CITY OF LINO LAKES PLANNING & ZONING BOARD MEETING

Wednesday, February 14, 2018 6:30 p.m. Council Chambers

Please be courteous and turn off all electronic devices during the meeting.

AGENDA

- 1. CALL TO ORDER AND ROLL CALL
- 2. APPROVAL OF AGENDA
- 3. APPROVAL OF MINUTES: November 8, 2017 and December 13, 2017
- 4. OPEN MIKE
- 5. ACTION ITEMS
 - A. **PUBLIC HEARING**: Nature's Refuge Rezoning and PUD Development Stage Plan/Preliminary Plat
- 6. DISCUSSION ITEMS
 - A. Comprehensive Plan Update-Land Use Plan, Mixed Use Classification
 - B. 2017 Year in Review
 - C. Project Updates
- 7. ADJOURN

City of Lino Lakes Planning & Zoning Board MEETING GUIDELINES

Open Mike – The purpose of a Board Meeting is to accomplish the business of the city. When presenting at a meeting please remember to be respectful, and follow these guidelines:

- Please address the meeting chair.
- State your name and address for the record.
- Please observe a 4-minute limit.
- The topic must relate to city business.
- Open Mike is for items not on the agenda.
- A spokesperson must represent a group of five or more groups will have 8 minutes.
- The Presiding Officer may limit duplicative presentations.
- Remember, the meeting is to discuss city business only.

<u>Public Hearing</u> - Held as a separate item of business on the agenda. The public hearing segment is your opportunity to tell the Board how you feel about issues scheduled to be heard. Typically, a hearing follows these steps:

- The Presiding Officer (Chair or Vice-Chair) will announce the proposal to be reviewed and ask for the staff report. The presiding Officer shall maintain strict order and etiquette at all meetings.
- Staff will present their report on the proposal.
- Board members will then ask City Staff questions about the proposal.
- The Presiding Officer will then open up the public hearing for anyone present who wishes to comment on the proposal. This is the time for the public to make comments or ask questions about the proposal.

Comments should be limited to four (4) minutes unless further time is granted by the Presiding Officer. All comments should be directed to the Board as a body and not to any individual Board Member or City Staff Member unless permission is granted by the Presiding Officer. No person shall be permitted to enter into any discussion, either directly or through a member of the Board without the permission of the Presiding Officer.

- After everyone in the audience wishing to speak has given his/her comments, the Presiding Officer shall close the public hearing.
- The Board will then discuss the proposal. No further public comments are allowed.
- The Board will then make a recommendation(s) and/or a decision.

When you are called upon for your comments, please step to the microphone at the podium and state your name and address for the record.

Occasionally, the Board may continue a hearing to another meeting before taking action.

Meeting Etiquette

The Planning & Zoning Board must preserve order and decorum while the meeting is in session. A resident shall not, by conversation or otherwise, delay or interrupt the proceedings or the business of the Board, nor disturb any resident or Board Member while speaking or refuse to obey the orders of the Board.

CITY OF LINO LAKES PLANNING & ZONING BOARD MINUTES

DATE	: November 8, 2017
TIME STARTED	: 6:01 P.M.
TIME ENDED	: 9:57 P.M.
MEMBERS PRESENT	: Perry Laden, Paul Tralle (Chair), Neil Evenson,
	Michael Root, Jeremy Stimpson
MEMBERS ABSENT	: Dale Stoesz, Lou Masonick
STAFF PRESENT	: Michael Grochala, Katie Larsen, Diane Hankee,
	Mara Strand

PLANNING & ZONING BOARD WORK SESSION

I. COMPREHENSIVE PLAN DISCUSSION

A. Parks, Trails & Natural Resource Plans

Candace Amberg with WSB presented the Parks Trails and Natural Resources Plan

- Parks, Natural open Space / Greenways and Trail System Plan updated in 2004
- Lino Lakes 2030 Comprehensive Plan Chapters
 - Chapter 2: Resource Management Plan
 - Chapter 3: Land Use Plan (protection of natural resources)
 - Chapter 6: Transportation (bike trails)
- 2040 Comp Plan Update Goals
 - Avoid duplication of material
 - Update information as necessary
 - Outline primary goals & corresponding policies
- Park System and Classifications
 - Regional Parks Rice Creek Chain of Lakes
 - Community Parks 20+ acres preferred, community wide amenities, varies in active to passive recreation, 3 existing (City Hall, Country Lakes, Sunrise), 1 future recreation complex
 - o Discussion
 - Chair Tralle asked where County Lakes park is located
 - Ms. Amberg stated it is on the tip of the regional park
 - Mr. Stimpson stated that it is a beautiful land that has nothing to do at it
 - Ms. Amberg stated the City is clearcutting trees and vegetation at this location

- Neighborhood Parks 5-10 acres preferred, service are of approximately ¹/₂ mile (based upon barriers), mix of active and passive recreations, 15 developed parks, 2 open space parks (Woolens Parks, Quails Ridge), 1 planned (Watermark), 1 planned within the Regional park (Woods Edge), 10 future search areas
- o Discussion
 - Mr. Laden asked how the open space parks are being utilized
 - Mr. Grochala stated that the intent is more interpretive
 - Mr. Stimpson asked if there is a map overlay available that includes the service area reach
 - Ms. Amberg stated that there is a map overlay that will be developed
 - Ms. Candace stated that a half mile is a general guidelines if there is a trail system, it will be extend
 - Mr. Stimpson asked how the school district parks fit into the overlay of the City's park system
 - The City does not count school parks but they are taken into consideration
 - Mr. Laden stated that the City holds some responsibility for taking care of the school parks
 - Mr. Grochala stated that the City used to but no longer does due to the lack of benefit for the City
 - Chair Tralle asked where the ten future search areas are
 - Ms. Candace pointed out the ten search areas
- o Trail System and Classifications
 - Bike routes/on-street routes
 - Local trails
 - Regional trails Bunker Chain of Lakes Regional Trail, Central Anoka County Regional Trail, Chain of Lakes – Otter Lake Regional Trail, East Anoka County Regional Trail, Rice Creek North Regional Trail
 - Sidewalks and snowmobile trails not shown
- o Discussion
 - Mr. Laden asked if the City addresses waterway or kayak trails
 - Ms. Amberg stated that the County was discussing waterway trails and it would be a good idea to add to the Comprehensive Plans
 - Mr. Laden stated there is lots of parking on the bridge where Hodgson Road crosses Rice Creek and using that as an access point
 - Mr. Grochala stated they may be using it out of convenience
 - Mr. Evenson stated that mountain bikers are utilizing snow mobile trails
 - Mr. Grochala stated that the County is meeting with MORC (Minnesota Off Road Cyclists)

- Chair Tralle asked if there is any intent to put snowmobile trails on the map
 - Ms. Amberg stated that the City does not put snowmobile trails on the map but can acknowledge the existing trails
 - Mr. Grochala stated that the Comp Plan can refer to the City's website where information is provided
- o Draft Parks and Trails Map
- o Discussion
 - Mr. Stimpson stated the red wetland border conflicts with the existing trails red line
 - Mr. Grochala stated that this is being revised
- o Lino Lakes' Open Space / Natural Resource Areas & Greenway
 - Previous designations: natural resource conservation area (deleting/combining), natural resource protected area, natural resource enhancement area, based on wetland management corridors from RCWD & floodplains, based on connectivity to parks and trails
 - Identify general areas for wetland banking
 - Addition of pollinator initiatives in chapter
- o Discussion
 - Chair Tralle asked if the City is going to co-work with conservation groups on the pollinator initiatives
 - Ms. Amberg stated that it's an initiative and WSB has information that is able to be put into a brochure
 - Ms. Amberg stated that conservation groups would have to be cooperative with the City
 - Mr. Grochala stated the Environmental Board recognizes the importance of this
 - Chair Tralle stated that it makes more sense to get the pollinator plants put in rather than putting a brochure out
 - Ms. Amberg stated that the information we have is detailed and would be better served as an educational tool
 - Mr. Grochala stated that the role of the Comp Plan is to get the goals and policies incorporated
 - Mr. Grochala addressed wetland banking
 - In the park plan, there is a lot of green ways we want to promote
 - The City just finished a Wetland Banking Natural Resources fund study at Woolens Park
 - The wetland credits is a commodity
 - The City established a wetland bank at Woolens Park by going in and doing restoration activities and picked up 6 acres of wetland credits
 - The City has put about \$70,000 into the project, 6 acres a credit can be sold at \$2.50 a square foot, generating \$600,000+

- The intent of the plan is to maintain and buy gaps in parcels that the City doesn't pick up during development
- The City has identified sites that have a high opportunity for wetland banking or it becomes a revolving fund for extending/enhancing the green ways
- The City got the first bank certified a couple months ago
- Mr. Evenson asked if the money can only be used to purchase other banks
 - Mr. Grochala stated it can be used to further enhance the areas – restoration activities or land acquisition
- Draft Natural Resources/Greenways
- Funding & Priorities
 - Update Park Dedication Policy & Fee Structure
 - Yearly funding necessary for ongoing operation and maintenance costs and replacement costs – many parks built between 20-27 years ago are outdated and do not meet current guidelines for safety or accessibility, or residents' expectations
 - Updated priorities trails and greenways, parks, recreation complex, natural resource preservation
- o Discussion
 - Mr. Stimpson stated Shoreview was in a similar situation a couple years ago and asked if the way they revitalized parks is the best practice
 - Ms. Amberg stated that it comes down to funding
 - Mr. Grochala stated the Council is talking about a replacement and expansion schedule
 - Mr. Laden asked if there are any study planned for what would be most beneficial at a recreational facility
 - Mr. Grochala stated that no study is planned at this time
 - The community has not pushed for
 - Mr. Evenson asked if the feeling is that the City does not have enough athletic fields
 - Ms. Amberg stated that Sunrise Park has too much in one space
 - Mr. Grochala said that Sunrise Park is also plugged into a neighborhood and unable to maximize the space
- Funding Priorities (Continued)
 - Wetland Banking Help fund open space & greenway system
 - Implement / preserve greenways identified in the Comp Plan as new developments occur
 - Implement trails as new development occur and timed with road improvement project
 - Cooperation with School Districts, Anoka County Parks, etc. for shared resources
- o Discussion

- Mr. Stimpson stated that it behooves the City to make sure they cooperate with school districts
 - There are duplicative costs and has impacted the Parks and Recreation program negatively
 - Mr. Grochala stated the City will be taking a deeper look at the park dedication program
- Mr. Laden asked how the trails integrate with areas of commerce
 - Mr. Grochala stated that the trails are there but every major artillery street likely has an off-road trail and bike route designation if they are not there, they are planned
 - The problem comes to funding and the trails are developed with the street reconstructed
 - Mr. Laden said he understands the funding issues but asked how we can incorporate with our Comp Plan
 - Mr. Grochala stated they do show up on the plan but to develop a mobility map to major points
- General Update Comprehensive Plan update
 - Went through housing and land use with the City Council on Monday
 - The narratives will be pulled together in December

PLANNING & ZONING BOARD REGULAR MEETING

I. CALL TO ORDER AND ROLL CALL:

Chair Tralle called the Lino Lakes Planning and Zoning Board meeting to order at 7:27 p.m. on November 8, 2017.

II. APROVAL OF AGENDA

The Agenda was approved as presented.

III. APPROVAL OF MINUTES:

Mr. Laden made a MOTION to approve the October 11, 2017 Meeting Minutes. Motion was supported by Mr. Evenson. Motion carried 5 - 0.

IV. OPEN MIKE

Chair Tralle declared Open Mike at 7:28 p.m.

There was no one present for Open Mike.

Mr. Laden made a MOTION to close Open Mike at 7:28 p.m. with the exception if someone comes in after 7:30 they are able to speak. Motion was supported by Mr. Evenson. Motion carried 5 - 0.

V. ACTION ITEMS

A. <u>PUBLIC HEARING: St. Joseph of the Lakes Church Rectory Conditional Use</u> <u>Permit</u>

Katie Larsen presented the staff report. St. Joseph of the Lakes Church is proposing to construct a 2,000 sf single family home on their property to be used for the pastor's residence/church rectory building. The property address is 171 Elm Street.

Board Questions/Comments

- Mr. Evenson stated that number 2 under recommendations is not necessary
 - Ms. Larsen stated that staff wanted the occupant to be related to the church
 - Mr. Laden asked about the sanitary sewer
 - Mr. Grochala stated that there is a service line coming in from the west
 - Ms. Larsen stated they are hooked up to municipal services
 - Ms. Larsen stated that this lot functions as one
 - Chair Tralle stated the probability is slim that the church would sell the lot
 Mr. Laden disagreed
 - Mr. Stimpson stated the sanitary sewer hook-up is the bigger issue
 - Mr. Grochala stated it would tie into church's service line
 - o Mr. Laden asked if we can be proactive
 - Mr. Grochala stated we would have to tear up the road and tap into deep sewer – not necessary for what the church's needs are
 - Ms. Larsen stated that the rectory is meant to be integral with the church

Chair Tralle opened the Public Hearing at 7:48 p.m.

There were no public comments.

Mr. Evenson made a MOTION to close the Public Hearing. Motion was supported by Mr. Stimpson. Motion carried 5 - 0.

Mr. Evenson made a MOTION to recommend approval of the St. Joseph of the Lakes Church Rectory Conditional Use Permit with recommendation #2 be omitted. Motion was supported by Mr. Root. Motion carried 5 - 0.

B. <u>PUBLIC HEARING: Watermark PUD Development Stage Plan Amendment #2-</u> <u>Architectural Design Standards</u>

Katie Larsen presented the staff report. Lennar is proposing a 3 step approach to amend the PUD Development Stage Plan:

• Step 1 (September/October 2017): PUD Development Stage Plan Amendment to the Land Use Plan to modify lot sizes (On October 9, 2017, the City Council approved Step 1-Land Use Plan Amendment with Resolution No. 17-95)

- Step 2 (November/December 2017): PUD Development Stage Plan Amendment to modify architectural design standards
- Step 3 (March/April 2018): PUD Final Plan/Final

This Land Use Application is for Step 2.

Board Questions/Comments

- Unanimous consensus omitting houses that extend 11-12 feet beyond porch
- Porches
 - Comparing R-2 ordinance to what is being presented
 - Mr. Laden stated that a 6 foot porch is decorative and an 8 foot porch is useful
 - Ms. Larsen stated that we are trying to allow some flexibility
 - Mr. Stimpson stated that his family has a 6 foot porch without a rail that's heavily used
 - Ms. Grochala stated the porch width is to make it functional but 6 feet can meet the aesthetics
 - Unanimous consensus on allowing 6 foot porches
- Mr. Laden commented on homes looking similar
 - Mr. Grochala stated there are 12-16 variations
- Mr. Laden stated that Mattamy had a program that didn't allow no two homes within a certain distance from one another
 - Ms. Larsen stated that Lennar will submitting where each house will be going
- Garages
 - Mr. Stimpson asked for clarification on the 4 car garages
- Townhomes Garage Sizes
 - Mr. Evenson asked about storage space inside of the townhome
 - Mr. Laden asked about the interior depth of the garage
 - Mr. Stimpson asked if the home owner association would be in charge of people parking in their garage and garbage cans being exposed
 - Ms. Larsen stated that townhomes have more useable space
 - Consensus among Board
- Townhome Siding
 - Chair Tralle asked if the City can allow the higher quality siding
 - Quality vinyl with trim consensus
- Additional Staff Comments
 - Additional screening shall be included along rear elevations of the townhome neighborhood along the trail to screen personal items

Chair Tralle opened the Public Hearing at 8:40 p.m.

- Doran Cote, representative from Lennar, 16305 36th Ave N Suite #600, Plymouth, MN 55446
 - Design plan is addressed internally
 - Not an additional room inside garage for garbage can storage

- o Mr. Laden asked where the closest products are
 - Mr. Cote stated the closest would be Lake Elmo
- Mr. Root asked about the square footage in the garage
 - Mr. Cote stated there have not been issues in communities where there are similar products
- o Mr. Laden asked if the City is allowing on-street parking
 - Mr. Grochala stated there will be a group of 2 or 4 parking spots scattered throughout the development
- Mr. Laden asked if the City is responsible for plowing these streets
 - Mr. Cote stated it is plowed by the HOA

There were no public comments.

Mr. Stimpson made a MOTION to close the Public Hearing. Motion was supported by Mr. Laden. Motion carried 5 - 0.

Mr. Laden made a MOTION to recommend approval of the Watermark PUD Development Stage Plan Amendment #2-Architechtural Design Standards. Motion was supported by Mr. Evenson. Motion carried 5 - 0.

C. 41 Century Trail Variance for Curb Cut/Driveway Width

Katie Larsen presented the staff report. The property owner of 41 Century Trail, Colleen Flaherty Reyes, submitted a Land Use Application for a curb cut/driveway width variance. She is requesting a curb cut width of 28 feet be allowed. City ordinance allows for a maximum 26 foot curb cut/driveway width.

Board Questions/Comments

- Mr. Laden why the City has a 26 foot wide ordinance at the right of way
 Ms. Larsen stated that there has to be a limit
- Mr. Stimpson asked how landscaping comes into play
 - Ms. Larsen stated that crushed rock on either side of the driveway is allowed
- Mr. Laden asked about stipulations around driveways and property lines
 Ms. Larsen that driveways have to be 5 feet from the property line
- Colleen Flaherty Reyes, 41 Century Trail
 - Did not have any intentions to do the work without permission from the City
- Mr. Laden asked if this came to light from an inspector driving by
 - o Ms. Larsen stated yes
- Mr. Laden commented about a driveway having to be 5 feet from the property line
- Mr. Stimpson asked if we say no, the homeowner would be responsible for cutting driveway to the correct width
- Chair Tralle stated we should restrict to 26 feet but if it was initially 27 feet, there has to be compassion

• Mr. Stimpson stated it was an upgrade to the driveway and the rock was a drivable surface

Mr. Laden made a MOTION to recommend denial of 41 Century Trail Variance for Curb Cut/Driveway Width. Motion was supported by Mr. Root. Motion failed 2 -3.

Mr. Evenson made a MOTION to recommend approval of 41 Century Trail Variance for Curb Cut/Driveway Width. Motion was supported by Mr. Stimpson. Motion carried 3 - 2.

D. Outlot A, Lino Air Park North Minor Subdivision and Variance

Katie Larsen presented the staff report. Ms. Garcia owns a portion of Outlot A, Lino Air Park North that abuts 3 parcels along Carl Street. She lives at 345 Carl Street. Ms. Garcia would like to subdivide the outlot into 3 parcels so they can be combined with the existing 3 parcels and eliminate the outlot all together. A minor subdivision and variance are required.

Board Questions/Comments

- Randy Rennaker, 862 Pine Street
 - Chair Tralle acknowledged that there is an airport across the street

Mr. Root made a MOTION to recommend approval of the Outlot A, Lino Air Park North Minor Subdivision and Variance. Motion was supported by Mr. Laden. Motion carried 5 - 0.

VI. DISCUSSION ITEMS

A. <u>49/J Development Interest</u>

Mr. Grochala presented the staff report. Staff has had ongoing conversations with Richard Morris, owner of the 17 acre parcel north of the liquor store and insurance agency, regarding potential development. This is the site that has previously been considered for a grocery store.

The land is currently zoned GB, General Business but guided mixed use in the Comprehensive Plan, intended for both commercial and residential development.

Board Questions/Comments

- Staff is currently working with WSB on an engineering proposal for a trunk improvement project
- Mr. Stimpson asked if the utilities extend down Ware Road
 - Mr. Grochala stated there is an overriding need to get this area hooked back into the City's system
- Looking for something to carry forward the vision of this area
- Mr. Larson, Hampton Companies, 1341 County Road D
 - o Similar assisted living facility in Vadnais Heights
 - Empty-nester townhomes

- Mr. Laden stated concern around receding the original commercial plan to residential
 - The City can still accommodate commercial
 - Mr. Laden stated that it would be nice to see commercial along Hodgeson Road
- Jim Boo, 416 4th Street S, Stillwater, MN
 - o Talked to the liquor store and insurance company agreements in place
 - o Trying to begin advancing this corner
- Mr. Stimpson asked how many apartments
 - o Total 162
- Chair Tralle stated that he likes what he sees
- Mr. Grochala stated that Mr. Lawson is excited to see this project, he doesn't want to develop but wants to sell
- Chair Tralle clarified with Mr. Larson and Mr. Boo on the order of what would be built when
- Mr. Stimpson asked about the first floor of the apartment building being commercial
 - Mr. Larson they would be willing to look at it
- General consensus is in favor, Mr. Laden stated he is not comfortable with no commercial as an opportunity
 - Mr. Grochala stated the two businesses are outside of the apartment building site

B. <u>Unsewered Lots and 1 Acre Lot Split</u>

City Planner Katie Larsen presented the staff report. This ordinance relates to unsewered lots in rurally zoned districts. Rurally zoned parcels are required to be a minimum of 10 acres. This ordinance is intended to allow for a 1 acre parcel with an existing single family home be created. There is a situation in that the original single family home was built prior to 1992. It burned down in 2015. The property owner would like to rebuild the house and then split off the house on 1 acre. Staff is asking the Planning and Zoning Board for input and interpretation regarding Section 1007.042(2)(b).

Board Questions/Comments

- Chair Tralle asked if the existing foundation would be used
 - Ms. Larsen stated she does not know, the house would be in the location of the previous single family was
- Mr. Root asked if there are any other non-conforming properties
 - Ms. Larsen stated that the City has a non-conforming ordinance which states we are trying to move our parcels into compliance
- Chair Tralle asked how many remaining acres there were
 - Ms. Larsen stated there needs to be 11 whole acres and you can parcel off 1 leaving 10 acres
- Mr. Grochala stated 1992 is when the zoning ordinance was adopted and created the 10 acre minimum lot size

- Mr. Laden asked if there is any way to sewer the lot
 - Ms. Larsen stated there is not
- Mr. Laden asked if we can clarify the ordinance around losing a home to natural disaster and maintain the right
 - Chair Tralle stated that the house burned down and should be able to rebuild the house
- Ms. Larsen gathered the consensus of rebuilding the home then splitting the lot

C. Project Update

- Conversations about site outside of City Hall
- Official emerald ash borer at the Target site
- Eagle Liquor planning on opening Spring of 2018
- Potential CUP for daycare on Hodgson and Birch
- The recommendation from the intersection change evaluation at Centerville Road and County Road J was a roundabout
- Anoka County to work with North Oaks to flatten out S-curve
- Century Farm North 7th Addition on hold
- Lino Lakes Elementary redoing façade

VII. ADJOURNMENT

Mr. Stimpson made a MOTION to adjourn the meeting at 9:57 p.m. Motion was supported by Mr. Evenson. Motion carried 5 - 0.

Respectfully submitted,

Mara Strand Community Development Administrative Assistant

CITY OF LINO LAKES PLANNING & ZONING BOARD MINUTES

DATE TIME STARTED TIME ENDED	: December 13, 2017 : 6:00 P.M. : 8:05 P.M.
MEMBERS PRESENT	 8:05 F.M. Perry Laden, Paul Tralle (Chair), Neil Evenson, Michael Root, Jeremy Stimpson, Dale Stoesz, Lou
STAFF PRESENT	Masonick : Michael Grochala, Katie Larsen, Diane Hankee, Mara Strand

PLANNING & ZONING BOARD WORK SESSION

I. COMPREHENSIVE PLAN DISCUSSION

Ann Hurlburt with Landform presented the Comprehensive Plan discussion topics.

A. Land Use Plan Request, Winter Property

- Request to change from being zoned industrial to residential
- 4 parcel, 139.46 gross/9224 acres net of wetland
- Planning Analysis
 - o Suitability for Industrial Use
 - Suitability for Residential Development
 - Timing of Development
- Staff recommendation: Retain industrial designation
- Les Winter, 7473 24th Ave, spoke to the Chair and Board members
 - o Mr. Winter was in attendance with Deidra Winter, wife, and Len Pratt, friend
 - Being zoned industrial is not attractive due to the wetlands, Mr. Winter's recommendation is residential
- Len Pratt presented to the Chair and board members
 - Mr. Pratt explained details of the property
 - o Mr. Grochala stated that staff have been on site with Mr. Winter
 - Winter's property is ³/₄ of a mile from Main Street, land to the south has to develop prior to the Winter property
 - Chair Tralle asked about the lines serving Hugo
 - Mr. Masonick asked about sewer line sizes
 - Residential is 180 gallons/day
 - Commercial is based on acreage

- Mr. Stoesz questioned what would happen if the land is moved from industrial to mixed use and a developer came in wanting to do industrial
 - Mr. Grochala stated there are 11 mixed use districts and need to define mixed use
 - Chair Tralle stated he is okay with changing to mixed use and incorporating industrial – defining mixed use for the specific property
- Chair Tralle asked to define commercial
 - Mr. Grochala stated retail, business service, research and development, office
 - Ms. Hurlburt stated the business campus is a hybrid of higher level corporate offices, less traffic and outdoor storage
- Mr. Stimpson asked what the property to the north is staged
 - Ms. Lindahl stated low density residential
- Mr. Masonick asked if there is a standard definition of mixed use
 - Mr. Grochala stated that each district has their own definition
 - Two different definitions for mixed use trying develop different uses for property or let the market sort out what will be developed on the property
- Mr. Stimpson stated that having the property, as a whole, be mixed use but defining the areas within more specifically
- Mr. Grochala stated the Comprehensive Plan has a Greenway Plan within and has identified a trail coming up Otter Lake Road
- Chair Tralle recommends mixed use for Mr. Winter's property and industrial to the south of his property
- Mr. Stimpson recommends being aware how the property transitions
- Mr. Pratt stated the minimum density would be 4 stories
 - Mr. Grochala suggests districts with 8-15 units an acres recognizing to preserve the open spaces with density transfer within the project as an option
- Mr. Evenson asked if the decision will affect the property owners to the south

B. <u>Economic Development Chapter</u>

- Goals and Polices
 - Expand and diversify the City's tax base by encouraging commercial, industrial and mixed-use development to lessen the tax burden on residential properties
 - Work with developers to identify innovative strategies for attracting entry level and smaller entrepreneurial businesses to Lino Lakes
 - Attract and encourage new light industrial, high tech, business and professional services enterprises and maintain and expand existing businesses in Lino Lakes
 - Promote efficient, planned commercial and industrial expansion within the City's growth areas, accessible to public infrastructure and transportation
 - Promote Lino Lakes' location within the metropolitan region as an advantage in doing business
- Key Indicators
 - Background information about employment trends and forecasts, commuting and travel patterns

Planning & Zoning Board December 13, 2017 Page 3

- Economic Development Assistance
- Economic Development Priorities
 - Development and implementation of Business Retention and Expansion Program (BRE)
 - o Lino Lakes Town Center, located at Interstate 35 and Lake Drive
 - Redevelopment of the intersection of Hodgson Road (CSAH 49) & County Road J (Ash Street)
 - The Commercial and Industrial Corridor along Interstate 35E and County Road 14

C. Public Facilities Chapter

- Goals and Policies
 - Maintain the first-class education that the children of Lino Lake are receiving, while also providing opportunities for additional education for adults
 - Promote the usage, creation, and uniqueness of community facilities, while also soliciting creative funding sources
 - Maintain quality public facilities and the full complement of city services to the residents of Lino Lakes

D. <u>Upcoming Meetings</u>

- February 14 P&Z Review Draft Plan
- March 6 Open House/Workshop
 - Mr. Stimpson stated that this date falls between a lot of the state's spring breaks
- April 11 P&Z Public Hearing
- May 15 City Council Approve Draft, Submit for Review
- October or November City Council Adopts Final

PLANNING & ZONING BOARD REGULAR MEETING

I. CALL TO ORDER AND ROLL CALL:

Chair Tralle called the Lino Lakes Planning and Zoning Board meeting to order at 7:40 p.m. on December 13, 2017.

II. APROVAL OF AGENDA

The Agenda was approved as presented.

III. APPROVAL OF MINUTES:

Approval of minutes tabled until January 2018.

IV. OPEN MIKE

Chair Tralle declared Open Mike at 7:41 p.m.

There was no one present for Open Mike.

Mr. Evenson made a MOTION to close Open Mike at 7:41 p.m. Motion was supported by Mr. Stimpson. Motion carried 6 - 0.

V. ACTION ITEMS

A. All Seasons Rental/SS Properties Addition (7932 Lake Drive) Final Plat

Katie Larsen, City Planner, presented the staff report. Owners of All Seasons Rental, 7932 Lake Drive, have purchased the vacant 1.3 commercial parcel to the south with the intent to construct a new 7,740 s.f. commercial facility.

Staff addressed questions of the Board

- Mr. Laden asked what holds the property owner to using the decorative security fence
 - Ms. Larsen stated that the it was what was presented in the plan
- Mr. Anderson noted changes that have been made
- Ms. Larsen stated that the plan shows eight display stalls and asking to revise to six display stalls
- Mr. Stoesz asked about signage
 - The property owner stated that they will use the maximum amount of signage as allowed
- Mr. Anderson brought to attention using bituminous mills in a specific area, further conversation among staff

Mr. Laden made a MOTION to recommend approval of All Seasons Rental/SS Properties Addition (7932 Lake Drive) Final Plat. Motion was supported by Mr. Evenson. Motion carried 6-0.

VI. DISCUSSION ITEMS

B. Project Updates

- St. Clair Estates two permits submitted
- Watermark approved architectural design standards
- Improvement to the chambers

VII. ADJOURNMENT

Mr. Evenson made a MOTION to adjourn the meeting at 8:05 p.m. Motion was supported by Mr. Masonick. Motion carried 5 - 0.

Planning & Zoning Board December 13, 2017 Page 5

Respectfully submitted,

Mara Strand Community Development Administrative Assistant

PLANNING & ZONING BOARD AGENDA ITEM 5A

STAFF ORIGINATOR:	Katie Larsen, City Planner
P & Z MEETING DATE:	February 14, 2018
REQUEST:	Nature's Refuge1. Rezoning2. PUD Development Stage Plan/Preliminary Plat
CASE NUMBER:	RZ2018-001 PD2018-001 PP2018-001
APPLICANT:	Preferred Builders, Inc. Attn: Pete Kocisak 10500 Bren Road Minnetonka, MN 55343
OWNER:	Same

REVIEW DEADLINE:

Complete Application Date:	January 8, 2018
60-Day Review Deadline:	March 9, 2018
120-Day Review Deadline:	May 8, 2018
Environmental Board Meeting:	January 31, 2018
Park Board Meeting:	February 5, 2018
Planning & Zoning Board Meeting:	February 14, 20018
Tentative City Council Work Session:	March 5, 2018
Tentative City Council Meeting:	March 12, 2018

BACKGROUND

The applicant has submitted a land use application for rezoning and PUD Development Stage/Preliminary Plat review. The proposed residential development is a 60 lot single family conservation subdivision located north of Main Street and west of Lino Lakes Elementary School. It contains 3 parcels totaling approximately 95 gross acres. The development is called Nature's Refuge.

The Land Use Applications are:

- Rezone property from R-1, Single Family Residential to PUD, Planned Unit Development
- PUD Development Stage Plan/Preliminary Plat

This staff report is based on review the following plan sets and documents:

- 11/14/2017: Preliminary Plan Set prepared by Carlson McCain
- 12/5/2017: Stormwater Pollution Prevention Plan prepared by Carlson McCain
- 11/14/2017: Tree Inventory Report prepared by Carlson McCain
- 12/5/2017: WCA Wetland Permit Application prepared by Kjolhaug Environmental Services Company
- 8/16/2017: Geotechnical Exploration Report prepared by Haugo Geotechnical Services
- 11/14/2017: Stormwater Management Plan prepared by Carlson McCain
- 1/10/2018: Traffic Study prepared by Spack Consulting

ANALYSIS

History

The concept of Nature's Refuge was first presented to the City in 2006 as a conservation subdivision. The original site was 232 gross acres (approximately 100 acres upland and 132 acres wetlands/conservation easements) and 278 single family units were proposed. A mandatory Environmental Assessment Worksheet (EAW) was prepared because the 278 housing units exceeded the 250 housing unit Environmental Review Record (ERR) threshold. It was determined the project did not have the potential for significant environmental effects and the Council passed Resolution No. 07-06 making a Negative Declaration on the Need for an EIS.

The original project did not materialize past the EAW process due to the decline in the housing market and no preliminary plat was ever submitted. The proposed project is smaller in scope and size with 60 single family units on 95 gross acres.

Existing Site Conditions

The 95 gross acre site is north of CSAH 14 (Main Street), west of CSAH 23 (Lake Street) and immediately west of Lino Lakes Elementary School. The southern and central parts of the site consist of annually-tilled cropland. The northeastern part of the site consists of a large wetland complex. The northwestern part of the site includes woodlands. Rare plants and animal species (Blanding's Turtle) have been documented on site. Ground elevations on the site range from 912 feet above msl in the southern part of the site where an equipment building is located, down to 902 feet above msl in the open water parts of the large wetland in the northeastern part of the site. Anoka County Ditch 32 (ACD 32) flowsacross the site from east to west. The upland soils beneath the topsoil are poorly graded sand with silt, not hydric and are classified as hydrologic groups A and B/D that

signifies the soils are generally suitable for storm water infiltration. Groundwater was encountered at depths ranging from 4 to 11 feet which could affect infiltration.

A large lot (2+ acre) rural subdivision exists along Wood Duck Trail immediately to the west of the proposed development. Four (4) single family homes exist along the north side of CSAH 14 (Main Street). Highland Meadows West, an R-1 residential subdivision, was platted in 2001 south of Main Street.

Zoning

Current and Proposed Zoning

The property is currently zoned R-1, Single Family Residential and will be rezoned to PUD-Planned Unit Development to allow flexibility in right-of-way width and setbacks to support the conservation subdivision. Street A and Street C to the north are considered minor collector roads per the 2030 Transportation Plan. Standard ordinance requirements are 80 foot right-of-way with 40 foot setbacks. The intent of these requirements is to allow for any future road widening on major collector roads and provide greater separation along higher capacity roads. A 60 foot right-of-way with 30 foot setbacks is proposed to minimize quality wetland and rare plant species impacts. These standards are consistent with local roads and R-1 single family residential standards. The PUD development process implements the goals and policies of the comprehensive plan by providing flexibility from the strict standards of the zoning ordinance to allow for this type conservation subdivision development.

Current Zoning	R-1, Single Family Residential	
Current Land Use	Agricultural	
Future Land Use per CP	Low Density Residential (1.6 to 3.9 units per acre)	
Utility Staging Area	1A=2008-2015	

Density

The site is guided for low density residential development which requires a density of 1.6 to 3.9 units per acres. The proposed net density is 1.66 units per acre which is consistent with the Comprehensive Plan's guided land use and density. Wetlands and wetland buffers make up 58 acres (60%) of protected open space.

The following chart implements Met Council's formula for calculating net density.

Gross Area (acres)	95.05
Wetlands & Water Bodies	(41.91)
Public Parks & Open Space	0.00
Arterial ROW	(1.07)
Other (Utility Transmission Easement)	TBD
Other (Wetland Buffer Area Only)	(15.87)
Net Area (acres)	36.20
# of Units	60
Gross Density (units/acre)	0.63
Net Density (units/acre)	1.66

Surrounding Zoning and Land Use

Direction	Zoning	Current Land Use	Future Land Use
North	R-X, Rural Executive & R-1, Single Family	Agricultural	Low Density Sewered Residential
South	R-1, Single Family	Single Family Residential	Low Density Sewered Residential
East	R-1, Single Family & PSP, Public Semi-Public	Single Family Residential & School	Low Density Sewered Residential & Civic/Institutional
West	R, Rural	Rural Residential	Urban Reserve

Zoning Requirements

The site will be rezoned to PUD, Planned Unit Development to allow flexibility in rightof-way width and setback from minor collector road. The regulations and performance standards of the R-1, Single Family Residential zoning district will be in effect unless otherwise stated in Council resolution or Development Agreement.

Lot Comparison R-1 vs. Nature's Refuge		
	Standard R-1 Requirements	Proposed Nature's Refuge
Min. Lot Size ¹	10,800 sf	Ave. 13,280 sf gross
Min. Lot Width	80 ft	Min. = 75 ft $Typical = 80 ft$ $Max = 130 ft$
Min. Lot Depth	135 ft	Min.133.5 ft Typcial = 135 ft Max. = 150 ft
Building Setback (feet)		
-From Local Streets	30 ft	30 ft
-From Collector or Arterial Streets	40 ft	30 ft (Street A-E) ² 40 ft (Main Street)
-Rear		
Principal	30 ft	30 ft
-Accessory	5 ft	5 ft
-Side		
Principal	10 ft	10 ft
Accessory	5 ft	5 ft
Buffer Adjacent to Collector	15 foot	Required
Impervious Surface	40%	Required

¹Net area required is 10,800 sf of contiguous buildable land ²PUD flexibility required

It should be noted there are approximately 6 lots that less than 80 feet wide. One lot appears to be 75 feet wide and 5 lots appear to be 78 feet wide. There are approximately 3 lots that are less than 135 feet deep (133.5, 134.1 and 134.95 feet)

All lots shall be 80 feet wide (as measured along the 30 foot setback line) and 135 feet deep. Plans shall be revised.

The 15 foot wide landscape buffer required along CSAH 14 (Main Street) shall be outside of the existing 100 foot wide private utility easement and contained in an outlot to be owned and maintained by the homeowner's association (HOA). This is required along the entire southern border.

Building Type and Construction

At the time of building permit, each individual single family dwelling unit will be reviewed for compliance with Section 1007.043(2)(a) General Building Provisions and the R-1, Single Family Residential requirements regarding floor area, garage and design and construction standards.

Subdivision Ordinance

Conformity with the Comprehensive Plan and Zoning Code

The preliminary plat is consistent with the comprehensive plan for a conservation subdivision as discussed below. The PUD provides flexibility from the strict standards of the zoning ordinance.

Blocks and Lots

The preliminary plat has 60 single family lots and 4 outlots. The outlots are for future development, stormwater management facilities, wetland areas, open space and trail corridors.

Ownership of each outlot (City, HOA, developer etc.) shall be determined by the time of final plat approval.

Outlot D shall be extended to incorporate that portion of the Lot 1, Block 4 that is in the existing private utility easement. The easement currently abuts the building pad of the lot. This outlot shall also be wide enough to include the 15 foot landscape buffer.

The preliminary plat indicates a ghost plat of potentially 8 more single family lots north of ACD 32. The ghost lots shall be designed as buildable lots exclusive of conservation easements etc. Currently, they would not be buildable because of the conservation easement encroachments. The plans shall be revised.

Streets and Alleys

CSAH 14 (Main Street) is a Principal Arterial road. Streets A and Street C (north of Street A) are identified as minor collector roads in the Transportation Plan and provide a north-south corridor. The 1999 Anoka County TH 242/CSAH 14 Access Management Plan identifies at-grade full access at Wood Duck Trail and CSAH 23 (Lake Drive) and restricted movements along the site's corridor. The site plan is under review by Anoka County Highway Department. They have identified the need for additional right-of-way (70-75 feet) and right and left turn lanes on CSAH 14 (Main Street). These details shall be provided by the developer.

The internal road system (Streets A thru E) has 60 foot wide right-of-ways and 32 foot wide (back to back) paved road surface. The intersection of Street A and CSAH 14

(Main Street) has an 80 foot wide right-of-way and 42 foot wide (back to back) paved road surface. Sidewalks are proposed along one side of both Street A and Street C.

Staff would support a 28 foot wide (face to face) paved road surface on cul de sac Streets D & E if the applicant wanted to.

Street C terminates in a temporary dead-end to the west, abutting 8024 Wood Duck Trail. This stub provides opportunity for future extension and residential development to Wood Duck Trail. This is consistent with the County Access Management Plan.

Street C terminates in a temporary cul de sac just south of ACD 32. The preliminary plat indicates a ghost plat of potentially 8 more single family lots north of ACD 32. At a minimum, right-of-way shall be dedicated to the north property line. The road base shall be graded, the trail shall be paved and utilities shall be installed just north of ACD 32 to establish a future road connection for the property to the north. The ghost lots shall also be designed as buildable lots exclusive of conservation easements etc. Currently, they would not be buildable because of the conservation easement encroachments.

Street B provides access to Lino Lakes Elementary School to the east. In 2017, the school began a building remodeling and parking lot reconstruction project. An opportunity to eliminate the school's west driveway and connect with Nature's Refuge was identified as a safety benefit. The City and Anoka County are working with the school district to complete this connection.

A Traffic Study was completed in January 2018 by Spack Consulting in relation to the Nature's Refuge development. The results of the study are explained further in this staff report.

Easements

Standard drainage and utility easements at least 10 feet wide are provided along all lot lines. Easements at least 20 feet wide are provided over utility pipes.

Drainage and utility easements are required to be dedicated 10 feet above the high water level over stormwater drainage ponds and 10 feet outward from the delineated wetland boundary. This requirement is satisfied because easements will be dedicated over the entire outlots. Rear lot lines also have a minimum 10 foot wide easement.

The applicant shall verify the infiltration basin located in Block 4 has a 10 foot easement above the high water level.

Conservation easements are required over wetland and greenway corridor outlots. There does not appear to be sufficient wetland buffers/conservation easements on Lot 5, Block 3 and Lot 8, 9, 12, 13, Block 2. These lots either need to be eliminated or proper buffers/easements provided.

A 100 foot wide private utility easement in favor of Great River Energy exists along the southern boundary of the development.

Storm Water Management and Erosion and Sediment Control

Per the Stormwater Management Plan prepared by Carlson McCain dated November 14, 2017, all of the site's stormwater eventually flows to ACD 32 and to the west. Stormwater leaves the project boundary at two locations: via ACD 32 and a small portion of the property discharges to a ditch along Main Street. Post-development total impervious surface area is approximately 7.8 acres.

Soils on the site are classified as Hydrologic Soil Group A/D. Groundwater elevations ranged from 898 feet to 904 feet.

Stormwater will be managed on site by four (4) stormwater ponds, one (1) infiltration basin and Wetland C. The storm water ponds and trails are located near the wetlands and upland buffers. This strategic design is the basis of the City's greenway system by creating a multi-functional greenway corridor intended to provide areas for stormwater management, upland buffers for wetland protection and natural resource conservation, and open space and trails for people.

Pond 300 shall be owned and maintained by an HOA because it is not required for the management of public stormwater facilities.

The site will be mass graded and developed in one (1) phase.

Utilities

Public water, sanitary and storm sewer utilities will be installed within the development.

Sanitary Sewer

A 21" trunk sanitary sewer main located along CSAH 14 (Main Street) serves the site. An 8" sanitary sewer pipe serves the site internally as far north as ACD 32. Future development north of ACD 32 will potentially require a lift station. Sanitary sewer will also be stubbed to the west to accommodate future development.

Watermain

A 12" trunk watermain located along CSAH 14 (Main Street) serves the site. An 8" watermain serves the site internally. Watermain will be stubbed to the west property boundary for future development.

Public Land Dedication

The City will require cash in lieu of land dedication. Per the City's Park, Greenway & Trail System Plan, a neighborhood park is not programmed for this area. Lino Lakes Elementary School is immediately adjacent to the development and provides a joint-use opportunity between the city and school for shared use of facilities.

Nature's Refuge	
60 lots x \$3,000 =	\$180,000

The Park, Greenway & Trail System Plan does identify the need for a future city trail running north-south through the development along greenway corridor. The proposed development shows a 10 feet wide paved trail along the greenway corridor consistent with the Trail System Plan. The civil plans shall be revised to show an 8.5 foot wide trail vs. 10 foot wide. The plans shall also be revised to omit the easterly future trail corridor crossing over ACD 32 to minimize the number of ditch crossings and avoid any potential ditch blockages. A 25' wide future trail corridor shall be shown along Street C over ACD 32 then between Wetland 3A and 3B, south of Pond 3 and then northeast to the property line. This trail corridor shall be dedicated to the City on the final plat.

Plans shall also be revised to include a 10 foot wide trail along CSAH 14 (Main Street) that will be constructed with this development.

Credit will be given for trail and boardwalk construction.

The Park Board reviewed the plans on February 5, 2018. The Board recommends collecting park fees to potentially fund enhancements at Lino Lakes Elementary School. The trail connection could occur behind Lot 12, Block 3 and the trail could be eliminated behind Lots 13-16, Block 3. A paved trail along Main Street is required.

Tree Preservation

The goal of tree preservation is to minimize unnecessary loss of habitat, biodiversity and forest resource and to replace removed trees in areas where tree cover is most critical. The Tree Inventory Report prepared by Carlson McCain dated November 14, 2017 identifies 1,151 trees on site. There are 953 trees proposed to be saved and 198 trees proposed for removal. The Tree Preservation Plan identifies the basic use area and environmentally sensitive areas and the need for 141 replacement trees for mitigation. It is not clear from the Landscape Plan how many and where the replacement trees are being planted. Boulevard trees cannot be counted towards tree preservation mitigation. The plans shall be revised.

The Environmental Coordinator also reviewed the Tree Preservation Plan and made suggestions for removal of hazardous or unhealthy trees.

Landscaping

Boulevard trees are required at the rate of one (1) tree per lot frontage for single family. There are 60 single family lots and 90 boulevard trees are proposed which is compliant with the ordinance.

Open area landscaping standards required 1 large tree and 3 large shrubs per 2,000 sf. Per the Landscape Plan, there is 31,515 sf of open area requiring 16 overstory trees and 48 large shrubs. It is not clear from the plan how many overstory trees and shrubs are being planted in the open areas. Boulevard trees cannot be counted towards open area plantings. The plans shall be revised.

The 15 foot wide landscape buffer required along CSAH 14 (Main Street) shall be outside of the existing 100 foot wide private utility easement and contained in an outlot to be owned and maintained by a homeowner's association (HOA). This is required along the entire southern border. Landscape screening details compliant with Section 1007.043(17)(f) shall be required.

Environmental Assessment Worksheet (EAW)

As previously noted, in 2006 a mandatory Environmental Assessment Worksheet (EAW) was prepared for the original Nature's Refuge concept because the proposed 278 housing units exceeded the 250 housing unit threshold. The EAW thoroughly analyzed potential impacts to wetlands, rare plant and animal species, floodplain, water quality, noise, traffic and archeology. It was determined the project did not have the potential for significant environmental effects and the Council passed Resolution No. 07-06 making a Negative Declaration on the Need for an EIS.

The scope and size of the current proposed Nature's Refuge (60 housing units on 95 gross acres) is much smaller than the original 2006 proposal (278 housing units on 232 gross acres). An EAW is not required for the current proposed Nature's Refuge because the 60 housing units do not exceed the 250 housing unit threshold.

Traffic Study

A Traffic Study was prepared by Spack Consulting on January 10, 2018. The development is forecasted to generate approximately 565 new trips per day with 45 new trips in the a.m. peak hour and 60 trips in the p.m. peak hour.

Traffic impacts are analyzed in terms of volume and capacity. Volume quantifies the number of trips and capacity quantifies the number of vehicles the road can accommodate.

Traffic Volumes

Roadway	Location	Existing AADT Volumes ¹	2030 Forecasted Volumes
CSAH 14 (Main Street)	West of 4 th Avenue	8,400	21,900
CSAH 14 (Main Street)	Near Site	8,400	20,500
CSAH 14 (Main Street)	East of CSAH 23 (Lake Drive)	8,200	10,950
CSAH 23 (Lake Drive)	South of CSAH 14 (Main St)	11,000	14,600
CSAH 14 (Main Street)	North of CSAH 14 (Main St)	8,700	15,300

¹Year 2015 AADT Volumes from MnDOT Traffic Mapping Application

Existing traffic volumes near the site are 8,400 AADT (annual average daily traffic). Nature's Refuge will generate approximately 565 new trips per day. These projected traffic volumes are included in the 2030 forecasts. The traffic study notes the City's 2030 Transportation Plan identifies CSAH 14 as a future four-lane divided road by the year 2030. It should be noted there is no timeframe as to when these improvements will occur.

Traffic Capacity

A ratio of volume to capacity is used to analyze traffic congestion. Per the traffic study, a 2-lane road is considered congested when volumes reach 8,900 to 18,300 vehicles per day. The existing 2015 AADT of 8,400 trips plus the proposed Nature's Refuge trips of 565 equals approximately 8,965 trips per day near the site. The traffic study notes the added roadway traffic due to the proposed Nature's Refuge develop will have an impact on the surrounding roadways but that impact is minor. To mitigate impacts and improve safety, right and left turn lanes on CSAH 14 (Main Street) into the development will be required as part of the project. The City is also working with Lino Lake Elementary School to eliminate their westerly driveway and connect with Nature's Refuge.

The project is also under review by Anoka County Highway Department. They have identified the need for right and left turn lanes on CSAH 14 (Main Street). These details shall be provided by the developer.

The traffic study shall be revised to include existing and proposed level of service analysis, projected trip generation of future development and intersection evaluation.

Wetlands

A WCA Notice of Decision for the wetland boundary delineation was approved by RCWD on June 16, 2016. Seven (7) wetlands were delineated on site totaling 41 acres. ACD 32 is not classified as a wetland.

A WCA Permit Application for wetland sequencing and mitigation was prepared by KJolhaug Environmental Services on December 5, 2017. Nature's Refuge will involve 2.0 acres of permanent fill in 4 wetlands locations and 3.5 acres of temporary/no loss wetland impact associated with shall excavation and enhancement within one wetland basin. Permanent wetland impacts will be replaced using credits from the proposed Nature's Refuge Wetland Bank. Some wetlands on-site support rare plant species that are protected/regulated by the MN DNR. None of these species are listed or protected under Federal Endangered Species Act.

The project area is located within in the RCWD Lino Lakes Comprehensive Wetland Protection and Management Plan (CWPMP) area. The intent of the CWPMP is to preserve/enhance high-priority wetlands/wetland corridors. Six (6) of the 7 wetlands are in the Wetland Management Corridor (WMC). The exception is Wetland 1. Conservation easements covering 15.9 upland acres will protect the WMC.

MnRAM assessessments were completed to evaluate the functions of the existing wetlands. These results were used to determine RCWD Wetland Degradation Types and Replacement Ratios. Three (3) wetlands are considered high quality, 2 are non-degraded, 1 marginally degraded and 1 severely degraded. The 2.0 acres of wetland impact will require 4.6 acres of replacement.

The applicant is proposing a 38 acre wetland bank within Wetland 3 and adjacent upland buffer to provide 4.6 acres of replacement credit. Restoration and enhancements within Wetland 2 and Wetland 3 (wetland bank area) will boost vegetative diversity through release and stimulation of existing native seeds. Rare plant species will also thrive and expand as a result of the restoration.

In summary, post-development MnRAM results show that development of the site will result in no net loss of wetland hydrology regime, wetland water quality or wildlife habitat functions within the CWPMP boundary.

Wetland Summary		
Total Delineated Wetlands	41.9 acres	
Wetland Fill	2.0 acres	
Wetland Enhancement	3.5 acres	
Wetland Replacement Required	4.6 acres	
WMC Buffer Area	15.9 acres	

Per Sheet 14 of the Preliminary Grading & Erosion Control Plan prepared by Carlson McCain revision dated 11/14/17:

Conservation easements are required over all wetland and greenway corridor outlots and shall not encroach into lots. There do not appear to be sufficient buffers/conservation easements on Lot 5, Block 3 and Lots 8, 9, 12, 13, Block 2. These lots either need to be eliminated or proper buffers/easements provided.

Floodplain

The 2015 DFIRM indicates Zone A floodplain on site, mainly over the easterly wetland complex and along ACD 32. Per RCWD modeling data, the east floodplain base flood elevation is 904.5 and the west floodplain elevation is 904.2. Thirty-seven (37) cy of floodplain fill is required for minimal grading. Proposed floodplain mitigation is 29,533 cy, mostly within the Wetland 2 wetland enhancement area.

The floodplain impacts on the east side of the development are related to the stormwater pond and trail construction. The floodplain impacts on the west side are related to the ACD 32 outlet structure improvements. Trail and storm pond design shall be revised wherever possible to avoid the need for any floodplain fill.

A FEMA Conditional Letter of Map Revision (CLOMR) shall be provided to the City prior to final plat. A Letter of Map Revision (LOMR) shall be provided to the City prior to issuance of building permits.

Growth Management Policy

Per the Comprehensive Plan (page 3-27), an annual average of 230 units per year over each 5 year phasing period not to exceed 345 units in any 1 year is allowed. At the end of the 5 year phasing period unallocated units will be averaged out over the next 5 years.

Nature's Refuge is proposed to be graded and developed in one (1) phase.

Homeowner's Association (HOA)

A homeowner's association shall be required to maintain landscape buffer areas, any common area/signage and possibly certain stormwater ponds (i.e. Pond 300). Details regarding ownership and maintenance will be finalized during the final plat process.

Comprehensive Plan

Resource Management System Plan

The Resource Management System Plan provides the conservation design framework for the Comprehensive Plan and sustainable decisions regarding growth and development. It provides a unified system approach to natural resource management and natural resource based amenities.

Goals of the Resource Management System Plan include:

• Parks, Trails, Open Space and Recreation

 Goal #3: Develop, maintain, and connect the current and proposed trails in the City of Lino Lakes and Rice Creek Regional Park in a manner that preserves and sustains the natural environment.

• Natural Resources and Amenities

- Goal #1: Identify, protect and preserve the desirable natural areas and ecological and aquatic resources of the community.
- Goal #2: Initiate and continue vigorous collaborations and programs to address, restore, and preserve the water quality of the region's lakes, wetlands and other aquatic assets.

• Land Use Policies

• Goal #1: Ensure that well-planned, quality residential, commercial, industrial and institutional development to accommodate the city's projected growth needs occurs in a manner that also conserves and enhances the city's natural resources and amenities.

The Resource Management System Plan identifies the following needs in the area:

- Proposed designated bike route
- Trails
- Greenway system connectivity

A 10' wide trail is proposed along the wetland corridor and greenway system. Future trail extensions to the north between the storm water ponds and wetland corridor would connect and further enhance the greenway and park system.

Nature's Refuge addresses the goals of the Resource Management System by creating a residential conservation subdivision and multi-functional greenway corridor that integrates the stormwater management system, wetland management and open space areas and trails into one unified system.

Land Use Plan

Goal 1: Create a unified vision and future for the city, promote a well-planned community, prevent fragmented development, address the impacts of development and redevelopment on natural resources, aesthetics and view corridors, and provide balanced land use and connectivity that ensures the integration of both sides of the regional park.

Policies established to obtain this goal include:

1. Provide clearly defined incentives to achieve significant and discernable public values not achievable under conventional development standards. These public values include, but are not limited to:

- a. Preserving open space, providing park dedication and trails, and/or providing stormwater management areas, in excess of minimum standards to implement the Resource Management System Plan, as amended, and Rice Creek Watershed District's Lino Lakes Resource Management Plan, as amended
- b. Restoring/enhancing ecological systems
- c. Managing stormwater using natural filtration and other ecologically based approaches
- d. Providing life-cycle and affordable housing
- e. Diversifying the tax base to lessen the tax burden on residential properties
- f. Providing infrastructure that benefits community beyond the project site that would otherwise not be financially feasible
- 2. Identify and define incentives offered to developers for achieving specific public values not achievable under conventional development standards. These incentives may include, but are not limited to:
 - a. Reduced street and right-of-way widths
 - b. Trunk utility and stormwater management fee credits
 - c. Staging plan flexibility
- 3. Encourage master planning to accomplish the objectives of the Comprehensive Plan including, but not limited to, implementing the Resource Management System Plan, as amended, implementing Rice Creek Watershed District's Lino Lakes Resource Management Plan, as amended, providing life-cycle housing, and diversifying the city's tax base.

As previously discussed, the site is guided for low density residential development which requires a density of 1.6 to 3.9 units per acres. The proposed net density is 1.66 units per acre which is consistent with the Comprehensive Plan's guided land use and density. Wetlands and wetland buffers make up 58 acres (60%) of protected open space.

Nature's Refuge meets the land use goals by creating a residential conservation subdivision that supports public values by integrating the stormwater conveyance systems, wetland restoration and open space areas and trails into a multi-functional greenway corridor. The development implements the Resource Management Plan, provides housing, promotes pedestrian connectivity and diversifies the city's tax base.

The applicant shall provide the area of the Great River Energy private utility that impacts the site and calculations for required wetland buffers and conservation easements.

Housing Plan

Goal 3: Ensure housing development is compatible with existing and adjacent land uses and provides accessibility to key community features and natural amenities. Policies include linking trails to parks, lakes and schools.

Nature's Refuge meets the goal of the housing plan. The development is compatible with the existing adjacent residential and institutional (elementary school) land uses. Trails

and sidewalk link the development to the natural resource, school and CSAH 14 (Main Street).

Economic Development

Goal 1: Expand and diversify the city's tax base by encouraging mixed-use and nodal development to lessen the tax burden on residential properties. Policies include developing walkable neighborhoods with commercial nodes and amenities for residents.

Nature's Refuge meets the goals of the economic development plan. It is less than ¹/₂ mile west of the intersection of CSAH 14 (Main Street) and CSAH 23 (Lake Drive) which has been identified as a mixed use and commercial node in the city. The development provides an internal sidewalk and trail system to CSAH 14 (Main Street). A proposed regional trail corridor along CSAH 14 (Main Street) has been identified that will provide a link from the residential development to the commercial node.

Transportation Plan

Goal 1: Plan for and achieve required street improvements and connectivity throughout the City of Lino Lakes.

Policies:

1. Develop a transportation plan that will identify and plan for needed public transportation options and street construction, upgrading, and related funding requirements.

Goal 2: Ensure that streets and roads are as safe as possible.

Goal 6: Promote alternative transportation such as bicycling, walking, transit and rail.

Policies:

- 1. Work to physically connect neighborhoods with roads and pedestrian/bicycle links.
- 2. Encourage sidewalks and separated pathways along all arterial collector, and local streets in developing residential and commercial areas.

Goal 7: Maintain and coordinate the transportation system with adjacent communities, Anoka County, Washington County, Metropolitan Council and Mn/DOT.

Policies:

- 1. Use the functional classification system to define and plan existing and new roadways.
- 2. Develop and utilize access management guidelines in conjunction with Anoka County.
- 3. Continue to work with surrounding jurisdictions, state and federal agencies to ensure an integrated transportation system.

Nature's Refuge meets the goals of the 2030 Transportation Plan. The Plan identifies the need for a north/south minor collector road through this development. Street A and Street C are the minor collector roads that will eventually extend north to Pine Street upon future development. Sidewalks and trails throughout the Nature's Refuge provide alternative modes of transportation. The 1999 Anoka County TH 242/CSAH 14 Access Management Plan identifies at-grade full access at Wood Duck Trail and CSAH 23 and restricted movements in between. Nature's Refuge is consistent with the access management plan.

Sanitary Sewer Plan

Goals of the sanitary sewer plan are to ensure well-planned, quality residential development that conserves and enhances the city's natural resources and to provide an affordable and safe sanitary sewer system.

Nature's Refuge meets the goals of the sanitary sewer plans. The site is located in Sanitary Sewer District 2 (Sub-district 2B) and is ultimately served by MCES Interceptor 83-61, a 24-inch gravity sewer located in North Road which is adequately sized for the development in the district.

The site is located in Utility Staging area 1A=2008-2015.

Water Supply Plan

A goal of the water supply plan is to provide residents affordable potable water that is safe and of high quality for daily consumption and fire demand.

Nature's Refuge meets the goals of the water supply plan. The site is served by a 12" watermain located along CSAH 14 (Main Street). The water system has capacity to serve this residential development.

Planning Districts

The site is located in Planning District 2 and is guided for low density residential development. A recommendation for District 2 is to implement the Main Street Access Management Study. Nature's Refuge implements this plan.

The site is located within the Marshan resource management unit (RMU) that identifies wetlands, the wetland preservation corridor and greenway system. Conservation easements will protect the natural resources.

PUD Final Stage Plan/Final Plat

A land use application for PUD Final Plan/Final Plat shall be required.

Findings of Fact

The following are Findings of Fact as related to the land use decisions for the Rezoning and PUD Development Stage Plan/Preliminary Plat.

Section 1007.015 Administration: Amendments and Rezonings

The property is currently zoned R-1, Single Family Residential and shall be rezoned to PUD-Planned Unit Development. Per Section 1007.015 (5), the Planning and Zoning Board shall consider possible adverse effects of the proposed rezoning and its judgement shall be based upon, but not limited to, the following factors:

(a) The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the official City Comprehensive Plan.

The proposed Nature's Refuge PUD conservation subdivision is consistent with the goals and policies of the comprehensive plan in regards to resource management, land use, housing, transportation and utilities. The development upholds the City's public values by creating a multi-functional open space greenway corridor integrated with the stormwater conveyance system, wetland management and trails. Nature's Refuge is consistent with residential land use and density requirements. Safe transportation corridors and public utilities also serve the development.

(b) The proposed use is or will be compatible with present and future land uses of the area.

The proposed Nature's Refuge development is compatible with the present and future land uses of the area. Existing and future land use to the north, south, east and west is residential. Lino Lakes Elementary School is immediately east of the site.

(c) The proposed use conforms with all performance standards contained herein.

The proposed Nature's Refuge development conforms with all PUD performance standards as outlined in Section 1007.024(2) General Requirements and Standards:

- 1. Ownership. Preferred Builders, Inc. is the owner of the property.
- 2. Comprehensive Plan Consistency. The proposed PUD shall be consistent with the City Comprehensive Plan.

The proposed Nature's Refuge residential development is consistent with the goals and policies of the comprehensive plan in regards to resource management, land use, housing, transportation and utilities. The development upholds the City's public values by creating a multi-functional open space greenway corridor integrated with the

stormwater conveyance system, wetland management and trails. Nature's Refuge is compatible with existing and adjacent land uses. Safe transportation corridors and public utilities also serve the development.

3. Public or Common Open Space.

Wetlands and wetland buffers make up 57 acres (60%) of protected open space. A park trail system is also proposed throughout the greenway corridor and along CSAH 14 (Main Street).

4. Operating and Maintenance Requirements for PUD Common Open Space/Facilities.

A homeowners association shall be created and Declaration of Covenants and Conditions shall be recorded against the property at the time of final plat. Trail corridors will be deeded to the City. Drainage & utility easements and conservation easements will be dedicated to the City and/or RCWD.

5. Utilities.

Public municipal utilities (water and sanitary) shall serve each individual single family lot.

6. Roadways, Private.

There are no private roadways proposed in Nature's Refuge.

7. Development Agreement.

A Development Agreement detailing developer responsibilities and securities will be executed with the final plat.

(d) The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.

The proposed Nature's Refuge development can be accommodated with existing public services and will not overburden the City's service capacity. The site is ultimately served by MCES Interceptor 83-61that is adequately sized for the development in the district. The existing water supply and water distribution system can provide adequate water volume and fire protection.

Section 1007.024 PUD, Planned Unit Development

Per Section 1007.024(1) Purpose and Intent, the PUD, by allowing deviation from the strict provisions of this Ordinance related to setbacks, heights, lot area, width and depths,

yards, etc., by conditional use permit or a mixture of uses by rezoning to a PUD District, is intended to encourage:

(a) A development pattern in harmony with the objectives of the Comprehensive Plan.

The proposed Nature's Refuge PUD conservation subdivision is consistent with the goals and policies of the comprehensive plan in regards to resource management, land use, housing, transportation and utilities. The development upholds the City's public values by creating a multi-functional open space greenway corridor integrated with the stormwater conveyance system, wetland management and trails. Nature's Refuge is consistent with residential land use and density requirements. Safe transportation corridors and public utilities also serve the development.

(b) Innovations in development that address growing demands for all styles of economic expansion, greater variety in type, design, architectural standards, and siting of structures through the conservation and more efficient use of land in such developments.

Flexible site design with narrower right-of-way and reduced setbacks allows Nature's Refuge to develop a residential conservation subdivision and construct of an extensive greenway corridor and storm water management system.

(c) The preservation and enhancement of desirable site characteristics such as existing vegetation, natural topography and geologic features and the prevention of soil erosion.

Restoration and enhancements within Wetland 2 and Wetland 3 (wetland bank area) will boost vegetative diversity through release and stimulation of existing native seeds. Rare plant species will also thrive and expand as a result of the restoration.

(d) A creative use of land and related physical development which allows a phased and orderly transition of varying land uses in close proximity to each other.

Nature's Refuge creates a multi-functional greenway corridor by integrating the stormwater management system, wetland management and open space areas and trails into one unified system. The trails and sidewalks connect the residential development to the elementary school and Main Street.

(e) An efficient use of land resulting in smaller networks of utilities and streets thereby lowering development costs and public investments.

Reduced right-of-way widths and setbacks provide an efficient use of land and lowers development and public investments.

(f) Promotion of a desirable and creative environment that might be prevented through the strict application of City zoning and subdivision regulations.

Strict application of an 80 foot right-of-way width and 40 foot setback would result in greater impacts to the wetlands and natural resources.

RECOMMENDATION

Staff recommends continuation of the Planning & Zoning Board meeting for the rezoning and PUD Development Stage Plan/Preliminary Plat to allow further review of the project.

Nature's Refuge Planned Unit Development (PUD) provides the following flexibility:

- 1. Reduced road right-of-way from 80 feet to 60 feet.
- 2. Reduced front setback from 40 feet to 30 feet
- 3. Reduced road width from 32 feet to 28 feet (back to back) on cul de sac Street D and Street E.

Preliminary comments to be addressed prior to the next Planning & Zoning Board meeting are as follows:

- 1. Comments from WSB City Engineer letter dated February 8, 2018 shall be addressed.
- 2. Comments from the Environmental Coordinator letter dated February 6, 2018 shall be addressed.
- 3. The traffic study shall be revised per City Engineer comment letter.
- 4. Applicant shall provide preliminary details for any proposed development monument/identification signs.
- 5. Details for right and left hand turn lanes on CSAH 14 (Main Street) shall be provided to the City and County.
- 6. A copy of the RCWD permit application shall be submitted to the City.
- 7. All Plan Sheets:
 - a. All lots shall be 80 feet wide (as measured along the 30 foot setback line) and 135 feet deep.
 - i. Lots 9-12, Block 3 and Lots 12-13, Block 4 do not meet required 80 foot lot width.
 - ii. Lots 2-3, Block 1, Lot 3, Block 2 and Lot 24, Block 4 do not meet required 135 foot lot depth.
 - iii. Plans shall be revised.
 - b. All lots shall be 10,800 s.f. contiguous buildable land exclusive of drainage & utility easements required for stormwater management facilities.
 - i. The Lot Area Summary spreadsheet shall be revised to include columns for gross lot area, drainage & utility easement area and net area.
 - c. The 100' private utility easement along CSAH 14 (Main Street) shall be shown on all plan sheets.
- 8. Sheet 2, Preliminary Plat & Existing Conditions:

- a. The density chart shown on page 4 of this staff report shall be included.
- b. The area of the utility transmission easement shall be included.
- c. The area of the conservation easements shall be included under "Other".
- d. The side (garage) setback shall be 5 feet.
- e. The proposed zoning shall be PUD, Planned Unit Development.
- 9. Sheet 12, Preliminary Plat
 - a. Lot 25, Block 4 is a flag lot and is not allowed.
 - b. Outlot C shall be combined with Lot 25, Block 4 to create one (1) lot.
 - c. Lot 16, Block 4 shall not extend into the private utility easement.
 - d. Outlot D shall be extended to the east to Street A and include the private utility easement currently shown on Lot 1, Block 4.
 - e. Outlot D shall also be deep enough to include a 15 foot landscape buffer outside of the private utility easement.
 - i. This outlot shall be owned and maintained by an HOA.
 - f. An outlot shall be created on the south end of Lot 25, Block 4 to include the private utility easement and 15 foot landscape buffer.
 - i. This outlot shall be owned and maintained by an HOA.
- 10. Sheet 13, Preliminary Site and Utility Plan
 - a. The outlots letters do not match the preliminary plat.
 - b. Lot 25, Block 4 shall be numbered.
 - c. The 10' wide bituminous trail shall be revised to 8.5' wide.
 - d. A 10' wide bituminous trail shall be shown along CSAH 14 (Main Street).
 - e. All Front Setback Lines shall be shown as 30'.
 - i. All lots shall be 80' wide as measured along the 30' front setback line.
 - f. The building pad diagram shall show side yard (garage) setback as 5 feet.
 - g. Sidewalk along Street C shall be relocated to the other side.
- 11. Sheet 15, Preliminary Grading & Erosion Control Plan:
 - a. The location of the house pad on Lot 25, Block 4 shall be re-evaluated after required outlot is created for private utility easement and 15 foot landscape buffer.
 - i. A "future accessory structure" shall be located on the lot.
 - b. The applicant shall verify the infiltration basin located in Block 4 has a 10 foot easement above the high water level.
- 12. Sheet 16 & 17, Preliminary Grading & Erosion Control Plan:
 - a. There do not appear to be sufficient wetland buffers/conservation
 - easements abutting Lot 5, Block 3 and Lots 8, 9, 12, 13, Block 2.
 - i. Conservation easements shall not encroach into lots.
 - ii. These lots either need to be eliminated or proper buffers/easements provided.
 - b. The conservation easement shall not encroach into the ghost plat road right-of-way.
 - c. The ghost lots shall be designed as buildable lots exclusive of conservation easements.
 - i. Currently, they are not buildable because of the conservation easement encroachments.

- ii. A separate outlot shall be created for the future buildable land shown in the ghost platted area.
- d. The future road right-of-way corridor shall be platted north of ACD 32 and to the northerly property line.
- e. The plans shall also be revised to omit the easterly future trail corridor crossing over ACD 32 to minimize the number of ditch crossings and avoid any potential ditch blockages.
- f. A future 25' wide trail corridor shall be shown along Street C over ACD 32 then between Wetland 3A and 3B, south of Pond 3 and then northeast into PID #05-31-22-41-0003 (wetland bank area).
 - i. This trail corridor shall be dedicated to the City on the final plat.
 - ii. The applicant shall confirm a trail corridor is allowed in the wetland bank area.
- g. Conservation easements are required over all wetlands, Ponds 100-400 and non-developable open space.
- h. A separate plan sheet depicting the delineated wetland boundary, required wetland buffer and conservation easements shall be created.
 - i. The area of the delineated wetlands, required wetland buffers and conservation easements shall be provided.
- 13. Sheet L1, Site Landscape Plan:
 - a. It is not clear from the plan how many overstory trees and shrubs are being planted in the open areas.
 - i. Boulevard trees cannot be counted towards open area or mitigation trees.
 - b. The 15 foot wide landscape buffer required along CSAH 14 (Main Street) shall be outside of the existing 100 foot wide private utility easement and contained in an outlot to be owned and maintained by a homeowner's association (HOA).
 - i. This is required along the entire southern border.
 - ii. Landscape screening details compliant with Section 1007.043(17)(f) shall be required.
 - iii. A cross-section of the landscape berm and plantings shall be required.
 - iv. Landscape buffer/screening trees cannot be counted towards open area or mitigation trees.
 - c. The reference to "302.03" under Lino Lakes Landscape Code shall be omitted.
 - d. Trees used for mitigation may fulfill open area landscaping requirements.
 - e. The trees along Lots 10-16, Block 3 shall not be planted in the lots but may be planted in Outlot B.
- 14. Sheet FP, Floodplain Exhibit:
 - a. Trail and storm pond design shall be revised wherever possible to avoid the need for any floodplain fill.
 - b. A FEMA Conditional Letter of Map Revision (CLOMR) shall be provided to the City prior to final plat.

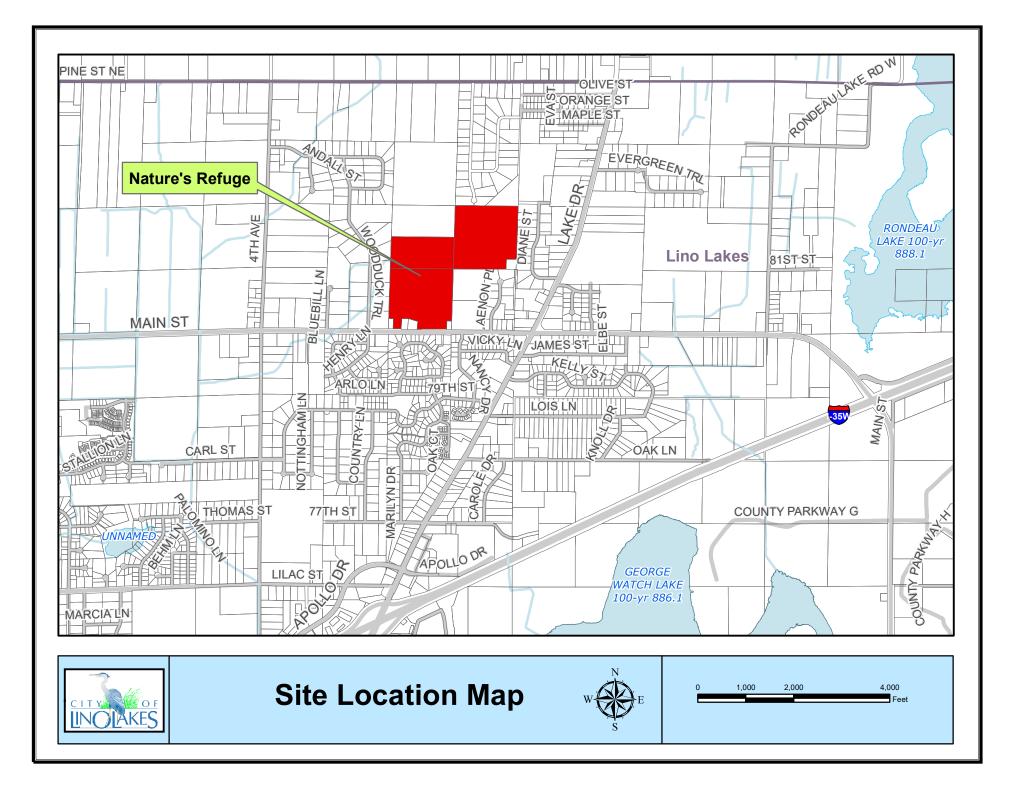
c. A FEMA Letter of Map Revision (LOMR) shall be provided to the City prior to issuance of building permits.

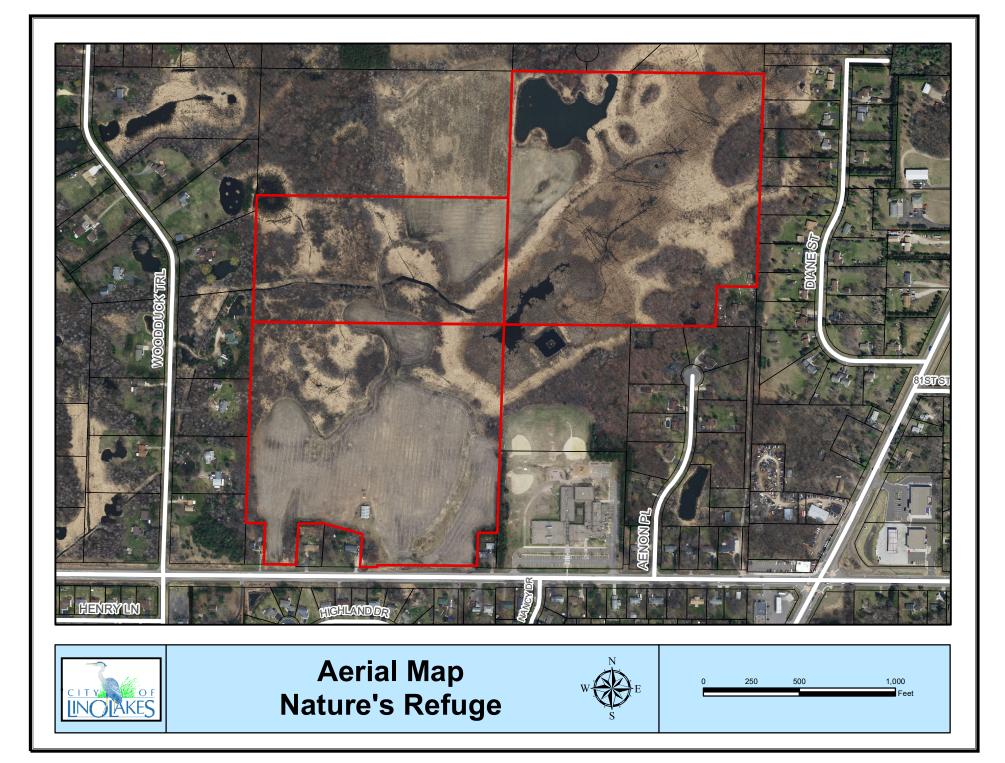
Preliminary comments to be addressed at a further specified date are as follows:

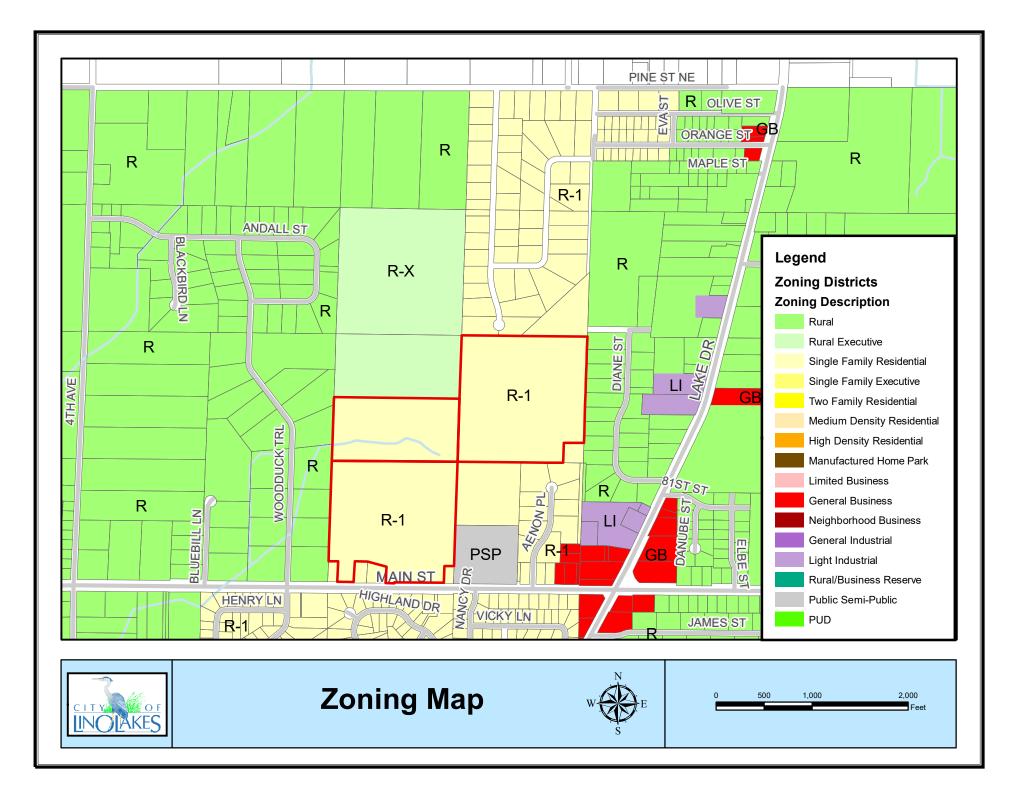
- 1. Sheet 4, Existing Conditions:
 - a. Sheet 4 shows an existing garage structure in the southeast corner of
 - Outlot A. It is assumed this garage belongs to 801 Main Street.
 - i. The applicant shall work with the property owner to have the structure properly located on their property.
 - ii. A zoning permit is required.
 - iii. This shall be resolved prior to issuance of a grading permit.
- 2. Sheet 7, Existing Conditions:
 - a. The existing pole barn and garage near 635 Main Street structures shall be removed prior to issuance of a grading permit.
 - i. A demolition permit is required.
 - b. The existing gravel driveway access onto CSAH 14 (Main Street) shall be removed with the issuance of a grading permit.
- 3. Ownership and maintenance responsibilities of each outlot shall be determined at the time of final plat.
 - a. The applicant shall specifically detail the ownership, maintenance and conservation easement type proposed for the wetland bank land.
- 4. Draft homeowner's association documents shall be submitted with the final plat application.

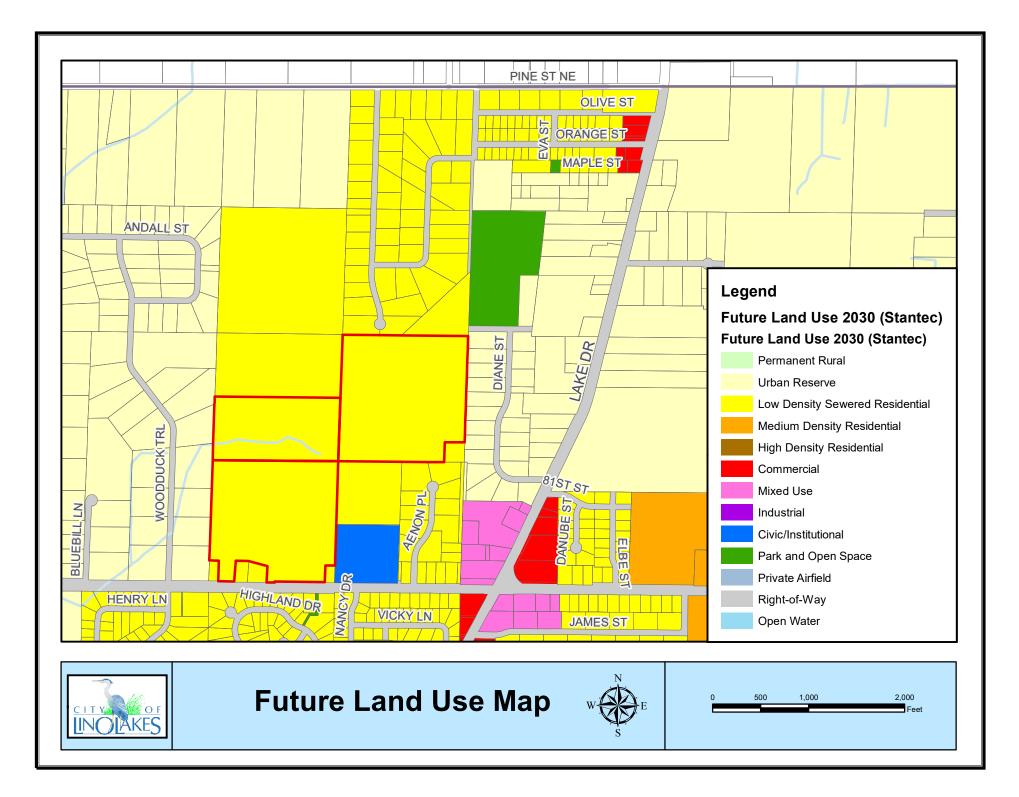
ATTACHMENTS

- 1. Site Location Map
- 2. Aerial Map
- 3. Zoning Map
- 4. Future Land Use Map
- 5. City Engineer Letter dated February 8, 2018
- 6. Environmental Coordinator Letter dated February 6, 2018
- 7. Park Board Memo dated February 6, 2018
- 8. Anoka County Highway Department Letter (to follow)
- 9. Preliminary Plan Set dated November 14, 2017 prepared by Carlson McCain
- 10. Delineated Wetland and Rare Plant Species Map
- 11. Proposed Wetland Mitigation Plan Map











Building a legacy – your legacy.

701 Xenia Avenue South Suite 300 Minneapolis, MN 55416 Tel: 763-541-4800 Fax: 763-541-1700

Memorandum

To:Katie Larsen, City PlannerFrom:Diane Hankee PE, City EngineerDate:February 8, 2018Re:Nature's Refuge
Preliminary Plat Review
WSB Project No. 011406-000

We have reviewed the Preliminary Plat documents received January 10, 2018 for the Nature's Refuge development including:

- 11/14/2017: Preliminary Plan Set prepared by Carlson McCain
- 12/5/2017: Stormwater Pollution Prevention Plan prepared by Carlson McCain
- 12/5/2017: WCA Wetland Permit Application prepared by Kjolhaug Environmental Services Company
- 8/16/2017: Geotechnical Exploration Report prepared by Haugo Geotechnical Services
- 11/14/2017: Stormwater Management Plan prepared by Carlson McCain
- 1/10/2018: Traffic Study prepared by Spack Consulting

The following are our review comments that should be responded to in writing by the applicant.

Engineering

• General

The Nature's Refuge development includes 95 acres north of CSAH 14 (Main Street), west of CSAH 23 (Lake Street) and east of Wood Duck Trail. The project proposes 60 single family houses and associated infrastructure. This property was originally part of a larger development of which an Environmental Assessment Worksheet (EAW) was prepared. The evaluation concluded that the project did not have the potential for significant environmental effects. The EAW included a comprehensive analysis of the area which we incorporated as part of our review for Nature's Refuge.

The site has relatively flat topography, with elevations ranging from 904 to 914. Much of the site is below 905, which is the approximate elevation of the delineated wetlands on the site. The geotechnical conditions of the site indicate that there is one foot of topsoil

overlaying glacier outwash including silty sand and poorly graded sand. Sandy lean clay was found 29 and 40 feet below grade. The groundwater elevation at the south end of the site is 904 and 898 at the north end of the site.

- 1. Street C shall be extended to the north side of Anoka County Ditch (ACD) 10-22-32. This includes the extension of sanitary sewer and watermain and culvert crossing reconstruction/extension. The road bed shall be graded and restored for future extension and paving.
- 2. Sheet 13 (Preliminary Site and Utility Plan) shows an Outlot C in the same locations as previously identified Outlot B.
- 3. Each plan sheet should include an accurate legend.

• Grading, Erosion and Sediment Control

The Nature's Refuge development proposes the mass grading of 60 new single-family lots. It includes the extension of streets and utilities northerly from Main Street (CSAH 14). A project SWPPP was submitted and reviewed.

Comments:

- 1. The applicant shall submit the earthwork volume data for excavation and embankment.
- 2. The applicant shall ensure that the proposed grading is not in conflict with the existing elevation south of Street B at the edge of the site.
- 3. Label pre-drainage and post-drainage directional flow arrows.
- 4. Show locations for stockpiles and BMP measures for stockpile management.
- 5. The applicant shall show a screening berm along Main Street (CSAH 14) and grades to accommodate a trail, see comments in the transportation section.

• Stormwater Management

The existing site is undeveloped and has Anoka County Ditch (ACD) 10-22-32 flowing through the site from east to west. The site also contains several wetlands. The Nature's Refuge development proposes a storm sewer and ponding system. The system shall meet the City's and Rice Creek Watershed District's (RCWD) Stormwater Management requirements. The total proposed impervious surface is 7.8 acres. They are proposing that the impervious areas be managed through storm water ponds, infiltration basins and wetlands and discharging to ACD 10-22-32.

Basin	NWL	HWL
Pond 100	902.5	905.2
Pond 200	901.5	902.6
Pond 300	902.0	902.5
Pond 400	901.8	902.7

Basin 10	906.5	907.3
Wetland C	902.0	903.1

Per the submitted modeling the rate control for the site does not increase. The majority of the discharge leaving the site is through ACD 10-22-32.

Comments:

- 1. RCWD is the ditch authority for ACD 10-22-32 and is responsible for the maintenance, function and capacity of the ditch. The City of Lino Lakes would be responsible for Pond 200 maintenance and function. The ditch, and its associated rights, extend east and shall not be routed through the pond.
- 2. Pond 300 is not considered a stormwater pond. It doesn't meet the requirements for water quality treatment due to the depth. It was not included as part of the water quality calculations. This borrow area should be private.
- 3. The applicant needs to adjust the location of the outlet control structures such that City can access and maintain. Specific to Pond 200.
- 4. The applicant shall include the 10-day snowmelt event in modeling and update the proposed 10-day snowmelt HWLs on the plans.
- 5. The applicant shall confirm the amount of new impervious. There are different numbers in Section 1.2 and Section 2.5 of the Stormwater Management Plan, Section 2.2 of the Stormwater Pollution Prevention Plan (SWPPP), and the HydroCAD modeling.
- 6. See Table C3 in RCWD Rule C: Stormwater Management Plans for maximum curve numbers for existing conditions and adjust modeling accordingly. See section 4b for adjustments to curve numbers for proposed conditions.
- 7. The applicant shall confirm that the names of wetlands match between the existing conditions map and the existing conditions HydroCAD model.
- 8. The applicant shall provide the wetland susceptibility class, bounce, and inundation periods for impacted wetlands. See Table C4 and section 8 in RCWD Rule C.
- 9. The applicant shall refer to Table C5 in RCWD Rule C for soil infiltration rates.
- 10. The applicant shall update water quality standards to be consistent with the requirement to treat 1.1-inches of runoff for new or reconstructed impervious surface per section 6c of RCWD Rule C. See Table C1 in RCWD Rule C for the TP removal factor for stormwater ponds and apply as necessary. The applicant shall verify that the site is meeting water quality treatment standards.
- 11. The applicant shall verify HWLs for ponds. In some instances, they differ between the HydroCAD modeling and the plans.
- 12. The applicant shall clarify the intent of the low area on Outlot D. If intended to be a stormwater pond, please include it in modeling.
- 13. The applicant shall revise the ACD number it varies throughout the Stormwater Management Plan and SWPPP narratives.
- 14. The applicant shall verify the lot lines on Lot 12 Block 4, Lot 4 Block 1, and Lot 5 Block 1. It appears the structures may encroach on the drainage and utility easements.
- 15. The applicant shall include the bottom elevation of the infiltration basin on the grading plans.

- 16. The applicant shall verify the retention volume calculation for Pond 400 in Appendix C as there appears to be an error.
- 17. If needed, the opportunity may exist to maximize infiltration at the infiltration basin by constructing the basin to minimize the separation between the bottom of the basin and the water table.
- 18. The applicant shall verify that the HWL of the Infiltration Basin is 2.0 feet below the low entry elevations of surrounding buildings.
- 19. The applicant shall display and label emergency overflows with spot elevations and drainage arrows at all ponds and sags, specifically at the intersection of Street A and Street C and at the cul-de-sac of Street C.
- 20. The applicant shall confirm that there is a 10-ft. setback between the HWL of the infiltration basin and the drainage and utility easements.
- 21. The applicant shall verify that the top berm of stormwater ponds is 2 ft. above the HWL of the pond.
- 22. The applicant shall label the safety bench on the plans. It shall be at least 10-ft wide. The pond slope cannot be greater than a 3:1 slope.
- 23. The storm sewer system and grading in the rear yards of Lot 1-3 Block 1 should be evaluated to eliminate the middle structure and provide one EOF. The CB between Lot 1 & 2 should be moved north onto Lot 2 so that it is not on the property line.

• Water Supply

There is an existing 12 inch diameter trunk watermain located along CSAH 14 (Main Street). The Nature's Refuge development is proposed to be served by extending 8-inch diameter DIP watermain from an existing 8-inch diameter DIP watermain stub where Street A meets Main Street (CSAH 14), and installing 1-inch diameter Type K copper services. The City's Comprehensive Plan requires that a 16 inch diameter trunk main be extended north/south in this area. The proposed watermain extends west and north for future connection / looping.

Comments:

- 1. The applicant shall loop the system along the west side of Lot 25 Block 4 from Street C to Main Street.
- 2. The applicant shall install 16 inch diameter trunk watermain from Main Street north through the development. Along west side of Lot 25 Block 4 and to the north extents of Street C. Trunk oversizing credits will apply.
- 3. Watermain shall be extended north along Street C under ACD 10-22-32.

• Sanitary Sewer

There is an existing 21 inch diameter trunk sanitary sewer located along CSAH 14 (Main Street). The Nature's Refuge development is proposed to be served by extending 8-inch diameter PVC sanitary sewer throughout the development from an existing sanitary sewer manhole in Main Street (CSAH 14) just south of Outlot E, and installing 4-inch diameter Schedule 40 PVC services. The City's Comprehensive Plan requires that the sanitary system

serves the future lift station and forcemain of Sanitary Sewer Sub-District 2K, discharging to the northernmost proposed manhole in Street C.

Comments:

- 1. The applicant shall increase the mainline sanitary sewer in Street C and D to 10 inch diameter at minimum grade 0.28%. Trunk oversizing credits will apply.
- 2. The existing sanitary sewer stub at Main St and Street A shall be properly abandoned and plugged at the Manhole.
- 3. The applicant shall add a note that sanitary services require the contractor to provide X, Y and Z GPS coordinates of wyes and service ends for future locating requirements.
- 4. The applicant shall add a note that sanitary sewer pipe be installed with a tracer wire. A tracer wire box shall be provided at the surface for the ends of the sanitary sewer service tracer wire to provide access to wire ends for future locating requirements.
- 5. Sanitary Sewer shall be extended north along Street C under ACD 10-22-32.
- 6. Sanitary Sewer shall be extended west along Street C from the most westerly manhole to the same extent as the watermain.

Transportation

The Nature's Refuge subdivision is proposed on the north side of Main Street (CSAH 14) between Lake Drive (CSAH 23) and 4th Avenue. Access will be from a new street connection (Street A) to Main Street (CSAH 14). The development will be set for future extensions to the west, north, and to Lino Lakes Elementary. To improve access control on Main Street, the City is working with School to remove their west access and connect to Nature's Refuge.

A Traffic Study evaluating the Nature's Refuge development was submitted by Spack Consulting. The development includes 60 single family homes that are anticipated to generate approximately 565 new trips per day, 45 new trips in the a.m. peak hour and 60 trips in the p.m. peak hour.

Comments:

- 1. The Study needs to provide an analysis of the existing LOS with and without the proposed development as outlined in the Section 1001.013(2)(c).
- 2. Projected traffic from any future phases of development (extension of Street B, Street C, and Lino Lakes Elementary) that would use Street A to access Main Street (CSAH 14) should be included in the analysis.
- 3. It is anticipated that Street A would require designated turn lanes at Main Street. The Study should evaluate the intersection of the new Site Access Street (Street A) and Main Street (CSAH 14) for both safety and operations. It is anticipated that Anoka County Highway Department will require right and left turn lanes on CSAH 14 (Main Street). The turn lane construction shall be add throughout the preliminary plat documents.
- 4. Upgrading Main Street (CSAH 14) to a 4-lane roadway has been identified by both Anoka County and the City for some time in the future but has not been programed.

Therefore, should the analysis show that existing conditions do not require improvements at Street A and Main Street (CSAH 14), documentation should be provided of when in the future with the existing lane configurations the improvements would be needed.

- 5. Assuming that the intersection of Main Street (CSAH 14) and Lake Drive (CSAH 23) will be addressed in the future, no further analysis over what is included in the current Traffic Study would be required.
- 6. Street A and Street C shall be 32 feet wide from face of curb to face of curb. The plans currently show back of curb.
- 7. The cul-du-sac widths can be reduced to 28 feet wide from face of curb to face of curb.
- 8. The ACD 10-22-32 crossing shall be wide enough to accommodate the road, a 5 foot buffer and an 8.5 foot wide trail with 4:1 side slope tapers.
- 9. The future trail extension along 10-22-32 should be relocated to the same crossing as Street C. Thus there would only be one ditch crossing.
- 10. There is a future trail planned along the north side of Main Street. The plans shall include the grading for this trail. This will likely also require hydrant relocation.
- 11. The applicant shall remove the trees identified in the Landscaping Plan from the sight line triangle of Street A and Main Street (CSAH) 14.
- 12. A bituminous trail is recommended through this site. As noted in the wetland section of this report the proposed location, along Lots 1-6 Block 3, is within the 25 foot buffer and should be relocated.
- 13. The proposed sidewalks were reviewed. Pedestrian curb ramps will be required, and reviewed with the final construction plans.
- 14. Street C temporary cul du sac should have continual curb and gutter and temporary paved eyebrows. The storm sewer will need to be adjusted.

• Wetlands and Mitigation Plan

The Nature's Refuge development site includes 7 wetlands on 41.55 acres as outlined in the WCA Notice of Decision approved by RCWD. The plan proposes to fill 2 acres of wetlands, some of which are denoted as "high priority wetlands" in the city's Comprehensive Plan. A wetland sequencing application was submitted by KJolhaug Environmental Services to RCWD on January 8, 2018 and is currently incomplete. Approval of a complete sequencing application and submittal and approval of a wetland replacement plan will be required prior to issuance of a grading permit.

Wetlands on the project are located within the Wetland Management Corridor and will require mitigation as noted in Rice Creek Watershed District's Rule F (Wetland Alteration), Section 6(b).

- 1. An average 50-foot buffer (25-foot minimum) will be required around all wetland areas following construction. It does not appear that the proposed buffers meet the minimum buffer requirement in all locations.
- 2. A 10-foot bituminous trail is proposed within the upland buffer adjacent to the wetland in Outlot B. This trail must maintain 25-feet from the edge of the wetland.
- 3. Two deep (30+ foot deep) ponds (Pond 200 and Pond 300) are proposed adjacent to wetlands within the project. The adjacent wetlands are denoted as "high priority

wetlands" in the city's Comprehensive Plan and are noted as having exceptional vegetative diversity. The applicant shall take steps to ensure that the ponds will not drain the adjacent wetland areas. In the WCA Wetland Replacement Plan, the developer shall provide a plan to protect adjacent wetlands, the plan shall also include a mitigation plan if the wetlands are impacted post construction.

- 4. A review of the DNR's Natural Heritage Information System (NHIS) Database revealed that rare features have been recorded in or near the wetlands on the property. In 2002, toothcup (*Rotala ramosior*), a state threatened species, was located within one wetland that is proposed to be filled. Autumn fimbry (*Fimbristylis autumnalis*) and Blanding's turtle (*Emydoidea blandingii*) have also been recorded near the project site. The developer will need to coordinate with the DNR to obtain a permit for the take (destroy, dig up, dispose of, possess, or transport) of threatened or endangered species.
- 5. The ghost plat shown in Outlot B on the north end of the project (Sheet 10) appears to propose future wetland impacts. These impacts should be taken into account during the sequencing efforts discussed by the Wetland Conservation Act Technical Evaluation Panel. Road alignments should be considered that would minimize future wetland impacts.

• Floodplain

The floodplain within the Nature's Refuge development is a Zone A. The 2015 DFIRM base flood elevation (BFE) from RCWD modeling identifies the BEF elevations of 904.5 (easterly floodplain) and 904.2 (westerly floodplain). The applicant is proposing to fill 37 cubic yards of floodplain and mitigate onsite. There are 29,533 cubic yards of floodplain mitigation proposed on site.

1. Floodplain impacts are proposed on site due to stormwater ponding and structures, and Lots 4-5 Block 3. A LOMR will be required. The applicant shall provide a copy of the CLOMR application to the City. The LOMR is to be in place prior to final plat.

• Drainage and Utility Easements

The municipal infrastructure proposed with the Nature's Refuge Preliminary Plat is generally within public right of way, easements and outlot.

- 1. Anoka County requires 75 foot right of way be dedicated along Main Street (CSAH 14).
- 2. The right of way shown in the Ghost Plat shall be dedicated with the Plat.
- 3. Street A, at Main Street (CSAH 14), will require turn lanes and thus additional right of way.
- 4. Lot 25 Block 1 shall have a 20 foot drainage and utility easement for watermain looped connection.
- 5. Lot 5 Block 1 shall be chamfered at the northeast corner to accommodate future access to Pond 100.
- 6. Bituminous trails shall be within 25 foot easements if not within right of way or outlot.

Ms. Katie Larsen February 8, 2018 Page 8

• Development Agreement

A development agreement will be required with the final plat.

• Grading Agreement

Not applicable at this time.

• Stormwater Maintenance Agreement

A Stormwater Maintenance agreement will be required with the final plat.

• Permits Required

The following permits shall be obtained prior to the issuance of a grading permit.

Comments:

- 1. NPDES Construction General Permit
- 2. City of Lino Lakes Zoning Permit for Grading
- 3. Minnesota Department of Health Watermain Extension Permit
- 4. MPCA Sanitary Sewer Extension Permit
- 5. Anoka County Permit for Work Within the ROW
- 6. Rice Creek Watershed Permit for Erosion and Sediment Control
- 7. Rice Creek Watershed Permit for Wetland Alteration
- 8. Rice Creek Watershed Permit for Stormwater Management (Rule C)
- 9. Rice Creek Watershed Permit for Floodplain Alteration (Rule E)
- 10. Rice Creek Watershed Permit for ACD 10-22-32 Alteration
- 11. FEMA Letter of Map Revision
- 12. DNR Permit for the Take or Endangered or Threatened Species Incidental to a Development Project.
- 13. DNR Water Appropriations Permit (for Construction Dewatering)
- 14. US Army Corps of Engineers Section 404 Permit

If you or the applicant has any questions regarding these comments, please contact Diane Hankee at (651) 982-2430 or diane.hankee@ci.lino-lakes.mn.us.

Environmental



Memo

To: Katie Larsen

From: Marty Asleson

Date: February 6, 2018

Re: Nature's Refuge, Environmental Board Recommendations and Comments

The following recommendations and comments were made about the proposed Nature's Refuge development by the Lino Lakes Environmental Board on January 31, 2017:

1. Design consideration must protect the rare features of this site to the greatest extent possible, and least invasive design possible; including turtle barrier elimination (dropped curbing, and preservation of continuity in turtle travel and breeding areas).

2. Recommend that design should capture all yard surface water runoff especially to the backs of lots that can pollute the surrounding wetlands. Bio swales is an example of a BMP that can mitigate this concern.

3. Recommendation is to move the north-half trail location to a non-impacting alignment off of the rare plant landscape/wetland. The Environmental Board recommended to relocate the northern part of the trail that is next to the big wetland and provide an adequate buffer that would protect the large wetland rare plant areas. Fill should not be placed in the rare species areas of the large wetland.

4. Manage all wetland restoration in all wetland restoration areas in a manner similar to the Wollan's Park Management and Restoration Plan. That is, restoration must look at thatch removal with little to no native soil removal. No additional native plant seed mixes should be used.

5. Look closer at the proposed borrow pits and make sure surrounding wells will not be contaminated with surface water runoff, dry up adjacent residential shallow wells, or dry up, change the hydrology of surrounding wetlands. Staff requests documentation that supports no adverse effects of the proposed borrow pits and the water levels in surrounding wetlands and adjacent residential wells.

6. Flood plain elevations in all preserved wetland areas must not change.

7. Soils for house pads and roads should be imported to the area instead of using borrow pits. Imported soils must be approved by the city.

8. An educational plan must be written, given to the homeowners before closing on the property, and placed in the city address folders to follow with the property. The plan must be approved by the city. The plan should educate and inform the resident of the uniqueness of natural resources on the site, alert them to the presence of conservation easements and rules associated with the easements, and offer advice on how they can help to protect the resources by minimizing contaminated runoff from their lot. Alternative lawn options should also be given to property owners. If there is a Homeowner's Association, the educational materials should become part of their documents.

9. Ash Trees on the site, and Siberian Elm must be removed from the site regardless of the tree locations. No compensation will be required for these trees. All replacement trees must not be replaced in areas of significant wetlands that harbor rare plant features. Aspen, cottonwood and Willow trees are detrimental to the management of unique wetland vegetation and should be removed. No compensation should be required for the removal of the wetland fringe trees.

10. The "road issue" (extending the road to the north) must be resolved before conservation easements are placed over any WMC areas to the North.

11. The City should be named as a holder or co-holder of the conservation easement with the watershed district.

12. Landscaping: Enough money will have to be escrowed at a rate of 1 tree per household frontage for boulevard trees... All trees must be 2" to 2.5" in diameter. A species list was submitted. The City will determine the species and location of each boulevard tree and plant them. Most likely, the Lindens and Sugar Maple

will be changed to something else like Bur Oak, White Oak, and Red Oak, a species of disease resistant Elm, Hackberry, or Ginkgo.

13. There are 70 landscape overstory trees required for the development project. These should not be planted in wetland restoration or preservation areas.

14. There are 141 Tree Preservation Trees required. These trees should not be planted in wetland restoration or wetland preservation areas.

15. American Lindens and Sugar Maples in the Landscape Legend should be changed to Bur Oak, White Oak, and Red Oak, a species of disease resistant Elm, Hackberry, or Ginkgo.

16. Indigenous shrubs should be planted. Sunrise Forsythia and Sugarplum Lilac should be changed to winterberry and gray dogwood. Both of these species are found, or were found in wetland areas of Nature's Refuge prior to land clearing. No willows should be planted in wetland restoration, conservation easement, or pond areas. No trees should be planted in rare plant restoration areas such as along the eastern edge or buffer area of the large wetland. Again, the best thing for this area is to eliminate the trail and move it to another area if possible. If the trail that is presently proposed for this area is not moved, than any back yard trees must be planted far enough away from the trail so as to not encroach into the trail area as they grow, or add another species that would be more upright and not spreading.

17. A revised detailed landscape plan must be submitted that shows a planting plan for each shrub species and changes to tree species. The Plan must be approved by the City. Enough money will have to be escrowed at a rate of 1 tree per household frontage for boulevard trees... All trees must be 2" to 2.5" in diameter. A species list was submitted. The City will determine the species and location of each boulevard tree and plant them. Most likely, the Lindens and Sugar Maple will be changed to something else like Bur Oak, White Oak, and Red Oak, a species of disease resistant Elm, Hackberry, or Ginkgo.

18. The plan listed wetland seed mix 33-261 for wetland fringe areas (that are not in a rare plant areas) is ok. However; areas where there are listed or potential rare plant areas, the wetland seed bank will be enough to restore those areas. The plan should be more specific on the location of those different areas and tailor a restoration plan that is similar to Wollan's Park. The plan calls out a MN DOT 25-131mix for construction disturbed areas, areas not intended to be sodded, or retention basin. Staff recommends a native seed mix approved by the city for these areas.

19. Areas like wetlands in Outlot A, and on the east side bordering the large wetland to the north and east should not be excessively excavated (no more

than an inch or two) and managed for the seed bank available and supplied by nature. Restoration of wetlands with rare plant should be limited to Reed Canary Thatch removal. The areas of concern for rare plants include all Isanti Wet and Solderville soils in adjacent wetlands and proposed buffer areas. A Wollan's Park restoration strategy, (management plan) should be required in these areas.

20. Dewatering practices should be evaluated in more detail for no impact to adjacent wetlands.

21. Although road widths were discussed, it was not known at the time that this project would be PUD. The Environmental Board did discuss the desire to narrow road widths where possible.

22. The trail should be moved off of rare species areas. No disturbance or reseeding of the Isanti Wet or Solderville (a generally saturated soil) soils in the proposed trail area should occur. The areas in the Isanti Wet and Solderville soil areas of the proposed trail area should be managed for the indigenous soils in the seed bank. Other areas disturbed along the trail corridors should have no loss of indigenous soils and if the soils are hydric, management techniques should allow the seed bank to come in. No seeding of other seed types should be employed in the area of the large wetland.

23. Staff and Environmental Board had the following comments about the submitted SWPPP:

- Must describe the phasing and sequencing of the stated phasing of grading.
- Under the "Spills and Contamination" section, must have provision to have all fueling stations in a containment structure.
- Under "Inspections and Repair", add all inspection and repair reports must be emailed to City Hall Environmental and Engineering by the next day.
- An inspector certifications must be received and accepted at City Hall prior to Grading.
- In the "Basement and Footing Excavation" section, add the following: "An initial City Inspection must take place for perimeter control before a building permit is received. Perimeter control must be in place around the entire perimeter of each house project regardless of slope. Alternative perimeter control to silt fence is only allowed when the ground is frozen. In addition, inspections must take place on each lot in the same manner as project inspection and repair, i.e. Inspector certification and timing issue requirements must be met. All Storm Drains within 200 feet must be protected including back-drain parts of all storm drains. Must be the basket type of protection. No fabric is allowed to be protruding from the edges of storm grates."

The following required parts of a SWPPP are missing and must be provided:

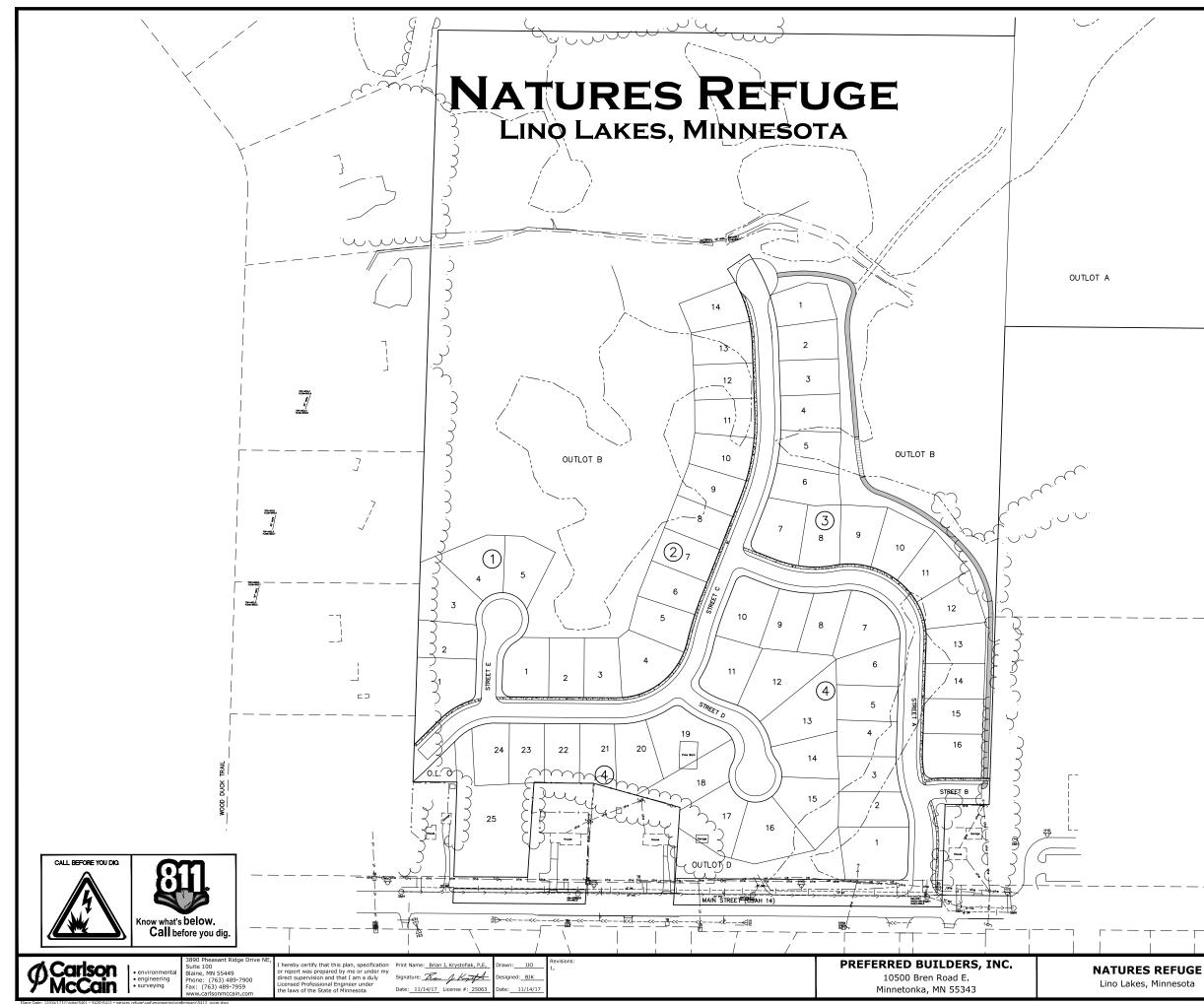
- Maps showing the locations of all surface waters, including wetlands, stormwater ponds or basins within one mile of the site
- A determination whether surface waters within 1one mile of the site are special or impaired for one of the construction-related parameters and additional or enhanced BMPs that will be utilized to address the special or impaired waters.
- Estimated quantities of all erosion prevention and sediment control BMP's to be used for the life of the project.
- The following factors must be accounted for in design of BMP's to use at the site;
 - o The amount, frequency, intensity and duration of precipitation
 - Storm water runoff and run-on and expected flow from impervious surfaces
 - Slope lengths and steepness, site location and drainage features
 - Flow rates and volume of channelized flow
 - o Soils
- Timing of installation for all erosion prevention and sediment control BMP's to be installed at the site along with the procedures to establish additional BMPs as necessary.
- Methods to minimize soil compaction and preserve top soil at the site.
- Documentation why certain design requirements or SWPPP components are not feasible and the methods to be substituted as allowable by permit.
- Procedures for terminating permit coverage.

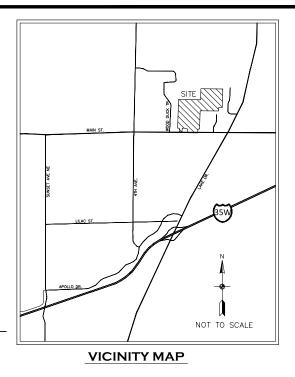


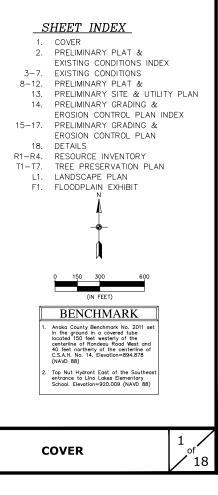
DATE: February 6, 2018
TO: Katie Larsen, City Planner
FROM: Rick DeGardner, Public Services Director
RE: Nature's Refuge - Park Board Discussion

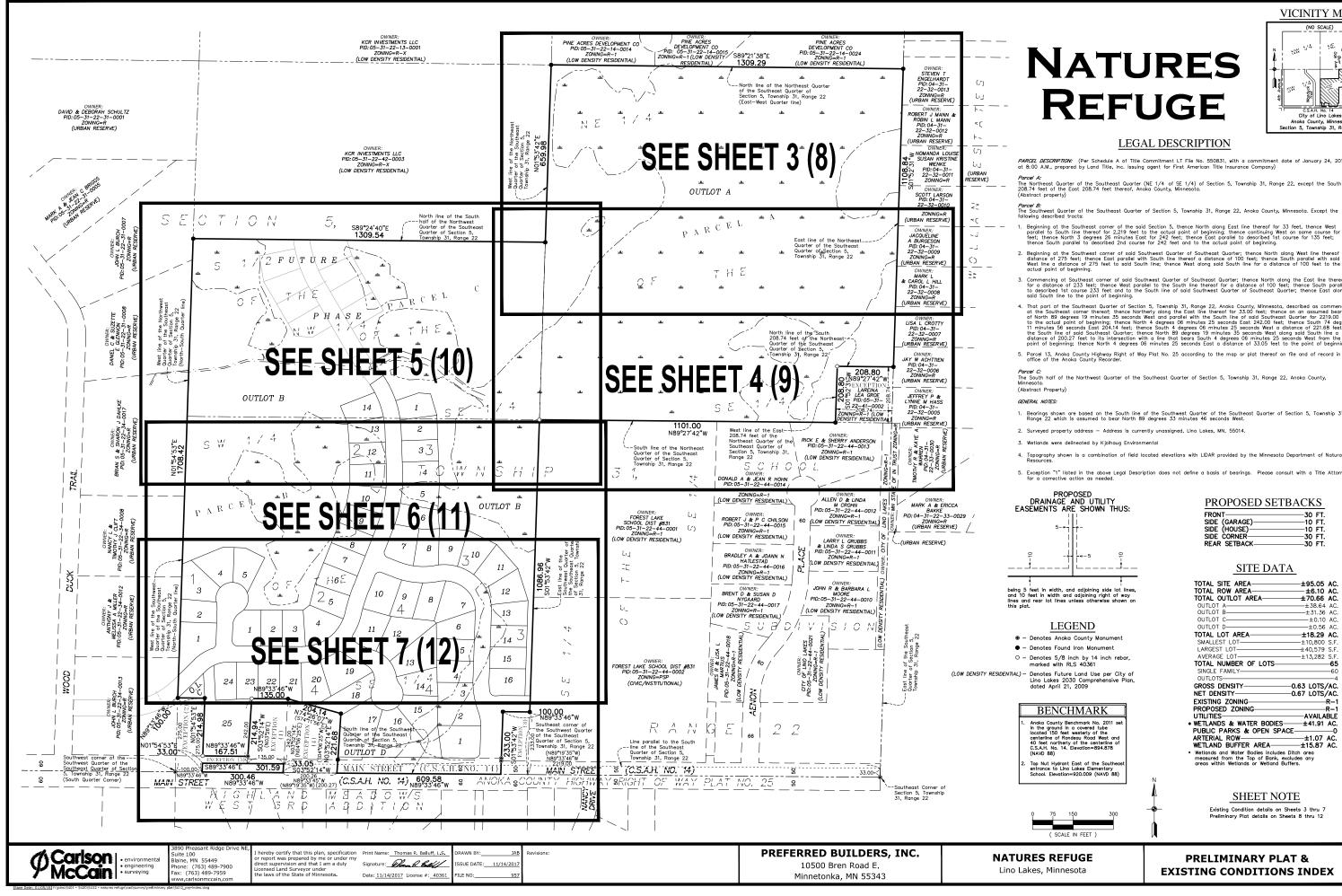
The Park Board discussed the Nature's Refuge development at their February 5, 2018 meeting. The following summarizes the Park Boards recommendation related to park dedication fees, parks, and trails:

- The Parks, Natural Open Space/Greenways and Trails System Plan does not identify a new park in this area. Recommend collecting park dedication fees rather than land for a neighborhood park, and explore options to working with the Forest Lake School District to provide funding for enhancements to the outdoors at Lino Lakes Elementary. Representatives from Lino Lakes Elementary attended the meeting and were excited to further explore this potential partnership.
- The linear trail corridor was well received. Assuming the Forest Lake School District is interested in receiving funding, the trail connection to school district property could occur behind Lot 12, eliminating the need for the trail directly behind Lots 13, 14, 15, and 16.
- Placement of a paved trail along the north side of Main Street from Wood Duck Trail to Lino Lakes Elementary School should be planned for and installed as funds become available.









VICINITY MAD

VICINITI MAI				
(NO SCALE)				
		A Herberger		
City of Lino Lakes				
Anoka County, Minnesota Section 5, Township 31, Range 22				

PARCEL DESCRIPTION: (Per Schedule A of Title Commitment LT File No. 550831, with a commitment date of January 24, 2017 at 8:00 A.M., prepared by Land Title, Inc. issuing agent for First American Title Insurance Company)

Beginning at the Southeast corner of the said Section 5, thence North along East line thereof for 33 feet, thence West parallel to South line thereof for 2,219 feet to the actual point of beginning; thence continuing West on some course f feet; thence North 3 degrees 26 minutes East for 242 feet; thence East parallel to described 1st course for 135 feet; thence South parallel to described 2nd course for 242 feet and to the actual point of beginning.

2. Beginning at the Southwest corner of said Southwest Querter of Southwest Querter, thence North and West line thereof a distance of 275 feet; thence East parallel with South line thereof a distance of 100 feet; thence South parallel with south line; thence West along soid South line for a distance of 100 feet to the actual point of beginning.

3. Commencing at Southeast corner of said Southwest Quarter of Southeast Quarter; thence North along the East line thereof for a distance of 233 feet; thence West parallel to the South line thereof for a distance of 100 feet; thence South parallel to described 1st course 233 feet and to the South line of said Southwest Quarter of Southeast Quarter; thence East along said South line to the point of beginning.

That part of the Southeast Quarter of Section 5, Township 31, Range 22, Anoka County, Minnesota, described as commencing at the Southeast corner thereof; thence Northerly along the East line thereof for 33.00 feet; thence on an assumed bearing of North 89 degrees 19 minutes 35 seconds West and parallel with the South line of said Southeast Quarter for 231.00 feet to the actual point of beginning; thence North 4 degrees 06 minutes 25 seconds East 242.00 feet; thence South 74 degrees 11 minutes 56 seconds feat 201.14 feet; thence South 4 degrees 06 minutes 35 seconds West a distance of 221.66 feet to the South line of said Southeast Quarter; thence North 89 degrees 19 minutes 35 seconds West along said South line a distance of 20.02.7 feet to its intersection with a line that bears South 4 degrees 06 minutes 25 seconds West along said South line a point of beginning; thence North 4 degrees 05 minutes 35 seconds West along soid South line a

Parcel 13, Anoka County Highway Right of Way Plat No. 25 according to the map or plat thereof on file and of record in the office of the Anoka County Recorder.

Bearings shown are based on the South line of the Southwest Quarter of the Southeast Quarter of Section 5, Township 31, Range 22 which is assumed to bear North 89 degrees 33 minutes 46 seconds West.

Topography shown is a combination of field located elevations with LIDAR provided by the Minnesota Department of Natural

5. Exception "1" listed in the above Legal Description does not define a basis of bearings. Please consult with a Title Attorney

PROPOSED SETBACKS		
FRONT		
SIDE (GARAGE)	-10 FT.	
SIDE (HOUSE)	-10 FT.	
DEAD CETDACK	20 FT	

SITE DATA

TOTAL SITE AREA	+95.05 AC
TOTAL ROW AREA	
TOTAL OUTLOT AREA	
OUTLOT A	——±38.64 AC.
OUTLOT B	
OUTLOT C	±0.10 AC.
OUTLOT D	±0.56 AC.
TOTAL LOT AREA	-+18 29 AC
SMALLEST LOT	
LARGEST LOT	
LARGEST LUT	—_±40,579 S.F.
AVERAGE LOT	——±13,282 S.F.
TOTAL NUMBER OF LOTS-	
SINGLE FAMILY-	60
SINGLE FAMILY	4
GROSS DENSITY	-0.63 1.075 /AC
	0.03 LOTS/AC.
NET DENSIT	-0.67 LUIS/AC.
EXISTING ZONING	
EXISTING ZONING PROPOSED ZONING	
UTILITIES	AVAILABLE
WETLANDS & WATER BODIES-	
PUBLIC PARKS & OPEN SPAC	
ARTERIAL ROW	
WETLAND BUFFER AREA	—_±15.87 AC.
Wetlands and Water Bodies includes I measured from the Top of Bank, exc greas within Wetlands or Wetland But	dudes any

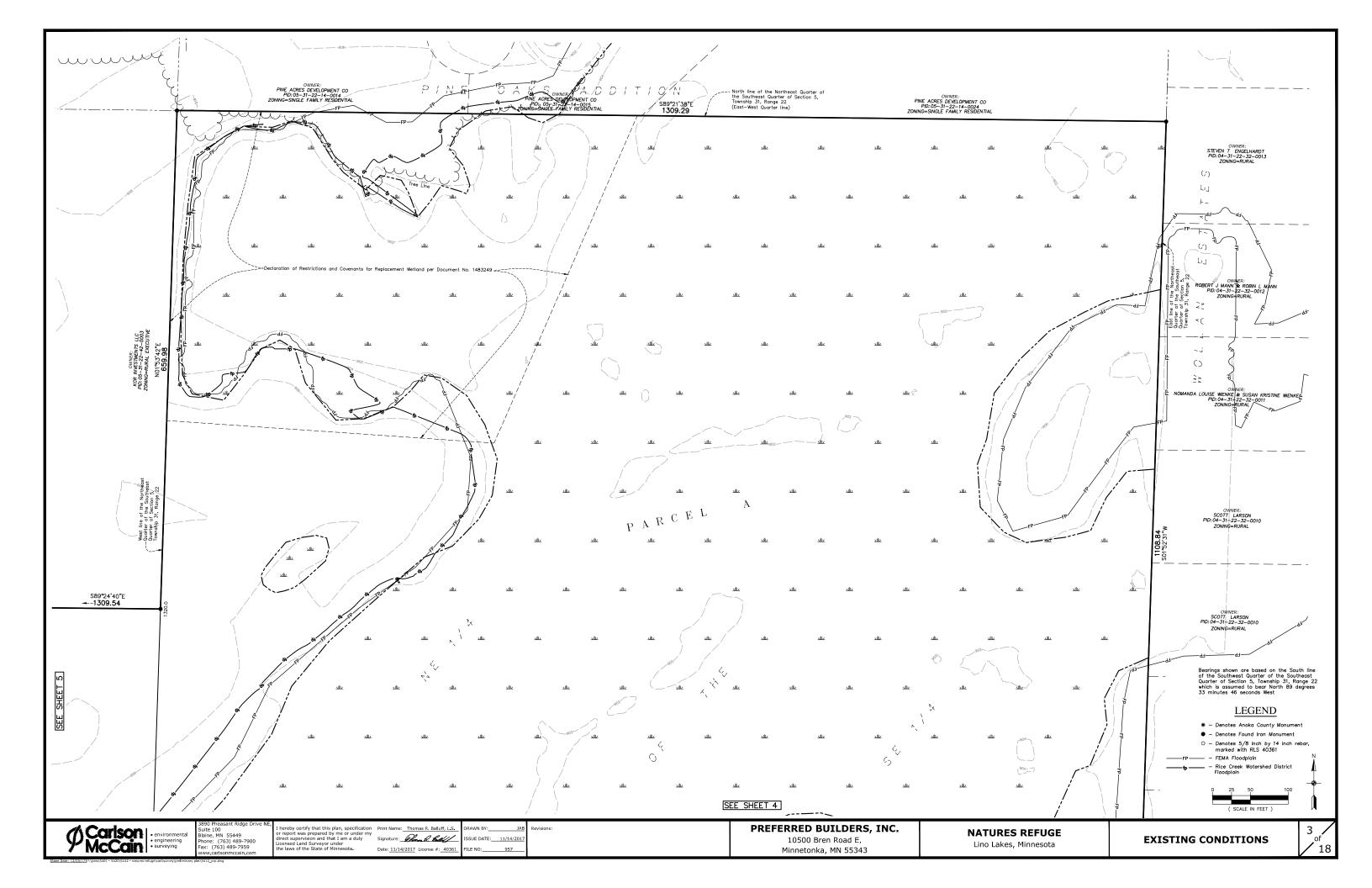
areas within Wetlands or Wetland Buffers

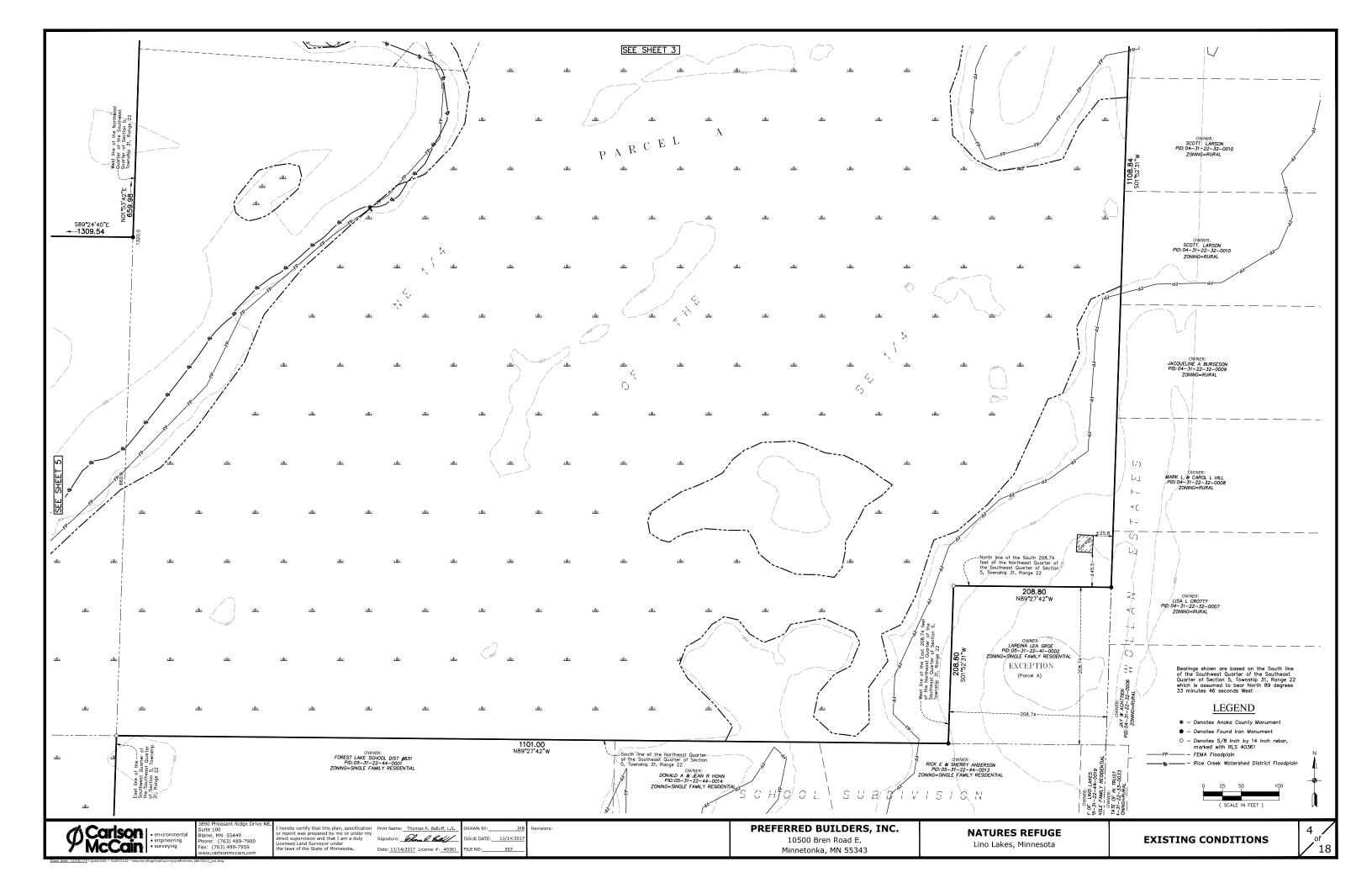
SHEET NOTE

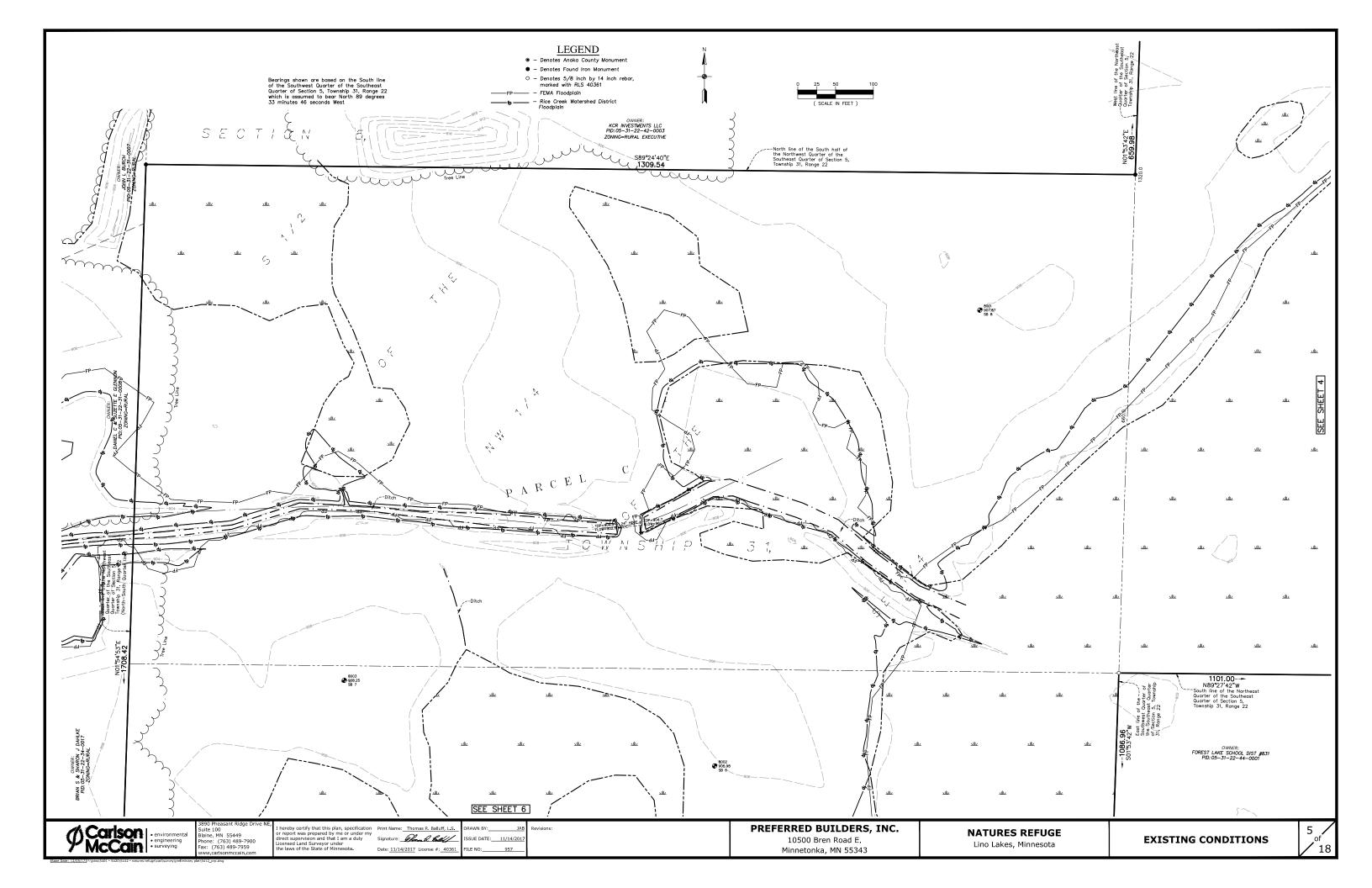
Existing Condition details on Sheets 3 thru 7 Preliminary Plat details on Sheets 8 thru 12

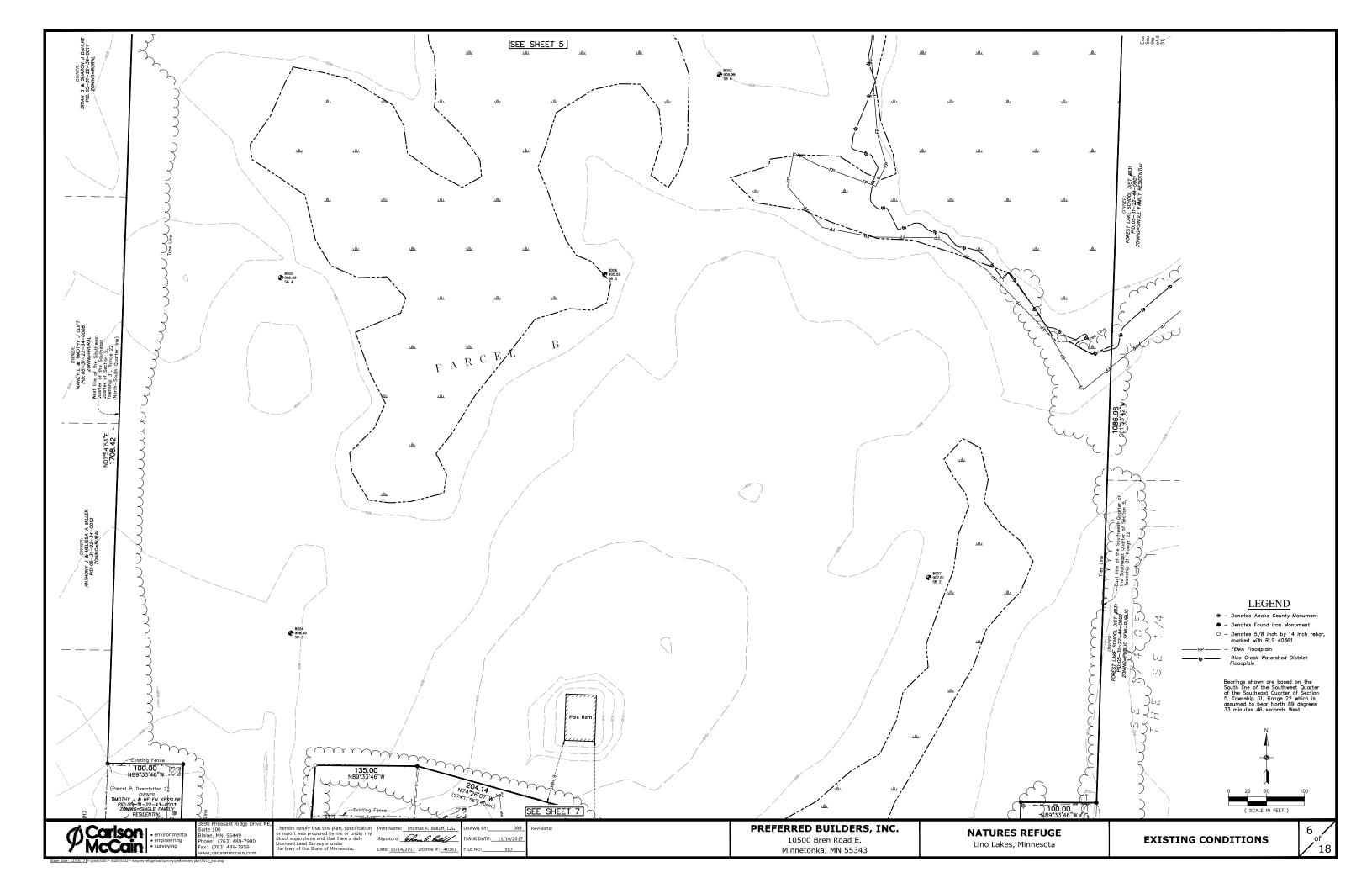
PRELIMINARY PLAT & EXISTING CONDITIONS INDEX

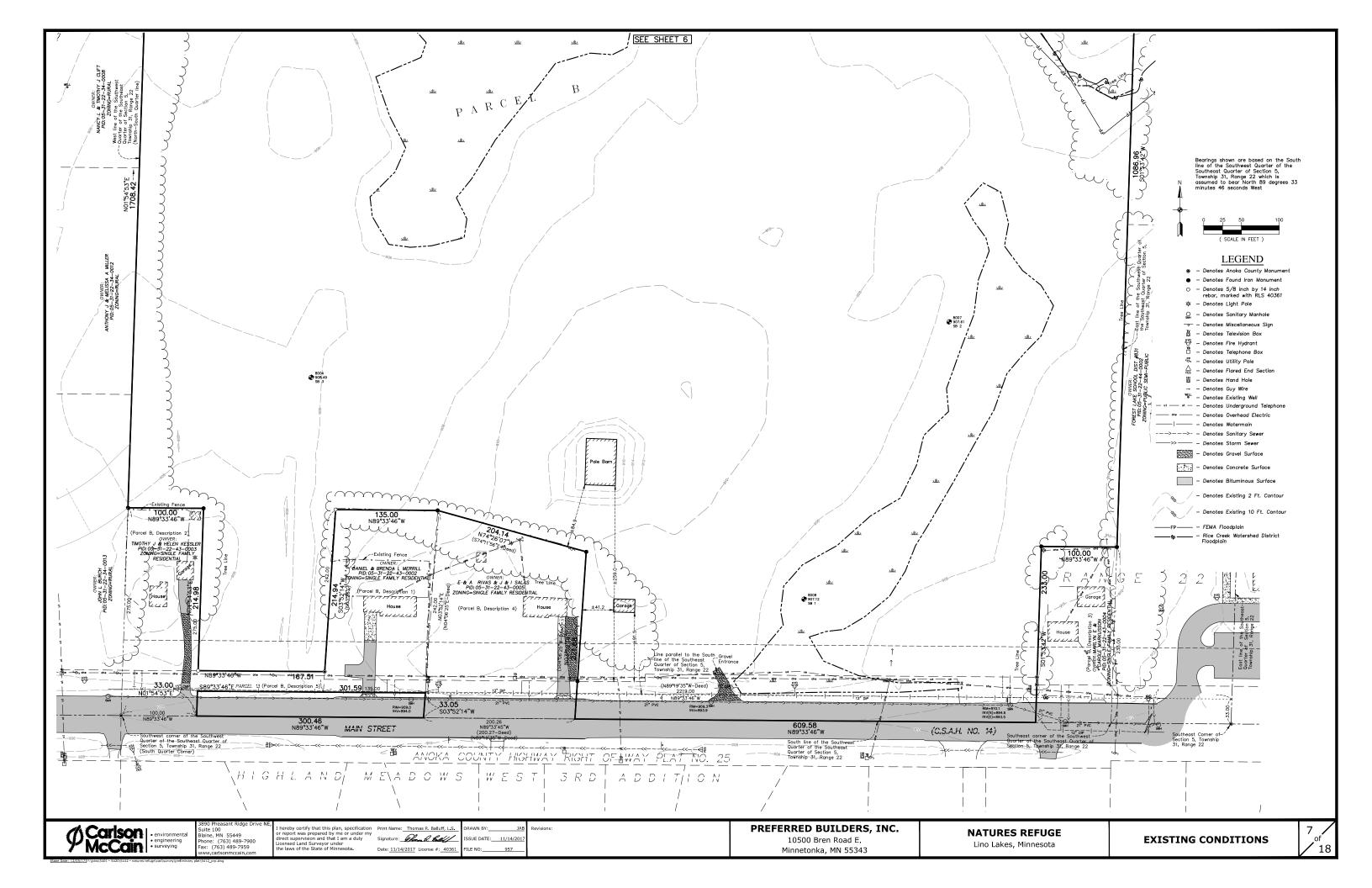


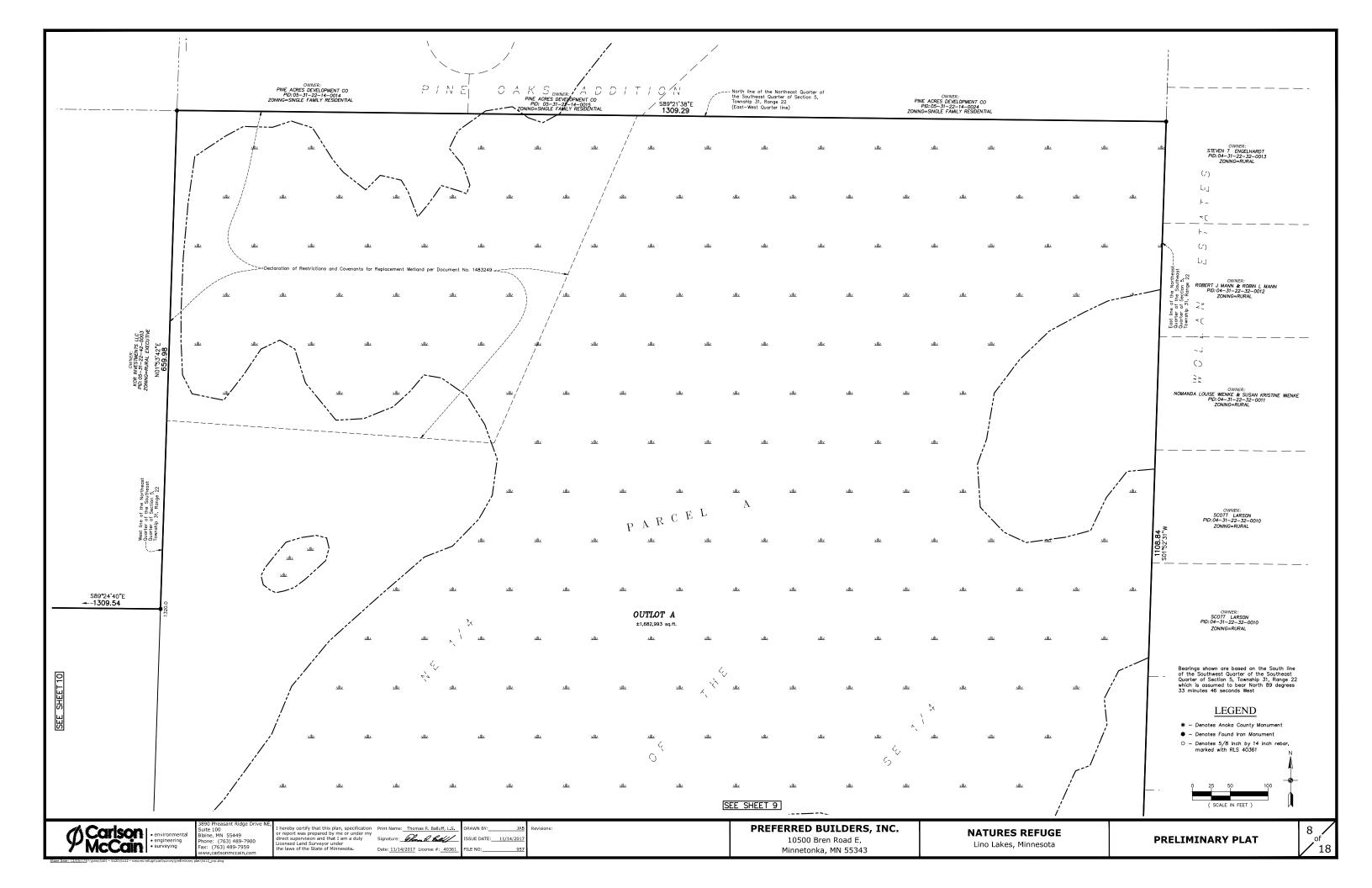


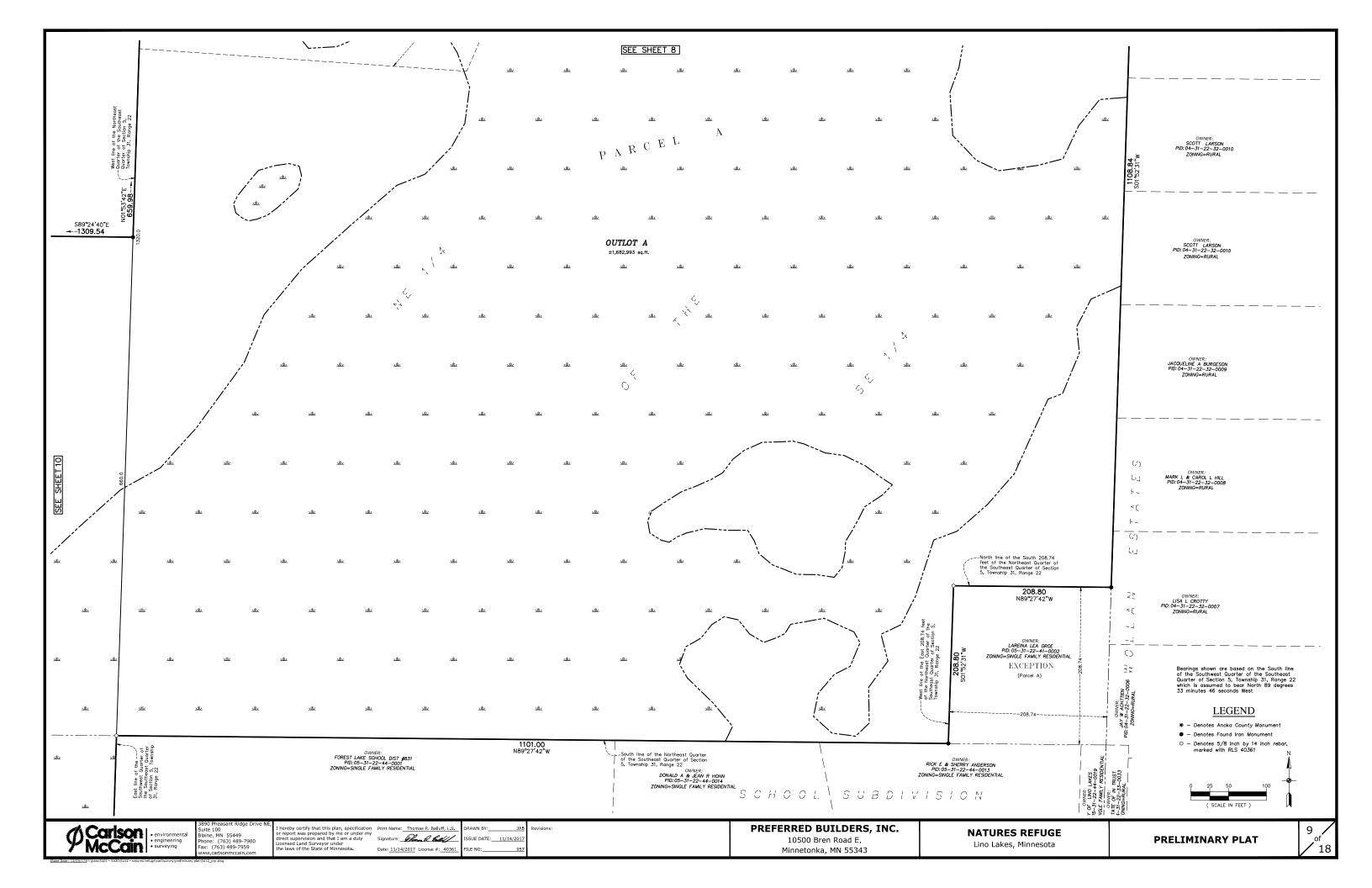


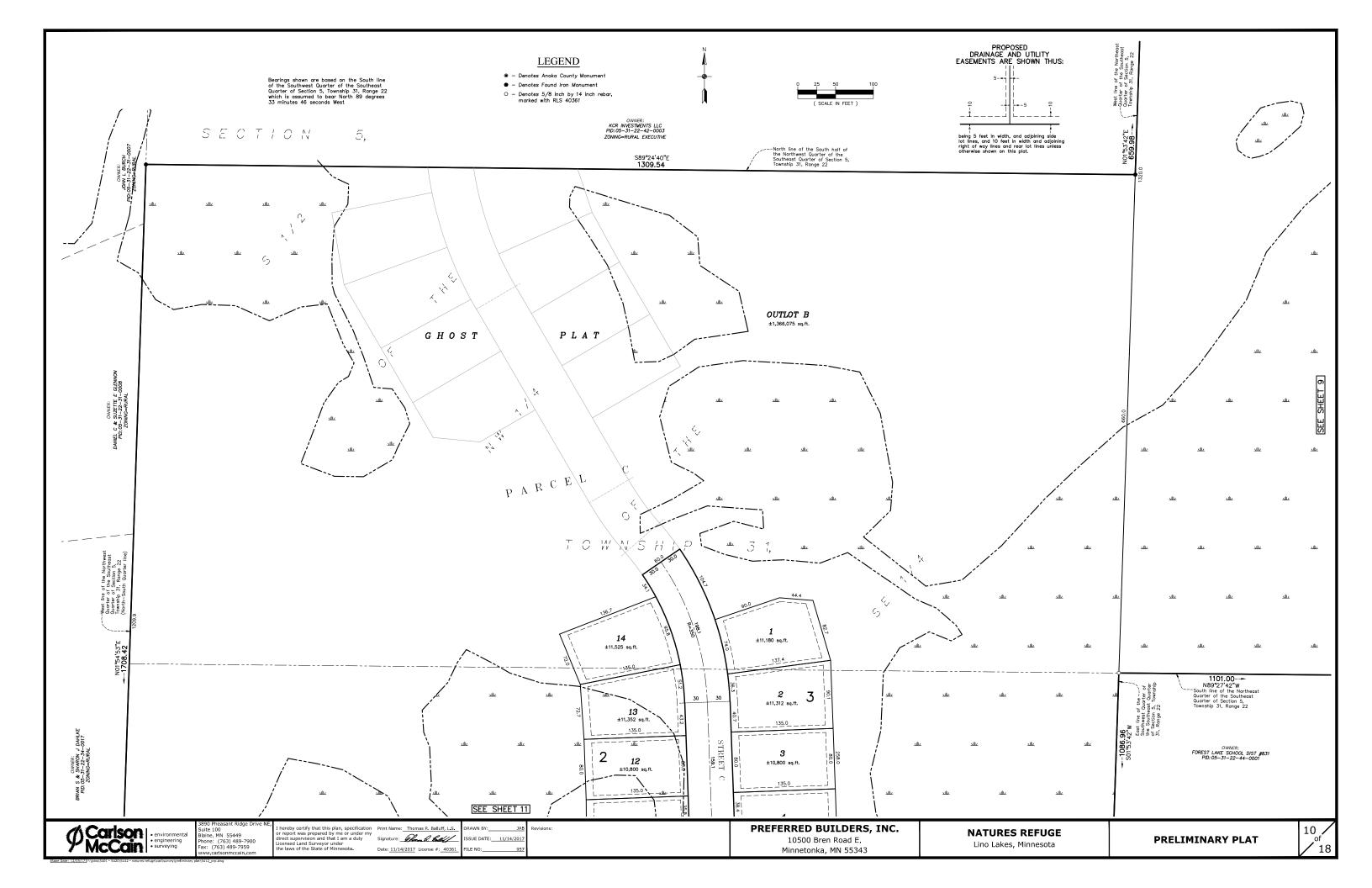


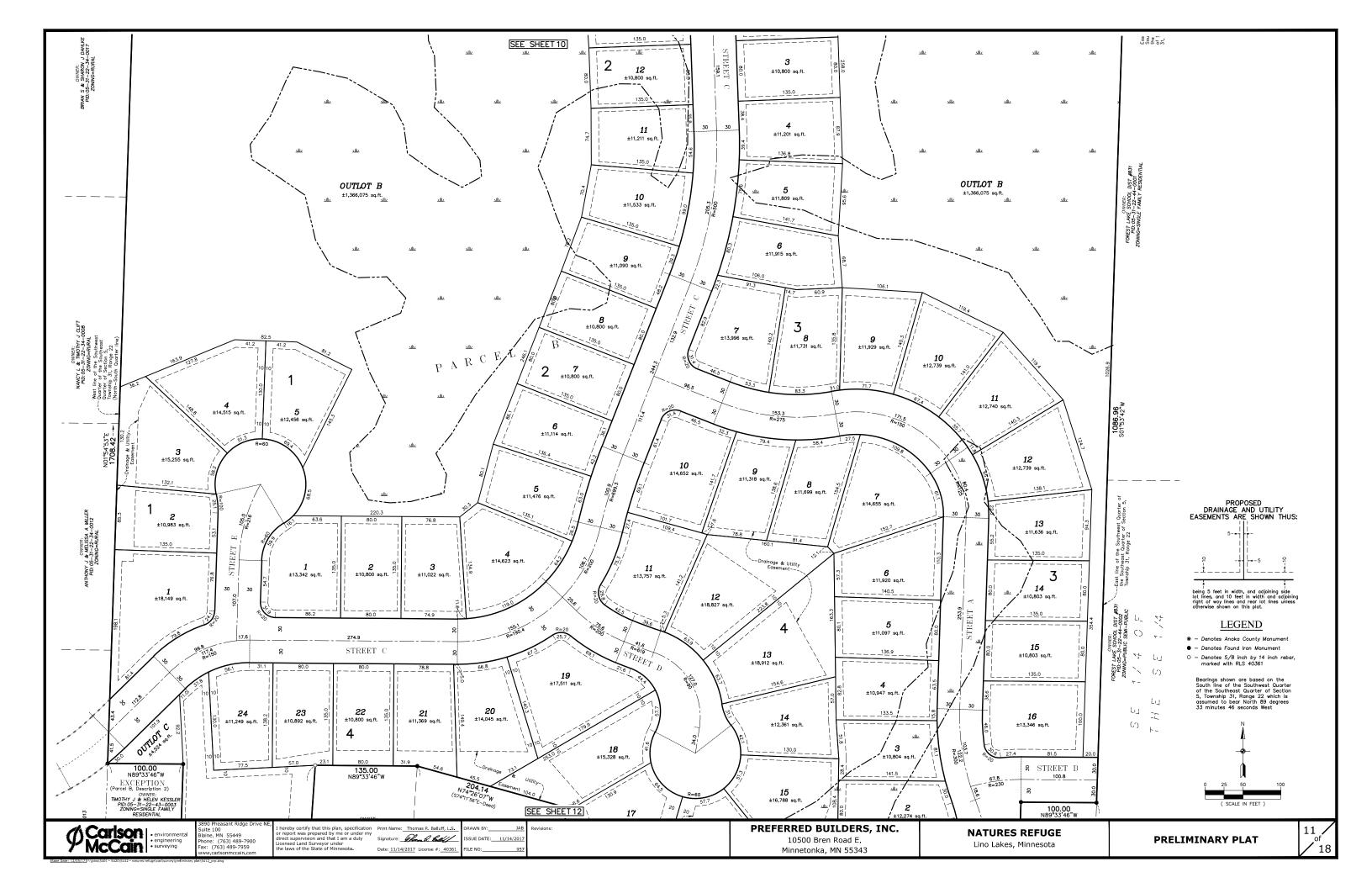


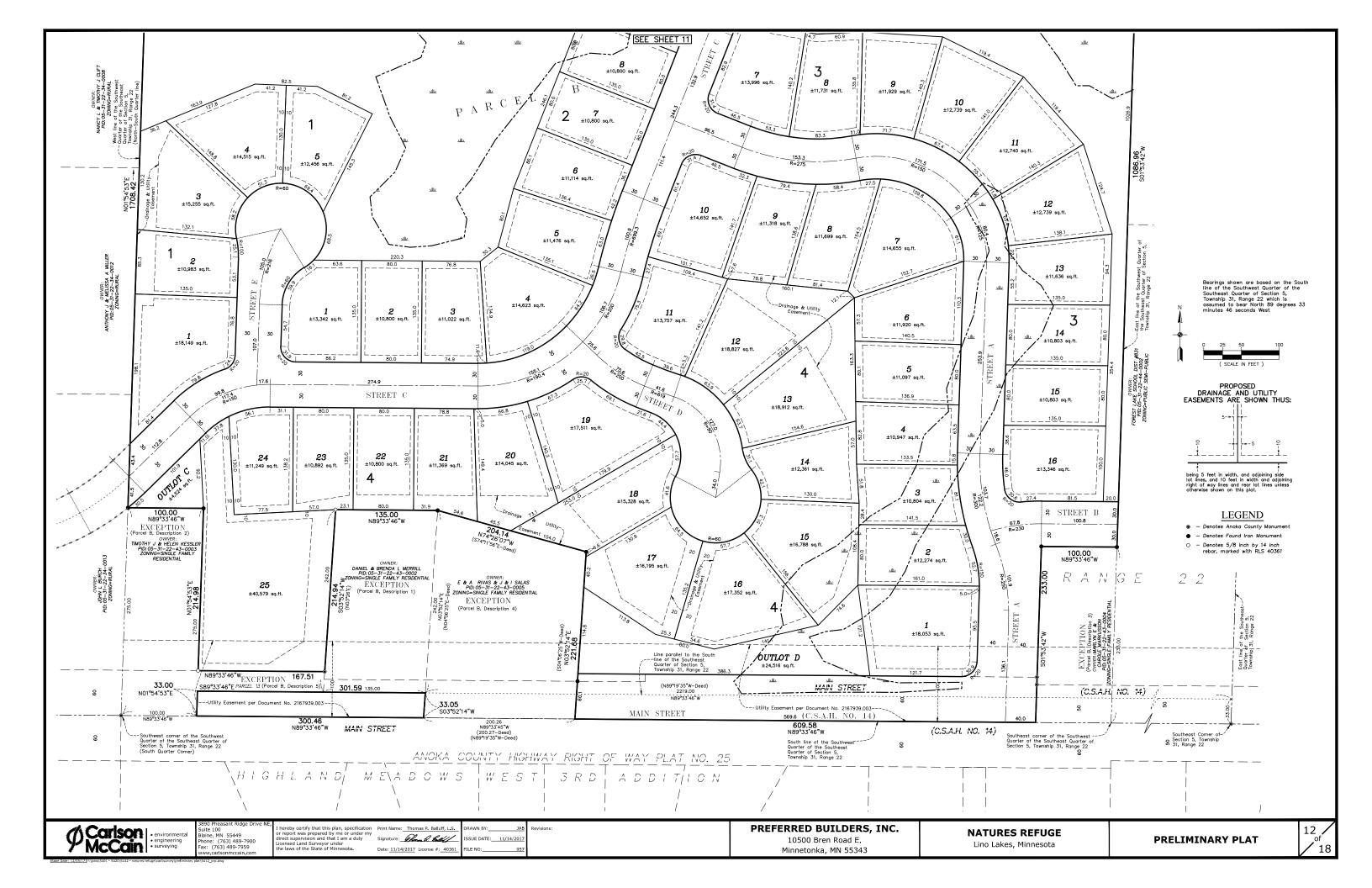


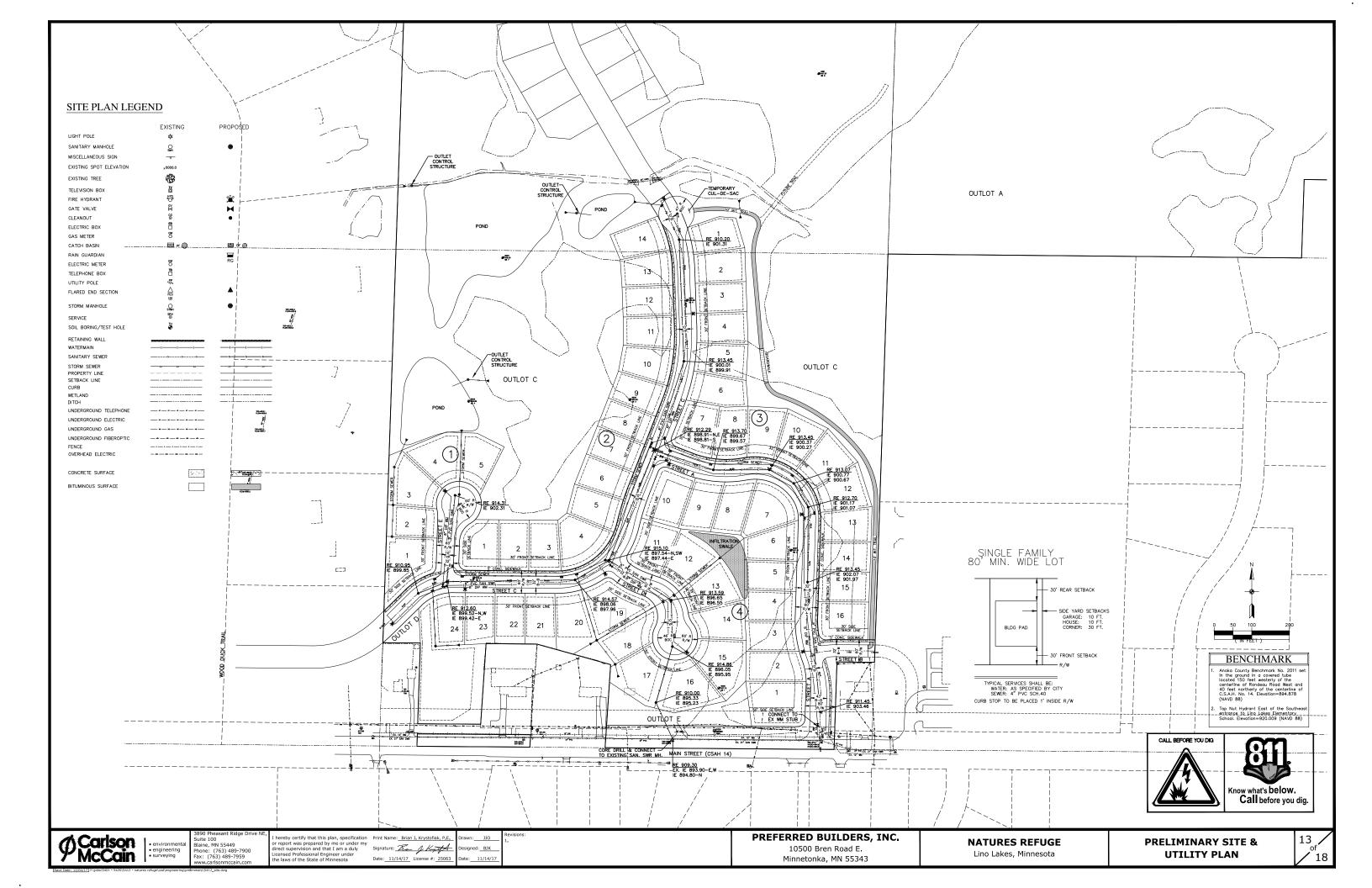


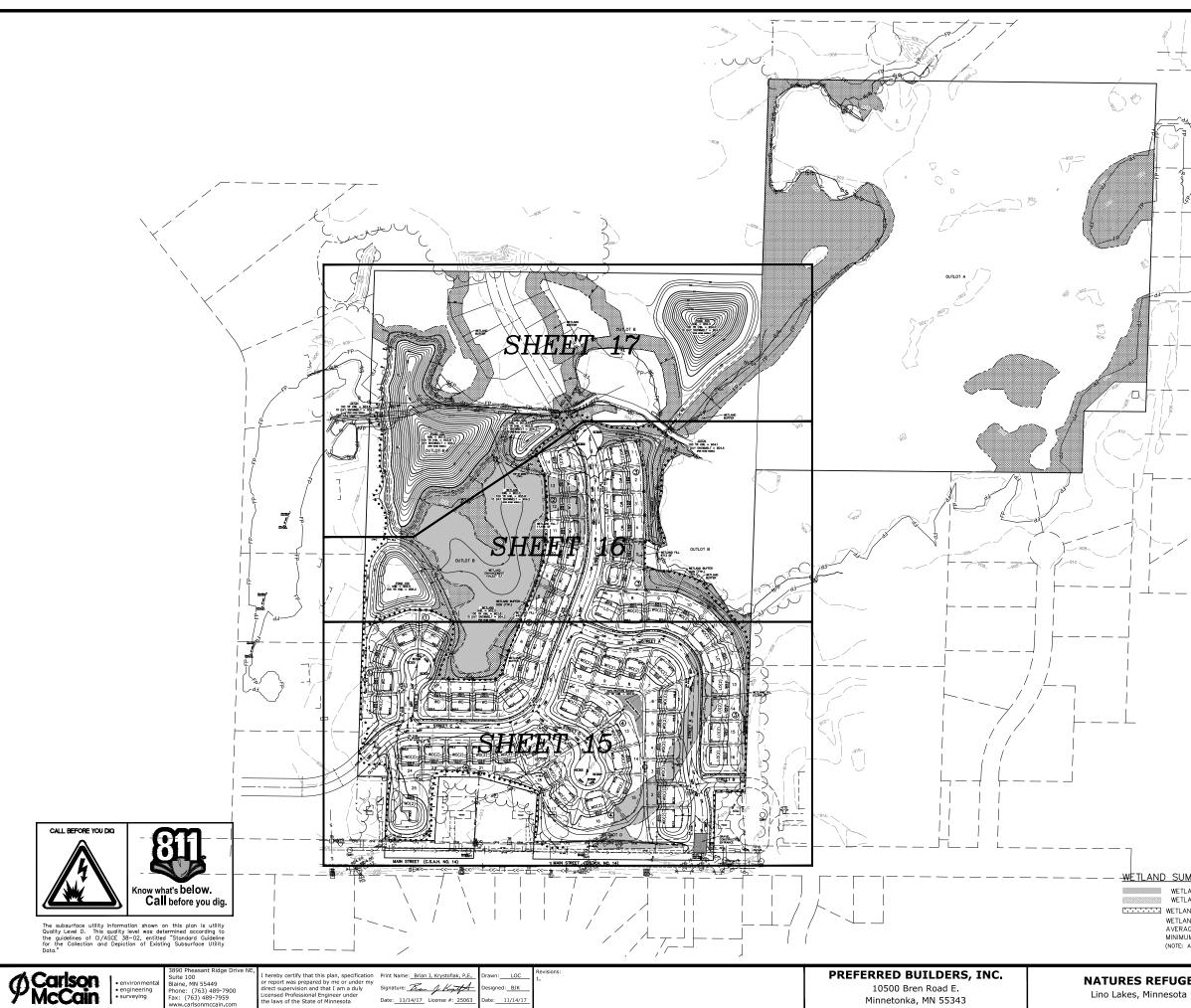




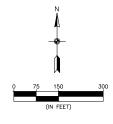








	LEGEN	ID
		PROPOSED
PROPERTY LINE	EXISTING	PROPOSED
EASEMENT LINE		
CURB LINE		
BITUMINOUS		
CONCRETE		State to a reaction
SANITARY SEWER		A CONTRACTOR OF A CONTRACTOR
STORM SEWER	́>	»
WATER MAIN		C DENOTES INLET
OVERHEAD UTILITY	ohe	PROTECTION
STORM CATCH BASIN	Ø 📾	
STORM MANHOLE		
OUTLET CONTROL STRUCTURE		0
MANHOLE		
HYDRANT	8°	
GATE VALVE	TV N	
TELEVISION BOX	П	
TELEPHONE BOX		
UTILITY POLE	~~~	
RETAINING WALL		
FENCE		
10' CONTOUR		
2' CONTOUR		
FEMA FLOOD PLAIN		
WETLAND LINE	0.00	00.0
SPOT ELEVATION		
EMERGENCY OVERFLOW		E.O.F.
		000.0
SILT FENCE		
TREE FENCE		
GRADING LIMITS		$\triangle \triangle \triangle \triangle \triangle \Delta \triangle $
TREELINE	$\sim\sim\sim$	
SOIL BORING		ĕ
FEMA FLOODPLAIN	FP	
RCWD FLOODPLAIN	fp	fp



BENCHMARK ounty Benchmark No. 20 round in a covered tube 150 feet westerly of the ie of Rondeau Road West Anoka Ca n the gr In the second se

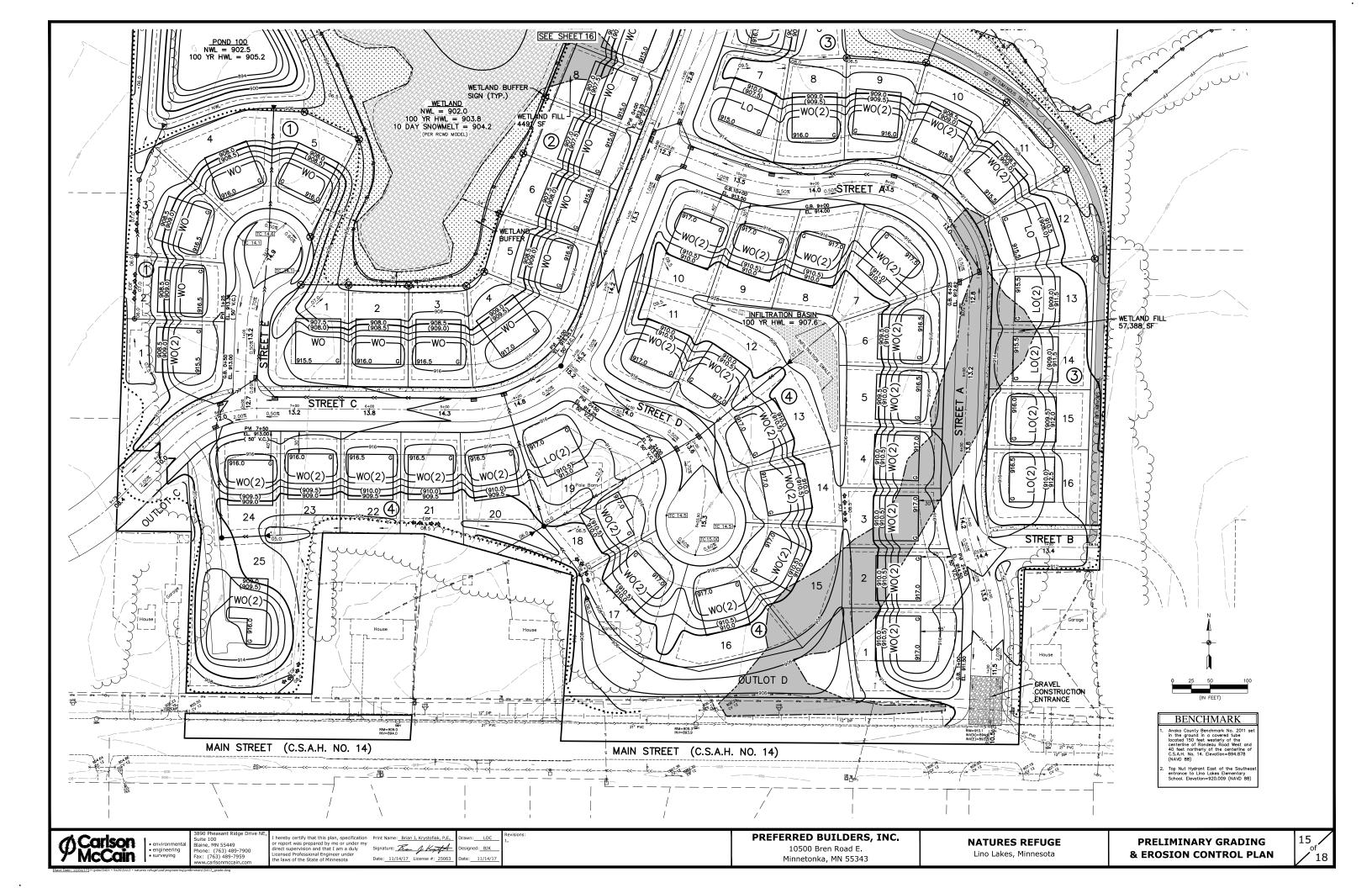
Top Nut Hydrant East of the Southea entrance to Lino Lakes Elementary School. Elevation=920.009 (NAVD 88)

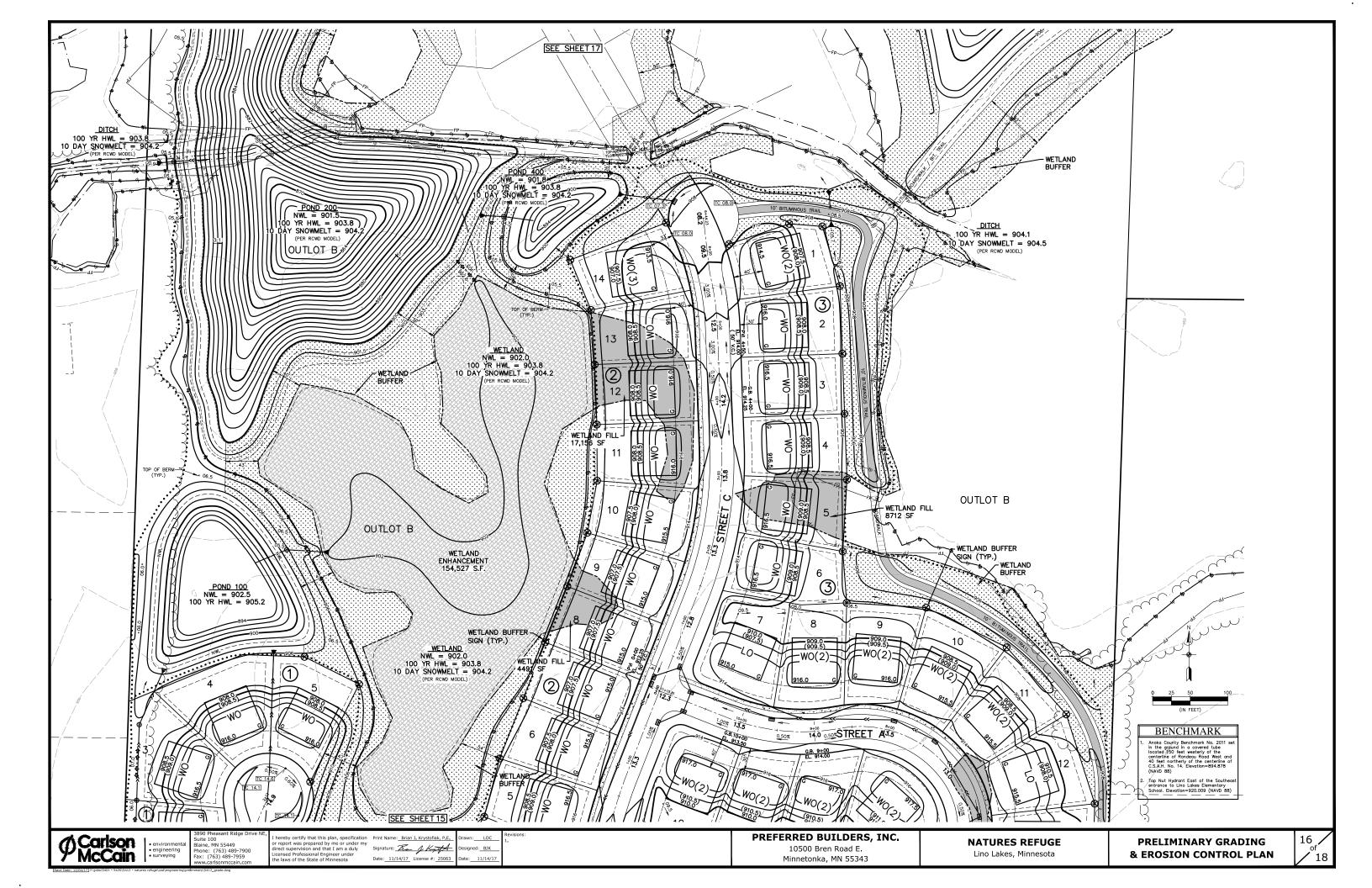
WETLAND SUMMARY

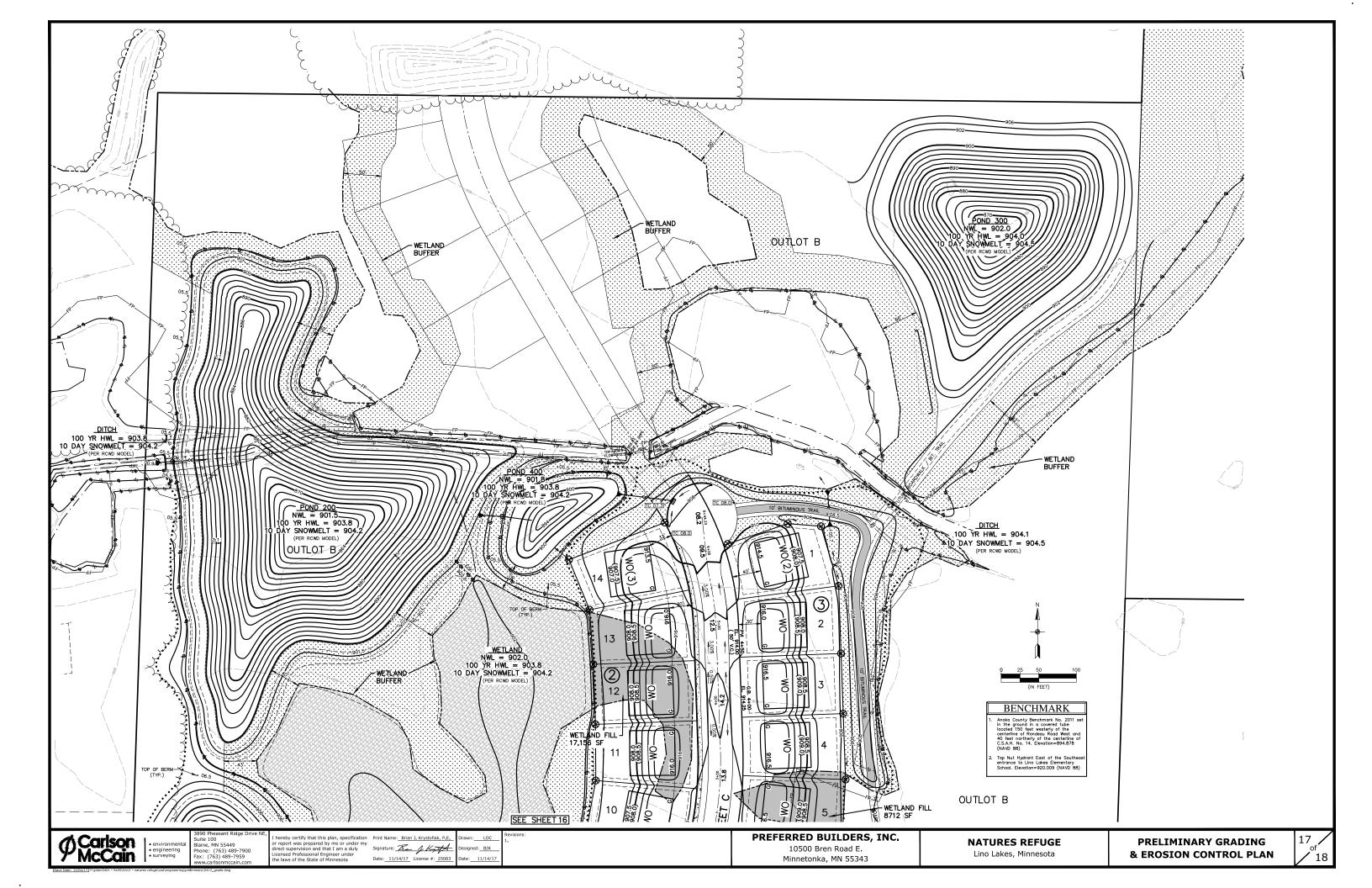
WETLAND FILL WETLAND ENHA WETLAND BUFFEF WETLAND BUFFEF AVERAGE WDTH MINIMUM WIDTH	R AREA R WIDTH: 50' (ft) 25' (ft)	=	87,747 SF 154,527 SF 691,284 SF	(3.5 AC)	
	EXCLUDE PAVED TRAIL SU	JRFAG	DES)		
WETLAND BUFFER AVERAGE WIDTH MINIMUM WIDTH :	R WIDTH: 50' (ft) 25' (ft)		·	(15.9 AC)	

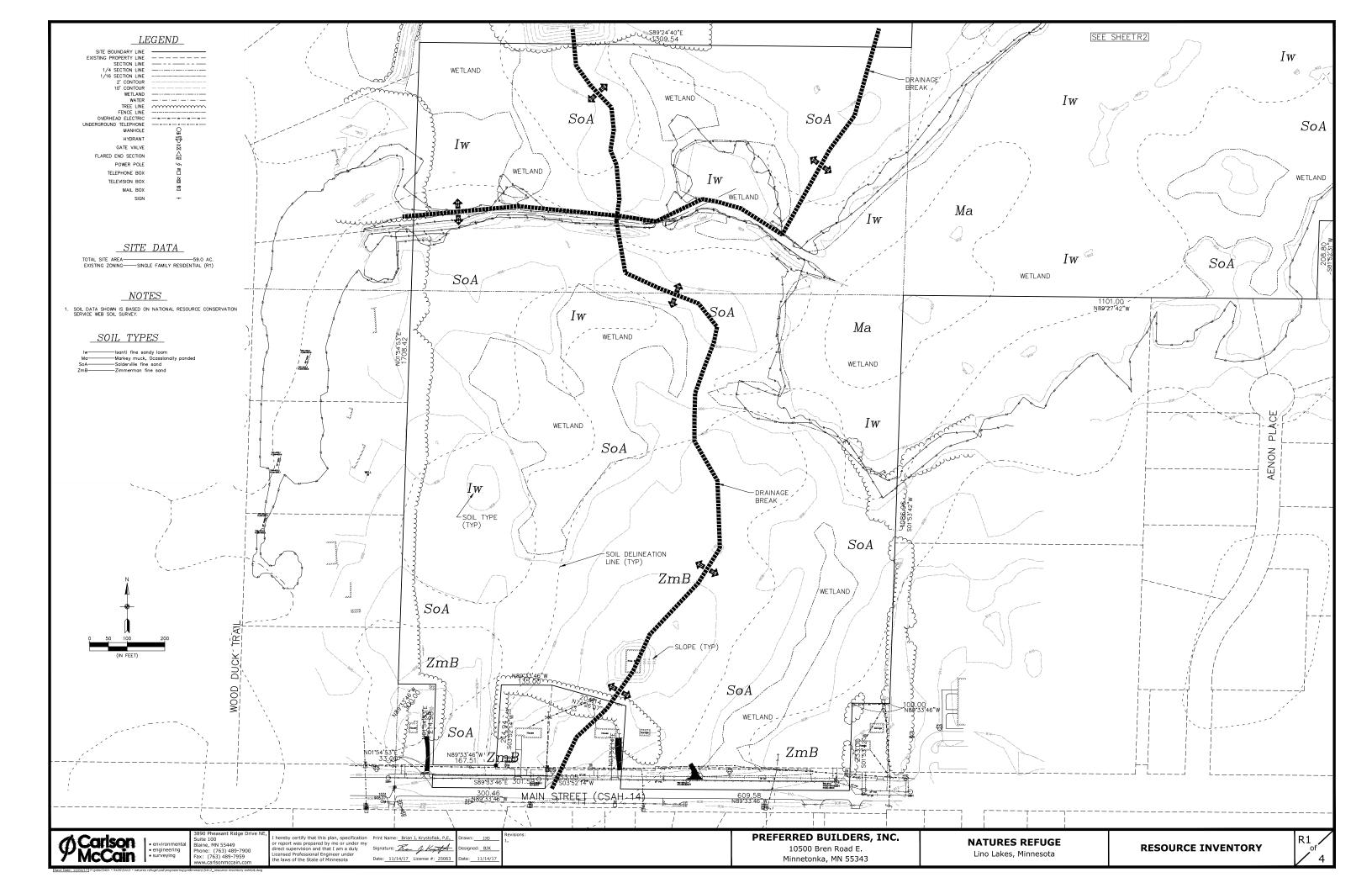
PRELIMINARY GRADING & EROSION CONTROL PLAN

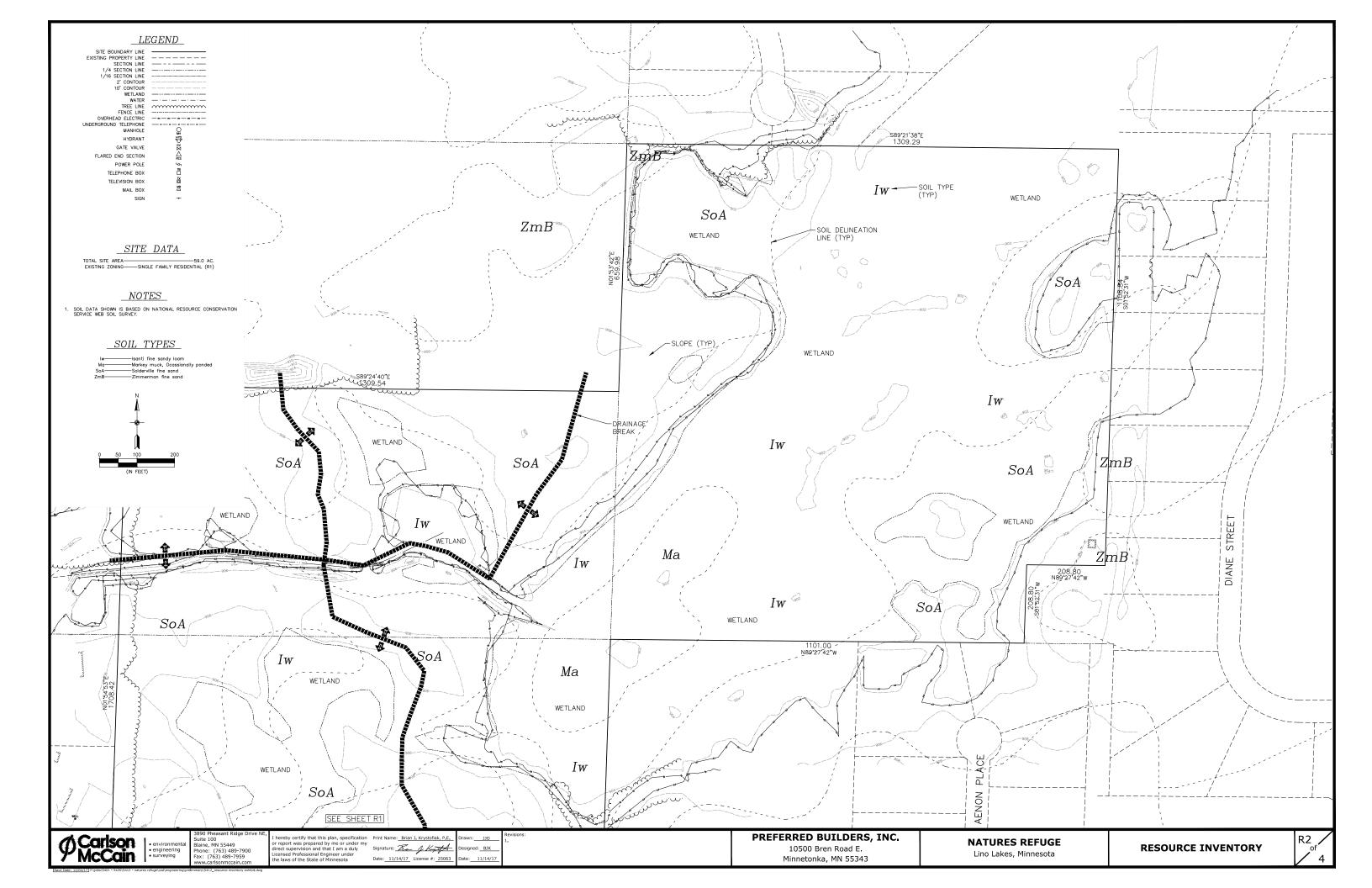
14	
	18 ¹

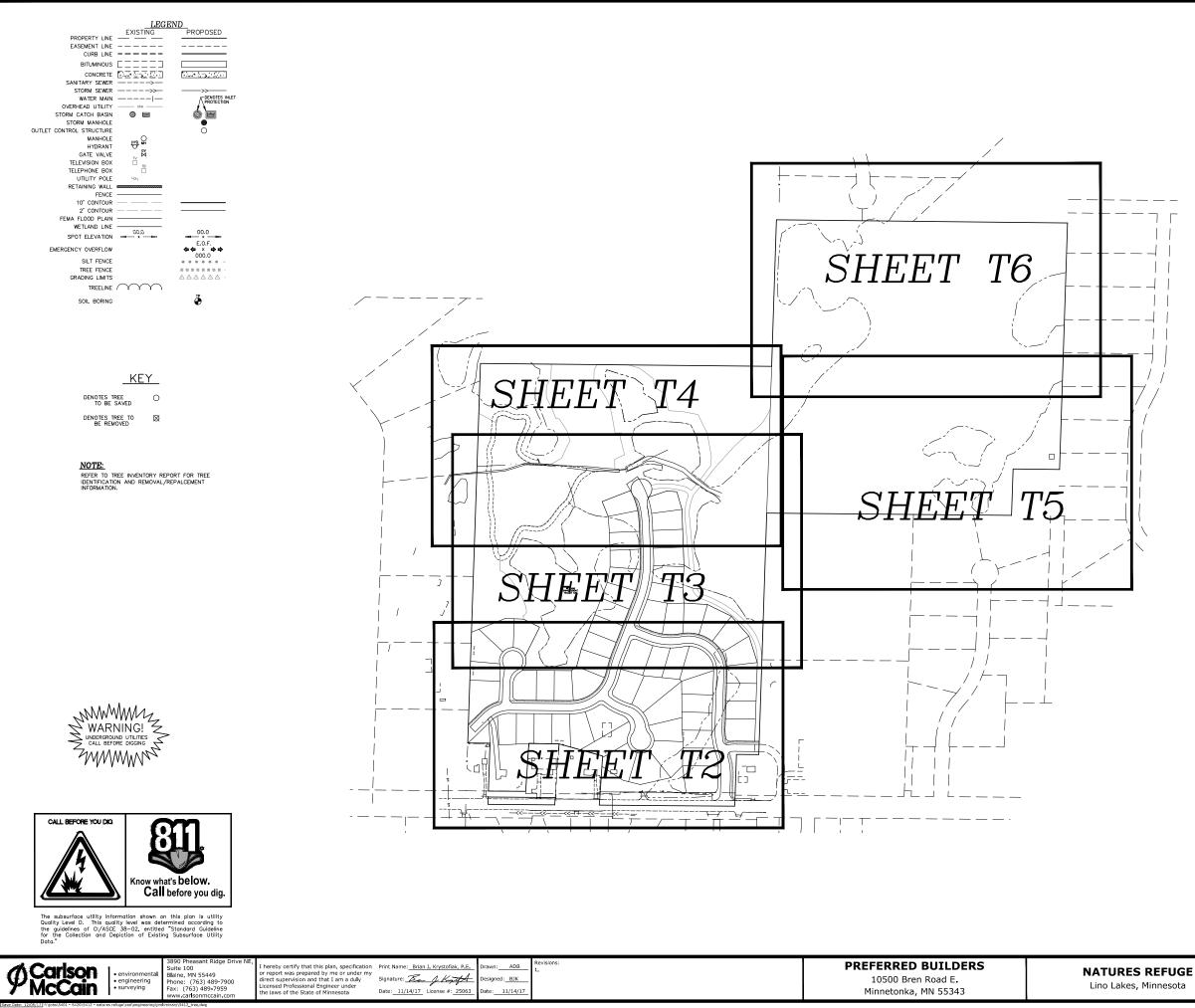


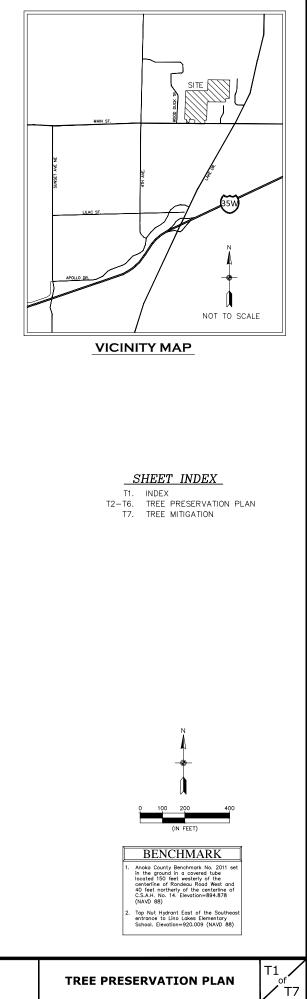




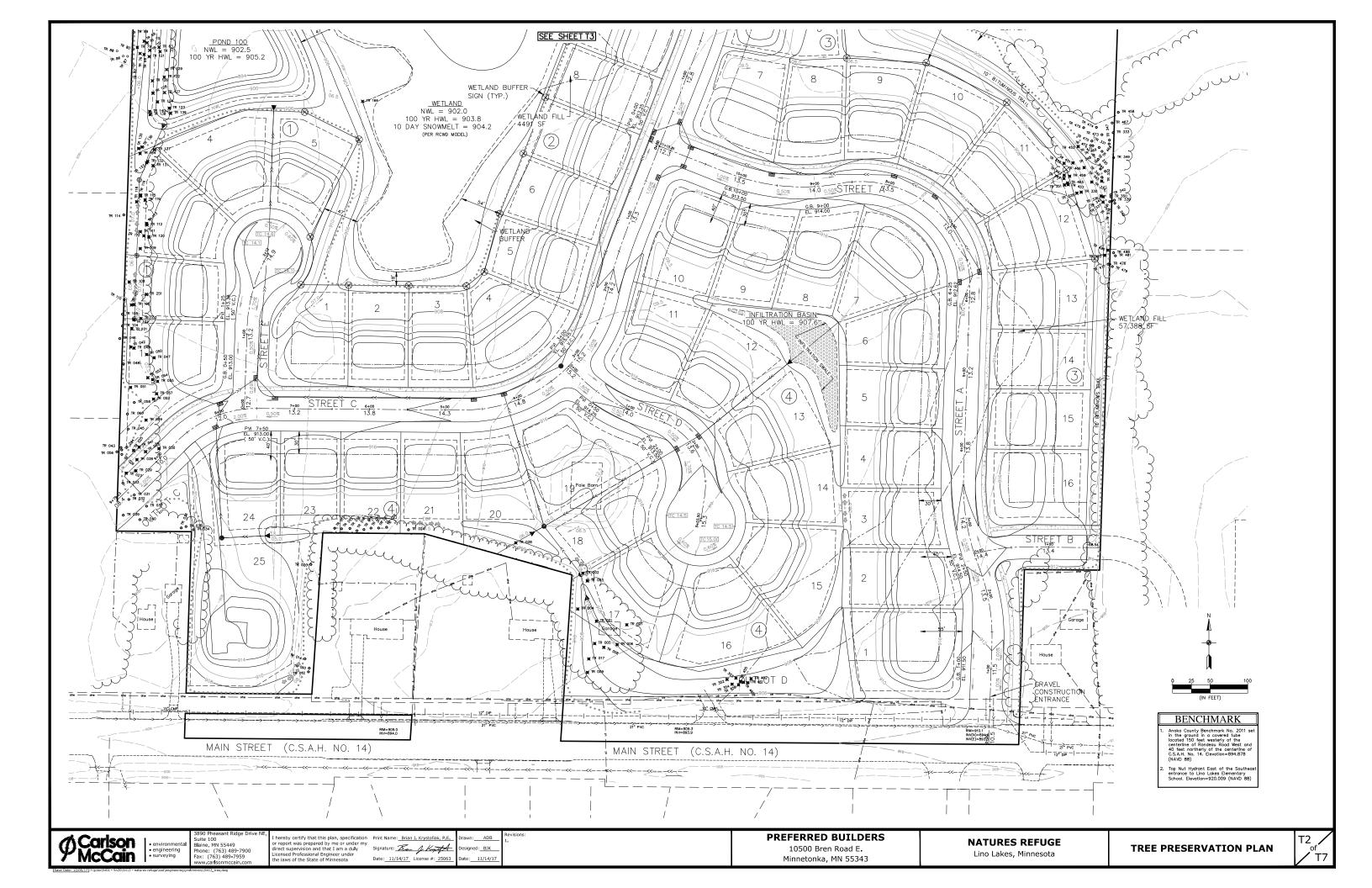


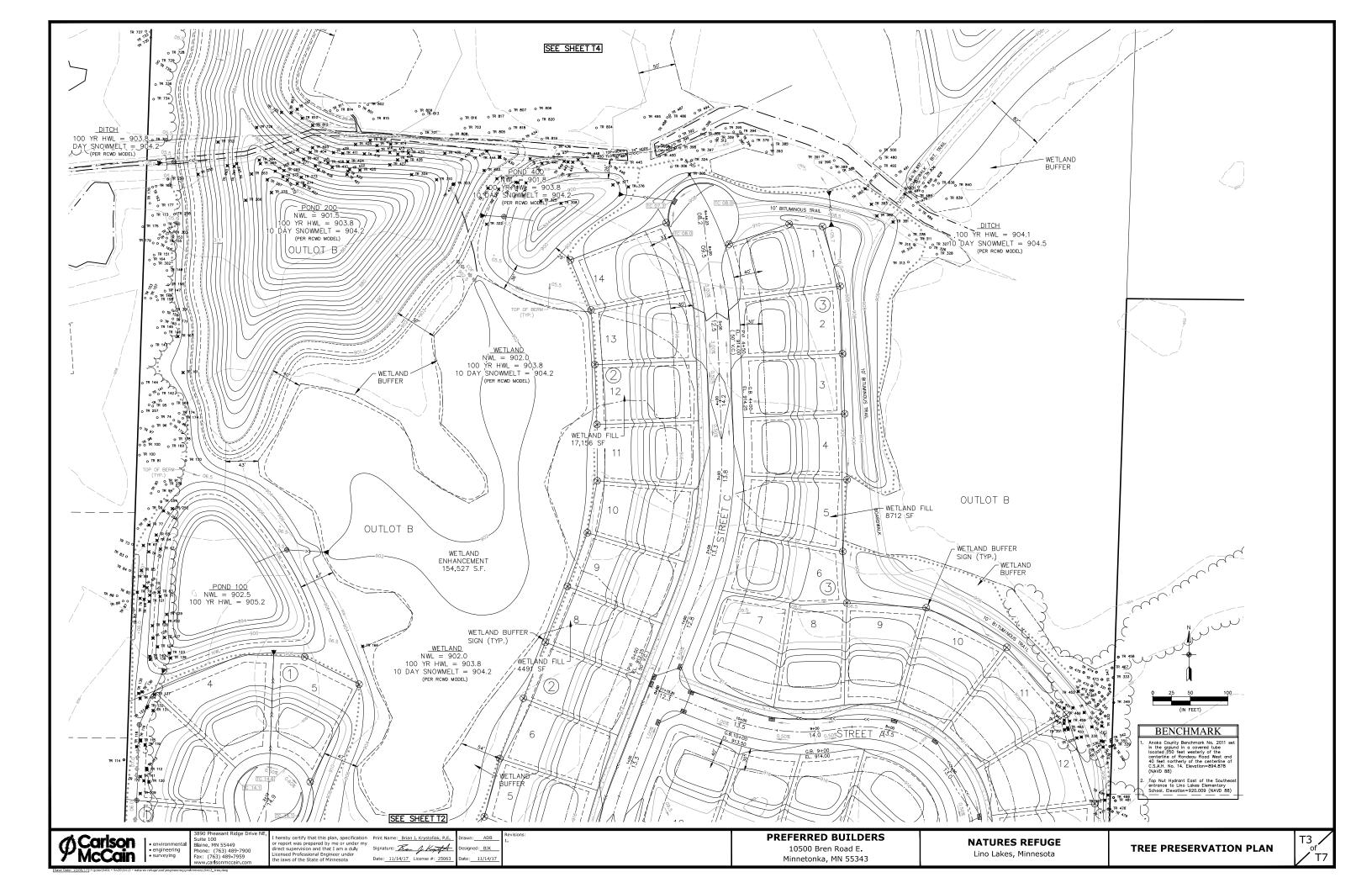


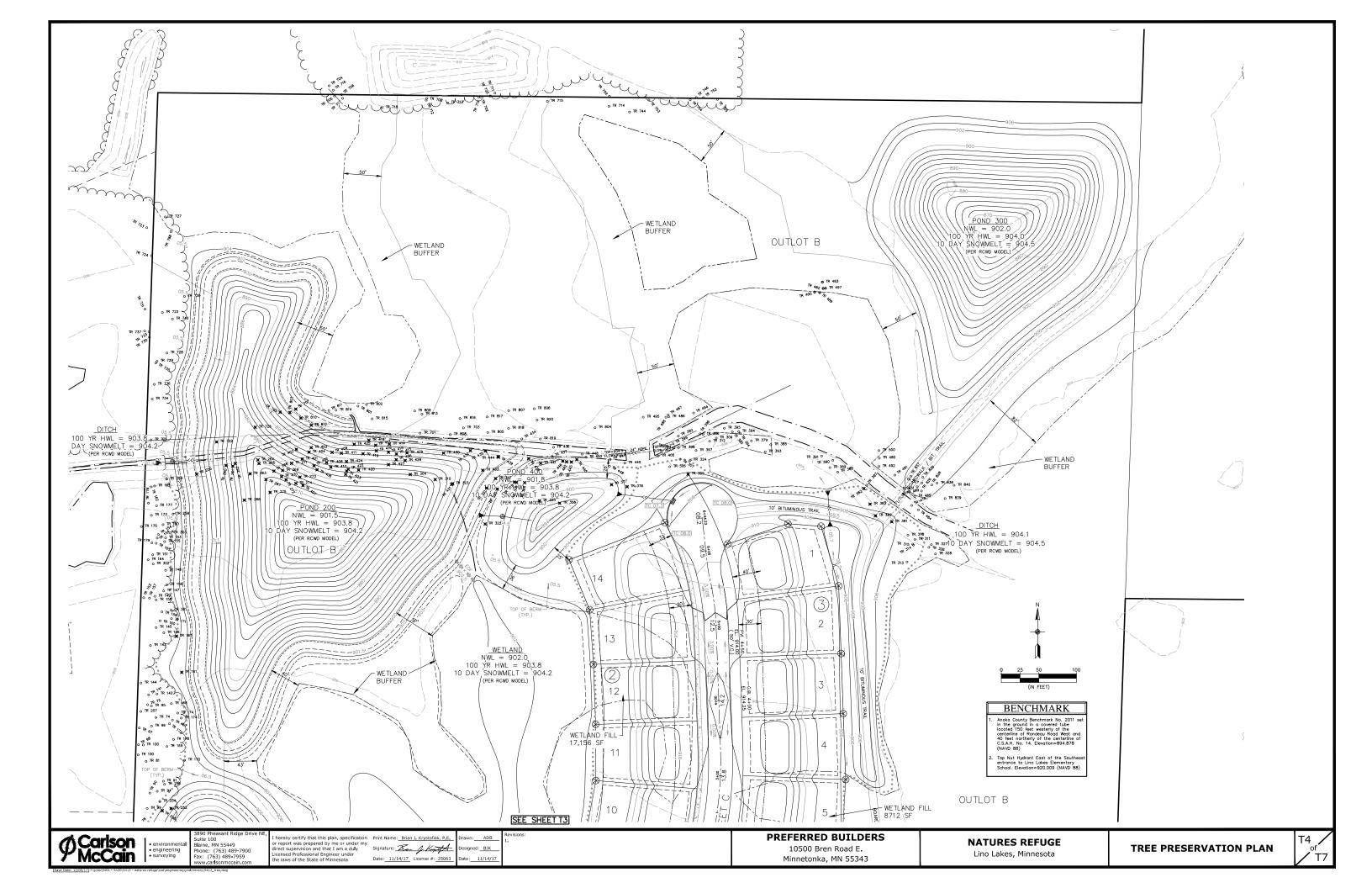


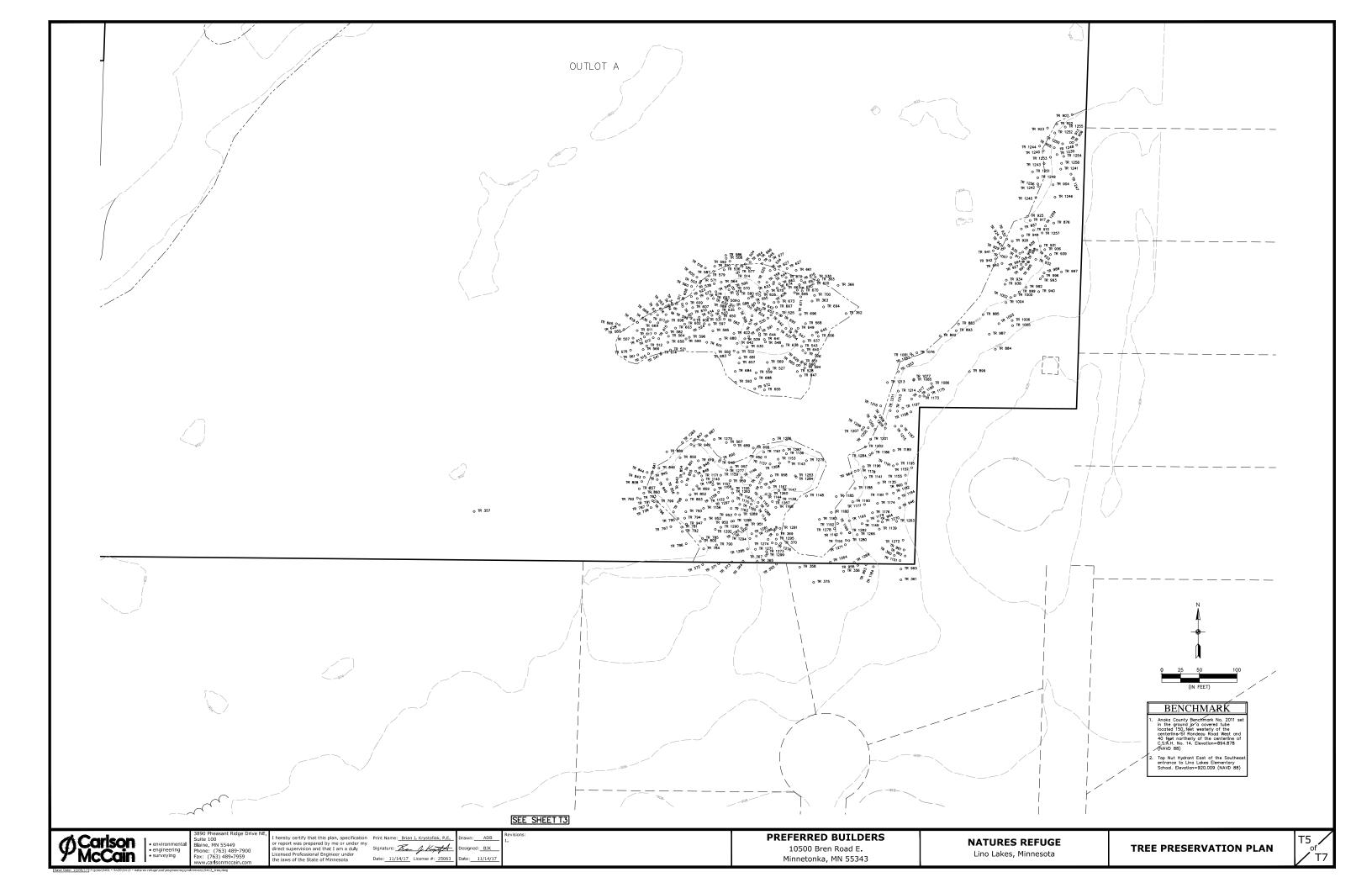


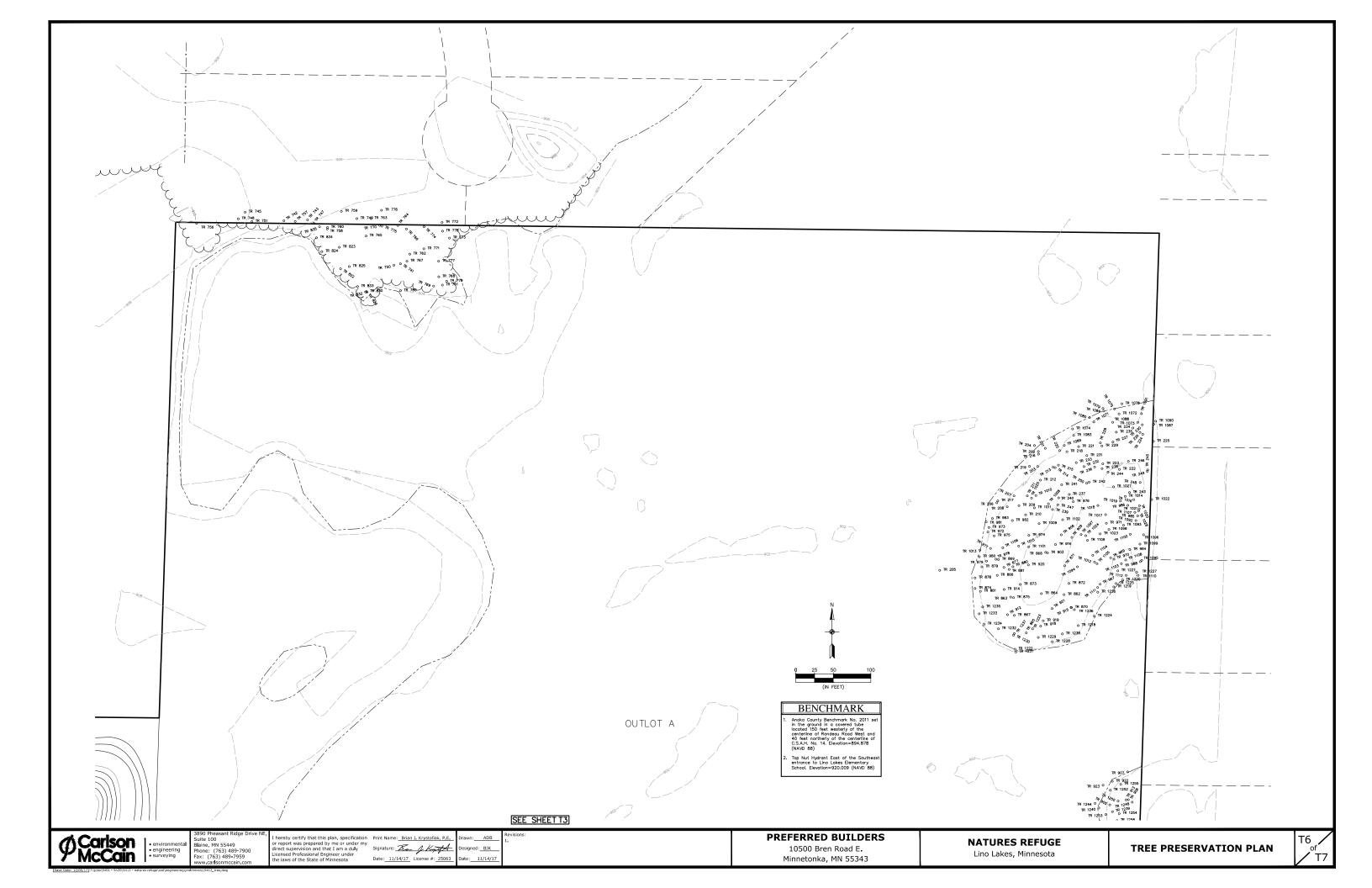
TREE PRESERVATION PLAN

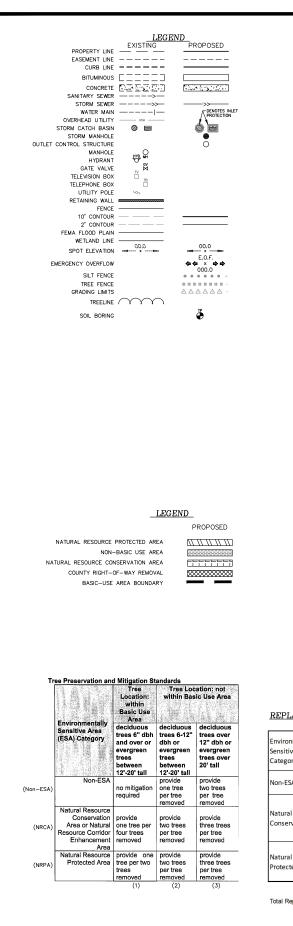










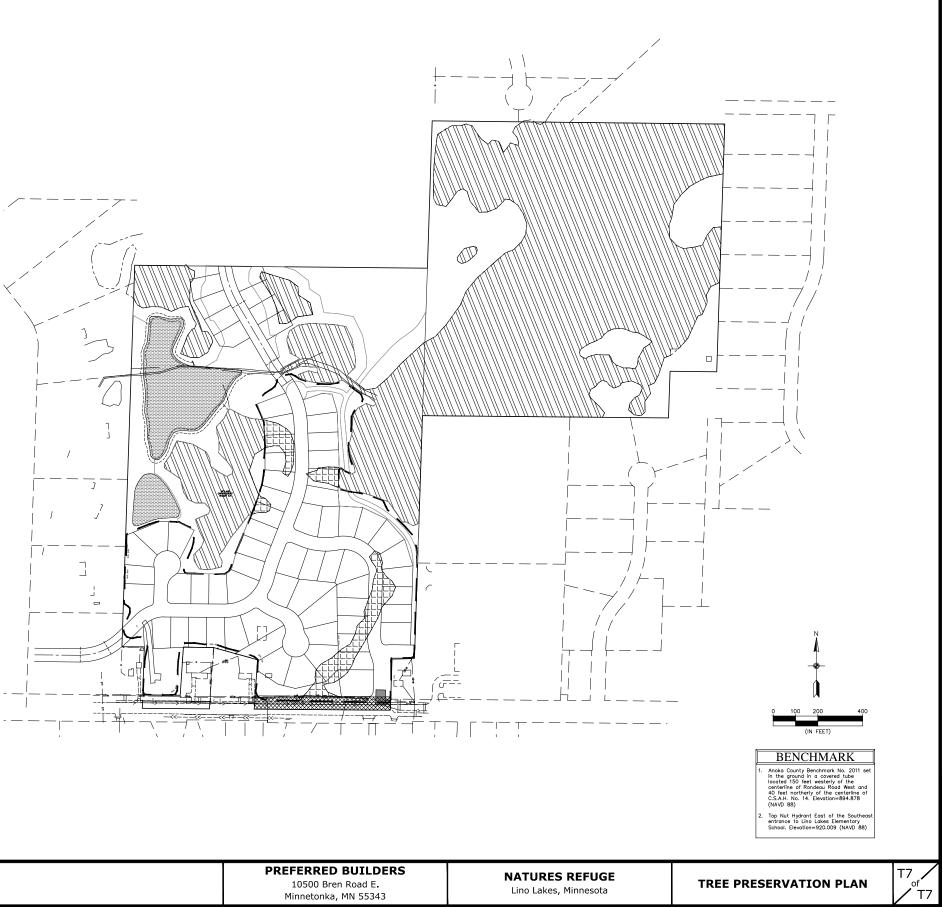


NOTE:	
REFER TO TREE INVENTORY REPORT	FOR TREE
IDENTIFICATION AND REMOVAL/REPAL INFORMATION.	CEMENT

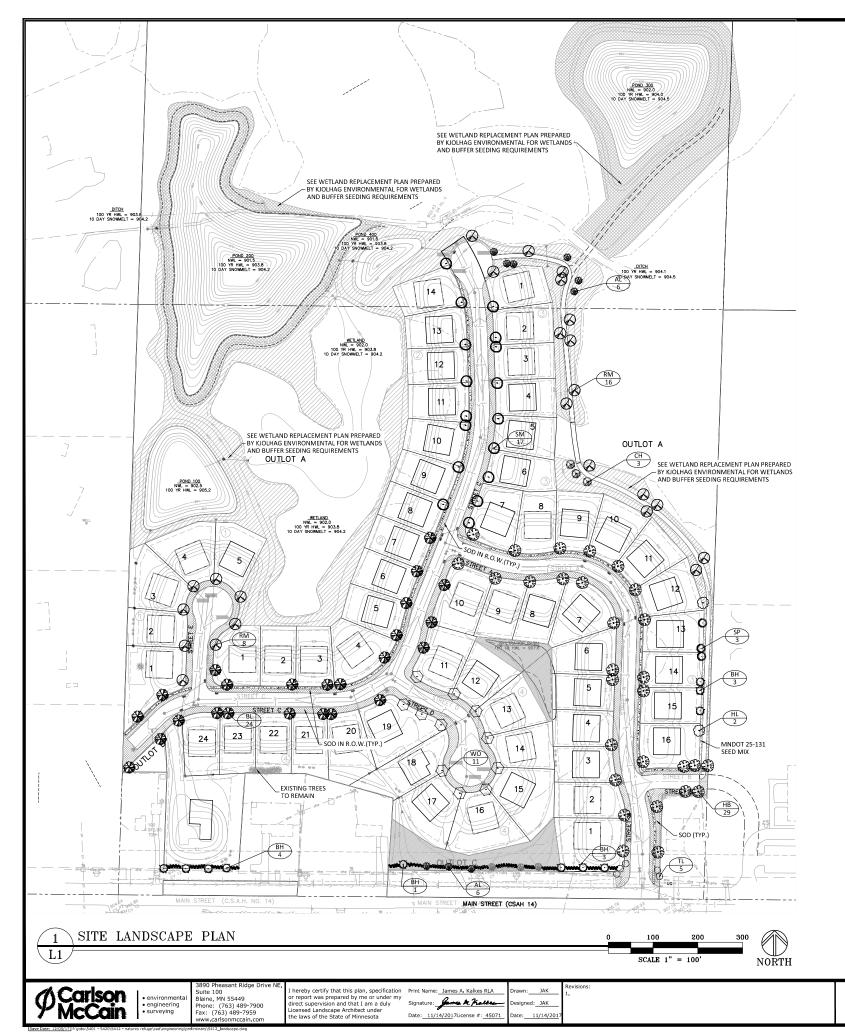
DEDI AGEMENT	
<u>REPLACEMENT</u>	RAIR

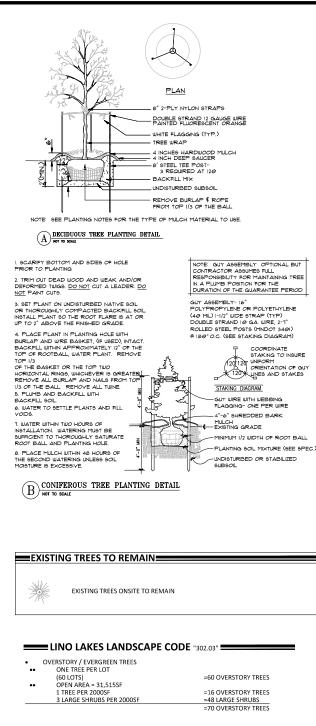
Environmentaly Sensitive Area (ESA) Category	Basic Use Area	Non-Basic Use Area (6-12" dbh deciduous or 12 - 20' evergreen)	Non- Basic Use Area (over 12"
Non-ESA	77 : 0	93 : 93	22 : 44
Natural Resource Conservation Area	5 : 1.25	0:0	0:0
Natural Resource Protected Area	0:0	1:2	0:0

Total Replacement Trees Required: 141 trees



	Suite 100	I hereby certify that this plan, specification Print Name:	: Brian J. Krystofiak, P.E. Drawn: ADB	Revisions: 1.	PREFERRED BUILDERS	NATURES R
Process and a sequence of the	Phone: (763) 489-7900	Licensed Professional Engineer under	Ee		10500 Bren Road E. Minnetonka, MN 55343	Lino Lakes, Min





Tree Preservation Replacement Trees

PREFERRED BUILDERS, INC.

10500 Bren Road E.

Minnetonka, MN 55343

••	REPLACEMENT TREES REQUIRED (SHEET T7)	141 REQUIRED
	TREES PER LANDSCAPE CODE "302.03" / 1 PER LO	
••		
••	OPEN AREA TREES	+10 OVERSTORY TREES
••	ADDITIONAL REPLACEMENT TREES	+ 71 TREES
	TOTAL REPLACEMENT TREES	=141 TREES



N	ΙΑΤ	UF
	Lino	La

	LANDSC	APE LEGEND							
KEY		BOTANICAL NAME	COMMON NAME	SIZE	ROOT	QTY.	INSTALL	MATUR	RE
		DECIDUOUS TREES	1			_	HEIGHT	HEIGHT	r
HL	\bigcirc	Gleditsia triacanthos var. inermis 'Shademaster'	SHADEMASTER HONEYLOCUST	2.5"	вв	2	10'	50'	т
BL		Tilia americana 'Boulevard'	BOULEVARD LINDEN	2.5"	вв	24	15'	60'	"V" CROTC
НВ	Sur S	Celtis occidentalis	HACKBERRY	2.5"	вв	29	15'	50'	STRAIT LEADER NO "V" CROTCH
SM	\bigcirc	Acer saccharum	SUGAR MAPLE	2.5"	BB	17	14'	50'	STRAI
RM	\bigcirc	Acer rubrum 'Nothwoods'	NORTHHWOODS MAPLE	2.5"	вв	24	14'	50'	
wo	$\langle \cdot \rangle$	Quercus bicolor	SWAMP WHITE OAK	2.5"	BB	11	15'	50'	
		ORNAMENTAL TREES							
TL	\odot	Syringa Reticulata	JAPANESE TREE LILAC	2.5"	BB	5	8'	20'	
		EVERGREEN TREES							
вн	Ann Market	Picea glauca var. Densata	BLACK HILLS SPRUCE	6'	BB	11	6'	40'	u
СН		Tsuga canadensis	CANADIAN HEMLOCK	6'	BB	3	6'	40'	FULL FORM TO GRADE
AL	@	Larix laricina	AMERICAN LARCH	6'	вв	12	6'	60'	LL FORM
SP	Cint	Pinus sylvestris	SCOTCH PINE	6'	вв	3	6'	50'	E
SHRU8S									
9	DBW	Salix purpurea 'Nana'	DWARF BLUE ARCTIC WILLOW	#5	CONT.	17	1'	3'x4'	
0	RTD	Cornus Sericea 'Bailey'	RED TWIG DOGWOOD	#5	CONT.	21	1.5'	5'x5'	
÷.	BCB	Aronica melonocarpa elata	BLACK CHOKEBERRY	#5	CONT.	28	1.5'	4'X4'	
	TEC	Forsythia 'Sunrise'	SUNRISE FORSYTHIA	#5	CONT.	45	1.5'	5'x5'	
à	SPE	Syringa x "Bailsugar'	SUGAR PLUM LILAC	#5	CONT.	47	1.5'	4'x4'	

SEED MIX LEGEND (FOR ALL SHEETS) SEED MIX SYM TYPE WETLAND FRINGE MN SEED MIX 33-261 (OLD BWSR U6) MN SEED MIX 25-131 (OLD MNDOT 260) ALL AREAS DISTURBED BY CONSTRUCTION NOT INTENDED TO BE SODDED, OR RETENTION BASINS MNDOT 260 (USE EROSION CONTROL BLANKET FOR SLOPES OVER 3:1) HARDWOOD MULCH SHREDDED HARDWOOD MULCH NATURAL COLOR) COMMERCIAL TURF - SOD HIGHLAND SOD (PEAT SOD IS UNACCEPTABLE)

PLANTING NOTES

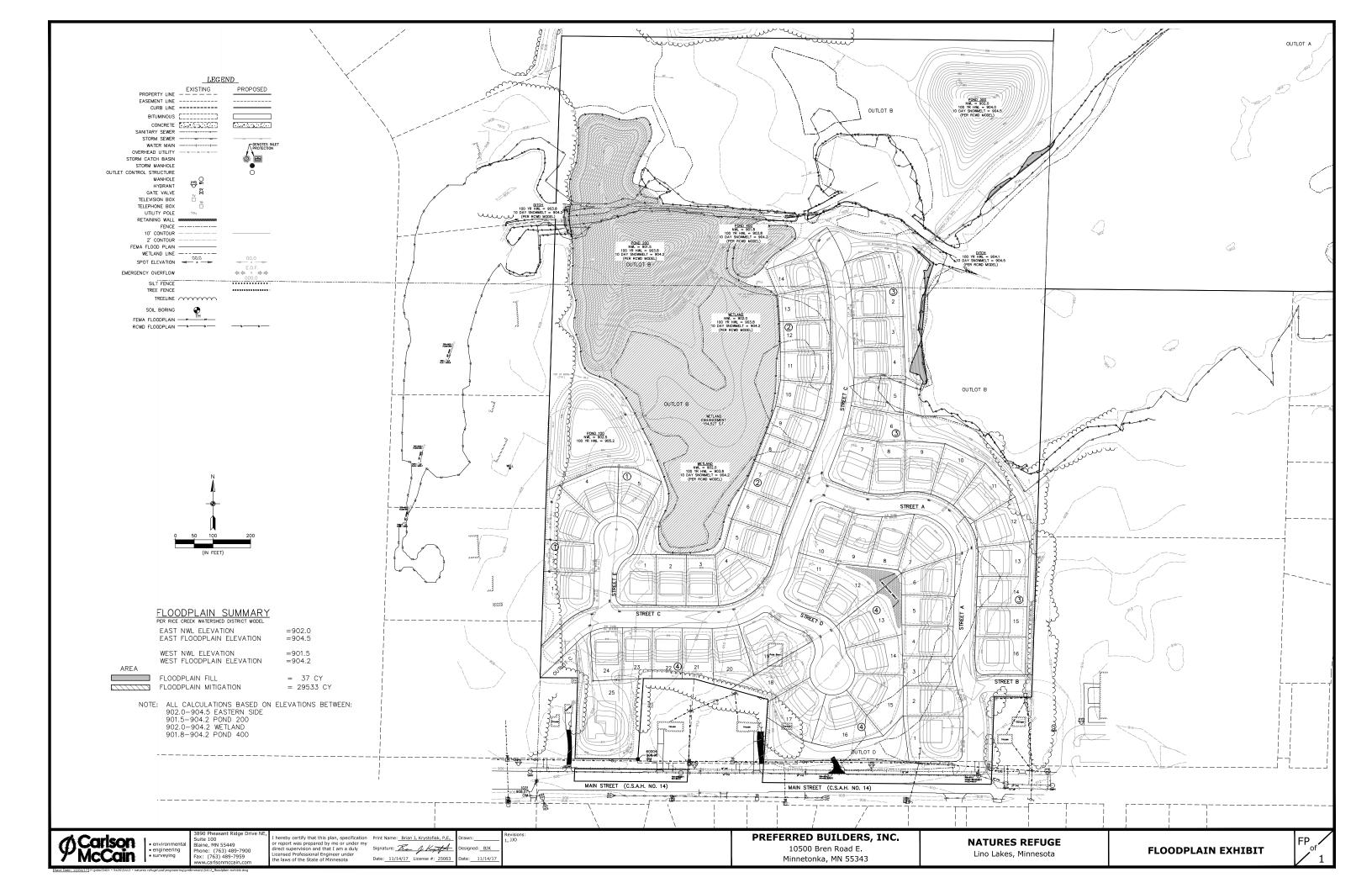
- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE AND BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE LANDSCAPE LECEND. ALL IREES MUST BE STRIGHT TRUNKED AND FULL ALL IREES MUST BE STRIGHT TRUNKED AND FULL MUST BE STRIGHT CONTENTS AND FOLL THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMD UNSATISFACTORY BEFORE, DURING, OR AFTER INSTALLATION.

- HEADED AND MELT ALL REQUIREMENTS SPECIFIED.
 HEADED AND MELT ALL REQUIREMENTS SPECIFIED RIGHT TO UNISATISFACTORY BEFORE, DURING, OR AFTER INSTALLATION.
 NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE ACCEPTED UNIESS APPROVED IN WHITING BY THE LANDSCAPE ARCHITECT.
 ALMOSCAPE ARCHITECT.
 ALARDANING STOCK SHALL CONFORM TO THE ALANDSCAPE ARCHITECT.
 ALARDANING STOCK SHALL CONFORM TO THE ANDSCAPE ARCHITECT.
 ALARDANING OF UNISERY PROVING IN THE ALANDSCAPE ARCHITECT.
 SHATTIG DATEST EDITION, OF THE AMERICAN ASSOCIATION OF NURSERY MEN, INC. AND SHALL BE PROTECTED TO THE DRIVEN TO ARCHING STATUS SUPPORTED TO THE DRIVEN TO AND SHALL BE PROTECTED TO THE DRIVEN TO ARCHINA SHALL BE PROTECTED TO THE DRIVEN TO ARCHING STATUS SUPPORTED TO STELL FENCE POSTS 6' O.C. MAXIMUM SPACING.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MULCHES AND PLANTING SOL QUANTITIES TO COMPLETE THE WORK SHOWN ON THE LANDSCAPE LEGEND.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MULCHES AND PLANTING SOL QUANTITIES TO COMPLETE THE WORK SHOWN ON THE LANDSCAPE LEGEND.
 THE CONTRACTOR SHALL ARE PAYEMENTS, PLANTERS AND BUILDINGS CLEAN AND UNSTAINAGE ALL METER SHALL BE PROMPTLY REMOVED FROM THE SITE. ANY PSHALL BE PROMPTLY REMOVED FROM THE SITE. ANY SHALL BE PROMPTLY REMOVED FROM THE SITE. ANY SHALL BE PROMPTLY REMOVED TO THE AND ARCTOR UNIT.
 THE CONTRACTOR SHALL BE REPAYED AT THE CONTRACTOR'S SHALL BE PROMPTLY REMOVED TO TACITON FROM FACILITES SHOWN ON THE LAND WATERED UNIT.
 SHALL BE RECOMMENT AND WATERED UNIT.
 SHALL BE RECOMPTLY REMOVED TO READ ALL WASE SHALL BE RECOMPTLY REMOVED THE SITE. ANY SHALL BE RECOMPTLY REMOVED TO TACITON FROM FACILITES SHALL BE REPAYED AT THE CONTRACTOR'S SHALL BE RECOMPTLY REMOVED TO TACITON FROM FACILITES SHALL BE REPAYED AT THE CONTRACTOR'S EMPENSE.
 <

- 10-0-10 FERTUZER AT THE RATE OF 3 POUNDS PER CUBIC YARD. IN PLANTING BEDS INCORPORATE THIS MIXTURE THROUGHOUT THE ENTIRE BED SIX CORPORATE THIS INTO THE TOP 12" OF SOL.
 13. ALL PLANTS SHALL BE GUARANTEED FOR TWO COMPLETE GROWING SEASON (APRIL 1 NOVEMBER 1). UNLESS OTHERWISS SPECIFIED. THE CUARANTEE SHALL COVER THE FULL COST OF REPLACEMENT INCLUDING LABOR AND PLANTS.
 14. CONTRACTOR SHALL NOTEY THE LANDSCAPE ARCHITECT AT LEAST 3 DAYS PRIOR TO PLANNED DELIVERY. THE CONTRACTOR SHALL NOTEY THE LANDSCAPE ARCHITECT AT LEAST 24 HOURS IN ADVANCE OF BEGINNING PLANT INSTALLATION.
 15. SEASONS TIME OF PLANTING AND SEEDING: NOTE:

L1

SITE LANDSCAPE PLAN



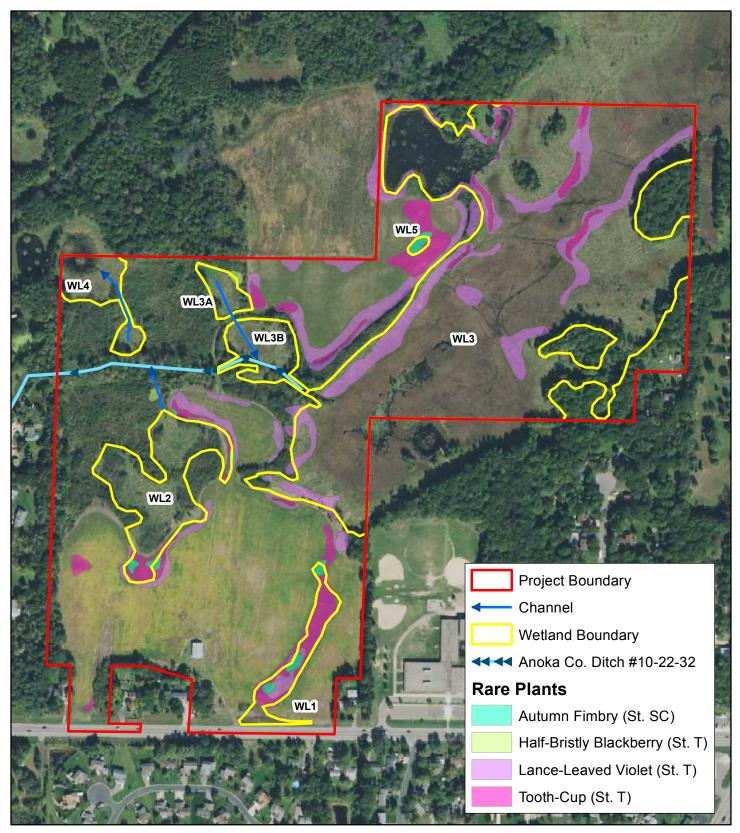
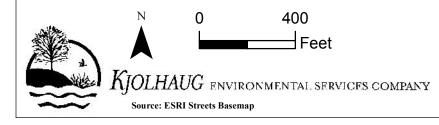


Figure 3 - Wetlands and Rare Plants



Nature's Refuge (KES 2015-031) Lino Lakes, Minnesota

Note: Boundaries indicated on this figure are approximate and do not constitute an official survey product.

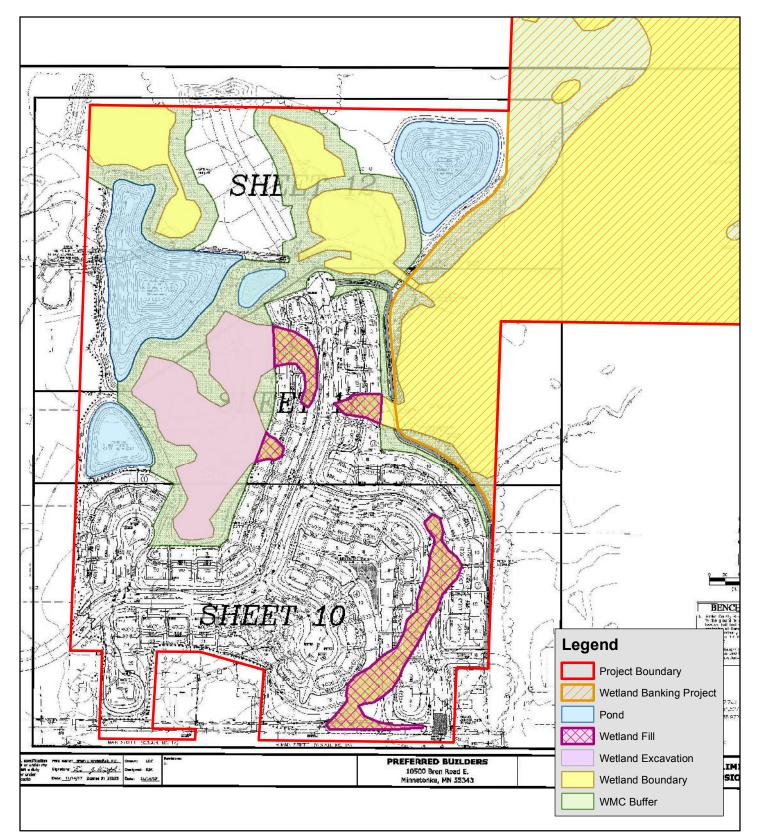
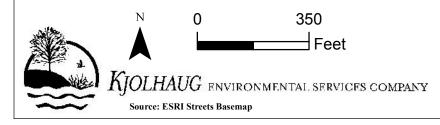


Figure 8 - Proposed Plan Overview



Nature's Refuge (KES 2015-031) Lino Lakes, Minnesota

Note: Boundaries indicated on this figure are approximate and do not constitute an official survey product.

PLANNING & ZONING BOARD AGENDA ITEM 6A

STAFF ORIGINATOR:	Michael Grochala, Community Development Director
P & Z MEETING DATE:	February 14, 2018
REQUEST:	2040 Comprehensive Plan Update Discussion: Land Use Plan, Mixed Use Classification
CASE NUMBER:	N/A
APPLICANTS:	City of Lino Lakes.
REVIEW SCHEDULE:	N/A

BACKGROUND

Landform will be present to discuss the Mixed Use land use classification.

A memorandum and supporting information is attached for the Planning & Zoning Board's Review

RECOMMENDATION

Discussion item only.

ATTACHMENTS

- 1. Landform Memorandum, dated February 6, 2018
- 2. Winter Property Concept Land Use Plan prepared by Westwood



Lino Lakes 2040 Comprehensive Plan Update

Date:	February 6, 2018 for February 14, 2018 Meeting
То:	Lino Lakes Planning & Zoning Board
From:	Kendra Lindahl, AICP Anne Hurlburt, Planner Landform Professional Services
Subject:	Comprehensive Plan Update Land Use Plan, Mixed Use Classification

Board members have requested a discussion about the Mixed Use land use classification and how it is used in the Comprehensive Plan.

Staff and consultants are in the final stages of preparing a complete plan document. We expect to deliver the draft plan to the Planning & Zoning Board on approximately March 2nd for discussion at the March 14th board meeting. The board should give any direction for changes to the draft, which will be shared with the public on the city's website and at the open house scheduled for April 3rd.

Mixed Use Description

The term "mixed use" is used in a variety of ways in local plans and ordinances. Mixed use may mean that land uses not typically allowed together in single-use districts (such as residential and commercial) are permitted, or possibly required, in a single structure, on a single lot, or within a single development.

In Lino Lakes' plan, mixed use is used for flexibility. Development may be mixed vertically, consisting of main floor commercial space with office or housing units located above, or development may be mixed horizontally on a particular site. Each area is unique, and will be planned to be compatible with the surrounding land uses. Flexibility to respond to the needs of a particular location will mean that one site may be developed entirely for a single use, if market factors indicate and the city's goals for the area are met.

The land use plan says that mixed use areas shall be designed to incorporate more compact development and promote pedestrian activity, and to provide a "sense of place" within Lino Lakes by creating active and attractive developments with opportunities for interaction through successful design and site layout.

Mixed use areas address the city's goals for affordable and lifecycle housing. They are the only areas in the city allowing residential densities of eight units per acre or higher. Mixing residential and commercial uses in these areas will increase convenient access to retail opportunities, and especially serve the needs of senior and lower income residents who may reside in these areas.

Mixed Use Sites

The Land Use Plan identifies 651 net acres for mixed use development, which accounts for 4.9 percent of the city's total land area (net of wetlands and water bodies). Table 3-4 of the draft plan lists each area along





Lino Lakes 2040 Comprehensive Plan Update

with the expected split between residential and commercial uses, and information about the city's goals for each site.

Two new mixed use areas are proposed on the new future land use maps. The first, the Winter Property, was discussed by the board at its December 2017 meeting, and subsequently by the City Council on several occasions. At their February 5th meeting, the City Council directed staff to modify the criteria for development of the Winter property. The new recommendation from the Council is shown on Table 3-4 in the draft land use chapter attachment. The other new location is near 80th Street West of I-35E and south of Harwood Creek, in the northeastern part of the city, outside of the 2040 urban service area.

Attachments:

- 1. Excerpt, Draft Land Use Chapter
- 2. Draft 2040 Full-Build Land Use Plan Map



Mixed Use

The Land Use Plan identifies 651 net acres for mixed use development, which accounts for 4.9 percent of the city's total land area (net of wetlands and water bodies). This use is intended to allow for a mix of residential, retail, and office uses. Development may be mixed vertically, consisting of main floor commercial space with office or housing units located above, or development may be mixed horizontally on a particular site. Each mixed use area is unique, and will be planned to be compatible with the surrounding land uses. Flexibility to respond to the needs of a particular location will mean that one site may be developed entirely for a single use, if market factors indicate and the city's goals for the area are met.

Mixed use areas shall be designed to incorporate more compact development and promote pedestrian activity. These projects will support pedestrian activity through pedestrian friendly design, and by providing connections to existing and future pedestrian and transit facilities. These future mixed use areas have the opportunity to become the city's gathering space and the design may incorporate public spaces and amenities. Architecture and landscaping are important aspects of mixed use developments, as this type of development is typically oriented to accommodate both pedestrians and vehicles. By providing walkable mixed use areas, stress on the transportation system is reduced. Mixed use areas can also provide a "sense of place" within Lino Lakes by creating active and attractive developments with opportunities for interaction through successful design and site layout.

Mixed use areas address the city's goals for affordable and lifecycle housing, because the majority of mixed use sites incorporate residential areas at densities of 8 units or more. Mixing residential and commercial uses in these areas will increase convenient access to retail opportunities, and especially serve the needs of senior and lower income residents who may reside in these areas.

The most successful mixed use area developed in Lino Lakes is the Legacy at Woods Edge development, located at the southeast quadrant of I-35W and Lake Drive. The area includes the city hall complex, YMCA, commercial development and rental and owner-occupied housing serving seniors and other age groups, in a pedestrian-friendly environment with access to major open spaces. While the residential portion of this development is largely complete, some commercial sites remain to be developed and will be guided by the master plan for the area. While the role of this area is unique, it serves as an example of the quality and vibrancy that is encouraged for the mixed use development areas.

The plan identifies twelve mixed use sites. Many of these vibrant developments along major roadways or key intersections and will serve as gateways into the city. Design and landscape standards will be developed for these areas to ensure that development is attractive and promotes a positive community image. This addresses the community's goal to promote a unified community identity and its related strategy to create and strengthen the appearance of the city's gateways.

The mix of commercial and residential uses will vary for each site, as will the residential density, as shown below in Table 3-4. It is important to note that the information provided in the table is preliminary, and is intended to serve as a guide for future decision-making. As plans for specific mixed use areas are refined, suggested density, total units, and the residential/commercial split may be revised. To best serve the community's changing needs and market conditions, flexibility in these areas is essential.



Planning District	Mixed Use Area	Approximate Land Area (Acres)	Utility Staging Plan	Approximate Residential/ Commercial Split	Density Range (units/acre)	Discussion
1	Hodgson Road (CSAH 49) & County Road J (Ash Street)	36	1A	50/50	8 to 15	The "Hodgson Road & CR J Master Plannin 2007. The plan establishes a general land use layout or specific uses of individual parcels." must accommodate the infrastructure needs the Plan may be appropriate to address evol- regulatory requirements. Chapter 5, Econom opportunity area and further describes the m
2	Robinson Farm/ Main Street & 2nd Avenue	29	1A / 2A	75/25	8 to 15	This area is envisioned as a development no Street. This area offers the opportunity for la environmental resource management that we development. The site may include a wide va intensity uses would be created closer to the order to serve this area with sanitary sewer, a regional interceptor on the west side of Linco
2	Lake Drive/Main Street	23	1A	75/25	8 to 15	This area includes the northwest and southe roads. This intersection should be the focus plan for development and redevelopment. T economically viable redevelopment, needed management.
2	Lake Drive and Vicky Lane	5	1A	75/25	8 to 15	This area comprises one vacant parcel of ap concern. The site could serve as a good site all around this site will be an important plan
2	Lake Drive/77th Avenue	3	1A	75/25	8 to 15	This site has been fully developed for senior
2	Lino Lakes Town Center/ Legacy at Woods Edge	66	1A	50/50	10 to 24	The SE quadrant of I-35W/Lake Drive inter represents the mixed-use section of the Lind integrate a mixture of commercial, medium a in an attractive and cohesive design. City hal the community focus. A complete "Design a support the community's vision and establist area. Chapter 5, Economic Development, id describes the plan.
2	Waldoch Farms	37	2B	80/20	8 to 15	This site on the east side of Lake Drive is su possibility of higher density residential uses Access on Lake Drive will be limited to a sir



ning Study" was approved by the City Council in use design, but does not mandate the exact site s. The design of individual development projects ds for the larger study area. Future amendments of rolving community needs, market forces, and omic Development, identifies this as an e master plan.

node at a future, full-access intersection on Main or large scale planning that can include would not be possible with piecemeal e variety of housing and commercial uses. Higher he intersection and the higher traffic roads. In or, a new trunk line is needed to connect to the ino Lakes in or near North Road.

heast corners of the intersection of two arterial us of a special planning study to establish a guiding . The goal of the study would be a plan to facilitate ed transportation improvements, and sound access

approximately five acres. Access to Lake Drive is a te for multi-family residences. Existing residences anning consideration.

or housing.

terchange I-35W/Lake Drive interchange ino Lakes Town Center. This area is intended to m and high density residential, and public land uses hall, a YMCA, and a community green emphasize m and Development Guide" has been adopted to blish standards for all development in the Legacy identifies this as an opportunity area and further

suitable for continued commercial use, with the es in the southern and eastern parts of the site. single location.

Planning District	Mixed Use Area	Approximate Land Area (Acres)	Utility Staging Plan	Approximate Residential/ Commercial Split	Density Range (units/acre)	Discussion
3	Centerville Road/Birch Street	40	2A	80/20	8 to 15	This site may be developed for higher densi uses. The future development of the southe increase demand for some neighborhood or large park. There are some limitations on th intersection of two county roads calls for ca addition, there is the expectation that there area of the athletic complex, many of them floodplain are additional development consi
3	Watermark Site (formerly known as Hardwood Creek), One Quarter Mile North of Main Street, between I-35E and CSAH 21 (20 th Avenue)	372	1A / 1B	80/20	3 to 4.5	A mix of both commercial and residential us of the residential areas reserved for low dens has been approved for a master planned resi types including 706 single family lots and 16 The site will incorporate significant open sp the I-35E Corridor Alternative Urban Areas Development must comply with the mitigation includes the Conservation Development Fra development within the AUAR area.
4	Centerville Road/County Road J (Ash Street)	24	1A	60/40	8 to 15	This site is located at the intersection of two site is expected to develop as an extension of development south of the municipal bounds development in White Bear Township front freeway. Sanitary sewer service will be throu Township. Municipal water will be provided until development progresses far enough no system. Any development design must inclu potential impacts on Wilkinson Lake, a small



asity housing as well as complementary commercial heast corner as the city's recreation complex will or community scale commercial uses near the the site. Proper access management at this careful consideration of driveway locations. In we will be many pedestrians and bicyclists in the n children. Wetlands, a county ditch, and nsiderations.

uses are allowed on this site, with no less than 2/3 ensity residential development. Recently the site esidential community with a mix of residential 165 townhome units totaling 871 housing units. space and water features. This site is included in eawide Review (AUAR) environmental analysis. gation plan that forms a part of the AUAR, which Framework as the fundamental precept for all

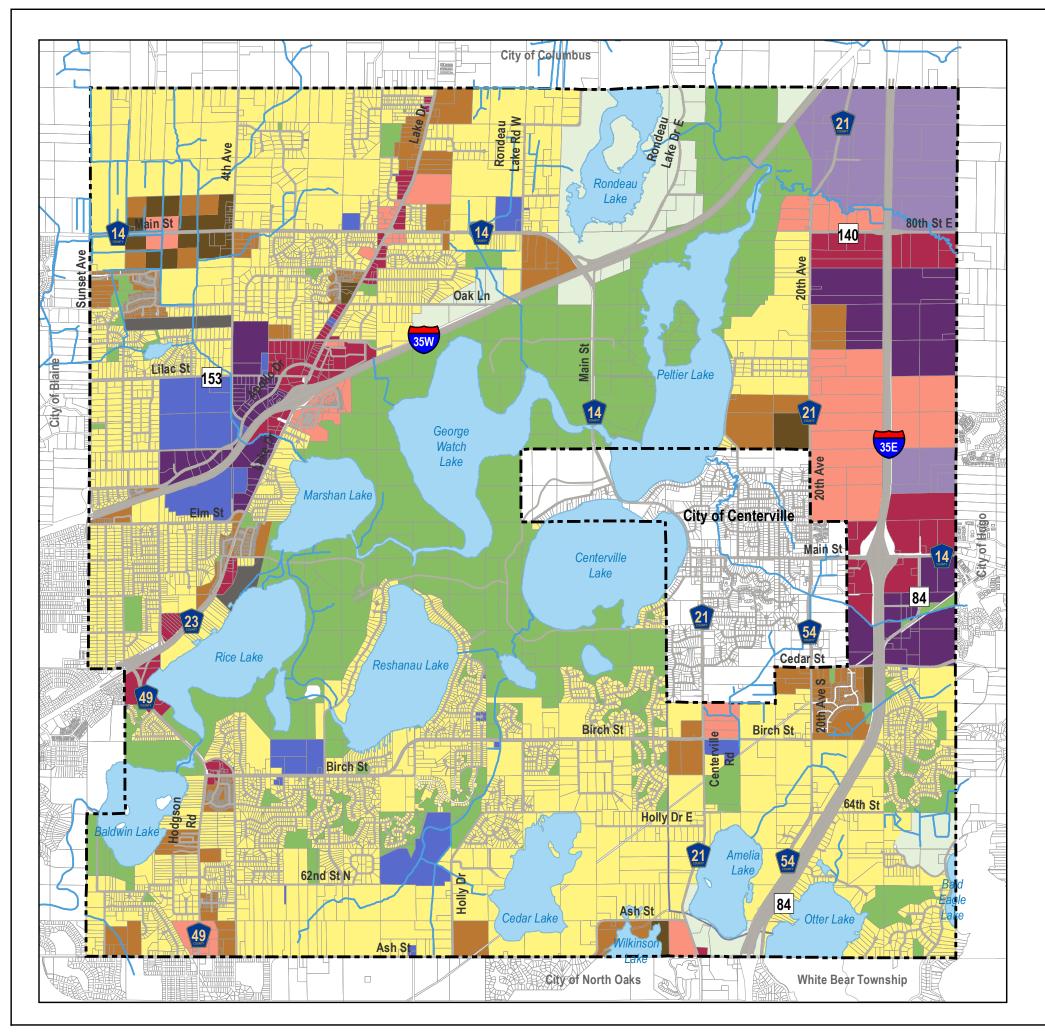
wo county roads, near an I-35E interchange. The n of the mixed use multi-family and commercial adary, in the City of North Oaks. Commercial ents County Road J (Ash Street) all the way to the ough a joint powers agreement with White Bear ed from White Bear Township into the future north to allow connection to the Lino Lakes clude careful consideration to water quality and hall Natural Environment Lake.

Planning District	Mixed Use Area	Approximate Land Area (Acres)	Utility Staging Plan	Approximate Residential/ Commercial Split	Density Range (units/acre)	Discussion
5	Winter Property	139	1A	50/50	4 to 5.9	This site is located east of I-35E in an area p mixed use classification allows flexibility to northern portion of the site where develop occupying more than a third of the property the city's greenway system, will be an ameni to planned industrial uses to the north. The visibility and fewer development constraints business campus area to the south. A maste compatibility among uses and an integrated and workers to access the greenway and cre businesses offering goods and services in th I-35E Corridor Alternative Urban Areawide Development must comply with the mitigat includes the Conservation Development Fra development within the AUAR area.
5	80 th Street West of I 35-E and south of Hardwood Creek	90	3	50/50	8 to 15	This area in the northeastern portion of the intended to allow uses compatible with the east as a Business Campus district, which is included in the I-35E Corridor Alternative U analysis.



a primarily planned for business development. The to allow some residential use, particularly in the opment is limited by an extensive wetland complex erty. The wetlands, which will be incorporated into enty for new housing as well as a good transition the southwestern part of the site, which has greater ents, may be developed for uses compatible with the ster plan for the site should demonstrate ed pedestrian network that encourages residents creates opportunities to walk to work and to the surrounding areas. This site is included in the ide Review (AUAR) environmental analysis. gation plan that forms a part of the AUAR, which Framework as the fundamental precept for all

he city is outside of the 2040 urban area. It is ne future development of the area to the north and is tied to future freeway interchanges. This site is re Urban Areawide Review (AUAR) environmental



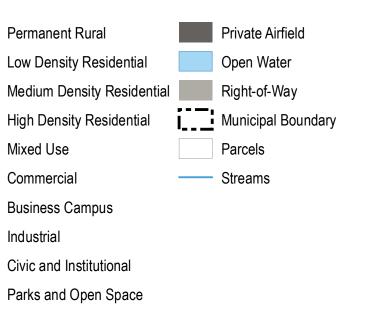


3,500 1,750

0



Figure 3-1 Full Build Out Land Use







Date: 2/5/2018

CONCEPT LAND USE PLAN





WINTER PROPERTY

LINO LAKES, MN

Planning & Zoning Board 2017 Final Action Summary								
Project Name	Application Type	P&Z Final	P&Z	Council	Council	Project Description		
		Action Date	Recommendation	Date	Action			
						Mobile Maintenance, Inc, a handyman service that		
180 Street Home			Recommend		Approved	specializes in the repair and service on manufactured home		
Occupation Level C	Conditional Use Permit	3/8/2017	Denial	4/10/2017	Denial	on the lots where they are located		
41 Century Trail			Recommend					
Driveway Variance	Variance	11/8/2017	Approval	11/27/2017	Approved	Requested a curb cut width of 28 feet be allowed		
			Deserves and			Mobile Maintenance, Inc, a handyman service that		
426 Pine Street Home Occupation Level C	Conditional Use Permit	9/13/2017	Recommend	10/0/2017	Amman	specializes in the repair and service on manufactured home on the lots where they are located		
520 62nd Street - D&U	Vacation: Drainage,	9/13/2017	Approval	10/9/2017	Approved	Vacation of a drainage easement over wetlands on the		
Easement Vacate	Street, Utility			9/25/2017	Approved	property		
				9/23/2017	Appioved	Amendment to Resolution No.15-119 in regards to a		
6602 Pheasant Run -			Recommend			variance for an attached garage and detached accessory		
Variance Amendment	Variance Amendment	8/9/2017	Approval	8/28/2017	Approved	structure		
	Preliminary Plat,							
	Rezoing, Conditional					All Seasons Rental purchased the vacant 1.3 commercial		
	Use Permit/Site Plan		Recommend			parcel to the south to construct a new 7,740 s.f. commercial		
All Seasons Rental	Review	7/12/2017	Approval	8/14/2017	Approved	facility		
			Recommend					
All Seasons Rental	Final Plat	12/13/2017	Approval	2018				
			D			Bring property into conformance with the open and outside		
Dold Corlo Croatoro	Conditional Use	0/0/0047	Recommend	0/40/0040	A	storage requirements of the, LI, Light Industrial zoning		
Bald Eagle Erectors	Permit/Site Plan Review	2/8/2017	Approval	3/13/2018	Approved	district and to pave portion of their property Century Farm North includes a mix of housing styles		
						including typical single family lots, single family airpark lots		
	Preliminary Plat, PUD					with hangars, single family detached townhomes (individual		
Century Farm North	Development Stage					house lots located within a commonly owned yard lot) and		
PUD 4th Amend & 7th	Plan, PUD Final Plan,		Recommend		Pulled from			
Addition	Final Plat	9/13/2017	Approval	10/9/2017	Agenda	and three (3) PUD amendments to date		
						Development is a 6 lot single family residential subdivision		
						containing 1 existing parcel (177 White Pine Road) that is		
Chavez Preserve	Variance, Final Plat	5/10/2017	Item tabled			approximately 2.18 gross acres		
			Recommend					
Chavez Preserve	Variance, Final Plat	6/14/2017	Approval	7/10/2017	Approved			
	Preliminary Plat,							
	Comprehensive Plan	4/44/0047	Recommend	0/40/0040	A	Development is a 2 lot single family residential subdivision,		
Erickson Estates	Amendment	1/11/2017	Approval	2/13/2018	Approved	development contains one 4.38 gross acre parcel		

Planning & Zoning Board 2017 Final Action Summary								
Project Name	Application Type	P&Z Final	<u>P&Z</u>	<u>Council</u>	<u>Council</u>	Project Description		
		Action Date	Recommendation	<u>Date</u>	<u>Action</u>			
			Recommend					
Erickson Estates	Rezoning	1/11/2017	Approval	2/27/2017	Approved			
			Recommend					
Erickson Estates	Final Plat	3/8/2017	Approval	3/27/2017	Approved			
Garcia Property - Minor Subdivision and Variance	Minor Subdivision/Lot Split, Variance	11/8/2017	Recommend Approval	11/27/2017	Approved	Subdivided outlot into 3 parcels and combined existing 3 parcels, eliminating the outlot all together		
Golden Acre	Preliminary Plat, Variance, Final Plat	6/14/2017	Recommend Approval	7/10/2017	Approved	Development is a 4 lot single family residential subdivision, development containing one gross acre parcel		
Houle Addition	Preliminary Plat	6/14/2017	Recommend Approval	7/10/2017	Approved	Development is a 1 lot and 1 outlot single family residential subdivision, containing one 30.72 gross acre parcel		
Houle Addition	Final Plat	8/9/2017	Recommend Approval	8/28/2017	Approved			
Lake Amelia Vistas	Comprehensive Plan Amendment, PUD General Concept Plan	5/10/2017	Deemed premature			Development is a master planned residential community, site containing 2 parcels totaling approximately 40 gross acres		
Lake Amelia Vistas	Comprehensive Plan Amendment, PUD General Concept Plan	6/14/2017	No motion made					
NorthPointe 5th Addition	Final Plat	4/12/2017	Recommend Approval	4/24/2017	Approved	A PUD residential subdivision, preliminary plat is 94.09 gross acres and consists of a residential density mix of single family lots and an 88 unit senior multi-family residence		
NorthPointe 5th Addition - D&U Easement Vacation	Vacation: Drainage, Street, Utility			4/24/2017	Approved	Vacate drainage and utility easement dedicated on the plat of NorthPointe 3rd Addition lying over, under and across Outlot A and NorthPointe 4th Addition lying over, under and across Outlot C		
NorthPointe 6th Addition	Final Plat	6/14/2017	Recommend Approval	7/10/2017	Approved	A PUD residential subdivision, preliminary plat is 94.09 gross acres and consists of a residential density mix of single family lots and an 88 unit senior multi-family residence		
NorthPoint 6th Addition - D&U Easement Vacation	Vacation: Drainage, Street, Utility			7/10/2017	Approved	Vacate drainage and utility easements, as created and dedicated over, under, and across Outlot D in the plat of NorthPointe 5th Addition		

Planning & Zoning Board 2017 Final Action Summary								
Project Name	Application Type	P&Z Final Action Date	P&Z Recommendation	<u>Council</u> Date	<u>Council</u> <u>Action</u>	Project Description		
Outlot A, NorthPointe 3rd Addition and Outlot C, NorthPointe 4th Addition	Vacation: Drainage, Street, Utility			5/8/2017	Approved	Vacate drainage and utility easements to eliminate any potential tile issues, easement re-dedicated on the plat of NorthPointe 5th Addition		
Saddle Club 3rd Addition	Final Plat	4/12/2017	Recommend Approval	7/24/2017	Approved	PUD residential subdivision, preliminary plat is 39.4 gross acres and consists of 55 single family residential lots		
Saddle Club Fourth Addition	Preliminary Plat, PUD Development Stage Plan, Rezoning	Application Withdrawn		Application Withdrawn				
St Clair Estates	Final Plat	2016		2/27/2017	Approved	Development is a 35 lot single family residential subdivision, development contains one 30.47 gross acre parcel		
St Clair Estates Lot 2, Block 1 - D&U Easement Vacate	Vacation: Drainage, Street, Utility			11/27/2017	Approved	Vacate drainage and utility easement on Lot 2, Block 1		
St. Joseph Rectory	Conditional Use Permit	11/8/2017	Recommend Approval	11/27/2017	Approved	2,000 sf single family home on property to be used for the pastor's residence/church rectory building		
Watermark-Lennar	PUD Development Stage Plan	9/13/2017	Recommend Approval	10/9/2017	Approved	Development is a master planned residential community containing 12 parcels totaling approximately 372 gross acres and consists of a residential mix of 706 single family lots and 165 townhome units totaling 871 housing units		
Watermark-Lennar	PUD Development Stage Plan Amendment #2-Architectural Design Standards	11/8/2017	Recommend Approval	12/11/2017	Approved			
Woods Edge 2nd Addition	Final Plat	4/12/2017	Recommend Approval	5/8/2017	Approved	Development is a 112 unit attached townhome project on 11.2 acres in the Town Center		