervious surface area shall be provided.

ATTACHMENTS

1. Site Location Map
2. Aerial Map
3. Future Land Use Map
4. Zoning Map
5. City Engineer Letter dated January 5, 2017
6. Environmental Coordinator Letter dated January 5, 2017
7. Preliminary Plat and Civil Plan Set prepared by Loucks, Inc. dated December 8, 2016



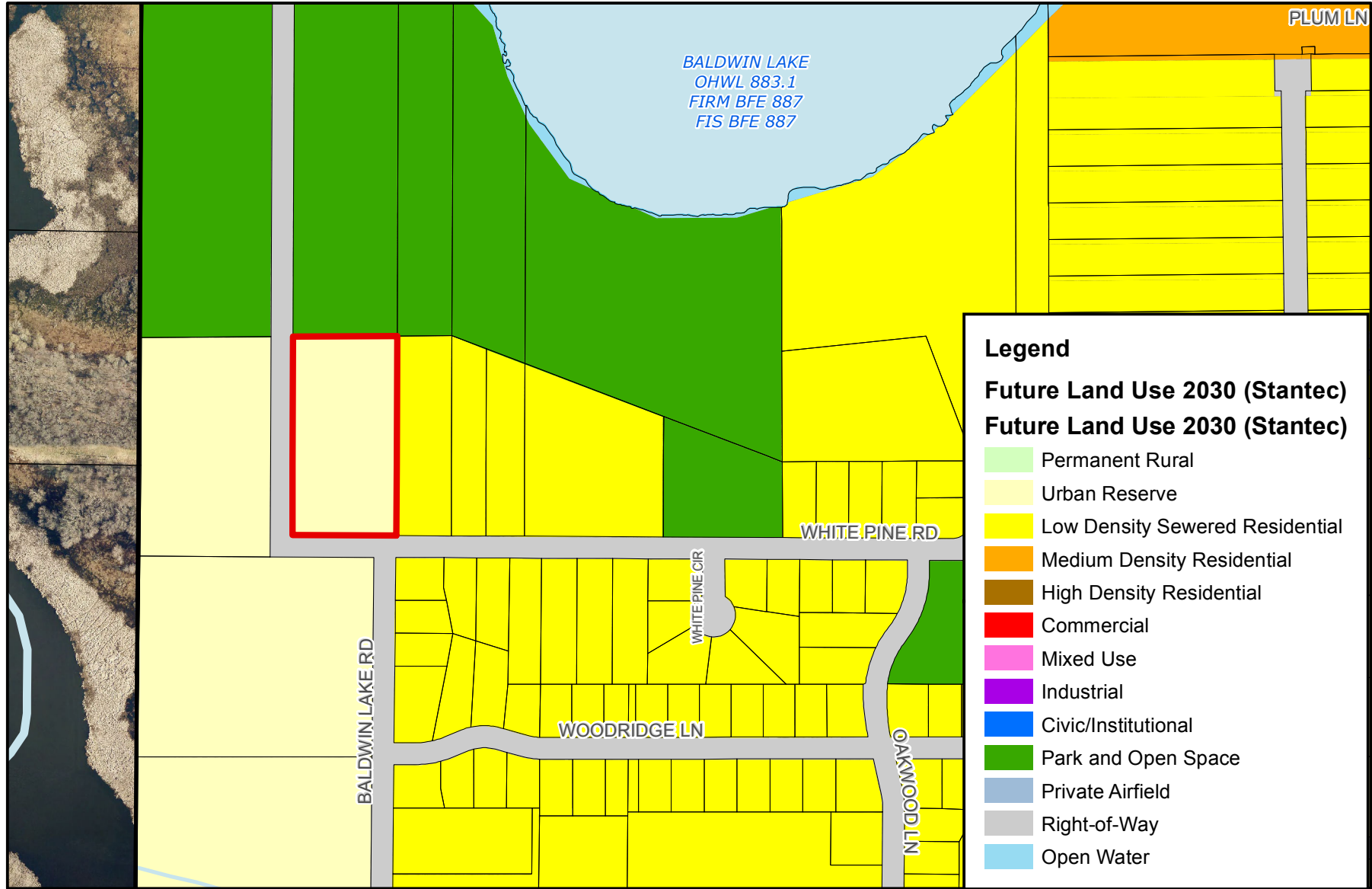
Site Location Map



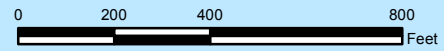


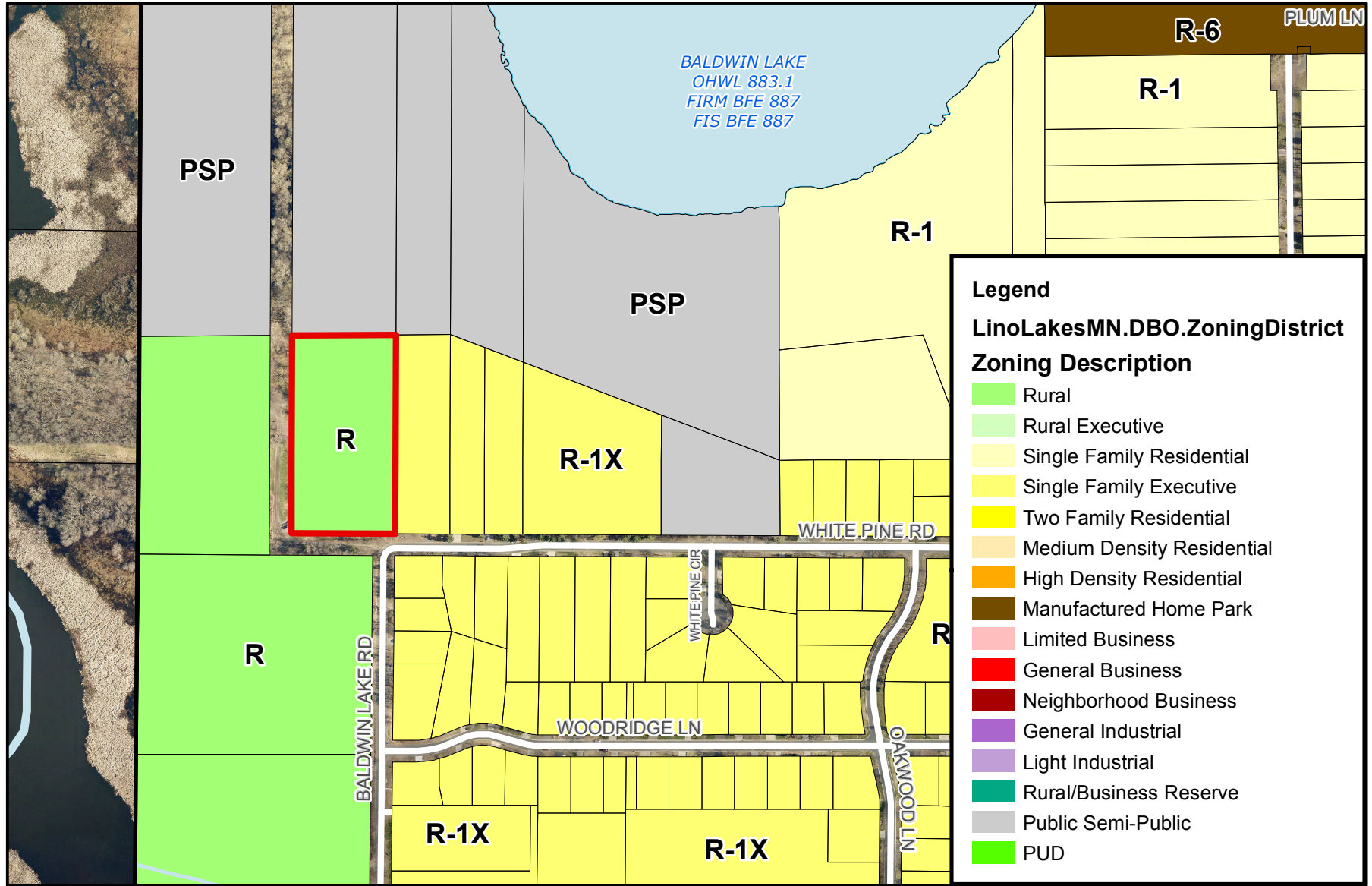
Aerial Map Erickson Estates



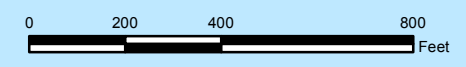


Future Land Use Map





Zoning Map





Memorandum

To: *Katie Larsen, City Planner*

From: *Diane Hankee PE, City Engineer*

Date: *January 5, 2017*

Re: *Erickson Estates Preliminary Plat
Plan Review
WSB Project No. 2988-430*

We have reviewed the Preliminary Plat documents submitted on December 9, 2016 for Erickson Estates, Lino Lakes, MN prepared by Loucks and Associates. The following are our review comments that should be responded to in writing by the applicant.

GRADING, EROSION AND SEDIMENT CONTROL

1. The applicant shall provide the area of disturbance and the area of hard cover (e.g. impervious area) on the preliminary plat; and provide a SWPPP if required.
2. Normal and high water level elevations should be shown on sheet 1.
3. The drainage from lot 2 may not run off onto adjacent property (east side). A side yard swale or other drainage feature will be required; this may result in the need for a retaining wall.
4. Drainage arrows shall be included on the grading plan.

STORMWATER MANAGEMENT

1. The plat is over an acre of land thus, the applicant shall provide an analysis demonstrating the stormwater runoff rates pre and post development. If the post development rate exceeds the pre development rate then rate control needs to be provided on the site. The applicant shall work with Rice Creek Watershed District for permit requirements.
2. The project is exempt from providing water quality treatment under RCWD Rule C.6.
3. The low floor elevation is in conformance with the following:

- Low floor is 2 feet above the 100-year high water elevation and 4 feet above the highest known groundwater elevation.
- Low entry/opening is 1 foot higher than the EOF of the ornamental pond.

FLOODPLAIN

1. There is floodplain on the existing and proposed lot. The applicant should consider obtaining an Elevation Certificate to document the structure was built per flood insurance regulations.
2. The FEMA floodplain elevation of 887.0 is in the NAVD88 datum, while the preliminary plat references an NGVD29 datum; please confirm the submittal elevations are in NAVD88.

WETLANDS

Rice Creek Watershed District is the LGU to review and approve the wetland delineation. Thus we have not reviewed for the Wetland Conservation Act (WCA).

1. Provided the LGU approves the wetland delineation, there are no proposed wetland impacts. Therefore, no wetland mitigation approval is needed.
2. RCWD will require that the wetlands be within conservation easements, and this shall be included on the final plat.

ENVIRONMENTAL

1. There are no comments at this time.

TRANSPORTATION

1. Right-of-way shall be platted over the existing Anoka County road easement to provide public access, drainage and utilities to westerly parcels.
2. There is a gap between the existing easement and the property line. The platted right-of-way shall include the roadway easement and gap.

WATER SYSTEM

1. Municipal utilities were installed within Baldwin Lake Rd. and White Pine Rd in 1995. Services were provided to the existing lot and two additional sets of services were installed. The existing house connected to municipal water in 2010. The proposed house shall be connected to the municipal water system.
2. In the future, the municipal water system maybe extended through the existing easement (proposed right of way) to serve property to the west of the Erickson parcel.

SANITARY SEWER SYSTEM

1. The existing house connected to the municipal sanitary sewer system in 2010. The proposed house shall be connected to the municipal sanitary sewer system.
2. In the future, sanitary sewer maybe extended through the existing easement (proposed right of way) to serve property to the west of the Erickson parcel. Servicing property to the west may require a small lift station due to the depth of the existing sanitary sewer main.

STORM SEWER SYSTEM

1. There is no public roadway or drainage system being constructed with this development, and surface water is being accommodated via overland flow.

DEVELOPMENT AGREEMENT

1. Required with the final plat.

PERMITS

1. Rice Creek Watershed Permit

If you or the applicant has any questions regarding these comments, please contact Diane Hankee at (651) 982-2430 or diane.hankee@ci.lino-lakes.mn.us.

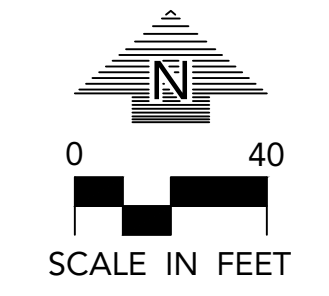
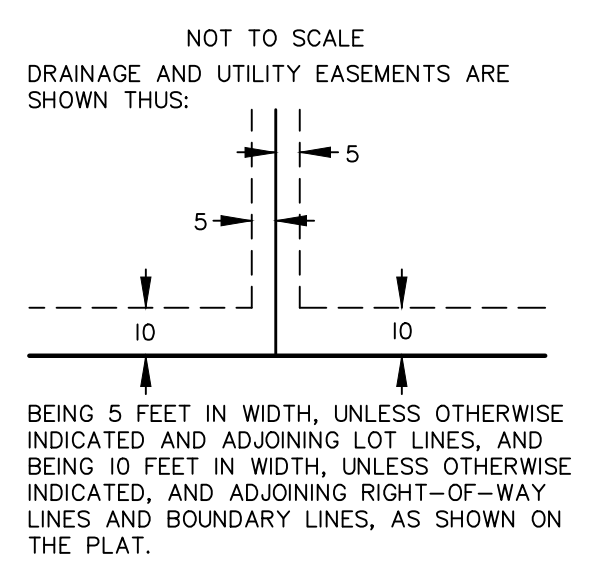
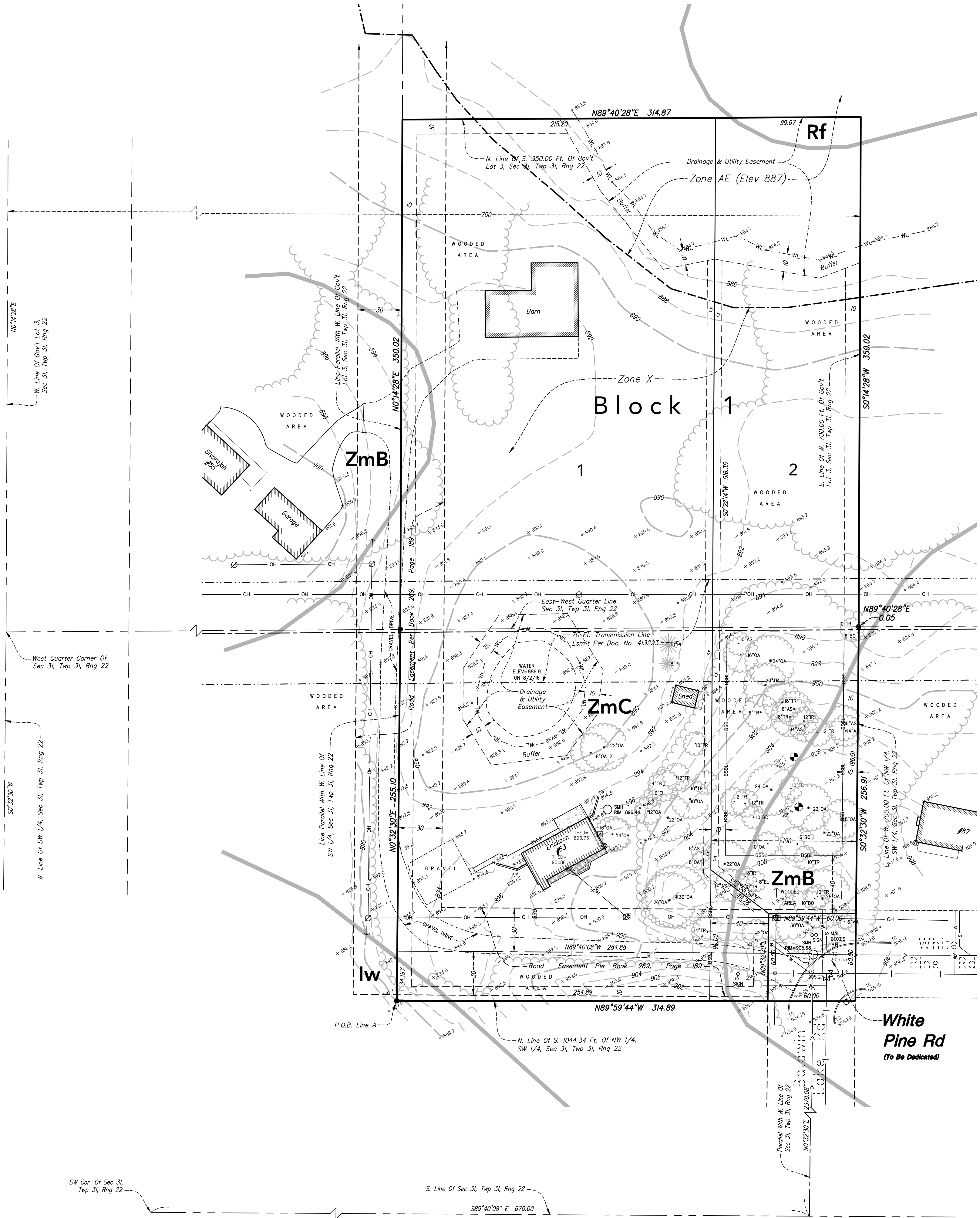


Memo

To: Katie Larsen
From: Marty Asleson
Date: January 5, 2017
Re: Erickson Estates Comments from Environmental

I have the following comments concerning the Erickson's Estates lot split:

- There are wetland, wetland preservation zone concerns
- The project falls under the threshold for the need for an ESC permit
- The minimal requirements for ESC are being addressed
- There are no rare species concerns
- There are no DWSMA Vulnerability concerns.
- Tree preservation proposal is acceptable



BENCHMARK:
 IN BRIDGE RAILING IN SE COR. OF CO. RD J (85TH AVE. NE) BRIDGE NO. 02571 OVER I-35W, 0.5 MILE N. OF JUNCTION OF I-35W & TRUNK HWY 10, 20 FT. S. OF CO. RD. J, 7.0 FT. N. OF BRIDGE RAILING ELEV=933.76 FT. (NGVD'29)

- DENOTES 1/2 INCH X 14 INCH IRON MONUMENT SET, MARKED "RLS 16099"
- △ DENOTES "PK NAIL" SET
- DENOTES IRON MONUMENT FOUND
- WL DENOTES WETLAND AS DELINEATED BY KJOLHAUG ENVIRONMENTAL SERVICES COMPANY AND LOCATED BY LOUCKS ON AUG. 2, 2016

SURVEY LEGEND

AS ASH	○ SANITARY MANHOLE	—>— SANITARY SEWER
BO BOXELDER	⊙ WELL	— I — WATERMAIN
EL ELM	◇ HYDRANT	— S — SANITARY SEWER SERVICE
IR IRONWOOD	⊗ GATE VALVE	— W — WATER SERVICE
MA MAPLE	⊕ POWER POLE	— CTV — UNDERGROUND CABLE TV
OA OAK	⊖ GUY WIRE	— ELE — UNDERGROUND ELECTRIC
PI PINE	⊙ SIGN	— GAS — UNDERGROUND GAS
TR TREE (GEN)	⊙ SPOT ELEVATION	— TEL — UNDERGROUND TELEPHONE
TC TOP OF CURB	⊙ A/C UNIT	— OH — OVERHEAD UTILITY
TW TOP OF WALL	⊙ CABLE TV PEDESTAL	— RETAINING WALL
THSD ELEV @ THRESHOLD	⊙ TELEPHONE PEDESTAL	— CONCRETE CURB
CONIFEROUS TREE	⊙ ELECTRIC METER	— CONCRETE
DECIDUOUS TREE	⊙ GAS METER	— PAVERS
	⊙ MAILBOX	— 872 — CONTOUR

SURVEYOR:
 Loucks
 7200 Hemlock Lane, Suite 300
 Maple Grove, MN 55330
 763-424-5505

OWNER/DEVELOPER:
 Dave & Joan Erickson
 63 White Pine Road
 Lino Lakes, MN 55014
 651-373-3467

LEGAL DESCRIPTION:
 That part of the following described property which lies East of Line A described herein:
 The South 350.00 feet of the west 700.00 feet of Government Lot 3, and that part of the west 700.00 feet of the Northwest Quarter of the Southwest Quarter which lies North of the south 1044.34 feet thereof, all in Section 31, Township 31, Range 22, Anoka County, Minnesota.

Line A
 Commencing at a point on the South line of Section 31, Township 31, Range 22, Anoka County, Minnesota, distant 670.00 feet East of the Southwest corner of said Section 31, thence North and parallel with the West line of said Section 31 a distance of 2378.08 feet; thence West and parallel with the south line of said Section 31 a distance of 284.88 feet; thence South and parallel with said West line a distance of 34.19 feet to a point on the North line of the South 1044.34 feet of the Northwest Quarter of the Southwest Quarter of said Section 31, which is the point of beginning of Line A to be described; thence North parallel with the West line of the Southwest Quarter of said Section 31 to a point on the East and West Quarter line of said Section 31; thence North parallel with the west line of Government Lot 3 of said Section 31 to a point on the North line of the South 350.00 feet of said Government Lot 3 and there terminating.

Abstract Property

DATE OF PREPARATION:
 December 2016

EXISTING ZONING:
 Zone (R) Rural

PROPOSED ZONING:
 Zone (R-1X) Single Family Executive Residential

CURRENT LAND USE:
 Residential (Urban Reserve)

PROPOSED LAND USE:
 Residential (Low Density Residential)

AREAS:
 Proposed Lot 1 = 133,087 +/- Sq.Ft. or 3.06 +/- Acres
 Proposed Lot 2 = 54,127 +/- Sq.Ft. or 1.24 +/- Acres
 R.O.W. Dedication = 3,600 +/- Sq.Ft. or 0.08 +/- Acres
 Total Plat Area = 190,814 +/- Sq.Ft. or 4.38 +/- Acres

BUILDABLE ACREAGE:

Lot 1:	Gross: 133,087 +/- SF or 3.06 +/- Ac.	Lot 2:	Gross: 54,127 +/- SF or 1.24 +/- Ac.
	Wetlands: 10,678 +/- SF or 0.25 +/- Ac.		Wetlands: 9,057 +/- SF or 0.21 +/- Ac.
	Net: 122,407 +/- SF or 2.81 +/- Ac.		Net: 45,070 +/- SF or 1.03 +/- Ac.

PROPOSED BUILDING SETBACKS:
 Front = 40 Feet
 Side = 10 Feet
 Rear = 30 Feet

FLOOD ZONE DESIGNATION:
 This property is contained in Zone AE (Base Flood Elevations Determined) and (Zone X (areas determined to be outside the 0.2% annual chance floodplain) per Flood Insurance Rate Map 27003C0344E, Community Panel No. 270015 0344 E, effective date of December 16, 2015.

ERICKSON ESTATES

LINO LAKES, MN

Dave & Joan Erickson

63 White Pine Road
 Lino Lakes, MN 55014

LOUCKS

PLANNING
 CIVIL ENGINEERING
 LAND SURVEYING
 LANDSCAPE ARCHITECTURE
 ENVIRONMENTAL

7200 Hemlock Lane, Suite 300
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 www.loucksinc.com

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SUBMITTAL/REVISIONS

12/8/16 CITY SUBMITTAL

PROFESSIONAL SIGNATURE
 I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
 Paul J. McGinley - TLS

License No. 16099
 Date 12/8/16

QUALITY CONTROL

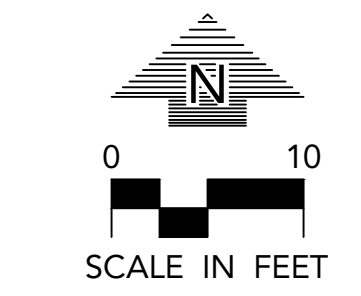
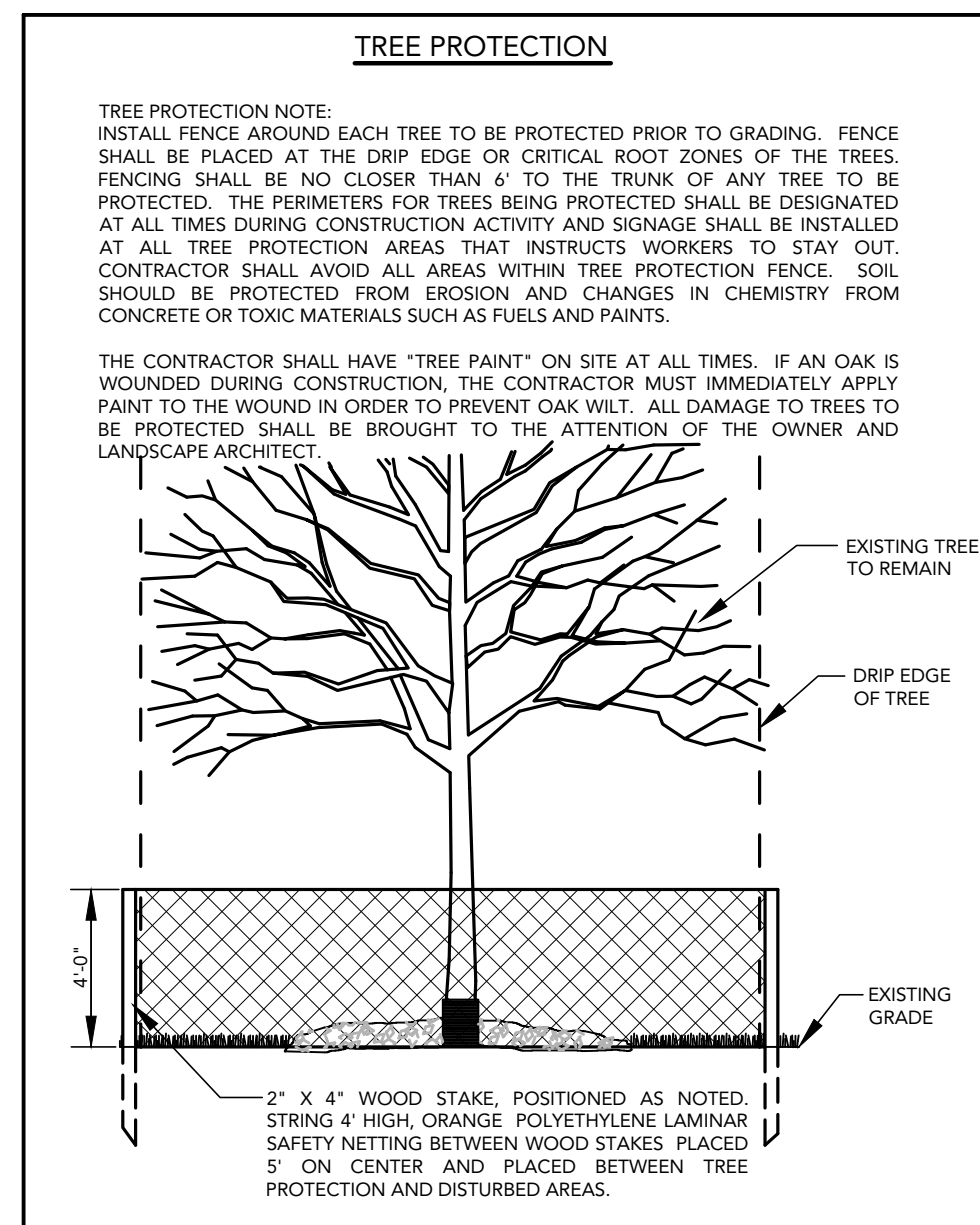
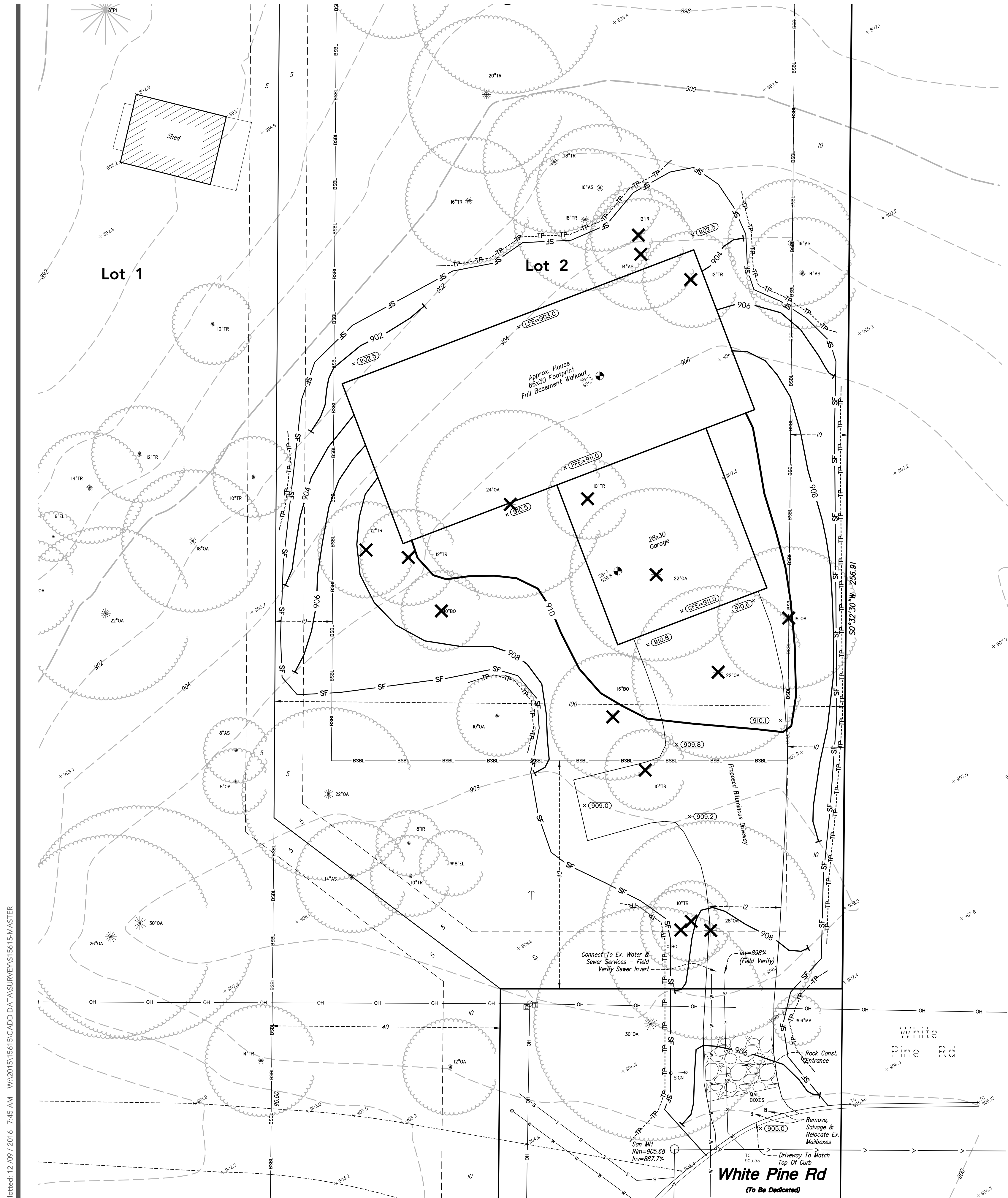
Loucks Project No. 15-615
 Project Lead PJM
 Drawn By SFM
 Checked By PJM
 Field Crew DP/BH

VICINITY MAP

1 PRELIMINARY PLAT
 2 GRADING, DRAINAGE & UTILITY
 3 GHOST PLAT

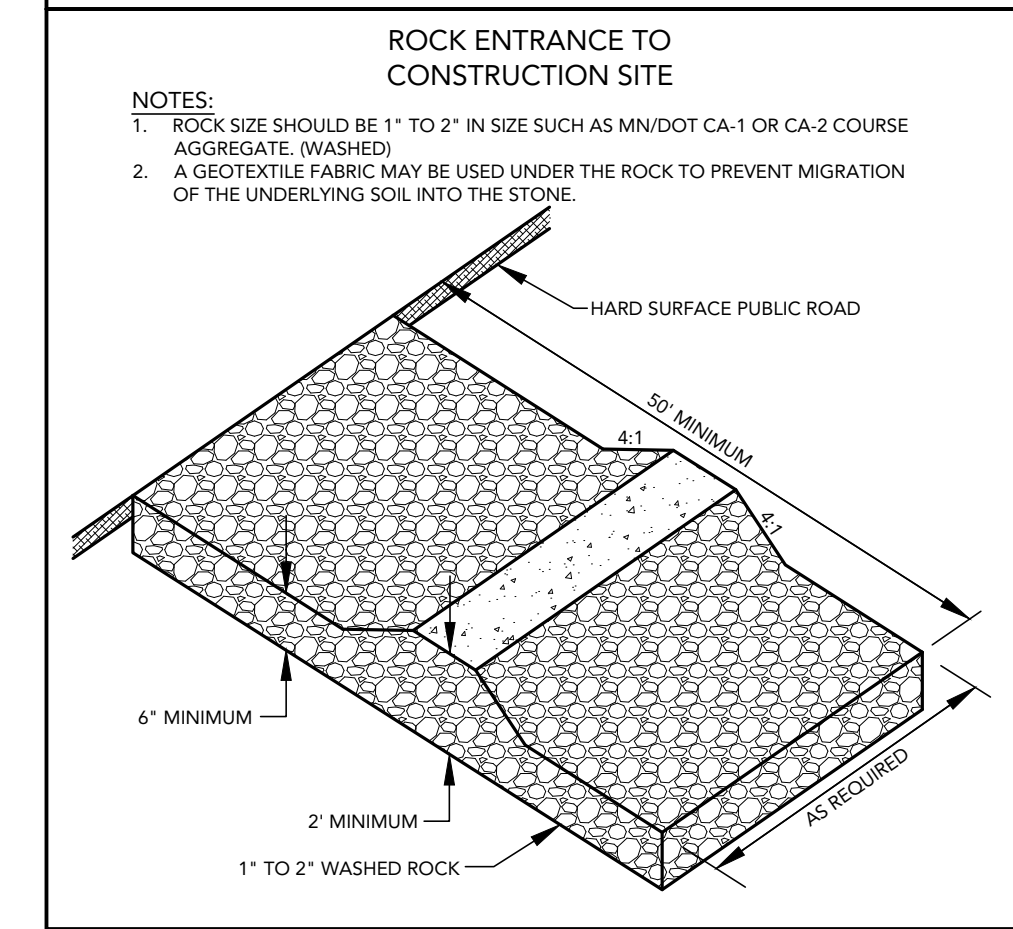
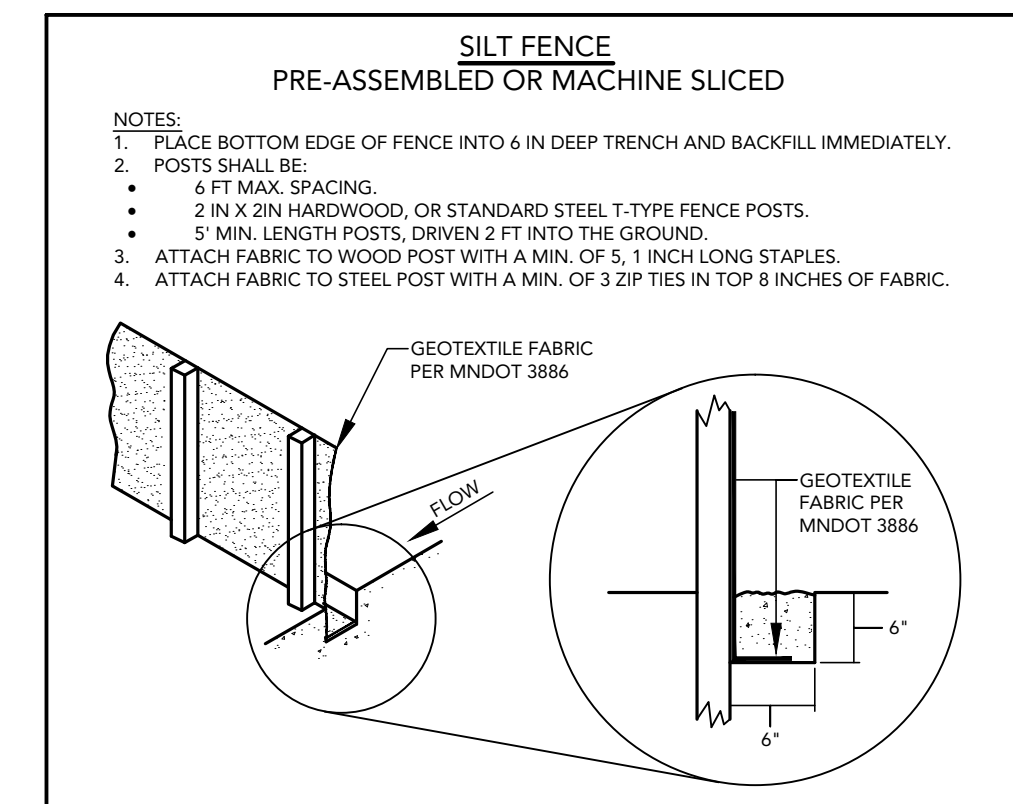
PRELIMINARY PLAT

1 of 3



PROPOSED LEGEND

- 909.8 SPOT ELEVATION
- FFE FIRST FLOOR ELEVATION
- GFE GARAGE FLOOR ELEVATION
- LFE LOWEST FLOOR ELEVATION
- 906 CONTOUR
- SF SILT FENCE
- TP TREE PROTECTION
- X TREE TO BE REMOVED



BENCHMARK:
 IN BRIDGE RAILING IN SE COR. OF CO. RD J
 (85TH AVE. NE) BRIDGE NO. 02571 OVER
 1-35W, 0.5 MILE N. OF JUNCTION OF 1-35W
 & TRUNK HWY 10, 20 FT S. OF CO. RD. J,
 7.0 FT. N. OF BRIDGE RAILING
 ELEV=933.76 FT. (NGVD'29)

EXISTING SURVEY LEGEND

- | | |
|----------------------|-------------------------------|
| ○ SANITARY MANHOLE | — S — SANITARY SEWER |
| ⊕ WELL | — I — WATERMAIN |
| ⊙ HYDRANT | — S — SANITARY SEWER SERVICE |
| ⊗ GATE VALVE | — W — WATER SERVICE |
| ⊙ POWER POLE | — CTV — UNDERGROUND CABLE TV |
| ← GUY WIRE | — ELE — UNDERGROUND ELECTRIC |
| ⊙ SIGN | — GAS — UNDERGROUND GAS |
| 907.5 SPOT ELEVATION | — TEL — UNDERGROUND TELEPHONE |
| ⊠ A/C UNIT | — OH — OVERHEAD UTILITY |
| ⊠ CABLE TV PEDESTAL | — — RETAINING WALL |
| ⊠ TELEPHONE PEDESTAL | — — CONCRETE CURB |
| ⊙ ELECTRIC METER | — — CONCRETE |
| ⊙ GAS METER | — — PAVERS |
| ⊙ MAILBOX | — — 872 CONTOUR |

GENERAL SITE WORK NOTES

- The Contractor shall verify the location of all underground utilities prior to beginning any construction activities by calling GOPHER STATE ONE-CALL (1-612-454-0002 Metro Area, 1-800-252-1166 Out State).
- The Contractor shall take all precautions necessary to avoid property damage to adjacent properties during the construction phase of this project. The Contractor will be held responsible for any damages to adjacent properties occurring during the construction phase of this project.
- In accordance with generally accepted construction practices the Contractor will be solely and completely responsible for conditions on the job site including safety of all persons and property during the performance of the work. This requirement will apply continuously and not be limited to normal working hours.
- Verify horizontal location and elevation where a connection to existing pavement, structure, pipe or other site feature is to be made. The Contractor shall immediately notify the Engineer of any discrepancies or variations from the plans.
- Traffic control shall be provided as necessary and shall be incidental to the project. The Contractor shall be responsible for providing and maintaining traffic control devices such as barricades, warning signs, directional signs, flagmen and lights to control the movement of traffic where necessary. Placement of these devices shall be approved by the Engineer prior to placement. All traffic control devices shall conform to MN Manual on Uniform Traffic Control Devices, latest edition.
- Adjacent streets, alleys and parking areas must be swept to deep them free of tracked soil and sediment. Contractor must monitor conditions and sweep as needed or within 24 hours of notice by the City. Sweeping shall be by a mechanical pick-up type sweeper.

SITE REMOVAL NOTES

- The Contractor shall clear & grub as shown on plans. This includes the removal of trees, brush, stumps, roots and other plant life as noted. All removals shall be disposed of off-site in a manner meeting all applicable regulations.
- All removal items shall become the property of the Contractor unless specified otherwise and shall be disposed of off-site in a manner meeting all applicable regulations.
- The Contractor shall be responsible for the removal and replacement of all signs, mailboxes, etc.
- Any damage to items not noted to be removed shall be the responsibility of the Contractor and shall be repaired or replaced to original condition with no additional compensation.

GRADING & EROSION CONTROL NOTES

- The Contractor along with the Owner shall obtain all necessary permits and approvals from governing authorities, including any City permits and the Watershed District permit.
- Install erosion control and tree protection measures before beginning site grading activities. Some erosion controls such as bale checks may be installed as grading occurs in specific areas. Maintain erosion controls throughout the grading process and remove when turf has been established.
- The area to be disturbed shall be minimized and turf shall be established within the time required.
- All construction entrances shall be surfaced with crushed rock, as detailed.
- Contractor shall strip, stockpile and re-spread existing on-site topsoil to provide a uniform thickness on all disturbed areas to be sodded or seeded.
- Grades shown are finished grades.
- Final grading tolerances are +/- 0.2 feet of finish grades.
- Slopes at 3:1 or steeper, and/or where indicated on the plan shall be seeded and have a wood fiber blanket installed or may be hydroseeded with tackifier mulch.
- All spot elevations represent finished surface grades at gutter line, face of building or edge of pavement unless noted otherwise.

ERICKSON ESTATES
 LINO LAKES, MN

Dave & Joan Erickson
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 Lino Lakes, MN 55014

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SUBMITTAL/REVISIONS

12/8/16	CITY SUBMITTAL
---------	----------------

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Todd W. McCoun
 Todd W. McCoun - PE

License No. 20383
 Date 12/8/16

QUALITY CONTROL

Loucks Project No. 15-615
 Project Lead PJM
 Drawn By SFM
 Checked By TWV
 Review Date 12/8/16

SHEET INDEX

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GRADING, DRAINAGE & UTILITY PLAN

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SUBMITTAL/REVISIONS

12/8/16 CITY SUBMITTAL

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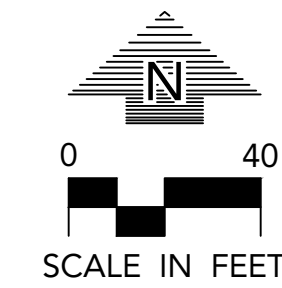
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QUALITY CONTROL

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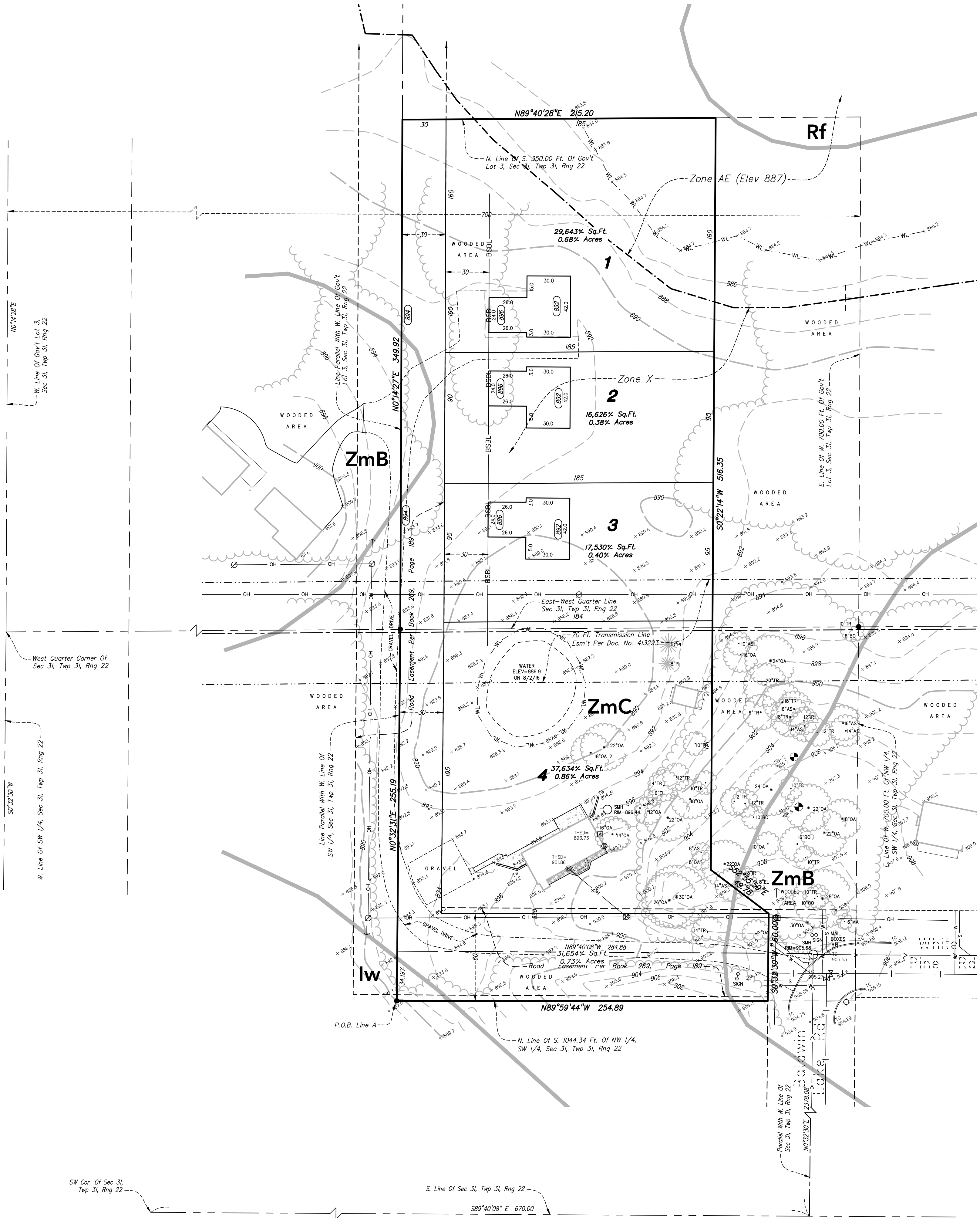
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ELEV=933.76 FT. (NGVD'29)

- DENOTES 1/2 INCH X 14 INCH IRON MONUMENT SET, MARKED "RLS 16099"
- △ DENOTES "PK NAIL" SET
- DENOTES IRON MONUMENT FOUND

DENOTES WETLAND AS DELINEATED BY KJOLHAUG ENVIRONMENTAL SERVICES COMPANY AND LOCATED BY LOUCKS ON AUG. 2, 2016

SURVEY LEGEND

AS	ASH	○	SANITARY MANHOLE	—>—	SANITARY SEWER
BO	BOXELDER	⊗	WELL	— —	WATERMAIN
EL	ELM	◇	HYDRANT	—S—	SANITARY SEWER SERVICE
IR	IRONWOOD	⊠	GATE VALVE	—W—	WATER SERVICE
MA	MAPLE	⊗	POWER POLE	—CTV—	UNDERGROUND CABLE TV
OA	OAK	—	GUY WIRE	—ELE—	UNDERGROUND ELECTRIC
PI	PINE	—	SIGN	—GAS—	UNDERGROUND GAS
TR	TREE (GEN)	⊕	SPOT ELEVATION	—TEL—	UNDERGROUND TELEPHONE
TC	TOP OF CURB	⊠	A/C UNIT	—OH—	OVERHEAD UTILITY
TW	TOP OF WALL	⊠	CABLE TV PEDESTAL	—	RETAINING WALL
THSD	ELEV @ THRESHOLD	⊠	TELEPHONE PEDESTAL	—	CONCRETE CURB
	CONIFEROUS TREE	⊠	ELECTRIC METER	—	CONCRETE
	DECIDUOUS TREE	⊠	GAS METER	—	PAVERS
		⊠	MAILBOX	—	CONTOUR



City of Lino Lakes 2017 APPLICATION DEADLINE & MEETING SCHEDULE
DISCLAIMER: DATES MAY BE SUBJECT TO CHANGE

Application Deadline (Monday 4 weeks before P & Z)	Environmental Board (Last Wednesday)	EDAC (Economic Dev. Advisory Comm.) (1 st Thursday)	Park Board (1 st Monday)	Planning & Zoning Board (2 nd Wednesday)	City Council Work Session (1 st Monday & before 2 nd Council Mtg)	City Council Meeting (2 nd & 4 th Monday)
November 14, 2016	November 30, 2016	December 1, 2016	December 5, 2016	December 14, 2016	January 3	January 9
					January 23	January 23
December 12, 2016	December 21, 2016	January 5	January 9	January 11	February 6	February 13
					February 27	February 27
January 9	January 25	February 2	February 6	February 8	March 6	March 13
					March 27	March 27
February 6	February 22	March 2	March 6	March 8	April 3	April 10
					April 24	April 24
March 13	March 29	April 6	April 3	April 12	May 1	May 8
					May 22	May 22
April 10	April 26	May 4	May 1	May 10	June 5	June 12
					June 26	June 26
May 15	May 31	June 1	June 5	June 14	July 3	July 10
					July 24	July 24
June 12	June 28	July 6	July 10	July 12	August 7	August 14
					August 28	August 28
July 10	July 26	August 3	August 7	August 9	September 5	September 11
					September 25	September 25
August 14	August 30	September 7	September 4	September 13	October 2	October 9
					October 23	October 23
September 11	September 27	October 5	October 2	October 11	November 6	November 13
					November 27	November 27
October 9	October 25	November 2	November 6	November 8	December 4	December 11
					December 27	December 27
November 13	November 29	December 7	December 4	December 13	January 3, 2018	January 8, 2018
					January 22, 2018	January 22, 2018
December 11	December 20	January 4, 2018	January 8, 2018	January 10, 2018	February 5, 2018	February 12, 2018
					February 26, 2018	February 26, 2018

Planning & Zoning Board 2016 Final Action

<u>Project Name</u>	<u>Application Type</u>	<u>P&Z Final Action Date</u>	<u>P&Z Recommendation</u>	<u>Council Date</u>
Saddle Club 2nd Addition	PUD Final Plat	2/10/2016	Approval	4/11/2016
Rice Lake Elementary School Addition	Conditional Use Permit and Site Plan Review	3/9/2016	Approval	4/11/2016
Veterinary Hospital for Rice Creek Animal Hospital	Conditional Use Permit and Site Plan Review	4/13/2016	Approval	5/9/2016
North Oaks	PUD Concept Plan	4/13/2016	Discussion	NA
Watermark Residential Community	PUD Development Stage Plan/Preliminary Plat, Comprehensive Plan Amendment and Rezoning	5/11/2016	Approval	6/13/2016
Batch Plant for Arnt Construction (2209 Phelps Road)	Interim Use Permit	5/11/2016	Approval	6/27/2016
NorthPointe 4th Addition	Final Plat	6/8/2016	Approval	7/11/2016
Clearwater Creek Business Park TIF District	Tax Increment Financing District	7/13/2016	Approval	7/25/2016
Woods Edge	PUD Final Plan/Final Plat and Ordinance Amendment	8/10/2016	Approval	9/12/2016
Chavez Preserve	Preliminary Plat	8/10/2016	Approval	9/12/2016
Amend Chapter 1007 to opt out of Minnesota Statutes Section 462.3693 regarding the creation and regulation of temporary family health care dwellings	Text Amendment	8/10/2016	Approval	9/12/2016
Eagle Brook Church Addition	Conditional Use Permit and Site Plan Review	8/10/2016	Approval	9/26/2016
Clearwater Creek Business Park	PUD Final Plan/Final Plat and Rezoning	9/14/2016	Approval	9/26/2016

Lino Lakes Elementary School	Conditional Use Permit and Site Plan Review	10/12/2016	Approval	11/14/2016
Century Farm North PUD 3rd Amendment	Amendment to PUD	10/12/2016	Approval	10/24/2016
St. Clair Estates	Final Plat and Variance	10/12/2016	Approval	NA
1558 Meadowview Court- Variance- Porch Addition	Variance	11/9/2016	Approval	11/14/2016
Century Farm North 7th Addition	Preliminary Plat and PUD Final Plan/Final Plat	12/14/2016	Approval	Postponed

2016 Administrative Approvals

<u>Project Name</u>	<u>Application Type</u>	<u>Review Date</u>	
Centennial Middle School	Administrative Use Permit	5/11/2016	Approval
Carlson Minor Subdivison	Minor Subdivision	11/3/2016	Approval
876 Old Birch Street (Comcast CCH Subsidiary Holdings, Inc.)	Minor Subdivision	5/10/2016	Approval
Eagle Liquors (Marketplace Building B)	Site & Building Plan Review	12/8/2016	In Review Proc
Waldoch Farm Parking Expansion	Site and Building Plan Review	12/5/2016	In Review Proc

Summary

<u>Council Action</u>	<u>Project Description</u>
Approval	Plat is 39.4 gross acres and consists of 55 single family residential lots.
Approval	A17,064 s.f. addition on the southeast corner of the existing building for early childhood education.
Approval	Relocation of existing business.
NA	It proposes 29 single family homes, 15 twin homes (30 units total) and 147 senior housing rentals totaling 206 housing units.
Approval	Consists of 372 gross acres and consists of a residential density mix of 706 single family lots and 165 townhome units totaling 871 housing units.
Approval	Setting up a temporary concrete batch plant at Arnt Construction (2209 Phelps Road) for a MNDOT road construction project on I-35E.
Approval	A 94.09 gross acres and consists of a residential density mix of single family lots and an 88 unit senior multi-family residence.
Approval	Resolution No. 16-75, Regarding the Modification of Development District No. 1 and the Establishment of Tax Increment Financing District 1-12 (Clearwater Creek Business Park Project).
Approval	The proposed development is a 112 unit attached townhome project on 11.2 acres in the Town Center.
Approval	The proposed development is a 6 lot single family residential subdivision.
Approval	Minnesota Statutes, Section 462.3593 was signed into law allowing “mentally or physically impaired person” to stay in a “temporary dwelling” on a relative’s or caregiver’s property with certain requirements as to allowed structures and caregiver status.
Approval	Proposing a 5,574 s.f. addition on the northwest side of the existing building for an audio/video control room.
Approval	The 56.45 acre site to be developed with a 402,552 square foot distribution center and the outlots would be available for future development.

Approval	The renovation project will result in an additional 4 classrooms. There will also be a large gathering space at the front/south side of the building and an outdoor classroom to the west side of the building currently not in existence.
Approval	Allow for side yard setbacks of 7.5 feet on both sides of either the principal or accessory structures.
Postponed	Contains one 30.47 gross acre parcel totaling 35 lots with variance allowing a cul de sac length exceeding 500 feet.
Approval	Variance for a porch addition. The porch encroaches 1.29 feet (15.48 inches) into the rear yard setback.
Postponed	The project consists of 12 townhomes (2 buildings with 6 units each) and is consistent with the approved original 2003 PUD.
	<u>Project Description</u>
	Install outdoor recreational lighting on the football/track field
	Minor Subdivison splitting one lot into two.
	Minor Subdivison splitting one lot into two.
cess	The construction of a new 6,058 sf retail business. The proposed building (Marketplace Building B) will consist of two retail units.
cess	Parking lot Expansion